

BULK LAND PLAT OF
PARCEL A

PLAZA CIUDANA

(BEING A REPLAT OF LOTS 1 THRU 3, BLOCK 9, FRANCISCAN ACRES)

SITUATE WITHIN
THE TOWN OF ALBUQUERQUE GRANT
IN
PROJECTED SECTIONS 8 AND 9
TOWNSHIP 10 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

JULY, 2012

PROJECT NUMBER: 1007649

Application Number: _____

PLAT APPROVAL

UTILITY APPROVALS:

<i>Fernando Kijal</i> Public Service Company of New Mexico	8/28/2012 Date
<i>[Signature]</i> New Mexico Gas Company	8/28/2012 Date
<i>Rachelle Ote</i> Qwest Corporation d/b/a CenturyLink QC.	8-28-12 Date
<i>[Signature]</i> Comcast	8/28/12 Date

CITY APPROVALS:

<i>[Signature]</i> City Surveyor Department of Municipal Development	7-11-12 Date
N/A Real Property Division	Date
N/A Environmental Health Department	Date
<i>[Signature]</i> Traffic Engineering, Transportation Division	08-08-12 Date
<i>Allen Pate</i> ABCWUA	08/08/12 Date
<i>Carol S. Dumont</i> Parks and Recreation Department	8-8-12 Date
<i>Auto Chen</i> AMAFCA	8-8-12 Date
<i>Auto Chen</i> City Engineer	8-8-12 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	8-30-12 Date

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid,
on the following: 1014-059-493093-41415

1014-059-511081-41414
Greater Albuquerque Housing
[Signature] 8/30/12
Bernalillo County Treasurer Date

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest Corporation d/b/a CenturyLink QC. for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

DISCLAIMER

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

PURPOSE OF PLAT

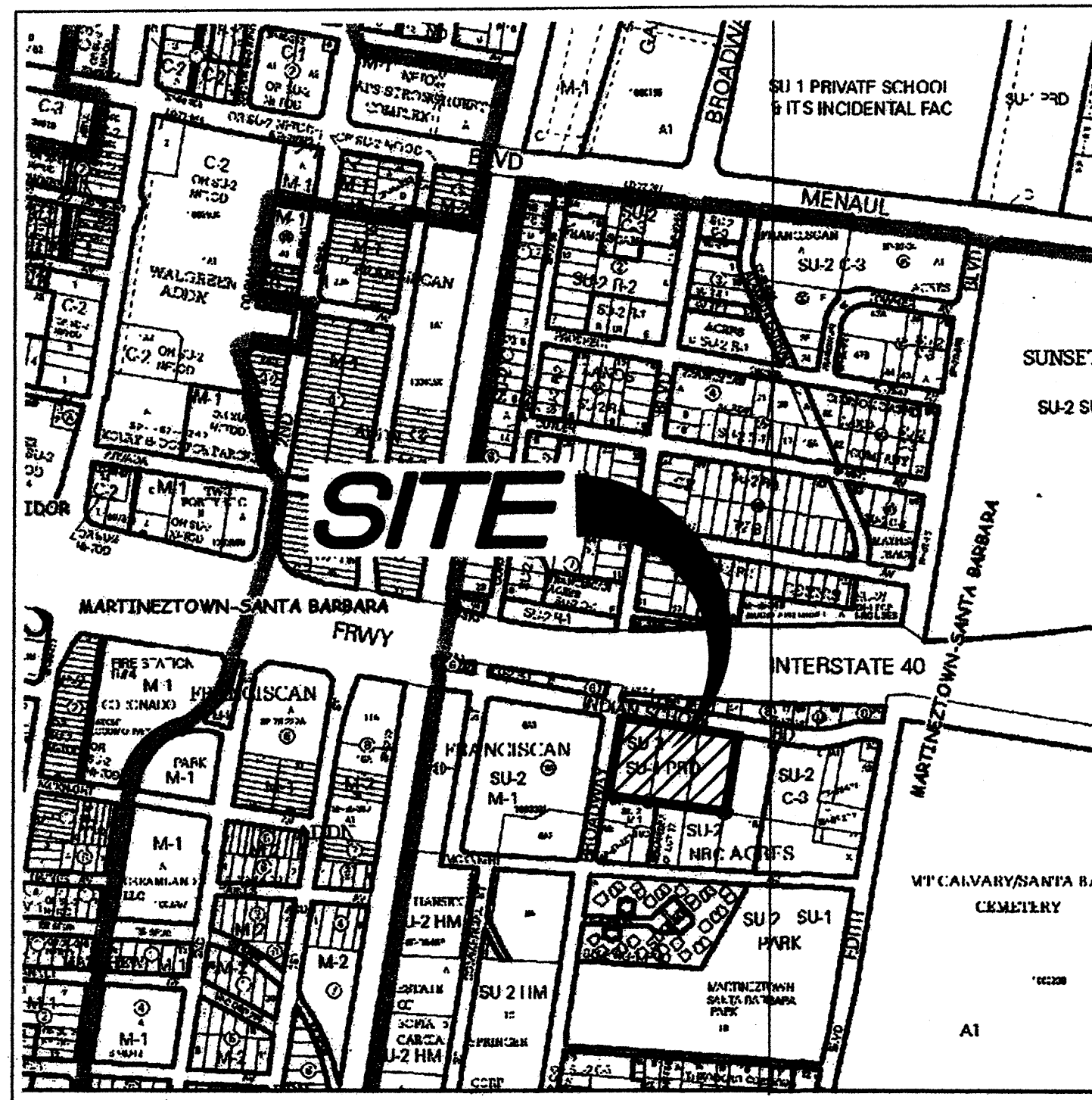
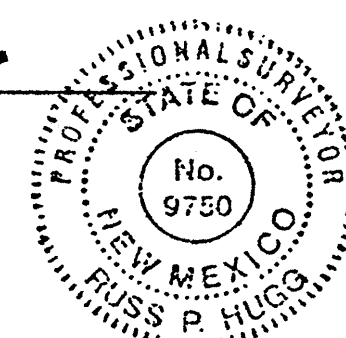
The purpose of this plat is to:

- Eliminate the existing lot lines between Lots 1 and 2, Block 9, Franciscan Acres and create 3 new Parcels.
- Dedicate the Public Street right of way as shown hereon.
- Grant the Public Easements as shown hereon.

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
NMRS No. 9750
July 9, 2012



VICINITY MAP
Not To Scale

GENERAL NOTES

- Bearings are grid and based on the New Mexico State Plane Coordinate System, Central Zone (NAD83).
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- City of Albuquerque Zone Atlas Page H-14-Z.

SUBDIVISION DATA

- Total number of existing Lots: 3
- Total number of Parcels created: 1
- Public street right of way dedicated 0.0044 Ac.
- Gross Subdivision acreage: 2.9991 acres

DOCH 2012089584
08/30/2012 11:12 AM Page: 1 of 3
PLAT R: \$25.00 B: 2012C P: 0101 M: Toulous Olivere, Bernalillo Co

SURVOTEK, INC.
Consulting Surveyors

BULK LAND PLAT OF
PARCEL A
PLAZA CIUDANA

(BEING A REPLAT OF LOTS 1 THRU 3, BLOCK 9, FRANCISCAN ACRES)

SITUATE WITHIN
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NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

JULY 2012

LEGAL DESCRIPTION

That certain parcel of land situate within the Town of Albuquerque Grant, in Projected Sections 8 and 9, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising and being Lots 1, 2 and 3, Block 9, Franciscan Acres, as the same is shown and designated on the plat entitled "REPLAT OF THE SUBDIVISION, RESUBDIVISION AND REPLAT OF CERTAIN TRACT OF LAND IN BERNALILLO COUNTY DESIGNATED AS FRANCISCAN ACRES, NEW MEXICO ENGINEERING CO., ALBUQUERQUE, N.M., SCALE 1"=200', NOV. 15, 1934", filed in the office of the County Clerk of Bernalillo County on December 17, 1934, in Volume C2, Folio 11, and being more particularly described by survey performed by Russ P. Hugg, New Mexico Surveyor Number 9750, using New Mexico State Plane Grid Bearings (Central Zone - NAD 83) and ground distances as follows:

BEGINNING at the northwesterly corner of the parcel herein described (a chiseled "X" found in place), said point also being the northwesterly corner of said Lot 1, Block 9, Franciscan Acres, and also being the intersection of the easterly right of way line of Broadway Boulevard N.E., and the southerly right of way line of Indian School Road N.E., whence Albuquerque Control Survey Monument "5-J13A" bears S 74°00'30" W, 8,281.11 feet distant; Thence, along said southerly right of way line of Indian School Road N.E.,

S 80°52'44" E, 145.09 feet to a point (a 5/8" rebar with cap stamped "LS 5823" found in place) said point also being the northeasterly corner of said Lot 1, Block 9, Franciscan Acres, and also being the northwesterly corner of said Lot 2, Block 9, Franciscan Acres; Thence,

S 80°49'46" E, 145.19 feet to a point (a 5/8" rebar with cap stamped "LS 9750" found in place), said point also being the northeasterly corner of said Lot 2, Block 9, Franciscan Acres, and also being the northwesterly corner of said Lot 3, Block 9, Franciscan Acres; Thence,

S 80°35'41" E, 145.66 feet to the northeasterly corner of the parcel herein described (a 5/8" rebar with cap stamped "LS 3241" found in place), said point also being the northeasterly corner of said Lot 3, Block 9, Franciscan Acres, and also being the northwesterly corner of Lot 4, Block 9, Franciscan Acres, of said Plat filed in Volume C2, Folio 11; Thence,

S 09°19'39" W, 299.40 feet to the southeasterly corner of the parcel herein described (a 2" iron pipe found in place), said point also being the southeasterly corner of said Lot 3, Block 9, Franciscan Acres, and also being the southwesterly corner of said Lot 4, Block 9, Franciscan Acres, and also being the northeasterly corner of Lot 16, Block 9, Franciscan Acres, of said plat filed in Volume C2, Folio 11; Thence,

N 80°49'46" W, 290.03 feet to a point (a 5/8" rebar with cap stamped "LS 9750" set in place) said point also being the southwesterly corner of said Lot 2, Block 9, Franciscan Acres, and also being the southeasterly corner of said Lot 1, Block 9, Franciscan Acres, and also being a point on the northerly boundary of Lot 18-A, Block 9, Franciscan Acres, of plat filed December 18, 1997, in Volume 97C, Folio 357; Thence,

N 80°51'33" W, 145.26 feet the southwesterly corner of the parcel herein described (a 1" iron pipe found in place), said point also being the southwesterly corner of said Lot 1, Block 9, Franciscan Acres, and also being the northwesterly corner of said Lot 18-A, Block 9, Franciscan Acres, and also being a point on said easterly right of way line of Broadway Boulevard N.E.; Thence,

N 09°12'09" E, 299.95 feet to the point of beginning.

Said parcel contains 2.9991 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising BULK LAND PLAT OF PARCEL A, PLAZA CIUDANA (BEING A REPLAT OF LOTS 1 THRU 3, BLOCK 9, FRANCISCAN ACRES) SITUATE WITHIN THE TOWN OF ALBUQUERQUE GRANT IN PROJECTED SECTIONS 8 AND 9, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, COUNTY, NEW MEXICO", with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby dedicate the public street right of way as shown hereon to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby grant the public and private easements as shown hereon. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

Greater Albuquerque Housing Partnership

[Signature]

By: Louis Kolker, Executive Director

ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 11 day of July, 2012, by Louis Kolker as Executive Director of The Greater Albuquerque Housing Partnership.

[Signature]
Notary Public

My commission expires June 30, 2015

SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

NOTICE OF SUBDIVISION PLAT CONDITIONS

PARCEL A, PLAZA CIUDANA

The plat of PARCEL A, PLAZA CIUDANA has been granted a variance or waiver from certain subdivision requirements pursuant to Section 7 of the City of Albuquerque Subdivision Ordinance.

Future subdivision of lands within this plat, zoning Site Development Plan approvals, and development permits may be conditioned upon dedication of right-of-way and easements, and/or upon infrastructure improvements by the owner for water, sanitary sewer, streets, drainage, grading, and parks in accordance with current resolutions, ordinances, and policies in effect at the time for any specific proposal.

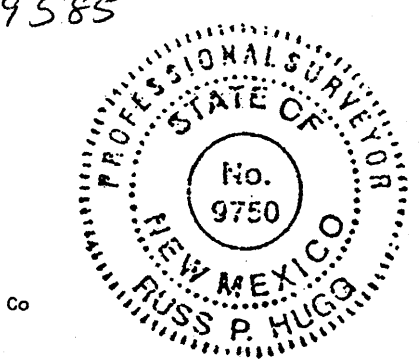
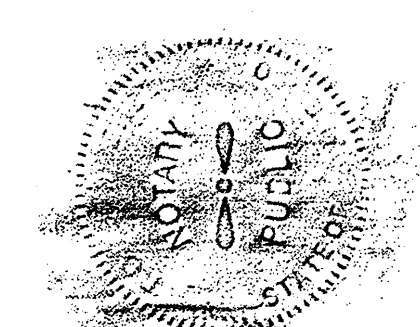
The City and AMAFCA (with reference to drainage) may require and/or permit easements to be added, modified, or removed when future plats and/or Site Development Plans are approved.

By its approval of this subdivision, the City makes no representation or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: water and sanitary sewer availability; future street dedications and/or improvements; park and open space requirements; drainage requirements and/or improvements; and excavation, filling, or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

At such time as all such conditions have been satisfactorily met, the City Engineer shall approve a recordable document, removing such conditions from all of from a portion of the area within the subject subdivision.

Note: There is a Notice of subdivision plat conditions for PARCEL A, PLAZA CIUDANA, filed in the office of the County Clerk of Bernalillo County, New Mexico on July 20, 2012 in Book 416251-20, page 3

Doc # 2012089585



DOCH 2012089584
08/30/2012 11:12 AM Page: 2 of 3
PLAT R: \$25.00 B: 20120 P: 0101 R: Taulous Olivera, Bernalillo Co
RUSS P. HUGG

SHEET 2 OF 3

SURV TEK, INC.
Consulting Surveyors

120239.dwg Phone: 505-897-3366
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377

BULK LAND PLAT OF
PARCEL A
PLAZA CIUDAÑA

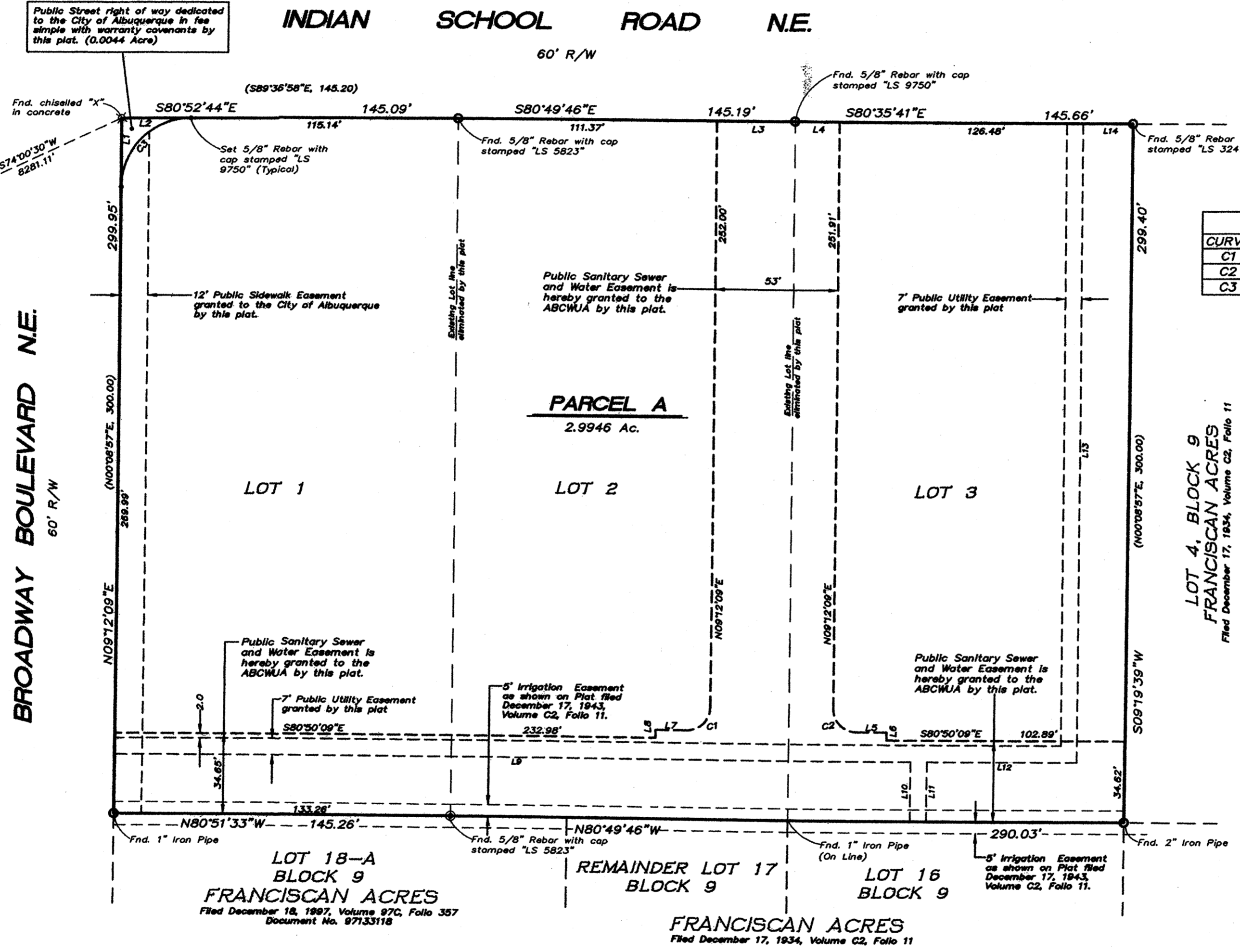
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NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
 JULY 2012

NOTE PERTAINING TO PARK AREAS:
 All Park Areas are Private Parks for the benefit and use of the residents. Maintenance of all grounds, including all landscaping shall be the owner(s) responsibility.

Albuquerque Control Survey Monument "S-J13A"
 New Mexico State Plane Coordinates
 Central Zone - NAD 83
 North= 1,491,318.377 feet
 East= 1,515,633.327 feet
 Elevation= 4960.499 feet (NAVD 1988)
 Delta Alpha= -0014'23.54"
 Ground to Grid Factor= 0.999684462

Public Street Right of way dedicated to the City of Albuquerque in fee simple with warranty covenants by this plat. (0.0044 Acre)

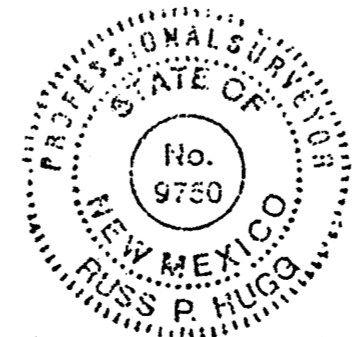
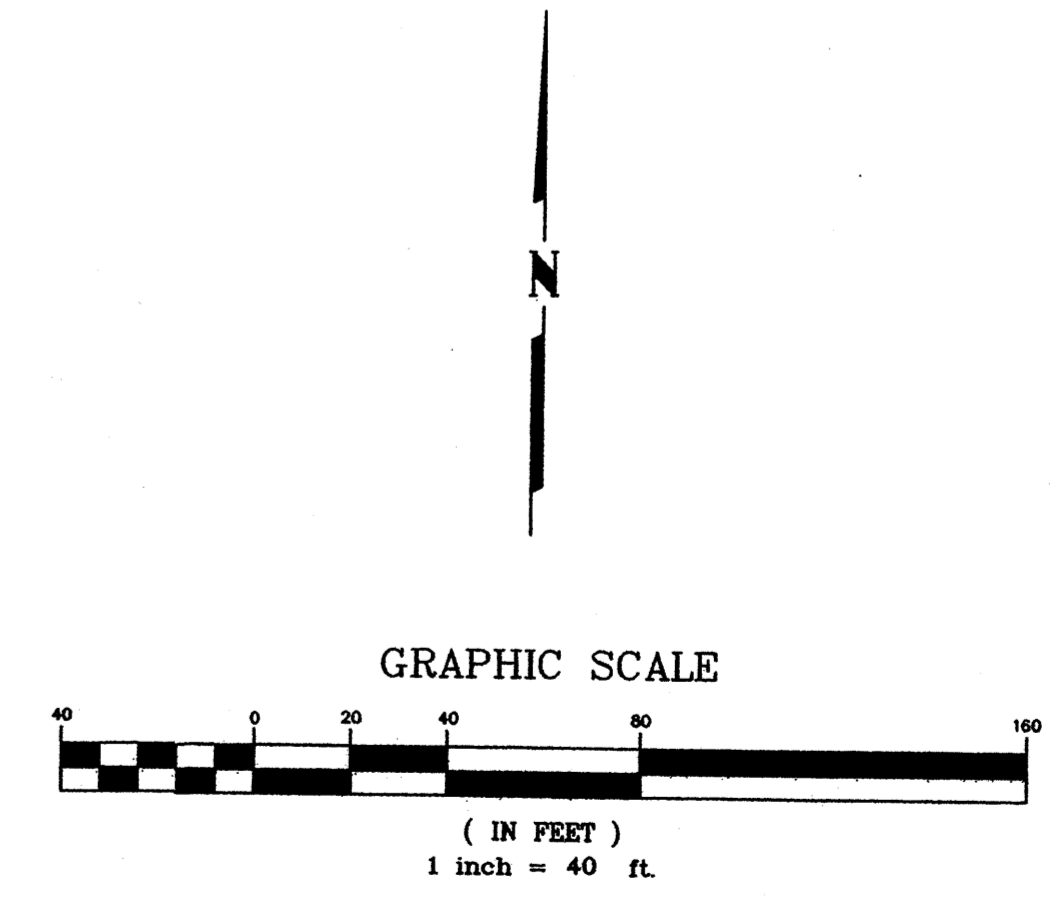


CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	15.71'	10.00'	10.00'	14.14'	N54°09'51"E	90°00'00"
C2	15.71'	10.00'	10.00'	14.14'	S35°50'09"E	90°00'00"
C3	47.08'	30.00'	29.96'	42.40'	S54°09'42"W	89°55'07"

LINE TABLE

LINE	LENGTH	BEARING
L1	29.96	N09°12'09"E
L2	29.96	S80°52'44"E
L3	33.82	S80°49'46"E
L4	19.18	S80°35'41"E
L5	13.00	S80°50'09"E
L6	3.40	N09°09'51"E
L7	13.50	N80°50'09"W
L8	3.40	N09°09'51"E
L9	342.99	S80°50'09"E
L10	25.60	S09°09'39"W
L11	25.60	N09°09'39"E
L12	64.63	S80°50'09"E
L13	273.69	N09°09'39"E
L14	21.53	S80°35'41"E



DOCH 2012089584
 09/30/2012 11:12 AM Page: 3 of 3
 PLAT R: \$25.00 B: 2012C P: 0101 M. Toulous Olivero, Bernalillo Co

SHEET 3 OF 3

SURVOTEK, INC.
 Consulting Surveyors
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3996 Fax: 505-897-3977

INTRODUCTION

THE PURPOSE OF THIS SITE DEVELOPMENT PLAN FOR SUBDIVISION IS TO ENSURE THAT THE SOUTHEAST CORNER OF BROADWAY AND INDIAN SCHOOL NE IS COMPREHENSIVELY DEVELOPED WITH RESPECT TO SITE LAYOUT FOR BUILDINGS, PARKING, INGRESS/EGRESS POINTS, PEDESTRIAN CIRCULATION, AND LINKAGES TO ADJACENT USES AS WELL AS ARCHITECTURAL AND NEIGHBORHOOD DESIGN.

THE PROPOSED USE OF THE SITE IS TO DEVELOP 68 UNITS OF MULTI-FAMILY HOUSING AND ASSOCIATED COMMUNITY SUPPORT FUNCTIONS, INCLUDING A LEASING OFFICE, COMMUNITY SUPPORT BUILDING, AND PARK FACILITY ACCESSIBLE TO THE PUBLIC.

BUILDING MASSING IS ARRANGED RECTILINEARLY TO MELD THE DEVELOPMENT WITH THE EXISTING FABRIC OF SURROUNDING CITY BLOCKS. BUILDINGS ARE PLACED WITH THEIR FRONT FACADES FACING STREETS AND ADJACENT TO SIDEWALKS, WITH FRONT SETBACKS VARYING FROM A MAXIMUM OF 22' FROM THE PROPERTY LINE ALONG BROADWAY TO A MINIMUM ZERO SETBACK AT THE COMMUNITY BUILDINGS ALONG INDIAN SCHOOL. HEIGHTS RANGE FROM ONE TO THREE STORIES, WITH A MAXIMUM HEIGHT OF 48' AT THE THREE STORY UNITS. THE MAXIMUM FLOOR AREA RATIO FOR THE DEVELOPMENT IS 3.

OFF-STREET PARKING IS LOCATED AT THE CENTER OF EACH RESIDENTIAL BLOCK, WITH CONTROLLED VEHICULAR INGRESS AND EGRESS TO THE OFF-STREET PARKING AREAS FROM INDIAN SCHOOL NE. A PROPOSED PUBLIC STREET BISECTS THE CENTER OF THE SITE IN A NORTH / SOUTH DIRECTION, AND IS MASTER PLANNED TO CONNECT TO A POSSIBLE EASTWEST STREET TO THE SOUTH OF THIS DEVELOPMENT IN A FUTURE PHASE. NEW ON-STREET PARKING IS PROPOSED TO BE CONSTRUCTED AS A PART OF THIS DEVELOPMENT, 100% OF WHICH IS PROPOSED TO SERVE THE REQUIREMENTS OF THE DEVELOPMENT.

