

OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

September 12, 2012

Project# 1007649

12DRB-70255 MAJOR - SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

HARTMAN & MAJEWSKI DESIGN GROUP agent(s) for GREATER ALBUQUERQUE HOUSING PARTNERSHIP request(s) the referenced/ above action(s) for all or a portion of Lot(s) A, Block(s) 9, **FRANCISCAN ACRES** zoned SU-2/ SU-1/ PRD, located on the south side of INDIAN SCHOOL NE between BROADWAY BLVD NE and EDITH BLVD NE containing approximately 2.99 acre(s). (H-14, H-15) [*Deferred from 9/5/12*]

With an approved Grading and Drainage plan stamp dated 8-31-2012, and with the signing of the infrastructure list dated September 12, 2012, the Site Development Plan for Building Permit was approved with the following Findings and Conditions.

Findings

1. The land use and zoning for this property was previously approved by the Environmental Planning Commission/ EPC in 2009 [Application No. 09EPC-40007].
2. The Site Development Plan for Subdivision for this property was previously approved by the Environmental Planning Commission/ EPC in January of this year [Application No. 11EPC-40081].
3. The City Attorney's office has reviewed the file for 11EPC-40081 and found the notification for that case was in compliance with the requirements of the City Zoning Code.
4. This Site Development Plan for Building Permit is found to be in compliance with the approved Site Development Plan for Subdivision.

CONDITIONS:

1. Final sign-off is delegated to the City Engineer for completion of the Subdivision Improvements Agreement/ SIA.
2. Final sign-off is delegated to Planning for corrected references for all existing easements, and for expiration/ completion of the 15 day appeal period.

If you wish to appeal this decision, you must do so by September 27, 2012; appeal is to the Land Use Hearing Officer. Any person with standing as determined by § 14-16-4-4(B)(2) of the Zoning Code who is aggrieved with this determination of the Development Review Board may file an appeal on the Planning Department form with appropriate fee, to the Planning Department Front Counter at 600 2nd St NW.

Project# 1007649

12DRB-70255 MAJOR - SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Page 2 Of 2

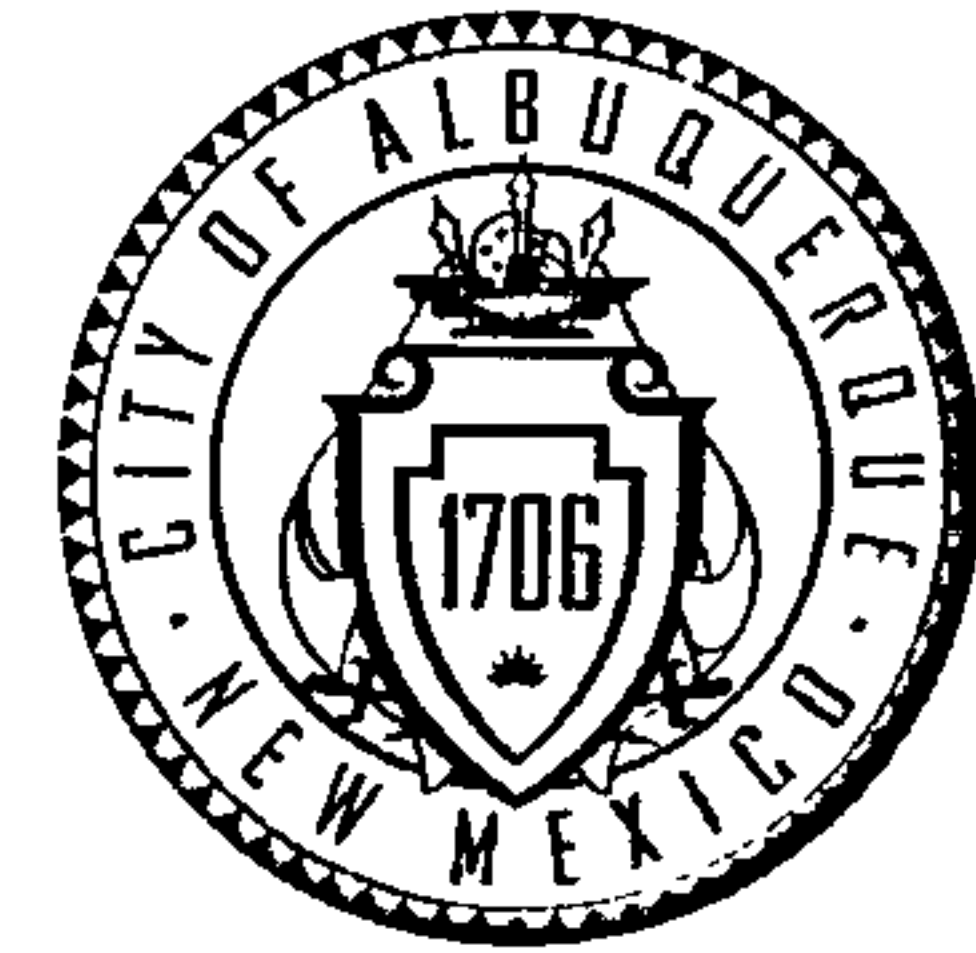
You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).



Jack Cloud, DRB Chair

Cc: Hartman & Majewski Design Group
Roxanna Meyers – 2117 Commercial St NE, Albuquerque, NM 87102
Vickie Early – 212 Arvada Ave NE – Albuquerque, NM 87102
Carl Salazar – 219 Arvada Ave NE – Albuquerque, NM 87102
David Martinez – 400 Prospect NE – Albuquerque, NM 87102
Juana Baca – 216 Arvada NE – Albuquerque, NM 87102
Noel M. Baca – 216 Arvada NE – Albuquerque, NM 87102
Sonia Rascon – 305 Arvada NE – Albuquerque, NM 87102
Darin Goldston – 402 Indian School NE – Albuquerque, NM 87102
James Cericola – 309 McKnight NE – Albuquerque, NM 87102
Sharon Jackson – 333 McKnight NE – Albuquerque, NM 87102
Marilyn Maldonado
file

CITY OF ALBUQUERQUE



Planning Department

Suzanne Lubar, Acting Director

Development Review Division

600 2nd Street NW – 3rd Floor

Albuquerque, NM 87102

NOTICE OF APPEAL

September 28, 2012

TO WHOM IT MAY CONCERN:

The Planning Department received an appeal on September 27, 2012. You will receive a Notice of Hearing as to when the appeal will be heard by the **Land Use Hearing Officer**. If you have any questions regarding the appeal please contact Dora Henry, Planning Administrative Assistant at (505) 924-3883.

Please refer to the enclosed excerpt from the City Council Rules for Land Use Hearing Officer Rules of Procedure and Qualifications (adopted by F/S OC-04-6) for any questions you may have regarding the Land Use Hearing Officer rules of procedure.

PO Box 1293

Any questions you might have regarding Land Use Hearing Officer policy or procedures that are not answered in the enclosed rules can be answered by Crystal Ortega, Clerk to the Council, (505) 768-3100.

Albuquerque

CITY COUNCIL APPEAL NUMBER: AC-12-16

NM 87103

**PLANNING DEPARTMENT CASE FILE NUMBERS: 1007649
12DRB-70255**

www.cabq.gov

**APPELLANT(s): Darin Goldston, et al
402 Indian School Road NE
Albuquerque, New Mexico 87102**



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations

D Street Name Change (Local & Collector)

L A APPEAL / PROTEST of...

- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): _____ PHONE: _____

ADDRESS: _____ FAX: _____

CITY: _____ STATE _____ ZIP _____ E-MAIL: _____

APPLICANT: DARIN GOLDSTON PHONE: (505) 362-9001

ADDRESS: 402 INDIAN SCHOOL RD NE FAX: _____

CITY: ALBQ STATE NM ZIP 87102 E-MAIL: darin.goldston@ad.com

Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST: APPEAL OF decision BY DRB, Regarding building permit for APP. complex

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. A ~~Franciscan Acres~~ Block: 9 Unit: _____

Subdiv/Addn/TBKA: Franciscan Acres

Existing Zoning: SU-2/SU-1/PRD Proposed zoning: MX MRGCD Map No _____

Zone Atlas page(s): H14 H15 UPC Code: _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): _____

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO

No. of existing lots: 3 No. of proposed lots: 3 Total site area (acres): 3

LOCATION OF PROPERTY BY STREETS: On or Near: Broadway and Indian School
Between: _____ and _____

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE Darin Goldston DATE 9/25/2012

(Print Name) DARIN GOLDSTON Applicant: Agent:

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>12CC - 30022</u>	<u>Appeal</u>	_____	<u>\$ 190.00</u>
_____	<u>ADU</u>	_____	<u>\$ 50.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____

Revised: 4/2012

Total \$ 240.00

Hearing date _____

[Signature]
Staff signature & Date 9-26-12

Project # 1007649

FORM A: APPEAL/ PROTEST

Appeal to the Zoning Board of Appeals regarding:

- DECISION OF THE ZONING HEARING EXAMINER** (BOA01)

___ Project number of case being appealed: _____

___ Application number of case being appealed: _____

___ Reason for the appeal *

___ Appellant's basis of standing as an appellant *

___ Letter of authorization from the appellant if this application for appeal is submitted by an agent

___ Copy of the Official Notification of Decision regarding the matter being appealed

___ Fee (see schedule)

Appeal to the Landmarks and Urban Conservation Commission regarding:

- CERTIFICATE OF APPROPRIATENESS**
- DECISION OF THE PLANNING DIRECTOR OR STAFF** (LUCCAPP)

___ Project number of case being appealed: _____

___ Application number of case being appealed: _____

___ Reason for the appeal *

___ Appellant's basis of standing as an appellant *

___ Letter of authorization from the appellant if this application for appeal is submitted by an agent

___ Copy of the Official Notification of Decision regarding the matter being appealed

___ Fee (see schedule)

Appeal to the Environmental Planning Commission regarding:

- DECLARATORY RULING OF THE ZONING ENFORCEMENT OFFICER** (EPC09)
- DETERMINATION OF THE IMPACT FEE ADMINISTRATOR** (EPC10)

___ Project number of case being appealed: _____

___ Application number of case being appealed: _____

___ Reason for the appeal *

___ Appellant's basis of standing as an appellant *

___ Letter of authorization from the appellant if this application for appeal is submitted by an agent

___ Copy of the Official Notification of Decision regarding the matter being appealed

___ Fee (see schedule)

Appeal/ Protest to the City Council and/ or the Land Use Hearing Officer regarding:

- ADMINISTRATIVE AMENDMENT/DECISION OF PLANNING DIRECTOR/STAFF (CCSTAFF)**
- DETERMINATION OR ACTION OF THE EPC** (CCEPC)
- DETERMINATION OR ACTION OF THE DRB RE: SUBDIVISION ORD** (CCDRB)
- ACTION OF THE ZONING BOARD OF APPEALS REGARDING AN APPEAL** (CCBOA)
- DECISION OF THE LANDMARKS URBAN CONSERVATION COMMISSION** (CCLUCC)

✓ Project number of case being appealed: 1007649

___ Application number of case being appealed: 12 DRB-70255 Major

✓ Reason for the appeal *

✓ Appellant's basis of standing as an appellant *

___ Letter of authorization from the appellant if this application for appeal is submitted by an agent

✓ Copy of the Official Notification of Decision regarding the matter being appealed

___ Fee (see schedule)

* Criteria for reasonable appeals and criteria for standing as an appellant are given in *Zoning Code §14-16-4-4*. Any appeal must meet these criteria to be heard. The applicant should review these and other relevant documents carefully before preparing an application for appeal.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Darin Goldston
Applicant name (print)

[Signature]
Applicant signature / date



Form revised 04/2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
12 CC - 30022

[Signature] 9-26-12
Planner signature / date

Project # 1007649



September 7, 2012

Mr. Jack Cloud, Chairman
City of Albuquerque
Development Review Board
600 Second Street NW
Albuquerque, New Mexico 87102

Re: **Parcel A (formerly Lots 1 through 3), Block 9, Franciscan Acres**
SE corner of Broadway & Indian School NE
Request for DRB Approval- Site Development Plan for Building Permit
COA Project #1007649, 11EPC 40081, 12DRB-70201, 12DRB-70217, 12DRB-70218

Dear Chairman Cloud:

On behalf of our client, the Greater Albuquerque Housing Partnership (GAHP), The Hartman + Majewski Design Group (DG) is writing to request Development Review Board (DRB) approval of a proposed Site Development Plan for Building Permit for Parcel A (formerly Lots 1 through 3), Block 9, Franciscan Acres at the southeast corner of Broadway and Indian School NE. A Site Development Plan for Building Permit was reviewed by the DRB on September 5, 2012. The following addresses concerns raised and Engineering and Planning comments provided at the hearing.

We have met with Curtis Cherne of Hydrology to address questions on permeable pavement and drainage plan comments.

The plat was recorded on August 30, 2012 and therefore the proposed property lines, easements and ROW dedications are now completed. Recording information has been added to the plan and annotation modified to indicated current platting conditions.

Internal sidewalks have been adjusted to be 6' wide and a separate sheet added to clarify ramps. Pedestrian access and permeable pavement in legend have been clarified to identify specific materials and thicknesses.

A revised Infrastructure list is attached to include the items identified by the Transportation Section.

We respectfully request that the **Development Review Board** review and approve the requested application. Please do not hesitate to contact me at 505-998-6430 if you have any questions or require additional information.

Sincerely,

A handwritten signature in black ink that reads "David A. Aube...".

David A Aube, P.E.
Principal

cc: Louis Kolker, GAHP
Mark Wade, AIA, DG

P:\2439_GAhousingbroadway&idianschool\C2_Agency\DRB SDP for BP Response to Comment
Ltr_2012-09-07.doc



DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. 1007649

TO: Application No. _____

ALL MEMBERS

Jack Cloud, DRB Chairman, Planning Department

Curtis Cherne, P.E., Hydrology

Kristal Metro, P.E., Transportation Development

Allan Porter, P.E., Albuquerque/ Bernalillo Co.WUA

Carol Dumont, Parks/Municipal Development

NEXT HEARING DATE: 9-12-12

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFIINITELY DEFERRED ON A NO SHOW.

SUBMITTAL DESCRIPTION: _____

RECEIVED
SEP 11 2012
HYDROLOGY
SECTION

9:00 AM

CONTACT NAME: _____

TELEPHONE: _____ EMAIL: _____

INFRASTRUCTURE LIST

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: _____
Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: _____
DRB Application No.: _____

INFRASTRUCTURE LIST
EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Plaza Ciudadana

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Lots 1-3, Block 9, Franciscan Acres

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<input type="text"/>	<input type="text"/>	8"	SAS Line	Public Water and SAS	Broadway NE	Private Roadway	/	/	/
				Easement					
<input type="text"/>	<input type="text"/>	8"	Waterline	Public Water and SAS	Broadway NE	Private Roadway	/	/	/
				Easement					
<input type="text"/>	<input type="text"/>	35' F-F	Local Pavement, STd C&G, 6' wide	Private Roadway	Indian School NE	Hammerhead	/	/	/
			Sidewalk (both sides) plus hammerhead						
<input type="text"/>	<input type="text"/>	8"	SAS Line	Private Roadway	30' south	Hammerhead	/	/	/
					Indian School NE				
<input type="text"/>	<input type="text"/>	8"	Waterline	Private Roadway	Indian School NE	Hammerhead	/	/	/
<input type="text"/>	<input type="text"/>		Roadway Modifications	Indian School NE	Broadway NE	East Propoerty Line	/	/	/
			Traffic calming/parking						
<input type="text"/>	<input type="text"/>	6'	Sidewalk	Indian School NE	Broadway NE	West side of Building B	/	/	/
<input type="text"/>	<input type="text"/>	8'	Sidewalk	Indian School NE	West side of Building B	West side of Private Roadway	/	/	/



CITY OF ALBUQUERQUE

City Council

P.O. Box 1293
Albuquerque, NM 87103
Tel: (505) 768-3100
Fax: (505) 768-3227
www.cabq.gov/council

President Trudy E. Jones
District 8

Vice President Debbie O'Malley
District 2

Ken Sanchez
District 1

Isaac Benton
District 3

Brad Winter
District 4

Dan Lewis
District 5

Rey Garduño
District 6

Michael D. Cook
District 7

Don Harris
District 9

Laura Mason
Council Director

November 14, 2012

To all interested parties:

The following appeal is on the agenda of the **Monday, December 3, 2012** City Council meeting, which will begin at 5:00 p.m. in the Vincent E. Griego Chambers, Basement Level, 1 Civic Plaza NW:

AC-12-16 Project# 1007649 - 12DRB-70255 - Darin Goldston et.al. Appeals the Development Review Board's Approval of a Site Development Plan for Building Permit - Hartman & Majewski Design Group Agent(s) for Greater Albuquerque Housing Partnership, for all or a Portion of Lot A, Block 9, Franciscan Acres, Zoned SU-2/ SU-1/ PRD, Located on the South Side of Indian School NE Between Broadway Blvd NE and Edith Blvd NE Containing Approximately 2.99 Acres

The City Council will be voting to either "Accept" or "Reject" the Land Use Hearing Officer's recommended Decision, therefore, public testimony is generally not taken at this time. Should the City Council reject the Land Use Hearing Officer's recommended Decision, the appeal will then be scheduled for a full hearing before the City Council at a date no earlier than the next regular meeting of the full Council.

If you have any questions, I can be reached at 768-3100.

Sincerely,


Crystal Ortega
Clerk of the Council

Attachments:

Land Use Hearing Officer's Recommendation

Staff Comments

Excerpt from the Council's Rules of Procedure

11-15-12

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LAND USE HEARING OFFICER'S RECOMMENDATION

APPEAL NO. AC-12-16
Project # 10076490
11-EPC-40081

DARIN GOLDSTON, Appellant,

HARTMAN & MAJEWSKI DESIGN GROUP, Agents
of Greater Albuquerque Housing Partnership.

I. BACKGROUND

This appeal matter stems from a decision of the Development Review Board (DRB) approving a site development plan for a building permit. The record demonstrates the site development plan was approved well over ten months ago by the Environmental Planning Commission. After reviewing the record, hearing arguments from Darin Goldston, Appellant, and witnesses supporting and opposing the appeal, for the reasons stated below, I find that the appeal should be denied.

The project appealed is a three-acre site located on Indian School Road NE, between Broadway Boulevard NE and Edith Boulevard NE. The proposed site is located in the Central Urban Area of the Comprehensive Plan (the Central Urban Area is a portion of the Established Urban Area), is within the boundaries of the Martineztown, Santa Barbara Sector Development Plan. The site is zoned SU-2/SU-1 for PRD. Because the site carries SU zones, the land owner needed approval from the Environmental Planning Commission to develop the site. The appellant is an abutting property owner.

On November 11, 2011, the Party Opponents to this appeal, Hartman & Majewski Design Group, Agents Of Greater Albuquerque Housing Partnership (Design Group) submitted an

1 application to the City through the EPC to develop the site in conformity with a proposed site
2 development plan. On January 12, 2012, the EPC reviewed the site development plan and
3 determined that the proposed development and the site development plan satisfied the zoning and
4 subdivision regulations. At its public hearing, the EPC, set several conditions of approval, and
5 approved the site development Plan for subdivision. The EPC granted approval for the subdivision
6 of the site into 4 parcels, a dedication land for a public street, and the construction of 68 multi-
7 family residential housing units, associated community support elements, including a leasing office,
8 a community services building, and a park facility accessible to the public. The EPC also delegated
9 final review of the satisfaction of the EPC conditions and building permit approval to the DRB. In
10 addition the EPC made several specific findings including that the Martineztown, Santa Barbara
11 Sector Development Plan' goals and objectives are furthered:

12 "by eliminating conditions which are detrimental to public health, safety, and
13 welfare, improving and expanding affordable housing availability to all
14 families, stabilizing land use patterns, and providing the necessary
15 infrastructure for the development and strengthening of the residential
16 component of the neighborhood."¹
17

18 The record also shows that the Martineztown, Santa Barbara Neighborhood Association supported
19 the Design Groups' application and the EPC's approval of the site development plan.

20 Subsequently, on August 10, 2012, the Design Group submitted an application, and the site
21 development plan for building permit package to the DRB for their approval as required by the EPC.
22 The DRB held a public hearing on the application at its September 5, 2012, public hearing to
23 determine if the approved site development plan was modified to conform to the conditions

¹ See EPC Official Notification of Decision, Finding 8.o., page 65 of the Record. Also see Findings 8.a through 8.n.

1 previously set by the EPC. If so, the DRB was charged with the task of granting the application
2 for a building permit. After public comments and some extensive discussion by the DRB regarding
3 the application, the DRB continued its decision until September 12, 2012, so that the Design Group
4 members could participate in a City facilitated meeting with affected neighborhood associations.²
5 A facilitated meeting with the affected neighborhood association(s) took place on September 10,
6 2012.

7 At the September 12, 2012, DRB public hearing on the matter, the DRB again reviewed the
8 site plan and some additional modifications by the Design Group regarding hydrology, infrastructure,
9 and tree locations. The DRB approved the site development plan for building permit after it made
10 a finding that it conformed with the EPC mandates and City Code. This appeal followed.

11 12 **II. STANDARD OF REVIEW**

13 A review of an appeal is a whole record review to determine if there is error:

- 14 1. In applying adopted city plans, policies, and ordinances in arriving at the decision;
- 15 2. In the appealed action or decision, including its stated facts;
- 16 3. In acting arbitrary, capriciously or manifestly abusive of discretion.

17 The decision and record must be supported by a preponderance of the evidence to be upheld.
18 The Land Use Hearing Officer may reweigh the evidence. The Land Use Hearing Officer's opinion
19 is advisory to the City Council. The Land Use Hearing Officer may recommend that the Council
20 grant, in whole or in part, an appeal, deny, in whole or in part, an appeal, or remand an appeal for
21 reconsideration if the remand is necessary to clarify or supplement the record, or if the remand would

² See Official Minutes of the September 5, 2012 DRB hearing, page 88 of the Record.

1 expeditiously dispose of the matter.³

2 **III. DISCUSSION**

3 The bedrock for this appeal concern the substantive matters decided by the EPC, and have
4 nothing to do with any actions of the DRB hearings in this matter. Appellant makes four basic
5 claims which I understand to be allegations that:

6 1. Appellant's solar rights are impaired and were not considered by the developers and the
7 City;

8 2. Appellant's privacy rights were not considered in approving the site development plan;

9 3. The height of the three story structures is inconsistent with "the historical neighborhood
10 of Santa Barbara/ Martinertown," and;

11 4. The development is contrary to the proposed zoning of a "new Sector plan being
12 implemented by the city for [Martineztown, Santa Barbara] neighborhood."

13 Because the project site carries a Special Use (SU) zone, the EPC has the delegated authority
14 to make the indispensable findings of whether or not the proposed land uses are suitable for the site,
15 the area and the zone. See Section 14-16-2-22(B)(25) of the City's Zoning Code. As stated above,
16 the DRB's role in the development of the Design Group's plans was very limited. The EPC had
17 already approved the site development plan on January 12, 2012. In doing so, after the EPC
18 approved the site development plan, the EPC expressly delegated to the DRB the authority to issue
19 a building permit if the final site development plan conforms to the conditions of EPC approval.
20 The DRB's review of an already approved site development plan shifts to whether or not the

³ See Rules of the Land Use Hearing Officer adopted by the City Council, February 18, 2004. Bill No. F/S OC-04-6.

1 approved plan satisfies the conditions set and whether or not it conforms to the City's technical
2 specifications set out in the City's *Development Process Manual*. The DRB's role shifts to a
3 technical analysis of the plan to determine if the proposed street, infrastructure, drainage and erosion
4 control, grading, and other technical construction criteria are satisfied.

5 The EPC was the reviewing City agency that had authority over setbacks, building height,
6 conformity with zoning and Rank I and Rank II plans, such as the existing Martineztown, Santa
7 Barbara Sector Plan. The appeal deadline to appeal the EPC's January 12, 2012, final decision over
8 these issues and the other issues raised in Appellant's appeal expired months ago. The issues
9 appealed by Appellant have nothing to do with any of the DRB matters it was delegated to review.
10 The substantive matters of Appellant's appeal relate to the EPC's January 12, 2012, decision and are
11 untimely.

12 In support of his DRB appeal, however, Appellant takes the position that he never received
13 notice of the January, 12, 2012, EPC hearing. Notwithstanding, the record was supplemented with
14 a copy of the City's mailing list of property owners entitled to notice of the January 12, 2012, EPC
15 hearing. The City's mailing list included names and addresses of other abutting property owners
16 and neighborhood association representatives, and a mailing address of the property owner of
17 Appellant's abutting residence.⁴ Appellant admitted the address listed in the mailing list was the
18 correct one he receives mail for his physical address.

19 The City's mailing list, Appellant's admissions, and the testimony of Jack Cloud are

⁴ Although the address is a Post Office Box for "Goldston Investment Co LTD," Appellant admitted this was the correct mailing address he receives mail at because the abutting real property is owned by him and his father. I can find no requirement that individualized notice to abutting property owners has to be effected by certified mail. In addition, there is no dispute that Appellant also received notice of the DRB hearings of which he attended.

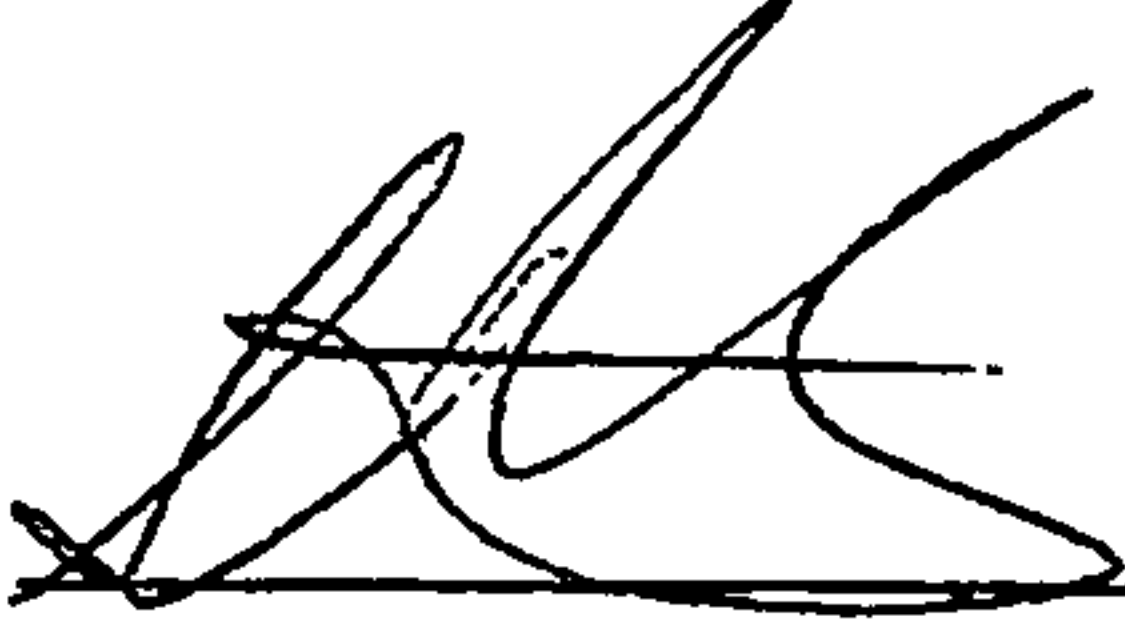
1 sufficient evidence supporting a heavy presumption that the Appellant did receive actual notice of
2 the earlier EPC hearing by the means required in the Zone Code. Appellant has not come forward
3 with any competent evidence to rebut that presumption. Thus, I find that the Appellant had an
4 opportunity to be heard at the January 12, 2012, EPC hearing.

5 Having resolved Appellant's notice contentions, as indicated above, his appeal is untimely
6 insofar as the appeal seeks redress regarding the proposed development affecting alleged solar rights,
7 the setbacks, the height of the structures, and whether or not the development is contrary to the
8 existing Martineztown, Santa Barbara Sector Plan. These issues were resolved by the EPC in a
9 public hearing ten months ago.

10 Regardless of the untimeliness of the appeal issues, although not necessary, because this
11 opinion is only a recommendation to the City Council, I want to take some time to briefly address
12 the substantive issues Appellant presented in his appeal. First, Appellant has not even shown he has
13 perfected any solar rights, or whether he even is eligible for such rights (rights must be in
14 conjunction with collectors and there is no evidence Appellant is a solar user). Moreover, Appellant
15 has not made any showing how the alleged rights are negatively impacted by the approved housing
16 units. Second, Appellant has not shown in any manner that the setback of the proposed buildings
17 negatively affect his privacy rights. I note for the City Council that the closest building structure to
18 Appellant's property line is at least 42 feet; well outside of the setback zoning requirement for the
19 zone. Third and fourth; again, Appellant has not pointed to any specific provision of any ordinance
20 or any approved sector plan that is alleged to be contravened by the approved building heights. If
21 the issues of Appellant's appeal had been timely, the burden of coming forward with evidence and
22 showing the existence of wrongs whether they be due process, ordinance, or sector plan violations,

1 cannot be satisfied alone by unsupported assertions of fact. As indicated above, the appeal must be
2 supported by a preponderance of the evidence.

3 Accordingly, without more, I have no choice but to recommend to the City Council that it
4 deny this appeal for all the reasons stated above. I therefore respectfully recommend to the City
5 Council that it deny this appeal.

6 
7 _____

November 12, 2012

8 Steven M. Chavez, Esq.
9 Land Use Hearing Officer
10

November 14, 2012

The following comments were provided to the City Council by Council staff for the December 3, 2012 Council meeting.

AC-12-16 Appeal of Development Review Board's Approval of Site Development Plan for Building Permit

{ACCEPT OR REJECT}

The property at issue is located on the south side of Indian School between Broadway and Edith. The property is zoned SU-2/SU-1/PRD. The SU-2 designation means that it is within a sector plan. The SU-1/PRD ("planned residential development") zone is a special use zone. In relevant part the SU-1/PRD zone allows "single-family houses, townhouses and apartments."

The proposal is for 68 family rental units on 3 acres. Drawings of the proposed development are shown at several places in the record.

What this case is NOT about:

Prior to approval of a building permit for an SU-1/PRD zone there must be an approved site development plan for subdivision. That plan must include:

"specific design requirements that include, but are not limited to: maximum and minimum number of dwelling units and/or density; maximum and minimum lot size(s); maximum building height; minimum building setbacks; architectural design standards, including but not limited to exterior wall materials and colors, roof materials and colors; placement of mechanical units; preliminary grading and drainage plan; landscape design standards; parking; site lighting; design of walls and fences visible from public rights-of-way; and pedestrian amenities."

§ 14-16-2-22(B)(25)(b).

In January of 2012 the EPC approved the site development plan for subdivision for this property. That approval resolved each of the matters listed in the paragraph quoted above. That approval was not appealed and the issues resolved by that approval are not now at issue.

What this case is suppose to be about:

The DRB's role in approving the site development plan for building permit is to determine if the plan is consistent with the site development plan for subdivision previously approved by the EPC. The DRB does not revisit the EPC decision.

Issues raised in the appeal:

The Appellant challenges the location and height of the proposed development. The assertion is that the development will interfere with privacy and solar rights of adjacent property.

The Appellant asserts that the site plan for building permit should not be approved until there have been amendments to the Martineztown/Santa Barbara Sector Development Plan.

LUHO RECOMMENDATION: The LUHO recommends denial of the appeal. The LUHO recommendation is on two separate bases. First the LUHO finds that the

appeal should be denied on procedural grounds. Second, the LUHO finds that even if the appeal is not denied for procedural reasons there is no merit to the claims made on appeal.

Procedural Issues: The LUHO finds that the issues of height and setback were resolved in January when the EPC approved the site plan for subdivision. The DRB did not have the authority to revisit these issues. That decision of the EPC was not appealed. The LUHO also finds that there is no sector plan that would preclude this development. The claim of the Appellant is that a future sector plan may preclude this project. There is no moratorium on development approvals during the development of the revised sector plan for Santa Barbara/Martineztown. The LUHO recommends denial as the appeal asserts no wrongdoing by the DRB.

Substantive Issues: While the LUHO recommends dismissal based on procedural issues he goes on to note there is no substantive basis for the appeal. He finds no basis for an allegation that the Appellant has solar rights. He finds that given the setbacks that there is no basis for a claim of invasion of privacy by the height of the proposed buildings. Finally, he finds that the Appellant has failed to show that any sector plan has been violated.

Notice: The Appellant asserts he was not notified of the EPC hearing on the matter and therefore could not have challenged the EPC action. The Records from Planning indicate there was timely and proper notice of the EPC hearing.

COUNCIL OPTIONS

1.) A vote to accept the LUHO's Findings and Recommendation will deny the appeal.

2.) A vote to reject the Findings and Recommendation of the LUHO means the matter will be set for hearing before the City Council.

**Excerpt from the City Council's Rules of Procedure (1/2012)
Regarding the Hearing of the Land Use Hearing Officer's
Recommended Decision by the City Council***

The Hearing Officer shall enter his or her findings and recommended decision ("decision") within 5 days after the close of the hearing and shall forward the decision and findings to the parties and the Council within 5 days of entering the decision.

When the Council receives the Hearing Officer's findings and decision, the Council shall place the decision on the agenda of the next regular full Council meeting provided that there is a period of at least 7 days between the receipt of the decision and the Council meeting. The parties may submit comments to the Council regarding the Hearing Officer's decision and findings provided such comments are in writing and received by the Council and the other parties of record four days prior to the Council meeting.

The Council shall vote whether to accept or reject the Hearing Officer's decision and findings. A motion to reject or accept the Hearing Officer's decision and findings must be approved by a majority of the membership of the Council.

The Council may accept the decision and amend the findings of the Hearing Officer if such an amendment is consistent with the decision of the Hearing Officer.

If the Hearing Officer's decision is rejected, the appeal shall be scheduled to be heard by the full Council no earlier than the next regular meeting of the full Council.

If the Hearing Officer rules are in conflict with the Zoning Code, the Zoning Code shall prevail. If the Hearing Officer rules are silent regarding an area that is addressed by the Zoning Code, the Zoning Code shall apply.

*For the complete set of rules that apply to land use appeals, see the City Council Rules of Procedure, which can be viewed on the Council's website at <http://www.cabq.gov/council>

Security Dep

November 28, 2012

Trudy E. Jones, President
City Council
Off ice of the City Council
P.O. Box 1293
Albuquerque, NM 87103

Re: AC-12-16/Project #1007649-12DRB-70255

Dear Councilor Jones,

This is an appeal of a Site Development Plan for Building Permit for AC-12-16, Project #1007649, 12DRB70255 which was approved by the Development Review Board as delegated by the Environmental Planning Commission on September 12, 2012.

The City of Albuquerque Planning Department failed to follow their requirements and process for the appeal to be heard by the Environmental Planning Commission. I ask the City Council to remove this appeal from their agenda or vote to remand it back to the Environmental Planning Commission.

According to the Development Process Manual (DPM), Chapter 15, Appeal Procedures, this case was required to go to the Environmental Planning Commission instead of the Land Use Hearing Office. The review by the LUHO was premature.

The following is the DPM manual requirement for appeal:

14-14-8-4 v. 14-14-3-4 (B)(4)(a)
"Appeal to the Environmental Planning Commission (EPC) – Appeal of Zoning Enforcement Officer, Development Review Board and other City Planner/Planning Director administrative decision is to the EPC. Written application for the appeal must be submitted to the Development Services Division within fifteen (15) days of the decision. The appeal must be heard by the EPC within 60 days of filing." (City of Albuquerque Development Process Manual, Chapter 15)

Other requirements, I would like to bring to your attention is the following Neighborhood Ordinance:

According to City of Albuquerque Neighborhood Association Ordinance, Section 14-8-2-5,
"the recognized neighborhood association by interaction with their members, residents and the city, strive to uphold good planning, protect the environment, and promote the community welfare. Communication should be fostered between the recognized neighborhood association and city government on plans, proposals, and activities affecting their area. Attempt to inform members and other eligible participant in their neighborhood of issues of discussion. Establish an orderly and democratic means for making representative decision."

The official neighborhood association has never informed the property owners of their decision. The neighborhood failed to follow policy to establish and follow a clear method for reporting to

the city actions which accurately reflect the neighborhood's position. The neighborhood association should have presented how the board prepared to identify whether the decision was reached by the board, a poll of the general membership or by a vote at a general membership meeting and the vote for and against the position to develop apartments. The neighborhood has a responsibility to inform and ask the nearby residents for their approval. There is no record of any meetings with GAHP and the neighborhood association to show that these meetings took place since the neighborhood association has not met its quorum requirements for several years.

In addition the Neighborhood Notice Ordinance outlines procedures for development projects, the City of Albuquerque, is required to notify the neighborhood association and property owners within 100 feet. I was not properly notified, and I feel I did not have adequate time to prepare. The applicant changed his request in January 2012 and the City failed to notify me of these changes. The City has a process and it was not followed.

The DRB provides a copy of labels but has no record of certified mail. There is no substantial evidence that a notice was sent to my address. The process to notify nearby residents by certified mail is a legal process required by all public hearings held by the City Planning Department except DRB. There needs to be further investigation by the City of Albuquerque in regards to this failed process. The City Development Process Manual states that they shall send first class mail but fails to demonstrate if the mail was sent to my address other than a copied label. There is no substantial evidence of this mailing.

The Subdivision requires adherence in the following manner:

§ 14-14-1-3 PURPOSE AND INTENT.

The public health, safety, comfort, convenience, and general welfare of the people of the city require the harmonious, orderly, and coordinated development of land within the city and its planning and platting jurisdiction. In furtherance of this purpose, this article provides for control by the city of the subdivision of land. The intent of such control is to secure:(A) Coordination of land development in accordance with orderly physical patterns as stated in the Albuquerque/Bernalillo County Comprehensive Plan, and such further plans, policies, and ordinances as may have been or may hereafter be adopted by the City Council;(B) Adequate provision for light and air, solar access, public open spaces, water supply, drainage, flood control, sanitation including sewer service, and other public facilities;(C) Economy for governmental purposes and efficiency in governmental operations;(D) Minimization of traffic hazards and provision of safe, convenient circulation of people, goods, and vehicles;(E) Accurate and complete surveying, and preparation and recording of plats thereof; and(F) Safety and suitability of land for the development contemplated.

This new proposal is not harmonious, orderly with historic Martineztown/Santa Barbara. The public health, safety, comfort, convenience and general welfare is diminished by allowing high density and high volume of traffic in this area. In addition, any evidence of an adequate and thorough review of the current proposal.

“§ 14-14-2-2 CONFORMANCE WITH PLANNING AND ZONING.

(A) Planning. The arrangement, character, extent, width, grade, and location of all streets and the general nature and extent of the lots and uses proposed shall conform to the Albuquerque/Bernalillo County Comprehensive Plan and any other adopted plan, including but not limited to the Long Range Major Street Plan and other facility plans. No plat shall be approved if it contains elements clearly and significantly inconsistent with the adopted plans.”

Furthermore, I request that the City Council reject Land Use Hearing Officer’s recommendation based on the DPM appeal requirements, no substantial evidence of notification and based on the City failed to apply the following adopted City Plans, policies, and ordinances:

The Albuquerque/Bernalillo Comprehensive Plan requires compliance in the following manner:

The Albuquerque/Bernalillo Comprehensive Plan states that the redevelopment of adjacent neighborhoods to downtown should be a public, private and neighborhood residents partnership and not with a few selected members of the neighborhood association whose best interest apparently is not to inform the nearby neighborhood property owners of a proposed development that is not cohesive with the rest of the historical neighborhood. The neighborhood association and the Greater Albuquerque Housing Partnership should have notified nearby residents. These organizations should have provided an effective community planning process to provide the most suitable public participation for this development before construction begins in developing high density apartments that is detrimental to the health, safety and welfare of the neighborhood. Most importantly, a high density apartment is an incompatible use for this area.

The City of Albuquerque and GAHP each failed to effectively integrate and coordinate this project through effective community involvement to preserve the Martineztown/Santa Barbara Neighborhood unique character. The City of Albuquerque has failed to place regulations or follow its own policies to protect the historic area of Martineztown/Santa Barbara Neighborhood. (See Policy I.B.6., page I-25, Central Urban Area –Redevelopment, See also the goal of the Martineztown/Santa Barbara Neighborhood Sector Plan 1990, page 7)

The height, mass and volume of the structures are significantly larger than the other existing residences and therefore this site plan should be located downtown not in an historic neighborhood. There is no evidence to assure me that my solar rights will not be impacted. **(See Policy II, 3. Environment. Policy c, 4) encourage housing design and orientation to enable each unit to take advantage of solar energy , wind shelter and other microclimatic characteristics;5)Encourage use of vegetation to maximize natural shading and cooling in summer and allow penetration of sun for solar heating in winter.)**

The amount of traffic this development will bring to the area and the excessive and prolonged traffic congestion it will create will aggravate an already high air quality issues at this area. Also, the increase in traffic will bring more noise to the area and will directly affect the nearby residents. The amount of noise from the Interstate 40 is already extreme to include a 3 acre

parcel with 68 units and over 100 vehicles is a noise conflict. (See IC.1. Air Quality, I.C.4. and Policy I.4.a)

Policy II.B.5.a. The developing Urban and Establish Urban Areas as shown by the Plan map shall allow a full range of urban land uses, resulting in an overall gross density up to 5 dwelling units per acres.

The applicant and the City of Albuquerque considered this request without acknowledging the ongoing process regarding the draft updated Martineztown/Santa Barbara Neighborhood Sector Development Plan. There was no public, private and neighborhood cooperation in preparing this site development plan for subdivision. The NRC zoning was established in error. The description of the NRC states low density apartments, but the site plan is for medium density apartments. The sector plan is zoning for this area is in error and does not allow medium density apartments. (See the 1990 MT/SB Sector Plan, NRC zoning)

Policy II.B.b, Developing Urban Areas shall be subject to special requirements for low-density holding zones to allow for sector planning, special design treatments, and phasing of infrastructure in keeping with capital improvements priorities.

The site plan for subdivision does not follow the adopted Martineztown/Santa Barbara Sector Plan to preserve this area characteristic as well does not allow high density apartments. This area should have been subject to special requirement for low density holding zone. The City failed to follow this policy. The proposed development is not in character, the zoning is inappropriate next to single family residential land uses, the design is out of character with the area and the infrastructure cannot accommodate such an intense use.

The Martineztown/Santa Barbara Neighborhood Sector Plan states, "The goal of the Martineztown/Santa Barbara Sector Development Plan is to promote the preservation and enhancement of a traditional community. A sincere commitment and coordinated effort combining public and private resources and action will be necessary to insure successful implementation of Plan goals and objectives. (MT/SB Sector Development, page 7) Obviously, there was no sincere commitment by GAHP to develop housing that is cohesive with the neighborhood. The established residential uses are not two stories or three stories it is one story single family residential. I would also like to mention that that a historic home was demolished at this site and the City Planning Department failed to mention any review of this home in the record. (See I.B.5., Historic Resources, the Goal is to protect, reuse, or enhance significant historic districts and buildings).

The DRB approval of this subject site development plan for building permit is based on mandates by the EPC. The EPC and the DRB did not conform to Development Process Manual, and City plan, policies and ordinances or the City Zoning Code.

I ask that the City Council to remove this item from the agenda or reject the recommendation by the Land Use Hearing Officer's recommended decision and remand the appeal to the Environmental Planning commission based on the following:

The EPC, DRB and the Land Use Hearing Officer failed to follow and apply adopted city plan, policies, and ordinances in arriving at the decisions;

There was an error in the appealed action or decision, including its stated facts by the EPC, DRB and LUHO

The EPC, DRB, and LUHO acted arbitrarily, capriciously, and manifestly abusive of their discretion.

I request that I have the right to exercise my due process along with my neighbors to be heard by the City Council Monday, December 3, 2012.

I would like to ensure that my due process are exercised so I ask for an effective process that provides input and encourages effective participation in the site development plan for building permit for the Indian School and Broadway development.

I respectfully ask that this item be removed from the City Council, Monday December 3, 2012 agenda.

Sincerely,

Darin Goldston

pc: City Councilors

American Legal Publishing Corporation

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City of Albuquerque

PLANNING DEPARTMENT

Richard J. Berry, Mayor

Interoffice Memorandum

October 12, 2012

To: Trudy Jones, President, City Council

From: Suzanne G. Lubar, Acting Director 

Subject: AC-12-16 – Project# 1007649 – 12DRB-70255 - Darin Goldston et.al. appeal
THE DEVELOPMENT REVIEW BOARD'S APPROVAL OF- SITE DEVELOPMENT
PLAN FOR BUILDING PERMIT HARTMAN & MAJEWSKI DESIGN GROUP agent(s)
for GREATER ALBUQUERQUE HOUSING PARTNERSHIP request(s) the referenced/ above
action(s) for all or a portion of Lot(s) A, Block(s) 9, FRANCISCAN ACRES zoned SU-2/ SU-1/
PRD, located on the south side of INDIAN SCHOOL NE beyween BROADWAY BLVD NE and
EDITH BLVD NE containing approximately 2.99 acre(s). (H-14, H-15)

This is an appeal of a Site Development Plan for Building Permit (the "DRB Project") which was approved by the Development Review Board (DRB) on September 12, 2012. The appellants include the owner of property abutting the DRB Project who has standing in accordance with the Zoning Code, and the appeal was filed within the 15 day appeal period. The Code further allows for one or more of the following alleged errors as a basis of appeal:

- (A) Error in applying adopted city plans, policies. and ordinances in arriving at the decision;
- (B) Error in the appealed action or decision, including its stated facts;
- (C) Error in acting arbitrarily or capriciously or being manifestly abusive of discretion.

There are several issues raised in the appeal, but for the most part they relate to the entitlements of a Site Development Plan for Subdivision which was approved by the Environmental Planning Commission (EPC) on January 12, 2012. The Board found that the DRB Project conforms to that approved Site Plan for Subdivision, and there has been no argument presented in the appeal as to nonconformance with that site plan, the underlying zoning, or any adopted plans, policies or ordinances.

BASIS OF APPEAL

Below is a list of the appellant's arguments (**in bold text**) followed by responses from the City of Albuquerque Development Review Board.

1. **The solar rights of the adjacent appellant property were ignored.**

When a site is zoned Special Use/ SU-1, the height limits and setbacks are established by the approval of a site development plan. The Site Plan for Subdivision approved by the EPC in January

established the location, height, and setbacks of the buildings that were approved by the DRB. There will be a 35 foot setback from the nearest building on the DRB Project site to the property line of the appellant property immediately east of the DRB Project site (402 Indian School Rd NE), and that building will only be two stories/ 26 feet 3 inches high. The nearest three story building will be setback 70 feet from that property line and will be 37 feet high. This is a relatively generous consideration for the appellant property based on standard single family height limits of 26 feet with a 5 foot setback. The appellant property does not have established solar rights per Chapter 14, Article 11 of the Zoning Code.

2. The privacy rights of the adjacent appellant property were ignored.

As stated in the previous appeal item 1., the height and setback of the DRB project were established by the Site Plan for Subdivision approved by the EPC on January 12, 2012 and are more generous to the adjacent appellant property than standard single family height and setback requirements (there will also be a 35 foot setback from the nearest building on the DRB Project site to the property line immediately south – this would have no impact on solar access). It has not been demonstrated which rights are being abridged or ignored by the DRB project. In addition, the Site Plan for Subdivision calls for a 5 foot 4 inch wall and landscaping strip with trees abutting the appellant property, which is not a requirement in single family development. The appellant is allowed to build up to an 8 foot wall and provide additional landscaping on the appellant's side if more privacy is desired.

3. The City needs to take a closer look at this [sic. 'the DRB project'] before they make a decision on what they are going to implement or not implement concerning the MTSB - Martineztown/ Santa Barbara Neighborhood [sic. 'proposed sector development plan'].

The appellant seems to be making an appeal for a moratorium on development while the proposed update to the current sector development plan is under review. However, the sector plan update will not be heard again by the Environmental Planning Commission until February of next year, and the EPC was aware of the proposed update when it approved the Site Development Plan for Subdivision (Pg 12 of appellants' submittal).

The appellants provided several documents in the appeal, some of which are responded to as follows:

Pg 2 thru 7 – Petitions were referenced at the DRB hearing of September 5, but they were *not* submitted to the Board

Pg 8 thru 13 – this is reference to the EPC decision on the Site Development Plan for Subdivision, which was *not* a subject of the DRB hearing for building permit; Appellant Pg 13 references comments direct from Albuquerque Public Schools stating there *is* excess capacity in local schools

Pg 16 thru 18 – the DRB *did* defer the request to allow a facilitated meeting (Appellant Pg 19-25)

CONCLUSION

The DRB held a fair public hearing without acting arbitrarily, capriciously, or by abusing its discretion. The project applicant demonstrated conformance with the EPC approved Site Development Plan for Subdivision, as well as conformance with adopted City policies and

regulations. All interested parties were given an opportunity to comment on the DRB Project and it was initially deferred to allow for a facilitated meeting; however, the objections raised in the appeal are based in part on an internal political struggle within the neighborhood, and in part on the zoning entitlements which were previously approved by the EPC and not the request which was before the DRB.

The Planning Department supports the DRB's decision and respectfully recommends denial of the subject appeal.

APPROVED:



Jack Cloud, Chair
Development Review Board

SHARE: COUNCIL/APPEAL/2012/AC-12-16

TABLE OF CONTENTS

AC-12-16

	<u>PAGE (S)</u>
APPEAL APPLICATION/REASON FOR APPEAL	1 - 46
DRB NOTIFICATION OF DECISION, September 12, 2012.....	47 - 48
DRB APPROVED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT.....	49 - 61
EPC NOTIFICATION OF DECISION, January 12, 2012.....	62 - 68
EPC APPROVED SITE DEVELOPMENT PLAN FOR SUBDIVISION.....	69 - 73
DRB MINUTES, September 5, 2012.....	74 - 89
DRB APPLICATION	90 - 102
DRB STAFF REPORT	103 - 104
DRB MINUTES, September 12, 2012.....	105 - 106
FACILITATED MEETING REPORT, September 11, 2012.....	107 - 113
SUPPLEMENTAL EMAILS.....	114 - 123
NOTICE OF APPEAL	124 - 125



SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

Supplemental Form (SF)

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- APEAL / PROTEST of...**
Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): _____ PHONE: _____
 ADDRESS: _____ FAX: _____
 CITY: _____ STATE _____ ZIP _____ E-MAIL: _____

APPLICANT: DARIN GOLDSTON PHONE: (505) 362-9001
 ADDRESS: 402 INDIAN SCHOOL RD NE FAX: _____
 CITY: ALBU STATE NM ZIP 87102 E-MAIL: darin.goldston@aia.com
 Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST: APPEAL OF decision BY DRB, Regarding building permit for APP. complex

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 1 ~~Franciscan Acres~~ Block: 9 Unit: _____
 Subdiv/Addn/TBKA: Franciscan Acres
 Existing Zoning: SU-2/SU-1/PRD Proposed zoning: MX MRGCD Map No _____
 Zone Atlas page(s): H14 H15 UPC Code: _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): _____

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 3 No. of proposed lots: 3 Total site area (acres): 3

LOCATION OF PROPERTY BY STREETS: On or Near: Broadway and Indian School
 Between: _____ and _____

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE Darin Goldston DATE 9/25/2012
 (Print Name) DARIN GOLDSTON Applicant: Agent:

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING**
- All checklists are complete
 - All fees have been collected
 - All case #'s are assigned
 - AGIS copy has been sent
 - Case history #'s are listed
 - Site is within 1000ft of a landfill
 - F.H.D.P. density bonus
 - F.H.D.P. fee rebate

Application case numbers
12CC - 30022

Action	S.F.	Fees
<u>Appeal</u>	—	\$ <u>190.00</u>
<u>ADU</u>	—	\$ <u>50.00</u>
—	—	\$ _____
—	—	\$ _____
—	—	\$ _____

Revised: 4/2012

Total
 \$ 240.00

Hearing date _____

9-26-12
 Staff signature & Date

Project # 1007649

FORM A: APPEAL/ PROTEST

Appeal to the Zoning Board of Appeals regarding:

- DECISION OF THE ZONING HEARING EXAMINER (BOA01)

Project number of case being appealed:
Application number of case being appealed:
Reason for the appeal *
Appellant's basis of standing as an appellant *
Letter of authorization from the appellant if this application for appeal is submitted by an agent
Copy of the Official Notification of Decision regarding the matter being appealed
Fee (see schedule)

Appeal to the Landmarks and Urban Conservation Commission regarding:

- CERTIFICATE OF APPROPRIATENESS
DECISION OF THE PLANNING DIRECTOR OR STAFF (LUCCAPP)

Project number of case being appealed:
Application number of case being appealed:
Reason for the appeal *
Appellant's basis of standing as an appellant *
Letter of authorization from the appellant if this application for appeal is submitted by an agent
Copy of the Official Notification of Decision regarding the matter being appealed
Fee (see schedule)

Appeal to the Environmental Planning Commission regarding:

- DECLARATORY RULING OF THE ZONING ENFORCEMENT OFFICER (EPC09)
DETERMINATION OF THE IMPACT FEE ADMINISTRATOR (EPC10)

Project number of case being appealed:
Application number of case being appealed:
Reason for the appeal *
Appellant's basis of standing as an appellant *
Letter of authorization from the appellant if this application for appeal is submitted by an agent
Copy of the Official Notification of Decision regarding the matter being appealed
Fee (see schedule)

Appeal/ Protest to the City Council and/ or the Land Use Hearing Officer regarding:

- ADMINISTRATIVE AMENDMENT/DECISION OF PLANNING DIRECTOR/STAFF (CCSTAFF)
DETERMINATION OR ACTION OF THE EPC (CCEPC)
DETERMINATION OR ACTION OF THE DRB RE: SUBDIVISION ORD (CCDRB)
ACTION OF THE ZONING BOARD OF APPEALS REGARDING AN APPEAL (CCBOA)
DECISION OF THE LANDMARKS URBAN CONSERVATION COMMISSION (CCLUCC)

Project number of case being appealed: 1007649
Application number of case being appealed: 12 DRB - 70255 Major
Reason for the appeal *
Appellant's basis of standing as an appellant *
Letter of authorization from the appellant if this application for appeal is submitted by an agent
Copy of the Official Notification of Decision regarding the matter being appealed
Fee (see schedule)

* Criteria for reasonable appeals and criteria for standing as an appellant are given in Zoning Code §14-16-4-4. Any appeal must meet these criteria to be heard. The applicant should review these and other relevant documents carefully before preparing an application for appeal.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

DARIN GOLDSTON
Applicant name (print)
[Signature]
Applicant signature / date



Form revised 04/2007

- Checklists complete
Fees collected
Case #s assigned
Related #s listed

Application case numbers
12 CC - 30022

Planner signature / date
Project # 1007649

Dear City Council, or Land use Hearing Officer

There are many reasons myself, and many other residents are appealing the decision by the DBR for approval of a building permit, for project # 1007649. All of which have been attached with the application. My basis of standing as an applicant, is that the proposed project is located next door to my property. My solar rights were not taken into consideration when the EPC and the DRB approved three story apartment buildings, Thirty five plus feet high, next door to my home. Not only do I lose my solar rights, but I lose my privacy rights as well! There is not a single three story building of any type located within the historical neighborhood of Santa Barbara/ Martineztown. Also there is a new Sector plan being implemented by the city for MTSB neighborhood which would change the current zoning of the proposed building site. This zone change has a building height limit of 22 feet. This is a huge contradiction by the city to allow three story to be built while implementing a zone change that doesn't allow any structure over 22 feet!

#1 My solar rights have been ignored

#2 My privacy rights have been ignored

#3 The City needs to take a closer look at all of this before they make a decision on what they are going to implement or not implement concerning MTSB neighborhood.

Thank you Darin Goldston

Respectfully,

Vickie Early
212 Arvada Ave NE
Albuquerque, NM 87102
505-306-0655
realmofpossibility@gmail.com

Darin Goldston
402 Indian School Rd NE
Albuquerque, NM 87102
daringoldston@aol.com
505-362-9001

Sonia Rascon
305 Arvada Ave NE
Albuquerque., NM 87102
505-688-8053

Contents:

Pg 1 – Letter

Pg 2 thru 7 – Petition showing non-notification

Pg 8 – Pg 2 of EPC Hearing, showing project is noted as affordable ownership, which it is not. It is 86 apartments.

Pg 9 – EPC Hearing; This is built with low-income tax credits. Neighborhood approval given, without notification to residents, by Santa Barbara Martinez Town Neighborhood Association,

Pg 10 – EPC Hearing; Neighborhood approval given without notification to residents, by Santa Barbara Martinez Town Neighborhood Association,

Pg 11- EPC Hearing; Neighborhood approval given without notification to residents, by Santa Barbara Martinez Town Neighborhood Association,

Pg 12 – EPC Hearing; New Sector Plan in process (with Santa Barbara Neighborhood Association approval), and no notification to residents. We (the neighborhood and petition signers), got a 6 month deferral with instructions from the Chair of Environmental Planning Commission, for City Planning to work up a plan that reflected the vision of the residents, and not a certain city councilman, on the record. A possible conflict of interest, as Isaac Benton is part of the design group for apts, and a new 12 acre high-density, multi-use project in the planning, providing the new sector plan Isaac Benton birthed, paid his own private planning team to develop, goes through.

Pg 13- EPC Hearing; Albuquerque High School is overcrowded as per a recent news story on KOB, not what this report says.

Pg 14 – Letter of approval from Santa Barbara Martinez Town Neighborhood Association. No one asked the entire neighborhood about this project ever.

Pg 15 – Developmental Review Board Decision (DRB)- depriving us of due process and a voice.

Pg 16 – Letter requesting a deferral from DRB, in which our opinion made no difference.

Pg 17,18 - Letter requesting a facilitated meeting from DRB, in which our opinion made no difference.

Pg 19 thru 25 – Minutes of facilitated meeting.

Pg 26 - Letter to Mayor Berry.

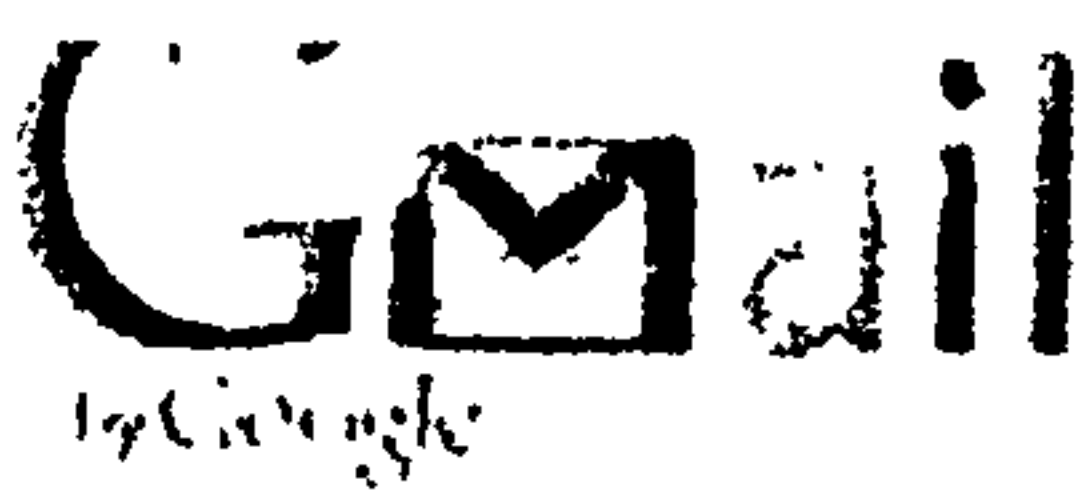
Pg 27 – Letter from Darin Goldston to Environmental Planning Commission.

Pg 28– Sector plan letter to City Planning that barely saved us.

Pg 29, 30, 31 – Petitions attached to City Planning Sector Plan letter.

Pg 32 thru 39 – The reason Isaac Benton is pushing this new sector plan.

Pg 40 – Isaac Benton is part of the design group of both projects, the 86 apartments, and the 12 acre multi-use apartment plan.



Non notification of stakeholders regarding a low-income apt complex @ Indian School between Broadway and Edith.

Vickie <realmofpossibility@gmail.com>

Wed, Sep 5, 2012 at 2:02 PM

To: mayorberry@cabq.gov

Cc: Darin <daringoldston@aol.com>, Roxanna Meyers <RoxannaM@csbsigns.com>

Dear Mayor Berry,

At this point I represent over 100 residents in the Santa Barbara Martinez Town area that have been totally dis-enfranchised, and deprived of any say or due process as to the direction of our neighborhood. I am including information that we gave at a hearing for the building permit, and we were treated like we weren't even in the room, because the issue already went before the EPC commission and was approved. It was approved only because we were NOT informed of the meetings, the issue, or even that these apartments were being built in our midst. It is easy to push agendas through with no opposition, when you don't notify anyone who would oppose you! So, now, we are out in the cold without a voice at all. I have petitions signed, and yes, we would have been involved in the process, if only we had been informed of this happening. I have enclosed letters that we wrote to Jack Cloud, Chairman of the DBR, and also the facts about the lack of notification of this project I presented or at least tried to present, before I was told to stop. We apologize to the DRB for not following procedure, but when you are not notified of anything, that is pretty difficult to do. This is such a nightmare that any input of ours is rejected. There is also a conflict of interest issue I believe, regarding Isaac Benton, (who is a partner with the architectural group), and a board member of our neighborhood association (who is a consultant to Greater Albuquerque Housing Partnership). The Santa Barbara Neighborhood Association gave their approval to this project, all 6 to 10 members, without notifying the rest of the community they are supposed to represent. **There had to be false testimony provided at the EPC Hearings, either written or in person, because the approval of this community was given!!! We did not give it, no one asked.** This community is not against development, low-income or otherwise, but truly a low-income, 3 story, 68 unit apartment project is not the best idea, for the Indian School Frontage Road, between Broadway and Edith, nor for our neighborhood. This area has many issues, from crime to traffic accidents, at this very intersection.

We greatly appreciate the work you do for the little person. We have been reminded of how little we are!!! Please let us know what you think, if anything can be done at this point. Any input from you will be greatly appreciated!!!

Sincerely,
Vickie Early
212 Arvada Ave NE
Albuquerque., NM 87102
505-306-0655

4 attachments

USE #1

5-1-12 We, The Residents, of the Santa Barbara Martineztown/Franciscan Acres area OPPOSE the proposed building and development of LOW-INCOME APARTMENTS on Indian School between Broadway and Edith. We SUPPORT development of Low Income Single Family Housing, NOT APARTMENTS. We did not receive notification of the apartments being built, even though the Santa Barbara Martineztown Neighborhood Association, gave notice to GAHP supporting the apartments, without notifying the Stakeholders!!!

CRSE # 1007649, 12 DRB 70255

pg 1 of 4

Printed Name	Signature	Address	Phone #	Email Address
1 Barbara Stone	Barbara Stone	2130 Avenida Uva	247-9348	None
2 C. Carriere	C. Carriere	209 Avenida	505-243-553	None
3 Martin Julians	Martin Julians	203 Avenida	505-907-0352	None
4 Gerald Chavez TR	Gerald Chavez TR	203 Avenida	306-8412	None
5 Vetr. W A RENS	Vetr. W A RENS	2109 Commercial	967-29-78	None
6 Felina Cordova	Felina Cordova	204 Avenida	410-6817	None
7 Dena M. Bora	Dena M. Bora	216 Avenida NE	688-5656	None
8 Elizabeth Dennis	Elizabeth Dennis	214 Avenida NE	435-2575	None
9 Mary Saiz	Mary Saiz	214 Avenida NE	315-6513	None
10 Lynda Comitz	Lynda Comitz	330 Avenida NE	366-3344	None

9-1-12
 APPROVE SINGLE FAMILY DWELLINGS
 APPROVE 1007649, 12 DRB 70255

Printed Name	Signature	Address	Phone #	Email Address
(11) Margaret S. Rinehart	<i>Margaret S. Rinehart</i>	2123 Broadland Blvd NE	243-5753	<i>mrinehart@yale.edu</i>
(12) CHRISTINA MONTANA	<i>Christina Montana</i>	2101 Broadway NE	967-2508	<i>Alpmon@yale.edu</i>
(13) James J. P. A. D.	<i>James J. P. A. D.</i>	314 Avenida NE	243-2359	<i>atell@yale.edu</i>
(14) Rebecca Smith	<i>Rebecca Smith</i>	306 Aracola NE	575 635 0073	<i>rebecca.smith@yale.edu</i>
(15) Jason Conitz	<i>Jason Conitz</i>	330 Avenida NE	505 922 5199	<i>conitz@yale.edu</i>
(16) Taylor	<i>Taylor</i>	325 Avenida NE	505-573-7258	<i>taylor@yale.edu</i>
(17) Shasha L.	<i>Shasha L.</i>	343 Aracola Ave NE	505-610-0559	<i>shasha@yale.edu</i>
(18) Robert B. Bivand	<i>Robert B. Bivand</i>	350 Avenida NE	505 818 3898	<i>rbivand@yale.edu</i>
(19) Beatrice Becker	<i>Beatrice Becker</i>	358 Avenida NE	282-2701	<i>beatrice@yale.edu</i>
(20) ⁵⁸¹ 581 Martinez	<i>Martinez</i>	341 Avenida NE		<i>martinez@yale.edu</i>
(21) Isabel Vigil	<i>Isabel Vigil</i>	334 Avenida NE	243-4728	<i>isabel@yale.edu</i>
(22) Supraperna	<i>Supraperna</i>	311. Av. W. de. N.E.	505-615-4069	<i>supraperna@yale.edu</i>
(23) Justin Killingsworth	<i>Justin Killingsworth</i>	2200 Broadway	505-217-6667	<i>killingsworth@yale.edu</i>
(24) Andriusbar	<i>Andriusbar</i>	2207 Goodway	505-261-1338	<i>andriusbar@yale.edu</i>
(25) Corinne Garcia	<i>Corinne Garcia</i>	2203 Broad way	343-8039	<i>corinne@yale.edu</i>
(26) Zoepi: o Robles	<i>Zoepi: o Robles</i>	218 Avenida NE	414-1603	<i>zoepi@yale.edu</i>
(27) Marnie McCoy	<i>Marnie McCoy</i>	330 Avenida N.E.	505 3074679	<i>marnie@yale.edu</i>
(28) John Chavez	<i>John Chavez</i>	2302 Commercial	730-5764	<i>john@yale.edu</i>
(29) Jim Allen	<i>Jim Allen</i>	2309 Commercial	710-0279	<i>allen@yale.edu</i>

9-1-12 Oppose LOW INCOME APTS - APPROVE SINGLE FAMILY DWELLINGS
 CASE # 1007649 12 BRG NO 255

12/5/12

Printed Name	Signature	Address	Phone #	Email Address
(30) Jesus Martinez	<i>[Signature]</i>	210 Prospect Ave NE	505-306-6781	
(31) Susan Harrington	<i>[Signature]</i>	221 Prospect Ave NE	505 343-9614	fridor@pal.com
(32) Karen M. Worchka	<i>[Signature]</i>	2403 Broadway NE	842-5672	
(33) Steve Wendorf	<i>[Signature]</i>	2407 Broadway NE	842-8412	
(34) Beau Tappan	<i>[Signature]</i>	2407 Broadway NE	842-8412	
(35) Lucette Stewart	<i>[Signature]</i>	2406 Broadway NE	842-4097	wrong #
(36) Therese <i>[Signature]</i>	<i>[Signature]</i>	212 Cherokee Ave NE	316-0655	
(37) Karen S Salazar	<i>[Signature]</i>	219 Arvada Ave NE	843-9021	
(38) Carl Salazar	<i>[Signature]</i>	215 Arvada Ave NE	843-9021	
(39) Joseph <i>[Signature]</i>	<i>[Signature]</i>	210 Cutler Ave NE	712	NO #
(40) Andrew <i>[Signature]</i>	<i>[Signature]</i>	220 Cutler Ave NE	243 318 48	
(41) John <i>[Signature]</i>	<i>[Signature]</i>	221 Cutler Ave NE	243-6513	Call back No #
(42) Dani <i>[Signature]</i>	<i>[Signature]</i>	215 Cutler Ave NE	243-1584	
(43) Ryan <i>[Signature]</i>	<i>[Signature]</i>	211 Cutler Ave NE	270-1405	
(44) Yuel <i>[Signature]</i>	<i>[Signature]</i>	205 Arvada Ave NE	836 2408	
(45) Tony <i>[Signature]</i>	<i>[Signature]</i>	210 1/2 Arvada Ave NE	410-5927	
(46) Juan <i>[Signature]</i>	<i>[Signature]</i>	216 Kennedy Ave NE	786 5985	
(47) George <i>[Signature]</i>	<i>[Signature]</i>	334 Cutler Ave NE	430-5552	

apart low-income apts - approve single family due lings

48	BREDDA L. MALON	Emelinda Malone	338 Custer NE	504-3677	
49	Rob Montoya	Rob Montoya	329 Custer NE	410-4111	
50	Juan Garcia	Alfonso	318 Custer NE	315-1707	
51	Tracy Scott	Tracy Scott	318 Custer NE	459-1984	
52	Juan Beckett	Joe Segura	310 Custer NE	440-3435	
53	Manuel Laver	Manuel Laver	2201 Broadway NE #1	450-3294	
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Indian School between S. Hwy + Indian School

9-1-12 We, The Residents, of the Santa Barbara Martineztown/Franciscan Acres area OPPOSE the proposed building and development of LOW-INCOME APARTMENTS on Indian School between Broadway and Edith. We SUPPORT development of Low Income Single Family Housing, NOT APARTMENTS. We did not receive notification of the apartments being built, even though the Santa Barbara Martineztown Neighborhood Association, gave notice to GAHP supporting the apartments, without notifying the Stakeholders!!!

Printed Name	Signature	Address	Phone #	Email Address
1. JOSEPH ASHE	<i>Joseph Ashe</i>	1919 EDITH NE	525 2425313	
2. Sherrey Jackson	<i>Sherrey Jackson</i>	333 McKnight NE	525 2422342	
3. Darryl J. ASHE	<i>Darryl J. Ashe</i>	" "	242.5313	
4. Anthony A. Masters	<i>Anthony A. Masters</i>	335 McKnight NE	353-2747	
5. Alan M ASHE	<i>Alan M Ashe</i>	" "	242-5313	
6. JIM GOLDSEN	<i>Jim Goldsen</i>	402 INDIAN SCHOOL RD	30-9001	
7. MARCY ASHE	<i>Marcy Ashe</i>	" "	379-6150	
8. JAMES CERICOVA	<i>James Cerico</i>	309 MCKNIGHT NE	765-5458	
9. Betty Suarez	<i>Betty Suarez</i>	315 McKnight NE	543-6032	
10.				

9-1-12 We, The Residents, of the Santa Barbara Martineztown/Franciscan Acres area OPPOSE the proposed building and development of LOW-INCOME APARTMENTS on Indian School between Broadway and Edith. We SUPPORT development of Low Income Single Family Housing, NOT APARTMENTS We did not receive notification of the apartments being built, even though the Santa Barbara Martineztown Neighborhood Association, gave notice to GAHP supporting the apartments, without notifying the Stakeholders!!!

Printed Name	Signature	Phone #	Email Address
1.			
2. <i>Carly Sweet</i>	<i>CAROL SWEET</i>		
3. <i>Cott Seedy</i>	<i>COTT SEEDY</i>	505-244-5533	
4. <i>Sevin Sen</i>	<i>Sevin Sen</i>	323-2454	
5. <i>Kim Lyons</i>	<i>Kim Lyons</i>	264-0202	
6. <i>Amel Mayhew</i>	<i>Amel Mayhew</i>	247-9131	
7.			
8.			
9.			
10.			

development plan for subdivision with design standards, a drainage plan, a utility plan, and a landscape plan. The applicant is an established, local development company specializing in affordable housing. This project will add to the City's stock of affordable ownership housing for sale.

Not true - it is 86 units -

The site is located in the Central Urban Area of the Comprehensive Plan (the Central Urban Area is a portion of the Established Urban Area) and is within the boundaries of the Martineztown/Santa Barbara Sector Development Plan (MSBSDP).

Context

The site is located on Indian School approximately 200 feet south of I-40 between the railroad main line and Edith Boulevard. Lot 1 of the subject site, at the corner of Indian School and Broadway, contains an auto repair shop and outside storage. The adjoining lot 2 was developed with a single family home, but has been used for commercial purposes for many years (possibly since the 1980 zone change). Lot 3 has remained vacant. The site is approximately one mile north of the Central Business District Major Activity Center at Lomas Boulevard, 0.4 mile east of the 4th Street Major Transit Corridor and 0.25 from the 2nd Street Express Corridor.

The subject site is surrounded by a variety of land uses, including office, manufacturing, vacant and multi-family and single family residential. To the north (across Indian School Road) is a narrow strip of fenced land zoned SU-2/C-3 that is used to store assorted equipment. It also contains two billboards that are perpendicular to I-40 and at a sufficient height to be visible from the freeway. I-40 is in close proximity to the site, but is raised above the surrounding streets and buildings. The impact of I-40 is unexpectedly minor, because the traffic is not visible and engine noise is muted by a sound wall. North of I-40 is an area of single family homes. To the south are a one-story office building on property zoned M-1 and the backyards of detached residences that front onto McKnight Avenue, zoned NRC. Further south (across McKnight Avenue) is Martineztown Park, a 10 acre park. To the east is a residence zoned NRC, then a vehicle storage and repair company in the C-3 zone. East of Edith Boulevard is a cemetery. To the west (across Broadway Boulevard) is a modern facility for rebuilding and repairing engines that fills the whole block and is zoned M-1. A tall billboard is located on this industrial property and faces the subject site. A block and a half west is the BNSF railroad line.

History

In 1980 the EPC approved a zone change at the subject site (Lots 2 and 3) from R-1 to C-3 (Z-80-44). The applicant had originally requested M-1 (Light Manufacturing). The request was changed to C-3 in consultation with the Planning Department, to conform to the Martineztown/Santa Barbara Neighborhood Plan which called for less intensive uses next to the single family homes adjacent to the property. The 1993 adoption of the sector development plan established SU-2/NRC (Neighborhood Residential/Commercial) zoning on lots 2 and 3. Lot 1 retained its existing SU-2/M1 zoning.

In April 2009 the EPC approved a zone map amendment (09 EPC 40007) at the subject site from SU-2/MI and NRC to SU-2/SU-1 for PRD, as well as a site development plan for subdivision

additional residents to the Central Urban Area, who will have convenient access to community and downtown facilities. The request furthers Policy II.B.6b.

Established Urban Area

The goal is to create a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment.

Applicant's Justification: The proposed development will support greater choice in housing, transportation and lifestyle due to its walkable and bikeable proximity to Major Activity Center (Downtown), an enhanced transit corridor (Menaul Blvd.) and a major transit corridor (Forth Street).

Staff's Response: The request will offer variety and maximum choice in housing, transportation, and lifestyle, while creating a visually pleasing built environment. The development will offer affordable housing. The Greater Albuquerque Housing Partnership (GAHP) is proposing this development as a Low Income Housing Tax Credit Project serving both families and individuals. The request furthers the Established Urban Area Goal.

Robert Romero is a board member of neighborhood assn. + a consultant to GAHP.

Policy II.B.5.a: The Developing Urban and Established Urban Areas as shown by the Plan map shall allow a full range of urban land uses, resulting in an overall gross density up to 5 dwelling units per acre.

Staff's Response: Although not cited by the applicant, Planning Staff believes Policy II.B.5a applies to the request. The request will allow a full range of urban land uses, including multi-family residential, single family residential, office, and manufacturing uses. The request furthers Policy II.B.5a.

Policy II.B.5.d: The location, intensity, and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, recreational concern.

Applicant's Justification: The development will respect and support existing neighborhood values and carrying capacities by strengthening a vital residential component, allowing more residents to utilize public amenities such as the Santa Barbara/Martineztown Park. It will support existing social, cultural and recreational resources as described above in Parts A and B of this justification. The Rank 3 Sector Plan recognizes the community's desire for a culturally-sensitive sustainable development that restores the land from its former industrial use, as well as the historic cultural significance of the nearby neighborhoods. The award-winning design of earlier GAHP projects, with front porches, yard walls, and vernacular building details and landscape will be continued in this proposed new development. The Neighborhood Association is supportive of the project, as stated in their attached letter.

Neighborhood was never notified of any meetings ever!

that is innovative in design and is supported by the Santa Barbara/Martineztown Neighborhood Association. The request furthers Policy II.B.5o.

Neighborhood never notified!!

Policy II.B.5p: Cost-effective redevelopment techniques shall be developed and utilized.

Applicant's Justification: In the current difficult economic climate, a more cost-effective redevelopment alternative to single-family development is needed that recognizes market demand and limitations. The proposed higher-density housing product will meet that demand. They are designed to be highly affordable to working families and to maximize the use of available City services and infrastructure. In turn, more "rooftops" will contribute to desired neighborhood commerce.

Staff's Response: Cost-effective redevelopment techniques will be developed and utilized for this project. Some of the possible techniques for this Policy mentioned in the Comprehensive Plan include the following: Emphasize private investment as a primary means to achieve redevelopment objectives, and Support redevelopment projects which will stimulate additional private investment. Private investment in this area will benefit the site, the neighborhood, and the City. Redevelopment projects such as these could also stimulate additional private investment in the area. The applicant is providing the area with affordable housing for working families. The request will improve economic development in this region of the City. The request furthers Policy II.B.5p.

Developed Landscape

The goal is "to maintain and improve the natural and the developed landscapes' quality."

Policy II.C.8d: Landscaping shall be encouraged within public and private rights-of-way to control water erosion and dust, and create a pleasing visual environment; native vegetation should be used where appropriate.

Staff's Response: Although not cited by the applicant, Planning Staff believes Policy II.C.8d applies to the request. The request would provide low water use and native vegetation that would control water erosion and dust, and create a pleasing visual environment. Street trees along Broadway Boulevard and Indian School Road will help to create a pleasing visual environment. The request furthers Policy II.C.8d.

Water Management

The goal is "efficient water management and use."

Policy II.D.2a: Measures shall be adopted to discourage wasteful water use, such as extensive landscape-water runoff to uncultivated areas.

The development is organized to emphasize an urban building massing response to the site. Buildings are placed with their front facades facing the streets and adjacent to side walks. The proposed apartments will consist of earth toned stucco, pitched metal roofs, light colored fiber cement siding, metal panels, or contrasting stucco, along with double glazed windows and metal railing. Metal canopies shade residential balconies while simple metal railings and gates adorn balconies and pedestrian access points.

Signage

The Design Requirements state that all signage shall conform to the signage regulations found in the City of Albuquerque Zone Code unless modified as part of an approved site development plan.

IV. AGENCY & NEIGHBORHOOD CONCERNS

Reviewing Agencies/Pre-Hearing Discussion

City Departments and other interested agencies reviewed this application from 11/28/2011 to 12/9/2011. Comments were received from Long Range Planning, Transportation, Hydrology, Police Department, Albuquerque Public Schools, and Public Service Company of New Mexico. Agency comments begin on page 22. These comments have been addressed either through a revised site development plan or conditions of approval.

Neighborhood/Public

The Santa Barbara-Martineztown Association is the affected Neighborhood Association. A facilitated meeting was not recommended by the Office of Neighborhood Coordination. A letter of support was received from the Santa Barbara-Martineztown Neighborhood Association.

Neighborhood never notified!! The asso. only has 4 to 6 members!

V. CONCLUSION

This is a request for a site development plan for subdivision for Lots 1-3, Block 9, Franciscan Acres, a site of approximately 3 acres, located on Indian School Road NE, between Broadway Boulevard NE and Edith Boulevard NE.

The applicant proposes to subdivide the site into 4 separate parcels (Parcels A, B, C, and D) as well as a public street dedication. The applicant intends to build 68 units of multi-family residential housing and associated community support functions, including a leasing office, community services building, and park facility accessible to the public.

Staff finds that the request furthers applicable Comprehensive Plan Goals and Policies. Staff is recommending approval with conditions.

CITY OF ALBUQUERQUE AGENCY COMMENTS

PLANNING DEPARTMENT

Zoning Enforcement

The proposed development complies with the regulations of the Comprehensive City Zoning code.

Office of Neighborhood Coordination

Santa Barbara-Martineztown Assoc. (R)

No Coalitions to notify - siw

Long Range Planning

Central Urban

Martineztown- Santa Barbara Sector Development Plan

Recommendations from the existing Martineztown/Santa Barbara Sector Development Plan begin on page 57 of the plan. The zoning section begins on page 65.

The site was zoned NRC (Neighborhood Residential Commercial) in the 1990 plan. This zone allowed a mix of C-1 and R-2 uses. Although the site has been re-zoned to the SU-2, SU-1 PRD, the proposed site development plan meets both the intent of the current zone and the zone in the original plan.

The plan encourages infill development and the development of affordable housing. This project would further both of those goals.

The site plan shows gated entry. Is the pedestrian access shown between the apartment units gated or open?

The existing Martineztown Santa Barbara Sector Development is currently being revised. Lorena Patten-Quintana is the project manager. Until the new plan is adopted by the City Council, the old plan remains in place. However, it may be worth checking into what is proposed in the new plan.

Metropolitan Redevelopment Agency

The Metropolitan Redevelopment Division supports the applicant's submittal of a Site Development Plan for Subdivision for 68 units of multi-family affordable housing within the Martineztown / Santa Barbara MRA. The MRA Designation Report of October 1989 notes that affordable housing is needed in the area.

Transportation Development (City Engineer/Planning Department):

- The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY

ALBUQUERQUE PUBLIC SCHOOLS

Franciscan Acres, Lots 1-3, Block 9, is located on Indian School NE between Broadway NE and Edith NE. The owner of the above property requests approval of a Site Development Plan for Subdivision to allow for the development of 72 affordable housing multi-family units, associated community support functions, including a leasing office, day care center and park facility accessible to the public. The residential portion of this development will impact Longfellow Elementary School, Jefferson Middle School, and Albuquerque High School. Currently, Longfellow Elementary and Albuquerque High Schools have excess capacity, however, Jefferson Middle School is exceeding capacity.

Loc No	School	2011-12 40th Day	2011-12 Capacity	Space Available
291	Longfellow	282	338	56
425	Jefferson	854	830	-24
590	Albuquerque	1602	1794	192

*9-9-12
 they just ran a
 story that Albuquerque
 High is overcrowded*

To address overcrowding at schools, APS will explore various alternatives. A combination or all of the following options may be utilized to relieve overcrowded schools.

- Provide new capacity (long term solution)
 - Construct new schools or additions
 - Add portables
 - Use of non-classroom spaces for temporary classrooms
 - Lease facilities
 - Use other public facilities
- Improve facility efficiency (short term solution)
 - Schedule Changes
 - Double sessions
 - Multi-track year-round
 - Other
 - Float teachers (flex schedule)
- Shift students to Schools with Capacity (short term solution)
 - Boundary Adjustments / Busing
 - Grade reconfiguration
- Combination of above strategies

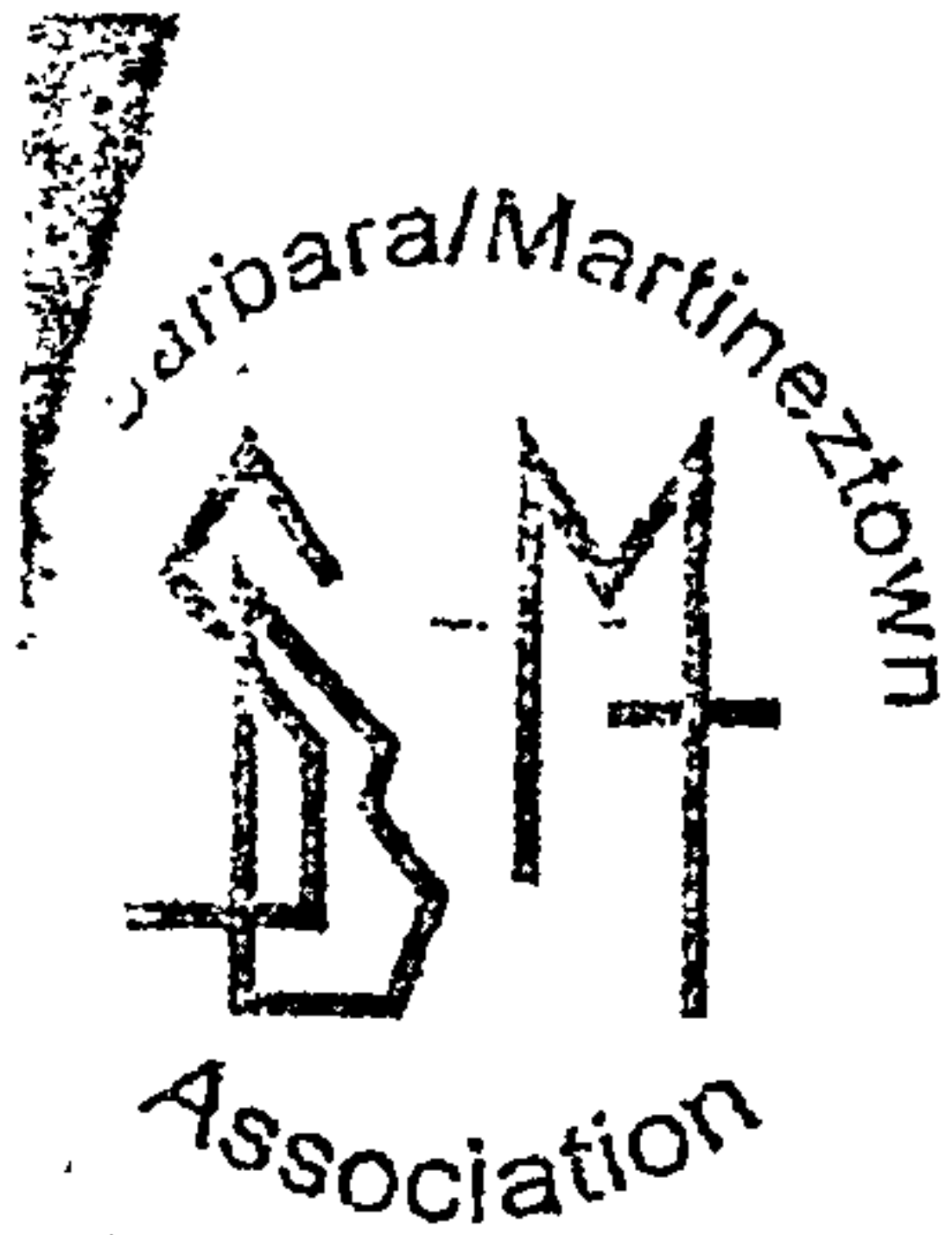
All planned additions to existing educational facilities are contingent upon taxpayer approval.

MID-REGION COUNCIL OF GOVERNMENTS

Santa Barbara/Martineztown Neighborhood

"A Village Within the City"

1420 Edith Blvd. NE
Albuquerque, New Mexico 87102



November 30, 2011

Environmental Planning Commission
Planning Department
600 2nd St. NW
Albuquerque, NM 87103

Dear Sir or Madam:

The Santa Barbara-Martineztown Neighborhood is happy to support the Greater Albuquerque Housing Partnership's efforts to develop the property on the corner of Indian School and Broadway.

GAHP has consistently developed quality projects and has built homes that have stabilized our neighborhood throughout the years. The development at Indian School and Broadway will serve many purposes: attract young families, drive out blight, and create community.

Should you have any questions, please do not hesitate to contact the association.

Sincerely,

Courtney Lawton
Secretary
Santa Barbara-Martineztown Neighborhood Association

Please see petition of 100+ residents that were never notified.

2008-2010 Officers and Directors

President - Phillip Horn Vice President - Chal-Marie Lucero Secretary - Courtney Lawton Treasurer - Veronica Apodaca
Board of Directors - Robert E. Romero, Victor Apodaca, E. Joaquin Griego, Richard Patnaude, Christina Chavez-Apodaca



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

September 12, 2012

Project# 1007649

12DRB-70255 MAJOR - SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

HARTMAN & MAJEWSKI DESIGN GROUP agent(s) for GREATER ALBUQUERQUE HOUSING PARTNERSHIP request(s) the referenced/ above action(s) for all or a portion of Lot(s) A, Block(s) 9, **FRANCISCAN ACRES** zoned SU-2/ SU-1/ PRD, located on the south side of INDIAN SCHOOL NE between BROADWAY BLVD NE and EDITH BLVD NE containing approximately 2.99 acre(s). (H-14, H-15) [*Deferred from 9/5/12*]

With an approved Grading and Drainage plan stamp dated 8-31-2012, and with the signing of the infrastructure list dated September 12, 2012, the Site Development Plan for Building Permit was approved with the following Findings and Conditions.

Findings :

1. The land use and zoning for this property was previously approved by the Environmental Planning Commission/ EPC in 2009 [Application No. 09EPC-40007].
2. The Site Development Plan for Subdivision for this property was previously approved by the Environmental Planning Commission/ EPC in January of this year [Application No. 11EPC-40081].
3. The City Attorney's office has reviewed the file for 11EPC-40081 and found the notification for that case was in compliance with the requirements of the City Zoning Code.
4. This Site Development Plan for Building Permit is found to be in compliance with the approved Site Development Plan for Subdivision.

CONDITIONS:

1. Final sign-off is delegated to the City Engineer for completion of the Subdivision Improvements Agreement/ SIA.
2. Final sign-off is delegated to Planning for corrected references for all existing easements, and for expiration/ completion of the 15 day appeal period.

If you wish to appeal this decision, you must do so by September 27, 2012; appeal is to the Land Use Hearing Officer. Any person with standing as determined by § 14-16-4-4(B)(2) of the Zoning Code who is aggrieved with this determination of the Development Review Board may file an appeal on the Planning Department form with appropriate fee, to the Planning Department Front Counter at 600 2nd St NW.



Reference: Case #1007649/ 12DRB-70255

Vickie <realmofpossibility@gmail.com>

Mon, Sep 3, 2012 at 8:29 PM

To: jcloud@cabq.gov

Cc: domalley@cabq.gov, ibenton@cabq.gov, rick.miera@nmlegis.gov, jortizyp@msn.com

September 3, 2012

Jack Cloud
DRB Chair
600 Second Street NW
Albuquerque, NM 87102

Reference: Case #1007649/ 12DRB-70255

Dear DRB Chairman Jack Cloud,

I am writing in reference proposed apartments being constructed in my neighborhood on Indian School Rd, between Broadway and Edith. I am respectfully requesting a deferral in the matter of this project for the following reasons:

I have personally spoken with more than 50 of my neighbors, and I was disturbed to find that they were not notified of this construction taking place. We have a neighborhood association with a very small membership, and most meetings are less than 10 people, if not less. I don't understand how the Santa Barbara Neighborhood Association can speak for the entire neighborhood and reflect the neighborhoods wishes, without ever bringing issues to our attention. With such a small membership The SBMTA does not reflect the desires, and aspirations we have for our neighborhood. Therefore it would be nice to have time to actually become informed. I am aware of the fact that the SBMTA gave their personal approval to this construction, but that approval was without any information given to the stakeholders in the neighborhood.

This is also a totally foreign land use. There is nothing like the planned structure within our historic neighborhood. Single family housing or town houses would be a better use, as the residents of these developments have a stake in the neighborhood, which is an ideal solution for everyone.

I do believe that there is a conflict of interest in this matter as well. Isaac Benton is a partner in the architectural group. Also a board member of SBMTA is a consultant to GAHP. Both of these gentlemen are pushing very hard to achieve this project without notification of constituents, or residents, which naturally deters any opposition. People who are not informed do not have a choice in the matter.

The traffic this project, once built, will produce a safety issue regarding our streets. They are not designed for this increase in traffic.

My neighbors and myself are asking for time to be involved in a partnership that informs everyone involved, taxpayers, constituents, residents, stakeholders, in a effort that produces the best possible outcome for our neighborhood.

Respectfully Yours,

22

Pa 16

Aug. 7, 2012

Reference: Case #1007649/11EPC 40081

Dear DRB,

I am writing to request a facilitated meeting for the following reasons:

The neighborhood residents nearby the above referenced request were never notified of the density proposed and land use proposed apartments

There was notification given to property owners regarding the changes to apartments only.

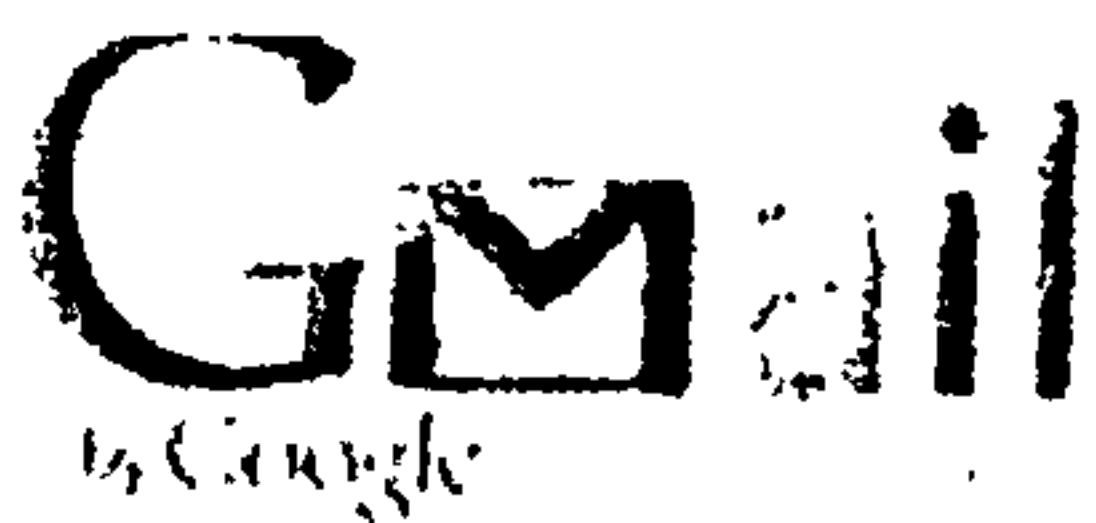
The neighborhood association never met with nearby residents to explain about the new development:

Based on sector plan, the Greater Albuquerque Housing Partnership is introducing a brand new land use. The neighbors and property owners would like more involvement since the application proposes a new land use that could be detrimental to the public health, safety and welfare. The proposal does provide housing but is the type of housing appropriate for the character of the neighborhood. The land use should stabilized land use patterns and resolve land use and zoning conflicts so this is why we are asking for a facilitated meeting to see if this proposal is appropriate for this area.

I would like to make sure that there is neighborhood involvement in this application, so therefore I and my neighbors request a deferral so that a facilitated meeting could be scheduled with the the neighborhood residents and the developer.

Sincerely,





(no subject)

Vickie <realmofpossibility@gmail.com>

Sun, Sep 2, 2012 at 4:36 PM

To: jcloud@cabq.gov

Cc: domalley@cabq.gov, ibenton@cabq.gov, rick.miera@nmlegis.gov, jortizyp@msn.com

Dear DRB Chairman Jack Cloud,
Reference: case # 1007649 12DRB-70255

I am writing to request a facilitated meeting for the following reasons: The neighborhood residents nearby the above request were never notified of the scale and density of the proposed apts . The neighborhood association never met with nearby residents to explain the new development. Based on the Martineztown/Santa Barbara Sector Plan, the Greater Albuquerque Housing Partnership is introducing a brand new land use. The neighbors and property owners would like more involvement since the application proposes a new land use that could be detrimental to the public health, safety and welfare of the residents. The proposal does provide housing, but is the type of housing appropriate for the character of the neighborhood? The land use should stabilize land use patterns, and resolve land use and zoning conflicts. This is why we are asking for a facilitated meeting to see if this proposal, is appropriate for this area. I would like to make sure that there is neighborhood involvement in this application, therefore my neighbors and I request a deferral so that a facilitated meeting could be scheduled with the neighborhood residents and the developer.

Sincerely,

Darin Goldston

402 Indian School Rd NE
Albuquerque, NM 87102
daringoldston@aol.com
505-362-9001

CITY OF ALBUQUERQUE LAND USE FACILITATION PROGRAM PROJECT MEETING REPORT

Project #: 1007649
Property Description/Address: Parcel A (formerly lots 1-3), Block 9, Franciscan Acres
SE corner of Broadway & Indian School Rd NE

Date Submitted: September 11, 2012
Submitted By: Jessie Lawrence

Meeting Date/Time: September 10, 2012; 6:30 p.m.
Meeting Location: Century Sign Builders
2117 Commercial St. NE

Facilitator: Jessie Lawrence
Co-facilitator: Pilar Vaile

Parties:

- **Applicant**
 - o Louis Kolker, Greater Albuquerque Housing Partnership
- **Agent**
 - o Greg Hartman, Hartman & Majewski Design Group
- **Neighborhood Associations/Interested Parties**
 - o Santa Barbara – Martineztown Assoc.
 - o Martineztown Work Group

Background/Meeting Summary:

Applicant requests Development Review Board approval for a site development plan for building permit for all or a portion of Parcel A (formerly lots 1-3), Block 9, Franciscan Acres, at the southeast corner of Broadway and Indian School NE. A site development plan for subdivision was approved by the EPC on January 12, 2012 and approved by the DRB on August 8, 2012, and the approved site development plan for subdivision delegates approval of the site development plan for building permit to the DRB. The project supports 68 units of multi-family housing and associated community support functions.

Most residents attending the meeting strongly opposed the existence of multi-family rental housing in this location. Concerns included management of the property, potential overcrowding, lack of investment in the community by renters, lack of compatibility with the adjacent business properties, and lack of compatibility with the high-traffic streets. Applicant stated that for-sale single family homes were not feasible in the current economy and answered questions about residents' concerns.

Residents stated that they did not receive notice about earlier progress on this project, and expressed frustration with the City about their lack of input. They stated that residents were not

CITY OF ALBUQUERQUE LAND USE FACILITATION PROGRAM PROJECT MEETING REPORT

notified, and the Santa Barbara-Martineztown Association did not sufficiently represent the neighborhood.

Residents also expressed concerns about how this project fit into the drafting of the sector development plan, currently in progress. They expressed the concern that existing business properties were proposed to be “downzoned” or face additional zoning restrictions that they opposed, but this project seemed to be exempt from the process and able to move forward.

Residents also expressed concerns about how to assure security, privacy, and street safety with this development.

Outcome:

- *Areas of Agreement*
 - o None
- *Unresolved Issues & Concerns*
 - o Most residents attending the meeting opposed the existence of multi-family rental housing in this location.
- *Key Points*
 - o Residents expressed concerns about lack of notice from the City and how this project fit into the ongoing sector development plan.

Action Items:

Applicant will follow up with contact information for Monarch property management to provide to neighbors.

Applicant will provide information to neighbors about the type of background check (state or national) required of property residents.

Meeting Specifics:

- 1) **Applicant Presentation/Application Overview**
 - a) Property is approximately 3 acres.
 - i) Applicant purchased property in 2007 and has been working on development since then.
 - ii) To the east of the property is the Goldston property, a trucking company.
 - iii) There is a house on the property, and Big Dog Towing stores vehicles on the south side.
 - b) Applicant is proposing a development of 68 multi-family rental units.
 - i) Development includes a leasing office, child care center, 1200 s.f. park, gym/exercise room, and community center.

CITY OF ALBUQUERQUE
LAND USE FACILITATION PROGRAM
PROJECT MEETING REPORT

- ii) Parking will be gated and secure.
 - (1) One parking area is located next to the buildings along Broadway, and the other is located along the Goldston property.
 - iii) Financial literacy classes, computer classes, job placement/resume writing classes will be provided.
 - (1) Applicant is working with the Hispano Chamber of Commerce regarding computer classes, and GAHP will do financial literacy classes themselves.
 - (2) Applicant has agreement with All Faiths Receiving Home & UNM School of Nursing for health care screenings (blood pressure and diabetes screening) on a quarterly basis.
 - (3) CPR classes will be available from the Red Cross, and nutrition classes will be taught by either UNM or All Faiths.
 - iv) Apartment sizes range from efficiencies to three-bedroom.
 - (1) Larger apartments will be targeted to families with children and located on the south and east side.
 - (2) Apartments along Broadway will be efficiencies, one-bedrooms, and some two-bedroom/one-bath.
 - v) Residents will have to meet income guidelines to be able to rent.
 - vi) Construction will be energy efficient and part of the sustainable building movement.
 - (1) A recently finished project received a LEED H Platinum designation, and applicant hopes for the same here.
 - (2) Units will have lower utility bills.
 - c) Development will be a \$13.6 million development, with most coming from a private equity investor.
 - i) Development will create 200 construction jobs.
 - ii) The equity investor in this project is US Bank.
 - d) Applicant stated that this is a good location for this type of development.
 - i) This is a neighborhood that has been identified by the City as having a high rent cost burden, meaning that more than 30% of renters' income is spent on housing.
 - ii) UNM North Campus is going through large expansion.
 - iii) Site is 1.5 miles from downtown.
 - iv) Market study by Novogradac was positive.
 - v) Site currently does not have positive economic uses.
 - vi) Development will produce higher property tax revenues and construction-related gross receipts taxes.
 - e) Construction is scheduled to begin in November 2012 and be complete by November 2013.
 - i) Property will be occupied by early 2014.
 - f) Applicant stated that in the long term, they hoped to build additional housing to the south and create connections between the developments and the nearby park.
- 2) Property Management**
- a) Applicant stated that the property will be managed by Monarch Properties.
 - i) Monarch Properties is the largest manager of tax credit properties like this.
 - ii) Monarch manages the new development in the Trumbull neighborhood.

**CITY OF ALBUQUERQUE
LAND USE FACILITATION PROGRAM
PROJECT MEETING REPORT**

- b) A resident asked how Monarch screens tenants.
 - i) Applicant stated that Monarch is strict with screening and is very familiar with the screening requirements of these properties.
 - ii) A resident asked about the extent of background checks and whether they were statewide or national.
 - (1) Applicant stated that he would provide more information about the type of background checks required.
 - c) Applicant stated that there will be on-site maintenance to pick up trash daily.
 - d) A resident expressed concerns that the applicant was using the new Trumbull development as an example, and asked about an older example of Monarch's management.
 - i) Applicant stated that Monarch came in to manage the Aspen Ridge development when the owner/manager couldn't make it work, and cleaned up the 96 units.
 - e) A resident asked how a bad tenant could be evicted.
 - i) Applicant stated that Monarch gives tenants a list of non-tolerable behaviors and has a warning and eviction system.
 - ii) Applicant stated that at the Trumbull development they filled quickly because of the quality units, and they don't want "bad apples" in the development.
 - f) A resident asked what neighbors could do if they wanted to report violations or communicate with the property manager.
 - i) Applicant stated that residents could contact the City about problems in the neighborhood outside of the development.
 - ii) Applicant stated that he would provide contact information for Monarch, and stated that Monarch had an interest in stopping problems right away.
 - g) A resident asked whether the manager would be monitoring all the time.
 - i) Applicant stated that there would be cameras on every corner of the building that would record 24/7 and could play back, and a manager would be on-site during office hours.
- 3) Traffic Concerns**
- a) A resident stated that there are no traffic lights at this intersection and accidents happen frequently.
 - i) Applicant stated that as part of the EPC approval, they needed to improve the corner, and the turning radius would be improved from 15 or 20 feet to 40 feet.
 - b) A resident stated that because of traffic, it is impossible to cross the street between 6-9 AM and 5-7 PM.
 - i) Applicant stated that the Traffic Engineer said that other than redesigning the corner, the streets could accommodate this development.
 - c) A resident asked about speed bumps to slow traffic on the street, and expressed concerns about children on the street.
 - i) Applicant stated that apartments with children would be far from the street.
- 4) Concerns about Rental Properties**
- a) A resident asked about the number of people who would be living on the property.

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**CITY OF ALBUQUERQUE
LAND USE FACILITATION PROGRAM
PROJECT MEETING REPORT**

- i) Applicant stated that efficiencies would have one person, one-bedrooms would have one or two, and larger apartments would have a limit of two children per bedroom and two parents.
- ii) A resident asked in Monarch would confirm that only residents were living there.
 - (1) Applicant stated that Monarch would confirm this because of the requirements of the type of property.
- b) A resident asked why the project had to be rental rather than single-family homeownership.
 - i) Applicant stated that it would be impossible for him to finance construction of single-family homeownership, and it would be impossible to find people who could get the appropriate financing to purchase them. Financing is available for this type of development.
- c) A resident stated that the neighborhood didn't need more apartments.
 - i) Another resident stated that renters wouldn't have a stake in the community like homeowners would.
 - ii) Residents expressed multiple concerns about problems arising as the apartments age.
- d) A resident asked why rental housing had to be located in their neighborhood rather than in Nob Hill or other neighborhoods.
 - i) Applicant stated that development was consistent with a national trend of putting affordable housing in neighborhoods close to the city core.
- 5) Concerns about Lack of Notice**
 - a) A resident stated that they had been left out of 90% of the process and were angry that they hadn't been notified.
 - i) Another resident asked why the City failed to notify them.
 - (1) Shannon Beaucaire suggested contacting Stephani Winklepleck at the Office of Neighborhood Coordination for information about the notification for the EPC and DRB hearings.
 - ii) A resident suggested that they should start over with proper notification and involvement at every step.
 - b) A resident asked about the remaining approval process.
 - i) Applicant stated that the Wednesday, September 12 DRB hearing is the final approval for the entitlement to do the building.
 - c) A resident noted that the EPC report stated that the Santa Barbara-Martineztown Association approved the project, but stated that only 6-10 people are involved in that association, and that's not enough to represent the neighborhood.
- 6) Concerns about Sector Plan**
 - a) A resident asked how this project reconciled with the sector development plan in progress at the City, as it is a residential property between two established businesses.
 - i) Applicant stated that when they changed the zoning in 2009/2010, it was changed, and they expected the property to be developed before the new sector plan is finished.
 - b) A resident expressed the concern that the residential property will force the existing commercial properties to change to accommodate residential needs.
 - c) A resident expressed the concern that this will force down the zoning of the existing commercial properties.

**CITY OF ALBUQUERQUE
LAND USE FACILITATION PROGRAM
PROJECT MEETING REPORT**

- d) A resident asked whether the zoning would be under the new sector plan.
 - i) Applicant stated that the zoning would be MX.
- e) A resident expressed the concern that the applicant seemed to be exempt from the sector plan requirements, and expressed anger that the sector plan was being forced on the existing residents.
- 7) **Other Concerns about Communication with City**
 - a) A resident asked how she could receive a copy of the meeting report if she did not have email.
 - i) Shannon Beaucaire stated that the meeting reports would be available online, and she would also retain several printed copies at the City ADR office so people could pick them up.
 - b) A resident stated that the neighborhood on the north side of the freeway has always been known as Stronghurst, but the City put up signs and changed the neighborhood designation to Martineztown without notifying them.
 - i) Shannon Beaucaire suggested contacting Stephani Winklepleck at the Office of Neighborhood Coordination.
- 8) **Other Concerns**
 - a) A resident expressed the concern that the site was too small to accommodate so many people.
 - i) Another resident asked whether the development could be 38 units rather than 68, or whether the income standards could be raised.
 - b) A resident stated that her residence was adjacent to the site and expressed concerns about security and privacy.
 - i) Applicant stated that there will be a cinder-block wall along the entire boundary.
 - ii) A resident stated that three-story residences will be looking over the wall onto the adjacent properties.
 - c) A resident asked about lighting at night.
 - i) Applicant stated that at the Trumbull property, they used extra lights to ensure that residents felt secure.
 - d) A resident asked what would be done with existing structures on the site.
 - i) Applicant stated that they would be torn down soon.

Application Hearing Details:

- 1) Hearing Scheduled for Wednesday, September 12, 2012.
- 2) Hearing Details:
 - a. The DRB conducts public hearings and makes decisions on requests for approval of subdivisions, vacation, site development plans delegated by EPC or sector development plans, subdivision design variances, and sector development plan reviews.
 - b. The Development Review Board (DRB) will begin hearing applications at 9:00 a.m.
 - c. The actual time this application will be heard by the DRB will depend on the applicant's position on the DRB's schedule.

CITY OF ALBUQUERQUE LAND USE FACILITATION PROGRAM PROJECT MEETING REPORT

3) Hearing Process:

- a. Comments from facilitated meetings will go into a report which goes to the DRB.
- b. The DRB will make a decision and parties have 15 days to appeal the decision.
- c. All interested parties may appear at the hearing and voice their opinions or submit written comments prior to the day of public hearing.

Any further questions or comments can be referred to:

Angela Gomez
505-924-3946
agomez@cabq.gov

Names & Affiliations of Attendees:

Denise Baca	
Juana Baca	
Mark Baca	
Michael Baca	
Shannon Beaucaire	COA
Jesus Espinoza	
Darin Goldston	MTSB Business All
Sherrey Jackson	
Louis Kolker	GAHP
Andrea Leyba	
Barbara Leyba	
Jesse Lopez	
Christina Montoya	
Rogelio R	
Sonia Rascad	
Carl Salazar	
Karen Salazar	



Santa Barbara Martinez Town Sector Plan and Low-income Apts, without Stakeholder approval.

Vickie <realmofpossibility@gmail.com>

Fri, Sep 7, 2012 at 3:59 PM

To: mayorberry@cabq.gov

Bcc: [REDACTED] Darin <daringoldston@aol.com>

Dear Mayor Berry

My name is Darin Goldston. I am the guitarist for the Memphis P Tails. We met at the Balloon Fiesta concert back in June. I am writing in regards to a travesty that has taken place in Martinez town. The EPC has recently given their approval to the Greater Albuquerque Housing Partnership & the Hartman&Majewski Design Group, for a 14 Million dollar low income apartment complex at the corner of Broadway and Indian School. Martinez Town& Santabarbara area are also under review and consideration for a new sector plan that includes alot of restructuring and zone changes. The Greater Albq Housing Partnership is involved as an implementing agency for the new sector plan,yet their apartment complex project is in total contradiction with the new sector plan they are helping implement. This includes building height, number of units, traffic safety, commercial/ residential compatibility and crime ect. There are other issues of concern. The MTSB neighborhood association " all 6 to 10 of them" gave their stamp of approval on this project, without properly notifying or explaining the development to many of the residences that are directly affected by the project. I have spoken with close to one hundred residents in the area that thought the project was something completely different, or didn't know anything at all about the development. Another one of our concerns is the " Conflict of Interest issue". There are people involved who have a vested interest in this project, one being Mr Robert Romero who sits on the board of the MTSB Neighborhood Association, and who is also a consultant for GAHP. The other in City Councilman Isaac Benton who is a partner with the Architectural Design Group that designed the project. The residents of MTSB truly feel that certain powers that be are imposing their personal vision of what is best for our community. We have been disenfranchised and left behind in decisions that have been made, decisions that nobody will have to live with except for us. I do not blame the EPC for approving this, they only heard one side of the story. I'm hoping you will take an interest in this matter. I don't know if you as Mayor have the authority to start the political process over again with the EPC and other agencies, due to the discrepancies of the above mentioned, if you do have the authority, would you please help us get our voices heard. The building of this project, for better or worse is going to change the landscape of Martineztown/Santabarbara forever.

