

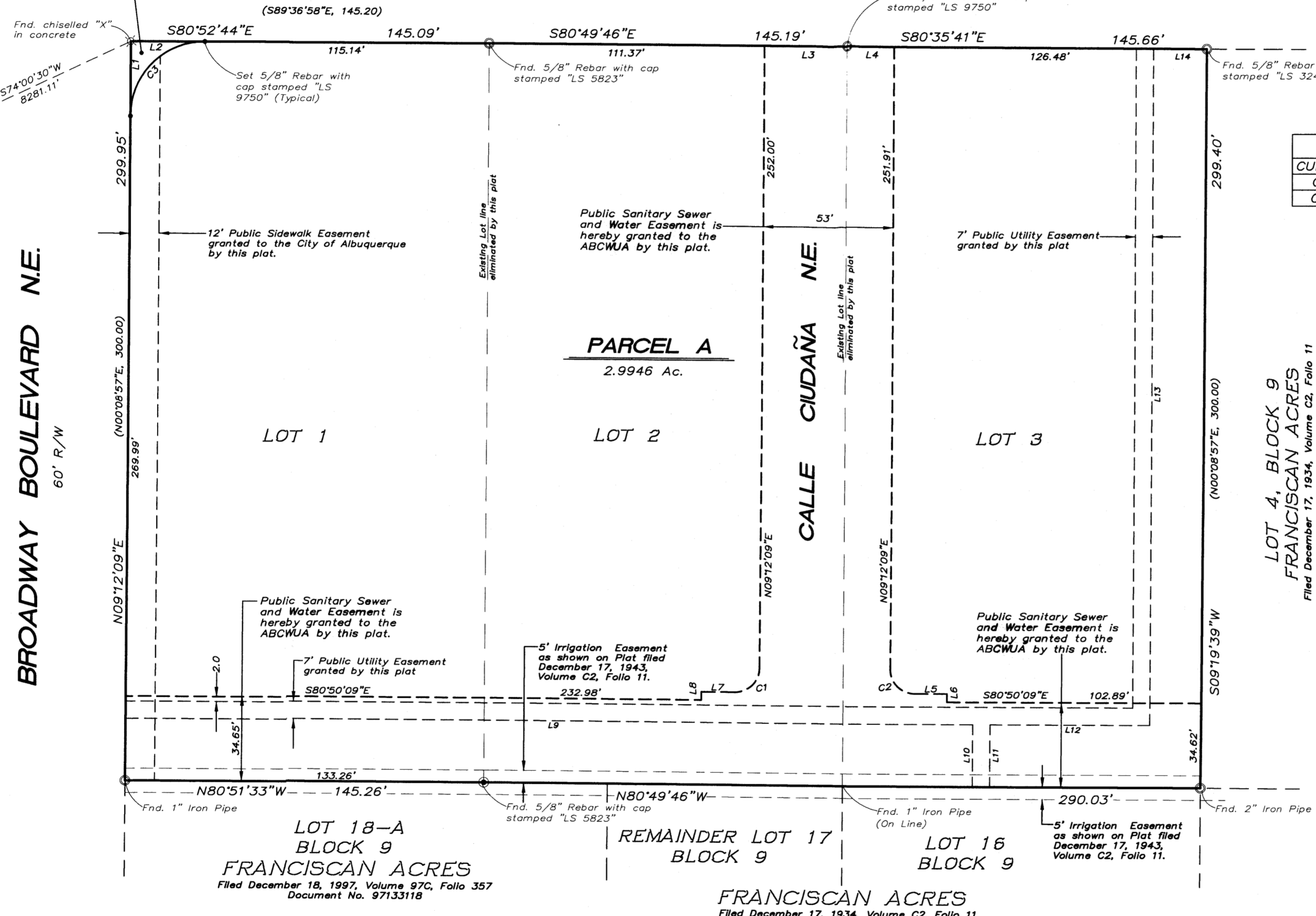
**BULK LAND PLAT OF  
PARCEL A  
PLAZA CIUDAÑA**

(BEING A REPLAT OF LOTS 1 THRU 3, BLOCK 9, FRANCISCAN ACRES)  
SITUATE WITHIN  
**THE TOWN OF ALBUQUERQUE GRANT**  
IN  
**PROJECTED SECTIONS 8 AND 9  
TOWNSHIP 10 NORTH, RANGE 3 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO**  
JULY 2012

**NOTE PERTAINING TO PARK AREAS:**  
All Park Areas are Private Parks for the benefit and use of the residents. Maintenance of all grounds, including all landscaping shall be the owner(s) responsibility.

Albuquerque Control Survey Monument "5-J13A"  
New Mexico State Plane Coordinates  
Central Zone - NAD 83  
North= 1,491,318.377 feet  
East= 1,515,633.327 feet  
Elevation= 4960.499 feet (NAVD 1988)  
Delta Alpha= -001'423.54"  
Ground to Grid Factor= 0.999684462

Public Street right of way dedicated to the City of Albuquerque in fee simple with warranty covenants by this plat. (0.0044 Acre)

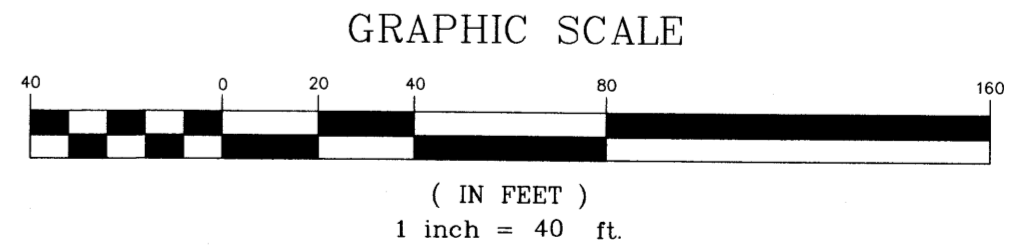
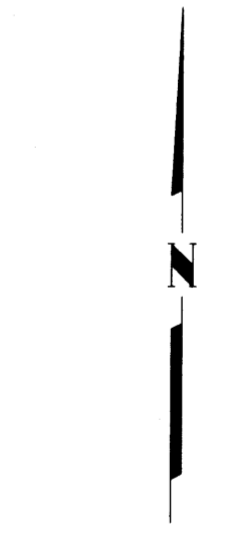


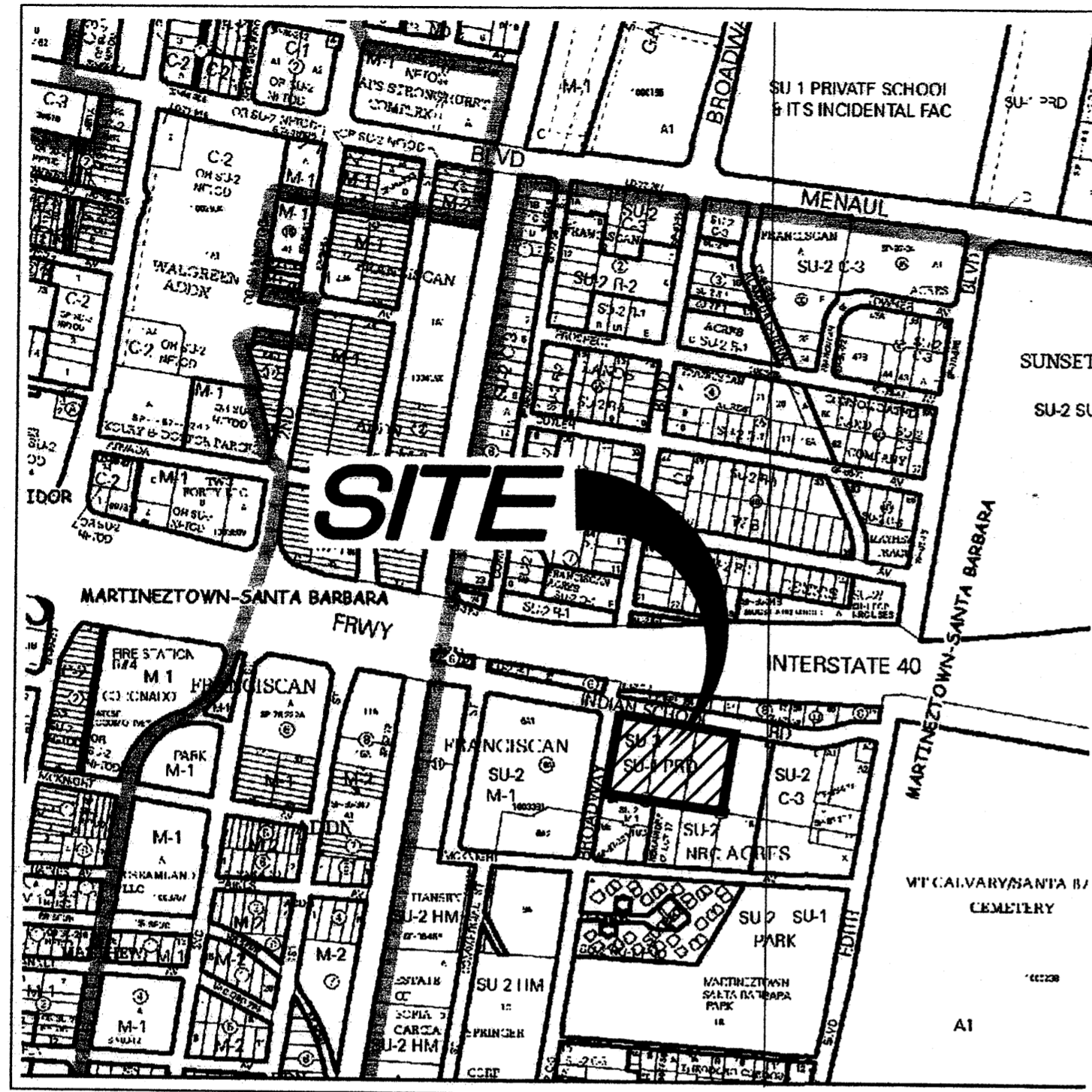
**CURVE TABLE**

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	15.71'	10.00'	10.00'	14.14'	N54°09'51"E	90°00'00"
C2	15.71'	10.00'	10.00'	14.14'	S35°50'09"E	90°00'00"

**LINE TABLE**

LINE	LENGTH	BEARING
L1	29.96	N09°12'09"E
L2	29.96	S80°52'44"E
L3	33.82	S80°49'46"E
L4	19.18	S80°35'41"E
L5	13.00	S80°50'09"E
L6	3.40	N09°09'51"E
L7	13.50	N80°50'09"W
L8	3.40	N09°09'51"E
L9	342.99	S80°50'09"E
L10	25.60	S09°09'39"W
L11	25.60	N09°09'39"E
L12	64.63	S80°50'09"E
L13	273.89	N09°09'39"E
L14	21.53	S80°35'41"E





**VICINITY MAP**  
Not To Scale

**GENERAL NOTES**

- Bearings are grid and based on the New Mexico State Plane Coordinate System, Central Zone (NAD83).
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ( ).
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All street centerline monumentation shall be installed at all centerline PC's, PT's, angle points and street intersections and shown thus  $\odot$ . All centerline monumentation will be set using the standard four (4") aluminum monument stamped "City of Albuquerque Centerline Monument- Do Not Disturb, PS Number 9750" and will be set flush with the final asphalt lift.
- City of Albuquerque Zone Atlas Page H-14-Z.

**SUBDIVISION DATA**

- Total number of existing Lots: 3
- Total number of Parcels created: 3
- Mileage of full width streets created 0.0729 mile
- Public street right of way dedicated 0.4781
- Gross Subdivision acreage: 2.9991 acres

**TREASURERS CERTIFICATION**

This is to certify that taxes are current and paid on the following:

Bernalillo County Treasurer \_\_\_\_\_ Date \_\_\_\_\_

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest Corporation d/b/a CenturyLink QC, for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantees, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

**DISCLAIMER**

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

**PURPOSE OF PLAT**

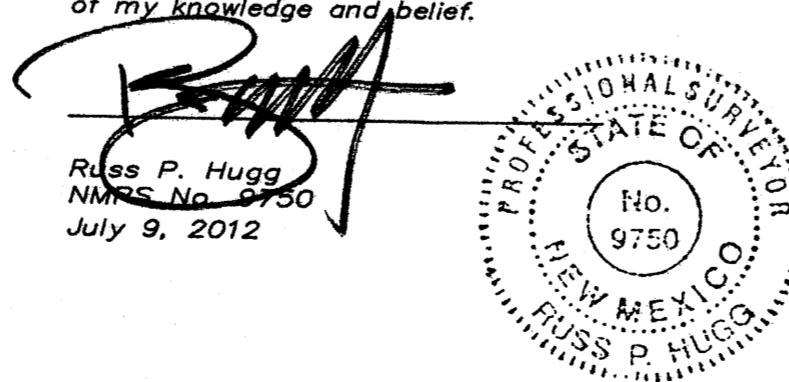
The purpose of this plat is to:

- Eliminate the existing lot lines between Lots 1 and 2, Block 9, Franciscan Acres and create 3 new Parcels.
- Dedicate the Public Street right of way as shown hereon.
- Grant the Public Easements as shown hereon.

**SURVEYORS CERTIFICATION**

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg  
N.M.S. No. 9750  
July 9, 2012



PLAT OF  
PARCELS A, B AND C  
**PLAZA CIUDANA**

(BEING A REPLAT OF LOTS 1 THRU 3, BLOCK 9, FRANCISCAN ACRES)

SITUATE WITHIN  
THE TOWN OF ALBUQUERQUE GRANT  
IN  
PROJECTED SECTIONS 8 AND 9  
TOWNSHIP 10 NORTH, RANGE 3 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

JULY, 2012

PROJECT NUMBER: \_\_\_\_\_

Application Number: \_\_\_\_\_

**PLAT APPROVAL**

**UTILITY APPROVALS**

Public Service Company of New Mexico \_\_\_\_\_ Date \_\_\_\_\_

New Mexico Gas Company \_\_\_\_\_ Date \_\_\_\_\_

Qwest Corporation d/b/a CenturyLink QC. \_\_\_\_\_ Date \_\_\_\_\_

Comcast \_\_\_\_\_ Date \_\_\_\_\_

**CITY APPROVALS**

*[Signature]* \_\_\_\_\_ 7-11-12  
City Surveyor \_\_\_\_\_ Date  
Department of Municipal Development

Real Property Division \_\_\_\_\_ Date \_\_\_\_\_

Environmental Health Department \_\_\_\_\_ Date \_\_\_\_\_

Traffic Engineering, Transportation Division \_\_\_\_\_ Date \_\_\_\_\_

ABCWUA \_\_\_\_\_ Date \_\_\_\_\_

Parks and Recreation Department \_\_\_\_\_ Date \_\_\_\_\_

AMAFCA \_\_\_\_\_ Date \_\_\_\_\_

City Engineer \_\_\_\_\_ Date \_\_\_\_\_

DRB Chairperson, Planning Department \_\_\_\_\_ Date \_\_\_\_\_

**LEGAL DESCRIPTION**

That certain parcel of land situate within the Town of Albuquerque Grant, in Projected Sections 8 and 9, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising and being Lots 1, 2 and 3, Block 9, Franciscan Acres, as the same is shown and designated on the plat entitled "REPLAT OF THE SUBDIVISION, RESUBDIVISION AND REPLAT OF CERTAIN TRACT OF LAND IN BERNALILLO COUNTY DESIGNATED AS FRANCISCAN ACRES, NEW MEXICO ENGINEERING CO., ALBUQUERQUE, N.M., SCALE 1"=200', NOV. 15, 1934", filed in the office of the County Clerk of Bernalillo County on December 17, 1934, in Volume C2, Folio 11, and being more particularly described by survey performed by Russ P. Hugg, New Mexico Surveyor Number 9750, using New Mexico State Plane Grid Bearings (Central Zone - NAD 83) and ground distances as follows:

BEGINNING at the northwesterly corner of the parcel herein described (a chiseled "X" found in place), said point also being the northwesterly corner of said Lot 1, Block 9, Franciscan Acres, and also being the intersection of the easterly right of way line of Broadway Boulevard N.E., and the southerly right of way line of Indian School Road N.E., whence Albuquerque Control Survey Monument "5-J13A" bears S 74°00'30" W, 8,281.11 feet distant; Thence, along said southerly right of way line of Indian School Road N.E.,

S 80°52'44" E, 145.09 feet to a point (a 5/8" rebar with cap stamped "LS 5823" found in place) said point also being the northeasterly corner of said Lot 1, Block 9, Franciscan Acres, and also being the northwesterly corner of said Lot 2, Block 9, Franciscan Acres; Thence,

S 80°49'46" E, 145.19 feet to a point (a 5/8" rebar with cap stamped "LS 9750" found in place), said point also being the northeasterly corner of said Lot 2, Block 9, Franciscan Acres, and also being the northwesterly corner of said Lot 3, Block 9, Franciscan Acres; Thence,

S 80°35'41" E, 145.66 feet to the northeasterly corner of the parcel herein described (a 5/8" rebar with cap stamped "LS 3241" found in place), said point also being the northeasterly corner of said Lot 3, Block 9, Franciscan Acres, and also being the northwesterly corner of Lot 4, Block 9, Franciscan Acres, of said Plat filed in Volume C2, Folio 11; Thence,

S 09°19'39" W, 299.40 feet to the southeasterly corner of the parcel herein described (a 2" iron pipe found in place), said point also being the southeasterly corner of said Lot 3, Block 9, Franciscan Acres, and also being the southwesterly corner of said Lot 4, Block 9, Franciscan Acres, and also being the northeasterly corner of Lot 16, Block 9, Franciscan Acres, of said plat filed in Volume C2, Folio 11; Thence,

N 80°49'46" W, 290.03 feet to a point (a 5/8" rebar with cap stamped "LS 9750" set in place) said point also being the southwesterly corner of said Lot 2, Block 9, Franciscan Acres, and also being the southeasterly corner of said Lot 1, Block 9, Franciscan Acres, and also being a point on the northerly boundary of Lot 18-A, Block 9, Franciscan Acres, of plat filed December 18, 1997, in Volume 97C, Folio 357; Thence,

N 80°51'33" W, 145.26 feet the southwesterly corner of the parcel herein described (a 1" iron pipe found in place), said point also being the southwesterly corner of said Lot 1, Block 9, Franciscan Acres, and also being the northwesterly corner of said Lot 18-A, Block 9, Franciscan Acres, and also being a point on said easterly right of way line of Broadway Boulevard N.E.; Thence,

N 09°12'09" E, 299.95 feet to the point of beginning.

Said parcel contains 2.9991 acres, more or less.

PLAT OF  
PARCELS A, B AND C  
PLAZA CIUDANA

(BEING A REPLAT OF LOTS 1 THRU 3, BLOCK 9, FRANCISCAN ACRES)

SITUATE WITHIN  
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CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

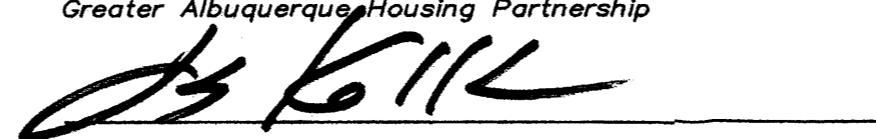
JULY, 2012

**FREE CONSENT AND DEDICATION**

SURVEYED and REPLATTED and now comprising PLAT OF PARCELS A, B AND C, PLAZA CIUDANA (BEING A REPLAT OF LOTS 1 THRU 3, BLOCK 9, FRANCISCAN ACRES) SITUATE WITHIN THE TOWN OF ALBUQUERQUE GRANT IN PROJECTED SECTIONS 8 AND 9, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby dedicate the public street right of way as shown hereon to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby grant the public easements as shown hereon. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

**OWNER(S)**

Greater Albuquerque Housing Partnership



By: Louis Kolker, Executive Director

**SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS**

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

**ACKNOWLEDGMENT**

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO SS

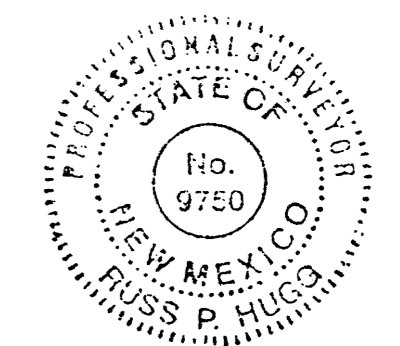
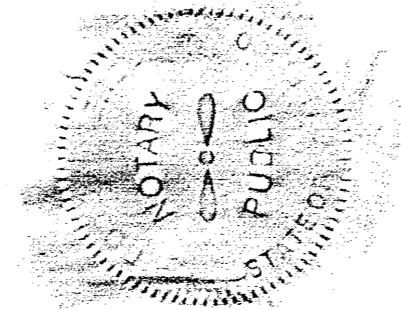
The foregoing instrument was acknowledged before me this 11

day of July, 2012, by Louis Kolker as Executive Director of The Greater Albuquerque Housing Partnership.



Notary Public

My commission expires June 30, 2015



PLAT OF  
**PARCELS A, B AND C**  
**PLAZA CIUDAÑA**

(BEING A REPLAT OF LOTS 1 THRU 3, BLOCK 9, FRANCISCAN ACRES)

SITUATE WITHIN  
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**NEW MEXICO PRINCIPAL MERIDIAN**  
**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO**

JULY, 2012

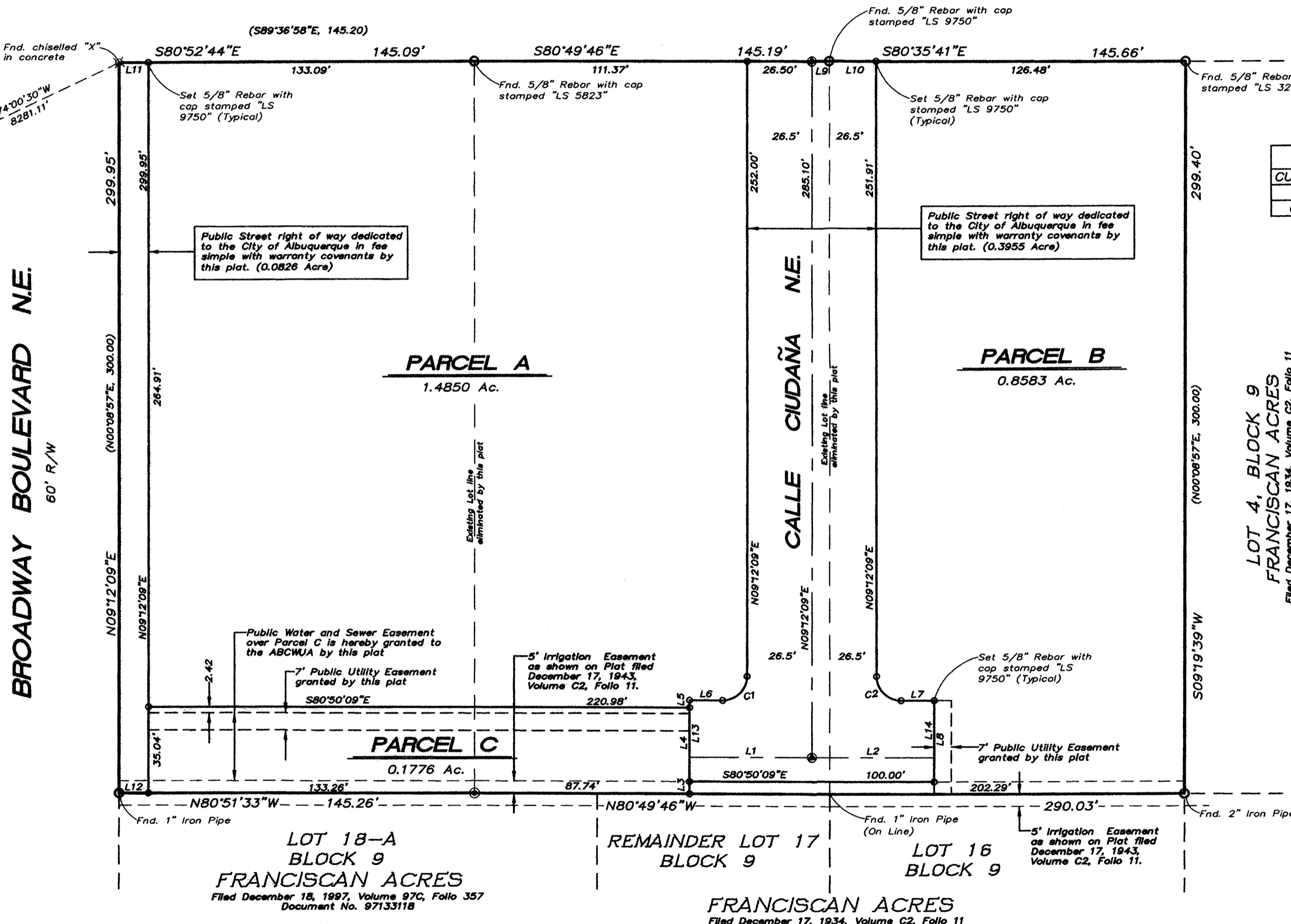
**NOTE PERTAINING TO PARK AREAS:**

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Albuquerque Control Survey Monument "5-J13A"  
 New Mexico State Plane Coordinates  
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 East = 1,515,633.327 feet  
 Elevation = 4960.499 feet (NAVD 1988)  
 Delta Alpha = -00°14'23.54"  
 Ground to Grid Factor = 0.999684462

**INDIAN SCHOOL ROAD N.E.**

60' R/W



**CURVE TABLE**

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	15.71'	10.00'	10.00'	14.14'	N54°09'51"E	90°00'00"
C2	15.71'	10.00'	10.00'	14.14'	S35°50'09"E	90°00'00"

**LINE TABLE**

LINE	LENGTH	BEARING
L1	49.97	S80°50'09"E
L2	50.02	S80°50'09"E
L3	5.00	N09°09'51"E
L4	30.00	N09°09'51"E
L5	3.00	N09°09'51"E
L6	13.50	S80°50'09"E
L7	13.50	S80°50'09"E
L8	33.00	S09°09'51"W
L9	7.32	S80°49'46"E
L10	19.18	S80°35'41"E
L11	12.00	S80°52'44"E
L12	12.00	S80°51'33"E
L13	20.10	N09°08'09"E
L14	23.10	N09°09'51"E

**NOTE PERTAINING TO PARCEL C:**  
 The Greater Albuquerque Housing Partnership shall retain fee ownership of Parcel C for an Emergency Fire Lane and shall be responsible for the maintenance thereof. Said Parcel is hereby reserved for future public street dedication upon further development of the Lots immediately adjacent to and South of the South boundary of this plat.

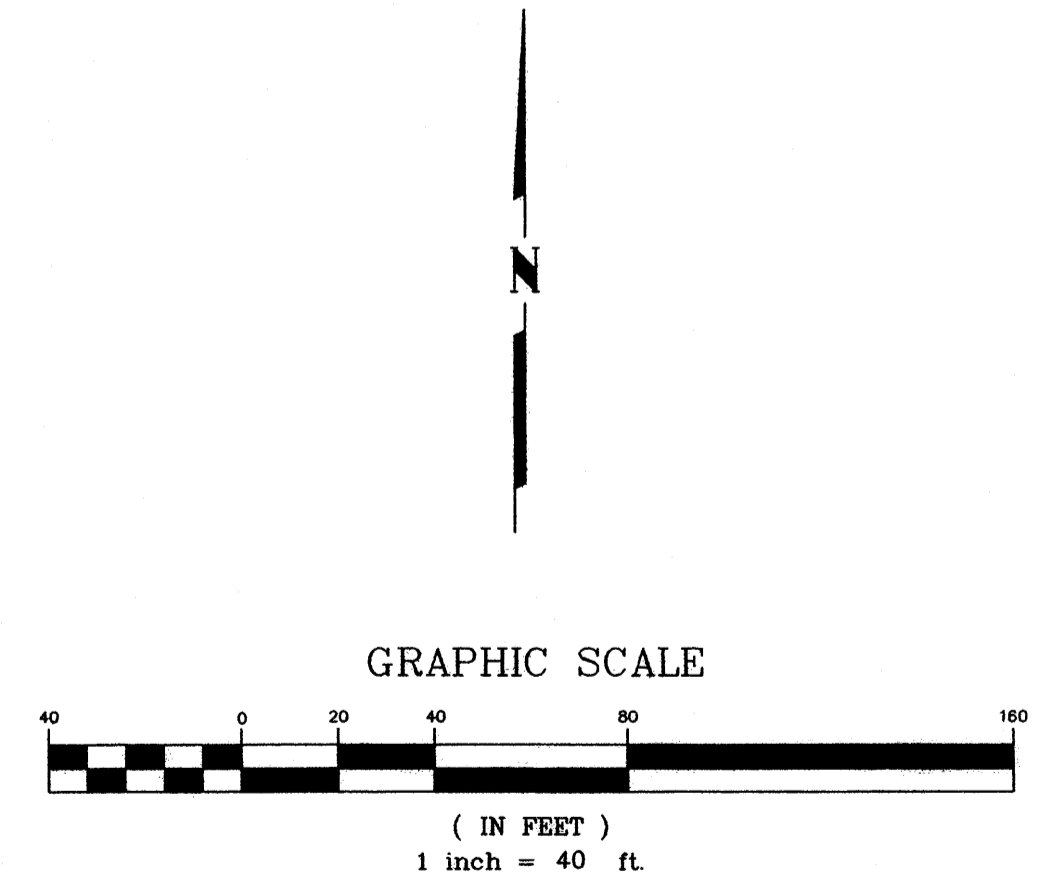
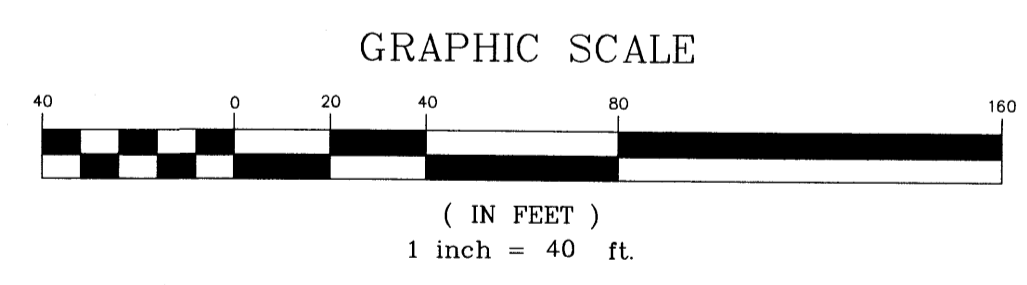
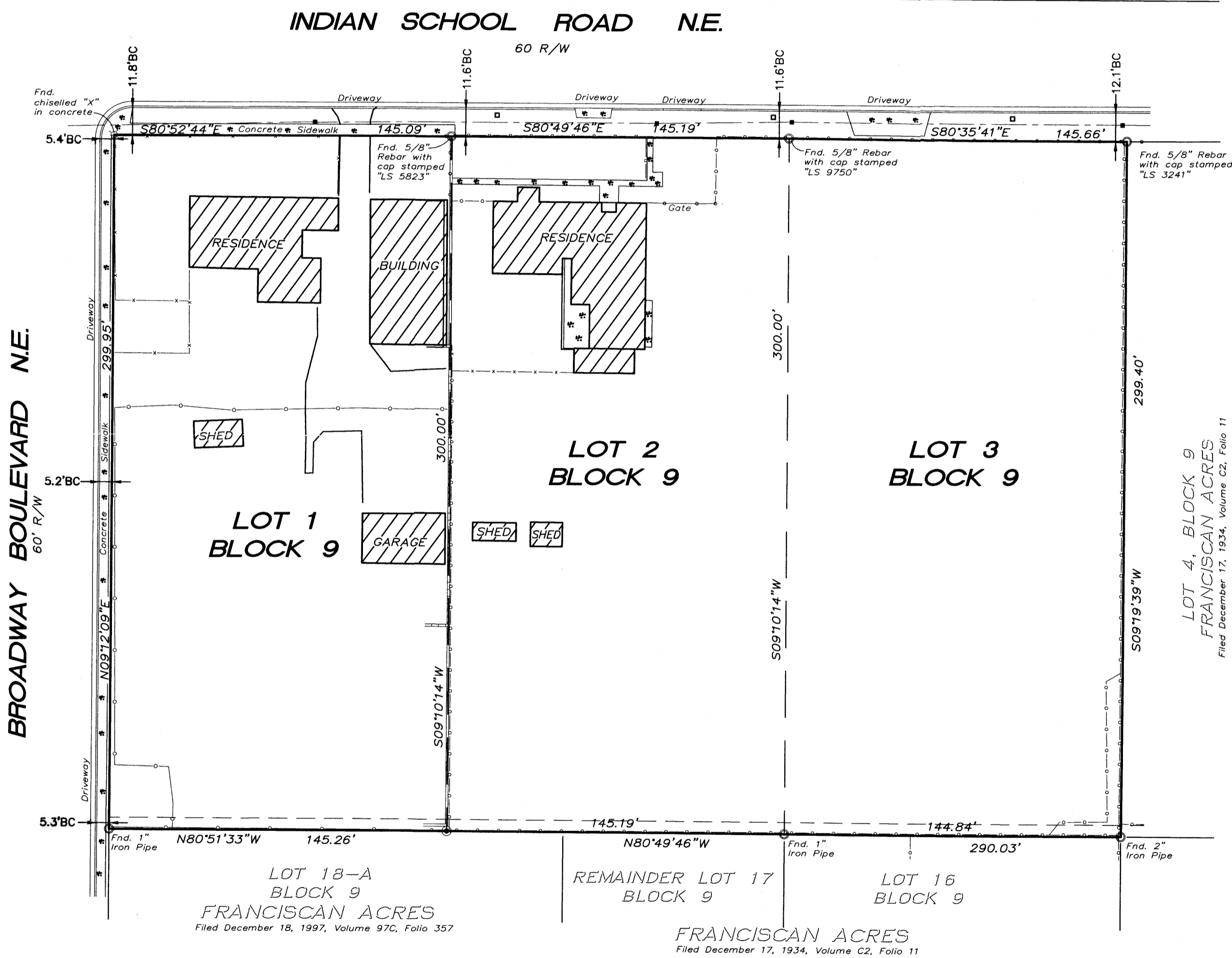


EXHIBIT SHOWING  
**LOTS 1, 2 AND 3**  
**BLOCK 9**  
**FRANCISCAN ACRES**  
 SITUATE WITHIN  
 THE TOWN OF ALBUQUERQUE GRANT  
 IN  
 PROJECTED SECTIONS 8 AND 8  
 TOWNSHIP 10 NORTH, RANGE 3 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 MAY, 2012



**INTRODUCTION**

THE PURPOSE OF THIS SITE DEVELOPMENT PLAN FOR BUILDING PERMIT IS TO ENSURE THAT THE SOUTHEAST CORNER OF BROADWAY AND INDIAN SCHOOL, NE IS COMPREHENSIVELY DEVELOPED WITH RESPECT TO SITE LAYOUT FOR BUILDINGS, PARKING, INGRESS/EGRESS POINTS, PEDESTRIAN CIRCULATION, AND LINKAGES TO ADJACENT USES AS WELL AS ARCHITECTURAL AND NEIGHBORHOOD DESIGN.

THE PROPOSED USE OF THE SITE IS TO DEVELOP 68 UNITS OF MULTI-FAMILY HOUSING AND ASSOCIATED COMMUNITY SUPPORT FUNCTIONS, INCLUDING A LEASING OFFICE, COMMUNITY SUPPORT BUILDING, AND PARK FACILITY ACCESSIBLE TO THE PUBLIC.

BUILDING MASSING IS ARRANGED RECTILINEARLY TO MELD THE DEVELOPMENT WITH THE EXISTING FABRIC OF SURROUNDING CITY BLOCKS. BUILDINGS ARE PLACED WITH THEIR FRONT FACADES FACING STREETS AND ADJACENT TO SIDEWALKS, WITH FRONT SETBACKS VARYING FROM A MAXIMUM OF 22' FROM THE PROPERTY LINE ALONG BROADWAY TO A MINIMUM ZERO SETBACK AT THE COMMUNITY BUILDINGS ALONG INDIAN SCHOOL. HEIGHTS RANGE FROM ONE TO THREE STORIES, WITH A MAXIMUM HEIGHT OF 48' AT THE THREE STORY UNITS. THE MAXIMUM FLOOR AREA RATIO FOR THE DEVELOPMENT IS 3.

OFF-STREET PARKING IS LOCATED AT THE CENTER OF EACH RESIDENTIAL BLOCK, WITH CONTROLLED VEHICULAR INGRESS AND EGRESS TO THE OFF-STREET PARKING AREAS FROM INDIAN SCHOOL, NE. A PROPOSED STREET BISects THE CENTER OF THE SITE IN NORTH / SOUTH DIRECTION, AND IS MASTER PLANNED TO CONNECT TO A POSSIBLE EASTWEST STREET TO THE SOUTH OF THIS DEVELOPMENT IN A FUTURE PHASE. NEW ON-STREET PARKING IS PROPOSED TO BE CONSTRUCTED AS A PART OF THIS DEVELOPMENT, 100% OF WHICH SERVES THE REQUIREMENTS OF THE DEVELOPMENT.

PEDESTRIAN INGRESS AND EGRESS IS THROUGH AN EXTENSION OF THE EXISTING NEIGHBORHOOD SIDEWALK SYSTEM ALONG BROADWAY AND INDIAN SCHOOL. CONTROLLED GATED PEDESTRIAN ACCESS POINTS CONNECT THE PERIMETER SIDEWALK SYSTEM TO THE INTERNAL CIRCULATION SYSTEM OF SIDEWALKS WITHIN THE PERIMETER SECURITY WALLS.

LANDSCAPING EMPLOYS A LARGE NUMBER OF TREES FOR SHADING AND TO TIE THE PROPOSED PARK AREA VISUALLY TO THE PROPOSED OFF-STREET PARKING AREAS. PERMEABLE PAVING IS USED IN THE OFF-STREET PARKING AREAS TO ENCOURAGE THEIR USE AS MULTI-FUNCTIONING SPACES.