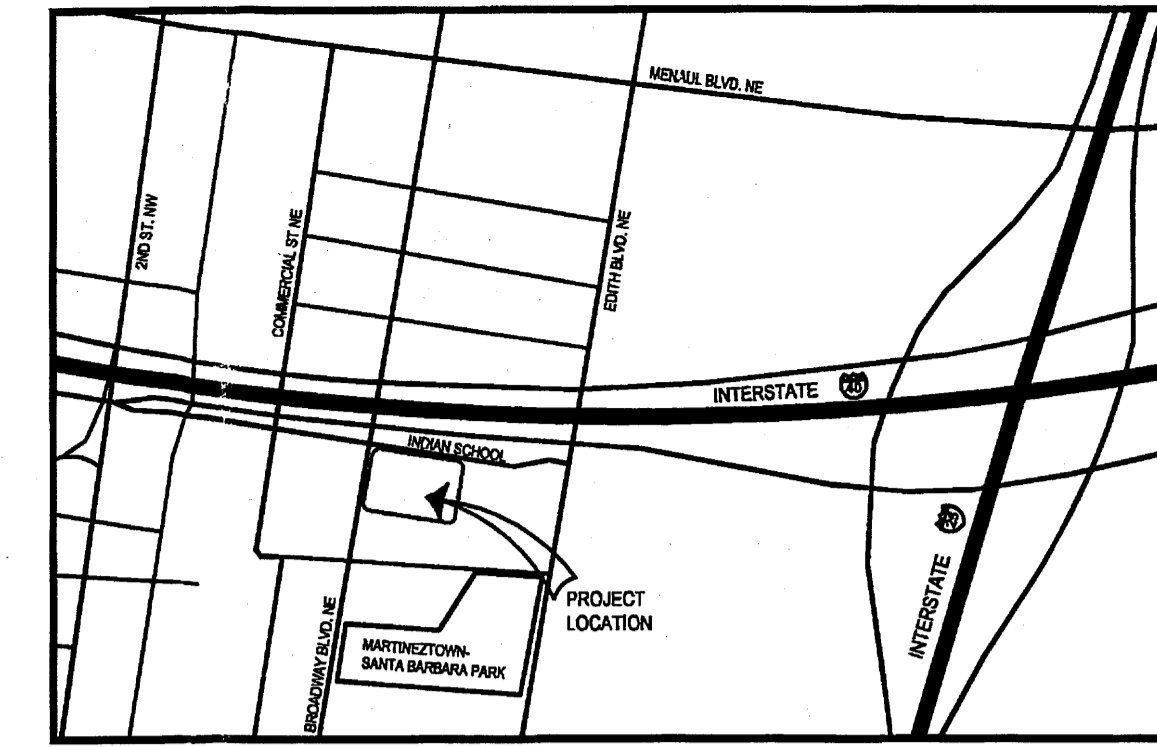
PEDESTRIAN INGRESS AND EGRESS IS THROUGH AN EXTENSION OF THE EXISTING NEIGHBORHOOD'S SIDEWALK SYSTEM ALONG BROADWAY AND INDIAN SCHOOL. CONTROLLED GATED PEDESTRIAN ACCESS POINTS CONNECT THE PERIMETER SIDEWALK SYSTEM TO THE INTERNAL CIRCULATION SYSTEM OF SIDEWALKS WITHIN THE PERIMETER SECURITY WALLS.

LANDSCAPING UTILIZES A PROPENSITY OF TREES FOR SHADING AND TO TIE THE PROPOSED PARK AREA VISUALLY TO THE PROPOSED OFF-STREET PARKING AREAS. CRUSHER FINES ARE USED IN THE OFF-STREET PARKING AREAS TO ENCOURAGE THEIR USE AS MULTI-FUNCTIONING SPACES.

NOTE: PARK AREA IS PRIVATELY OWNED AND PRIVATELY MAINTAINED BY OWNER.

TABLE OF CONTENTS:

- DRB - 1: SITE DEVELOPMENT PLAN FOR SUBDIVISION
- DRB - 2: SITE CONCEPTUAL DRAINAGE PLAN
- DRB - 3: SITE CONCEPTUAL UTILITY PLAN
- DRB - 4: LANDSCAPE PLAN
- DRB - 5: DESIGN REQUIREMENTS



VICINITY MAP
SCALE: 1" = 1000'

LEGEND:

- PEDESTRIAN ACCESS
- PERMEABLE PAVEMENT
- PATTERNED CONCRETE CROSSWALK
- 5'-4" HIGH SECURITY WALL - CONCRETE BLOCK WITH DECORATIVE METAL GATES WHERE SHOWN.
- 6'-0" HIGH SECURITY WALL - DECORATIVE METAL WITH DECORATIVE METAL GATES WHERE SHOWN.
- LOW RETAINING WALL - CONCRETE BLOCK, 2'-0" APPROXIMATE HEIGHT.

PROJECT LOCATION: SOUTHEAST CORNER OF INDIAN SCHOOL AND BROADWAY NE

LEGAL DESCRIPTION: LOTS 1 THROUGH 3, BLOCK 9, FRANCISCAN ACRES

ZONE ATLAS PAGE: H-14

TOTAL ACREAGE: 2.9991 ACRES

PROPOSED SUBDIVISION PARCELS:
PARCEL A 2.9991 ACRES

EXISTING ZONING: SU-2/SU-1 FOR PRD

PROPOSED USES: RESIDENTIAL DWELLINGS

LIST OF APPLICABLE PLANS:
RANK 1 PLANS- ALBUQUERQUE/BERNALILLO COUNTY COMPREHENSIVE PLAN
RANK 2 PLANS- NONE
RANK 3 PLANS- MARTINEZTOWN / SANTA BARBARA SECTOR DEVELOPMENT PLAN

MAXIMUM BUILDING HEIGHT: 48 FEET

MINIMUM BUILDING SETBACK: ZERO (INDIAN SCHOOL ONLY)

MAXIMUM TOTAL DWELLING UNITS:

NET- 28.64 DU'S/ACRE
GROSS- 22.67 DU'S/ACRE

PROPOSED TOTAL AREA FOR RESIDENTIAL UNITS:
58,481 SF (LEASING OFFICE AND COMMUNITY BUILDING NOT INCL.)

FAR SUMMARY:
MAXIMUM FAR FOR NONRESIDENTIAL UNITS.....0.3
PROVIDED FAR FOR NONRESIDENTIAL UNITS.....0.05
PROVIDED FAR FOR ALL DEVELOPMENT (RES AND NON-RES).....0.53

REQUIRED PARKING:

RESIDENTIAL UNITS- 68 UNITS X 1.5 SPACES/UNIT= 102 SPACES
LEASING OFFICE- 1,504 SF X 1 SPACE/200 SF = 8 SPACES
COMMUNITY BUILDING- 2,408 SF X 1 SPACE/500 SF = 5 SPACES
TOTAL REQUIRED PARKING- 117 SPACES

PROPOSED PARKING:

OFF-STREET PARKING- 87 SPACES
ON-STREET PARKING- 28 SPACES
TOTAL PROPOSED PARKING- 115 SPACES

HANDICAPPED, MOTORCYCLE, AND BICYCLE PARKING WILL BE PROVIDED AND WILL MEET THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE ZONING CODE.

SIGNATURE BLOCK

PROJECT NUMBER: 1007649

APPLICATION NUMBER: _____

Is an infrastructure list required? () Yes () No If yes, then a set of approved DRG plans with a work order is required for any construction within public right-of-way or for construction of public improvements.

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE: 08-08-12
Alfonso...

UTILITIES DEVELOPMENT DATE: 08/08/12
Carl S. Dument

PARKS AND RECREATION DATE: 8-8-12
Ante C. Chan

CITY ENGINEER DATE: 8-8-12
MS

ENVIRONMENTAL HEALTH DEPT. (if required) DATE: _____
NA

SOLID WASTE MANAGEMENT DATE: 8-8-12
Julia...

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE: _____

dg
THE HARTMAN + MAJEWSKI
DESIGN GROUP
ARCHITECTS • ENGINEERS • INTERIOR DESIGN
PLANNERS • URBAN DESIGNERS • LEND
120 VASSAR DRIVE SE SUITE 100
ALBUQUERQUE, NEW MEXICO 87106
PHONE: 505.242.6880 FAX: 505.242.6881
CONSULTANT

STAMP

PROJECT NAME
GREATER ALBUQUERQUE HOUSING PARTNERSHIP

FRANCISCAN ACRES SUBDIVISION
INDIAN SCHOOL AND BROADWAY
ALBUQUERQUE, NM 87102

REVISIONS:

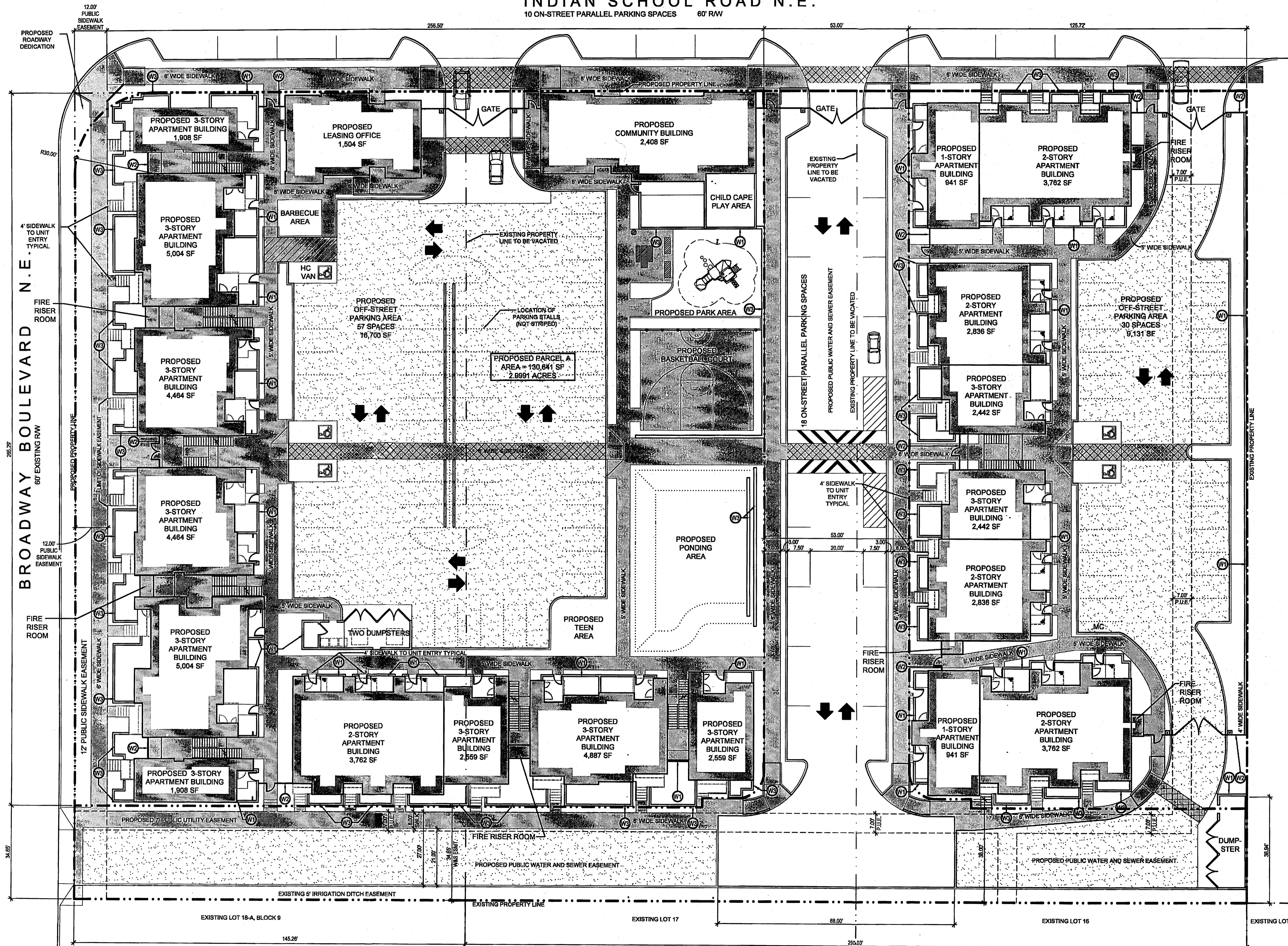
No.	DATE	DESCRIPTION
1	7/17/2012	PLAT REVISIONS
2	7/24/2012	DRB COMMENTS
3	8/5/2012	DRB COMMENTS

Copyright: Design Group
Drawn by: BH
Checked by: MW
Date: 7/24/2012
Project number: 2439
Cad file name: _____

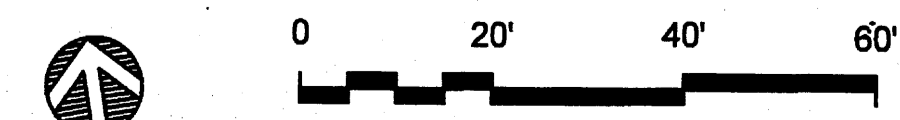
SHEET TITLE:
SITE DEVELOPMENT PLAN FOR SUBDIVISION

SHEET NUMBER:
DRB-1

INDIAN SCHOOL ROAD N.E.
10 ON-STREET PARALLEL PARKING SPACES 60' R/W



A1 SITE DEVELOPMENT PLAN FOR SUBDIVISION
SCALE: 1" = 20'-0"



NOTE: ALL PROPOSED IMPROVEMENTS SHOWN ARE ILLUSTRATIVE ONLY.



STAMP

PROJECT NAME

**GREATER ALBUQUERQUE
 HOUSING PARTNERSHIP**

FRANCIS ACRES SUBDIVISION
 INDIAN SCHOOL AND BROADWAY
 ALBUQUERQUE, NM 87102

REVISIONS:

No.	DATE	DESCRIPTION

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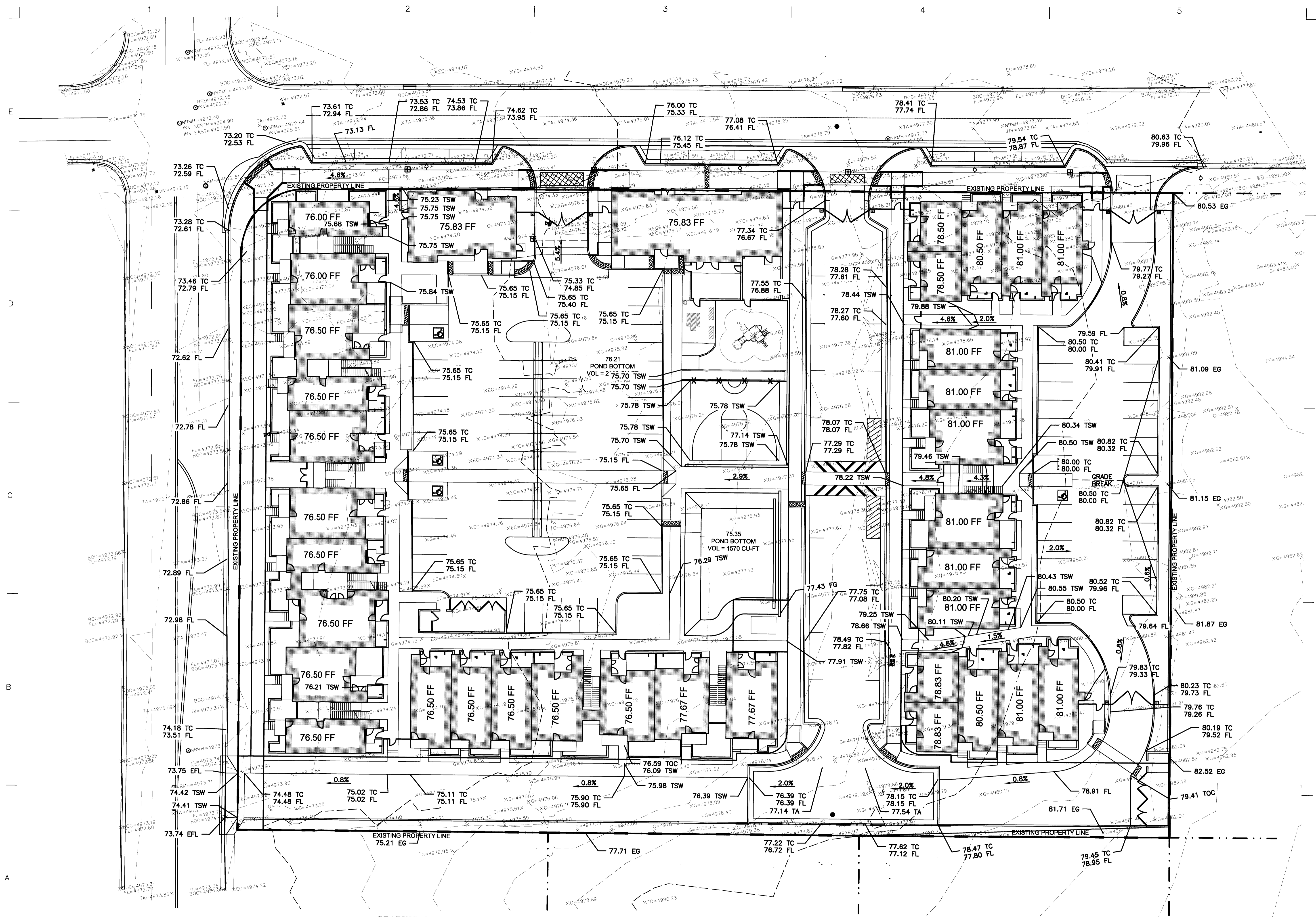
Drawn by	JRP
Checked by	DM
Date	8/7/2012
Project number	2439
Cad file name	

SHEET TITLE:

**SITE CONCEPTUAL
 DRAINAGE
 PLAN**

SHEET NUMBER:

DRB-2



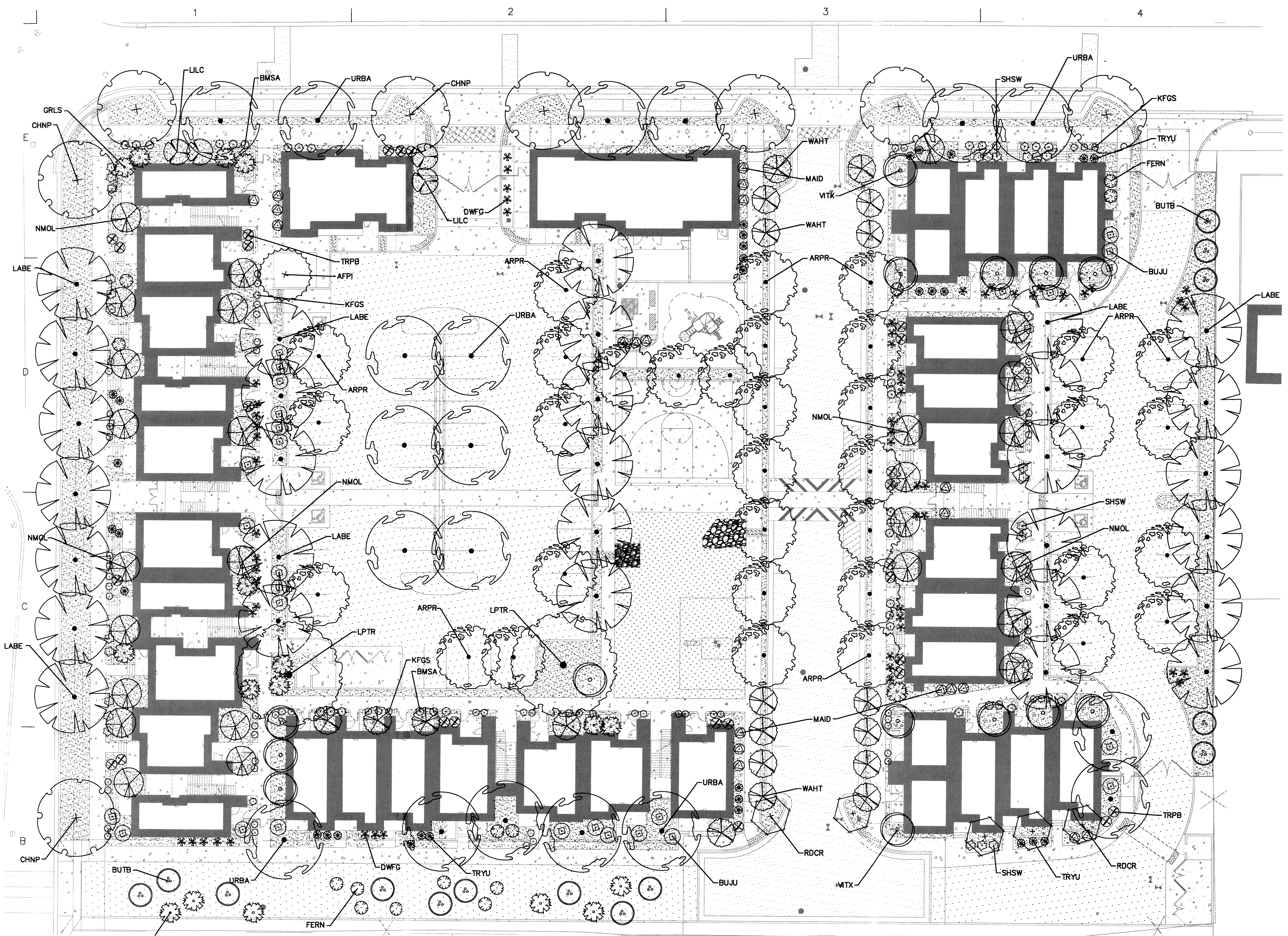
A1 SITE CONCEPTUAL DRAINAGE PLAN

SCALE: 1" = 20'-0"



GRAPHIC SCALE

(IN FEET)
 1 inch = 20 feet



HATCH LEGEND

	4" DEPTH OF 1" ANTIQUE BRASS GRAVEL MULCH, (OR APPROVED EQUAL). AVAILABLE FROM BUILDOLGY (505) 344-6626, (OR APPROVED EQUAL).
	PARK BLEND TURF- SOD

NOTE:

ALL TREES WILL BE LOCATED TO ENSURE SUFFICIENT SAFETY CLEARANCES AND TO AVOID INTERFERENCE WITH THE EXISTING ELECTRIC DISTRIBUTION LINE.

ALL VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS IS DESIGNED TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

A1 PLANTING PLAN
 SCALE: 1" = 20'-0"

SCALE: 1" = 20'

PLANT SCHEDULE

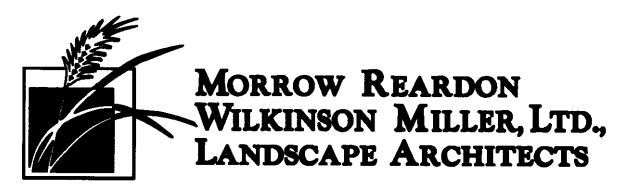
KEY	COMMON NAME	BOTANICAL NAME	QUANTITY	INSTALLED SIZE	MATURE SIZE	CONDITION
TREES						
URBA	Urbanite Ash	<i>Fraxinus pennsylvanica</i> 'Urbanite'	X	2" cal., 12'-14'ht.	40' ht. & 25' spd.	30" box
AFPI	Afghan Pine	<i>Pinus eldarica</i>	X	5'-7' ht.	40' ht. & 25' spd.	30" box
CHNP	Chinese Pistache	<i>Pistacia chinensis</i>	X	2 cal., 10'-12'ht.	40' ht. & 25' spd.	30" box
LPTR	London Plane Tree	<i>Platanus acerifolia</i>	X	2" cal., 12'-14'ht.	50' ht. & 30' spd.	30" box
ARPR	Aristocrat Pear	<i>Pyrus calleryana</i> 'Aristocrat'	X	2" cal., 10'-12'ht.	25' ht. & 20' spd.	30" box
LABC	Lacebark Elm	<i>Ulmus parvifolia</i>	X	2" cal., 12'-14'ht.	30' ht. & 25' spd.	30" box
ACCENT TREES						
NMOL	New Mexico Olive	<i>Forestiera neomexicana</i>	X	Min. 4' ht.	18' ht. & 15' spd.	15-Gal.
WAHT	Washington Hawthorne	<i>Crataegus phaenopyrum</i>	X	2" cal., 9'-10'ht.	25' ht. & 20' spd.	15-Gal.
RDCR	Radiant Crabapple	<i>Malus 'Radiant'</i>	X	2" cal., 9'-10'ht.	24' ht. & 20' spd.	30" Box
VITX	Vitex	<i>Vitex angus-castus</i>	X	Min. 4' ht.	25' ht. & 20' spd.	15-Gal.

PLANT SCHEDULE CONTINUED

KEY	COMMON NAME	BOTANICAL NAME	QUANTITY	INSTALLED SIZE	MATURE SIZE	CONDITION
SHRUBS						
BUTB	Butterfly Bush	<i>Buddleia davidii</i>	X	1'-6"ht.	9' ht. & spd.	5-Gal.
BMSA	Blue Mist Spirea	<i>Caryopteris x clandonensis</i>	X	1'-6"ht.	3' ht. & spd.	5-Gal.
FERN	Fernbush	<i>Chamaebatiaria millefolium</i>	X	1'-6"ht.	5' ht. & spd.	5-Gal.
TRPB	Turpentine Bush	<i>Ericameria larkifolia</i>	X	1'-6"ht.	4' ht. & spd.	5-Gal.
BUJU	Buffalo Juniper	<i>Juniperus horizontalis</i> 'Buffalo'	X	6"ht.	1' ht. & 6' spd.	5-Gal.
GRLS	Gro-Low Sumac	<i>Rhus aromatic 'Gro-Low</i>	X	1'ht.	3' ht. & 8' spd.	5-Gal.
LILC	Lilac	<i>Syringa vulgaris</i>	X	1'-6"ht.	15' ht. & spd.	5-Gal.
GRASSES AND ACCENTS						
KFGS	Karl Foester Grass	<i>Calamagrostis x acutiflora</i> 'Karl Foester'	X	1'-6"ht.	5' ht. & spd.	5-Gal.
TRYU	Red Yucca	<i>Hesperaloe parviflora</i>	X	1'-6"ht.	4' ht. & 3' spd.	5-Gal.
MAID	Malden Grass	<i>Miscanthus sinensis</i> 'Gracillimus'	X	1'-6"ht.	5' ht. & 3' spd.	5-Gal.
SHSW	Shenandoah Switchgrass	<i>Panicum virgatum</i> 'Shenandoah'	X	1'-6"ht.	4' ht. & spd.	5-Gal.
DWFG	Dwarf Fountain Grass	<i>Pennisetum alopecuroides</i> 'Hameln'	X	1' ht.	3' ht. & spd.	1-Gal.

120 VASSAR DRIVE SE SUITE 100
 ALBUQUERQUE, NEW MEXICO 87106
 PHONE: 505.242.6880 FAX: 505.242.6881

CONSULTANT



STAMP

PROJECT NAME
**GREATER ALBUQUERQUE
 HOUSING PARTNERSHIP**

FRANCISCAN ACRES SUBDIVISION
 INDIAN SCHOOL AND BROADWAY
 ALBUQUERQUE, NM 87102

REVISIONS:

No.	DATE	DESCRIPTION

Copyright: Design Group
 Drawn by **GM**
 Checked by **GM**
 Date **8/8/2012**
 Project number **2439**
 Cad file name

SHEET TITLE:
PLANTING PLAN

SHEET NUMBER:

DRB-4



DESIGN REQUIREMENTS:

NOTE: ALL PROPOSED IMPROVEMENTS SHOWN ARE ILLUSTRATIVE ONLY.

INTRODUCTION

THE PURPOSE OF THIS SITE DEVELOPMENT PLAN FOR SUBDIVISION AND THESE DESIGN REQUIREMENTS IS TO ENSURE THAT THE SOUTHEAST CORNER OF BROADWAY AND INDIAN SCHOOL BE COMPREHENSIVELY DEVELOPED WITH RESPECT TO SITE LAYOUT FOR BUILDINGS, PARKING, INGRESS/EGRESS POINTS, PEDESTRIAN CIRCULATION, AND LINKAGES TO ADJACENT USES AS WELL AS ARCHITECTURAL AND NEIGHBORHOOD DESIGN.