Thank you Mayor Berry,

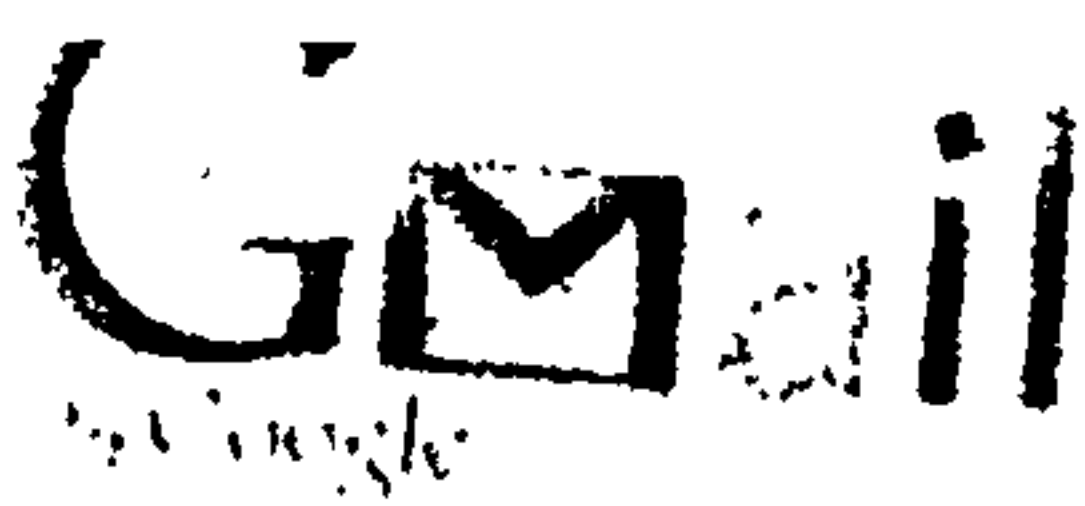
Sincerely,

Darin Goldston 15 year resident MTSB

362-9001

daringoldston@aol.com

402 Indian School Rd NE, Albuquerque, NM 87102



Low-income apartments on Indian School between Broadway and Edith, Santa Barbara/Martineztown Association gave neighborhood approval without notification to residents.

Vickie <realmofpossibility@gmail.com>
To: mtafoya@cabq.gov
Bcc: Darin <daringoldston@aol.com>

Thu, Sep 6, 2012 at 8:13 PM

September 6, 2012

Dear Madeline Carruthers and EPC Chairman Hugh Floyd,

I am writing in reference to Project #1007649 that the EPC recently approved. The approval was given to GAHP and the Hartman & Majewski Design Group, for a 14 Million dollar low income apartment complex at the corner of Broadway and Indian School. This is the Martineztown Santa Barbara area, which as you know is under review and consideration for a new Sector Plan that include zoning changes. The Greater Albuquerque Housing Partnership is an implementing agency for the Sector Development Plan, yet their apartment complex project is in total contradiction with the new Sector Plan they support. These include building height, traffic issues and residential/ commercial compatibility, ect. There are other issues of concern. The MTSB Neighborhood association gave their stamp of approval on this project without properly notifying or explaining the development with many of the residents that are directly affected by the project. I have spoken with close to one hundred residents in the area that thought the project was something completely different or that didn't know anything at all about the development. Another one of our concerns is the " conflict of interest issue". There are people involved who have a vested interest in this project one being Mr Robert Romero who sits on the board of the MTSB Neighborhood association, and who is also a consultant for GAHP. The other is City Councilman Isaac Benton who is a partner with the Architectural Design Group that designed the project. The residents of SBMT truly feel that someone else is imposing their vision of what is best for our community. We feel disenfranchised and left behind in decisions that have been made, decisions that nobody will have to live with, except for us. We understand this project has been approved, and respect that, but we don't feel our vision or our opinions were ever even considered. This is not the EPC's fault, it has everything to do with the above mentioned. The bulding of this project for better or worse is going to change the landscape of Santa Barbara/Martineztown forever. We, as a community, are asking the EPC to please take another look at it, with all parties involved, all voices heard, before such an important decision is set in stone.

Sincerely,
Darin Goldston
15 year residence SBMT
402 Indian School Rd. NE
Albuquerque, NM 87102

daringoldston@aol.com
505-362-9001

July 31, 2012

Dear Lorena Patton-Quintana,

I am a resident of the Santa Barbara Martinez Town Area. I am not affiliated with any association in this area.

I am including a petition signed by 30+ residents in this 6 block area, bordered by Menaul and the freeway, and by Edith and Commercial. I am aware that a 6 month continuance has been requested and am in agreement with that request. The overwhelming response of the residents I personally, petitioned, is that they are not in favor of the down-zoning as requested in the proposed plan drafted by members of the team of the Planning Dept.

The proposed changes would adversely affect the livelihood of the properties involved. Business for us makes a good neighbor. There is also deep concern that property values would be affected, either immediately or over time. The last thing we need in this area is high density, no cap, apartment dwellings of any kind. The apartment climate, does not produce stakeholders, who have a vested interest in the neighborhood or it's residents. Most of those signing the petition felt very misinformed or not informed at all concerning these changes.

In closing, this side of the Santa Barbara Martinez Town area has never felt adequately represented by the Santa Barbara Neighborhood Ass. , or the Interfaith meeting either. We have always pretty much taken care of ourselves, as we have always done.

Sincerely,
Vickie Early
212 Arvada Ave NE
Albuquerque, NM 87102
505-306-0655

SAY "NO" TO ZONE CHANGES IN...

SANTA BARBARA MARTINEZ-TOWN! 2012

Name Address Phone Signature

Ann Lopez 555... 742-9871

Andrea Beck 2207 Broadway St. 261-1325

Conchita Garcia 2203 Broadway 743-8027

Dale Cordova 3319 Commercial NE 243-7372

+ 12 on pg 3 = 31+12 = 43 signatures

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SANTA BARBARA MARTINEZ-TOWN

2012

JAME	ADDRESS	PH. NO.	SIGNATURE
1 Carl Salazar	219 Arvada Ave NE	503-9001	
2 Mary T. Sai2	214 Arvada WE.	3156513	Mary T. Sai2
3 Elizabeth Sai2	214 Arvada WE.		Elizabeth Dunning
4 Carmelo Calderone	209 Arvada NE	243-5366	Carmelo Calderone
5 Barbara Stone	213 Arvada NE	247-9343	Barbara Stone
6 Gloria Cordova	3208 Commercial N.E.	342-7372	Gloria Cordova
7 ELLEN BABCOCK	2270 Commercial NE <small>CONVEYER (BUSINESS)</small>	415-981-7287	ELLEN
8 JOHN CAUSEZ	2227 COMMERCIAL ST NE	761-0125	
9 Ann Marie Ortiz	2227 Commercial St NE	761-0123	Ann Marie Ortiz
10 Connor Morrison	2227 Commercial St. NE	761-0123	
11 Jonathan Candelaria	2501 Commercial St NE	248-0300	Jonathan Candelaria
12 Daisy Robles	218 Arvada Ave NE	263-2781	Daisy Robles
13 Ramona Bica	2104 Broadway NE	242-0352	Ramona Bica
14 James J. Faab	314 Arvada NE	243-2389	James J. Faab
15 Ilva Garza	321 Arvada Ave.	507-6168	Ilva Garza
16 Agustin Balderrama	322 Arvada		Agustin Balderrama
17 Isabel Ueyl	334 Arvada NE	87102 2434798	Isabel Ueyl
18 Sandra J. Hart	35 Arvada Ave NE	87102 435-7146	Sandra J. Hart
19 CHARLIE KOLICH	367 Arvada NE <small>ARBUO PARTITIONS</small>	87102 247-4131	Charlie Kolich
20 STEPHEN JOYCE	367 Arvada NE <small>ARBUO PARTITIONS</small>	87102 247-4131	Stephen Joyce
21 E. d. i. Martinez	341 Arvada NE		E. d. i. Martinez
22 Angelica Hughes	335 Arvada Ave NE	87102 453-1901	Angelica Hughes
23 Lois Osman	312 Cutter Ave.	87102 620-3538	Lois Osman
24 BRENDA MAHONEY	338 CUTLER NE	87102 504-3677	Brenda Mahoney
25 LARRY FORNEY	405 CUTLER NE <small>Formerly Woodbury Vines</small>	87102 2430163	Larry Forney
26 C. L. NEMESH	406 CUTLER NE	87102 269-5544	C. L. NEMESH
27 Dean Sena	2215 Elite N.E. <small>46 Raintree Hill Lane</small>	87102 264-0207	Dean Sena

I DAY. NOT TO ZONE CHANGES IN SKUTIA BARBARA - MARTINEZ TOWN

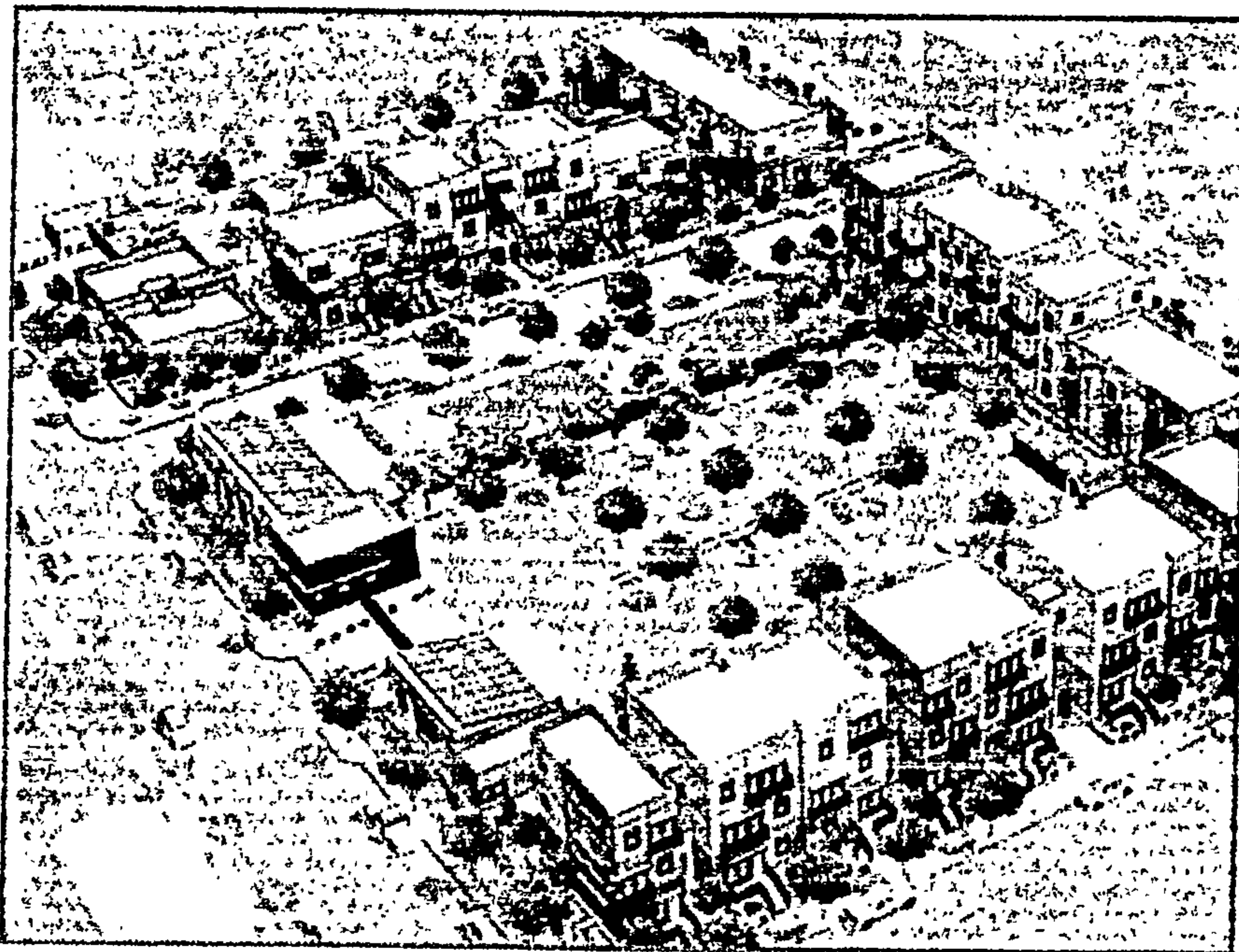
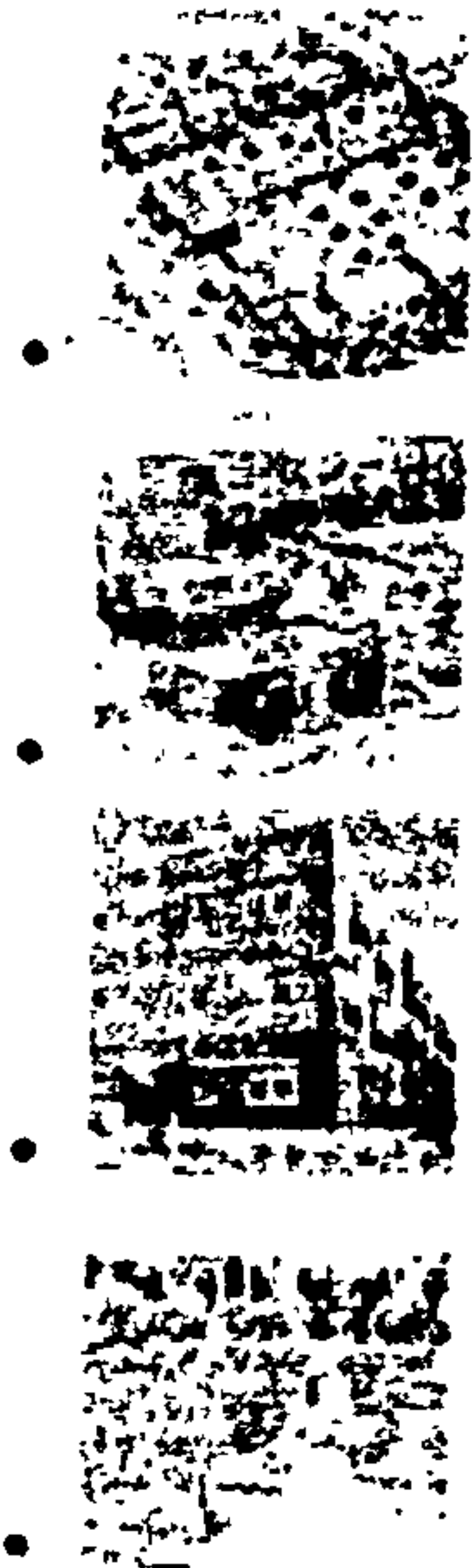
NAME ADDRESS PH. NO. SIGNATURE

- 1) Angel Carrillo-Rimentel 390 Prospect Ave 604-8420 (Signature)
- 2) J. Miller 334 Carter N.E. -
- 3) Vickie Early 212 Avenida NE 306-0655
- 4) David Martinez 400 Prospect Ave, NE, ~~306-6355~~ 306-6355
- 5) John Morris 405 Prospect Ave -
- 6) Anna Mitchell 316 Prospect Ave NE -
- 7) Moss Mitchell 318 Prospect Ave NE -
- 8) Jose Benavidez 318 Prospect Ave NE -
- 9) Jay Weisel 319 Prospect Ave NE
- 10) Clint Weisel 319 Prospect Ave NE
- 11) Eric Ciego Arenas 2108 Commercial Ave
- 12) Garcia, Martin 2217 Commercial Ave

(Signature) Vickie Early
 (Signature) David Martinez
 (Signature) John Morris
 (Signature) Anna Mitchell
 (Signature) Moss Mitchell
 (Signature) Jose Benavidez
 (Signature) Jay Weisel
 (Signature) Clint Weisel

Garciga, Arenas
 MY ~~242929~~

Plaza Ciudadña and Ciudadña Master Plan



*Isaac Burton
is affiliated with
Hubbman + Macowski
Design Group*

*Graciela Albay
Housing Authority
GAHP - Robert
Romero is a
Consultant*

*Robert Romero
is a board
member of
Santa Barbara
Martineztown
AHO.*

Plaza Ciudadña and Ciudadña Master Plan Albuquerque, New Mexico

Plaza Ciudadña, a 68 unit residential development project, is the keystone of a larger neighborhood revitalization effort in the Santa Barbara/Martineztown neighborhood of Albuquerque. Focused on transforming blighted industrial properties that have outlived their economic viability, "Ciudadña", a 12 acre neighborhood revitalization strategy and master plan, seeks to transform this industrial area

1.5 miles north of Downtown Albuquerque into a desirable and vibrant urban living experience within Albuquerque's second oldest community.

Click next image for more text



- Services
- Architecture
- Planning
- Interiors
- Civil Engineering
- Sustainable Design

- ~~People~~

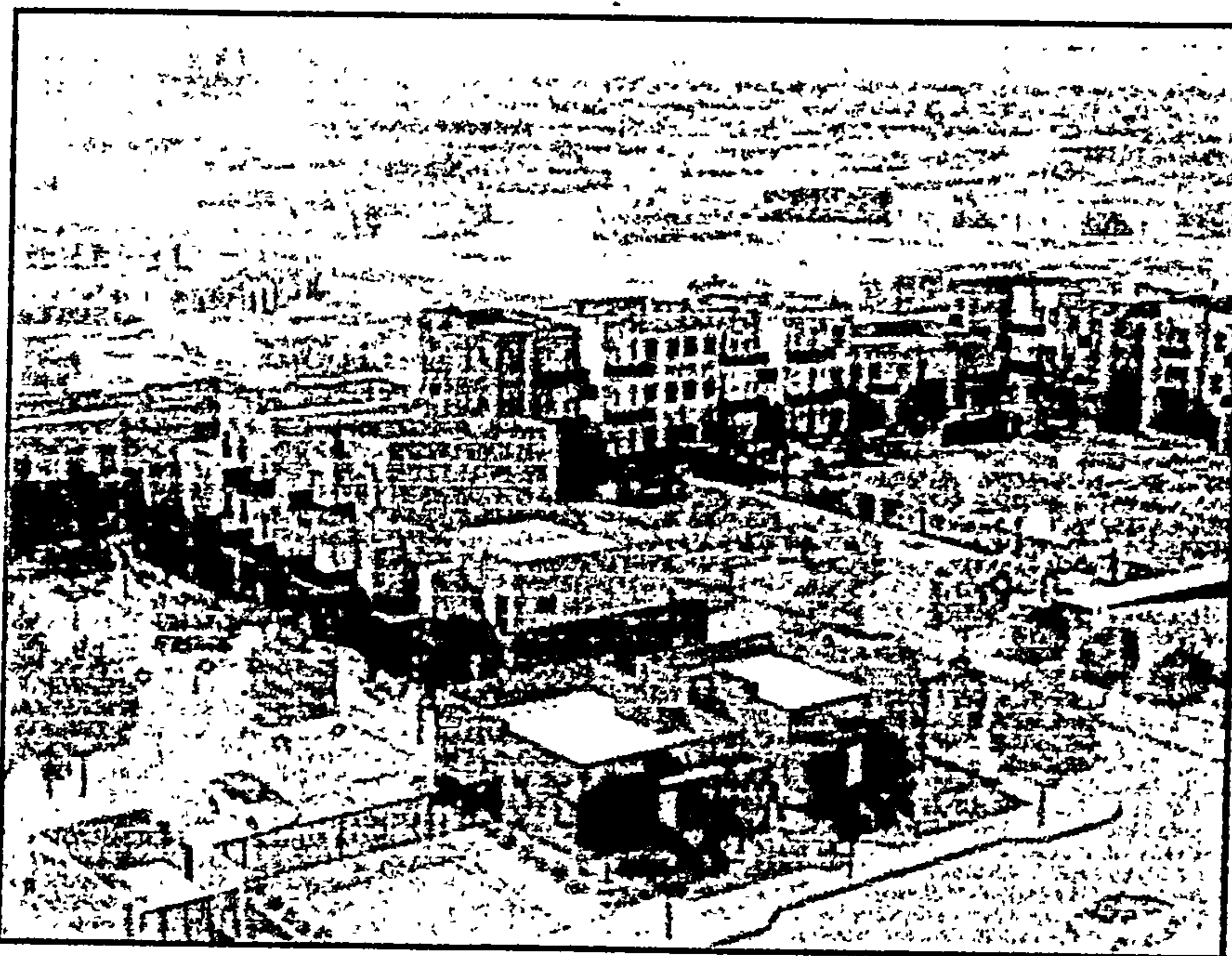
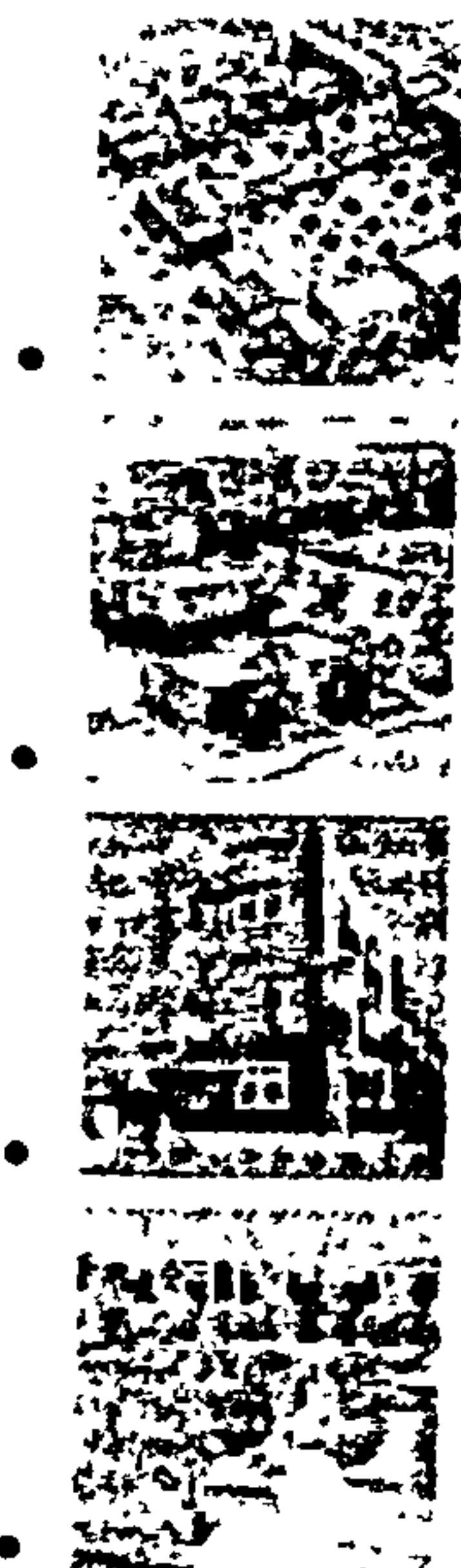
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The Hartman + Majewski Design Group

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Awards – Animation – Firm Profile – Contact – Testimonials – Sitemap

Plaza Ciudadana and Ciudadana Master Plan



As an infill project of higher density in a Metropolitan Redevelopment Area and close to established Major Activity Center and Transit Corridors, and accessing a high level of transit and public facilities, this project is consistent with the applicable goals and policies of the Santa Barbara/Martineztown Sector Development Plan and the Albuquerque/Bernalillo County Comprehensive Plan. The area has excellent access to the major street network via Broadway, Edith, and Indian School. It is an area with a very mixed density pattern already established and where adequate infrastructure is available. The project will provide a transition between industrial and lower density residential uses.

Click next image for more text



- Services
- Architecture
- Planning
- Interiors
- Civil Engineering
- Sustainable Design

- People

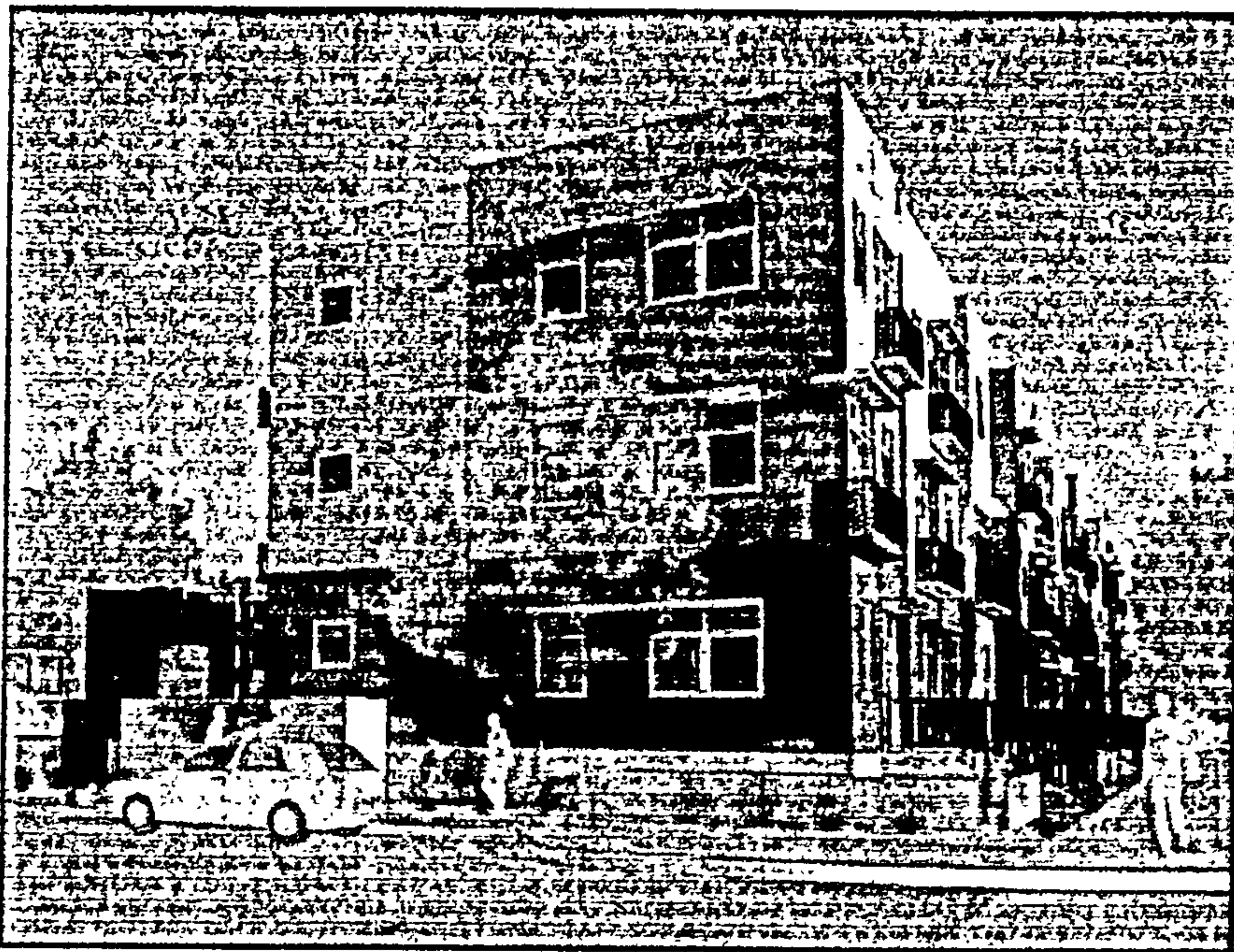
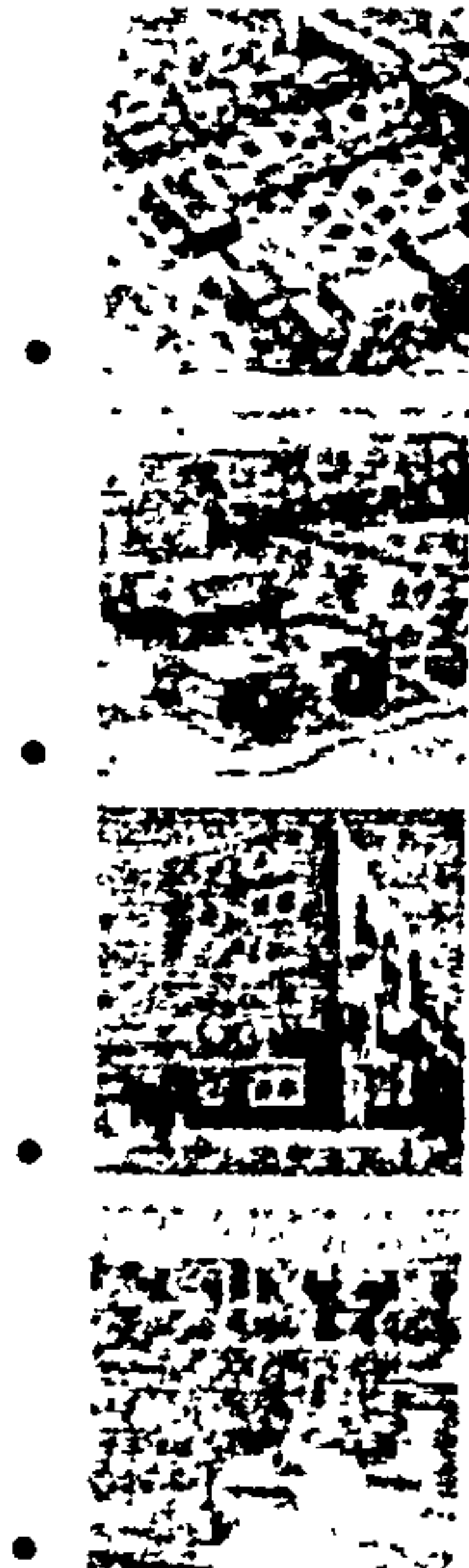
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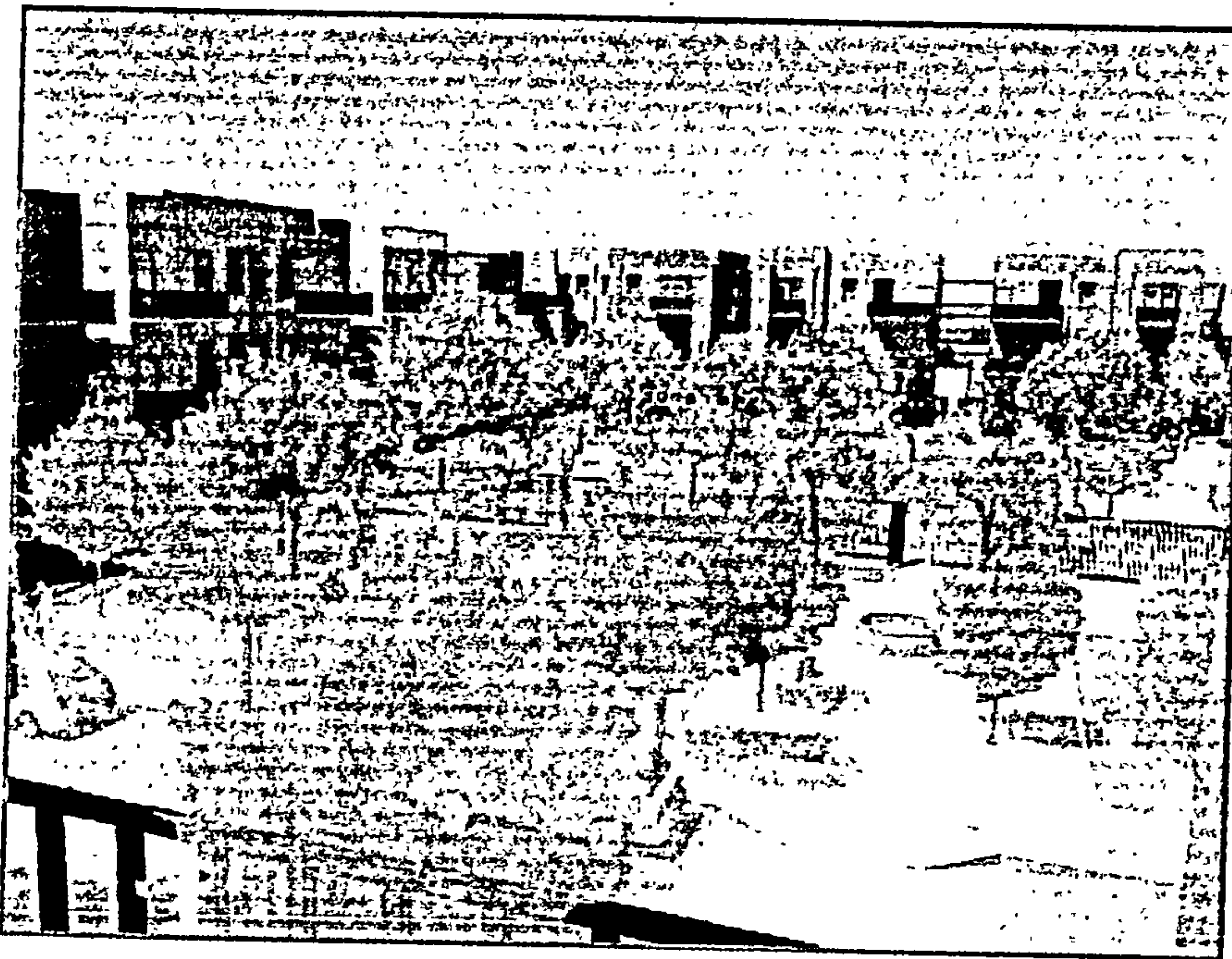
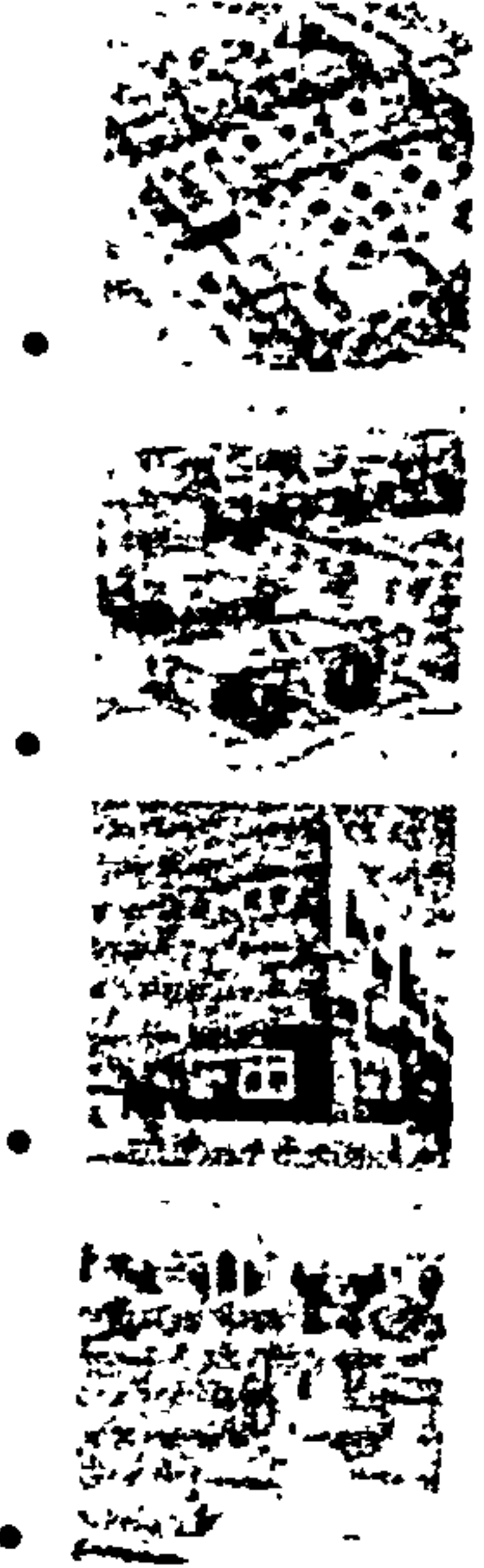
Awards – Animation – Firm Profile – Contact – Testimonials – Sitemap

Plaza Ciudadana and Ciudadana Master Plan



The site is within walking distance of Santa-Barbara/Martineztown Park, Vietnam Veterans Memorial Park, Coronado Park, and Albuquerque High School. In addition to public transit, the site is well served by public facilities, roadways, parks, fire and police facilities, and will not require increased capacity of planned facilities. The proposed development for this site supports the City of Albuquerque Metropolitan Redevelopment Agency's goal to "promote the development of neighborhoods through housing and commercial revitalization."

Plaza Ciudadana and Ciudadana Master Plan



- Services
- Architecture
- Planning

<http://www.designgroupnm.com/design-plaza-ciudana.htm>

- Interiors
- Civil Engineering
- Sustainable Design

-

- **Portfolio**
- Healthcare
- Education
- Commercial
- Government
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Awards – Animation – Firm Profile – Contact – Testimonials – Sitemap

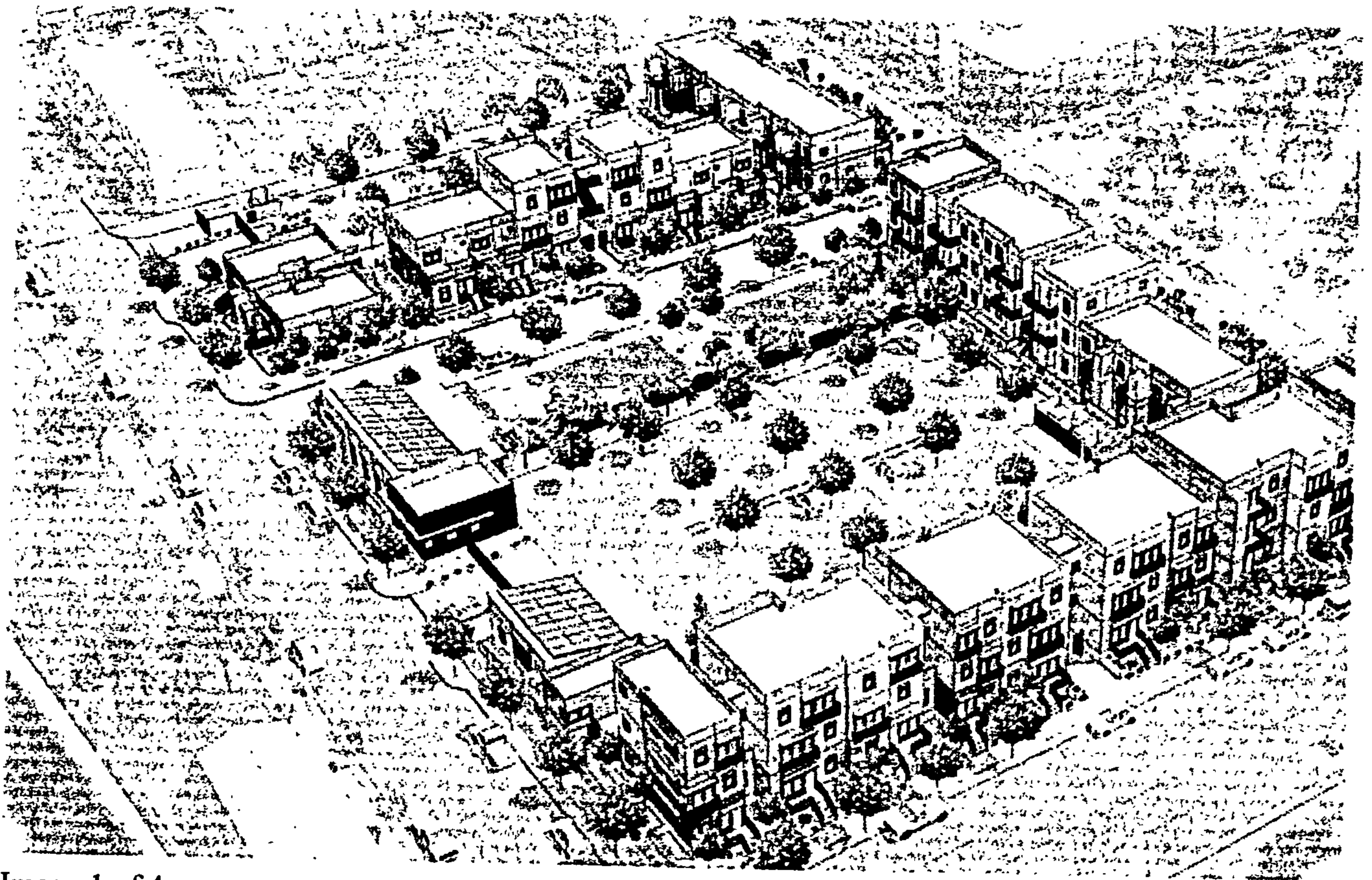
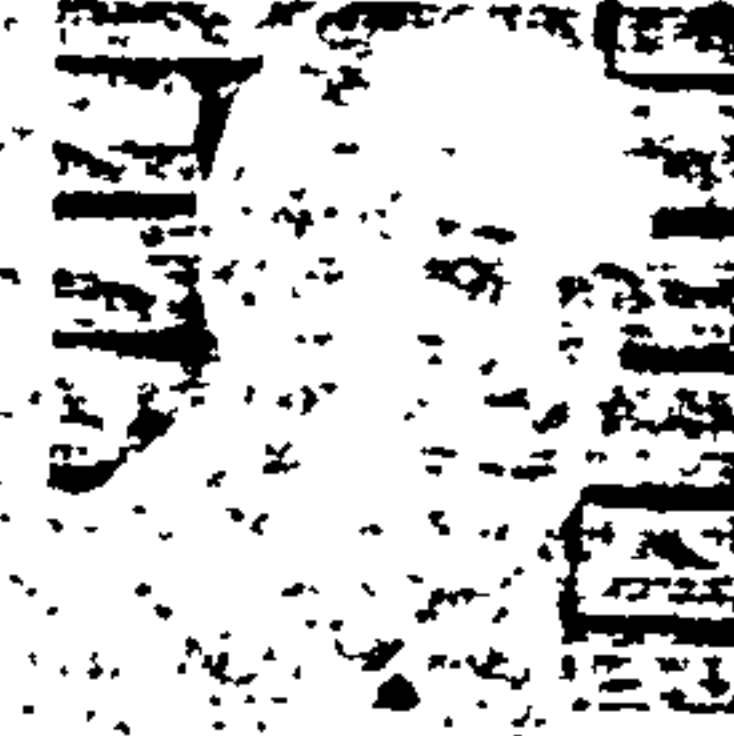


Image 1 of 4

Close



Isaac Sherman, AIA LEED-AP

Isaac is an Architect with The Design Group, and contributes significantly to our firm's marketing and business development efforts.



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

September 12, 2012

Project# 1007649

12DRB-70255 MAJOR - SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

HARTMAN & MAJEWSKI DESIGN GROUP agent(s) for GREATER ALBUQUERQUE HOUSING PARTNERSHIP request(s) the referenced/ above action(s) for all or a portion of Lot(s) A, Block(s) 9, **FRANCISCAN ACRES** zoned SU-2/ SU-1/ PRD, located on the south side of INDIAN SCHOOL NE between BROADWAY BLVD NE and EDITH BLVD NE containing approximately 2.99 acre(s). (H-14, H-15) [*Deferred from 9/5/12*]

With an approved Grading and Drainage plan stamp dated 8-31-2012, and with the signing of the infrastructure list dated September 12, 2012, the Site Development Plan for Building Permit was approved with the following Findings and Conditions.

Findings

1. The land use and zoning for this property was previously approved by the Environmental Planning Commission/ EPC in 2009 [Application No. 09EPC-40007].
2. The Site Development Plan for Subdivision for this property was previously approved by the Environmental Planning Commission/ EPC in January of this year [Application No. 11EPC-40081].
3. The City Attorney's office has reviewed the file for 11EPC-40081 and found the notification for that case was in compliance with the requirements of the City Zoning Code.
4. This Site Development Plan for Building Permit is found to be in compliance with the approved Site Development Plan for Subdivision.

CONDITIONS:

1. Final sign-off is delegated to the City Engineer for completion of the Subdivision Improvements Agreement/ SIA.
2. Final sign-off is delegated to Planning for corrected references for all existing easements, and for expiration/ completion of the 15 day appeal period.

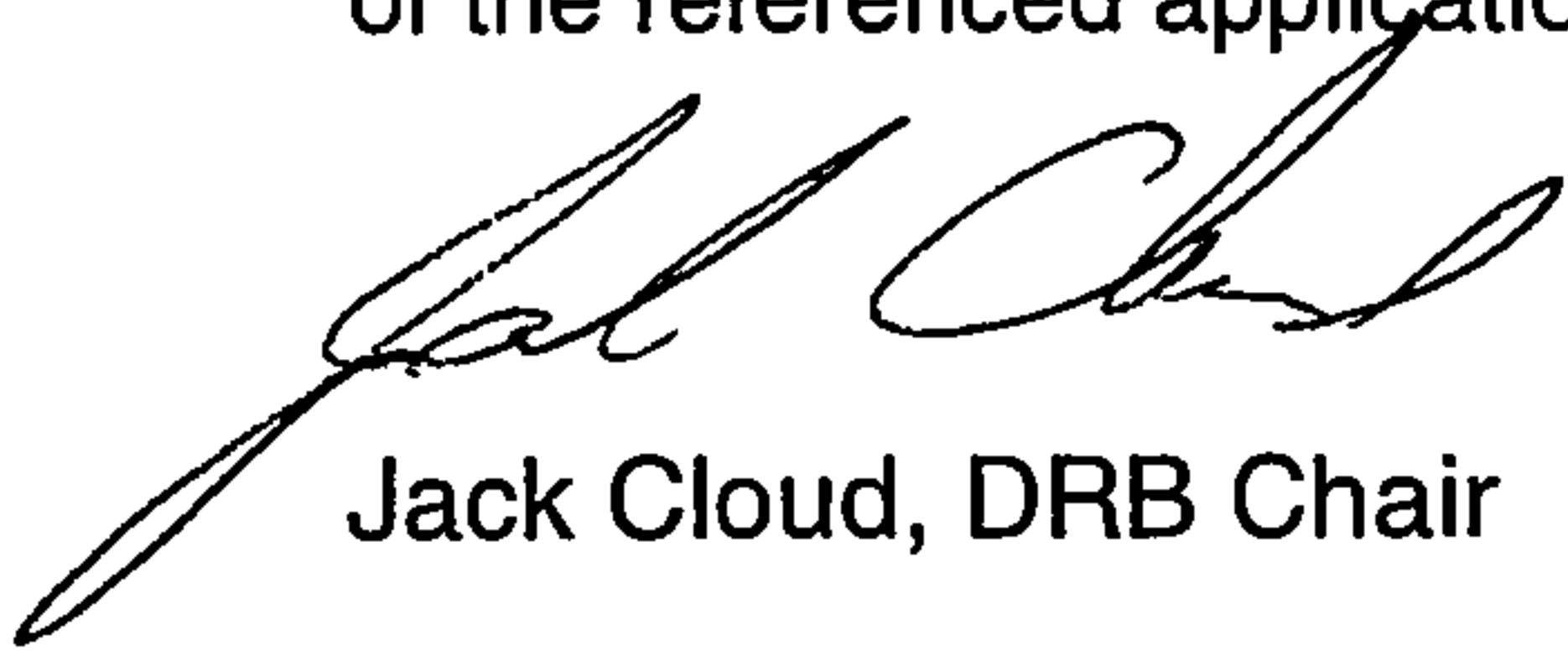
If you wish to appeal this decision, you must do so by September 27, 2012; appeal is to the Land Use Hearing Officer. Any person with standing as determined by § 14-16-4-4(B)(2) of the Zoning Code who is aggrieved with this determination of the Development Review Board may file an appeal on the Planning Department form with appropriate fee, to the Planning Department Front Counter at 600 2nd St NW.

Project# 1007649

12DRB-70255 MAJOR - SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Page 2 Of 2

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).



Jack Cloud, DRB Chair

Cc: Hartman & Majewski Design Group

Roxanna Meyers – 2117 Commercial St NE, Albuquerque, NM 87102

Vickie Early – 212 Arvada Ave NE – Albuquerque, NM 87102

Carl Salazar – 219 Arvada Ave NE – Albuquerque, NM 87102

David Martinez – 400 Prospect NE – Albuquerque, NM 87102

Juana Baca – 216 Arvada NE – Albuquerque, NM 87102

Noel M. Baca – 216 Arvada NE – Albuquerque, NM 87102

Sonia Rascon – 305 Arvada NE – Albuquerque, NM 87102

✓ Darin Goldston – 402 Indian School NE – Albuquerque, NM 87102

✓ James Cericola – 309 McKnight NE – Albuquerque, NM 87102

Sharon Jackson – 333 McKnight NE – Albuquerque, NM 87102

Marilyn Maldonado

file

INTRODUCTION

THE PURPOSE OF THIS SITE DEVELOPMENT PLAN FOR BUILDING PERMIT IS TO ENSURE THAT THE SOUTHWEST CORNER OF BROADWAY AND BROADWAY NE IS COMPREHENSIVELY DEVELOPED WITH RESPECT TO SITE LAYOUT FOR BUILDINGS, PARKING, INFRASTRUCTURE, PEDESTRIAN CIRCULATION, AND LANDSCAPE TO ADJACENT LOTS AS WELL AS ARCHITECTURAL AND NEIGHBORHOOD DESIGN.

THE PROPOSED LAYOUT OF THE SITE IS TO DEVELOP IN LOTS OF MULTI-FAMILY HOUSING AND ASSOCIATED COMMUNITY SUPPORT FUNCTIONS, INCLUDING A LEASING OFFICE, COMMUNITY SUPPORT BUILDING, AND PARK FACILITY ACCESSIBLE TO THE PUBLIC.

BUILDING MASSING IS ARRANGED RECTILINEARLY TO HELP THE DEVELOPMENT WITH THE EXISTING FABRIC OF SUBDIVISION CITY BLOCKS. BUILDINGS ARE PLACED WITH THEIR FRONT FACADES FACING STREETS AND ADJACENT TO SIDEWALKS WITH FRONT SETBACKS VARYING FROM A MINIMUM OF 32 FEET FROM THE PROPERTY LINE ALONG BROADWAY TO A MINIMUM ZERO SETBACK AT THE COMMUNITY BUILDING ALONG BROADWAY. HEIGHTS RANGE FROM ONE TO THREE STORIES, WITH A MAXIMUM HEIGHT OF 47 FEET AT THE THREE STORY UNITS, THE MAXIMUM FLOOR AREA RATIO FOR THE DEVELOPMENT IS 2.

OFF-STREET PARKING IS LOCATED AT THE CENTER OF EACH RESIDENTIAL BLOCK, WITH CONTROLLED VEHICULAR DRIVING AND EGRESS TO THE OFF-STREET PARKING AREAS FROM BROADWAY, I.E. A PROPOSED STREET INTERCUTS THE CENTER OF THE SITE IN A NORTH/SOUTH DIRECTION, AND IS INTENDED TO BE CONNECTED TO A POSSIBLE EAST/WEST STREET TO THE SOUTH OF THIS DEVELOPMENT IN A FUTURE PHASE. NEW ON-STREET PARKING IS PROPOSED TO BE CONSTRUCTED AS A PART OF THIS DEVELOPMENT, PORT OF WHICH SERVES THE REQUIREMENTS OF THE DEVELOPMENT.

PEDESTRIAN PROMENADES AND BIWAYS THROUGH AN EXTENSION OF THE EXISTING NEIGHBORHOOD SIDEWALK SYSTEM ALONG BROADWAY AND BROADWAY NE, CONTROLLED GATED PEDESTRIAN ACCESS POINTS CONNECT THE PERIMETER SIDEWALK SYSTEM TO THE INTERNAL CIRCULATION SYSTEM OF SIDEWALKS WITHIN THE PERIMETER SECURITY WALLS.

LANDSCAPING EMPLOYS A LARGE NUMBER OF TREES FOR SHADING AND TO TIE THE PROPOSED PARK AREA VISUALLY TO THE PROPOSED OFF-STREET PARKING AREA. PERMEABLE PAVING IS USED IN THE OFF-STREET PARKING AREAS TO ENCOURAGE THEIR USE AS MULTI-FUNCTIONING SPACES.

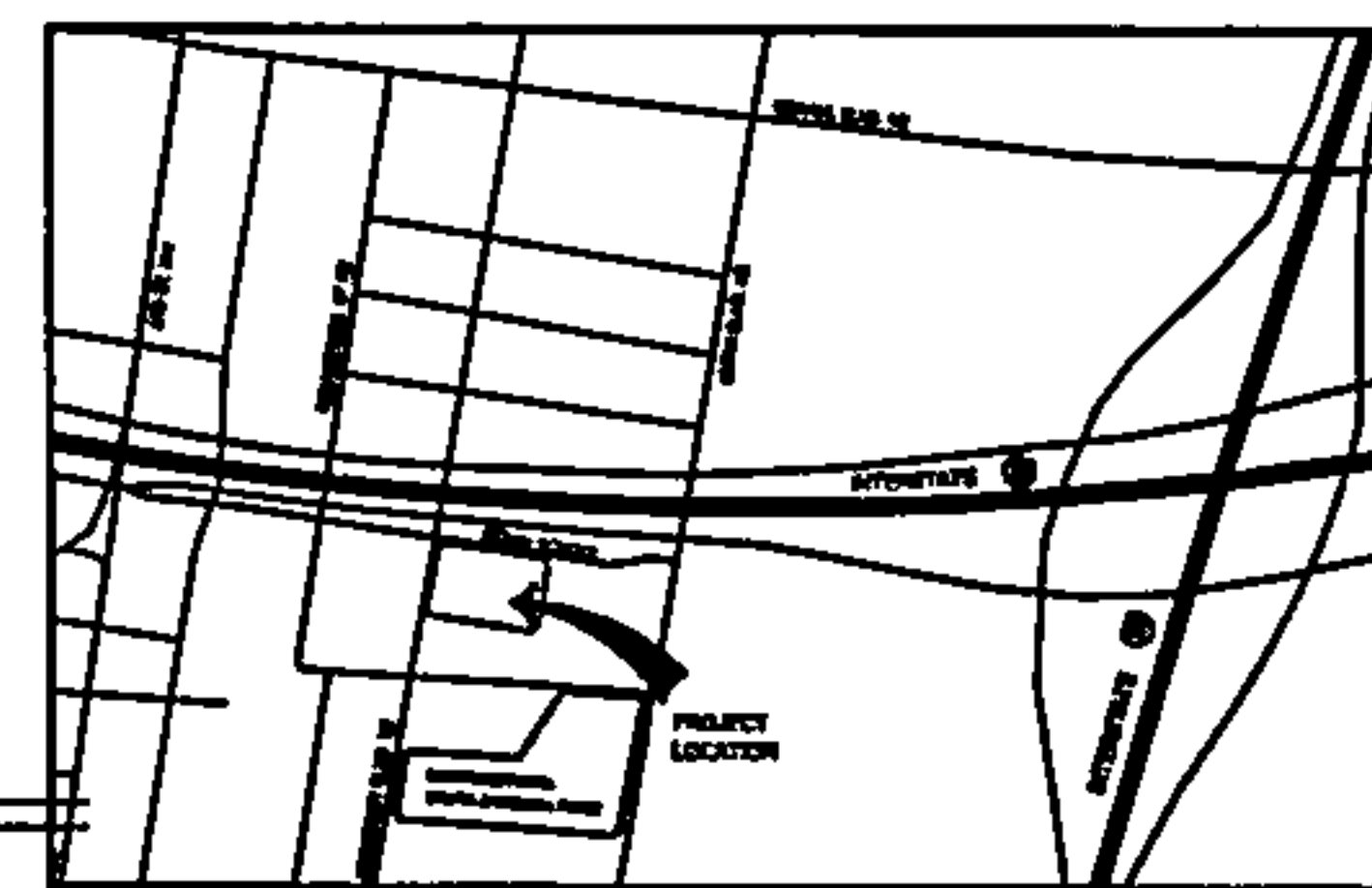
LEGEND:

- PEDESTRIAN ACCESS (CONCRETE SIDEWALK)
- PERMEABLE PAVEMENT (2" THICK 3/4" GRAVEL OVER 8% COMPACTED NATIVE SUBGRADE)
- PATTERNED CONCRETE CROSSWALK
- 6' HIGH SECURITY WALL - GRAY-BROWN CONCRETE BLOCK, 8X18 STACKED BOND, WITH DECORATIVE METAL GATES WHERE SHOWN
- 6' HIGH SECURITY WALL - DECORATIVE METAL WITH DECORATIVE METAL GATES WHERE SHOWN
- LOW RETAINING WALL - GRAY-BROWN CONCRETE BLOCK, 8X18 STACKED BOND, 2'-0" APPROXIMATE HEIGHT
- 6' HIGH SECURITY WALL - DECORATIVE METAL "COYOTE FENCE"
- SITE LIGHTING, METAL HALIDE, 18' ALUM. POLE, DOUBLE LAMP
- SITE LIGHTING, METAL HALIDE, 12' ALUM. POLE, DOUBLE LAMP
- PICNIC TABLE
- TRASH CAN
- BENCH
- BOULDERS
- BIKE RACKS

TABLE OF CONTENTS:

- 1.1 SITE PLAN
- 1.2 RAMP DETAILS
- 2.1 LANDSCAPE PLANTING PLAN
- 2.2 LANDSCAPE PLANTING PLAN
- 3.1 SITE CONCEPTUAL DRAINAGE PLAN
- 3.2 SITE CONCEPTUAL DRAINAGE PLAN
- 4.1 GRADING AND DRAINAGE PLAN
- 4.2 CONCEPTUAL UTILITY PLAN
- 5.1 BUILDING AND STRUCTURE ELEVATIONS, BLOCK A
- 5.2 BUILDING AND STRUCTURE ELEVATIONS, BLOCK B
- 5.3 BUILDING AND STRUCTURE ELEVATIONS, BLOCK C
- 5.4 BUILDING AND STRUCTURE ELEVATIONS, BLOCK D
- 5.5 BUILDING AND STRUCTURE ELEVATIONS, BLOCK E
- 5.6 BUILDING AND STRUCTURE ELEVATIONS, BLOCK F

NOTE: PARK AREA IS PRIVATELY OWNED AND PRIVATELY MAINTAINED BY OWNER.



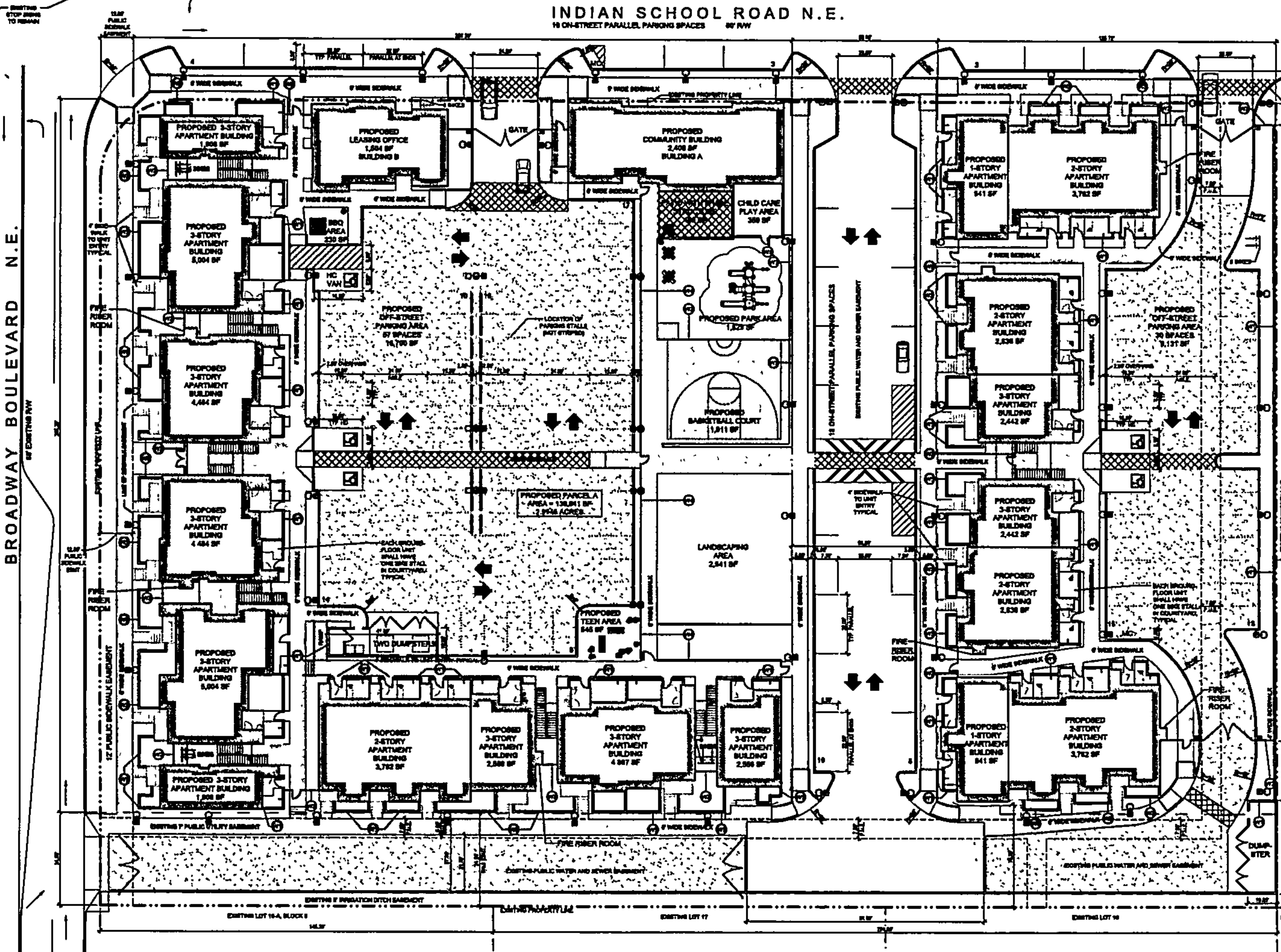
E5 VICINITY MAP
SCALE: 1" = 100'

dg
THE BARTMAN • RAJEWSKI
DESIGN GROUP
ARCHITECTS • INTERIORS • INTERIOR DESIGN
PLANNERS • URBAN DESIGNERS • LANDSCAPE ARCHITECTS

128 VASSAR DRIVE SUITE 100
ALBUQUERQUE, NEW MEXICO 87106
PHONE: 505.242.9300 FAX: 505.242.6301

CONSULTANT

INDIAN SCHOOL ROAD N.E.
18 ON-STREET PARALLEL PARKING SPACES 80' BY 70'



PROJECT LOCATION: SOUTHWEST CORNER OF BROADWAY AND BROADWAY NE
LEGAL DESCRIPTION: LOTS 1 THROUGH 3, BLOCK 6, FRANCISCHACRES
NET ACRES: 14.14
TOTAL ADDRESS: 2,894 ACRES
PROPOSED SUBDIVISION PARCELS: 2,894 ACRES
EXISTING ZONING: RU-280-1 FOR PUD
PROPOSED USES: RESIDENTIAL DWELLINGS
LIST OF APPLICABLE PLANS:
RANK 1 PLANS - ALBUQUERQUE/BERNALILLO COUNTY COMPREHENSIVE PLAN
RANK 2 PLANS - NONE
RANK 3 PLANS - MARTINEZTOWN / SANTA BARBARA SECTOR DEVELOPMENT PLAN
MINIMUM FLOORING HEIGHT: 40 FEET
MINIMUM BUILDING SETBACK: 30'00" (FROM SCHOOL ONLY)
MAXIMUM TOTAL DWELLING UNITS: 88 DWELLING UNITS
NET - 28.84 DUBUACRE
GROSS - 21.67 DUBUACRE
PROPOSED TOTAL AREA FOR RESIDENTIAL UNITS: 54,117 SF
54,117 SF (LEASING OFFICE AND COMMUNITY BUILDING NOT INCL.)
FAR SUMMARY:
SUBJECT FAR FOR NONRESIDENTIAL UNITS: 0.3
PROVIDED FAR FOR NONRESIDENTIAL UNITS: 0.35
PROVIDED FAR FOR ALL DEVELOPMENT (RES AND NON-RES): 0.55
RESERVED PARKING:
PER ONE APPROVED SDP FOR SUBDIVISION 54-12: 116 SPACES
TOTAL RESERVED PARKING: 116 SPACES
PROPOSED PARKING:
OFF-STREET PARKING: 87 SPACES
ON-STREET PARKING: 29 SPACES
TOTAL PROPOSED PARKING: 116 SPACES
HANDICAPPED, MOTORCYCLE, AND BICYCLE PARKING IS PROVIDED TO MEET THE REQUIREMENTS OF THE APPROVED SITE DEVELOPMENT PLAN FOR SUBDIVISION DATED 5-4-2012.

SIGNATURE BLOCK

PROJECT NUMBER: _____
APPLICATION NUMBER: _____
Is an introduction fee required? (Yes/No) If yes, then a set of approved DIC plans with a work order is required for any construction within public right-of-way or for modification of public transportation.

[Signature] DATE: 09-12-12
TRAFFIC ENGINEERING SUPERVISOR DIVISION DATE: _____
[Signature] DATE: 09/12/12
UTILITIES DEVELOPMENT DATE: 9/12/12
PARKS AND RECREATION DATE: _____

CITY ENGINEER DATE: _____
ENVIRONMENTAL HEALTH DEPT. (if required) DATE: _____
SOLID WASTE MANAGEMENT DATE: _____
DRB CHAIRPERSON PLANNING DEPARTMENT DATE: _____

PROJECT NAME:
GREATER ALBUQUERQUE HOUSING PARTNERSHIP

FRANCISCHACRES SUBDIVISION
INDIAN SCHOOL AND BROADWAY
ALBUQUERQUE, NM 87102

REVISIONS:	No.	DATE	DESCRIPTION
	1	7/17/2012	PLAN REVISIONS
	2	7/24/2012	DRW COMMENTS
	3	8/27/2012	DRW COMMENTS
	4	9/26/2012	DRW COMMENTS

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Drawn by: _____
Checked by: _____
Date: 8/10/2012
Project number: 242
Cof file name: _____

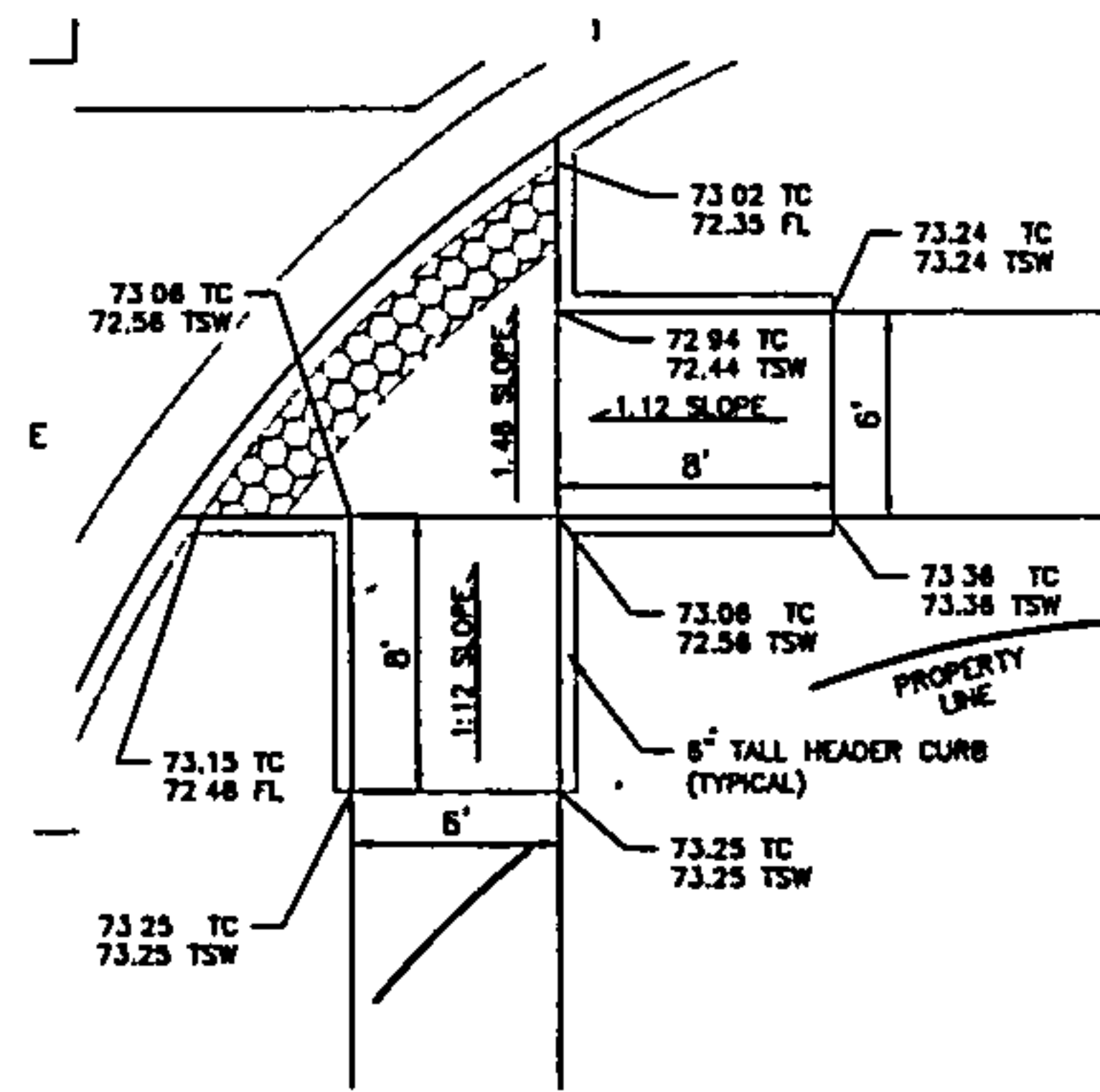
B5 BIKE RACKS
SCALE: 1/4" = 1'-0"



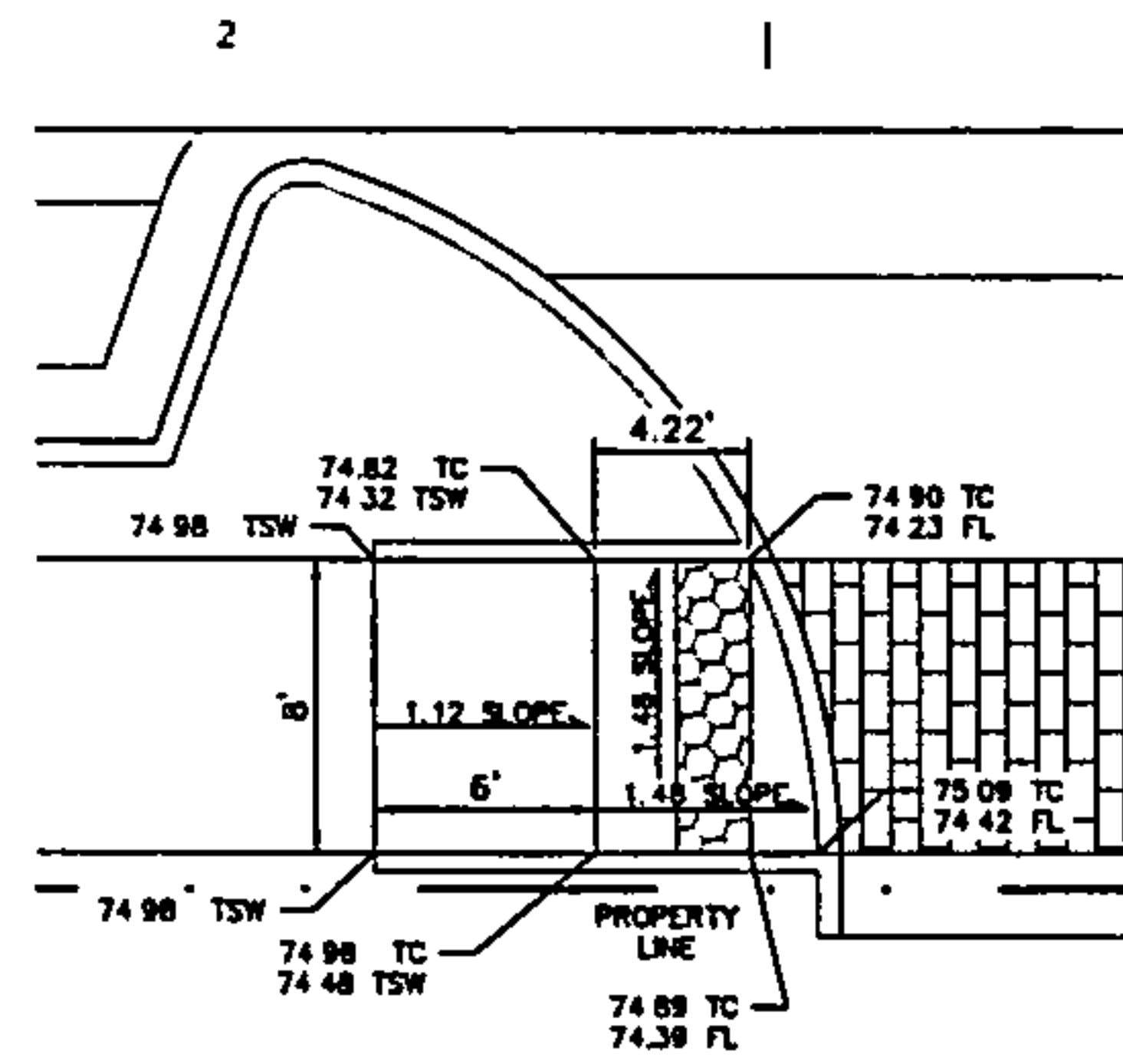
A5 DUMPSTER ENCLOSURE
SCALE: 1/4" = 1'-0"

A1 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
SCALE: 1" = 20'-0"

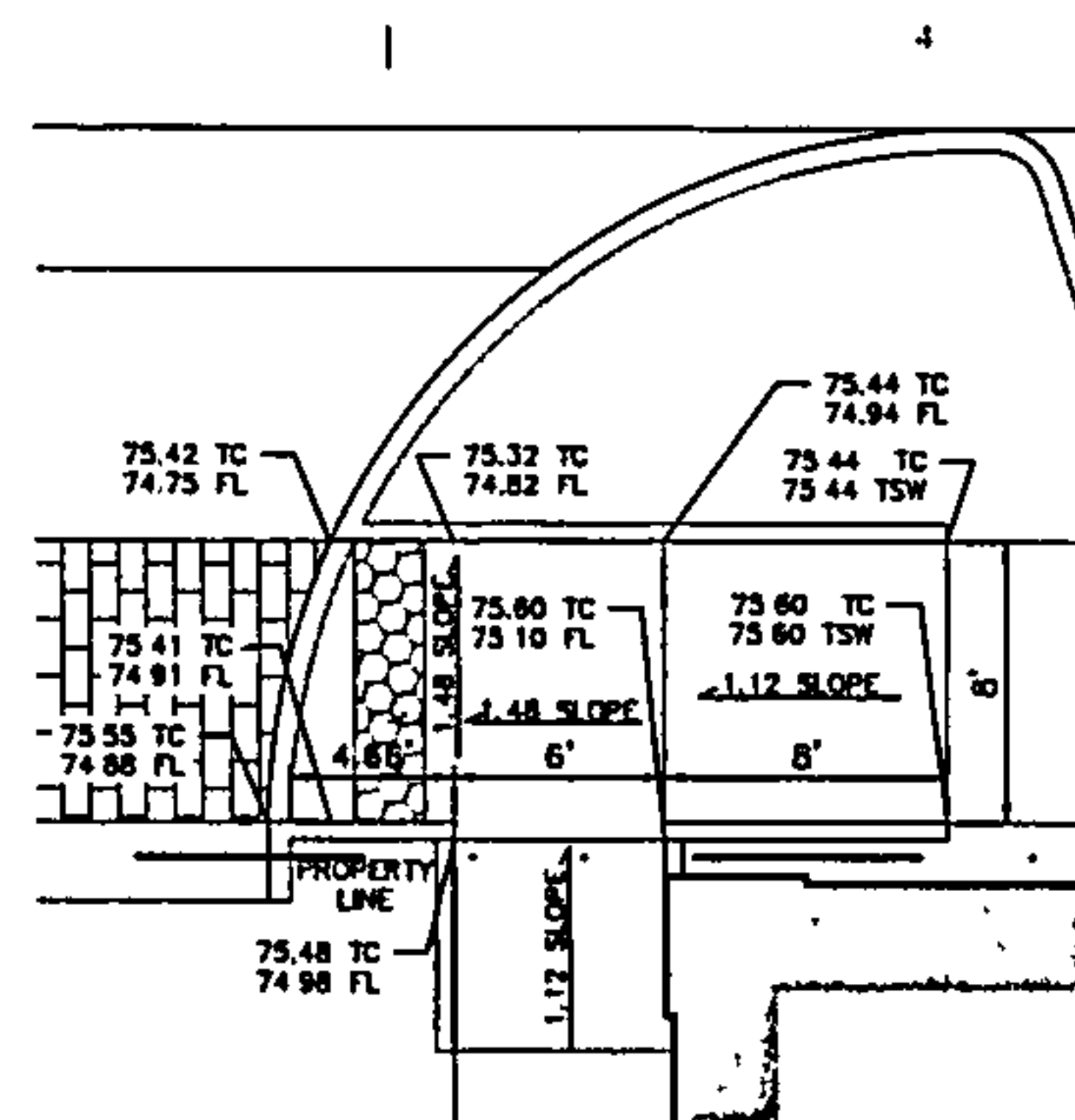
NOTE: PLAT COMBINING THREE LOTS INTO SINGLE LOT AND CREATING EASEMENTS WAS RECORDED ON 8-30-2012 IN PLAT BOOK 2012C, PAGE 101



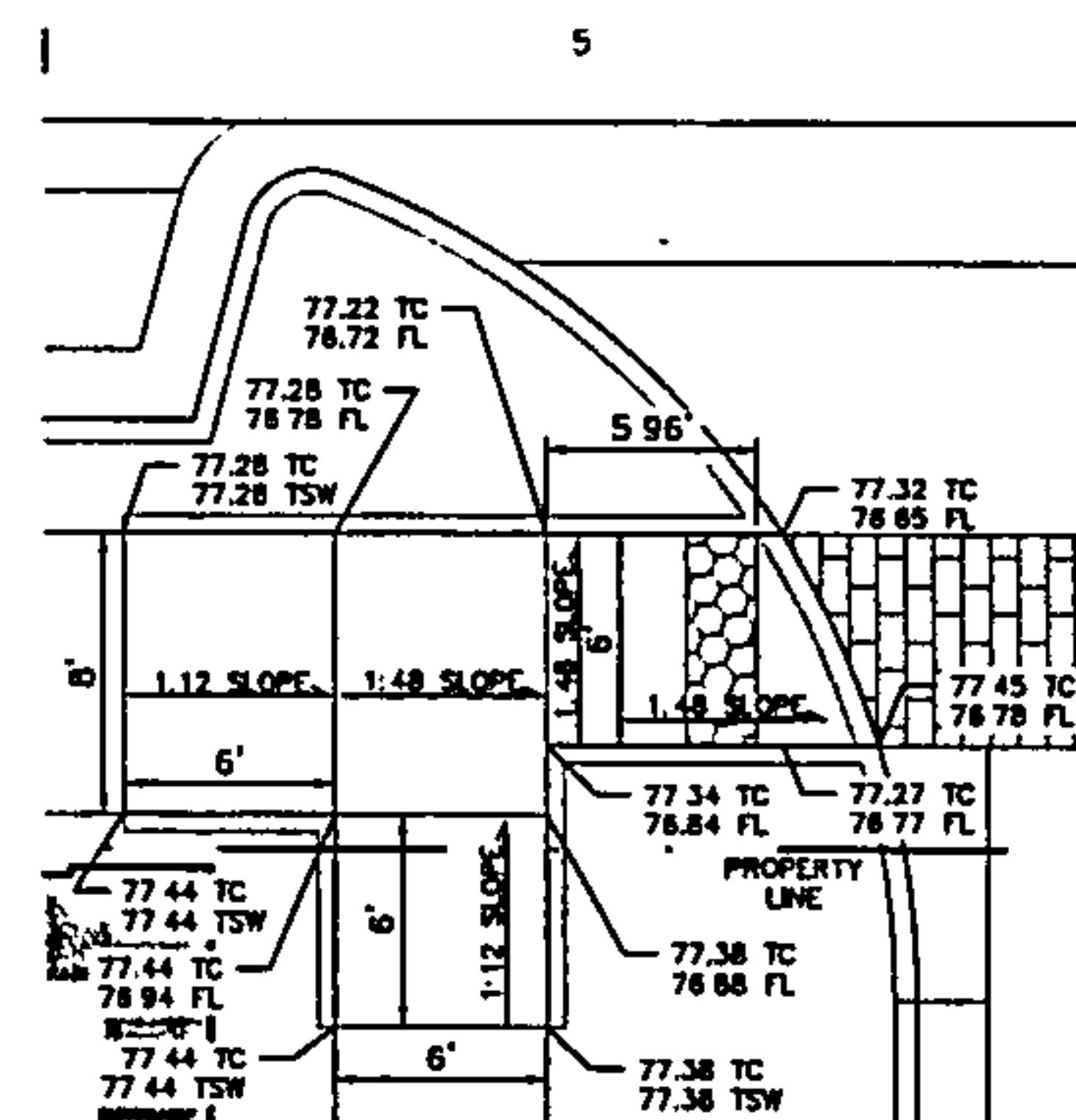
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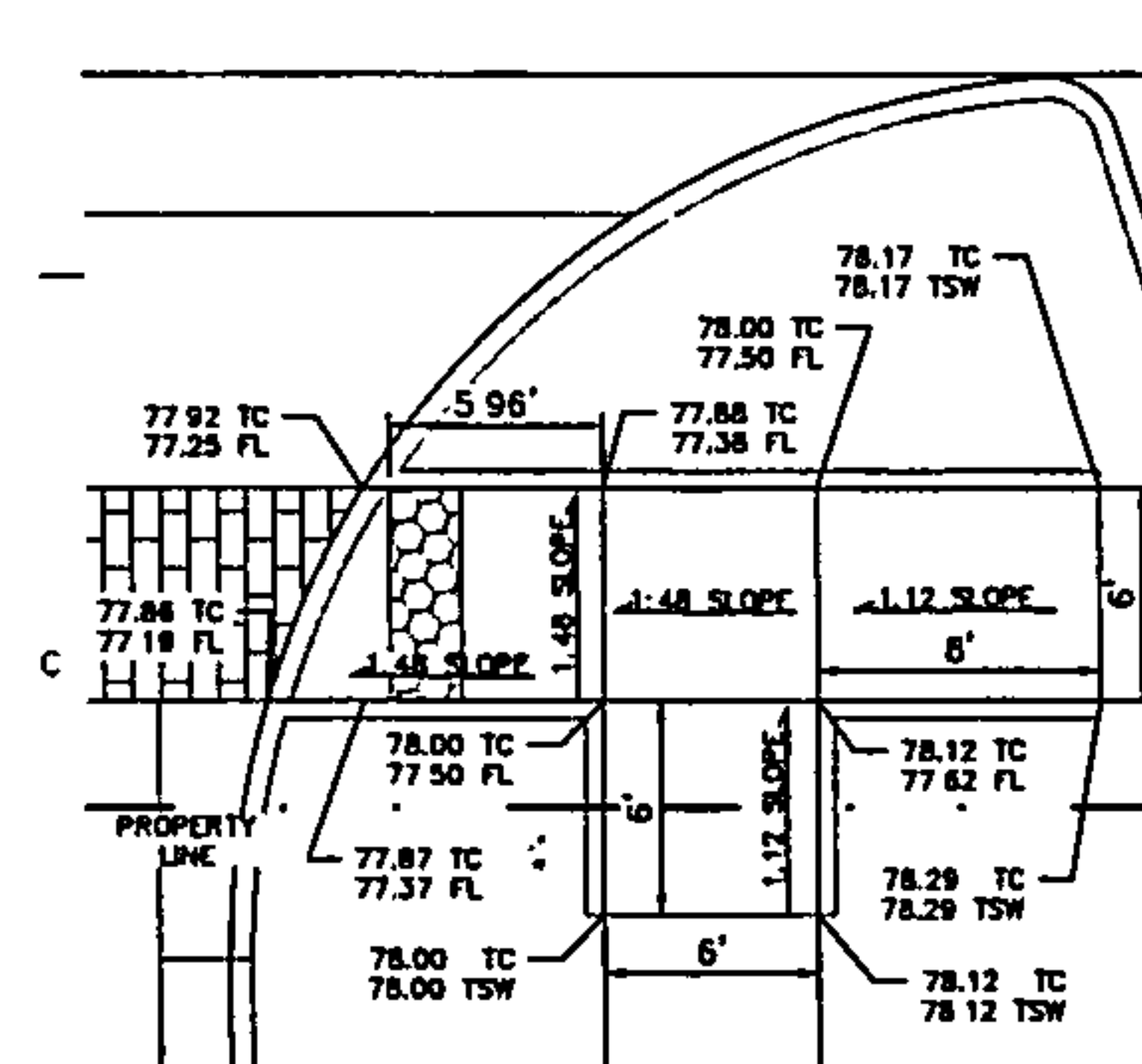
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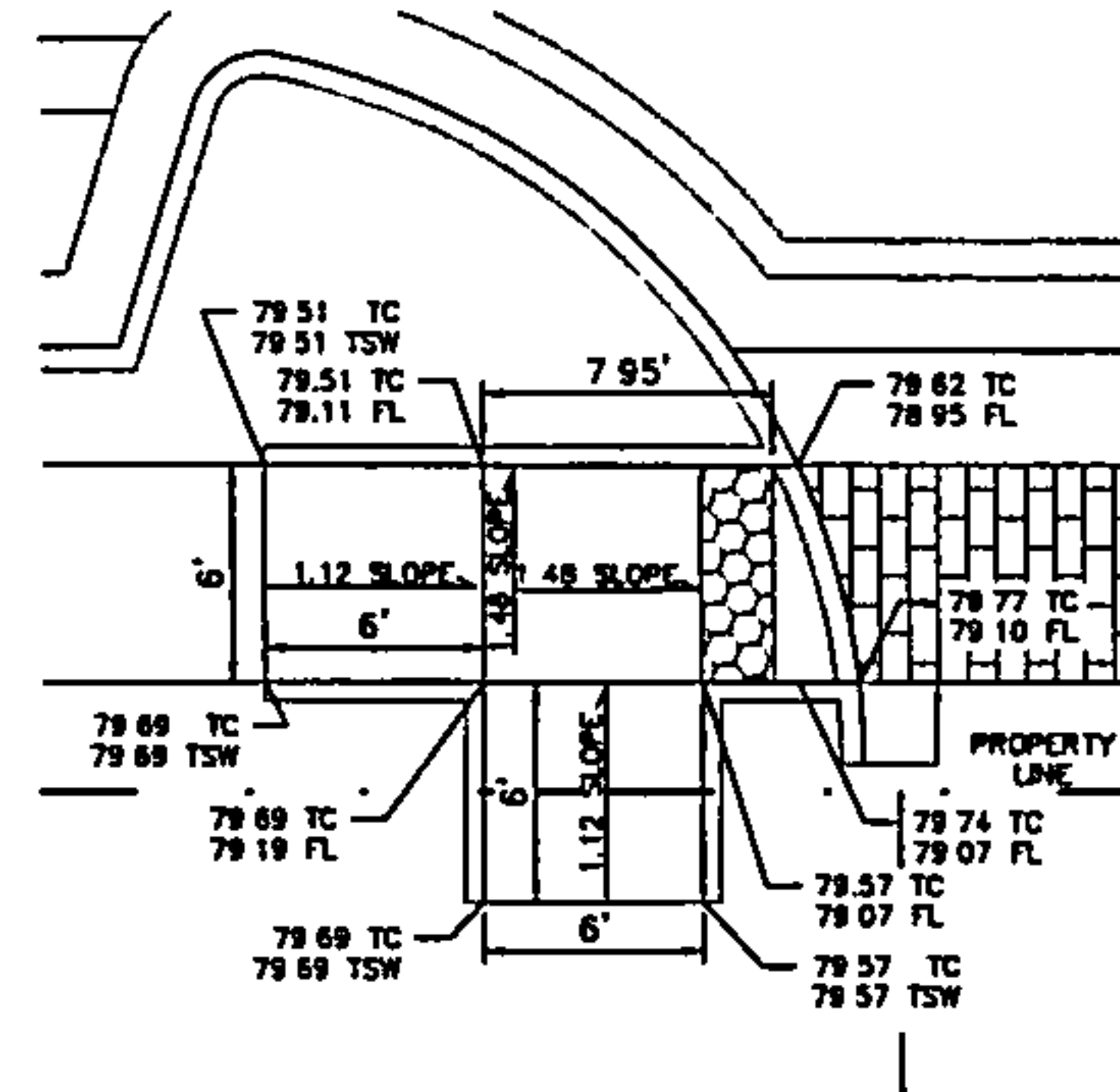
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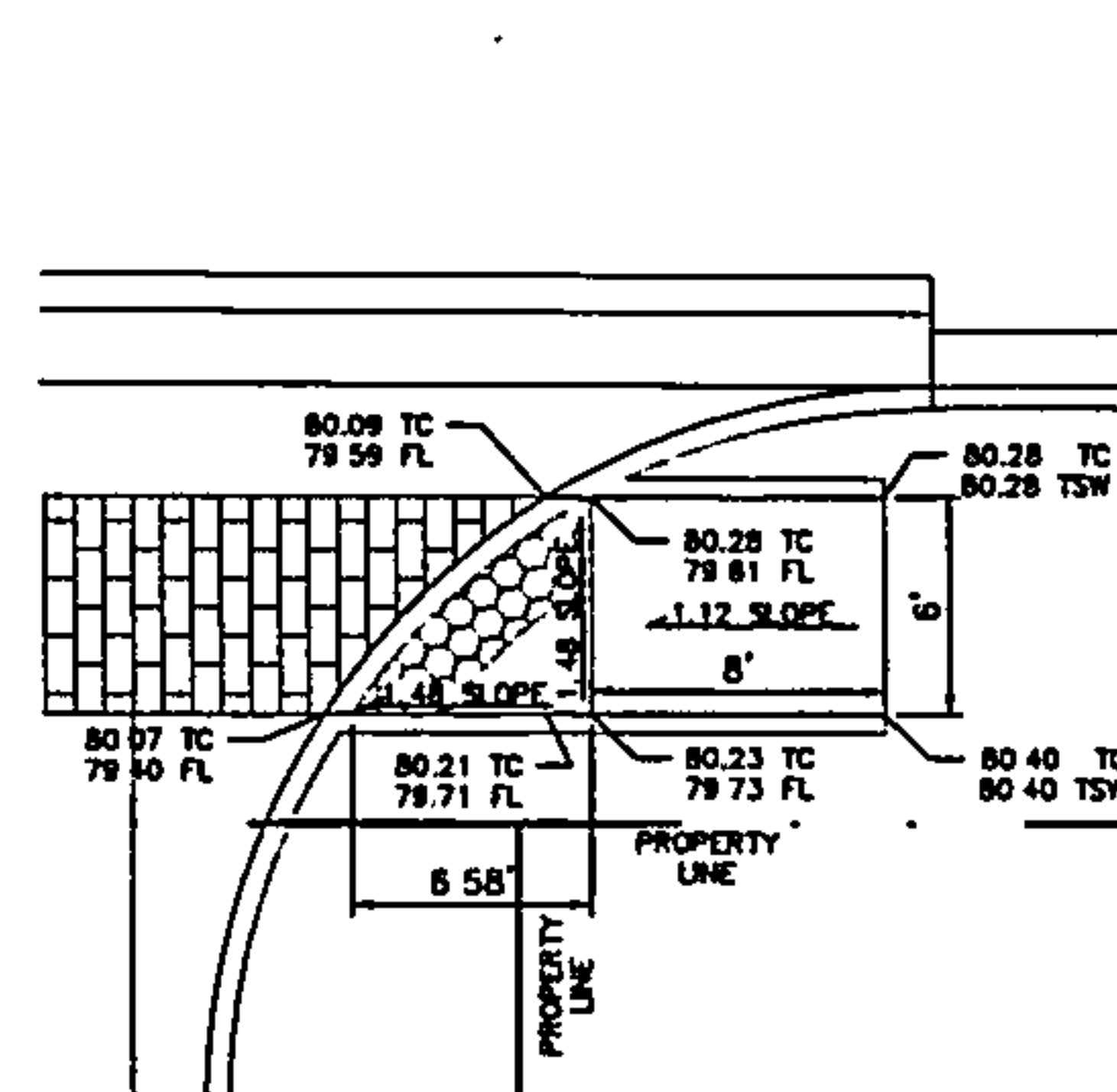
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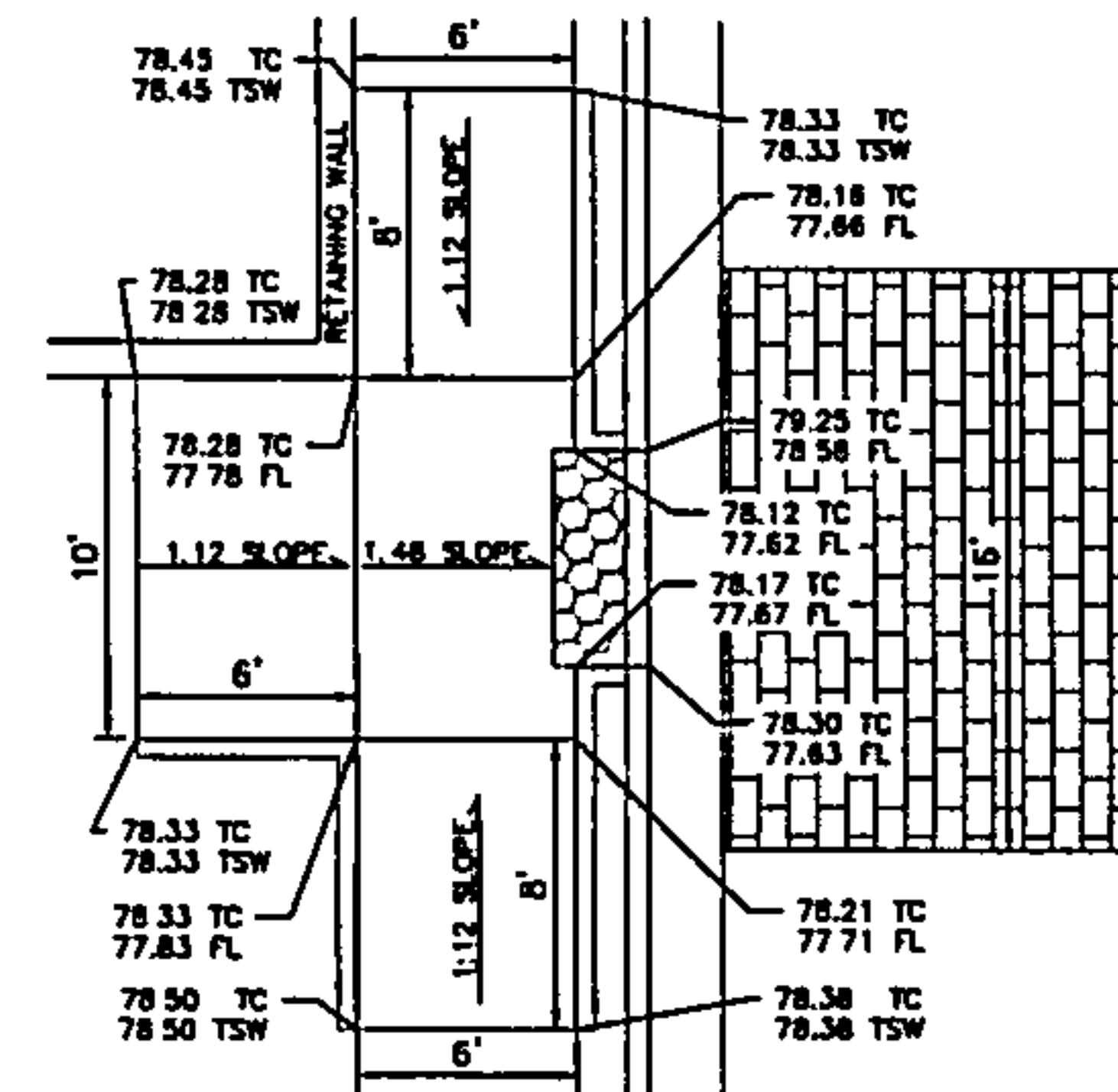
B1 CURB ACCESS RAMP DETAIL
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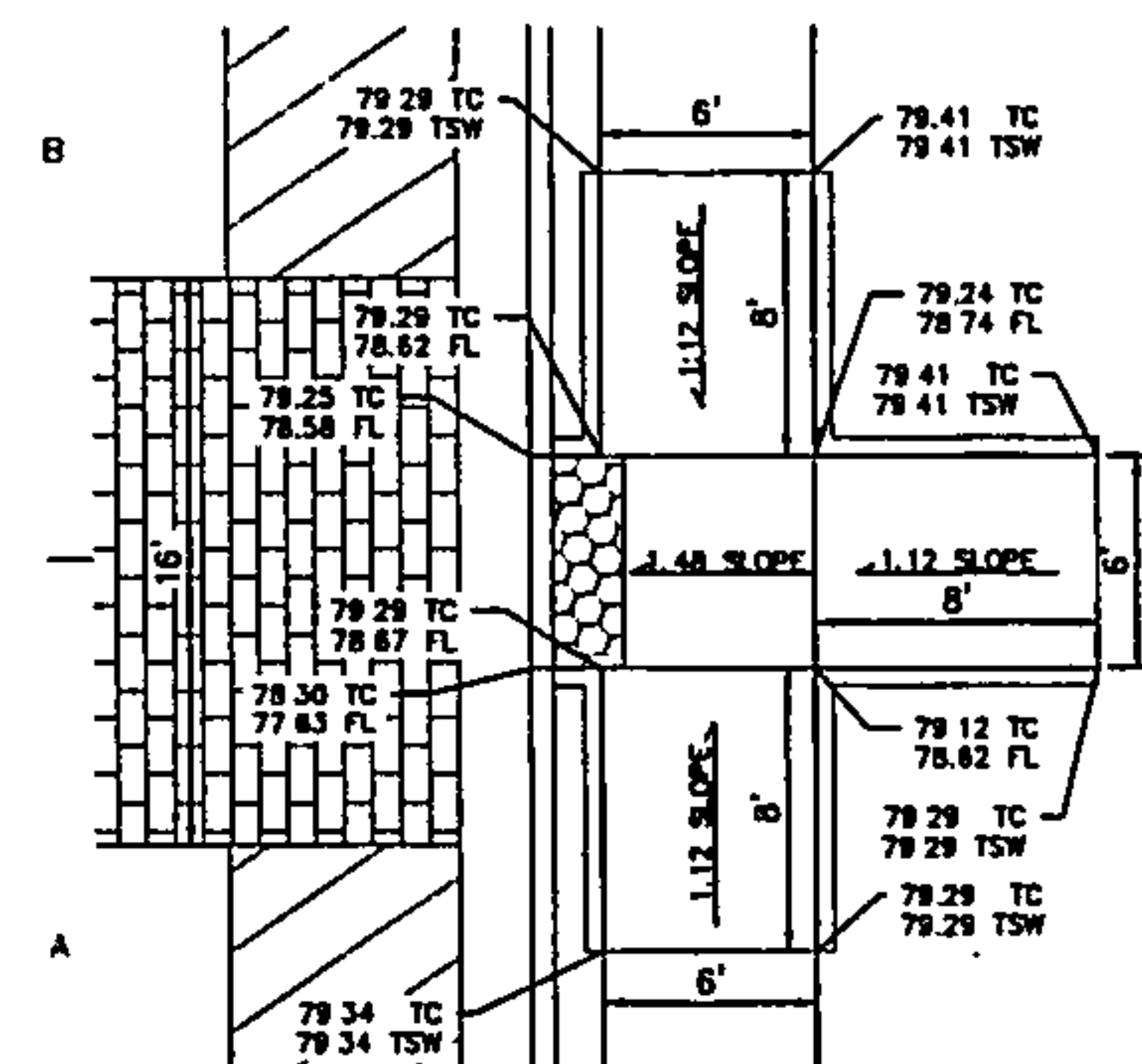
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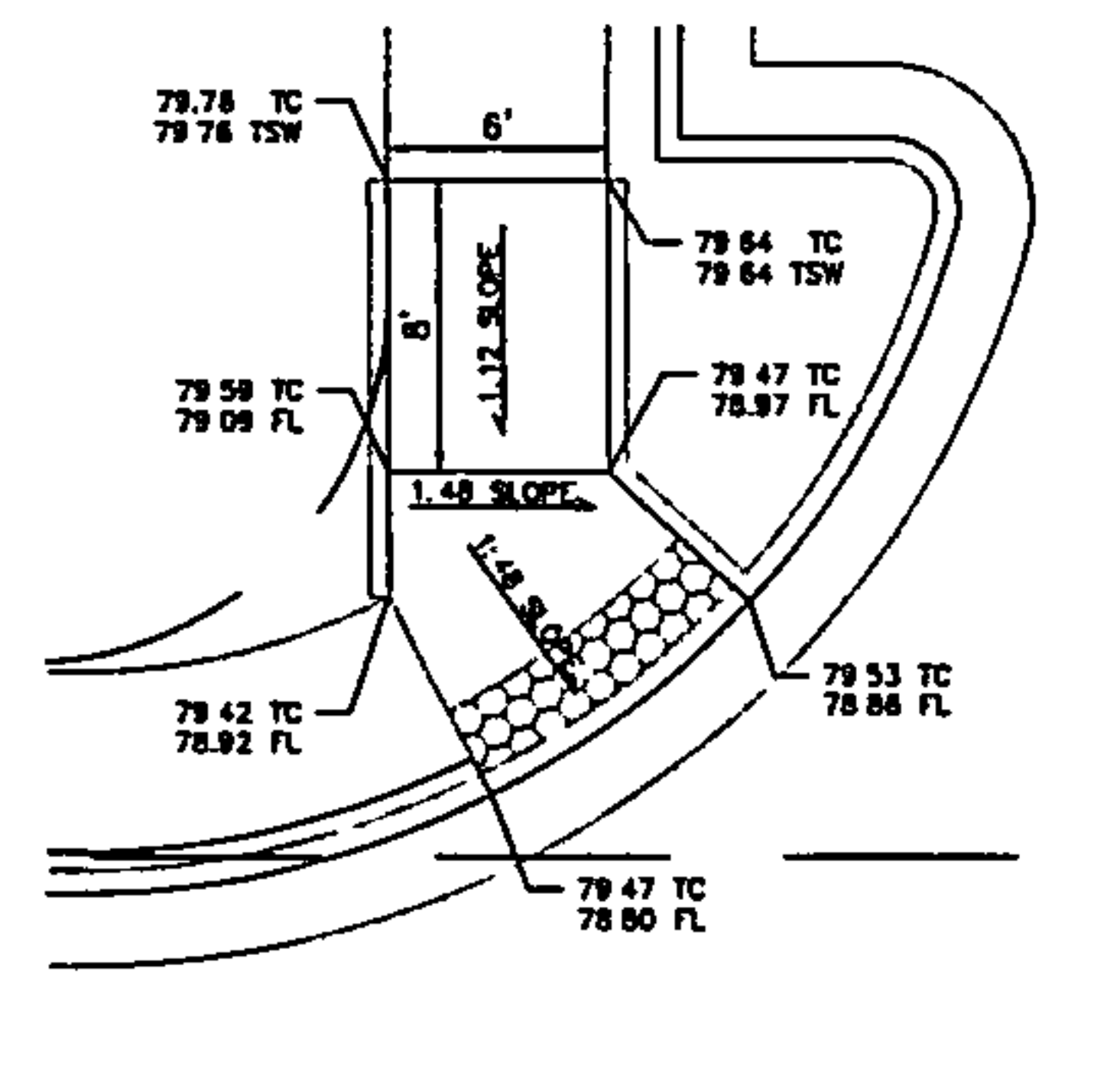
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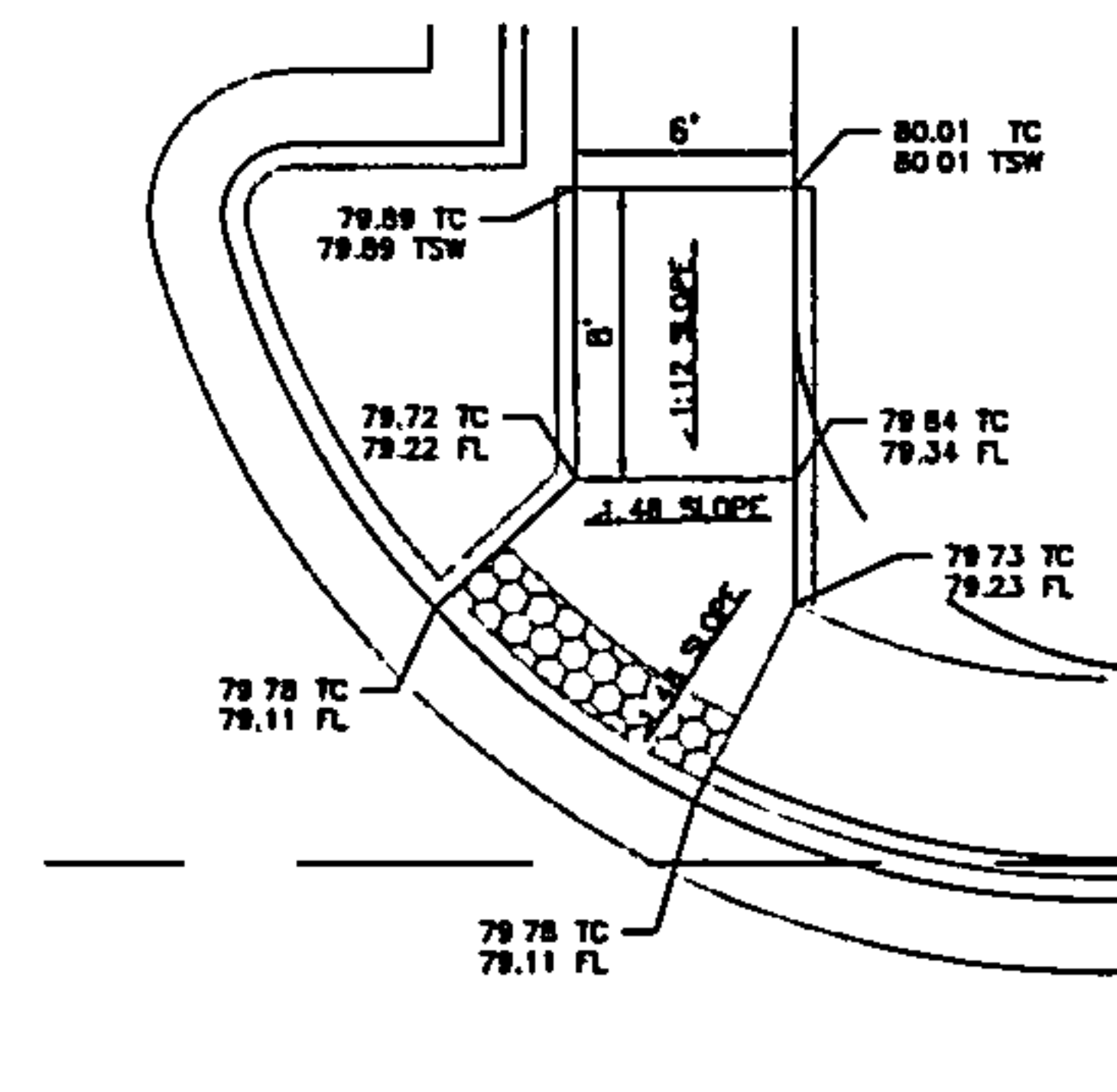
B5 CURB ACCESS RAMP DETAIL
SCALE: 1" = 5'-0"



A1 CURB ACCESS RAMP DETAIL
SCALE: 1" = 5'-0"



A2 CURB ACCESS RAMP DETAIL
SCALE: 1" = 5'-0"



A3 CURB ACCESS RAMP DETAIL
SCALE: 1" = 5'-0"

dg
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DESIGN GROUP
ARCHITECTS • INTERIORS • INTERIOR DESIGN
PLANNING • GRAPHIC DESIGNERS • LEED®
128 VASSAR DRIVE SUITE 100
ALBUQUERQUE, NEW MEXICO 87108
PHONE 505.242.8800 FAX 505.242.8801
CONSULTANT

PROJECT NAME
**GREATER ALBUQUERQUE
HOUSING PARTNERSHIP**

FRANCISCAN ACRES SUBDIVISION
INDIAN SCHOOL AND BROADWAY
ALBUQUERQUE, NM 87102

REVISIONS:

No.	DATE	DESCRIPTION
1	7/17/2012	PLAT REVISIONS
2	7/24/2012	DRB COMMENTS
3	8/5/2012	DRB COMMENTS
4	8/6/2012	DRB COMMENTS

Copyright: Design Group
Drawn by: JHF
Checked by: JHF
Date: 8/6/2012
Project number: 2428
Call file name:

SHEET TITLE:
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
ADA CURB ACCESS RAMPS

SHEET NUMBER:

1.2



THE HARTMAN + MAJEWSKI
DESIGN GROUP
 ARCHITECTS • INTERIORS • LANDSCAPE ARCHITECTS
 150 VASSAR DRIVE SE SUITE 100
 ALBUQUERQUE, NEW MEXICO 87108
 PHONE: 505.242.8888 FAX: 505.242.8881

CONSULTANT

 MORROW RARIDON WILKINSON MILLER, LTD.
 LANDSCAPE ARCHITECTS

HATCH LEGEND

- 3" DEPTH OF 1" BULDOLGY BROWN GRAVEL MULCH, (OR APPROVED EQUAL). AVAILABLE FROM BULDOLGY (505) 344-8628.
- 3" DEPTH OF 1" BULDOLGY BROWN GRAVEL MULCH, (OR APPROVED EQUAL). AVAILABLE FROM BULDOLGY (505) 344-8628. TREES PLANTED IN THIS AREA SHALL BE PER TRENCH PLANTING DETAIL A3/A-501.
- PARK BLEND TURF - SOD (2,818 SF) TOP OF SOD TO BE 1" BELOW TOP OF ADJACENT PAVED SURFACE.
- ENGINEERED WOOD FIBER PLAY SURFACE. SEE KEYED NOTE #3.
- ENGINEERED WOOD FIBER PLAY SURFACE. SEE KEYED NOTE #4.
- BULDOLGY BROWN CRUSHER FINES AVAILABLE FROM BULDOLGY (505) 344-8628, OR APPROVED EQUAL. CONTRACTOR TO SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
- CONCRETE. SEE CIVIL.

GENERAL NOTES

1. MULCH IN TREE AND SHRUB BEDS SHALL BE 3" DEPTH OF 1" BROWN CRUSHED GRAVEL WITH FILTER FABRIC UNDER.
2. THIS PLAN IS IN COMPLIANCE WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE, ENACTMENT NO. 18-1995.

IRRIGATION SYSTEM

ALL PLANTING IMPROVEMENTS WILL BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. TREES, SHRUBS AND PERENNIALS WILL BE WATERED BY LOW PRECIPITATION RATE BUBBLER HEADS. TURF WILL BE WATERED BY SPRAY OR ROTOR HEADS. BACKFLOW PREVENTION WILL BE PROVIDED AT POINT OF CONNECTION TO SERVE AS THE MEANS OF WATER CONTAMINATION PROTECTION. IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER.