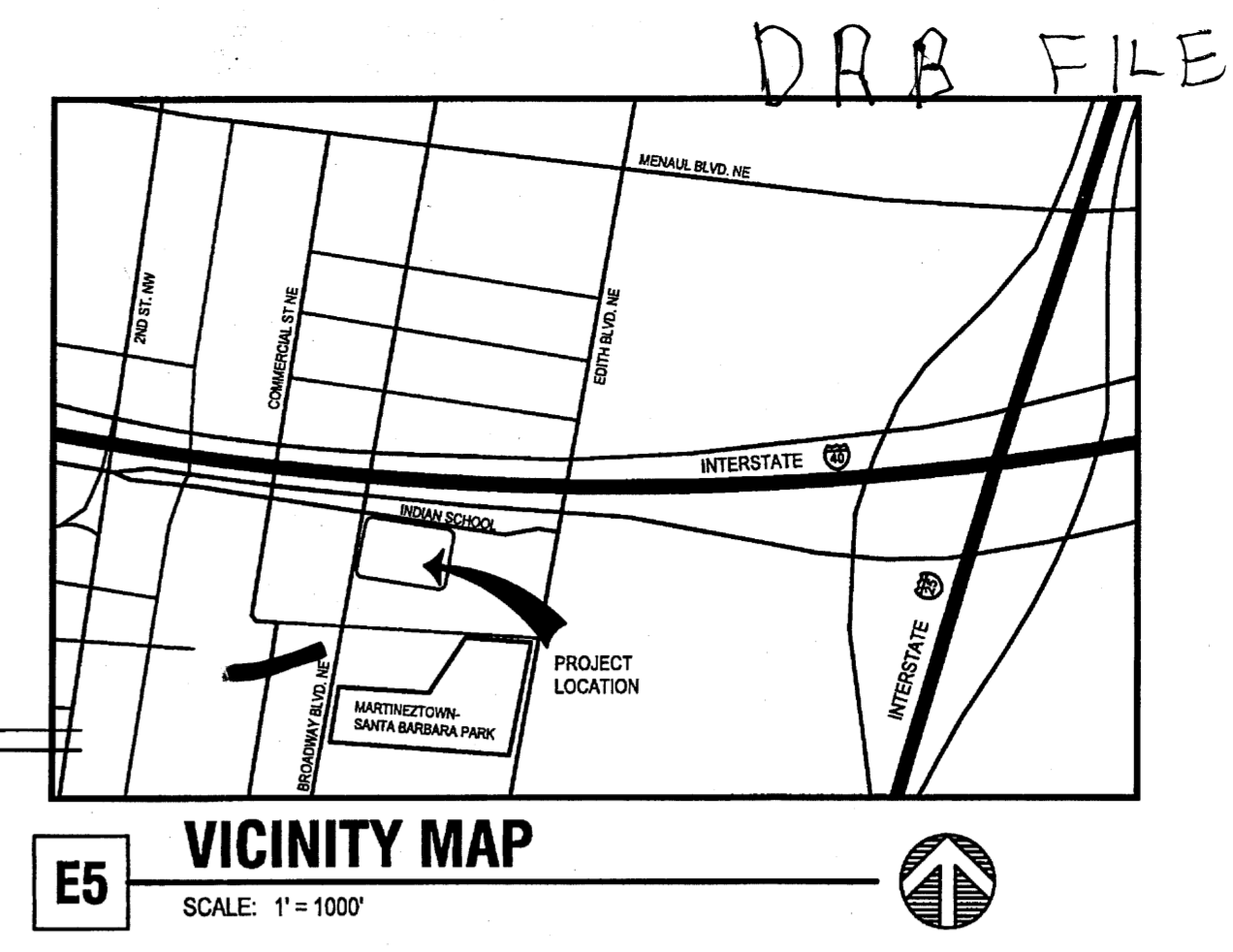
**LEGEND:**

- PEDESTRIAN ACCESS (CONCRETE SIDEWALK)
- PERMEABLE PAVEMENT (6" THICK 3/4" GRAVEL OVER 95% COMPACTED NATIVE SUBGRADE)
- PATTERNED CONCRETE CROSSWALK
- 5'-4" HIGH SECURITY WALL - GRAY-BROWN CONCRETE BLOCK, 8X16 STACKED BOND, WITH DECORATIVE METAL GATES WHERE SHOWN.
- 6'-0" HIGH SECURITY WALL - DECORATIVE METAL WITH DECORATIVE METAL GATES WHERE SHOWN.
- LOW RETAINING WALL - GRAY-BROWN CONCRETE BLOCK, 8X16 STACKED BOND, 2'-0" APPROXIMATE HEIGHT.
- 6'-0" HIGH SECURITY WALL - DECORATIVE METAL "COYOTE FENCE"
- SITE LIGHTING, METAL HALIDE, 15' ALUM. POLE, DOUBLE LAMP
- SITE LIGHTING, METAL HALIDE, 12' ALUM. POLE
- PICNIC TABLE
- TRASH CAN
- BENCH
- BOULDERS
- BIKE RACKS

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- 1.1 SITE PLAN
- 1.2 RAMP DETAILS
- 2.1 LANDSCAPE PLANTING PLAN
- 2.2 LANDSCAPE IRRIGATION PLAN
- 3.1 CONCEPTUAL GRADING PLAN
- 3.2 CONCEPTUAL DRAINAGE
4. CONCEPTUAL UTILITY PLAN
- 5.1 BUILDING AND STRUCTURE ELEVATIONS, BLDG A&B
- 5.2 BUILDING AND STRUCTURE ELEVATIONS, BLDG C
- 5.3 BUILDING AND STRUCTURE ELEVATIONS, BLDG D
- 5.4 BUILDING AND STRUCTURE ELEVATIONS, BLDG E&G
- 5.5 BUILDING AND STRUCTURE ELEVATIONS, BLDG F

NOTE: PARK AREA IS PRIVATELY OWNED AND PRIVATELY MAINTAINED BY OWNER.



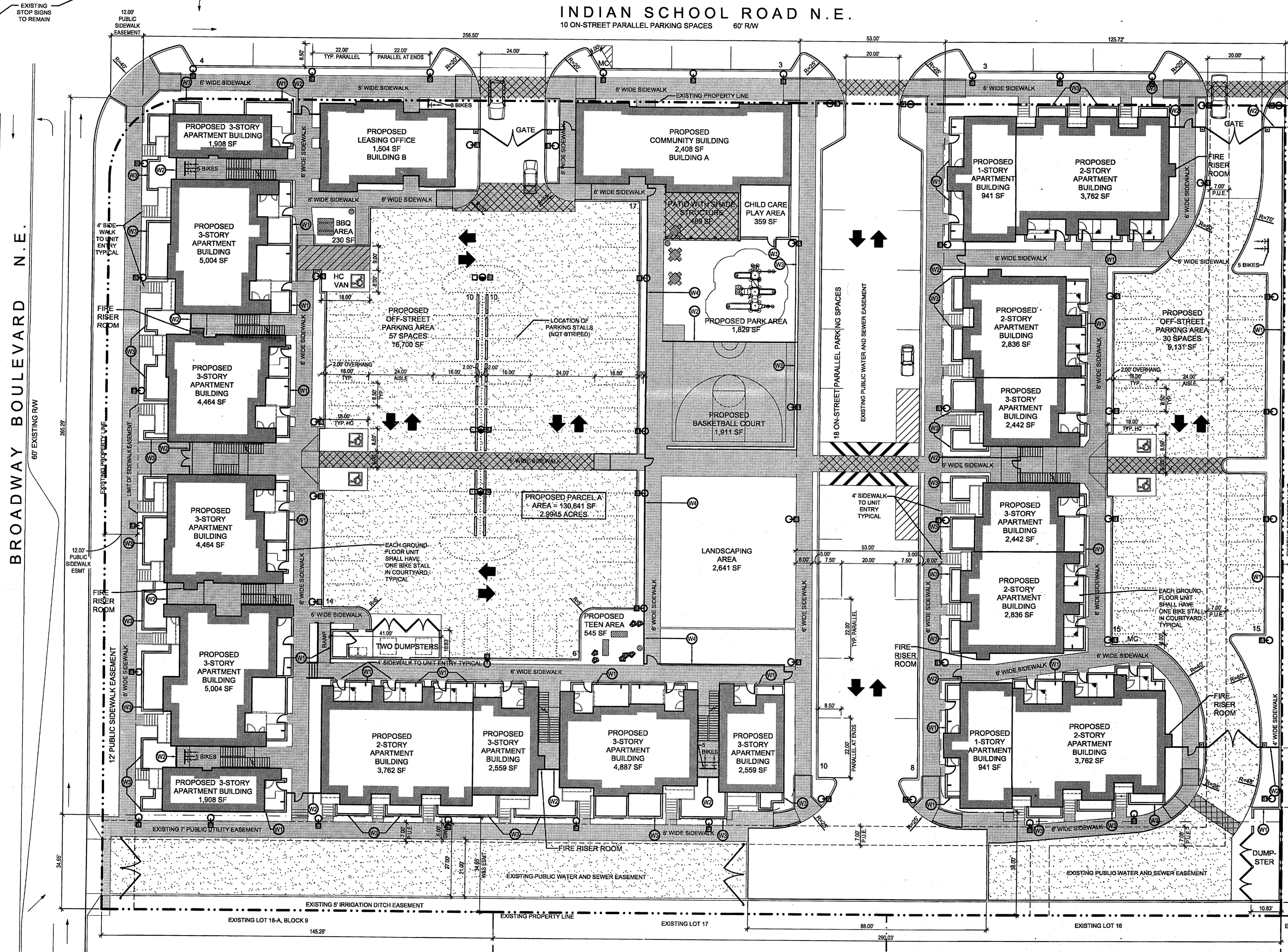
DRB FILE

**dg**

THE HARTMAN + MAJEWSKI  
**DESIGN GROUP**  
ARCHITECTS • ENGINEERS • INTERIOR DESIGN  
PLANNERS • URBAN DESIGNERS • LEED®

120 VASSAR DRIVE SE SUITE 100  
ALBUQUERQUE, NEW MEXICO 87106  
PHONE : 505.242.6880 FAX : 505.242.6881

CONSULTANT



**PROJECT LOCATION:** SOUTHEAST CORNER OF INDIAN SCHOOL AND BROADWAY NE

**LEGAL DESCRIPTION:** LOTS 1 THROUGH 3, BLOCK 9, FRANCISCAN ACRES

**ZONE ATLAS PAGE:** H-14

**TOTAL ACREAGE:** 2.9945 ACRES

**PROPOSED SUBDIVISION PARCELS:**  
PARCEL A ..... 2.9945 ACRES

**EXISTING ZONING:** SU-2/SU-1 FOR PRD

**PROPOSED USES:** RESIDENTIAL DWELLINGS

**LIST OF APPLICABLE PLANS:**  
RANK 1 PLANS- ALBUQUERQUE/BERNALILLO COUNTY COMPREHENSIVE PLAN  
RANK 2 PLANS- NONE  
RANK 3 PLANS- MARTINEZTOWN / SANTA BARBARA SECTOR DEVELOPMENT PLAN

**MAXIMUM BUILDING HEIGHT:** 48 FEET

**MINIMUM BUILDING SETBACK:** ZERO (INDIAN SCHOOL ONLY)

**MAXIMUM TOTAL DWELLING UNITS:**  
88 DWELLING UNITS  
NET: 25.84 DUS/ACRE  
GROSS: 22.67 DUS/ACRE

**PROPOSED TOTAL AREA FOR RESIDENTIAL UNITS:**  
56,481 SF (LEASING OFFICE AND COMMUNITY BUILDING NOT INCL.)

**FAR SUMMARY:**  
MAXIMUM FAR FOR NONRESIDENTIAL UNITS ..... 0.3  
PROVIDED FAR FOR NONRESIDENTIAL UNITS ..... 0.05  
PROVIDED FAR FOR ALL DEVELOPMENT (RES AND NON-RES) ..... 0.53

**REQUIRED PARKING:**  
PER DRB APPROVED SDP FOR SUBDIVISION 8-8-12  
TOTAL REQUIRED PARKING ..... 115 SPACES

**PROPOSED PARKING:**  
OFF-STREET PARKING ..... 87 SPACES  
ON-STREET PARKING ..... 28 SPACES  
TOTAL PROPOSED PARKING ..... 115 SPACES

HANDICAPPED, MOTORCYCLE, AND BICYCLE PARKING IS PROVIDED TO MEET THE REQUIREMENTS OF THE APPROVED SITE DEVELOPMENT PLAN FOR SUBDIVISION DATED 8-8-2012.

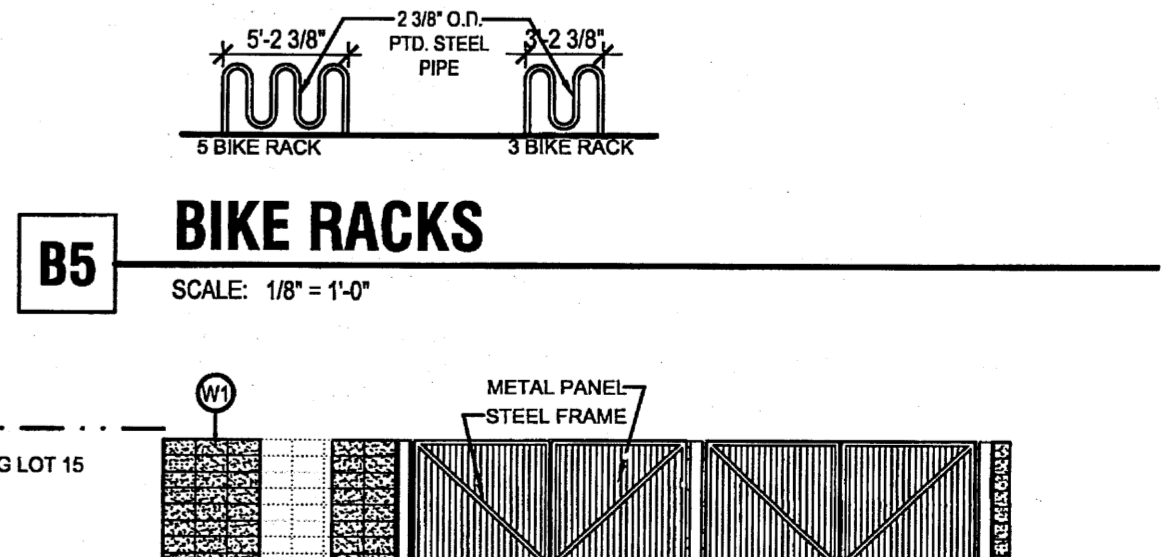
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PROJECT NUMBER: 1007649

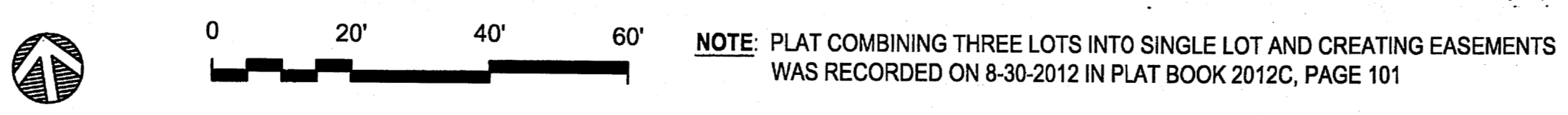
APPLICATION NUMBER: 12 DRB 70255

Is an infrastructure list required? (Yes ( ) No (X) If yes, then a set of approved DRB plans with a work order is required for any construction within public right-of-way or for construction of public improvements.

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE: 09-12-12
UTILITIES DEVELOPMENT	DATE: 09/12/12
PARKS AND RECREATION	DATE: 9/12/12
CITY ENGINEER	DATE: 1-31-13
ENVIRONMENTAL HEALTH DEPT. (if required)	DATE:
SOLID WASTE MANAGEMENT	DATE: 1-31-12
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE:



**A1 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**  
SCALE: 1" = 20'-0"



NOTE: PLAT COMBINING THREE LOTS INTO SINGLE LOT AND CREATING EASEMENTS WAS RECORDED ON 8-30-2012 IN PLAT BOOK 2012C, PAGE 101

**A5 DUMPSTER ENCLOSURE**  
SCALE: 1/8" = 1'-0"

1007649

PROJECT NAME:  
**GREATER ALBUQUERQUE HOUSING PARTNERSHIP**

FRANCISCAN ACRES SUBDIVISION  
INDIAN SCHOOL AND BROADWAY  
ALBUQUERQUE, NM 87102

REVISIONS:		
No.	DATE	DESCRIPTION
1	7/17/2012	PLAT REVISIONS
2	7/24/2012	DRB COMMENTS
3	8/5/2012	DRB COMMENTS
4	9/6/2012	DRB COMMENTS

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Drawn by: EH  
Checked by: MW  
Date: 8/10/2012  
Project number: 2439  
Cad file name:

SHEET TITLE:  
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

SHEET NUMBER:  
**1.1**



REVISIONS:		
No.	DATE	DESCRIPTION
1	7/17/2012	PLAT REVISIONS
2	7/24/2012	DRB COMMENTS
3	8/5/2012	DRB COMMENTS
4	9/6/2012	DRB COMMENTS

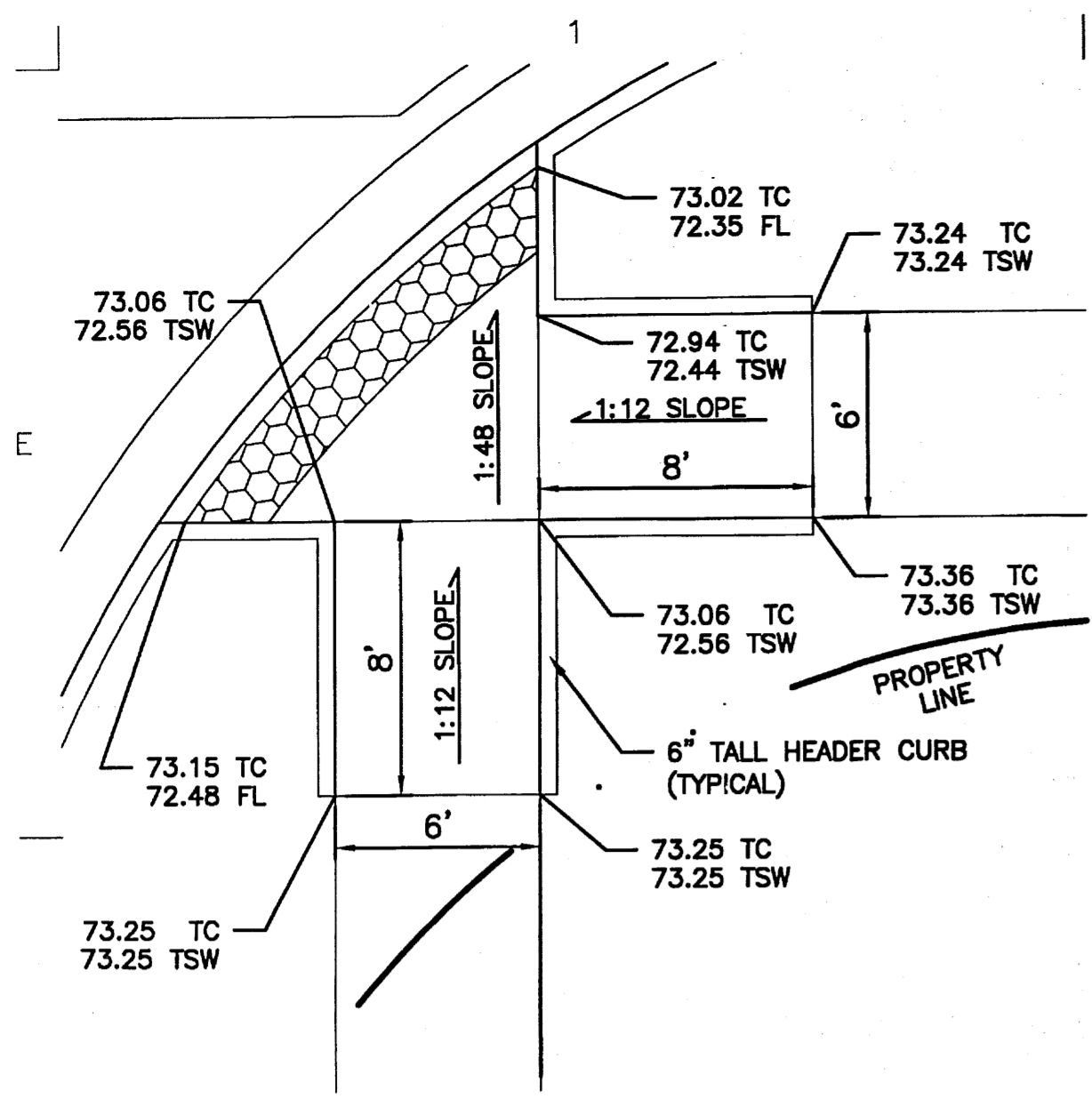
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Checked by	DM
Date	8/10/2012
Project number	2439
Cad file name	

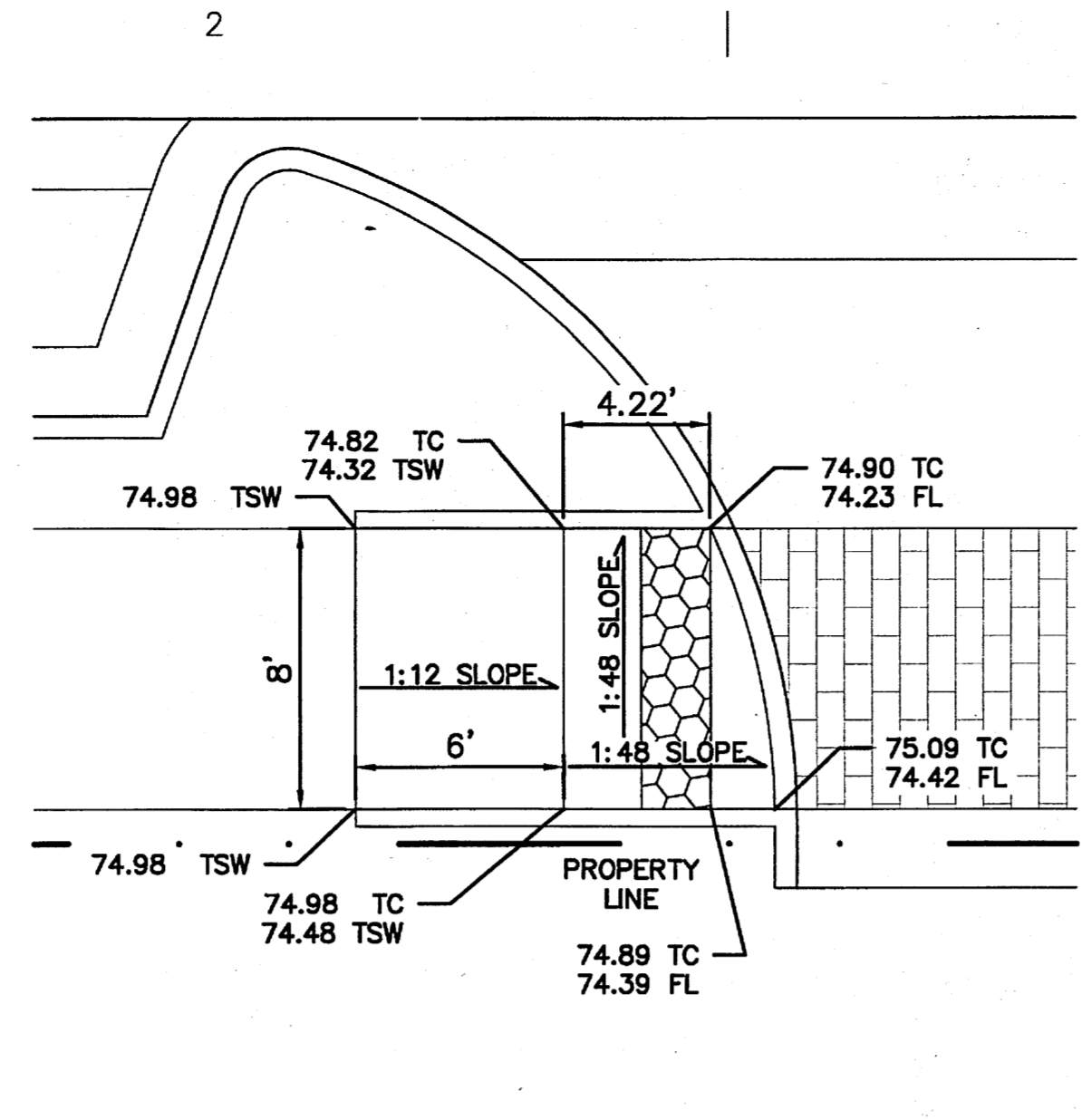
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**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT  
 ADA CURB ACCESS RAMPS**

SHEET NUMBER:

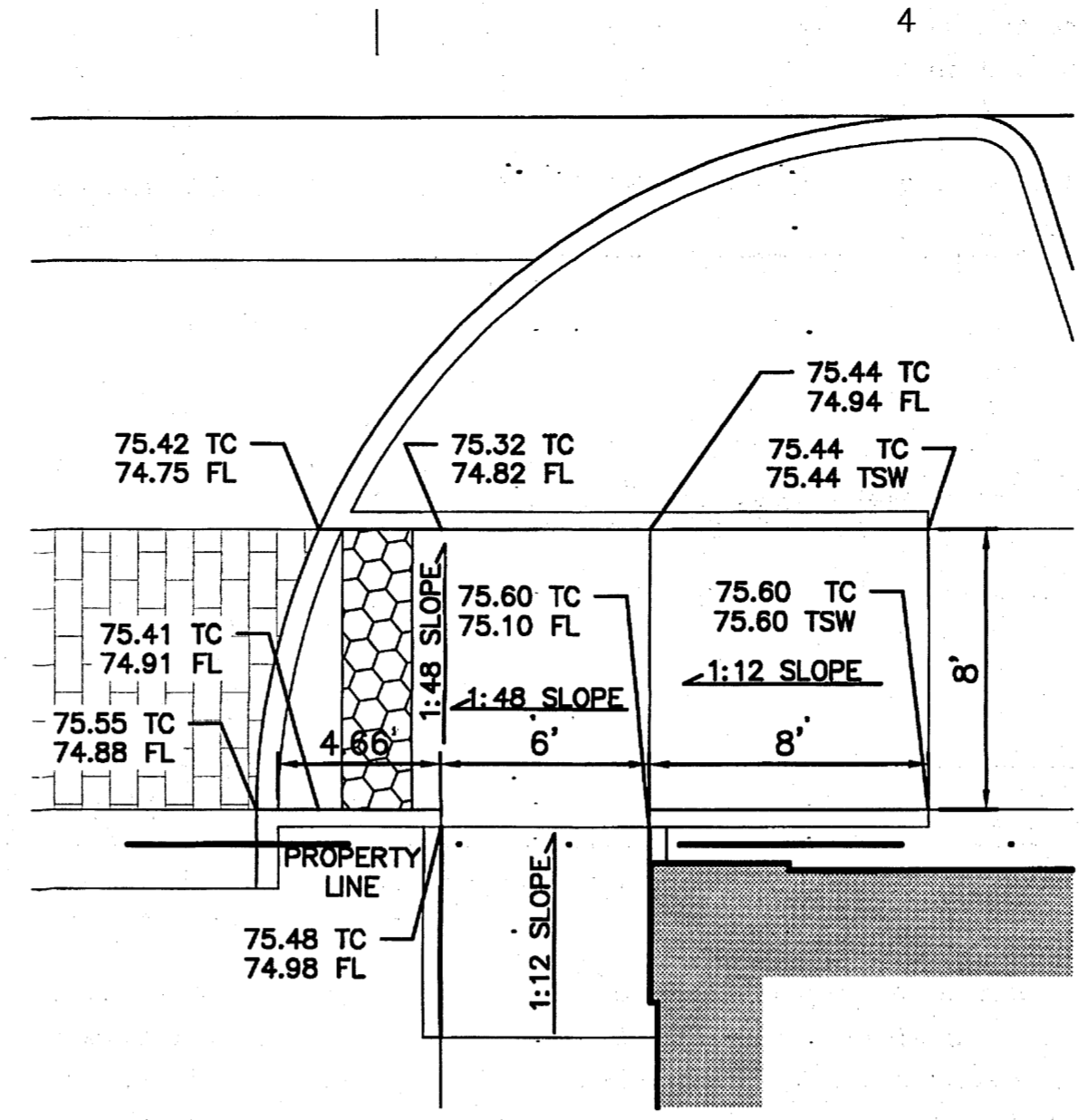
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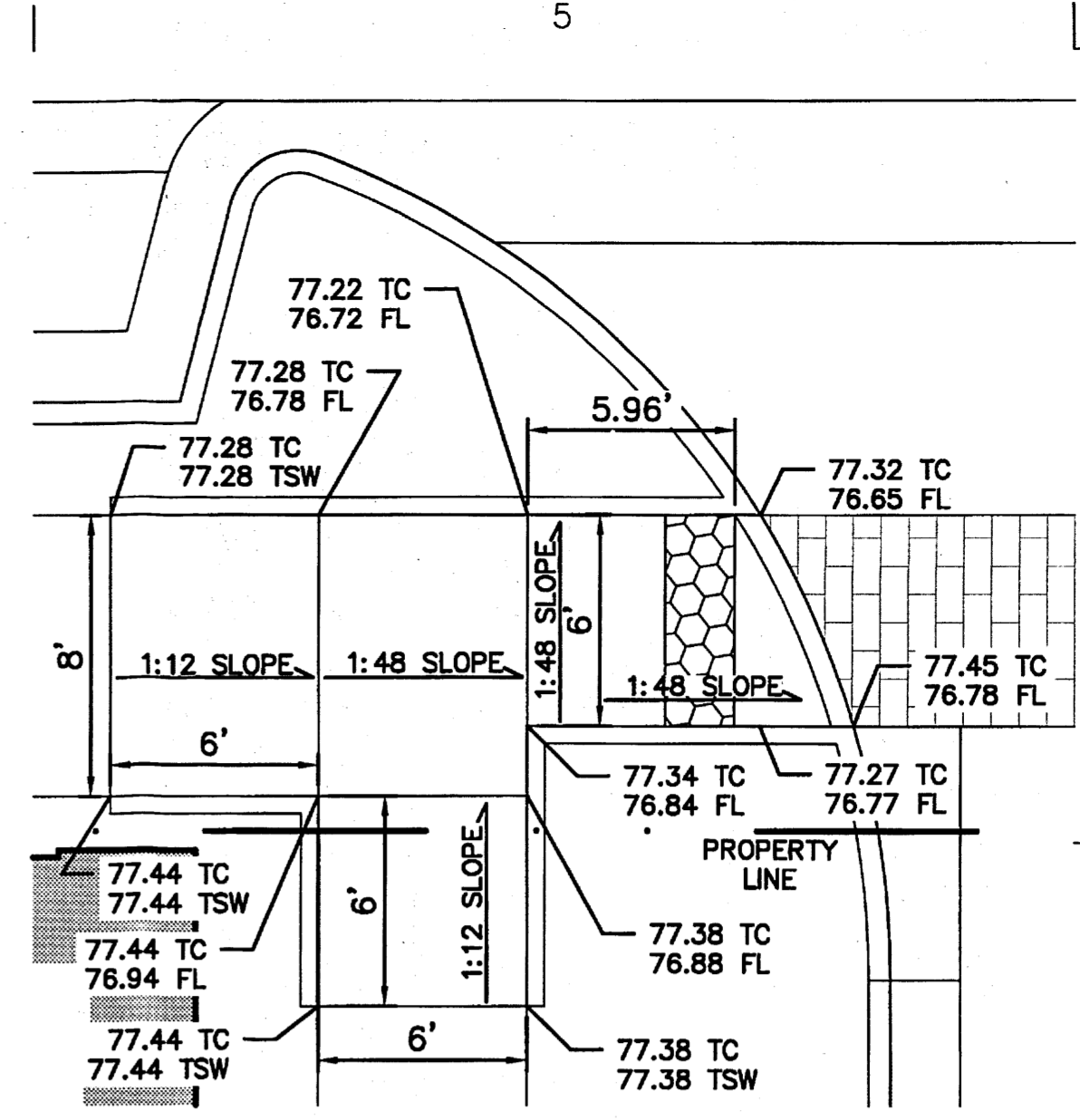
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 SCALE: 1" = 5'-0"