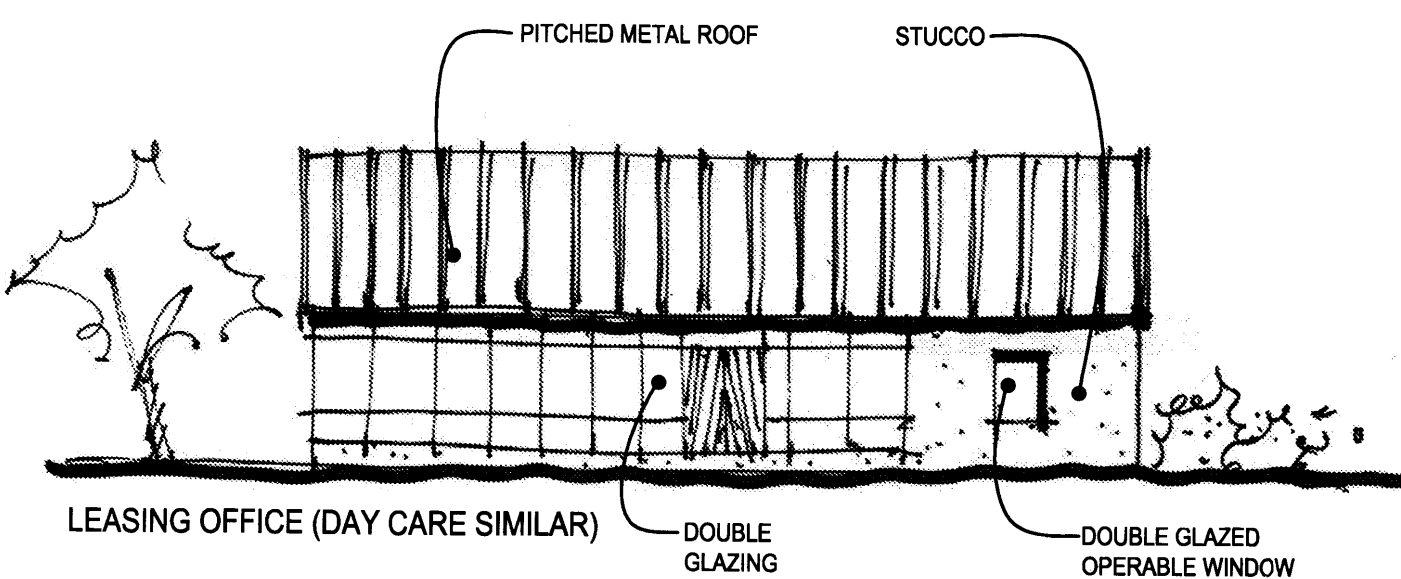
DEVELOPMENT SHALL COMPLY WITH THE GENERAL REGULATIONS OF THE ZONING CODE AND THE MARTINEZTOWN/SANTA BARBARA SECTOR DEVELOPMENT PLAN. WHERE THERE IS A CONFLICT BETWEEN THE REGULATIONS AND THESE DESIGN REQUIREMENTS, THE MORE RESTRICTIVE SHALL APPLY.

1. SITE DESIGN

a. OVERALL LAYOUT OF SITE AND BUILDINGS, RELATIONSHIP TO ADJACENT SITE
THE PROPOSED SUBDIVISION CONSISTS OF FIVE DIFFERENT PARCELS. ONE PARCEL ON THE WEST SIDE TO ACCOMMODATE MULTI-FAMILY HOUSING AND ASSOCIATED PARCELS THAT WILL BE DEDICATED AS A NORTH-SOUTH PUBLIC STREET, ONE PARCEL ON THE SOUTHWEST WHICH MAY BE DEDICATED IN THE FUTURE AS PART OF AN EAST-WEST STREET, AND ONE PARCEL ON THE SOUTHEAST WHICH MAY BE DEDICATED IN THE FUTURE AS PART OF AN EAST-WEST STREET. THE DEVELOPMENT IS ORGANIZED TO EMPHASIZE AN URBAN BUILDING MASSING RESPONSE TO THE SITE. BUILDINGS ARE PLACED WITH THEIR FRONT FACADES FACING STREETS AND ADJACENT TO SIDEWALKS, WITH OFF-STREET PARKING AREAS ORGANIZED INTERNALLY WITHIN EACH SITE BLOCK. THREE STORY RESIDENTIAL BUILDINGS ARE PLACED ALONG THE ENTIRE LENGTH OF BROADWAY, ADJACENT TO A FUTURE PHASES PLANNED PLAZA TO THE SOUTH, AND MID-BLOCK OF A PROPOSED NEW INTERNAL STREET, ACROSS FROM A PROPOSED NEW PARK AREA. TWO STORY BUILDINGS FRONT STREETS IN THE MAJORITY OF THE REMAINDER OF THE DEVELOPMENT, WITH SINGLE STORY RESIDENTIAL UNITS SCALING DOWN TO THE EXISTING NEIGHBORHOOD ON THE EAST END OF THE DEVELOPMENT. LEASING OFFICE AND DAY CARE 'COMMUNITY' BUILDINGS ARE PROPOSED TO BE ALONG INDIAN SCHOOL AND ARE ALSO SINGLE STORY.

b. BUILDING PLACEMENT, ORIENTATION, SETBACKS HEIGHTS
BUILDINGS ARE PLACED WITH THEIR FRONT FACADES FACING STREETS AND ADJACENT TO SIDEWALKS, WITH FRONT SETBACKS VARYING FROM 22' FROM THE PROPERTY LINE ALONG BROADWAY TO A ZERO SETBACK AT THE COMMUNITY BUILDINGS ALONG INDIAN SCHOOL. HEIGHTS RANGE FROM ONE TO THREE STORIES, WITH A MAXIMUM HEIGHT OF 48' AT THE THREE STORY UNITS.

c. PEDESTRIAN AND VEHICULAR CONNECTIVITY (INTERNAL AND EXTERNAL)
BUILDING MASSING IS ARRANGED RECTILINEARLY TO MELD THE DEVELOPMENT WITH THE EXISTING FABRIC OF SURROUNDING CITY BLOCKS. PERIMETER PEDESTRIAN ACCESS LINES THE NORTH, WEST AND SOUTH SIDES OF THE SITE, CONNECTING EACH RESIDENTIAL BLOCK WITH SURROUNDING AND ADJACENT EXISTING SIDEWALKS. INTERNALLY TO THE SITE, SIDEWALKS CONNECT THE BACK OF EACH RESIDENTIAL BLOCK WITH OFF-STREET PARKING AREAS AND WITH COMMUNITY AMENITIES SUCH AS A PARK/ PLAYGROUND AREA, LEASING OFFICE, AND COMMUNITY SERVICES BUILDING.



d. PARKING LOCATION AND DESIGN (SHARED PARKING/ CROSS PARKING IS STRONGLY ENCOURAGED)
SECURED OFF-STREET AUTOMOBILE PARKING TO SUPPORT THE RESIDENTIAL AND COMMUNITY FUNCTIONS IS LOCATED IN THE CENTER OF EACH BLOCK, WITH DIRECT ACCESS TO THE BACK OF EACH RESIDENTIAL BUILDING AND THE COMMUNITY AMENITIES. ON-STREET PARKING IS LOCATED ALONG THE PERIMETER OF THE SITE AT BOTH BROADWAY AND INDIAN SCHOOL, AS WELL AS ALONG BOTH SIDES OF THE PROPOSED NORTH-SOUTH STREET IN THE MIDDLE OF THE DEVELOPMENT. OFF-STREET PARKING AREAS ARE PROPOSED TO HAVE A PERMEABLE PAVING SURFACE FOR BOTH DRIVE LANES AND PARKING SPACES TO PROMOTE THE PARKING AREA AS A DOUBLE-FUNCTIONING RECREATIONAL USE. A GROVE OF TREES WITHIN THE PARKING AREA PROVIDES FOR SHADING OF AUTOMOBILES AND MOTORCYCLES AND FURTHER ENHANCES THE RECREATIONAL ASPECTS OF THE SPACE.

ADDITIONALLY, THIS APPLICATION REQUESTS THAT 100% OF THE DEVELOPMENT'S NEWLY CONSTRUCTED ON-STREET PARKING BE DEDICATED TO FULFILL THE REQUIREMENTS OF THE DEVELOPMENT.

e. PUBLIC OUTDOOR SPACES INCLUDING PEDESTRIAN AMENITIES, SHADING, ETC.
PUBLIC OUTDOOR SPACES INCLUDE A PARK AREA IN THE MIDDLE OF THE DEVELOPMENT, JUST WEST OF THE NORTH-SOUTH STREET. THE PARK AREA IS ADJACENT TO YET JUST OUTSIDE OF THE SECURED OFF-STREET PARKING AREA, THEREBY PROMOTING ACCESS TO THE SURROUNDING NEIGHBORHOOD AS WELL. THE PARK IS GEARED TOWARDS YOUNGER CHILDREN ON THE NORTH END, WITH A PLAYGROUND ADJACENT TO THE SECURED DAY CARE PLAY AREA. ON THE SOUTH, A TEEN AREA IS INCLUDED IN THE PARK'S OPEN SPACE. COLORED AND/ OR TEXTURED CONCRETE SHALL BE USED AT PEDESTRIAN STREET CROSSWALKS.

f. DUMPSTER AND SERVICE AREA LOCATIONS AND SCREENING TECHNIQUES
DUMPSTERS ARE LOCATED IN TWO AREAS- AT THE NORTHEAST CORNER OUTSIDE OF THE DEVELOPMENT ACCESSED FROM INDIAN SCHOOL, AND WITHIN THE WEST BLOCK'S SECURED AREA. 6'-0" TALL SCREEN WALLS CONSIST OF STUCCO ON CONCRETE BLOCK, WITH OPAQUE METAL GATES FOR BOTH PEDESTRIAN AND TRUCK ACCESS AS APPROPRIATE.

g. LOCATION, HEIGHT, DESIGN AND PURPOSE OF ALL WALLS AND WALL OPENINGS
ALL WALLS, FENCES, AND RETAINING WALLS ARE SUBJECT TO SECTION 14-16-3-19 OF THE ZONING CODE (GENERAL HEIGHT AND DESIGN REGULATIONS FOR WALLS, FENCES, AND RETAINING WALLS). SECURITY WALLS SHALL BE 6'-0" TALL MAXIMUM AND SHALL CONSIST OF STUCCO ON CONCRETE BLOCK OR SLATTED METAL WITH SLATTED METAL GATES. UTILITY EQUIPMENT SHALL BE SCREENED WHERE POSSIBLE, AND ASSOCIATED SCREENING SHALL COMPLY WITH THE DESIGN GUIDELINES OF THE CITY OF ALBUQUERQUE.

h. LOCATION, HEIGHT, DESIGN AND PURPOSE OF ALL LIGHTING
LIGHTING SHALL COMPLY WITH THE NIGHT SKY ORDINANCE AND WITH ALL CITY LIGHTING REQUIREMENTS IN SECTION 14-16-3-9 OF THE CITY ZONING CODE. IT SHALL FURTHERMORE COMPLY WITH THE REQUIREMENTS SPECIFIED IN THIS SECTION. IN ADDITION, THE FOLLOWING POLICIES SHALL BE FOLLOWED IN THE TREATMENT OF LIGHTING DESIGN:

1. LIGHT FIXTURES SHALL BE OF A TYPE THAT THROWS LIGHT DOWNWARD, AND HAVE Baffles, HOODS, OR DIFFUSERS SO THAT ANY LIGHT POINT SOURCES IS NOT DIRECTLY VISIBLE FROM A DISTANCE GREATER THAN 1000 FEET.
2. THE MAXIMUM HEIGHT OF PARKING LOT LIGHTS SHALL BE 18 FEET.
3. PEDESTRIAN WALKWAY LIGHTING SHALL NOT EXCEED 15 FEET IN HEIGHT. BOLLARD LIGHTING MAY BE USED WHERE APPROPRIATE. SITE LIGHTING SHALL PROVIDE ADEQUATE LIGHT FOR SAFETY, BUT SHALL NOT SHINE ONTO ADJACENT PROPERTIES. CITY POLICY REQUIRES ARTERIAL STREETS LIGHTED TO ILLUMINATING ENGINEERING SOCIETY STANDARDS. UNDER THESE STANDARDS LIGHTING IS RECOMMENDED AFTER STUDYING THE SPEED OF THE ROADWAY, THE REQUIRED HEIGHT OF THE LIGHT POLE AND THE TYPE OF LUMINAIRE UNDER CONSTRUCTION. STREET LIGHTS MUST HAVE OUT-OFF LUMINARIES. PEDESTRIAN (LOWER SCALE) LIGHTING SHALL BE INCORPORATED IN APPROPRIATE LOCATIONS ALONG STREETS AND TRAILS.

i. TOPOGRAPHIC CHALLENGES- OPPORTUNITIES
THE SITE'S GENTLE SLOPE DOWN FROM WEST TO EAST AFFORDS THE OPPORTUNITY FOR RAISED PORCH ENTRANCES AT WEST FACING RESIDENTIAL UNITS, WHILE PROVIDING FOR 'AT GRADE' ACCESSIBLE ENTRANCE OPPORTUNITIES AT THE REAR ENTRANCE TO THESE UNITS.

j. SCREENING/ BUFFERING TECHNIQUES
SIDEWALKS, LANDSCAPE STRIPS AND STREET TREES SCREEN RESIDENCES FROM ADJACENT STREETS WHILE CREATING PEDESTRIAN AMENITIES WITHIN THE URBAN FABRIC OF THE DEVELOPMENT. A THREE STORY RESIDENTIAL BUILDING BLOCK ON THE WEST EDGE OF THE SITE HELPS MITIGATE TRAFFIC NOISE FROM BROADWAY IN THE MIDDLE BLOCK AREAS.

k. SUSTAINABLE TECHNIQUES SUCH AS PERMEABLE PAVING AND OTHER "GREEN" FEATURES
OFF-STREET PARKING AREAS ARE PROPOSED TO HAVE A PERMEABLE PAVING SURFACE FOR BOTH DRIVE LANES AND PARKING SPACES TO PROMOTE THE PARKING AREA AS A DOUBLE-FUNCTIONING RECREATIONAL USE. ADDITIONALLY, THE FIRST 1" OF WATER IS RETAINED ON SITE DURING A RAINSTORM, AND THE ALLOWABLE 8" OF WATER CAPTURED WITHIN THE PERMEABLE PARKING AREAS IS ALLOWED TO SOAK INTO THE GROUND RATHER THAN BE DIVERTED OFF-SITE. THIS ALLOWS FOR ON-SITE NATURAL IRRIGATION OF PLANT MATERIAL DURING RAIN EVENTS.

2. STREET REALM

a. TRANSIT, BICYCLE, PEDESTRIAN AMENITIES
CITY OF ALBUQUERQUE 'ABQ RIDE' ROUTES DO NOT CURRENTLY GO NORTH OF THE INTERSECTION OF ODELA AND BROADWAY. SEVERAL BLOCKS SOUTH OF THIS DEVELOPMENT. FUTURE SPACE FOR A TRANSIT STOP COULD BE INCORPORATED WITHIN THE ON-STREET PARKING SPACES ALONG BROADWAY. REQUIRED BICYCLE PARKING SPACES WILL BE INCORPORATED ADJACENT TO AND WITHIN FIRST FLOOR INDIVIDUAL UNIT SCREENED COURTS, AND AT APPROPRIATE OPEN SPACE LOCATIONS WHERE APPROPRIATE. BENCHES SHALL BE LOCATED AT THE PARK AREA AND PERIODICALLY ON PEDESTRIAN WAYS.

b. LANDSCAPE BUFFERS, SIDEWALKS AND OTHER AMENITIES IN PUBLIC RIGHT-OF-WAY
SIDEWALKS, LANDSCAPE STRIPS AND STREET TREES SCREEN RESIDENCES FROM ADJACENT STREETS WHILE CREATING PEDESTRIAN AMENITIES WITHIN THE URBAN FABRIC OF THE DEVELOPMENT.

c. STREET TREES- LOCATION AND TYPE OF TREES
STREET TREE TYPES AND LOCATIONS SHALL BE AS SPECIFIED IN THE LANDSCAPING SECTION OF THESE DESIGN REQUIREMENTS.

3. LANDSCAPING

OVERALL LANDSCAPE THEME INCLUDING PLANT PALETTE AND GENERAL LOCATION, HEIGHT, AND PURPOSE OF PLANTS AND TREES

LANDSCAPING SHALL COMPLY WITH THE DESIGN REQUIREMENTS OF THE CITY OF ALBUQUERQUE GENERAL LANDSCAPING REGULATIONS 14-16-3-10, AND SHALL FURTHERMORE COMPLY WITH THE REQUIREMENTS SPECIFIED IN THIS SECTION.

LANDSCAPING IS A KEY ELEMENT OF THE BROADWAY AND INDIAN SCHOOL STRATEGIC PLAN. IT IS INTEGRAL TO THE GOAL OF PROVIDING PLACES THAT PROMOTE THE PHYSICAL AND EMOTIONAL WELL-BEING OF THE COMMUNITY AND TO ENRICH THE LIVING EXPERIENCE OF THE AREA RESIDENTS.

THE LANDSCAPE NETWORK CONSISTS OF:

STREETSCAPE, STREET TREES, AND LANDSCAPING AROUND THE PERIMETER OF PARKING LOTS PARK SPACES WITH TURF GRASS, SHADE TREES, PLAY AREAS, AND FURNISHINGS LANDSCAPED IN THE INTERSTITIAL AREAS AMONG THE HOUSING UNITS

THE DOMINANT LANDSCAPE FEATURE IS A STRONG CANOPY OF TREES. DECIDUOUS STREET AND PARKING LOT TREES PROVIDE PASSIVE SOLAR MITIGATION OF PAVED SURFACES. THEY ALSO BALANCE THE DENSITY OF THE HOUSING UNITS AND CREATE A HUMAN SCALE. THE TREE SPECIES SHALL BE VARIED TO AVOID A MONOCULTURE. VARYING SPECIES BETWEEN NORTHSOUTH AND EASTWEST AXES, INTERNAL AND PERIMETER, AND BY AVAILABLE SPACE AT MATURITY WILL CREATE A DYNAMIC, SUSTAINABLE CANOPY. SMALLER ORNAMENTAL SPECIES HIGHLIGHT ENTRANCES AND FILL-IN COURTYARD LANDSCAPE SPACES. EVERGREEN TREES PROVIDE VISUAL SCREENING AND A SENSE OF ENCLOSURE AROUND CONGREGATION SPACES.

THE AREAS AROUND THE HOUSING UNITS SHALL BE LANDSCAPED WITH ACCENT TREES AND ORNAMENTAL SHRUBS AND GRASSES. THESE PLANTINGS SHALL INCLUDE A BALANCE BETWEEN EVERGREEN AND DECIDUOUS SPECIES, AS WELL AS PROVIDE SEASONAL INTEREST.

THE SITE SHALL ALSO INCLUDE OPEN PARK SPACES WITH TURF GRASS, CHILDRENS PLAY AREA, BENCHES AND PICNIC TABLES.

SUGGESTED PLANT SPECIES AS SHOWN ARE NOT MANDATORY, HOWEVER ANY SUBSTITUTIONS WILL BE LIMITED TO MEDIUM OR LOW WATER USE SPECIES. PLANT SPECIES SHOULD REFLECT THE CHARACTER AND SCALE OF THE SURROUNDING NEIGHBORHOOD.

REQUIREMENTS:

a. THE STREETSCAPE ALONG BROADWAY AND INDIAN SCHOOL SHALL CONSIST OF TREES IN THE PLANTING AREA BETWEEN THE SIDEWALK AND CURB PER THE CITY OF ALBUQUERQUE STREET TREE ORDINANCE. THESE TREES SHALL HAVE A HIGH-BRANCHING CANOPY TO ALLOW CLEAR SPACE FOR PEDESTRIANS AND REDUCE POTENTIAL FOR DAMAGE FROM PASSING VEHICLES. UNDERSTORY PLANTINGS SHALL BE LIMITED TO ALLOW CLEAR ACCESS TO PARALLEL PARKED AUTOMOBILES.

b. THE PLANTING AROUND THE PERIMETER OF THE PARKING AREAS SHALL CONSIST OF TREES IN PLANTING AREA BETWEEN THE EDGE OF THE SIDEWALK AND THE CURB. THESE TREES SHALL HAVE A HIGH-BRANCHING CANOPY. UNDERSTORY PLANTINGS SHALL BE LIMITED TO ALLOW CLEAR PEDESTRIAN CIRCULATION AND SPACE FOR PARKED AUTOMOBILES.

c. OPEN SPACES AROUND THE HOUSING UNITS SHALL HAVE A MIX OF DECIDUOUS AND EVERGREEN SHRUBS. ORNAMENTAL GRASSES AND WOODY GROUND COVERS ARE ALSO ACCEPTABLE. WHERE SPACE ALLOWS, LARGE SHRUBS OR ACCENT TREES WITH MULTI-TRUNK GROWING HABITS ARE ENCOURAGED.

d. OPEN PARK SPACES SHALL CONSIST OF PERIMETER DECIDUOUS SHADE TREES AND TURF GRASS. SEATING AND CONGREGATIONS SPACES SHALL BE INCLUDED WITHIN THE PARK SPACE. THE TURF AREA WITHIN THE PARK SPACE CAN BE RECESSED TO PROVIDE LIMITED STORMWATER HOLDING CAPACITY. THE TURF IRRIGATION SYSTEM SHALL BE DESIGNED TO MAXIMIZE EFFICIENCY AND REDUCE OVERSPRAY ONTO ADJACENT SURFACES.

e. A CHILDRENS PLAY AREA SHALL BE INCLUDED IN THE PARK SPACE. THIS PLAY AREA SHALL INCLUDE IPEMA CERTIFIED PLAY EQUIPMENT AND SURFACING. THE PLAY AREA SHALL MEET ALL ACCESSIBILITY REQUIREMENTS. TABLES AND BENCHES SHALL BE INCLUDED AROUND THE PLAY AREA.

f. THE PARKING AREAS SHALL INCLUDE TREES PLANTED IN A GROVE OUTSIDE THE LIMITS OF THE DRIVE LANES AND THE INDIVIDUAL PARKING SPACES.

g. ALL LANDSCAPED AREAS SHALL INCLUDE A MINIMUM 3" DEPTH OF INORGANIC MULCH OVER WEED BARRIER FABRIC.

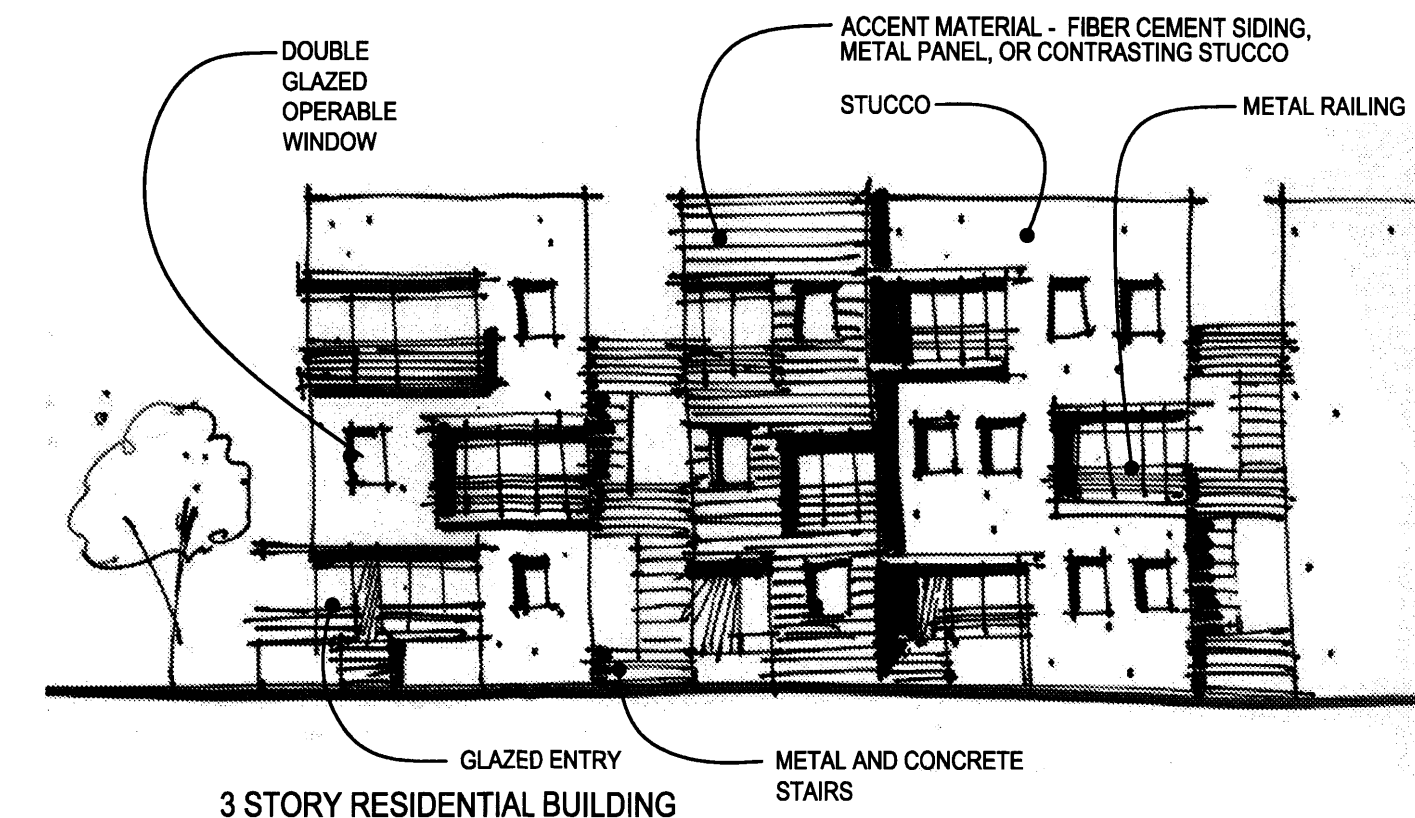
h. ALL LANDSCAPE SHALL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM.