LANDSCAPE MAINTENANCE

THE OWNER WILL RESUME RESPONSIBILITY FOR MAINTENANCE OF THE LANDSCAPE AND IRRIGATION SYSTEM.

LANDSCAPE AREA REQUIREMENTS

TOTAL LOT AREA: 140,718 S.F.
 BUILDING AREA: 27,738 S.F.
 NET LOT AREA: 112,981 S.F. (TOTAL - BUILDING = NET)
 TOTAL LANDSCAPE AREA REQUIRED: 18,947 S.F. (15% OF NET LOT AREA)
 TOTAL LANDSCAPE AREA PROVIDED: 23,489 S.F. (22.5% OF NET LOT AREA)

LANDSCAPE AREAS

LANDSCAPE TYPE	SQUARE FOOTAGE
HIGH WATER USE TURF	1,943 S.F. (7.6% OF LANDSCAPED AREA)
TREES AND SHRUB BEDS WITH GRAVEL OR CRUSHER FINE MULCH	23,546 S.F. (92.4% OF LANDSCAPED AREA)

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PROJECT NAME
GREATER ALBUQUERQUE HOUSING PARTNERSHIP

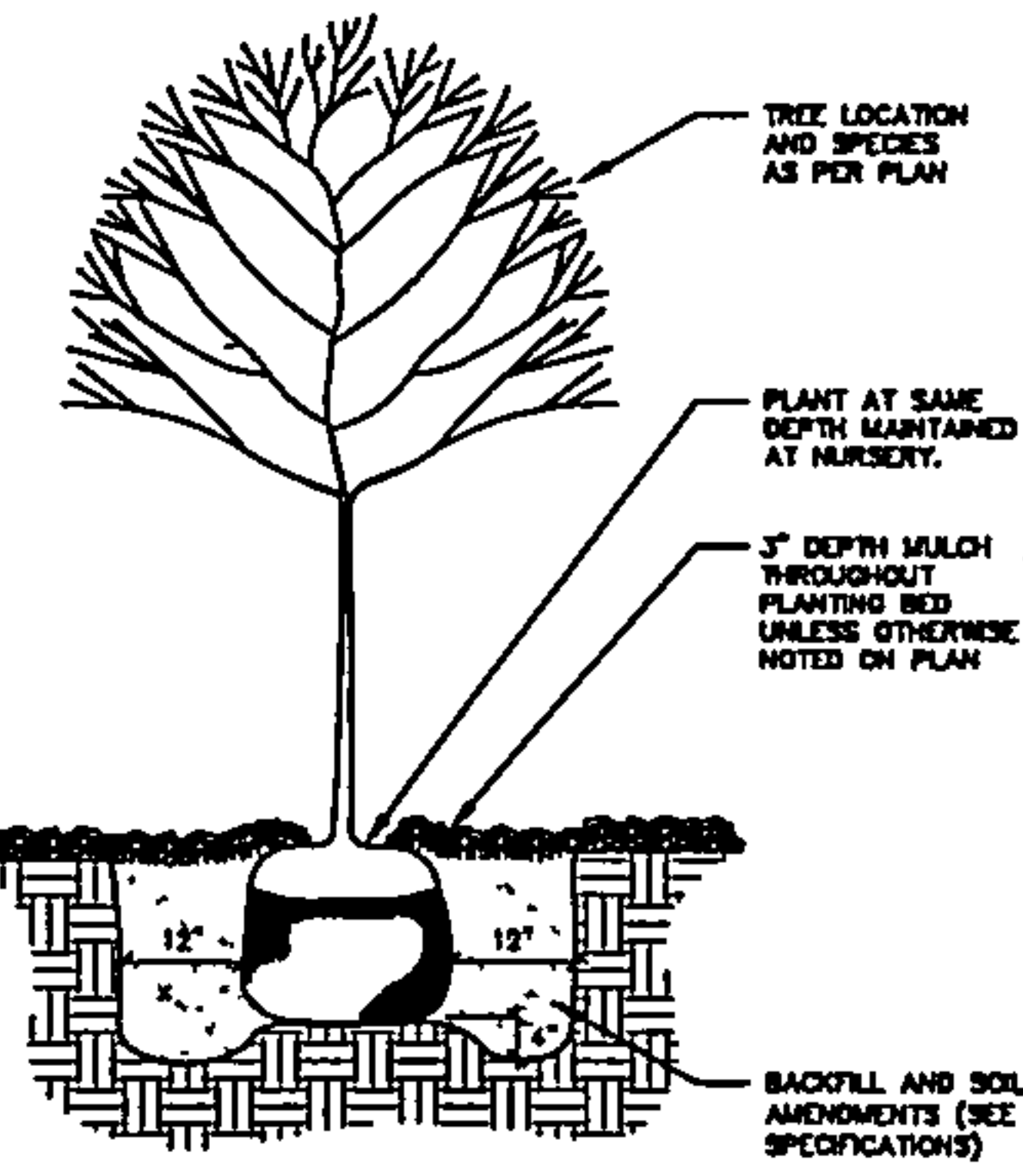
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REVISIONS	No.	DATE	DESCRIPTION
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	2	8/21/2012	ISS COMMENTS

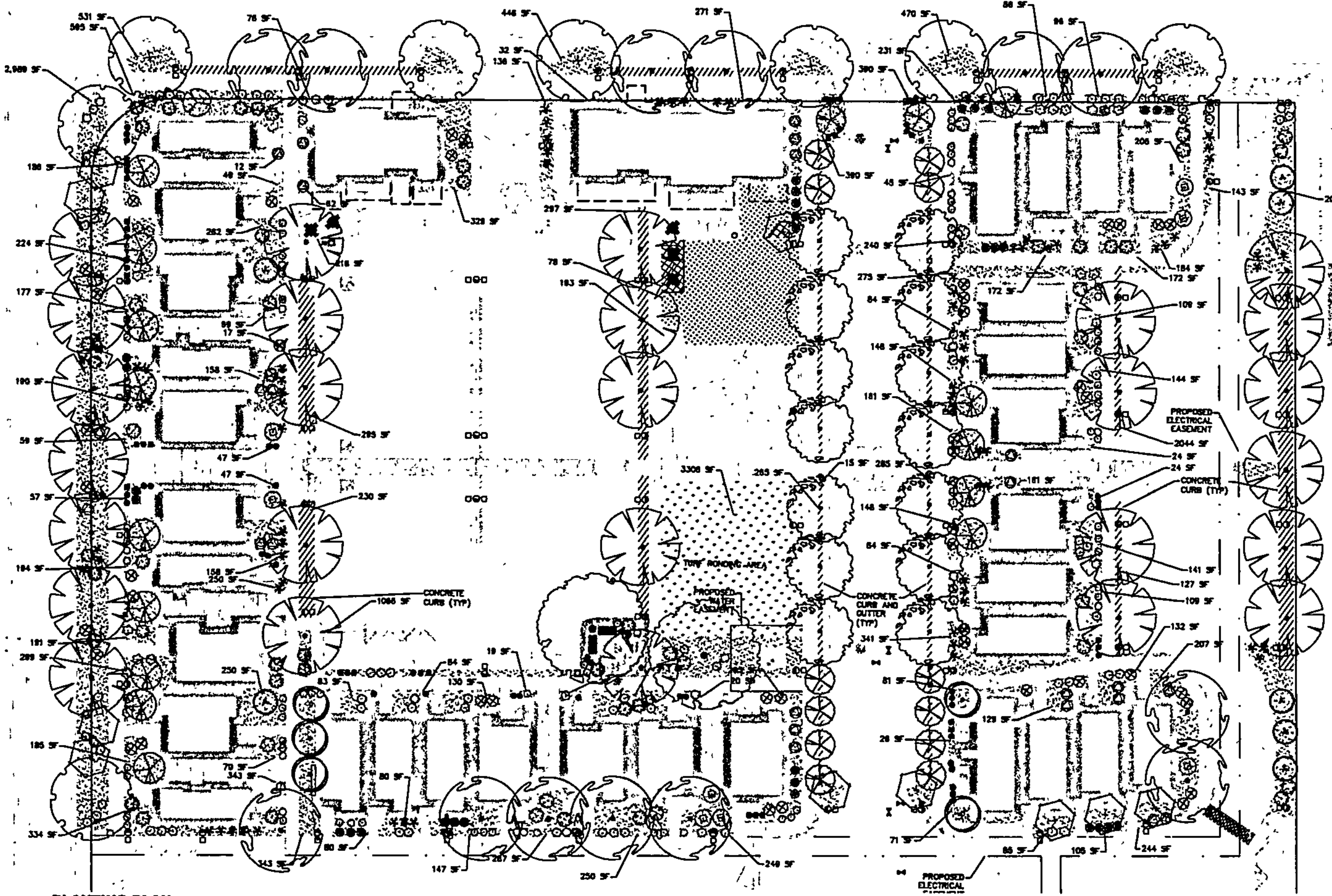
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 Date: 8/20/12
 Project number: 300
 Civil file name:

SHEET TITLE:
 LANDSCAPE PLANTING PLAN

SHEET NUMBER:
2.1



(A5) TREE PLANTING DETAIL
 SCALE: N.T.S.



B1 PLANTING PLAN
 SCALE: 1" = 20'

PLANT SCHEDULE

KEY	COMMON NAME	BOTANICAL NAME	QUANTITY INSTALLED	SIZE	MATURE SIZE	CONDITION
TREES						
UA	Urbanite Ash	<i>Frostus pennsylvanicus 'Urbanite'</i>	13	2" cal., 12"-14"hl.	40' ht. & 25" spd.	30" bar
CP	Chinese Platano	<i>Platanus chinensis</i>	8	2" cal., 10"-12"hl.	40' ht. & 25" spd.	30" bar
LP	Linden Plane Tree	<i>Platanus scutellata</i>	2	2" cal., 12"-14"hl.	50' ht. & 30" spd.	30" bar
AP	Aristocrat Pear	<i>Pyrus calleryana 'Aristocrat'</i>	14	2" cal., 10"-12"hl.	25' ht. & 20" spd.	30" bar
LE	Lambert Elm	<i>Ulmus parviflora</i>	27	2" cal., 12"-14"hl.	30' ht. & 25" spd.	30" bar
ACCENT TREES						
NMO	New Mexico Olive	<i>Forsythia neomexicana</i>	33	Mn., 4' ht.	18' ht. & 15" spd.	15-Col.
WH	Washington Hawthorne	<i>Crataegus phoenopyrum</i>	24	1.5" cal., 6"-8"hl.	25' ht. & 20" spd.	15-Col.
RC	Redstart Crabapple	<i>Malus 'Redstart'</i>	10	2" cal., 8"-10"hl.	24' ht. & 20" spd.	30" Bar
VX	Vitex	<i>Vitex agnus-castus</i>	9	Mn., 4' ht.	25' ht. & 20" spd.	15-Col.

PLANT SCHEDULE CONTINUED

KEY	COMMON NAME	BOTANICAL NAME	QUANTITY INSTALLED	SIZE	MATURE SIZE	CONDITION
SHRUBS						
BB	Butterfly Bush	<i>Buddleia davidii</i>	7	1'-6"hl.	8' ht. & spd.	5-Col.
BM	Blue Mist Spirea	<i>Caryopteris x stenderensis</i>	84	1'-6"hl.	3' ht. & spd.	5-Col.
FB	Fernbush	<i>Chamaebotrys millefolium</i>	21	1'-6"hl.	5' ht. & spd.	5-Col.
TB	Turpentine Bush	<i>Ericameria laetiflora</i>	48	1'-6"hl.	4' ht. & spd.	5-Col.
BJ	Buffalo Juniper	<i>Juniperus horizontalis 'Buffalo'</i>	8	8"hl.	1' ht. & 6' spd.	5-Col.
OLS	Oro-Low Sumac	<i>Rhus aromatica 'Oro-Low'</i>	31	1"hl.	3' ht. & 5' spd.	5-Col.
LL	Lilac	<i>Syringa vulgaris</i>	1	1'-6"hl.	15' ht. & spd.	5-Col.
GRASSES AND ACCENTS						
KF	Kari Foxtail Grass	<i>Calamagrostis x ovatiflora 'Kari Foxtail'</i>	87	1'-6"hl.	2' ht. & spd.	5-Col.
RY	Red Yucca	<i>Hesperaloe parviflora</i>	31	1'-6"hl.	4' ht. & 3' spd.	5-Col.
MG	Molten Grass	<i>Miscanthus sinensis 'Gracillimus'</i>	28	1'-6"hl.	5' ht. & 3' spd.	5-Col.
SH	Shenandoah Switchgrass	<i>Panicum virgatum 'Shenandoah'</i>	21	1'-6"hl.	4' ht. & spd.	5-Col.
DF	Overt Fountain Grass	<i>Pennisetum cespitosum 'Yaman'</i>	78	1' ht.	3' ht. & spd.	1-Col.
BA	Blue Avens	<i>Helictotrichon sempervirens</i>	71	8" ht.	2' ht. & spd.	1-Col.



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NO.	DATE	DESCRIPTION

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 Date: 8/16/01
 Project number: 340
 Cad file name:

SHEET TITLE:
 LANDSCAPE IRRIGATION PLAN

SHEET NUMBER:
2.2

IRRIGATION LEGEND

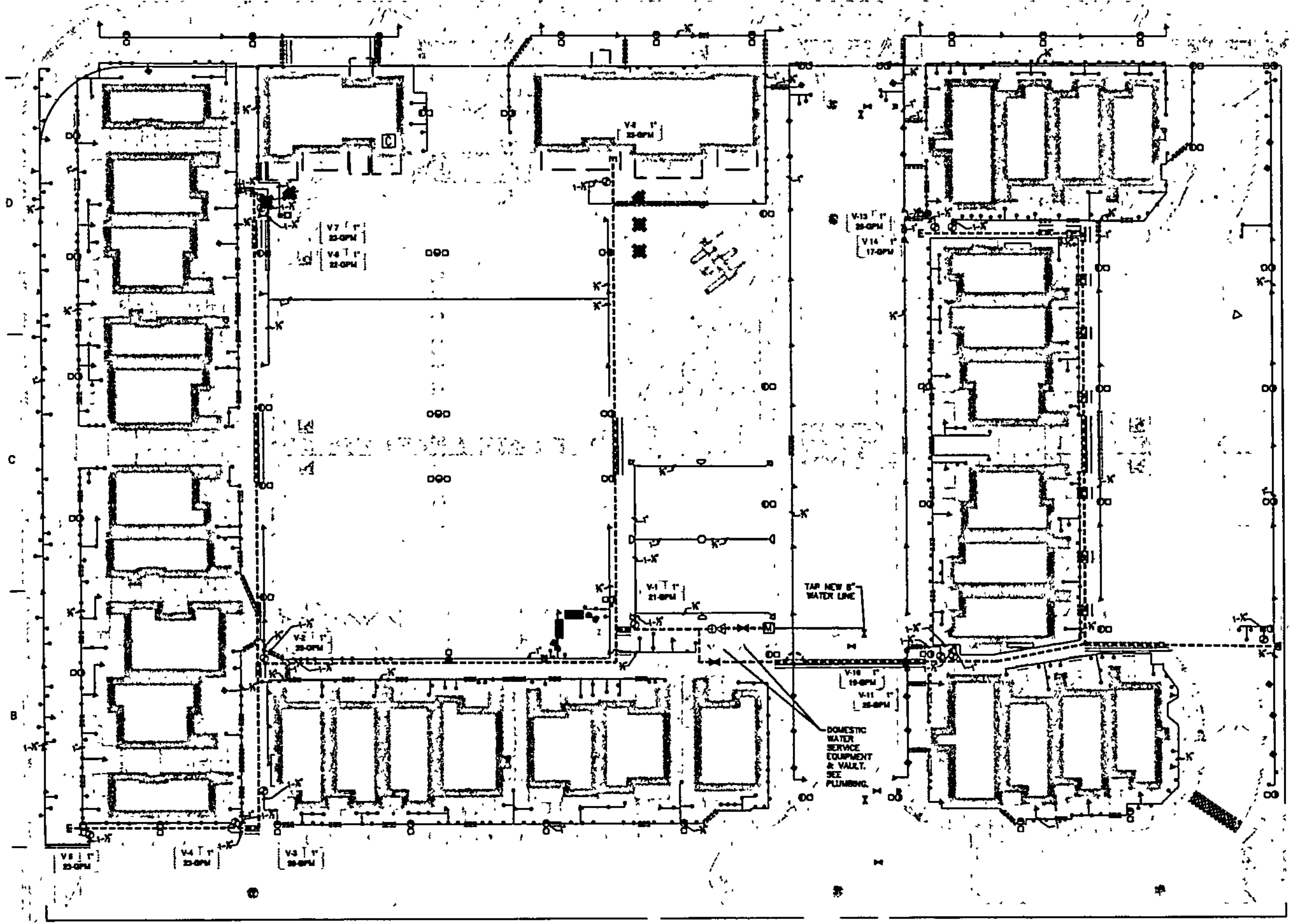
- 1.5" WATER METER FOR IRRIGATION
- MAN LINE AND LATERAL SLIPE PIPING, CLASS 200, 20'-21" BELL-DIG, SOLVENT WELD PVC, SEE IRRIGATION NOTE NO. 2.
- 24-VOLT IRRIGATION WIRE SLIPE PIPING, CLASS 200, 20'-21" BELL-DIG, SOLVENT WELD PVC, SEE IRRIGATION NOTE NO. 2.
- IRRIGATION MAN LINE, SCH. 40, BELL END, SOLVENT WELD PVC, SEE AS SHOWN ON PLAN, BOPM OF BURY 18", SIZE 1.5".
- IRRIGATION SERVICE LINE PIPING BETWEEN THE WATER METER AND THE SHV SHALL BE COPPER PIPE. FOR MAINLINE UNDER CONTINUOUS PRESSURE THE DOPM OF BURY SHALL BE 30", SIZE 1.5".
- LATERAL PIPING, SCH. 40, BELL END, SOLVENT WELD PVC, SIZE AS SHOWN ON PLAN, BOPM OF BURY, 18" EXCEPT WHERE LATERALS ARE LOCATED UNDER GRAVEL, VOLUMAR AREAS, BOPM OF BURY IN THESE LOCATIONS SHALL BE 24". PVC CONNECTING LESS THAN 5' BOPM SHALL BE 1/2".
- IRRIGATION GATE VALVE ASSEMBLY SHALL BE SPICARS SCH. 80 PVC BALL VALVE WITH LARKS, MATCH LINE SIZE, INSTALL PER DETAIL A4/1-500.
- PRICO 800P, 1.5" REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER ASSEMBLY, IN HOT DRY, WINDY, & WINDY, SOLID, TANK HEATED AND ISOLATED BACKFLOW ENCLOSURE, WITH BARRING 1.5" FOR SERIES PLASTIC BODY 24-VOLT AUTOMATIC MASTER VALVE ASSEMBLY, INSTALL PER DETAIL A4/1-500.
- REMOTE CONTROL VALVE ASSEMBLY, RAINBOW PER SERIES PLASTIC BODY 24-VOLT AUTOMATIC VALVE, SEE AS SHOWN ON PLAN, INSTALL VALVES PER DETAIL A4/1-500.
- SOLVENT WELD CAP, SCH. 40 PVC LINE SIZE.
- PRESSURE COMPENSATING BUBBLER ASSEMBLY, BAW 800 1400 SERIES, AS FOLLOWS (INSTALL PER DETAIL A2/1-500):

MODEL NO.	GPM	PSI
1400 (1 PER SHUB)	20 EA.	30
1400 (1 PER SHUB)	3 EA.	30
1400 (1 PER TREE)	1 EA.	30
1400 (1 PER TREE)	5 EA.	30
- IRRIGATION CONTROLLER, BARRING CP-10C WALL MOUNT (24) TWENTY-FOUR STATION CONTROLLER, INSTALL AND OPERATE PER MANUFACTURER'S INSTRUCTIONS.
 ROTARY PER-UP SPRINKLER ASSEMBLY, BARRING, 3000/3000 PLUS 1/4" GREEN NOZZLES AS FOLLOWS:

MODEL NO.	SPACING	GPM	PSI	PSI @ 10'
3000-SP-30-4	30'	1.1	48	20
3000-SP-30-11	30'	2.06	48	23
3000-SP-30-7	30'	1.78	48	22

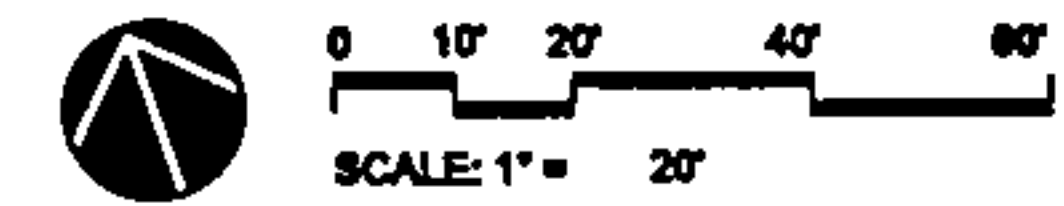
IRRIGATION NOTES

- THIS SYSTEM WAS DESIGNED AT A MINIMUM STATIC PRESSURE OF 60 PSI AT THE POINT OF CONNECTION. CONTRACTOR SHALL VERIFY ACTUAL PSI AND DELIVER RESULTS TO LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. IN THE EVENT THE ACTUAL PSI IS LESS THAN 60 PSI THE CONTRACTOR SHALL REQUEST DIRECTION FROM LANDSCAPE ARCHITECT REGARDING DESIGN MODIFICATIONS IF NECESSARY. THE PRESSURE READING SHALL BE PERFORMED IN THE PRESENCE OF THE OWNER'S AUTHORIZED REPRESENTATIVE. RESULTS SHALL BE INCLUDED IN THE CONTRACTOR'S IRRIGATION EQUIPMENT SUBMITTAL, INCLUDING DATE AND TIME OF PRESSURE READING AND THE NAME OF ATTENDING OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL PROVIDE SLEEVING AS DESCRIBED IN SPECIFICATIONS FOR ALL PIPING AND WIRING INSTALLED UNDER SIDEWALKS, ROADWAYS, PARKING LOTS, SITE WALLS, RETAINING WALLS, ETC. INSTALLATION SHALL BE COORDINATED WITH ALL TRADES TO ENSURE THAT SLEEVES ARE INSTALLED PRIOR TO INSTALLATION OF CURB AND GUTTER, ASPHALT PAVEMENT, SIDEWALKS, SLABS, ETC. SLEEVING LOCATIONS UNDER SITE WALLS, RETAINING WALLS, AND CURB AND GUTTER ARE NOT SHOWN FOR GRAPHIC CLARITY BUT SHALL BE INSTALLED AS DESCRIBED IN THE PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO CONSTRUCT PROPOSED IRRIGATION SYSTEM IN ACCORDANCE WITH PLANS, WRITTEN SPECIFICATIONS AND DETAILS.
- THE CONTRACTOR SHALL PROVIDE ONE (1) 120-VOLT, 30 AMP CIRCUIT FROM ELECTRICAL PANEL TO EACH THE IRRIGATION CONTROLLER AND THE BACKFLOW PREVENTER ENCLOSURE. REFERENCE SHEET ES-10. ALL WORK AND MATERIALS SHALL MEET LOCAL CODES AND THE NATIONAL ELECTRIC CODE (NEC).
- FOR PVC IRRIGATION PIPING AND EQUIPMENT REFERENCE IRRIGATION SPECIFICATION SECTION.
- ALL VALVE BOXES AND LIDS SHALL BE THE COLOR SHOWN.
- PRIOR TO TRENCHING FOR IRRIGATION LINES THE CONTRACTOR SHALL CONTACT NEW MEXICO ONE CALL TO LOCATE ALL UNDERGROUND UTILITIES. IF ANY EXISTING UTILITY LINES CONFLICT WITH PROPOSED IRRIGATION LINES THE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT. ANY UTILITY LINES THAT ARE DAMAGED DUE TO

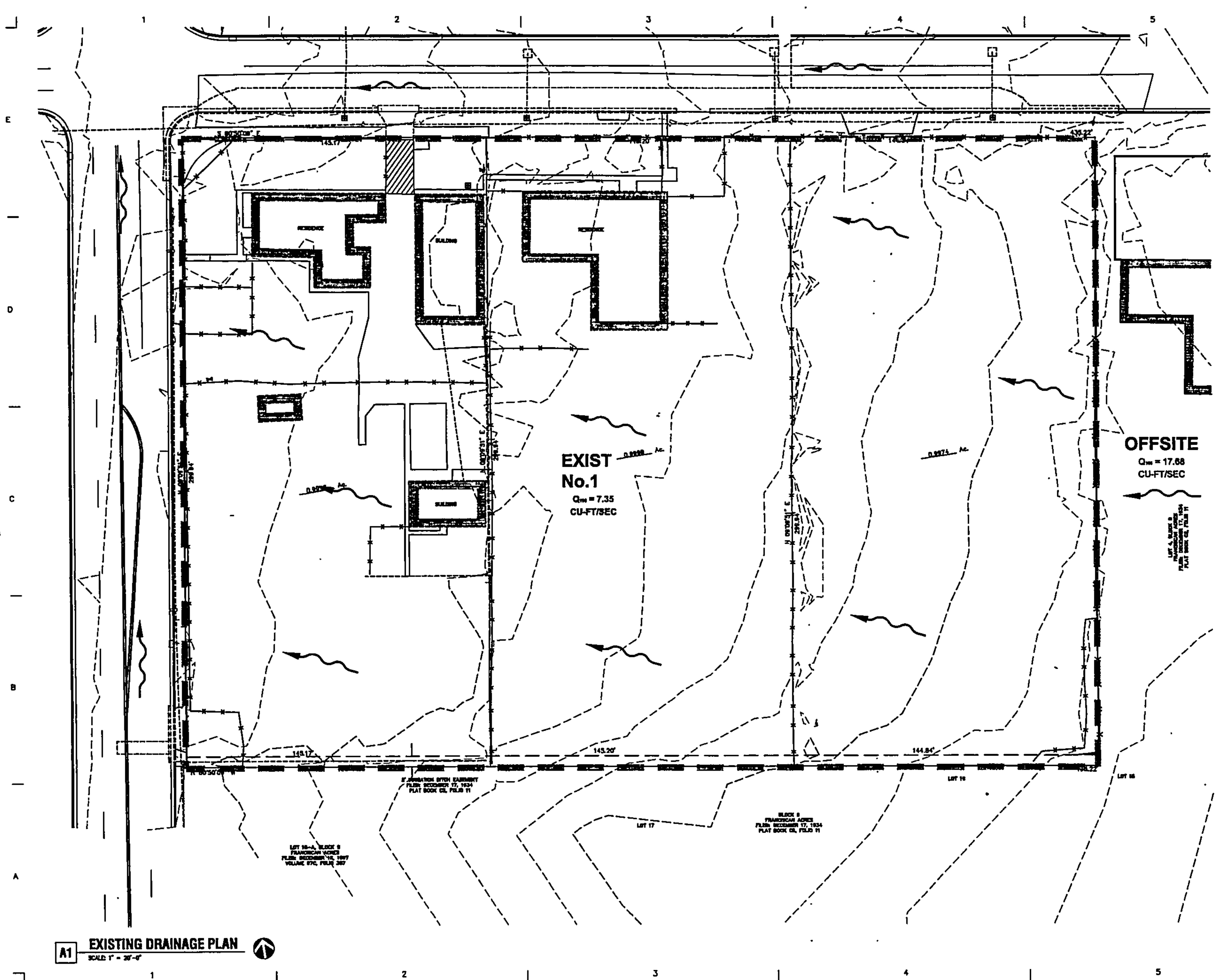


52

A1 IRRIGATION PLAN
 SCALE: 1"=20'



54



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REVISIONS		
No.	DATE	DESCRIPTION
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 Date: 8/7/12
 Project number: 2430
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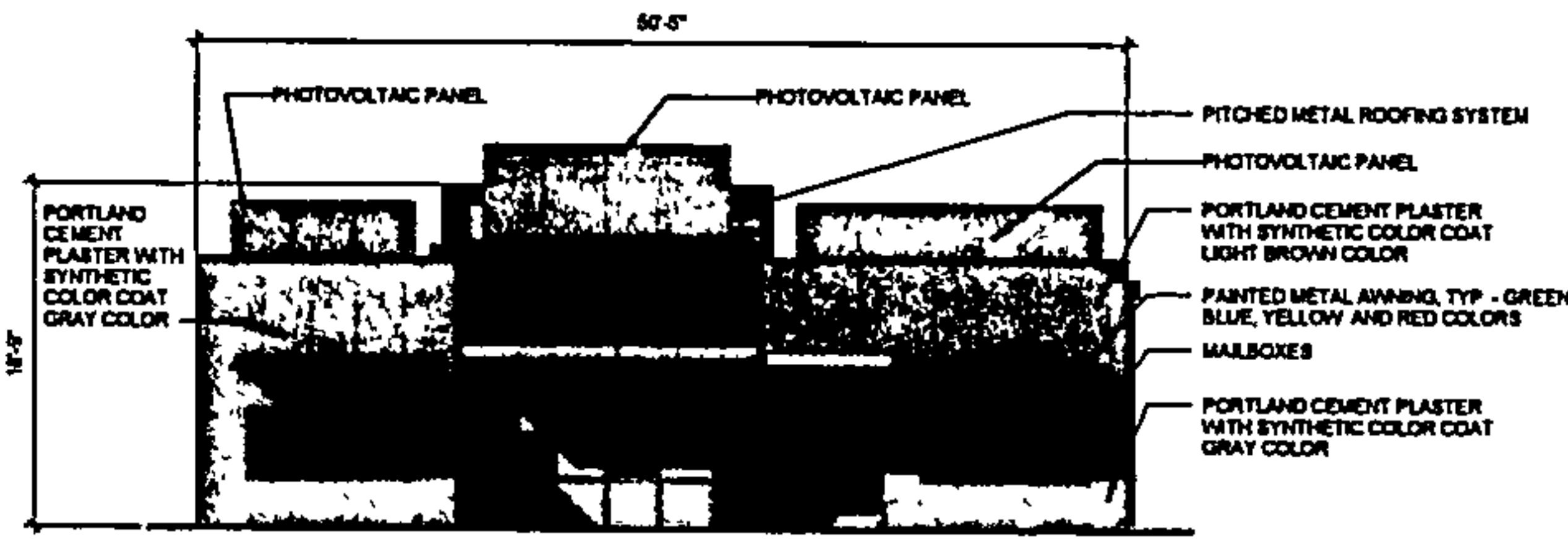
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 SITE CONCEPTUAL
 SWANAGE
 PLAN

SHORT NUMBER:

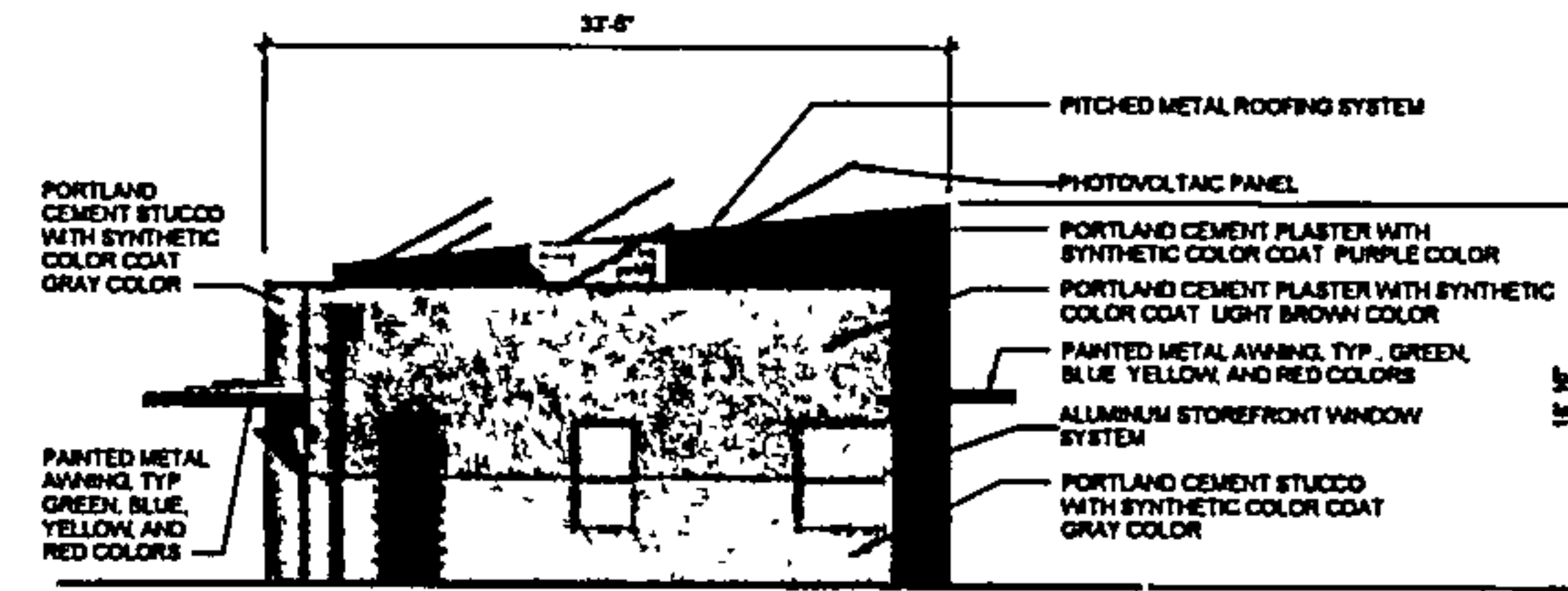
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A1 EXISTING DRAINAGE PLAN
 SCALE: 1" = 30'-0"

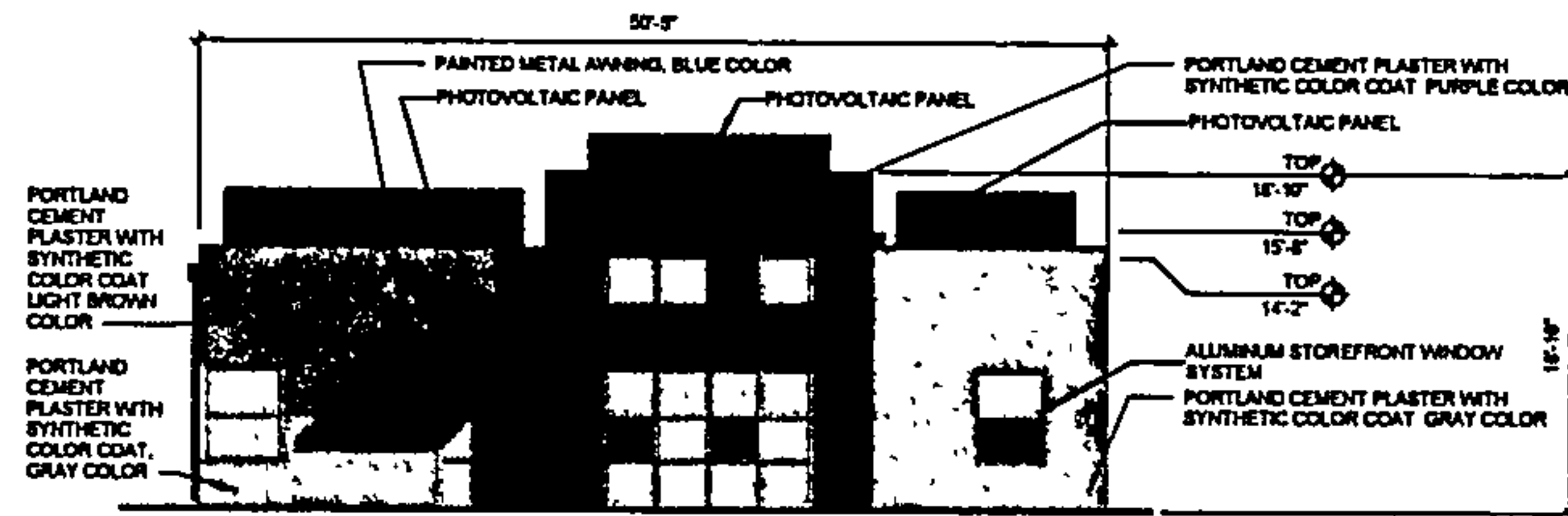
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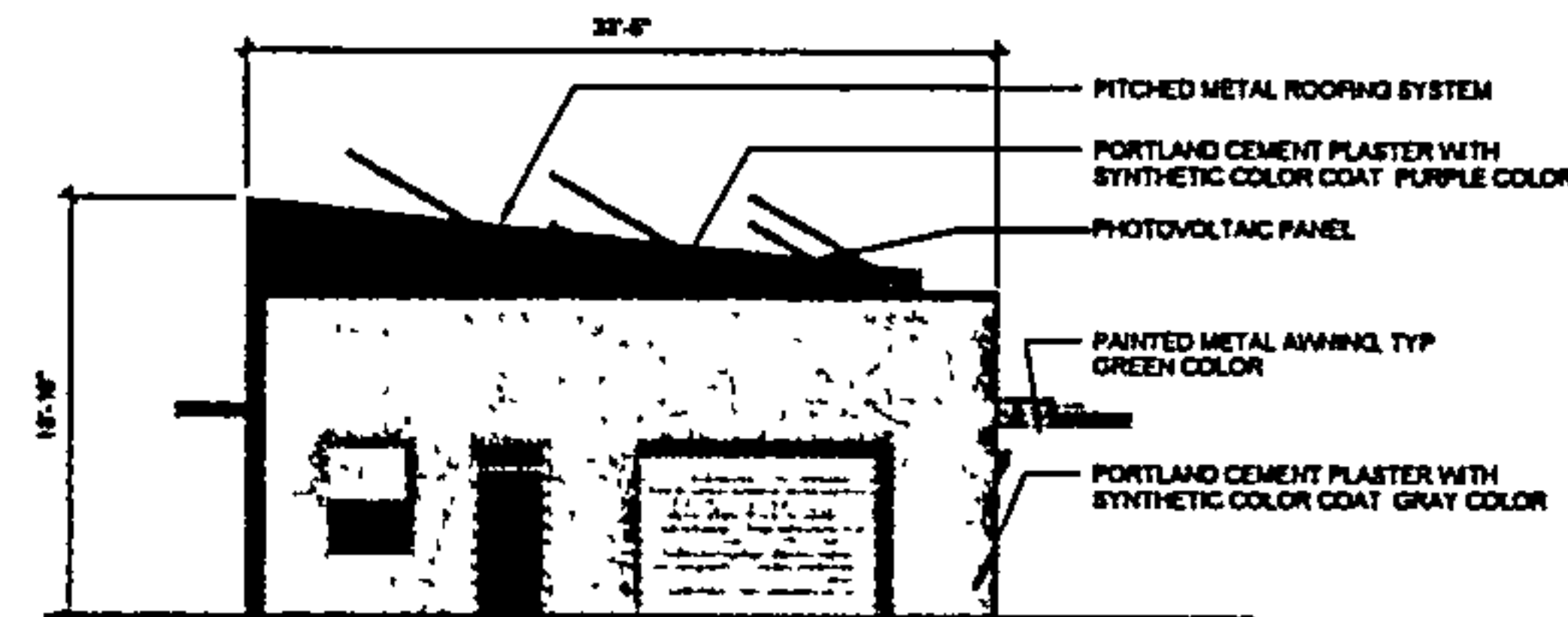
7 BUILDING B - ELEVATION SOUTH
1/4" = 1'-0"



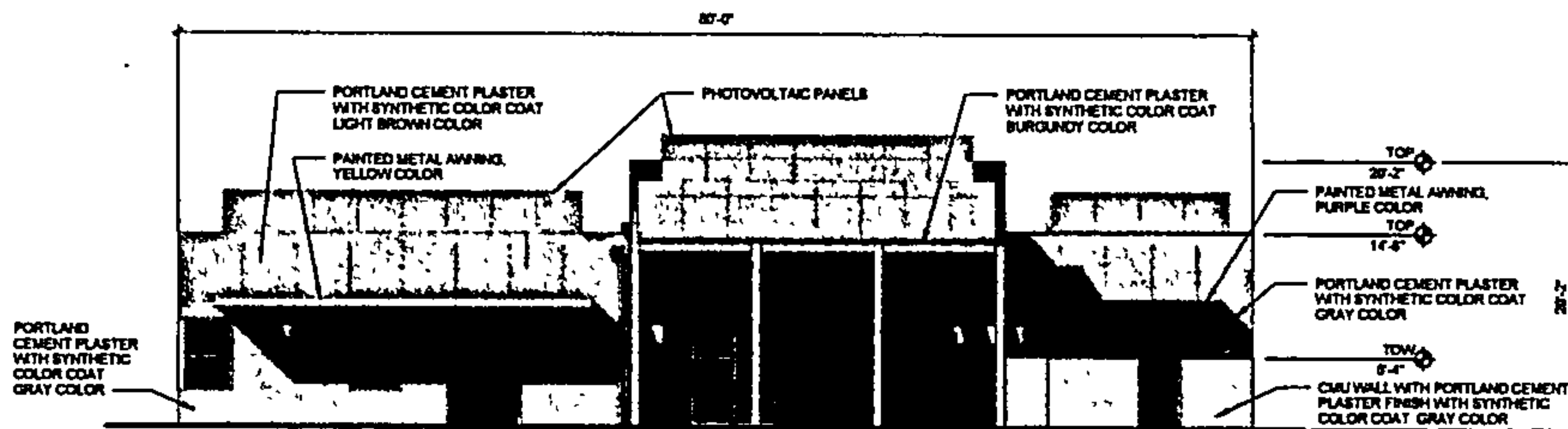
8 BUILDING B - ELEVATION EAST
1/4" = 1'-0"



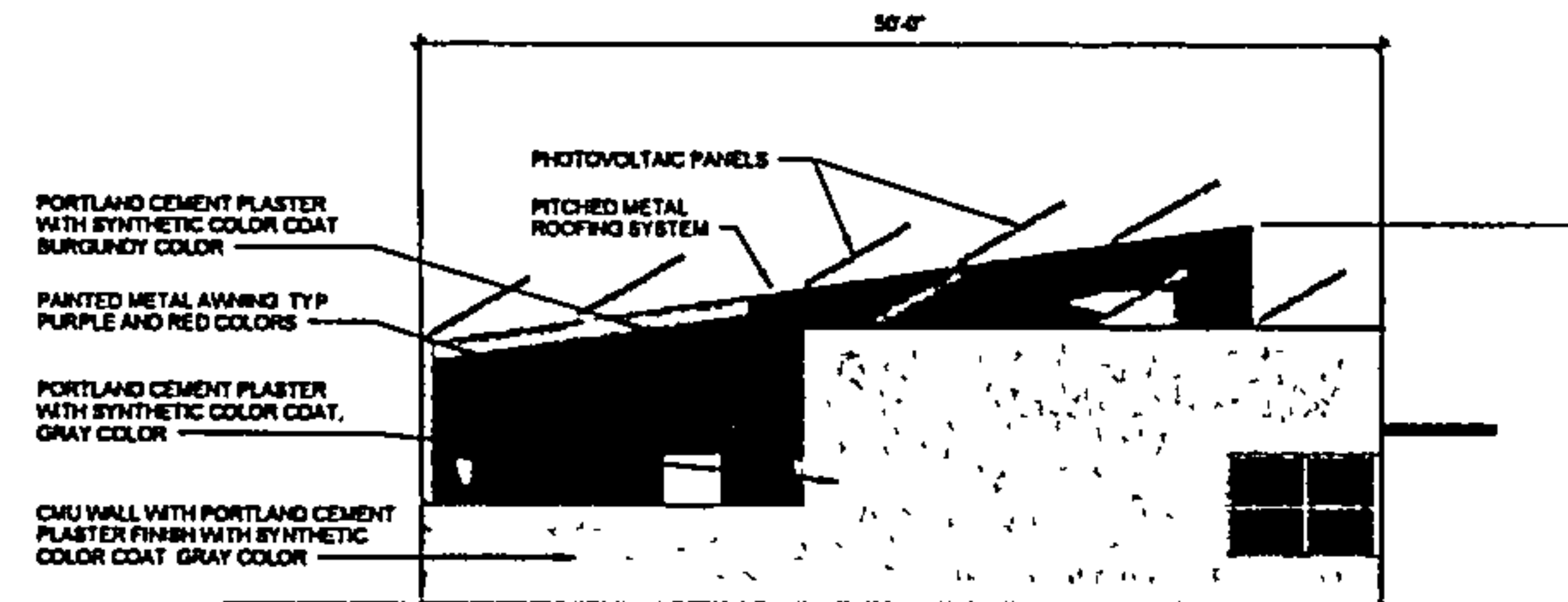
5 BUILDING B - ELEVATION NORTH
1/4" = 1'-0"



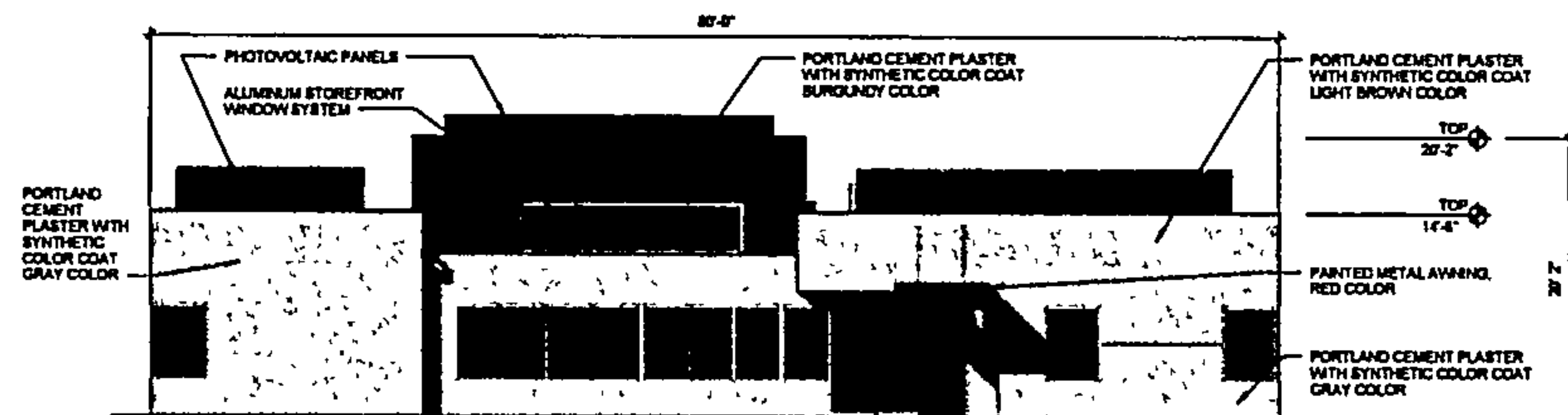
6 BUILDING B - ELEVATION WEST
1/4" = 1'-0"



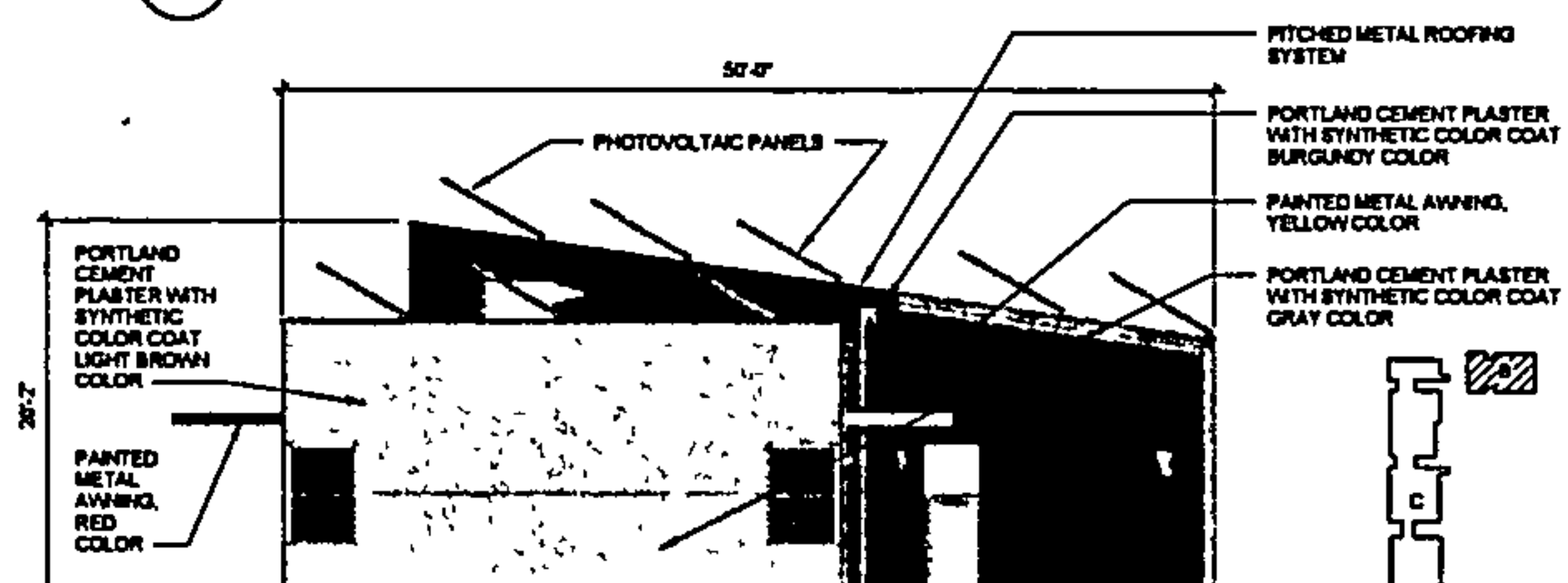
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1/4" = 1'-0"



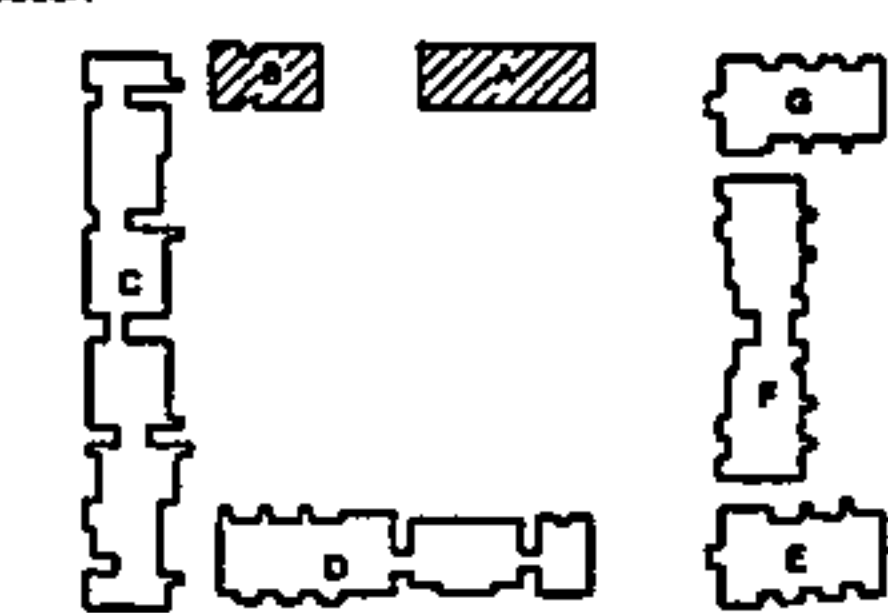
4 BUILDING A - ELEVATION EAST
1/4" = 1'-0"



1 BUILDING A - ELEVATION NORTH
1/4" = 1'-0"



2 BUILDING A - ELEVATION WEST
1/4" = 1'-0"



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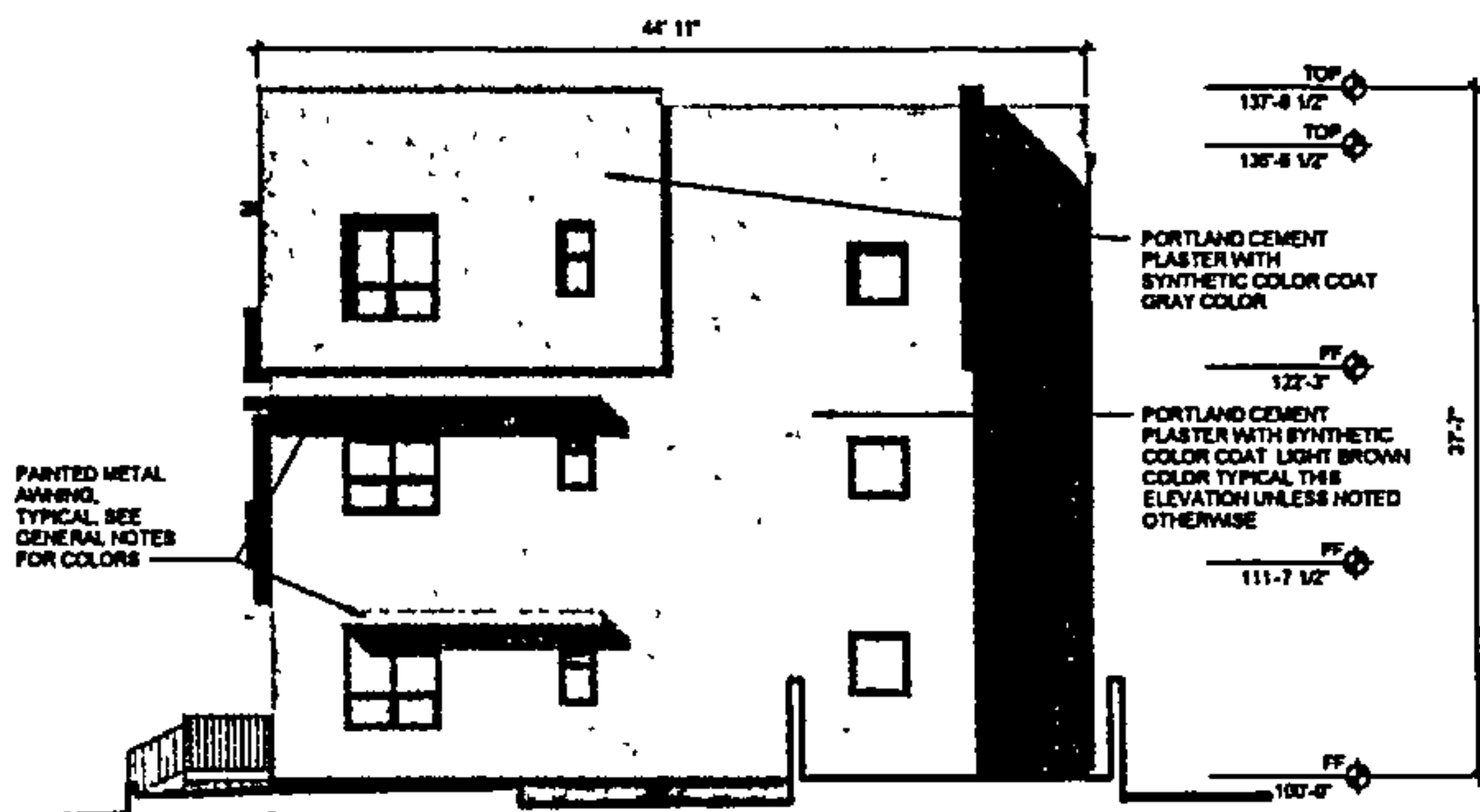
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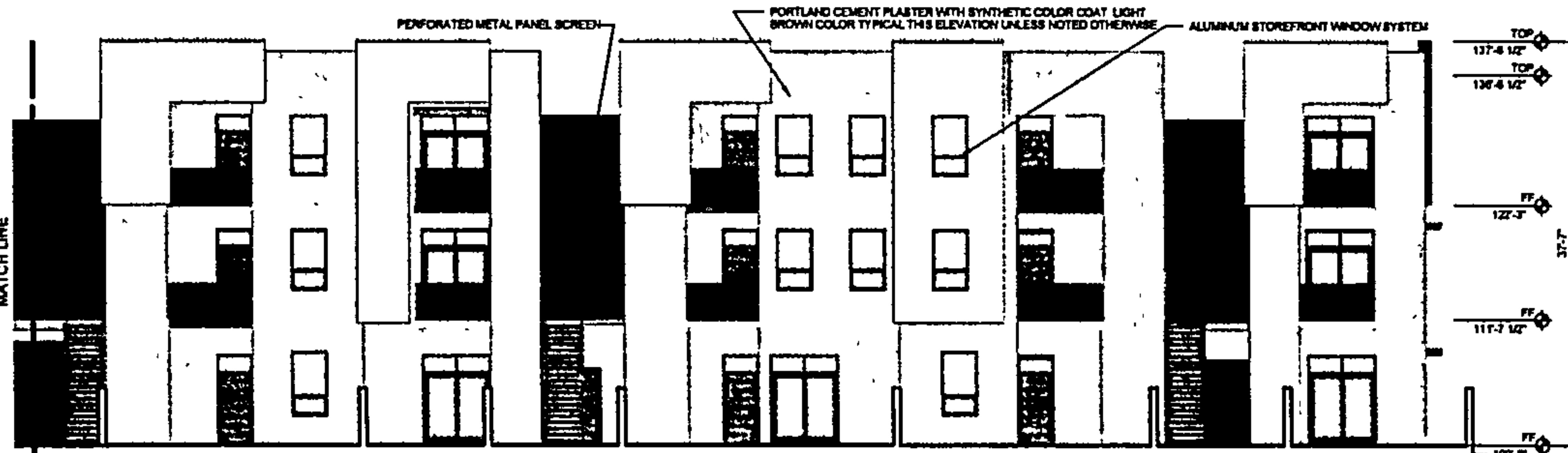
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BUILDING AND STRUCTURE ELEVATIONS
BUILDINGS A AND B

SHEET NUMBER

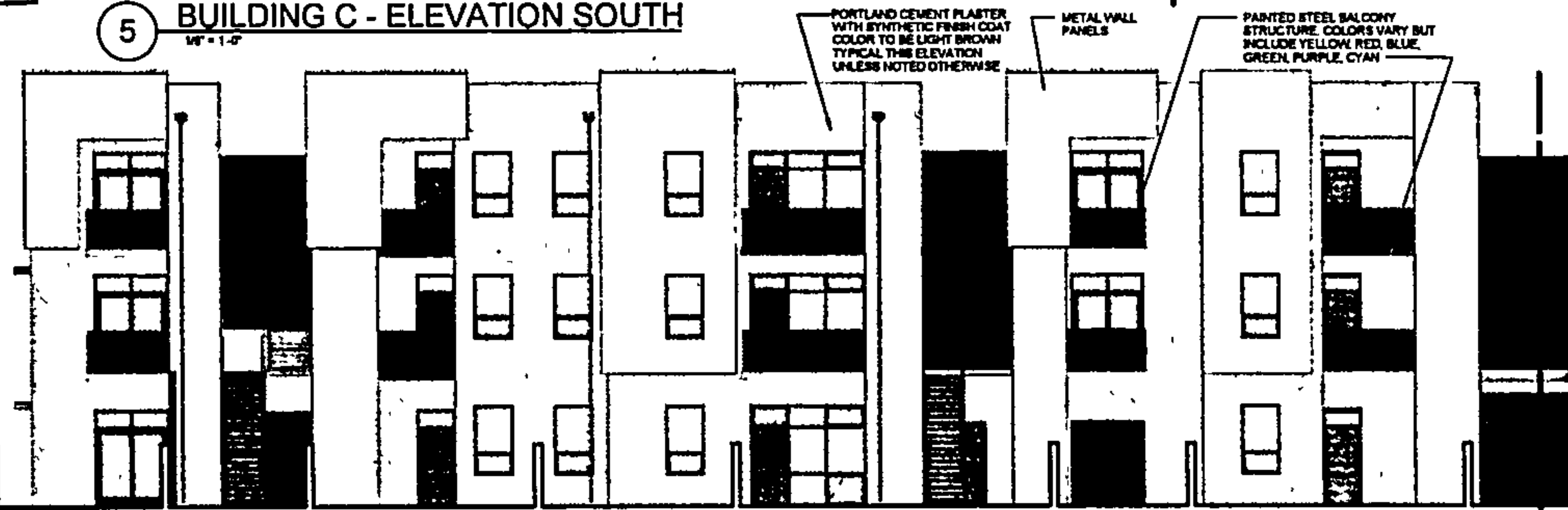
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5 BUILDING C - ELEVATION SOUTH
1/8" = 1'-0"



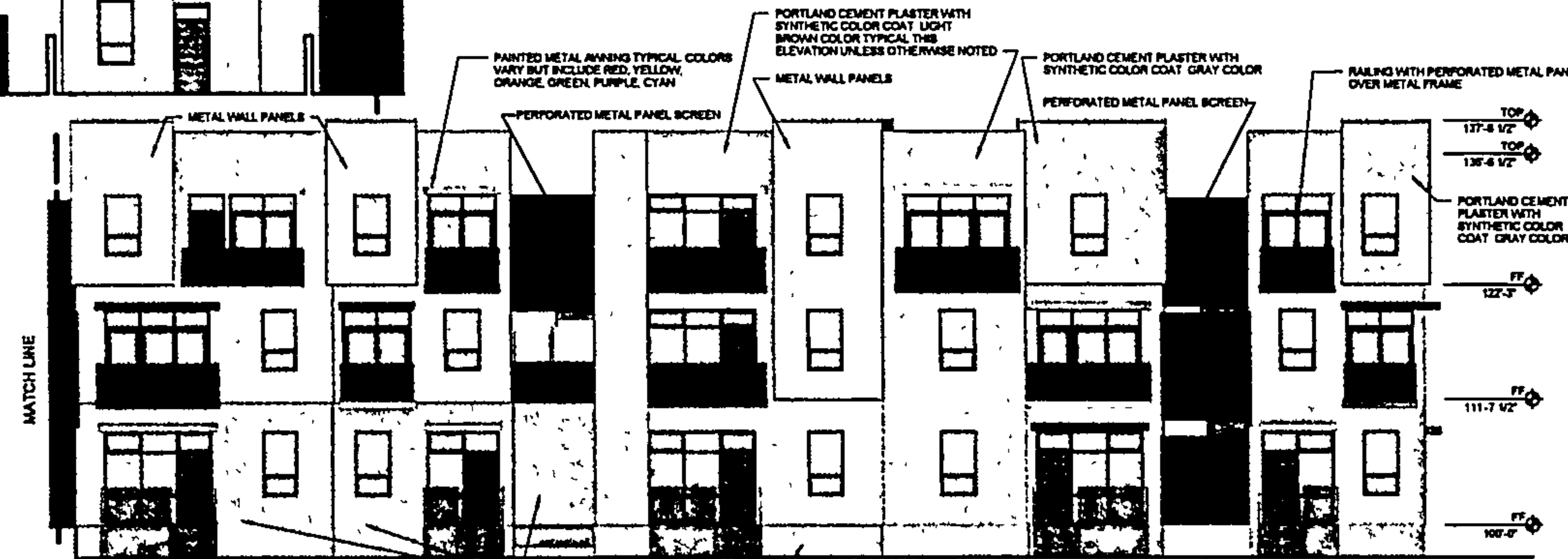
6 BUILDING C - ELEVATION EAST - NORTH
1/8" = 1'-0"



4 BUILDING C - ELEVATION EAST - SOUTH
1/8" = 1'-0"

GENERAL NOTES SHEETS 5.2 - 5.4

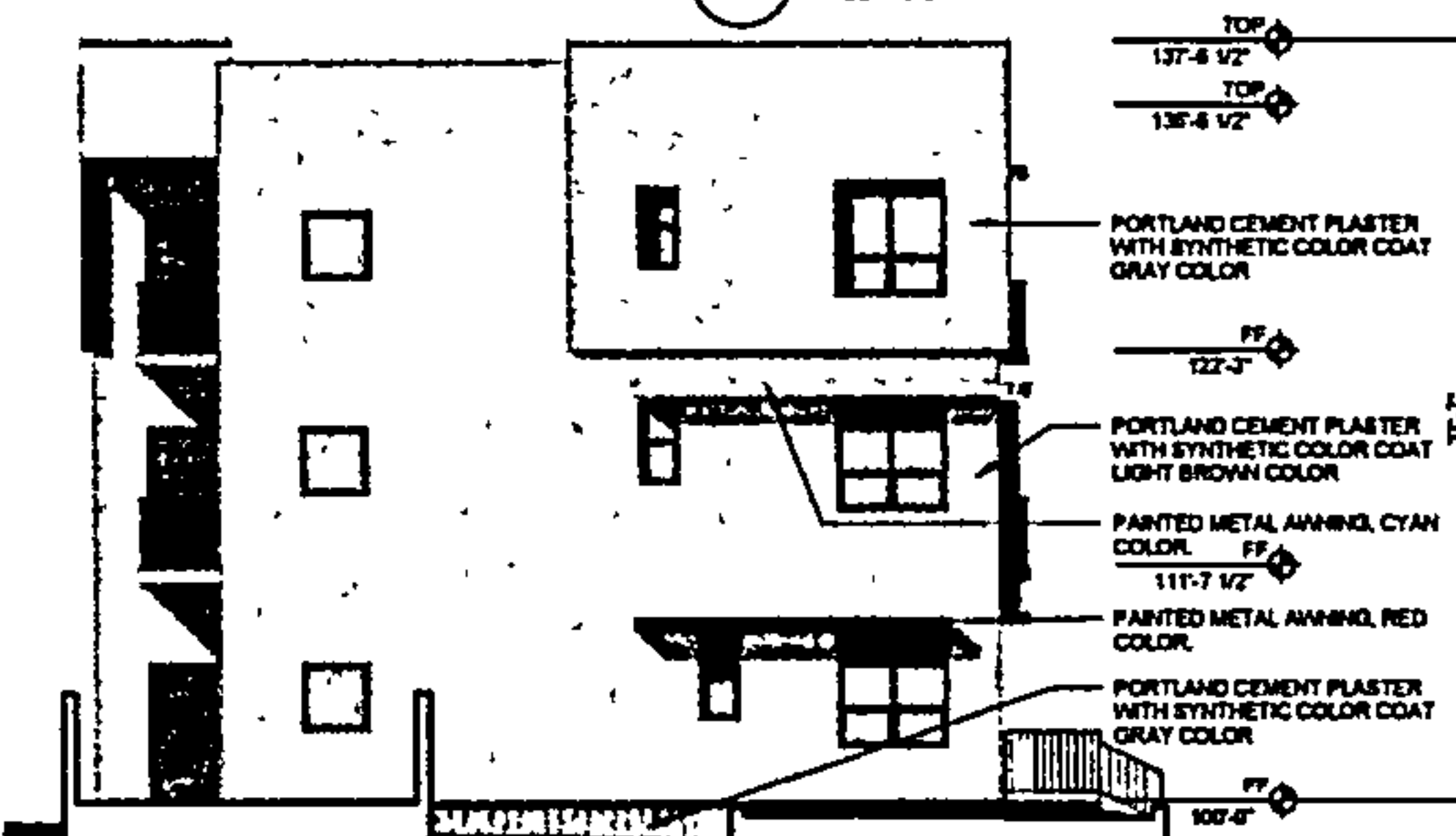
1. ALL EXTERIOR WALL MATERIALS ARE STUCCO UNLESS NOTED OTHERWISE.
2. ALL CURB WALLS SHALL HAVE A STUCCO FINISH.
3. ALL NON-PERFORATED METAL PANELS SHALL BE METALLIC GRAY COLOR.
4. PAINTED METAL AWNING SHALL BE BLUE, GREEN, YELLOW, RED, ORANGE, CYAN, AND PURPLE.
5. ALL PERFORATED WALL PANELS SHALL BE BROWN.



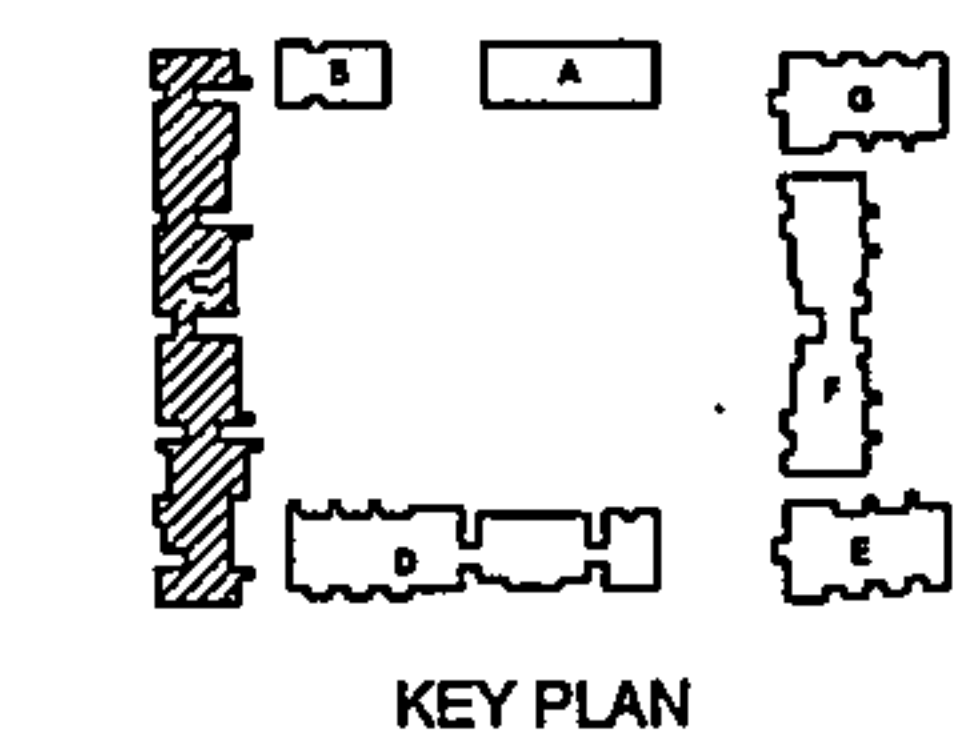
3 BUILDING C - ELEVATION WEST - SOUTH
1/8" = 1'-0"



1 BUILDING C - ELEVATION WEST - NORTH
1/8" = 1'-0"



2 BUILDING C - ELEVATION NORTH
1/8" = 1'-0"



KEY PLAN

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1	07/1/2012	DNS COMMENTS

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 CAD file name _____

SHEET TITLE
**BUILDING AND STRUCTURE ELEVATIONS
 BUILDING C**

SHEET NUMBER



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1	9/21/2012	DRS COMMENTS

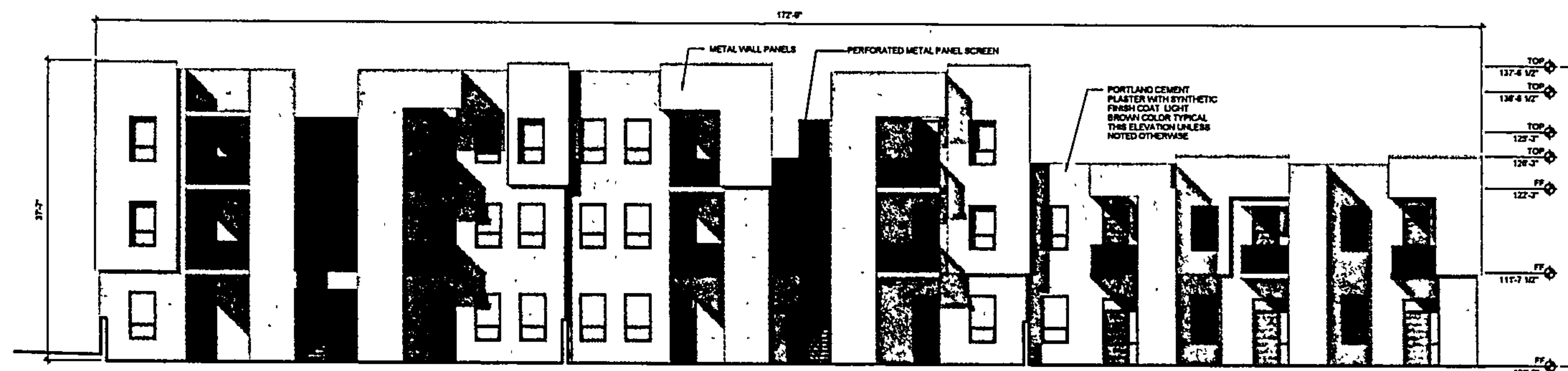
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 CAD file name _____

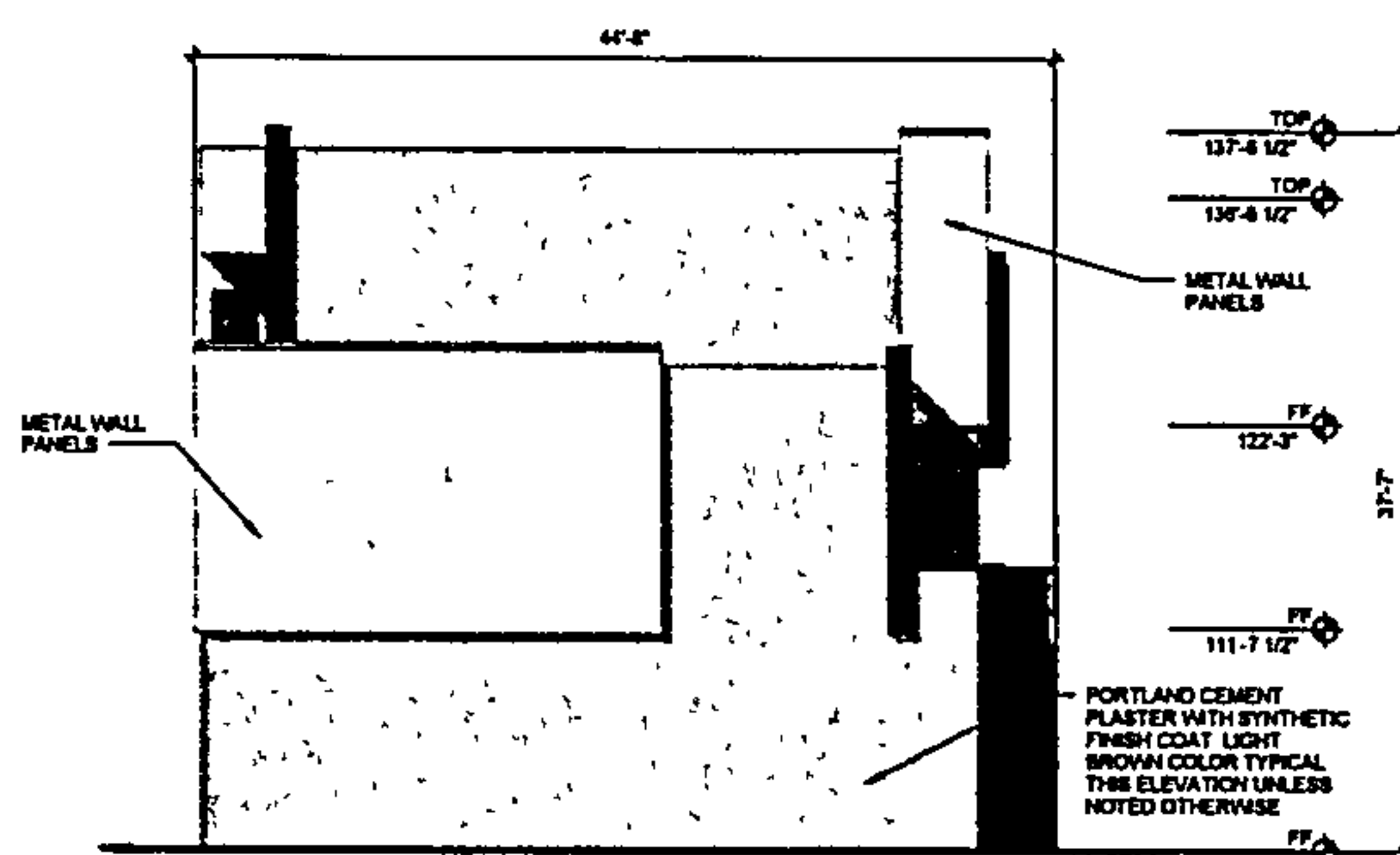
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 BUILDING AND STRUCTURE ELEVATIONS
 BUILDING D

SHEET NUMBER

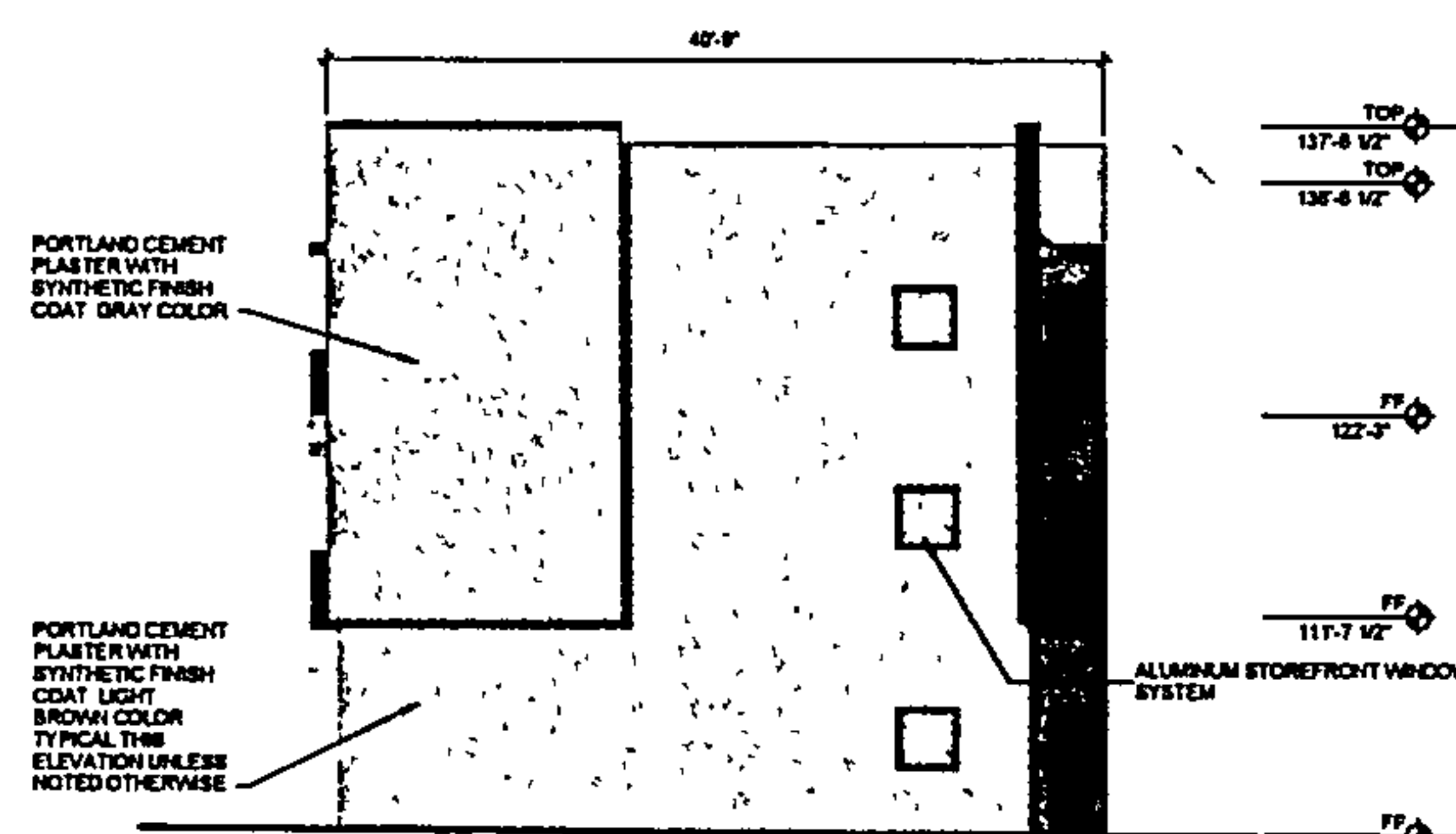
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4 BUILDING D - ELEVATION NORTH
 1/8" = 1'-0"



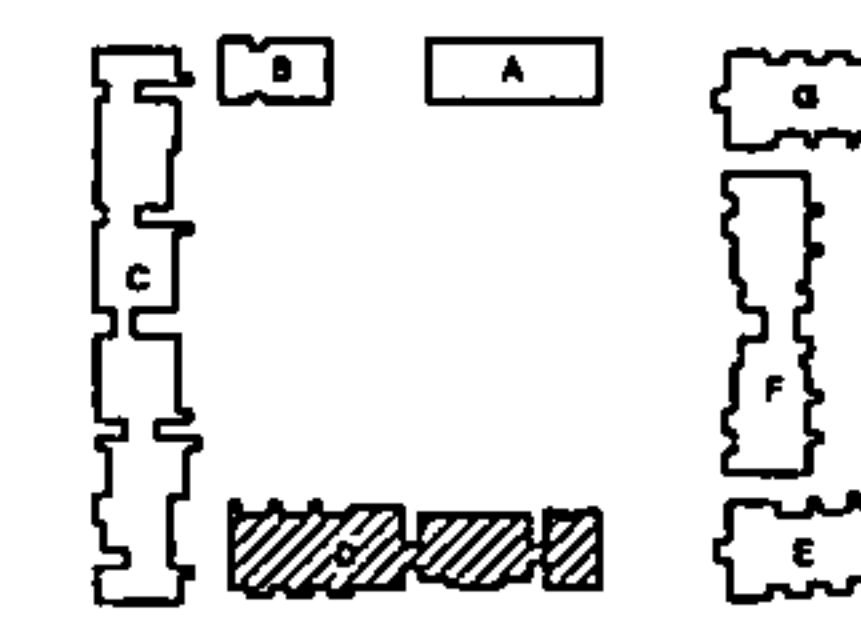
2 BUILDING D - ELEVATION WEST
 1/8" = 1'-0"



3 BUILDING D - ELEVATION EAST
 1/8" = 1'-0"



1 BUILDING D - ELEVATION SOUTH
 1/8" = 1'-0"



KEY PLAN

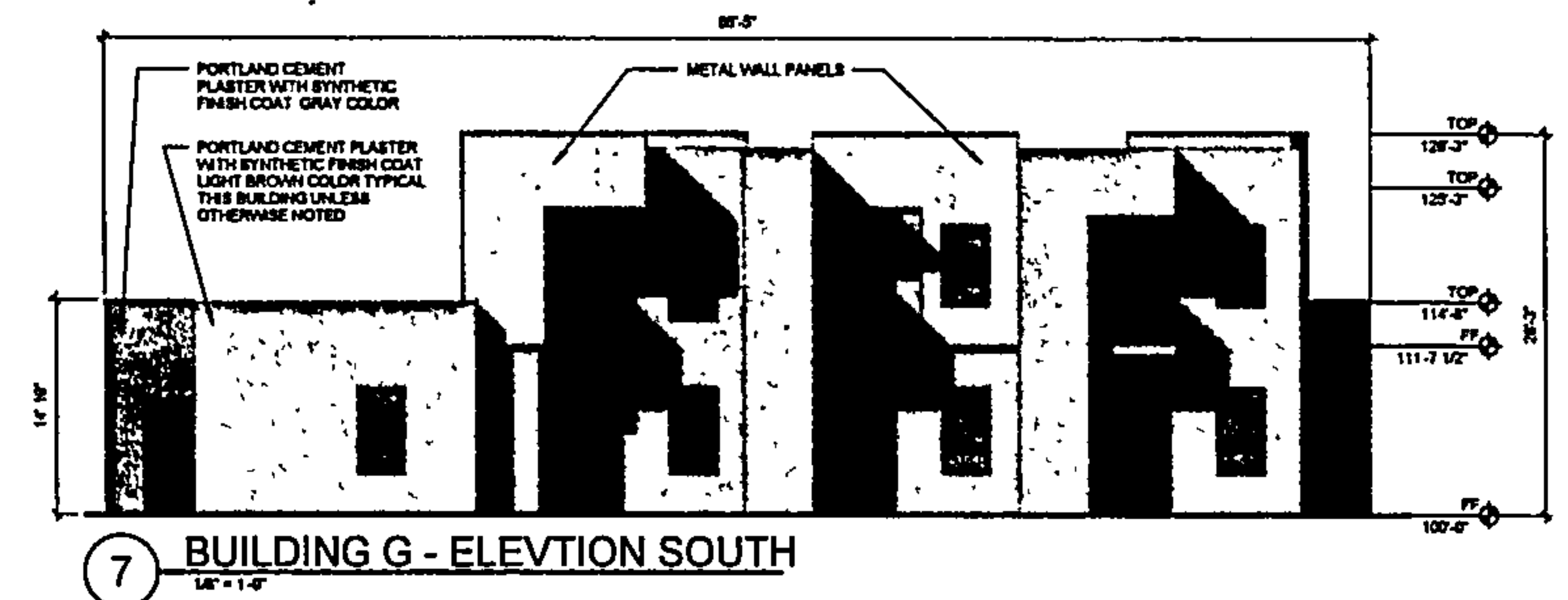


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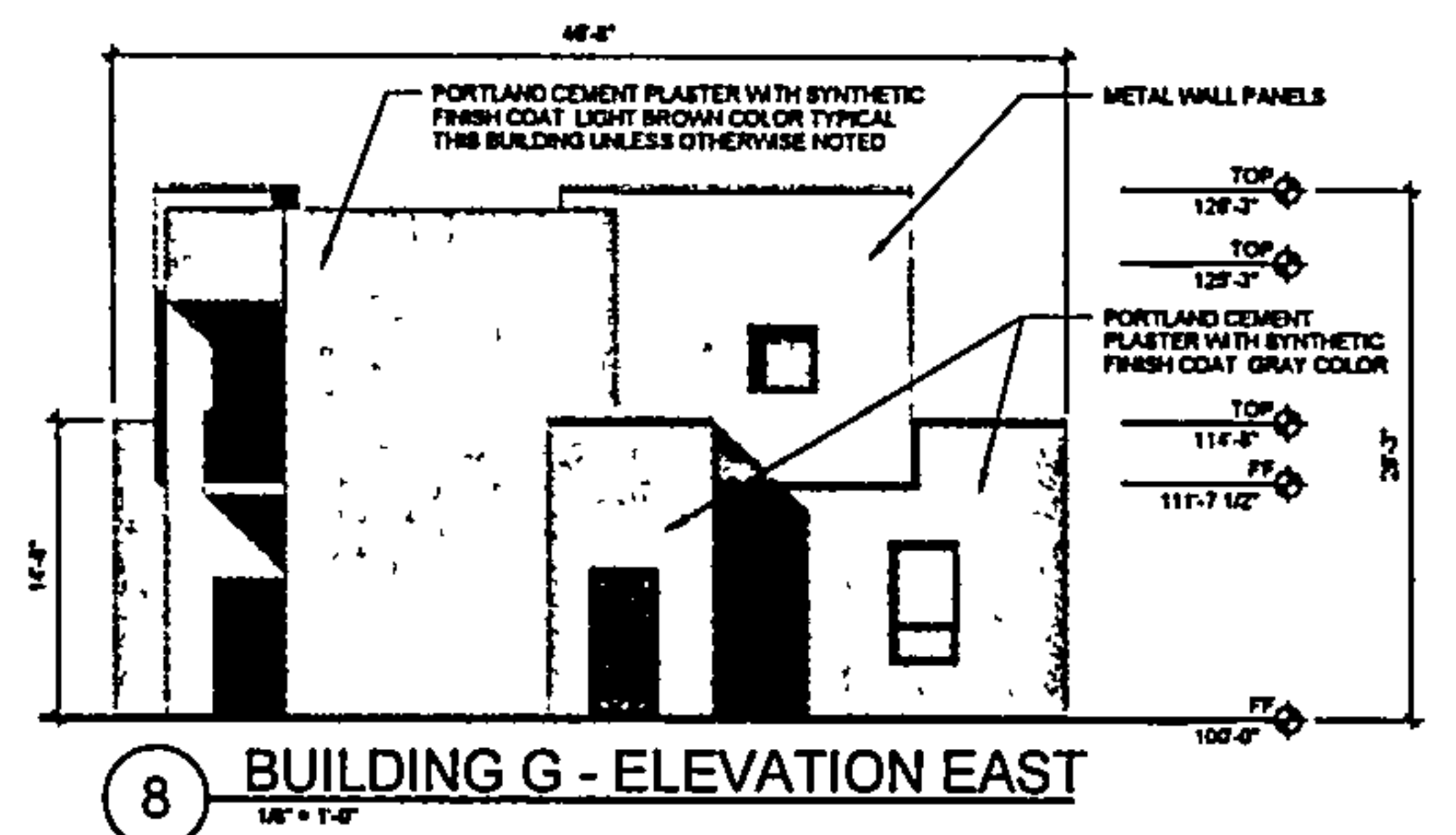


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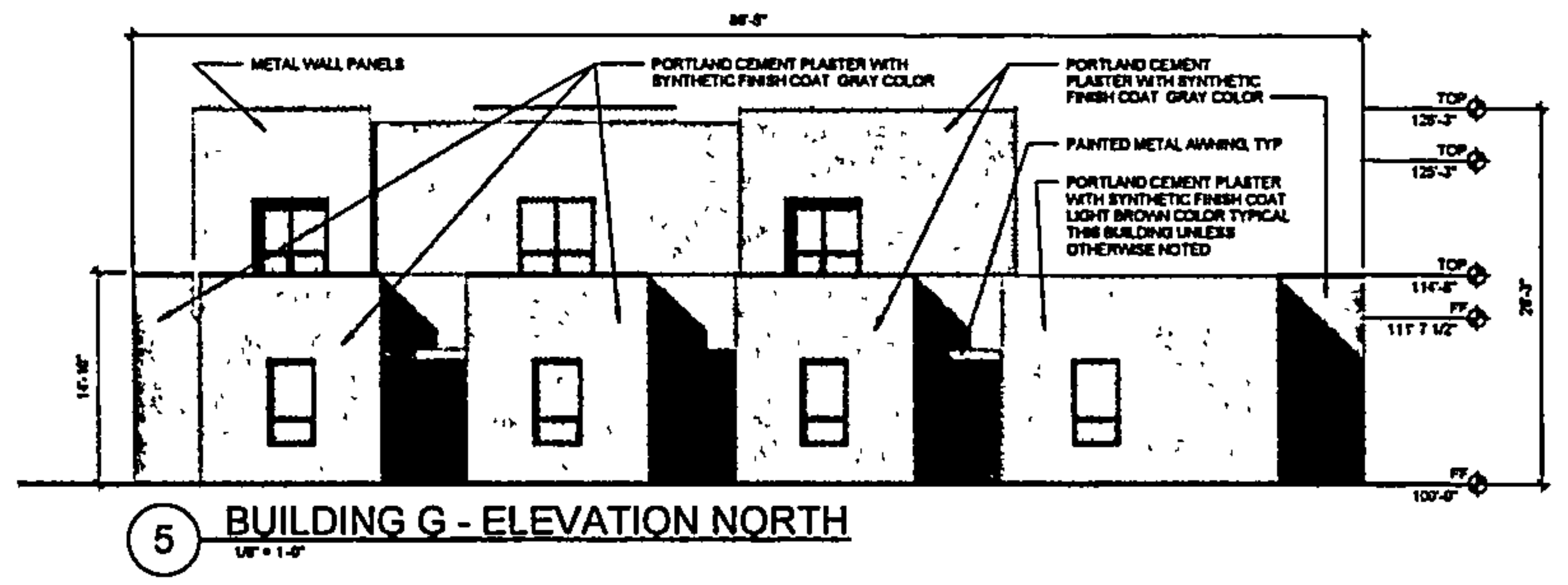
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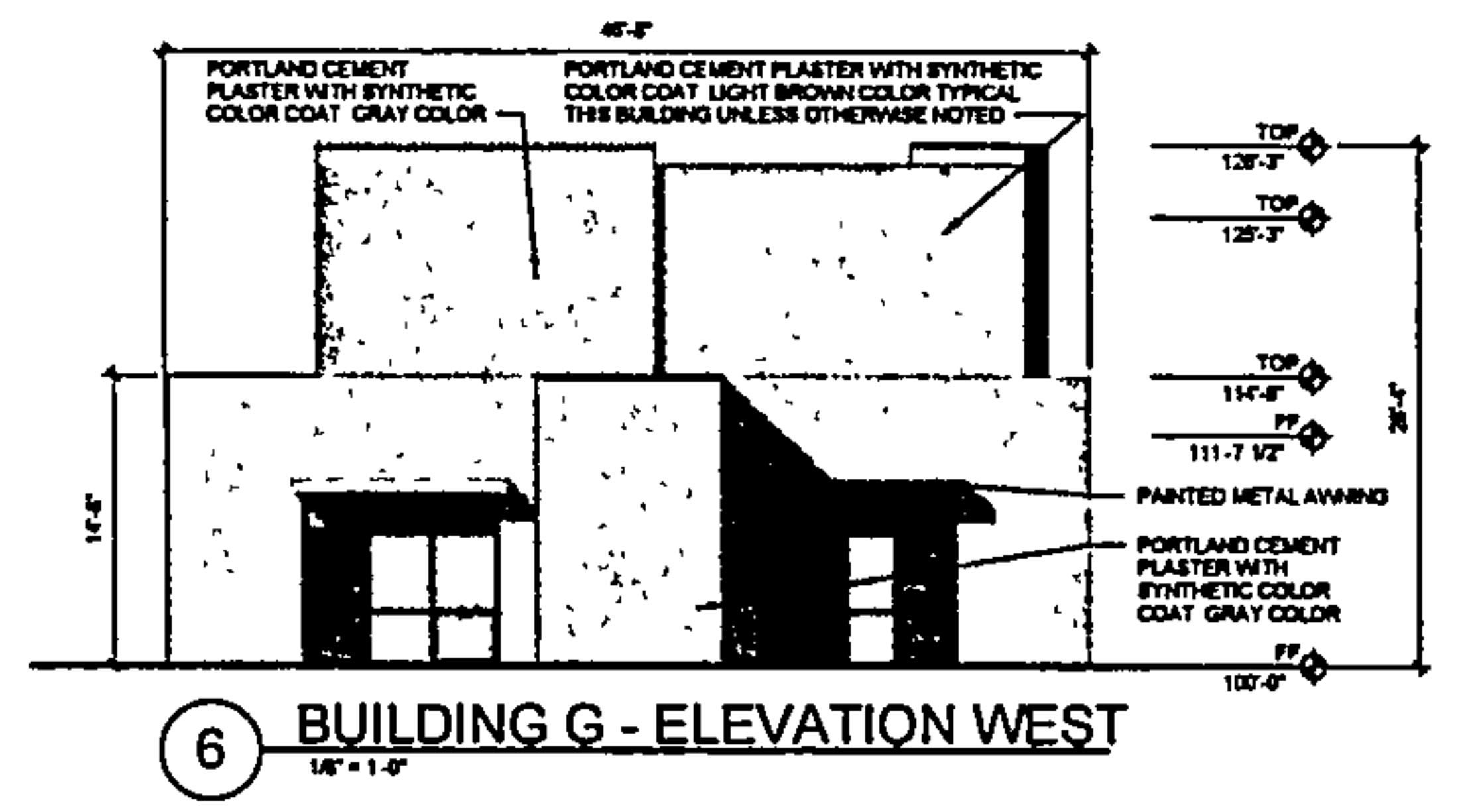
7 BUILDING G - ELEVATION SOUTH
1/8" = 1'-0"



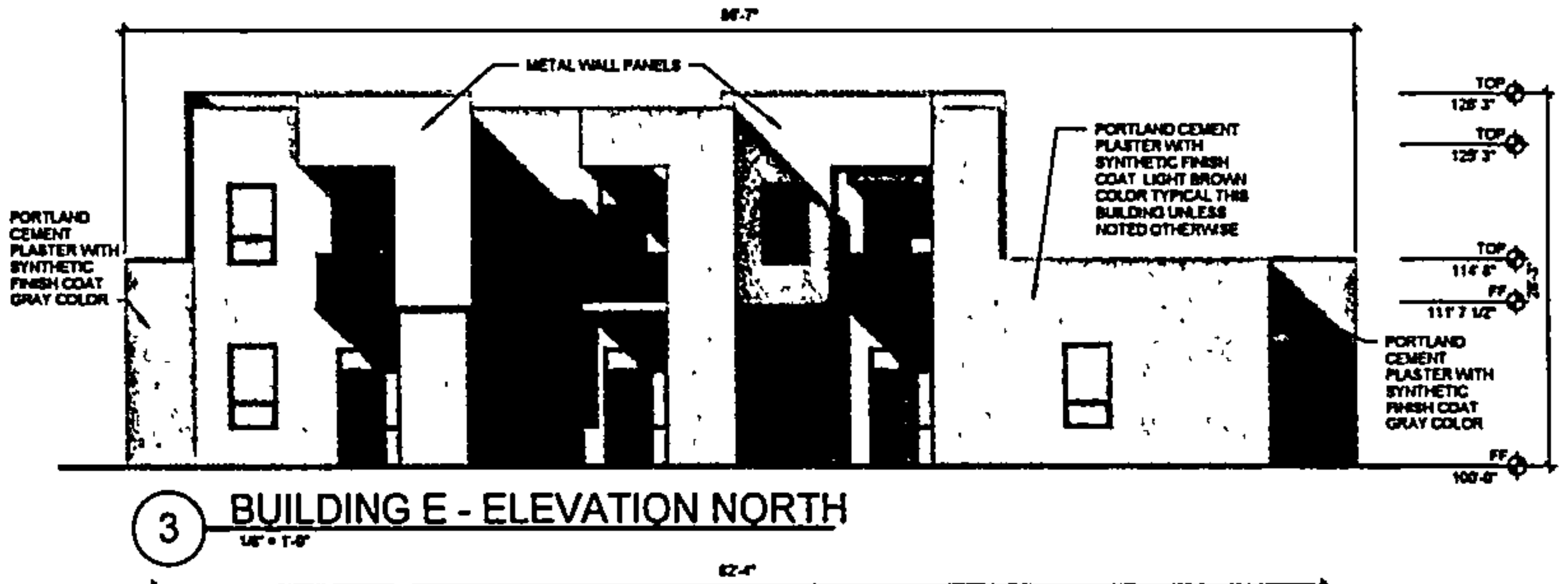
8 BUILDING G - ELEVATION EAST
1/8" = 1'-0"



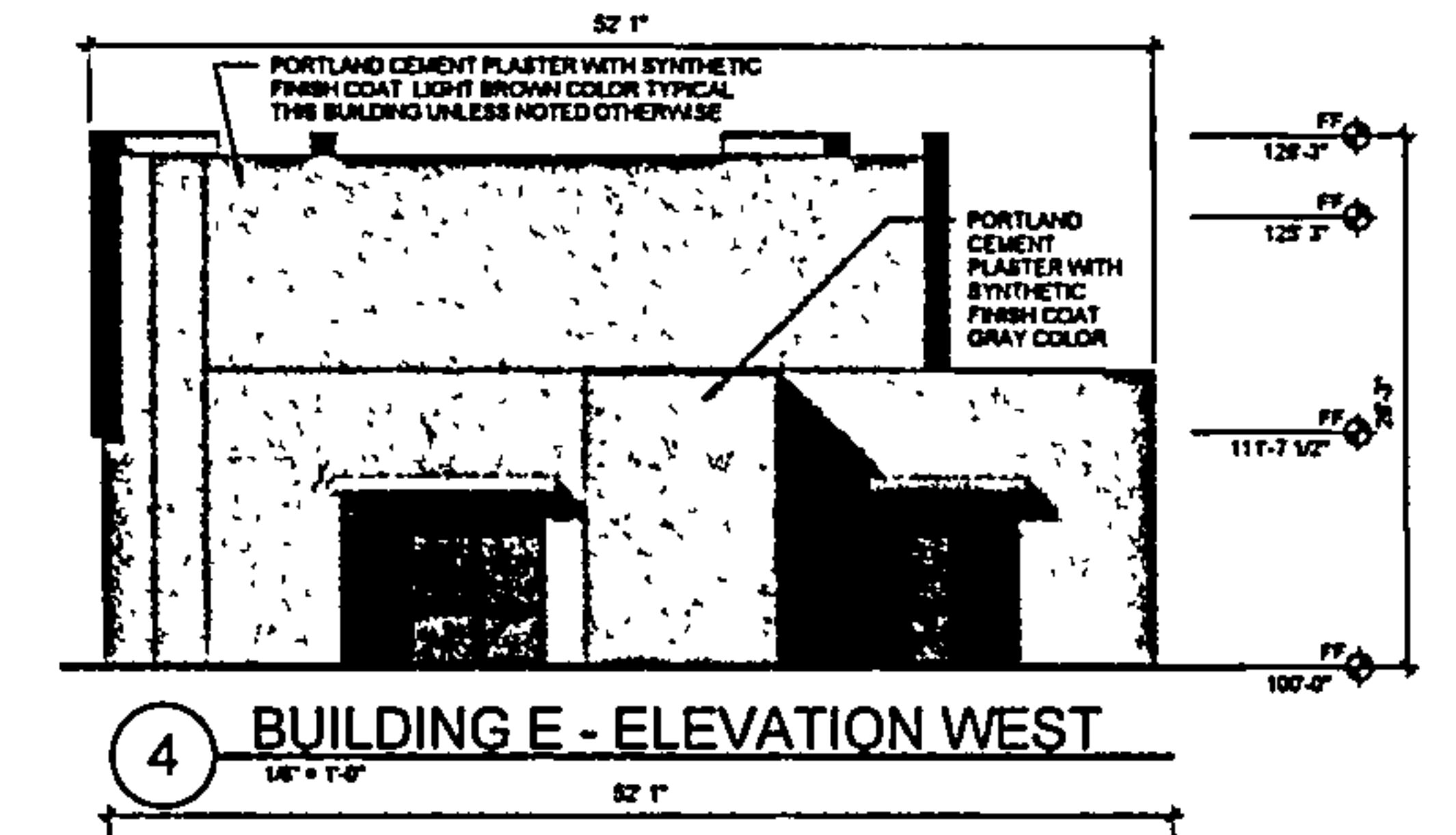
5 BUILDING G - ELEVATION NORTH
1/8" = 1'-0"



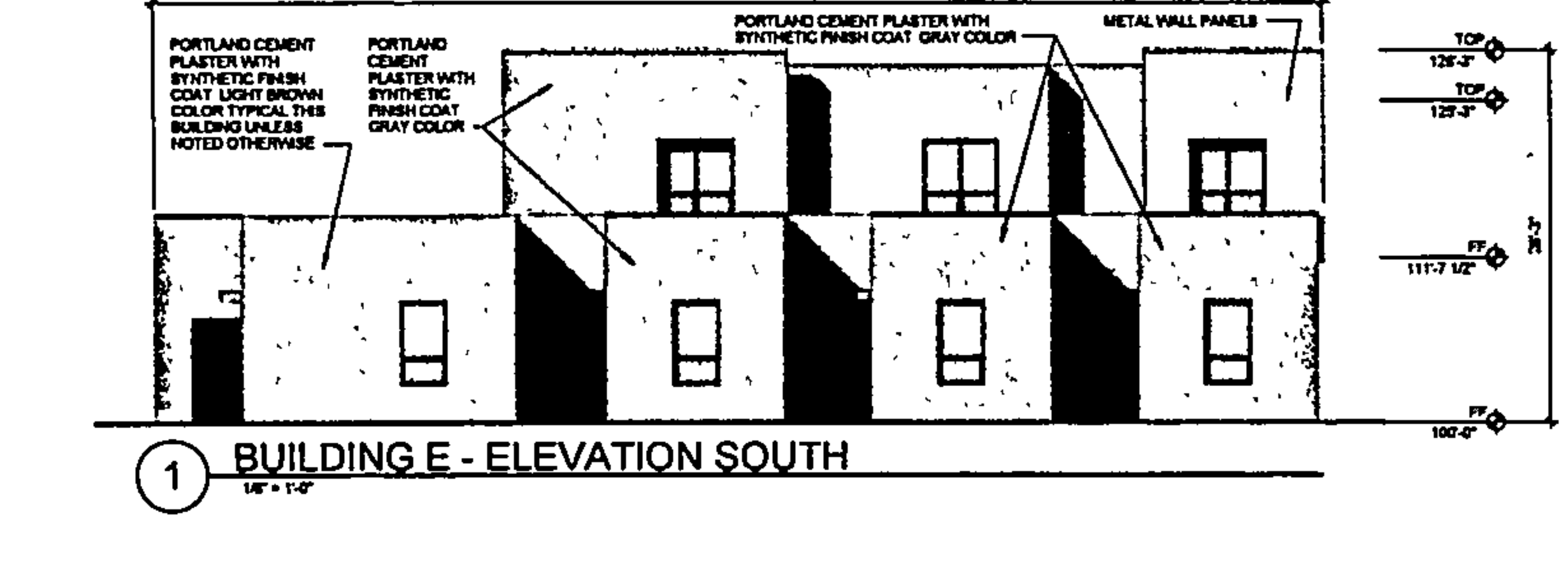
6 BUILDING G - ELEVATION WEST
1/8" = 1'-0"



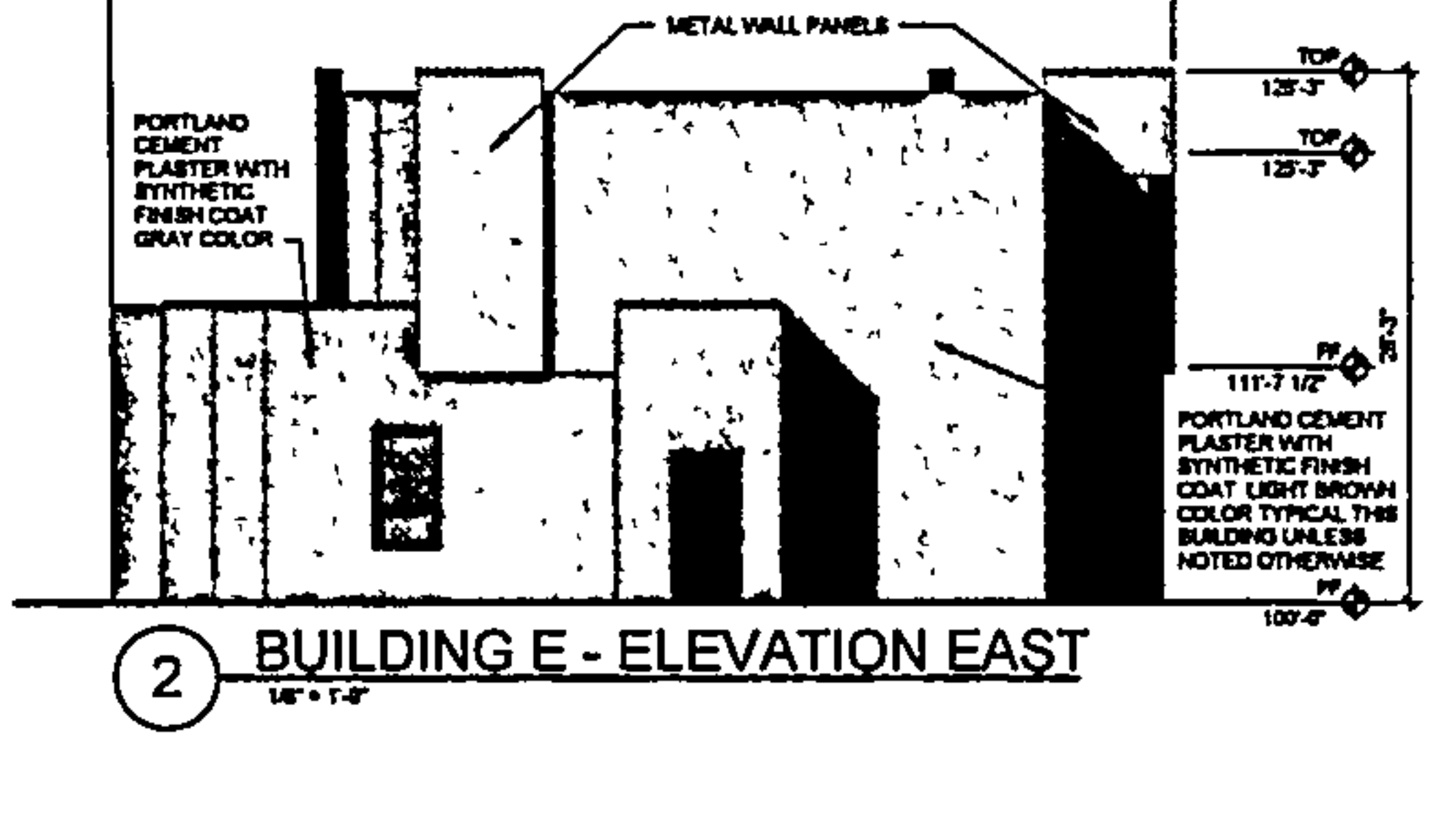
3 BUILDING E - ELEVATION NORTH
1/8" = 1'-0"



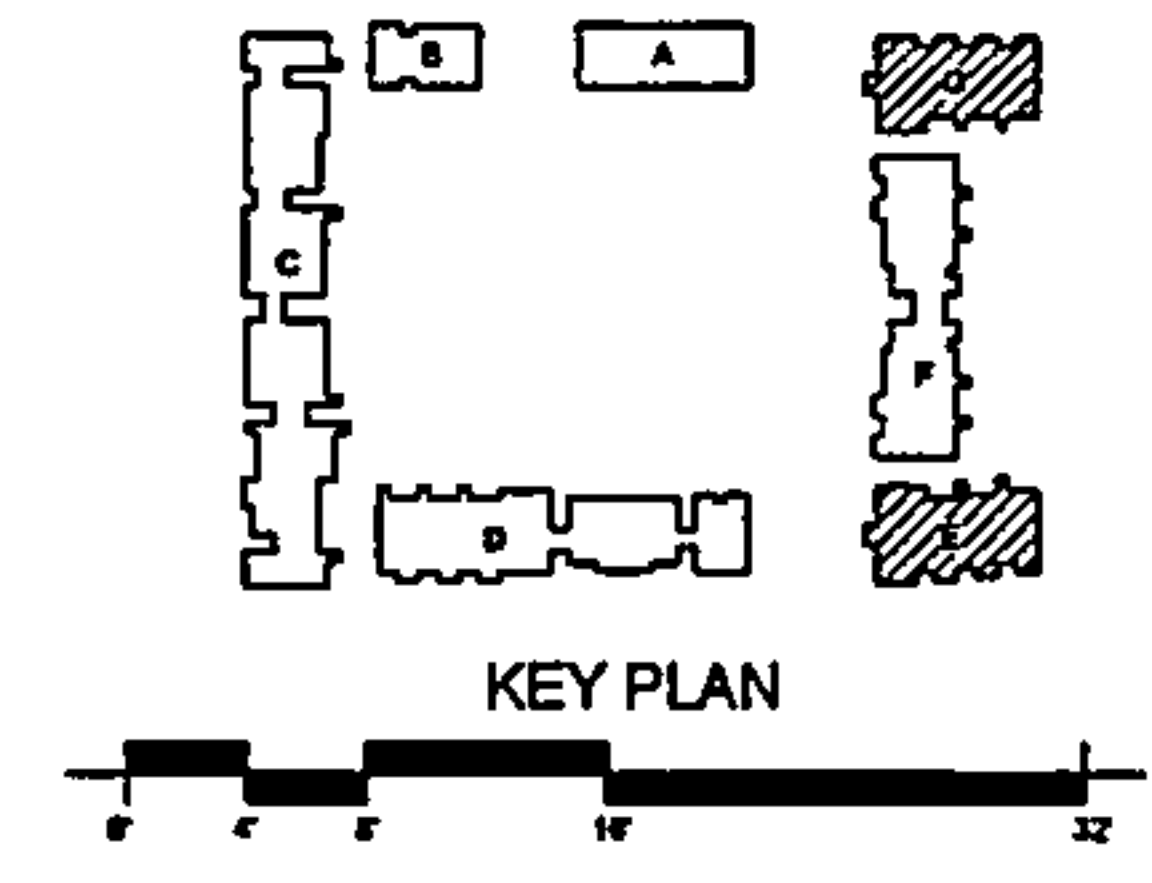
4 BUILDING E - ELEVATION WEST
1/8" = 1'-0"



1 BUILDING E - ELEVATION SOUTH
1/8" = 1'-0"



2 BUILDING E - ELEVATION EAST
1/8" = 1'-0"



STAMP

PROJECT NAME
 GREATER ALBUQUERQUE
 HOUSING PARTNERSHIP

FRANCISCAN ACRES SUBDIVISION
 INDIAN SCHOOL AND BROADWAY
 ALBUQUERQUE, NM 87102

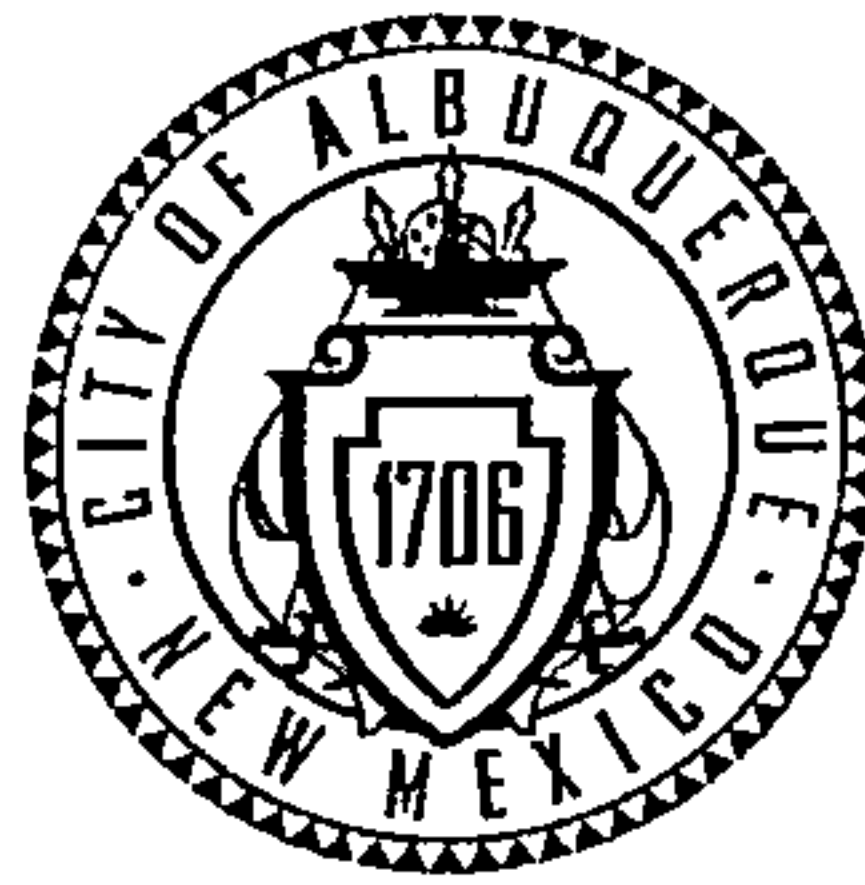
REVISIONS		
No.	Date	Description
1	8/21/2012	DRS COMMENTS

Copyright © Design Group
 Drawn by _____ Author _____
 Checked by _____ Checker _____
 Date AUG 13, 2012
 Project number 2438
 CAD file name _____

SHEET TITLE
 BUILDING AND STRUCTURE ELEVATIONS
 BUILDINGS E AND G

SHEET NUMBER

5.4



City of Albuquerque
Planning Department
Urban Design & Development Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: January 12, 2012

OFFICIAL NOTIFICATION OF DECISION

FILE: Project # 1007649
11EPC-40081 SITE DEVELOPMENT PLAN
FOR SUBDIVISION

Greater Albuquerque Housing Partnership
320 Gold SW, Suite 918
Albuquerque, NM 87102

LEGAL DESCRIPTION:

The Hartman + Majewski Design Group, agent for Greater Albuquerque Housing Partnership, requests the above action for all or a portion of Lots 1-3, Block 9, Franciscan Acres, zoned SU-2/SU-1 FOR PRD, located on Indian School Road between Broadway Boulevard NE and Edith Boulevard NE containing approximately 3 acres. (H-14) Randall Falkner, Staff Planner

On January 12, 2012, the Environmental Planning Commission voted to APPROVE Project 1007649 / 11EPC-40081, a request for a Site Development Plan for Subdivision, based on the following Findings and subject to the following Conditions:

FINDINGS

1. This is a request for a site development plan for subdivision for Lots 1-3, Block 9, Franciscan Acres, a site of approximately 3 acres, located on Indian School Road NE, between Broadway Boulevard NE and Edith Boulevard NE.
2. The applicant proposes to subdivide the site into 4 separate parcels (Parcels A, B, C, and D) as well as a public street dedication. The applicant intends to build 68 units of multi-family residential housing and associated community support functions, including a leasing office, community services building, and park facility accessible to the public.
3. The subject site is zoned SU-2/SU-1 for PRD. The proposed use is permissive under the current zoning.