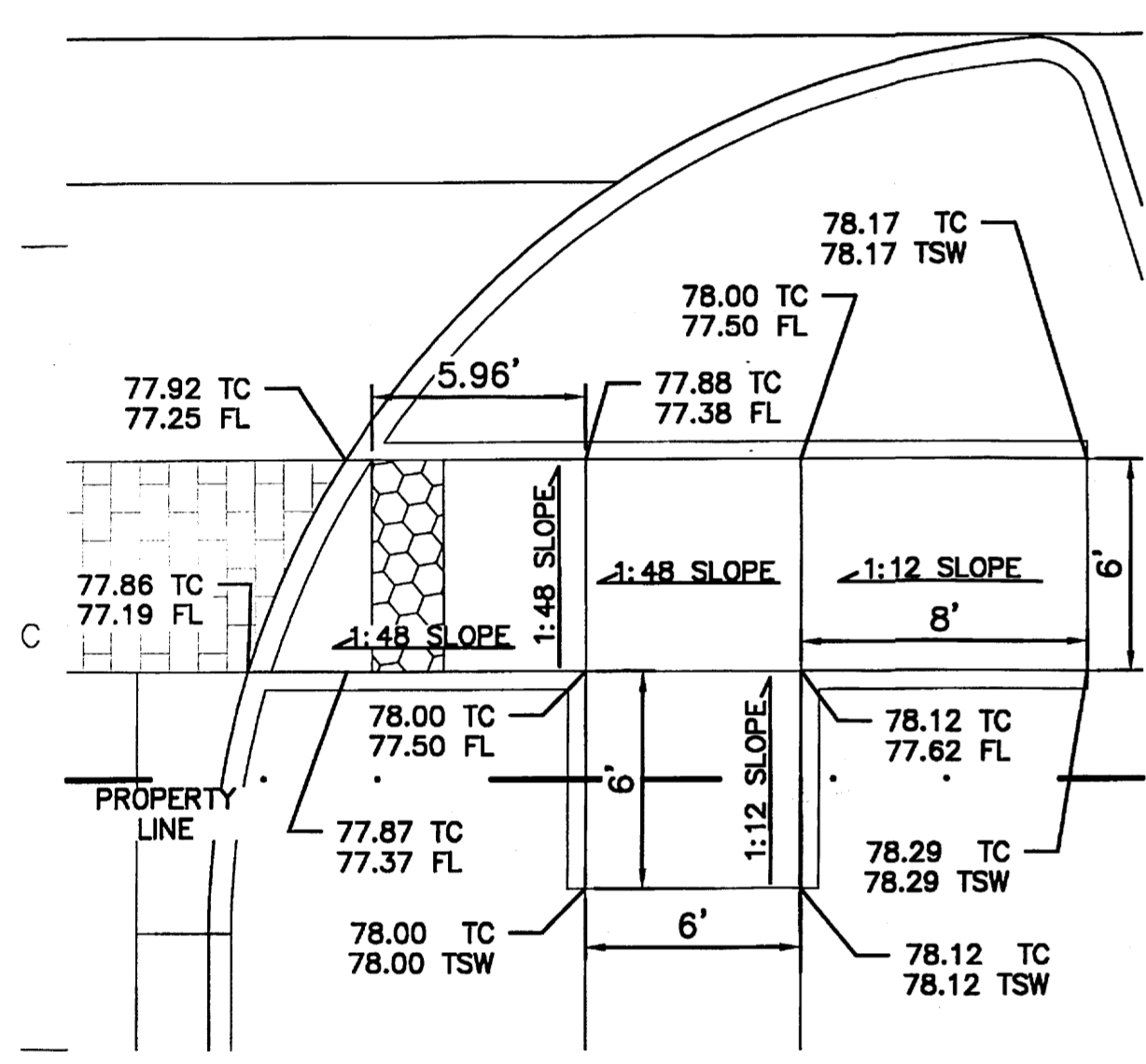
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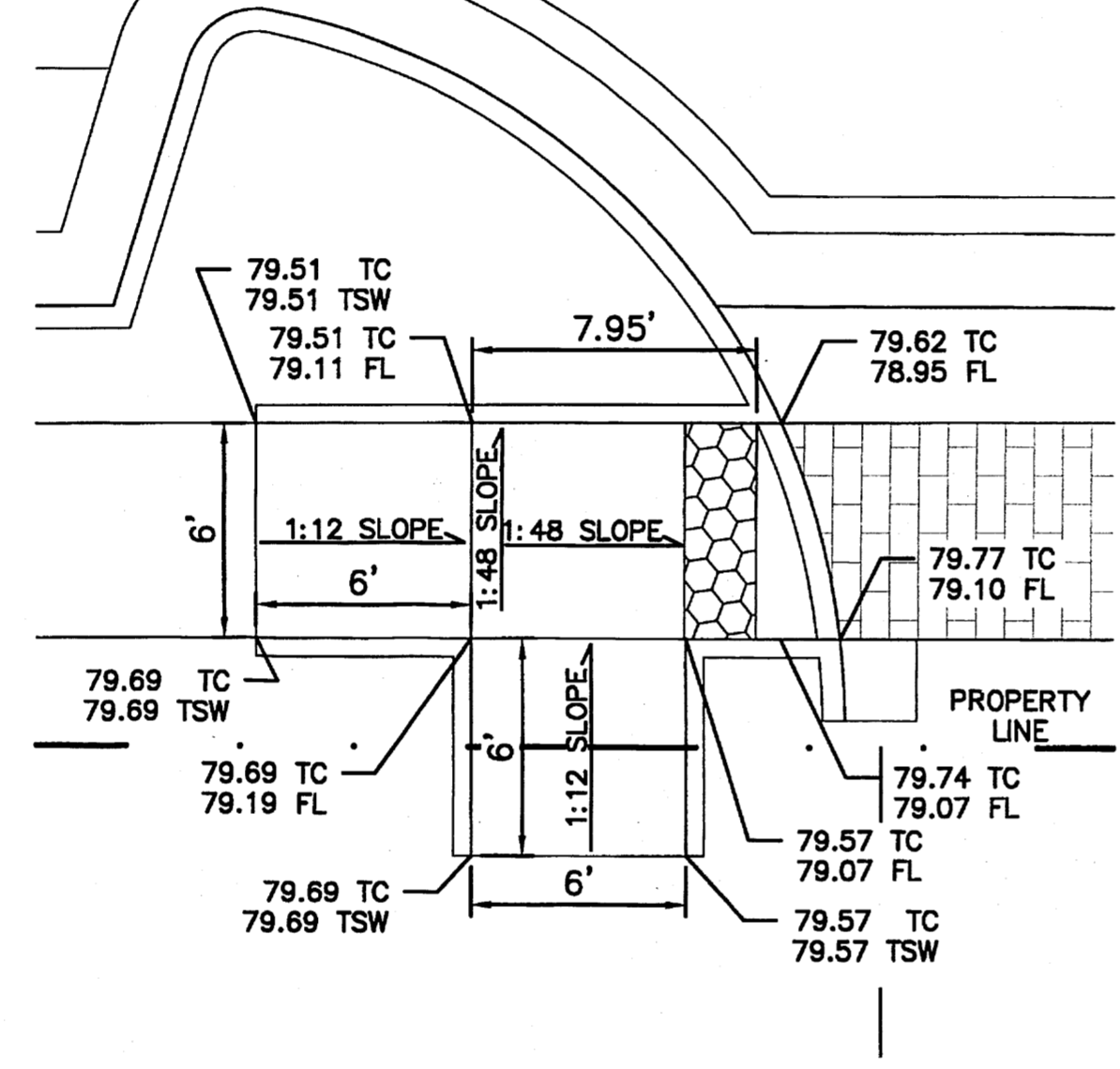
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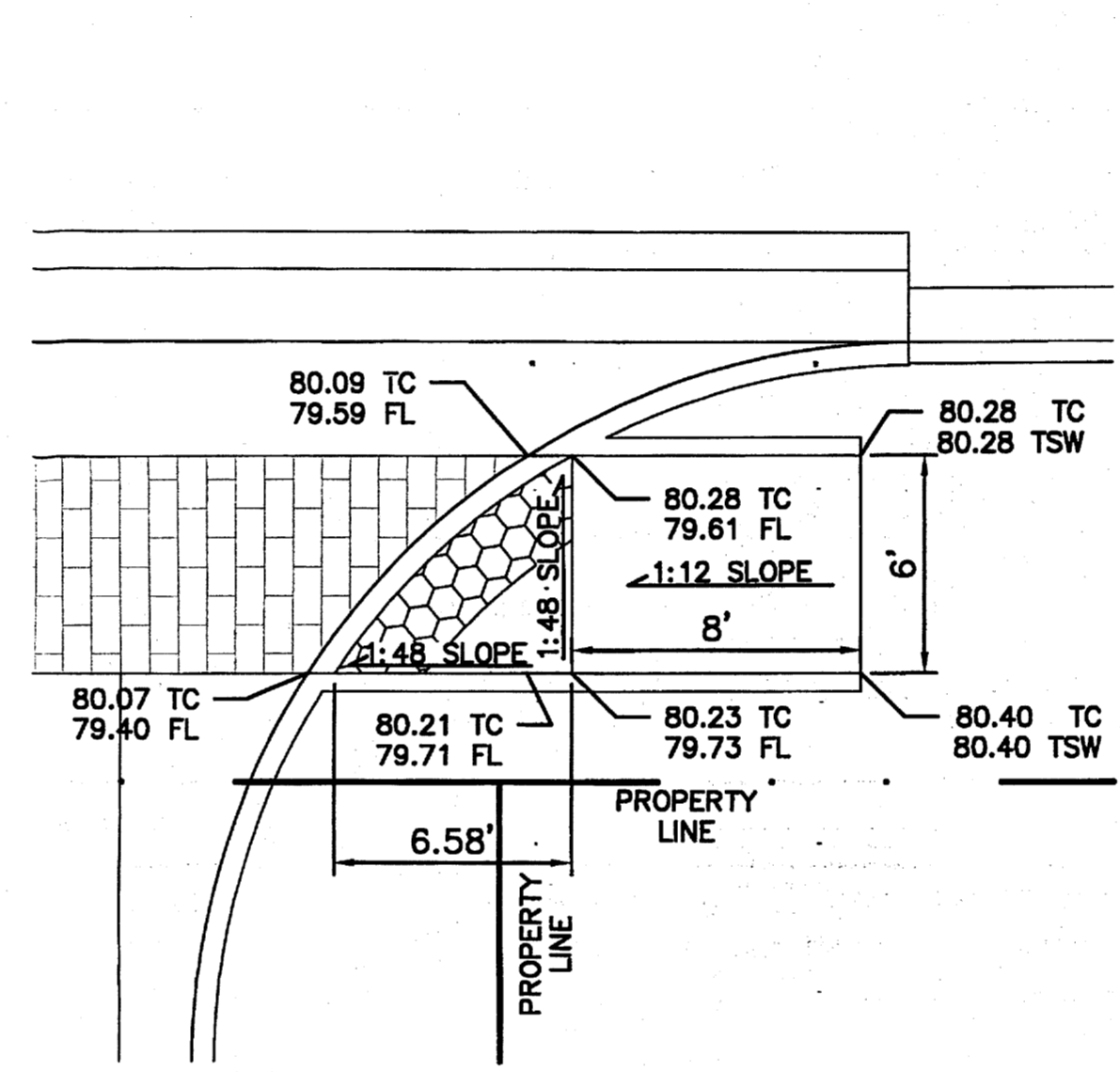
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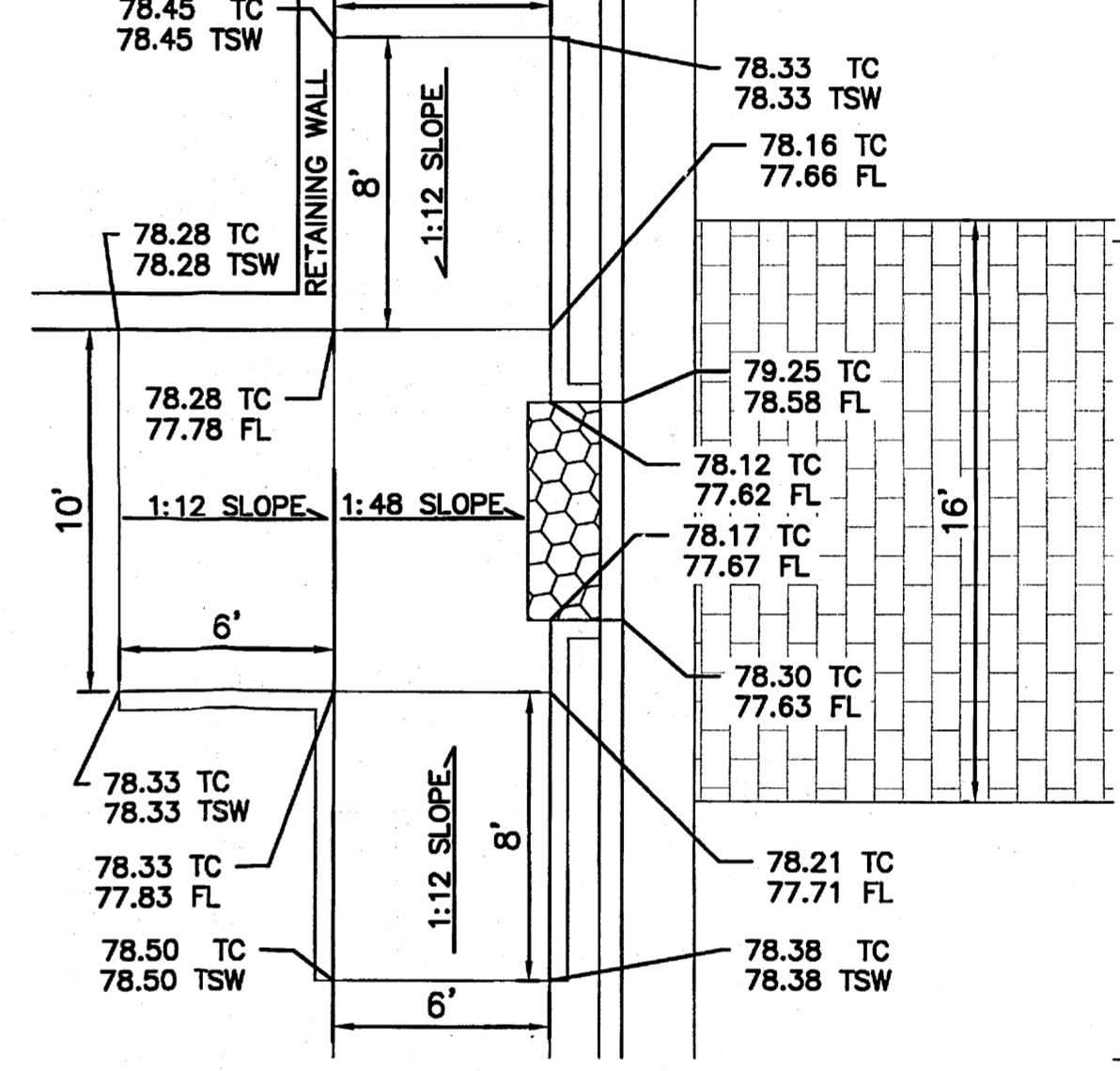
**B1 CURB ACCESS RAMP DETAIL**  
 SCALE: 1" = 5'-0"



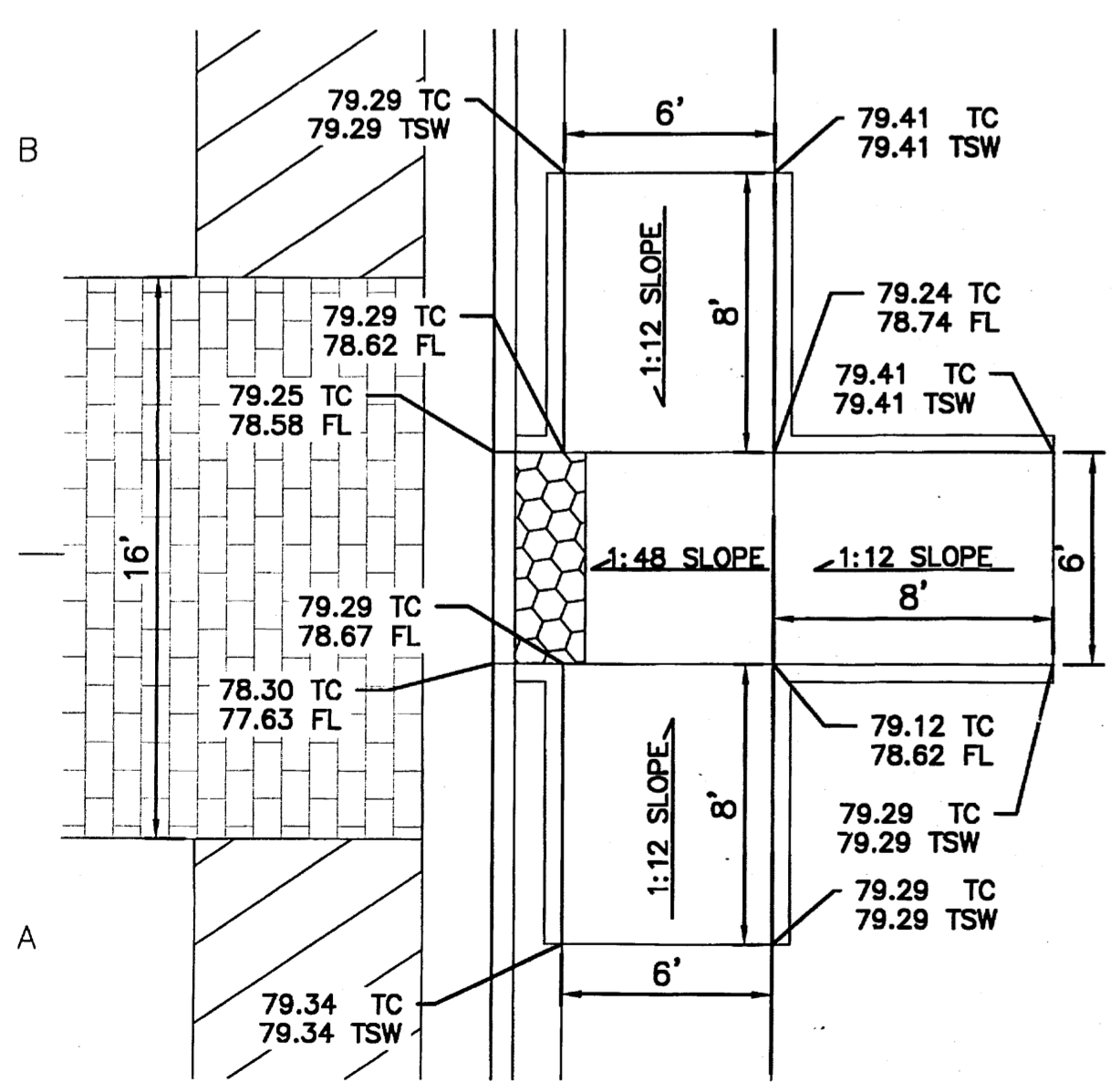
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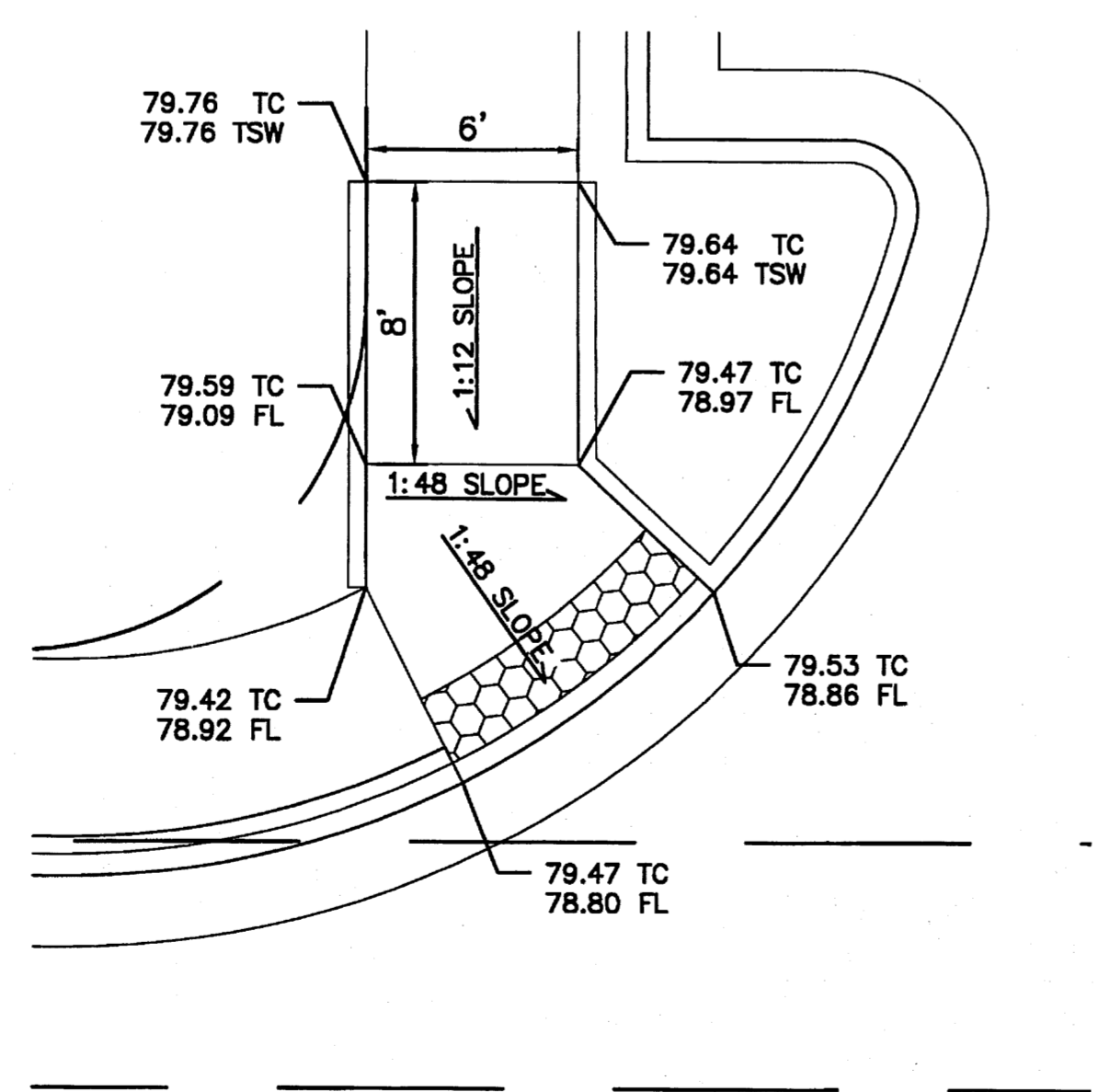
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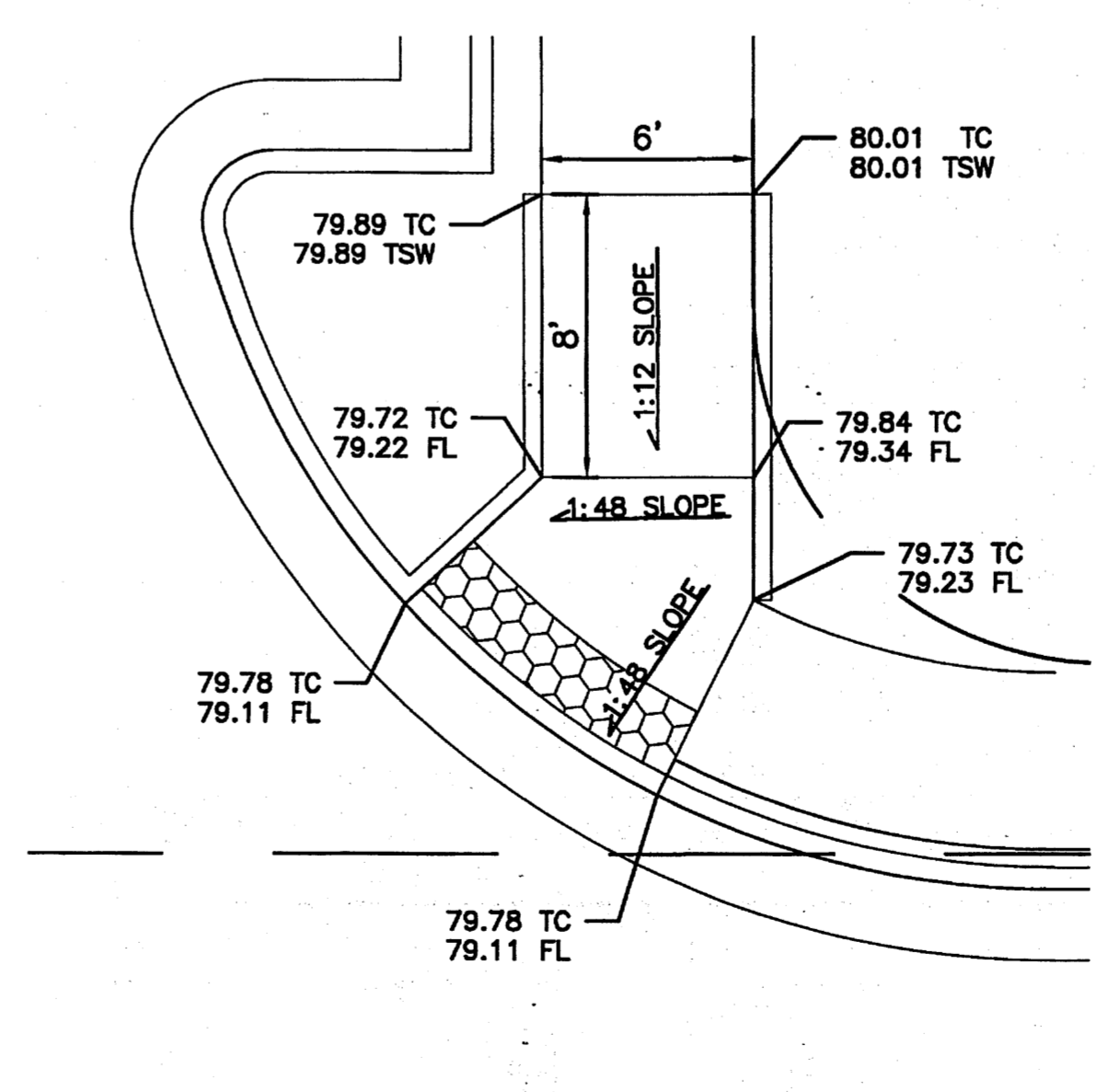
**B5 CURB ACCESS RAMP DETAIL**  
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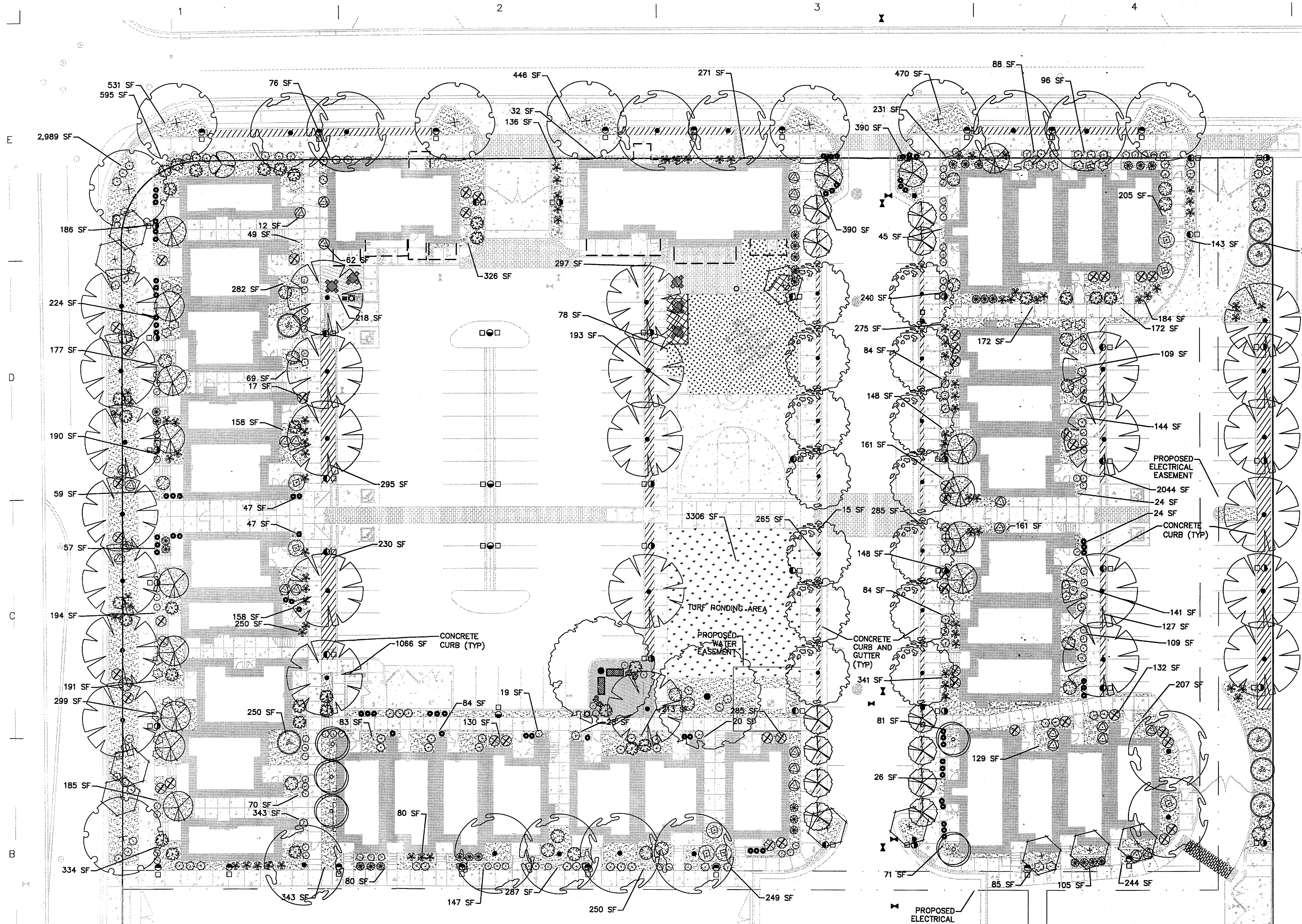
**A1 CURB ACCESS RAMP DETAIL**  
 SCALE: 1" = 5'-0"



**A2 CURB ACCESS RAMP DETAIL**  
 SCALE: 1" = 5'-0"



**A3 CURB ACCESS RAMP DETAIL**  
 SCALE: 1" = 5'-0"



**HATCH LEGEND**

- 3" DEPTH OF 1" BUILDLOGY BROWN GRAVEL MULCH, (OR APPROVED EQUAL), AVAILABLE FROM BUILDLOGY (505) 344-6626.
- 3" DEPTH OF 1" BUILDLOGY BROWN GRAVEL MULCH, (OR APPROVED EQUAL), AVAILABLE FROM BUILDLOGY (505) 344-6626. TREES PLANTED IN THIS AREA SHALL BE PER TRENCH PLANTING DETAIL A3/L-501.
- PARK BLEND TURF- SOD (2,818 SF) TOP OF SOD TO BE 1" BELOW TOP OF ADJACENT PAVED SURFACE.
- ENGINEERED WOOD FIBER PLAY SURFACE. SEE KEYED NOTE #5.
- ENGINEERED WOOD FIBER PLAY SURFACE. SEE KEYED NOTE #4.
- BUILDLOGY BROWN CRUSHER FINES AVAILABLE FROM BUILDLOGY (505) 344-6626, OR APPROVED EQUAL. CONTRACTOR TO SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
- CONCRETE. SEE CIVIL.

**GENERAL NOTES**

1. MULCH IN TREE AND SHRUB BEDS SHALL BE 3" DEPTH OF 1" BROWN CRUSHED GRAVEL WITH FILTER FABRIC UNDER.
2. THIS PLAN IN COMPLIANCE WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE, ENACTMENT NO. 18-1995.

**IRRIGATION SYSTEM**

ALL PLANTING IMPROVEMENTS WILL BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. TREES, SHRUBS AND PERENNIALS WILL BE WATERED BY LOW PRECIPITATION RATE BUBBLER HEADS. TURF WILL BE WATERED BY SPRAY OR ROTOR HEADS. BACKFLOW PREVENTION WILL BE PROVIDED AT POINT OF CONNECTION TO SERVE AS THE MEANS OF WATER CONTAMINATION PROTECTION. IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER.

**LANDSCAPE MAINTENANCE**

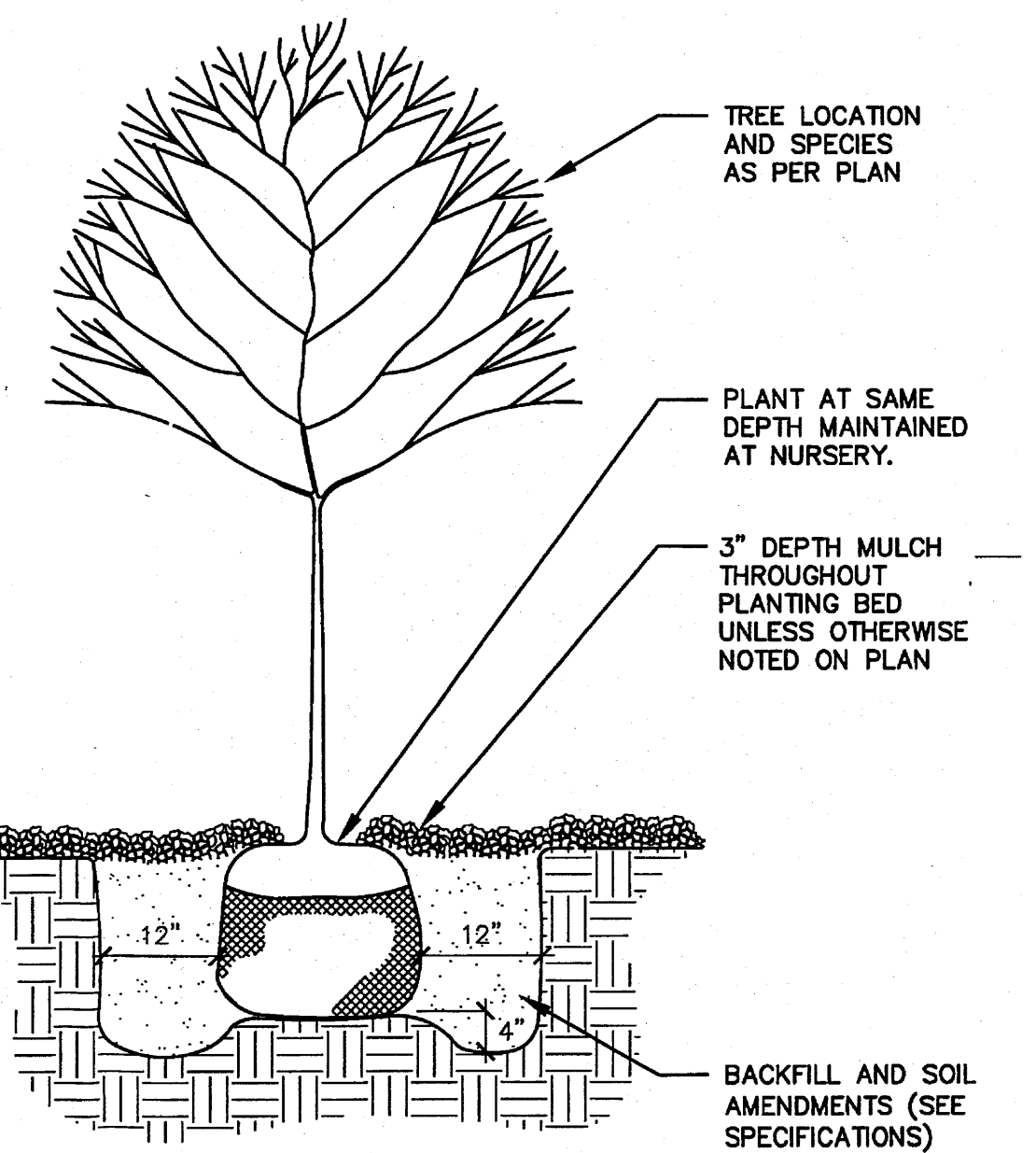
THE OWNER WILL RESUME RESPONSIBILITY FOR MAINTENANCE OF THE LANDSCAPE AND IRRIGATION SYSTEM.

**LANDSCAPE AREA REQUIREMENTS**

TOTAL LOT AREA: 140,719 S.F.  
 BUILDING AREA: 27,738 S.F.  
 NET LOT AREA: 112,981 S.F. (TOTAL - BUILDING = NET)  
 TOTAL LANDSCAPE AREA REQUIRED: 16,947 S.F. (15% OF NET LOT AREA)  
 TOTAL LANDSCAPE AREA PROVIDED: 25,489 S.F. (22.5% OF NET LOT AREA)

**LANDSCAPE AREAS**

LANDSCAPE TYPE	SQUARE FOOTAGE
HIGH WATER USE TURF	1,943 S.F. (7.6% OF LANDSCAPED AREA)
TREES AND SHRUB BEDS WITH GRAVEL OR CRUSHER FINE MULCH	23,546 S.F. (92.4% OF LANDSCAPED AREA)



**A5 TREE PLANTING DETAIL**  
SCALE: N.T.S.

**B1 PLANTING PLAN**



**PLANT SCHEDULE**

KEY	COMMON NAME	BOTANICAL NAME	QUANTITY	INSTALLED SIZE	MATURE SIZE	CONDITION
<b>TREES</b>						
UA	Urbanite Ash	Fraxinus pennsylvanica 'Urbanite'	13	2" cal., 12'-14'ht.	40' ht. & 25' spd.	30" box
CP	Chinese Pistache	Pistacia chinensis	8	2 cal., 10'-12'ht.	40' ht. & 25' spd.	30" box
LP	London Plane Tree	Platanus acerifolia	2	2" cal., 12'-14'ht.	50' ht. & 30' spd.	30" box
AP	Aristocrat Pear	Pyrus calleryana 'Aristocrat'	14	2" cal., 10'-12'ht.	25' ht. & 20' spd.	30" box
LE	Lacebark Elm	Ulmus parvifolia	27	2" cal., 12'-14'ht.	30' ht. & 25' spd.	30" box
<b>ACCENT TREES</b>						
NMO	New Mexico Olive	Forestiera neomexicana	33	Min. 4' ht.	18' ht. & 15' spd.	15-Gal.
WH	Washington Hawthorne	Crataegus phaenopyrum	24	1.5" cal., 6'-8'ht.	25' ht. & 20' spd.	15-Gal.
RC	Radiant Crabapple	Malus 'Radiant'	10	2" cal., 8'-10'ht.	24' ht. & 20' spd.	30" Box
VX	Vitex	Vitex angus-castus	5	Min. 4' ht.	25' ht. & 20' spd.	15-Gal.

**PLANT SCHEDULE CONTINUED**

KEY	COMMON NAME	BOTANICAL NAME	QUANTITY	INSTALLED SIZE	MATURE SIZE	CONDITION
<b>SHRUBS</b>						
BB	Butterfly Bush	Buddleia davidii	7	1'-6"ht.	9' ht. & spd.	5-Gal.
BM	Blue Mist Spirea	Caryopteris x clandonensis	94	1'-6"ht.	3' ht. & spd.	5-Gal.
FB	Fernbush	Chamaebatiaria millefolium	21	1'-6"ht.	5' ht. & spd.	5-Gal.
TB	Turpentine Bush	Ericameria larkifolia	48	1'-6"ht.	4' ht. & spd.	5-Gal.
BJ	Buffalo Juniper	Juniperus horizontalis 'Buffalo'	8	6"ht.	1' ht. & 6' spd.	5-Gal.
GLS	Gro-Low Sumac	Rhus aromatic 'Gro-Low'	31	1'ht.	3' ht. & 5' spd.	5-Gal.
LL	Lilac	Syringa vulgaris	1	1'-6"ht.	15' ht. & spd.	5-Gal.
<b>GRASSES AND ACCENTS</b>						
KF	Karl Foester Grass	Calamagrostis x acutiflora 'Karl Foester'	87	1'-6"ht.	2' ht. & spd.	5-Gal.
RY	Red Yucca	Hesperaloe parviflora	31	1'-6"ht.	4' ht. & 3' spd.	5-Gal.
MG	Maiden Grass	Miscanthus sinensis 'Gracillimus'	26	1'-6"ht.	5' ht. & 3' spd.	5-Gal.
SH	Shenandoah Switchgrass	Panicum virgatum 'Shenandoah'	21	1'-6"ht.	4' ht. & spd.	5-Gal.
DF	Dwarf Fountain Grass	Pennisetum alopecuroides 'Hameln'	78	1' ht.	3' ht. & spd.	1-Gal.
BA	Blue Avena	Helictotrichon sempervirens	71	8" ht.	2' ht. & spd.	1-Gal.