4. BUILDING DESIGN

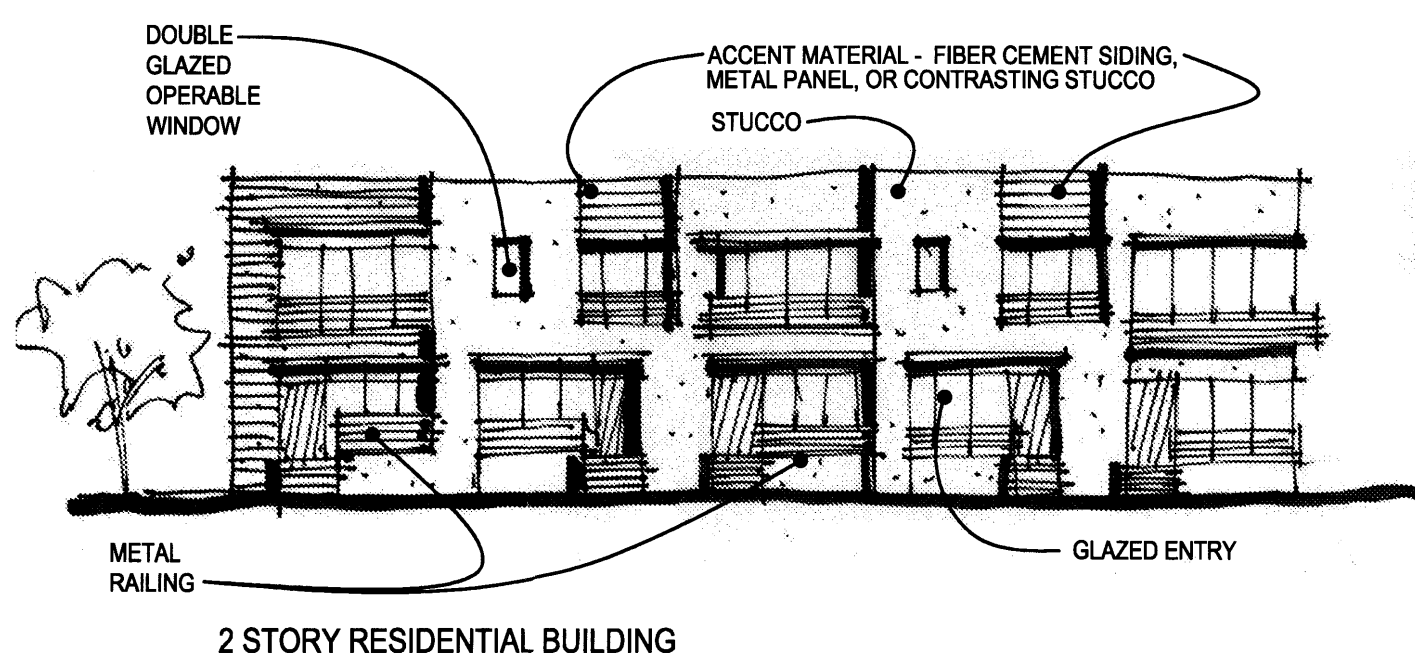
a. CONTEXT
THE PROPOSED DEVELOPMENT SITS IN AN AREA OF SCATTERED AND VARIED ZONING DESIGNATIONS AND LAND USES. THE NORTH RESIDENTIAL EDGE OF MARTINEZTOWN LIES JUST SOUTH OF THE PROPOSED DEVELOPMENT, REPLETE WITH ONE STORY SINGLE FAMILY DWELLINGS OF PARAPETED FLAT AND PITCHED METAL ROOFS, STUCCO WALLS AND WOOD TRIMMED WINDOWS, PORCHES AND EAVES. IN CONTRAST, THE PROPERTIES TO THE EAST AND WEST OF THE PROPOSED DEVELOPMENT ARE ONE STORY LIGHT INDUSTRIAL STRUCTURES, DIRECTLY NORTH OF THE SITE ACROSS INDIAN SCHOOL IS A NARROW STRIP OF VACANT LAND, BORDERED ON THE NORTH BY THE TALL RETAINING WALL SUPPORTING AN EASTBOUND OFF-RAMP TO INTERSTATE 40. MARTINEZTOWN, SANTA BARBARA PARK AND A CITY OF ALBUQUERQUE PUBLIC HOUSING COMPLEX ARE SITUATED ONE BLOCK SOUTH OF THE PROPOSED DEVELOPMENT. MT. CALVARY CEMETERY IS SITUATED ONE BLOCK TO THE EAST.



b. ARCHITECTURAL THEME OR STYLE
THE PROPOSED DEVELOPMENT'S ARCHITECTURAL STYLE IS A SYNTHESIZED SET OF ELEMENTS WHICH MELTS THE RESIDENTIAL AND COMMERCIAL AESTHETICS OF THE SURROUNDING ENVIRONMENT. SCALE, COLOR PALETTES AND MATERIALS FOUND BOTH IN THE INDUSTRIAL AND RESIDENTIAL BUILDINGS OF THE MARTINEZTOWN- SANTA BARBARA NEIGHBORHOODS ARE USED ON THE EXTERIOR FACADES, APPLIED IN A CLEAN, MINIMAL, CONTEMPORARY WAY. IT IS ALSO IMPORTANT TO DEVELOP A STYLE THAT SEAMLESSLY BLENDS WITH OTHER TYPES OF FUTURE HOUSING AND SOCIO-ECONOMIC POPULATIONS.

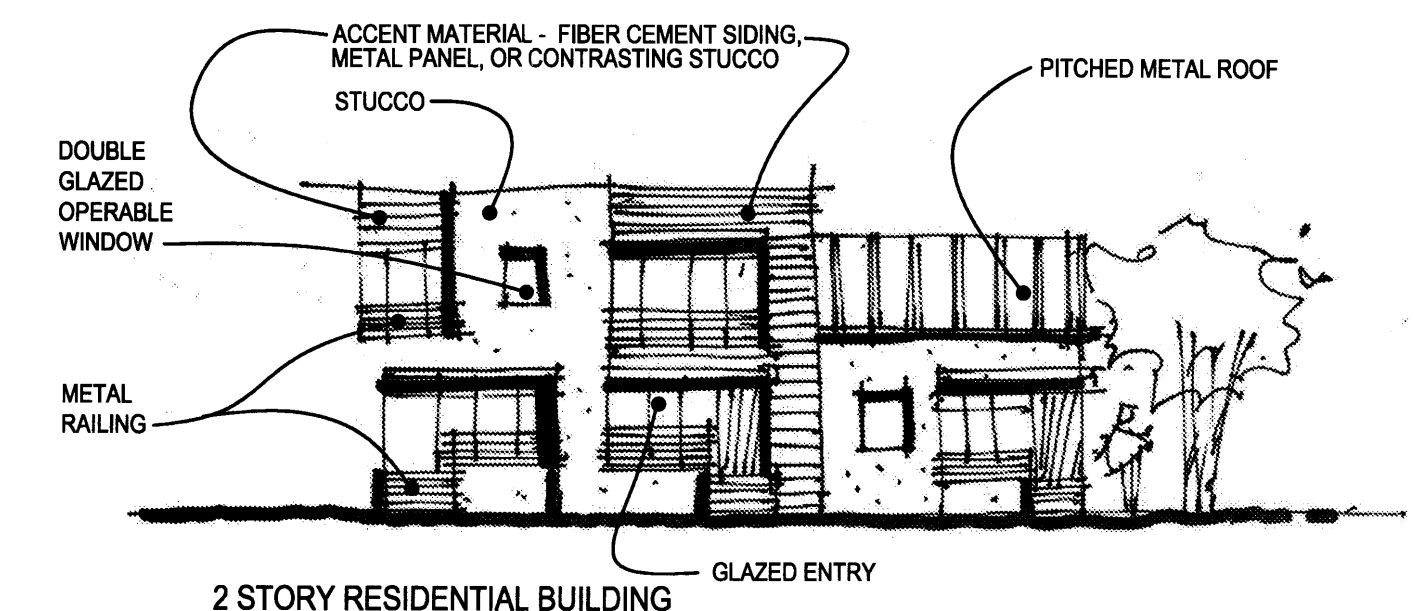


c. BUILDING HEIGHT, SCALE, MASSING, MATERIALS, COLORS AND ARTICULATION
THE DEVELOPMENT IS ORGANIZED TO EMPHASIZE AN URBAN BUILDING MASSING RESPONSE TO THE SITE. BUILDINGS ARE PLACED WITH THEIR FRONT FACADES FACING STREETS AND ADJACENT TO SIDEWALKS, WITH OFF-STREET PARKING AREAS ORGANIZED INTERNALLY WITHIN EACH SITE BLOCK. THREE STORY RESIDENTIAL BUILDINGS ARE PLACED ALONG BROADWAY, WITH A PARKING/PEDESTRIAN COURT BEHIND. A MIX OF SOME THREE STORY AND ONE AND TWO STORY TOWNHOMES COMPLETE THE HOUSING TYPES WITH THIS FIRST PHASE. LEASING OFFICE AND COMMUNITY SERVICE BUILDINGS ARE PROPOSED TO BE ALONG INDIAN SCHOOL, ALSO SINGLE STORY.



THE MAJORITY OF EXTERIOR WALLS INCLUDE A PALETTE OF EARTH-TONED STUCCO. ADDITIONALLY, LIGHT COLORED FIBER CEMENT SIDING, METAL PANEL, OR CONTRASTING STUCCO IS USED INTERMITTENTLY TO BREAK DOWN THE MASS OF LARGER BUILDINGS, ADDING INTEREST AND TEXTURE TO FACADES. ROOFING IS A COMBINATION OF FITCHED METAL ROOFING SYSTEM AT THE DAYCARE AND LEASING OFFICE COMMUNITY BUILDINGS, AND A PARAPETED LOW SLOPE ROOFING SYSTEM AT THE RESIDENTIAL UNITS.

METAL CANOPIES SHADE RESIDENTIAL BALCONIES WHILE SIMPLE METAL RAILINGS AND GATES ADORN BALCONIES AND PEDESTRIAN ACCESS POINTS. GLAZING INCLUDES STOREFRONT AND DOUBLE GLAZED, OPERABLE WINDOWS.



5. SIGNAGE
STANDARDS FOR WALL-MOUNTED AND MONUMENT SIGNS: LOCATION OF SIGNS; MAX. NUMBER OF SIGNS FOR ENTIRE SITE; MAX. HEIGHT AND FACE AREA OF SIGNS; AND SIGNAGE MATERIALS AND LIGHTING

ALL SIGNAGE SHALL CONFORM TO THE SIGNAGE REGULATIONS FOUND IN THE CITY OF ALBUQUERQUE ZONE CODE UNLESS MODIFIED AS PART OF AN APPROVED SITE DEVELOPMENT PLAN.

SIGNS SHALL BE LIMITED TO LOW MONUMENT/BERM TYPE SIGNS MOUNTED ON PERMITTED WALLS TO IDENTIFY THE DEVELOPMENT, AND BUILDING MOUNTED ADDRESS NUMBERS AND LETTERS FOR THE IDENTIFICATION OF THE LEASING OFFICE, THE DAY CARE, AND THE RESIDENTIAL UNITS.

ALL SIGNS SHALL BE INTEGRATED WITH AND COMPLEMENTARY TO THE SITE PLAN AND ARCHITECTURE. SIGNS SHALL BE OF HIGH QUALITY DESIGN AND SHALL MAKE A DEFINITIVE POSITIVE CONTRIBUTION TO THE DESIRED VISUAL CHARACTER OF THE SURROUNDING AREA.

BERMONUMENT SIGNS SHALL BE ILLUMINATED BY GROUND MOUNTED LIGHTING IN FRONT OF THE SIGNS. GROUND-MOUNTED SPOT LIGHTING IS ONLY ALLOWED WHEN THE SIGN IS NO MORE THAN 8 FEET HIGH.

6. APPROVAL PROCESS

THE SITE DEVELOPMENT PLAN FOR SUBDIVISION MAY BE SLIGHTLY MODIFIED OR ADJUSTED, IF NECESSARY, TO ASSURE CONSISTENCY WITHIN THE DEVELOPMENT AND TO ALLOW FLEXIBILITY FOR THE DEVELOPER TO POSITIVELY REFINE THE DEVELOPMENT TO MITIGATE DESIGN CHALLENGES AND ENHANCE DESIGN OPPORTUNITIES. MODIFICATION PROCEDURES AND THE SUBSEQUENT APPROVAL PROCESS SHALL BE AS SPECIFIED FOR PROPERTIES IN THE SU-4 ZONING DESIGNATION OF THE CITY OF ALBUQUERQUE ZONING CODE.

THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT FOR THIS DEVELOPMENT SHALL BE DELEGATED TO THE CITY OF ALBUQUERQUE DEVELOPMENT REVIEW BOARD FOR APPROVAL.



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CONSULTANT

STAMP

PROJECT NAME

**GREATER ALBUQUERQUE
HOUSING PARTNERSHIP**

FRANCISCAN ACRES SUBDIVISION
INDIAN SCHOOL AND BROADWAY
ALBUQUERQUE, NM 87102

REVISIONS:

No.	DATE	DESCRIPTION

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Drawn by **EH**
Checked by **NW**
Date **7/24/2012**
Project number **2439**
Cad file name

SHEET TITLE:

DESIGN REQUIREMENTS

SHEET NUMBER:

DRB-5

P:\2439_GA\Housing\Broadway\140_Drawings\Civil\C101.dwg

PAVING PLAN GENERAL NOTES

I. SEE SHEET C601 FOR COMPLETE LIST OF GENERAL NOTES AND SYMBOL/LINETYPE LEGEND THAT APPLY TO ALL SHEETS.

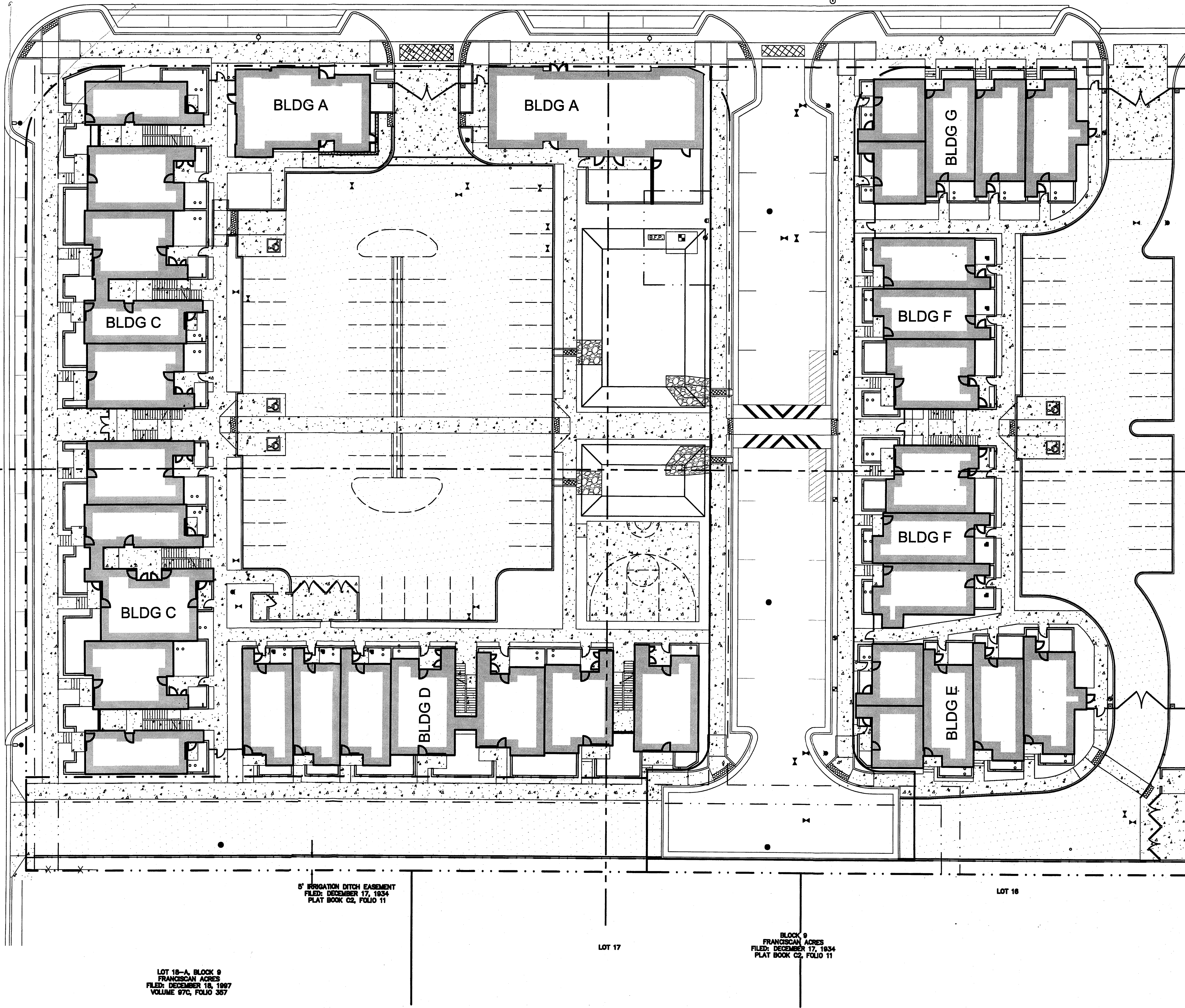
PAVING PLAN KEYED NOTES

1. CONCRETE PAVEMENT PER DETAIL D4/C501.
2. CONCRETE HEADER CURB, 6" TALL, PER DETAIL A5/C501.
3. CONCRETE MOUNTABLE CURB, 4" TALL, PER DETAIL A5/C501.
4. CONCRETE CURB ACCESS RAMP PER DETAIL A1/C501.
5. CONCRETE CURB TRANSITION PER DETAIL A4/C501.
6. CONCRETE SIDEWALK PER DETAIL B4/C501.
7. CONCRETE PARKING BLOCK PER DETAIL D2/C502.
8. CONCRETE STAIR PER DETAILS B3/C502 AND A4/C502.
9. CONCRETE BASKETBALL COURT, JUNIOR HIGH DIMENSIONS, PER DETAIL XX/XXX.
10. CMU SITE WALL, 5' TALL, PER DETAIL D5/C502.
11. CMU SITE WALL, 2' TALL, PER DETAIL D5/C502.
12. SITE WALL PERSONNEL GATE PER DETAIL XX/XXX.
13. TRASH ENCLOSURE PER DETAIL A2/C502.
14. AGGREGATE BASE COURSE PAVEMENT PER DETAIL E4/C501.
15. ADA RESERVED PARKING STALL, TYPE A, PER DETAIL A1/C502.
16. ADA RESERVED PARKING STALL, TYPE B, PER DETAIL A1/C502.
17. FENCE PER DETAIL XX/XXX.
18. FENCE PERSONNEL GATE PER DETAIL XX/XXX.
19. FENCE VEHICLE GATE PER DETAIL XX/XXX.
20. FENCE ELECTRIC MOTOR MOUNTED ON 2"x2"x4" CONCRETE PAD PER DETAIL XX/XXX.
21. DETENTION POND, REFER TO SHEET C201 FOR GRADING INFORMATION.
22. BICYCLE RACK PER DETAIL XX/XXX.
23. FIRE RISER ROOM, SEE ARCHITECTURAL AND MECHANICAL PLANS.
24. LANDSCAPED AREA.
25. ADA RESERVED PARKING SIGN MOUNTED TO CMU WALL PER DETAIL C3/C501.
26. ADA VAN ACCESSIBLE RESERVED SIGN MOUNTED TO CMU WALL PER DETAIL C3/C501.
27. STEEL STAIRWAY PER ARCHITECTURAL SHEET AXXX. SHOWN FOR REFERENCE ONLY.
28. CONCRETE TRENCH DRAIN PER DETAIL XX/XXX.
29. CONCRETE SIDEWALK CULVERT PER DETAIL B3/C501.
30. RIP RAP EROSION PROTECTION PER DETAIL XX/XXX.

PAVING PLAN SHEET NOTES

- A. SAWCUT A 2" DEEP V-NOTCH INTO THE TOP OF THE CONCRETE HEADER CURB TO MARK THE EDGE OF THE PARKING STALL, TYPICALLY AT 8'-6" INTERVALS.
- B. DASHED LINE IS SHOWN TO ILLUSTRATE THE PARKING LOT LAYOUT AND SPACING. FOR REFERENCE ONLY.

SITE PLAN WITH
SOLID WASTE &
FIRE MARSHAL APPROVAL



5' IRRIGATION DITCH EASEMENT
FILED: DECEMBER 17, 1934
PLAT BOOK C2, FOLIO 11

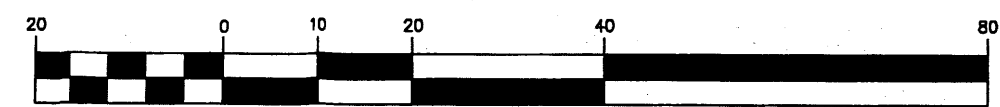
LOT 18-A, BLOCK 9
FRANCISCAN ACRES
FILED: DECEMBER 18, 1997
VOLUME 676, FOLIO 357

LOT 17

BLOCK 9
FRANCISCAN ACRES
FILED: DECEMBER 17, 1934
PLAT BOOK C2, FOLIO 11

LOT 16

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

A1 SITE PAVING PLAN

1" = 20'-0"

AFD PLANS CHECKING OFFICE
024-3611
APPROVED/DISAPPROVED
7-18-12
SIGNATURE & DATE

Approved



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NOT FOR CONSTRUCTION

60% CONSTRUCTION
DOCUMENTS

PROJECT NAME

PLAZA CIUDANA

ALBUQUERQUE, NEW MEXICO

GREATER ALBUQUERQUE
HOUSING PARTNERSHIP

REVISIONS

No.	Date	Description

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Drawn by: JRGP
Checked by: DAA
Date: JULY 17, 2012
Project number: 2439
CAD file name:

SHEET TITLE

SITE PAVING PLAN

SHEET NUMBER

C-101

INTRODUCTION

THE PURPOSE OF THIS SITE DEVELOPMENT PLAN FOR BUILDING PERMIT IS TO ENSURE THAT THE SOUTHEAST CORNER OF BROADWAY AND INDIAN SCHOOL NE IS COMPREHENSIVELY DEVELOPED WITH RESPECT TO SITE LAYOUT FOR BUILDINGS, PARKING, INGRESS/EGRESS POINTS, PEDESTRIAN CIRCULATION, AND LINKAGES TO ADJACENT USES AS WELL AS ARCHITECTURAL AND NEIGHBORHOOD DESIGN.

THE PROPOSED USE OF THE SITE IS TO DEVELOP 68 UNITS OF MULTI-FAMILY HOUSING AND ASSOCIATED COMMUNITY SUPPORT FUNCTIONS, INCLUDING A LEASING OFFICE, COMMUNITY SUPPORT BUILDINGS, AND PARK FACILITY ACCESSIBLE TO THE PUBLIC.

BUILDING MASSING IS ARRANGED RECTILINEARLY TO MELD THE DEVELOPMENT WITH THE EXISTING FABRIC OF SURROUNDING CITY BLOCKS. BUILDINGS ARE PLACED WITH THEIR FRONT FACADES FACING STREETS AND ADJACENT TO SIDEWALKS, WITH FRONT SETBACKS VARYING FROM A MAXIMUM OF 22' FROM THE PROPERTY LINE ALONG BROADWAY TO A MINIMUM ZERO SETBACK AT THE COMMUNITY BUILDINGS ALONG INDIAN SCHOOL. HEIGHTS RANGE FROM ONE TO THREE STORIES, WITH A MAXIMUM HEIGHT OF 48' AT THE THREE STORY UNITS. THE MAXIMUM FLOOR AREA RATIO FOR THE DEVELOPMENT IS 3.

OFF-STREET PARKING IS LOCATED AT THE CENTER OF EACH RESIDENTIAL BLOCK, WITH CONTROLLED VEHICULAR INGRESS AND EGRESS TO THE OFF-STREET PARKING AREAS FROM INDIAN SCHOOL NE. A PROPOSED STREET BISECTS THE CENTER OF THE SITE IN A NORTH / SOUTH DIRECTION, AND IS MASTER PLANNED TO CONNECT TO A POSSIBLE EASTWEST STREET TO THE SOUTH OF THIS DEVELOPMENT IN A FUTURE PHASE. NEW ON-STREET PARKING IS PROPOSED TO BE CONSTRUCTED AS A PART OF THIS DEVELOPMENT, 100% OF WHICH SERVES THE REQUIREMENTS OF THE DEVELOPMENT.

PEDESTRIAN INGRESS AND EGRESS IS THROUGH AN EXTENSION OF THE EXISTING NEIGHBORHOOD'S SIDEWALK SYSTEM ALONG BROADWAY AND INDIAN SCHOOL. CONTROLLED GATED PEDESTRIAN ACCESS POINTS CONNECT THE PERIMETER SIDEWALK SYSTEM TO THE INTERNAL CIRCULATION SYSTEM OF SIDEWALKS WITHIN THE PERIMETER SECURITY WALLS.

LANDSCAPING EMPLOYS A LARGE NUMBER OF TREES FOR SHADING AND TO TIE THE PROPOSED PARK AREA VISUALLY TO THE PROPOSED OFF-STREET PARKING AREAS. PERMEABLE PAVING IS USED IN THE OFF-STREET PARKING AREAS TO ENCOURAGE THEIR USE AS MULTI-FUNCTIONING SPACES.