OFFICIAL NOTICE OF DECISION

PROJECT #1007649

JANUARY 12, 2012

Page 2 of 7

4. The site development plan for subdivision (09EPC 40011) that was approved by the EPC in 2009 is hereby voided.
5. The EPC is hearing this case because development of an SU-1 zone may only occur in conformance with an approved site development plan.
6. The site is located in the Central Urban Area of the Comprehensive Plan (the Central Urban Area is a portion of the Established Urban Area) and is within the boundaries of the Martineztown/Santa Barbara Sector Development Plan.
7. The Albuquerque/Bernalillo County Comprehensive Plan, the Martineztown/Santa Barbara Sector Development Plan, and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
8. The request furthers applicable policies of the Comprehensive Plan, the Martineztown/Santa Barbara Sector Development Plan, including the following:
 - a. Central Urban Area Policy II.B.6b – The request will upgrade the appearance of the site and the surrounding neighborhood by providing attractive well-designed multi-family housing that creates linkages between residential areas and cultural/arts/recreation facilities. The request will bring additional residents to the Central Urban Area, who will have convenient access to community and downtown facilities.
 - b. Established Urban Area Goal – The request will offer variety and maximum choice in housing, transportation, and lifestyle, while creating a visually pleasing built environment. The development will offer well designed affordable multi-family housing that will benefit the neighborhood and the community.
 - c. Established Urban Area Policy II.B.5a – The request will allow for a full range of urban land uses, including multi-family residential, single family residential, office, and manufacturing uses.
 - d. Established Urban Area Policy II.B.5d – The request will respect existing neighborhood values since the proposed residential development is complementary to the properties that surround the site (single family residential, office, manufacturing, vacant). The design utilizes neighborly interaction and safety techniques such as front porches, rear parking, on-street parking and a common green area. The request creates an attractive urban-scale development that expands the choice of affordable housing in the neighborhood.
 - e. Established Urban Area Policy II.B.5e – The request will provide infill development on vacant land (existing Lot 3) which is contiguous to existing infrastructure. The integrity of existing neighborhoods will be ensured by offering

OFFICIAL NOTICE OF DECISION

PROJECT #1007649

JANUARY 12, 2012

Page 3 of 7

a well designed affordable housing project that provides a transition between industrial and residential uses.

- f. Established Urban Area Policy II.B.5f – The request clusters apartment buildings in rows to create a common green area. The apartments face streets and sidewalks lined with trees that encourage pedestrian access.
- g. Established Urban Area Policy II.B.5h – The request is located in an area with excellent access to the major street network, is compatible with existing area land uses where adequate infrastructure is or will be available, and provides a transition between industrial and residential uses.
- h. Established Urban Area Policy II.B.5l – The request is a quality and innovative design that is appropriate to the plan area. Buildings are placed with their front facades facing streets and adjacent to tree-lined sidewalks, with off-street parking areas placed internally within each site block. Sustainable techniques such as permeable paving, allows for water to soak into the ground rather than be diverted off-site and allows for on-site irrigation of plant material during precipitation events. Front porches encourage neighborhood interaction and promote safety (more eyes on the street) for the site and the neighborhood.
- i. Established Urban Area Policy II.B.5o – The request will facilitate redevelopment and rehabilitation of an older neighborhood in an Established Urban Area by bringing in a quality affordable development that is innovative in design and is supported by the Santa Barbara/Martineztown Neighborhood Association.
- j. Established Urban Area Policy II.B.5p – Cost-effective redevelopment techniques will be developed and utilized for this project. Private investment in this area will benefit the site, the neighborhood, and the City. Redevelopment projects such as these could also stimulate additional private investment in the area.
- k. Developed Landscape Policy II.C.8d – The request would provide low water use and native vegetation that would control water erosion and dust, and create a pleasing visual environment.
- l. Water Management Policies II.D2a & II.D2b – The request incorporates measures to discourage wasteful water use, such as permeable paving that soaks into the ground, and allows maximum absorption of precipitation rather than being diverted off-site. This allows for on-site natural irrigation of landscaping during precipitation, and improves water resource management.
- m. Transportation and Transit Policies II.B.4c & II.D.4g – The request will add to transit ridership and will not destabilize adjacent neighborhoods. The request for 68 multi-family units is within approximately 1/3 mile of six bus routes. The request will promote and integrate pedestrian opportunities into development to create safe and pleasant non-motorized travel conditions.
- n. Housing Policy II.D.5a – The request will increase the supply of affordable housing and increase the opportunity to obtain standard housing for a reasonable proportion of income assured. The Greater Albuquerque Housing Partnership is proposing the

development in conjunction with the City of Albuquerque Department of Family and Community Services as a low income housing tax credit project.

- o. Goals & Objectives of the Martineztown/Santa Barbara Sector Development Plan – The request meets the goals and objectives of the Martineztown/Santa Barbara Sector Development Plan by eliminating conditions which are detrimental to public health, safety, and welfare, improving and expanding affordable housing availability to all families, stabilizing land use patterns, and providing the necessary infrastructure for the development and strengthening of the residential component of the neighborhood.
9. There is no known opposition to the request. A letter of support has been received from the Santa Barbara/Martineztown Neighborhood Association.

RECOMMENDATION - 11EPC 40081, January 12, 2012, Site Development Plan for Subdivision

APPROVAL of 11EPC 40081, a site development plan for subdivision, for Lots 1-3, Block 9, Franciscan Acres, zoned SU-2/SU-1 for PRD, based on the preceding Findings and subject to the following Conditions of Approval.

CONDITIONS

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. Conditions from City Engineer, Municipal Development, and NMDOT:
 - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).
 - b. Concurrent Platting Action required at Development Review Board (DRB).
 - c. Proposed bulb outs located on Indian School Road and Broadway Boulevard will need to be analyzed to determine impacts on the Transportation System.
 - d. A Public Sidewalk Easement is required for the proposed 30' Public Street.

OFFICIAL NOTICE OF DECISION

PROJECT #1007649

JANUARY 12, 2012

Page 5 of 7

- e. Broadway Boulevard is located within New Mexico Department of Transportation jurisdiction and will need concurrence and approval for any proposed development.
 - f. Proposed parking calculations have included on-street parking as part of the requirements. An application for on-street credits and calculations can only include Indian School Road and not Broadway Boulevard since it's not part of the City's roadway system.
 - g. The site is affected by offsite flows as well as ponding requirements due to lack of sufficient drainage infrastructure. It does not seem feasible to have Parcel D reserved for Future Street Extension, when the pond may be required indefinitely. Hydrology supports the use of Gravel Pave 2 to mitigate storm water runoff with Transportations approval. An approved Conceptual Grading and Drainage Plan is required for DRB approval.
 - h. All easements need to be shown and labeled on Site Plan.
 - i. Site plan shall comply and be designed per DPM Standards.
4. Conditions from Public Service Company of New Mexico:
- a. As a condition, it is the applicant's obligation to determine if existing utility easements cross the property and to abide by any conditions or terms of those easements.
 - b. Existing overhead distribution electric facilities are located on the north side of the subject property. As a condition, it is necessary for the developer to contact PNM's New Service Delivery Department to coordinate electric service and options for the location of electric service equipment regarding this project. Any existing or proposed public utility easements are to be indicated on the site plan utility sheet. PNM's standard for public utility easements is 10 feet in width to ensure adequate, safe clearances.
 - c. It will be necessary to consider tree placement and height at maturity, sign location and height, and lighting height on the north property boundary in order to ensure sufficient safety clearances and to avoid interference with the existing electric distribution line. PNM's standard is for trees to be planted outside the PNM easement.
 - d. As a condition, screening should be designed to allow for access to utility facilities. As a condition, all screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Please refer to the PNM Electric Service Guide for specifications.
5. The word "should" to be replaced with the word "shall" throughout the Design Requirements.
6. Under Design Requirements 1. Site Design, k. Sustainable Techniques Such As Permeable Paving and Other Green Features, first sentence, change the word "crusher-fine" to "permeable paving."

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **JANUARY 27, 2012** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Persons aggrieved with any determination of the Environmental Planning Commission (EPC) and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department **within 15 days** of the Planning Commission's decision. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday, the next working day is considered as the deadline for filing the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY ZONING CODE MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(11), a change to the zone map does not become official until the Certification of Zoning is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing thorough the Planning Director that the Planning Commission extend the plan's life an additional five years.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee.

Sincerely,

Deborah Stover
Planning Director

OFFICIAL NOTICE OF DECISION

PROJECT #1007649

JANUARY 12, 2012

Page 7 of 7

DS/CH/mc

cc: Louis Kolker, Greater Albuquerque Housing Partnership, 320 Gold SW, Suite 918, Albuquerque, NM 87102
Mark Wade, Hartman + Majewski Design Group, 120 Vassar SE, Suite 100, Albuquerque, NM 87106
Chal-Marie Lucero, Santa Barbara-Martineztown Assoc., 420 Hannett NE, Albuquerque, NM 87102
Christina Chavez Apodaca, Santa Barbara-Martineztown Assoc., 517 Marble NE, Albuquerque, NM 87102

INTRODUCTION

THE PURPOSE OF THIS SITE DEVELOPMENT PLAN FOR SUBDIVISION IS TO ENSURE THAT THE SOUTHEAST CORNER OF BROADWAY AND INDIAN SCHOOL IS COMPREHENSIVELY DEVELOPED WITH RESPECT TO SITE LAYOUT FOR BUILDINGS, PARKING, PEDESTRIAN PATHS, PEDESTRIAN CIRCULATION, AND LINKAGES TO ADJACENT USES AS WELL AS ARCHITECTURAL AND NEIGHBORHOOD DESIGN.

THE PROPOSED USE OF THE SITE IS TO DEVELOP 80 UNITS OF MULTI-FAMILY HOUSING AND ASSOCIATED COMMUNITY SUPPORT FUNCTIONS, INCLUDING A LEASING OFFICE, COMMUNITY SUPPORT BUILDING, AND PARK FACILITY ACCESSIBLE TO THE PUBLIC.

BUILDING MASSING IS ARRANGED RECTILINEARLY TO MESH THE DEVELOPMENT WITH THE EXISTING FABRIC OF SURROUNDING CITY BLOCKS. BUILDINGS ARE PLACED WITH THEIR FRONT FACADES FACING STREETS AND ADJACENT TO SIDEWALKS, WITH FRONT SETBACKS VARYING FROM A MINIMUM OF 3' FROM THE PROPERTY LINE ALONG BROADWAY TO A MINIMUM ZERO SETBACK AT THE COMMUNITY BUILDING ALONG INDIAN SCHOOL. HEIGHTS RANGE FROM ONE TO THREE STORIES, WITH A MAXIMUM HEIGHT OF 45' AT THE THREE-STORY UNITS. THE MAXIMUM FLOOR AREA RATIO FOR THE DEVELOPMENT IS 3.

OFF-STREET PARKING IS LOCATED AT THE CENTER OF EACH RESIDENTIAL BLOCK WITH CONTROLLED VEHICULAR ACCESS AND ACCESS TO THE OFF-STREET PARKING AREAS FROM INDIAN SCHOOL. A PROPOSED PUBLIC STREET BISECTS THE CENTER OF THE SITE IN A NORTH/SOUTH DIRECTION, AND IS INTENDED TO CONNECT TO A POSSIBLE EAST/WEST STREET TO THE SOUTH OF THIS DEVELOPMENT IN A FUTURE PHASE. NEW ON-STREET PARKING IS PROPOSED TO BE CONSTRUCTED AS A PART OF THIS DEVELOPMENT, 85% OF WHICH IS PROPOSED TO SERVE THE REQUIREMENTS OF THE DEVELOPMENT.

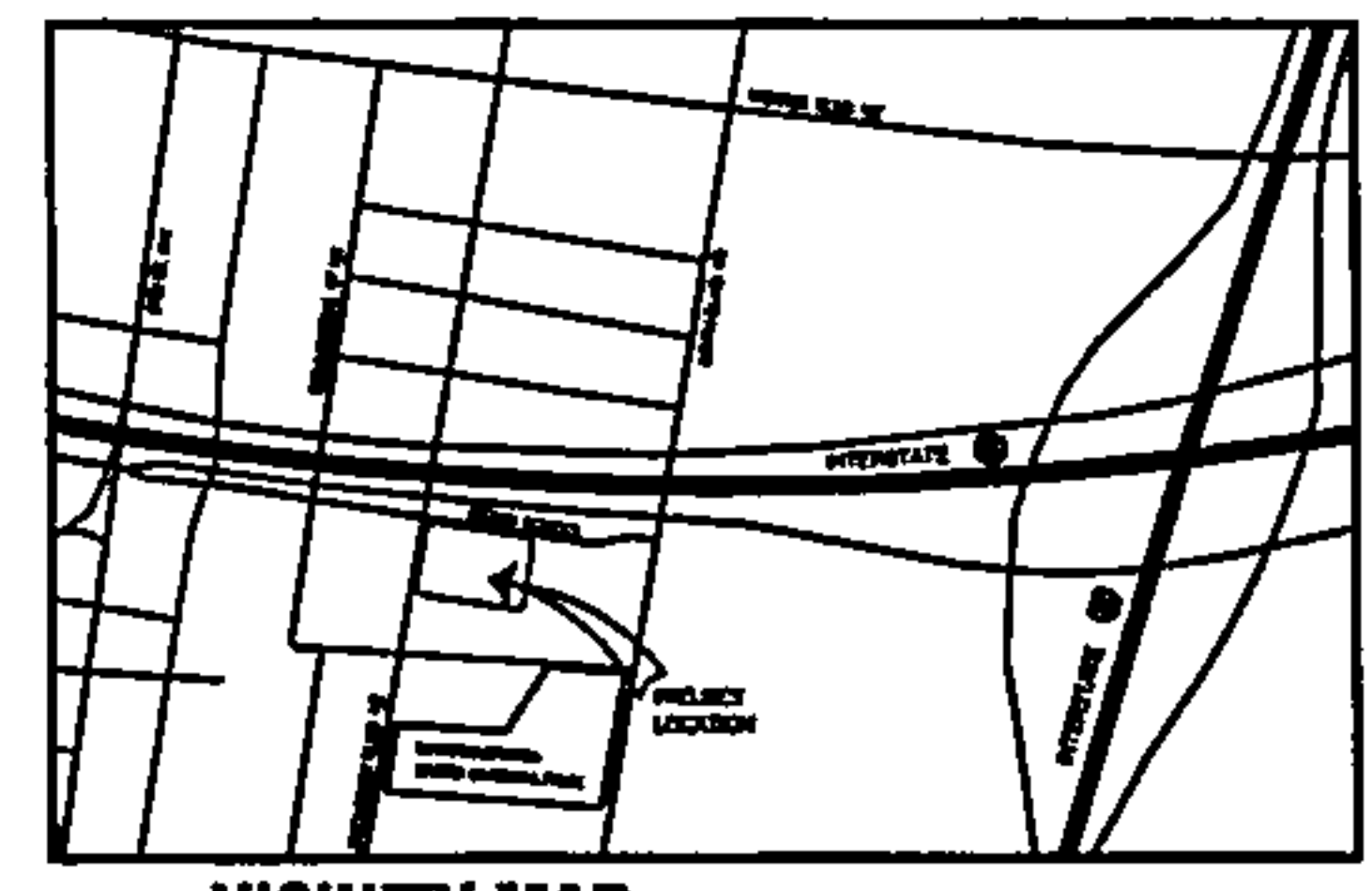
PEDESTRIAN PATHS AND BIWAYS ARE EXTENSIVE AN EXTENSION OF THE EXISTING NEIGHBORHOODS BIWAY SYSTEM ALONG BROADWAY AND INDIAN SCHOOL. CONTROLLED BIWAY PEDESTRIAN ACCESS POINTS CONNECT THE PERIMETER BIWAY SYSTEM TO THE INTERNAL CIRCULATION SYSTEM OF SIDEWALKS WITHIN THE PERIMETER SECURITY WALLS.

LANDSCAPING UTILIZES A PROPORTION OF TREES FOR SHADING AND TO TIE THE PROPOSED PARK AREA VISUALLY TO THE PROPOSED OFF-STREET PARKING AREAS. CRUSHED ROCK ARE USED IN THE OFF-STREET PARKING AREAS TO ENCOURAGE THEIR USE AS MULTI-FUNCTIONING SPACES.

NOTE: PARK AREA IS PRIMARILY OWNED AND PRIVATELY MAINTAINED BY OWNER.

TABLE OF CONTENTS:

- DRB-1: SITE DEVELOPMENT PLAN FOR SUBDIVISION
- DRB-2: SITE CONCEPTUAL DRAINAGE PLAN
- DRB-3: SITE CONCEPTUAL UTILITY PLAN
- DRB-4: LANDSCAPE PLAN
- DRB-5: DESIGN REQUIREMENTS



VICINITY MAP
SCALE: 1" = 100'

- LEGEND:**
- [Symbol] PEDESTRIAN ACCESS
 - [Symbol] PERMEABLE PAVEMENT
 - [Symbol] PATTERNED CONCRETE CROSSWALK
 - [Symbol] 6" HIGH SECURITY WALL - CONCRETE BLOCK WITH DECORATIVE METAL GATES WHERE SHOWN
 - [Symbol] 6" HIGH SECURITY WALL - DECORATIVE METAL WITH DECORATIVE METAL GATES WHERE SHOWN
 - [Symbol] LOW RETAINING WALL - CONCRETE BLOCK, 2'-0" APPROXIMATE HEIGHT

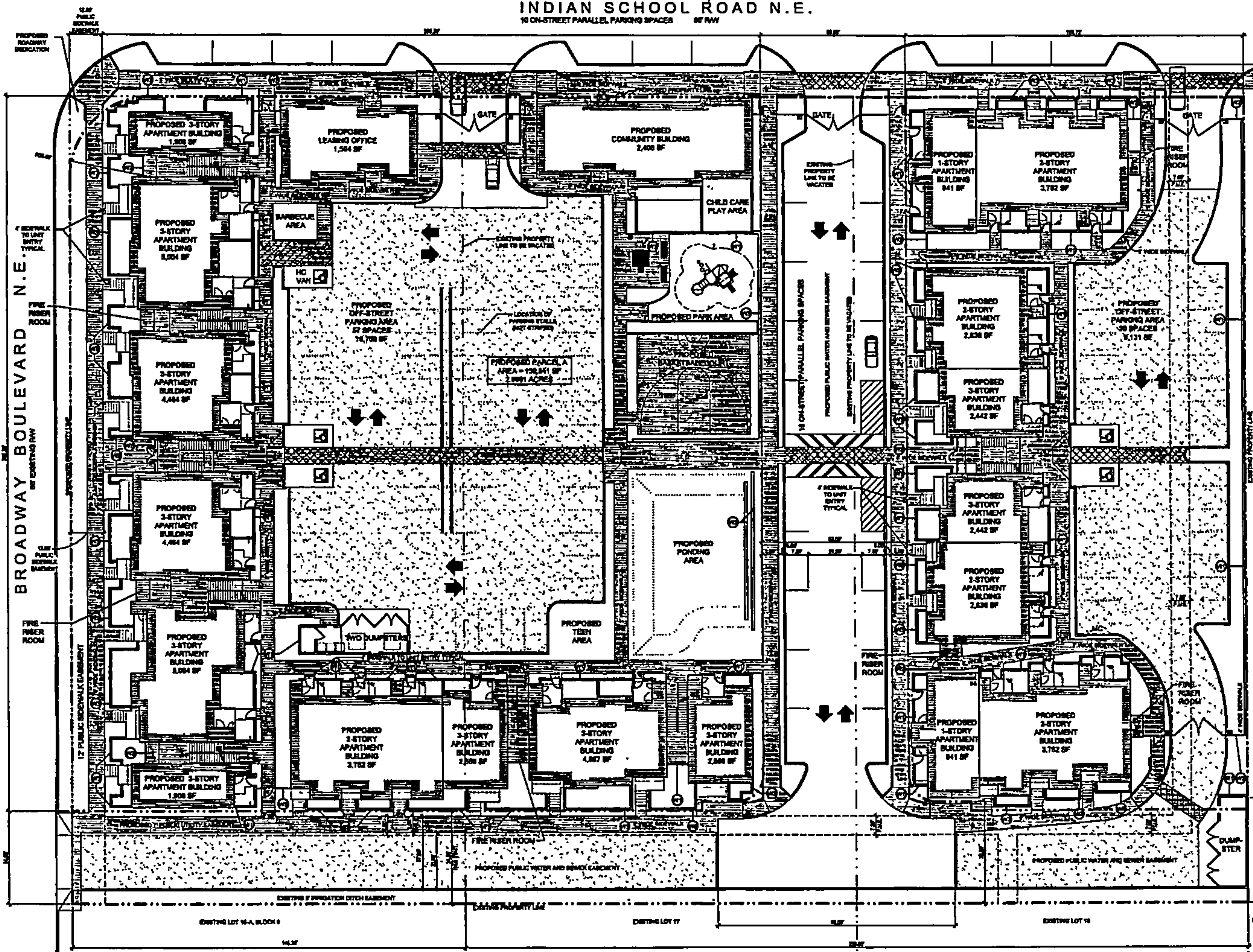
PROJECT LOCATION: SOUTHEAST CORNER OF INDIAN SCHOOL AND BROADWAY NE

LEGAL DESCRIPTION: LOTS 1 THROUGH 3, BLOCK 8, FRANCISCAN ACRES

ZONE: ATLAS PARS, H-14

TOTAL ACRES: 2.881 ACRES

PROPOSED SUBDIVISION PARCELS: PARCELS A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z, AA, AB, AC, AD, AE, AF, AG, AH, AI, AJ, AK, AL, AM, AN, AO, AP, AQ, AR, AS, AT, AU, AV, AW, AX, AY, AZ, BA, BB, BC, BD, BE, BF, BG, BH, BI, BJ, BK, BL, BM, BN, BO, BP, BQ, BR, BS, BT, BU, BV, BW, BX, BY, BZ, CA, CB, CC, CD, CE, CF, CG, CH, CI, CJ, CK, CL, CM, CN, CO, CP, CQ, CR, CS, CT, CU, CV, CW, CX, CY, CZ, DA, DB, DC, DD, DE, DF, DG, DH, DI, DJ, DK, DL, DM, DN, DO, DP, DQ, DR, DS, DT, DU, DV, DW, DX, DY, DZ, EA, EB, EC, ED, EE, EF, EG, EH, EI, EJ, EK, EL, EM, EN, EO, EP, EQ, ER, ES, ET, EU, EV, EW, EX, EY, EZ, FA, FB, FC, FD, FE, FF, FG, FH, FI, FJ, FK, FL, FM, FN, FO, FP, FQ, FR, FS, FT, FU, FV, FW, FX, FY, FZ, GA, GB, GC, GD, GE, GF, GG, GH, GI, GJ, GK, GL, GM, GN, GO, GP, GQ, GR, GS, GT, GU, GV, GW, GX, GY, GZ, HA, HB, HC, HD, HE, HF, HG, HH, HI, HJ, HK, HL, HM, HN, HO, HP, HQ, HR, HS, HT, HU, HV, HW, HX, HY, HZ, IA, IB, IC, ID, IE, IF, IG, IH, II, IJ, IK, IL, IM, IN, IO, IP, IQ, IR, IS, IT, IU, IV, IW, IX, IY, IZ, JA, JB, JC, JD, JE, JF, JG, JH, JI, JJ, JK, JL, JM, JN, JO, JP, JQ, JR, JS, JT, JU, JV, JW, JX, JY, JZ, KA, KB, KC, KD, KE, KF, KG, KH, KI, KJ, KK, KL, KM, KN, KO, KP, KQ, KR, KS, KT, KU, KV, KW, KX, KY, KZ, LA, LB, LC, LD, LE, LF, LG, LH, LI, LJ, LK, LL, LM, LN, LO, LP, LQ, LR, LS, LT, LU, LV, LW, LX, LY, LZ, MA, MB, MC, MD, ME, MF, MG, MH, MI, MJ, MK, ML, MM, MN, MO, MP, MQ, MR, MS, MT, MU, MV, MW, MX, MY, MZ, NA, NB, NC, ND, NE, NF, NG, NH, NI, NJ, NK, NL, NM, NN, NO, NP, NQ, NR, NS, NT, NU, NV, NW, NX, NY, NZ, OA, OB, OC, OD, OE, OF, OG, OH, OI, OJ, OK, OL, OM, ON, OO, OP, OQ, OR, OS, OT, OU, OV, OW, OX, OY, OZ, PA, PB, PC, PD, PE, PF, PG, PH, PI, PJ, PK, PL, PM, PN, PO, PP, PQ, PR, PS, PT, PU, PV, PW, PX, PY, PZ, QA, QB, QC, QD, QE, QF, QG, QH, QI, QJ, QK, QL, QM, QN, QO, QP, QQ, QR, QS, QT, QU, QV, QW, QX, QY, QZ, RA, RB, RC, RD, RE, RF, RG, RH, RI, RJ, RK, RL, RM, RN, RO, RP, RQ, RR, RS, RT, RU, RV, RW, RX, RY, RZ, SA, SB, SC, SD, SE, SF, SG, SH, SI, SJ, SK, SL, SM, SN, SO, SP, SQ, SR, SS, ST, SU, SV, SW, SX, SY, SZ, TA, TB, TC, TD, TE, TF, TG, TH, TI, TJ, TK, TL, TM, TN, TO, TP, TQ, TR, TS, TT, TU, TV, TW, TX, TY, TZ, UA, UB, UC, UD, UE, UF, UG, UH, UI, UJ, UK, UL, UM, UN, UO, UP, UQ, UR, US, UT, UY, UZ, VA, VB, VC, VD, VE, VF, VG, VH, VI, VJ, VK, VL, VM, VN, VO, VP, VQ, VR, VS, VT, VU, VV, VW, VX, VY, VZ, WA, WB, WC, WD, WE, WF, WG, WH, WI, WJ, WK, WL, WM, WN, WO, WP, WQ, WR, WS, WT, WU, WV, WW, WX, WY, WZ, XA, XB, XC, XD, XE, XF, XG, XH, XI, XJ, XK, XL, XM, XN, XO, XP, XQ, XR, XS, XT, XU, XV, XW, XX, XY, XZ, YA, YB, YC, YD, YE, YF, YG, YH, YI, YJ, YK, YL, YM, YN, YO, YP, YQ, YR, YS, YT, YU, YV, YW, YX, YY, YZ, ZA, ZB, ZC, ZD, ZE, ZF, ZG, ZH, ZI, ZJ, ZK, ZL, ZM, ZN, ZO, ZP, ZQ, ZR, ZS, ZT, ZU, ZV, ZW, ZX, ZY, ZZ.



NOTE: ALL PROPOSED IMPROVEMENTS SHOWN ARE ILLUSTRATIVE ONLY.

A1 SITE DEVELOPMENT PLAN FOR SUBDIVISION
SCALE: 1" = 20'



dg

THE HARTMAN + MAJEWSKI
DESIGN GROUP
ARCHITECTS • INTERIORS • INTERIOR DESIGN
PLANNERS • LAMP DESIGNERS • LANDSCAPE

120 VASSAR DRIVE SUITE 100
ALBUQUERQUE, NEW MEXICO 87106
PHONE 505.242.0800 FAX 505.242.0811

CONSULTANT

STAMP

PROJECT NAME:
GREATER ALBUQUERQUE HOUSING PARTNERSHIP

FRANCISCAN ACRES SUBDIVISION
INDIAN SCHOOL AND BROADWAY
ALBUQUERQUE, NM 87102

REVISIONS

No.	DATE	DESCRIPTION
1	11/12/12	FLAT REVISIONS
2	12/14/12	DRB COMMENTS
3	02/28/13	DRB COMMENTS

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Drawn by: [Signature]

Checked by: [Signature]

Date: 12/14/12

Project number: 2428

Cell file name:

SHEET TITLE:
SITE DEVELOPMENT PLAN FOR SUBDIVISION

SHEET NUMBER:

DRB-1

SIGNATURE BLOCK

PROJECT NUMBER: 1007644

APPLICATION NUMBER:

Is an introduction fee required? (Yes/No) (Yes if yes, then a fee of \$1000 is required. If no, then a fee of \$500 is required for any construction within public right-of-way or for construction of public improvements.)

APPLICANT: [Signature] DATE: 02-08-12

PROJECT DEVELOPER: [Signature] DATE: 02-08-12

OWNER: [Signature] DATE: 02-08-12

CITY ENGINEER: [Signature] DATE: 02-08-12

ENVIRONMENTAL HEALTH DEPT. (if required): [Signature] DATE: 02-08-12

SOLID WASTE DEPARTMENT: [Signature] DATE: 02-08-12

DRB SUPERVISOR, PLANNING DEPARTMENT: [Signature] DATE: 02-08-12



THE HARTMAN + VAZGENS
DESIGN GROUP
 ARCHITECTS • INTERIORS • INTERIOR DESIGN
 PLANNERS • URBAN DESIGNERS • LANDSCAPE

120 VARRAR DRIVE SE SUITE 100
 ALBUQUERQUE, NEW MEXICO 87106
 PHONE: 505.242.8888 FAX: 505.242.8891

CONSULTANT

STAMP

PROJECT NAME
**GREATER ALBUQUERQUE
 HOUSING PARTNERSHIP**

FRANCISCA ACRES SUBDIVISION
 INDIAN SCHOOL AND BROADWAY
 ALBUQUERQUE, NM 87102

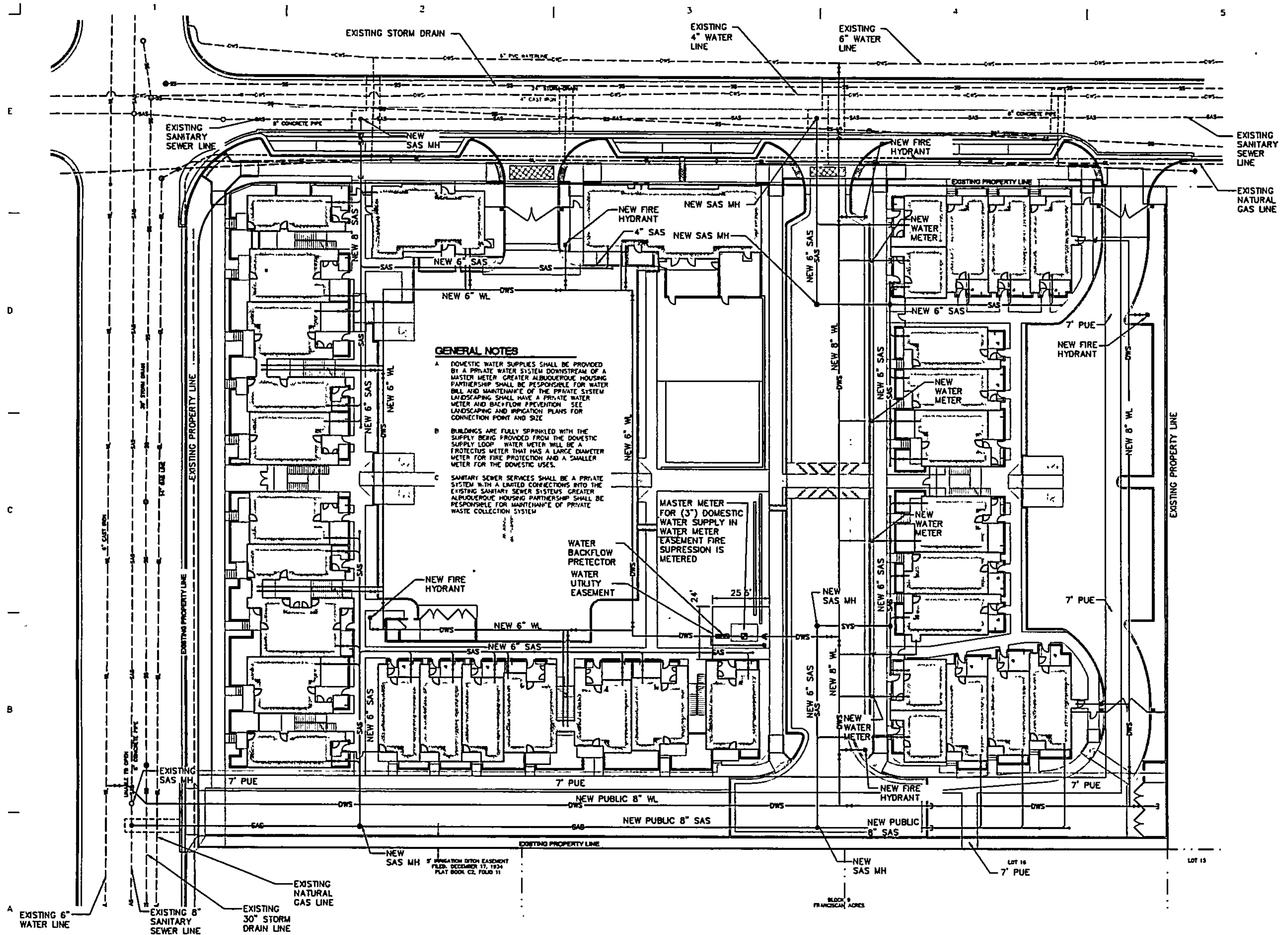
REVISIONS		
No.	DATE	DESCRIPTION

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 Drawn by: JAV
 Checked by: ML
 Date: 07/28/12
 Project number: 208
 Cad file name:

SHEET TITLE:
 SITE CONCEPTUAL
 UTILITY
 PLAN

SHEET NUMBER:

DRB-3



14

A1 SITE CONCEPTUAL UTILITY PLAN
 SCALE: 1" = 20'-0"





130 EASTERN BLVD. SUITE 100
DESIGN GROUP
 ARCHITECTS • INTERIORS • DESIGN
 PLANNING • LANDSCAPE ARCHITECTS

129 VABBAR DRIVE DE SUITE 100
 ALBUQUERQUE, NEW MEXICO 87104
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 CONSULTANT



STAMP

PROJECT NAME
**GREATER ALBUQUERQUE
 HOUSING PARTNERSHIP**

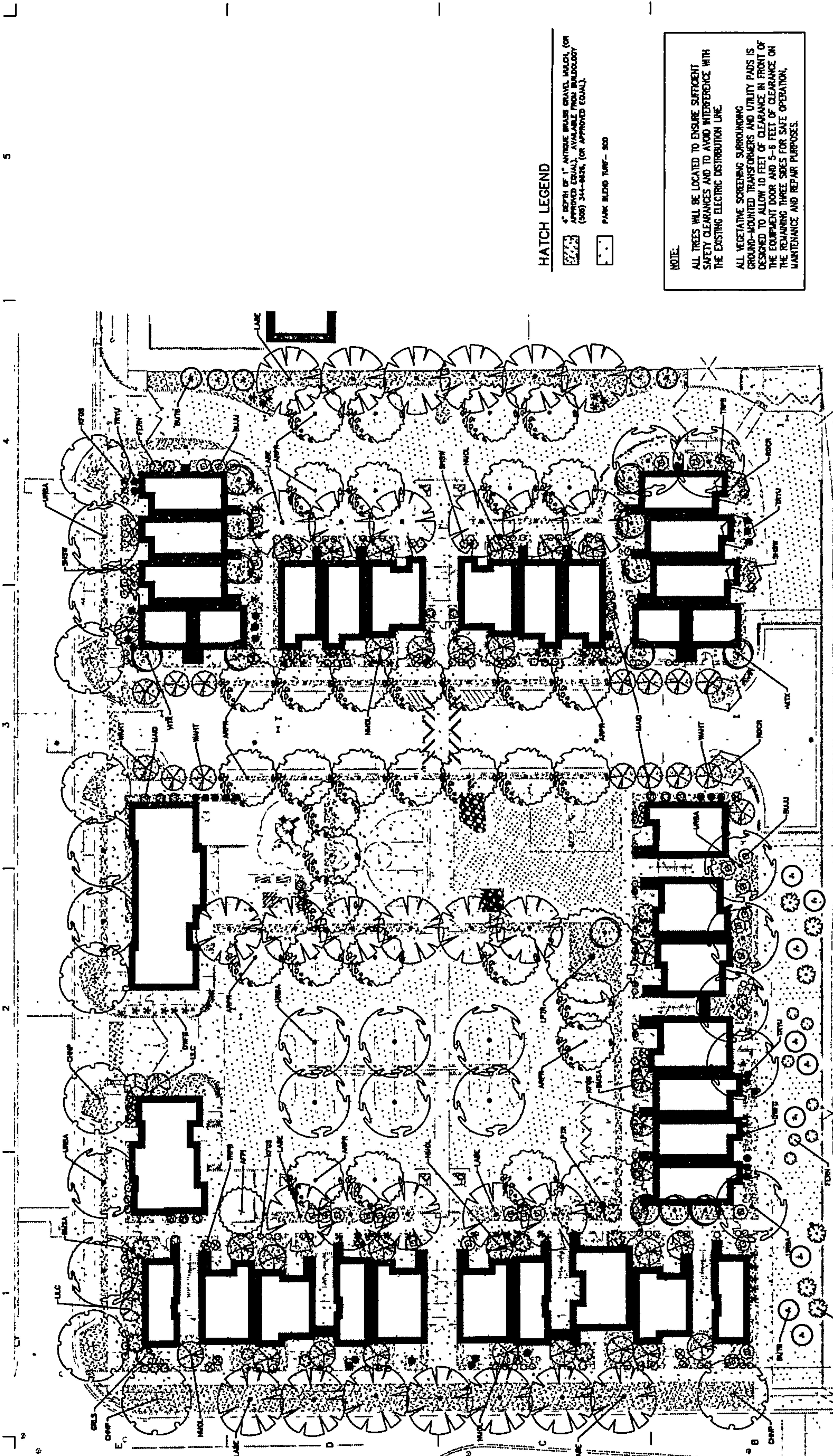
FRANCIS JACOB SUBDIVISION
 IRONHILL SCHOOL AND BROADWAY
 ALBUQUERQUE, NM 87102

REVISION	DATE	DESCRIPTION

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Project number	
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SHEET TITLE	
PLUMBING PLAN	

SHEET NUMBER
DRB-4



HATCH LEGEND

- 4" DEPTH OF 1" APPROX GRAVEL BENCH, OR APPROX 10" GRAVEL, A VIBRATED TECHNOLOGY (S&B) 344-8888, (OR APPROVED EQUAL)
- PARK BLEND TURF - 500

NOTE:

ALL TREES WILL BE LOCATED TO ENSURE SUFFICIENT SAFETY CLEARANCES AND TO AVOID INTERFERENCE WITH THE EXISTING ELECTRIC DISTRIBUTION LINE.

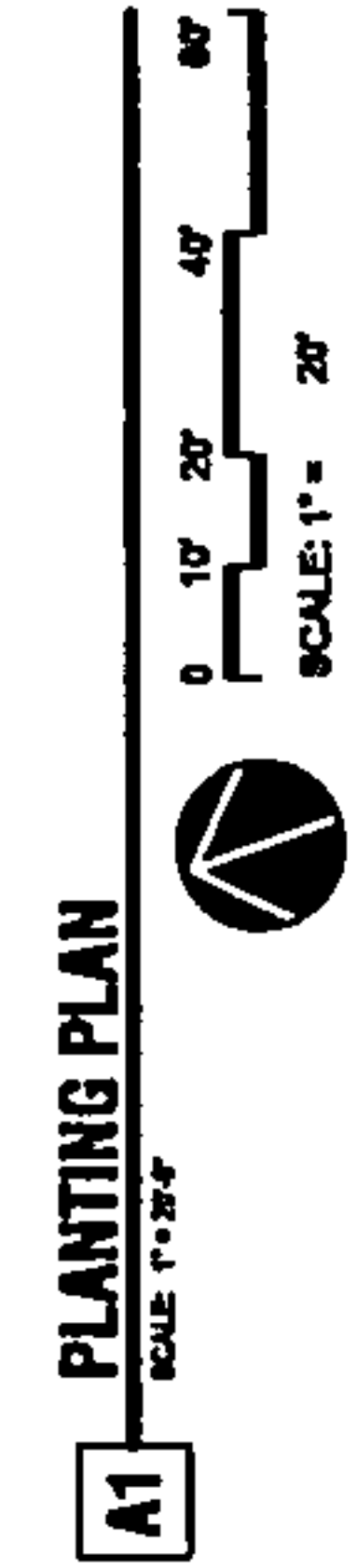
ALL VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS IS DESIGNED TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

PLANT SCHEDULE CONTINUED

KEY	COMMON NAME	BOTANICAL NAME	QUANTITY	INSTALLER SIZE	MATURE SIZE	CONDITION
BUFB	Butterfly Bush	Buddleia davidii	X	1'-8" H.	8' H. & 4' W.	5-Gal.
BUFA	Blue Mist Spirea	Caryophyllus x demerensis	X	1'-8" H.	3' H. & 4' W.	5-Gal.
FERN	Fern	Chromolaena monnina	X	1'-8" H.	3' H. & 4' W.	5-Gal.
TRYP	Turkey Tail	Chamaecyparis nivalis	X	1'-8" H.	4' H. & 4' W.	5-Gal.
BLUJ	Blue Juniper	Juniperus horizontalis 'Blue Star'	X	8" H.	1' H. & 8' W.	5-Gal.
GRLE	Gre-Lee Sarcocolla	Rhus aromatica 'Gre-Lee'	X	1" H.	3' H. & 8' W.	5-Gal.
LLC	Live	Syringa vulgaris	X	1'-8" H.	15' H. & 4' W.	5-Gal.
FRFR	Kent Finger Grass	Calamagrostis x canadensis 'Kent'	X	1'-8" H.	3' H. & 4' W.	5-Gal.
TRTU	Red Yucca	Yucca filamentosa	X	1'-8" H.	4' H. & 5' W.	5-Gal.
MAAD	Maiden Hair	Adiantum species	X	1'-8" H.	3' H. & 3' W.	5-Gal.
SPST	Spinebrush	Quercus agrifolia	X	1'-8" H.	4' H. & 4' W.	5-Gal.
DRFC	Drift Fuchsia Grass	Penstemon depauperatus 'Harvest'	X	1' H.	3' H. & 4' W.	1-Gal.

PLANT SCHEDULE

KEY	COMMON NAME	BOTANICAL NAME	QUANTITY	INSTALLER SIZE	MATURE SIZE	CONDITION
UNBA	Ulmus americana	Ulmus americana	X	2" cal., 12'-14" H.	42' H. & 25' W.	30" bar
APPA	Alnus incana	Alnus incana	X	5'-7' H.	42' H. & 25' W.	30" bar
CHPR	Chinese Pistache	Pistacia chinensis	X	2" cal., 10'-12" H.	42' H. & 25' W.	30" bar
LPTN	Linden Plant Tree	Tilia cordata	X	2" cal., 12'-14" H.	30' H. & 30' W.	30" bar
APPR	Arbutus Menziesii	Arbutus menziesii	X	2" cal., 10'-12" H.	25' H. & 25' W.	30" bar
LALC	Lamb's Ear	Sanicula europaea	X	2" cal., 12'-14" H.	30' H. & 25' W.	30" bar
ACCOT	Accent Trees					
MAUL	Maiden Hair	Adiantum species	X	18" H.	15' H. & 15' W.	15-Gal.
MAUT	Maiden Hair	Adiantum species	X	2" cal., 8'-10" H.	25' H. & 20' W.	15-Gal.
ROCK	Rock	Saxifraga species	X	2" cal., 8'-10" H.	24' H. & 20' W.	30" bar
VITE	Vine	Vitis vulpina	X	18" H.	25' H. & 20' W.	15-Gal.





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PROJECT NAME
**GREATER ALBUQUERQUE
 HOUSING PARTNERSHIP**

FRANCISCAN ACRES SUBDIVISION
 INDIAN SCHOOL AND BROADWAY
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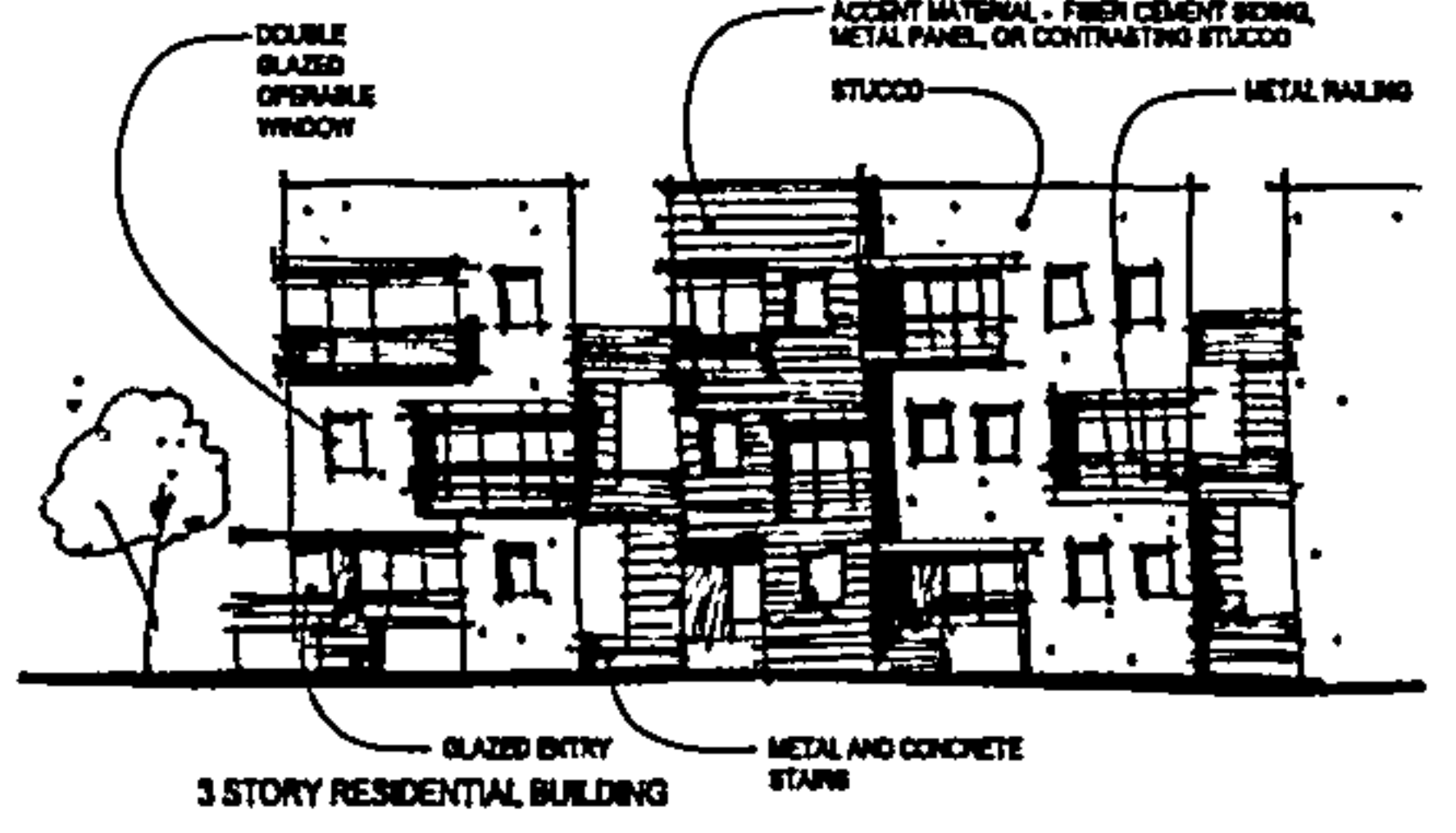
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 Date: 7/24/2012
 Project number: 508
 Cad file name:

SHEET TITLE
 DESIGN REQUIREMENTS

SHEET NUMBER

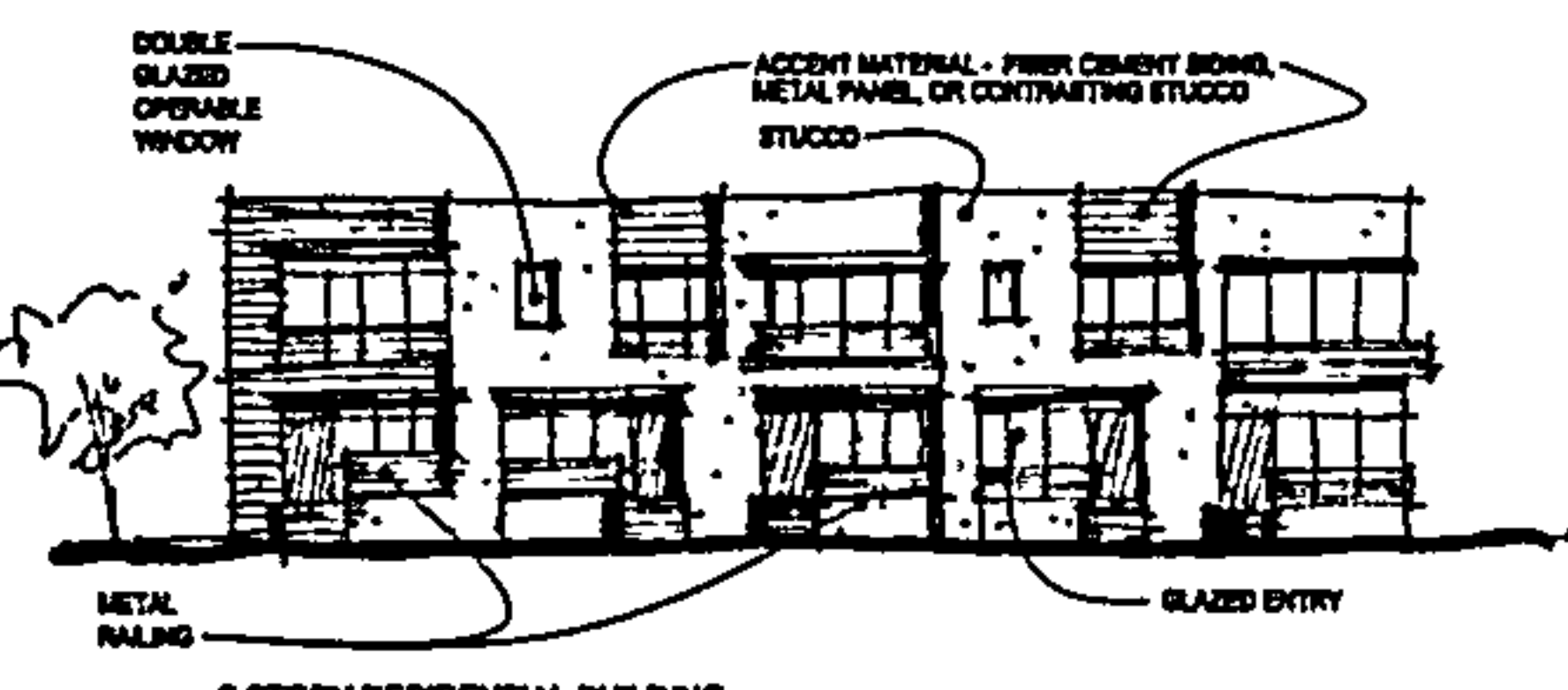
DRB-5

1. ARCHITECTURAL THEME OR STYLE
 THE PROPOSED DEVELOPMENT'S ARCHITECTURAL STYLE IS A SYNTHESIZED SET OF ELEMENTS WHICH
 REFLECTS THE RESIDENTIAL AND COMMERCIAL ARCHITECTURE OF THE SURROUNDING ENVIRONMENT. SCALE,
 COLOR PALETTE AND MATERIALS FOUND BOTH IN THE INDUSTRIAL AND RESIDENTIAL BUILDINGS OF THE
 NEIGHBORHOOD. SANTA BARBARA NEIGHBORHOOD ARE LINED ON THE EXTERIOR FACADES, APPLIED IN
 A CLEAN, MINIMAL, CONTEMPORARY WAY. IT IS ALSO IMPORTANT TO DEVELOP A STYLE THAT
 SEAMLESSLY BLENDS WITH OTHER TYPES OF FUTURE HOUSING AND ECONOMIC POPULATIONS.



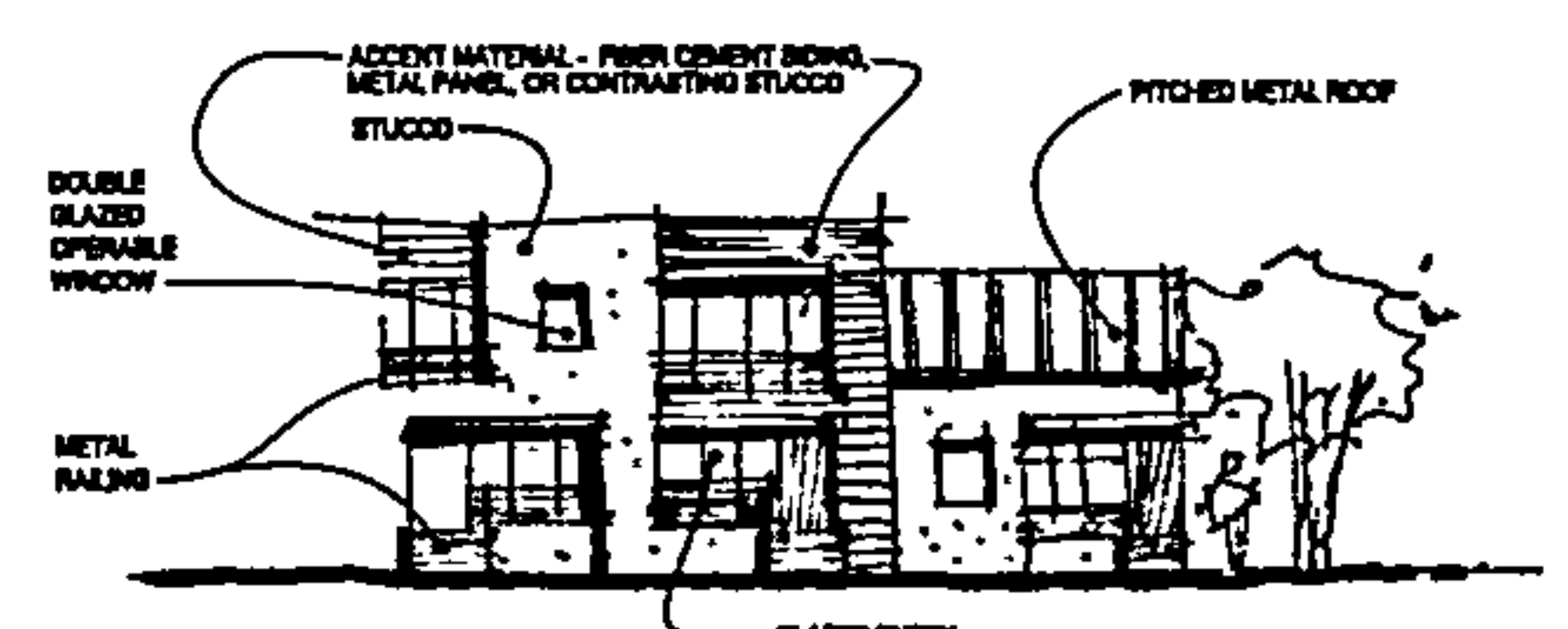
3 STORY RESIDENTIAL BUILDING

2. BUILDING HEIGHT, SCALE, MASSING, MATERIALS, COLORS AND ARTICULATION
 THE DEVELOPMENT IS ORGANIZED TO EMPHASIZE AN URBAN BUILDING MASSING RESPONSE TO THE
 SITE. BUILDINGS ARE PLACED WITH THEIR FRONT FACADES FACING STREETS AND ADJACENT TO
 SIDEWALKS WITH OFF-STREET PARKING AREAS CONCENTRATED INTERNALLY WITHIN EACH SITE BLOCK.
 THREE STORY RESIDENTIAL BUILDINGS ARE PLACED ALONG BROADWAY, WITH A PARK/PEDESTRIAN
 COURT BEHIND. A MIX OF SOME THREE STORY AND ONE AND TWO STORY TOWNHOMES COMPLETE THE
 HOUSING TYPES WITHIN THIS PART PHASE. LEASING OFFICE AND COMMUNITY SERVICE BUILDINGS
 ARE PROPOSED TO BE ALONG INDIAN SCHOOL, ALSO ONE STORY.



2 STORY RESIDENTIAL BUILDING

THE MAJORITY OF EXTERIOR WALLS INCLUDE A PALETTE OF BARTH-TONED STUCCO. ADDITIONALLY,
 LIGHT COLORED FIBER CEMENT SIDING, METAL PANEL, OR CONTRASTING STUCCO IS USED INTERNETENTLY
 TO BREAK DOWN THE MASS OF LARGER BUILDINGS, ADDING INTEREST AND TEXTURE TO FACADES. ROOFING
 IS A COMBINATION OF PITCHED METAL ROOFING SYSTEM AT THE DAYCARE AND LEASING OFFICE COMMUNITY
 BUILDINGS, AND A PARAPETED LOW SLOPE ROOFING SYSTEM AT THE RESIDENTIAL UNITS.



2 STORY RESIDENTIAL BUILDING

3. SIGNAGE
 STANDARDS FOR WALL MOUNTED AND SIGNAGE SIGNS: LOCATION OF SIGNS, MAX. NUMBER OF
 SIGNS FOR EACH SITE BLOCK, HEIGHT AND FACE AREA OF SIGNS AND SIGNAGE MATERIALS AND
 LIGHTING

ALL SIGNAGE SHALL CONFORM TO THE SIGNAGE REGULATIONS FOUND IN THE CITY OF ALBUQUERQUE
 ZONING CODE UNLESS MODIFIED AS PART OF AN APPROVED SITE DEVELOPMENT PLAN.

SIGNS SHALL BE LIMITED TO LOW MOUNTMENT SIGNAGE TYPE SIGNS MOUNTED ON PERMITTED WALLS TO
 IDENTIFY THE DEVELOPMENT, AND BUILDING MOUNTED ADDRESS NUMBERS AND LETTERS FOR THE
 IDENTIFICATION OF THE LEASING OFFICE, THE DAY CARE, AND THE RESIDENTIAL UNITS.

ALL SIGNS SHALL BE INTEGRATED WITH AND COMPLEMENTARY TO THE SITE PLAN AND ARCHITECTURE.
 SIGNS SHALL BE OF HIGH QUALITY DESIGN AND SHALL HAVE A DEFINITIVE POSITIVE CONTRIBUTION TO
 THE DESIRED VISUAL CHARACTER OF THE SURROUNDING AREA.

SIGNAGE MOUNTED SIGNS SHALL BE ILLUMINATED BY GROUND MOUNTED LIGHTING IN FRONT OF THE
 SIGNS. GROUND MOUNTED SPOT LIGHTING IS ONLY ALLOWED WHEN THE SIGN IS NO MORE THAN 5 FEET
 HIGH.

4. APPROVAL PROCESS
 THE SITE DEVELOPMENT PLAN FOR BLDG PERMIT MAY BE SLIGHTLY MODIFIED OR ADJUSTED, IF NECESSARY,
 TO ACHIEVE CONSISTENCY WITH THE DEVELOPMENT AND TO ALLOW FLEXIBILITY FOR THE DEVELOPER TO
 POSITIVELY REFINE THE DEVELOPMENT TO MITIGATE DESIGN CHALLENGES AND ENHANCE DESIGN
 OPPORTUNITIES. MODIFICATION PROCEDURES AND THE SUBSEQUENT APPROVAL PROCESS SHALL BE AS
 SPECIFIED FOR PROJECTS IN THE B-1 ZONING DESIGNATION OF THE CITY OF ALBUQUERQUE ZONING
 CODE.

THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT FOR THIS DEVELOPMENT SHALL BE DELEGATED TO THE
 CITY OF ALBUQUERQUE DEVELOPMENT REVIEW BOARD FOR APPROVAL.

5. STREET TREES- LOCATION AND TYPE OF TREES
 STREET TREE TYPES AND LOCATIONS SHALL BE AS SPECIFIED IN THE LANDSCAPE SECTION OF THESE
 DESIGN REQUIREMENTS.

6. LANDSCAPE

6.1. OVERALL LANDSCAPE THEME INCLUDING PLANT PALETTE AND GENERAL LOCATION, HEIGHT, AND PURPOSE OF PLANTS AND TREES

LANDSCAPING SHALL COMPLY WITH THE DESIGN REQUIREMENTS OF THE CITY OF ALBUQUERQUE
 GENERAL LANDSCAPING REGULATIONS 14-16-3-NL, AND SHALL FURTHERMORE COMPLY WITH THE
 REQUIREMENTS SPECIFIED IN THIS SECTION.

LANDSCAPING IS A KEY ELEMENT OF THE BROADWAY AND INDIAN SCHOOL STRATEGIC PLAN. IT IS
 INTEGRAL TO THE GOAL OF PROVIDING PLACES THAT PROMOTE THE PHYSICAL AND EMOTIONAL
 WELL-BEING OF THE COMMUNITY AND TO IMPROVE THE LIVING EXPERIENCE OF THE AREA RESIDENTS.

THE LANDSCAPE NETWORK CONSISTS OF:

STREETSCAPE, STREET TREES, AND LANDSCAPING AROUND THE PERIMETER OF PARKING LOTS
 PARK SPACES WITH TURF GRASS, SHADE TREES, PLAY AREAS, AND PLUMBING/SWIRL
 LANDSCAPING IN THE INTERSTITIAL AREAS AMONG THE HOUSING UNITS.

THE DOMINANT LANDSCAPE FEATURE IS A STRONG CANOPY OF TREES. DECIDUOUS STREET AND
 PARKING LOT TREES PROVIDE CANOPY OVER METROPOLITAN PAVED SURFACES. THEY ALSO BALANCE
 THE DENSITY OF THE HOUSING UNITS AND GREATLY IMPROVE THE VISUAL QUALITY. TREES SHALL BE
 VARIED TO AVOID MONOCULTURE. MIXING SPECIES BETWEEN NORTH AND SOUTHWEST AREAS,
 INTERNAL AND PERIMETER, AND BY AVAILABLE SPACE AT MATURITY WILL CREATE A DYNAMIC,
 SUSTAINABLE CANOPY. SMALLER ORNAMENTAL SPECIES HIGHLIGHT ENTRANCES AND FILL IN
 EXISTING LANDSCAPE SPACES. EVERGREEN TREES PROVIDE VISUAL SCREENING AND A SENSE OF
 ENCLOSURE AROUND COMMUNITY SPACES.

THE AREAS AROUND THE HOUSING UNITS SHALL BE LANDSCAPED WITH ACCENT TREES AND
 ORNAMENTAL SHRUBS AND SPACES. THESE PLANTINGS SHALL INCLUDE A BALANCE BETWEEN
 EVERGREEN AND DECIDUOUS SPECIES, AS WELL AS PROVIDE REGIONAL INTEREST.

THE SITE SHALL ALSO INCLUDE OPEN PARK SPACES WITH TURF GRASS, CHILDREN'S PLAY AREA,
 BENCHES AND PICKNICK TABLES.

SUGGESTED PLANT SPECIES AS SHOWN ARE NOT MANDATORY. HOWEVER ANY SUBSTITUTIONS WILL BE
 LIMITED TO MEDIUM OR LOW WATER USE SPECIES. PLANT SPECIES SHOULD REFLECT THE CHARACTER
 AND SCALE OF THE SURROUNDING NEIGHBORHOOD.

6.2. REQUIREMENTS

1. THE STREETSCAPE ALONG BROADWAY AND INDIAN SCHOOL SHALL CONSIST OF TREES IN THE
 PLANTING AREA BETWEEN THE SIDEWALK AND CURB PER THE CITY OF ALBUQUERQUE STREET TREE
 ORDINANCE. THESE TREES SHALL HAVE A HIGH BRANCHING CANOPY TO ALLOW CLEAR SPACE FOR
 PEDESTRIANS AND REDUCE POTENTIAL FOR DAMAGE FROM FALLING BRANCHED. UNDERSTORY
 PLANTINGS SHALL BE LIMITED TO ALLOW CLEAR ACCESS TO PARALLEL PARKED AUTOMOBILES.

2. THE PLANTING AROUND THE PERIMETER OF THE PARKING AREAS SHALL CONSIST OF TREES IN
 PLANTING AREA BETWEEN THE EDGE OF THE SIDEWALK AND THE CURB. THESE TREES SHALL HAVE A
 HIGH BRANCHING CANOPY. UNDERSTORY PLANTINGS SHALL BE LIMITED TO ALLOW CLEAR PEDESTRIAN
 CIRCULATION AND SPACE FOR PARKED AUTOMOBILES.

3. OPEN SPACES AROUND THE HOUSING UNITS SHALL HAVE A MIX OF DECIDUOUS AND EVERGREEN
 SHRUBS. ORNAMENTAL SHRUBS AND WOODY GROUND COVERS ARE ALSO ACCEPTABLE, WHERE
 SPACE ALLOWS. LARGE SHRUBS OR ACCENT TREES WITH MULTITRUNK GROWING HABITS ARE
 ENCOURAGED.

4. OPEN PARK SPACES SHALL CONSIST OF PERIMETER DECIDUOUS SHADE TREES AND TURF GRASS.
 SEATING AND COMPLETION SPACES SHALL BE INCLUDED WITHIN THE PARK SPACE. THE TURF AREA
 WITHIN THE PARK SPACE CAN BE RECEIVED TO PROVIDE LIMITED STORMWATER HOLDING CAPACITY.
 THE TURF IRRIGATION SYSTEM SHALL BE DESIGNED TO MAXIMIZE EFFICIENCY AND REDUCE ONSITE
 DRAINAGE ADJACENT SURFACES.

5. A CHILDREN'S PLAY AREA SHALL BE INCLUDED IN THE PARK SPACE. THIS PLAY AREA SHALL INCLUDE
 FIBRA REINFORCED PLAY EQUIPMENT AND SURFACING. THE PLAY AREA SHALL MEET ALL ACCESSIBILITY
 REQUIREMENTS. TABLES AND BENCHES SHALL BE INCLUDED WITHIN THE PLAY AREA.

6. THE PARKING AREAS SHALL INCLUDE TREES PLANTED IN A GROVE OUTSIDE THE LIMITS OF THE DRIVE
 LANES AND THE INDIVIDUAL PARKING SPACES.

7. ALL LANDSCAPED AREAS SHALL INCLUDE A MINIMUM 2" DEPTH OF NONORGANIC MULCH OVER WEED
 BARRIERS. TABLES AND BENCHES SHALL BE INCLUDED WITHIN THE PLAY AREA.

8. ALL LANDSCAPE SHALL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM.

7. WATER CONSERVATION TECHNIQUES

THE LANDSCAPING SHALL COMPLY WITH THE WATER CONSERVATION, LANDSCAPE, POLLEN CONTROL,
 AND WATER WHITE ORDINANCES.

8. LIGHTING DESIGN

8.1. POSITION
 THE PROPOSED DEVELOPMENT SITS IN AN AREA OF SCATTERED AND VARYING ZONING DESIGNATIONS
 AND LAND USES. THE NORTH RESIDENTIAL EDGE OF MATHIEZTOWN LIES JUST SOUTH OF THE
 PROPOSED DEVELOPMENT. RESIDENTIAL POLICY REQUIRES THAT ONE STORY SINGLE FAMILY DWELLINGS OF PARAPETED FLAT
 AND PITCHED METAL ROOFS, STUCCO WALLS AND WOOD TRIMMED WINDOWS, PORCHES AND BAYWES. IN
 CONTRAST, THE PROPERTIES TO THE EAST AND WEST OF THE PROPOSED DEVELOPMENT ARE ONE
 STORY LIGHT INDUSTRIAL STRUCTURES. DIRECTLY NORTH OF THE SITE ACROSS INDIAN SCHOOL IS A
 NARROW STRIP OF VACANT LAND BOUNDARIES ON THE NORTH BY THE TALL RETAINING WALL
 SUPPORTING AN EASTBOUND OFF-RAMP TO INTERSTATE 40. MATHIEZTOWN-SANTA BARBARA PARK
 AND A CITY OF ALBUQUERQUE PUBLIC HOUSING COMPLEX ARE SITUATED ONE BLOCK SOUTH OF THE
 PROPOSED DEVELOPMENT. ST. CALVAH CELESTINE IS SITUATED ONE BLOCK TO THE EAST.

1. LIGHT FIXTURES SHALL BE OF A TYPE THAT THROWS LIGHT DOWNWARD, AND HAVE BAYLITE, HOODS,
 OR DIFFUSERS SO THAT ANY LIGHT POINT SOURCES ARE NOT DIRECTLY VISIBLE FROM A DISTANCE
 GREATER THAN 100 FEET.

2. THE MAXIMUM HEIGHT OF PARKING LOT LIGHTS SHALL BE 16 FEET.

3. PEDESTRIAN (WALKWAY) LIGHTING SHALL NOT EXCEED 16 FEET IN HEIGHT. BOLLARD LIGHTING MAY
 BE USED WHERE APPROPRIATE.

SITE LIGHTING SHALL PROVIDE ADEQUATE LIGHT FOR SAFETY BUT SHALL NOT BE SHOWN ONTO ADJACENT
 PROPERTIES. CITY POLICY REQUIRES ANTI-Glare LIGHTS TO LIGHTING ENGINEERING
 SOCIETY STANDARDS. LIGHTS TO BE SHOWN LIGHTING IS RECOMMENDED AFTER STUDYING THE
 SPEED OF THE ROADWAY. THE REQUIRED HEIGHT OF THE LIGHT POLES AND THE TYPE OF LUMINAIRE
 UNDER CONSTRUCTION. STREET LIGHTS MUST HAVE CUT-OFF LUMINAIRE. PEDESTRIAN (LOW SCALE)
 LIGHTING SHALL BE INCORPORATED IN APPROPRIATE LOCATIONS ALONG STREETS AND TRAILS.

4. TOPOGRAPHIC CHALLENGES- OPPORTUNITIES
 THE SITE'S DENTILE SLOPE DOWN FROM WEST TO EAST PROVIDES THE OPPORTUNITY FOR RAISED PORCH
 ENTRANCES AT WEST FACING RESIDENTIAL UNITS, WHILE PROVIDING FOR "AT GRADE" ACCESSIBLE
 ENTRANCE OPPORTUNITIES AT THE REAR ENTRANCE TO THESE UNITS.

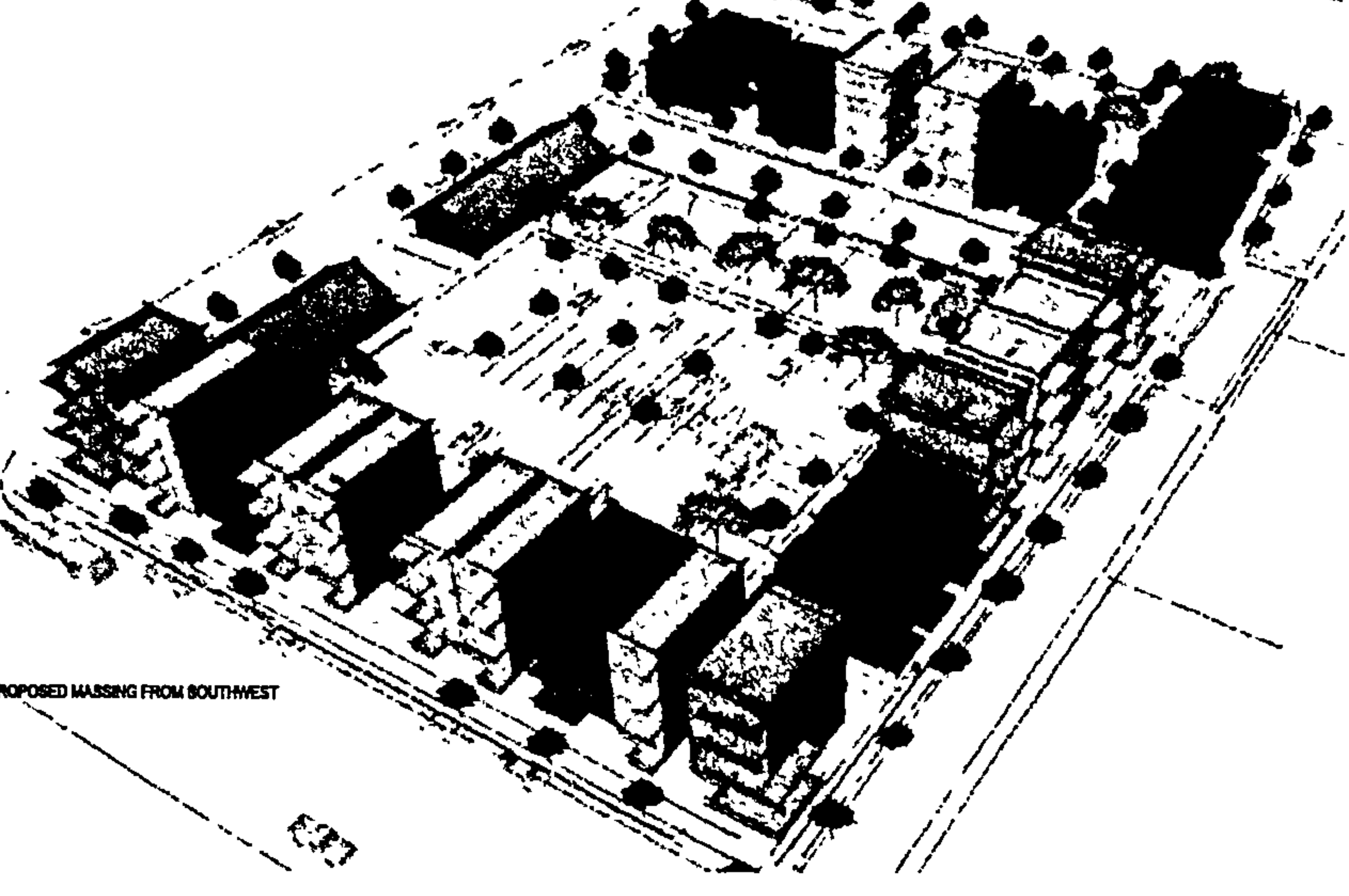
5. SIGNAGE SUPPLEMENT TECHNIQUES
 SIDEWALK, LANDSCAPE STRIPS AND STREET TREES BETWEEN NEIGHBORHOODS FROM ADJACENT STREETS
 WHILE CREATING PEDESTRIAN AMENITIES WITHIN THE URBAN FABRIC OF THE DEVELOPMENT. A THREE
 STORY RESIDENTIAL BUILDING BLOCK ON THE WEST EDGE OF THE SITE HELPS MITIGATE TRAFFIC NOISE
 FROM BROADWAY IN THE MIDDLE BLOCK AREAS.

6. SUSTAINABLE TECHNIQUES SUCH AS PERMEABLE PAVING AND OTHER "GREEN" FEATURES
 OFF-STREET PARKING AREAS ARE PROPOSED TO HAVE A PERMEABLE PAVING SURFACE FOR BOTH DRIVE
 LANES AND PARKING SPACES TO PROMOTE THE PARKING AREA AS A DOUBLE-FUNCTIONING
 RECREATIONAL USE. ADDITIONALLY, THE FIRST FT OF WATER IS RETAINED ON-SITE DURING A
 RAINFALL AND THE ALLOWABLE FT OF WATER CAPTURED WITHIN THE PERMEABLE PAVING AREA IS
 ALLOWED TO SOAK INTO THE GROUND PATHER THAN BE DIVERTED OFF-SITE. THIS ALLOWS FOR ON-SITE
 NATURAL IRRIGATION OF PLANT MATERIAL DURING RAIN EVENTS.

7. STREET REALM

7.1. TRANSIT, BICYCLE, PEDESTRIAN AMENITIES
 SIDEWALK, LANDSCAPE STRIPS AND STREET TREES SHOULD NEIGHBORHOODS FROM ADJACENT STREETS
 WHILE CREATING PEDESTRIAN AMENITIES WITHIN THE URBAN FABRIC OF THE DEVELOPMENT.

7.2. LANDSCAPE BUFFER, SIDEWALK AND OTHER AMENITIES IN PUBLIC RIGHT-OF-WAY
 SIDEWALKS, LANDSCAPE STRIPS AND STREET TREES SHOULD NEIGHBORHOODS FROM ADJACENT STREETS
 WHILE CREATING PEDESTRIAN AMENITIES WITHIN THE URBAN FABRIC OF THE DEVELOPMENT.



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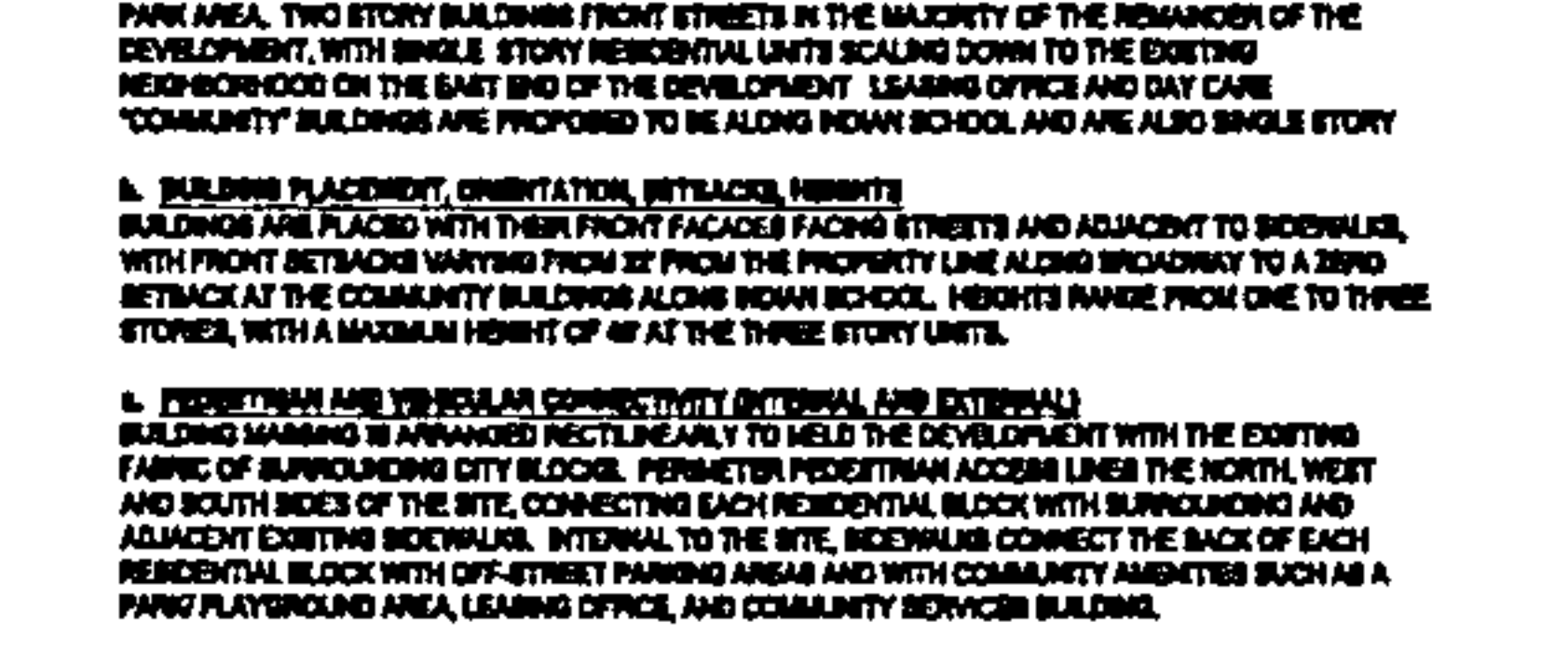
NOTE: ALL PROPOSED IMPROVEMENTS SHOWN ARE ILLUSTRATIVE ONLY.

1. SITE DESIGN

1.1. OVERALL LAYOUT OF SITE AND BUILDINGS RELATIONSHIP TO ADJACENT SITE
 THE PROPOSED SUBDIVISION CONSISTS OF FIVE DIFFERENT PARCELS: ONE PARCEL ON THE WEST SIDE
 TO ACCOMMODATE MULTI-FAMILY HOUSING AND ASSOCIATED PARCELS THAT WILL BE DEDICATED AS A
 NORTH-SOUTH PUBLIC STREET, ONE PARCEL ON THE SOUTHWEST WHICH MAY BE DEDICATED IN THE
 FUTURE AS PART OF AN EAST-WEST STREET, AND ONE PARCEL ON THE SOUTHEAST WHICH MAY BE
 DEDICATED IN THE FUTURE AS PART OF AN EAST-WEST STREET. THE DEVELOPMENT IS ORGANIZED TO
 EMPHASIZE AN URBAN BUILDING MASSING RESPONSE TO THE SITE. BUILDINGS ARE PLACED WITH THEIR
 FRONT FACADES FACING STREETS AND ADJACENT TO SIDEWALKS WITH OFF-STREET PARKING AREAS
 ORGANIZED INTERNALLY WITHIN EACH SITE BLOCK. THREE STORY RESIDENTIAL BUILDINGS ARE PLACED
 ALONG BROADWAY, ADJACENT TO A FUTURE PHASE'S PLANNED PLAZA TO THE SOUTH, AND MIDDLE
 BLOCK OF A PROPOSED NEW INTERNAL STREET, ACROSS FROM A PROPOSED NEW
 PARK AREA. TWO STORY BUILDINGS FRONT OTHERS IN THE MAJORITY OF THE BLOCKS OF THE
 DEVELOPMENT, WITH SINGLE STORY RESIDENTIAL UNITS SCALING DOWN TO THE EXISTING
 NEIGHBORHOOD ON THE EAST END OF THE DEVELOPMENT. LEASING OFFICE AND DAY CARE
 COMMUNITY BUILDINGS ARE PROPOSED TO BE ALONG INDIAN SCHOOL AND ARE ALSO SINGLE STORY.

1.2. BUILDING PLACEMENT, ORIENTATION, ENTRANCES, HEIGHTS
 BUILDINGS ARE PLACED WITH THEIR FRONT FACADES FACING STREETS AND ADJACENT TO SIDEWALKS
 WITH FRONT SETBACKS VARYING FROM 25 FEET FROM THE PROPERTY LINE ALONG BROADWAY TO A 2500
 SETBACK AT THE COMMUNITY BUILDING ALONG INDIAN SCHOOL. HEIGHTS VARY FROM ONE TO THREE
 STORIES, WITH A MAXIMUM HEIGHT OF 40' AT THE THREE STORY UNITS.

1.3. PEDESTRIAN AND VEHICULAR CONNECTIVITY (INTERNAL AND EXTERNAL)
 BUILDING MASSING IS ARRANGED RECTILINEARLY TO HELP THE DEVELOPMENT WITH THE EXISTING
 FABRIC OF SURROUNDING CITY BLOCKS. PERIMETER PEDESTRIAN ACCESS LINES THE NORTH, WEST
 AND SOUTH SIDES OF THE SITE, CONNECTING EACH RESIDENTIAL BLOCK WITH SURROUNDING AND
 ADJACENT CORNER SIDEWALKS. INTERNAL TO THE SITE, SIDEWALKS CONNECT THE BACK OF EACH
 RESIDENTIAL BLOCK WITH OFF-STREET PARKING AREAS AND WITH COMMUNITY AMENITIES SUCH AS A
 PARK PLAYGROUND AREA, LEASING OFFICE, AND COMMUNITY SERVICE BUILDING.



LEASING OFFICE (DAY CARE SIMILAR)

2. PARKING LOCATION AND DESIGN (INCLUDES PARKING CROSS PARKING IS STRONGLY DISCOURAGED)
 REQUIRED OFF-STREET AUTOMOBILE AND MOTORCYCLE PARKING TO SUPPORT THE RESIDENTIAL AND COMMUNITY
 FUNCTIONS IS LOCATED IN THE CENTER OF EACH BLOCK WITH DIRECT ACCESS TO THE BACK OF EACH
 RESIDENTIAL BUILDING AND THE COMMUNITY AMENITIES. ON-STREET PARKING IS LOCATED ALONG THE
 PERIMETER OF THE SITE AT BOTH BROADWAY AND INDIAN SCHOOL, AS WELL AS ALONG BOTH SIDES OF THE
 PROPOSED NORTH-SOUTH STREET IN THE MIDDLE OF THE DEVELOPMENT. OFF-STREET PARKING AREAS
 ARE PROPOSED TO HAVE A PERMEABLE PAVING SURFACE FOR BOTH DRIVE LANES AND PARKING SPACES TO
 PROMOTE THE PARKING AREA AS A DOUBLE-FUNCTIONING RECREATIONAL USE. A GROVE OF TREES
 WITHIN THE PARKING AREA PROVIDES FOR SHADING OF AUTOMOBILES AND MOTORCYCLES AND FURTHER
 ENHANCES THE RECREATIONAL ASPECTS OF THE SPACE.

ADDITIONALLY, THIS APPLICATION REQUESTS THAT 50% OF THE DEVELOPMENT'S NEWLY CONSTRUCTED
 ON-STREET PARKING BE DEDICATED TO FULFILL THE REQUIREMENTS OF THE DEVELOPMENT.

3. STREET REALM

3.1. TRANSIT, BICYCLE, PEDESTRIAN AMENITIES
 SIDEWALK, LANDSCAPE STRIPS AND STREET TREES SHOULD NEIGHBORHOODS FROM ADJACENT STREETS
 WHILE CREATING PEDESTRIAN AMENITIES WITHIN THE URBAN FABRIC OF THE DEVELOPMENT.

3.2. LANDSCAPE BUFFER, SIDEWALK AND OTHER AMENITIES IN PUBLIC RIGHT-OF-WAY
 SIDEWALKS, LANDSCAPE STRIPS AND STREET TREES SHOULD NEIGHBORHOODS FROM ADJACENT STREETS
 WHILE CREATING PEDESTRIAN AMENITIES WITHIN THE URBAN FABRIC OF THE DEVELOPMENT.

73



DEVELOPMENT REVIEW BOARD

MINUTES

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

September 5, 2012

MEMBERS:

Jack Cloud, AICP, DRB Chairman, Planning Department

Angela Gomez, Administrative Assistant

**Kristal Metro, P.E., Transportation Development
Curtis Cherne, P.E., Hydrology/ Alternate City Engineer**

**Allen Porter, P.E., Albuquerque/ Bernalillo Co.WUA
Carol Dumont, Parks/Municipal Development**

Project# 1007649

12DRB-70255 MAJOR - SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

HARTMAN & MAJEWSKI DESIGN GROUP agent(s) for GREATER ALBUQUERQUE HOUSING PARTNERSHIP request(s) the referenced/ above action(s) for all or a portion of Lot(s) A, Block(s) 9, FRANCISCAN ACRES zoned SU-2/ SU-1/ PRD, located on the south side of INDIAN SCHOOL NE between BROADWAY BLVD NE and EDITH BLVD NE containing approximately 2.99 acre(s). (H-14, H-15)

PERSONS SPEAKING ON BEHALF OF THE REQUEST:

**Mr. Mark Wade
Mr. David Aube
Mr. Louis Kolker**

MR. JACK CLOUD, DRB CHAIRMAN: Hartman & Majewski Design group agents for greater Albuquerque Housing Partnership are requesting a Site Development Plan for Building Permit approval for Lot A Block 9 of Franciscan Acres.

APPLICANT/AGENTS SWORN IN

MR. MARK WADE: My name is Mark Wade and I'm with the Hartman Majewski Design Group Architects representing Greater Albuquerque Housing Partnership. My address is 120 Vassar SE. We are here to request approval of Site Plan for Building Permit for a project that was unanimously approved by the EPC back in December of 2011 and was also approved and signed off, the Site Plan for Subdivision by your board back in...I guess it was about a month ago, end of July, beginning of August. We turned our plans in at the beginning of August, noticed that there are no adverse comments other than the Police Department which has a concern about conflicts between lighting and trees in the area which we have revised on electrical and landscaping plans to take care of the conflicts between the lighting and the trees. I'm also prepared to take care of the Planning Department comments of some minor deviations between the Site Plan for Subdivision elevations and the elevations on this project. Again this was unanimously approved by the EPC and approved by your board for Site Plan for Subdivision about a month ago and I would like to turn it over now to Dave Aube who may have a couple of comments or requests.

MR. DAVID AUBE: One of the things to be careful of on this from my perspective is that the zoning is not changing from what we are proposing. The zone change was completed back in 2010 I believe, 2009 or 2010 with a former housing project that Louis Kolker and Greater Albuquerque Housing Partnership came in for. This is simply a reconfiguration of that land and the units itself.

MR. KOLKER: The project is supported by the City of Albuquerque Department of Family and Community Services and as I've said before to the Board, it's a 14 million dollar development, it will provide 68 units. Of those 68 units 15% of them are at market rate. There will be a community facility as well as a leasing office and the other 85% are for families between 40 and 60% of AMI. The project is geared towards families with children, which has been our mainstay in Santa Barbara Martineztown. We have built and sold 48 homes there to families with children since 1996 and when we worked with the community and the City, just verified this, Santa Barbara Martineztown is the most rent-burdened community of the neighborhoods that the City of looking at providing assistance to, which means people in Santa Barbara Martineztown who are renting or paying larger portions of their monthly income for rent than other neighborhoods in the City.

CHAIRMAN CLOUD: I'm Sorry, Mr. Kolker, again, as previously stated and I will verify as Mr. Aube stated, we are not here to discuss the zoning on the property, this is just a Site Plan for Building Permit that is under review by the DRB today, so if you could address your comments to that please.

MR. KOLKER: Sure, so what we've tried to do working with the Design Group is design a high quality project that will meet the needs of low income families and reduce the fact that their rent-burdened in the community. Thank you.

MR. WADE: So in closing we're just asking for coordination of your board with these minor comments and of the ability to move on with the Site Plan for Building Permit approval and get the project started. Thank you very much.

CHAIRMAN CLOUD: We have several people signed up, but before we do that, I do want to go over a few comments as was stated by the applicant. This is not a zoning hearing today, that was done by the Planning Commission. A minor correction, the DRB *signed-off* on the Site Plan for Subdivision – that was not *approved* by the DRB, it was *approved* by the Planning Commission. We just signed off that they met the conditions of approval. Today's hearing is a hearing on the Site Plan for Building Permit so I'm going to ask that everybody please address the Site Plan for Building Permit only, otherwise I will ask you to cease your comments. We have several people signed up, first is Roxanna Meyers.

MS. ROXANNA MEYERS SWORN IN

MS. MEYERS: Good morning. I represent the Santa Barbara Martineztown Business Association. I'll just quickly read a note and I don't know enough about the due process, so you can stop me if this is not appropriate. It's just a letter that I've written to Gabe Rivera who is in charge of our metropolitan redevelopment plan that we're implementing and he has met with the business community and we've had really good meetings, and this is just part of it. Currently the City of Albuquerque Development Review Board is considering approval of a development designed by Isaac Benton as Principal of Integrated Design and Architecture before he joined the Design Group for the Greater Albuquerque Housing Partnership. The Development is a 68 unit 3 story low income or apartment rentals. The location of this development places residential units right between 2 large commercial and industrial businesses, Cummings International and R & C Stagelines – and I have an attached map, the development would also basically abut I-40 to the north of the development, like right on the frontage road of the freeway, which we find odd. The Santa Barbara Martineztown Business Association finds the development placement odd as it places residential use smack in the middle of clearly a commercial industrial area – it's right in between the 2 properties. We would recommend this development be moved to replace the old and failing low income development that currently exists at Broadway and Broadway Lane just south of McKnight ...

CHAIRMAN CLOUD: Ms. Meyers, I will interrupt you, we are not here to discuss the land use, it has already been decided.

MS. MEYERS: Okay, I thought I'd let you know that we would support the neighborhood association in declining this project.

CHAIRMAN CLOUD: Because...?

MS. MEYERS: Because we think it's placed in between 2 industrial...

CHAIRMAN CLOUD: That decision has already been made...

MS. MEYERS: You guys have already decided...

CHAIRMAN CLOUD: We have not, the Planning Commission made that decision.

MS. MEYERS: Okay, thank you very much. Do you have any questions?

CHAIRMAN CLOUD: I have a question of the applicants. Is Innovative Solutions the co-applicant in this project, do they have anything to do with the...

MR. KOLKER: Integrated Design Architecture had nothing to do with this project.

CHAIRMAN CLOUD: Okay, thank you.

MS. MEYERS: Oh it wasn't on the original plan?

CHAIRMAN CLOUD: Ms. Meyers, today we have the...

MR. WADE: We're the Hartman & Majewski Design Group, we are the agent for the applicant which is Greater Albuquerque Housing Partnership.

CHAIRMAN CLOUD: That may have been...

MS. MEYERS: Sorry, it's on the website that that's the designer.

CHAIRMAN CLOUD: Okay.

MS. MEYERS: Okay, thank you.

CHAIRMAN CLOUD: Thank you. Next is Vicky Early. Good Morning.

MS. VICKY EARLY SWORN IN

MS. EARLY: Good Morning. First, my name is Vicky Early, I live at 212 Arvada Avenue, a life long resident of this neighborhood. First of all I would like to thank you for this opportunity to submit some viable concerns about this project. I would just like to bring it to the commission's attention that no one in my neighborhood was ever notified of such a development. The lack of notifications to the residents for this apartment complex, no one even told us it was being considered. No one even told us there were townhomes being considered initially. Everyone was surprised, frustrated, and very disappointed because there was no information provided to them regarding this important possibility becoming a reality in our midst. I have a petition signed by 99 people who said

“help, let us be an input, give us a partnership in this development” and they had none. I was saddened to have witnessed a genuine feeling of being disenfranchised, that the powers that be were not even attempting to make sure that everyone knew of this project or even cared that the residents had an opinion and vision for their neighborhood, for their property, and for their investment in their homes. Many are older, have different education levels or language barriers. Why was there no effort to inform these residents? In the current economic situation our homes may very well be the only worthwhile investment most families will ever have, and this legacy will continue to our children. What happens in our neighborhood now will happen to our neighborhood and our children in the future. The neighborhood association that gave their approval for this development has a very small attendance and membership record, and everyone in the neighborhood is wondering how approval can be given for a development that could very well change our quality of life in a neighborhood that we love, without any notification whatsoever. Not being a member of a neighborhood association should not mean your voice in such an important development like this should not be heard. Single family dwellings are very suitable to this neighborhood. We are ...

CHAIRMAN CLOUD: Ms. Early, the land use is not before the board today. We are here for what's called a site plan for building permit. The land use was approved by the Planning Commission. If you would like to review that file for the notification that took place, you could do that on the 3rd floor of this building, but before us today is a site plan for building permit. The land use has already been approved by the Planning Commission so we're here to decide 'is this building consistent with the land use that they approved.'

MS. EARLY: It is not. We are Franciscan Acres. All of the architecture reflects the 1940 sub-development...1930's. This does not fit in. We do not have the traffic situation designed to handle this kind of apartment building with that many residents. Thank you very much.

CHAIRMAN CLOUD: Thank you. Next is Carl Salazar.

MR. CARL SALAZAR SWORN IN

MR. SALAZAR: My name is Carl Salazar, 219 Arvada. My concern is simply because of the fact that when we first looked at this project it was supposedly coming up as a condo type situation with multi-income properties involved there. Our concern is the fact that it's going to, as an apartment building, it's going to create more of a transient population. The fact that the children are going to be playing close to the Broadway area which is a real problem at this point... I'm going to keep it short and sweet, we have concerns and we were upset because of the fact that we were never notified. We've been in the neighborhood for over 5 years and we've never been notified of any projects. Thank you.

CHAIRMAN CLOUD: Thank you. Next is David Martinez.

MR. DAVID MARTINEZ SWORN IN

MR. MARTINEZ: My name is David Martinez and I live at 400 Prospect NE. I was never informed of any of this building to be developed in our neighborhood. And I feel that we do not need any more residents in the little area that we live in. There's a school nearby and I just feel that everything about the building for the low income type housing, we do not need it in our neighborhood. It's good like it is, it's taken a long time to clear up this area, of any type of people that, you know, get into trouble and so forth. We don't need any more of this. I mean I am concerned about more people coming into this little residential neighborhood.

CHAIRMAN CLOUD: Okay Mr. Martinez the land use has already been approved...

MR. MARTINEZ: I am opposed to any type of building permit you have going forth and that's all I have to say.

CHAIRMAN CLOUD: Okay, thank you. Next is this, is it Gema Baca? Juanita? [declined] Okay, Noelle Baca? [declined] Okay, Sonya Rascon? [declined] And I'm sorry is it...Darin Goldston?

MR. DARIN GOLDSTON SWORN IN

MR. GOLDSTON: I'm here representing these people too, same deal, nobody wants the apartments. The 3 story structure does not fit in with anything in Martineztown. The location I know it's, that's not your deal but it's basically set on A frontage road right below I-40. We're not against development, but when this first came up we were all thinking that it was condominiums starting off at \$135,000 a unit. And somehow its turned into this low income 3 story apartment rentals. We've gone around the neighborhood, we have close to 100 signatures of residents in the area that do not want this. I don't know how it all got pushed through but apparently they didn't take the time to contact any people that have to live with it. These guys can build their stuff they can move on to their next project, but we all have to live with it. I've lived in the area for 15 years and it's the last thing this community needs. Thank you.

CHAIRMAN CLOUD: Okay, is there anyone else that wishes to speak that did not sign up?

MR. JAMES CERICOLA SWORN IN

MR. CERICOLA: My name is James Cericola, I own a business at 309 McKnight Ave NE 87102. And I also own the property that's on the south side of the piece of property that borders the south side of the property. I have some serious

concerns, this is the first I've heard of the three story low income housing project that's being built. I've been at this address for 20 years and my office looks...just to the south of my office are the other projects, the low income projects there. I have several concerns, one would be security for the area. Within the last year we've had 6 break-ins. We've had break-ins into cars, customer cars where they grab stuff out of customer cars. I've personally witnessed them running back into the projects and into their homes. There's prostitution, drugs, the DEA comes in and clears out the projects to the south of my business. I see this happen on a regular basis so I have some concerns that I'm going to be sandwiched in between two low income housing project units. Now a 3 story like they do back in Chicago or Detroit. Another concern that I have if this is for children that are...families that are going to be in the area, Indian School and Broadway which is right at the corner where they are going to build this is a horrific intersection with car accidents. The speed limit on Broadway is 35, nobody drives 35 on Broadway. It is 60, 70 miles an hour with big giant trucks going, it's in an industrial area right there and I just can't picture families living at a high traffic area where Indian School and Broadway, I think somebody I think should look into the number of accidents that are there. It seems like it's one or two a week and they are serious accidents, they are not just little fender benders so I do have concerns about the police being able to maintain security here. I do have concerns about the crime in the area. I see it first hand every single day when I come in on a Monday, I look to see if my fence is cut again and what is taken. We've had customer cars stolen - it's horrific and in it all, in every occasion it is stemmed from people in the projects over there. They have found...

CHAIRMAN CLOUD: Mr. Cericola, do you have a comment on the site plan please?

MR. CERICOLA: Yes, I believe that a 3 story low income housing unit at Broadway and Indian School is inappropriate for the area and I believe that more concentration on keeping, if these kids are coming in, children they need to figure out the traffic a little bit better and do a study rather than just plopping down 68 families with children in this area getting hit by cars and that's my comments.

CHAIRMAN CLOUD: Thank you. Was there anyone else that wishes to speak that did not sign up?

MS. SHERRYJACKSON SWORN IN

MS. JACKSON: My property backs up to this site and I feel that a 3 story building is going to infringe on my privacy, infringe on my view. I feel that its way too many people for that neighborhood. A smaller group of building or something would be a better use and that's pretty much what I have to say. But I am extremely concerned.

CHAIRMAN CLOUD: Thank you. Is there anyone else that did not sign up that wishes to speak? Okay, I'll give the applicants 5 minutes if they want to respond to some of the comments, I know there were some comments about the 30's and 40's building styles and also about the mix of market rate. Could you go over some of that for us again please?

MR. KOLKER: Yeah, I'm sorry I didn't get the question about the 30 and 40's building style?

MR. WADE: Back when this was presented to the Environmental Planning Commission the rationale for the approved site development plan for subdivision design standards were to meld the residential qualities of the Martineztown neighborhood with the industrial qualities of the buildings across the street on Broadway, so there are elements of both Martineztown indigenous architecture and the industrial architecture across the street across Broadway into the elevations which through their approval the, both the Planning Department, well, and then the EPC deemed was an appropriate response to the architectural aesthetics of this proposed project so that's, there was discussion about that with the EPC which lead to the design standards which were in the site development plan for subdivision as approved by this board about a month ago.

CHAIRMAN CLOUD: And on the last comment, could you address briefly, since a lot of people obviously have not seen the site plan, the placement of the 3 story buildings versus the property to the east?

MR. WADE: The 3 story buildings are placed along Broadway because that's a more urban street and wanted to create a more of a presence along that street. There's...then again there's an internal street that's off...that's in the middle of the site and also one...a possible future street on the south end of the site that also have a series of a smaller cluster of 3 story buildings in that location. All along Indian School is 2 story and the southeastern portion of the site is also 2 story high buildings.

CHAIRMAN CLOUD: Mr. Kolker, I believe you wanted to address that there was some question about ownership. Is there going to be an ownership opportunity, I think you mentioned something earlier about market rate, is that just still rental housing or is there some condominium ownership possibility?

MR. KOLKER: It is, if you, it's all rental to answer your question. The market rate, there's 15 % of the project is market rate, 85% is affordable. About 25% of the project,...its actually ...30% of the project is set for families with incomes at 60% of AMI. In Albuquerque, families at 60% of AMI are really the market so in addition to the market rate units, that are designated market and there is no income qualifying, there's an additional 30% of the units that will be at 60% of AMI. Our rents will vary from about \$460 dollars a month to \$860 dollars a month depending on families' incomes and as far as being designed for families

with children there in an interior park, there's a half ball court and there's a community center with a child care facility in the community center, and the reason the 3 story buildings were put up against Broadway was to serve as a buffer between Broadway and the interior of the site where the kids will play and will be secure. The entire site will be gated to address the gentleman's concerns about security...the entire site will be gated, there will be all the exterior of the site will have cameras on it and it will be a very secure site for the residents and for the neighborhood. And I have to say over a period of the many years we've been involved with this project, we've always gotten support from the community, from the neighborhood, we've always gone to the neighborhood meetings, we have letters of support from the neighborhood over the period of years that we've been involved with the project. Thank you.

CHAIRMAN CLOUD: AMI, is that Average Median Income? Area Median Income...what is that figure? Do you know approximately?

MR. KOLKER: The families that will be eligible for these units will...approximate incomes are from like \$24,000 to \$36,000 a year. So these are working people, our project is vastly different than the project to the south that Mr. Cericola was talking about which is owned by the Albuquerque Housing Authority and there are no income guidelines if you...you do not have to a certain income to rent there; in our projects you have to have a certain amount of income.

CHAIRMAN CLOUD: Okay we're going to review the comments from other agencies and the comments from the Board. A lot of these no comments were no comments provided and with no comments from AMAFCA or Council of Governments, Transit had no comments, no comments provided from Zoning Enforcement - I am going to need you to meet with Zoning Enforcement, I do need to know that you are compliant with the zoning code as it applies to the site development plan. No comments provided from APS, typically we have a development agreement requirement with subdivisions so I do want you also to get comments from Albuquerque Public School system. As mentioned the Police Department and Mr. Wade you indicated you have already addressed those with revised drawings, if you could please provide a copy of that to the Police Department, or actually give it to us and we'll make sure it gets to them. No comments from Fire Department or the Utility Companies, we did recently do the site plan for subdivision and the plat so we do have their approval on the platting. The Conservancy District had no adverse comments and no comments provided from the Open Space Division. Parks and Recreation, Carol, comments on agenda item #4?

MS. CAROL DUMONT – PARKS AND RECREATION: Our comments have been addressed.

CHAIRMAN CLOUD: City Engineer, Curtis?

MR. CURTIS CHERNE – CITY ENGINEER: What material will be used for the permeable pavement that's shown?

MR. AUBE: As part of our site development plan for subdivision we had shown 'gravel pave' which is expanded...

MR. CHERNE: Yeah I'm familiar with that...

MR. AUBE: Okay. And that would be filled with $\frac{3}{4}$ inch gravel. There was a request by one of the members of EPC to remove the requirement to have the 'gravel pave' specific addition on the plans. And I believe that was approved as part of EPC. We've got to go back and look at their meeting minutes, the recorded session, because it didn't make it onto the official notice of decision, it's still on there as 'gravel pave.' So...but basically what we're looking for like the $\frac{3}{4}$ inch gravel that would be 6 to 8 inches thick in the parking areas so that it will become stable as people drive on it and will allow the water to percolate through it.

MR. CHERNE: So you're still thinking of a material that has the structure similar to the 'gravel pave' or its got the, basically the...uses plastic in that instance to support it a keep it in place. Is that, or it sounds like you just said you're not going do that...

MR. AUBE: Well I would prefer not to even have the 'gravel pave' underneath it, just the $\frac{3}{4}$ inch gravel. I know that's a little bit more maintenance for the developer to regrade that occasionally but we found over at Belvedere, with a gravel driveway and parking that people that are within a gated community aren't driving fast, they don't want to get yelled at by their neighbors or anything else and as that $\frac{3}{4}$ inch gravel over the first six months, it gets packed in quite tightly. Water can still go though it but it doesn't fly around and isn't a problem for maintenance.

MR. CHERNE: Where is this Belvedere in case we want to go look at it?

MR AUBE: Belvedere is at Broadway and Martin Luther King just north of Old Albuquerque High.

MR. CHERNE: The other comment on the site plan is the area south of the basketball should say "court," is shown as a proposed pond on the site plan but now in the most recent drainage plan...is there just a timing difference there between the latest....

MR AUBE: What changed on that is that as part of the site development plan for subdivision there was a request to drain the possible roadway completely from the south out into Indian School, and not to be collecting any of that private flowing through a potential public street back into a private pond, so in re-grading

of the site, that pond ends up too high on the hill and becomes unusable for the drainage plan so what we've done is increased the holding of the water within the parking lot to compensate for that old pond. It is now removed....