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**MORROW REARDON  
 WILKINSON MILLER, LTD.**  
 LANDSCAPE ARCHITECTS

PROJECT NAME  
**GREATER ALBUQUERQUE  
 HOUSING PARTNERSHIP**

FRANCISCAN ACRES SUBDIVISION  
 INDIAN SCHOOL AND BROADWAY  
 ALBUQUERQUE, NM 87102

**REVISIONS:**

No.	DATE	DESCRIPTION
1	9/6/2012	DRB COMMENTS
2	9/21/2012	DRB COMMENTS

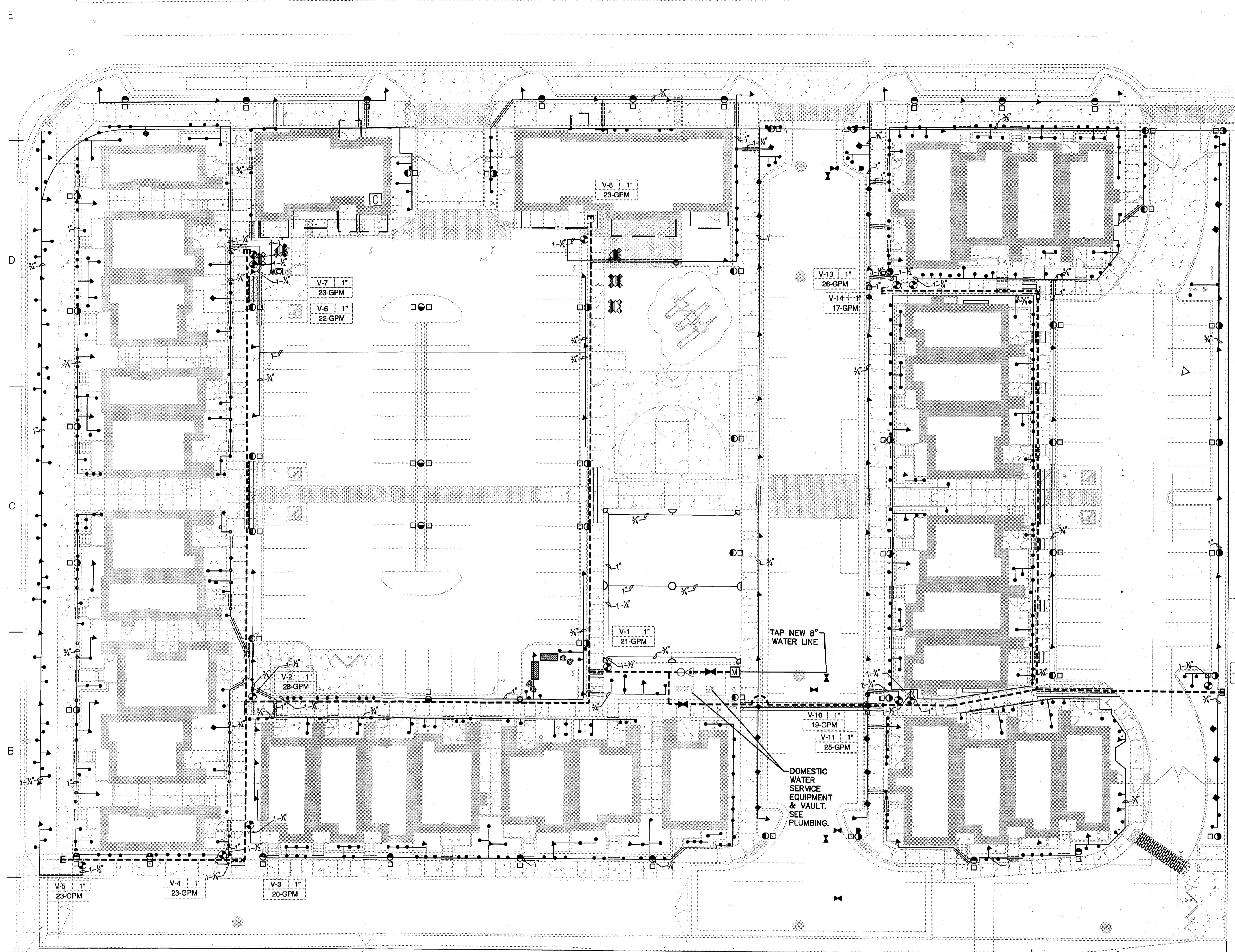
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 Checked by: GM  
 Date: 8/6/2012  
 Project number: 2439  
 Cad file name:

SHEET TITLE:  
**LANDSCAPE PLANTING PLAN**

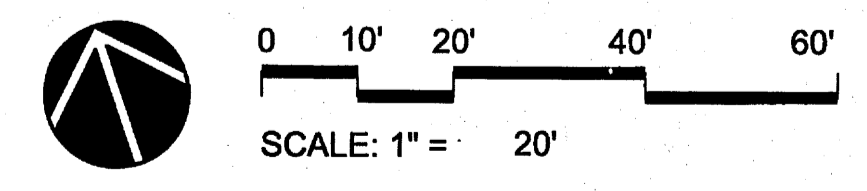
SHEET NUMBER:

**2.1**





**A1 IRRIGATION PLAN**  
SCALE: 1" = 20'-0"



**IRRIGATION LEGEND**

- M** 1.5" WATER METER FOR IRRIGATION.
- MAIN LINE AND LATERAL SLEEVE PIPING, CLASS 200, SDR-21, BELL-END, SOLVENT WELD PVC, SEE IRRIGATION NOTE NO. 2.
- 24-VOLT IRRIGATION WIRE SLEEVE PIPING, CLASS 200, SDR-21, BELL-END, SOLVENT WELD PVC, SEE IRRIGATION NOTE NO. 2.
- IRRIGATION MAIN LINE, S.S.H. 40, BELL END, SOLVENT WELD PVC, SIZE AS SHOWN ON PLAN. DEPTH OF BURY 18", SIZE 1.5".
- IRRIGATION SERVICE LINE PIPING BETWEEN THE WATER METER AND THE TAP SHALL BE COPPER PIPE. FOR MAINLINE UNDER CONTINUOUS PRESSURE THE DEPTH OF BURY SHALL BE 28", SIZE 1.5". LATERAL PIPING, SCH. 40, BELL END, SOLVENT WELD PVC. SIZE AS SHOWN ON PLAN. DEPTH OF BURY, 18" EXCEPT WHERE LATERALS ARE LOCATED UNDER GRAVEL VEHICULAR AREAS. DEPTH OF BURY IN THESE LOCATIONS SHALL BE 24". PIPE CONVEYING LESS THAN 5 GPM SHALL BE 3/4".
- ▶ ISOLATION GATE VALVE ASSEMBLY SHALL BE SPEARS SCH. 80 PVC BALL VALVE WITH UNIONS, MATCH LINE SIZE. INSTALL PER DETAIL A4/ L-502.
- ⊕ FBEO R25Y, 1.5" REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER ASSEMBLY, IN HOT BOX, MODEL # H81.5, COLOR: TAN, HEATED AND INSULATED BACKFLOW ENCLOSURE, WITH RAINBIRD 1.5" PEB SERIES PLASTIC BODY 24-VOLT AUTOMATIC MASTER VALVE ASSEMBLY. INSTALL PER DETAIL D2/L-502.
- ⊕ REMOTE CONTROL VALVE ASSEMBLY. RAINBIRD PEB SERIES PLASTIC BODY 24-VOLT AUTOMATIC VALVE. SIZE AS SHOWN ON PLANS. INSTALL VALVES PER DETAIL B4/ L-502.
- ⊔ SOLVENT WELD CAP, SCH. 40 PVC, LINE SIZE.
- ⊔ PRESSURE COMPENSATING BUBBLER ASSEMBLIES, RAIN BIRD 1400 SERIES, AS FOLLOWS (INSTALL PER DETAIL A2/ L-502):

MODEL NO.	GPM	PSI
• 1401 (1 PER SHRUB)	.25 EA.	30
◆ 1401 (1 PER SHRUB)	.5 EA.	30
▲ 1404 (1 PER TREE)	1 EA.	30
▲ RWS-B-1402 (2 PER TREE IN GRAVEL VEHICULAR AREAS. INSTALL PER MANUFACTURER'S INSTRUCTIONS.)	.5 EA.	30

- ⊔ IRRIGATION CONTROLLER, RAINBIRD ESP-MC WALL MOUNT (24) TWENTY-FOUR STATION CONTROLLER. INSTALL AND GROUND PER MANUFACTURER'S INSTRUCTIONS.
- ⊔ ROTARY POP-UP SPRINKLER ASSEMBLIES, RAINBIRD, 5000/5000 PLUS MPR GREEN NOZZLES AS FOLLOWS: SEE DETAIL D4/L-502.

MODEL NO.	RADIUS	GPM	PSI	PR Ⓚ
⊔ 5000-MPR-30-Q	30'	1.4	45	.60
⊔ 5000-MPR-30-H	30'	2.96	45	.63
⊔ 5000-MPR-30-F	30'	5.78	45	.62

**IRRIGATION NOTES**

1. THIS SYSTEM WAS DESIGNED AT A MINIMUM STATIC PRESSURE OF 65 PSI AT THE POINT OF CONNECTION. CONTRACTOR SHALL VERIFY ACTUAL PSI AND DELIVER RESULTS TO LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. IN THE EVENT THE ACTUAL PSI IS LESS THAN 65 PSI THE CONTRACTOR SHALL RECEIVE DIRECTION FROM LANDSCAPE ARCHITECT REGARDING DESIGN MODIFICATIONS IF NECESSARY. THE PRESSURE READING SHALL BE PERFORMED IN THE PRESENCE OF THE OWNER'S AUTHORIZED REPRESENTATIVE. RESULTS SHALL BE INCLUDED IN THE CONTRACTOR'S IRRIGATION EQUIPMENT SUBMITTAL INDICATING DATE AND TIME OF PRESSURE READING AND THE NAME OF ATTENDING OWNER'S REPRESENTATIVE.
2. THE CONTRACTOR SHALL PROVIDE SLEEVING AS DESCRIBED IN SPECIFICATIONS FOR ALL PIPING AND WIRING INSTALLED UNDER SIDEWALKS, ROADWAYS, PARKING LOTS, SITE WALLS, RETAINING WALLS, ETC. INSTALLATION SHALL BE COORDINATED WITH ALL TRADES TO ENSURE THAT SLEEVES ARE INSTALLED PRIOR TO INSTALLATION OF CURB AND GUTTER, ASPHALT PAVEMENT, SIDEWALKS, SLABS, ETC. SLEEVE LOCATIONS UNDER SITE WALLS, RETAINING WALLS, AND CURB AND GUTTER ARE NOT SHOWN FOR GRAPHIC CLARITY BUT SHALL BE INSTALLED AS DESCRIBED IN THE PLANS AND SPECIFICATIONS.
3. CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO CONSTRUCT PROPOSED IRRIGATION SYSTEM IN ACCORDANCE WITH PLANS, WRITTEN SPECIFICATIONS AND DETAILS.
4. THE CONTRACTOR SHALL PROVIDE ONE (1) 120-VOLT, 20 AMP CIRCUIT FROM ELECTRICAL PANEL TO EACH THE IRRIGATION CONTROLLER AND THE BACKFLOW PREVENTER ENCLOSURE. REFERENCE SHEET ES-101. ALL WORK AND MATERIALS SHALL MEET LOCAL CODES AND THE NATIONAL ELECTRIC CODE (N.E.C.).
5. FOR PVC IRRIGATION PIPING AND EQUIPMENT REFERENCE IRRIGATION SPECIFICATION SECTION.
6. ALL VALVE BOXES AND LIDS SHALL BE THE COLOR TAN.
7. PRIOR TO TRENCHING FOR IRRIGATION LINES THE CONTRACTOR SHALL CONTACT NEW MEXICO ONE CALL TO LOCATE ALL UNDERGROUND UTILITIES. IF ANY EXISTING UTILITY LINES CONFLICT WITH PROPOSED IRRIGATION LINES THE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT. ANY UTILITY LINES THAT ARE DAMAGED DUE TO

**dg**

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CONSULTANT

**MORROW REARDON  
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LANDSCAPE ARCHITECTS

PROJECT NAME  
**GREATER ALBUQUERQUE  
HOUSING PARTNERSHIP**

FRANCISCAN ACRES SUBDIVISION  
INDIAN SCHOOL AND BROADWAY  
ALBUQUERQUE, NM 87102

REVISIONS:

No.	DATE	DESCRIPTION
9/6/2012		DRB COMMENTS
9/21/2012		DRB COMMENTS

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Checked by	GM
Date	8/10/2012
Project number	2439
Cal file name	

SHEET TITLE:  
**LANDSCAPE IRRIGATION PLAN**

SHEET NUMBER:

**2.2**



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PROJECT NAME  
**GREATER ALBUQUERQUE  
 HOUSING PARTNERSHIP**

FRANCISCAN ACRES SUBDIVISION  
 INDIAN SCHOOL AND BROADWAY  
 ALBUQUERQUE, NM 87102

REVISIONS:

No.	DATE	DESCRIPTION
1	9/7/12	DRB COMMENTS

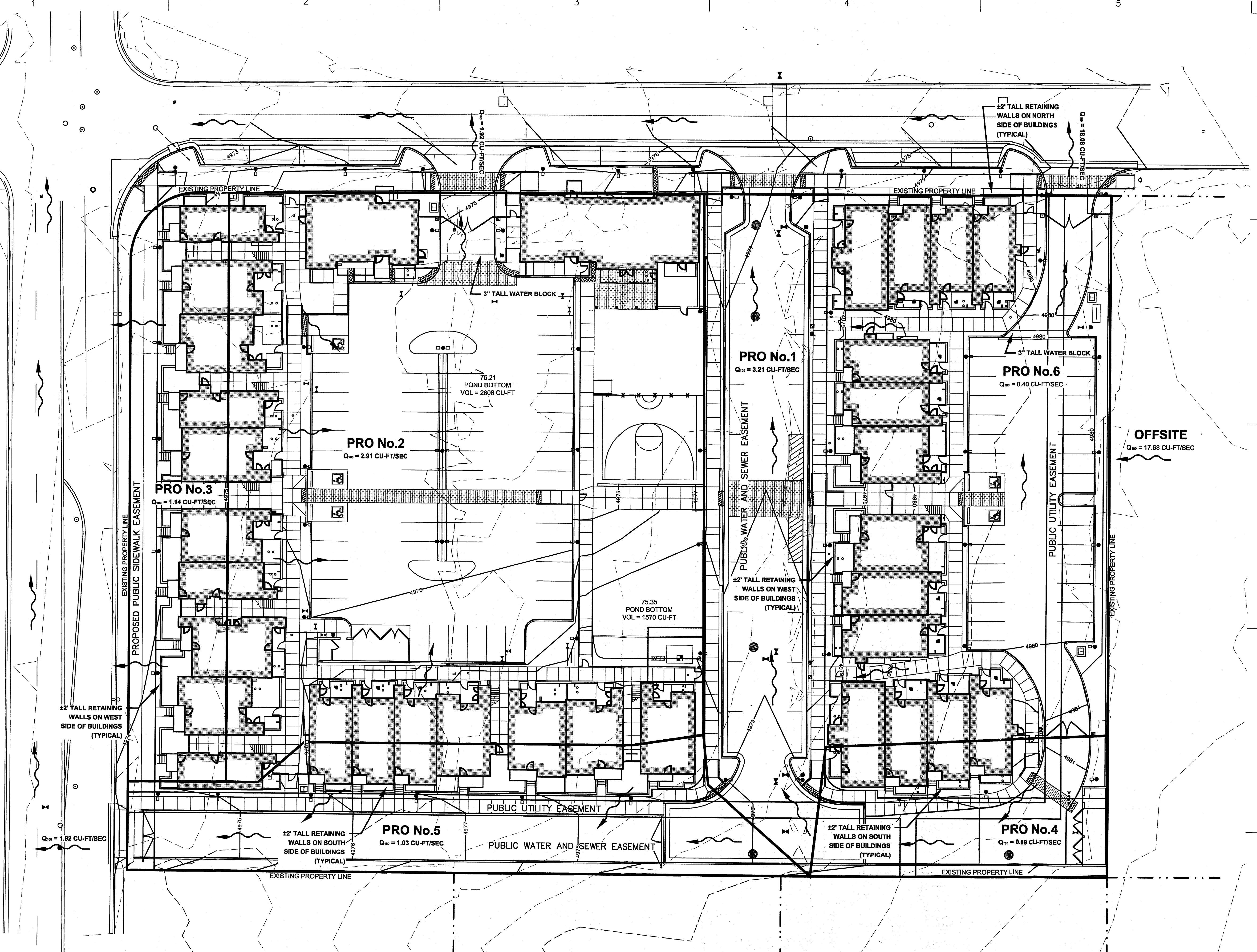
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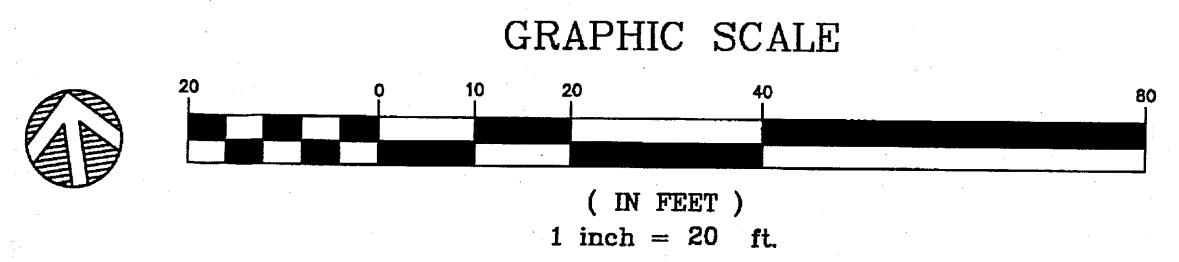
SHEET TITLE:  
**CONCEPTUAL  
 GRADING  
 PLAN**

SHEET NUMBER:

**3.1**



**A1 CONCEPTUAL GRADING PLAN**  
 SCALE: 1" = 20'-0"



## I. PURPOSE AND SCOPE

THE PURPOSE OF THIS DRAINAGE PLAN IS TO PRESENT THE EXISTING AND PROPOSED DRAINAGE MANAGEMENT PLANS FOR THE GREATER ALBUQUERQUE HOUSING PROJECT AT BROADWAY.

## II. SITE DESCRIPTION AND HISTORY

THE PROJECT SITE IS LOCATED AT THE SOUTH-EAST CORNER OF BROADWAY BLVD NE AND INDIAN SCHOOL ROAD NE.

THE SITE IS CURRENTLY COMPOSED OF THREE LOTS. ALL OF THE LOTS ARE APPROXIMATELY 1 ACRE IN SIZE FOR A TOTAL PROJECT SITE SIZE OF THREE ACRES. THE WESTERN AND CENTER LOTS CONTAIN EXISTING RESIDENTIAL STRUCTURES AND VARIOUS CONCRETE SIDEWALKS AND DRIVEWAYS. THE RESIDENCE IN THE CENTER LOT DOUBLES AS A AUTOMOTIVE MECHANIC BUSINESS WITH A VEHICLE STORAGE YARD LOCATED IN THE SOUTHERN HALF OF THE LOT. THE EASTERN LOT IS EMPTY WITH NO STRUCTURES.

## III. COMPUTATIONAL PROCEDURES

HYDROLOGIC ANALYSIS WAS PERFORMED UTILIZING THE DESIGN CRITERIA BASED ON SECTION 22.2, HYDROLOGY, OF THE DEVELOPMENT PROCESS MANUAL.

## IV. PRECIPITATION

THE STORM EVENT USED FOR THE FOLLOWING CALCULATIONS IS THE 100YR-6HR STORM. THE PROJECT SITE IS LOCATED IN ZONE 2.

## V. EXISTING DRAINAGE CONDITIONS

CURRENTLY THE STORM WATER RUN-OFF DRAINS FROM EAST TO WEST ACROSS THE SITE BEFORE FLOWING ONTO BROADWAY BLVD NE. RUN-OFF FROM THE ADJACENT LOTS (APPROXIMATELY 5 ACRES) ENTERS THE SITE FROM THE EAST AS IT FLOWS TOWARDS BROADWAY BLVD NE. RUN-OFF FROM THE NORTH FLOWS ONTO INDIAN SCHOOL ROAD NE ON ITS WAY TO BROADWAY AND IS THUS PREVENTED FROM ENTERING THE SITE. RUN-OFF FROM THE SOUTH FLOWS EAST TO WEST AND WITH A NEGLIGIBLE AMOUNT FLOWING INTO THE SITE.

THERE ARE CURRENTLY A NUMBER OF RESIDENTIAL STRUCTURES WITH CONCRETE SIDEWALKS ON THE TWO MOST WESTERN LOTS. THE EASTERN LOT IS EMPTY. THESE WILL BE DEMOLISHED TO MAKE ROOM FOR THE PROPOSED DEVELOPMENT.

FOR A 100YR-6HR STORM EVENT THE SITE'S STORM WATER RUN-OFF VOLUME IS 0.24 AC-FT WITH A PEAK DISCHARGE OF 7.94 CFS.

## VI. PROPOSED DRAINAGE CONDITIONS (REFER TO CD2)

THIS PROJECT IS PROPOSING TO ADD SIXTY-EIGHT (68) HOUSING UNITS IN THE FORM OF MULTI-STORY STRUCTURES. THERE WILL ALSO BE INTERNAL AGGREGATE PARKING LOTS, CONCRETE SIDEWALKS, LANDSCAPING AREAS, AND A RECREATIONAL PARK. THE SITE IS SPLIT INTO TWO DRAIN DISTINCT AREAS SEPARATED BY AN INTERNAL ROADWAY THAT RUNS SOUTH TO NORTH.

THE CITY OF ALBUQUERQUE HAS REQUIRED THIS PROJECT, DUE TO ITS LOCATION WITHIN THE MARTINEZTOWN NEIGHBORHOOD, TO RELEASE A MAXIMUM FLOWRATE OF 2.75 CU-FT/SEC PER ACRE OF STORM WATER RUN-OFF.

THE EASTERN PARKING LOT (WITHIN BASIN PRO No. 1) IS COMPOSED OF AGGREGATE RATHER THAN ASPHALT PAVEMENT. THE AGGREGATE HAS A STORAGE CAPACITY OF APPROXIMATELY 2.6 INCHES BEFORE IT WOULD BEGIN TO POOL ABOVE THE UPPER MOST SURFACE. DUE TO THE TOTAL STORAGE CAPACITY (1633 CU-FT) AND AN INFILTRATION RATE OF 0.5 INCHES THE STORM WATER RUN-OFF GENERATED FROM THE PARKING LOT (870 CU-FT AT 0.52 CU-FT/SEC) WILL BE CONTAINED WITHIN THE PARKING LOT. RUNOFF FROM THIS AREAS WILL BE VERY LIMITED BUT WILL BE UTILIZED AS A PONDING AREA AND DETENTION BASIN FOR OFFSITE FLOWS FROM THE EAST. EXCESS RUNOFF FROM THE EAST WILL BE DETAINED IN THIS PONDING AREA AND WILL OVERFLOW INTO INDIAN SCHOOL.

THE MAJORITY OF THE EASTERN HALF OF THE SITE (PRO BASIN No.1) WILL DRAIN INTO THE PARKING LOT ON THE EASTERN SIDE OF THE UNITS. THE WESTERN PORTION OF THE BUILDING AND BASIN WILL FLOW INTO THE PRIVATE DRIVE THAT HAS BEEN DESIGNED FOR POSSIBLE FUTURE DEDICATIONS. EXCESS FLOWS FROM THIS BASIN WILL FLOW NORTH TOWARD INDIAN SCHOOL RD.

THE WEST (PRO BASIN No.2), CONTAINS BOTH PARKING AREAS AND UNITS WITH ASSOCIATED LANDSCAPING BUFFERS. THE WESTERN PARKING LOT WILL ALSO BE A THICK PERVIOUS PAVEMENT (1" ANGULAR GRAVEL WITH STORAGE CAPACITY OF 2.6" OF WATER) WILL BE DESIGNED FOR A RUN-OFF STORAGE CAPACITY OF (2808 CU-FT). THE PARKING LOT WILL ACHIEVE THIS CAPACITY AT TWO INCHES OF STORM WATER DEPTH ABOVE THE UPPER MOST SURFACE BEFORE FLOWING THROUGH THE DRIVE ENTRANCE OF THE PARKING LOT--IN THIS CASE, ACTING AS A BROAD CRESTED WEIR--AS THE RUN-OFF (1.55 CU-FT/SEC) LEAVES THE PROJECT SITE ONTO INDIAN SCHOOL ROAD NE.

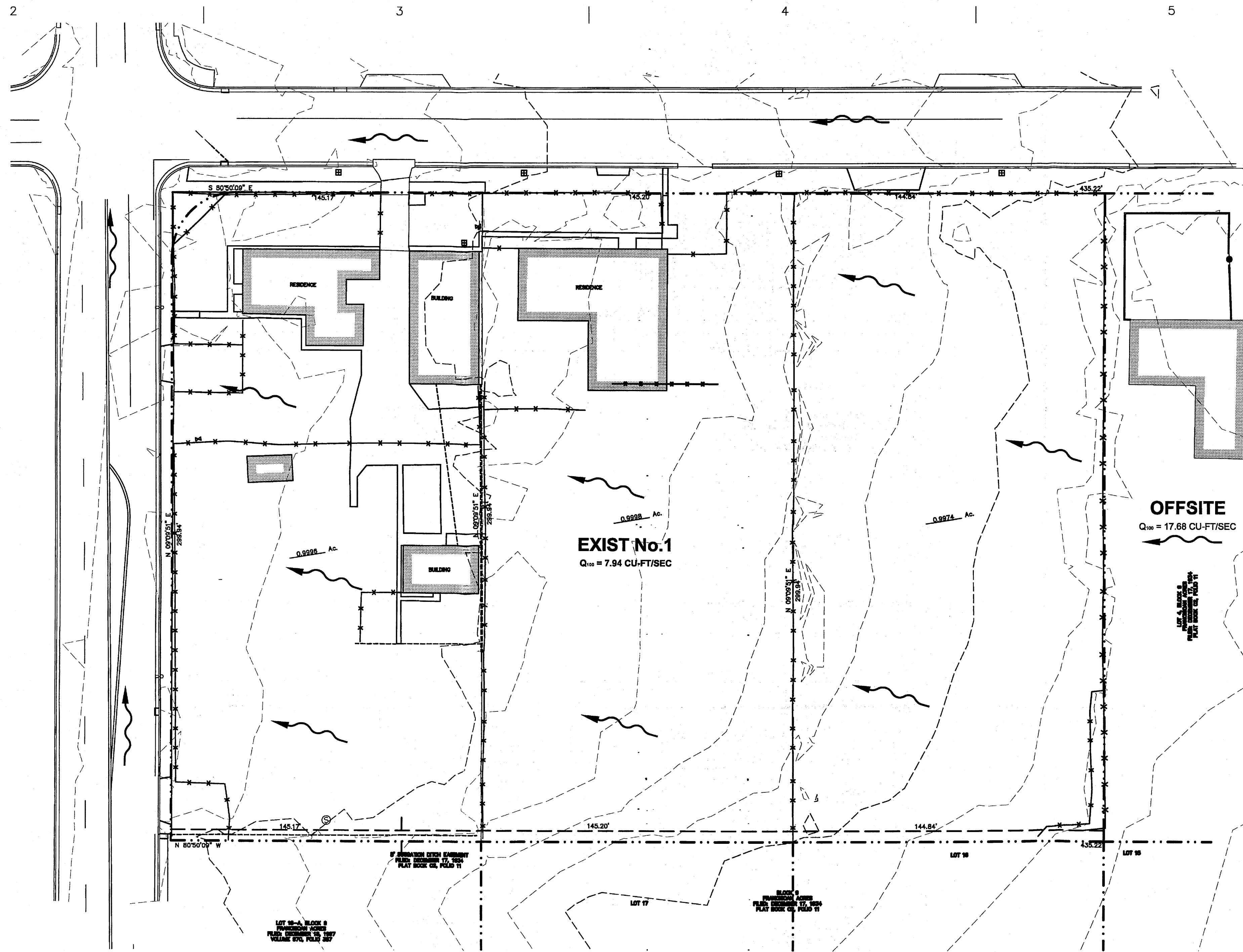
THERE WILL BE A NUMBER OF METHODS TO MITIGATE THE IMPACT OF THE OFFSITE FLOW ENTERING THE SITE (PRO BASIN No.6) FROM THE EAST. ONE IS TO CHANNEL TWO-THIRDS OF THE RUN-OFF INTO A CONCRETE CHANNEL RUNNING PARALLEL TO THE PROPERTY LINE BEFORE DISCHARGING ONTO INDIAN SCHOOL ROAD NE. THE OTHER IS TO CHANNEL THE RUN-OFF INTO A SWALE THAT WILL DIRECT THE RUN-OFF SOUTH BEFORE TURNING AND RUNNING PARALLEL TO THE SOUTH PROPERTY LINE BEFORE DISCHARGING ONTO BROADWAY BLVD NE THROUGH A NUMBER OF SIDEWALK CULVERTS.

## VII. CONCLUSIONS

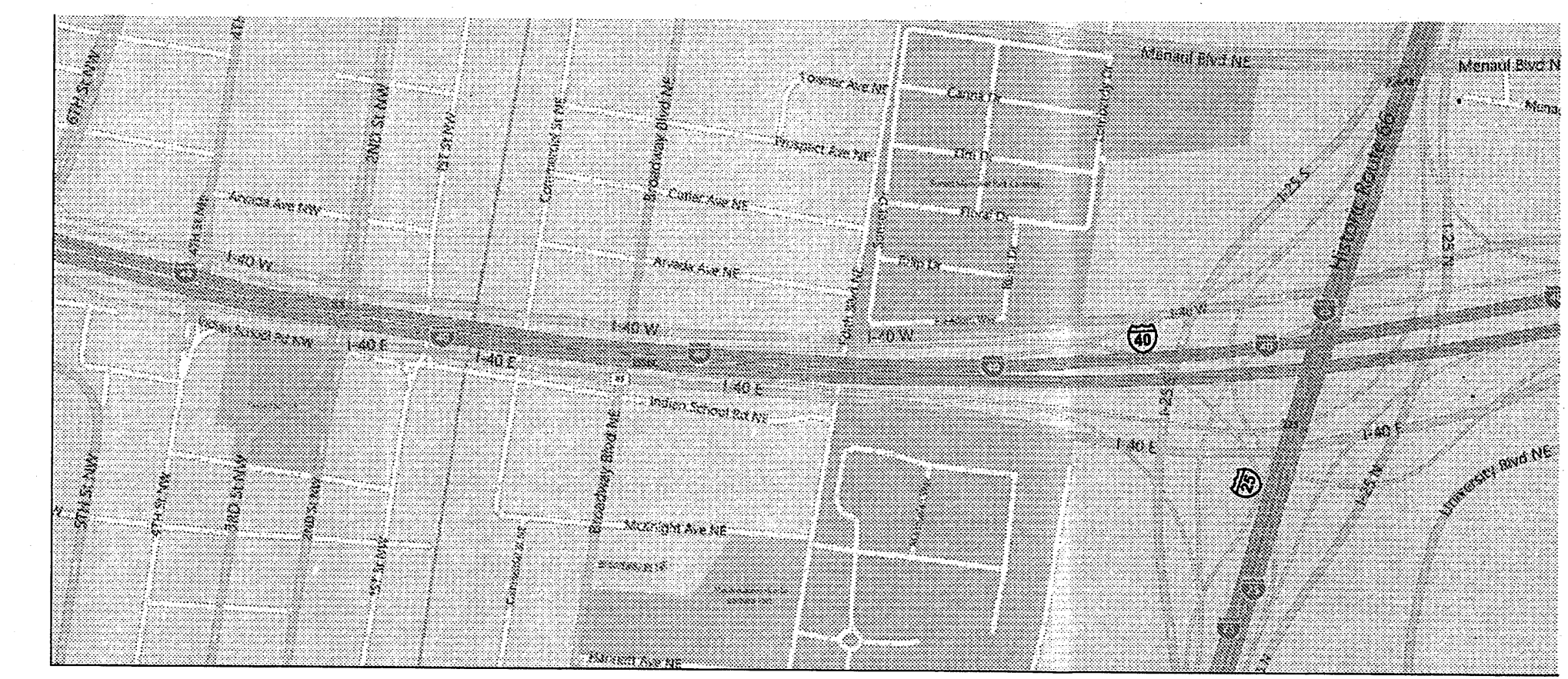
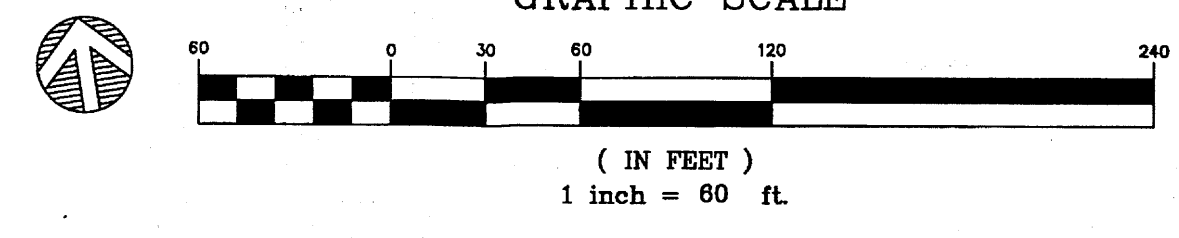
AS A RESULT OF THE PROPOSED CONSTRUCTION THERE WILL BE THE FOLLOWING FLOWRATES:

PRO BASIN No.1 - 0.80 CU-FT/SEC  
 PRO BASIN No.2 - 0.75 CU-FT/SEC  
 PRO BASIN No.3 - 1.14 CU-FT/SEC  
 PRO BASIN No.4 - 0.89 CU-FT/SEC  
 PRO BASIN No.5 - 1.03 CU-FT/SEC

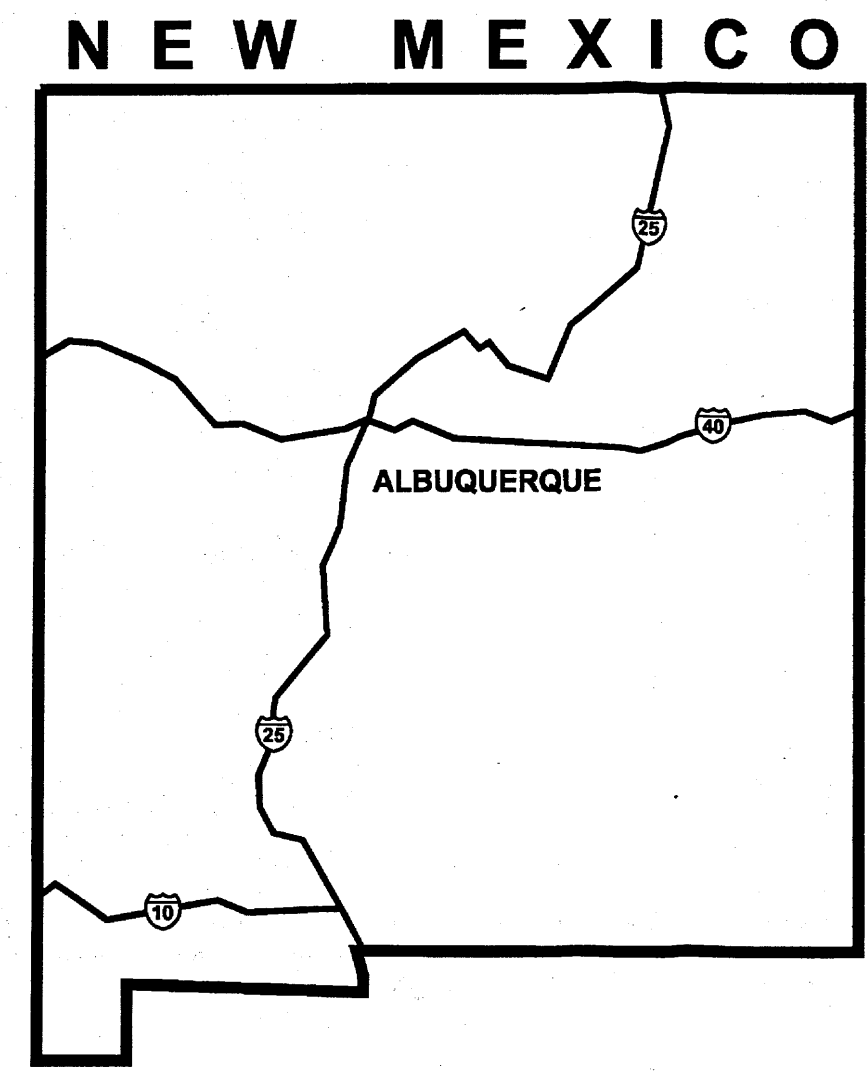
FOR AN AVERAGE RUN-OFF FLOWRATE OF 1.67 CU-FT/SEC PER ACRE, WHICH IS BELOW THE 2.75 CU-FT/SEC PER ACRE DESIGN LIMIT SET FORTH BY THE CITY OF ALBUQUERQUE HYDROLOGY DEPARTMENT.



**A1 SITE PLAN**  
 SCALE: 1" = 60'-0"



**A4 VICINITY MAPS**  
 SCALE: NOT TO SCALE



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PROJECT NAME  
**GREATER ALBUQUERQUE  
 HOUSING PARTNERSHIP**

FRANCISCAN ACRES SUBDIVISION  
 INDIAN SCHOOL AND BROADWAY  
 ALBUQUERQUE, NM 87102

REVISIONS:		
No.	DATE	DESCRIPTION
1	9/7/12	DRB COMMENTS

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Drawn by	JRSP
Checked by	BM
Date	9/7/2012
Project number	2439
Cad file name	

SHEET TITLE:  
**CONCEPTUAL  
 DRAINAGE  
 PLAN**

SHEET NUMBER:

**3.2**

## I. PURPOSE AND SCOPE

THE PURPOSE OF THIS DRAINAGE PLAN IS TO PRESENT THE EXISTING AND PROPOSED DRAINAGE MANAGEMENT PLANS FOR THE GREATER ALBUQUERQUE HOUSING PROJECT AT BROADWAY.

## II. SITE DESCRIPTION AND HISTORY

THE PROJECT SITE IS LOCATED AT THE SOUTH-EAST CORNER OF BROADWAY BLVD NE AND INDIAN SCHOOL ROAD NE.

THE SITE IS CURRENTLY COMPOSED OF THREE LOTS. ALL OF THE LOTS ARE APPROXIMATELY 1 ACRE IN SIZE FOR A TOTAL PROJECT SITE SIZE OF APPROXIMATELY THREE ACRES. THE WESTERN AND CENTER LOTS CONTAIN EXISTING RESIDENTIAL STRUCTURES AND VARIOUS CONCRETE SIDEWALKS AND DRIVEWAYS. THE RESIDENCE IN THE CENTER LOT DOUBLES AS A AUTOMOTIVE MECHANIC BUSINESS WITH A VEHICLE STORAGE YARD LOCATED IN THE SOUTHERN HALF OF THE LOT. THE EASTERN LOT IS EMPTY WITH NO STRUCTURES.

## III. COMPUTATIONAL PROCEDURES

HYDROLOGIC ANALYSIS WAS PERFORMED UTILIZING THE DESIGN CRITERIA BASED ON SECTION 22.2, HYDROLOGY, OF THE DEVELOPMENT PROCESS MANUAL.

## IV. PRECIPITATION

THE STORM EVENT USED FOR THE FOLLOWING CALCULATIONS IS THE 100YR-6HR STORM. THE PROJECT SITE IS LOCATED IN ZONE 2.