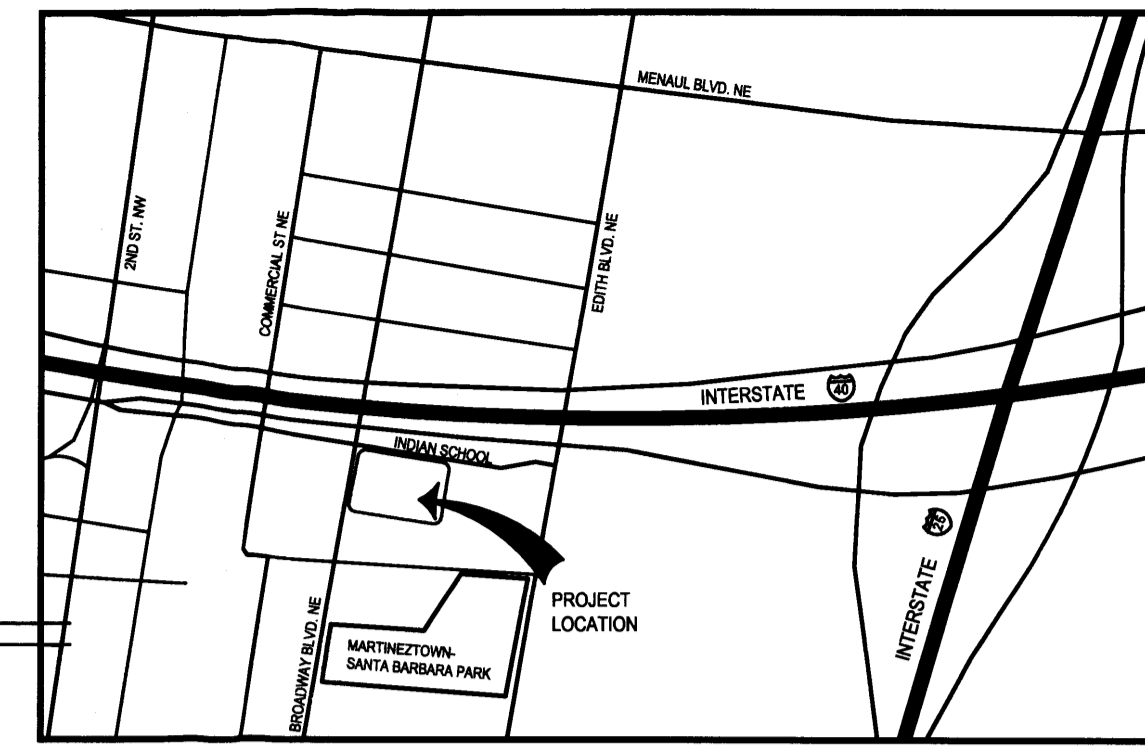
LEGEND:

- PEDESTRIAN ACCESS
- PERMEABLE PAVEMENT
- PATTERNED CONCRETE CROSSWALK
-
-
- LOW RETAINING WALL - GRAY-BROWN CONCRETE BLOCK, 8X16 STACKED BOND, 2'-0\"/>
- SITE LIGHTING, METAL HALIDE, 15' ALUM. POLE
- SITE LIGHTING, METAL HALIDE, 15' ALUM. POLE, DOUBLE LAMP
- SITE LIGHTING, METAL HALIDE, 12' ALUM. POLE
- PICNIC TABLE
- TRASH CAN
- BENCH
- BOULDERS

TABLE OF CONTENTS:

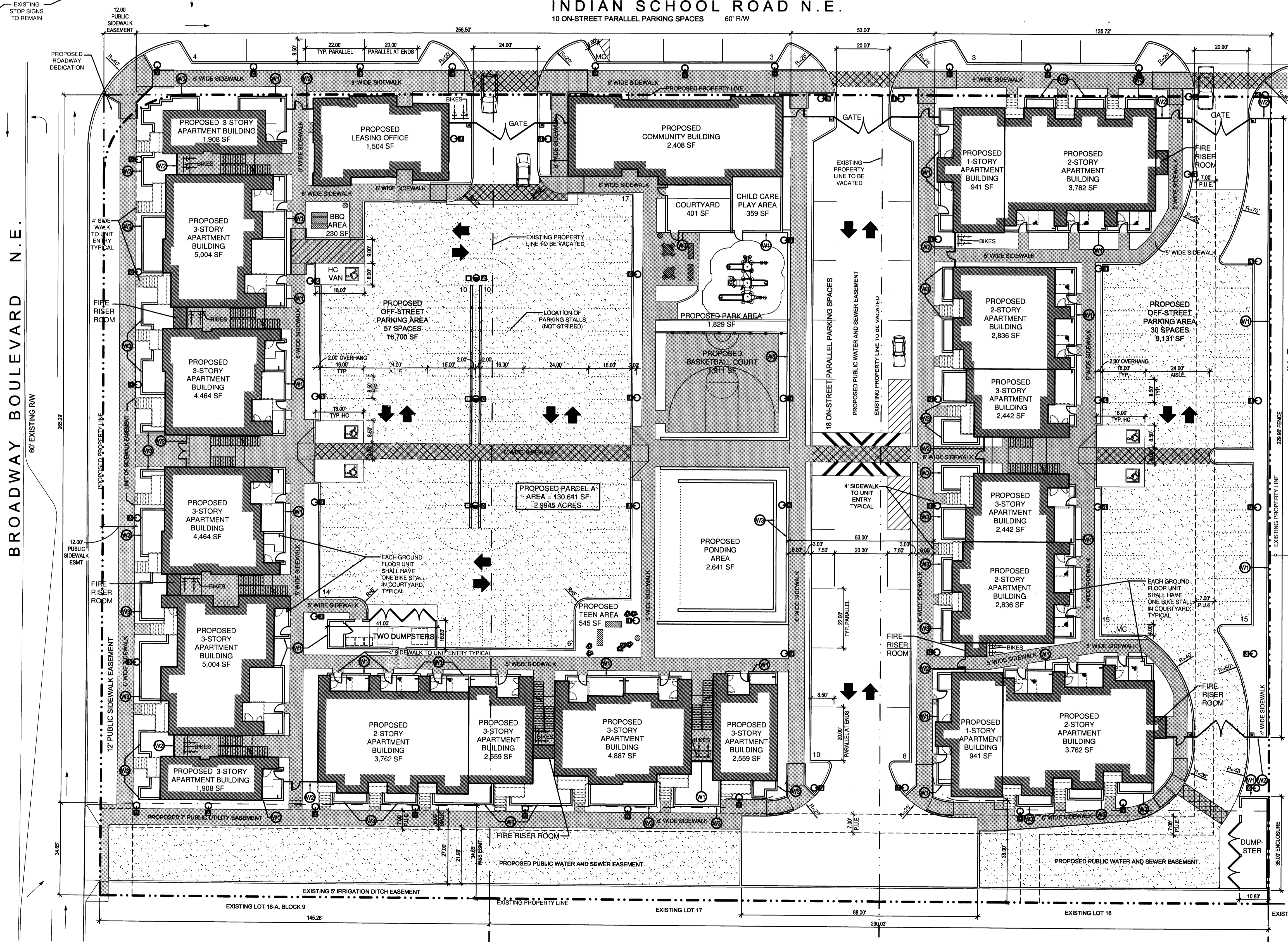
- 1.....SITE PLAN
- 2.1.....LANDSCAPE PLANTING PLAN
- 2.2.....LANDSCAPE IRRIGATION PLAN
- 3.1.....CONCEPTUAL GRADING PLAN
- 3.2.....CONCEPTUAL DRAINAGE
- 4.....CONCEPTUAL UTILITY PLAN
- 5.1.....BUILDING AND STRUCTURE ELEVATIONS, BLDG A&B
- 5.2.....BUILDING AND STRUCTURE ELEVATIONS, BLDG C
- 5.3.....BUILDING AND STRUCTURE ELEVATIONS, BLDG D
- 5.4.....BUILDING AND STRUCTURE ELEVATIONS, BLDG E&G
- 5.5.....BUILDING AND STRUCTURE ELEVATIONS, BLDG F

NOTE: PARK AREA IS PRIVATELY OWNED AND PRIVATELY MAINTAINED BY OWNER.



E5 VICINITY MAP
SCALE: 1" = 1000'

INDIAN SCHOOL ROAD N.E.
10 ON-STREET PARALLEL PARKING SPACES 60' R/W



PROJECT LOCATION: SOUTHEAST CORNER OF INDIAN SCHOOL AND BROADWAY NE

LEGAL DESCRIPTION: LOTS 1 THROUGH 3, BLOCK 9, FRANCISCAN ACRES

ZONE ATLAS PAGE: H-14

TOTAL ACREAGE: 2.9945 ACRES

PROPOSED SUBDIVISION PARCELS: PARCEL A.....2.9945 ACRES

EXISTING ZONING: SU-2/SU-1 FOR PRD

PROPOSED USES: RESIDENTIAL DWELLINGS

LIST OF APPLICABLE PLANS:
RANK 1 PLANS: ALBUQUERQUE/BERNALILLO COUNTY COMPREHENSIVE PLAN
RANK 2 PLANS: NONE
RANK 3 PLANS: MARTINEZTOWN / SANTA BARBARA SECTOR DEVELOPMENT PLAN

MAXIMUM BUILDING HEIGHT: 48 FEET

MINIMUM BUILDING SETBACK: ZERO (INDIAN SCHOOL ONLY)

MAXIMUM TOTAL DWELLING UNITS:
68 DWELLING UNITS
NET- 28.64 DUS/ ACRE
GROSS- 22.67 DUS/ACRE

PROPOSED TOTAL AREA FOR RESIDENTIAL UNITS: 56,481 SF (LEASING OFFICE AND COMMUNITY BUILDING NOT INCL.)

FAR SUMMARY:
MAXIMUM FAR FOR NONRESIDENTIAL UNITS.....0.3
PROVIDED FAR FOR NONRESIDENTIAL UNITS.....0.05
PROVIDED FAR FOR ALL DEVELOPMENT (RES AND NON-RES).....0.53

REQUIRED PARKING:
PER DRB APPROVED SDP FOR SUBDIVISION 8-8-12,
TOTAL REQUIRED PARKING.....115 SPACES

PROPOSED PARKING:
OFF-STREET PARKING.....87 SPACES
ON-STREET PARKING.....28 SPACES
TOTAL PROPOSED PARKING.....115 SPACES

HANDICAPPED, MOTORCYCLE, AND BICYCLE PARKING IS PROVIDED TO MEET THE REQUIREMENTS OF THE APPROVED SITE DEVELOPMENT PLAN FOR SUBDIVISION DATED 8-8-2012.

SIGNATURE BLOCK

PROJECT NUMBER _____

APPLICATION NUMBER _____

Is an infrastructure list required? () yes () no If yes, then a set of approved DRG plans with a work order is required for any construction within public right-of-way or for construction of public improvements.

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE:
UTILITIES DEVELOPMENT	DATE:
PARKS AND RECREATION	DATE:
CITY ENGINEER	DATE:
ENVIRONMENTAL HEALTH DEPT. (if required)	DATE:
SOLID WASTE MANAGEMENT	DATE:
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE:



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CONSULTANT

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PROJECT NAME:
**GREATER ALBUQUERQUE
HOUSING PARTNERSHIP**

FRANCISCAN ACRES SUBDIVISION
INDIAN SCHOOL AND BROADWAY
ALBUQUERQUE, NM 87102

REVISIONS:

No.	DATE	DESCRIPTION
1	7/17/2012	PLAT REVISIONS
2	7/24/2012	DRB COMMENTS
3	8/5/2012	DRB COMMENTS

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Drawn by: EH

Checked by: MW

Date: 8/10/2012

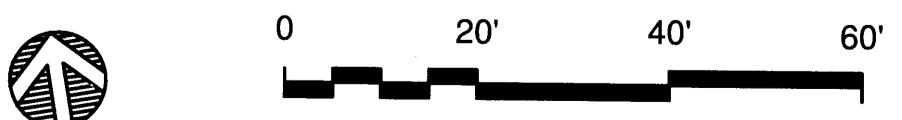
Project number: 2439

Cad file name:

SHEET TITLE:
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

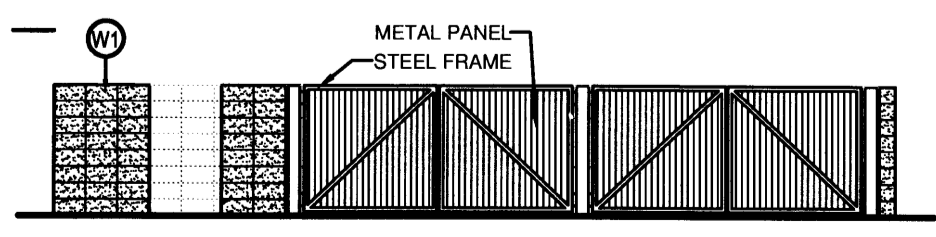
SHEET NUMBER:

A1 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
SCALE: 1" = 20'-0"



NOTE: ALL PROPOSED IMPROVEMENTS SHOWN ARE ILLUSTRATIVE ONLY.

A5 DUMPSTER ENCLOSURE
SCALE: 1/8" = 1'-0"

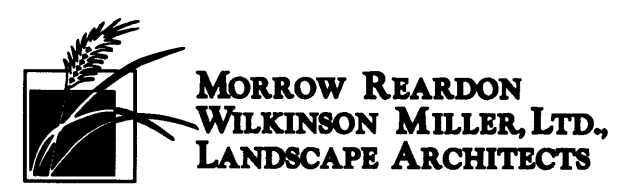




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HATCH LEGEND

- 3" DEPTH OF 1" BUILDOLGY BROWN GRAVEL MULCH, (OR APPROVED EQUAL). AVAILABLE FROM BUILDOLGY (505) 344-6626.
- 3" DEPTH OF 1" BUILDOLGY BROWN GRAVEL MULCH, (OR APPROVED EQUAL). AVAILABLE FROM BUILDOLGY (505) 344-6626. TREES PLANTED IN THIS AREA SHALL BE PER TRENCH PLANTING DETAIL A3/L-501.
- PARK BLEND TURF- SOD
- ENGINEERED WOOD FIBER PLAY SURFACE. SEE KEYED NOTE #6.
- BUILDOLGY BROWN CRUSHER FINES AVAILABLE FROM BUILDOLGY (505) 344-6626, OR APPROVED EQUAL. CONTRACTOR TO SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
- GRAVEL MULCH. SEE CIVIL.
- CONCRETE. SEE CIVIL.

GENERAL NOTES

1. MULCH IN TREE AND SHRUB BEDS SHALL BE 3" DEPTH OF 3/4" - 1" DIAMETER WARM TONE CRUSHED GRAVEL WITH FILTER FABRIC UNDER.
2. THIS PLAN IN COMPLIANCE WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE, ENACTMENT NO. 18-1995.

IRRIGATION SYSTEM

ALL PLANTING IMPROVEMENTS WILL BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. TREES, SHRUBS AND PERENNIALS WILL BE WATERED BY LOW PRECIPITATION RATE BUBBLER HEADS. TURF WILL BE WATERED BY SPRAY OR ROTOR HEADS. BACKFLOW PREVENTION WILL BE PROVIDED AT POINT OF CONNECTION TO SERVE AS THE MEANS OF WATER CONTAMINATION PROTECTION. IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER.

LANDSCAPE MAINTENANCE

THE OWNER WILL RESUME RESPONSIBILITY FOR MAINTENANCE OF THE LANDSCAPE AND IRRIGATION SYSTEM.

LANDSCAPE AREA REQUIREMENTS

TOTAL LOT AREA: 140,719 S.F.
 BUILDING AREA: 27,738 S.F.
 NET LOT AREA: 112,981 S.F. (TOTAL - BUILDING = NET)
 TOTAL LANDSCAPE AREA REQUIRED: 16,947 S.F. (15% OF NET LOT AREA)
 TOTAL LANDSCAPE AREA PROVIDED: 25,489 S.F. (22.5% OF NET LOT AREA)

LANDSCAPE AREAS

LANDSCAPE TYPE	SQUARE FOOTAGE
HIGH WATER USE TURF	3,306 S.F. (13% OF LANDSCAPED AREA)
TREES AND SHRUB BEDS WITH GRAVEL OR CRUSHER FINE MULCH	22,183 S.F. (87% OF LANDSCAPED AREA)

STAMP

PROJECT NAME
GREATER ALBUQUERQUE HOUSING PARTNERSHIP

FRANCISCAN ACRES SUBDIVISION
 INDIAN SCHOOL AND BROADWAY
 ALBUQUERQUE, NM 87102

REVISIONS:

No.	DATE	DESCRIPTION

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Checked by **GM**

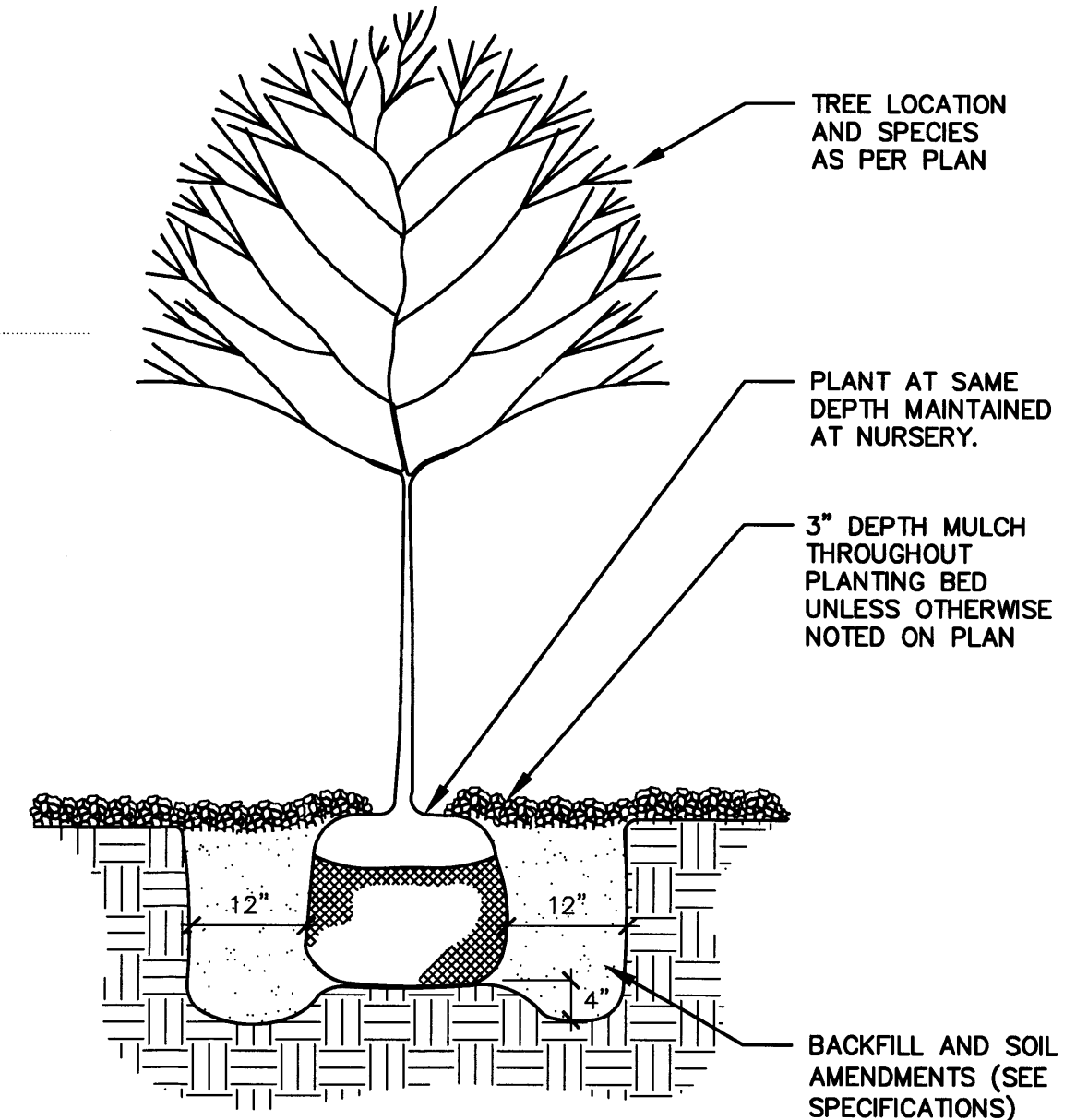
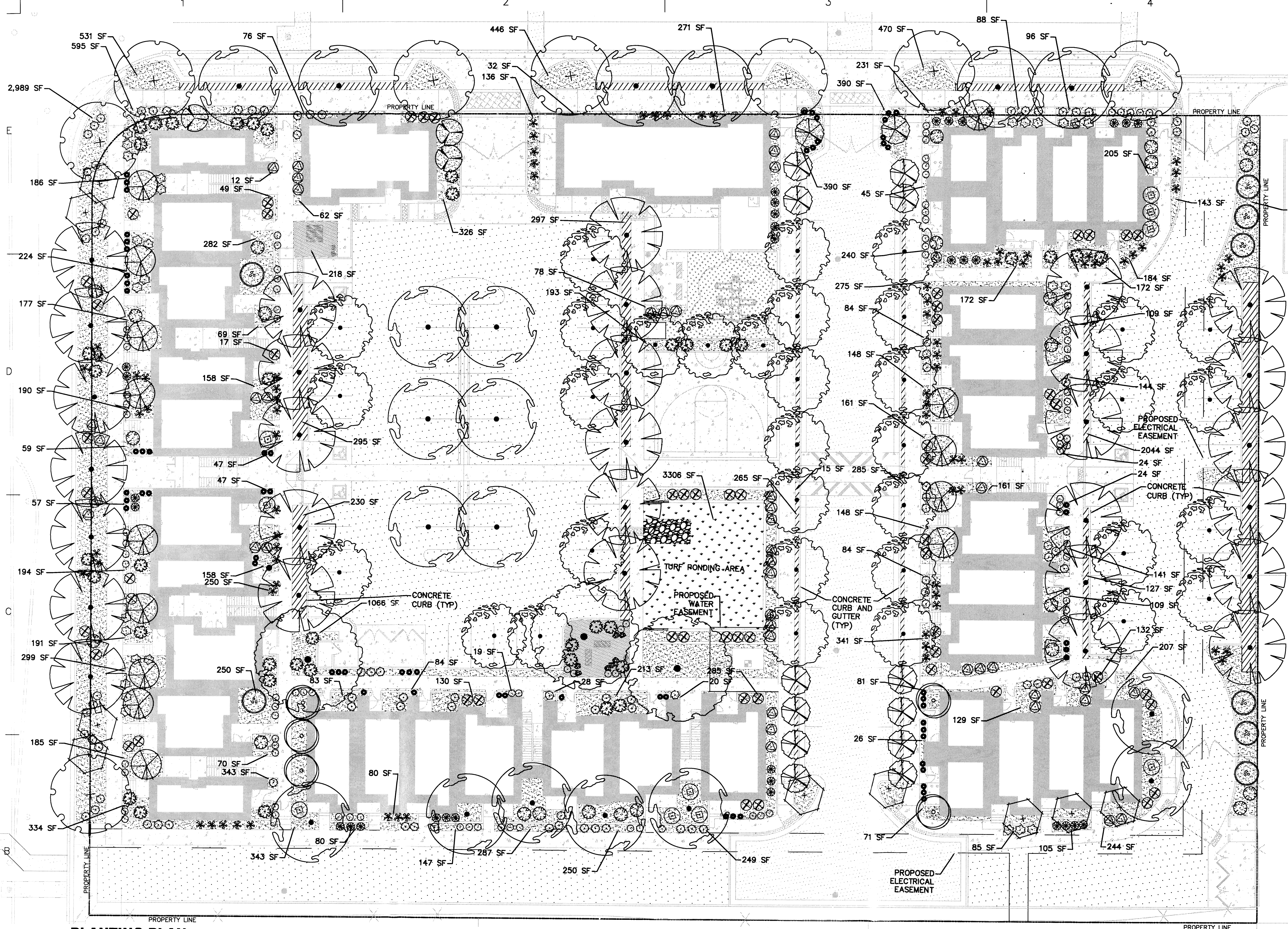
Date **8/10/2012**

Project number **2439**

Cad file name

SHEET TITLE:
LANDSCAPE PLANTING PLAN

SHEET NUMBER:
2.1



A5 TREE PLANTING DETAIL
 SCALE: N.T.S.

B1 PLANTING PLAN
 SCALE: 1" = 20'-0"

PLANT SCHEDULE

KEY	COMMON NAME	BOTANICAL NAME	QUANTITY	INSTALLED SIZE	MATURE SIZE	CONDITION
TREES						
UA	Urbanite Ash	Fraxinus pennsylvanica 'Urbanite'	19	2" cal., 12'-14'ht.	40' ht. & 25' spd.	30" box
CP	Chinese Pistache	Pistacia chinensis	8	2" cal., 10'-12'ht.	40' ht. & 25' spd.	30" box
LP	London Plane Tree	Platanus acerifolia	3	2" cal., 12'-14'ht.	50' ht. & 30' spd.	30" box
AP	Aristocrat Pear	Pyrus calleryana 'Aristocrat'	34	2" cal., 10'-12'ht.	25' ht. & 20' spd.	30" box
LE	Lacebark Elm	Ulmus parvifolia	30	2" cal., 12'-14'ht.	30' ht. & 25' spd.	30" box
ACCENT TREES						
NMO	New Mexico Olive	Forestiera neomexicana	14	Min. 4' ht.	18' ht. & 15' spd.	15-Gal.
WH	Washington Hawthorne	Crataegus phanopyrum	14	2" cal., 9'-10'ht.	25' ht. & 20' spd.	15-Gal.
RC	Radiant Crabapple	Malus 'Radiant'	9	2" cal., 9'-10'ht.	24' ht. & 20' spd.	30" Box
VX	Vitex	Vitex angus-castus	5	Min. 4' ht.	25' ht. & 20' spd.	15-Gal.

PLANT SCHEDULE CONTINUED

KEY	COMMON NAME	BOTANICAL NAME	QUANTITY	INSTALLED SIZE	MATURE SIZE	CONDITION
SHRUBS						
BB	Butterfly Bush	Buddleia davidii	8	1'-6"ht.	9' ht. & spd.	5-Gal.
BM	Blue Mist Spirea	Caryopteris x clandonensis	91	1'-6"ht.	3' ht. & spd.	5-Gal.
FB	Fernbush	Chamaebatiaria millefolium	24	1'-6"ht.	5' ht. & spd.	5-Gal.
TB	Turpentine Bush	Ericameria larkifolia	56	1'-6"ht.	4' ht. & spd.	5-Gal.
BJ	Buffalo Juniper	Juniperus horizontalis 'Buffalo'	10	6"ht.	1' ht. & 6' spd.	5-Gal.
GLS	Gro-Low Sumac	Rhus aromatic 'Gro-Low'	39	1'ht.	3' ht. & 5' spd.	5-Gal.
LL	Lilac	Syringa vulgaris	3	1'-6"ht.	15' ht. & spd.	5-Gal.
GRASSES AND ACCENTS						
KF	Karl Foester Grass	Calamagrostis x acutiflora 'Karl Foester'	94	1'-6"ht.	2' ht. & spd.	5-Gal.
RY	Red Yucca	Hesperaloe parviflora	31	1'-6"ht.	4' ht. & 3' spd.	5-Gal.
MG	Maiden Grass	Miscanthus sinensis 'Gracillimus'	43	1'-6"ht.	5' ht. & 3' spd.	5-Gal.
SH	Shenandoah Switchgrass	Panicum virgatum 'Shenandoah'	27	1'-6"ht.	4' ht. & spd.	5-Gal.
DF	Dwarf Fountain Grass	Pennisetum alopecuroides 'Hamel'	81	1' ht.	3' ht. & spd.	1-Gal.
BA	Blue Avena	Helictotrichon sempervirens	68	8" ht.	2' ht. & spd.	1-Gal.