MR. CHERNE: It's just kind of a timing thing I think between the plan that you submitted to Hydrology for review and the plan that ...because I think yours was newer than the one that was submitted with the DRB packet so I just have to look at that a little better to make sure that we're on the same page.

MR. AUBE: Okay, I thought they all matched but

CHAIRMAN CLOUD: Well what does your cover sheet show on that site? Curtis you're saying that should not be called a pond is that basically if its not ponding...

MR. CHERNE: Right, if there's not going to be a pond there, they shouldn't say it's a pond.

MR. AUBE: Okay, on this particular cover sheet, the front sheet, front side of site development plan for building permit, we are showing a proposed ponding area but it is not needed or desired at this point...

MR. CHERNE: Okay that's what I thought yeah. I'll be preparing written comments on the conceptual grading and drainage plan but initially it didn't seem like you had a water block on Indian School Road...

MR. AUBE: To keep it out of...

MR. CHERNE: Yeah, because I'm still thinking with the flood zone right down there on Broadway that Indian School is pretty full, and so I think you're going to just need a standard water block and generally its, you know, at top of curb it's .67 so, and then of which I think that its also, you may have to look at which is... anyway, we can kind of get into that when we look more at the drainage plan but I think when you raise up your water block you may have some concerns with how its working. At the DRB at 8-8-12 you said that you would add an inlet on Indian School Road, I did not see that.

MR. AUBE: I did, that should be added at the DRC plans.

MR. CHERNE: Well no, it needs to be shown here so I can put it in the infrastructure list.

MR. AUBE: Yeah if we need to do that, I though I had provided enough calcs and everything to show that the inlet down and the end of Indian School and Broadway, there was still sufficient capacity in there.

MR. CHERNE: I guess I'm...could you provide that again I guess I...

MR. AUBE: Sure.

MR. CHERNE: It should have been part of the submittal, with the Hydrology submittal is the analysis of the street capacity of Indian School Road in addition to the inlet also, and I didn't see that.

MR. AUBE: Okay, it changed the depth of the water flowing down Indian School from a half a foot deep to .55 so it raised it about ½ inch by building out the parking spaces, the bulb outs...

MR. CHERNE: Alright, so they are still below top of curb then. I thought I saw that. I looked at the file, I couldn't find it and so, well then we wouldn't need... the whole purpose for the inlet on the east side was to prevent... to keep the water in the street so if it can be shown that the water is in the street then it's not necessary.

MR. AUBE: Can we go back to the water block issue. We've got two different driveways as well as the kind of future roadway that we're building in here, the private access road that we're building in. Because those have curb and gutter, it will all be built with curb and gutter that's 8 inches tall, I was treating that as the water block. We could extend the valley gutter across the new roadway to encourage that water to stay out there at the new flow line instead of at the old flow line which, that's what we're showing in the DRC plans, it may not be depicted clearly enough on these plans. So I'm not sure where the water block...

MR. CHERNE: Well usually the water block would be at the right of way or close to it not... I was kind of looking at the flow line plus the .67 in your water service, was going to be 2/3 of way south into the site and we can't have that. Maybe if it's a little shallower we can look, if it looks like the depth .55 maybe we could lower the water block closer to that and not to the standard .87, anyway I'm thinking we'll get through this kind of outside of here, I just initially looked at them and wanted to bring us some things that might want you to look at earlier.

CHAIRMAN CLOUD: So is it still your intent to possibly in the future dedicate your driveway as a street?

MR. AUBE: That is still the desire yes.

CHAIRMAN CLOUD: And so you want to go to work order with...

MR. AUBE: We are going to work order we have got various utilities for the...Utility Authority...

CHAIRMAN CLOUD: I'm pretty sure you'll need to put that on your infrastructure list though.

MR. AUBE: And that was shown on...well it wasn't shown on the infrastructure list, because it's...

CHAIRMAN CLOUD: If you're going to work order it should be I think...

MR. AUBE: I mean the only thing we show it on the infrastructure list were the improvements in Broadway, Indian School and the utilities running throughout the site.

CHAIRMAN CLOUD: Right, but if your going to go through work order for the roadway...

MR. AUBE: I'm glad to add that to the infrastructure list.

CHAIRMAN CLOUD: .But then we'll have curb, gutter and pavement for that...

MR. AUBE: Correct.

CHAIRMAN CLOUD: We'll call it just "private drive" I guess, something like that, on the infrastructure list is that...Curtis is that adequate description, "private drive," curb, gutter, pavement and the...I'm just not clear where your valley gutter was going to go. Would that be up towards the property line?

MR. AUBE: No it's out into Indian School pushing that flow line out...

MR. CHERNE: Yeah I think that would be a standard crown or whatever on this road.

CHAIRMAN CLOUD: Any other comments Curtis?

MR. CHERNE: No.

CHAIRMAN CLOUD: Okay Water Authority, Allen?

MR. ALLAN PORTER – ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY (ABCWUA) : They layout as shown is appropriate for the designation on the public and the private access roads. I have no objections.

CHAIRMAN CLOUD: Transportation Development, Kristal?

MS. KRISTAL METRO – TRANSPORTATION DEVELOPMENT: Has this plat been recorded?

MR. KOLKER: I believe it has, yes.

CHAIRMAN CLOUD: It has.

MS. METRO: If the plat's been recorded, these easements, none of these should be shown as proposed, they should be shown as existing with the recording information provided. In addition, please remove all notes indicating the improvements are illustrative. You are now at Site Plan for Building Permit, these improvements are no longer illustrative. Please show all ramps and provide details. Note that all internal sidewalk must be a minimum of 6 feet in width. The hatching defined as pedestrian access does not define what type of surfacing is proposed in this area. I will need to see the specifications for the proposed permeable pavement at a minimum, if you're not planning on using any specific kind of permeable pavement, I will need to see a cross section for what you are proposing to put in there. I did have a write up here for what you should be including on the infrastructure list. Jack at the time, I had called this entrance, the gated entrance a "private roadway" as that was how it was referred to previously. If it wants to be called a private drive that is also acceptable.

CHAIRMAN CLOUD: I think for now it's probably best to keep it as "private drive." The plat was just recorded last Friday.

MS. METRO: Okay.

CHAIRMAN CLOUD: But now that it has been recorded it would be appropriate to provide recording information for the easement, and it was not an access easement, it was just a public water and sewer easement.

MS. METRO: Okay then "private drive" would probably be more appropriate. Those are all my comments.

MR. AUBE: I have one question on that. On the proposed infrastructure list items you've got an 8 foot wide sidewalk along Indian School from the West property line to east property line. What we were showing was an 8 foot wide sidewalk at the two commercial buildings but reducing it down to a 6 foot along the residential edges in compliance with the Zoning Code. Could we clarify that?

MS. METRO: Yeah you'll need to be more specific on the...you'll need to specify that on the infrastructure list.

MR. AUBE: Okay.

CHAIRMAN CLOUD: I think you have building letters is that correct, to identify these buildings? Aren't they lettered? So I think Kristal would that be appropriate tie to the site plan if we say "buildings, whatever it is, A and B..."

MS. METRO: Yes although I don't see any letters.

CHAIRMAN CLOUD: It's not on that sheet but it's on further sheets. It might be helpful to put that on your cover sheet as well is to label the buildings with you're A-B-C etc...and then I'm assuming we'd transition, is there a standard transition from 8 to 6 just one stone or...

MS. METRO: Right we could do a standard transition and that could be worked out in the work order as the sidewalk will be built with that.

CHAIRMAN CLOUD: Okay.

MR. AUBE: That's fine

CHAIRMAN CLOUD: Okay. Planning comments, as mentioned we'll you to actually go up and meet with zoning enforcement and make sure that if they have any comments on the site plan. Colors need to be called out on your building elevations.

MR. WADE: I was just curious as to the exact individual who provided the planning comments.

CHAIRMAN CLOUD: I'd start with David Kilpatrick. We did get a colored reduction but we also need to call out the colors on you black and white so just a standard name if you want "tan, dark brown" something like that. Buildings 'A' and 'B' its...the site plan for subdivision appeared to be calling for pitched roofs and a standard beam down the center, is it your contention that this complies with that?

MR. WADE: It changed from a pitched roof to a flat roof with pitched solar panels and so I talked with Russell, I'm sorry Randall Falkner, the original planner and he asked me to just get with Carmen to determine on that comment and the other two, one about the metal panels and the other one about the CMU. Whether that constituted an acceptable minor revision to the site development plan which was called out on the last page, or determine what we need to do, if that's acceptable or not.

CHAIRMAN CLOUD: We very seldom accept CMU blocks. Put face block as a minimum. If you can do split face, I would accept split face in lieu of that. Yeah it sounds like it would be good for you to meet with Russell and or Randall and Carmen on that. Additionally we did receive an email yesterday. There is a new neighborhood recognized in this area since you made your application, so you did not have to notify them at that time. They are requesting a facilitated meeting. It does sound like we're not going to be able to approve this site plan today so I can pass this email on to you today and you can contact them and see if you'd be willing to do a facilitated meeting prior to the next hearing.

MR. WADE: Mr. Cloud, would the facilitated meeting then address the site plan for building permit comments that are appropriate to this stage?

CHAIRMAN CLOUD: That would be our instruction to the facilitator absolutely.

MR. WADE: Thank you.

CHAIRMAN CLOUD: Mr. Aube it sounds like you are in charge of most of these comments, and Mr. Wade you've got the other half, so because this is an advertised case we should defer to a specific date so if you wanted to try two weeks, we are very full three weeks from today so I'd recommend two or four weeks as a deferral date.

MR. AUBE: I believe that I could work through all of my comments with both Curtis and with Kristal within one week and be back here next week.

MR. WADE: I concur, on the planning side so we'd like to request a deferral to September 12th.

CHAIRMAN CLOUD: Okay. Curtis, any comments? Kristal? Well then we'll try a one week deferral. We are not going to make a decision today, we're going to defer this item one week. We will hear it again next Wednesday at September 12th, same time same place. Thank you all.



Supplemental Form (SF)

SUBDIVISION	S Z ZONING & PLANNING
<input type="checkbox"/> Major subdivision action	<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor subdivision action	<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
<input type="checkbox"/> Vacation	<input type="checkbox"/> Adoption of Rank 2 or 3 Plan or similar
<input type="checkbox"/> Variance (Non-Zoning)	<input type="checkbox"/> Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
SITE DEVELOPMENT PLAN	P
<input type="checkbox"/> for Subdivision	<input type="checkbox"/> Street Name Change (Local & Collector)
<input checked="" type="checkbox"/> for Building Permit	L A APPEAL / PROTEST of...
<input type="checkbox"/> Administrative Amendment/Approval (AA)	<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other
<input type="checkbox"/> IP Master Development Plan	
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	
STORM DRAINAGE (Form D)	
<input type="checkbox"/> Storm Drainage Cost Allocation Plan	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION: MARK WADE

Professional/Agent (if any): HARTMAN+MAJEWSKI DESIGN GROUP PHONE: 998-6442
 ADDRESS: 120 VASSAR SE SUITE 100 FAX: 242-6881
 CITY: ALBUQUERQUE STATE NM ZIP 87106 E-MAIL: mwade@designgroupnm.com
 APPLICANT: LOUIS KOCKER GREATER ALBUQUERQUE HOUSING PARTNERSHIP PHONE: 244-1614
 ADDRESS: 320 GOLD SW SUITE 918 FAX: 244-0137
 CITY: ALBUQUERQUE STATE NM ZIP 87102 E-MAIL: abggahp@msn.com
 Proprietary interest in site: OWNER List all owners: -

DESCRIPTION OF REQUEST: SDP FOR BUILDING PERMIT - DLB APPROVAL

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. PARCEL A (FORMERLY LOTS 1-3) Block: 9 Unit: -
 Subdiv/Addn/TBKA: FRANCISCAN ACLES
 Existing Zoning: SU2-SU-1/RD Proposed zoning: SAME MRGCD Map No. _____
 Zone Atlas page(s): H-14 UPC Code: _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.):
CO# 1007649 HEPCA0081, 12DLB-70201, 12DLB-70217, 12DLB-70218

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill?
 No. of existing lots: 2 No. of proposed lots: 1 Total site area (acres): 2.9946
 LOCATION OF PROPERTY BY STREETS: On or Near: INDIAN SCHOOL NE
 Between: BROADWAY NE and EOTH NE

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team (PRT) Review Date: 11/8/11

SIGNATURE Mark E. Wade DATE 8/10/12
 (Print Name) MARK E. WADE Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>12DLB - 70255</u>	<u>SRP</u>	—	<u>\$ 385.00</u>
—	<u>ADY</u>	—	<u>\$ 75.00</u>
—	<u>CME</u>	—	<u>\$ 20.00</u>
—	—	—	\$ —
—	—	—	\$ —
—	—	—	\$ —
Hearing date <u>Sept 5, 2012</u>			Total <u>\$ 480.00</u>

Staff signature & Date [Signature] 8-10-12 Project # 1007649

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- DRB hearings are approximately 30 DAYS after the filing deadline. Bring the original to the meeting.
Your attendance is required.

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. Bring the original to the meeting.
Your attendance is required.

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. Bring the original to the meeting.
Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Applicant name (print)

Applicant signature / date



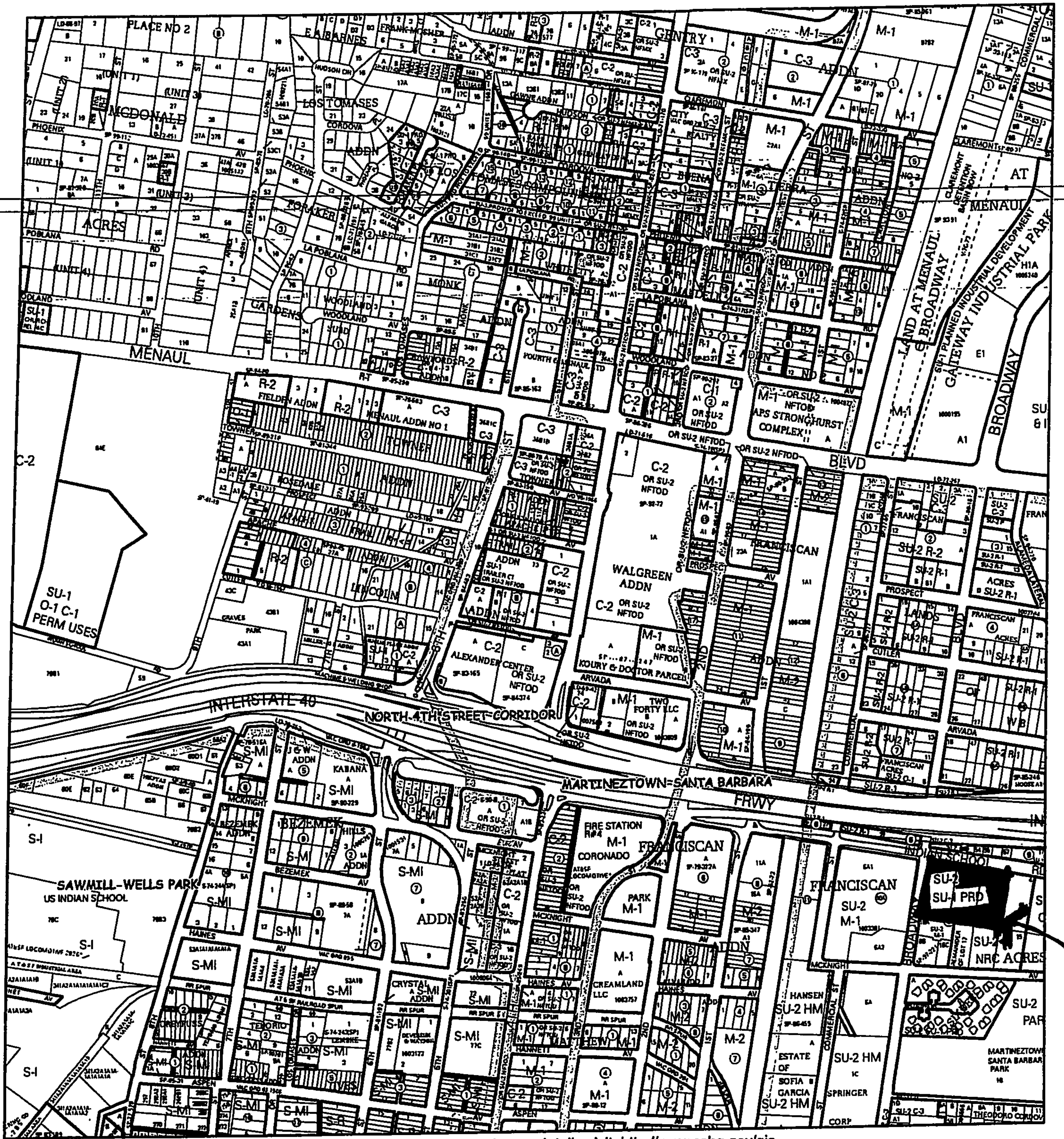
Form revised October 2007

- Checklists complete
- Fees collected
- Case #'s assigned
- Related #'s listed

Application case numbers
12DRB-70255

Project # 1004649

Planner signature / date 8-10-12



For more current information and more details visit: <http://www.cabq.gov/gis>

Zone Atlas Page:

H-14-Z

PROJECT LOCATION

Selected Symbols

SECTOR PLANS

Design Overlay Zones

City Historic Zones

H-1 Buffer Zone

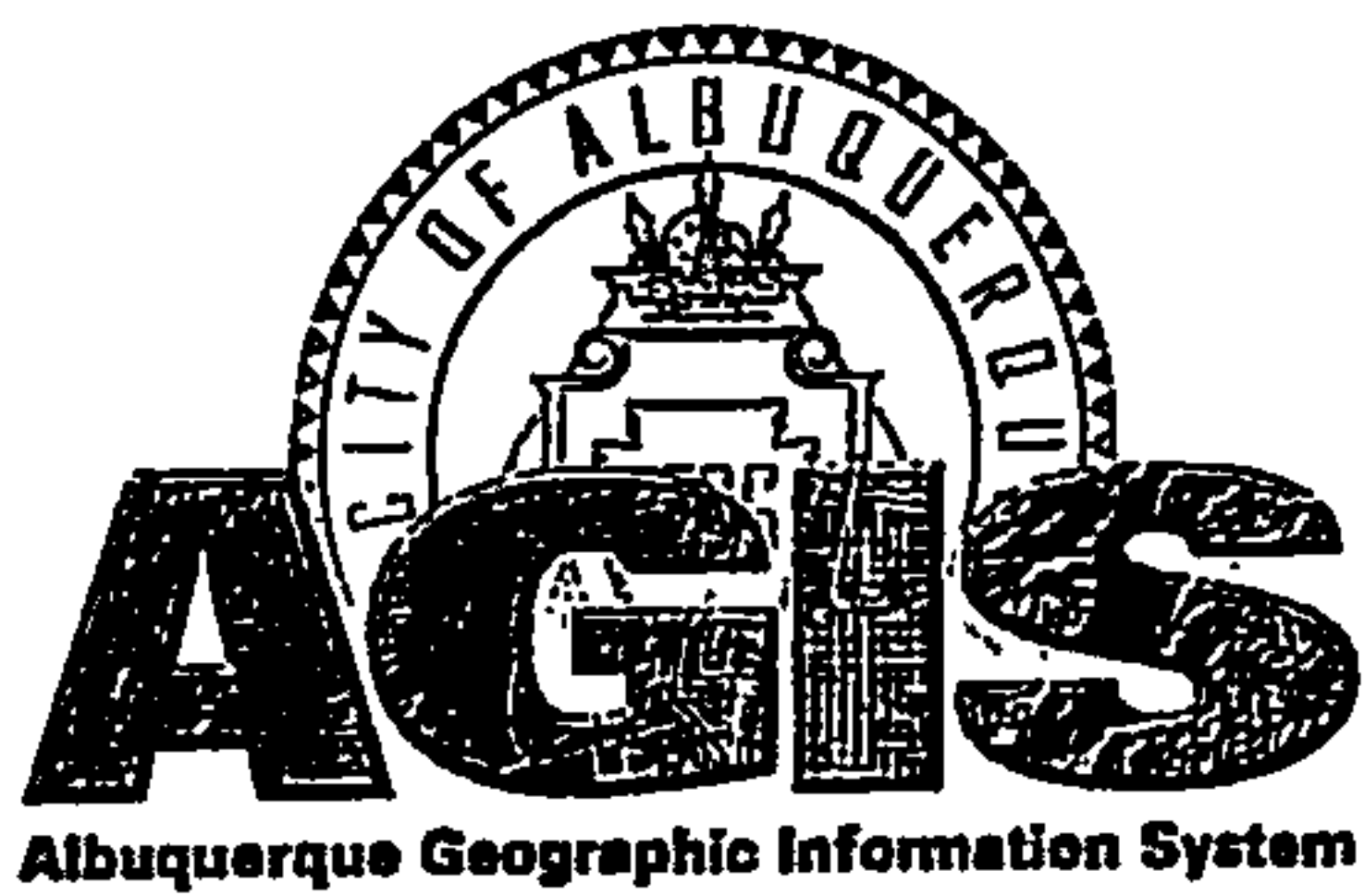
Petroglyph Mon.

Escarpment

2 Mile Airport Zone

Airport Noise Contours

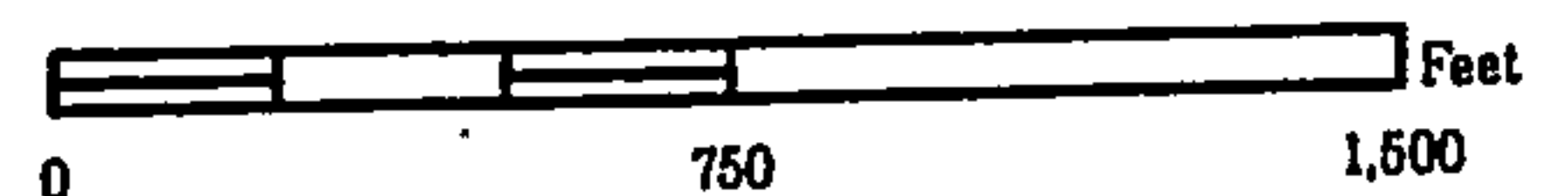
Wall Overlay Zone



Albuquerque Geographic Information System

Map amended through: 1/24/2011

Note: Grey Shading Represents Area Outside of the City Limits





August 10, 2012

Mr. Jack Cloud, Chairman
City of Albuquerque
Development Review Board
600 Second Street NW
Albuquerque, New Mexico 87102

Re: **Parcel A (formerly Lots 1 through 3), Block 9, Franciscan Acres**
SE corner of Broadway & Indian School NE
Request for DRB Approval- Site Development Plan for Building Permit
COA Project #1007649, 11EPC 40081, 12DRB-70201, 12DRB-70217, 12DRB-70218

Dear Chairman Cloud:

On behalf of our client, the Greater Albuquerque Housing Partnership (GAHP), The Hartman + Majewski Design Group (DG) is writing to request Development Review Board (DRB) approval of a proposed Site Development Plan for Building Permit for Parcel A (formerly Lots 1 through 3), Block 9, Franciscan Acres at the southeast corner of Broadway and Indian School NE. A Site Development Plan for Subdivision for this property was approved by the Environmental Planning Commission (EPC) on January 12, 2012 and was approved by the DRB on August 8, 2012. The approved Site Development Plan for Subdivision delegates approval of this Site Development Plan for Building Permit to the DRB.

This submittal provides a site development plan for building permit package which complies with the approval requirements of the site development plan for subdivision. It shows how this property shall be developed in accordance with both the previously approved site plan for subdivision and the associated City of Albuquerque requirements for site plan for building permit. The project supports 68 units of multi-family housing and associated community support functions, including a leasing office, community building that on occasion will provide child care services for families attending meetings and support service sessions, and park facility accessible to the public. The zoning designation for this property is SU-2/SU-1 for PRD. This zoning has not been affected by this Application.

Please note that at the request of City Hydrology, the site grading and drainage plan has been modified to drain water that runs into a present or future public right of way north to Indian School (including the central north/south vehicular access lane) to accommodate possible future roadway dedications.

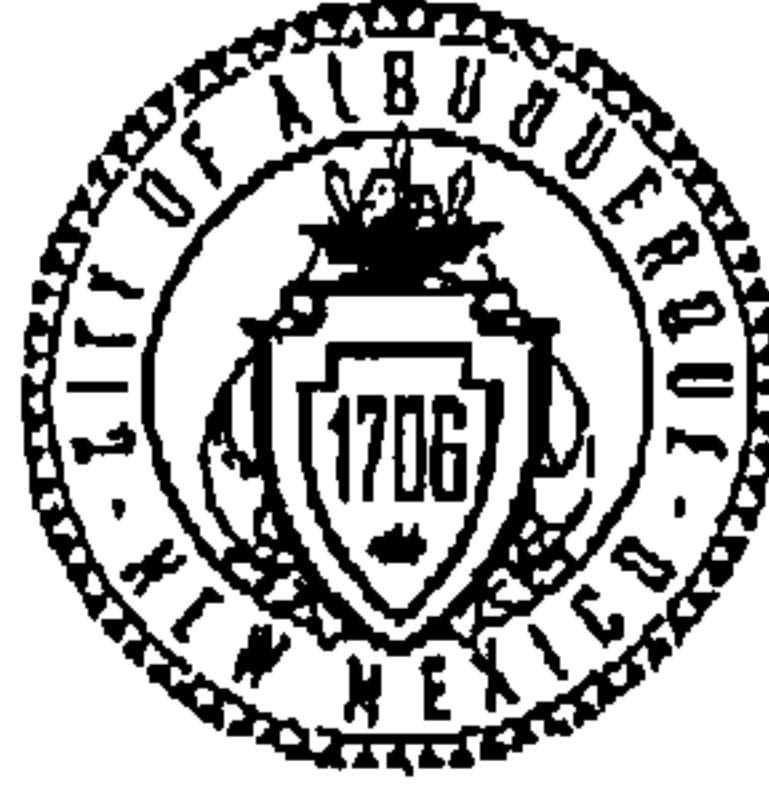
We respectfully request that the **Development Review Board** review and approve the requested application. Please do not hesitate to contact me at 505-998-6442 if you have any questions or require additional information.

Sincerely,

A handwritten signature in black ink, appearing to read 'Mark Wade'.

Mark Wade, AIA
Principal Architect

cc: Louis Kolker, GAHP
Dave Aube, PE, DG
P:\2439_GAPhousingbroadway&idianschool\C2_Agency\DRB SDP for BP
Justification Ltr_2012-08-10.doc



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

August 8, 2012

Mark Wade
Hartman and Majewski Design Group
120 Vassar Drive SE, Suite 100/87106
Phone: 505-998-6442/Fax: 505-242-6881

Dear Mark:

Thank you for your inquiry of August 8, 2012 requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **(DRB SUBMITTAL) – PARCEL A (FORMERLY LOTS 1-3), BLOCK 9, FRANCISCAN ACRES, LOCATED ON INDIAN SCHOOL ROAD NE BETWEEN BROADWAY BOULEVARD NE AND EDITH BOULEVARD NE** zone map **H-14**.

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

SANTA BARBARA-MARTINEZTOWN ASSOC. "R"
***Carol Carrillo Pimentel, 340 Prospect Ave. NE/87102**
Christina Chavez, 517 Marble NE/87102 459-4521 (c)

*** president of association**

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani Winklepleck
Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month.

If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office.

LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATION.

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected neighborhood and/or homeowner associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describes the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-**
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.**
- Copies of Letters to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**
- Copies of the certified receipts to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

Thank you for your cooperation on this matter.

.....
(below this line for ONC use only)

Date of Inquiry: **08/08/12** Time Entered: **2:45 p.m.** ONC Rep. Initials: **siw**



August 10, 2012

Attention: Affected Neighborhood and/or Homeowner Associations and Neighborhood Coalitions

Re: **Parcel A (formerly Lots 1 through 3), Block 9, Franciscan Acres**
SE corner of Broadway & Indian School NE
Request for DRB Approval- Site Development Plan for Building Permit
COA Project #1007649, 11EPC 40081, 12DRB-70201, 12DRB-70217, 12DRB-70218

To whom it may concern:

On behalf of our client, the Greater Albuquerque Housing Partnership (GAHP), The Hartman + Majewski Design Group (DG) is writing to request Development Review Board (DRB) approval of a proposed Site Development Plan for Building Permit for Parcel A (formerly Lots 1 through 3), Block 9, Franciscan Acres at the southeast corner of Broadway and Indian School NE. A Site Development Plan for Subdivision for this property was approved by the Environmental Planning Commission (EPC) on January 12, 2012 and was approved by the DRB on August 8, 2012. The approved Site Development Plan for Subdivision delegates approval of this Site Development Plan for Building Permit to the DRB. Drawings for this submittal are attached for your information.

This submittal provides a site development plan for building permit package which complies with the approval requirements of the site development plan for subdivision. It shows how this property shall be developed in accordance with both the previously approved site plan for subdivision and the associated City of Albuquerque requirements for site plan for building permit. The project supports 68 units of multi-family housing and associated community support functions, including a leasing office, community building that on occasion will provide child care services for families attending meetings and support service sessions, and park facility accessible to the public. The zoning designation for this property is SU-2/SU-1 for PRD. This zoning has not been affected by this Application.

Please note that at the request of City Hydrology, the site grading and drainage plan has been modified to drain water that runs into a present or future public right of way north to Indian School (including the central north/south vehicular access lane) to accommodate possible future roadway dedications.

We are respectfully requesting that the Development Review Board (DRB) review and approve the requested Site Development Plan for Subdivision. Current estimated hearing date for the DRB is September 5, 2012. Please do not hesitate to contact me at 505-998-6442 if you have any questions or require additional information.

Sincerely,

A handwritten signature in black ink, appearing to read 'Mark Wade'.

Mark Wade, AIA
Principal Architect

cc: P:\2439_GAhousingbroadway&idianschool\C2_Agency\DRB SDP for BP Justification Ltr_2012-08-10.doc

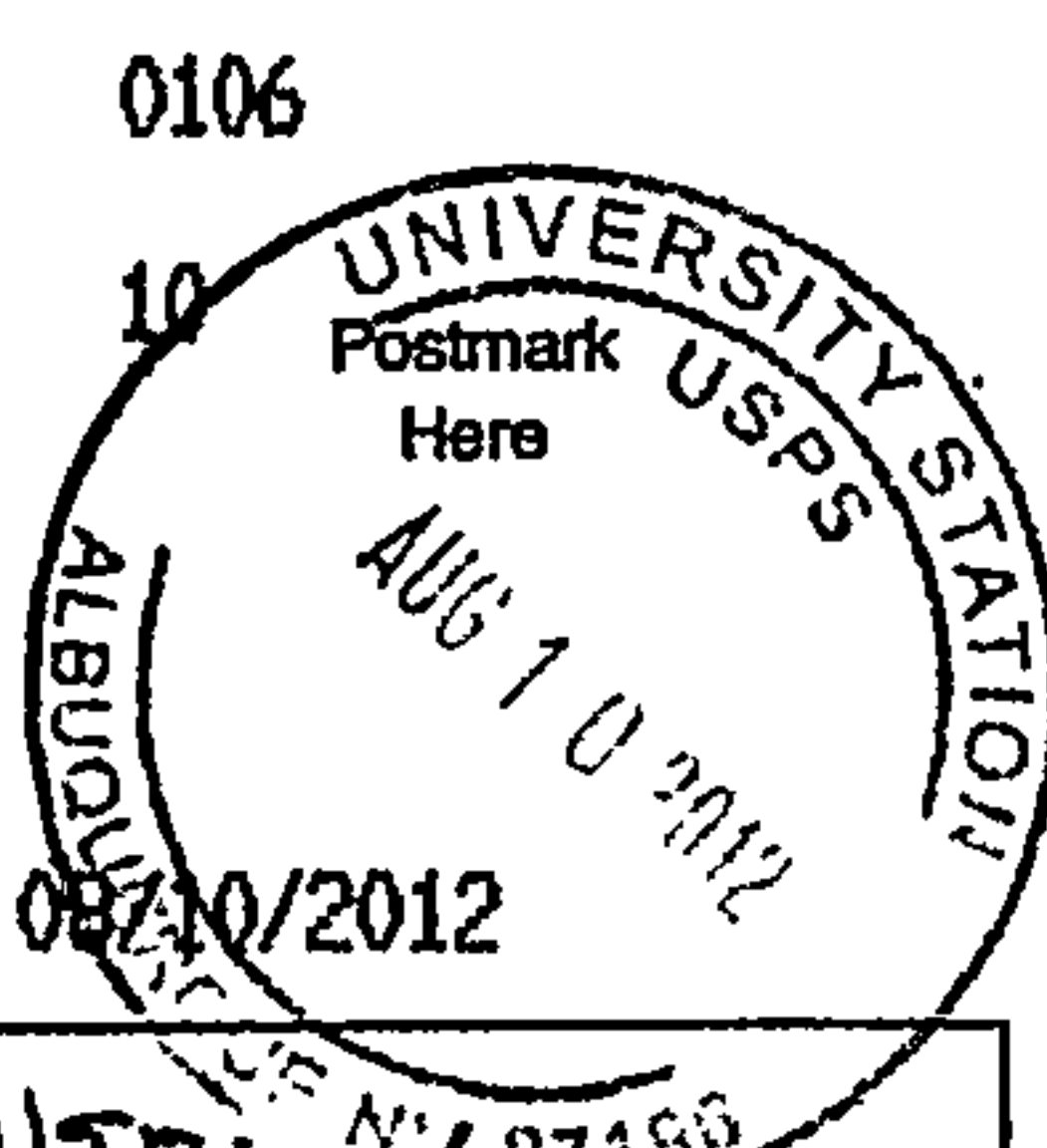
7003 3110 0000 DTTE E002 6492 695T 1593 2849

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Postage	\$ 0.85
Certified Fee	\$2.95
Return Receipt Fee (Endorsement Required)	\$2.35
Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$ 6.15



Sent To **CAROL CARILLO PIMENTEL**
 Street, Apt. No.; or PO Box No. **340 PROSPECT AVE. NE**
 City, State, ZIP+4 **ALBUQUERQUE, NM 87102**

PS Form 3800, June 2002 See Reverse for Instructions

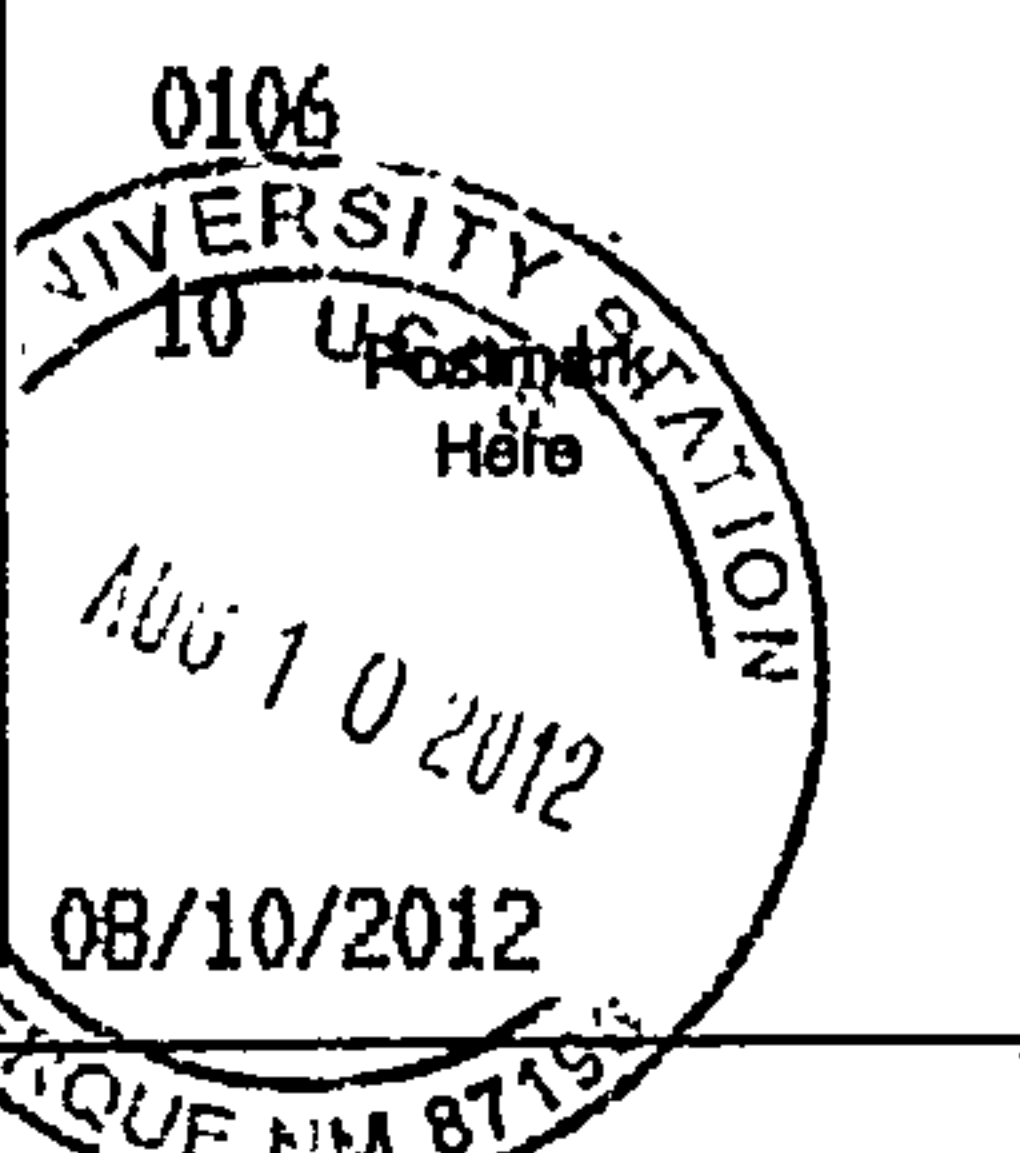
7003 3110 0000 DTTE E002 6492 695T 1593 2849

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Certified Fee	\$2.95
Return Receipt Fee (Endorsement Required)	\$2.35
Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$ 6.15



Sent To **CHRISTINA CHAVEZ**
 Street, Apt. No.; or PO Box No. **517 MARBUE NE**
 City, State, ZIP+4 **ALBUQUERQUE, NM 87102**

PS Form 3800, June 2002 See Reverse for Instructions

November 15, 2011

City of Albuquerque
Planning Department
Plaza Del Sol Building
Albuquerque, NM 87102

RE: Indian School and Broadway EPC Application

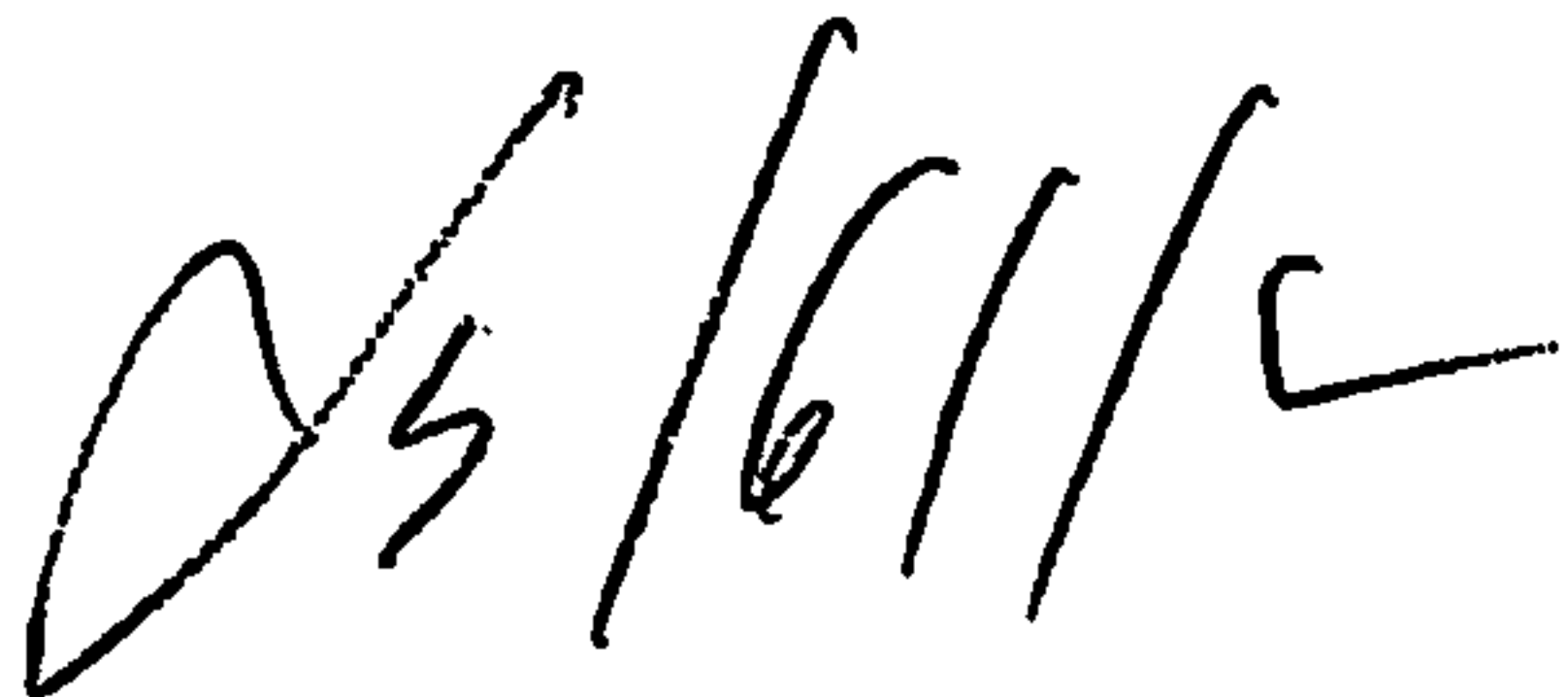
To Whom It May Concern,

Please let this letter serve as verification that the Greater Albuquerque Housing Partnership, the owner of Lots 1-3 of Block 9 of the Fransican Acres, is designating the Design Group as its agent of record for all City applications related to this property.

If you have any questions you may contact me at 505-244-1614 or 505-385-6480.

Thank you.

Yours truly,



Louis Kolker

98

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

Mark C. Wade / 8/10/12
Applicant or Agent Signature / Date

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**
6. **Previously approved Development Plan (if applicable)**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.**

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved. *(IN DESIGN GUIDELINES OF SDP FOR SHAD (VISION))*

SHEET #1 - SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' *[Other scales as approved by staff]*
3. Bar scale
4. North arrow
5. Scaled vicinity map
6. Property lines (clearly identify)
7. Existing and proposed easements (identify each)
8. Phases of development including location and square footages of structures, circulation, parking and landscaping

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

B. Proposed Development (If supplemental Sheets are used please indicate sheet #)

1. Structural

- A. Location of existing & proposed structures (distinguish between existing & proposed, include phasing)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Site amenities including patios, benches, tables, (indicating square footage of patios/ plazas).

2. Parking and Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: 115 provided: 115
Handicapped spaces (included in required total) required: 5 provided: 5
Motorcycle spaces (in addition to required total) required: 1 provided: 2
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 34 provided: 56
 - 2. Bikeways and other bicycle facilities, if applicable
- ~~NA~~ C. Public Transit
 - ~~NA~~ 1. Bus facilities, including routes, bays and shelters existing or required
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
- E. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
 - 6. Existing and proposed street widths, right-of-way widths and curve radii
 - 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 8. Location of traffic signs and signals related to the functioning of the proposal
 - ~~NA~~ 9. Identify existing and proposed medians and median cuts

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

3. Phasing

- NA A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Backflow prevention detail
- 10. Planting Beds, indicating square footage of each bed
- 11. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 12. Responsibility for Maintenance (statement)
- 13. Statement of compliance with Water Conservation... Ordinance, see article 6-1-1-1.
- 14. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 15. Landscaped area provided; square footage and percent (specify clearly on plan)
- 16. Planting or tree well detail
- 17. Street Tree Plan as defined in the Street Tree Ord.

SHEET # 3 PRELIMINARY GRADING PLAN

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1 with written approval from the Planning Department Staff.

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas
- ~~N/A~~ 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 UTILITY PLAN

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation (north, south, east, & west).
 - 2. Facade dimensions including overall height and width
 - 3. Location, dimensions, materials, and colors of principle façade elements- windows, doors, etc.
 - 4. For EPC and DRB submittals only – Color renderings or similar (12 copies) illustrations
- ~~N/A~~ E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- ~~N/A~~ 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.



CITY OF ALBUQUERQUE
 PLANNING DEPARTMENT
 DEVELOPMENT REVIEW BOARD

September 4, 2012

Project# 1007649

12DRB-70255 MAJOR - SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

HARTMAN & MAJEWSKI DESIGN GROUP agent(s) for GREATER ALBUQUERQUE HOUSING PARTNERSHIP request(s) the referenced/ above action(s) for all or a portion of Lot(s) A, Block(s) 9, **FRANCISCAN ACRES** zoned SU-2/ SU-1/ PRD, located on the south side of INDIAN SCHOOL NE between BROADWAY BLVD NE and EDITH BLVD NE containing approximately 2.99 acre(s). (H-14, H-15)

AMAFCA No comments provided
COG No comments provided
TRANSIT No comments
ZONING ENFORCEMENT No comments provided
NEIGHBORHOOD COORDINATION
APS No comments provided
POLICE DEPARTMENT This project is in the Valley Area Command. - Exterior property lighting is well dispersed and provides adequate coverage. However, in almost every occasion, proposed landscaping appears to be in conflict with light placement. This is especially true with proposed large variety plantings. Each tree is projected to be 18-50 feet in height and 15-30 feet in spread at maturity, which will eventually reduce the effectiveness of the illumination. Recommend reducing the number of tree plantings and/or situate them in a position to not conflict with proposed pole lights. - Suggest installing video surveillance cameras on the exterior of the development to cover all parking lots, walkways, building entrances, recreational areas, common areas and maintenance locations. Each camera should be monitored and recorded for real-time and historical use.
FIRE DEPARTMENT No comments provided
PNM ELECTRIC & NMGAS No comments provided
COMCAST No comments provided
CENTURYLINK No comments provided
ENVIRONMENTAL HEALTH

No comments provided
M.R.G.C.D No Adverse Comments.
OPEN SPACE DIVISION No comments provided
CITY ENGINEER Comments, if any, will be provided at the meeting
TRANSPORTATION DEVELOPMENT No comments provided
PARKS AND RECREATION All of Parks & Recreation Department comments have been addressed. No objections to this request.
ABCWUA No Objection
PLANNING DEPARTMENT Refer to comments from Zoning Enforcement for compliance with Zoning Code. plus any public hearing comments. Colors need to be called out on building elevation sheets. Buildings A and B do not conform to site plan for subdivision Design Requirements. The use of metal wall panels exceeds the "accent" as described in the Design Requirements, and CMU blocks are not included as an acceptable material.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING



DEVELOPMENT REVIEW BOARD

MINUTES

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

September 12, 2012

MEMBERS:

Jack Cloud, AICP, DRB Chairman, Planning Department

Angela Gomez, Administrative Assistant

Kristal Metro, P.E., Transportation Development
Curtis Cherne, P.E., Hydrology/ Alternate City Engineer

Allen Porter, P.E., Albuquerque/ Bernalillo Co.WUA
Carol Dumont, Parks/Municipal Development

Project# 1007649

12DRB-70255 MAJOR - SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

HARTMAN & MAJEWSKI DESIGN GROUP agent(s) for GREATER ALBUQUERQUE HOUSING PARTNERSHIP request(s) the referenced/ above action(s) for all or a portion of Lot(s) A, Block(s) 9, **FRANCISCAN ACRES** zoned SU-2/ SU-1/ PRD, located on the south side of INDIAN SCHOOL NE between BROADWAY BLVD NE and EDITH BLVD NE containing approximately 2.99 acre(s). (H-14, H-15)

PERSONS SPEAKING ON BEHALF OF THE REQUEST:

Mr. Mark Wade
Mr. David Aube

MR. JACK CLOUD, DRB CHAIRMAN: The next item is agenda item 2, project 1007649, Hartman and Majewski Group, agents for Greater Albuquerque Housing Partnership requesting site development plan for building permit for Lot A of Block 9 of Franciscan Acres. Good morning.

APPLICANT/AGENTS SWORN IN

MR. MARK WADE: Chairman Cloud and fellow DRB members we, since last weeks deferral we have spoke directly, Dave Aube our civil engineer and myself with you and Curtis in Hydrology and Kristal in Transportation Development, and believe that

we have dispensed with all of your comments and modified our plans to meet the requirements of the site development plan for building permit and your comments, so we are just requesting approval this morning in final sign off of the site plan for building permit.

CHAIRMAN CLOUD: Is there anyone else here interested in agenda item 2? We did receive some correspondence so for the record I want to address that. There was a facilitated meeting Monday night, and we received that report. That will be made part of the record. We've also received a request for additional deferral, but most of this request is basically based on the notification process and the approval of the land use and the site plan for subdivision at a previous hearing. Assistant City Attorney Blake Whitcomb is with us, Mr. Whitcomb you did research that notification on that file is that correct?

MR. BLAKE WHITCOMB, ASSISTANT CITY ATTORNEY: Yes Mr. Chairman, I did. I didn't see any irregularities with the notification on that earlier hearing and frankly given the limited scope of this hearing I think that's outside the, anything that you could look into so.

CHAIRMAN CLOUD: Okay, thank you. We had deferred this, there have been some revisions made to the site plan. Parks and Recreation, Christina, do you have any comments on number 2?

MR. CHRISTINA SANDOVAL, PARKS AND RECREATION: No our comments have been addressed and we're able to sign today.

CHAIRMAN CLOUD: Okay, City Engineer, Shahab.

MR. SHAHAB BIAZAR, CITY ENGINEER: We have an approved grading plan with engineering stamp date 8-31-2012, we just wanted to make sure that the approved copy is inserted in. That is it.

CHAIRMAN CLOUD: Okay, do you have an original infrastructure list? We'll use that as the original. Water Authority, Allen?

MR. ALLAN PORTER, ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY: I have no objections.

CHAIRMAN CLOUD: Transportation Development, Kristal?

MS. KRISTAL METRO, TRANSPORTATION DEVELOPMENT: My comments regarding the infrastructure list have been addressed. The only other comment I did have was regarding recording information. On the revised site plan, it's noted that the plat was recording and it gives the recording information however not all of the existing easements were dedicated with that platting action. My understanding is the irrigation ditch easement and some of the P.U.E's were dedicated with a previous

platting action and would have different recording information. I would ask that that be revised to include that information.

MR. DAVID AUBE: You are correct that the irrigation ditch easement, that was existing back from the 70s. I think all of the other P.U.E's and water and sanitary easements that we have throughout the site are all recorded with this plat, but I can go back and verify that, and make sure that we have the correct recording information on there.

MS. METRO: Okay. Jack if I could delegate that to you I have no other comments.

CHAIRMAN CLOUD: Okay. And we did review the revisions to the site plan so that the trees are not now in the parking stalls and we've got the colors noted on the elevations and the reduction in the metal accents so if you'll do those in a typed fashion for the final set please.

MR. AUBE: Yes.

CHAIRMAN CLOUD: Okay do you want to bring your infrastructure list up and your site plan. We can get some signatures, but we'll need to delegate the site... We'll approve the site development plan for building permit. We'll delegate final sign off to City Engineer for completion of the subdivision improvement agreement and to Planning for reference recording information of all easements. And with the approval we'll make the finding that the site plan for building is in conformance with the approved site plan for subdivision.

MR. WADE: So Jack just to clarify, we just need, for you to sign, we need the platting information and the typed notes on the elevations? Is that correct?

CHAIRMAN CLOUD: Planning will be the last to sign, we'll need to wait for the expiration of the appeal period. Once you have a subdivision improvement agreement then City Engineer can sign, and then I'll be able to sign after that if there's no appeal.

MR. WADE: Okay, thank you.

MR. WHITCOMB: Mr. Chairman, I just had a question, are we going to be sending an official notice to all the people who were at the facilitated meeting?

CHAIRMAN CLOUD: Everyone who signed up at our meeting last week will be mailed a notice. If you are advising we should, we could easily email the notice to everyone that was on that distribution, too.

MR. WHITCOMB: It might be prudent.

CHAIRMAN CLOUD: Okay. Thank you.

CITY OF ALBUQUERQUE LAND USE FACILITATION PROGRAM PROJECT MEETING REPORT

Project #: 1007649
Property Description/Address: Parcel A (formerly lots 1-3), Block 9, Franciscan Acres
SE corner of Broadway & Indian School Rd NE

Date Submitted: September 11, 2012
Submitted By: Jessie Lawrence

Meeting Date/Time: September 10, 2012; 6:30 p.m.
Meeting Location: Century Sign Builders
2117 Commercial St. NE

Facilitator: Jessie Lawrence
Co-facilitator: Pilar Vaile

Parties:

- **Applicant**
 - o Louis Kolker, Greater Albuquerque Housing Partnership
- **Agent**
 - o Greg Hartman, Hartman & Majewski Design Group
- **Neighborhood Associations/Interested Parties**
 - o Santa Barbara – Martineztown Assoc.
 - o Martineztown Work Group

Background/Meeting Summary:

Applicant requests Development Review Board approval for a site development plan for building permit for all or a portion of Parcel A (formerly lots 1-3), Block 9, Franciscan Acres, at the southeast corner of Broadway and Indian School NE. A site development plan for subdivision was approved by the EPC on January 12, 2012 and approved by the DRB on August 8, 2012, and the approved site development plan for subdivision delegates approval of the site development plan for building permit to the DRB. The project supports 68 units of multi-family housing and associated community support functions.

Most residents attending the meeting strongly opposed the existence of multi-family rental housing in this location. Concerns included management of the property, potential overcrowding, lack of investment in the community by renters, lack of compatibility with the adjacent business properties, and lack of compatibility with the high-traffic streets. Applicant stated that for-sale single family homes were not feasible in the current economy and answered questions about residents' concerns.

Residents stated that they did not receive notice about earlier progress on this project, and expressed frustration with the City about their lack of input. They stated that residents were not

CITY OF ALBUQUERQUE LAND USE FACILITATION PROGRAM PROJECT MEETING REPORT

notified, and the Santa Barbara-Martineztown Association did not sufficiently represent the neighborhood.

Residents also expressed concerns about how this project fit into the drafting of the sector development plan, currently in progress. They expressed the concern that existing business properties were proposed to be “downzoned” or face additional zoning restrictions that they opposed, but this project seemed to be exempt from the process and able to move forward.

Residents also expressed concerns about how to assure security, privacy, and street safety with this development.

Outcome:

- *Areas of Agreement*
 - o None
- *Unresolved Issues & Concerns*
 - o Most residents attending the meeting opposed the existence of multi-family rental housing in this location.
- *Key Points*
 - o Residents expressed concerns about lack of notice from the City and how this project fit into the ongoing sector development plan.

Action Items:

Applicant will follow up with contact information for Monarch property management to provide to neighbors.

Applicant will provide information to neighbors about the type of background check (state or national) required of property residents.

Meeting Specifics:

- 1) **Applicant Presentation/Application Overview**
 - a) Property is approximately 3 acres.
 - i) Applicant purchased property in 2007 and has been working on development since then.
 - ii) To the east of the property is the Goldston property, a trucking company.
 - iii) There is a house on the property, and Big Dog Towing stores vehicles on the south side.
 - b) Applicant is proposing a development of 68 multi-family rental units.
 - i) Development includes a leasing office, child care center, 1200 s.f. park, gym/exercise room, and community center.

CITY OF ALBUQUERQUE

LAND USE FACILITATION PROGRAM

PROJECT MEETING REPORT

- ii) Parking will be gated and secure.
 - (1) One parking area is located next to the buildings along Broadway, and the other is located along the Goldston property.
 - iii) Financial literacy classes, computer classes, job placement/resume writing classes will be provided.
 - (1) Applicant is working with the Hispano Chamber of Commerce regarding computer classes, and GAHP will do financial literacy classes themselves.
 - (2) Applicant has agreement with All Faiths Receiving Home & UNM School of Nursing for health care screenings (blood pressure and diabetes screening) on a quarterly basis.
 - (3) CPR classes will be available from the Red Cross, and nutrition classes will be taught by either UNM or All Faiths.
 - iv) Apartment sizes range from efficiencies to three-bedroom.
 - (1) Larger apartments will be targeted to families with children and located on the south and east side.
 - (2) Apartments along Broadway will be efficiencies, one-bedrooms, and some two-bedroom/one-bath.
 - v) Residents will have to meet income guidelines to be able to rent.
 - vi) Construction will be energy efficient and part of the sustainable building movement.
 - (1) A recently finished project received a LEED H Platinum designation, and applicant hopes for the same here.
 - (2) Units will have lower utility bills.
 - c) Development will be a \$13.6 million development, with most coming from a private equity investor.
 - i) Development will create 200 construction jobs.
 - ii) The equity investor in this project is US Bank.
 - d) Applicant stated that this is a good location for this type of development.
 - i) This is a neighborhood that has been identified by the City as having a high rent cost burden, meaning that more than 30% of renters' income is spent on housing.
 - ii) UNM North Campus is going through large expansion.
 - iii) Site is 1.5 miles from downtown.
 - iv) Market study by Novogradac was positive.
 - v) Site currently does not have positive economic uses.
 - vi) Development will produce higher property tax revenues and construction-related gross receipts taxes.
 - e) Construction is scheduled to begin in November 2012 and be complete by November 2013.
 - i) Property will be occupied by early 2014.
 - f) Applicant stated that in the long term, they hoped to build additional housing to the south and create connections between the developments and the nearby park.
- 2) Property Management**
- a) Applicant stated that the property will be managed by Monarch Properties.
 - i) Monarch Properties is the largest manager of tax credit properties like this.
 - ii) Monarch manages the new development in the Trumbull neighborhood.

CITY OF ALBUQUERQUE

LAND USE FACILITATION PROGRAM

PROJECT MEETING REPORT

- b) A resident asked how Monarch screens tenants.
 - i) Applicant stated that Monarch is strict with screening and is very familiar with the screening requirements of these properties.
 - ii) A resident asked about the extent of background checks and whether they were statewide or national.
 - (1) Applicant stated that he would provide more information about the type of background checks required.
 - c) Applicant stated that there will be on-site maintenance to pick up trash daily.
 - d) A resident expressed concerns that the applicant was using the new Trumbull development as an example, and asked about an older example of Monarch's management.
 - i) Applicant stated that Monarch came in to manage the Aspen Ridge development when the owner/manager couldn't make it work, and cleaned up the 96 units.
 - e) A resident asked how a bad tenant could be evicted.
 - i) Applicant stated that Monarch gives tenants a list of non-tolerable behaviors and has a warning and eviction system.
 - ii) Applicant stated that at the Trumbull development they filled quickly because of the quality units, and they don't want "bad apples" in the development.
 - f) A resident asked what neighbors could do if they wanted to report violations or communicate with the property manager.
 - i) Applicant stated that residents could contact the City about problems in the neighborhood outside of the development.
 - ii) Applicant stated that he would provide contact information for Monarch, and stated that Monarch had an interest in stopping problems right away.
 - g) A resident asked whether the manager would be monitoring all the time.
 - i) Applicant stated that there would be cameras on every corner of the building that would record 24/7 and could play back, and a manager would be on-site during office hours.
- 3) Traffic Concerns**
- a) A resident stated that there are no traffic lights at this intersection and accidents happen frequently.
 - i) Applicant stated that as part of the EPC approval, they needed to improve the corner, and the turning radius would be improved from 15 or 20 feet to 40 feet.
 - b) A resident stated that because of traffic, it is impossible to cross the street between 6-9 AM and 5-7 PM.
 - i) Applicant stated that the Traffic Engineer said that other than redesigning the corner, the streets could accommodate this development.
 - c) A resident asked about speed bumps to slow traffic on the street, and expressed concerns about children on the street.
 - i) Applicant stated that apartments with children would be far from the street.
- 4) Concerns about Rental Properties**
- a) A resident asked about the number of people who would be living on the property.

CITY OF ALBUQUERQUE

LAND USE FACILITATION PROGRAM

PROJECT MEETING REPORT

- i) Applicant stated that efficiencies would have one person, one-bedrooms would have one or two, and larger apartments would have a limit of two children per bedroom and two parents.
 - ii) A resident asked in Monarch would confirm that only residents were living there.
 - (1) Applicant stated that Monarch would confirm this because of the requirements of the type of property.
 - b) A resident asked why the project had to be rental rather than single-family homeownership.
 - i) Applicant stated that it would be impossible for him to finance construction of single-family homeownership, and it would be impossible to find people who could get the appropriate financing to purchase them. Financing is available for this type of development.
 - c) A resident stated that the neighborhood didn't need more apartments.
 - i) Another resident stated that renters wouldn't have a stake in the community like homeowners would.
 - ii) Residents expressed multiple concerns about problems arising as the apartments age.
 - d) A resident asked why rental housing had to be located in their neighborhood rather than in Nob Hill or other neighborhoods.
 - i) Applicant stated that development was consistent with a national trend of putting affordable housing in neighborhoods close to the city core.
- 5) Concerns about Lack of Notice**
- a) A resident stated that they had been left out of 90% of the process and were angry that they hadn't been notified.
 - i) Another resident asked why the City failed to notify them.
 - (1) Shannon Beaucaire suggested contacting Stephani Winklepleck at the Office of Neighborhood Coordination for information about the notification for the EPC and DRB hearings.
 - ii) A resident suggested that they should start over with proper notification and involvement at every step.
 - b) A resident asked about the remaining approval process.
 - i) Applicant stated that the Wednesday, September 12 DRB hearing is the final approval for the entitlement to do the building.
 - c) A resident noted that the EPC report stated that the Santa Barbara-Martineztown Association approved the project, but stated that only 6-10 people are involved in that association, and that's not enough to represent the neighborhood.
- 6) Concerns about Sector Plan**
- a) A resident asked how this project reconciled with the sector development plan in progress at the City, as it is a residential property between two established businesses.
 - i) Applicant stated that when they changed the zoning in 2009/2010, it was changed, and they expected the property to be developed before the new sector plan is finished.
 - b) A resident expressed the concern that the residential property will force the existing commercial properties to change to accommodate residential needs.
 - c) A resident expressed the concern that this will force down the zoning of the existing commercial properties.

**CITY OF ALBUQUERQUE
LAND USE FACILITATION PROGRAM
PROJECT MEETING REPORT**

- d) A resident asked whether the zoning would be under the new sector plan.
 - i) Applicant stated that the zoning would be MX.
- e) A resident expressed the concern that the applicant seemed to be exempt from the sector plan requirements, and expressed anger that the sector plan was being forced on the existing residents.
- 7) **Other Concerns about Communication with City**
 - a) A resident asked how she could receive a copy of the meeting report if she did not have email.
 - i) Shannon Beaucaire stated that the meeting reports would be available online, and she would also retain several printed copies at the City ADR office so people could pick them up.
 - b) A resident stated that the neighborhood on the north side of the freeway has always been known as Stronghurst, but the City put up signs and changed the neighborhood designation to Martineztown without notifying them.
 - i) Shannon Beaucaire suggested contacting Stephani Winklepleck at the Office of Neighborhood Coordination.
- 8) **Other Concerns**
 - a) A resident expressed the concern that the site was too small to accommodate so many people.
 - i) Another resident asked whether the development could be 38 units rather than 68, or whether the income standards could be raised.
 - b) A resident stated that her residence was adjacent to the site and expressed concerns about security and privacy.
 - i) Applicant stated that there will be a cinder-block wall along the entire boundary.
 - ii) A resident stated that three-story residences will be looking over the wall onto the adjacent properties.
 - c) A resident asked about lighting at night.
 - i) Applicant stated that at the Trumbull property, they used extra lights to ensure that residents felt secure.
 - d) A resident asked what would be done with existing structures on the site.
 - i) Applicant stated that they would be torn down soon.

Application Hearing Details:

- 1) Hearing Scheduled for Wednesday, September 12, 2012.
- 2) Hearing Details:
 - a. The DRB conducts public hearings and makes decisions on requests for approval of subdivisions, vacation, site development plans delegated by EPC or sector development plans, subdivision design variances, and sector development plan reviews.
 - b. The Development Review Board (DRB) will begin hearing applications at 9:00 a.m.
 - c. The actual time this application will be heard by the DRB will depend on the applicant's position on the DRB's schedule.

CITY OF ALBUQUERQUE LAND USE FACILITATION PROGRAM PROJECT MEETING REPORT

3) Hearing Process:

- a. Comments from facilitated meetings will go into a report which goes to the DRB.
- b. The DRB will make a decision and parties have 15 days to appeal the decision.
- c. All interested parties may appear at the hearing and voice their opinions or submit written comments prior to the day of public hearing.

Any further questions or comments can be referred to:

Angela Gomez
505-924-3946
agomez@cabq.gov

Names & Affiliations of Attendees:

Denise Baca	
Juana Baca	
Mark Baca	
Michael Baca	
Shannon Beaucaire	COA
Jesus Espinoza	
Darin Goldston	MTSB Business All
Sherrey Jackson	
Louis Kolker	GAHP
Andrea Leyba	
Barbara Leyba	
Jesse Lopez	
Christina Montoya	
Rogelio R	
Sonia Rascad	
Carl Salazar	
Karen Salazar	

Cloud, Jack W.

From: Jessie Eaton Lawrence [jess.lawrence@gmail.com]
Sent: Tuesday, September 11, 2012 1:34 PM
To: daringoldston@aol.com; abqgahp@msn.com; sljdrag0n@earthlink.net; albqmontoya1@aol.com; ckandm@q.com; barbley7@aol.com; hotrodsbychu@gmail.com; jeslopez@msn.com; teeter6to@yahoo.com; drobles3@msn.com; carrillocarol@ymail.com; mom2301br@aol.com; lnjalopez@msn.com; ivanwestergaard@comcast.net; realmofpossibility@gmail.com; RoxannaM@csbsigns.com; mwade@designgroupnm.com; GHartman@designgroupnm.com
Cc: Beaucaire, Shannon D.; Parada, Naomi; Winklepleck, Stephani I.; Cloud, Jack W.; Gomez, Angela J.; Pilar Vaile
Subject: Meeting Amendment: Facilitated Meeting Report - Project #1007649
Attachments: 1007649 Facilitated Meeting Report Amendment.doc

Hi all,

A meeting amendment is attached.

Jessie Eaton Lawrence
 PO Box 31854
 Santa Fe, NM 87594
 505-603-4351

----- Forwarded message -----

Hi all,

Attached, please find the meeting report from Monday's facilitated meeting. Should you read something in the report that you feel is an inaccurate representation of what was said in the meeting, please refer to the amendment parameters below.

I'm including links to the applicant survey for the GAHP team, and the participant survey for everyone else who attended the meeting:

Applicant survey: <http://www.cabq.gov/legal/adr/luf/land-use-facilitation-program-applicant-survey>

Participant survey: <http://www.cabq.gov/legal/adr/luf/land-use-facilitation-program-participant-survey>

Please take a moment to give the City the feedback that helps us to serve you. The City has worked hard to make this process as user-friendly as possible. Your input is invaluable to the City ADR department, helping them meet their goals for continuous improvement to the Land Use Facilitation Program. It is also valuable for your facilitator, who is always looking to increase ways to meet your needs. Please be sure to include project number #1007649 and my name, Jessie Lawrence, at the top of the form.

Thank you for your participation in this meeting. Pilar and I enjoyed working with you.

Jessie Eaton Lawrence
 PO Box 31854
 Santa Fe, NM 87594
505-603-4351

10/12/2012

114

Clarification of Amendment Parameters

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FACILITATED MEETING REPORT AMENDMENTS

Date Submitted: September 11, 2012
Original Submission: September 11, 2012
Submitted By: Jessie Lawrence
Facilitator: Jessie Lawrence
Co-facilitator: Pilar Vaile
Project Number: 1007649
Meeting Date and Time: September 10, 2012, 6:30

Background/Meeting Summary:

Second paragraph, second sentence: Insert, "One person who stated she was a lifelong resident said that she was strongly in support of it."

Cloud, Jack W.

From: LORETTA A NARANJO-LOPEZ [Lnjalopez@msn.com]
Sent: Tuesday, September 11, 2012 9:06 PM
To: daringoldston@aol.com; abqgahp@msn.com; sljdrag0n@earthlink.net; albqmontoya1@aol.com; ckandm@q.com; barbley7@aol.com; hotrodsbychu@gmail.com; jeslopez@msn.com; teeter6to@yahoo.com; drobles3@msn.com; carrillocarol@ymail.com; mom2301br@aol.com; ivanwestergaard@comcast.net; realmofpossibility@gmail.com; RoxannaM@csbsigns.com; mwade@designgroupnm.com; GHartman@designgroupnm.com; Jessie Eaton Lawrence
Cc: Beaucaire, Shannon D.; Parada, Naomi; Winklepleck, Stephani I.; Cloud, Jack W.; Gomez, Angela J.; Pilar Vaile
Subject: Re: Meeting Amendment: Facilitated Meeting Report - Project #1007649

The report has one sentence in it. I think you sent the wrong report. Loretta

----- Original Message -----

From: Jessie Eaton Lawrence

To: daringoldston@aol.com ; abqgahp@msn.com ; sljdrag0n@earthlink.net ; albqmontoya1@aol.com ; ckandm@q.com ; barbley7@aol.com ; hotrodsbychu@gmail.com ; jeslopez@msn.com ; teeter6to@yahoo.com ; drobles3@msn.com ; carrillocarol@ymail.com ; mom2301br@aol.com ; lnjalopez@msn.com ; ivanwestergaard@comcast.net ; realmofpossibility@gmail.com ; RoxannaM@csbsigns.com ; mwade@designgroupnm.com ; GHartman@designgroupnm.com

Cc: Beaucaire, Shannon D. ; Parada, Naomi ; Winklepleck, Stephani I. ; jcloud@cabq.gov ; agomez@cabq.gov ; Pilar Vaile

Sent: Tuesday, September 11, 2012 1:34 PM

Subject: Meeting Amendment: Facilitated Meeting Report - Project #1007649

Hi all,

A meeting amendment is attached.

Jessie Eaton Lawrence
 PO Box 31854
 Santa Fe, NM 87594
 505-603-4351

----- Forwarded message -----

Hi all,

Attached, please find the meeting report from Monday's facilitated meeting. Should you read something in the report that you feel is an inaccurate representation of what was said in the meeting, please refer to the amendment parameters below.

I'm including links to the applicant survey for the GAHP team, and the participant survey for everyone else who attended the meeting:

Applicant survey: <http://www.cabq.gov/legal/adr/luf/land-use-facilitation-program-applicant-survey>

Participant survey: <http://www.cabq.gov/legal/adr/luf/land-use-facilitation-program-participant-survey>

Please take a moment to give the City the feedback that helps us to serve you. The City has

worked hard to make this process as user-friendly as possible. Your input is invaluable to the City ADR department, helping them meet their goals for continuous improvement to the Land Use Facilitation Program. It is also valuable for your facilitator, who is always looking to increase ways to meet your needs. Please be sure to include project number #1007649 and my name, Jessie Lawrence, at the top of the form.

Thank you for your participation in this meeting. Pilar and I enjoyed working with you.

Jessie Eaton Lawrence
PO Box 31854
Santa Fe, NM 87594
505-603-4351

Clarification of Amendment Parameters

In this program, I have limits on how I can utilize people's input in my reports. These limits are in place to preserve the integrity of my role and of my reports. My parameters are:

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Cloud, Jack W.

From: Jessie Eaton Lawrence [jess.lawrence@gmail.com]
Sent: Tuesday, September 11, 2012 1:36 PM
To: daringoldston@aol.com; abqgahp@msn.com; sljdrag0n@earthlink.net; albqmontoya1@aol.com; ckandm@q.com; barbley7@aol.com; hotrodsbychu@gmail.com; jeslopez@msn.com; teeter6to@yahoo.com; drobles3@msn.com; carrillocarol@ymail.com; mom2301br@aol.com; Injalopez@msn.com; ivanwestergaard@comcast.net; realmofpossibility@gmail.com; RoxannaM@csbsigns.com; mwade@designgroupnm.com; GHartman@designgroupnm.com
Cc: Beaucaire, Shannon D.; Parada, Naomi; Winklepleck, Stephani I.; Cloud, Jack W.; Gomez, Angela J.; Pilar Vaile
Subject: Fwd: Facilitated Meeting Report - Project #1007649

Please see the response to the action items from Louis Kolker below.

Jessie Eaton Lawrence
 PO Box 31854
 Santa Fe, NM 87594
 505-603-4351

----- Forwarded message -----

From: Louis Kolker <abqgahp@msn.com>
Date: Tue, Sep 11, 2012 at 1:33 PM
Subject: RE: Facilitated Meeting Report - Project #1007649
To: Jessie Eaton Lawrence <jess.lawrence@gmail.com>

Jessie,

The contact information for Monarch Properties is Susan Buchman at 260-4800. She will be able to answer any questions about Monarch's screening of tenants.

As far as background checks go I was told the following:

Tenants are screened:

1. In a national data base for any history of sex offender crimes.
2. There is a credit report pulled.
3. Then they are screened by address on their credit report in the state of their address for any criminal activity.
4. They do background reference checks with their past landlords.

I hope this helps answer any questions.

9/11/2012

119

Thanks,

Louis Kolker

Executive Director

Greater Albuquerque Housing Partnership

320 Gold Ave. SW Suite 918

Albuquerque, NM 87102

505-244-1614

505-244-0137

From: Jessie Eaton Lawrence [mailto:jess.lawrence@gmail.com]

Sent: Tuesday, September 11, 2012 11:42 AM

To: daringoldston@aol.com; abqgahp@msn.com; sljdrag0n@earthlink.net; albgmontoya1@aol.com; ckandm@q.com; barbley7@aol.com; hotrodsbychu@gmail.com; jeslopez@msn.com; teeter6to@yahoo.com; drobles3@msn.com; carrillocarol@ymail.com; mom2301br@aol.com; lnjalopez@msn.com; ivanwestergaard@comcast.net; realmofpossibility@gmail.com; RoxannaM@csbsigns.com; mwade@designgroupnm.com; GHartman@designgroupnm.com

Cc: Beaucaire, Shannon D.; Parada, Naomi; Winklepleck, Stephani I.; jcloud@cabq.gov; agomez@cabq.gov; Pilar Vaile

Subject: Facilitated Meeting Report - Project #1007649

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9/11/2012

120

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Participant survey: <http://www.cabq.gov/legal/adr/luf/land-use-facilitation-program-participant-survey>

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Jessie Eaton Lawrence

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Santa Fe, NM 87594

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Cloud, Jack W.

From: Vickie [realmofpossibility@gmail.com]
Sent: Tuesday, September 11, 2012 2:03 PM
To: Cloud, Jack W.
Cc: rbmiera@comcast.net; O'Malley, Debbie; Benton, Isaac; jortizyp@msn.com; Mayor Berry; Sanchez, Ken; Winter, Brad D.; Lewis, Dan P.; Garduno, Rey; Cook, Michael D.; Jones, Trudy; Harris, Don
Subject: Project # 1007649 Low-income apartments on Indian School, between Broadway and Indian School

Attachments: sbmtna letter.pdf

Dear DRB Chair Jack Cloud,

I respectfully request a deferral for the building permit for project #1007649, for the following reasons. Please find attached copy of the letter from the Santa Barbara Martinez Town Neighborhood Association giving approval for the development dated Nov. 11, 2011. Clearly in this letter of approval, no apartments are mentioned, and only "homes" are referred to. The residents of my neighborhood have the following questions; If the plan was presented with town homes and later changed, who reviewed the changes? What type of notification was given to change from town homes to apartments? Did the association get new changes? What notification was sent out regarding the change to property owners? I am also in the process of requesting the minutes, sign in sheet, and proof of notification to the residents of these changes, and initial notification of the project being considered, and time has to be allowed to retrieve this documentation. If these cannot be provided by the Santa Barbara Martinez Town Neighborhood Association, the letter they presented to the EPC is not worth the paper it is written on. Which brings up another matter of everyone in my neighborhood being "Denied due process, under the law", which is still one of our rights in the United States of America. There is a question, which we raised the last time your board meet, of proper notification to the residents of this project, which you ignored. This may be a civil rights matter, if they did not follow proper procedure and can't produce proof of proper notification. I respect the procedures and policies of your Review Board, and respectfully request to be allowed to be part of the process, by getting these matters of such great importance clarified. I am trying to avoid the necessity for legal intervention in this matter, by asking for time to get these questions answered. This is a project that will affect my neighborhood for generations to come. The only notification I've ever heard of, was two weeks ago, while protesting this development at a neighborhood meeting, was when Louis Kolker of GAHP, turned to Christina Apodaca and said he has verbal approval for the apts, because Christina Apodaca trusted him, and she nodded in approval. I am sorry, that is not notification, nor is it good enough to notify all parties in this matter!!!

Also, how can this building permit be issued with a new sector plan, right on the horizon, that hasn't even been finalized yet? The old sector plan is still in effect. What would be the harm in giving time for the new sector plan to finalize, as it is a sector plan we all will have to live with? Why should these apartments be exempt from all the scrutiny, and forced compliance we are all having to endure? Again, due process has been ignored by your board, regarding proper notification to our residents. I have petitions proving that the greatest majority of the residents were not notified of the sector plan, or notified of meetings held by Santa Barbara Neighborhood Association, regarding this issue, and the negative, down-zoning effects it would have on successful businesses in our area. In this economy this is ridiculous.

A number of people who have property are concerned for their solar rights, as we all would like to upgrade to green in the future.

We were involved in the facilitated meeting last night, which accomplished nothing, because our voice is never considered or taken into consideration, due to the issue of non-notification by the Santa Barbara Neighborhood Association, leaving us out of the process, which we would love to be a part of, given the opportunity. Again, being denied due process, by not allowing time to prove proper notification was not given, is a very real issue.

We need time at this point to get the above issues resolved since we were left out of the process until the building permit signs were posted. Please grant us this deferral, so we may regain our rightful voice in this issue, and be a part of deciding what happens in our neighborhood, where we ARE Stakeholders, where our life investment is at stake.

Please note, this letter also represents the concerns of the 100 + petition signers in this area who were never notified, and the concerns of Mr. Darin Goldston, and many others.

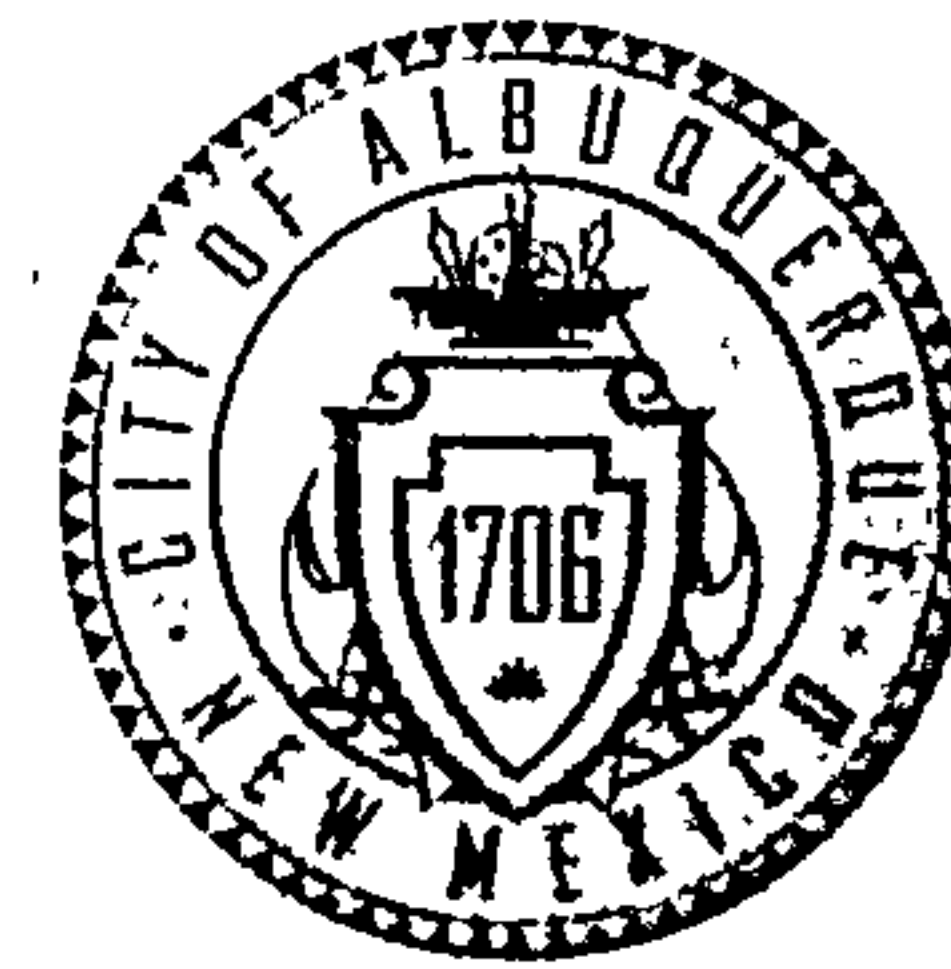
Sincerely,
 Vickie Early
 212 Arvada Ave NE
 Albuquerque, NM 87102
 505-306-0655
realmofpossibility@gmail.com

Darin Goldston
 402 Indian School Rd NE
 Albuquerque, NM 87102
 505-362-9001
darinGoldston@aol.com

9/11/2012

123

CITY OF ALBUQUERQUE



Planning Department

Suzanne Lubar, Acting Director

Development Review Division

600 2nd Street NW – 3rd Floor

Albuquerque, NM 87102

NOTICE OF APPEAL

September 28, 2012

TO WHOM IT MAY CONCERN:

The Planning Department received an appeal on September 27, 2012. You will receive a Notice of Hearing as to when the appeal will be heard by the Land Use Hearing Officer. If you have any questions regarding the appeal please contact Dora Henry, Planning Administrative Assistant at (505) 924-3883.

Please refer to the enclosed excerpt from the City Council Rules for Land Use Hearing Officer Rules of Procedure and Qualifications (adopted by F/S OC-04-6) for any questions you may have regarding the Land Use Hearing Officer rules of procedure.

PO Box 1293

Any questions you might have regarding Land Use Hearing Officer policy or procedures that are not answered in the enclosed rules can be answered by Crystal Ortega, Clerk to the Council, (505) 768-3100.

Albuquerque

CITY COUNCIL APPEAL NUMBER: AC-12-16

**PLANNING DEPARTMENT CASE FILE NUMBERS: 1007649
12DRB-70255**

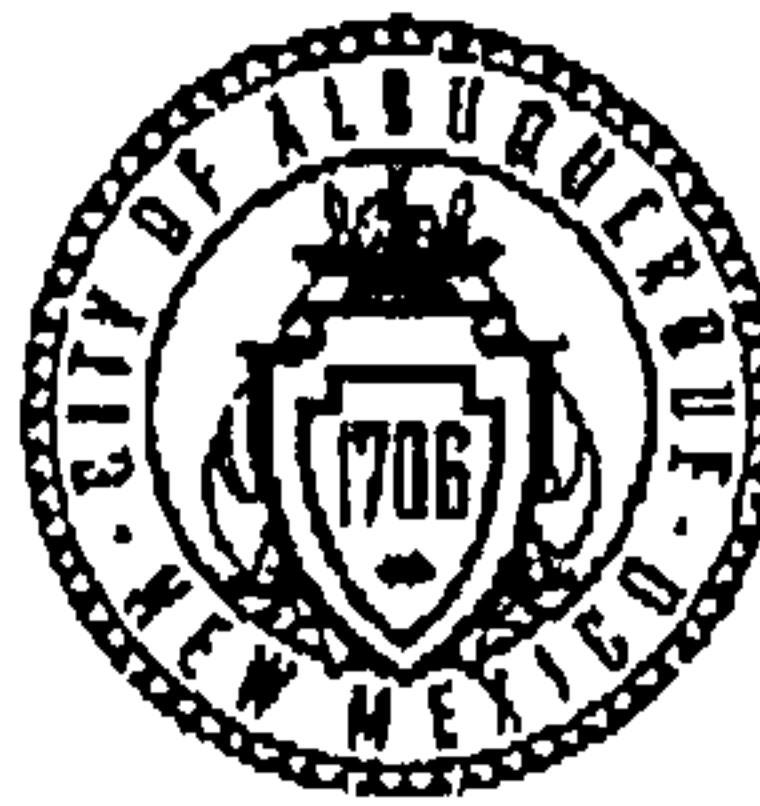
NM 87103

**APPELLANT(s): Darin Goldston, et al
402 Indian School Road NE
Albuquerque, New Mexico 87102**

www.cabq.gov

cc:

Hartman & Majewski Design Group, Mark Wade, 120 Vassar SE Suite 100, Albuquerque, NM 87106
Greater Albuquerque Housing Partnership, Louis Kolker, 320 Gold SW, Suite 918, Albuquerque, NM 87102
Roxanna Meyers – 2117 Commercial St NE, Albuquerque, NM 87102
Vickie Early – 212 Arvada Ave NE – Albuquerque, NM 87102
Carl Salazar – 219 Arvada Ave NE – Albuquerque, NM 87102
David Martinez – 400 Prospect NE – Albuquerque, NM 87102
Juana Baca – 216 Arvada NE – Albuquerque, NM 87102
Noel M. Baca – 216 Arvada NE – Albuquerque, NM 87102
Sonia Rascon – 305 Arvada NE – Albuquerque, NM 87102
Darin Goldston – 402 Indian School NE – Albuquerque, NM 87102
James Cericola – 309 McKnight NE – Albuquerque, NM 87102
Sharon Jackson – 333 McKnight NE – Albuquerque, NM 87102
Jack Cloud, Planning Department
Marilyn Maldonado, Planning Department
DRB File
Crystal Ortega, Clerk to the Council, City/County Bldg – 9th Floor



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

November 15, 2011

Mark Wade
Hartman and Majewski Design Group
120 Vassar Drive SE, Suite 100/87106
Phone: 505-242-6880, ext. 139/Fax: 505-242-6881

Dear Mark:

Thank you for your inquiry of November 15, 2011 requesting the names of **ALL Neighborhood and/or Homeowner Associations and Neighborhood Coalition(s)** who would be affected under the provisions of O-92 by your proposed project at **(EPC SUBMITTAL) - ALL OR A PORTION OF LOTS 1-3, BLOCK 9, FRANCISCAN ACRES, LOCATED ON INDIAN SCHOOL ROAD NE BETWEEN BROADWAY BOULEVARD NE AND EDITH BOULEVARD NE** zone map **H-14**.

Our records indicate that the **Neighborhood and/or Homeowner Associations and Neighborhood Coalition(s)** affected by this proposal and the contact names are as follows:

SANTA BARBARA-MARTINEZTOWN ASSOC. "R"

Chal-Marie Lucero
420 Hannett NE/87102 239-6071 (h)
Christina Chavez Apodaca
517 Marble NE/87102 459-4521 (h)

No Coalition to notify on this EPC Submittal – swinklepleck – 11/15/11

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani Winklepleck
Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATION.

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Return Receipt Fee (Endorsement Required)	\$2.30	Postmark Here
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.79	11/22/2011

Sent To
Chal-Marie Lucero
Street, Apt. No.,
or PO Box No. 420 Harnett Ave
City, State, ZIP+4
ABQ NM 87102
PS Form 3800, August 2006 See Reverse for Instructions

U.S. Postal Service™
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OFFICIAL USE

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Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.79	11/22/2011

Sent To
Christina Chavez Apodaca
Street, Apt. No.,
or PO Box No. 517 Marble NE
City, State, ZIP+4
ABQ NM 87102
PS Form 3800, August 2006 See Reverse for Instructions

7009 2820 0000 7581 6445

7009 2820 0000 7581 6445



NOTICE OF PUBLIC HEARING

Notice is hereby given that the City of Albuquerque Environmental Planning Commission (EPC) will hold a **Public Hearing on Thursday, January 12, 2012 at 8:30 a.m.**, in the Plaza del Sol Hearing Room, Lower Level, Plaza del Sol building, 600 2nd St. NW, Albuquerque, NM to consider the items described below.

Distribution of the Planning Department's staff reports regarding the following items will occur at a **Study Session on Thursday, January 5, 2012 at 3:00 p.m.**, in the Plaza del Sol Hearing Room, Lower Level, Plaza del Sol Building, 600 2nd St. NW, Albuquerque, NM.

Project# 1007649

11EPC-40081 Site Development Plan for Subdivision

The Hartman + Majewski Design Group, agent for Greater Albuquerque Housing Partnership, requests the above action for all or a portion of Lots 1-3, Block 9, Franciscan Acres, zoned SU-2/SU-1 FOR PRD, located on Indian School Road between Broadway Boulevard NE and Edith Boulevard NE containing approximately 3 acres. (H-14)
Randall Falkner, Staff Planner

Project# 1008656

11EPC-40082 Sector Development Plan Zone Map Amendment
11EPC-40083 Site Development Plan for Subdivision

Mark Goodwin and Associates, P.A., agent for Glendale, LLC, requests the above actions for all or a portion of Lots 4-9, Block 12, Tract 1, North Albuquerque Acres Unit 3, from R-D 3DU/A to SU-1 for R-D 5 DU/A, located on Glendale Ave between Wyoming and Barstow containing approximately 6 acres. (B-19) Carrie Barkhurst, Staff Planner

Project# 1009046

11EPC-40084 Sector Development Plan Zone Map Amendment
11EPC-40085 Site Development Plan for Subdivision

Mark Goodwin & Associates, P.A. agent for Sawmill Crossing, LLC, requests the above actions for all or a portion of Tract B-1-A-2, Duke City Lumber Company Addn., zoned SU-2/S-I to SU-2/SU-1 for PRD, located on Aspen Avenue, between Rio Grande Boulevard and 12th Street containing approximately 7 acres. (H-13)
Randall Falkner, Staff Planner

Project# 1009050
11EPC-40080 Sector Development Plan Zone
Map Amendment

Garcia/Kraemer & Assoc., agent for Gipson Enterprises, Inc., requests the above action for all or a portion of Lot 12A, Block 44, Terrace Addition, from SU-2 DR to SU-2 PR, located on Maple SE between Lead Ave. and Coal Ave. containing approximately 0.172 acres. (K-15) Carrie Barkhurst, Staff Planner

Project# 1001620
11EPC-40086 Amendment to Zoning Code,
Section 14-16-1-5

City of Albuquerque Planning Department, agent for City of Albuquerque, requests the above action for all or a portion of the City, an amendment to the definition for Adult Amusement Establishment and a new definition for Film Festival. (City Wide) Chris Hyer, Staff Planner

Project# 1003801
11EPC-40087 Zone Map Amendment (Zone
Change)

DAC Enterprises, Inc., agent for Douglas H. Peterson, d/b/a Peterson Properties, requests the above action for all or a portion of lot 28A, block A, Altura Addition, zoned SU-1/C-1 w/exceptions, to same w/amendment to Modification D, located on 2000 Carlisle Boulevard NE, between Indian School and Hallett, containing approximately .6412 acres. (J-16) Chris Hyer, Staff Planner

Details of these applications may be examined at the Current Planning Division of the Planning Department, 3rd Level, Plaza Del Sol Building, 600 Second Street NW, between 8:00 a.m. and 5:00 p.m., Monday through Friday, or you may call 924-3860. INDIVIDUALS WITH DISABILITIES who need special assistance to participate at the public hearing should call 924-3860.

Doug Peterson, Chair
Environmental Planning Commission

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL DECEMBER 21, 2011.

APPROVED

Carmen Marrone, Manager
Planning Department

**Martineztown/Santa Barbara Sector Development Plan Amendment
Meeting #1**

Agenda

November 13, 2012

6:30 – 8:30

When	What	Who
6:30 – 6:35	Open Meeting	Kathleen Oweegon - Facilitator
6:35 - 6:50	Presentation	Lorena Patten-Quintana – City Planner, Andrew Webb – City Council Planning Policy Analyst
6:50 – 7:05	Q & A [No comments at this time]	Kathleen facilitate
7:05 – 8:05	Topic related break-out groups for commenting	Facilitators
8:05 – 8:20	Prioritization	Participants
8:20 – 8:30	Next Steps	Kathleen & Lorena

Paul

Clarification of Common Misconceptions

- Many of you have given testimony on the record & submitted written comments. Thank you for your input.
- Some of the concerns expressed on the record were based on erroneous or outdated information.
- The information many people are receiving is incorrect and/or outdated.
- This document is designed to help clear up and clarify those matters.

Misconception #1

The first consultant, Sites Southwest listened to us, and after their contract ended, there has been no effort to work with us. The city is not listening to the community.

The City listened – Approximately 35 meetings to date

- From late 2007 to early 2009 we met almost exclusively with the advisory committee (13 residents attended at least 1 meeting).
- For the next several months, the city conducted small group meetings to share the advisory committee's vision and take further community input – we notified all property owners in order to gain input from all stakeholders. In 2009 the Sites Southwest contract ended.
- City prepared a draft that included all of the inputs received and presented it in September of 2010 at the Embassy Suites Hotel.
- Since then, a new consultant was hired along with a facilitator to conduct additional meetings, surveys, market studies and workshops.
- Every phase, every survey, every consultant informed the current redline draft.

The EPC listened

At the March 1, 2012 hearing, stakeholders were not in agreement with the zoning and land use proposals. The EPC recommended a 60 day continuance to May 3, 2012. Martineztown Work Group requested the deferral because “the general public has not had sufficient time to review the proposed sector plan”.

At the May 3, 2012 hearing, 3 stakeholders groups had begun negotiations and requested a 30 day continuance to June in order to complete a “Memorandum of Understanding”(MOU). The EPC granted a 90 day continuance to August 2nd.

At the August 2, 2012 hearing, no MOU was submitted. The City submitted a revised draft that incorporated the comments received since March 1. The community asked for a 6 month deferral in order for “this latest revision to be thoroughly vetted for full understanding of all the stakeholders”. The EPC granted a 6 month deferral to allow the community ample time to study the revised draft plan and participate in facilitated meetings planned for November, 2012. The 6 month deferral was granted to allow additional time for staff to work with the community to better explain the proposed zone changes and to hear additional feed back and comments.

Misconception #2

The City never notified us about the process

The City is required to mail notification to *property owners of record* within 100 feet of the plan boundary as well as all affected NA's. We get our addresses from the Bernalillo County Assessor's Office. Official notification is sent for the plan kick-off meeting, EPC hearings, and for this plan, several additional notices.

Misconception #3

This is the City's vision not our vision

The vision developed by the advisory committee on October 15, 2007 is as follows:

“Martineztown/Santa Barbara shall remain a low-density residential neighborhood that is family and child-friendly. Preservation of its historic architectural character shall be maintained through preservation of historic buildings and development of new affordable infill housing or redevelopment to fit that character. Its streets shall be narrow, pleasant, walkable and safe for pedestrians with good multi-modal circulation. There will be some preservation of open space, opportunities for multi-generational recreation and a local restaurant and market for residents to walk to. Stormwater drainage will be sufficient, and there will be adequate parking and paved streets.”

Here is how the City responded to the neighborhood vision.

- a) low density residential neighborhood – the res zones proposed are low density
- b) preservation of historic character – regulated in the design section of the plan
- c) development of new affordable infill housing – the residential infill zone
- d) local restaurant/market – zoning that allows very limited retail/services in certain locations
- e) plan policies and capital improvement projects address circulation, drainage and streets

Misconception # 4

The City is trying to rename us “Gateway”

The City respects the historic value and community identity of Santa Barbara/Martineztown. The plan recommends adding gateway features which are signs that let residents and visitors know what a special place you live in and celebrate the rich history here. The City is not attempting to rename the neighborhood.

Misconception #5

The existing zoning is illegal

The existing zoning is legal. It was adopted by City Council in 1990 after going through a 3 year public process.

Misconception #6

The City is down zoning C-3 properties north of I-40

While the name of the zone is proposed to change from C-3 to C/LI to reflect additional uses, there is no change in existing permissive uses. If however, the property abuts residential (only 3 property owners) – certain permissive uses become conditional.

Misconception #7

The City is zoning our historic neighborhood commercial

All single family residential zoning remains. What is proposed to change is the RCM and NRC in the neighborhood core. These are currently commercial zones and they allow up to 100% of the ground floor area as commercial. The new zoning that is proposed to replace RCM and NRC is residential.

CERICOLA JAMES D & KAREN S
Or Current Occupant
309 MCKNIGHT AVE NE
ALBUQUERQUE NM 87102

GOLDSTON INVESTMENT CO LTD.
Or Current Occupant
PO BOX 26356
ALBUQUERQUE NM 87125

MAESTAS SALOMON & GLORIA M
Or Current Occupant
335 MCKNIGHT DR NE
ALBUQUERQUE NM 87102

MENDOZA ADA ZULEMA
Or Current Occupant
311 MCKNIGHT AVE NE
ALBUQUERQUE NM 87102

LUCERO SHARON A & STEPHEN C
Or Current Occupant
3653 W MARTINEZ RD
EDGEWOOD NM 87015

GOLDSTON INVESTMENT CO. LTD
Or Current Occupant
PO BOX 26356
ALBUQUERQUE NM 87125

GREATER ALBUQUERQUE HOUSING
PARTNERSHIP
Or Current Occupant
320 GOLD AVE SW 918
ALBUQUERQUE NM 87102

GRIEGO SALOMON
Or Current Occupant
317 MCKNIGHT AVE NE
ALBUQUERQUE NM 87102

TKW PROPERTIES LLC
Or Current Occupant
6012 N CENTRAL AVE
PHOENIX AZ 85012

LAWLIS JEFF E
Or Current Occupant
PO BOX 30205
ALBUQUERQUE NM 87110

MIKKIMOTO LLC
Or Current Occupant
PO BOX 16112
ALBUQUERQUE NM 87191

LUCERO BETTY
Or Current Occupant
313 MCKNIGHT AVE NE
ALBUQUERQUE NM 87102

LUCERO SHARON A & STEPHEN C
Or Current Occupant
3653 W MARTINEZ RD
EDGEWOOD NM 87015

CDA INVESTMENTS LLC
Or Current Occupant
PO BOX 52427
ATLANTA GA 30355

GREATER ALBUQUERQUE HOUSING
PARTNERSHIP
Or Current Occupant
320 GOLD AVE SW SUITE 918
ALBUQUERQUE NM 87102

HARRIS LINDA LOUISE C/O JACKSON
SHERREY L
Or Current Occupant
333 MCKNIGHT AVE NE
ALBUQUERQUE NM 87102

MF CUMMINS LP
Or Current Occupant
281 TULANE DR
LARKSPUR CA 94939

REYES GISELA
Or Current Occupant
1916 BROADWAY BLVD NE
ALBUQUERQUE NM 87102

ASHCRAFT DAVID & MOLLY
Or Current Occupant
2716 VASSAR PL NE
ALBUQUERQUE NM 87107

Mark Wade
120 Vassar SE Suite 100
Albuquerque, NM 87106

Louis Kolker
320 Gold SW Suite 918
Albuquerque, NM 87102

Santa Barbara-MartinezTown ASSOC.
Chal-Marie Lucero
420 Hannett NE
Albuquerque, NM 87102

Santa Barbara- Martineztown ASSOC.
Christina Chavez Apodaca
517 Marble NE
Albuquerque, NM 87102

Or Current Occupant



NOTICE OF PUBLIC HEARING

Notice is hereby given that the City of Albuquerque Environmental Planning Commission (EPC) will hold a **Public Hearing on Thursday, January 12, 2012 at 8:30 a.m.**, in the Plaza del Sol Hearing Room, Lower Level, Plaza del Sol building, 600 2nd St. NW, Albuquerque, NM to consider the items described below.

Distribution of the Planning Department's staff reports regarding the following items will occur at a **Study Session on Thursday, January 5, 2012 at 3:00 p.m.**, in the Plaza del Sol Hearing Room, Lower Level, Plaza del Sol Building, 600 2nd St. NW, Albuquerque, NM.

Project# 1007649

11EPC-40081 Site Development Plan for
Subdivision

The Hartman + Majewski Design Group, agent for Greater Albuquerque Housing Partnership, requests the above action for all or a portion of Lots 1-3, Block 9, Franciscan Acres, zoned SU-2/SU-1 FOR PRD, located on Indian School Road between Broadway Boulevard NE and Edith Boulevard NE containing approximately 3 acres. (H-14)
Randall Falkner, Staff Planner

Project# 1008656

11EPC-40082 Sector Development Plan Zone
Map Amendment
11EPC-40083 Site Development Plan for
Subdivision

Mark Goodwin and Associates, P.A., agent for Glendale, LLC, requests the above actions for all or a portion of Lots 4-9, Block 12, Tract 1, North Albuquerque Acres Unit 3, from R-D 3DU/A to SU-1 for R-D 5 DU/A, located on Glendale Ave between Wyoming and Barstow containing approximately 6 acres. (B-19) Carrie Barkhurst, Staff Planner

Project# 1009046

11EPC-40084 Sector Development Plan Zone
Map Amendment
11EPC-40085 Site Development Plan for
Subdivision

Mark Goodwin & Associates, P.A. agent for Sawmill Crossing, LLC, requests the above actions for all or a portion of Tract B-1-A-2, Duke City Lumber Company Addn., zoned SU-2/S-I to SU-2/SU-1 for PRD, located on Aspen Avenue, between Rio Grande Boulevard and 12th Street containing approximately 7 acres. (H-13)
Randall Falkner, Staff Planner

Project# 1009050
11EPC-40080 Sector Development Plan Zone
Map Amendment

Garcia/Kraemer & Assoc., agent for Gipson Enterprises, Inc., requests the above action for all or a portion of Lot 12A, Block 44, Terrace Addition, from SU-2 DR to SU-2 PR, located on Maple SE between Lead Ave. and Coal Ave. containing approximately 0.172 acres. (K-15) Carrie Barkhurst, Staff Planner

Project# 1001620
11EPC-40086 Amendment to Zoning Code,
Section 14-16-1-5

City of Albuquerque Planning Department, agent for City of Albuquerque, requests the above action for all or a portion of the City, an amendment to the definition for Adult Amusement Establishment and a new definition for Film Festival. (City Wide) Chris Hyer, Staff Planner

Project# 1003801
11EPC-40087 Zone Map Amendment (Zone
Change)

DAC Enterprises, Inc., agent for Douglas H. Peterson, d/b/a Peterson Properties, requests the above action for all or a portion of lot 28A, block A, Altura Addition, zoned SU-1/C-1 w/exceptions, to same w/amendment to Modification D, located on 2000 Carlisle Boulevard NE, between Indian School and Hallett, containing approximately .6412 acres. (J-16) Chris Hyer, Staff Planner

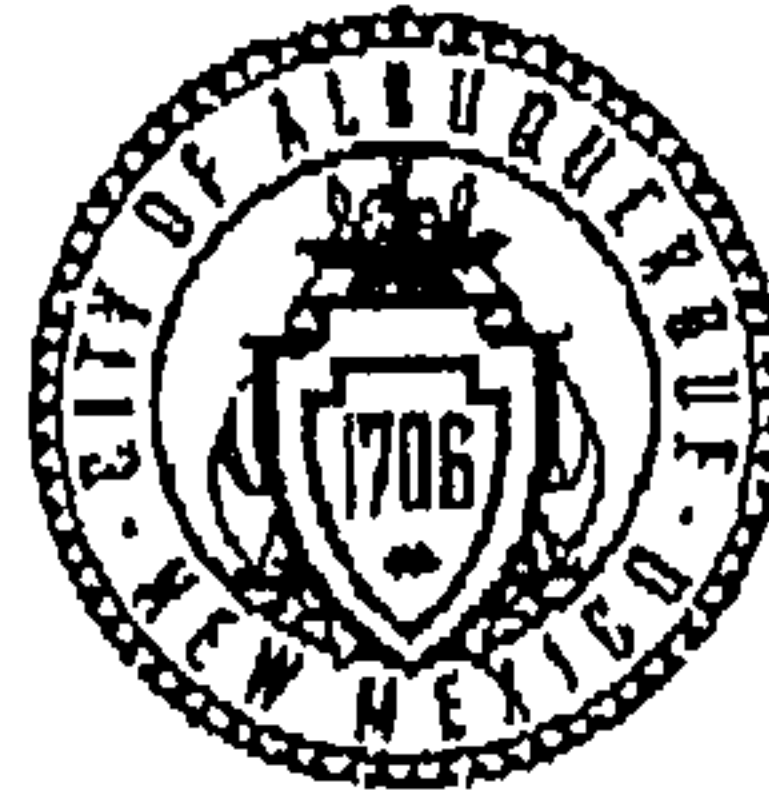
Details of these applications may be examined at the Current Planning Division of the Planning Department, 3rd Level, Plaza Del Sol Building, 600 Second Street NW, between 8:00 a.m. and 5:00 p.m., Monday through Friday, or you may call 924-3860. INDIVIDUALS WITH DISABILITIES who need special assistance to participate at the public hearing should call 924-3860.

Doug Peterson, Chair
Environmental Planning Commission

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL DECEMBER 21, 2011.

APPROVED

Carmen Marrone, Manager
Planning Department



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

November 15, 2011

Mark Wade
Hartman and Majewski Design Group
120 Vassar Drive SE, Suite 100/87106
Phone: 505-242-6880, ext. 139/Fax: 505-242-6881

Dear Mark:

Thank you for your inquiry of November 15, 2011 requesting the names of **ALL Neighborhood and/or Homeowner Associations and Neighborhood Coalition(s)** who would be affected under the provisions of O-92 by your proposed project at **(EPC SUBMITTAL) – ALL OR A PORTION OF LOTS 1-3, BLOCK 9, FRANCISCAN ACRES, LOCATED ON INDIAN SCHOOL ROAD NE BETWEEN BROADWAY BOULEVARD NE AND EDITH BOULEVARD NE** zone map **H-14.**

Our records indicate that the **Neighborhood and/or Homeowner Associations and Neighborhood Coalition(s)** affected by this proposal and the contact names are as follows:

SANTA BARBARA-MARTINEZTOWN ASSOC. "R"
Chal-Marie Lucero
420 Hannett NE/87102 239-6071 (h)
Christina Chavez Apodaca
517 Marble NE/87102 459-4521 (h)

No Coalition to notify on this EPC Submittal – swinklepleck – 11/15/11

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani Winklepleck
Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATION.

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Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.79	11/22/2011

Sent To Chal-Marie Lueerd
 Street, Apt. No.,
 or PO Box No. 420 Hawthett Ave
 City, State, ZIP+4
ABQ NM 87102

7009 2820 0000 7581 6445

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

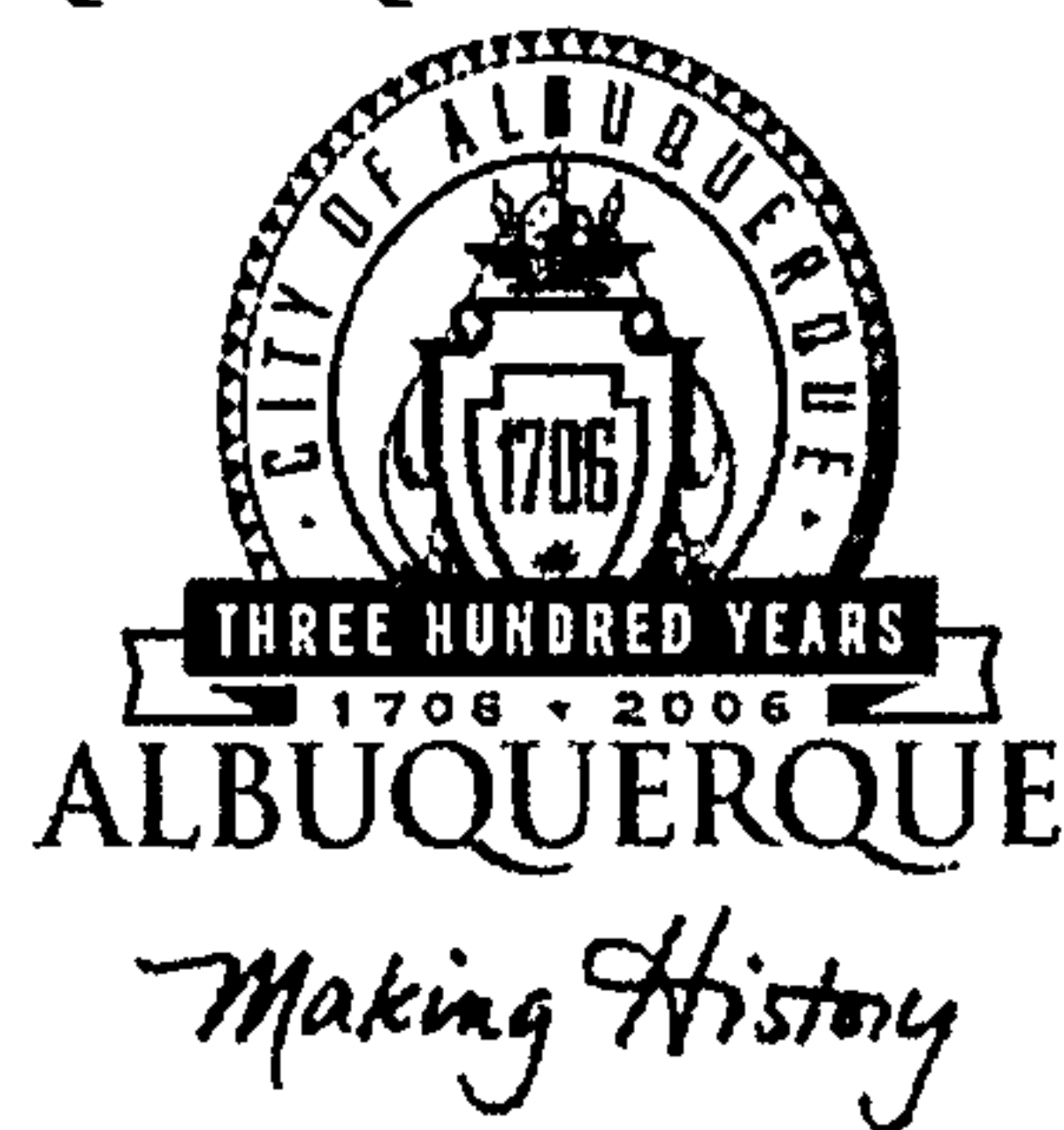
For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$ 0.64	0106
Certified Fee	\$2.85	10
Return Receipt Fee (Endorsement Required)	\$2.30	Postmark Here
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.79	11/22/2011

Sent To Christina Chavez Apodaca
 Street, Apt. No.,
 or PO Box No. 517 Mackle NE
 City, State, ZIP+4
ABQ NM 87102

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL ON SUNDAY, OCTOBER 21, 2012



NOTICE OF PUBLIC HEARING
CITY COUNCIL OF THE CITY OF ALBUQUERQUE

TO ALL CITIZENS AND PARTIES IN INTEREST:

Notice is hereby given that the City of Albuquerque Land Use Hearing Officer will hold a public hearing on **MONDAY, NOVEMBER 5, 2012**, at **9:00 a.m.** in the Council Committee Room, 9th Floor, Albuquerque/Bernalillo County Government Center, One Civic Plaza NW, to consider the following:

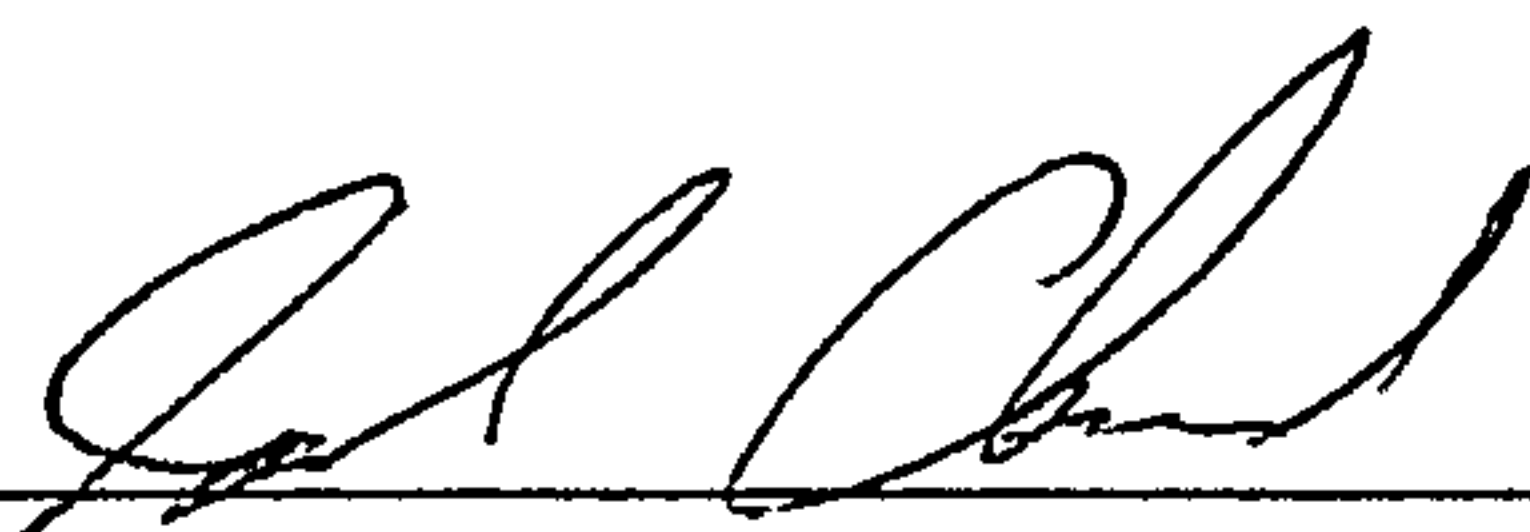
AC-12-16 – Project# 1007649 – 12DRB-70255 - Darin Goldston et.al. appeal THE DEVELOPMENT REVIEW BOARD’S APPROVAL OF- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT HARTMAN & MAJEWSKI DESIGN GROUP agent(s) for GREATER ALBUQUERQUE HOUSING PARTNERSHIP request(s) the referenced/ above action(s) for all or a portion of Lot(s) A, Block(s) 9, FRANCISCAN ACRES zoned SU-2/ SU-1/ PRD, located on the south side of INDIAN SCHOOL NE between BROADWAY BLVD NE and EDITH BLVD NE containing approximately 2.99 acre(s). (H-14, H-15)

Details of the above may be examined at the Current Planning Division of the Planning Department, 3rd Floor, Plaza del Sol Building, 600 Second St. NW, Monday thru Friday, between 9 am - 4 pm.