## V. EXISTING DRAINAGE CONDITIONS (REFER TO CD2)

CURRENTLY THE STORM WATER RUN-OFF DRAINS FROM EAST TO WEST ACROSS THE SITE BEFORE FLOWING ONTO BROADWAY BLVD NE. RUN-OFF FROM THE ADJACENT LOTS (APPROXIMATELY 5 ACRES) ENTERS THE SITE FROM THE EAST AS IT FLOWS TOWARDS BROADWAY BLVD NE. RUN-OFF FROM THE NORTH PARTS OF THE SITE FLOW ONTO INDIAN SCHOOL ROAD NE ON ITS WAY TO BROADWAY AND IS THUS PREVENTED FROM ENTERING THE SITE. RUN-OFF FROM THE SOUTH FLOWS EAST TO WEST BYPASSING THE SITE AND THEREFORE ONLY A NEGLIGIBLE AMOUNT FLOWING INTO THE SITE.

THERE ARE CURRENTLY A NUMBER OF RESIDENTIAL STRUCTURES WITH CONCRETE SIDEWALKS ON THE TWO MOST WESTERN LOTS. THE EASTERN LOT IS EMPTY. THESE WILL BE DEMOLISHED TO MAKE ROOM FOR THE PROPOSED DEVELOPMENT.

FOR A 100YR-6HR STORM EVENT THE SITE'S STORM WATER RUN-OFF VOLUME IS 0.24 AC-FIT WITH A PEAK DISCHARGE OF 7.35 CFS.

## VI. PROPOSED DRAINAGE CONDITIONS (REFER TO CD3)

THIS PROJECT IS PROPOSING TO ADD SIXTY-EIGHT (68) HOUSING UNITS IN THE FORM OF MULTI-STORY STRUCTURES. THERE WILL ALSO BE INTERNAL AGGREGATE (PERVIOUS) PARKING LOTS, CONCRETE SIDEWALKS, LANDSCAPING AREAS, AND A RECREATIONAL PARK. THE SITE IS SPLIT INTO TWO DRAIN DISTINCT AREAS SEPARATED BY AN NEW ROADWAY THAT RUNS SOUTH TO NORTH.

THE CITY OF ALBUQUERQUE HAS REQUIRED THIS PROJECT, DUE TO ITS LOCATION WITHIN THE MARTINEZTOWN NEIGHBORHOOD, TO RELEASE A MAXIMUM FLOWRATE OF 2.75 CU-FT/SEC PER ACRE OF STORM WATER RUN-OFF. THE OFFSITE BASIN TO THE EAST WILL BE ROUTED THROUGH A DETENTION/RETENTION BASIN TO REDUCE THE OFFSITE FLOWS TO ASSIST IN THE OVERALL REDUCTION IN DISCHARGE TO ACHIEVE THE LIMIT OF 2.75 CFS PER ACRE. THIS OFFSITE BASIN WILL ENTER PRO No.1 INTO A PONDING AREA ON THE EAST SIDE OF THE SITE. ONCE THE STORM WATER PONDS IN EXCESS OF 2' DEEP IN THE PARKING AREA IT WILL DRAIN DOWN THE DRIVEWAY INTO INDIAN SCHOOL. A NEGLIGIBLE AMOUNT OF THE OFFSITE RUNOFF WILL ENTER AT THE SOUTH EAST CORNER OF THE SITE AND WILL DRAIN DOWN THE FIRE LANE LOCATED ALONG THE SOUTHERN BOUNDARY OF THE PROJECT.

THE EASTERN PARKING LOT (WITHIN BASIN PRO No. 1) IS COMPOSED OF AGGREGATE RATHER THAN ASPHALT PAVEMENT. THE PARKING AREA (7800 SF) HAS A POROSITY THAT ALLOW FOR STORAGE OF 2.6 INCHES BEFORE IT WOULD BEGIN TO POOL ABOVE THE UPPER MOST SURFACE. THIS AREA HAS BEEN TREATED AS SOIL TREATMENT C FOR CALCULATIONS OF EXCESS PRECIPITATION AND PEAK DISCHARGE RATES. THE PARKING LOT IS ALSO DESIGNED TO POND WATER 2' DEEP ACROSS THE 7800 SQUARE FOOT AREA. THIS WILL PROVIDE A PONDING VOLUME OF 1300 CUBIC FEET. NO PONDING VOLUME FOR THE POROSITY WITHIN THE GRAVEL SECTION WAS USED TO REDUCE THE DISCHARGE RATES OR ACCOUNTED FOR IN PONDING VOLUMES.

PRO No.1 WILL DRAIN DOWN THE NORTH ENTRANCE INTO INDIAN SCHOOL. AFTER THE ROUTING THROUGH THE PARKING LOT PONDING AREA THE PEAK DISCHARGE RATE IS REDUCED FROM 19.79 CFS (17.68 OFFSITE AND 2.11 CFS FOR PRO No. 1) TO 16.66 CFS. THE REDUCTION IN FLOW RATE OF 3.13 CFS WILL BE USED TO HELP ACHIEVE THE MAXIMUM PEAK DISCHARGE RATE OF 2.75 CFS PER ACRE.

PROPOSED BASIN PRO No.2 CONTAINS THE NEW STRUCTURES AND LANDSCAPING ON THE EAST SIDE OF THE NEW ROADWAY. THIS BASIN WILL CREATE A PEAK DISCHARGE RATE OF 0.92 CFS. DUE TO ITS LOCATION SO CLOSE TO THE ROADWAY AND THE REQUIREMENT TO DRAIN THE NEW ROADWAY TO INDIAN SCHOOL, NO PONDING IN THIS BASIN IS PROPOSED.

PROPOSED BASIN PRO No.3 CONTAINS THE NEW ROADWAY AND THE SURROUNDING SIDEWALKS. THIS BASIN WILL CREATE A PEAK DISCHARGE RATE OF 1.42 CFS. WHEN COMBINED WITH PRO No.2 THE PEAK DISCHARGE RATE INTO INDIAN SCHOOL ALONG THIS ROADWAY IS 2.34 CFS.

BASIN PRO No.4 IS SIMILAR TO PRO No.1 WHERE THE GRAVEL PARKING AREA IS UTILIZED AS A PONDING AND INFILTRATION AREA. THE PARKING AREA IS 14,798 SF AND HAS A POROSITY THAT WILL ALLOW FOR 2.6" OF RAIN TO BE STORED WITHIN THE GRAVEL SURFACE PRIOR TO EXCESS RUNOFF OVERFLOWING INTO INDIAN SCHOOL. BASIN PRO No.3 HAS A PEAK RUNOFF RATE OF 4.88 CFS AFTER THE PARKING AREA IS ANALYZED AS SOIL TREATMENT TYPE C. THE PARKING LOT IS DESIGNED TO RETAIN THE FIRST 2" OF EXCESS RUNOFF ABOVE THE TOP OF GRAVEL SURFACE. THE PONDING VOLUME AVAILABLE IN THIS 2" OF DEPTH IS 2466 CUBIC FEET AND THEREFORE REDUCES THE DISCHARGE INTO INDIAN SCHOOL FROM THIS BASIN TO 3.05 CFS. THIS PROVIDES A REDUCTION IN DISCHARGE OF 1.83 CFS.

BASIN PRO No.5 WILL COMBINE WITH THE DISCHARGE FROM BASIN PRO No. 4 AND ADD THE 0.15 CFS TO CREATE A TOTAL DISCHARGE THROUGH THE DRIVEWAY INTO INDIAN SCHOOL OF 3.20 CFS.

BASIN PRO No. 6 AND No. 7 ARE LOCATED ON THE WEST AND SOUTH SIDES OF THE PROPOSED BUILDINGS. THE PEAK DISCHARGE FROM THE BASIN IS 1.41 AND 0.81 CFS RESPECTIVELY. BOTH OF THESE BASINS WILL DISCHARGE DIRECTLY INTO BROADWAY.

THE COMBINED DISCHARGE FROM THE PROPOSED AND OFFSITE BASINS IS 24.42 CFS. ONCE THE 17.88 CFS FROM OFFSITE FLOWS IS REMOVED THE REMAINING FLOW WILL BE 6.74 CFS FROM THE 3 ACRE SITE. THIS GIVES A PEAK FLOWRATE FROM THE SITE EQUAL TO 2.25 CFS WHICH IS LESS THAN THE 2.75 CFS RESTRICTION REQUIRED BY HYDROLOGY.

## VII. CONCLUSIONS

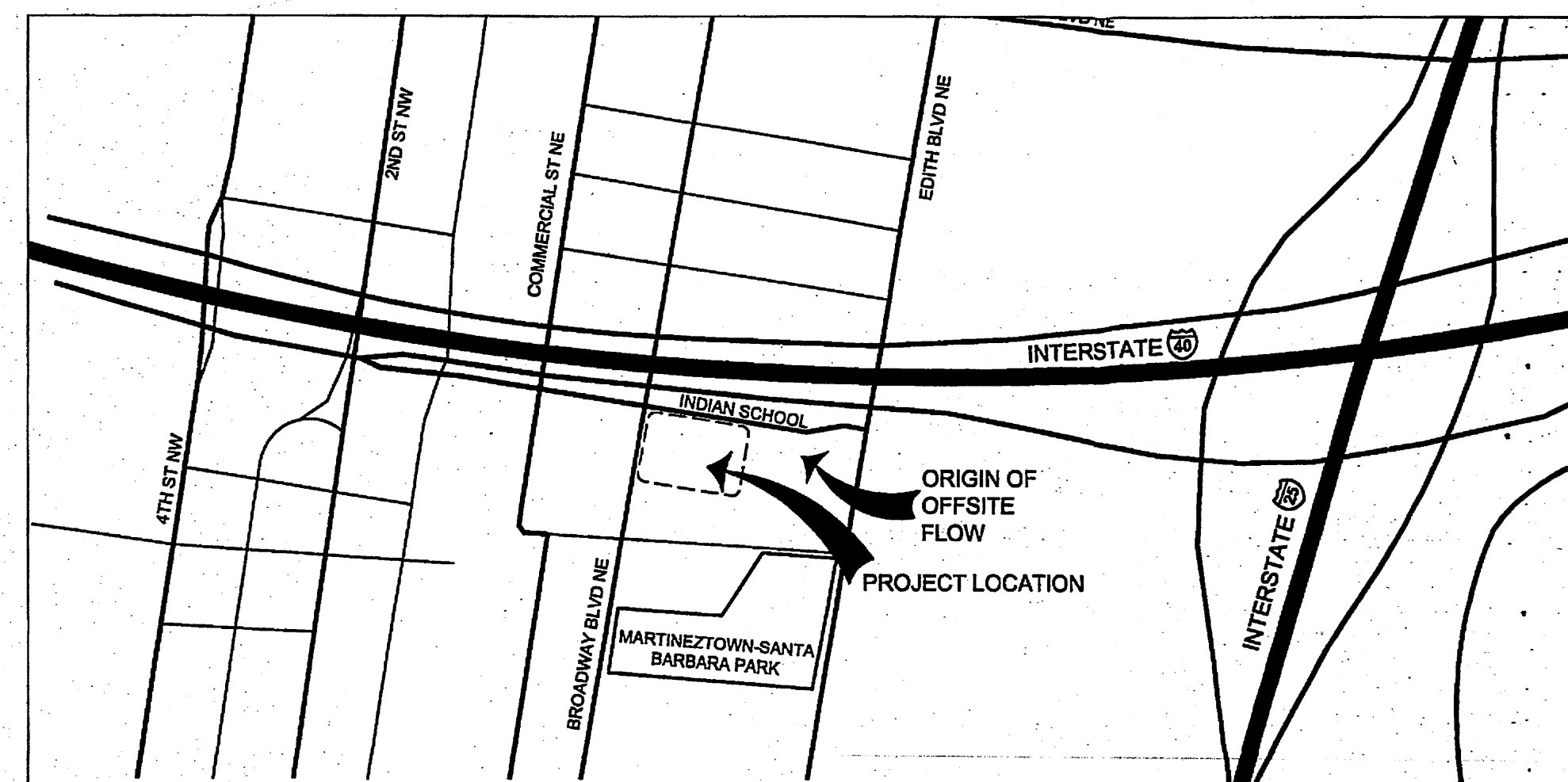
AS A RESULT OF THE PROPOSED CONSTRUCTION THERE WILL BE THE FOLLOWING FLOWRATES:

PRO BASIN No.1 - 2.11 CU-FT/SEC  
 PRO BASIN No.2 - 0.92 CU-FT/SEC  
 PRO BASIN No.3 - 1.42 CU-FT/SEC  
 PRO BASIN No.4 - 4.68 CU-FT/SEC  
 PRO BASIN No.5 - 0.15 CU-FT/SEC  
 PRO BASIN No.6 - 1.41 CU-FT/SEC  
 PRO BASIN No.7 - 0.81 CU-FT/SEC

FOR AN AVERAGE RUN-OFF FLOWRATE OF 2.25 CU-FT/SEC PER ACRE, WHICH IS BELOW THE 2.75 CU-FT/SEC PER ACRE DESIGN LIMIT SET FORTH BY THE CITY OF ALBUQUERQUE HYDROLOGY DEPARTMENT.

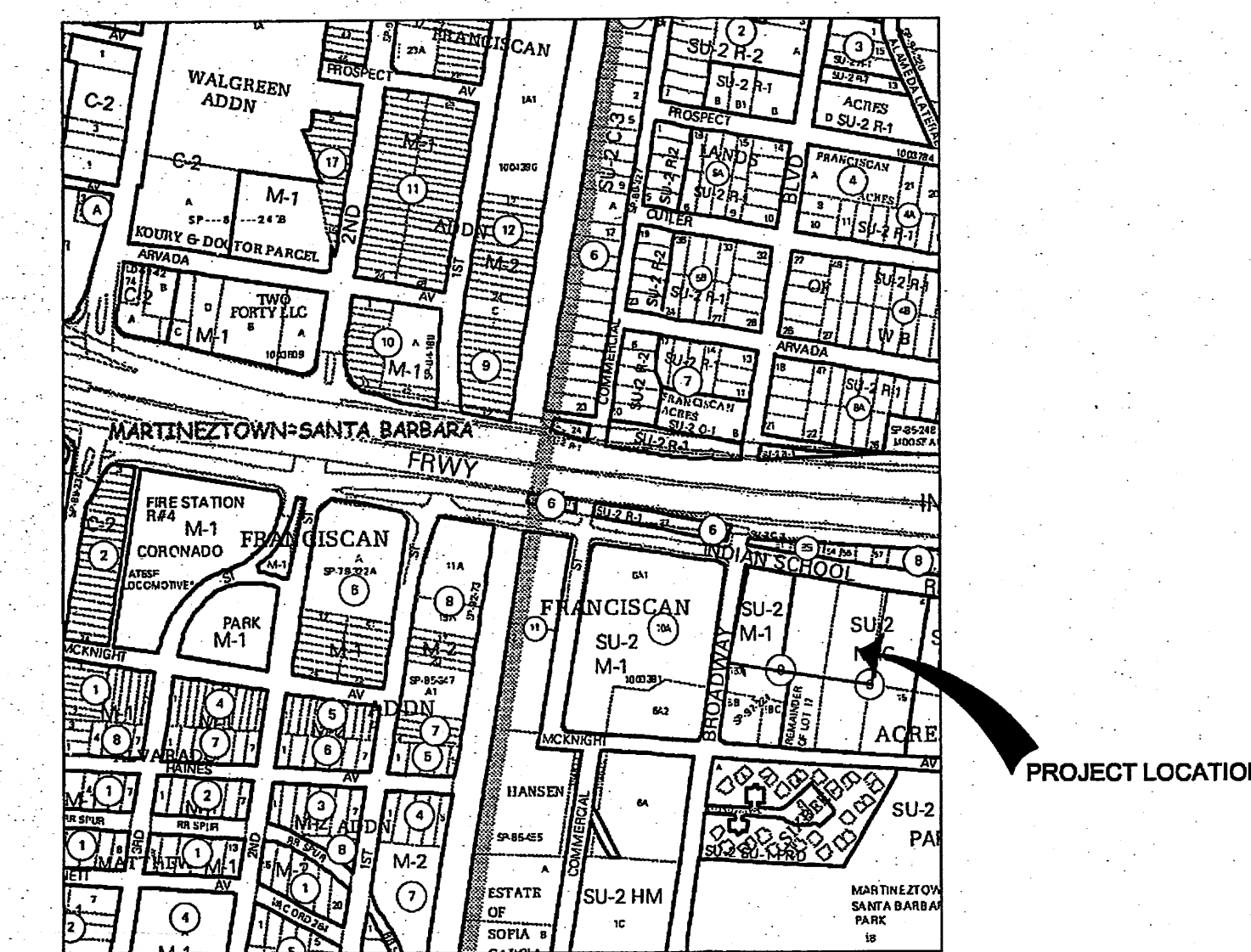


**A4 FIMA FLOOD MAP**  
 SCALE: NOT TO SCALE



**A2 VICINITY MAPS**  
 SCALE: NOT TO SCALE

Drainage Summary								
Project:	Greater Albuquerque Housing Partnership							
Project Number:	2499							
Date:	08/15/12							
By:	Dave A							
Site Location:								
Precipitation Zone:	2 Per Table A-1 COA DPM Section 22.2							
Existing summary								
Basin Name	Ex 1	Off Ex #1						
Area (acres)	2.77	4.90						
%A Land treatment	0	0						
%B Land treatment	75	0						
%C Land treatment	15	70						
%D Land treatment	10	30						
Soil Treatment (acres)								
Area "A"	0.00	0.00						
Area "B"	2.06	0.00						
Area "C"	0.42	3.43						
Area "D"	0.28	1.47						
Excess Runoff (acre-feet)								
100yr. 6hr.	0.2234	0.5827						
10yr. 6hr.	0.0978	0.3128						
2yr. 6hr.	0.0289	0.1397						
100yr. 24hr.	0.2326	0.6317						
Peak Discharge (cfs)								
100 yr.	7.35	17.66						
10yr.	3.56	10.66						
2yr.	0.93	4.79						
Proposed summary								
Basin Name	Pro 1	Pro 2	Pro 3	Pro 4	Pro 5	Pro 6	Pro 7	Off Ex #1
Area (acres)	21785	10597	13905	53800	1671	19134	9451.5	213444
%A Land treatment	0	0	0	0	0	0	0	0
%B Land treatment	20	15	10	15	20	20	40	0
%C Land treatment	0	35	0	35	0	65	0	70
%D Land treatment	80	50	90	50	80	15	60	30
Soil Treatment (acres)								
Area "A"	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Area "B"	0.10	0.04	0.03	0.18	0.01	0.09	0.09	0.00
Area "C"	0.00	0.09	0.00	0.43	0.00	0.29	0.00	3.43
Area "D"	0.40	0.12	0.29	0.62	0.03	0.07	0.13	1.47
Excess Runoff (acre-feet)								
100yr. 6hr.	0.0772	0.0319	0.0528	0.1616	0.0056	0.0442	0.0288	0.5827
10yr. 6hr.	0.0470	0.0161	0.0325	0.0920	0.0034	0.0216	0.0166	0.3128
2yr. 6hr.	0.0285	0.0091	0.0190	0.0484	0.0019	0.0081	0.0087	0.1397
100yr. 24hr.	0.0903	0.0359	0.0524	0.1824	0.0065	0.0464	0.0330	0.6317
Peak Discharge (cfs)								
100 yr.	2.11	0.92	1.42	4.68	0.15	1.41	0.81	17.66
10yr.	1.35	0.66	0.93	2.85	0.10	0.78	0.49	10.66
2yr.	0.75	0.28	0.54	1.42	0.05	0.30	0.25	4.79



**A4 H-14-Z ZONE ATLAS PAGE**  
 SCALE: NOT TO SCALE

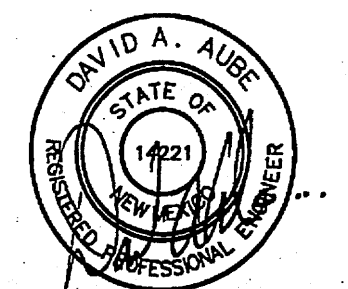


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8-31-12

PROJECT NAME  
**GREATER ALBUQUERQUE  
 HOUSING PARTNERSHIP**

FRANCISCAN ACRES SUBDIVISION  
 INDIAN SCHOOL AND BROADWAY  
 ALBUQUERQUE, NM 87102

REVISIONS:		
No.	DATE	DESCRIPTION
1	9/7/12	DRB COMMENTS

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 Checked by: DMA  
 Date: 9/7/2012  
 Project number: 2499  
 Cad file name:

SHEET TITLE:  
**SITE CONCEPTUAL  
 DRAINAGE  
 PLAN**

SHEET NUMBER:  
**CD1**

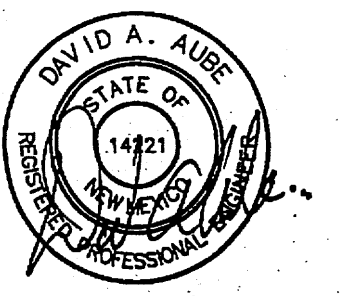


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Checked by DM

Date 9/7/2012

Project number 2439

Cad file name

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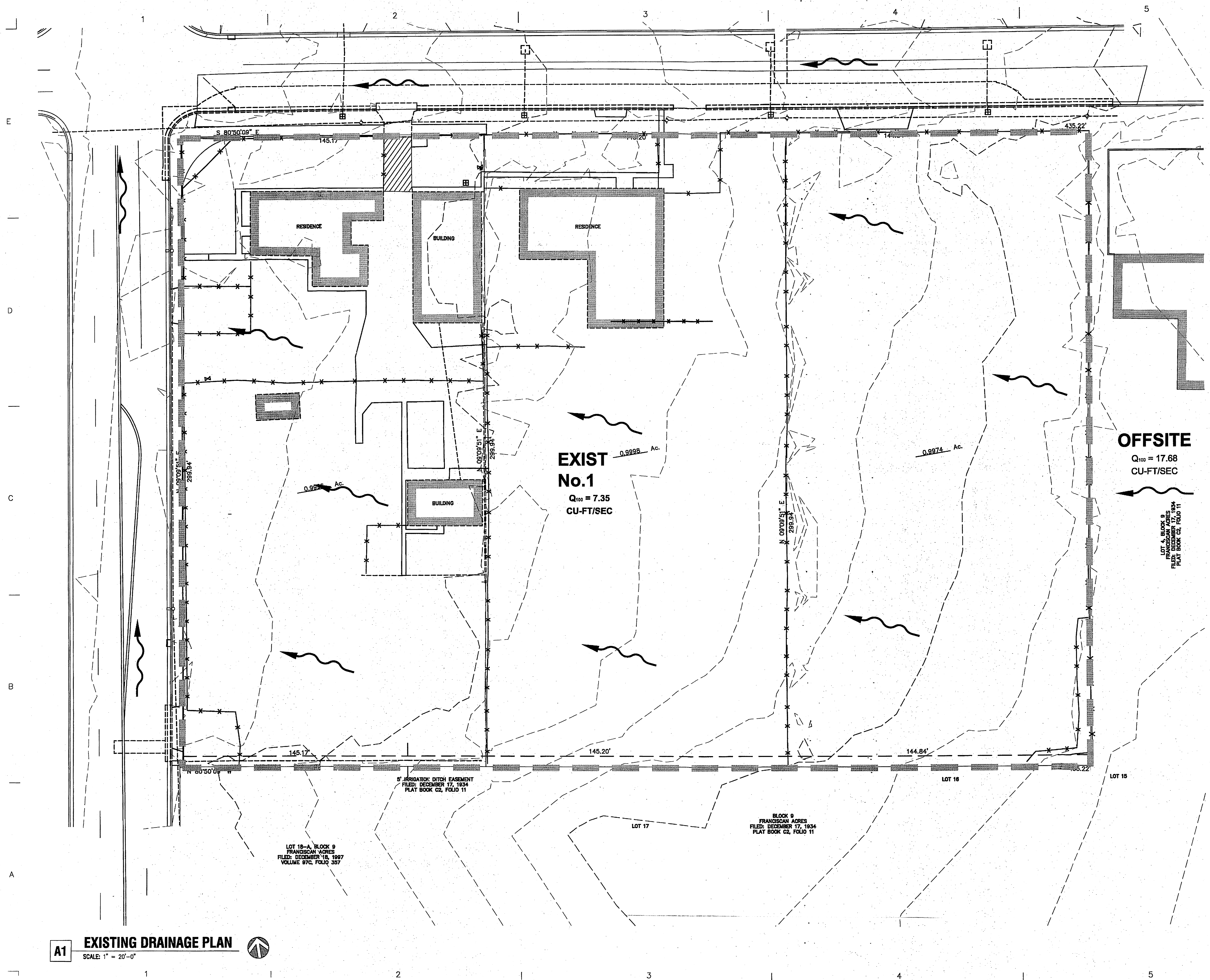
SITE CONCEPTUAL

DRAINAGE

PLAN

SHEET NUMBER:

**CD2**



**A1 EXISTING DRAINAGE PLAN**  
 SCALE: 1" = 20'-0"



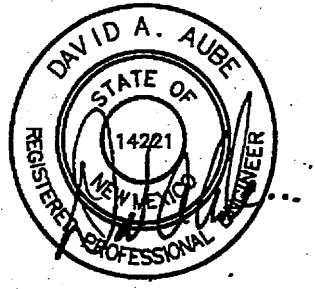


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PROJECT NAME  
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 ALBUQUERQUE, NM 87102

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No.	DATE	DESCRIPTION
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 Date: 9/7/2012  
 Project number: 2439  
 Cad file name:

SHEET TITLE:  
**GRADING AND  
 DRAINAGE  
 PLAN**

SHEET NUMBER:

**CD3**

**PRO No.5**  
 $Q_{100} = 0.15 \text{ CU-FI/SEC}$   
 AREA=1,571 sf

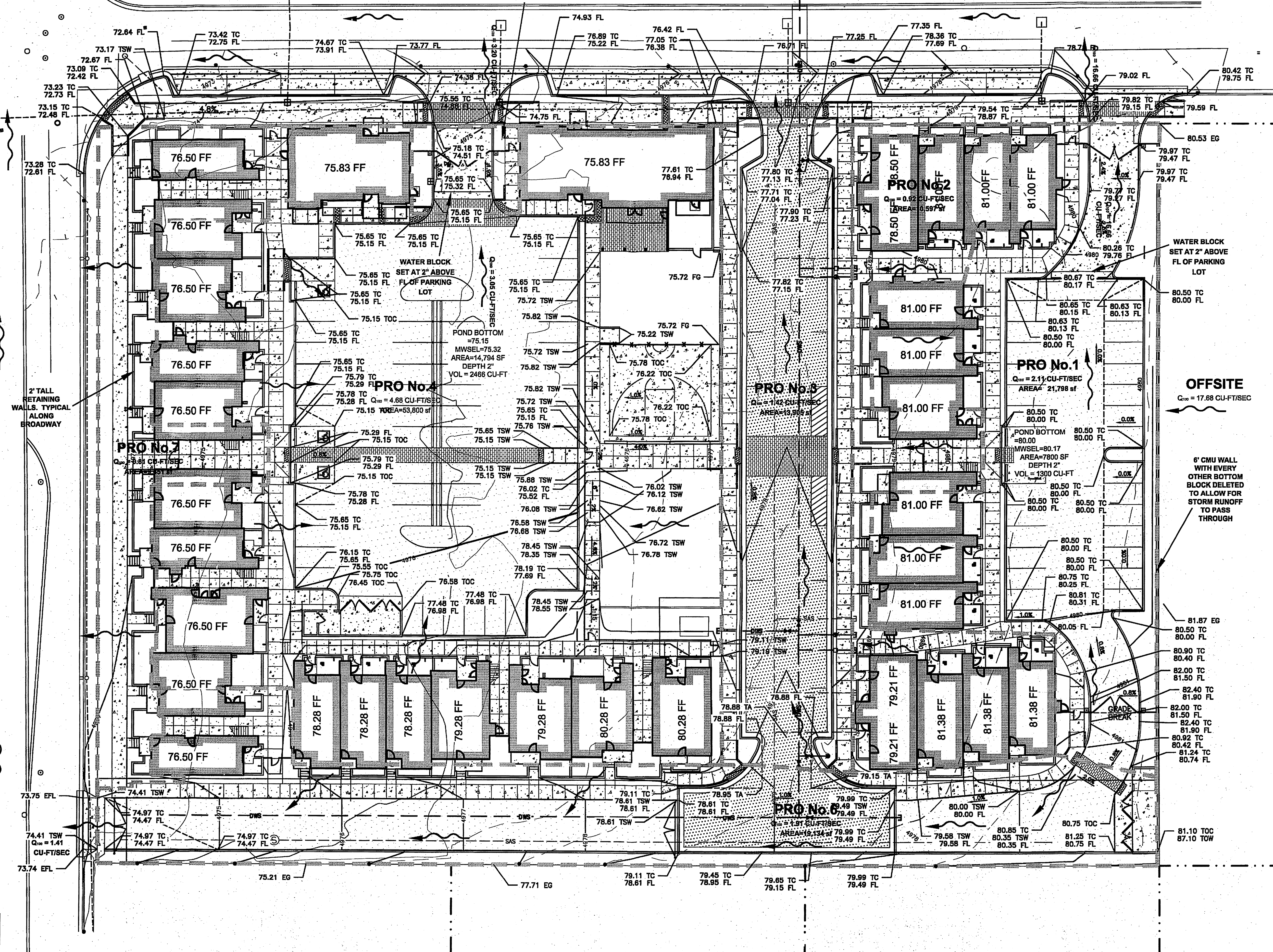
**PRO No.2**  
 $Q_{100} = 0.92 \text{ CU-FI/SEC}$   
 AREA=10,997 sf

**PRO No.1**  
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 AREA= 21,798 sf

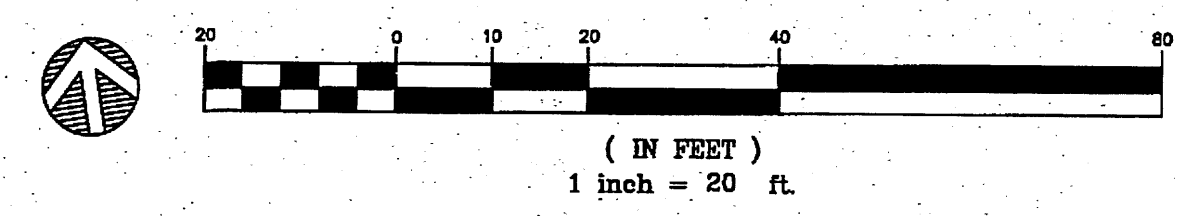
**PRO No.3**  
 $Q_{100} = 1.42 \text{ CU-FI/SEC}$   
 AREA=19,956 sf

**PRO No.4**  
 $Q_{100} = 4.68 \text{ CU-FI/SEC}$   
 AREA=63,800 sf

**PRO No.6**  
 $Q_{100} = 1.91 \text{ CU-FI/SEC}$   
 AREA=19,134 sf



GRAPHIC SCALE



**A1 GRADING AND DRAINAGE PLAN**  
 SCALE: 1" = 20'-0"



STAMP

PROJECT NAME

**GREATER ALBUQUERQUE  
 HOUSING PARTNERSHIP**

FRANCISCAN ACRES SUBDIVISION  
 INDIAN SCHOOL AND BROADWAY  
 ALBUQUERQUE, NM 87102

REVISIONS:

No.	DATE	DESCRIPTION
1	9/7/12	DRB COMMENTS

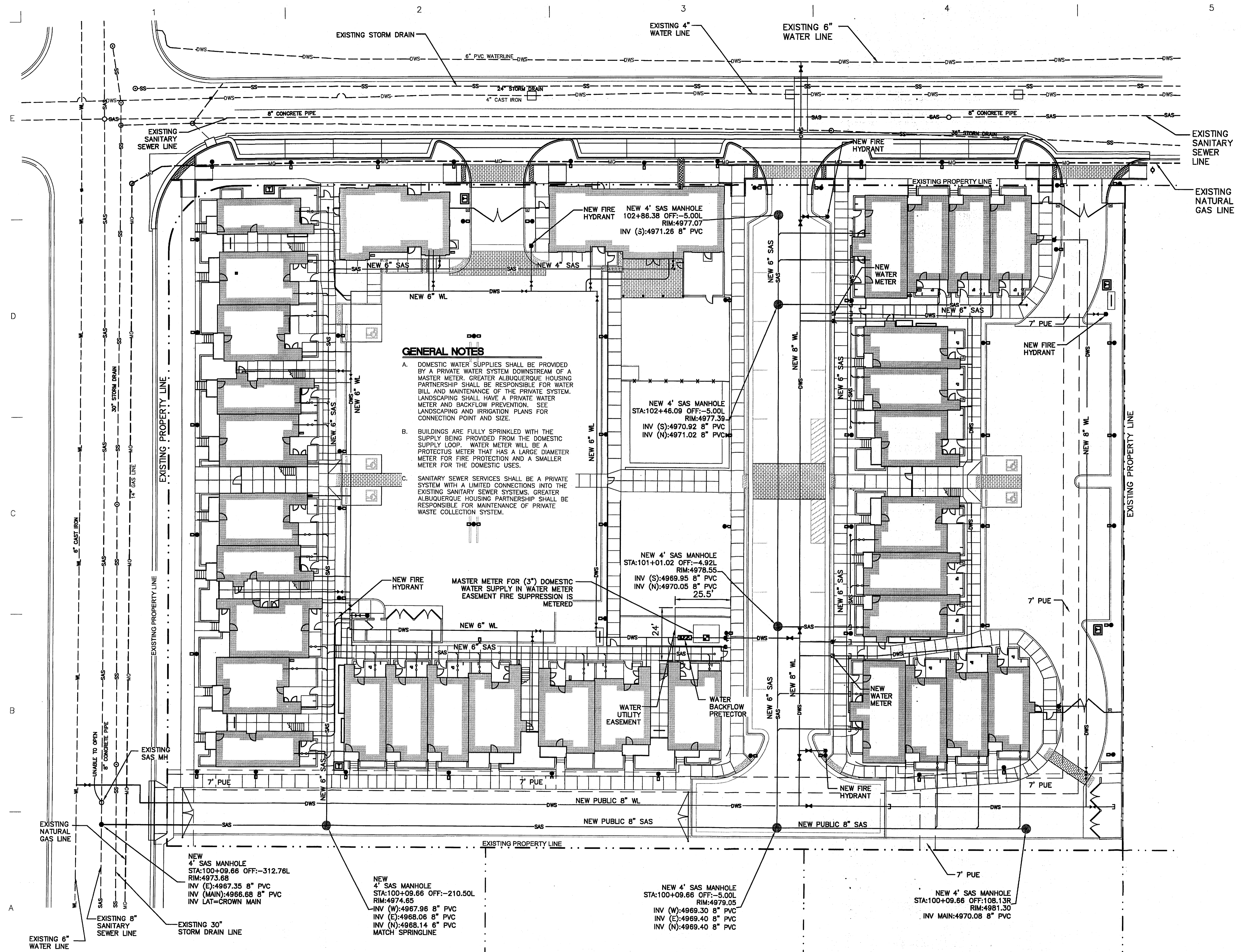
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Drawn by	JRP
Checked by	DA
Date	9/7/2012
Project number	2439
Cad file name	

SHEET TITLE:

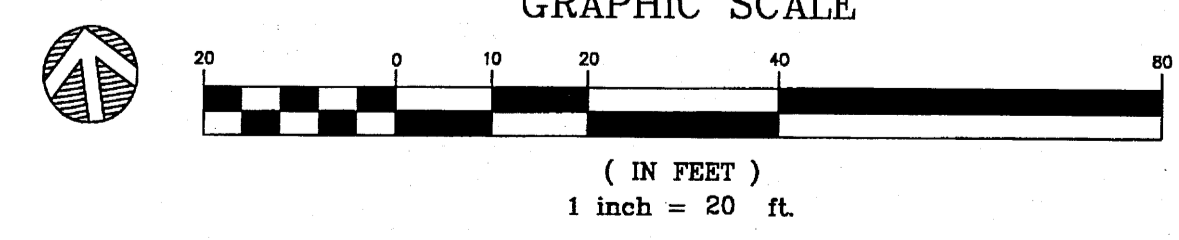
**SITE CONCEPTUAL  
 UTILITY  
 PLAN**

SHEET NUMBER:



**GENERAL NOTES**

- A. DOMESTIC WATER SUPPLIES SHALL BE PROVIDED BY A PRIVATE WATER SYSTEM DOWNSTREAM OF A MASTER METER. GREATER ALBUQUERQUE HOUSING PARTNERSHIP SHALL BE RESPONSIBLE FOR WATER BILL AND MAINTENANCE OF THE PRIVATE SYSTEM. LANDSCAPING SHALL HAVE A PRIVATE WATER METER AND BACKFLOW PREVENTION. SEE LANDSCAPING AND IRRIGATION PLANS FOR CONNECTION POINT AND SIZE.
- B. BUILDINGS ARE FULLY SPRINKLED WITH THE SUPPLY BEING PROVIDED FROM THE DOMESTIC SUPPLY LOOP. WATER METER WILL BE A PROTECTUS METER THAT HAS A LARGE DIAMETER METER FOR FIRE PROTECTION AND A SMALLER METER FOR THE DOMESTIC USES.
- C. SANITARY SEWER SERVICES SHALL BE A PRIVATE SYSTEM WITH A LIMITED CONNECTIONS INTO THE EXISTING SANITARY SEWER SYSTEMS. GREATER ALBUQUERQUE HOUSING PARTNERSHIP SHALL BE RESPONSIBLE FOR MAINTENANCE OF PRIVATE WASTE COLLECTION SYSTEM.