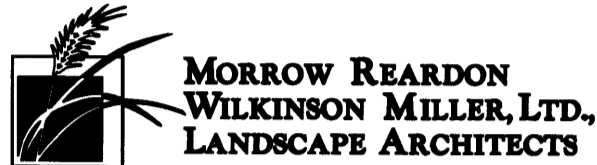
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PROJECT NAME

**GREATER ALBUQUERQUE
HOUSING PARTNERSHIP**

FRANCISCAN ACRES SUBDIVISION
INDIAN SCHOOL AND BROADWAY
ALBUQUERQUE, NM 87102

REVISIONS:

No.	DATE	DESCRIPTION

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Drawn by **GM**

Checked by **GM**

Date **8/10/2012**

Project number **2439**

Cad file name

SHEET TITLE:

LANDSCAPE IRRIGATION PLAN

SHEET NUMBER:

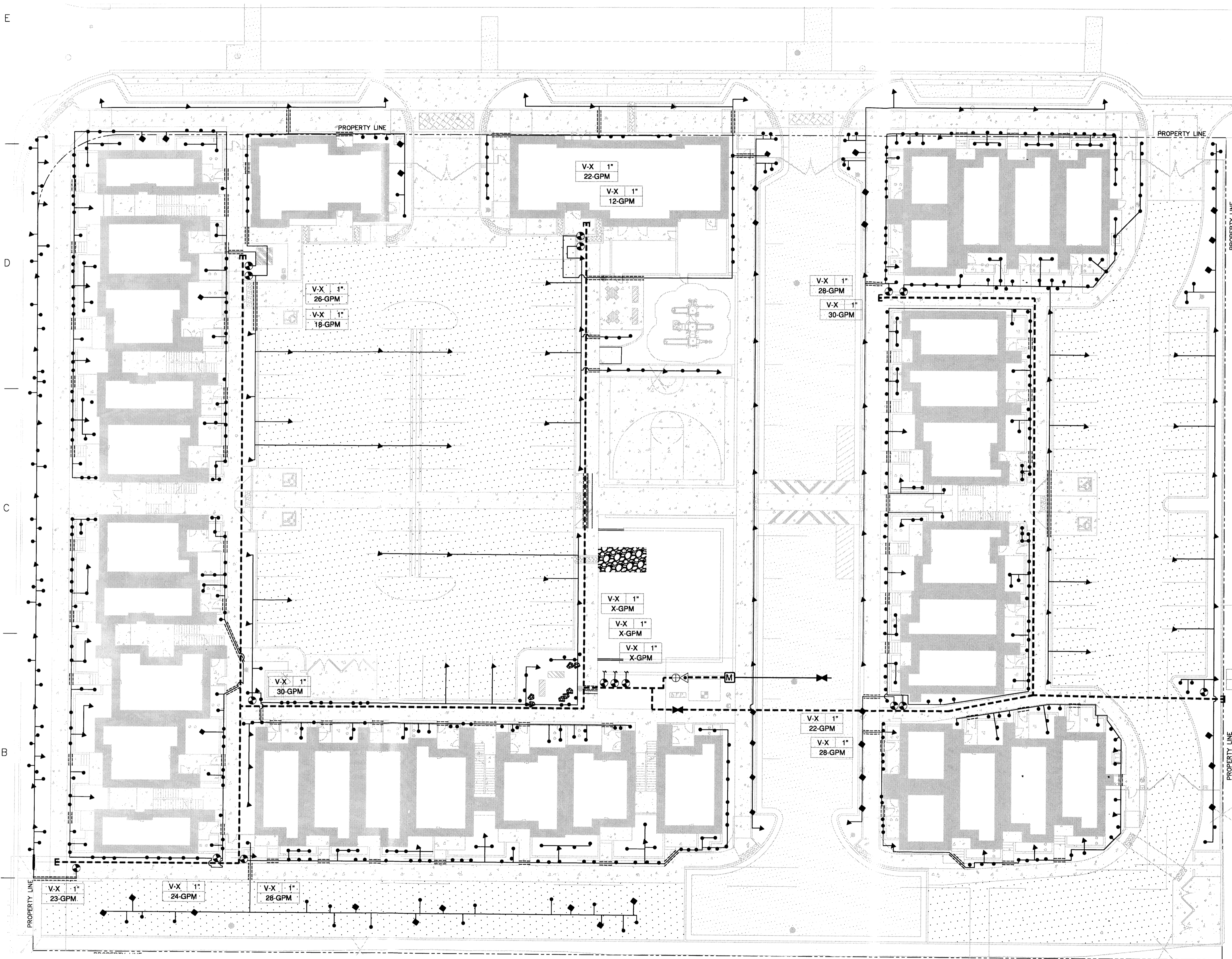
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IRRIGATION LEGEND

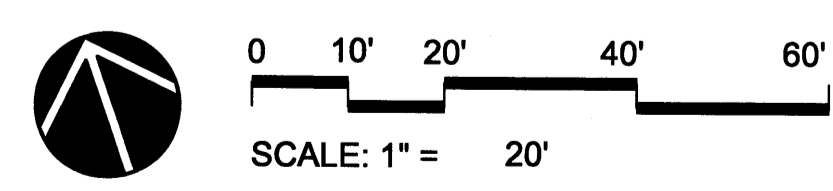
- M** 1.5" WATER METER.
 - MAIN LINE AND LATERAL SLEEVE PIPING, CLASS 200, SDR-21, BELL-END, SOLVENT WELD PVC, SEE IRRIGATION NOTE NO. 2.
 - ===== 24-VOLT IRRIGATION WIRE SLEEVE PIPING, CLASS 200, SDR-21, BELL-END, SOLVENT WELD PVC, SEE IRRIGATION NOTE NO. 2.
 - IRRIGATION MAIN LINE, SCH. 40, BELL END, SOLVENT WELD PVC, SIZE AS SHOWN ON PLAN. DEPTH OF BURY 18". SIZE 1.5".
 - IRRIGATION SERVICE LINE PIPING BETWEEN THE WATER METER AND THE TAP SHALL BE COPPER PIPE. FOR MAINLINE UNDER CONTINUOUS PRESSURE THE DEPTH OF BURY SHALL BE 28", SIZE AS NOTED ON PLAN.
 - LATERAL PIPING, SCH. 40, BELL END, SOLVENT WELD PVC. SIZE AS SHOWN ON PLAN. DEPTH OF BURY, 18".
 - ▶ ISOLATION GATE VALVE ASSEMBLY SHALL BE A 1.5" SPEARS SCH. 80 PVC BALL VALVE WITH UNIONS, MATCH LINE SIZE. INSTALL PER DETAIL A2/L-501.
 - ▶ BACKFLOW PREVENTER ASSEMBLY, FEBCO 825Y, 1.5" REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER IN HOT BOX, MODEL # HB2, COLOR: TAN, HEATED AND INSULATED BACKFLOW ENCLOSURE. SEE DETAIL D1/L-501.
 - ⊕ MASTER VALVE ASSEMBLY. RAINBIRD 1.5" PEB SERIES PLASTIC BODY 24-VOLT AUTOMATIC VALVE. INSTALL VALVES PER DETAIL D1/L-501.
 - ⊕ REMOTE CONTROL VALVE ASSEMBLY. RAINBIRD PEB SERIES PLASTIC BODY 24-VOLT AUTOMATIC VALVE. SIZE AS SHOWN ON PLANS. INSTALL VALVES PER DETAIL B2/L-501.
 - C SOLVENT WELD CAP, SCH. 40 PVC, LINE SIZE.
 - PRESSURE COMPENSATING BUBBLER ASSEMBLIES, RAIN BIRD 1400 SERIES, AS FOLLOWS (INSTALL PER DETAIL A1/L-501):
- | MODEL NO. | GPM | PSI |
|----------------------|---------|-----|
| • 1401 (1 PER SHRUB) | .25 EA. | 30 |
| ◆ 1401 (1 PER SHRUB) | .5 EA. | 30 |
| ▲ 1404 (1 PER TREE) | 1 EA. | 30 |
- C** IRRIGATION CONTROLLER, RAINBIRD ESP-MC WALL MOUNT (12) TWELVE STATION CONTROLLER.
 - ROTARY POP-UP SPRINKLER ASSEMBLIES, HUNTER, 1-20, 4" STAINLESS STEEL AS FOLLOWS:-----SEE DETAIL D2/L-501.
- | MODEL NO. | RADIUS | GPM | PSI | PR. □ |
|------------------|--------|-----|-----|-------|
| ○ 1-20-04-SS-1.5 | 31" | 1.5 | 45 | .7 |
| ○ 1-20-04-SS-1.5 | 31" | 1.5 | 45 | .35 |
| ○ 1-20-04-SS-1.5 | 31" | 1.5 | 45 | .26 |
| ○ 1-20-04-SS-1.5 | 31" | 1.5 | 45 | .18 |

IRRIGATION NOTES

- THIS SYSTEM WAS DESIGNED AT A MINIMUM STATIC PRESSURE OF 65 PSI AT THE POINT OF CONNECTION. CONTRACTOR SHALL VERIFY ACTUAL PSI AND DELIVER RESULTS TO LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. IN THE EVENT THE ACTUAL PSI IS LESS THAN 65 PSI THE CONTRACTOR SHALL RECEIVE DIRECTION FROM LANDSCAPE ARCHITECT REGARDING DESIGN MODIFICATIONS IF NECESSARY. THE PRESSURE READING SHALL BE PERFORMED IN THE PRESENCE OF THE OWNER'S AUTHORIZED REPRESENTATIVE. RESULTS SHALL BE INCLUDED IN THE CONTRACTOR'S IRRIGATION EQUIPMENT SUBMITTAL INDICATING DATE AND TIME OF PRESSURE READING AND THE NAME OF ATTENDING OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL PROVIDE SLEEVING AS DESCRIBED IN SPECIFICATIONS FOR ALL PIPING AND WIRING INSTALLED UNDER SIDEWALKS, ROADWAYS, PARKING LOTS, SITE WALLS, RETAINING WALLS, ETC. INSTALLATION SHALL BE COORDINATED WITH ALL TRADES TO ENSURE THAT SLEEVES ARE INSTALLED PRIOR TO INSTALLATION OF CURB AND GUTTER, ASPHALT PAVEMENT, SIDEWALKS, SLABS, ETC.
- CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO CONSTRUCT PROPOSED IRRIGATION SYSTEM IN ACCORDANCE WITH PLANS, WRITTEN SPECIFICATIONS AND DETAILS.
- THE CONTRACTOR SHALL PROVIDE ONE (1) 120-VOLT, 20 AMP CIRCUIT FROM ELECTRICAL PANEL TO EACH IRRIGATION CONTROLLER AND TO THE BACKFLOW PREVENTER ENCLOSURE. ALL WORK AND MATERIALS SHALL MEET LOCAL CODES AND THE NATIONAL ELECTRIC CODE (N.E.C.).
- FOR PVC IRRIGATION PIPING AND EQUIPMENT REFERENCE IRRIGATION SPECIFICATION SECTION.
- ALL VALVE BOXES AND LIDS SHALL BE THE COLOR TAN.
- PRIOR TO TRENCHING FOR IRRIGATION LINES THE CONTRACTOR SHALL CONTACT NEW MEXICO ONE CALL TO LOCATE ALL UNDERGROUND UTILITIES. IF ANY EXISTING UTILITY LINES CONFLICT WITH PROPOSED IRRIGATION LINES THE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT. ANY UTILITY LINES THAT ARE DAMAGE DUE TO CONSTRUCTION OPERATIONS SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL EXPENSE TO THE OWNER.
- ALL PIPING AND IRRIGATION EQUIPMENT SHALL BE LOCATED IN PLANTER BEDS. PIPING AND EQUIPMENT SHOWN



A1 IRRIGATION PLAN
SCALE: 1" = 20'-0"





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HOUSING PARTNERSHIP

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INDIAN SCHOOL AND BROADWAY
ALBUQUERQUE, NM 87102

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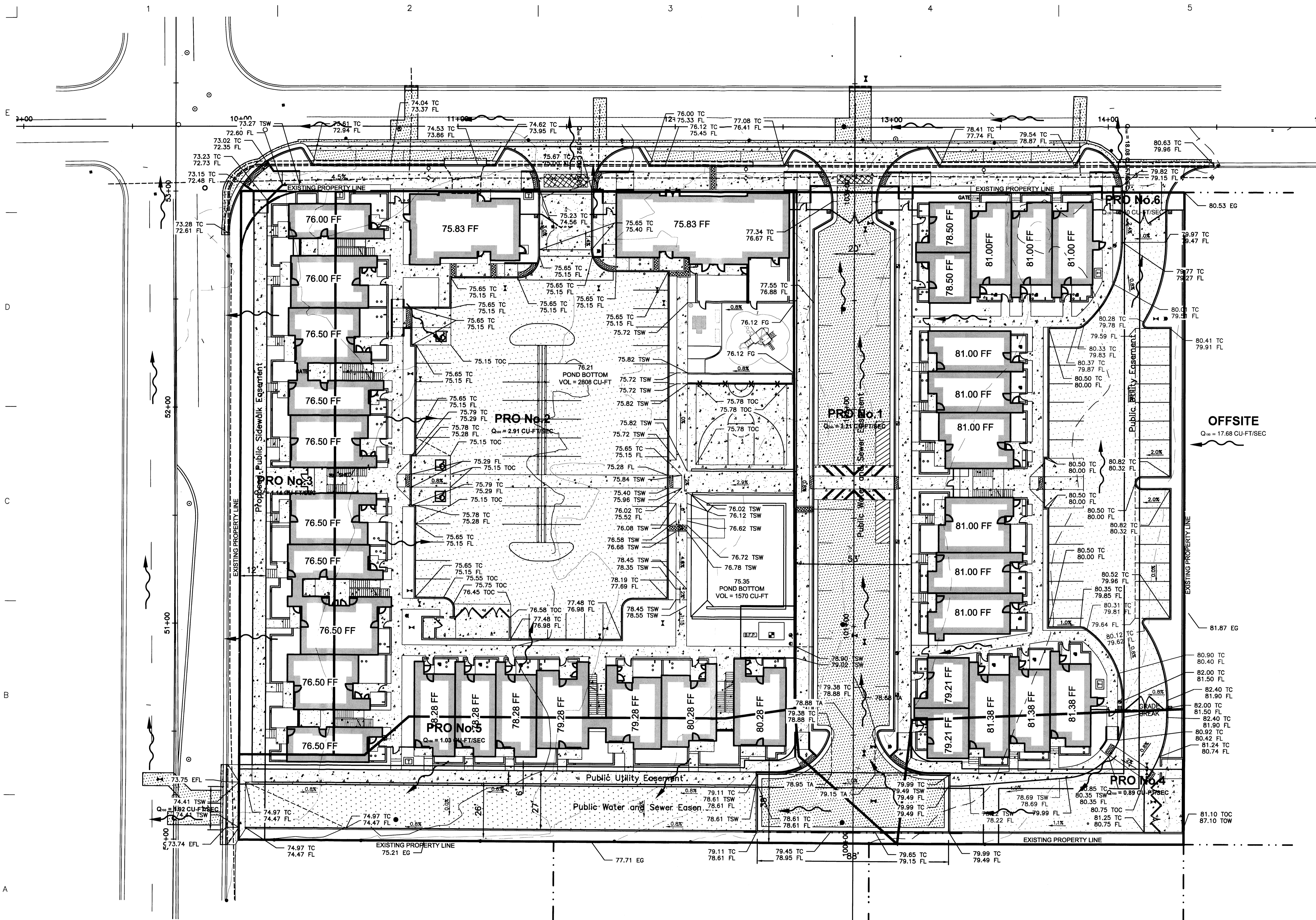
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 Checked by: DA
 Date: 8/7/2012
 Project number: 2439
 Cad file name:

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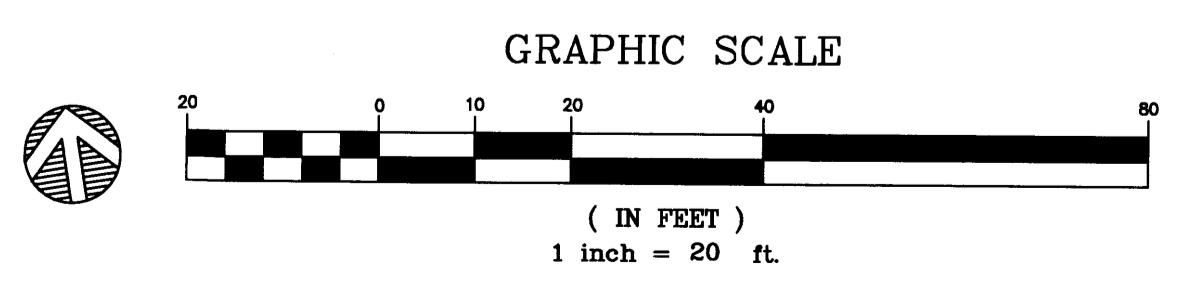
CONCEPTUAL
GRADING
PLAN

SHEET NUMBER:

3.1



A1 CONCEPTUAL GRADING PLAN
 SCALE: 1" = 20'-0"



I. PURPOSE AND SCOPE

THE PURPOSE OF THIS DRAINAGE PLAN IS TO PRESENT THE EXISTING AND PROPOSED DRAINAGE MANAGEMENT PLANS FOR THE GREATER ALBUQUERQUE HOUSING PROJECT AT BROADWAY.

II. SITE DESCRIPTION AND HISTORY

THE PROJECT SITE IS LOCATED AT THE SOUTH-EAST CORNER OF BROADWAY BLVD NE AND INDIAN SCHOOL ROAD NE.

THE SITE IS CURRENTLY COMPOSED OF THREE LOTS, ALL OF THE LOTS ARE APPROXIMATELY 1 ACRE IN SIZE FOR A TOTAL PROJECT SITE SIZE OF THREE ACRES. THE WESTERN AND CENTER LOTS CONTAIN EXISTING RESIDENTIAL STRUCTURES AND VARIOUS CONCRETE SIDEWALKS AND DRIVEWAYS. THE RESIDENCE IN THE CENTER LOT DOUBLES AS A AUTOMOTIVE MECHANIC BUSINESS WITH A VEHICLE STORAGE YARD LOCATED IN THE SOUTHERN HALF OF THE LOT. THE EASTERN LOT IS EMPTY WITH NO STRUCTURES.

III. COMPUTATIONAL PROCEDURES

HYDROLOGIC ANALYSIS WAS PERFORMED UTILIZING THE DESIGN CRITERIA BASED ON SECTION 22.2, HYDROLOGY, OF THE DEVELOPMENT PROCESS MANUAL.

IV. PRECIPITATION

THE STORM EVENT USED FOR THE FOLLOWING CALCULATIONS IS THE 100YR-6HR STORM. THE PROJECT SITE IS LOCATED IN ZONE 2.

V. EXISTING DRAINAGE CONDITIONS

D CURRENTLY THE STORM WATER RUN-OFF DRAINS FROM EAST TO WEST ACROSS THE SITE BEFORE FLOWING ONTO BROADWAY BLVD NE. RUN-OFF FROM THE ADJACENT LOTS (APPROXIMATELY 5 ACRES) ENTERS THE SITE FROM THE EAST AS IT FLOWS TOWARDS BROADWAY BLVD NE. RUN-OFF FROM THE NORTH FLOWS ONTO INDIAN SCHOOL ROAD NE ON ITS WAY TO BROADWAY AND IS THUS PREVENTED FROM ENTERING THE SITE. RUN-OFF FROM THE SOUTH FLOWS EAST TO WEST AND WITH A NEGLIGIBLE AMOUNT FLOWING INTO THE SITE.

THERE ARE CURRENTLY A NUMBER OF RESIDENTIAL STRUCTURES WITH CONCRETE SIDEWALKS ON THE TWO MOST WESTERN LOTS. THE EASTERN LOT IS EMPTY. THESE WILL BE DEMOLISHED TO MAKE ROOM FOR THE PROPOSED DEVELOPMENT.

FOR A 100YR-6HR STORM EVENT THE SITE'S STORM WATER RUN-OFF VOLUME IS 0.24 AC-FT WITH A PEAK DISCHARGE OF 7.94 CFS.

VI. PROPOSED DRAINAGE CONDITIONS (REFER TO CD2)

THIS PROJECT IS PROPOSING TO ADD SEVENTY-TWO (72) HOUSING UNITS IN THE FORM OF MULTI-STORY STRUCTURES. THERE WILL ALSO BE INTERNAL AGGREGATE PARKING LOTS, CONCRETE SIDEWALKS, LANDSCAPING AREAS, AND A RECREATIONAL PARK. THE SITE IS SPLIT INTO TWO DRAIN DISTINCT AREAS SEPARATED BY AN INTERNAL ROADWAY THAT RUNS SOUTH TO NORTH.

C THE CITY OF ALBUQUERQUE HAS REQUIRED THIS PROJECT, DUE TO ITS LOCATION WITHIN THE MARTINEZTOWN NEIGHBORHOOD, TO RELEASE A MAXIMUM FLOWRATE OF 2.75 CU-FT/SEC PER ACRE OF STORM WATER RUN-OFF.

THE EASTERN PARKING LOT (WITHIN BASIN PRO No. 1) IS COMPOSED OF AGGREGATE RATHER THAN ASPHALT PAVEMENT. THE AGGREGATE HAS A STORAGE CAPACITY OF APPROXIMATELY 2.6 INCHES BEFORE IT WOULD BEGIN TO POOL ABOVE THE UPPER MOST SURFACE. DUE TO THE TOTAL STORAGE CAPACITY (1633 CU-FT) AND AN INFILTRATION RATE OF 0.5 INCHES THE STORM WATER RUN-OFF GENERATED FROM THE PARKING LOT (670 CU-FT AT 0.52 CU-FT/SEC) WILL BE CONTAINED WITHIN THE PARKING LOT. RUNOFF FROM THIS AREAS WILL BE VERY LIMITED BUT WILL BE UTILIZED AS A PONDING AREA AND DETENTION BASIN FOR OFFSITE FLOWS FROM THE EAST. EXCESS RUNOFF FROM THE EAST WILL BE DETAINED IN THIS PONDING ARE AND WILL OVERFLOW INTO INDIAN SCHOOL.

THE MAJORITY OF THE EASTERN HALF OF THE SITE (PRO BASIN No.1) WILL DRAIN INTO THE PARKING LOT ON THE EASTERN SIDE OF THE UNITS. THE WESTERN PORTION OF THE BUILDING AND BASIN WILL FLOW INTO THE PRIVATE DRIVE THAT HAS BEEN DESIGNED FOR POSSIBLE FUTURE DEDICATIONS. EXCESS FLOWS FROM THIS BASIN WILL FLOW NORTH TOWARD INDIAN SCHOOL RD.

B THE WEST (PRO BASIN No.2), CONTAINS BOTH PARKING AREAS AND UNITS WITH ASSOCIATED LANDSCAPING BUFFERS. THE WESTERN PARKING LOT WILL ALSO BE A THICK PERVIOUS PAVEMENT (1" ANGULAR GRAVEL WITH STORAGE CAPACITY OF 2.6" OF WATER) WILL BE DESIGNED FOR A RUN-OFF STORAGE CAPACITY OF (2806 CU-FT). THE PARKING LOT WILL ACHIEVE THIS CAPACITY AT TWO INCHES OF STORM WATER DEPTH ABOVE THE UPPER MOST SURFACE BEFORE FLOWING THROUGH THE DRIVE ENTRANCE OF THE PARKING LOT-IN THIS CASE, ACTING AS A BROAD CRESTED WEIR-AS THE RUN-OFF (1.55 CU-FT/SEC) LEAVES THE PROJECT SITE ONTO INDIAN SCHOOL ROAD NE.

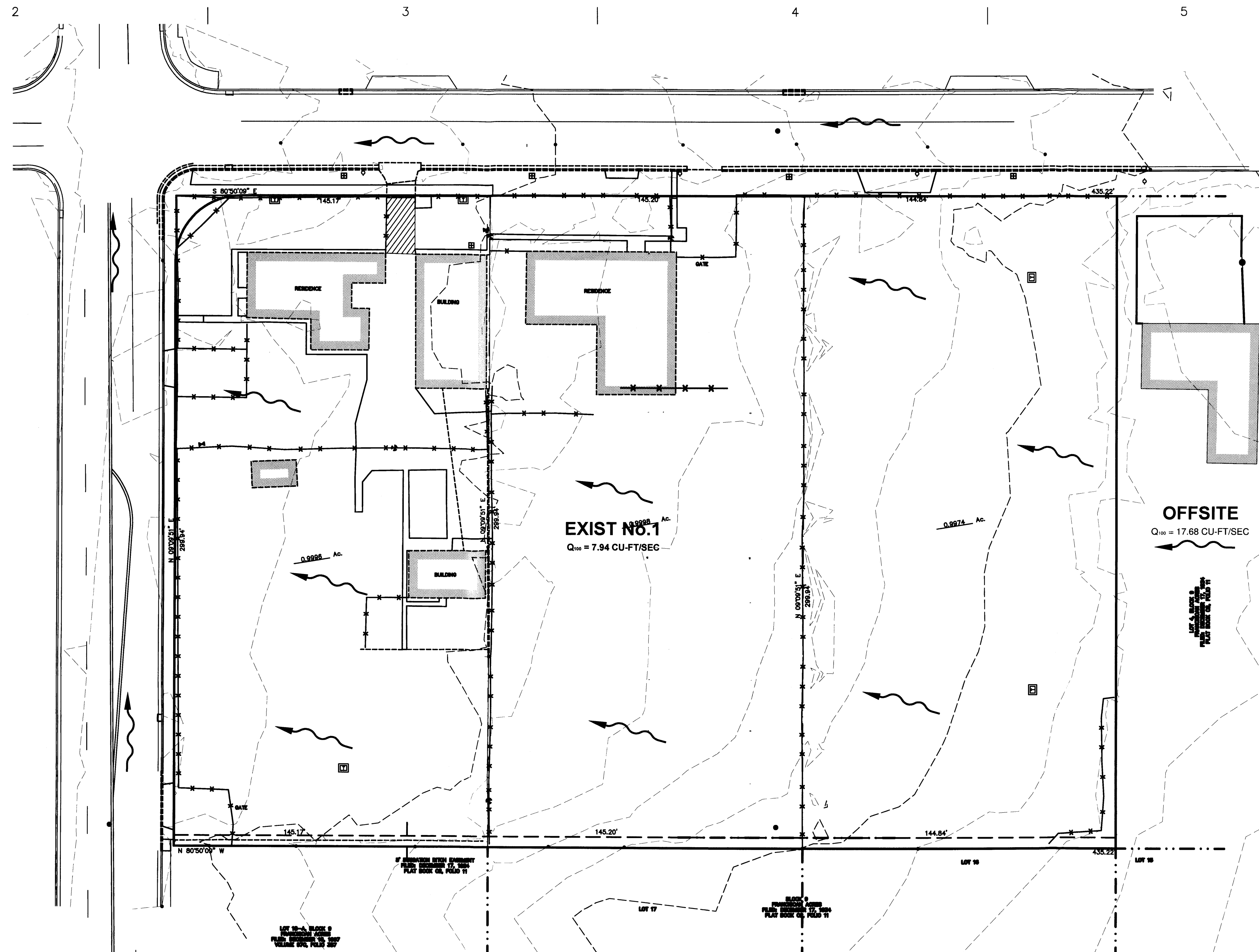
THERE WILL BE A NUMBER OF METHODS TO MITIGATE THE IMPACT OF THE OFFSITE FLOW ENTERING THE SITE (PRO BASIN No.6) FROM THE EAST. ONE IS TO CHANNEL TWO-THIRDS OF THE RUN-OFF INTO A CONCRETE CHANNEL RUNNING PARALLEL TO THE PROPERTY LINE BEFORE DISCHARGING ONTO INDIAN SCHOOL ROAD NE. THE OTHER IS TO CHANNEL THE RUN-OFF INTO A SWALE THAT WILL DIRECT THE RUN-OFF SOUTH BEFORE TURNING AND RUNNING PARALLEL TO THE SOUTH PROPERTY LINE BEFORE DISCHARGING ONTO BROADWAY BLVD NE THROUGH A NUMBER OF SIDEWALK CULVERTS.