Trudy Jones
City Council President

NOTICE TO PERSONS WITH DISABILITIES: If you have a disability and require special assistance to participate in this meeting, please contact the Council office at least one day before the meeting date at 768-3100. TTY users please call New Mexico Relay Network toll free at 1-800-659-8331.

APPROVED: _____


Jack Cloud, Chair
Development Review Board

CITY OF ALBUQUERQUE



Planning Department

Suzanne Lubar, Acting Director

Current Planning Division

600 2nd Street NW – 3rd Floor

Albuquerque, NM 87102

NOTICE OF HEARING

October 18, 2012

Darin Goldston
402 Indian School Rd NE
Albuquerque, New Mexico 87102

AC-12-16 – Project# 1007649 – 12DRB-70255 - Darin Goldston et.al. appeal THE DEVELOPMENT REVIEW BOARD'S APPROVAL OF- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT HARTMAN & MAJEWSKI DESIGN GROUP agent(s) for GREATER ALBUQUERQUE HOUSING PARTNERSHIP request(s) the referenced/ above action(s) for all or a portion of Lot(s) A, Block(s) 9, FRANCISCAN ACRES zoned SU-2/ SU-1/ PRD, located on the south side of INDIAN SCHOOL NE beyween BROADWAY BLVD NE and EDITH BLVD NE containing approximately 2.99 acre(s). (H-14, H-15)

PO Box 1293

Albuquerque

NM 87103

The City of Albuquerque Land Use Hearing Officer will hear the above appealed case on **Monday, November 5, 2012**. The hearing begins at **9:00 am** in the Council Committee Room, 9th Floor, Albuquerque/Bernalillo County Government Center, One Civic Plaza NW.

Submittal of new information or questions regarding the hearing with the City Council should be directed to Council Services, c/o Crystal Ortega, One Civic Plaza NW, 9th Floor, Albuquerque NM 87102, (505) 768-3100.

www.cabq.gov If you would like a copy of the record submitted to the City Council, copies are available upon request by calling (505) 924-3883.

Sincerely,


Dora Henry

Administrative Assistant

cc:

Hartman & Majewski Design Group, Mark Wade, 120 Vassar SE Suite 100, Albuquerque, NM 87106
Greater Albuquerque Housing Partnership, Louis Kolker, 320 Gold SW, Suite 918, Albuquerque, NM 87102
Roxanna Meyers – 2117 Commercial St NE, Albuquerque, NM 87102
Vickie Early – 212 Arvada Ave NE – Albuquerque, NM 87102
Carl Salazar – 219 Arvada Ave NE – Albuquerque, NM 87102
David Martinez – 400 Prospect NE – Albuquerque, NM 87102
Juana Baca – 216 Arvada NE – Albuquerque, NM 87102
Noel M. Baca – 216 Arvada NE – Albuquerque, NM 87102
Sonia Rascon – 305 Arvada NE – Albuquerque, NM 87102
Darin Goldston – 402 Indian School NE – Albuquerque, NM 87102
James Cericola – 309 McKnight NE – Albuquerque, NM 87102
Sharon Jackson – 333 McKnight NE – Albuquerque, NM 87102
Jack Cloud, Planning Department
Marilyn Maldonado, Planning Department
DRB File
Crystal Ortega, Clerk to the Council, City/County Bldg – 9th Floor

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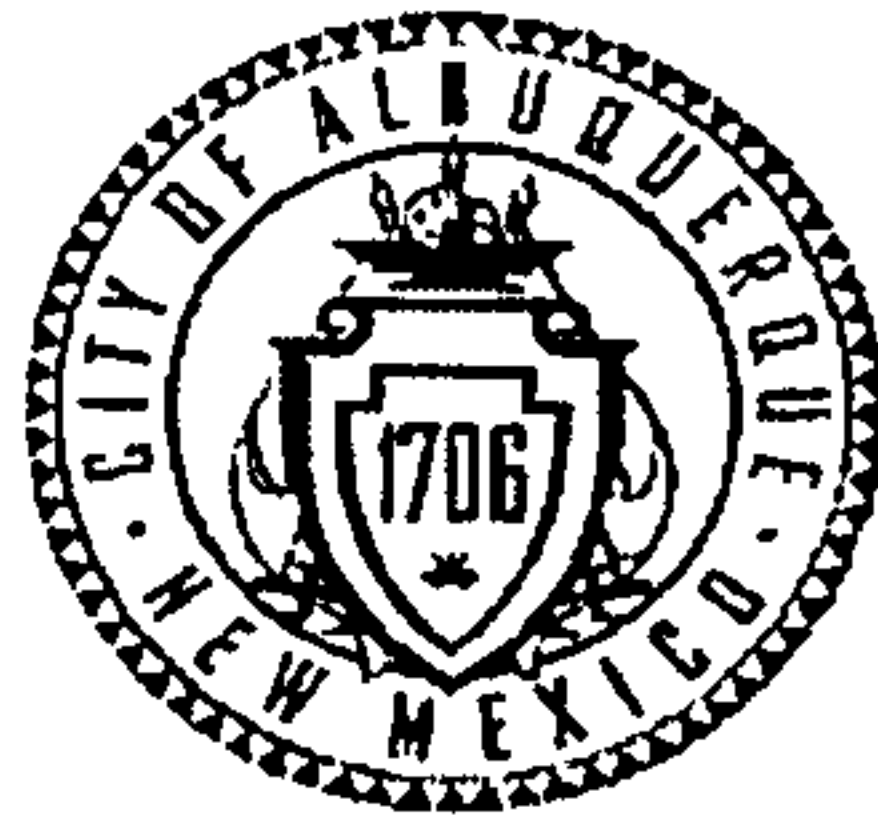
**** Ad Proof ****

CITY OF ALB-PLANNING DEPT
ATTN VANESSA JARAMILLO
PO BOX 1293
ALBUQUERQUE NM 87103

<u>Ordered By</u>	dora henry	<u>Customer Phone</u>	505-924-3359	<u>Pickup #</u>	
<u>Customer EMail</u>		<u>PQ Number</u>	c18244	<u>Joint Ad #</u>	
<u>Ad Cost</u>	\$45.99	<u>Sales Rep</u>	pnorman		
<u>Tax Amount</u>	\$3.22	<u>Order Taken by:</u>	pnorman		
<u>Total Amount</u>	\$49.21	<u>Payment Method</u>			
<u>Amount Due</u>	\$49.21	<u>Payment Amount</u>	\$0.00		

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<u>Ad Number</u>	0001016582-01	<u>Classification</u>	Government-0000
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<u>Color</u>	<NONE>		
<u>Run Dates</u>	10/21/2012		

Affidavits
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NOTICE OF PUBLIC HEARING
CITY COUNCIL OF THE CITY OF
ALBUQUERQUE

TO ALL CITIZENS AND PARTIES
IN INTEREST:

Notice is hereby given that the City of Albuquerque Land Use Hearing Officer will hold a public hearing on MONDAY, NOVEMBER 5, 2012, at 9:00 a.m. in the Council Committee Room, 9th Floor, Albuquerque/Bernalillo County Government Center, One Civic Plaza NW, to consider the following:

AC-12-16 - Project# 1007649 - 12DRB-76255 - Darin Goldston et.al. appeal THE DEVELOPMENT REVIEW BOARD'S APPROVAL OF SITE DEVELOPMENT PLAN FOR BUILDING PERMIT HARTMAN & MAJEWSKI DESIGN GROUP agent(s) for GREATER ALBUQUERQUE HOUSING PARTNERSHIP request(s) the referenced/above action(s) for all or a portion of Lot(s) A, Block(s) 9, FRANCIS-

CAN ACRES zoned SU-2/ SU-1/
PRD, located on the south side of
INDIAN SCHOOL NE between
BROADWAY BLVD NE and ED-
ITH BLVD NE containing approxi-
mately 2.99 acre(s). (H-14, H-15)

Details of the above may be exam-
ined at the Current Planning Divi-
sion of the Planning Department,
3rd Floor, Plaza del Sol Building,
600 Second St. NW, Monday thru
Friday, between 9 am - 4 pm.
Trudy Jones
City Council President

NOTICE TO PERSONS WITH
DISABILITIES: If you have a disa-
bility and require special assis-
tance to participate in this meeting,
please contact the Council office
at least one day before the meet-
ing date at 768-3100. TTY users
please call New Mexico Relay Net-
work toll free at 1-800-659-8331.

APPROVED:
Jack Cloud, Chair
Development Review Board
Journal: October 21, 2012

Henry, Dora N.

From: Henry, Dora N.
Sent: Wednesday, October 17, 2012 10:14 AM
To: 'legals@abqpubco.com'
Subject: AC-12-16

Please advertise the attached legal ad in Sunday, October 21, 2012 edition of the Journal.



AC-12-16.doc (5
MB)

account number C80583
PO# C-18244

Thank you

Dora Henry, Administrative Assistant
Urban Design and Development Division
Plaza Del Sol
600 2nd Street NW, 3rd floor
Albuquerque, NM 87102
(505) 924-3883
(505) 924-3339 Fax
dhenry@cabq.gov

TIMOTHY V. FLYNN-O'BRIEN

Attorney at Law
817 Gold Avenue SW
Albuquerque, New Mexico 87102-3014
Phone: 505-242-4088 / Fax: 866-428-7568

October 12, 2012

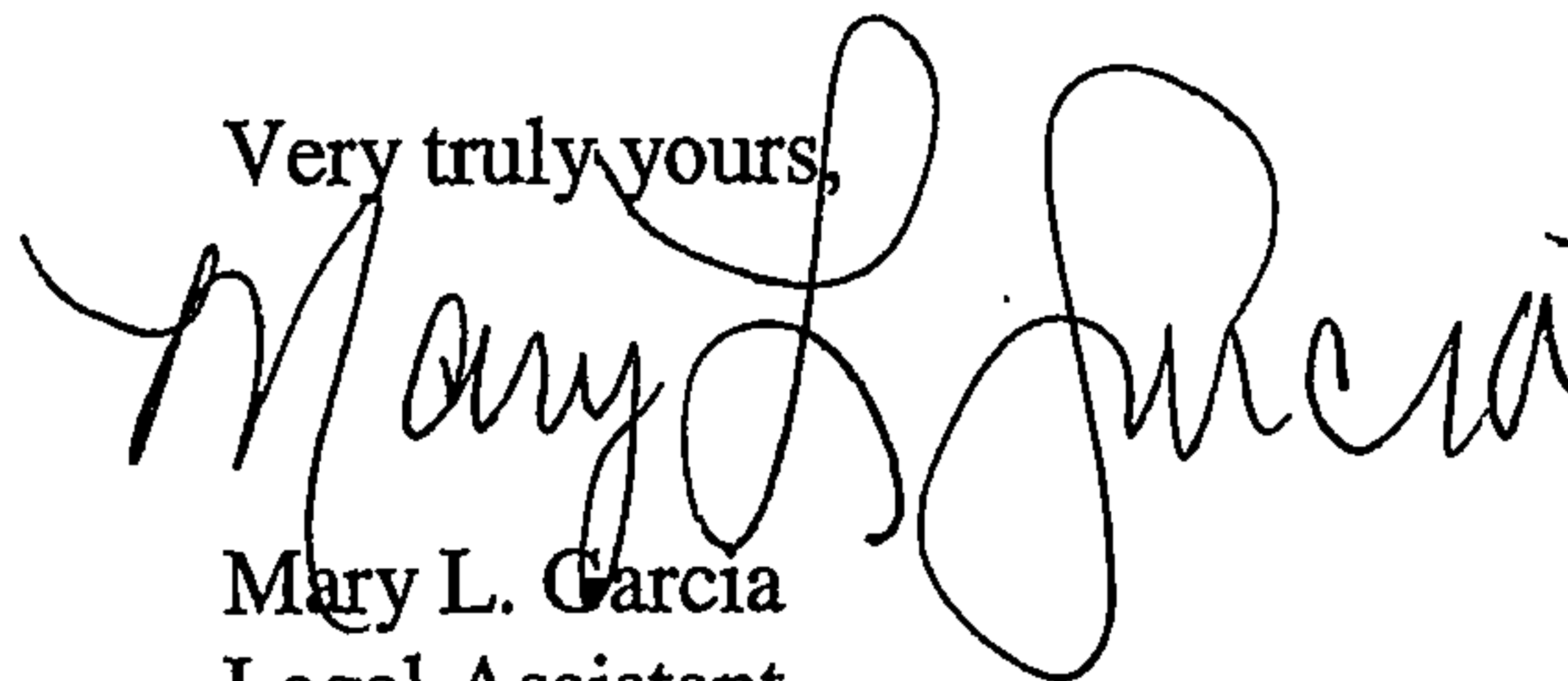
Crystal Ortega, Council Services
Albuquerque City Council
City of Albuquerque
One Civic Plaza NW, 9th Floor
Albuquerque, New Mexico 87102

RE: AC-12-16

Dear Ms. Ortega:

Enclosed is an Entry of Appearance on behalf of Greater Albuquerque Housing Partnership in Appeal Number AC-12-16. Copies are being sent to all parties listed on the Notice of Appeal. If you have any questions, please do not hesitate to contact this office. Thank you.

Very truly yours,



Mary L. Garcia
Legal Assistant

/mlg
Enclosure as stated

CITY OF ALBUQUERQUE
LAND USE HEARING OFFICER

City Council Appeal Number: AC-12-16
Planning Department Case File Numbers: 1007649
12DRB-70255

APPELLANT(s): Darin Goldston, et al.
402 Indian School Road NE
Albuquerque, New Mexico 87102

ENTRY OF APPEARANCE

COMES NOW Timothy V. Flynn-O'Brien and hereby enters his appearance on behalf of
Greater Albuquerque Housing Partnership in the above-captioned matter.

Respectfully submitted,

By: _____
Timothy V. Flynn-O'Brien
817 Gold Avenue SW
Albuquerque, New Mexico 87102
(505) 242-4088

*Attorney for Greater Albuquerque Housing
Partnership*

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that a true and correct copy of the foregoing was mailed this 12th day of October, 2012 to:

Bruce Thompson
City of Albuquerque Council Services
One Civic Plaza NW, 9th Floor
P.O. Box 1293
Albuquerque, New Mexico 87102

Carl Salazar
219 Arvada Ave NE
Albuquerque, New Mexico 87102

Jack Cloud
City of Albuquerque Planning Department
600 2nd Street NW
Albuquerque, New Mexico 87102

David Martinez
400 Prospect NE
Albuquerque, New Mexico 87102

Marilyn Maldonado
City of Albuquerque Planning Department
600 2nd Street NW
Albuquerque, New Mexico 87102

Juana Baca
216 Arvada Ave NE
Albuquerque, New Mexico 87102

Darin Goldston
402 Indian School Road NE
Albuquerque, New Mexico 87102

Noel M. Baca
216 Arvada Ave NE
Albuquerque, New Mexico 87102

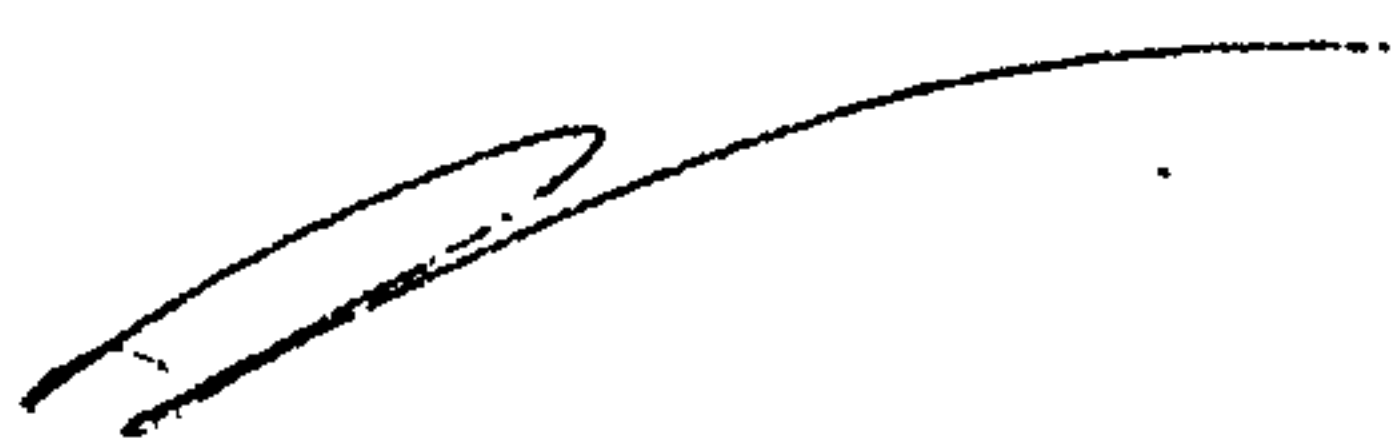
Mark Wade
Hartman & Majewski Design Group
120 Vassar SE, Suite 100
Albuquerque, New Mexico 87106

Sonia Rascon
305 Arvada Ave NE
Albuquerque, New Mexico 87102

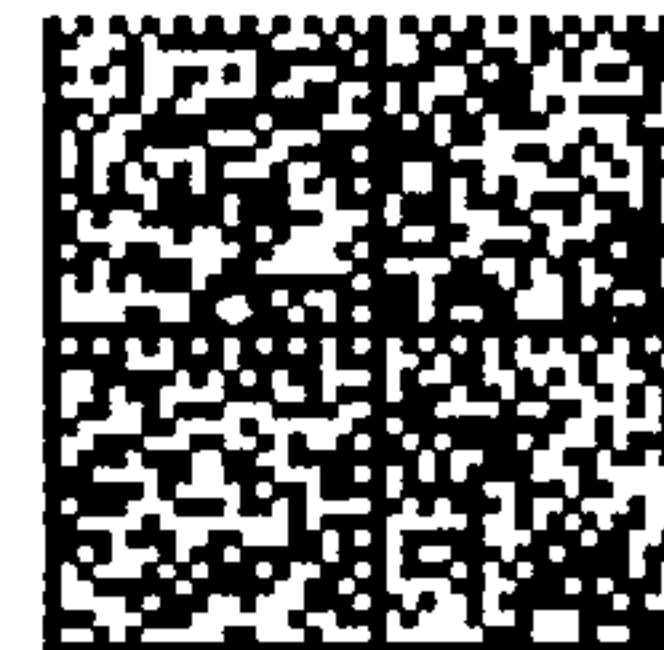
Roxanna Meyers
2117 Commercial St. NE
Albuquerque, New Mexico 87102

Sharon Jackson
333 McKnight NE
Albuquerque, New Mexico 87102

Vickie Early
212 Arvada Ave NE
Albuquerque, New Mexico 87102

By: 
Timothy V. Flynn-O'Brien

MOTHY V. FLYNN-O'BRIEN
Attorney at Law
817 Gold Avenue SW
Albuquerque, New Mexico 87102-3014



02 1P **\$ 000.45⁰**
0004417580 OCT 12 2012
MAILED FROM ZIP CODE 87102

Jack Cloud
City of Albuquerque Planning Department
600 2nd Street NW
Albuquerque, New Mexico 87102

8710232265





OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

September 12, 2012

Project# 1007649

12DRB-70255 MAJOR - SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

HARTMAN & MAJEWSKI DESIGN GROUP agent(s) for GREATER ALBUQUERQUE HOUSING PARTNERSHIP request(s) the referenced/ above action(s) for all or a portion of Lot(s) A, Block(s) 9, **FRANCISCAN ACRES** zoned SU-2/ SU-1/ PRD, located on the south side of INDIAN SCHOOL NE between BROADWAY BLVD NE and EDITH BLVD NE containing approximately 2.99 acre(s). (H-14, H-15) [*Deferred from 9/5/12*]

With an approved Grading and Drainage plan stamp dated 8-31-2012, and with the signing of the infrastructure list dated September 12, 2012, the Site Development Plan for Building Permit was approved with the following Findings and Conditions.

Findings

1. The land use and zoning for this property was previously approved by the Environmental Planning Commission/ EPC in 2009 [Application No. 09EPC-40007].
2. The Site Development Plan for Subdivision for this property was previously approved by the Environmental Planning Commission/ EPC in January of this year [Application No. 11EPC-40081].
3. The City Attorney's office has reviewed the file for 11EPC-40081 and found the notification for that case was in compliance with the requirements of the City Zoning Code.
4. This Site Development Plan for Building Permit is found to be in compliance with the approved Site Development Plan for Subdivision.

CONDITIONS:

1. Final sign-off is delegated to the City Engineer for completion of the Subdivision Improvements Agreement/ SIA.
2. Final sign-off is delegated to Planning for corrected references for all existing easements, and for expiration/ completion of the 15 day appeal period.

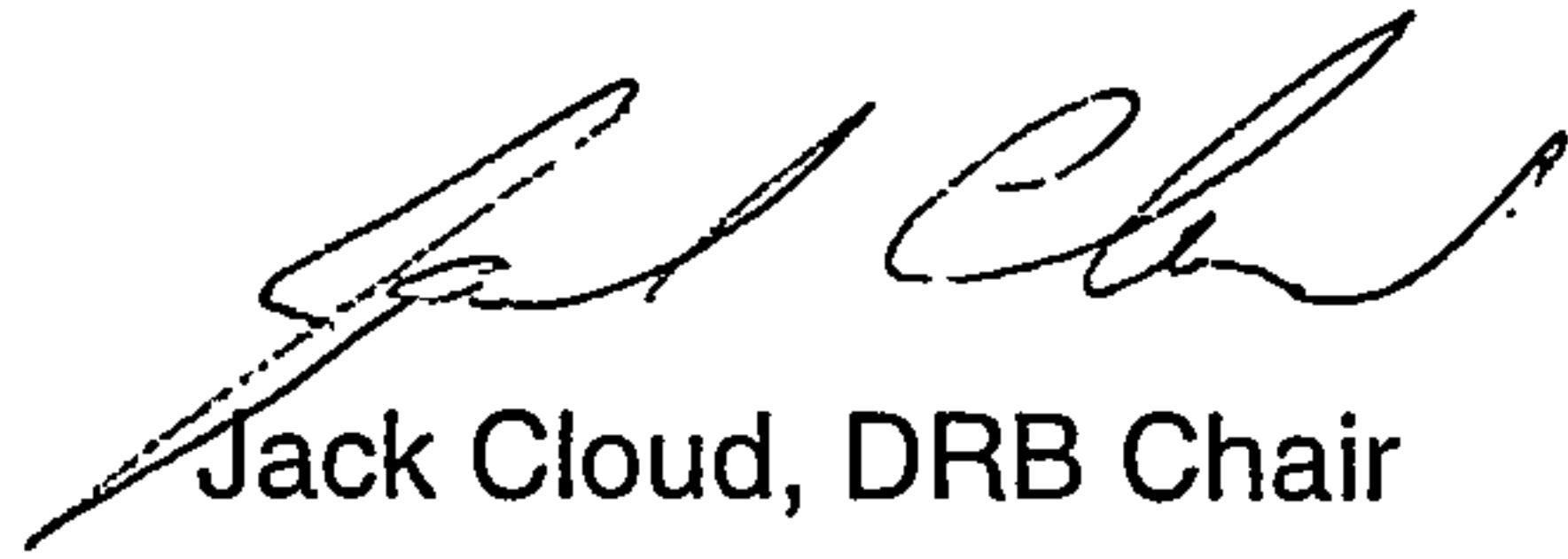
If you wish to appeal this decision, you must do so by September 27, 2012; appeal is to the Land Use Hearing Officer. Any person with standing as determined by § 14-16-4-4(B)(2) of the Zoning Code who is aggrieved with this determination of the Development Review Board may file an appeal on the Planning Department form with appropriate fee, to the Planning Department Front Counter at 600 2nd St NW.

Project# 1007649

12DRB-70255 MAJOR - SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Page 2 Of 2

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).



Jack Cloud, DRB Chair

Cc: Hartman & Majewski Design Group
Roxanna Meyers – 2117 Commercial St NE, Albuquerque, NM 87102
Vickie Early – 212 Arvada Ave NE – Albuquerque, NM 87102
Carl Salazar – 219 Arvada Ave NE – Albuquerque, NM 87102
David Martinez – 400 Prospect NE – Albuquerque, NM 87102
Juana Baca – 216 Arvada NE – Albuquerque, NM 87102
Noel M. Baca – 216 Arvada NE – Albuquerque, NM 87102
Sonia Rascon – 305 Arvada NE – Albuquerque, NM 87102
Darin Goldston – 402 Indian School NE – Albuquerque, NM 87102
James Cericola – 309 McKnight NE – Albuquerque, NM 87102
Sharon Jackson – 333 McKnight NE – Albuquerque, NM 87102
Marilyn Maldonado
file

SUBDIVISION IMPROVEMENTS AGREEMENT PUBLIC AND/OR PRIVATE
(Procedure B)

AGREEMENT TO CONSTRUCT
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS

THIS AGREEMENT is made this 20th day of January, 2013, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and Greater Albuquerque Housing Partnership (Subdivider"), a New Mexico Non-Profit Corporation, whose address is 320 Gold SW Suite 918 Albuquerque, NM 87102 and whose telephone number is 505-244-1614, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [existing legal description:] Parcel A Plaza Ciudana, recorded on August 30, 2012 in Book , pages 1 through 3, as Document No. 20122089514 in the records of the Bernalillo County Clerk, State of New Mexico (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by Greater Albuquerque Housing Partnership ("Owner").

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as Parcel A Plaza Ciudana describing Subdivider's Property ("Subdivider's Property").

As a result of the development of the City's Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private improvements as a prerequisite to approval of the final plat, building permit or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described in Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the January 24, 2015, ("Construction Completion Deadline"), at no cost to the City. The Improvements are shown in greater detail on the Subdivider's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. 731283. Note: To compute the Construction Completion Deadline: If a final plat will be filed after Subdivider meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See S.O. Section 14-14-3.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the City's Development



Review Board (“DRB”), unless the DRB grants an extension, not to exceed one additional year per extension, and the Subdivider processes an amendment to the Agreement. (See S.O. Section 14-14-3.) If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Subdivider may obtain an extension of the Construction Completion Deadline if Subdivider shows adequate reason for the extension.

3. Albuquerque Bernalillo County Water Utility Authority. Pursuant to the Memorandum of Understanding between the City of Albuquerque and the Albuquerque Bernalillo County Water Utility Authority (“ABCWUA”) dated March 21, 2007, the City is authorized to act on behalf of the ABCWUA with respect to improvements that involve water and sewer infrastructure.

4. Work Order Requirements. The City agrees to issue a Work Order after:

A. The Subdivider causes to be submitted all documents, and meets all requirements listed in Development Process Manual (“DPM”), Volume 1, Chapter 5, Work Order Process, and Figure 1, including submitting a Certificate of Insurance in a form acceptable to the City. The certificate must establish that the Subdivider has procured, or has caused to be procured, public liability insurance in the amount of not less than One Million Dollars (\$1,000,000) combined single limit for accidents or occurrences which cause bodily injury, death or property damage as a result of any condition of the Subdivision, the Improvements, or the Subdivider's construction activities within, or related to the Subdivision. The insurance policy must name the City of Albuquerque, its employees and elected officials, as their interest may appear, as additional insured. If the Improvements include water and wastewater infrastructure, the insurance policy must name the ABCWUA, its employees, officers and agents, as their interest may appear, as additional insureds. The Subdivider must maintain the insurance until the City accepts the public Improvements and/or approves the private Improvements. The cancellation provision must provide that if the policy is either canceled prior to the expiration date of the policy or is materially changed or not renewed, the issuing company will mail thirty (30) days written notice to the City, attention City Engineer.

B. The Subdivider complies with all applicable laws, ordinances and regulations, including, but not limited to the City Excavation Ordinance and Sidewalk Ordinance, and pays the following required engineering, staking, testing fees, and other related City fees and County Clerk recording fees:

Type of Fee	Amount
Engineering Fee	3.25%
Street Excavation and Barricading Ordinance and street restoration fees	As required per City-approved estimate (figure 7)

Note: The Subdivider must pay the City all City fees which have been incurred during construction before the City will accept the public Improvements.

5. Surveying, Inspection and Testing. The Improvements shall be inspected, surveyed and tested in accordance with all applicable laws, ordinances, and regulations, and according to the following terms:

A. Construction Surveying. Construction surveying for the construction of the public Improvements shall be performed by Surv-Tec, and construction surveying of the private Improvements shall be performed by Surv-Tec. If the construction surveying is performed by an entity other than the City, the City may monitor the construction surveying and the Subdivider shall ensure that the construction surveying entity provides all construction surveying field notes, plats, reports and related data to the City which the City requires for review. Record drawings shall be provided by the entity performing the survey. The Subdivider shall pay the City a reasonable fee for any construction surveying performed by the City.

B. Construction Inspection Methods. Inspection of the construction of the public Improvements shall be performed by David Aube of Design Group and inspection of the private Improvements shall be performed by David Aube of Design Group, both New Mexico Registered Professional Engineers. If the inspection is performed by an entity other than the City, the City may monitor the inspection and the Subdivider shall ensure that the inspecting entity provides all inspection results, reports and related data to the City which the City requires for review. The City retains the right to perform its own general overall inspection of the construction project at any time prior to final acceptance of the Improvements, if deemed necessary or advisable by the City Engineer. The Subdivider shall pay the City a reasonable fee for the level of inspection performed by the City.

C. Field Testing. Field testing of the construction of the public Improvements shall be performed by X8eVinyard, and field testing of the private Improvements shall be performed by X8eVinyard both certified testing laboratories under the supervision of a New Mexico Registered Professional Engineer, in accordance with the current City of Albuquerque Standard Specifications for Public Works Construction. If any field testing is performed by an entity other than the City, the City may monitor the field testing and the Subdivider shall ensure that the field testing entity provides

all field testing results, reports and related data to the City which the City requires for review. The Subdivider shall pay the City a reasonable fee for any field testing performed by the City.

D. Additional Testing. The City retains the right to perform all additional testing which the City Engineer deems is necessary or advisable, and the Subdivider shall pay the City a reasonable fee therefore.

6. Financial Guaranty. If final plat approval is not requested prior to construction of the Subdivision, a financial guaranty is not required. If final plat approval is requested, the Subdivider must provide the City with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the City Engineer. The financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit, or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.

To meet the City's S.O. requirements, the Subdivider has acquired, or is able to acquire, the following Financial Guaranty:

Type of Financial Guaranty: Cash Check # 009306
Amount: \$ \$388,056.54
Name of Financial Institution or Surety providing Guaranty: _____
Date City first able to call Guaranty (Construction Completion Deadline): _____
January 24, 2015
If Guaranty is a Letter of Credit or Loan Reserve, then last day City able to call Guaranty is: _____
Additional information: Cashiers Check

7. Notice of Start of Construction. Before construction begins, the Subdivider shall deliver an acceptable Notice to Proceed to the City and shall arrange for a preconstruction conference and all required inspections.

8. Completion, Acceptance and Termination. When the City receives Subdivider's final acceptance package, the City shall review it for completeness and accuracy. (See DPM Volume 1, Chapter 5, Work Order Process, Step 9.) If the package is acceptable, the City shall approve the package and issue a Certificate of Completion and Acceptance for the public Improvements and a Certificate of Completion for the private Improvements. Thereafter, the Subdivider's obligations to the City pursuant to this Agreement shall terminate, with the exception of the bond or other guarantee which the Subdivider has provided to assure the materials and workmanship, as required by the S.O. After the City approves the final acceptance package, the City will promptly release this Agreement and the Financial Guaranty.

9. Conveyance of Property Rights. When the Improvements are completed, if the City does not own the real property upon, or in which, the public Improvements are constructed, the Subdivider will convey to the City all real and personal property rights which the City deems reasonably necessary, and all public Improvements, free and clear of all claims, encumbrances and liens before the City will accept the public Improvements. Conveyance may be made by appropriate dedication on the final plat of the Subdivision.

10. Reduction of Financial Guaranty Upon Partial Completion. The Subdivider shall be entitled to a reduction of the Financial Guaranty as a result of completing construction of part of the Improvements if the following conditions are met:

A. Loan Reserve Financial Guaranty. If a loan reserve letter was provided as the Financial Guaranty, the Subdivider must follow the procedures and meet the requirements detailed in the DPM, Volume 1, Chapter 5.

B. Non-Loan Reserve Financial Guaranty. If a Financial Guaranty other than a loan reserve letter has been provided, the completed Improvements must be free-standing, functionally independent of any Improvements which have not yet been completed, and completed in substantial compliance with the approved construction plans, as determined by City on-site inspection in order to qualify for a Financial Guaranty reduction. If the Improvements which have been completed meet all City requirements, the City Engineer will estimate the cost of completing the remaining Improvements. Thereafter, the Subdivider must submit the following documents to the City for review and approval:

(1) A revised Financial Guaranty in an amount of not less than 125% of the cost of completing the remaining Improvements, as estimated by the City;

(2) A bond or other instrument acceptable to the City, which guarantees the completed Improvements against defective materials and workmanship for the period required by the S.O.

(3) Conveyance of real and personal property rights which meet the requirements of section 8 of this Agreement.

After the City receives and approves the required documents, the City shall issue a Partial Certificate of Completion and Acceptance for the completed public Improvements and a Certificate of Partial Completion for the completed private Improvements.

11. Indemnification. Until the Improvements are accepted by the City, the Subdivider shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Subdivider agrees to indemnify and hold harmless the City and its officials, agents and employees and, if the Improvements include water and wastewater infrastructure, the ABCWUA, its employees, officers and agents, from any claims, actions, suits or other proceedings arising from or out of the acts or omissions of the Subdivider, its agents,

representatives, contractors or subcontractors or arising from the failure of the Subdivider, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Subdivider herein. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.

12. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Subdivider and the express written concurrence of any financial institution or surety which has undertaken to guarantee the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

13. Release. If the Subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Subdivider from its obligations under this Agreement and will continue to hold the Subdivider responsible for all Improvements until a successor in interest to the Subdivider has entered into a Subdivision Improvements Agreement with the City. Thereafter, if the Subdivider's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

14. Payment for Incomplete Improvements. If the Subdivider fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the City may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications. The Subdivider shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to, engineering, legal, and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Subdivider's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the City's Claim of Lien or any Financial Guaranty, the Subdivider shall be liable to, and shall pay, the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to any Financial Guaranty.

15. Binding on Subdivider's Property. The provisions of this Agreement constitute covenants running with Subdivider's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Subdivider and the Owner and their heirs, successors and assigns.

16. Notice. For purposes of giving formal written notice, including notice of change of address, the Subdivider's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six (6) days after the notice is mailed if there is no actual evidence of receipt.

17. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

18. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

19. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

20. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

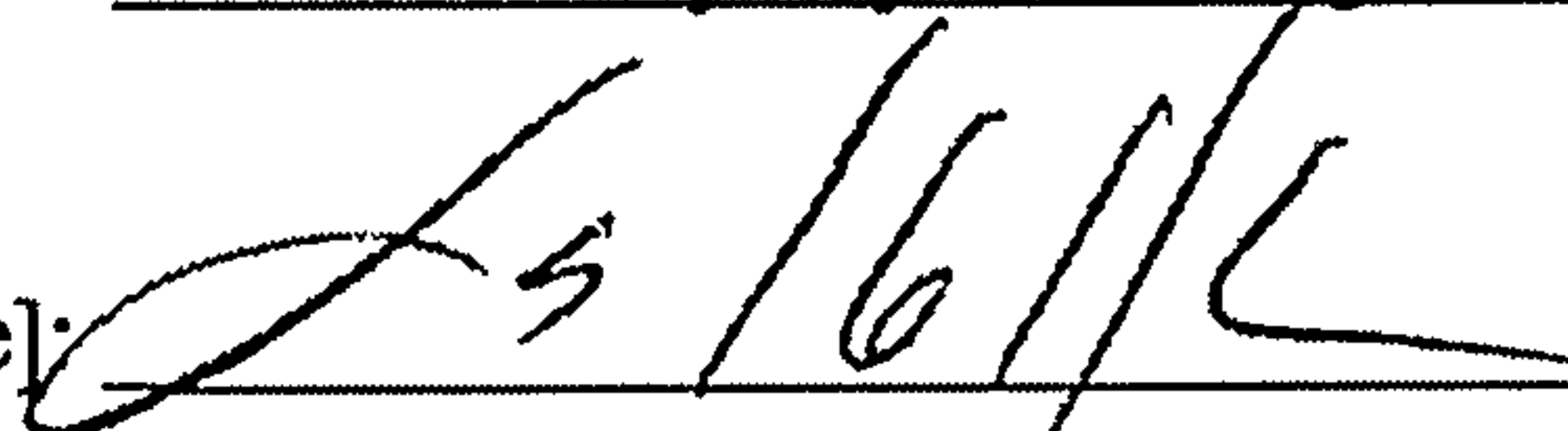
21. Form not Changed. Subdivider agrees that changes to this form are not binding unless initialed by the subdivider and signed by the City Legal Department on this form.

22. Authority to Execute. If the Subdivider signing below is not the Owner of the Subdivision, the Owner must execute the Power of Attorney below.

Executed on the date stated in the first paragraph of this Agreement.

SUBDIVIDER: Greater Albuquerque Housing Partnership

CITY OF ALBUQUERQUE

By [Signature]: 

By: 

Name [Print]: Louis Kolker


Richard Dourte, City Engineer

Title: Executive Director

Dated: 1-30-13

Dated: 1/24/13

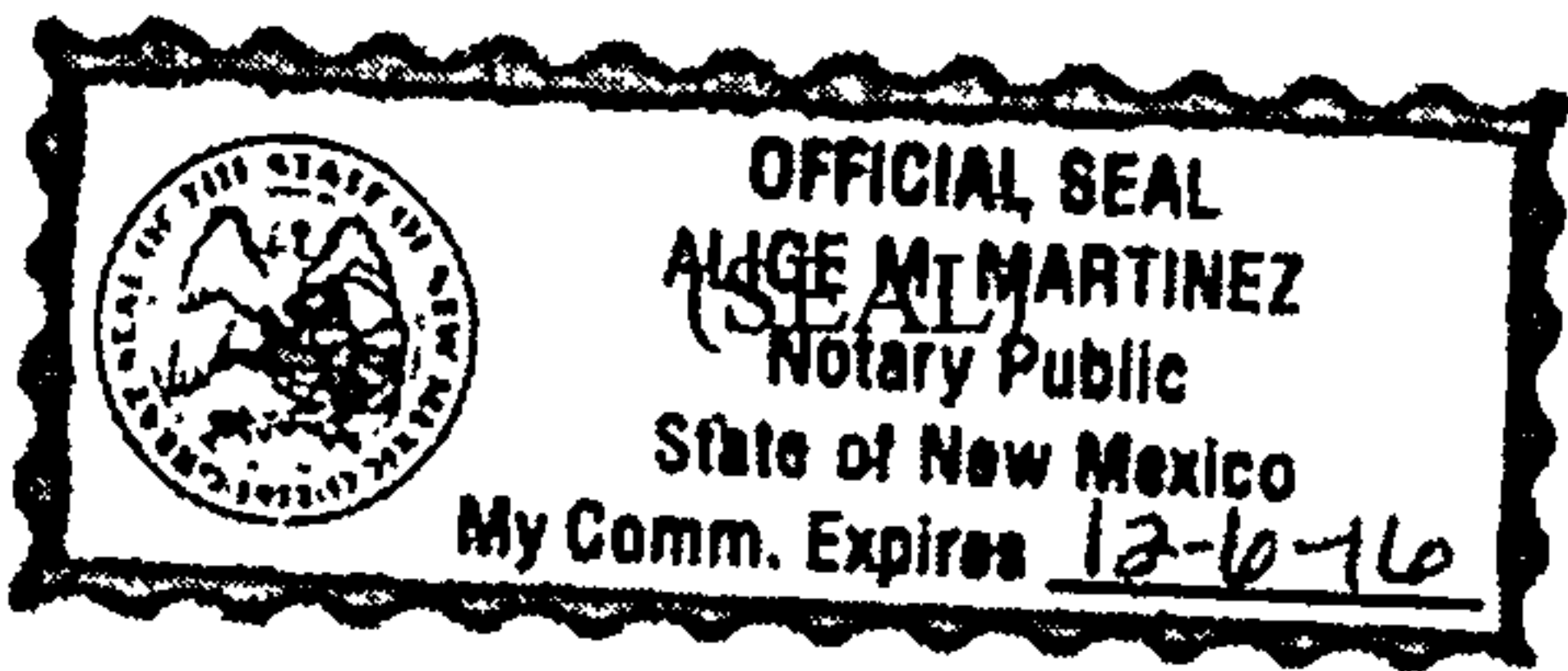

1-29-13


1-24-2013

SUBDIVIDER'S NOTARY

STATE OF New Mexico)
) ss.
COUNTY OF Bernalillo)

This instrument was acknowledged before me on this 24th day of January, 2013,
by [name of person:] Louis Kolker, [title or capacity, for instance,
"President" or "Owner":] Executive Director of
[Subdivider:] Creator Albuquerque Housing Partnership.



Alge M. Martinez
Notary Public

My Commission Expires: 12-6-16

CITY'S NOTARY

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on this 30th day of January,
2013, by Richard Dourte, City Engineer of the City of Albuquerque, a municipal corporation,
on behalf of said corporation.

(SEAL)

Richard Dourte
Notary Public

My Commission Expires: 10-17-16

[EXHIBIT A ATTACHED]
[POWER OF ATTORNEY ATTACHED IF SUBDIVIDER
IS NOT THE OWNER OF THE SUBDIVISION]



INFRASTRUCTURE LIST

Current DRC Project Number 731283

FIGURE 12

Date Submitted: _____
 Date Site Plan Approved: _____
 Date Preliminary Plat Approved: August 8, 2012
 Date Preliminary Plat Expires: _____
 DRB Project No.: 1007649
 DRB Application No.: _____

ORIGINAL

INFRASTRUCTURE LIST

EXHIBIT "A"
 TO SUBDIVISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Plaza Ciudadana

PROPOSED NAME OF ~~PROPERTY~~ SITE DEVELOPMENT PLAN

Lots 1-3, Block 9, Franciscan Acres

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<u>731283</u>		8"	SAS Line	Public Water and SAS	Broadway NE	Private Drive	/	/	/
				Easement					
<u>731283</u>		8"	Waterline	Public Water and SAS	Broadway NE	Private Drive	/	/	/
				Easement					
<u>731283</u>		35' F-F	Local Pavement, STd C&G, 6' wide	Private Drive	Indian School NE	Hammerhead	/	/	/
			Sidewalk (both sides) plus hammerhead						
<u>731283</u>		8"	SAS Line	Private Drive	30' south	Hammerhead	/	/	/
					Indian School NE				
<u>731283</u>		8"	Waterline	Private Drive	Indian School NE	Hammerhead	/	/	/
<u>731283</u>			Roadway Modifications	Indian School NE	Broadway NE	East Property Line	/	/	/
			for on-street parking						
<u>731283</u>		6'	Sidewalk	Indian School NE	Broadway NE	West side of Building B	/	/	/
<u>731283</u>		8'	Sidewalk	Indian School NE	West side of Building B	West side of Private Drive	/	/	/

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
731283		6'	Sidewalk	Indian School NE	East Side of Private Drive	East Property Line	/	/	/
731283		6'	Sidewalk	Broadway NE	Indian School NE	South Property Line	/	/	/
							/	/	/

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA
Street Lights per City Requirements

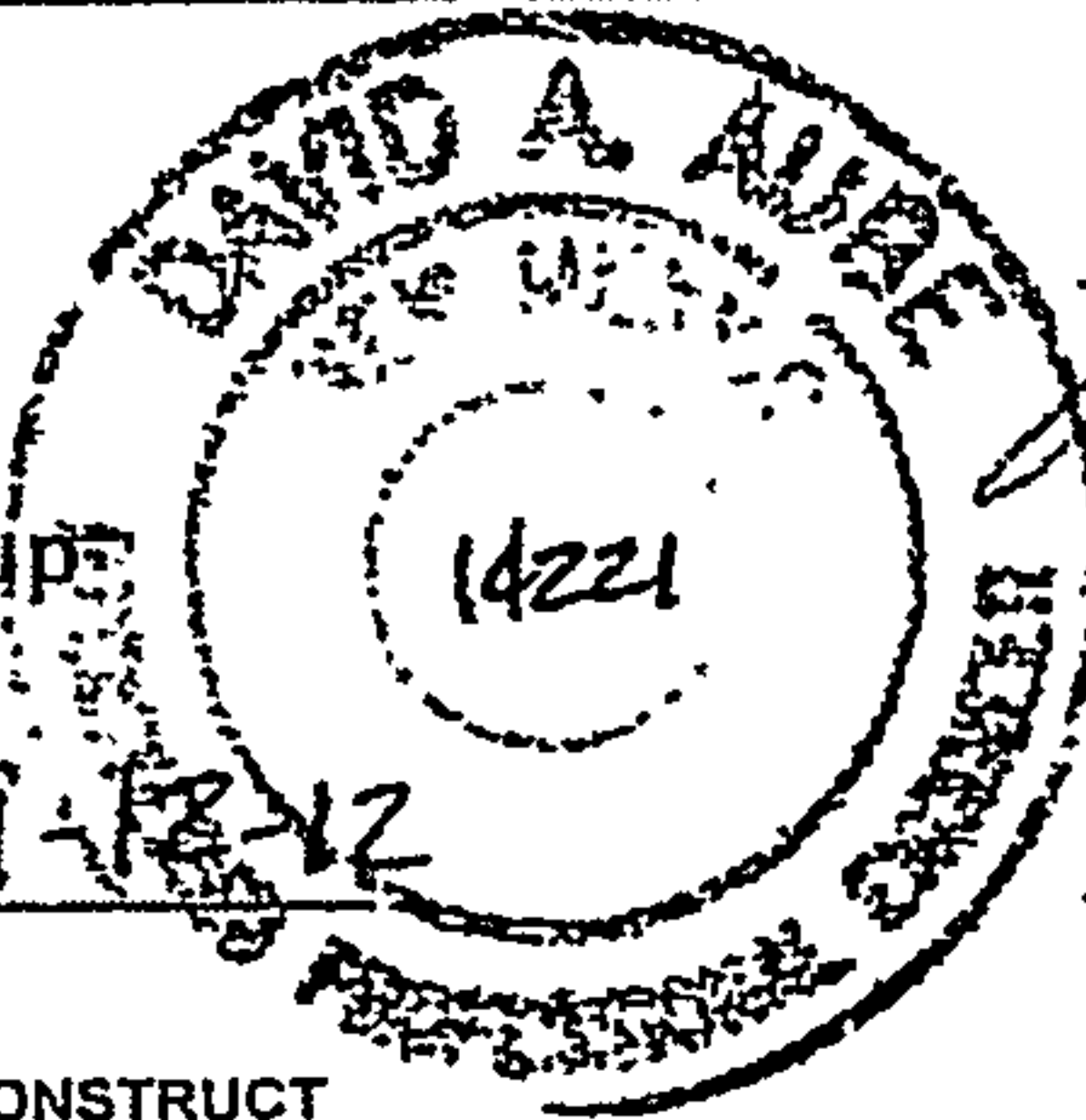
1 _____

2 _____

3 _____

AGENT / OWNER **DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

David A. Aube
NAME (print)



The Design Group
FIRM

[Signature]
SIGNATURE - date

MAXIMUM TIME ALLOWED TO CONSTRUCT
THE IMPROVEMENTS WITHOUT A DRB
EXTENSION: _____

[Signature] 9-12-12
DRB CHAIR - date

[Signature] 09-12-12
TRANSPORTATION DEVELOPMENT - date

[Signature] 09/12/12
UTILITY DEVELOPMENT - date

[Signature] 9/12/12
CITY ENGINEER - date

[Signature] 9/12/12
PARKS & GENERAL SERVICES - date

AMAFCA - date

- date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

FINANCIAL GUARANTY AMOUNT

01/07/2013

Type of Estimate: SIA Procedure - B - w/F.G.

Project Description:

Project ID #: 731283, Plaza Ciudadana, Phase/Unit #: 1

Requested By: **David Aube**

Approved estimate amount:		\$267,159.96
Contingency Amount:	0.00%	\$.00
Subtotal:		\$267,159.96
NMGRT	7.00%	\$18,701.20
Subtotal:		\$285,861.16
Engineering Fee	6.60%	\$18,866.84
Testing Fee	2.00%	\$5,717.22
Subtotal:		\$310,445.23
FINANCIAL GUARANTY RATE		1.25
Retainage Amount:		\$.00
TOTAL FINANCIAL GUARANTY REQUIRED		<u>\$388,056.54</u>

APPROVAL:

DATE:

D Woodall

1-7-13

Notes: Requires Street Lights per COA and FEMA Approved LOMR Prior To Release Of FG

TREASURER'S REPORT OF DEPOSITS

Remitter: Greater Albuquerque Housing Partnership Check No. 009306	Project Name: Plaza Cuidana CPN: 731283
Comments: Financial Guaranty for Procedure "B"	Account: <u>233100</u> Activity: <u>7000110</u> Fund: <u>305</u> Amount: <u>\$388,056.54</u>

Total Amount: \$388,056.54
Verified By: Marilyn Maldonado
Phone Number: (505)924-3997
Deposit Date: January 24, 2013

City of Albuquerque Treasurer
 1-24 Deposit
 Date: 1/24/2013 OFFICER: ANNEX
 Station: LW5000008 COLOCATION: 328310
 Batch: 1342 TRANS: 31
 Fund: 305 ACTIVITY ID
 Account: 233100 PROJECT ID
 Dep. ID: 7000110 BUS.UNIT:
 Trans. Amt: \$388,056.54
 Check Tendered: \$388,056.54

Bernalillo County, NM
One Civic Plaza NW
P.O. Box 542
Albuquerque, NM 87102

Receipt: 0433020

Product	Name	Extended
AGRE	Agreement	\$25.00
	# Pages	10
	Document #2013011647	
	# Of Entries	0
	In Person/Interested Person	false

Total \$25.00

Tender (Check) \$25.00
Check#009308
Paid Greater Albuquerque
By Houseing

Thank You!

1/31/13 9:27 AM jlmarez

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst. Engineer
<input type="text"/>	<input type="text"/>	6'	Sidewalk	Indian School NE	East Side of Private Roadway	East Property Line	/	/	/
<input type="text"/>	<input type="text"/>	6'	Sidewalk	Broadway NE	Indian School NE	South Property Line	/	/	/
<input type="text"/>	<input type="text"/>		Roadway Modifications for On-Street Parking	Broadway NE	Indian School NE	South Property Line	/	/	/

NOTES

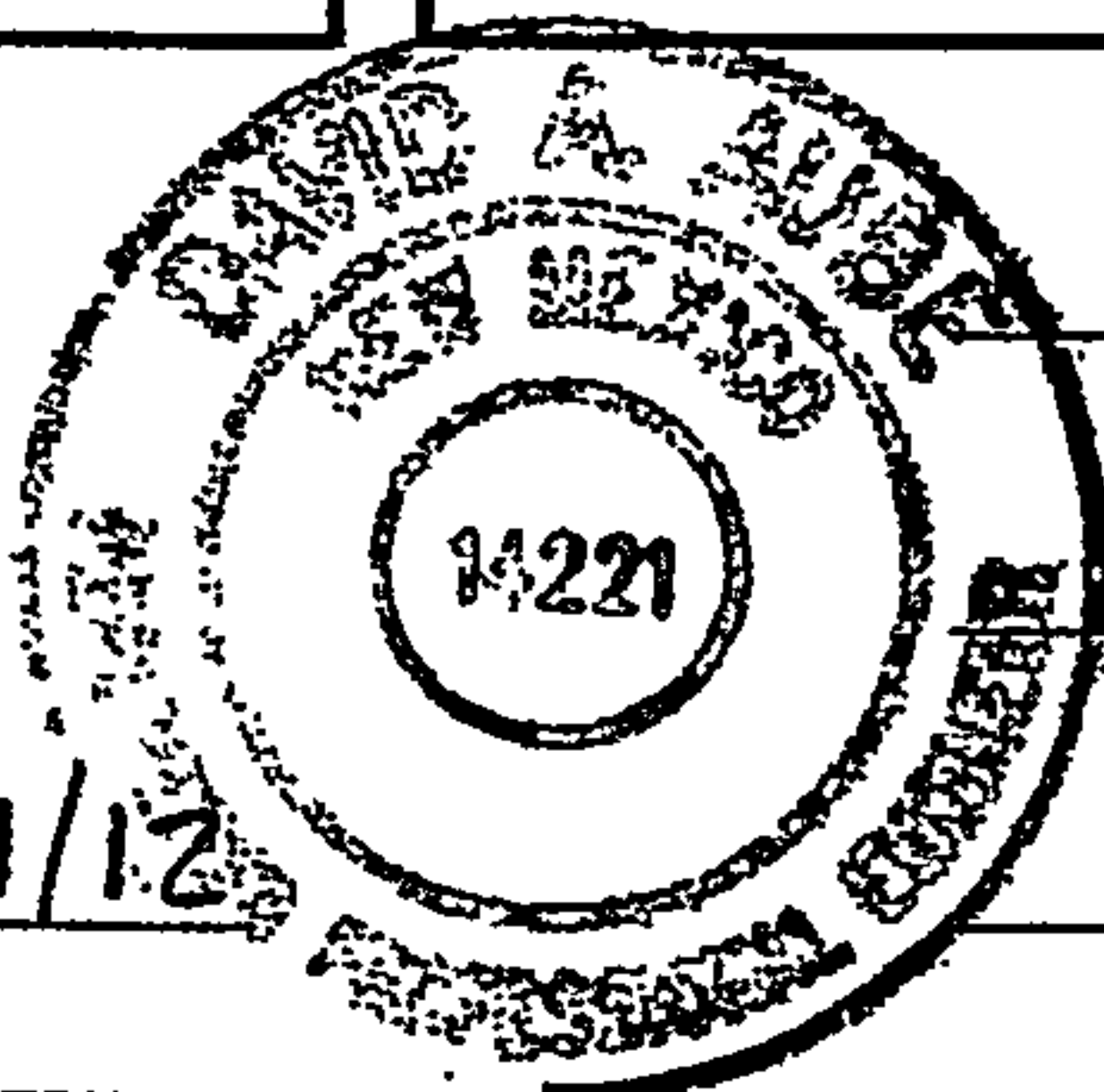
If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA
Street Lights per City Requirements

- 1 _____
- 2 _____
- 3 _____

AGENT / OWNER **DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

David A. Aube
NAME (print)

The Design Group
FIRM
David Aube... 9/7/12
SIGNATURE - date



DRB CHAIR - date

PARKS & GENERAL SERVICES - date

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

UTILITY DEVELOPMENT - date

_____ - date

CITY ENGINEER - date

_____ - date

MAXIMUM TIME ALLOWED TO CONSTRUCT
THE IMPROVEMENTS WITHOUT A DRB
EXTENSION: _____

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

Cloud, Jack W.

From: Vickie [realmofpossibility@gmail.com]
Sent: Monday, September 03, 2012 8:29 PM
To: Cloud, Jack W.
Cc: O'Malley, Debbie; Benton, Isaac; rick.miera@nmlegis.gov; jortizyp@msn.com
Subject: Reference: Case #1007649/ 12DRB-70255

September 3, 2012

Jack Cloud
DRB Chair
600 Second Street NW
Albuquerque, NM 87102

Reference: Case #1007649/ 12DRB-70255

Dear DRB Chairman Jack Cloud,

I am writing in reference proposed apartments being constructed in my neighborhood on Indian School Rd, between Broadway and Edith. I am respectfully requesting a deferral in the matter of this project for the following reasons:

I have personally spoken with more than 50 of my neighbors, and I was disturbed to find that they were not notified of this construction taking place. We have a neighborhood association with a very small membership, and most meetings are less than 10 people, if not less. I don't understand how the Santa Barbara Neighborhood Association can speak for the entire neighborhood and reflect the neighborhoods wishes, without ever bringing issues to our attention. With such a small membership The SBMTA does not reflect the desires, and aspirations we have for our neighborhood. Therefore it would be nice to have time to actually become informed. I am aware of the fact that the SBMTA gave their personal approval to this construction, but that approval was without any information given to the stakeholders in the neighborhood.

This is also a totally foreign land use. There is nothing like the planned structure within our historic neighborhood. Single family housing or town houses would be a better use, as the residents of these developments have a stake in the neighborhood, which is an ideal solution for everyone.

I do believe that there is a conflict of interest in this matter as well. Isaac Benton is a partner in the architectural group. Also a board member of SBMTA is a consultant to GAHP. Both of these gentlemen are pushing very hard to achieve this project without notification of constituents, or residents, which naturally deters any opposition. People who are not informed do not have a choice in the matter.

The traffic this project, once built, will produce a safety issue regarding our streets. They are not designed for this increase in traffic.

My neighbors and myself are asking for time to be involved in a partnership that informs everyone involved, taxpayers, constituents, residents, stakeholders, in a effort that produces the best possible outcome for our neighborhood.

Respectfully Yours,

Vickie Early
212 Arvada Ave NE
Albuquerque, NM
505-306-0655
realmofpossibility@gmail.com

9/6/2012

Cloud, Jack W.

From: Vickie [realmofpossibility@gmail.com]**Sent:** Sunday, September 02, 2012 4:36 PM**To:** Cloud, Jack W.**Cc:** O'Malley, Debbie; Benton, Isaac; rick.miera@nmlegis.gov; jortizyp@msn.com

Dear DRB Chairman Jack Cloud,
Reference: case # 1007649 12DRB-70255

I am writing to request a facilitated meeting for the following reasons: The neighborhood residents nearby the above request were never notified of the scale and density of the proposed apts . The neighborhood association never met with nearby residents to explain the new development. Based on the Martineztown/Santa Barbara Sector Plan, the Greater Albuquerque Housing Partnership is introducing a brand new land use. The neighbors and property owners would like more involvement since the application proposes a new land use that could be detrimental to the public health, safety and welfare of the residents. The proposal does provide housing, but is the type of housing appropriate for the character of the neighborhood? The land use should stabilize land use patterns, and resolve land use and zoning conflicts. This is why we are asking for a facilitated meeting to see if this proposal, is appropriate for this area. I would like to make sure that there is neighborhood involvement in this application, therefore my neighbors and I request a deferral so that a facilitated meeting could be scheduled with the neighborhood residents and the developer.

Sincerely,

Darin Goldston

402 Indian School Rd NE
Albuquerque, NM 87102
daringoldston@aol.com
[505-362-9001](tel:505-362-9001)

9/6/2012



INTER-OFFICE MEMORANDUM

COMMENTING AGENCIES

DEBBIE BAUMAN, Transportation Development
SHABIH RIZVI, Transit & Parking Department
STEVE MONTIEL, Council of Governments
LYNN MAZUR, AMAFCA
STEVE SINK, APD Crime Prevention
JAY LEE EVANS, Open Space Division
RAY SANCHEZ, Fire Department
DAVID KILPATRICK, Zoning Enforcement Inspector
STEPHANI WINKLEPLECK, Neighborhood Coordination
DANIEL ARAGON, Public Service Company of New Mexico
PATRICK SANCHEZ, New Mexico Gas Company
APRIL WINTERS, Albuquerque Public Schools
MICHELE RAMIREZ, CenturyLink
MIKE MORTUS, Comcast Cable
RAY GOMEZ, Middle Rio Grande Conservancy District (MRGCD)
SUZANNE BUSCH, Environmental Health

Your comments on the following case(s) are requested. Board hearing date:

PROJECT # 1007649

Wednesday, September 5, 2012

Comments must be received by:

Friday, August 31, 2012

If comments are not received by this date, "no comments" will be listed on the staff report. Attached are copies of the requests.

If you have any questions, please contact me at 924-3946 or agomez@cabq.gov

INTRODUCTION

THE PURPOSE OF THIS SITE DEVELOPMENT PLAN FOR BUILDING PERMIT IS TO ENSURE THAT THE DEVELOPMENT OF THE SITES IS COMPREHENSIVELY DEVELOPED WITH RESPECT TO SITE LAYOUT FOR BUILDINGS, PARKING, HIGHWAYS, POINTS, PEDESTRIAN CIRCULATION AND LINKAGES TO ADJACENT AREAS AS WELL AS ARCHITECTURAL AND NEIGHBORHOOD DESIGN.

THE PROPOSED USE OF THE SITES IS TO DEVELOP 88 UNITS OF MULTIFAMILY HOUSING AND ASSOCIATED COMMUNITY SUPPORT FACILITIES, INCLUDING A LEASING OFFICE, COMMUNITY SUPPORT BUILDING, AND PARK FACILITY ACCESSIBLE TO THE PUBLIC.

BUILDING MASSING IS ARRANGED RECTILINEARLY TO MELD THE DEVELOPMENT WITH THE EXISTING FABRIC OF SURROUNDING CITY BLOCKS. BUILDINGS ARE PLACED WITH THEIR FRONT FACADES FACING S'WALLE'S AND ADJACENT TO SIDEWALKS WITH FRONT SETBACKS VARYING FROM A MAXIMUM OF 22 FEET FROM THE PROPERTY LINE ALONG BROADWAY TO A MINIMUM ZERO SETBACK AT THE COMMUNITY BUILDINGS ALONG INDIAN SCHOOL. HEIGHTS RANGE FROM ONE TO THREE STORIES WITH A MAXIMUM HEIGHT OF 48 FEET AT THE THREE STORY UNITS. THE MAXIMUM FLOOR AREA RATIO FOR THE DEVELOPMENT IS 3.3.

OFF-STREET PARKING IS LOCATED AT THE CENTER OF EACH RESIDENTIAL BLOCK WITH CONTROLLED VEHICULAR ACCESS AND EGRESS TO THE OFF-STREET PARKING AREAS FROM INDIAN SCHOOL N.E. A PROPOSED STREET INTERCETS THE CENTER OF THE SITE AND RUNS SOUTH DIRECTION, AND IS MASTER PLANNED TO CONNECT TO A POSSIBLE EAST-WEST STREET TO THE SOUTH OF THIS DEVELOPMENT IN A FUTURE PHASE. NEW ON-STREET PARKING IS PROPOSED TO BE CONSTRUCTED AS A PART OF THIS DEVELOPMENT 100% OF WHICH SERVES THE REQUIREMENTS OF THE DEVELOPMENT.

PEDESTRIAN INGRESS AND EGRESS IS THROUGH AN EXTENSION OF THE EXISTING SIDEWALK SYSTEM ALONG BROADWAY AND INDIAN SCHOOL. CONTROLLED GATED PEDESTRIAN ACCESS POINTS CONNECT THE PERIMETER SIDEWALK SYSTEM TO THE INTERNAL CIRCULATION SYSTEM OF SIDEWALKS WITHIN THE PERIMETER SECURITY WALLS.

LANDSCAPING EMPLOYS A LARGE NUMBER OF TREES FOR SHADING AND TO TIE THE PROPOSED PARK AREA VISUALLY TO THE PROPOSED OFF-STREET PARKING AREAS. PERMEABLE PAVING IS USED IN THE OFF-STREET PARKING AREAS TO ENCOURAGE THEIR USE AS MULTI-FUNCTIONING SPACES.

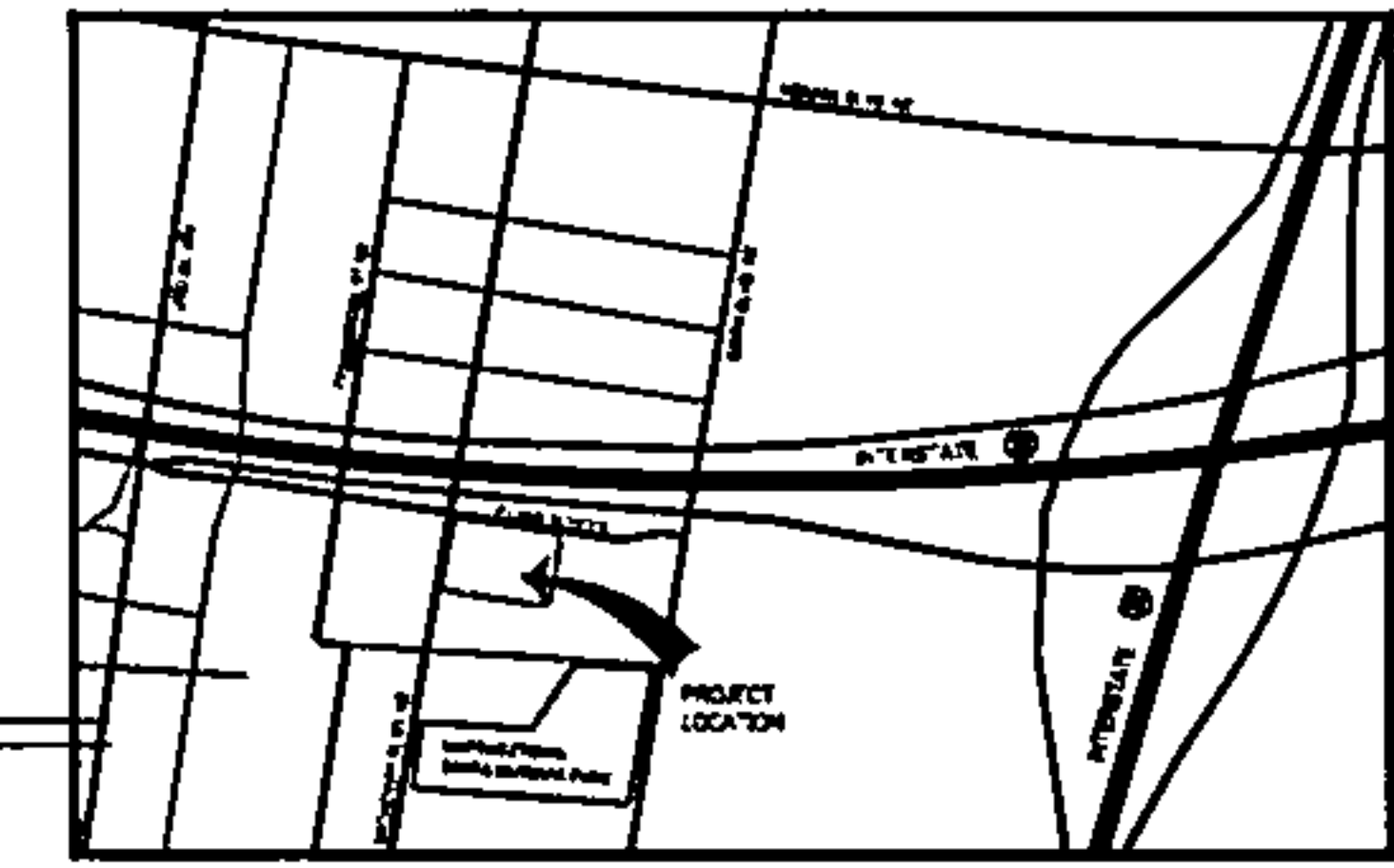
LEGEND:

- PEDESTRIAN ACCESS
- PERMEABLE PAVEMENT
- PATTERNED CONCRETE CROSSWALK
-
-
- LOW RETAINING WALL - GRAY-BROWN CONCRETE BLOCK, 8X18 STACKED BOND, 2'-0\"/>
- SITE LIGHTING, METAL HALIDE, 18' ALUM. POLE, DOUBLE LAMP
- SITE LIGHTING, METAL HALIDE, 12' ALUM. POLE
- PICNIC TABLE
- TRASH CAN
- BENCH
- BOULDERS

TABLE OF CONTENTS:

1. SITE PLAN
2. LANDSCAPE PLANTING PLAN
3. LANDSCAPE IRRIGATION PLAN
4. CONCEPTUAL GRADING PLAN
5. CONCEPTUAL UTILITY PLAN
6. BUILDING AND STRUCTURE ELEVATIONS, BLDG A-B
7. BUILDING AND STRUCTURE ELEVATIONS, BLDG C
8. BUILDING AND STRUCTURE ELEVATIONS, BLDG D
9. BUILDING AND STRUCTURE ELEVATIONS, BLDG E-G
10. BUILDING AND STRUCTURE ELEVATIONS, BLDG H

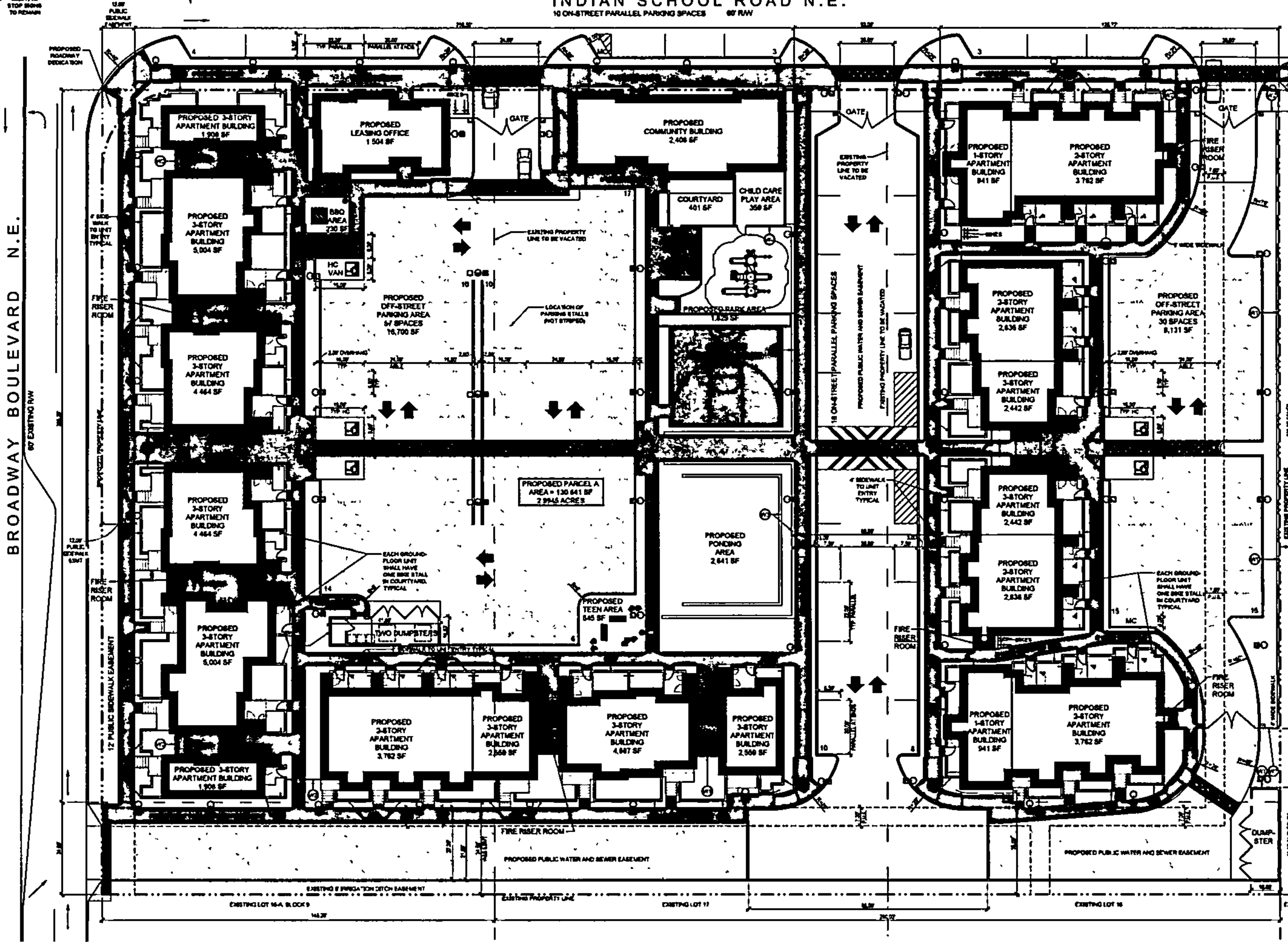
NOTE: PARK AREA IS PRIVATELY OWNED AND PRIVATELY MAINTAINED BY OWNER.



VICINITY MAP
SCALE: 1" = 1000'

dg
THE DARTMAN • HAJEKSKI
DESIGN GROUP
ARCHITECTS • INTERIORS • INTERIOR DESIGN
P.O. BOX 100 • ALBUQUERQUE, NEW MEXICO 87106
PHONE: 505.242.8888 FAX: 505.242.8881
CONSULTANT

INDIAN SCHOOL ROAD N.E.
10 ON-STREET PARALLEL PARKING SPACES 60' RW



PROJECT LOCATION: SOUTHEAST CORNER OF INDIAN SCHOOL AND BROADWAY N.E.

LEGAL DESCRIPTION: LOTS 1 THROUGH 3, BLOCK 8, FRANCISCAN ACRES

ZONE: ATLAS PAGE: H-14

TOTAL ACREAGE: 2.946 ACRES

PROPOSED SUBDIVISION PARCELS: PARCEL A 2.946 ACRES

EXISTING ZONING: SU-250-1 FOR PRO

PROPOSED USES: RESIDENTIAL DWELLINGS

LIST OF APPLICABLE PLANS:
 RANK 1 PLANS - ALBUQUERQUE/SERIALLO COUNTY COMPREHENSIVE PLAN
 RANK 2 PLANS - NONE
 RANK 3 PLANS - MARTINEZ/TOWN - SANTA BARBARA SECTOR DEVELOPMENT PLAN

MAXIMUM BUILDING HEIGHT: 48 FEET

MINIMUM BUILDING SETBACK: ZERO (INDIAN SCHOOL ONLY)

NUMBER TOTAL DWELLING UNITS: 88 DWELLING UNITS
 NET: 28.84 DUS/ACRE
 GROSS: 22.87 DUS/ACRE

PROPOSED TOTAL AREA FOR RESIDENTIAL UNITS: 58,411 SF (LEASING OFFICE AND COMMUNITY BUILDING NOT INCL.)

FAR SUMMARY:
 MAXIMUM FAR FOR NONRESIDENTIAL UNITS: 0.3
 PROVIDED FAR FOR NONRESIDENTIAL UNITS: 0.36
 PROVIDED FAR FOR ALL DEVELOPMENT (RES AND NON-RES): 0.33

REQUIRED PARKING:
 PER DBS APPROVED SDP FOR SUBDIVISION 64-12: 115 SPACES
 TOTAL REQUIRED PARKING: 115 SPACES

PROPOSED PARKING:
 OFF-STREET PARKING: 87 SPACES
 ON-STREET PARKING: 28 SPACES
 TOTAL PROPOSED PARKING: 115 SPACES

HANDICAPPED MOTORCYCLE AND BICYCLE PARKING IS PROVIDED TO MEET THE REQUIREMENTS OF THE APPROVED SITE DEVELOPMENT PLAN FOR SUBDIVISION DATED 6-8-82.

SIGNATURE BLOCK

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

Is an infrastructure fee required? () Yes () No () No, if yes, then a fee of approved DBS plans with a work order is required for any construction within public right-of-way or for construction of public improvements.

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE:
UTILITIES DEVELOPMENT	DATE:
PARKS AND RECREATION	DATE:
CITY ENGINEER	DATE:
ENVIRONMENTAL HEALTH DEPT. (if required)	DATE:
SOLID WASTE MANAGEMENT	DATE:
DBS CHAIRPERSON, PLANNING DEPARTMENT	DATE:

STAMP

PROJECT NUMBER
GREATER ALBUQUERQUE HOUSING PARTNERSHIP

FRANCISCAN ACRES SUBDIVISION
INDIAN SCHOOL AND BROADWAY
ALBUQUERQUE, NM 87102

REVISIONS:

No.	DATE	DESCRIPTION
1	9/17/2012	PLAT REVISIONS
2	7/24/2012	DBS COMMENTS
3	8/20/12	DBS COMMENTS

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 Drawn by: []
 Checked by: []
 Date: 9/17/2012
 Plotter: []
 Call for name: []

A1 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
SCALE: 1" = 20'-0"



NOTE: ALL PROPOSED IMPROVEMENTS SHOWN ARE ILLUSTRATIVE ONLY.

A5 DUMPSTER ENCLOSURE
SCALE: 1/8" = 1'-0"



THE HARTMAN + MAJEWSKI
DESIGN GROUP
 ARCHITECTS LANDSCAPE ARCHITECTS PLANNERS URBAN DESIGNERS INTERIORS

120 VASSAR DRIVE SE SUITE 100
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CONSULTANT

MORROW REARDON
 WILKINSON MILLER, LTD.
 LANDSCAPE ARCHITECTS

ST-147

PROJECT NAME
**GREATER ALBUQUERQUE
 HOUSING PARTNERSHIP**

FRANCISCAN ACRES SUBDIVISION
 INDIAN SCHOOL AND BROADWAY
 ALBUQUERQUE, NM 87102

REVISIONS

No.	DATE	DESCRIPTION

Copyright: Design Group

Drawn by:
 Checked by:
 Date:
 Project number:
 Cad file name:

SHEET TITLE
LANDSCAPE PLANTING PLAN

SHEET NUMBER

2.1

HATCH LEGEND

- 3" DEPTH OF 1" BUILDLOGY BROWN GRAVEL MULCH, (OR APPROVED EQUAL) AVAILABLE FROM BUILDLOGY (505) 344-6626.
- 3" DEPTH OF 1" BUILDLOGY BROWN GRAVEL MULCH, (OR APPROVED EQUAL), AVAILABLE FROM BUILDLOGY (505) 344-6626. TREES PLANTED IN THIS AREA SHALL BE PER TREES PLANTING DETAIL A3/L-301.
- PARK BLEND TURF- 900
- ENGINEERED WOOD FIBER PLAY SURFACE. SEE KEYED NOTE #6.
- BUILDLOGY BROWN CRUISER FINES AVAILABLE FROM BUILDLOGY (505) 344-6626. OR APPROVED EQUAL CONTRACTOR TO SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
- GRAVEL MULCH. SEE CIVIL.
- CONCRETE. SEE CIVIL.

GENERAL NOTES

1. MULCH IN TREE AND SHRUB BEDS SHALL BE 3" DEPTH OF 3" - 8" DIAMETER WARM TONE CRUSHED GRAVEL WITH FILTER FABRIC UNDER.
2. THIS PLAN IS IN COMPLIANCE WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE, ENACTMENT NO. 18-1995.

IRRIGATION SYSTEM

ALL PLANTING IMPROVEMENTS WILL BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. TREES, SHRUBS AND PERENNIALS WILL BE WATERED BY LOW PRECIPITATION RATE BUBBLER HEADS. TURF WILL BE WATERED BY SPRAY OR ROTOR HEADS. BACKFLOW PREVENTION WILL BE PROVIDED AT POINT OF CONNECTION TO SERVE AS THE MEANS OF WATER CONTAMINATION PROTECTION. IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER.

LANDSCAPE MAINTENANCE

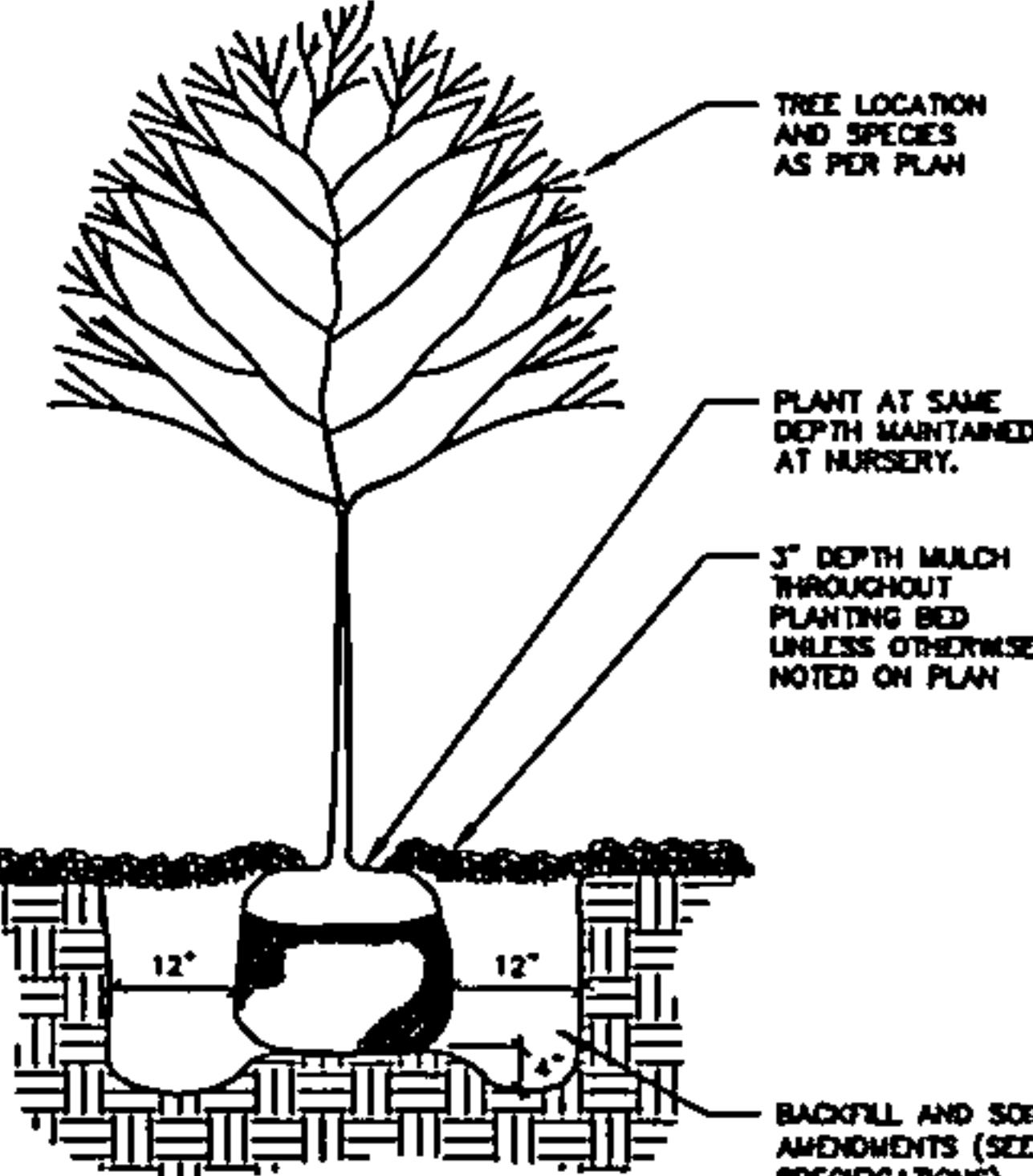
THE OWNER WILL RESUME RESPONSIBILITY FOR MAINTENANCE OF THE LANDSCAPE AND IRRIGATION SYSTEM.

LANDSCAPE AREA REQUIREMENTS

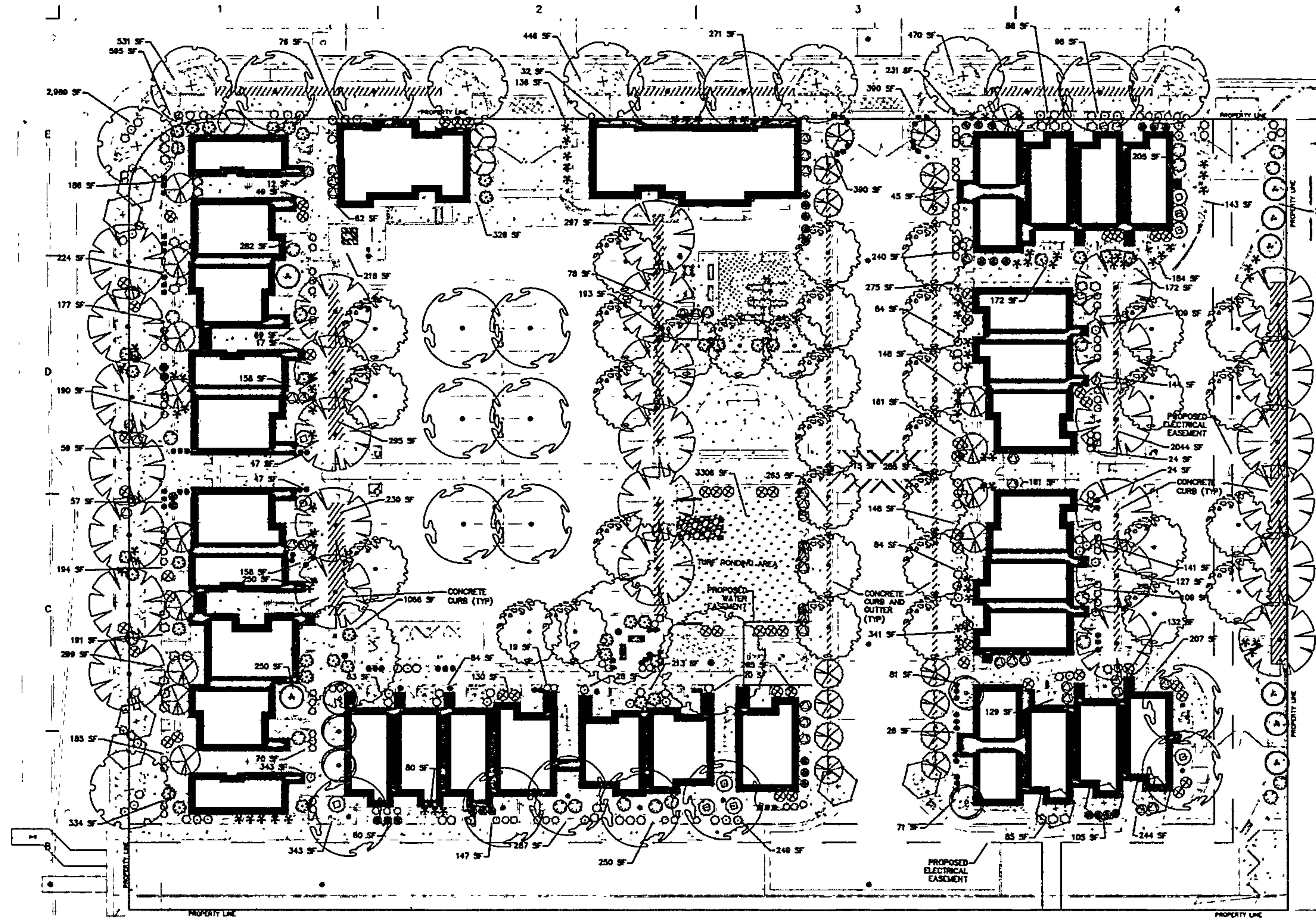
TOTAL LOT AREA: 140,718 S.F.
 BUILDING AREA: 27,738 S.F.
 NET LOT AREA: 112,981 S.F. (TOTAL - BUILDING = NET)
 TOTAL LANDSCAPE AREA REQUIRED: 18,947 S.F. (15% OF NET LOT AREA)
 TOTAL LANDSCAPE AREA PROVIDED: 23,498 S.F. (22.5% OF NET LOT AREA)

LANDSCAPE AREAS

LANDSCAPE TYPE	SQUARE FOOTAGE
HIGH WATER USE TURF	3,306 S.F. (13% OF LANDSCAPED AREA)
TREES AND SHRUB BEDS WITH GRAVEL OR CRUISER FINE MULCH	22,183 S.F. (87% OF LANDSCAPED AREA)



A5 TREE PLANTING DETAIL
 SCALE: N.T.S.



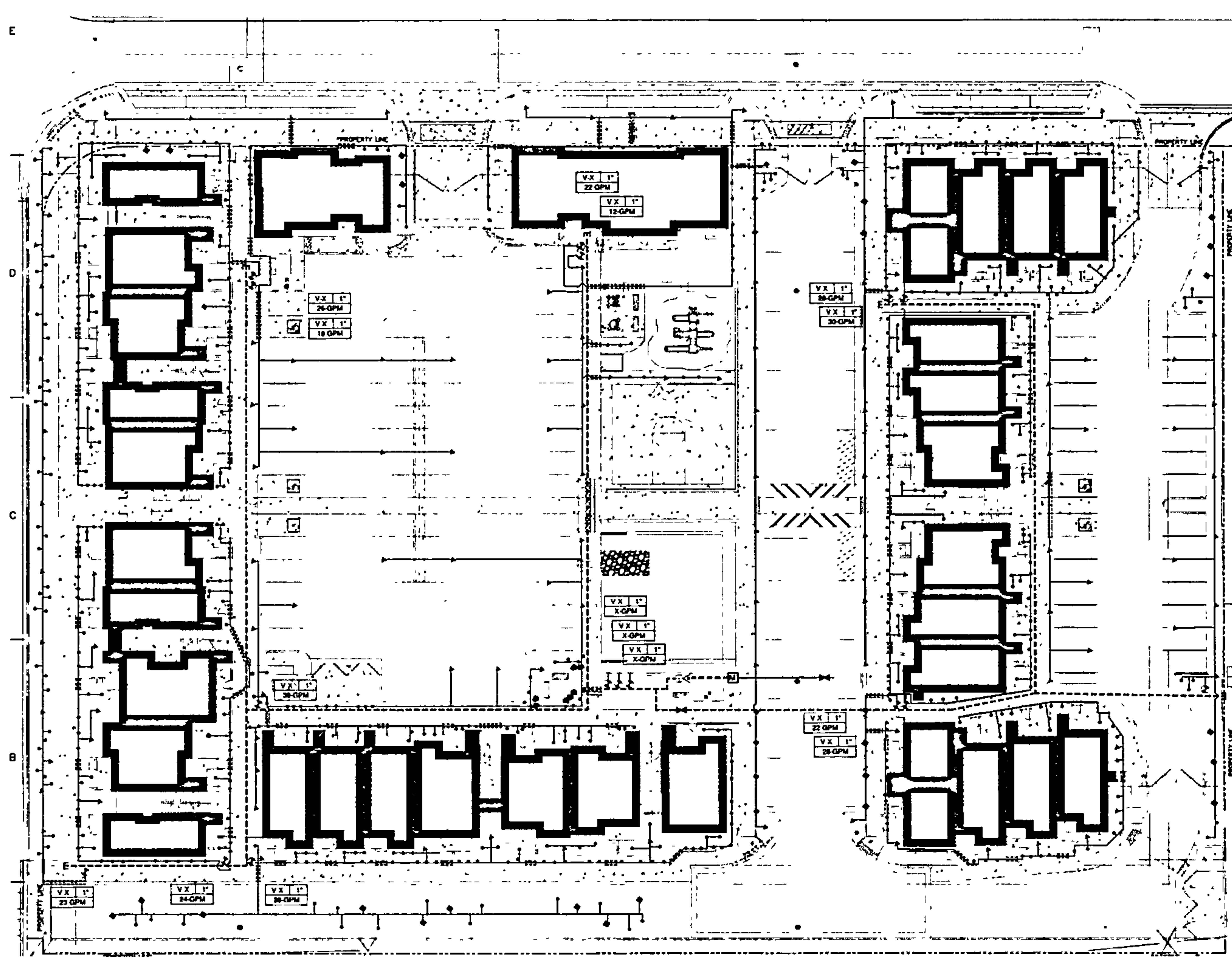
B1 PLANTING PLAN
 SCALE: 1" = 20'

PLANT SCHEDULE

KEY	COMMON NAME	BOTANICAL NAME	QUANTITY INSTALLED	SIZE	MATURE SIZE	CONDITION
TREES						
UA	Urbanite Ash	<i>Fraxinus pennsylvanica</i> 'Urbanite'	18	2" cal., 12'-14"hl.	40' hl. & 25' spd.	30" box
CP	Chinese Pistache	<i>Pistacia chinensis</i>	8	2" cal., 10'-12"hl.	40' hl. & 25' spd.	30" box
LP	London Plane Tree	<i>Platanus acerifolia</i>	3	2" cal., 12'-14"hl.	50' hl. & 30' spd.	30" box
AP	Aristocrat Pear	<i>Pyrus calleryana</i> 'Aristocrat'	34	2" cal., 10'-12"hl.	25' hl. & 20' spd.	30" box
LE	Leadbark Elm	<i>Ulmus parvifolia</i>	30	2" cal., 12'-14"hl.	30' hl. & 25' spd.	30" box
ACCENT TREES						
NMO	New Mexico Olive	<i>Forsythia neomexicana</i>	14	Mh. 4' hl.	18' hl. & 15' spd.	15-Col.
WH	Washington Hawthorne	<i>Crotaegus oregonorum</i>	14	2" cal., 9'-10"hl.	25' hl. & 20' spd.	15-Col.
RC	Radiant Crabapple	<i>Malus 'Radiant'</i>	9	2" cal., 9'-10"hl.	24' hl. & 20' spd.	30" Box
VX	Vitex	<i>Vitex angustifolia</i>	5	Mh. 4' hl.	25' hl. & 20' spd.	15-Col.

PLANT SCHEDULE CONTINUED

KEY	COMMON NAME	BOTANICAL NAME	QUANTITY INSTALLED	SIZE	MATURE SIZE	CONDITION
SHRUBS						
BB	Butterfly Bush	<i>Buddleia davidii</i>	8	1'-6"hl.	8' hl. & spd.	5-Col.
BM	Blue Mist Spirea	<i>Corydalis x clandonensis</i>	91	1'-6"hl.	3' hl. & spd.	5-Col.
FB	Fernbush	<i>Chamaebotrys millefolium</i>	24	1'-6"hl.	5' hl. & spd.	5-Col.
TB	Turpentine Bush	<i>Ericameria laetifolia</i>	58	1'-6"hl.	4' hl. & spd.	5-Col.
BJ	Buffalo Juniper	<i>Juniperus horizontalis</i> 'Buffalo'	10	6"hl.	1' hl. & 6' spd.	5-Col.
GLS	Gre-Low Sumac	<i>Rhus aromatica</i> 'Gre-Low'	38	1"hl.	3' hl. & 5' spd.	5-Col.
LL	Lilac	<i>Syringa vulgaris</i>	3	1'-6"hl.	15' hl. & spd.	5-Col.
GRASSES AND ACCENTS						
KF	Karl Foerster Grass	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	84	1'-8"hl.	2' hl. & spd.	5-Col.
RY	Red Yucca	<i>Heisteria parviflora</i>	31	1'-8"hl.	4' hl. & 3' spd.	5-Col.
MC	Madden Grass	<i>Miscanthus sinensis</i> 'Oreolithus'	43	1'-8"hl.	5' hl. & 3' spd.	5-Col.
SH	Shenandoah Setchgrass	<i>Panicum virgetum</i> 'Shenandoah'	27	1'-8"hl.	4' hl. & spd.	5-Col.
DF	Dwarf Fountain Grass	<i>Pennisetum alopecuroides</i> 'Hameln'	81	1' hl.	3' hl. & spd.	1-Col.
BA	Blue Arvine	<i>Helictotrichon sempervirens</i>	88	8" hl.	2' hl. & spd.	1-Col.



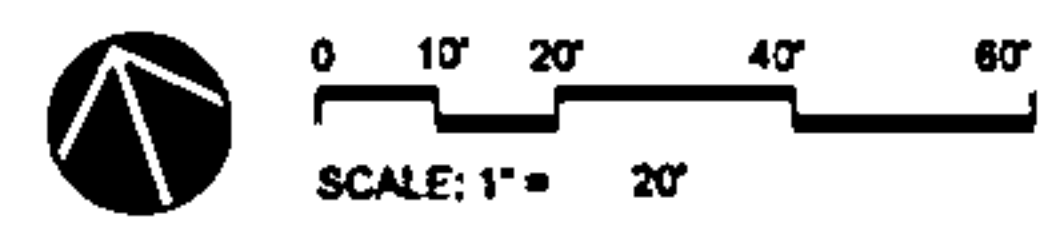
IRRIGATION LEGEND

- 1.5" WATER METER.
 - MAIN LINE AND LATERAL SLEEVE PPVC, CLASS 200, 80#-21, BELL-END, SOLVENT WELD PVC. SEE IRRIGATION NOTE NO. 2.
 - 24-VOLT IRRIGATION WIRE SLEEVE PPVC, CLASS 200, 80#-21, BELL-END, SOLVENT WELD PVC. SEE IRRIGATION NOTE NO. 2.
 - IRRIGATION MAIN LINE, SCH. 40, BELL END, SOLVENT WELD PVC. SIZE AS SHOWN ON PLAN. DEPTH OF BURY 18" SIZE 1.5".
 - IRRIGATION SERVICE LINE PPVC BETWEEN THE WATER METER AND THE TAP SHALL BE COPPER PPVC. FOR MAINLINE UNDER CONTINUOUS PRESSURE THE DEPTH OF BURY SHALL BE 24", SIZE AS NOTED ON PLAN.
 - LATERAL PPVC, SCH. 40, BELL END, SOLVENT WELD PVC. SIZE AS SHOWN ON PLAN. DEPTH OF BURY, 18"
 - ▶ ISOLATION GATE VALVE ASSEMBLY SHALL BE A 1.5" SPEARS SCH. 80 PVC BALL VALVE WITH UNIONS, MATCH LINE SIZE. INSTALL FOR DETAIL A2/L-50L.
 - ▶ BACKFLOW PREVENTOR ASSEMBLY, PERIOD 8024, 1.5" REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTOR IN HOT BOX, MODEL # HRC, COLOR: TAN, HEATED AND INSULATED BACKFLOW DISCLOSEURE. SEE DETAIL 01/L-50L.
 - ▶ MASTER VALVE ASSEMBLY, HANDBR P80 SERIES PLASTIC BODY 24-VOLT AUTOMATIC VALVE. INSTALL VALVES PER DETAIL 01/L-50L.
 - ▶ REMOTE CONTROL VALVE ASSEMBLY, HANDBR P80 SERIES PLASTIC BODY 24-VOLT AUTOMATIC VALVE. SIZE AS SHOWN ON PLANS. INSTALL VALVES PER DETAIL 02/L-50L.
 - SOLVENT WELD CAP, SCH. 40 PVC LINE SIZE.
- PRESSURE COMPENSATING RIBBLER ASSEMBLIES, HAN BRP 1400 SERIES, AS FOLLOWS (INSTALL PER DETAIL A1/L-50L):
- | MODEL NO. | QPM | PSI |
|--------------------|--------|-----|
| 1404 (1 PER SHRUB) | 25 EA. | 30 |
| 1404 (1 PER SHRUB) | 5 EA. | 35 |
| 1404 (1 PER TREE) | 1 EA. | 30 |
- IRRIGATION CONTROLLER, HANDBR EXP-4C WALL MOUNT (12) TWELVE STATION CONTROLLER.
- ROTARY POP-UP SPRINKLER ASSEMBLIES, HANTR, 1-20, 1" STAINLESS STEEL, AS FOLLOWS: SEE DETAIL 02A-50L.
- | MODEL NO. | RAI/IK | QPM | PSI | PI/FT |
|---------------|--------|-----|-----|-------|
| 1-20-04-08-15 | 1/2" | 1.5 | 48 | .17 |
| 1-20-04-08-15 | 3/4" | 1.5 | 48 | .25 |
| 1-20-04-08-15 | 1" | 1.5 | 48 | .35 |
| 1-20-04-08-15 | 1 1/4" | 1.5 | 48 | .48 |

IRRIGATION NOTES

1. THIS SYSTEM WAS DESIGNED AT A MINIMUM STATIC PRESSURE OF 80 PSI AT THE POINT OF CONNECTION. CONTRACTOR SHALL VERIFY ACTUAL PSI AND ADVISE REVISIONS TO LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. IN THE EVENT THE ACTUAL PSI IS LESS THAN 80 PSI THE CONTRACTOR SHALL PROVIDE CORRECTION FROM LANDSCAPE ARCHITECT REGARDING DESIGN MODIFICATIONS IF NECESSARY. THE PRESSURE READING SHALL BE PERFORMED IN THE PRESENCE OF THE OWNER'S AUTHORIZED REPRESENTATIVE. REVISIONS SHALL BE INCLUDED IN THE CONTRACTOR'S IRRIGATION EQUIPMENT SUBMITTAL, INDICATING DATE AND TIME OF PRESSURE READING AND THE NAME OF ATTENDING OWNER'S REPRESENTATIVE.
2. THE CONTRACTOR SHALL PROVIDE SLEEVING AS DESCRIBED IN SPECIFICATIONS FOR ALL PIPING AND WIRING. INSTALLER SHALL PROVIDE, HOODING, FINISHING LAPS, TIE WALLS, RETAINING WALLS, ETC. INSTALLATION SHALL BE COORDINATED WITH ALL TRADES TO ENSURE THAT SLEEVES ARE INSTALLED PRIOR TO INSTALLATION OF CURB AND OUTLET, ASPHALT PAVEMENT, SIDEWALKS, SLABS, ETC.
3. CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO CONSTRUCT PROPOSED IRRIGATION SYSTEM IN ACCORDANCE WITH PLANS, WRITTEN SPECIFICATIONS AND DETAILS.
4. THE CONTRACTOR SHALL PROVIDE ONE (1) 120-VOLT, 20 AMP CIRCUIT FROM ELECTRICAL PANEL TO EACH IRRIGATION CONTROLLER AND TO THE BACKFLOW PREVENTOR ENCLOSURE. ALL WORK AND MATERIALS SHALL MEET LOCAL CODES AND THE NATIONAL ELECTRIC CODE (N.E.C.).
5. FOR PVC IRRIGATION PIPING AND EQUIPMENT REFERENCE IRRIGATION SPECIFICATION SECTION.
6. ALL VALVE BODIES AND LIDS SHALL BE THE COLOR TAN.
7. PRIOR TO BREAKING FOR IRRIGATION LINES THE CONTRACTOR SHALL CONTACT NEW MEXICO ONE CALL TO LOCATE ALL UNDERGROUND UTILITIES. IF ANY EXISTING UTILITY LINES CONTACT WITH PROPOSED IRRIGATION LINES THE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT. ANY UTILITY LINES THAT ARE DAMAGED DUE TO CONSTRUCTION OPERATIONS SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL EXPENSE TO THE OWNER.
8. ALL PIPING AND IRRIGATION EQUIPMENT SHALL BE LOCATED IN PLANTER BEDS. PIPING AND EQUIPMENT SHOWN

A1 IRRIGATION PLAN
SCALE: 1" = 20'



THE HARTMAN + RAJEWSKI
DESIGN GROUP
ARCHITECTS · INTERIORS · LIAISON OF DESIGN
PLANNERS · LIAISON DESIGNERS · LANDSCAPE ARCHITECTS

120 VASSAR DRIVE SE SUITE 100
ALBUQUERQUE NEW MEXICO 87108
PHONE: 505.242.8888 FAX 505.242.8881

CONSULTANT

MORROW REARDON
WILKINSON MELLER, LTD.
LANDSCAPE ARCHITECTS



PROJECT NAME
GREATER ALBUQUERQUE
HOUSING PARTNERSHIP

FRANCISCAN ACRES SUBDIVISION
INDIAN SCHOOL AND BROADWAY
ALBUQUERQUE, NM 87102

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Drawn by:
Checked by:
Date: 8/10/2012
Project number: 2439
Call file name:

REVISIONS:		
No.	DATE	DESCRIPTION

SHEET TITLE:
LANDSCAPE IRRIGATION PLAN

SHEET NUMBER:
2.2



THE HARTMAN MAJERSKI
DESIGN GROUP

ARCHITECT • INTERIOR DESIGN
PLANNING • URBAN DESIGN • LSC •

128 VASSAR DRIVE SUITE 100
ALBUQUERQUE NEW MEXICO 87106
PHONE 505 242 6840 FAX 505 242 6861

CONSULTANT

STAMP

PROJECT NAME
GREATER ALBUQUERQUE
HOUSING PARTNERSHIP

FRANCISCAN ACRES SUBDIVISION
INDIAN SCHOOL AND BROADWAY
ALBUQUERQUE, NM 87102

REVISIONS

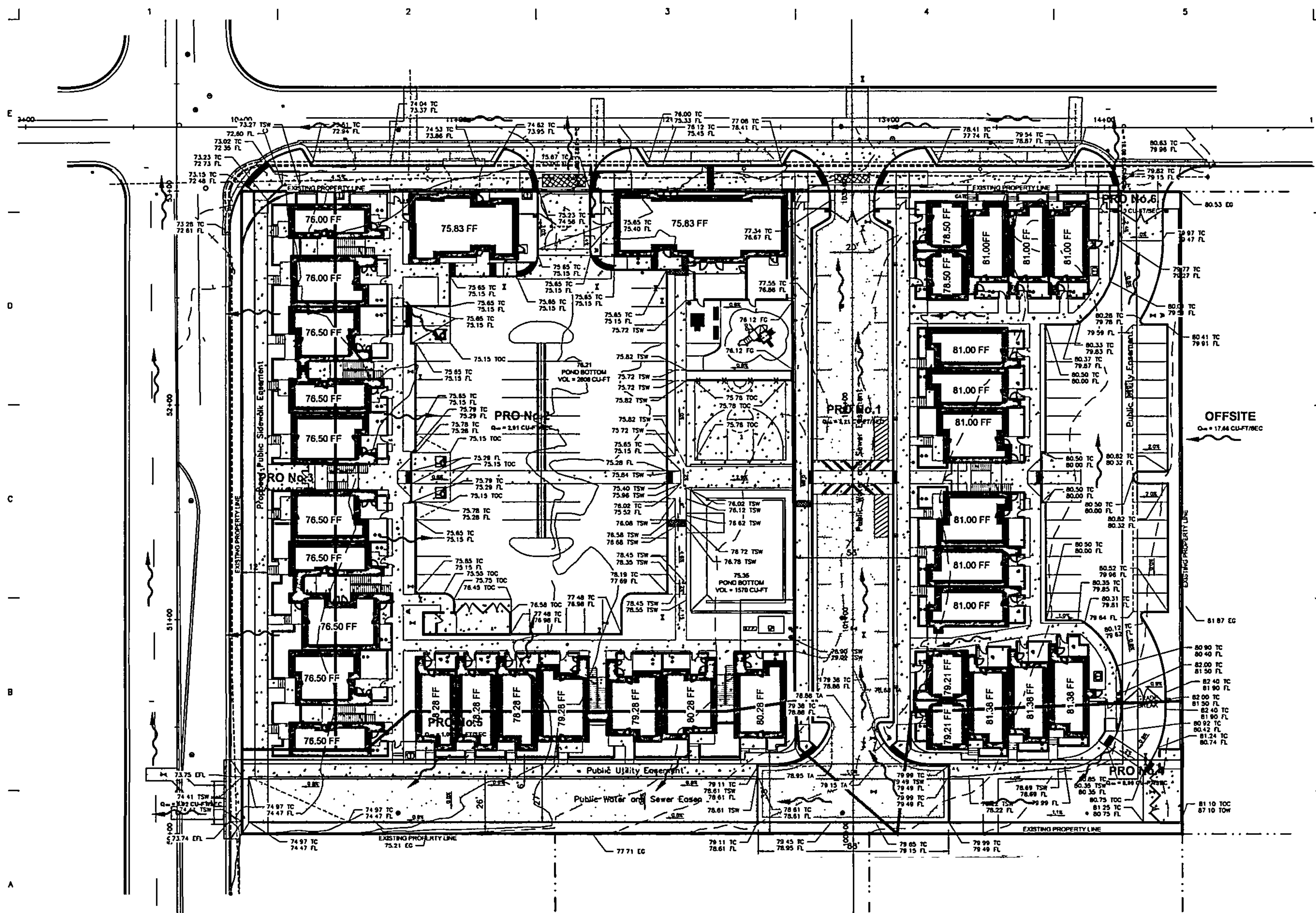
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Checked by BA
Date 6/7/02
Project number 3439
Job title name

JOB TITLE
CONCEPTUAL
GRADING
PLAN

JOB NUMBER

3.1



A1 CONCEPTUAL GRADING PLAN
SCALE 1" = 80'-0"



1 2 3 4 5
A B C D E

I. PURPOSE AND SCOPE

THE PURPOSE OF THIS DRAINAGE PLAN IS TO PRESENT THE EXISTING AND PROPOSED DRAINAGE MANAGEMENT PLANS FOR THE GREATER ALBUQUERQUE HOUSING PROJECT AT BROADWAY

II. SITE DESCRIPTION AND HISTORY

THE PROJECT SITE IS LOCATED AT THE SOUTH-EAST CORNER OF BROADWAY BLVD NE AND INDIAN SCHOOL ROAD NE.