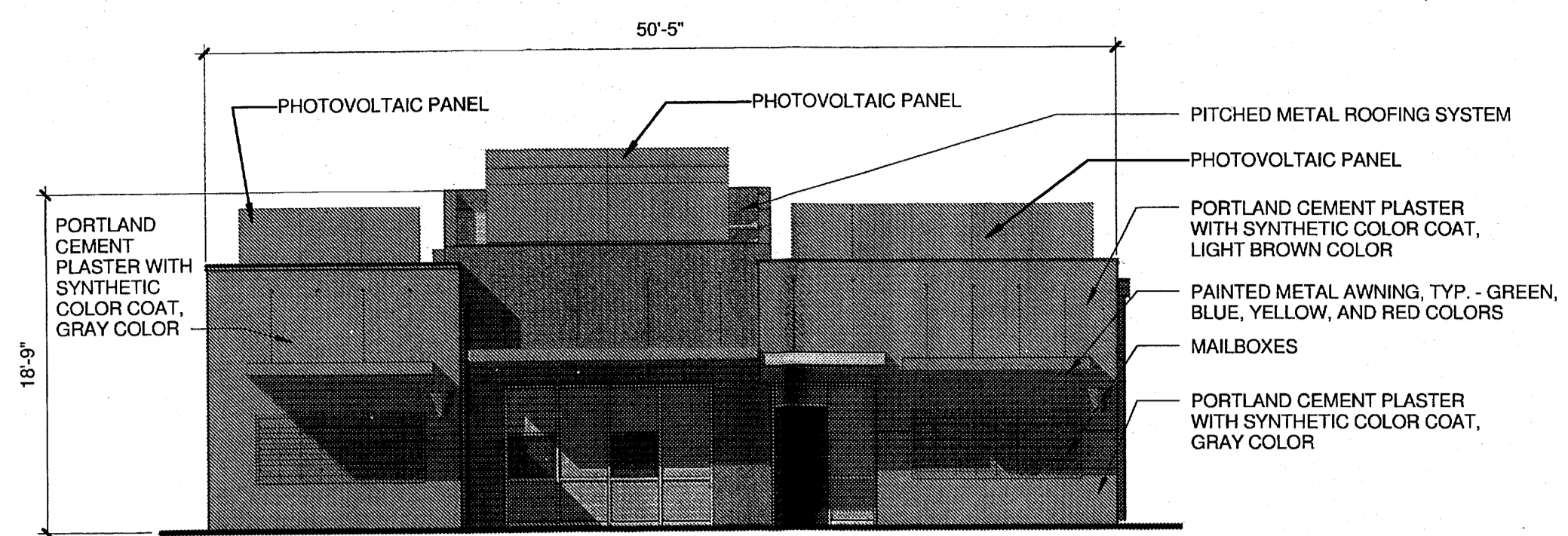
**A1 CONCEPTUAL UTILITY PLAN**  
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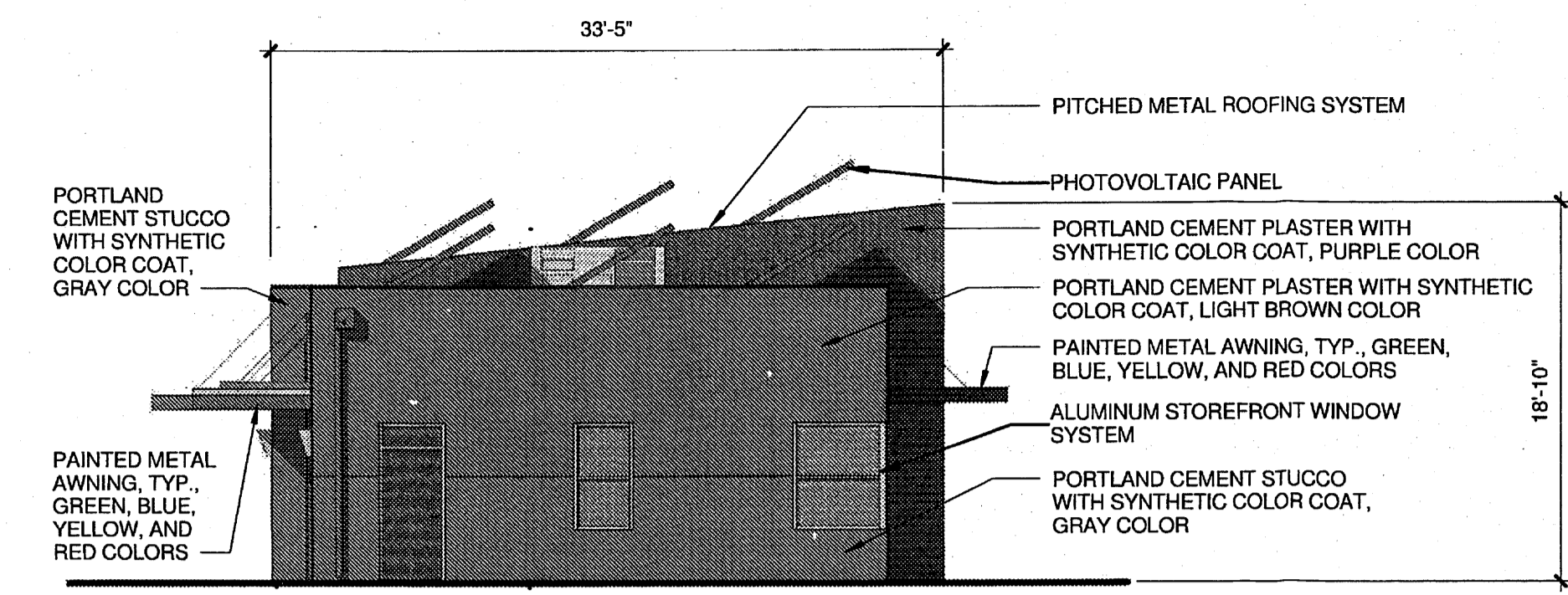
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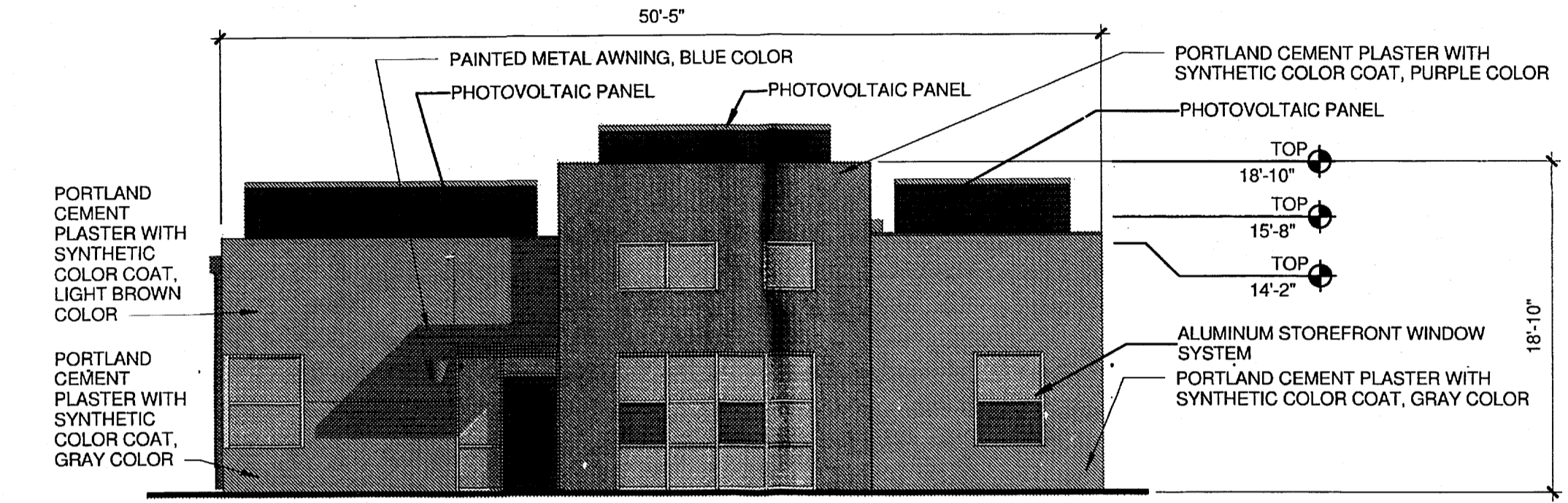
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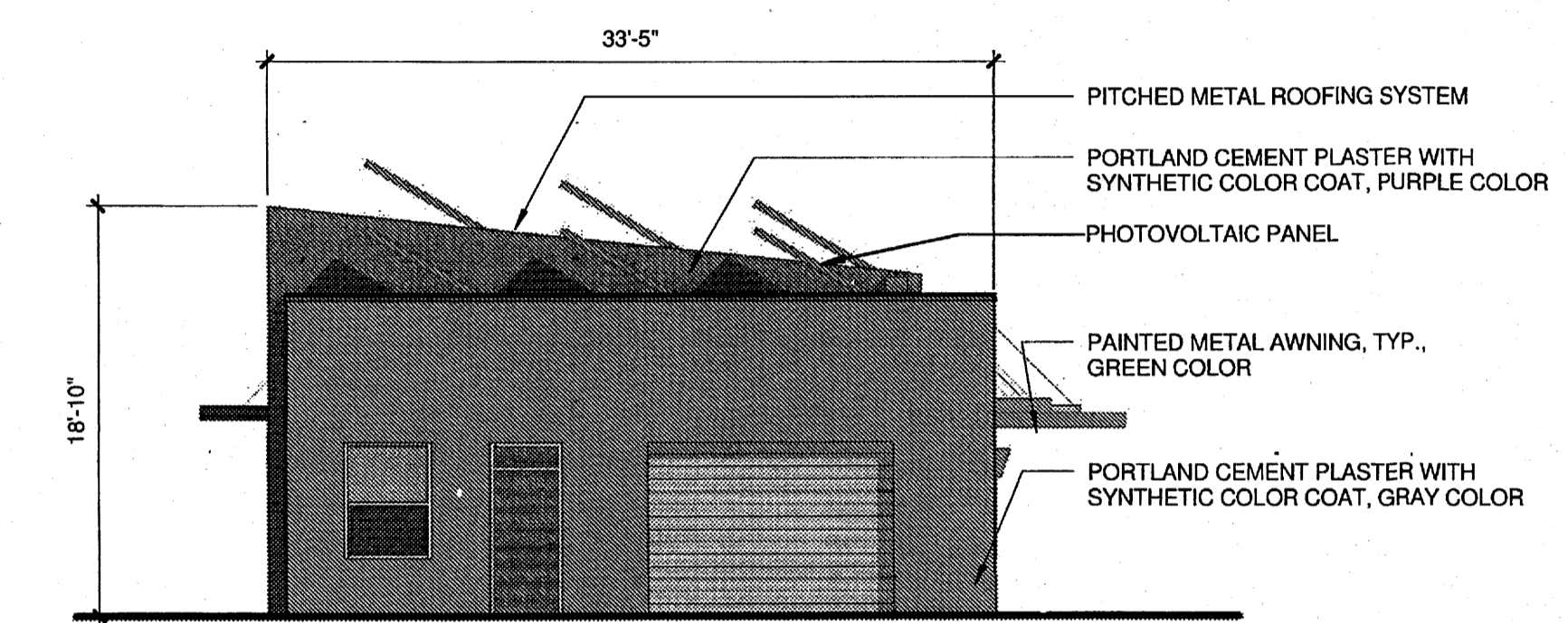
**7 BUILDING B - ELEVATION SOUTH**  
 1/8" = 1'-0"



**8 BUILDING B - ELEVATION EAST**  
 1/8" = 1'-0"



**5 BUILDING B - ELEVATION NORTH**  
 1/8" = 1'-0"



**6 BUILDING B - ELEVATION WEST**  
 1/8" = 1'-0"

STAMP

PROJECT NAME  
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 ALBUQUERQUE, NM 87102

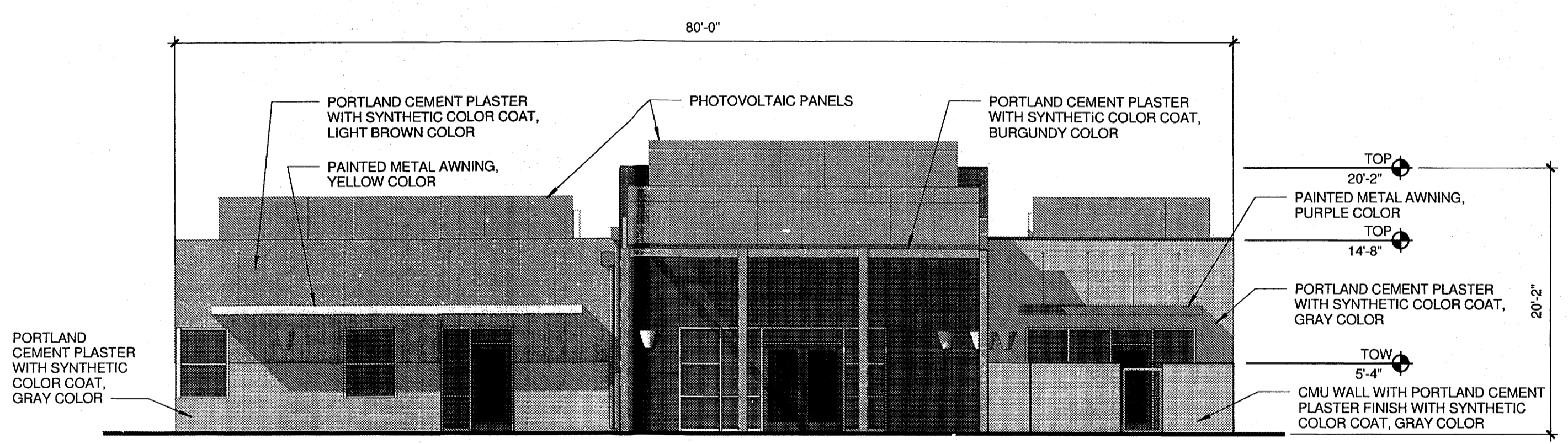
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No.	Date	Description
1	9/21/2012	DRB COMMENTS

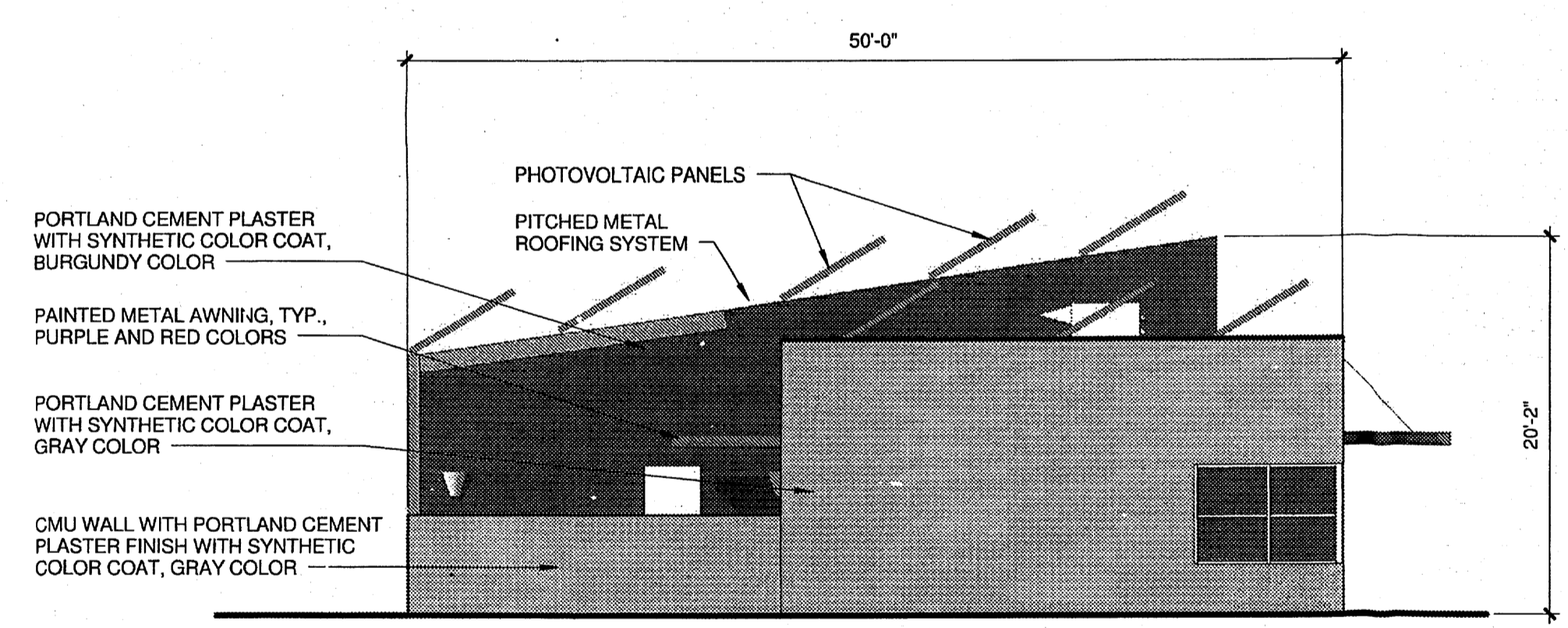
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 Date AUG 13, 2012  
 Project number 2439  
 CAD file name \_\_\_\_\_

SHEET TITLE  
**BUILDING AND STRUCTURE ELEVATIONS  
 BUILDINGS A AND B**

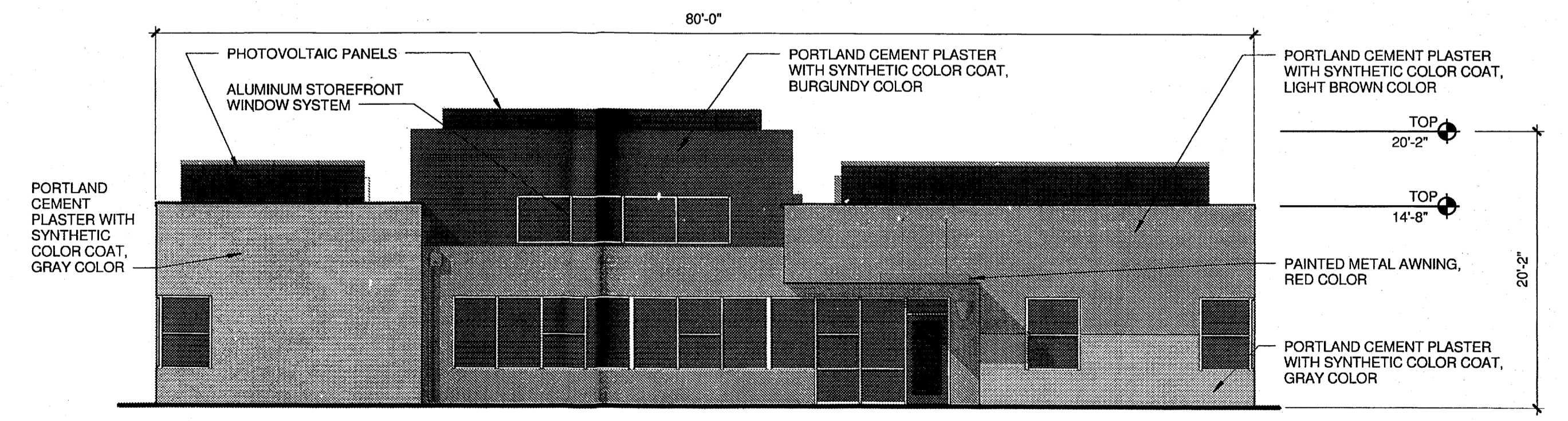
SHEET NUMBER



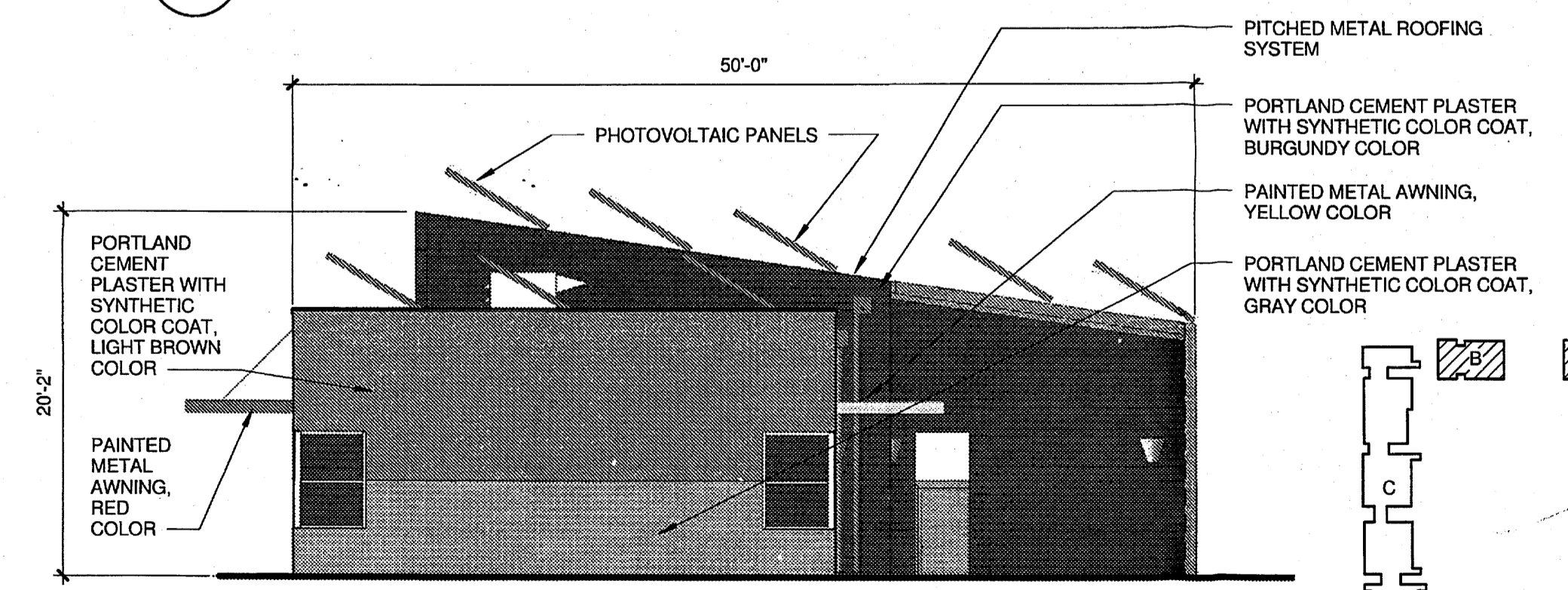
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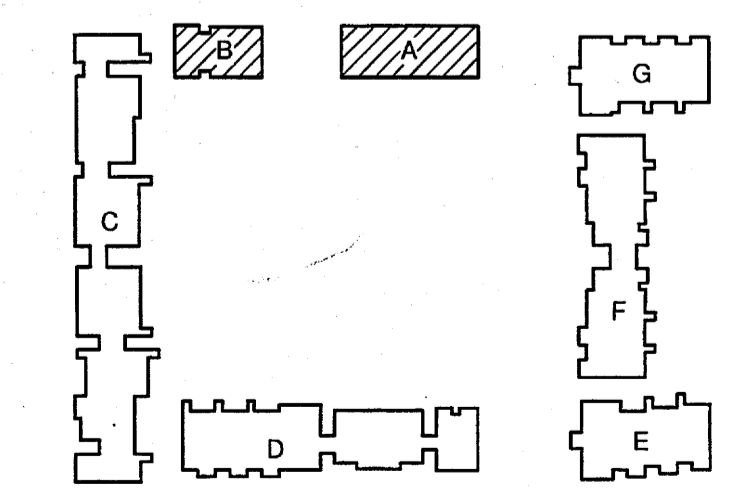
**4 BUILDING A - ELEVATION EAST**  
 1/8" = 1'-0"



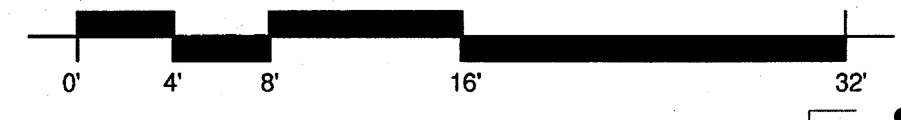
**1 BUILDING A - ELEVATION NORTH**  
 1/8" = 1'-0"



**2 BUILDING A - ELEVATION WEST**  
 1/8" = 1'-0"



KEY PLAN



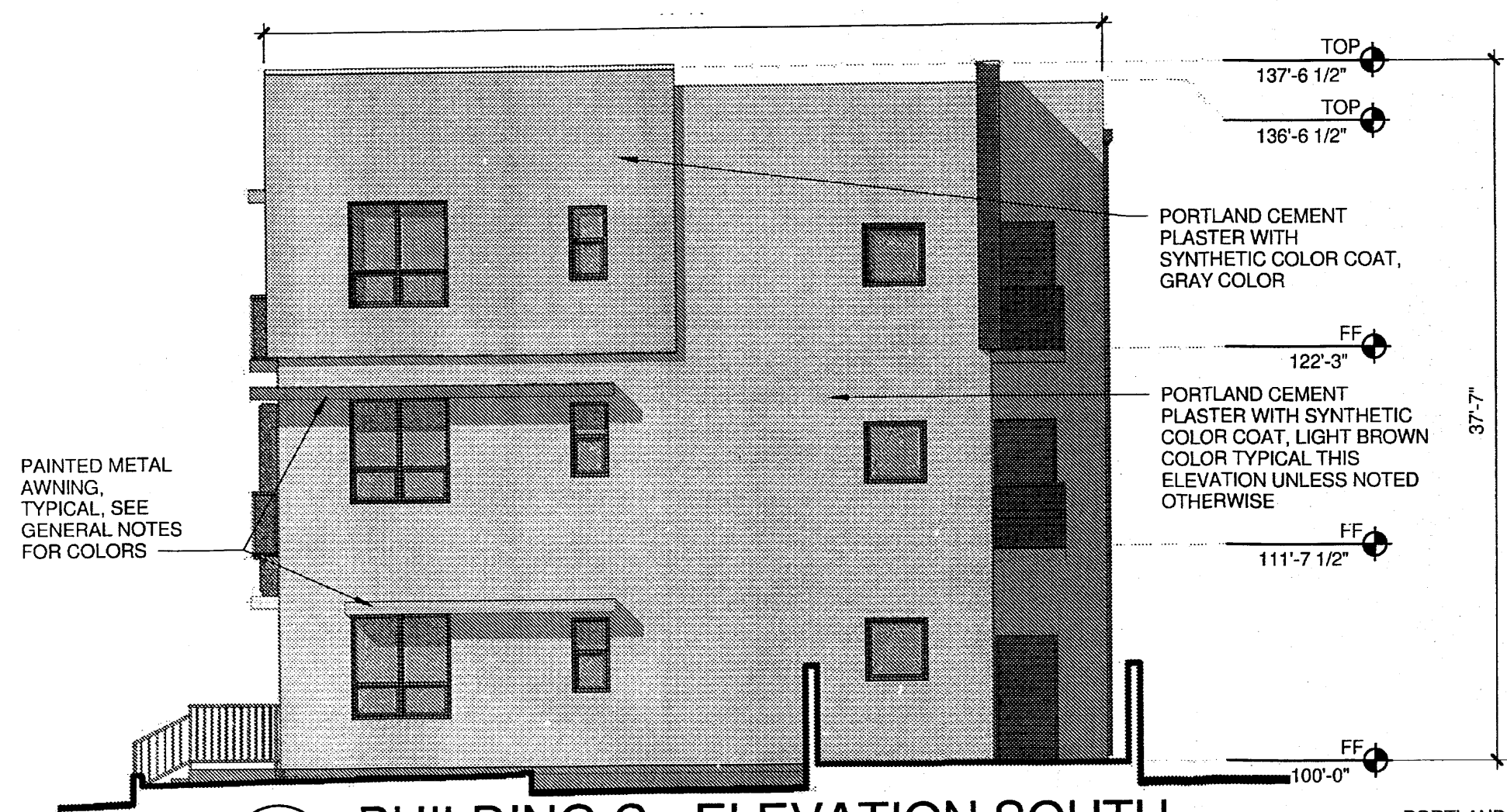




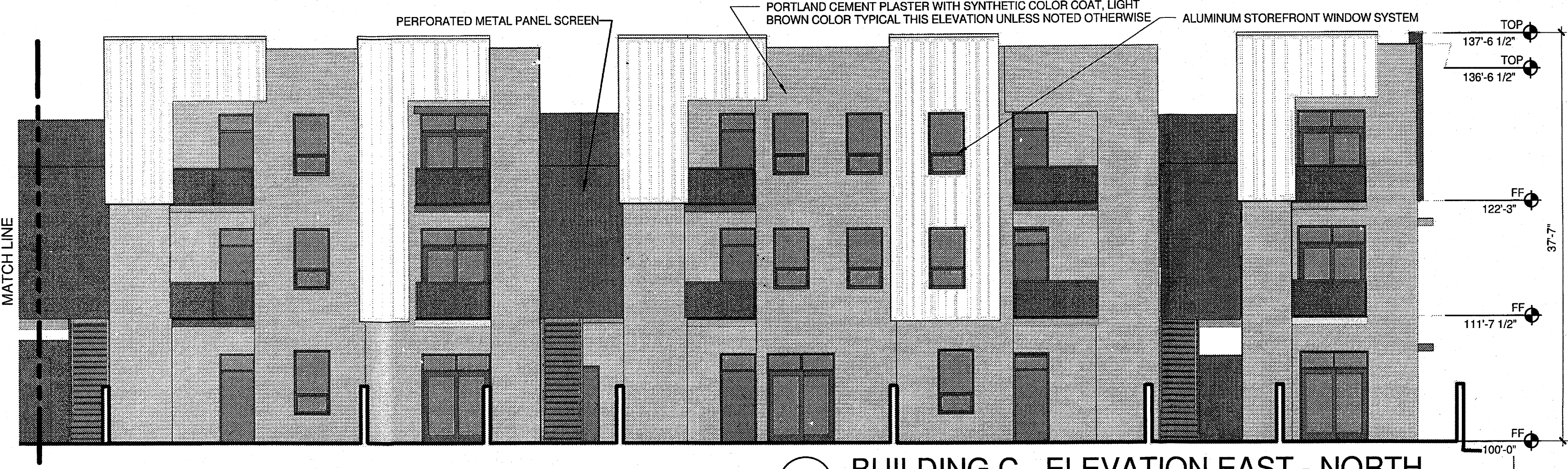
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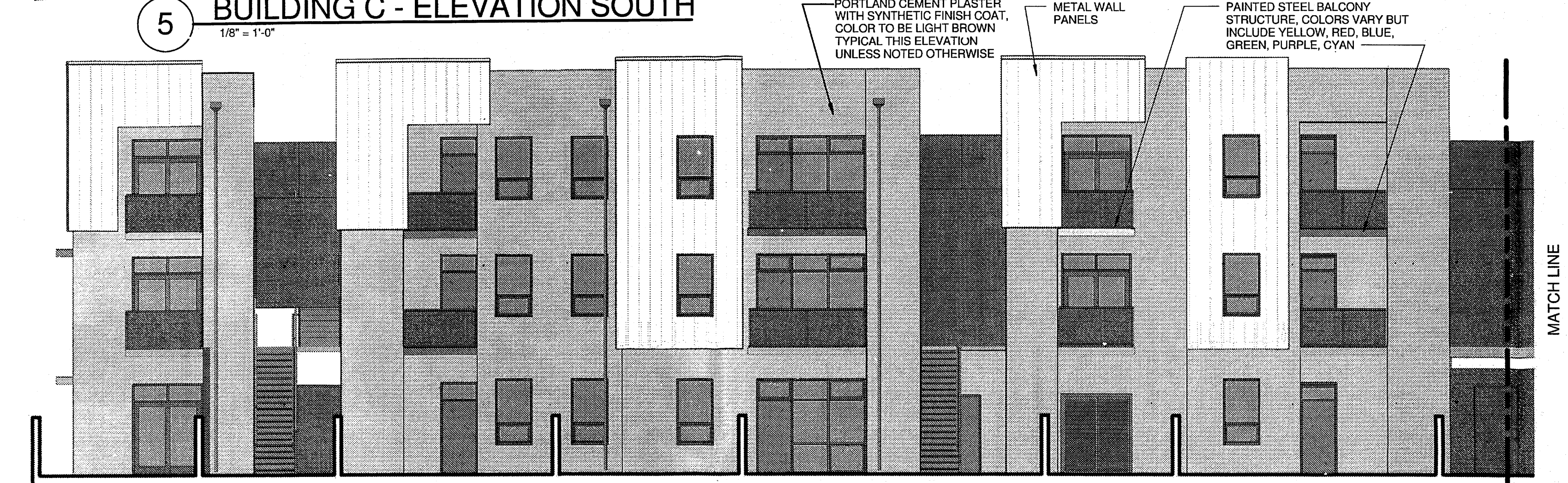
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5 BUILDING C - ELEVATION SOUTH  
 1/8" = 1'-0"

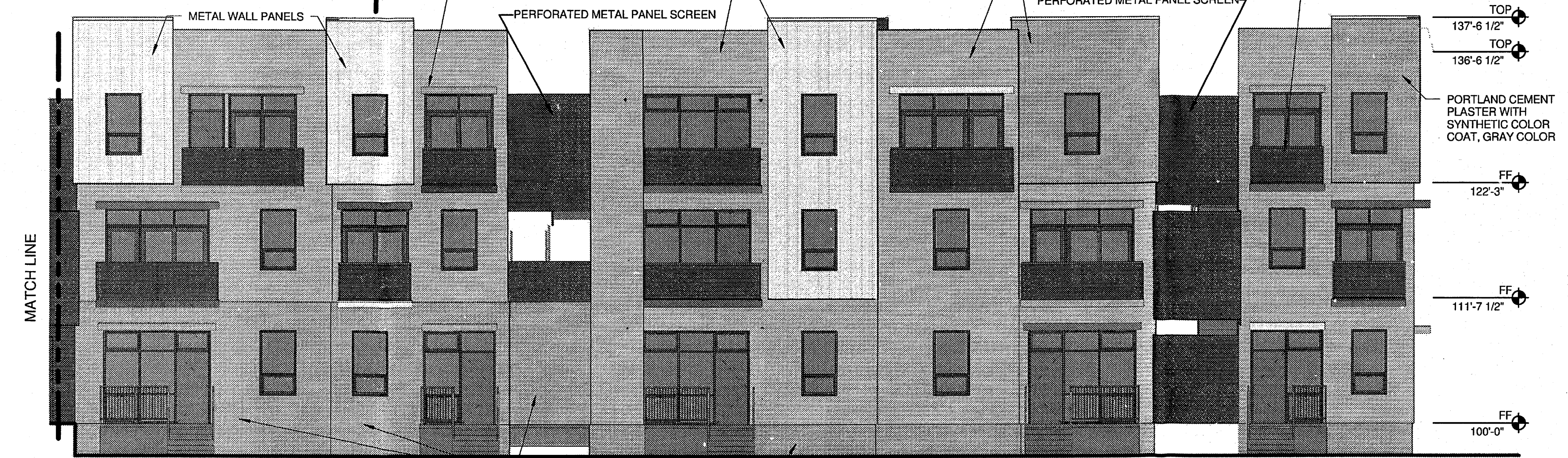


6 BUILDING C - ELEVATION EAST - NORTH  
 1/8" = 1'-0"

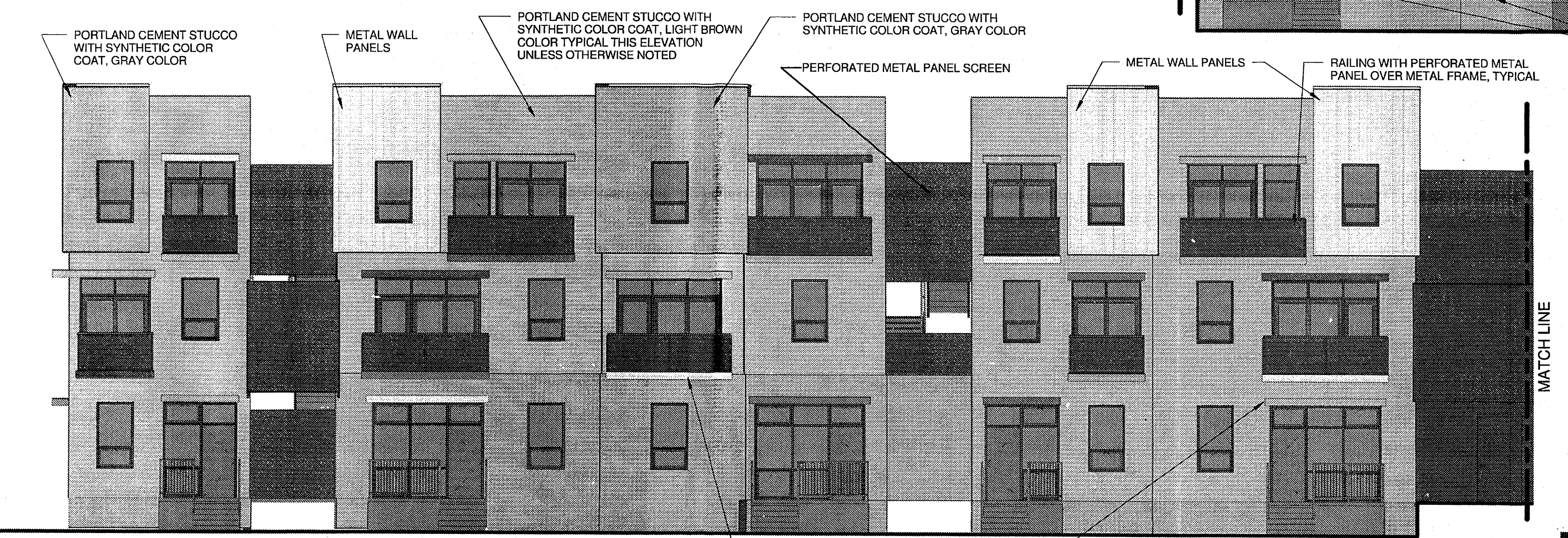


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 1/8" = 1'-0"

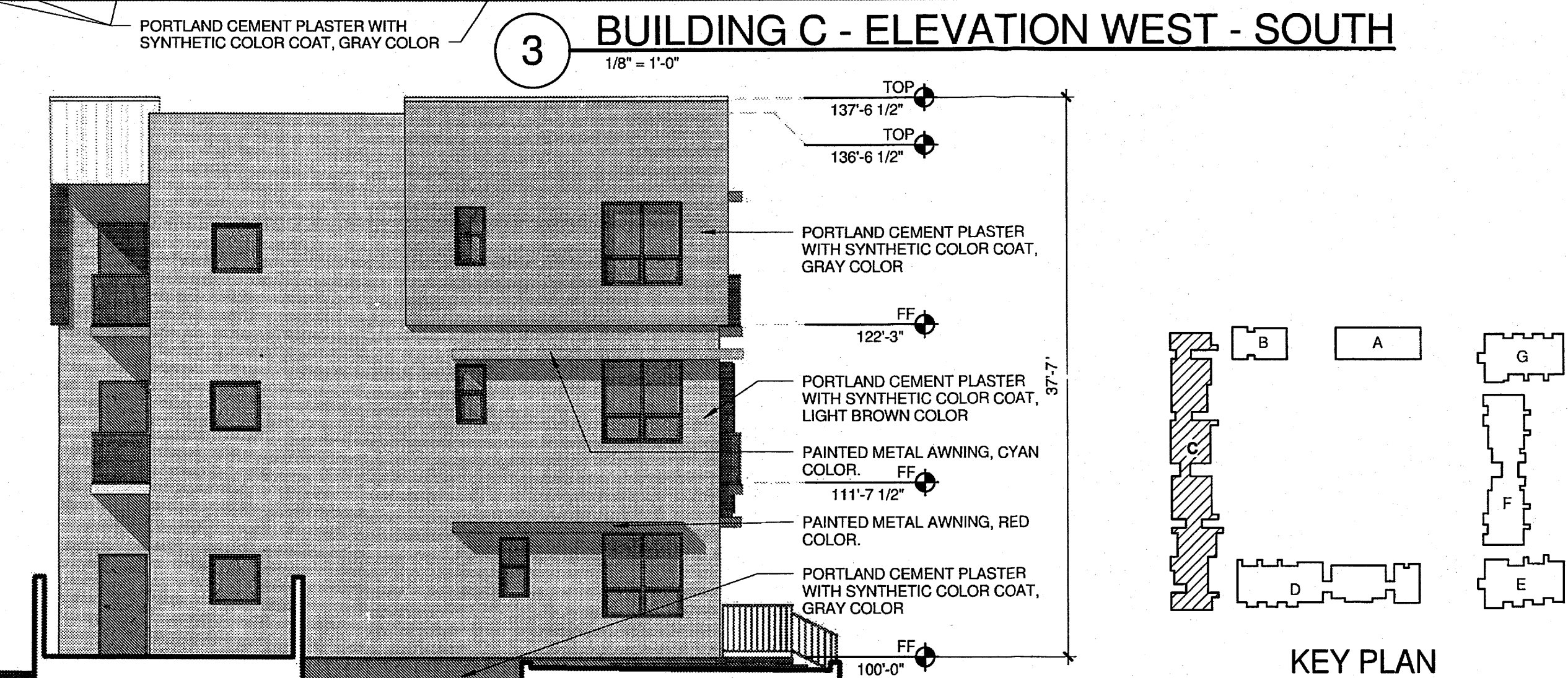
- GENERAL NOTES SHEETS 5.2 - 5.5**
1. ALL EXTERIOR WALL MATERIALS ARE STUCCO UNLESS NOTED OTHERWISE.
  2. ALL CMU WALLS SHALL HAVE A STUCCO FINISH.
  3. ALL NON-PERFORATED METAL PANELS SHALL BE METALLIC GRAY COLOR.
  4. PAINTED METAL AWNINGS SHALL BE BLUE, GREEN, YELLOW, RED, ORANGE, CYAN, AND PURPLE.
  5. ALL PERFORATED WALL PANELS SHALL BE BROWN.