VII. CONCLUSIONS

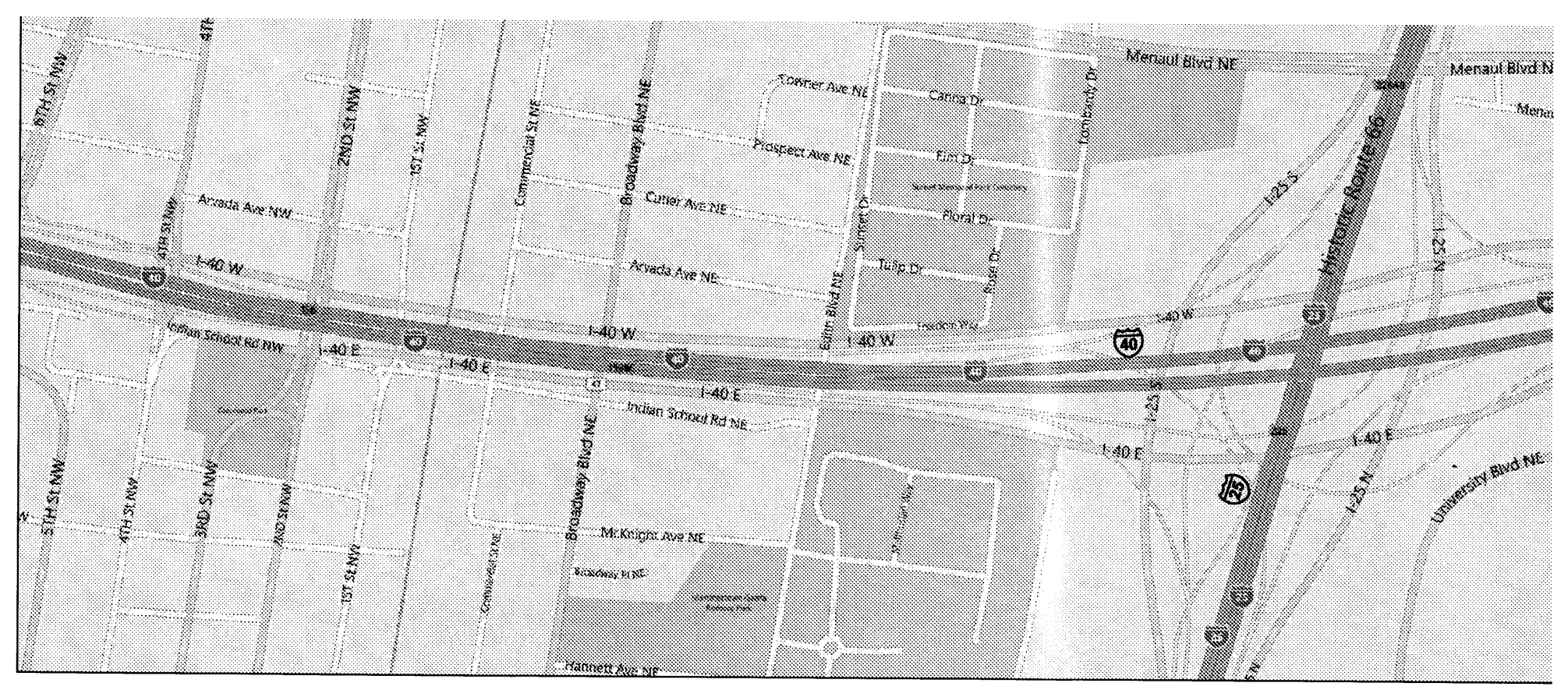
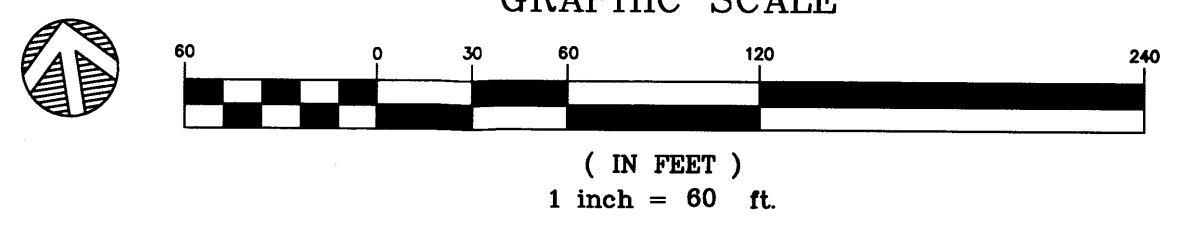
AS A RESULT OF THE PROPOSED CONSTRUCTION THERE WILL BE THE FOLLOWING FLOWRATES:

PRO BASIN No.1 - 0.80 CU-FT/SEC
 PRO BASIN No.2 - 0.75 CU-FT/SEC
 PRO BASIN No.3 - 1.14 CU-FT/SEC
 PRO BASIN No.4 - 0.89 CU-FT/SEC
 PRO BASIN No.5 - 1.03 CU-FT/SEC

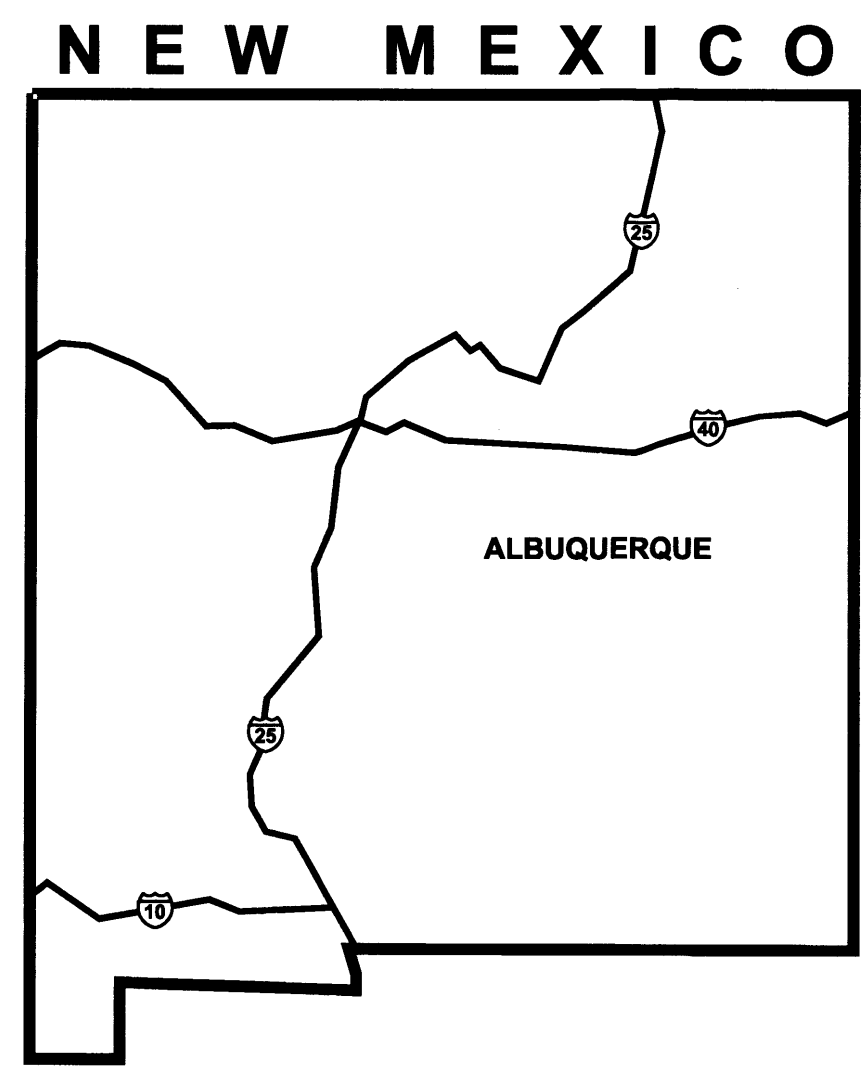
A FOR AN AVERAGE RUN-OFF FLOWRATE OF 1.67 CU-FT/SEC PER ACRE, WHICH IS BELOW THE 2.75 CU-FT/SEC PER ACRE DESIGN LIMIT SET FORTH BY THE CITY OF ALBUQUERQUE HYDROLOGY DEPARTMENT.



A1 SITE PLAN
 SCALE: 1" = 60'-0"



A4 VICINITY MAPS
 SCALE: NOT TO SCALE



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**CONCEPTUAL
 DRAINAGE
 PLAN**

SHEET NUMBER:

3.2



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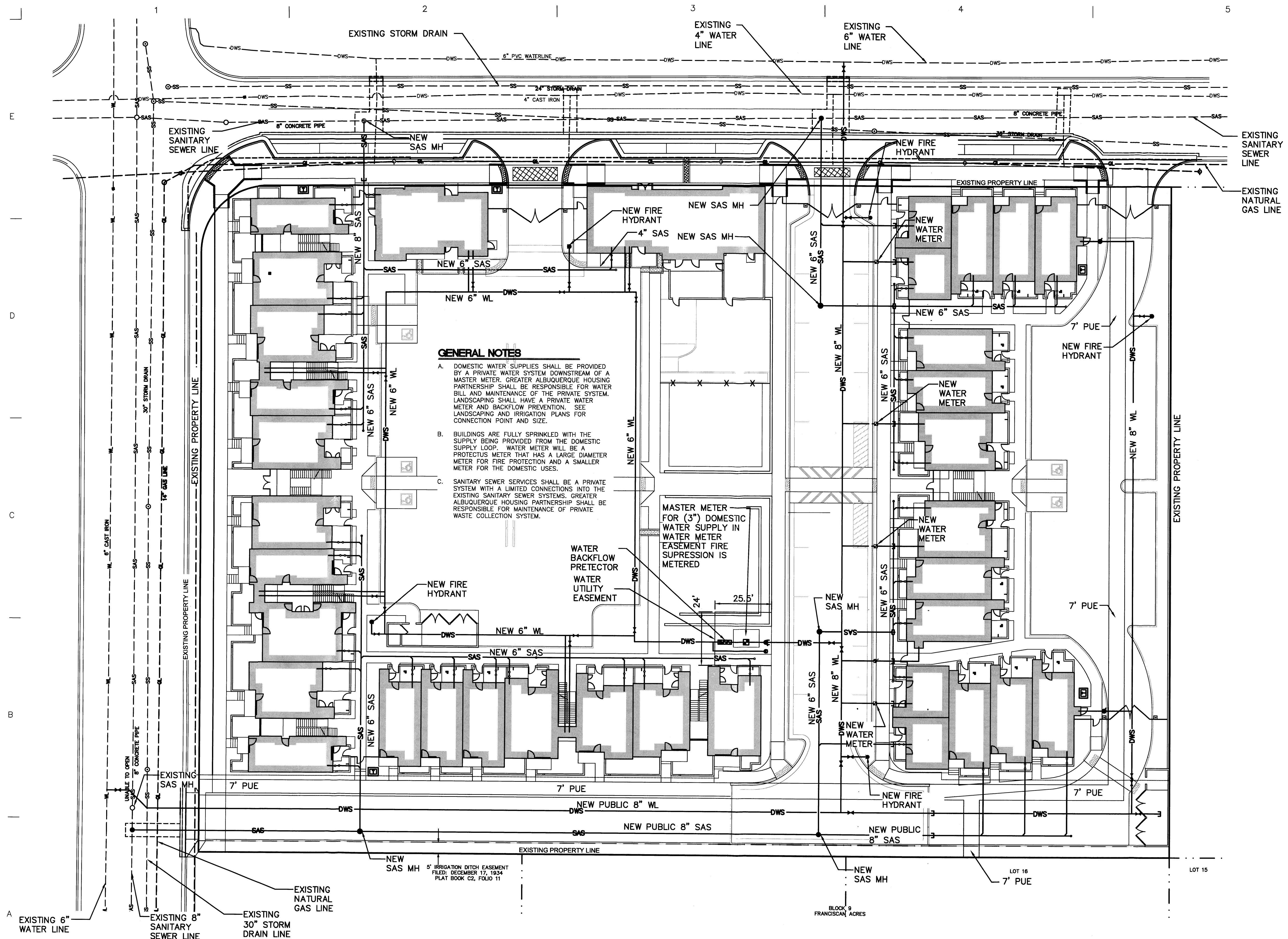
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 Project number: 2439
 Cad file name:

SHEET TITLE:

**SITE CONCEPTUAL
UTILITY
PLAN**

SHEET NUMBER:

4



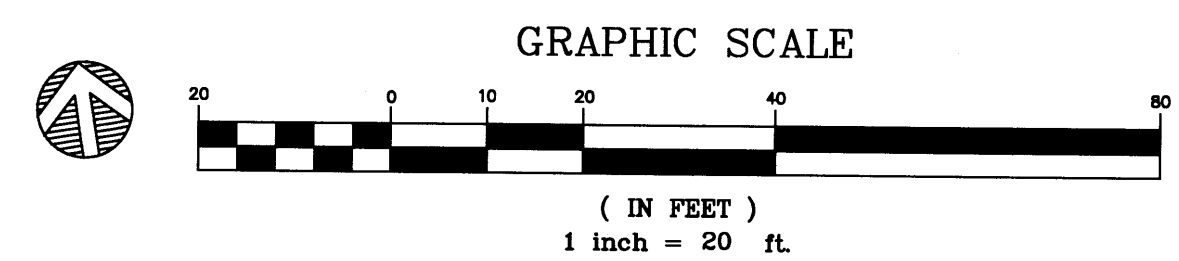
GENERAL NOTES

- A. DOMESTIC WATER SUPPLIES SHALL BE PROVIDED BY A PRIVATE WATER SYSTEM DOWNSTREAM OF A MASTER METER. GREATER ALBUQUERQUE HOUSING PARTNERSHIP SHALL BE RESPONSIBLE FOR WATER BILL AND MAINTENANCE OF THE PRIVATE SYSTEM. LANDSCAPING SHALL HAVE A PRIVATE WATER METER AND BACKFLOW PREVENTION. SEE LANDSCAPING AND IRRIGATION PLANS FOR CONNECTION POINT AND SIZE.
- B. BUILDINGS ARE FULLY SPRINKLED WITH THE SUPPLY BEING PROVIDED FROM THE DOMESTIC SUPPLY LOOP. WATER METER WILL BE A PROTECTUS METER THAT HAS A LARGE DIAMETER METER FOR FIRE PROTECTION AND A SMALLER METER FOR THE DOMESTIC USES.
- C. SANITARY SEWER SERVICES SHALL BE A PRIVATE SYSTEM WITH A LIMITED CONNECTIONS INTO THE EXISTING SANITARY SEWER SYSTEMS. GREATER ALBUQUERQUE HOUSING PARTNERSHIP SHALL BE RESPONSIBLE FOR MAINTENANCE OF PRIVATE WASTE COLLECTION SYSTEM.

MASTER METER FOR (3") DOMESTIC WATER SUPPLY IN WATER METER EASEMENT FIRE SUPPRESSION IS METERED

WATER BACKFLOW PRETECTOR
 WATER UTILITY EASEMENT

NEW SAS MH 5' IRRIGATION DITCH EASEMENT
 FILED: DECEMBER 17, 1934
 PLAT BOOK C2, FOLIO 11



A1 CONCEPTUAL UTILITY PLAN
 SCALE: 1" = 20'-0"



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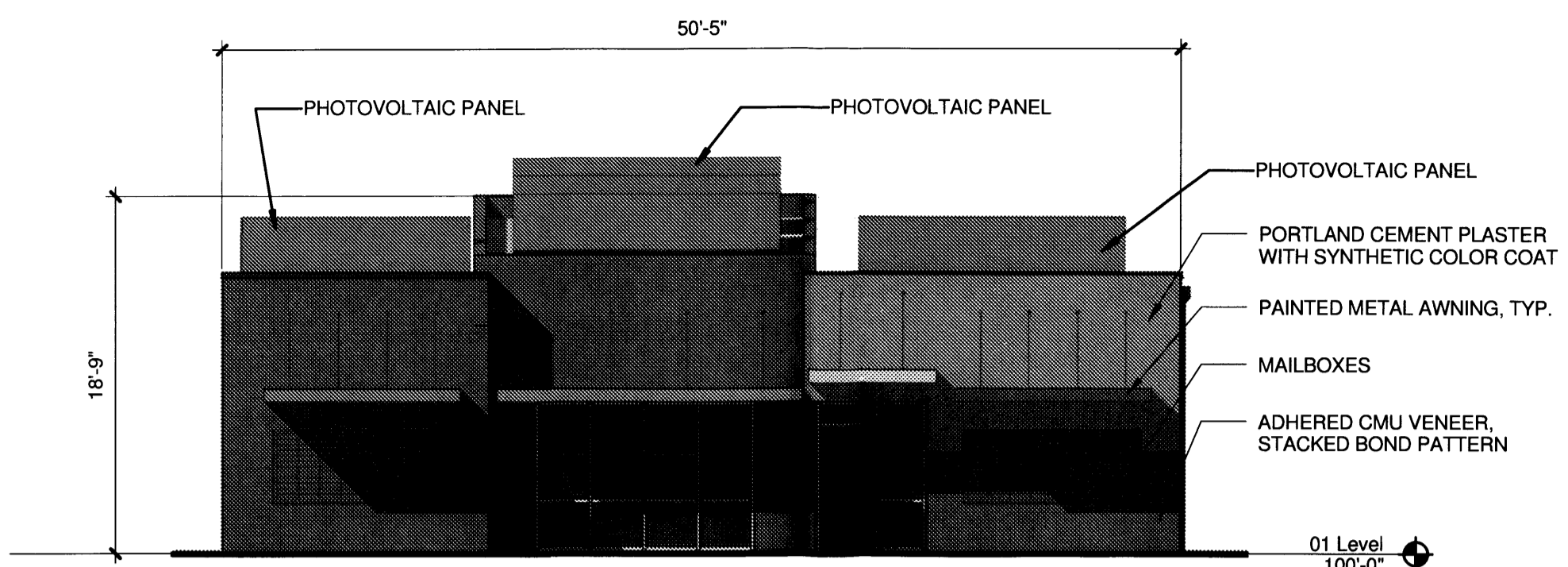
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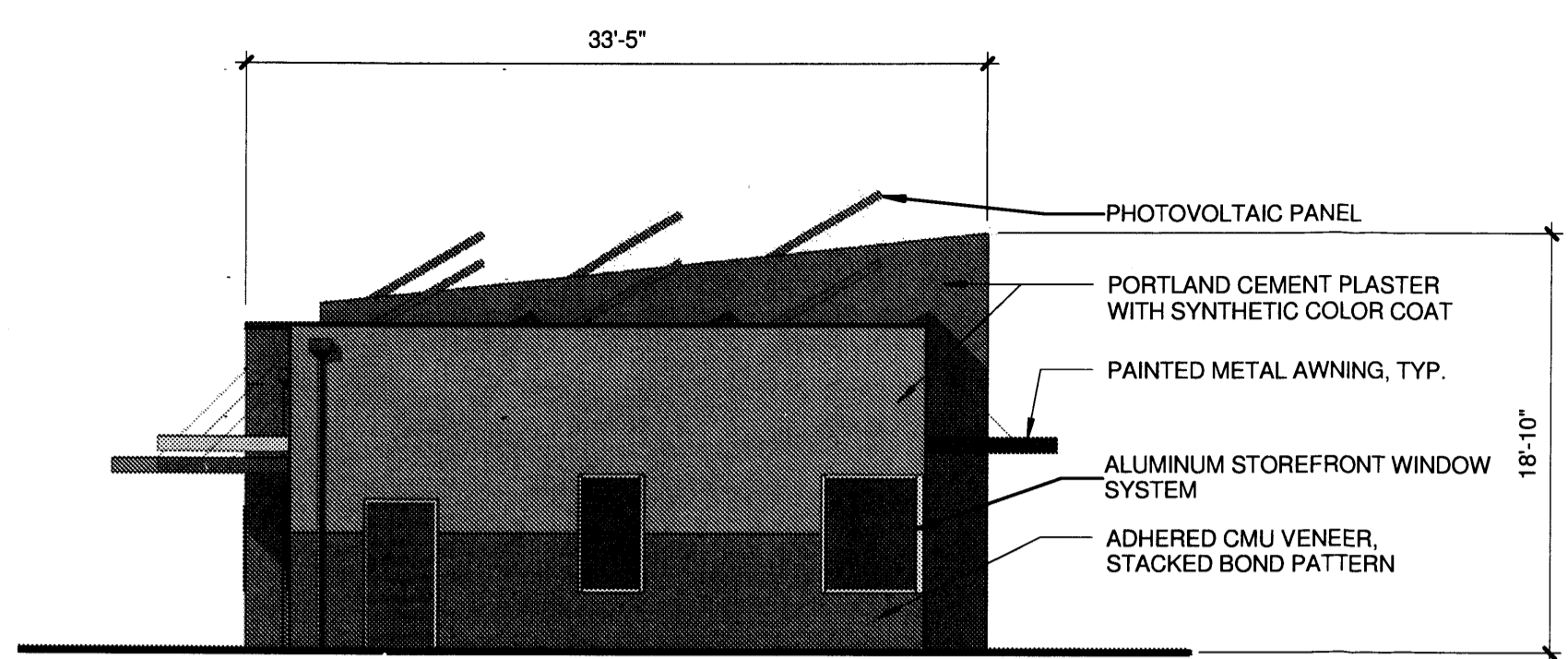
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 BUILDINGS A AND B

SHEET NUMBER

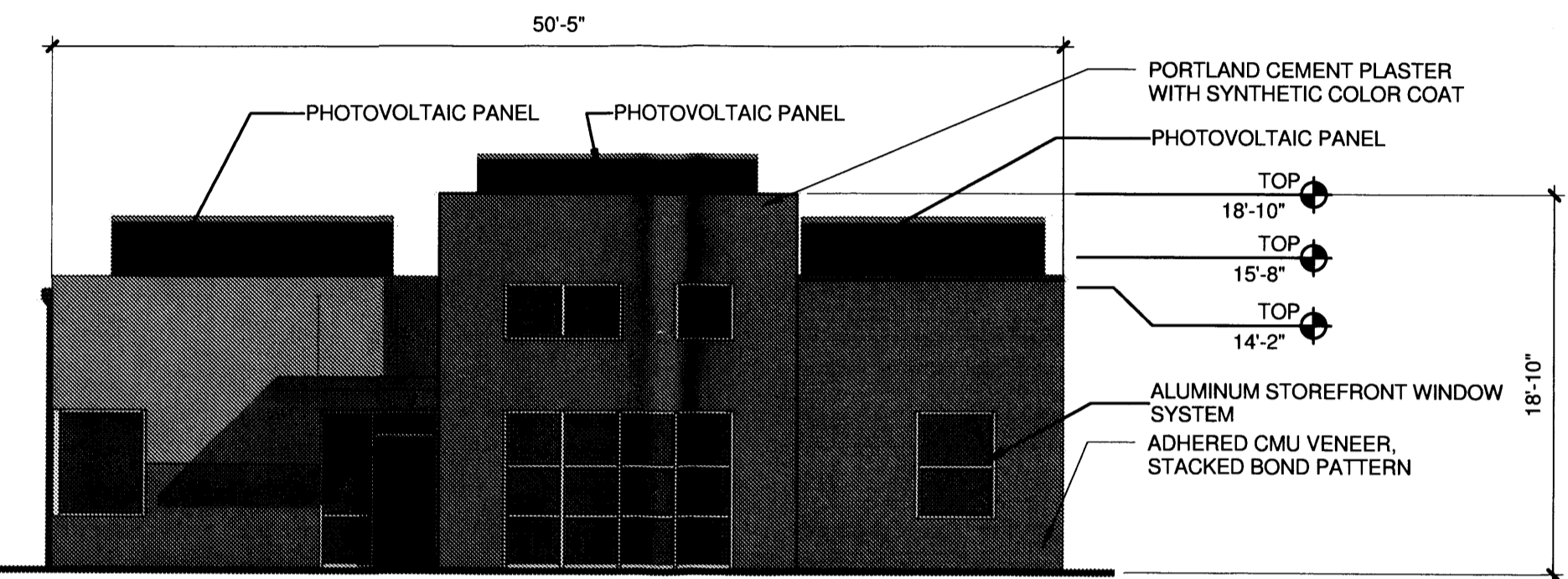
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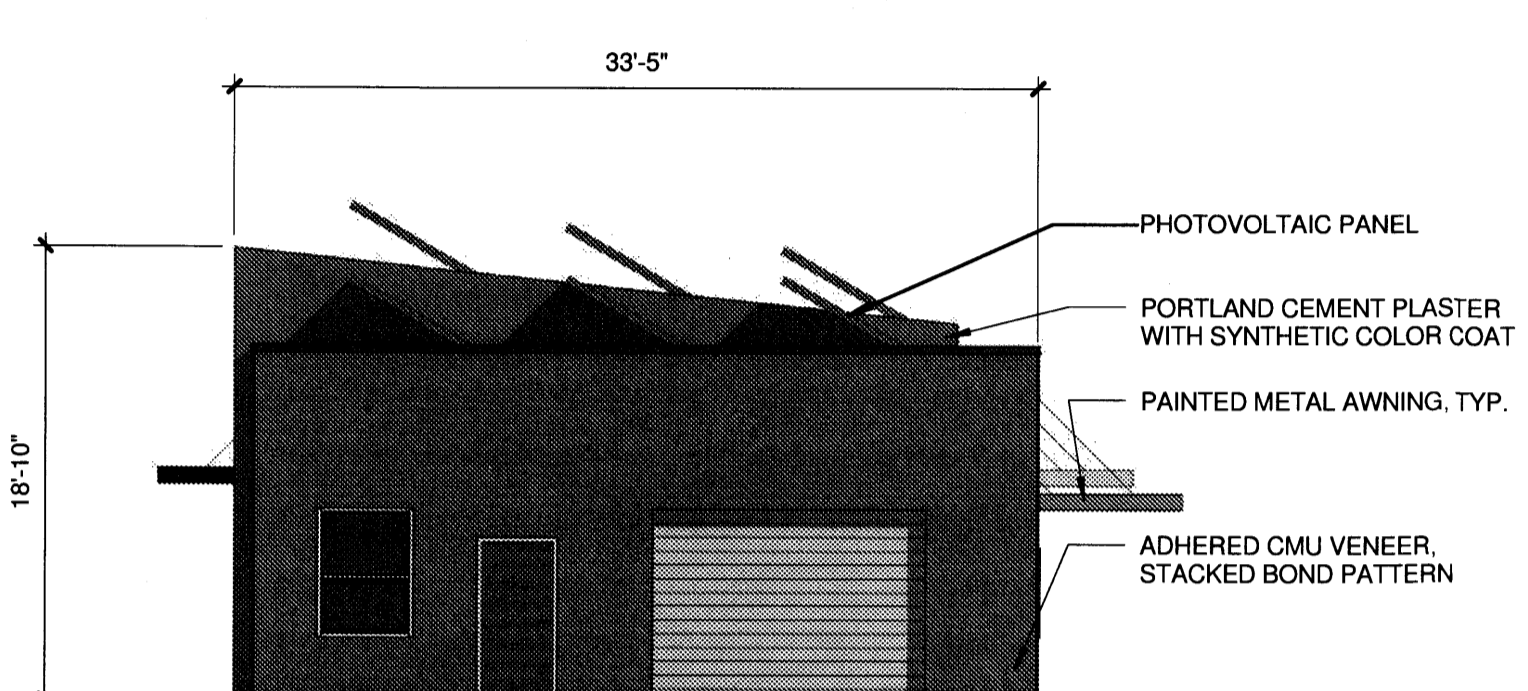
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 1/8" = 1'-0"



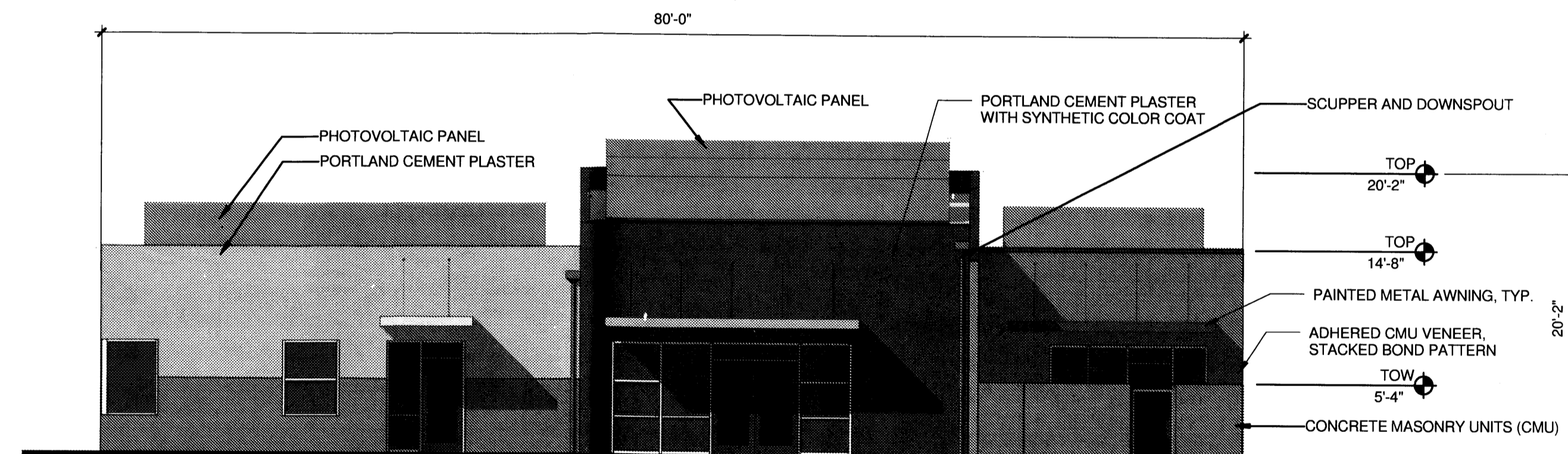
8 BUILDING B - ELEVATION EAST
 1/8" = 1'-0"