THE SITE IS CURRENTLY COMPOSED OF THREE LOTS. ALL OF THE LOTS ARE APPROXIMATELY 1 ACRE IN SIZE FOR A TOTAL PROJECT SITE SIZE OF THREE ACRES. THE WESTERN AND CENTER LOTS CONTAIN EXISTING RESIDENTIAL STRUCTURES AND VARIOUS CONCRETE SIDEWALKS AND DRIVEWAYS. THE RESIDENCE IN THE CENTER LOT DOUBLES AS A AUTOMOTIVE MECHANIC BUSINESS WITH A VEHICLE STORAGE YARD LOCATED IN THE SOUTHERN HALF OF THE LOT. THE EASTERN LOT IS EMPTY WITH NO STRUCTURES.

III. COMPUTATIONAL PROCEDURES

HYDROLOGIC ANALYSIS WAS PERFORMED UTILIZING THE DESIGN CRITERIA BASED ON SECTION 22.2. HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL.

IV. PRECIPITATION

THE STORM EVENT USED FOR THE FOLLOWING CALCULATIONS IS THE 100YR-6HR STORM. THE PROJECT SITE IS LOCATED IN ZONE 2.

V. EXISTING DRAINAGE CONDITIONS

D CURRENTLY THE STORM WATER RUN-OFF DRAINS FROM EAST TO WEST ACROSS THE SITE BEFORE FLOWING ONTO BROADWAY BLVD NE. RUN-OFF FROM THE ADJACENT LOTS (APPROXIMATELY 5 ACRES) ENTERS THE SITE FROM THE EAST AS IT FLOWS TOWARDS BROADWAY BLVD NE. RUN-OFF FROM THE NORTH FLOWS ONTO INDIAN SCHOOL ROAD NE ON ITS WAY TO BROADWAY AND IS THUS PREVENTED FROM ENTERING THE SITE. RUN-OFF FROM THE SOUTH FLOWS EAST TO WEST AND WITH A NEGLIGIBLE AMOUNT FLOWING INTO THE SITE.

THERE ARE CURRENTLY A NUMBER OF RESIDENTIAL STRUCTURES WITH CONCRETE SIDEWALKS ON THE TWO MOST WESTERN LOTS. THE EASTERN LOT IS EMPTY. THESE WILL BE DEMOLISHED TO MAKE ROOM FOR THE PROPOSED DEVELOPMENT.

FOR A 100YR-6HR STORM EVENT THE SITE'S STORM WATER RUN-OFF VOLUME IS 0.24 AC-FT WITH A PEAK DISCHARGE OF 7.94 CFS.

VI. PROPOSED DRAINAGE CONDITIONS (REFER TO CD2)

THIS PROJECT IS PROPOSING TO ADD SEVENTY-TWO (72) HOUSING UNITS IN THE FORM OF MULTI-STORY STRUCTURES. THERE WILL ALSO BE INTERNAL AGGREGATE PARKING LOTS, CONCRETE SIDEWALKS, LANDSCAPING AREAS, AND A RECREATIONAL PARK. THE SITE IS SPLIT INTO TWO DRAIN DISTINCT AREAS SEPARATED BY AN INTERNAL ROADWAY THAT RUNS SOUTH TO NORTH.

C THE CITY OF ALBUQUERQUE HAS REQUIRED THIS PROJECT DUE TO ITS LOCATION WITHIN THE MARTINEZ TOWN NEIGHBORHOOD TO RELEASE A MAXIMUM FLOWRATE OF 2.75 CU-FT/SEC PER ACRE OF STORM WATER RUN-OFF.

THE EASTERN PARKING LOT (WITHIN BASIN PRO No. 1) IS COMPOSED OF AGGREGATE RATHER THAN ASPHALT PAVEMENT. THE AGGREGATE HAS A STORAGE CAPACITY OF APPROXIMATELY 2.6 INCHES BEFORE IT WOULD BEGIN TO POOL ABOVE THE UPPER MOST SURFACE. DUE TO THE TOTAL STORAGE CAPACITY (1633 CU-FT) AND AN INFILTRATION RATE OF 0.5 INCHES THE STORM WATER RUN-OFF GENERATED FROM THE PARKING LOT (670 CU-FT AT 0.52 CU-FT/SEC) WILL BE CONTAINED WITHIN THE PARKING LOT. RUNOFF FROM THIS AREA WILL BE VERY LIMITED BUT WILL BE UTILIZED AS A PONDING AREA AND DETENTION BASIN FOR OFF SITE FLOWS FROM THE EAST. EXCESS RUNOFF FROM THE EAST WILL BE DETAINED IN THIS PONDING AREA AND WILL OVERFLOW INTO INDIAN SCHOOL.

THE MAJORITY OF THE EASTERN HALF OF THE SITE (PRO BASIN No. 1) WILL DRAIN INTO THE PARKING LOT ON THE EASTERN SIDE OF THE UNITS. THE WESTERN PORTION OF THE BUILDING AND BASIN WILL FLOW INTO THE PRIVATE DRIVE THAT HAS BEEN DESIGNED FOR POSSIBLE FUTURE DEDICATIONS. EXCESS FLOWS FROM THIS BASIN WILL FLOW NORTH TOWARD INDIAN SCHOOL RD.

THE WEST (PRO BASIN No. 2), CONTAINS BOTH PARKING AREAS AND UNITS WITH ASSOCIATED LANDSCAPING BUFFERS. THE WESTERN PARKING LOT WILL ALSO BE A THICK PERVIOUS PAVEMENT (1" ANGULAR GRAVEL WITH STORAGE CAPACITY OF 2.5" OF WATER) WILL BE DESIGNED FOR A RUN-OFF STORAGE CAPACITY OF (2800 CU-FT). THE PARKING LOT WILL ACHIEVE THIS CAPACITY AT TWO INCHES OF STORM WATER DEPTH ABOVE THE UPPER MOST SURFACE BEFORE FLOWING THROUGH THE DRIVE ENTRANCE OF THE PARKING LOT—IN THIS CASE, ACTING AS A BROAD CRESTED WEIR—as the run-off (1.55 CU-FT/SEC) LEAVES THE PROJECT SITE ONTO INDIAN SCHOOL ROAD NE.

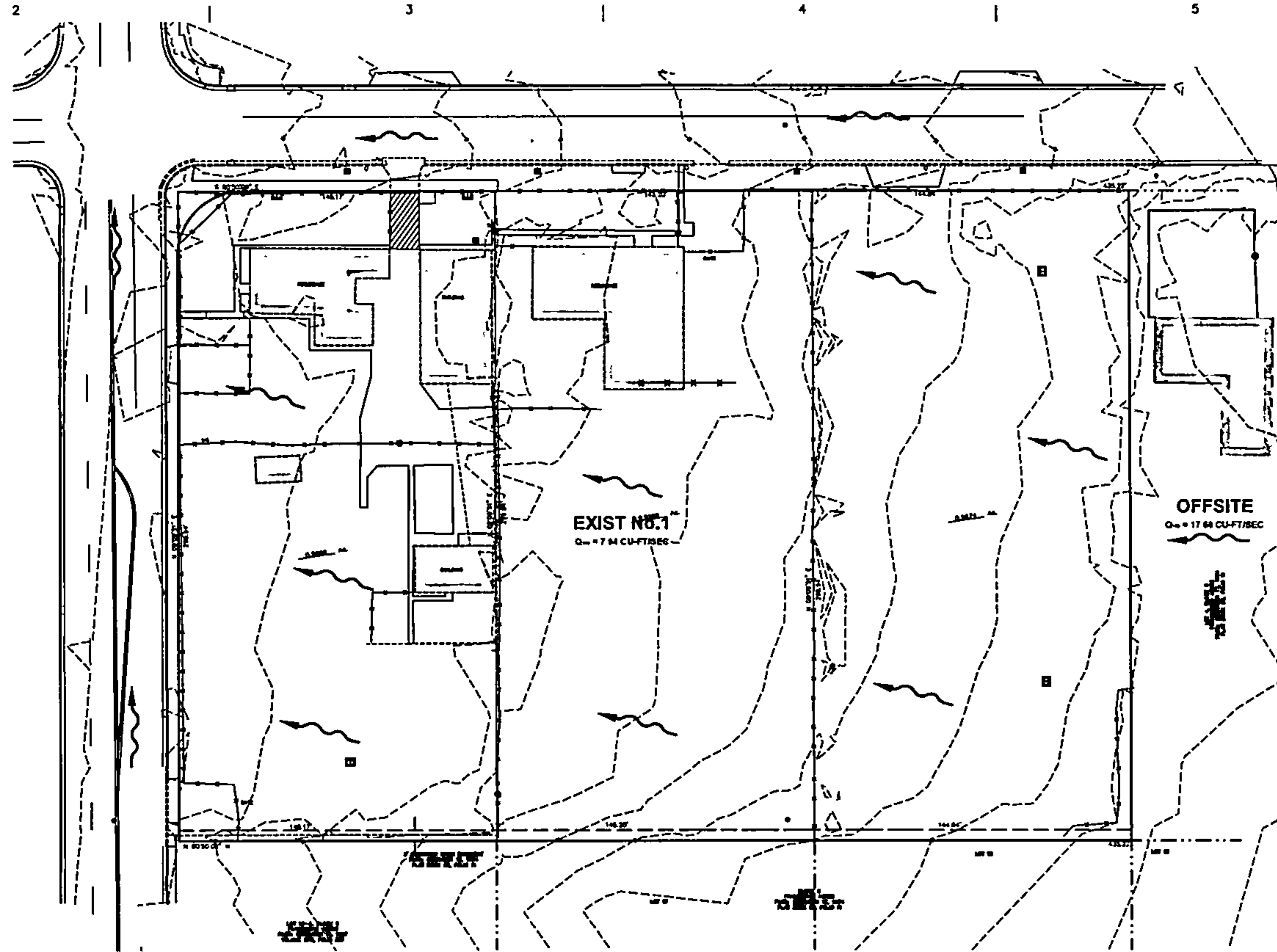
THERE WILL BE A NUMBER OF METHODS TO MITIGATE THE IMPACT OF THE OFF-SITE FLOW ENTERING THE SITE (PRO BASIN No. 3) FROM THE EAST. ONE IS TO CHANNEL TWO-THIRDS OF THE RUN-OFF INTO A CONCRETE CHANNEL RUNNING PARALLEL TO THE PROPERTY LINE BEFORE DISCHARGING ONTO INDIAN SCHOOL ROAD NE. THE OTHER IS TO CHANNEL THE RUN-OFF INTO A SWALE THAT WILL DIRECT THE RUN-OFF SOUTH BEFORE TURNING AND RUNNING PARALLEL TO THE SOUTH PROPERTY LINE BEFORE DISCHARGING ONTO BROADWAY BLVD NE THROUGH A NUMBER OF SIDEWALK CULVERTS.

VII. CONCLUSIONS

AS A RESULT OF THE PROPOSED CONSTRUCTION THERE WILL BE THE FOLLOWING FLOWRATES

- PRO BASIN No. 1 - 0.80 CU-FT/SEC
- PRO BASIN No. 2 - 0.75 CU-FT/SEC
- PRO BASIN No. 3 - 1.14 CU-FT/SEC
- PRO BASIN No. 4 - 0.86 CU-FT/SEC
- PRO BASIN No. 5 - 1.03 CU-FT/SEC

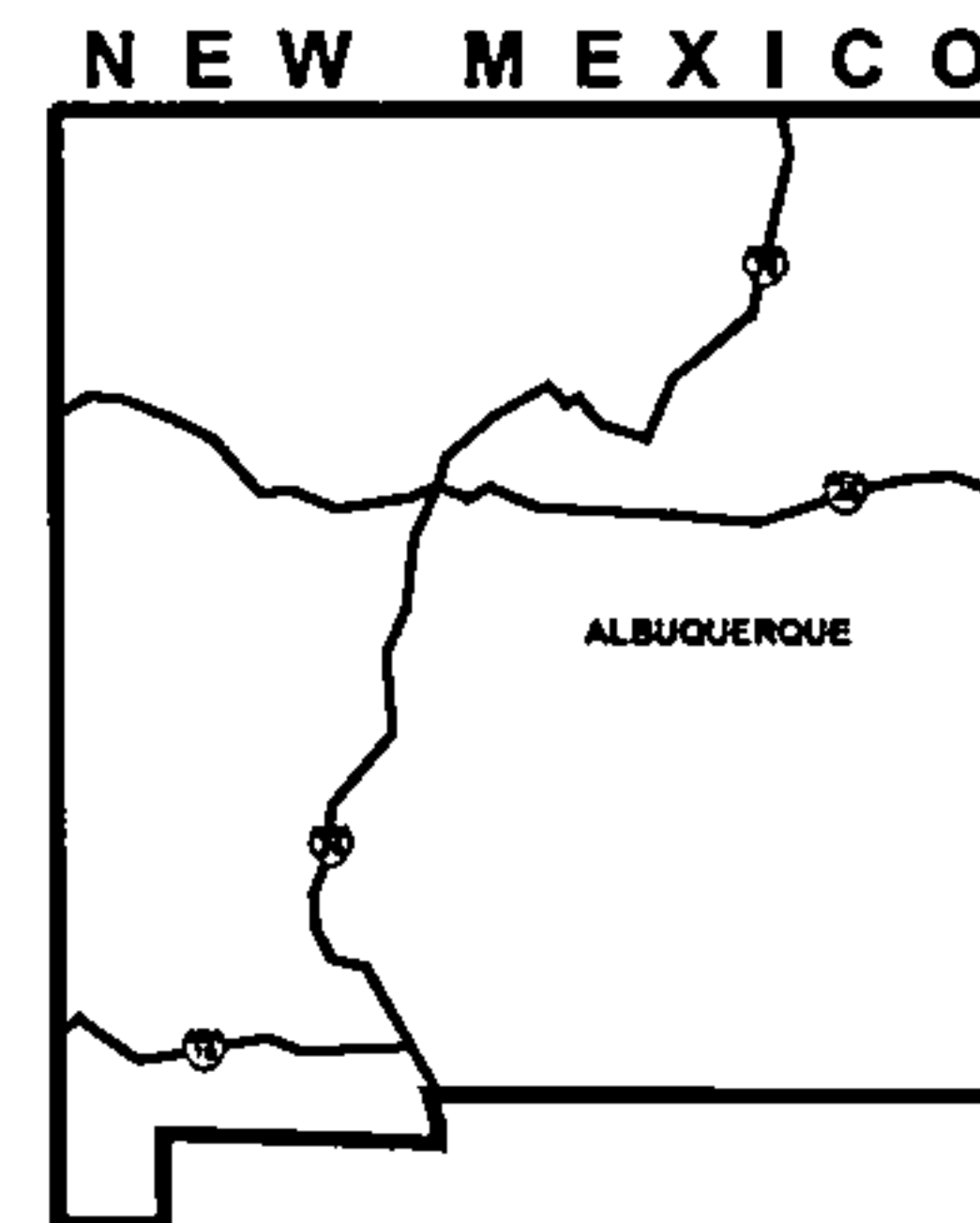
A FOR AN AVERAGE RUN-OFF FLOWRATE OF 1.67 CU-FT/SEC PER ACRE, WHICH IS BELOW THE 2.75 CU-FT/SEC PER ACRE DESIGN LIMIT SET FORTH BY THE CITY OF ALBUQUERQUE HYDROLOGY DEPARTMENT



A1 SITE PLAN
SCALE: 1" = 60'-0"



A4 VICINITY MAPS
SCALE: NOT TO SCALE



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No.	DATE	DESCRIPTION

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Checked by: BM
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Project number: 3128
Sheet name:

PROJECT TITLE
**CONCEPTUAL
DRAINAGE
PLAN**

SHEET NUMBER

3.2



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ALBUQUERQUE, NM 87102

REVISIONS

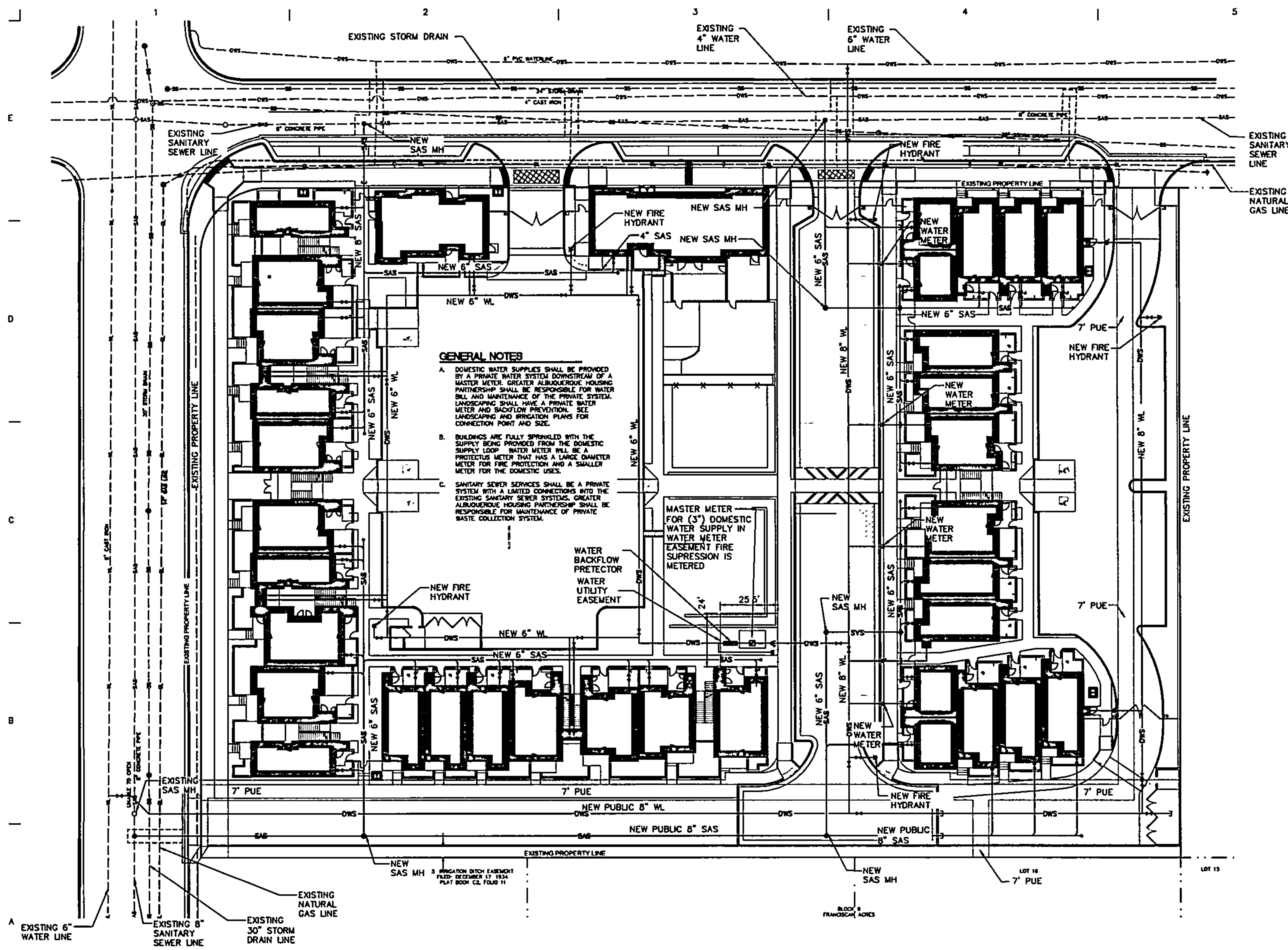
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Checked by	BM
Date	07/20/12
Plot number	3430
Plot name	

JOB TITLE
SITE CONCEPTUAL
UTILITY
PLAN

JOB NUMBER



GENERAL NOTES

A. DOMESTIC WATER SUPPLIES SHALL BE PROVIDED BY A PRIVATE WATER SYSTEM DOWNSTREAM OF A MASTER METER. GREATER ALBUQUERQUE HOUSING PARTNERSHIP SHALL BE RESPONSIBLE FOR WATER BILL AND MAINTENANCE OF THE PRIVATE SYSTEM. LANDSCAPING SHALL HAVE A PRIVATE WATER METER AND BACKFLOW PREVENTION. SEE LANDSCAPING AND IRRIGATION PLANS FOR CONNECTION POINT AND SIZE.

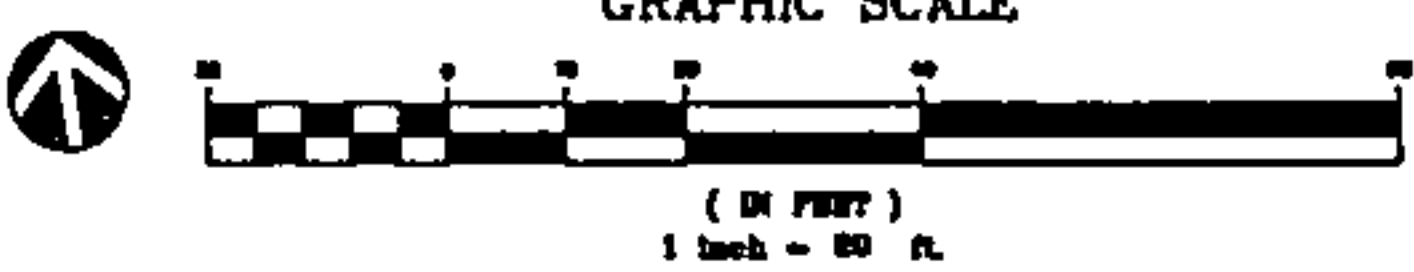
B. BUILDINGS ARE FULLY SPRINKLED WITH THE SUPPLY BEING PROVIDED FROM THE DOMESTIC SUPPLY LOOP. WATER METER WILL BE A PROTECTUS METER THAT HAS A LARGE DIAMETER METER FOR FIRE PROTECTION AND A SMALLER METER FOR THE DOMESTIC USES.

C. SANITARY SEWER SERVICES SHALL BE A PRIVATE SYSTEM WITH A LIMITED CONNECTIONS INTO THE EXISTING SANITARY SEWER SYSTEMS. GREATER ALBUQUERQUE HOUSING PARTNERSHIP SHALL BE RESPONSIBLE FOR MAINTENANCE OF PRIVATE WASTE COLLECTION SYSTEM.

MASTER METER FOR (3") DOMESTIC WATER SUPPLY IN WATER METER EASEMENT FIRE SUPPRESSION IS METERED

WATER BACKFLOW PRETECTOR
WATER UTILITY EASEMENT

A1 CONCEPTUAL UTILITY PLAN
SCALE 1" = 20'-0"



SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from August 21 2012 to Sept 5 2012

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Mark C. [Signature]
(Applicant or Agent)

8/10/12
(Date)

I issued 2 signs for this application, 8-10-12
(Date)

[Signature]
(Staff Member)

DRB PROJECT NUMBER: 1002649



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FRANCISCAN ACRES SUBDIVISION
 INDIAN SCHOOL AND BROADWAY
 ALBUQUERQUE NM 87102

REVISIONS

No.	Date	Description

Prepared by	Design Group
Drawn by	Author
Checked by	Checker
Date	AUG 13, 2012
Project number	2439
Client	City of Albuquerque

SHEET TITLE
 BUILDING AND STRUCTURE ELEVATIONS
 BUILDING C

SHEET NUMBER

5.2



5 BUILDING C - ELEVATION SOUTH
 1/8" = 1'-0"



6 BUILDING C - ELEVATION EAST - NORTH
 1/8" = 1'-0"



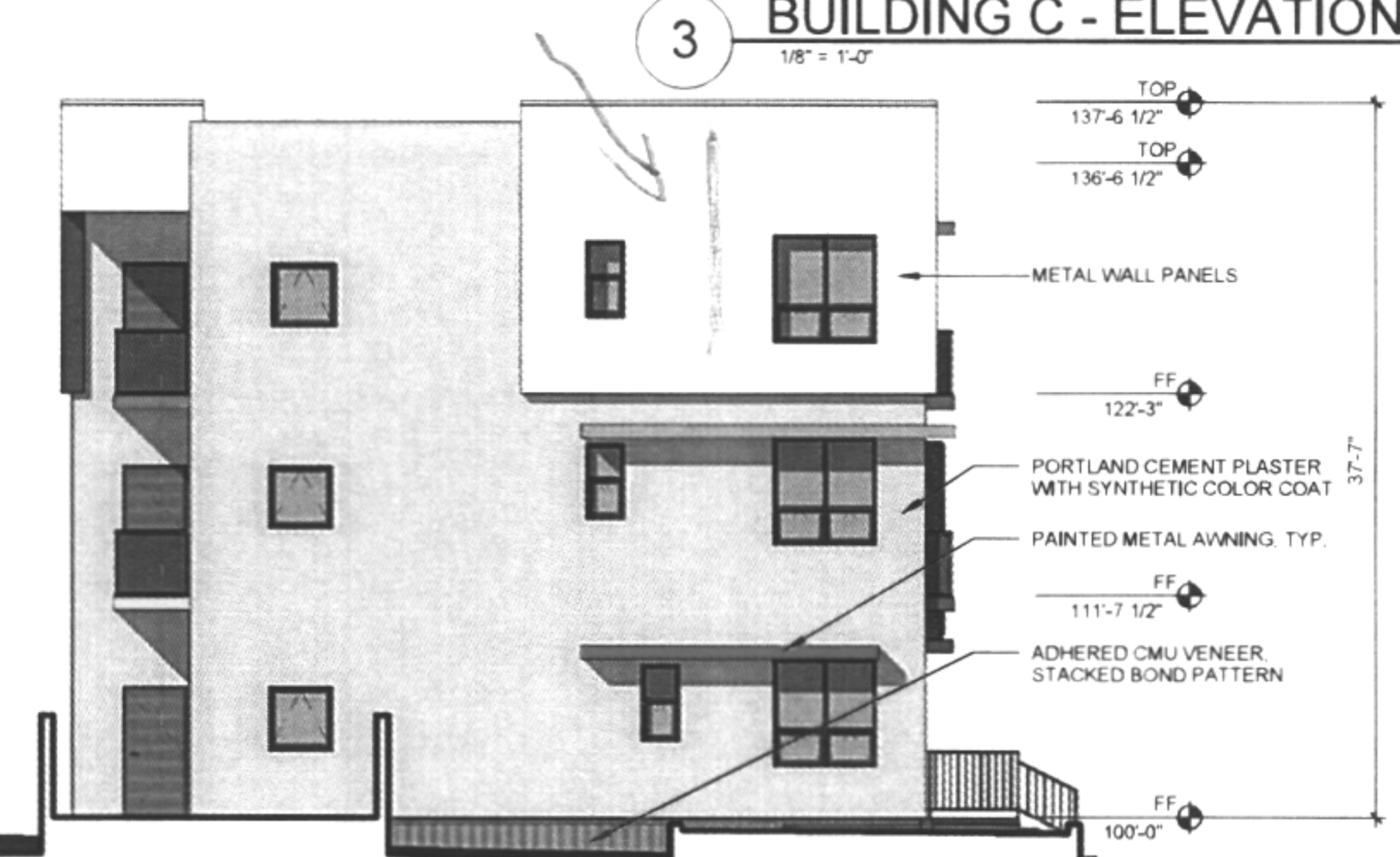
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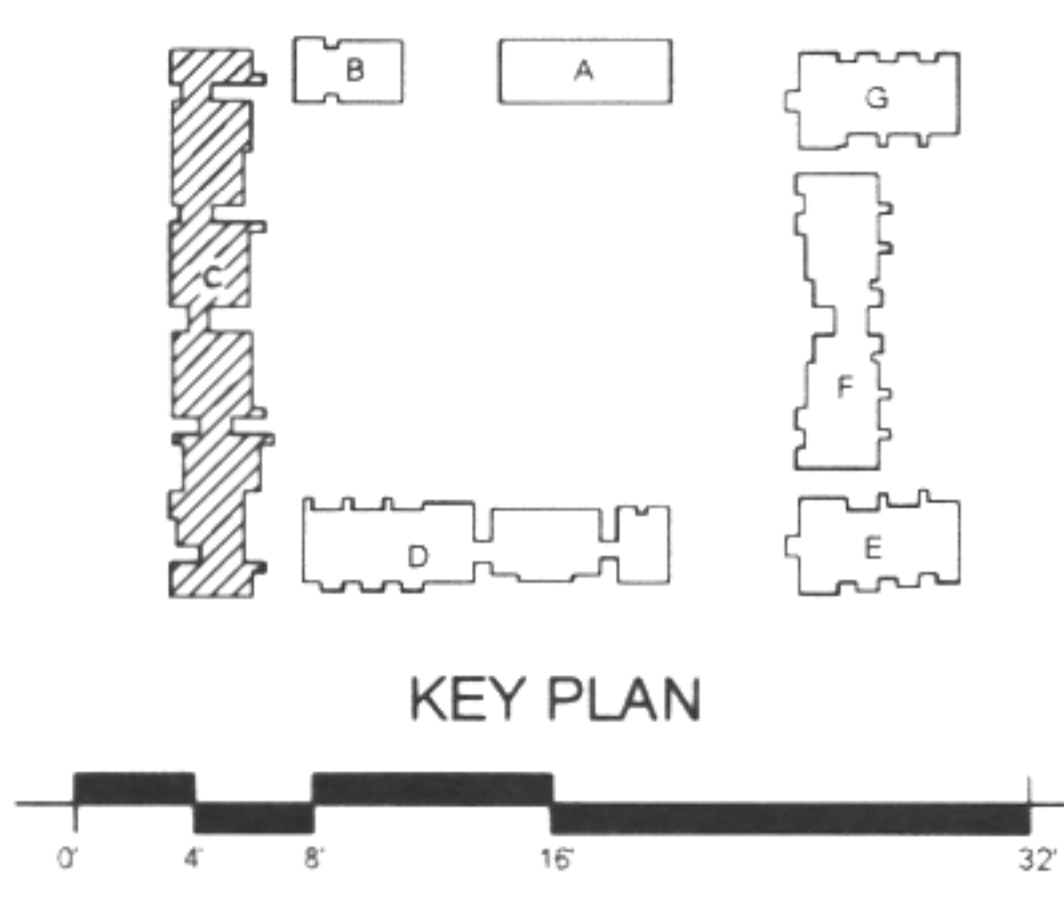
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 1/8" = 1'-0"



1 BUILDING C - ELEVATION WEST - NORTH
 1/8" = 1'-0"



2 BUILDING C - ELEVATION NORTH
 1/8" = 1'-0"





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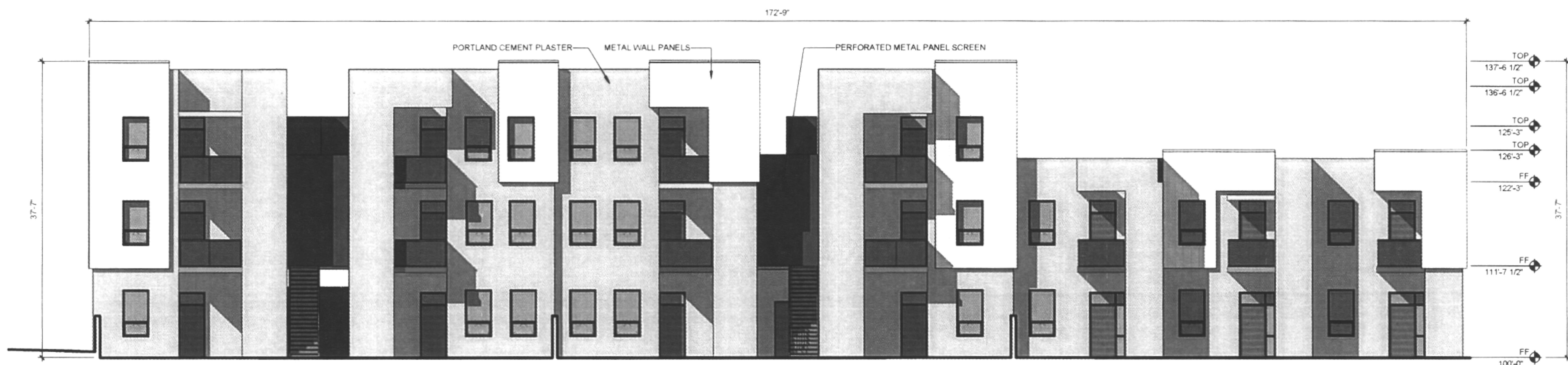
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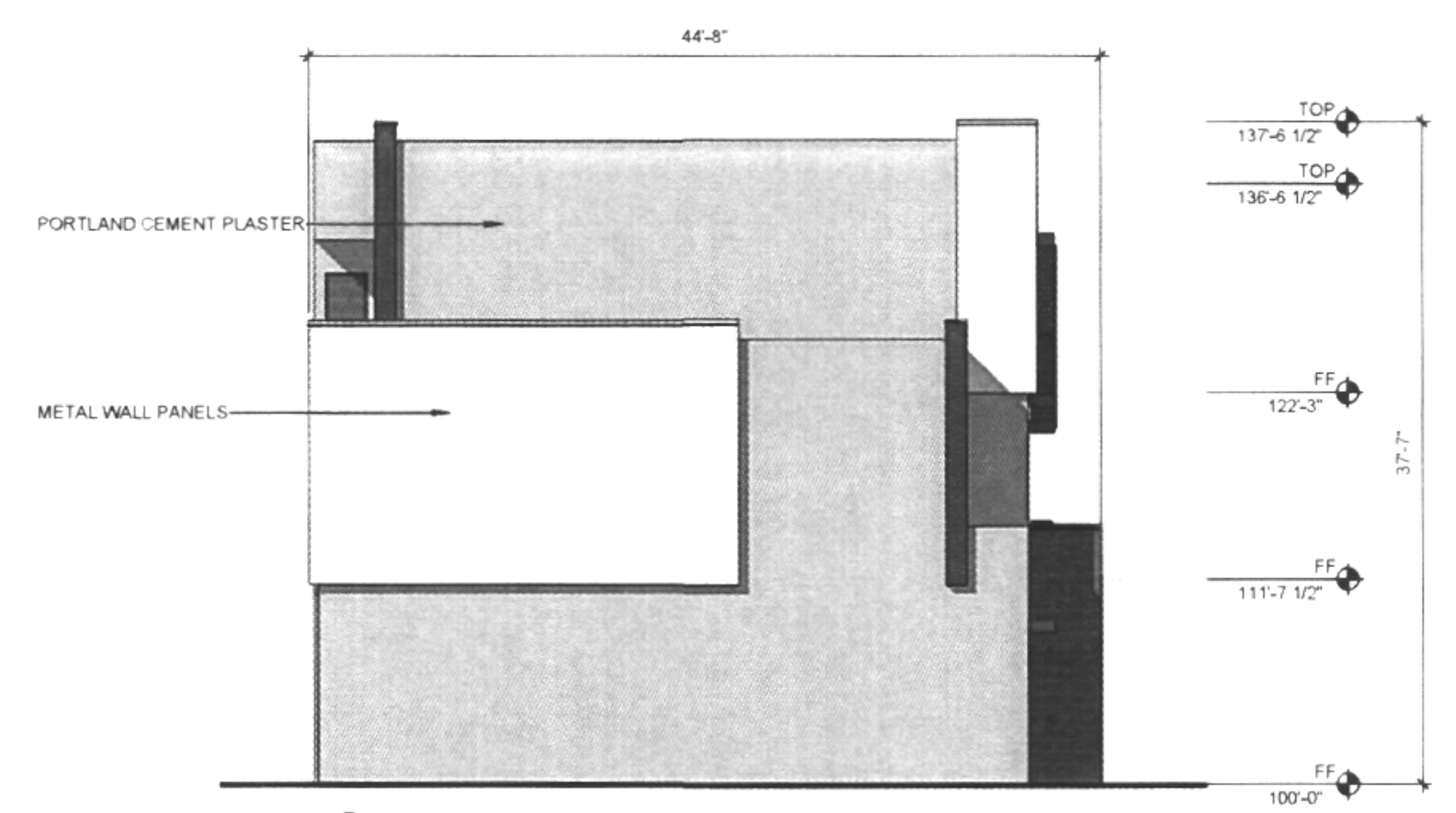
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 Checked by: _____
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 Project number: 2439
 Plot: 06-10-00-000

SHEET TITLE
 BUILDING AND STRUCTURE ELEVATIONS
 BUILDING D

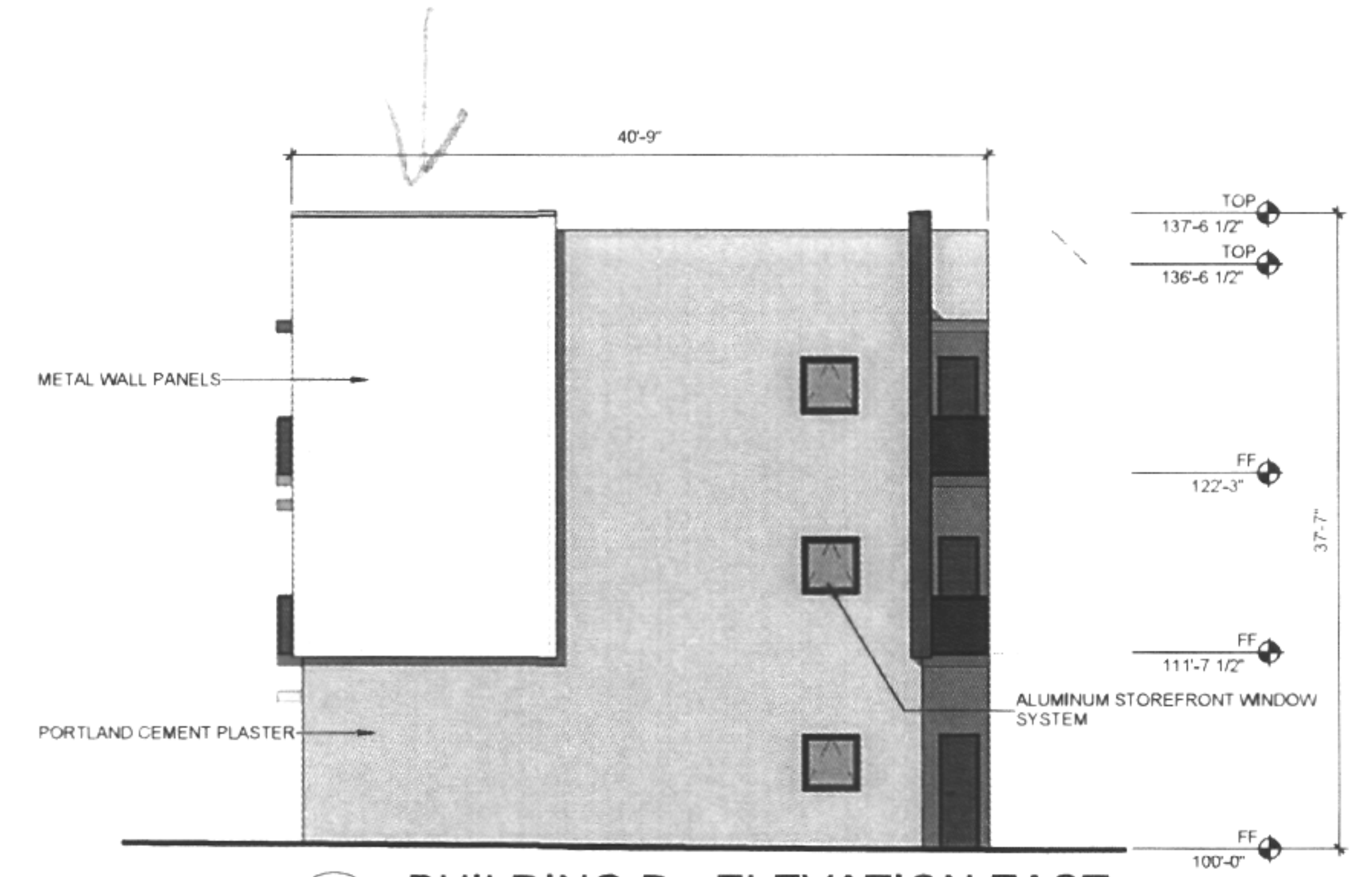
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4 BUILDING D - ELEVATION NORTH
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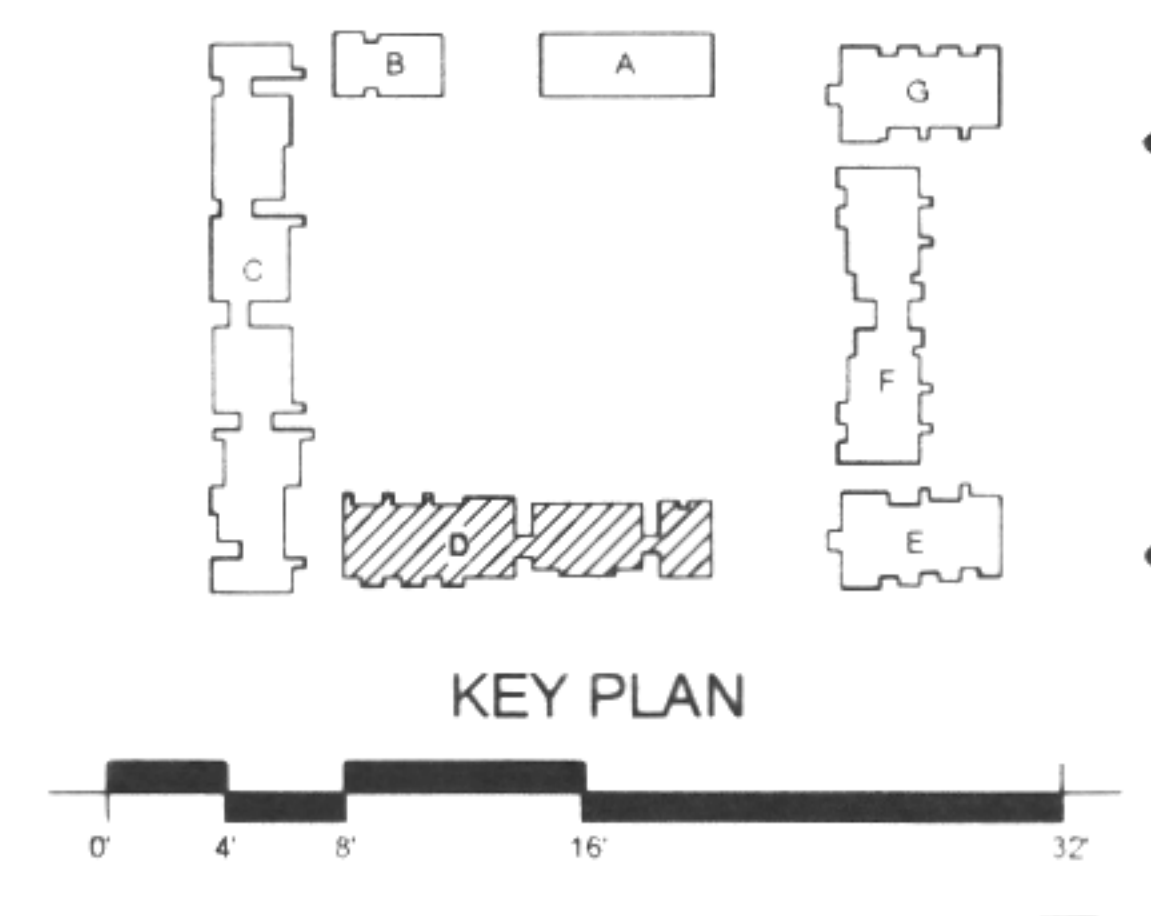
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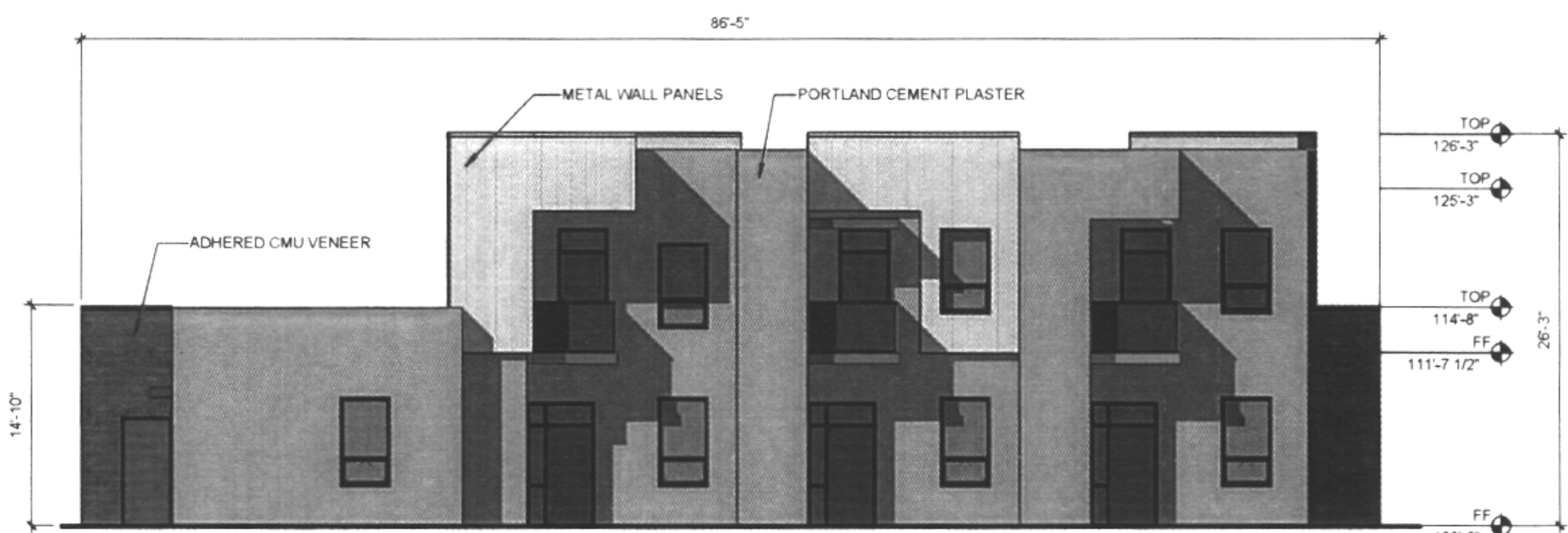


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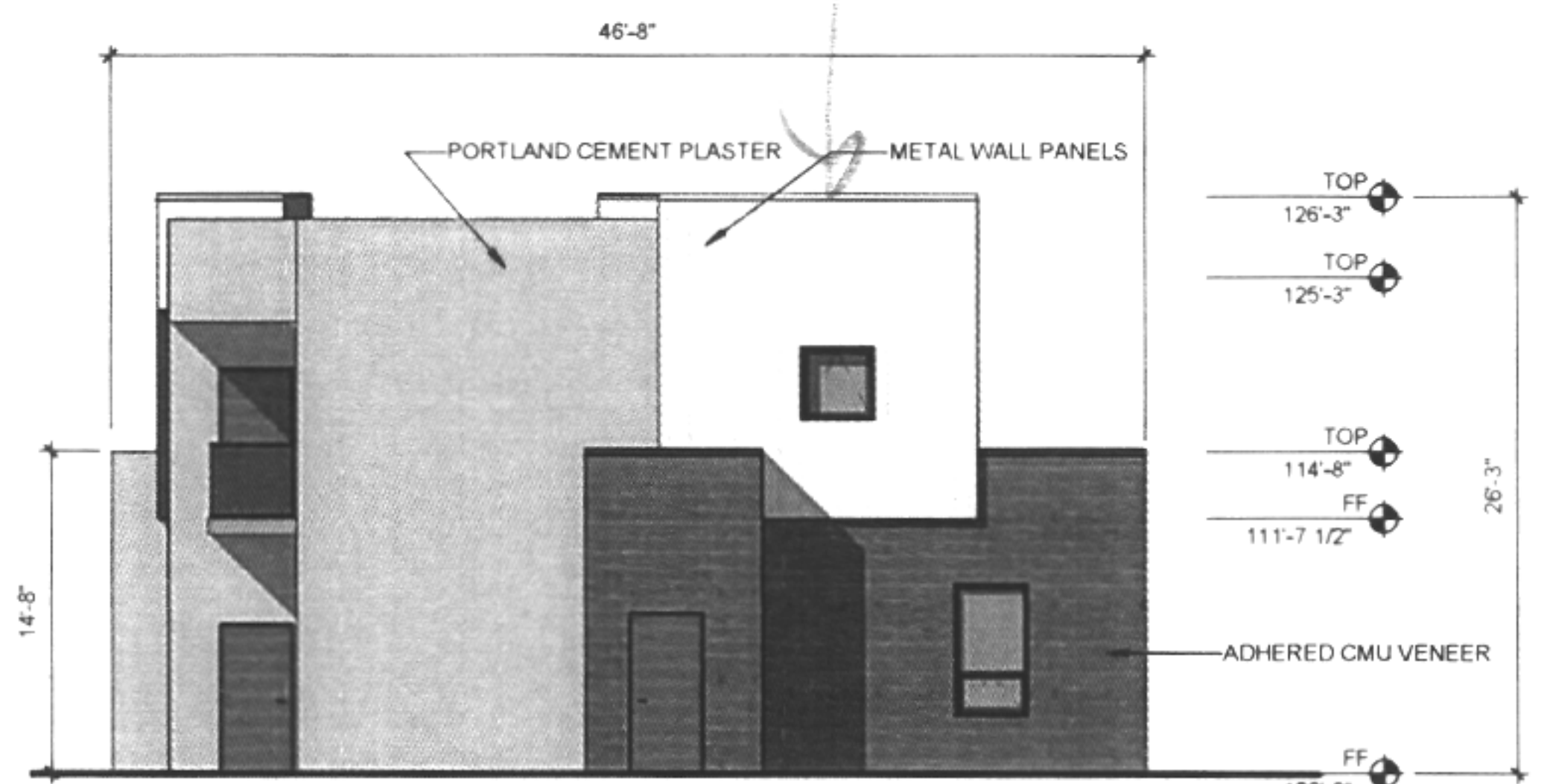


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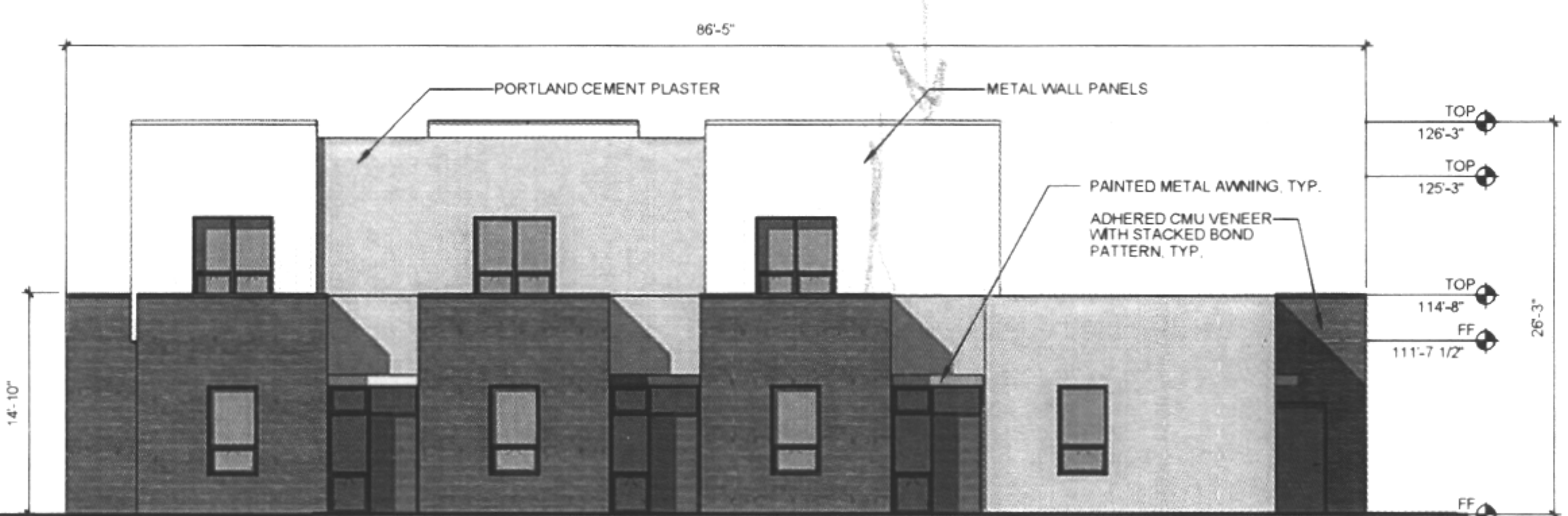




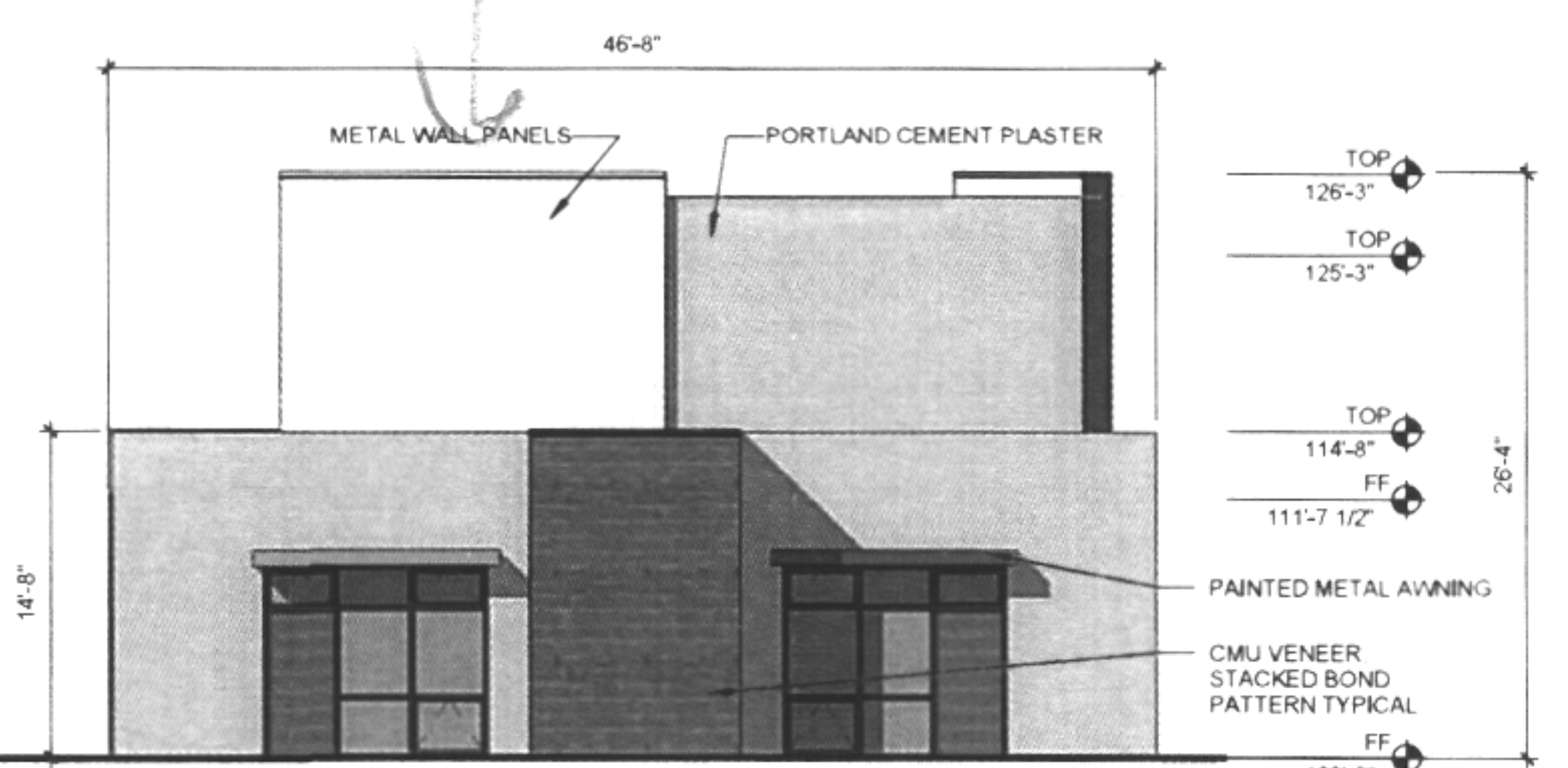
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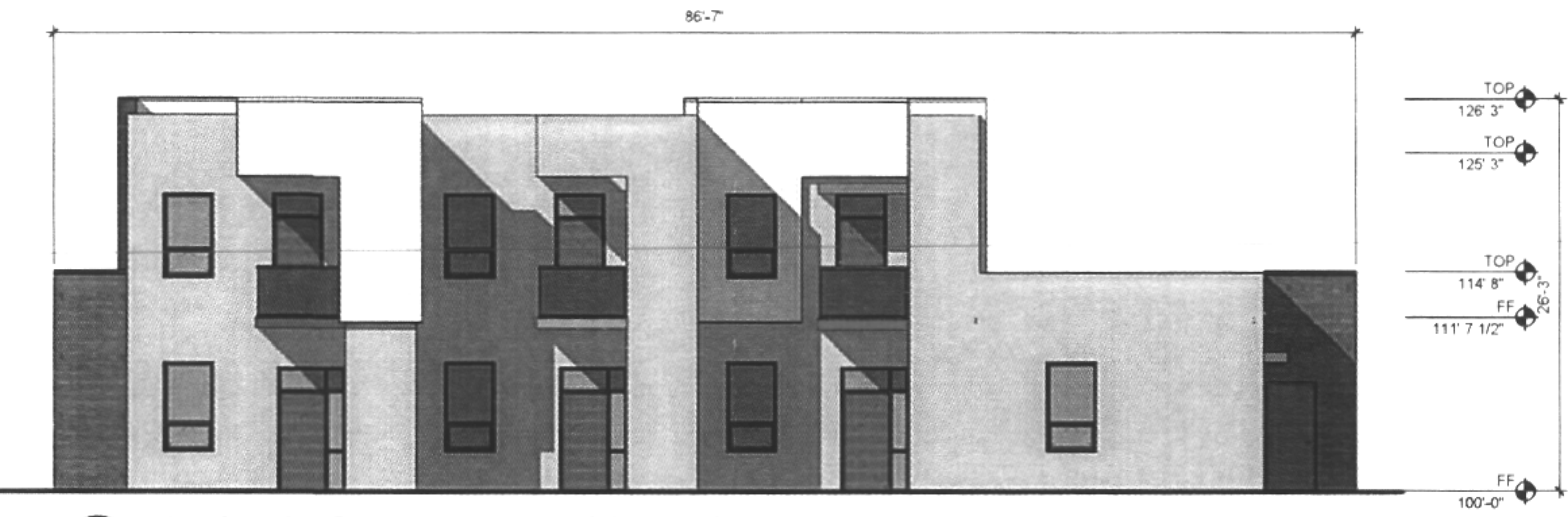
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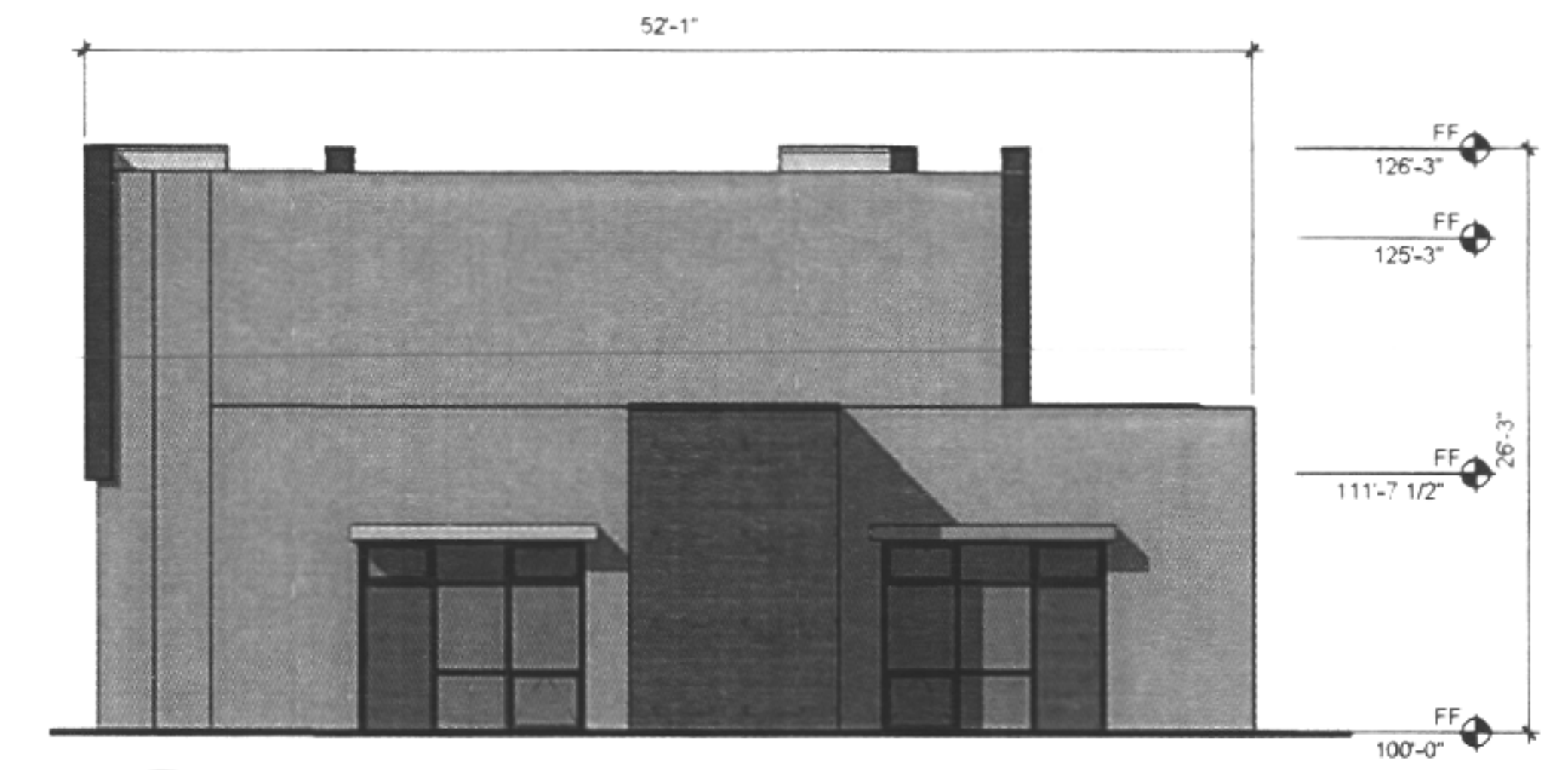
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1/8" = 1'-0"



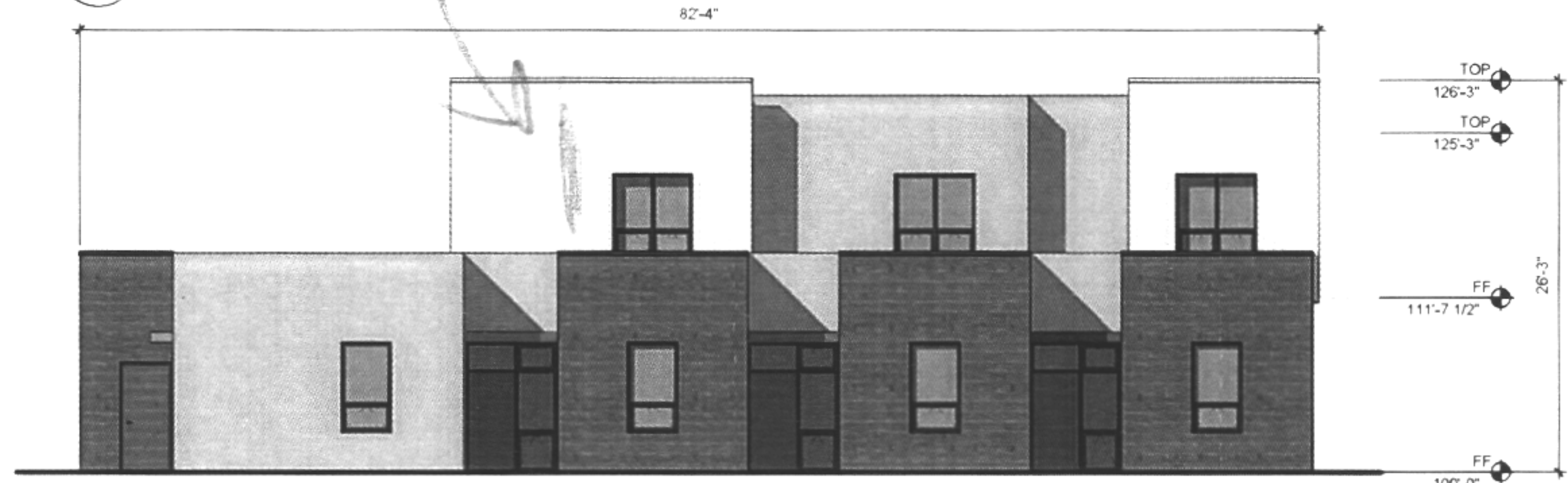
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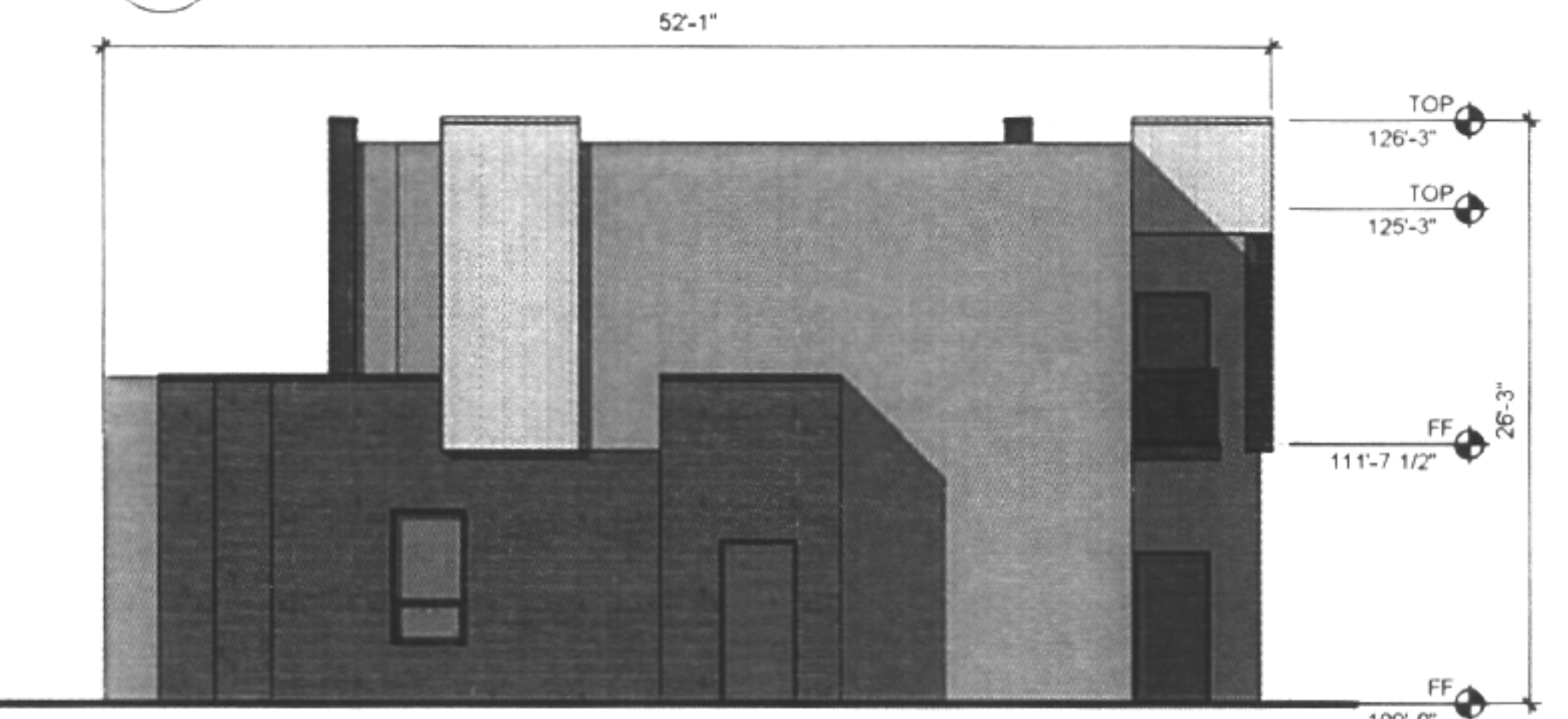
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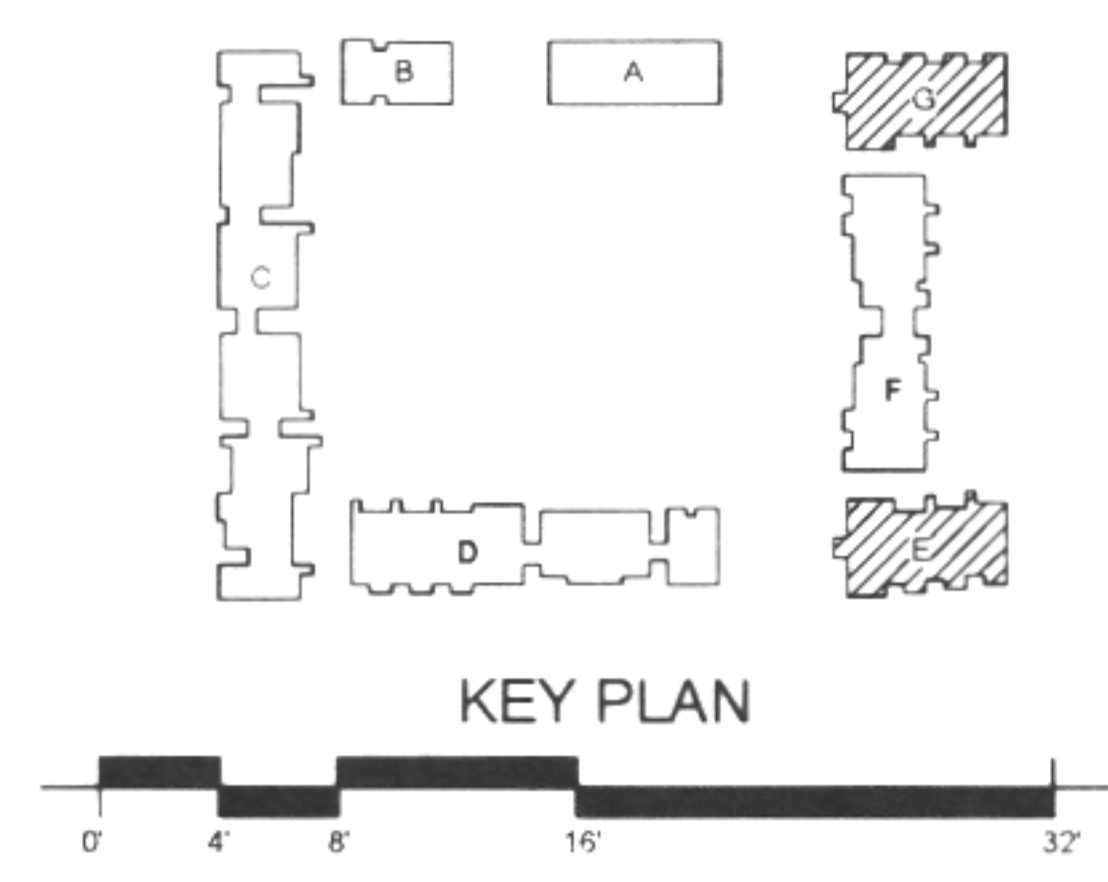
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1 BUILDING E - ELEVATION SOUTH
1/8" = 1'-0"



2 BUILDING E - ELEVATION EAST
1/8" = 1'-0"



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FRANCISCAN ACRES SUBDIVISION
INDIAN SCHOOL AND BROADWAY
ALBUQUERQUE, NM 87102

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SHEET TITLE
**BUILDING AND STRUCTURE ELEVATIONS
BUILDINGS E AND G**

SHEET NUMBER

5.4



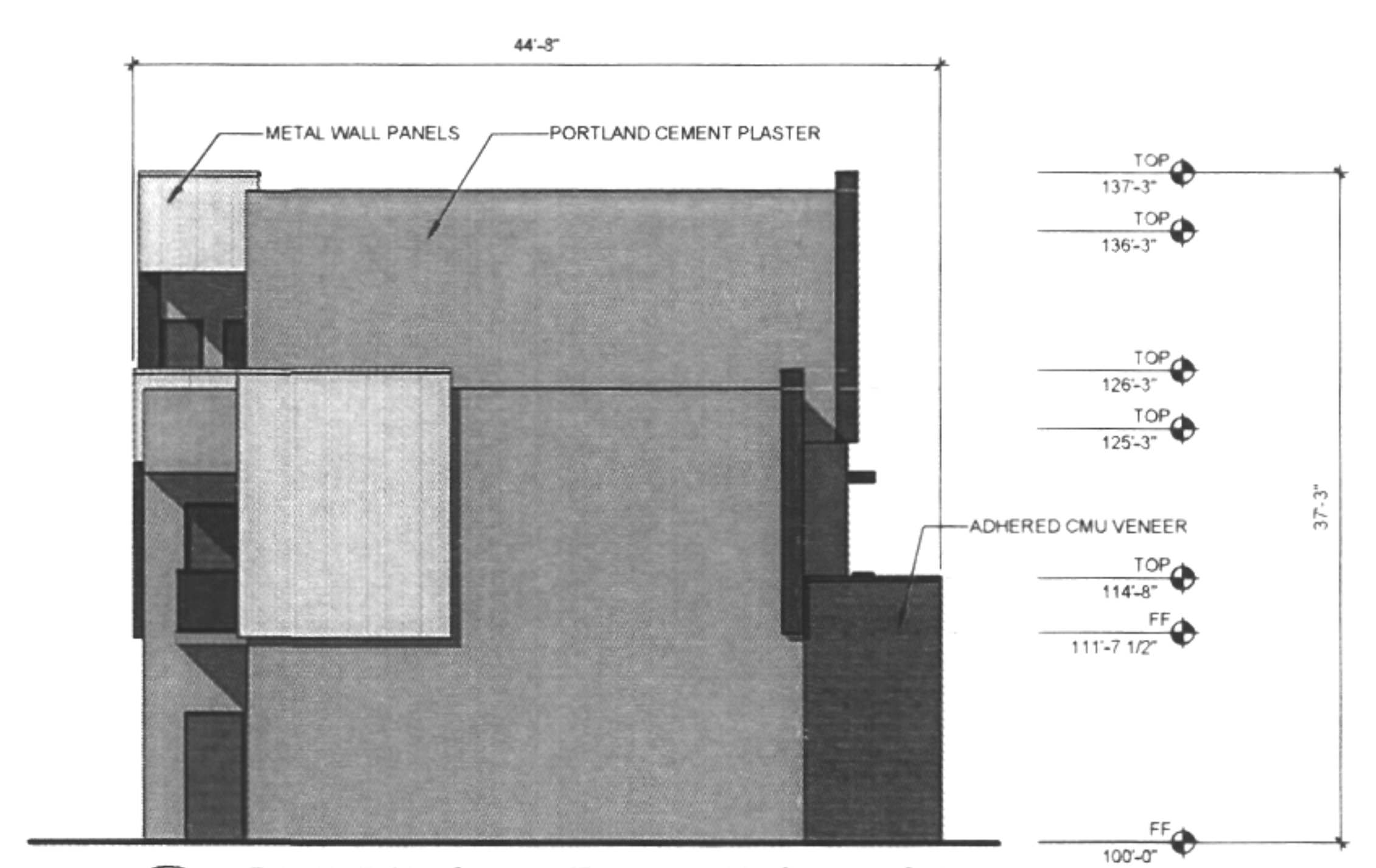
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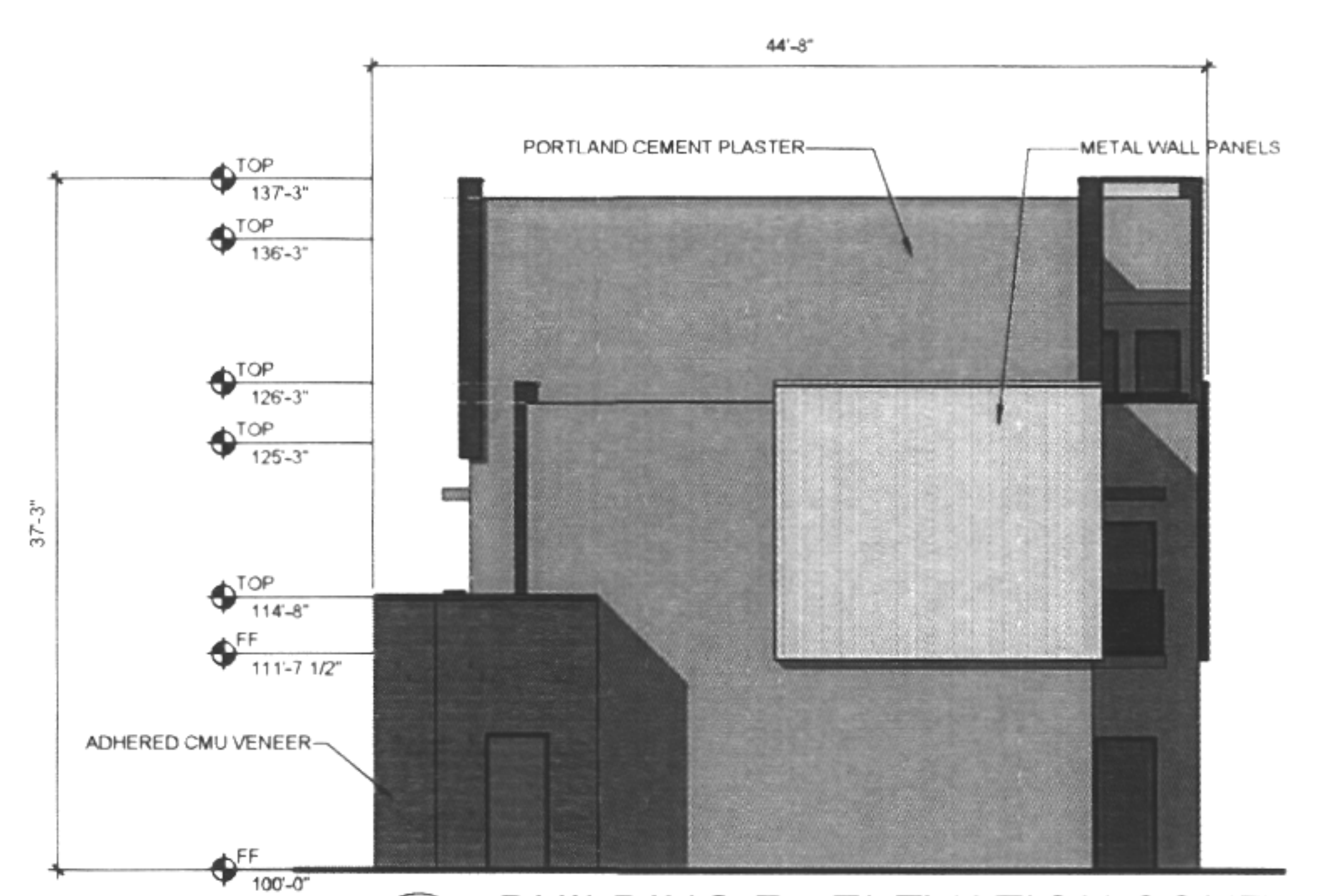
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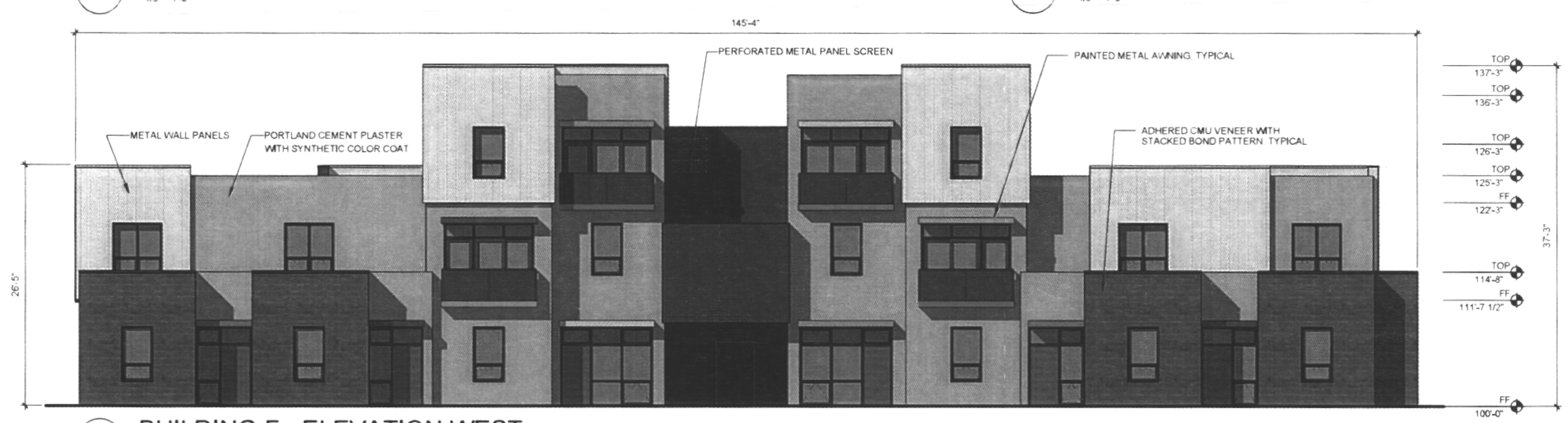
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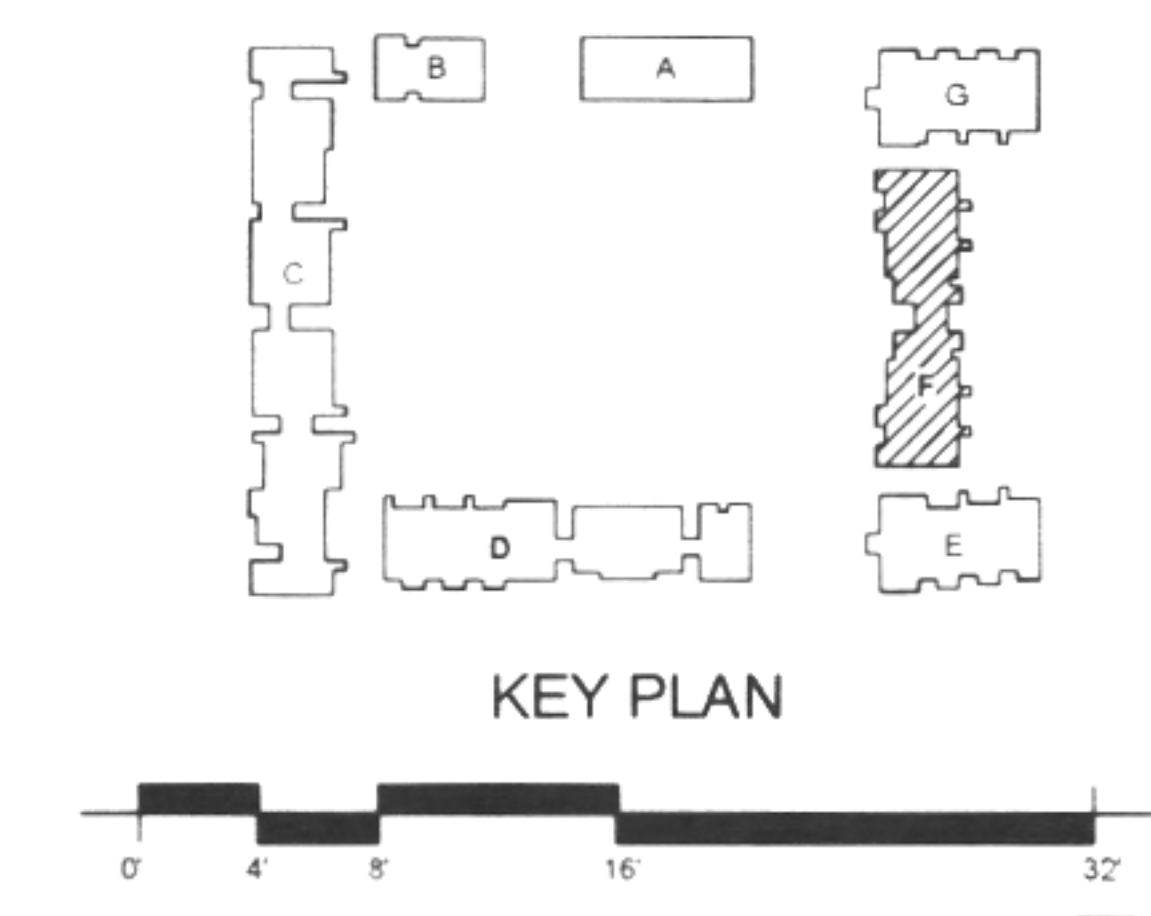
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3 BUILDING F - ELEVATION SOUTH
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1 BUILDING F - ELEVATION WEST
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 Total sheet count:

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 BUILDING F

SHEET NUMBER

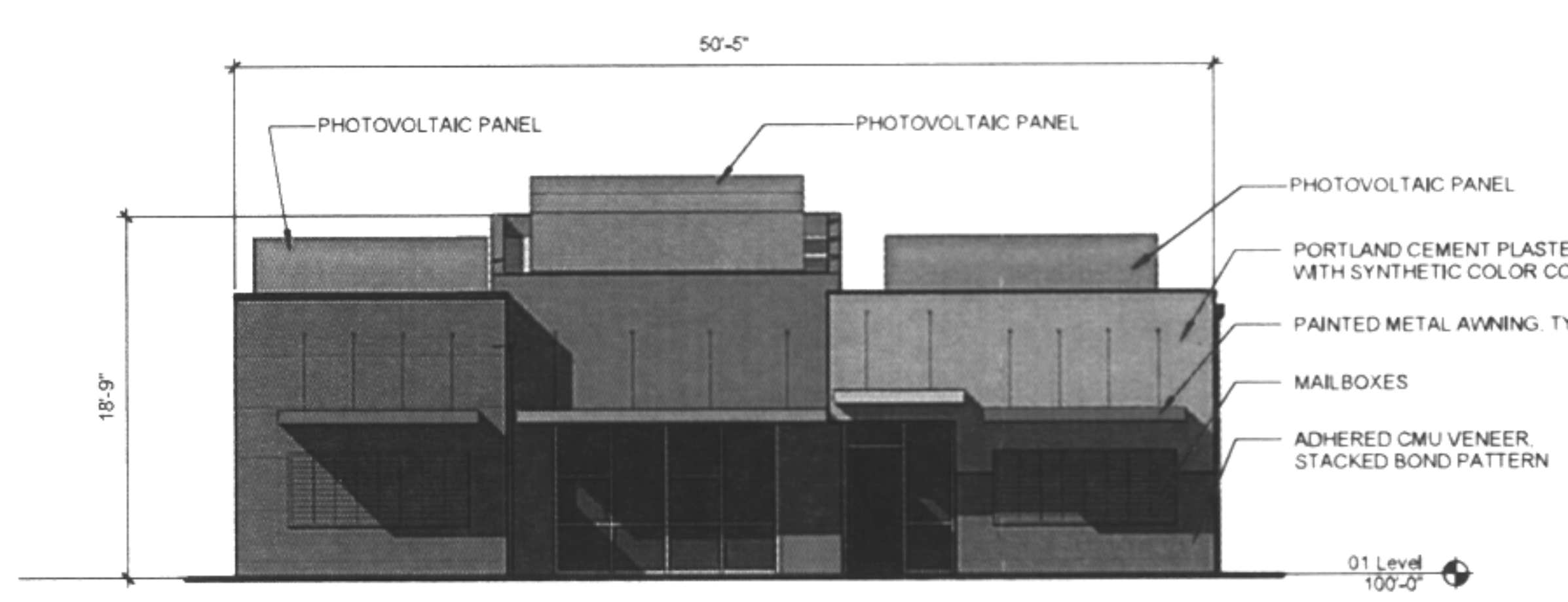
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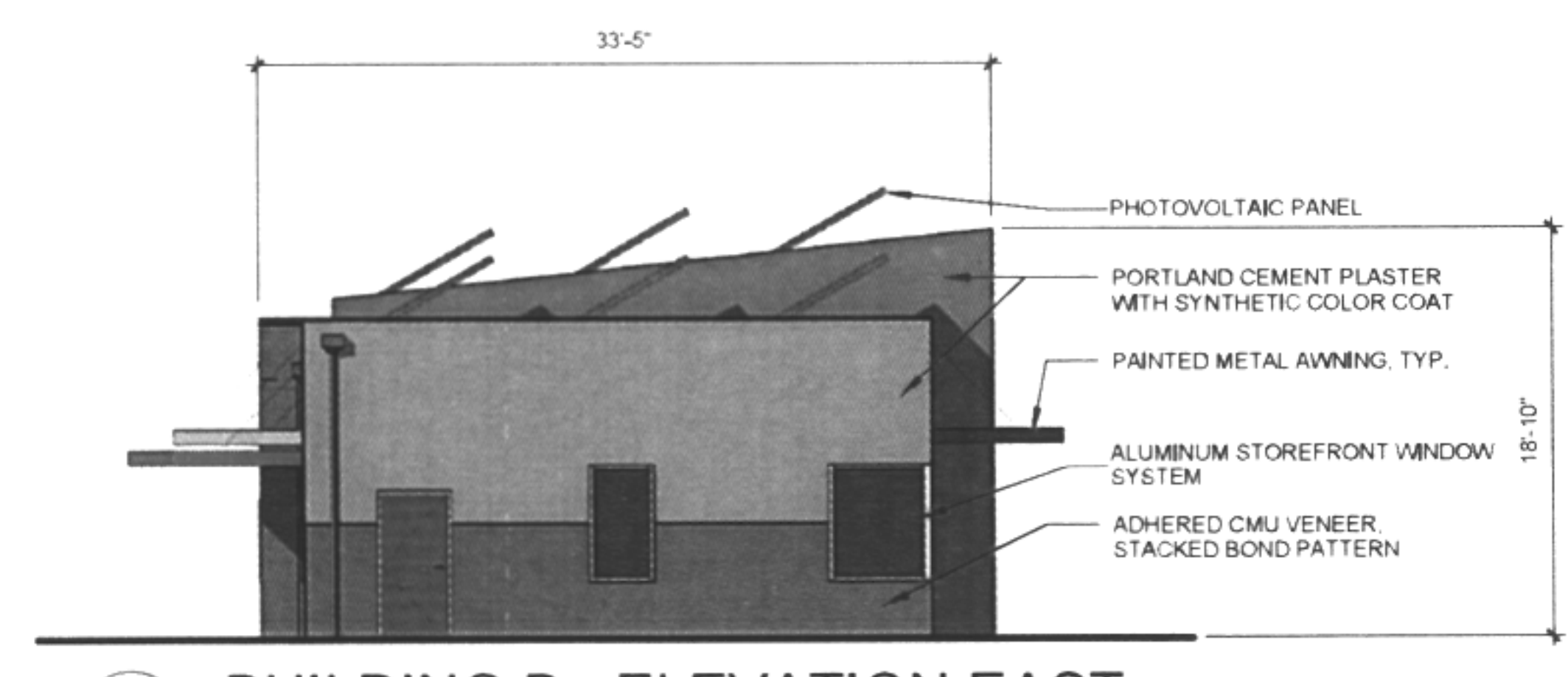
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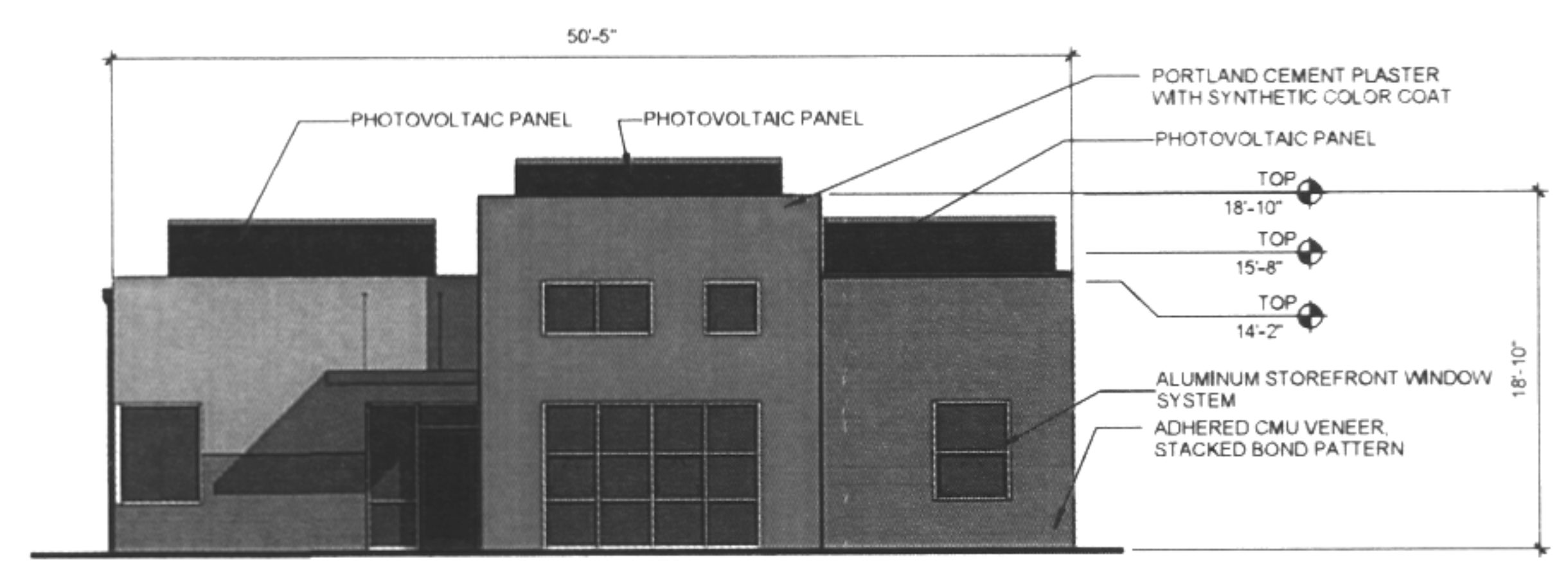
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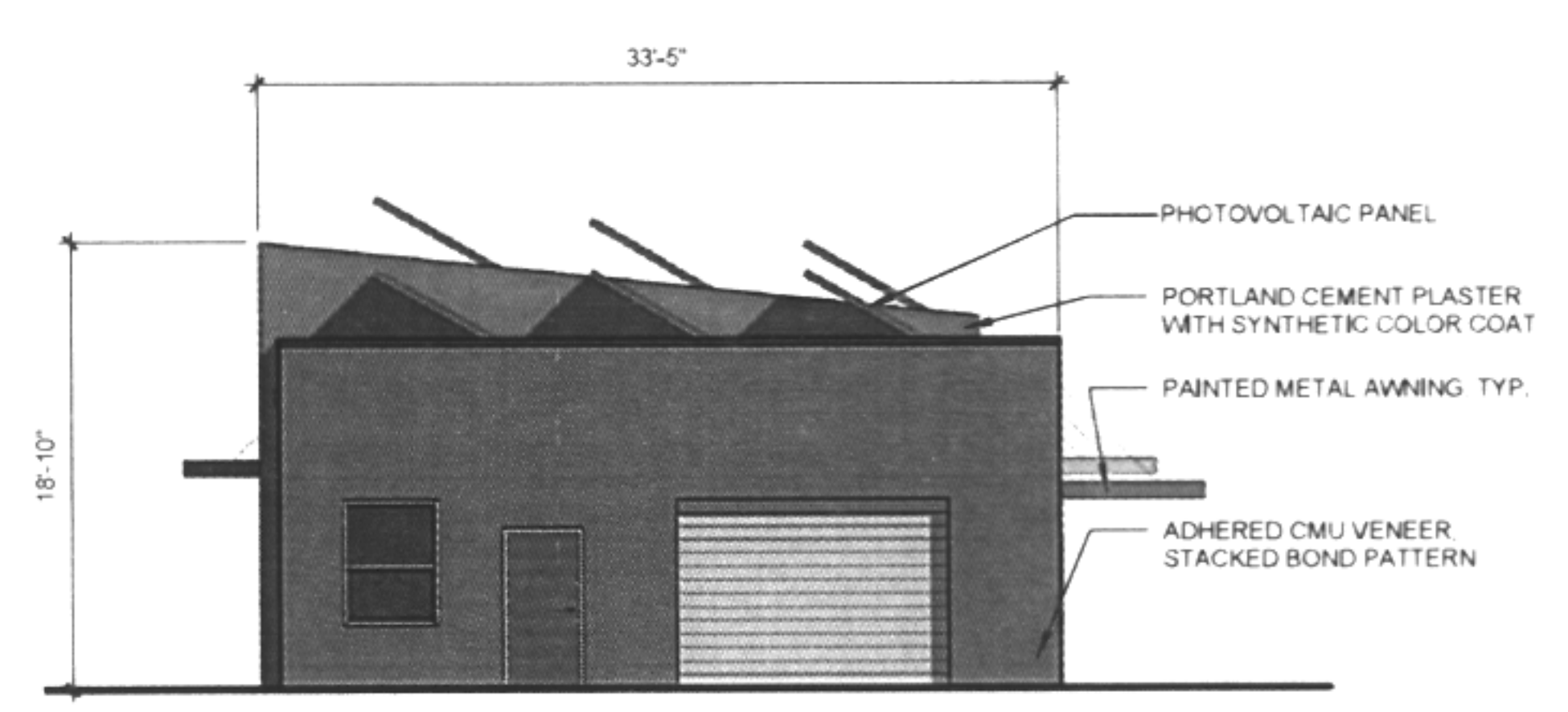
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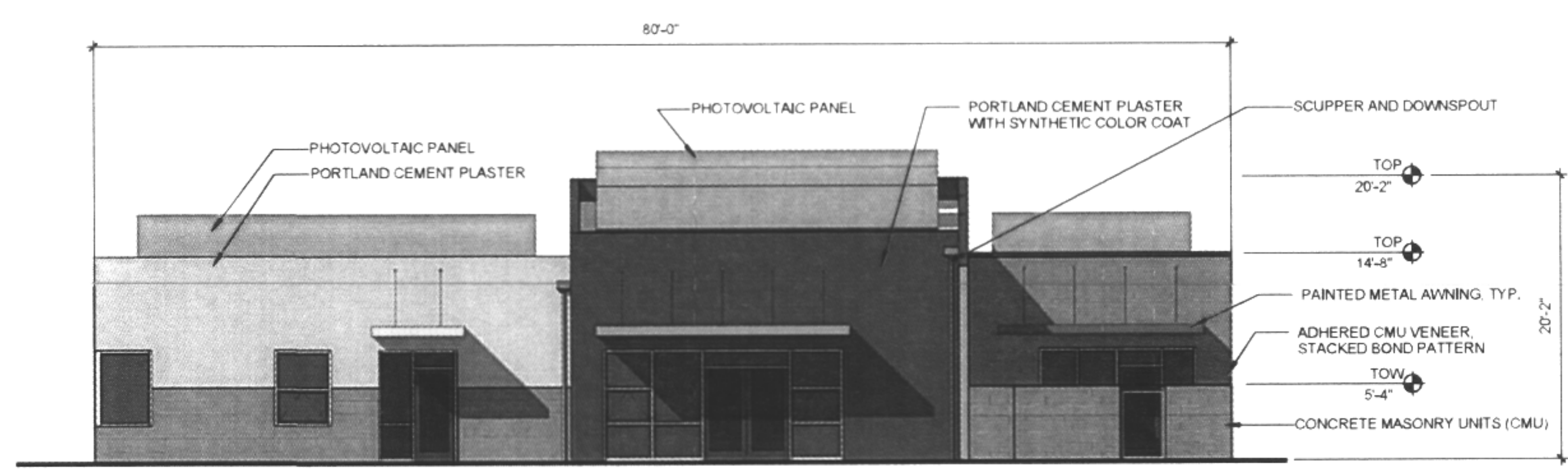
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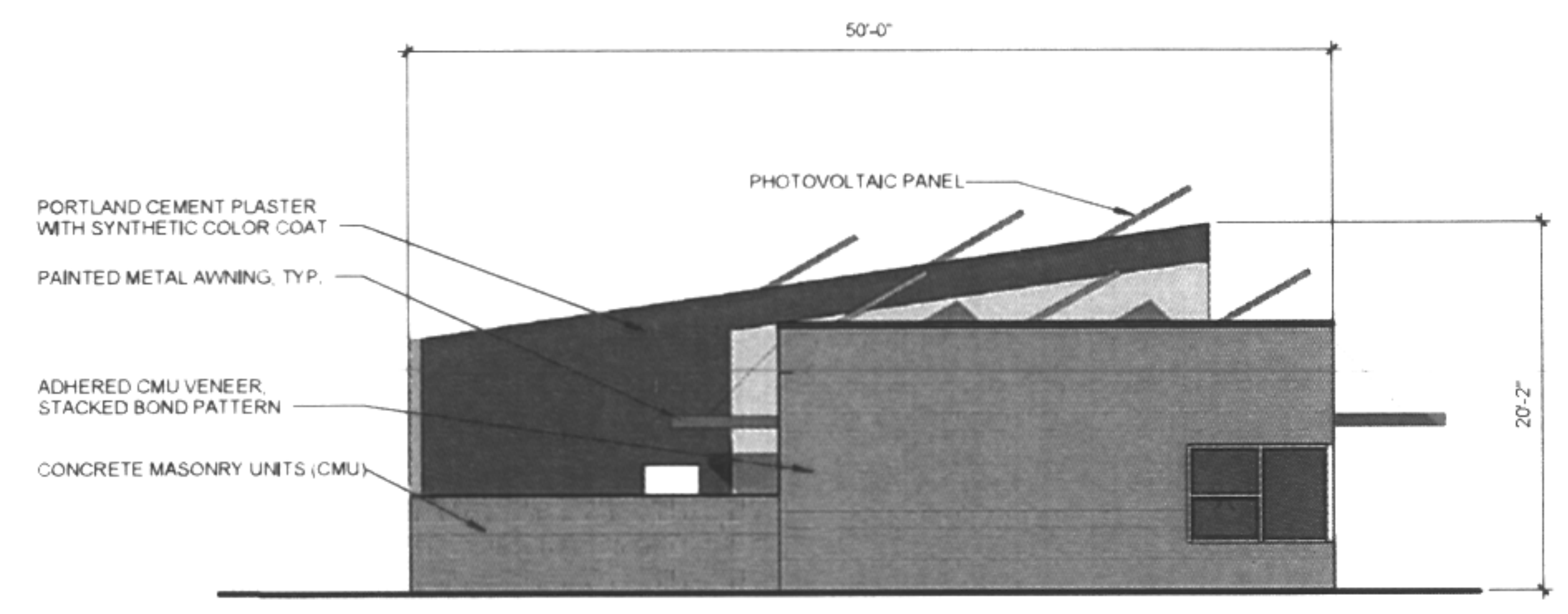
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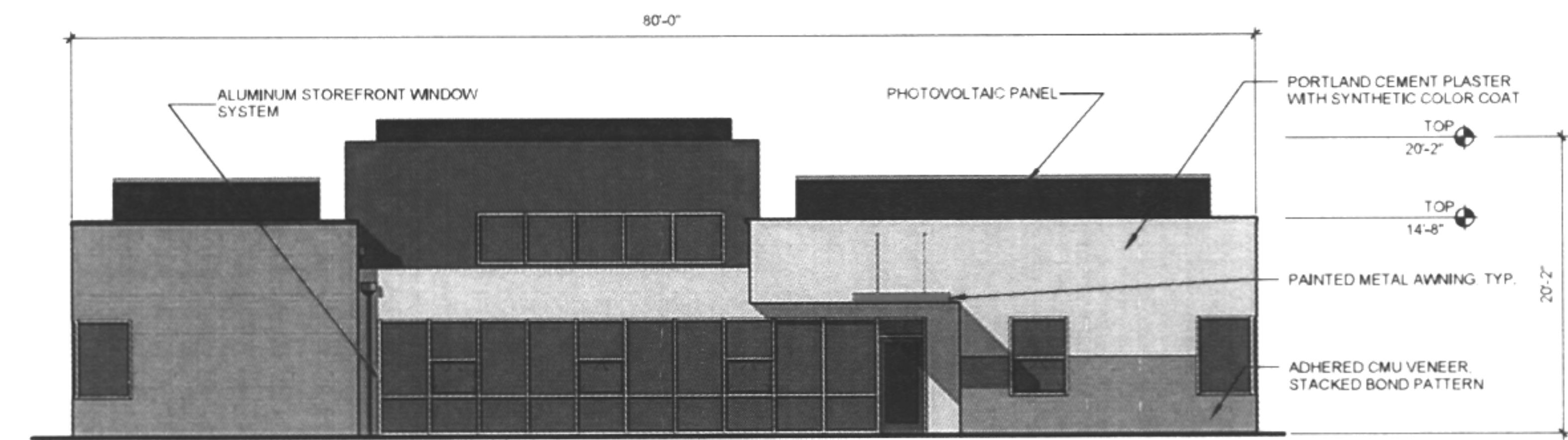
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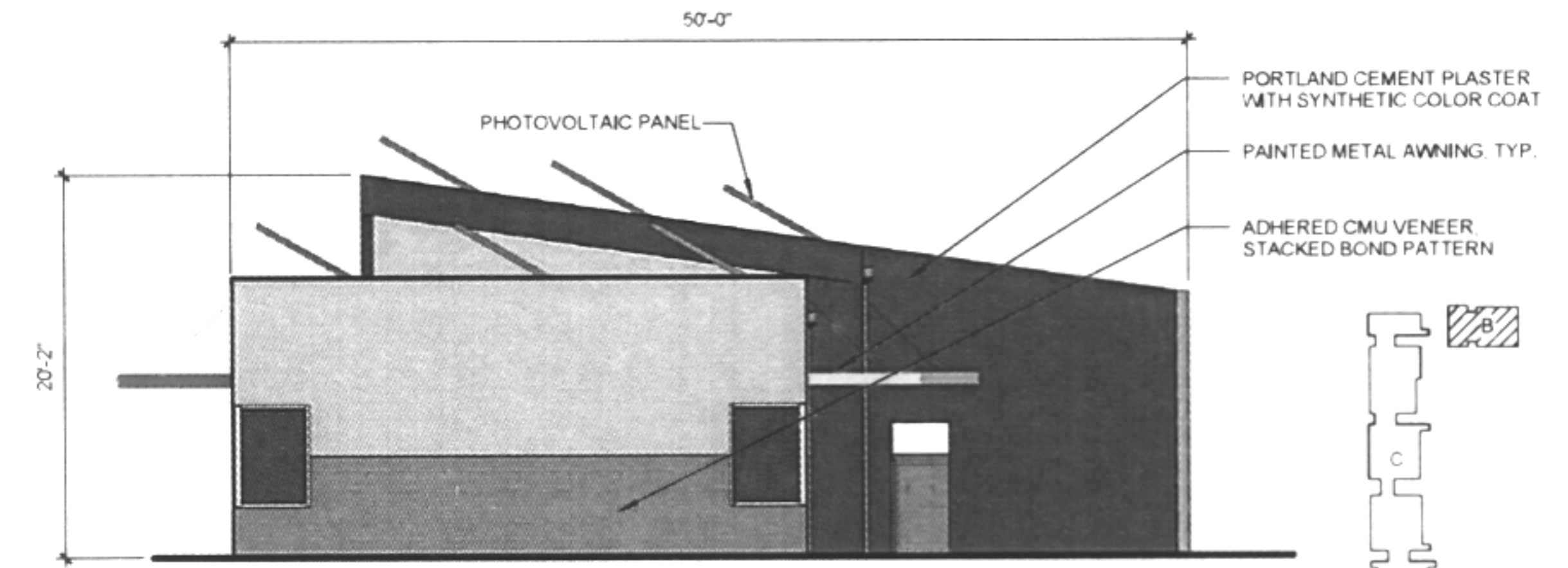
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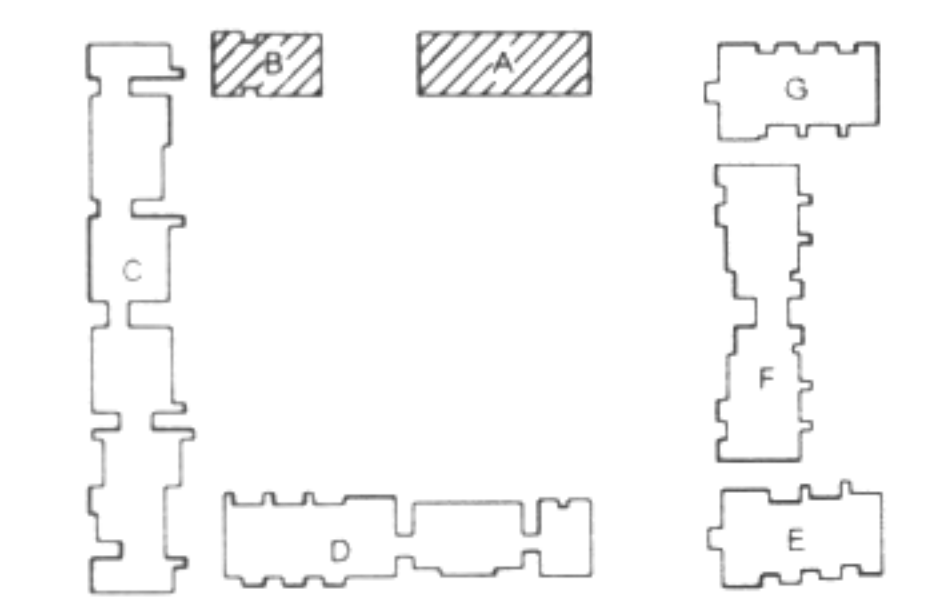
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1 BUILDING A - ELEVATION NORTH
 1/8" = 1'-0"



2 BUILDING A - ELEVATION WEST
 1/8" = 1'-0"



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PROJECT NAME
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SHEET TITLE
 BUILDING AND STRUCTURE ELEVATIONS
 BUILDINGS A AND B

SHEET NUMBER

5.1

FACILITATED MEETING REPORT AMENDMENTS

Date Submitted: September 11, 2012
Original Submission: September 11, 2012
Submitted By: Jessie Lawrence
Facilitator: Jessie Lawrence
Co-facilitator: Pilar Vaile
Project Number: 1007649
Meeting Date and Time: September 10, 2012, 6:30

Background/Meeting Summary:

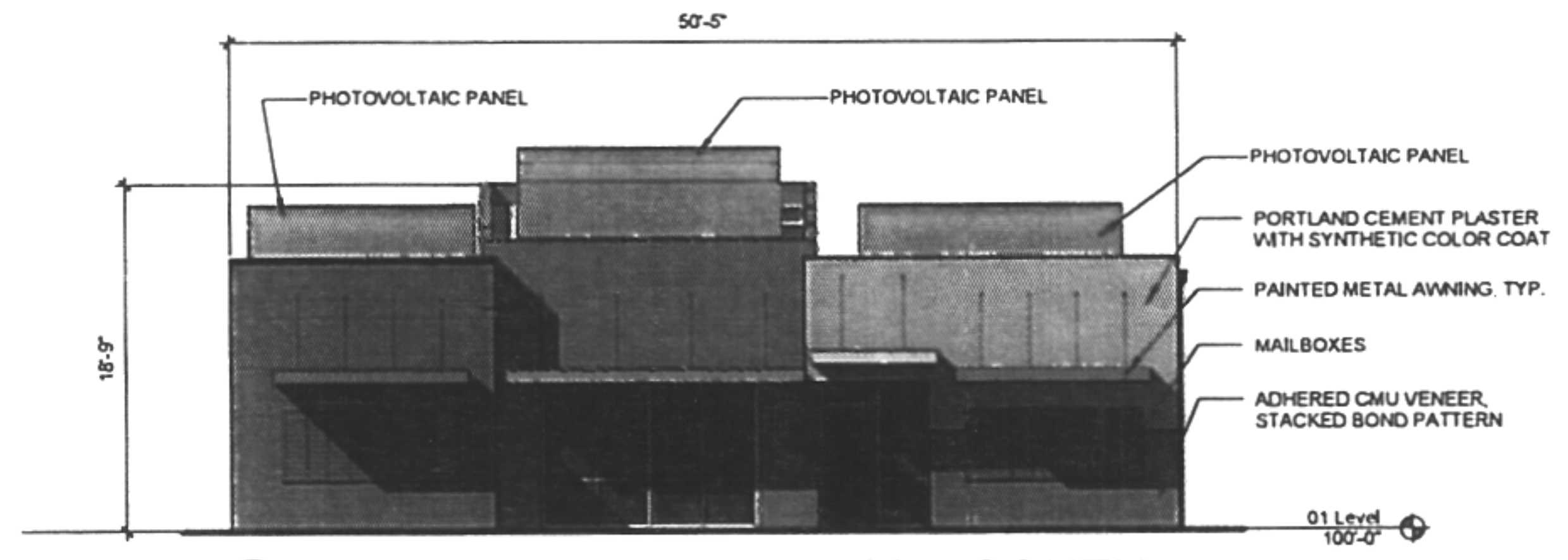
Second paragraph, second sentence: Insert, "One person who stated she was a lifelong resident said that she was strongly in support of it."