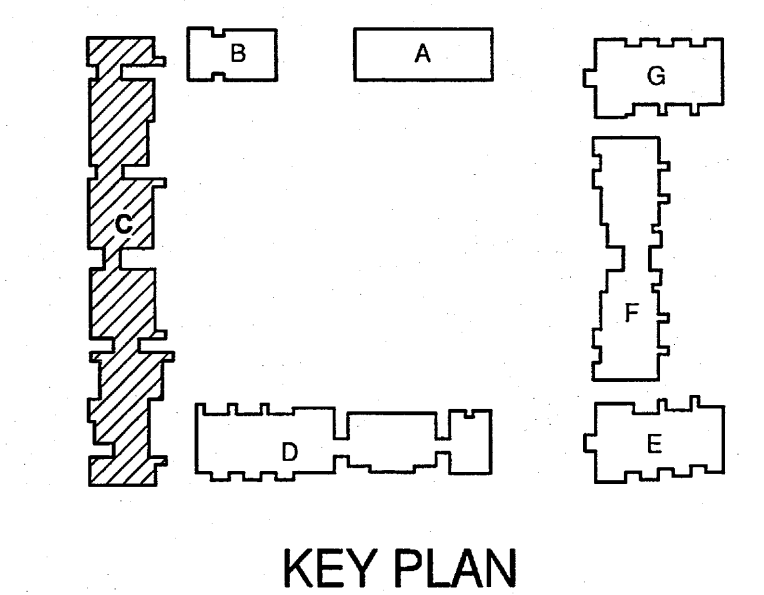
3 BUILDING C - ELEVATION WEST - SOUTH  
 1/8" = 1'-0"



1 BUILDING C - ELEVATION WEST - NORTH  
 1/8" = 1'-0"



2 BUILDING C - ELEVATION NORTH  
 1/8" = 1'-0"



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SHEET TITLE  
**BUILDING AND STRUCTURE ELEVATIONS  
 BUILDING C**

SHEET NUMBER

**5.2**



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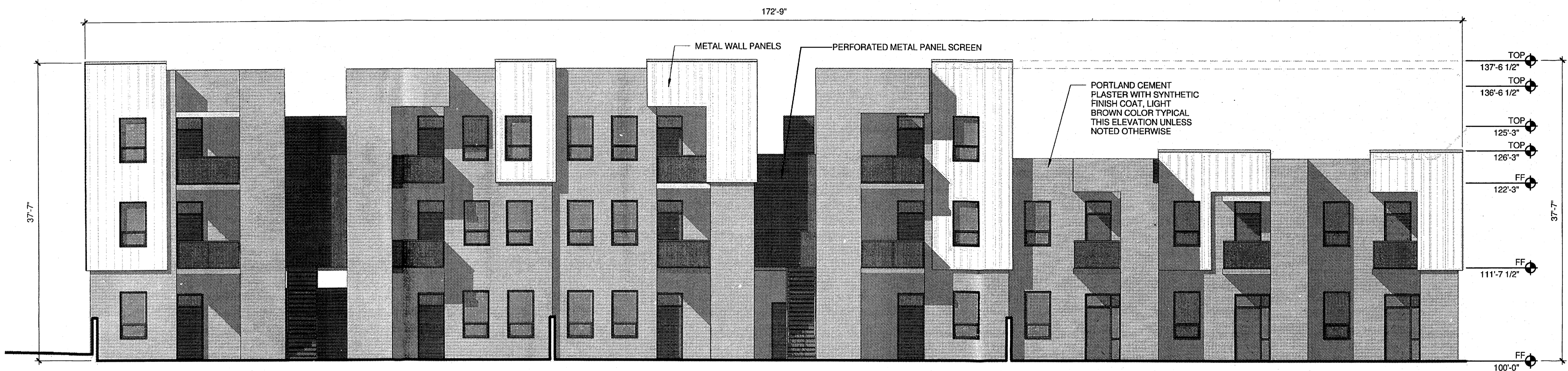
No.	Date	Description
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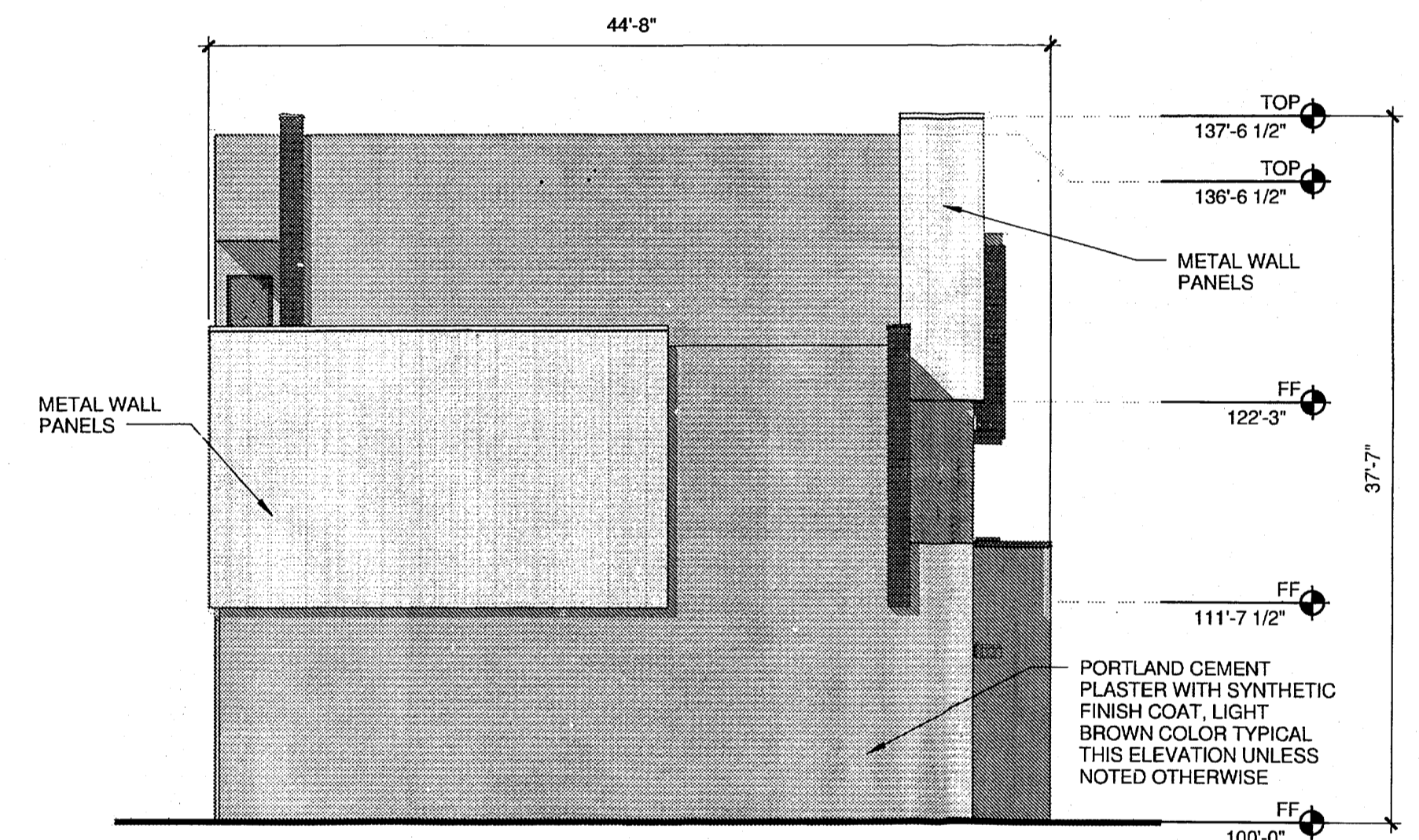
SHEET TITLE  
 BUILDING AND STRUCTURE ELEVATIONS  
 BUILDING D

SHEET NUMBER

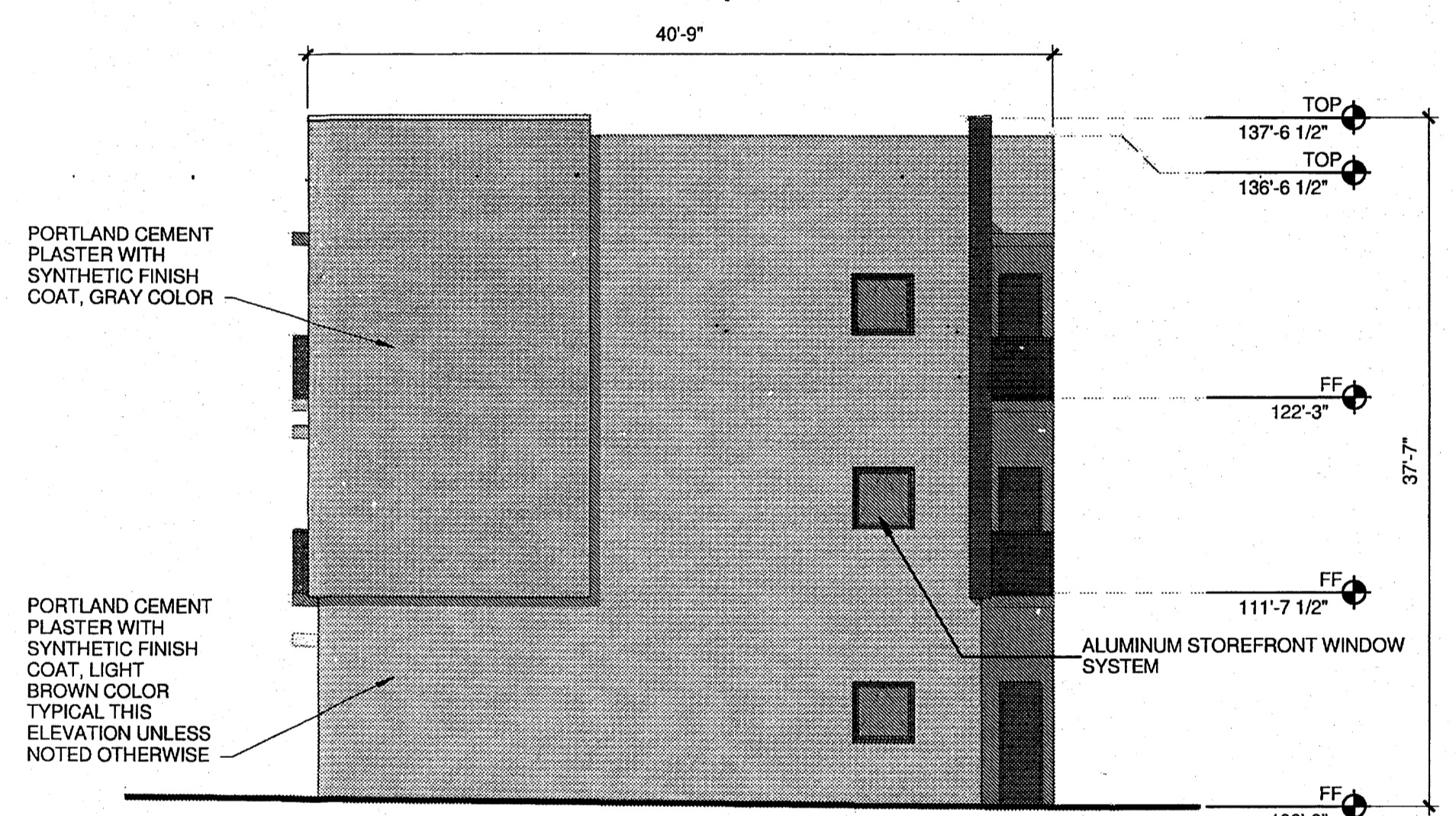
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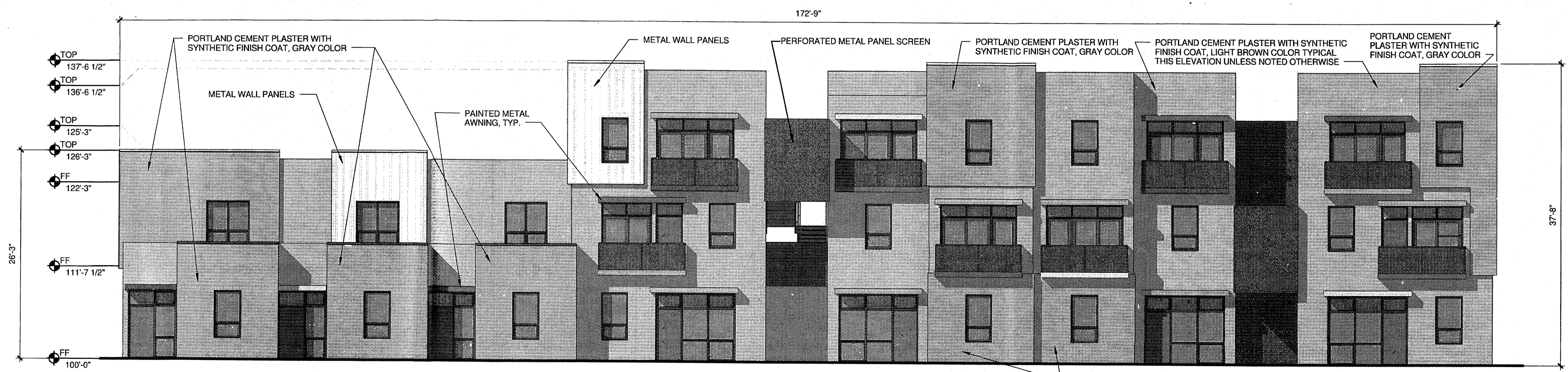
4 BUILDING D - ELEVATION NORTH  
 1/8" = 1'-0"



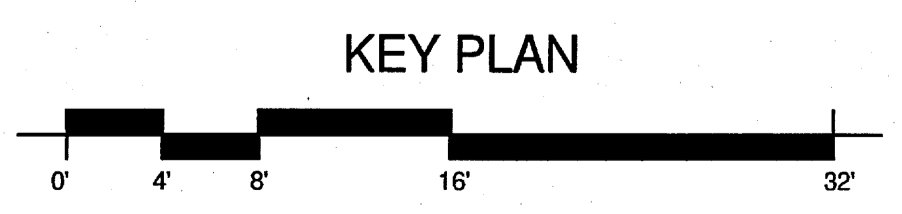
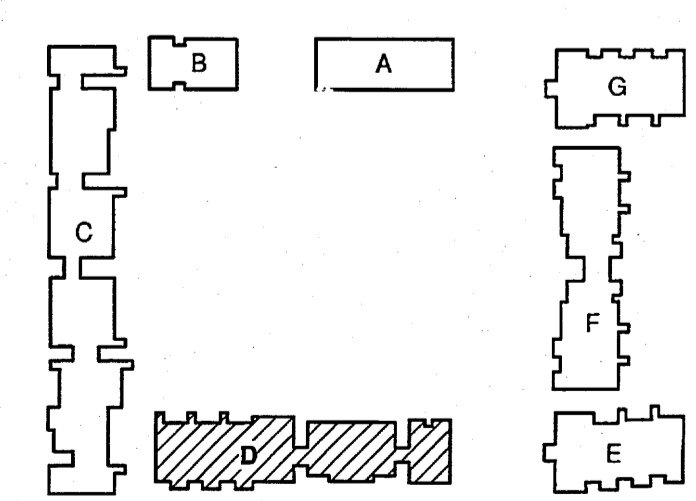
2 BUILDING D - ELEVATION WEST  
 1/8" = 1'-0"



3 BUILDING D - ELEVATION EAST  
 1/8" = 1'-0"



1 BUILDING D - ELEVATION SOUTH  
 1/8" = 1'-0"

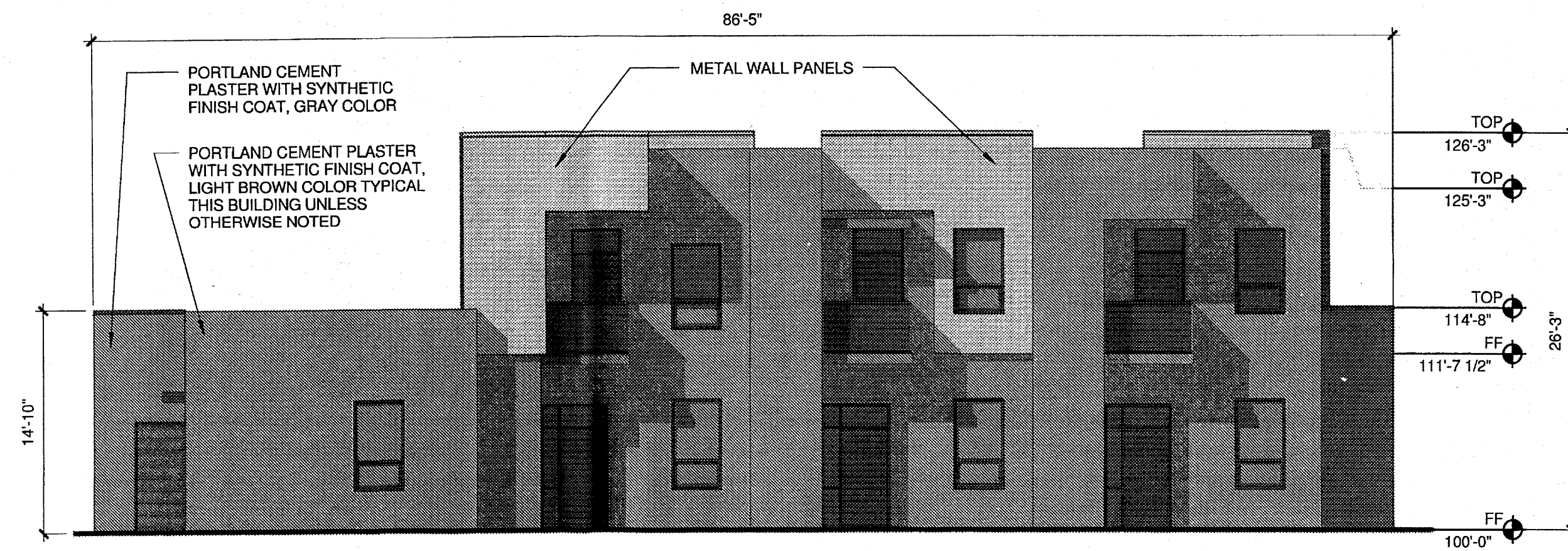




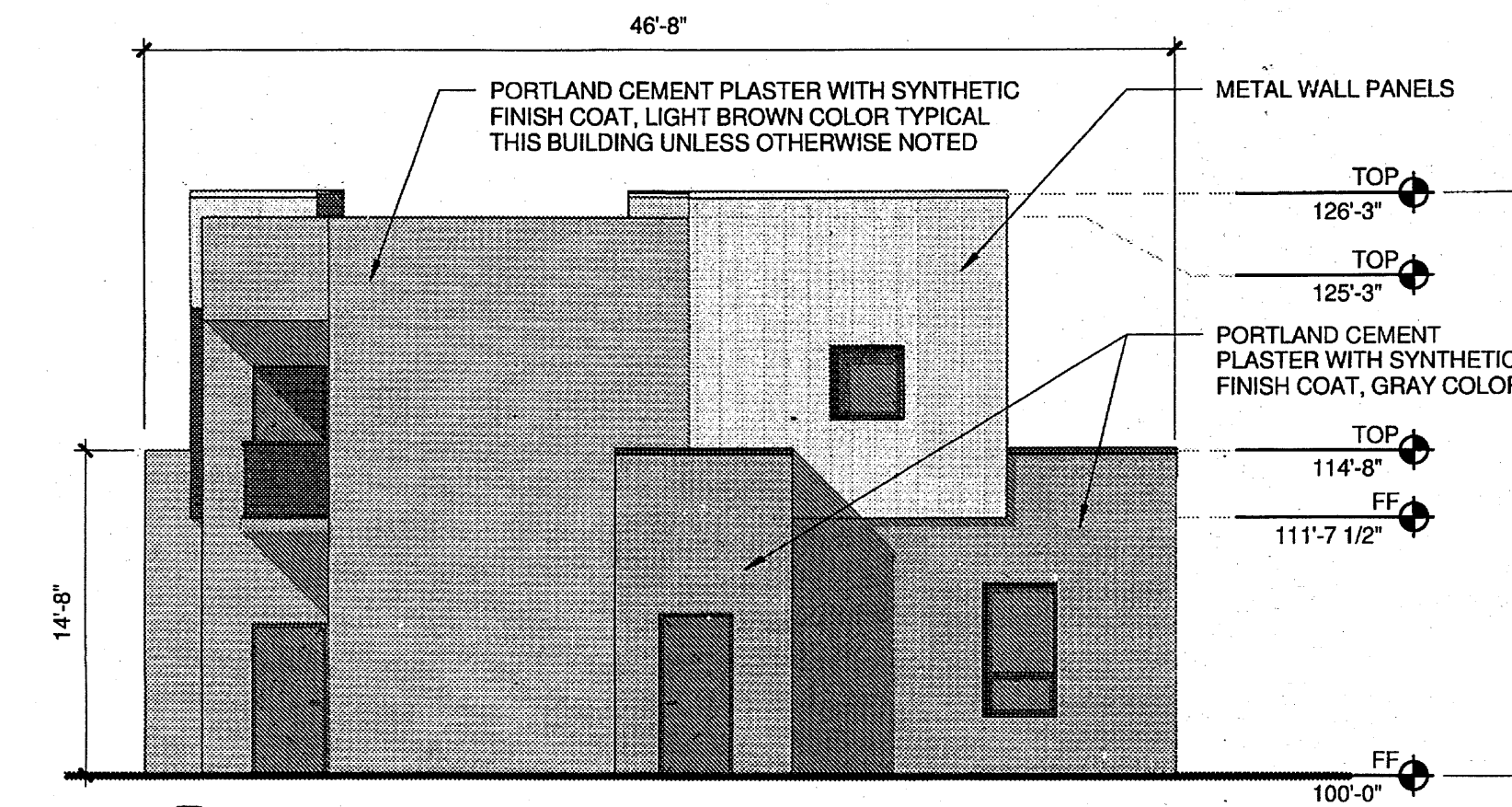
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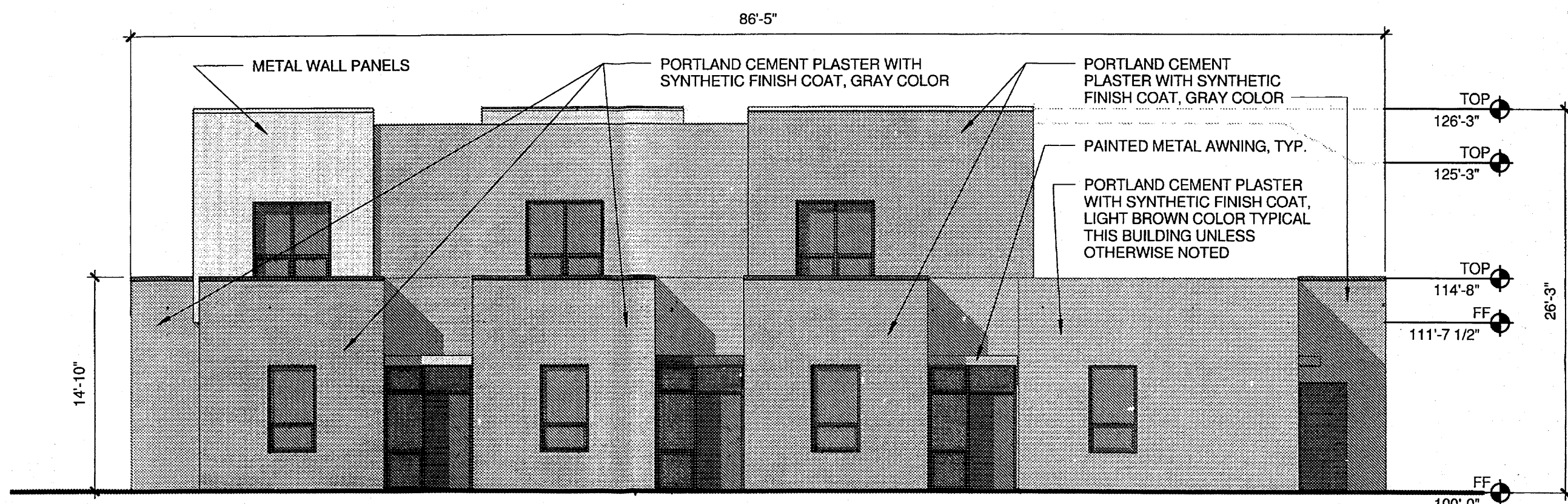
CONSULTANT



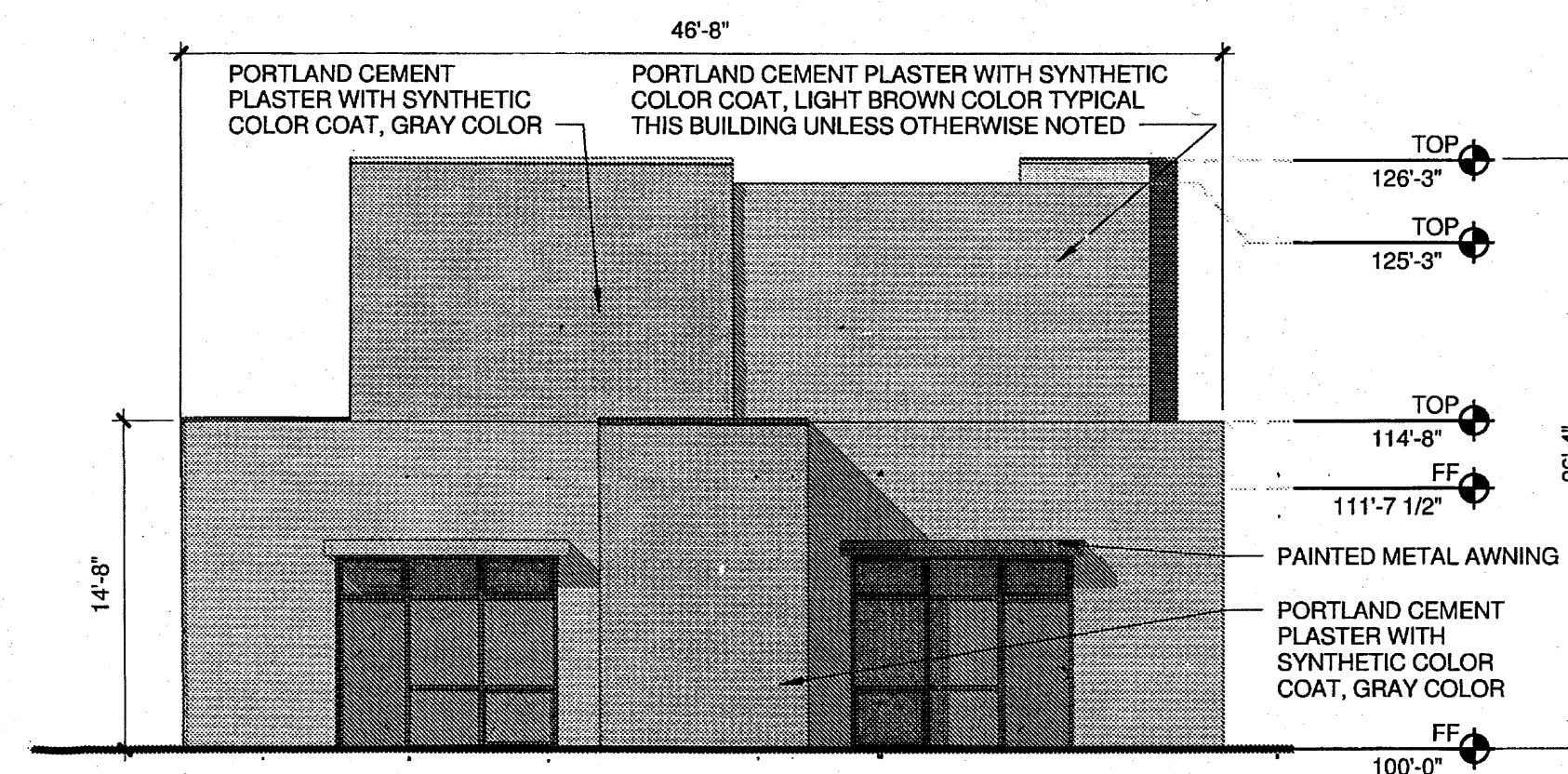
**7 BUILDING G - ELEVATION SOUTH**  
 1/8" = 1'-0"



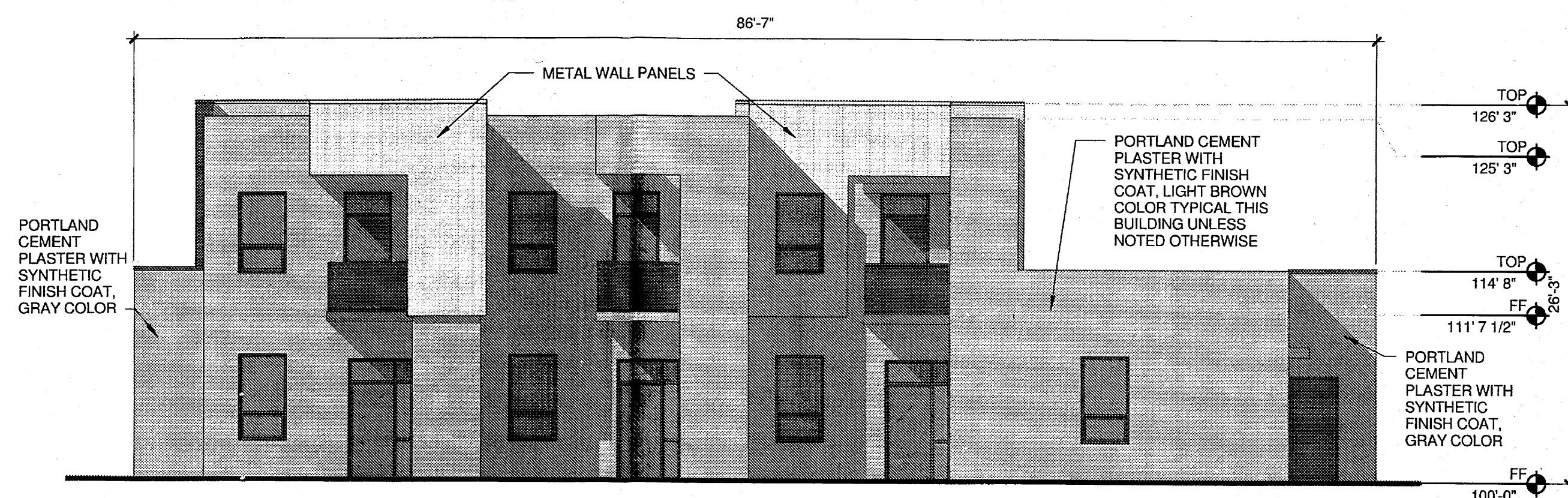
**8 BUILDING G - ELEVATION EAST**  
 1/8" = 1'-0"



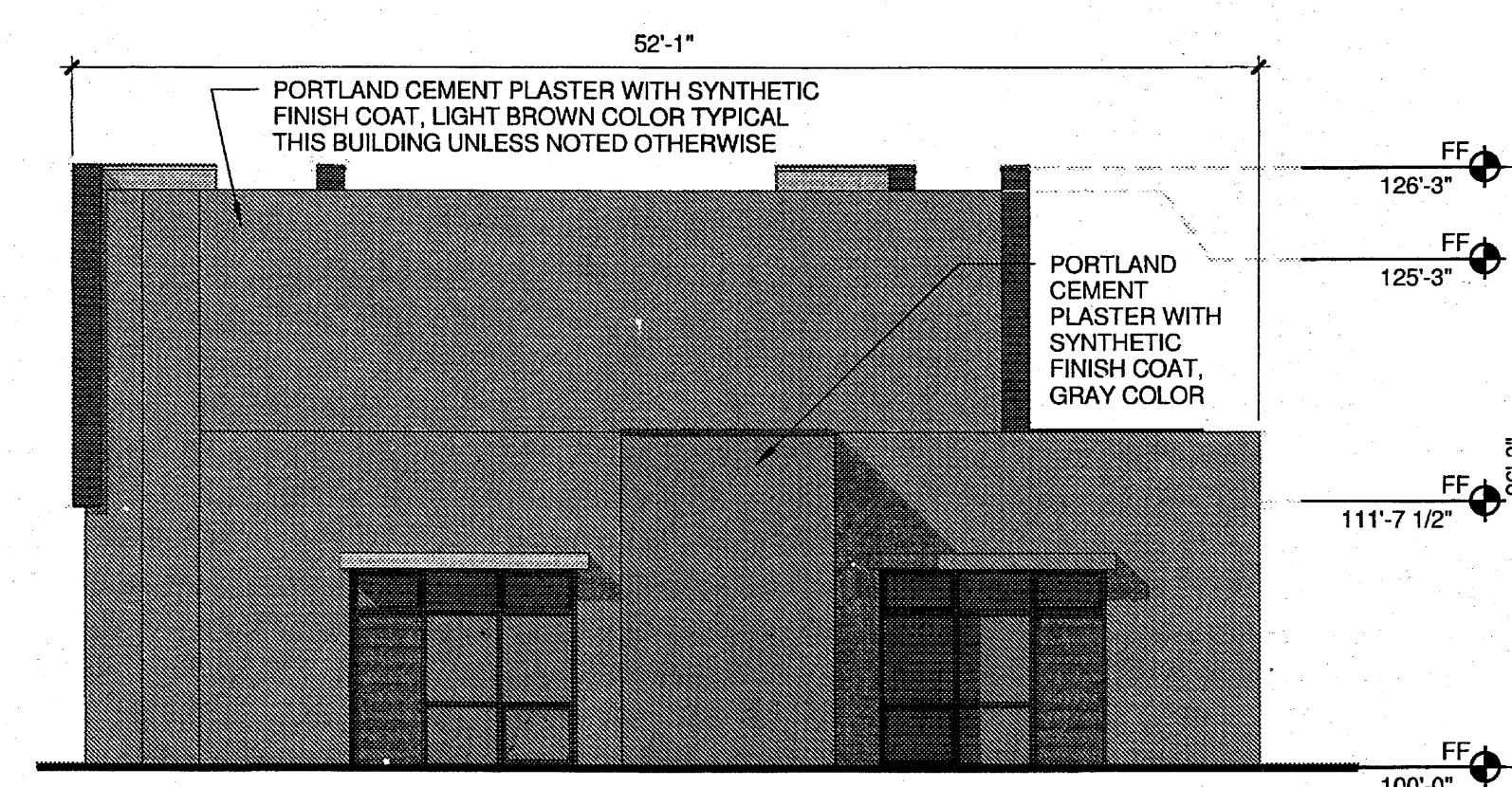
**5 BUILDING G - ELEVATION NORTH**  
 1/8" = 1'-0"