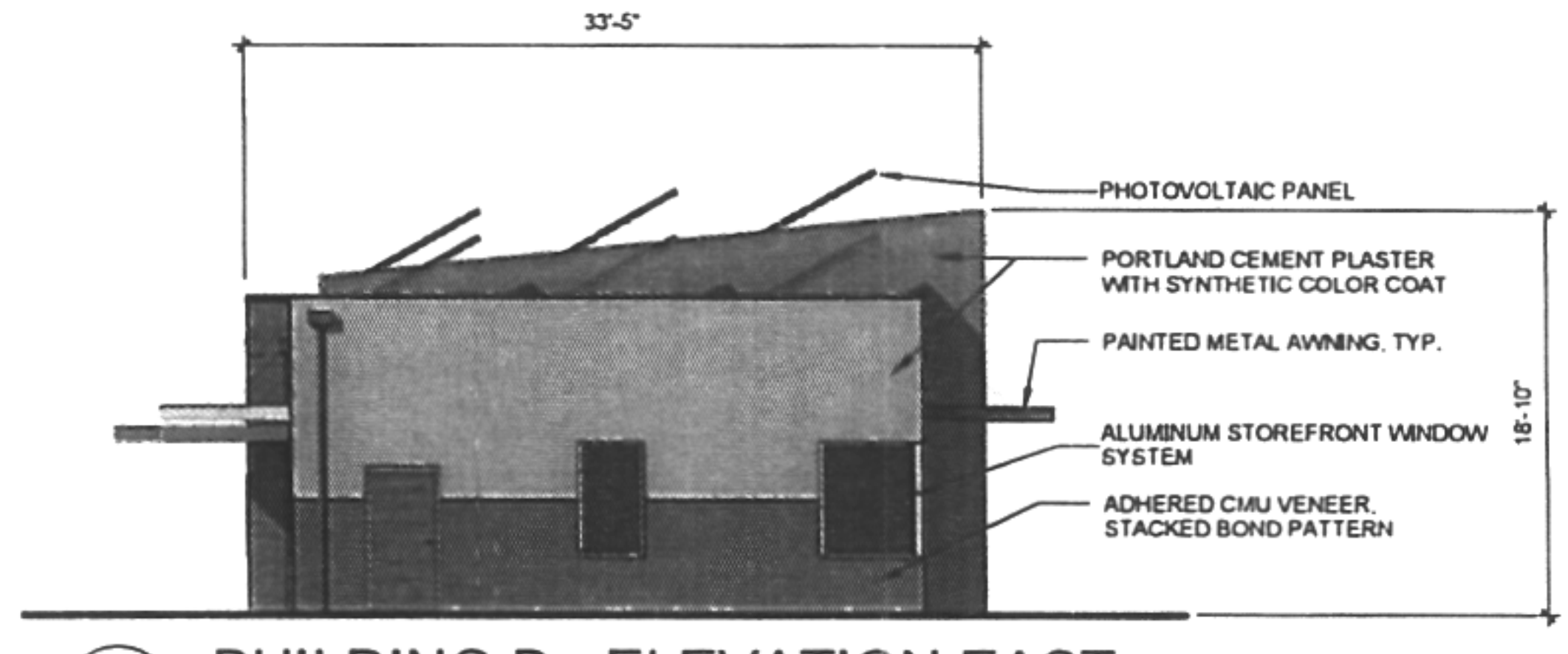
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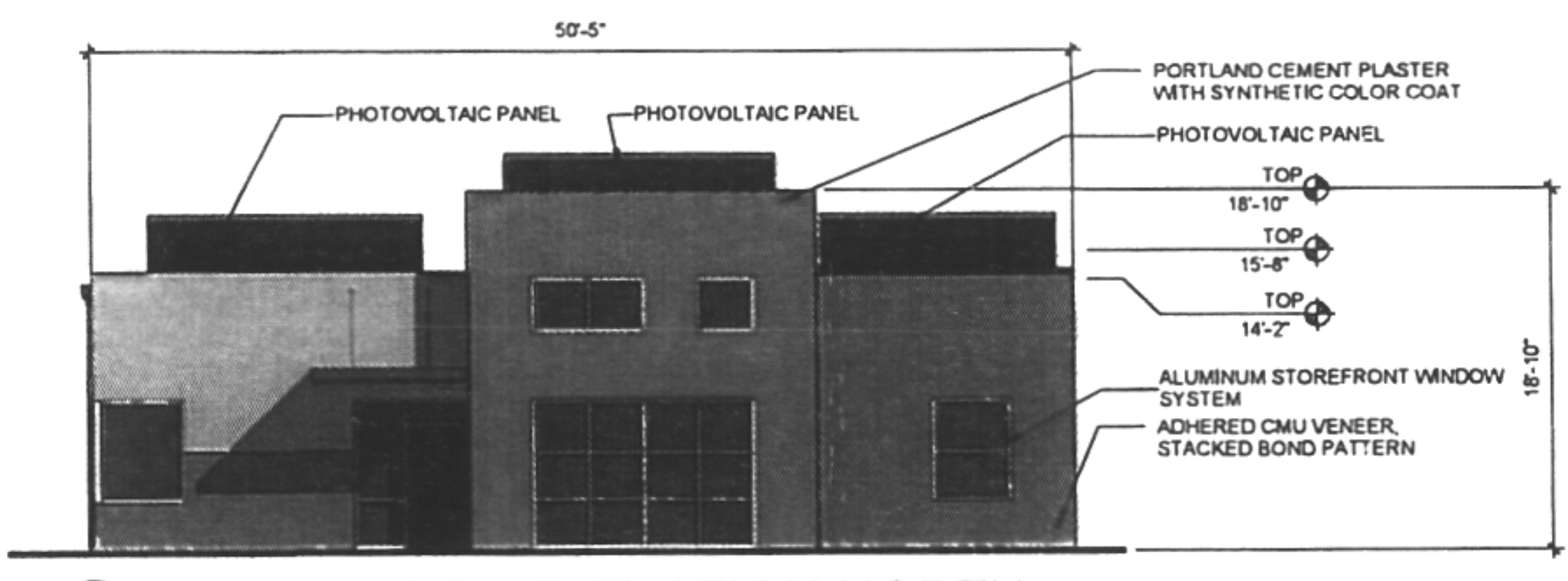
CONSULTANT



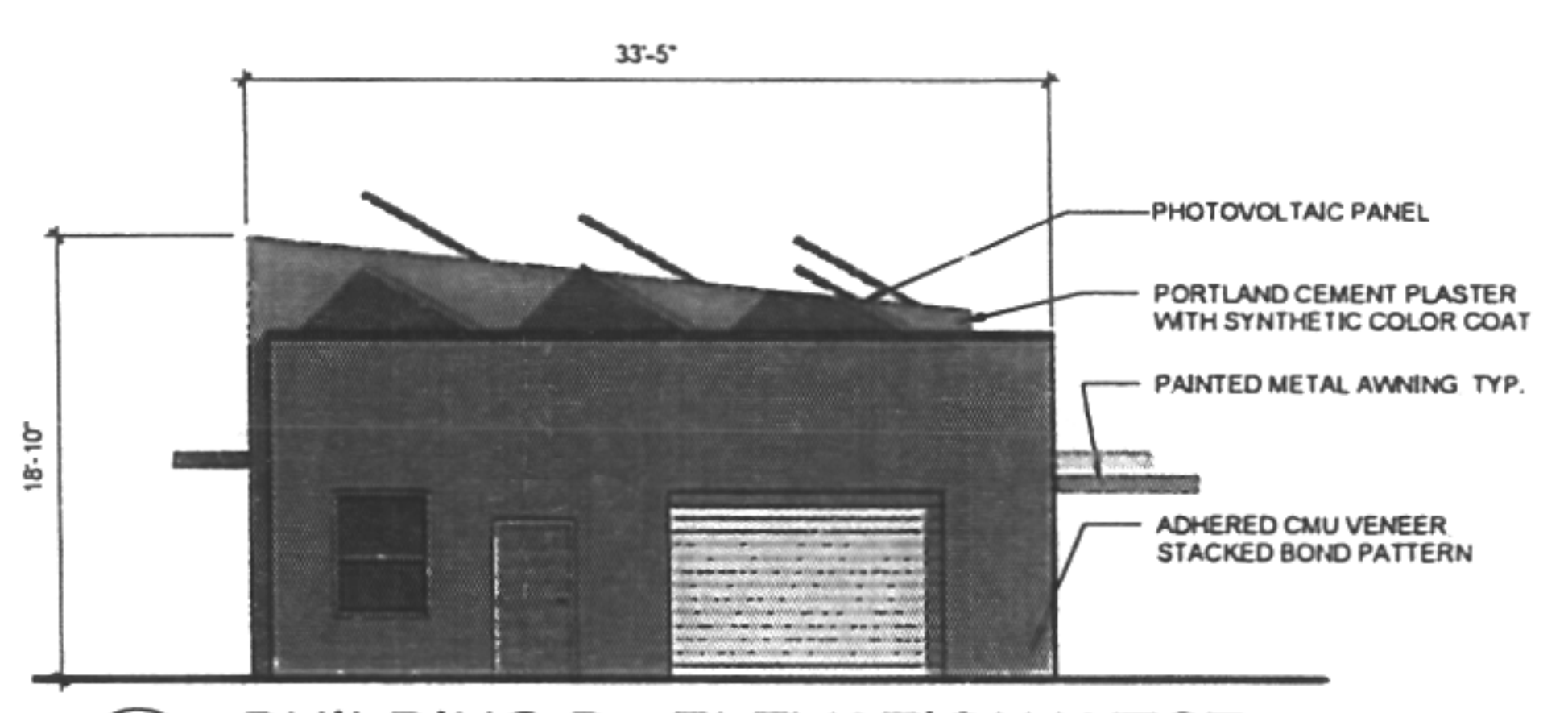
7 BUILDING B - ELEVATION SOUTH
1/8" = 1'-0"



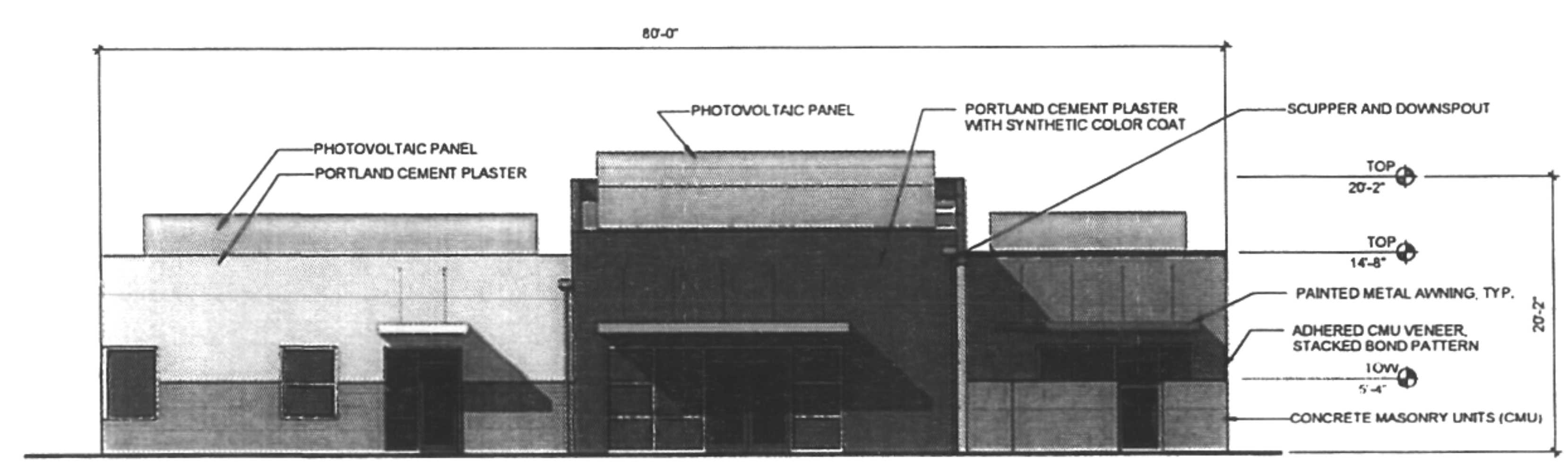
8 BUILDING B - ELEVATION EAST
1/8" = 1'-0"



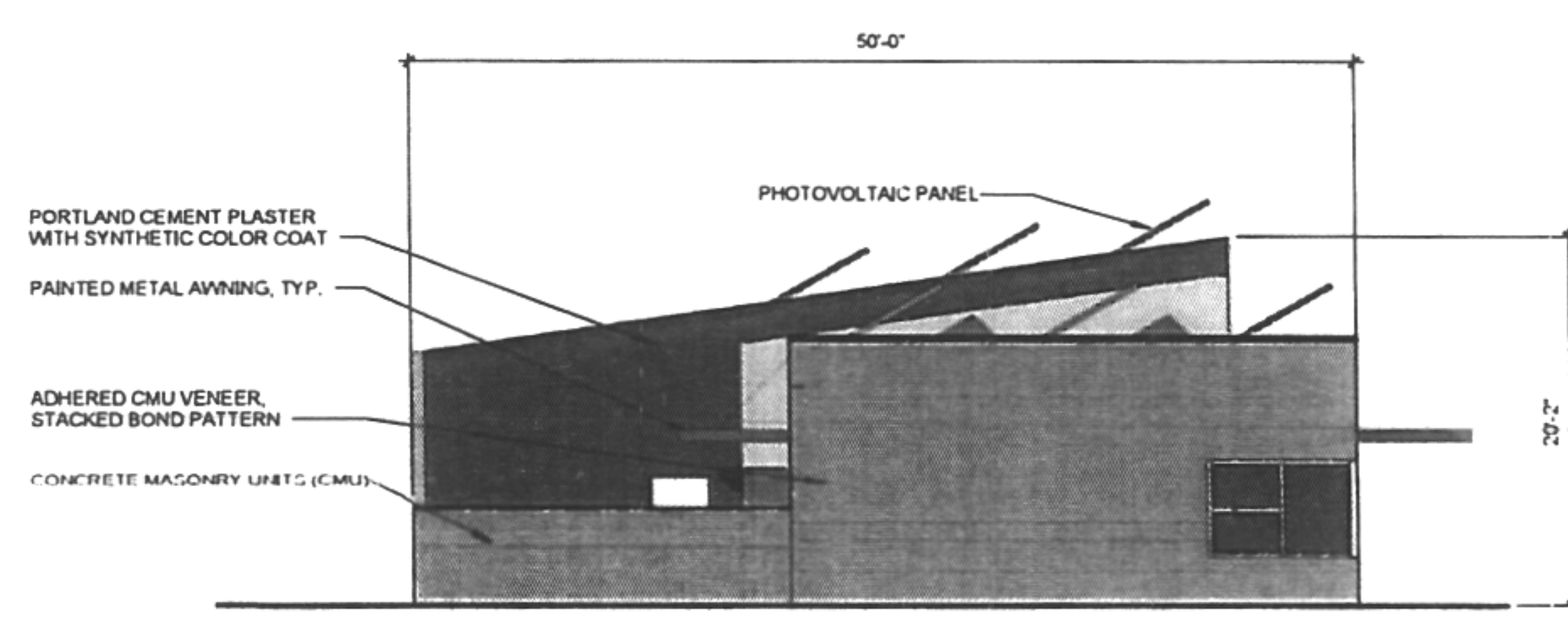
5 BUILDING B - ELEVATION NORTH
1/8" = 1'-0"



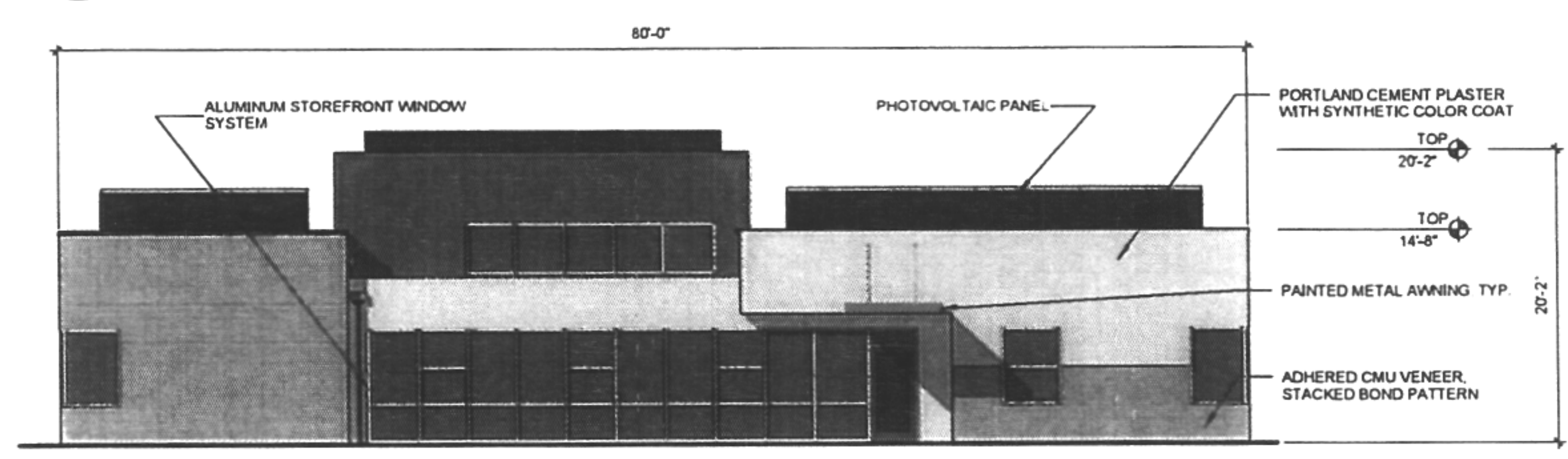
6 BUILDING B - ELEVATION WEST
1/8" = 1'-0"



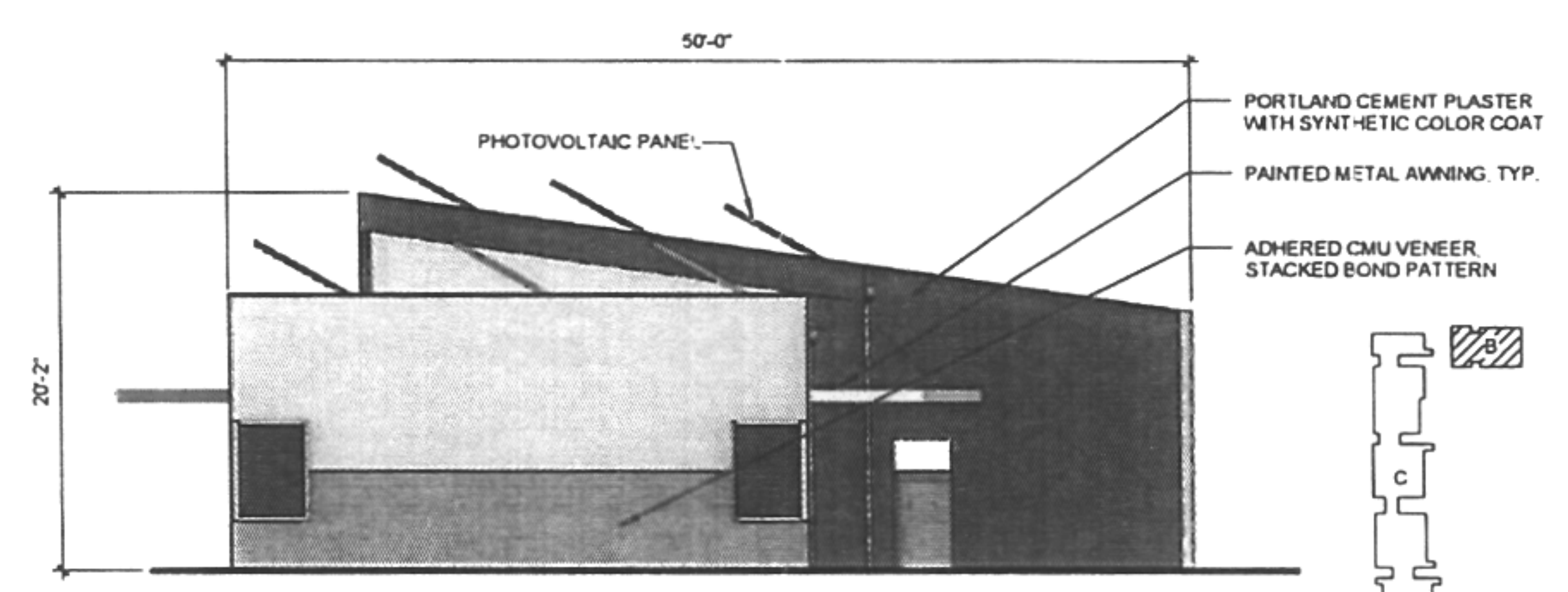
3 BUILDING A - ELEVATION SOUTH
1/8" = 1'-0"



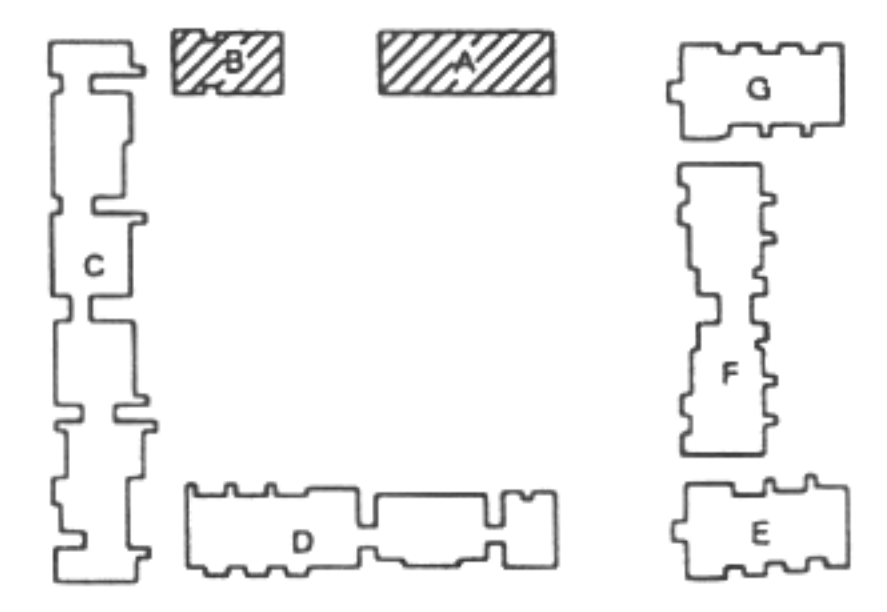
4 BUILDING A - ELEVATION EAST
1/8" = 1'-0"



1 BUILDING A - ELEVATION NORTH
1/8" = 1'-0"



2 BUILDING A - ELEVATION WEST
1/8" = 1'-0"



STAMP

PROJECT NAME
GREATER ALBUQUERQUE HOUSING PARTNERSHIP

FRANCISCAN ACRES SUBDIVISION
INDIAN SCHOOL AND BROADWAY
ALBUQUERQUE, NM 87102

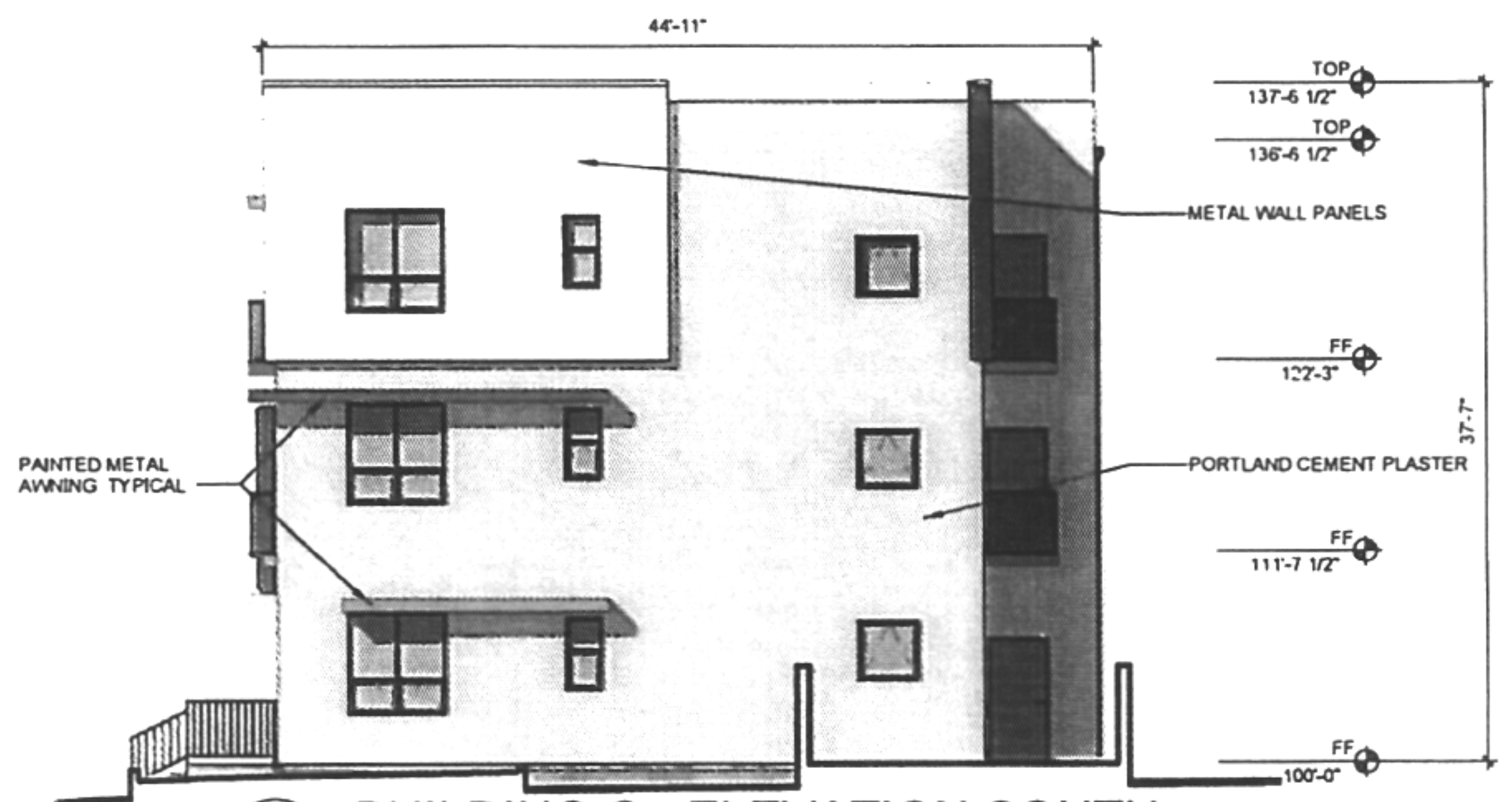
REVISIONS		
No.	Date	Description

Prepared by	Author
Checked by	Checker
Date	DATE
Project number	2439
Scale	

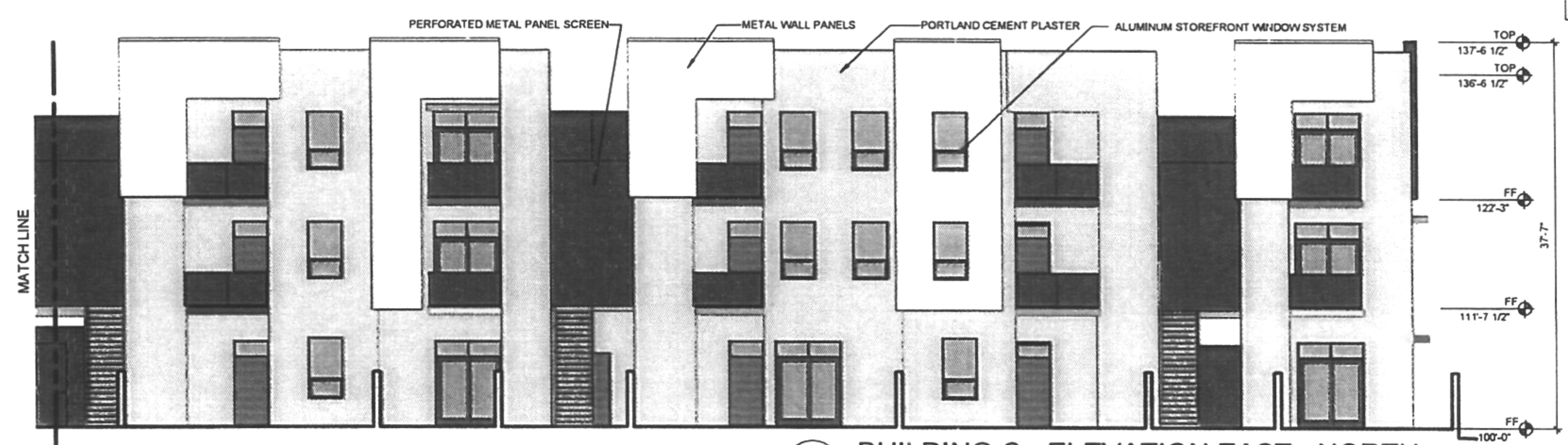
SHEET TITLE
BUILDING AND STRUCTURE ELEVATIONS BUILDINGS A AND B

SHEET NUMBER

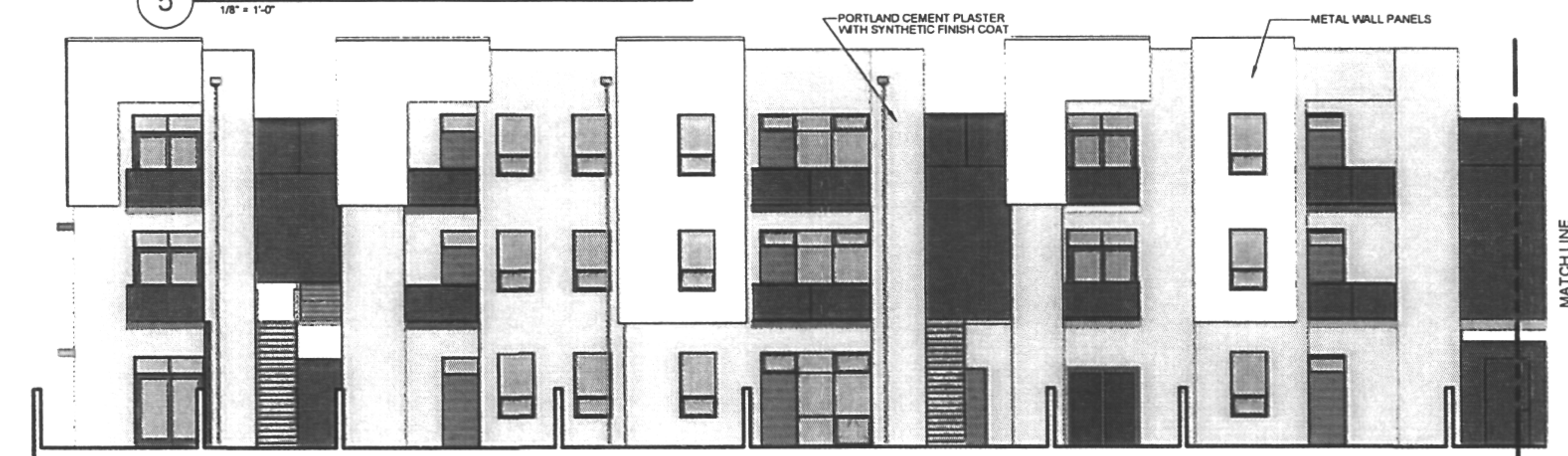
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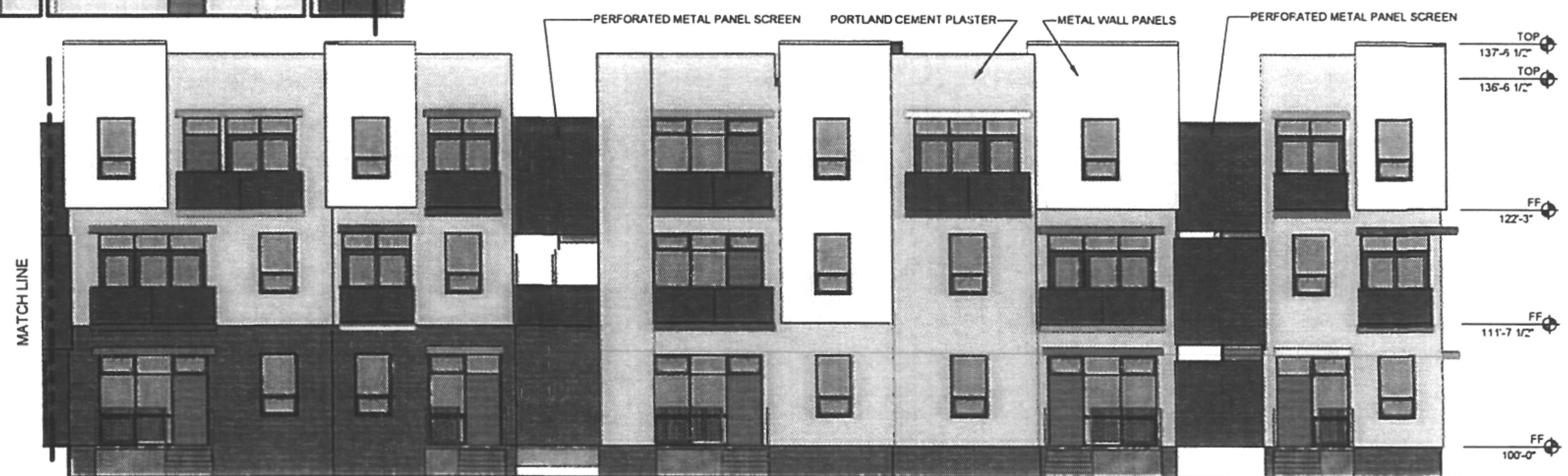
5 BUILDING C - ELEVATION SOUTH
1/8" = 1'-0"



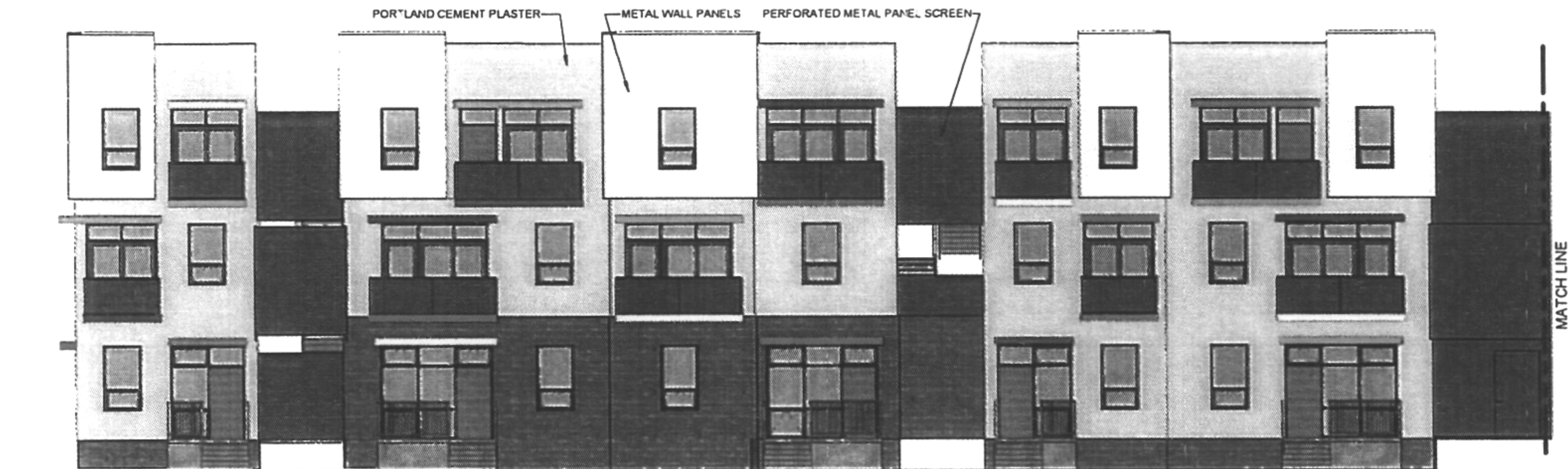
6 BUILDING C - ELEVATION EAST - NORTH
1/8" = 1'-0"



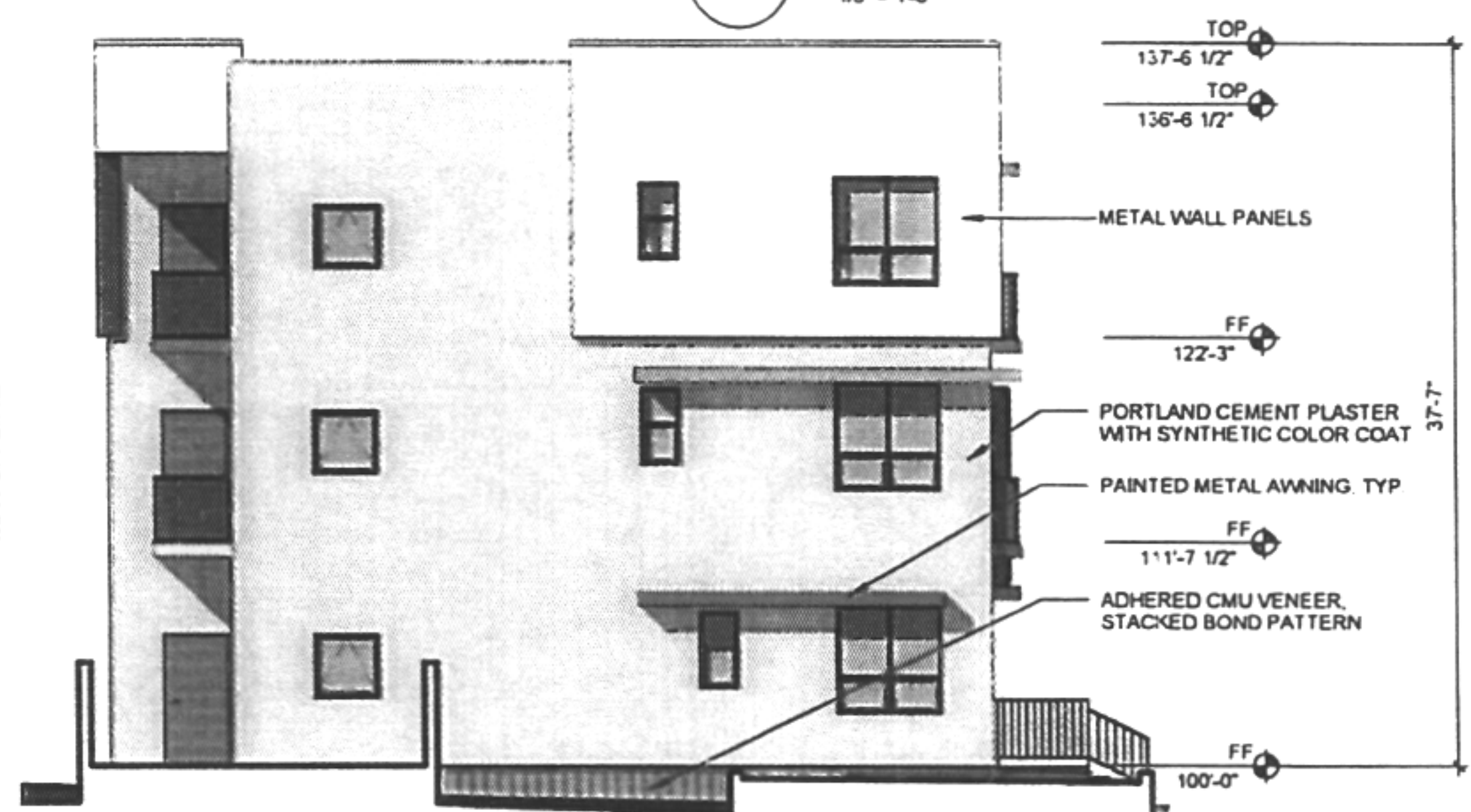
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1/8" = 1'-0"



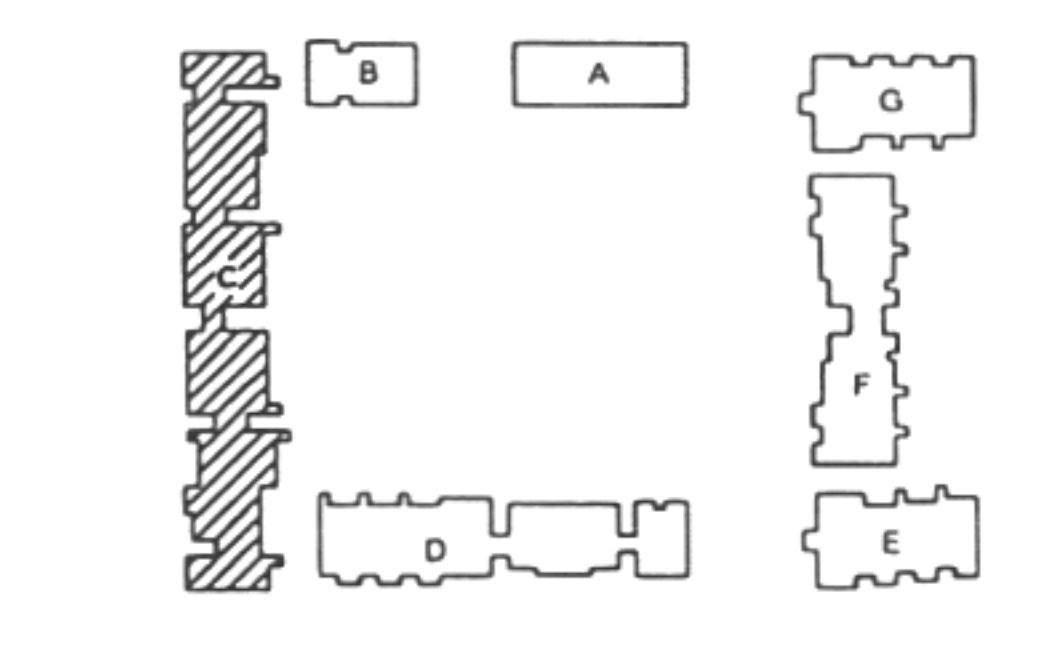
3 BUILDING C - ELEVATION WEST - SOUTH
1/8" = 1'-0"



1 BUILDING C - ELEVATION WEST - NORTH
1/8" = 1'-0"



2 BUILDING C - ELEVATION NORTH
1/8" = 1'-0"



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PROJECT NAME
GREATER ALBUQUERQUE
HOUSING PARTNERSHIP

FRANCISCAN ACRES SUBDIVISION
INDIAN SCHOOL AND BROADWAY
ALBUQUERQUE, NM 87102

REVISIONS

No.	Date	Description

Designed by _____ Author
Drawn by _____ Author
Checked by _____ Checker
Date: AUG 13 2012
Project number: 2439
Sheet name: _____

SHEET TITLE
BUILDING AND STRUCTURE ELEVATIONS
BUILDING C

SHEET NUMBER

5.2



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PROJECT NAME
 GREATER ALBUQUERQUE
 HOUSING PARTNERSHIP

FRANCISCAN ACRES SUBDIVISION
 INDIAN SCHOOL AND BROADWAY
 ALBUQUERQUE, NM 87102

REVISIONS

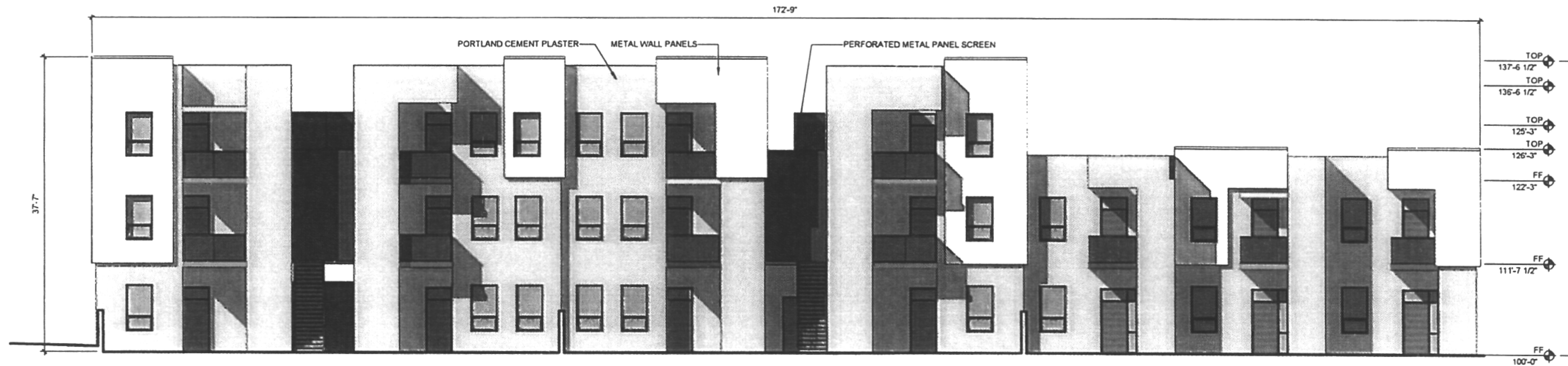
No.	Date	Description

Design Group	
Checked by	Author
Checked by	Checker
Date	AUG 13 2012
Project number	2439
Scale	As Shown

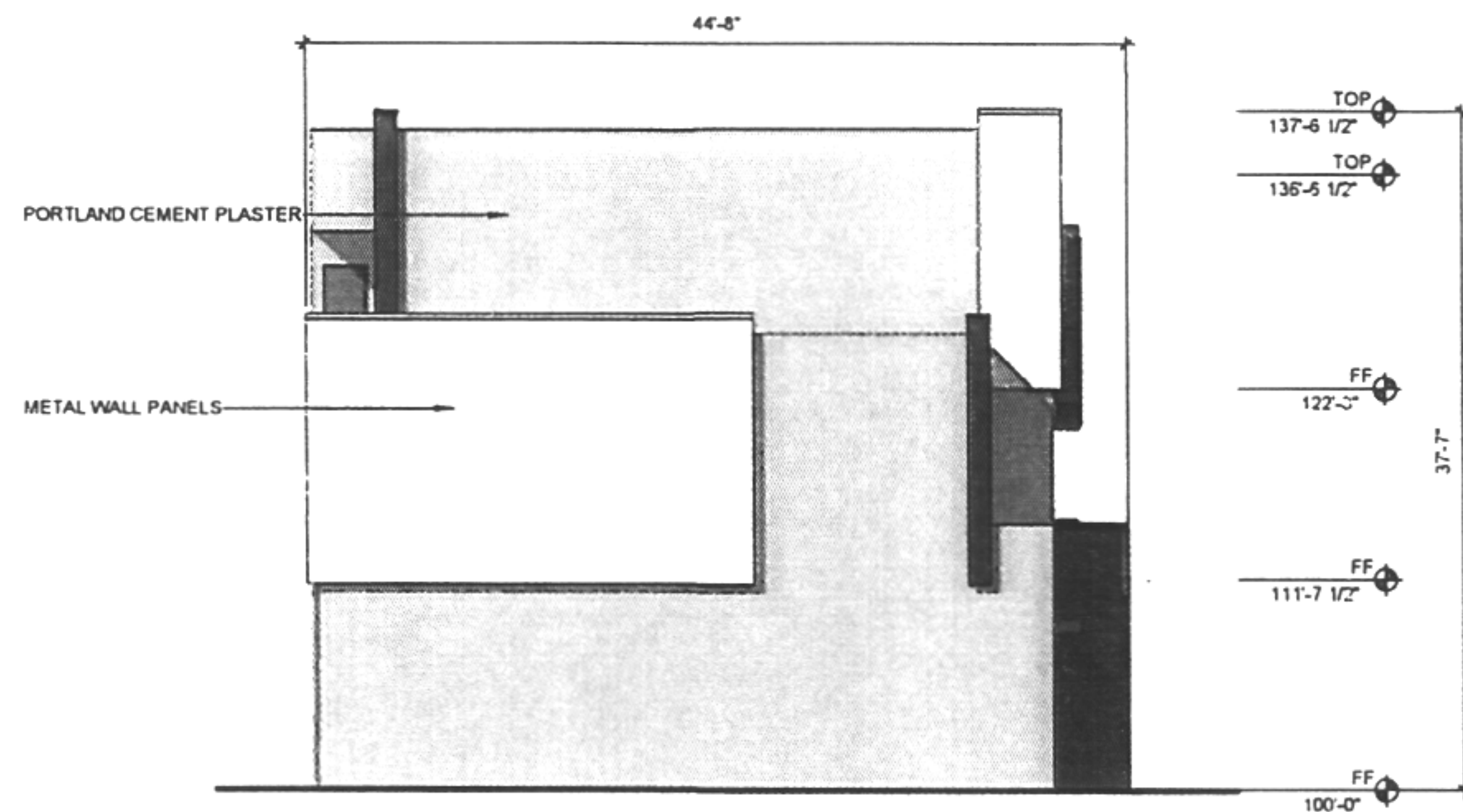
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 BUILDING AND STRUCTURE ELEVATIONS
 BUILDING D

SHEET NUMBER

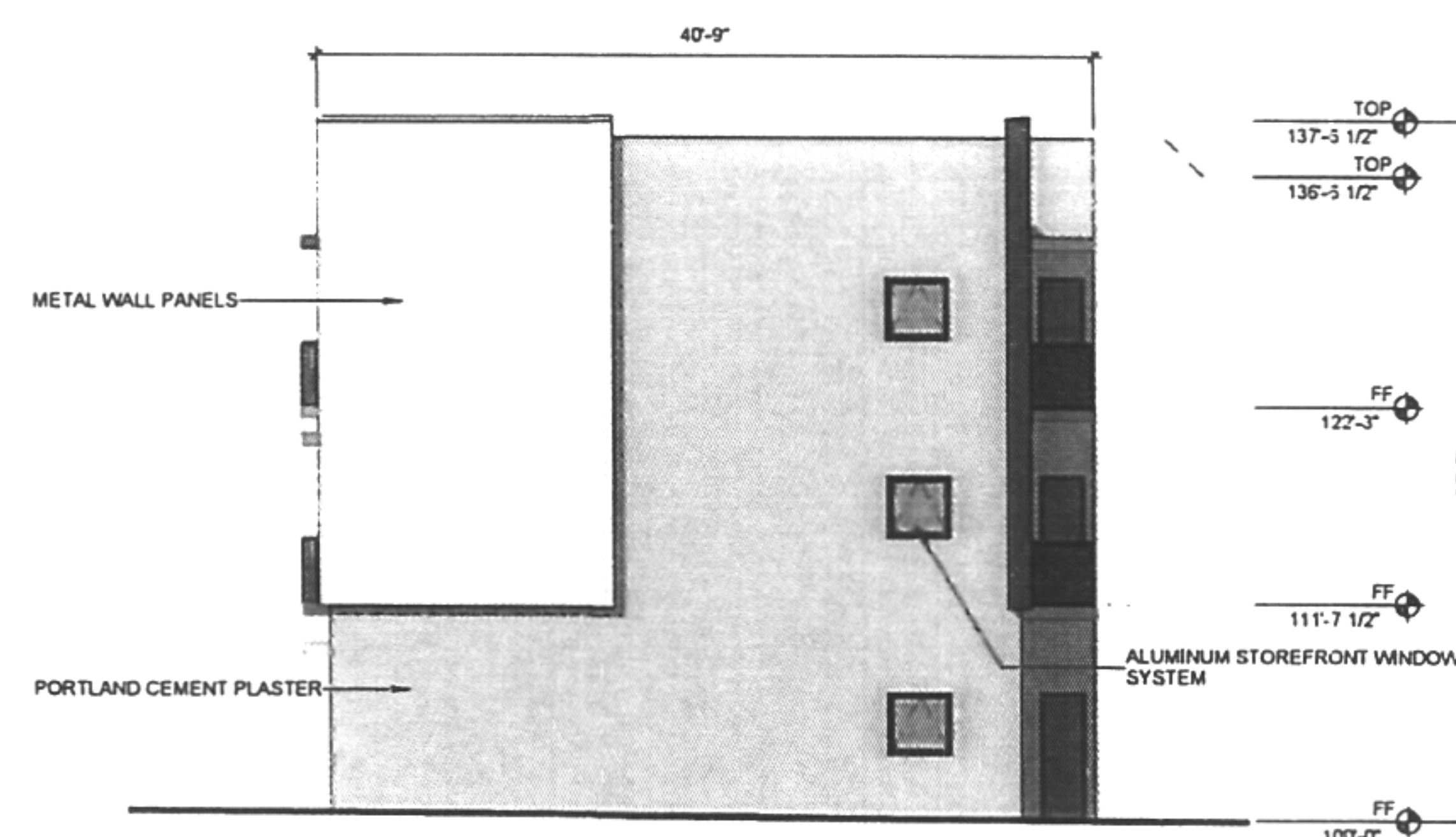
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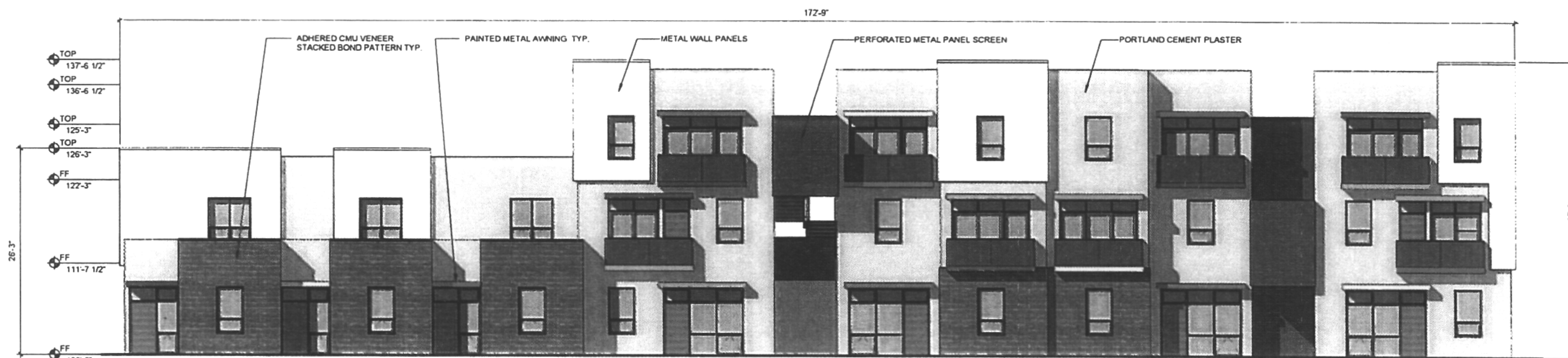
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 1/8" = 1'-0"



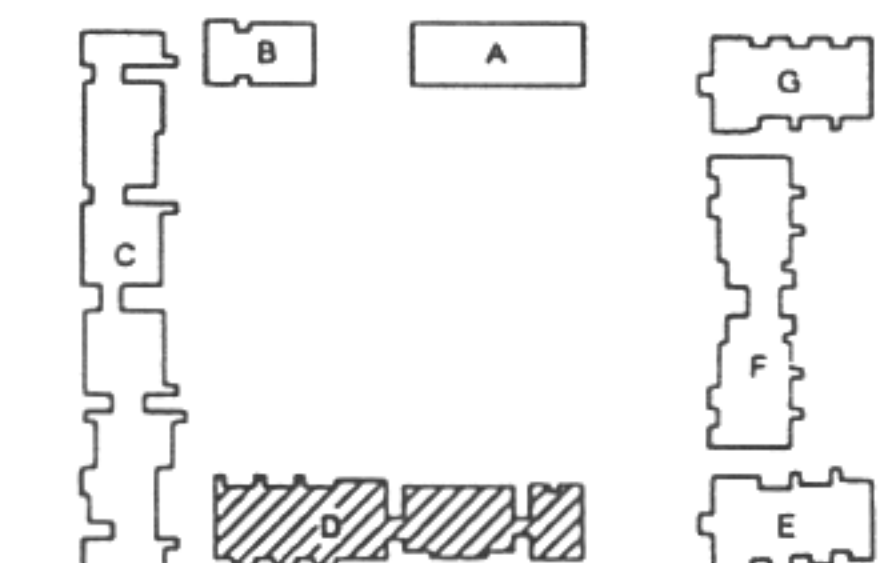
2 BUILDING D - ELEVATION WEST
 1/8" = 1'-0"

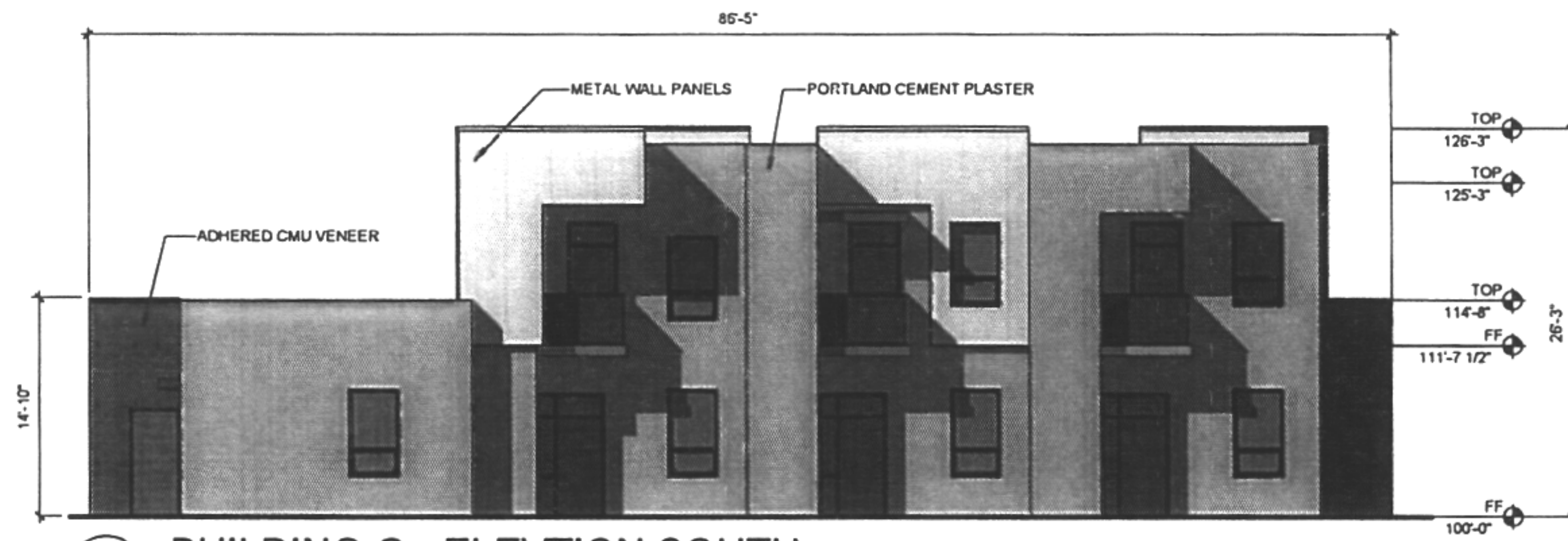


3 BUILDING D - ELEVATION EAST
 1/8" = 1'-0"

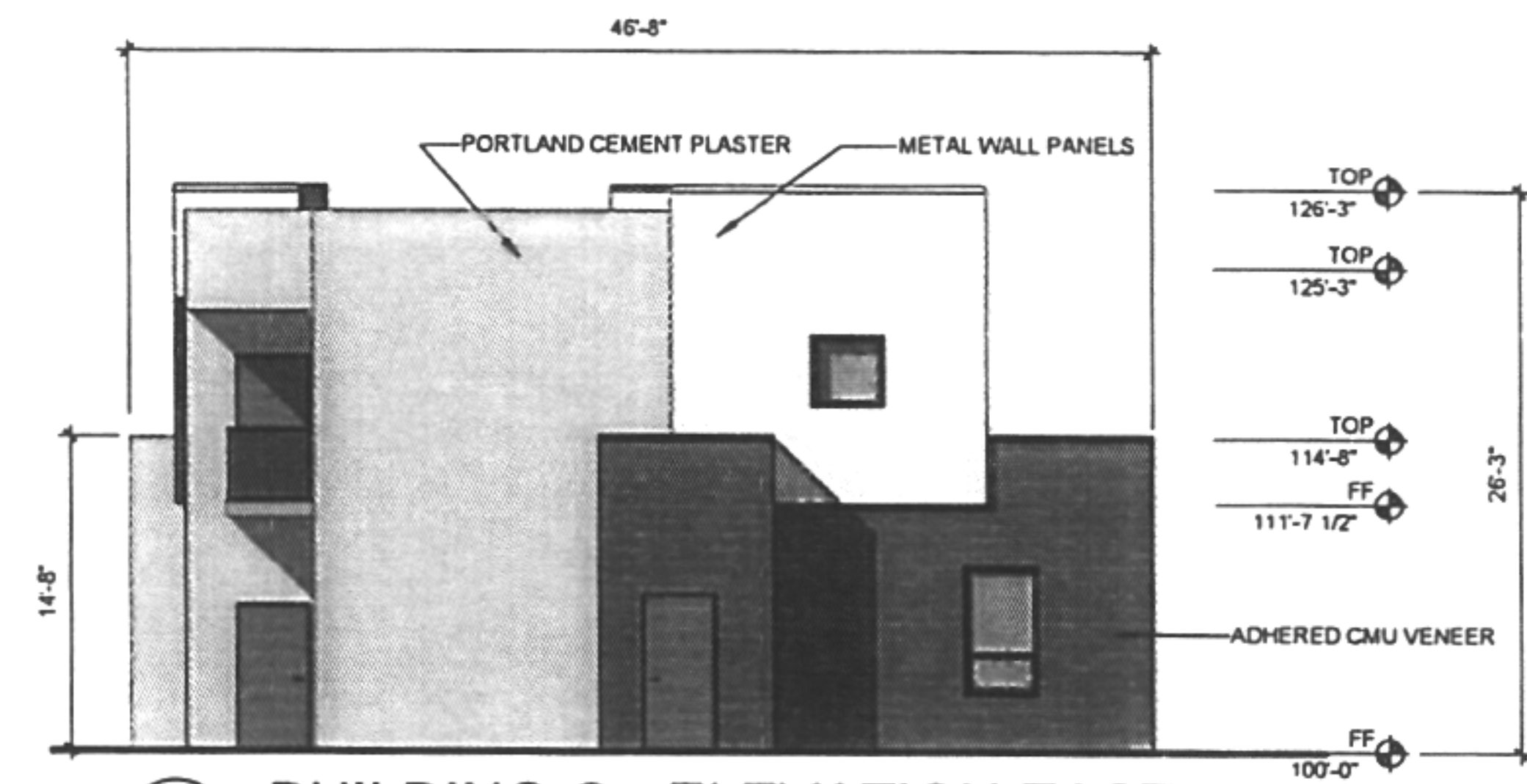


1 BUILDING D - ELEVATION SOUTH
 1/8" = 1'-0"

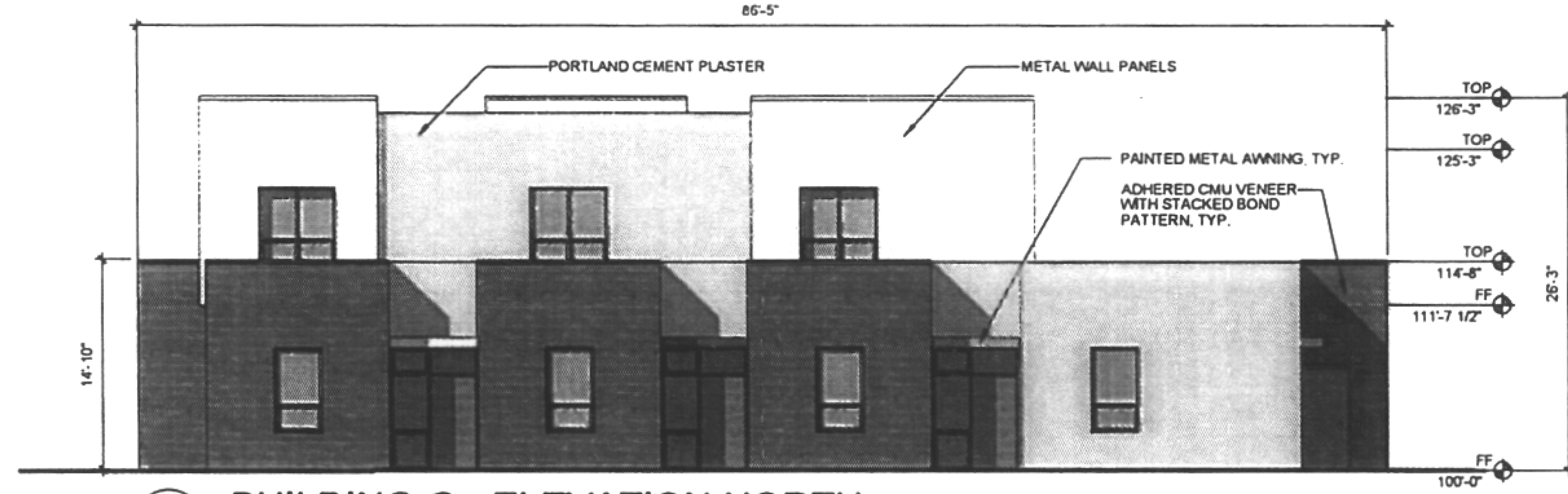




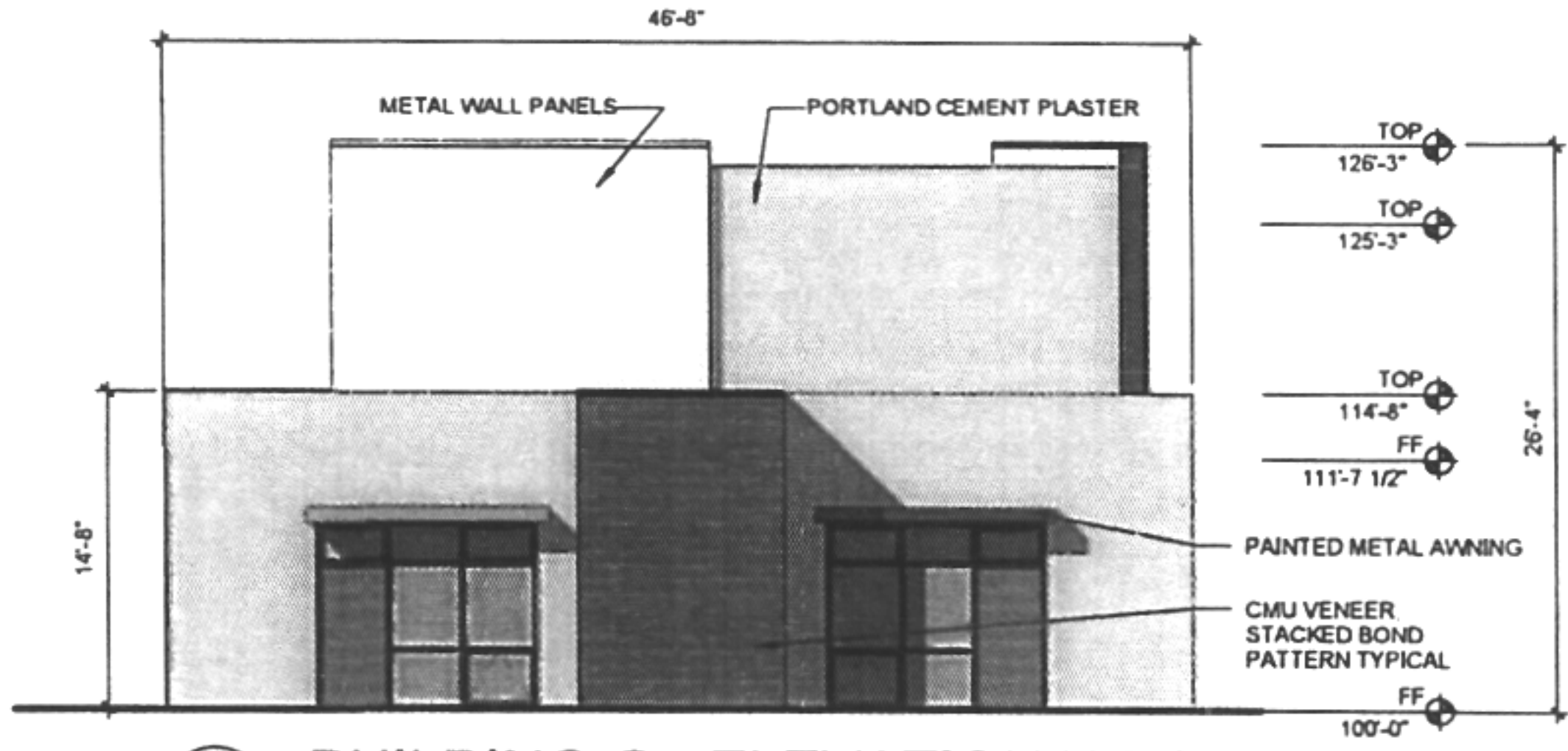
7 BUILDING G - ELEVATION SOUTH
1/8" = 1'-0"



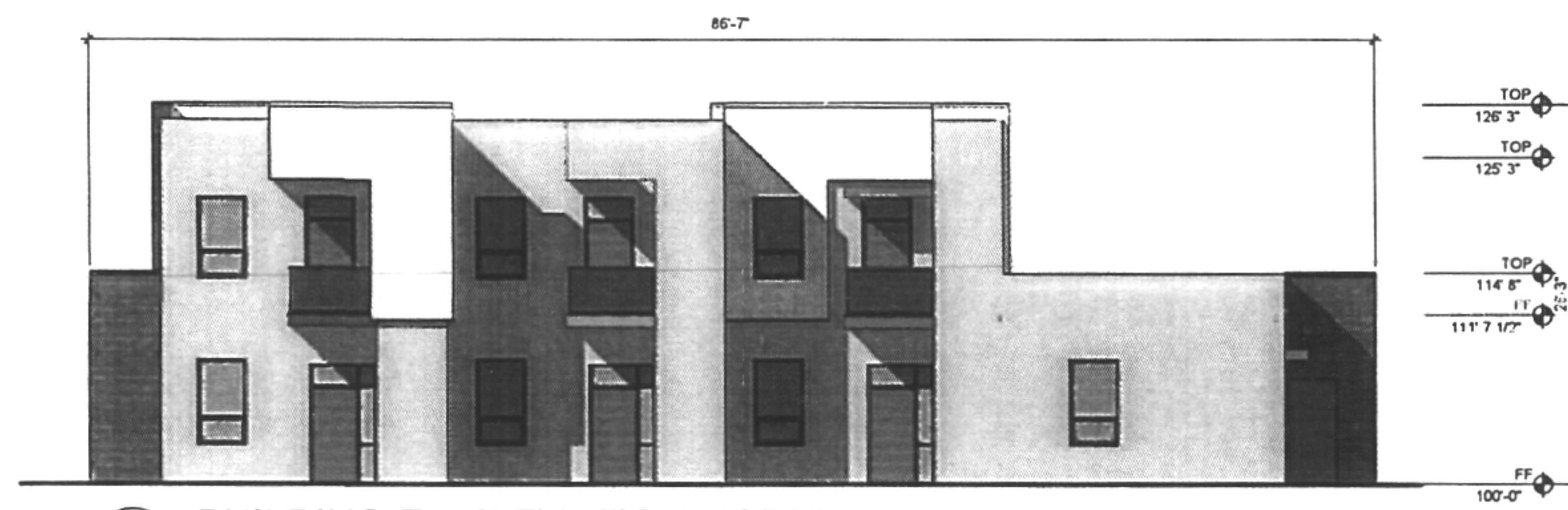
8 BUILDING G - ELEVATION EAST
1/8" = 1'-0"



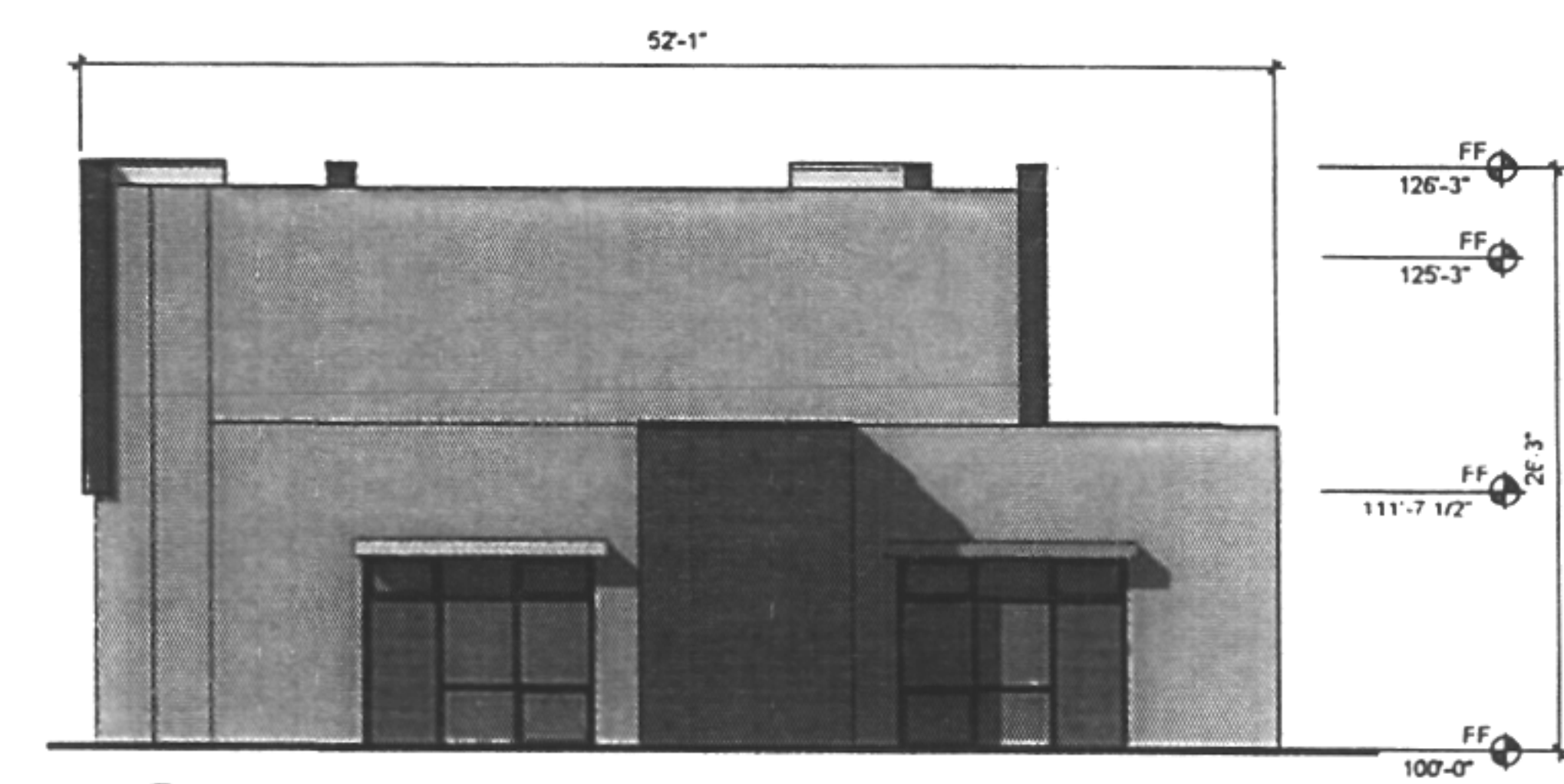
5 BUILDING G - ELEVATION NORTH
1/8" = 1'-0"



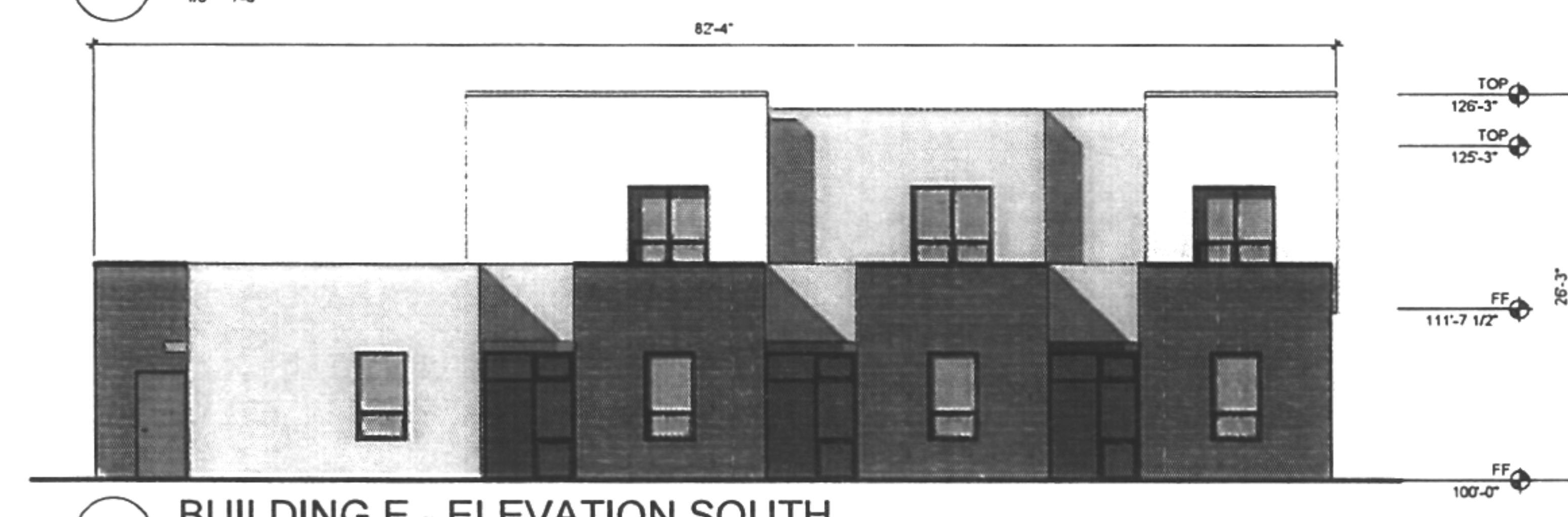
6 BUILDING G - ELEVATION WEST
1/8" = 1'-0"



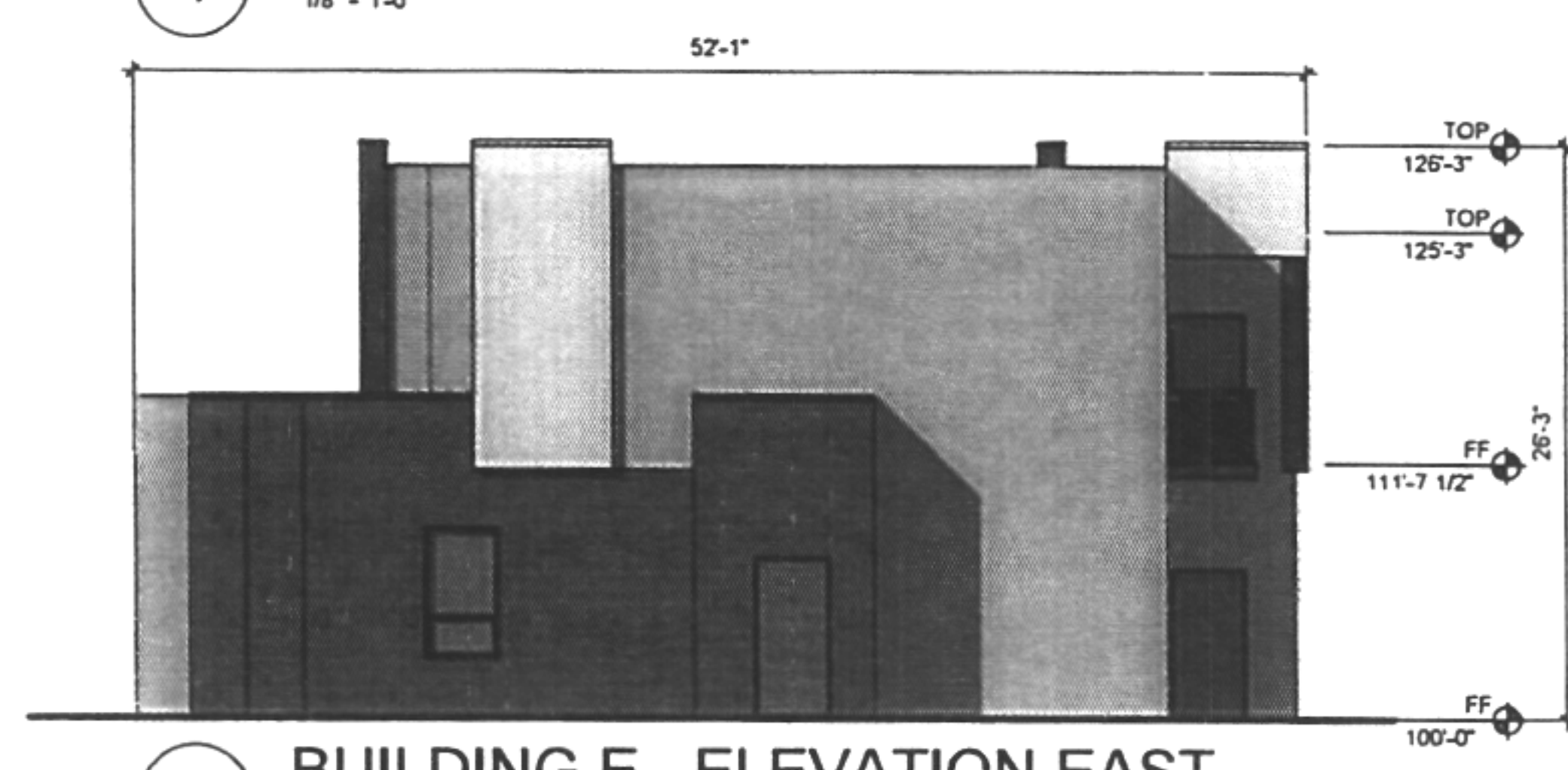
3 BUILDING E - ELEVATION NORTH
1/8" = 1'-0"



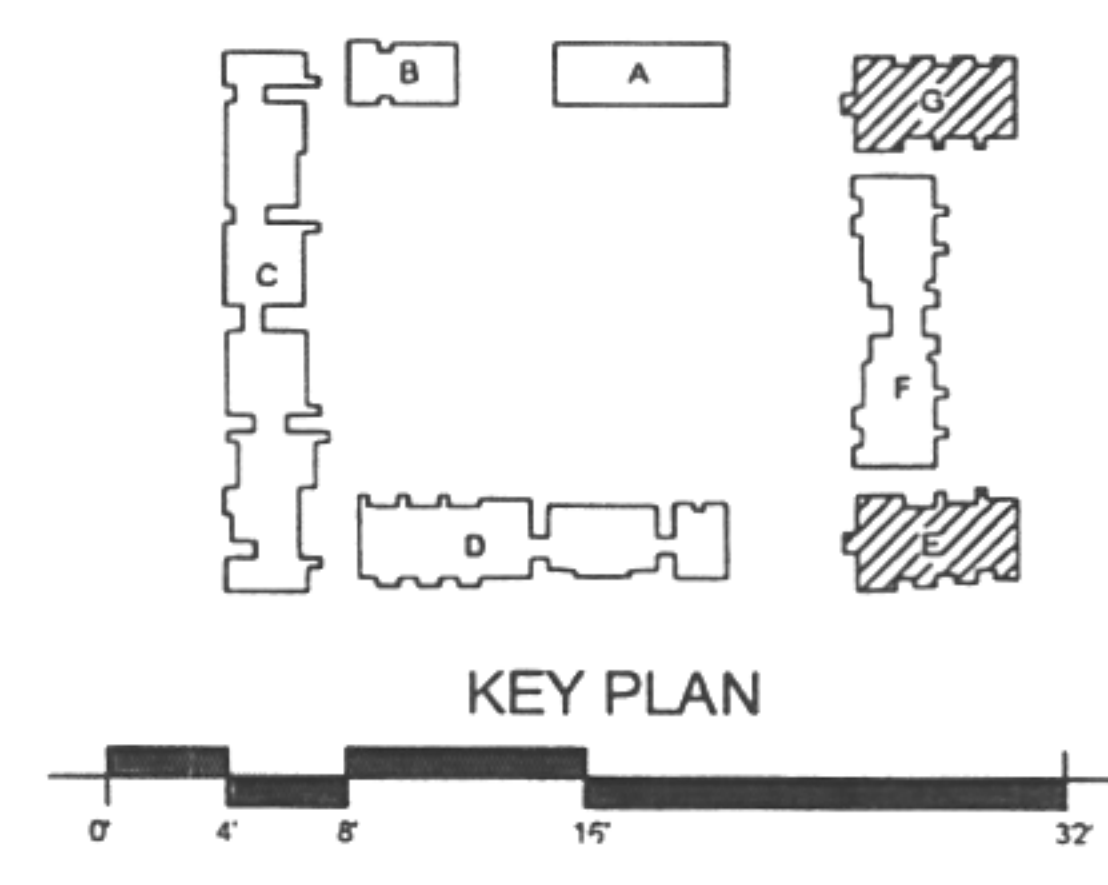
4 BUILDING E - ELEVATION WEST
1/8" = 1'-0"



1 BUILDING E - ELEVATION SOUTH
1/8" = 1'-0"



2 BUILDING E - ELEVATION EAST
1/8" = 1'-0"



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PROJECT NAME
GREATER ALBUQUERQUE
HOUSING PARTNERSHIP

FRANCISCAN ACRES SUBDIVISION
INDIAN SCHOOL AND BROADWAY
ALBUQUERQUE, NM 87102

REVISIONS

NO.	DATE	DESCRIPTION

DESIGNED BY: [Blank]
DRAWN BY: [Blank]
CHECKED BY: [Blank]
DATE: AUG 13, 2012
PROJECT NUMBER: 2439
SHEET NUMBER: [Blank]

SHEET TITLE
BUILDING AND STRUCTURE ELEVATIONS
BUILDINGS E AND G

SHEET NUMBER

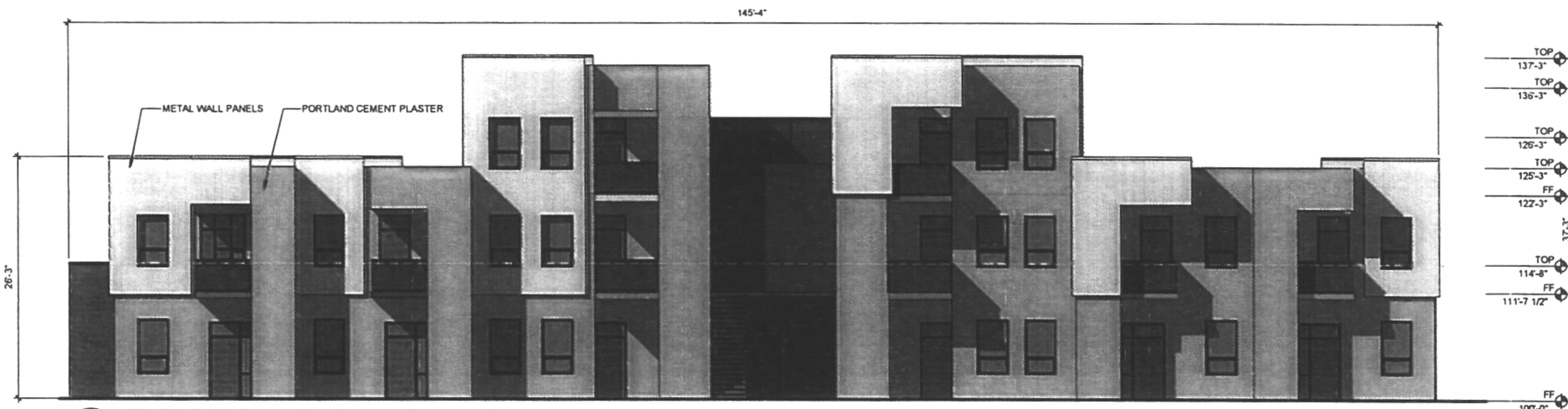
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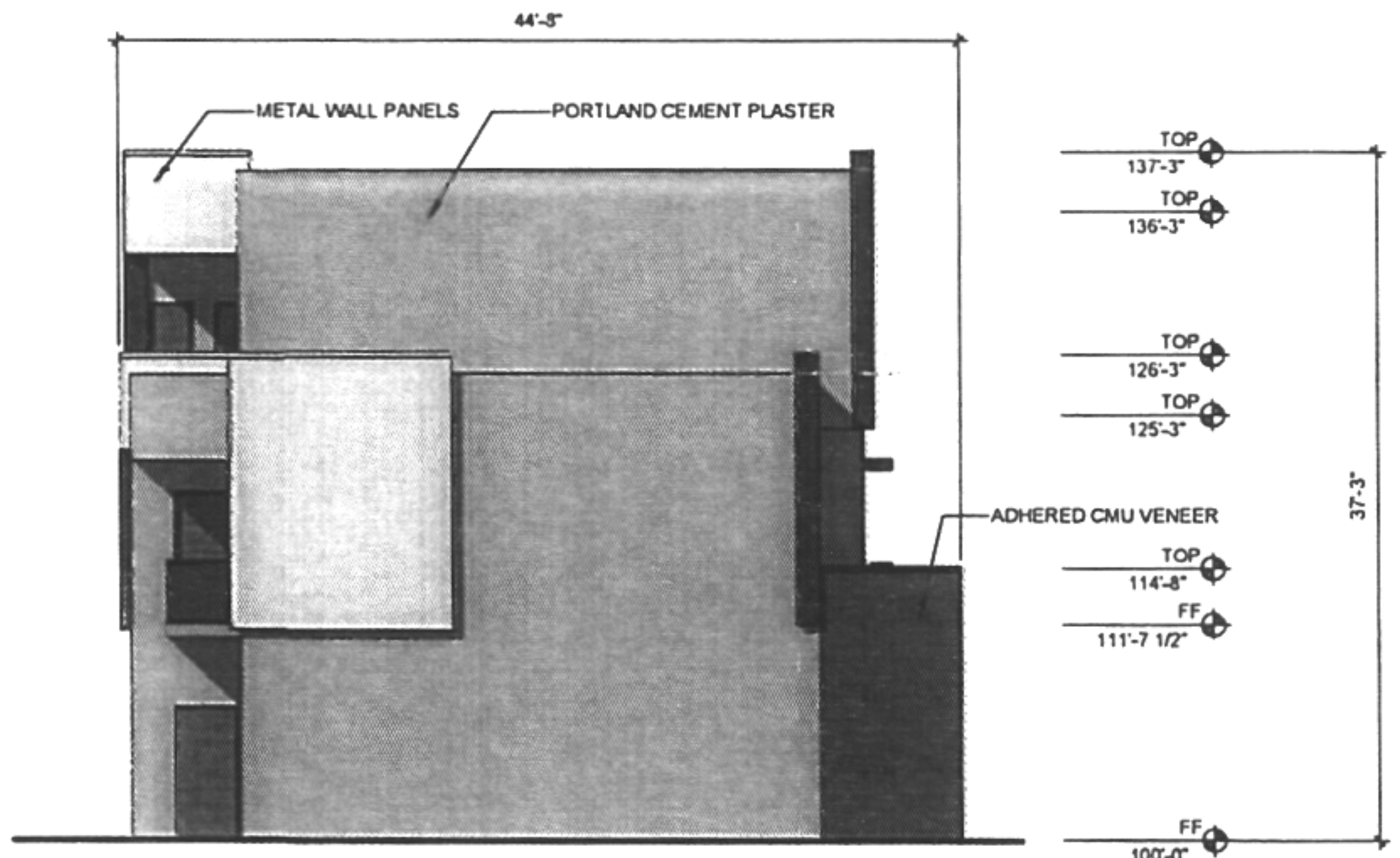
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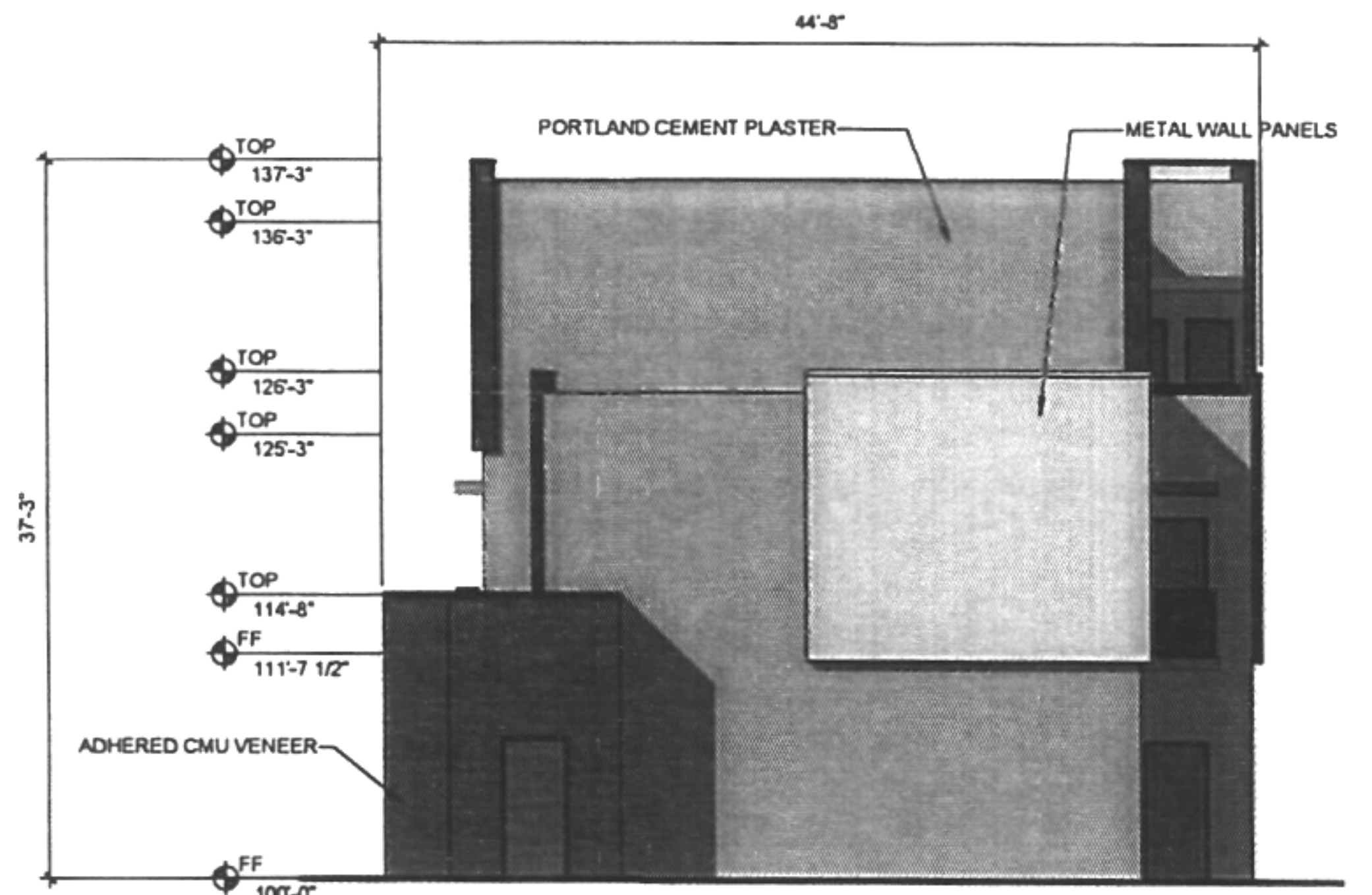
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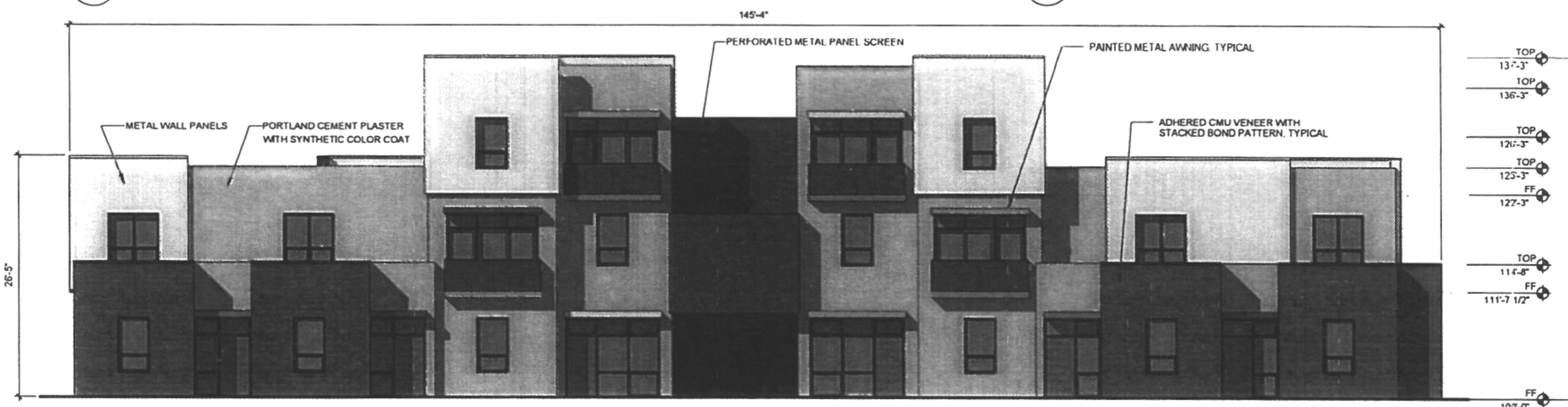
4 BUILDING F - ELEVATION EAST
1/8" = 1'-0"



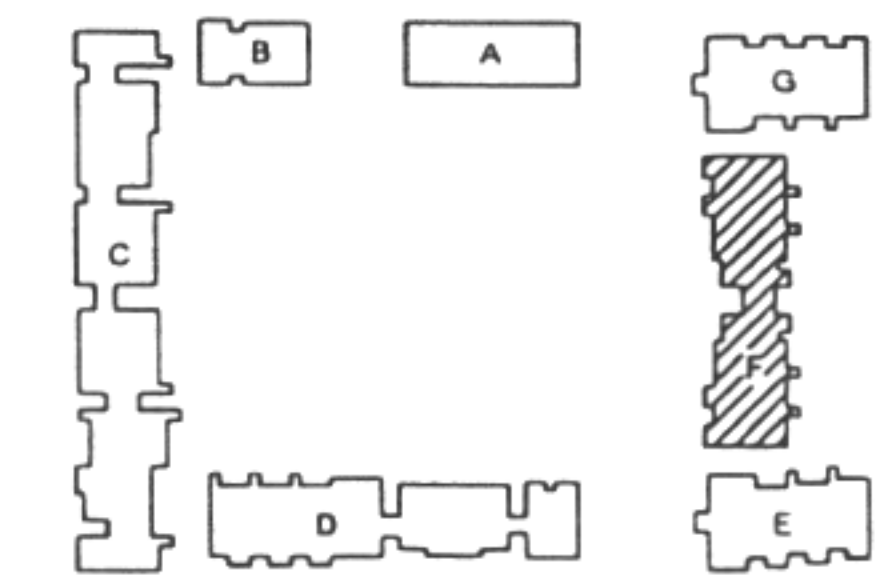
2 BUILDING F - ELEVATION NORTH
1/8" = 1'-0"



3 BUILDING F - ELEVATION SOUTH
1/8" = 1'-0"



1 BUILDING F - ELEVATION WEST
1/8" = 1'-0"



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PROJECT NAME
**GREATER ALBUQUERQUE
HOUSING PARTNERSHIP**

FRANCISCAN ACRES SUBDIVISION
INDIAN SCHOOL AND BROADWAY
ALBUQUERQUE, NM 87102

REVISIONS

NO.	DESCRIPTION	DATE

Design Group	
Drawn by	Author
Checked by	Checker
Date	AUG 13, 2012
Sheet number	2439
Scale	

SHEET TITLE
**BUILDING AND STRUCTURE ELEVATIONS
BUILDING F**

SHEET NUMBER

5.5

Application # :

12DRB-70255(SBA)

DRB CASE ACTION LOG - BLUE SHEET

DONE
8-30-12

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet *must* accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Project #: 10071649 Application #: 12DRB-70201
 Project Name: Franciscan Acres
 Agent: The Hartman & Majewski Phone #:
Sub-Tek Inc.

Your request was approved on 8-8-12 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

TRANSPORTATION:

ABCWUA:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): Plat - add curve C-3
site plan - correct property line/R.O.W

PLATS:

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

ALL SITE PLANS:

3 copies of the approved site plan. Include all pages.

NOTICE OF SUBDIVISION PLAT CONDITIONS

PARCEL A, PLAZA CIUDANA

The plat of PARCEL A, PLAZA CIUDANA has been granted a variance or waiver from certain subdivision requirements pursuant to Section 7 of the City of Albuquerque Subdivision Ordinance.

Future subdivision of lands within this plat, zoning Site Development Plan approvals, and development permits may be conditioned upon dedication of right-of-way and easements, and/or upon infrastructure improvements by the owner for water, sanitary sewer, streets, drainage, grading, and parks in accordance with current resolutions, ordinances, and policies in effect at the time for any specific proposal.

The City and AMAFCA (with reference to drainage) may require and/or permit easements to be added, modified, or removed when future plats and/or Site Development Plans are approved.

By its approval of this subdivision, the City makes no representation or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: water and sanitary sewer availability; future street dedications and/or improvements; park and open space requirements; drainage requirements and/or improvements; and excavation, filling, or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

At such time as all such conditions have been satisfactorily met, the City Engineer shall approve a recordable document, removing such conditions from all of from a portion of the area within the subject subdivision.

Note: There is a Notice of subdivision plat conditions for PARCEL A, PLAZA CIUDANA, filed in the office of the County Clerk of Bernalillo County, New Mexico on AUG 30, 2012 in Book 2012 C, page 101.

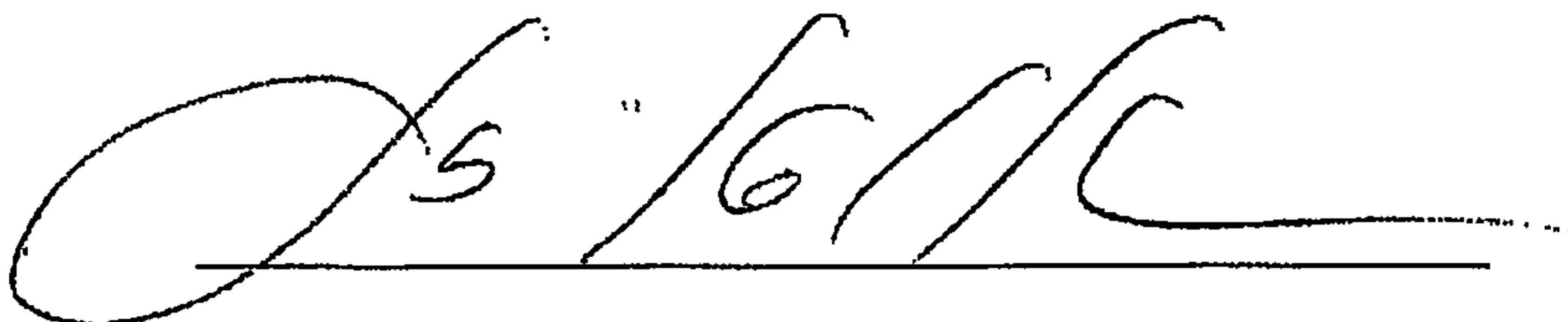
Doc# 2012089585

08/30/2012 11:12 AM Page: 1 of 2
NOT R:\$25.00 M. Toulouse Oliver, Bernalillo County



OWNER(S)

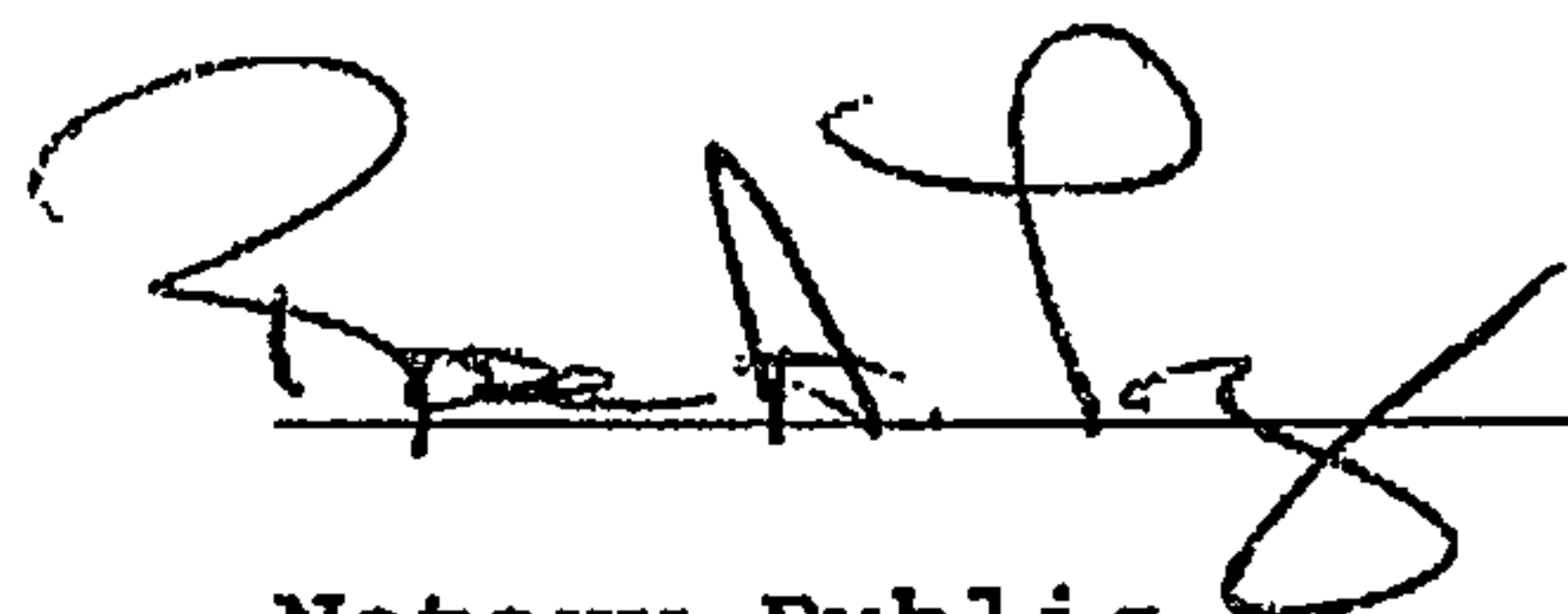
Greater Albuquerque Housing Partnership
320 Gold Avenue SW, Suite 918
Albuquerque, NM 87102



By: Louis Kolker, Executive Director

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this
29 day of AUGUST, 2012, by Louis
Kolker, Executive Director of The Greater Albuquerque
Housing Partnership

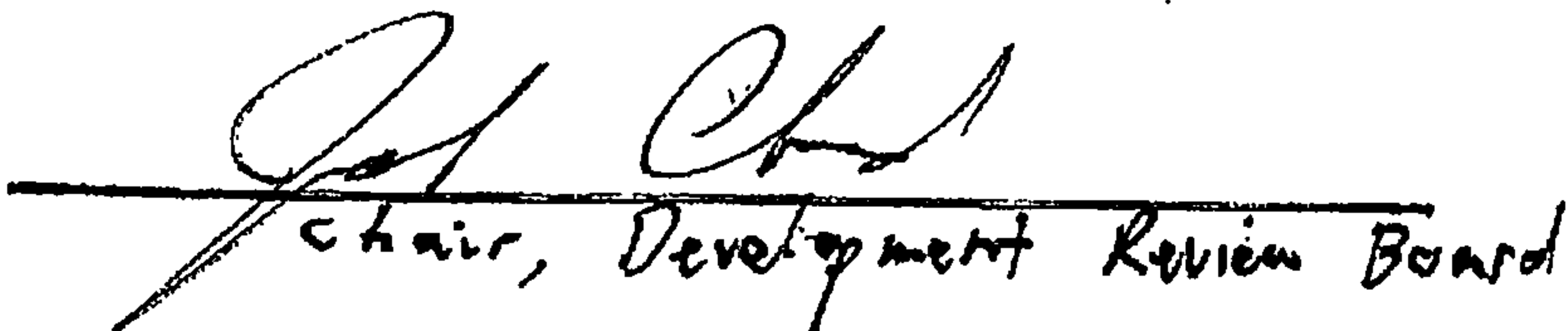


My commission expires June 30, 2015

Notary Public



OFFICIAL SEAL
ROSE A. PEREZ
NOTARY PUBLIC
STATE OF NEW MEXICO
My Commission Expires JUNE 30, 2015



Chair, Development Review Board