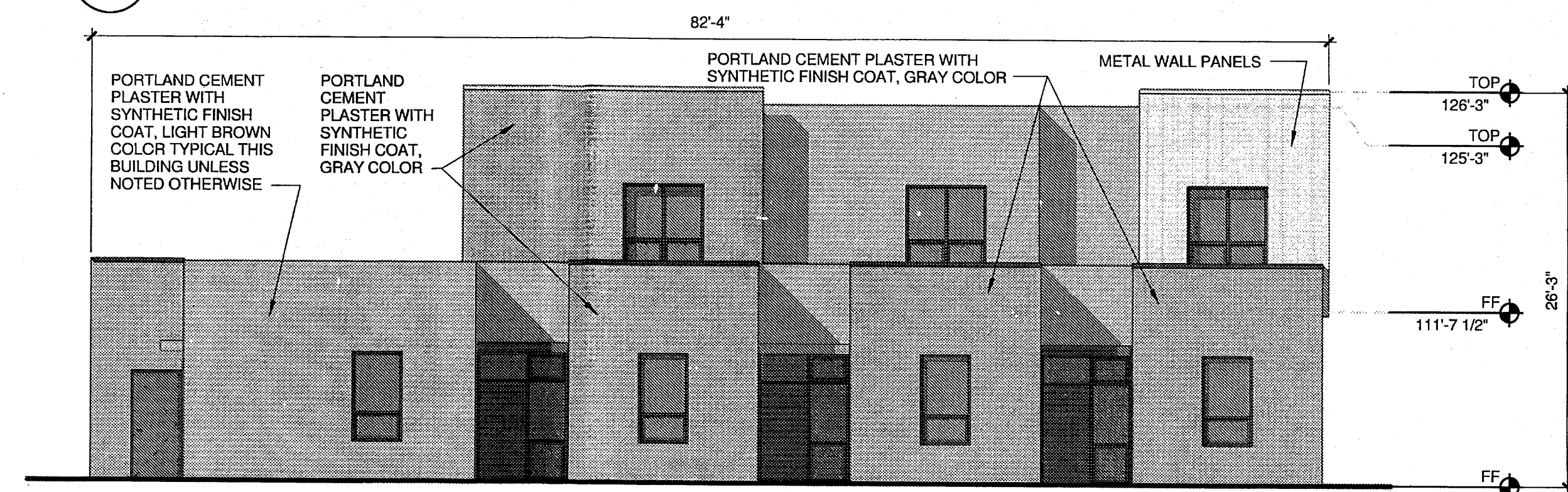
**6 BUILDING G - ELEVATION WEST**  
 1/8" = 1'-0"



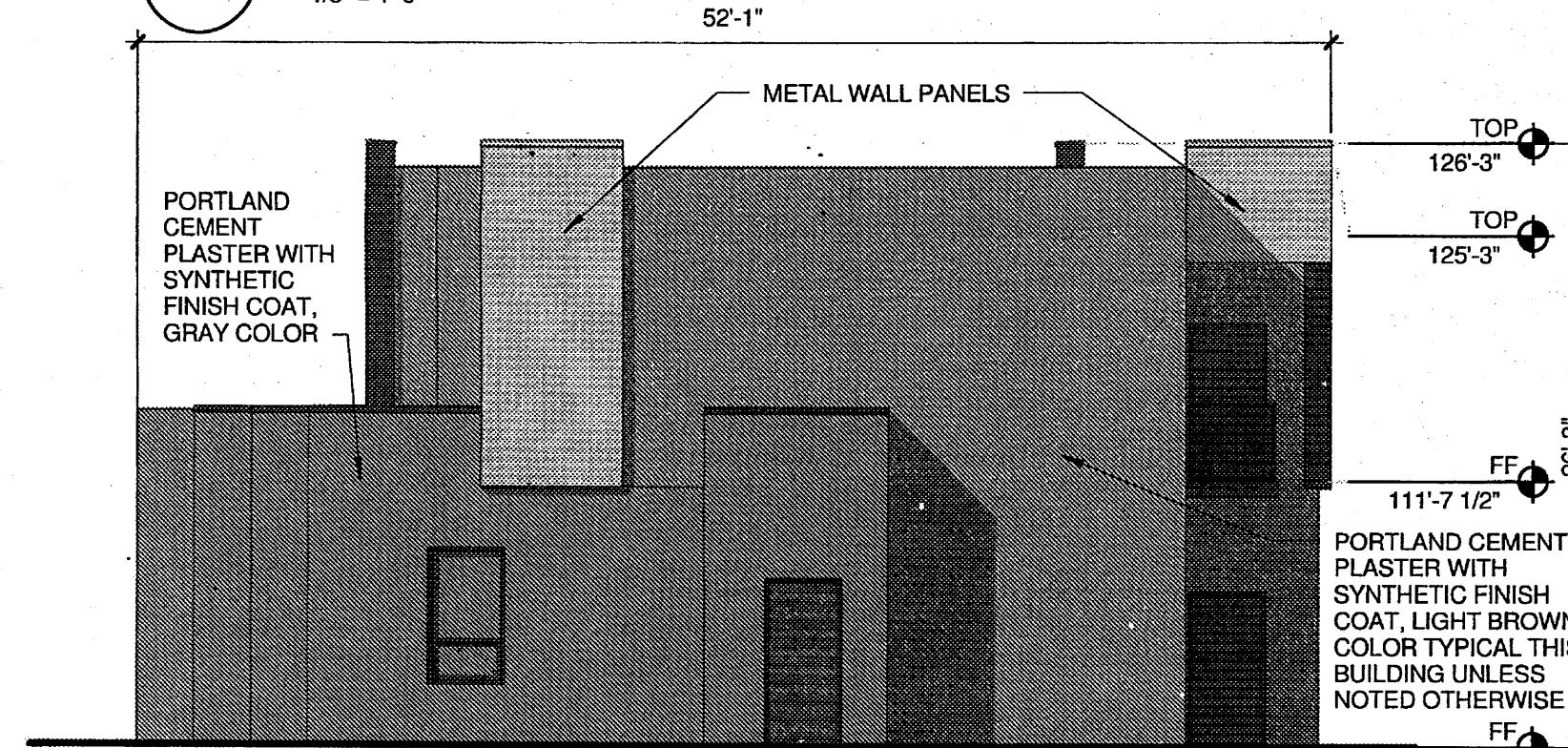
**3 BUILDING E - ELEVATION NORTH**  
 1/8" = 1'-0"



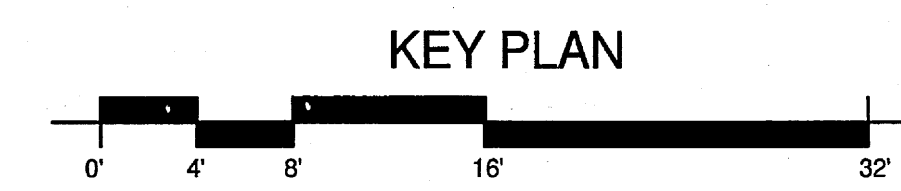
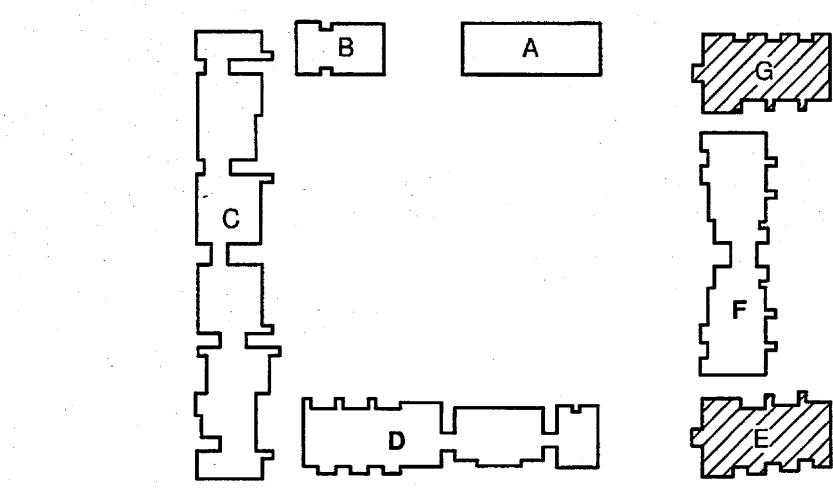
**4 BUILDING E - ELEVATION WEST**  
 1/8" = 1'-0"



**1 BUILDING E - ELEVATION SOUTH**  
 1/8" = 1'-0"



**2 BUILDING E - ELEVATION EAST**  
 1/8" = 1'-0"



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CAD file name	

SHEET TITLE  
**BUILDING AND STRUCTURE ELEVATIONS BUILDINGS E AND G**

SHEET NUMBER  
**5.4**



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1	9/21/2012	DRB COMMENTS

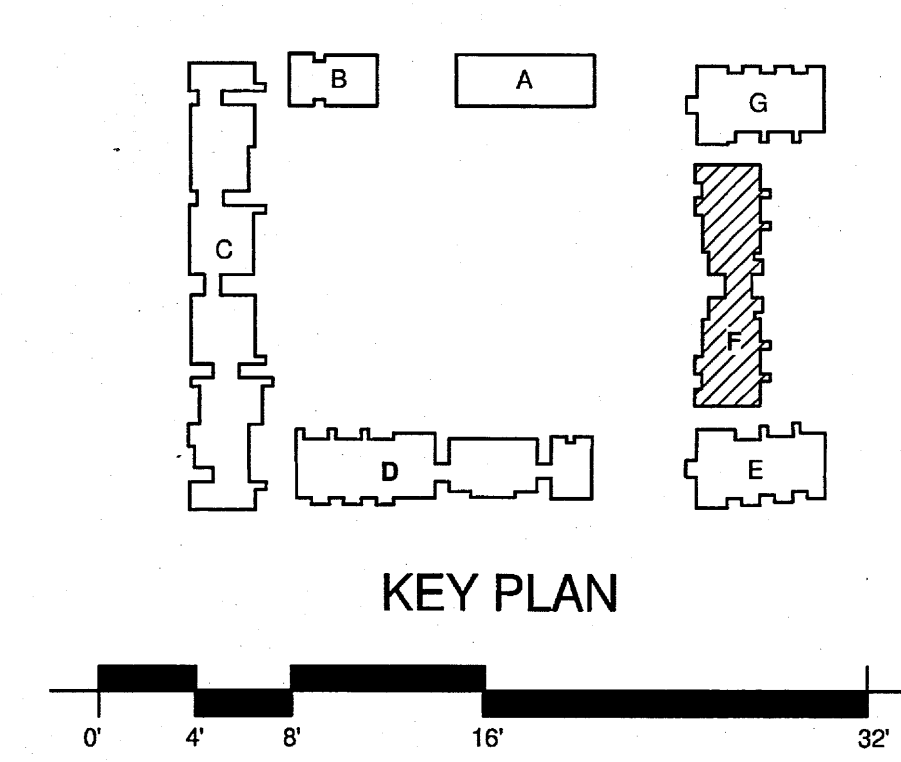
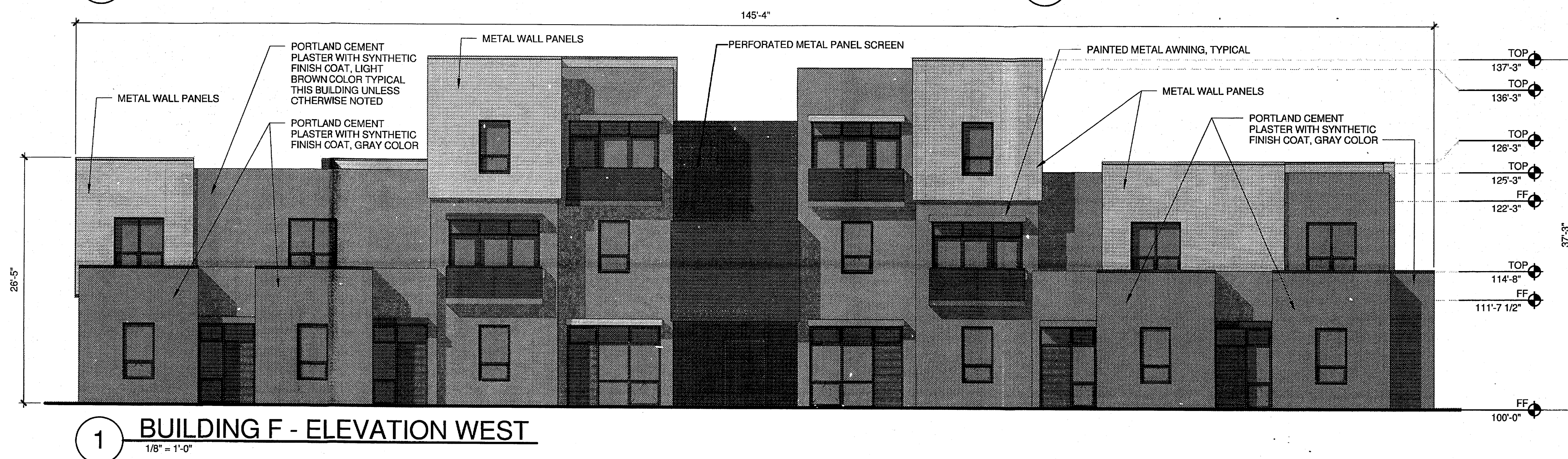
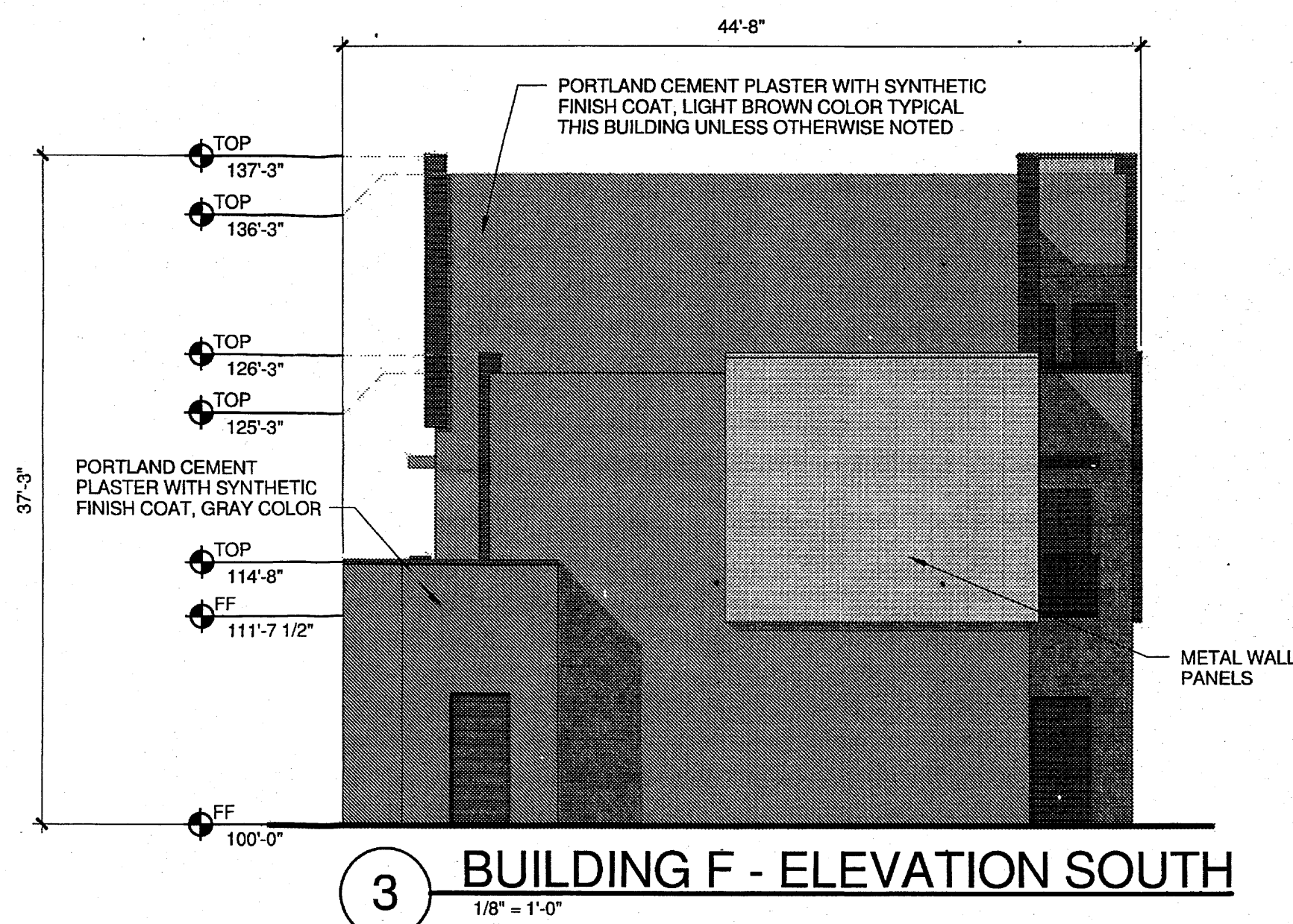
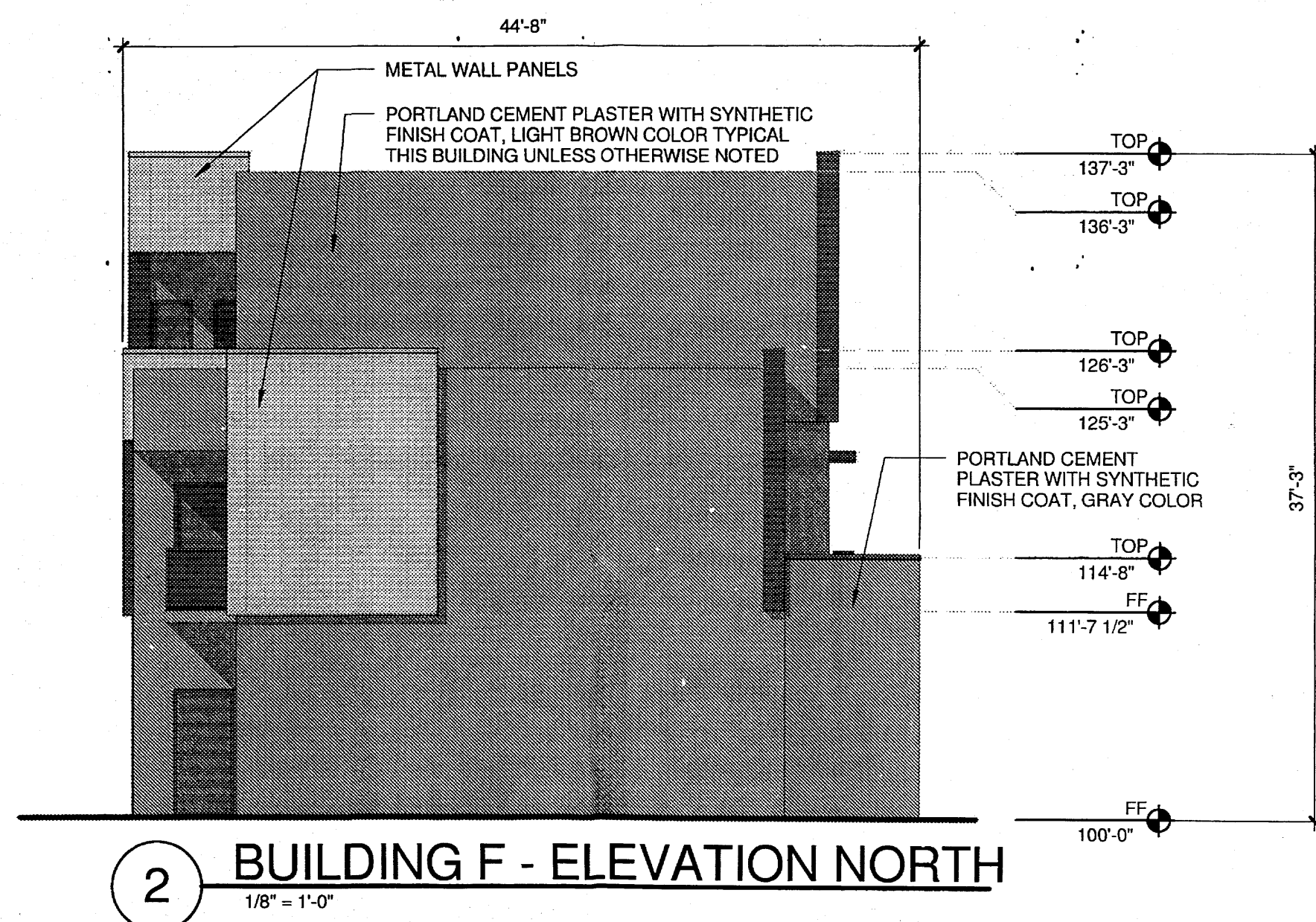
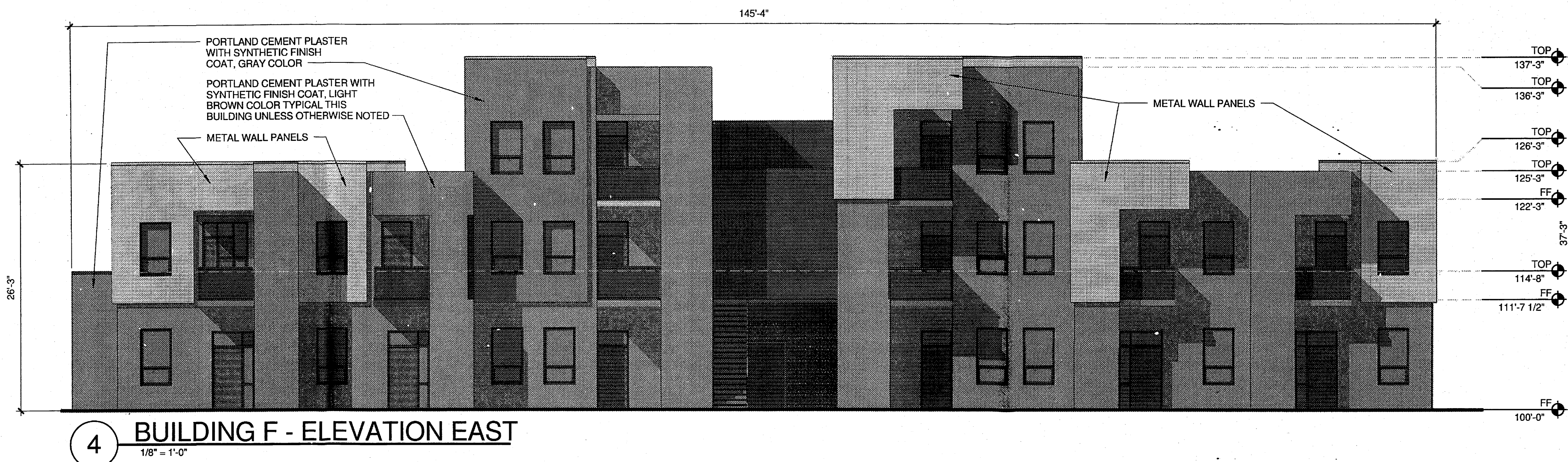
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 Project number 2439  
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SHEET TITLE  
 BUILDING AND STRUCTURE ELEVATIONS  
 BUILDING F

SHEET NUMBER

5.5







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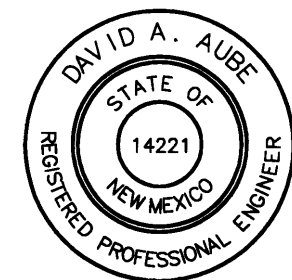
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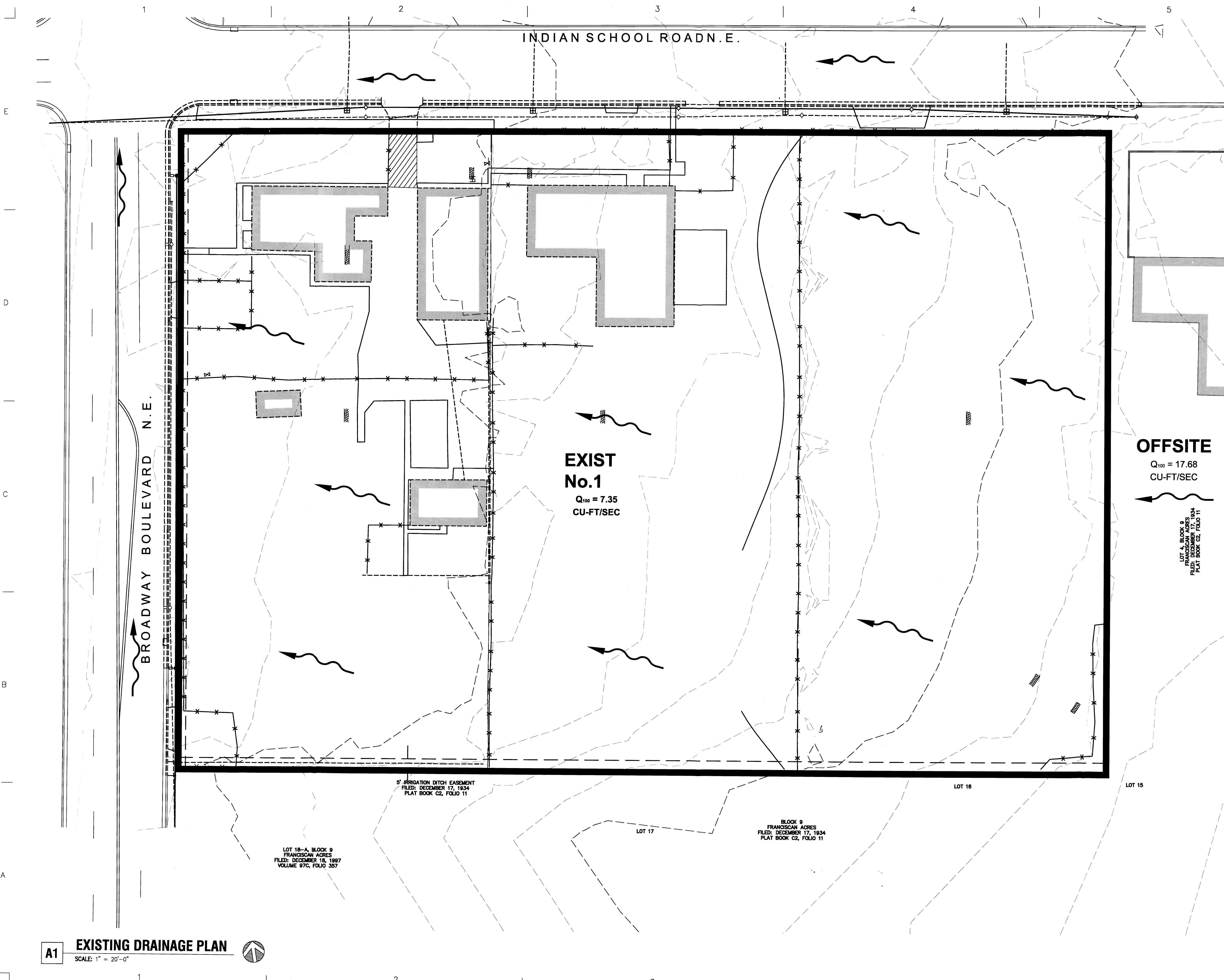
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SHEET TITLE:

SITE CONCEPTUAL  
DRAINAGE  
PLAN

SHEET NUMBER:

# CD2



## A1 EXISTING DRAINAGE PLAN

SCALE: 1" = 20'-0"





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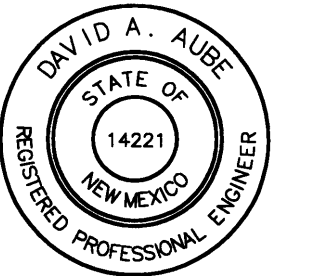
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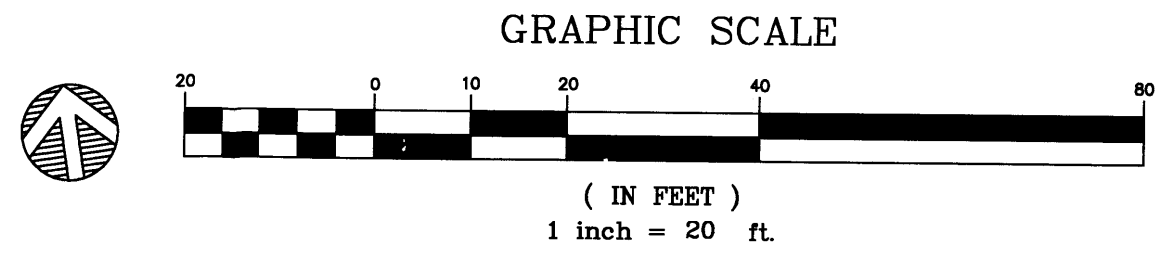
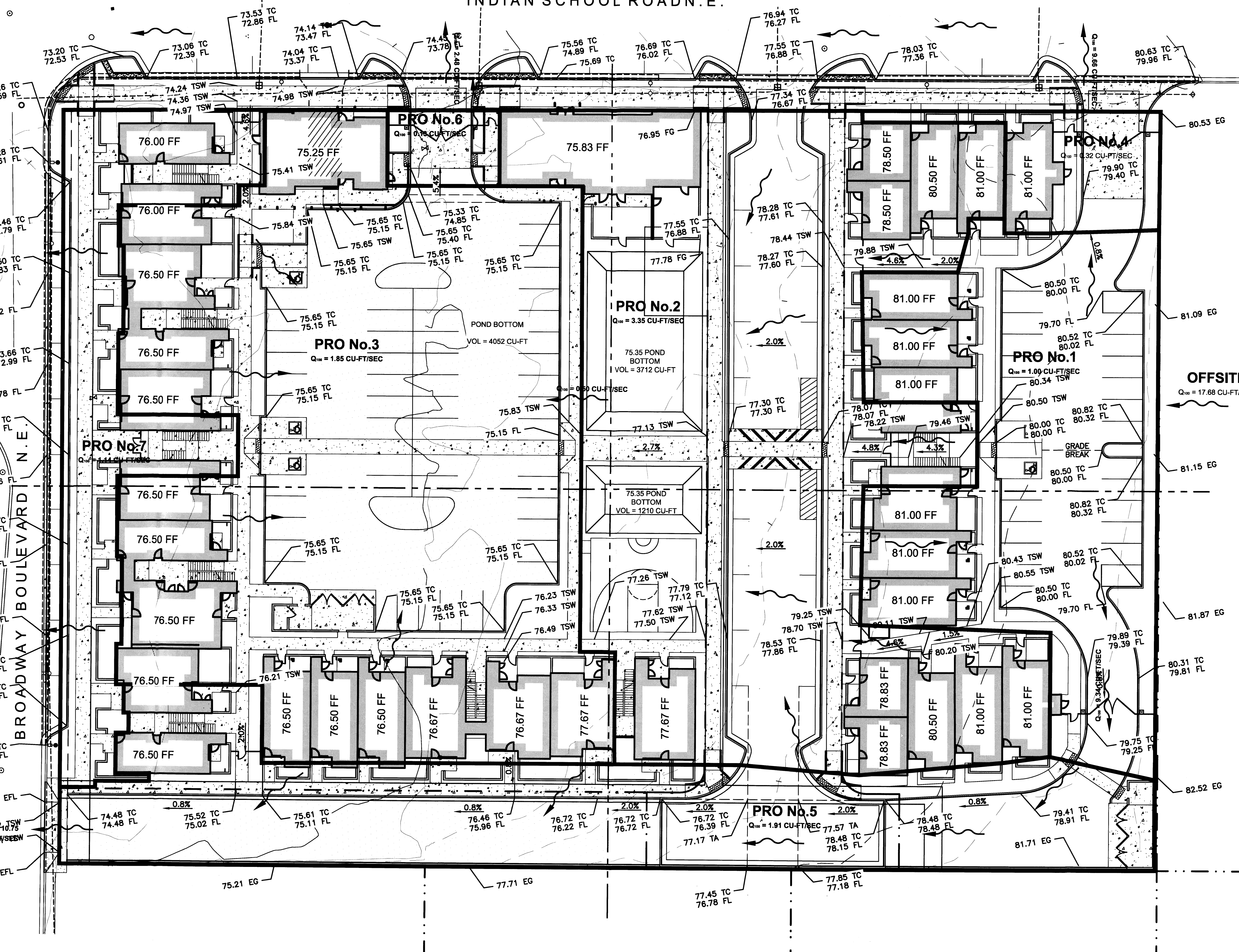
SHEET TITLE:

### GRADING AND DRAINAGE PLAN

SHEET NUMBER:

# CD3

## INDIAN SCHOOL ROAD N.E.



## A1 GRADING AND DRAINAGE PLAN

SCALE: 1" = 20'-0"

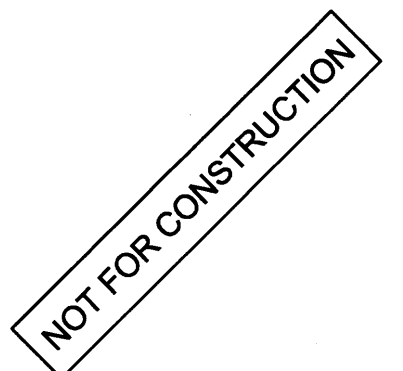


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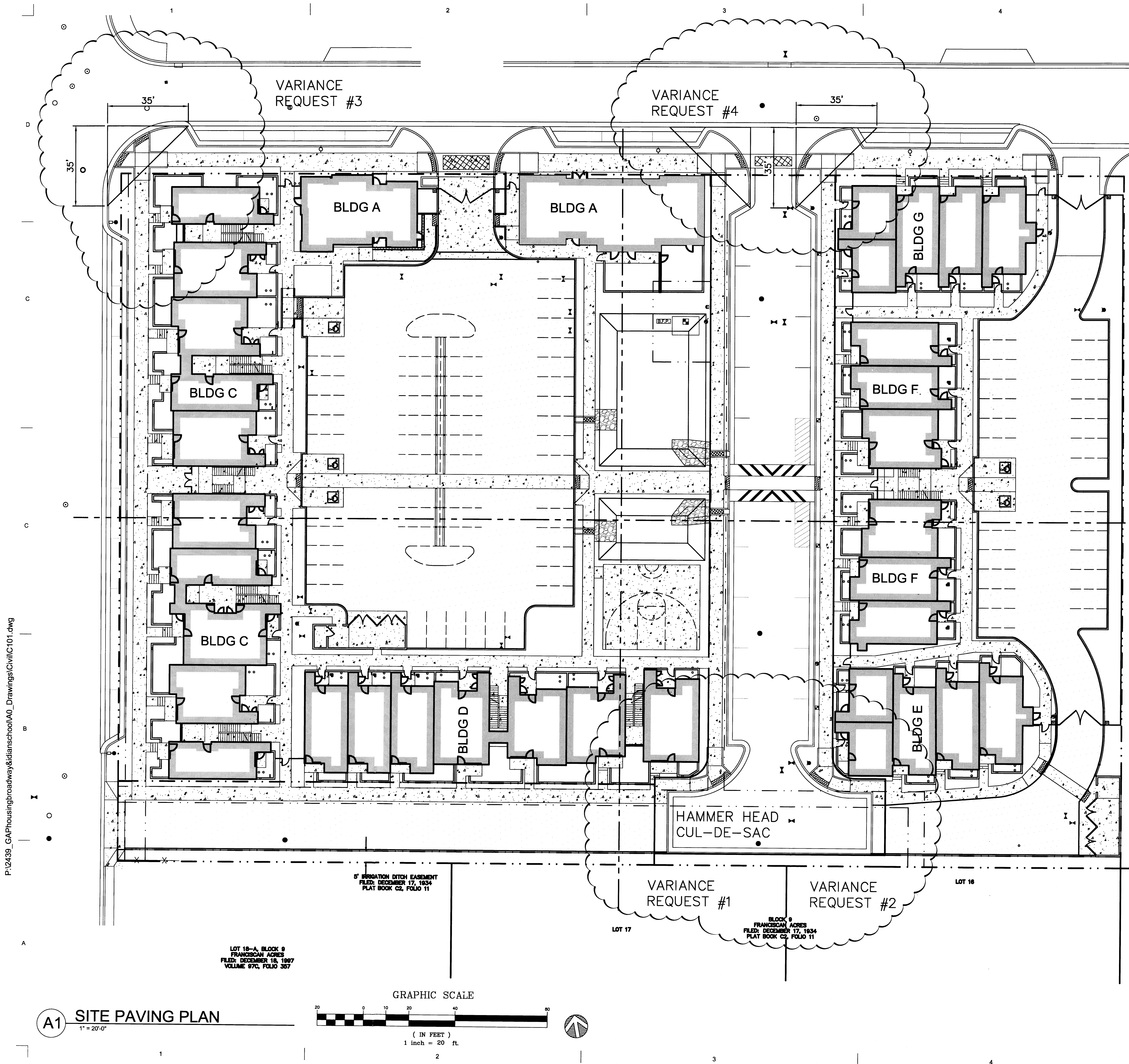
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 Date JULY 17, 2012  
 Project number 2439  
 CAD file name

SHEET TITLE

SITE PAVING PLAN

SHEET NUMBER

**C-101**



P:\2439\_GAP\housing\roadway&planschool\A0\_Drawings\Civil\C101.dwg

**A1** SITE PAVING PLAN

1" = 20'-0"