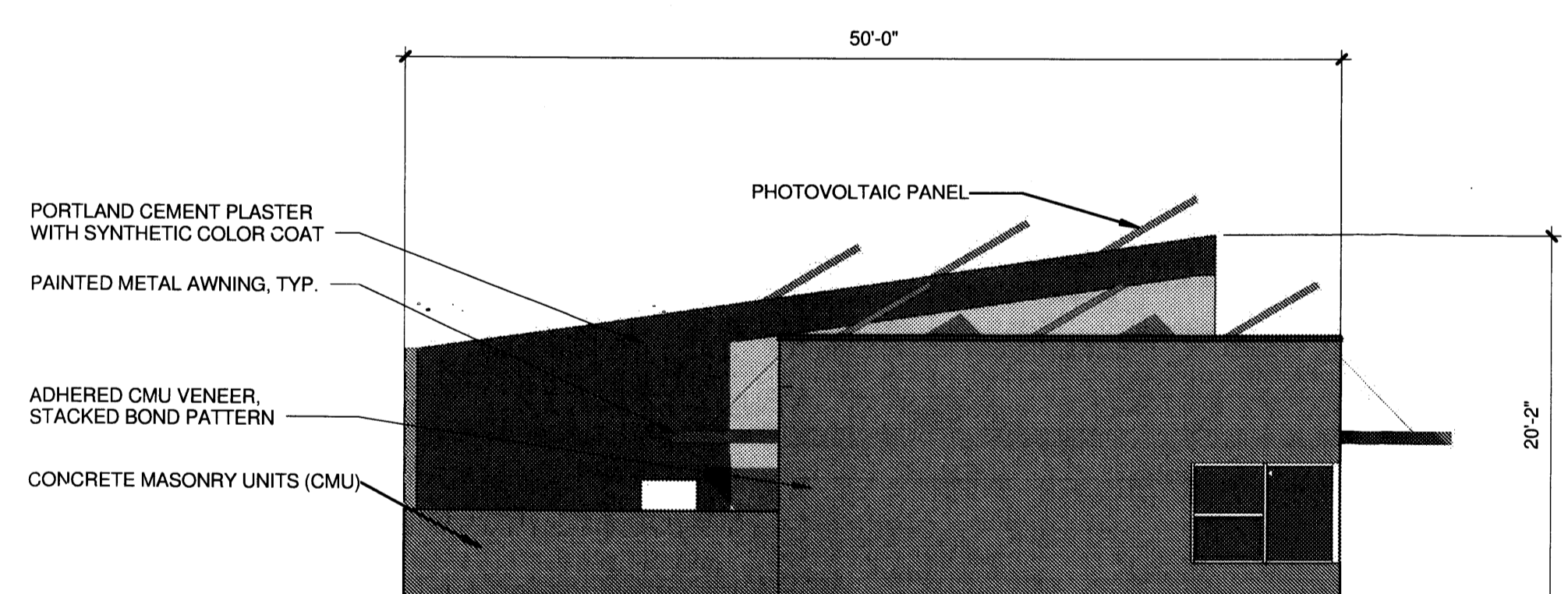
5 BUILDING B - ELEVATION NORTH
 1/8" = 1'-0"



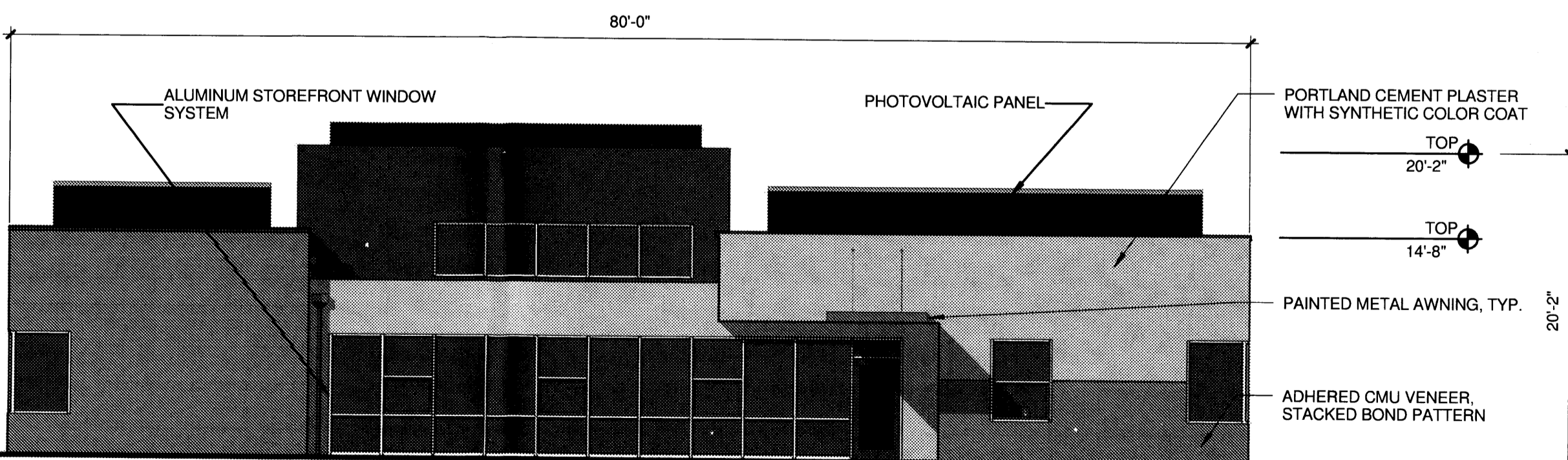
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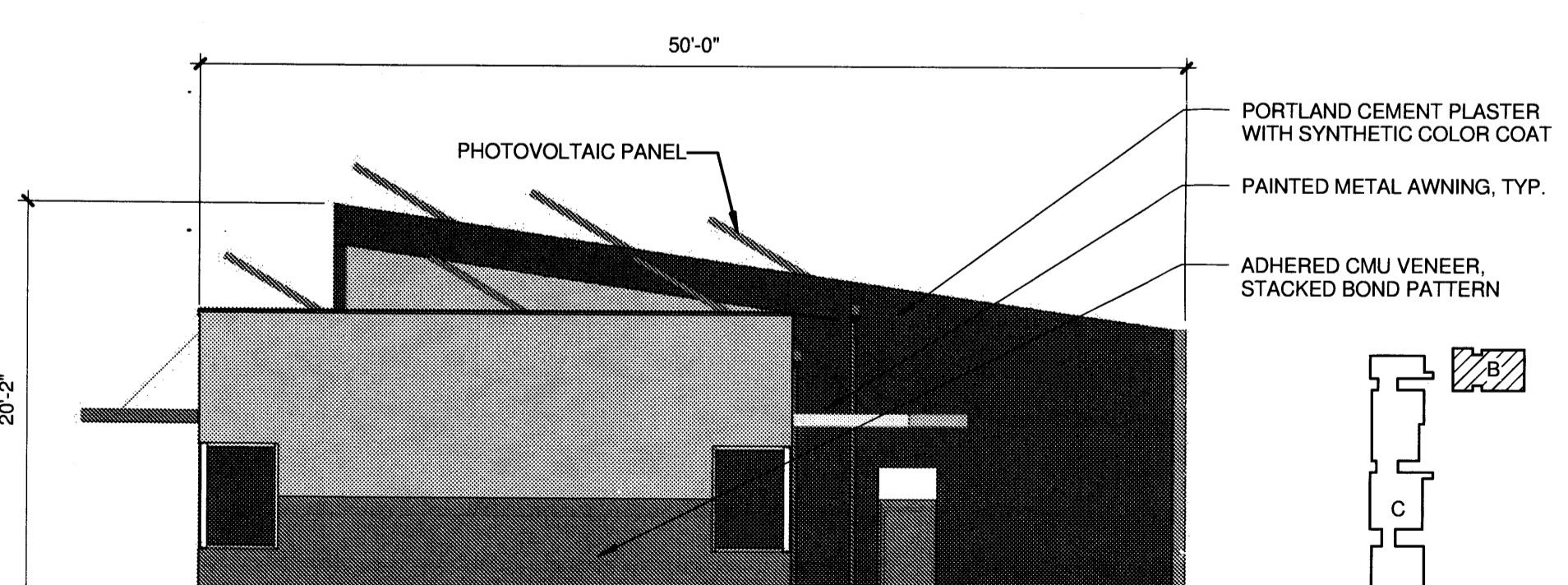
3 BUILDING A - ELEVATION SOUTH
 1/8" = 1'-0"



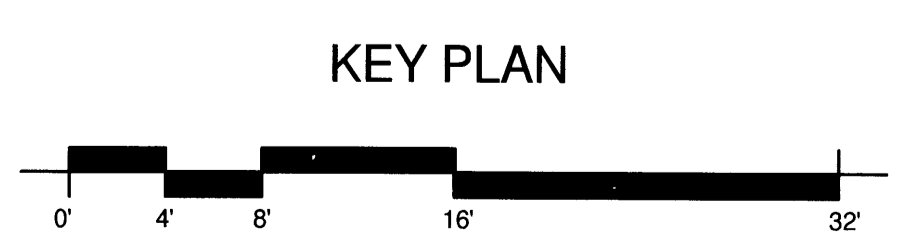
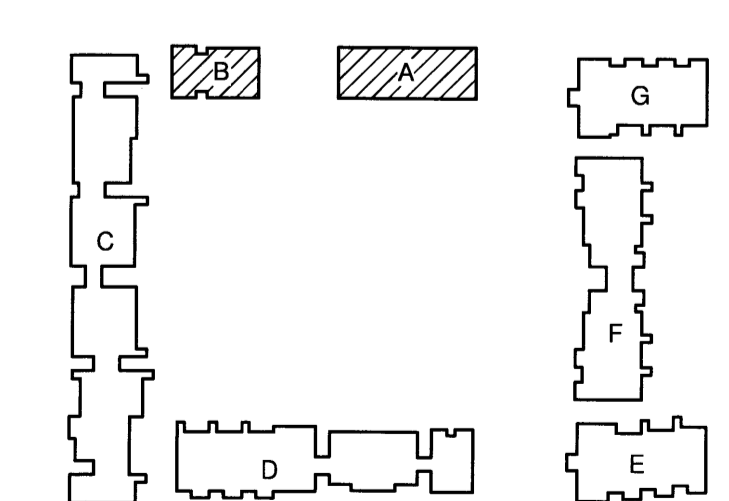
4 BUILDING A - ELEVATION EAST
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1 BUILDING A - ELEVATION NORTH
 1/8" = 1'-0"



2 BUILDING A - ELEVATION WEST
 1/8" = 1'-0"

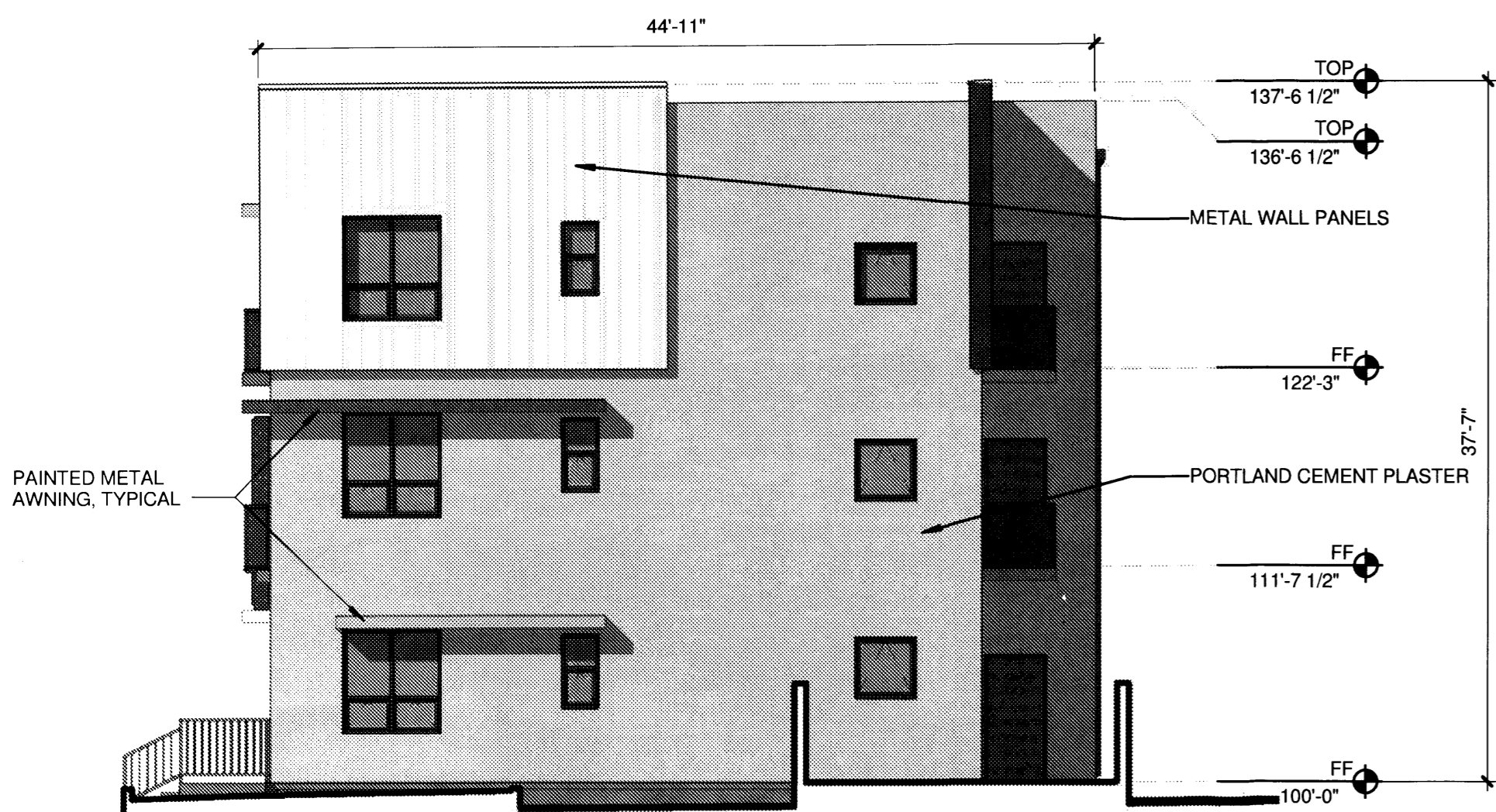




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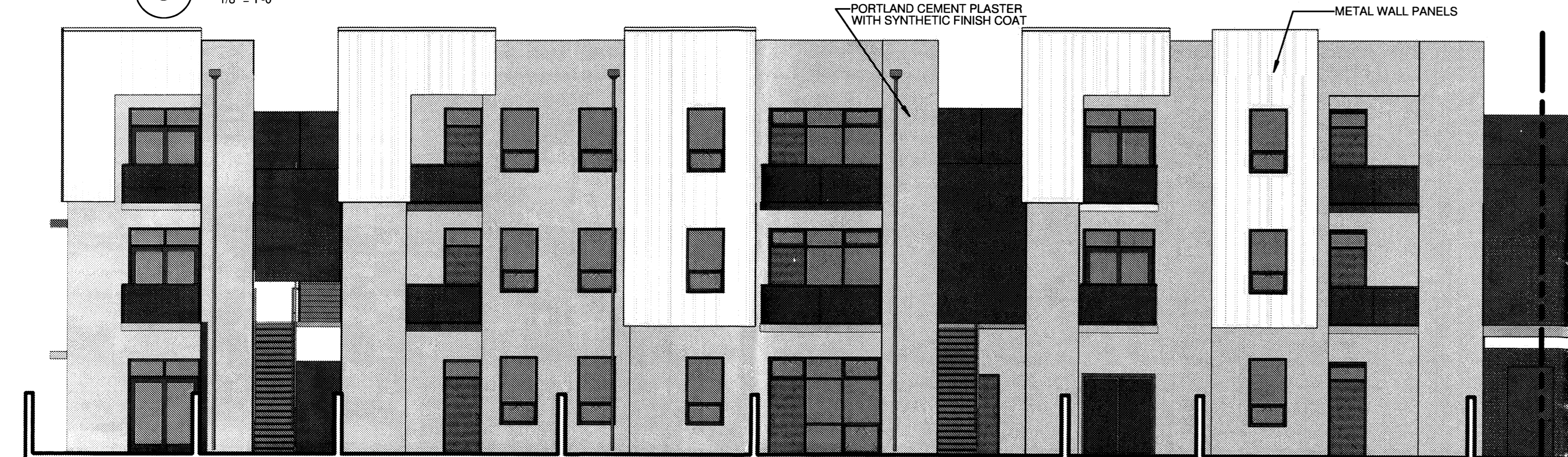
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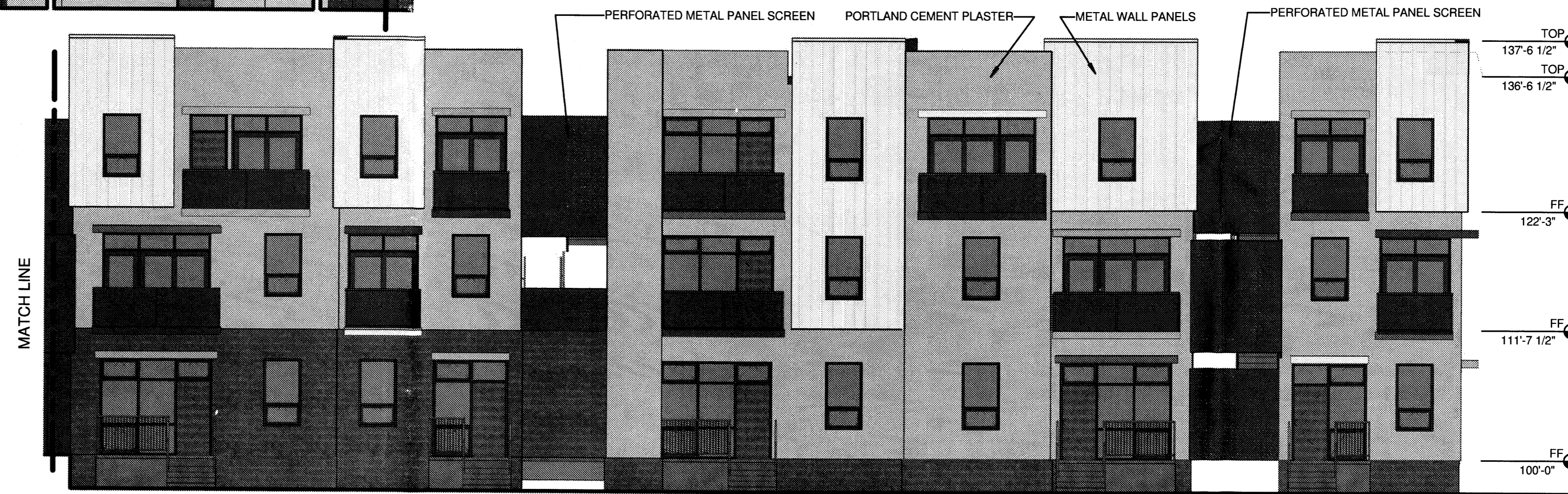
5 BUILDING C - ELEVATION SOUTH
 1/8" = 1'-0"



6 BUILDING C - ELEVATION EAST - NORTH
 1/8" = 1'-0"



4 BUILDING C - ELEVATION EAST - SOUTH
 1/8" = 1'-0"



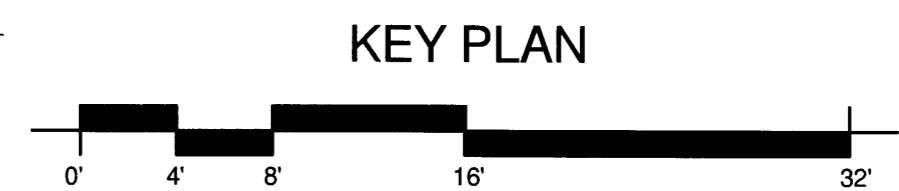
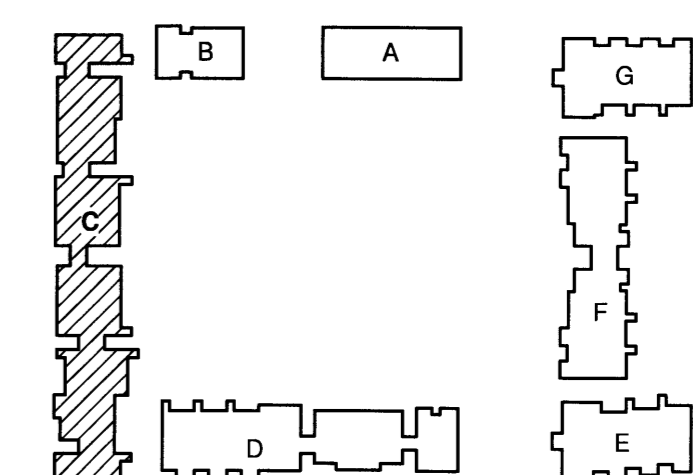
3 BUILDING C - ELEVATION WEST - SOUTH
 1/8" = 1'-0"



1 BUILDING C - ELEVATION WEST - NORTH
 1/8" = 1'-0"



2 BUILDING C - ELEVATION NORTH
 1/8" = 1'-0"



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SHEET TITLE
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 BUILDING C

SHEET NUMBER

5.2



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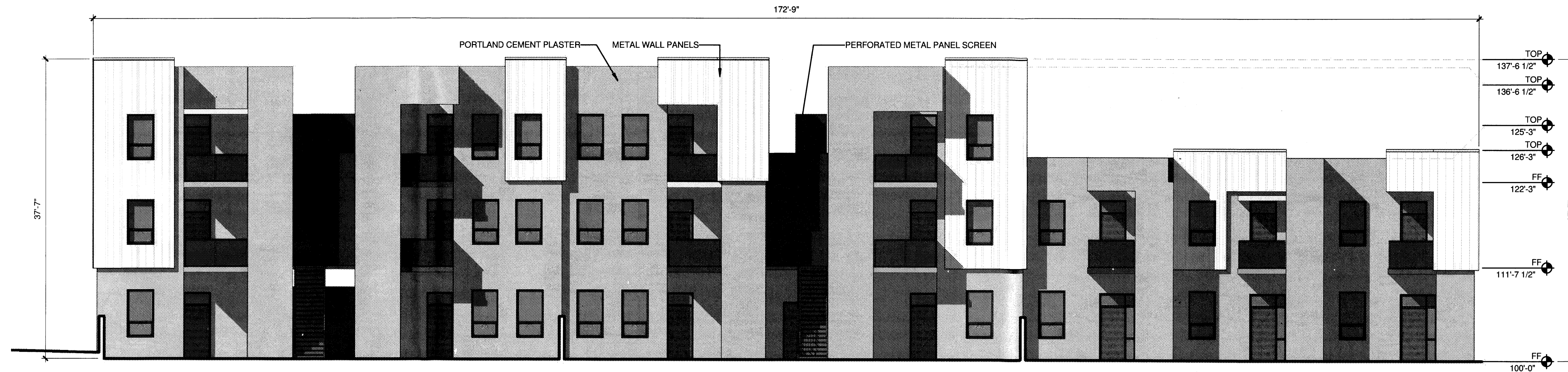
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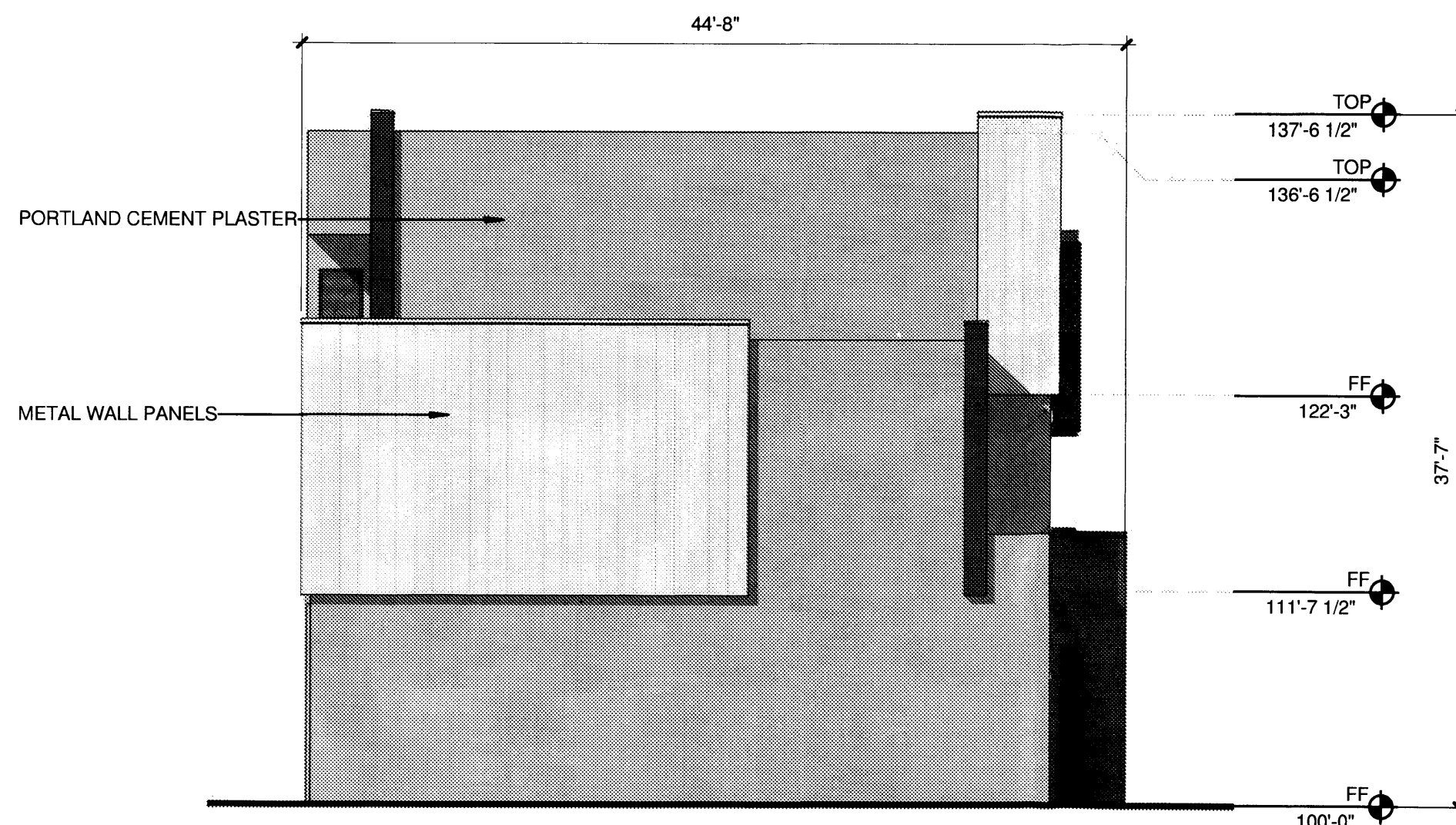
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 BUILDING D

SHEET NUMBER

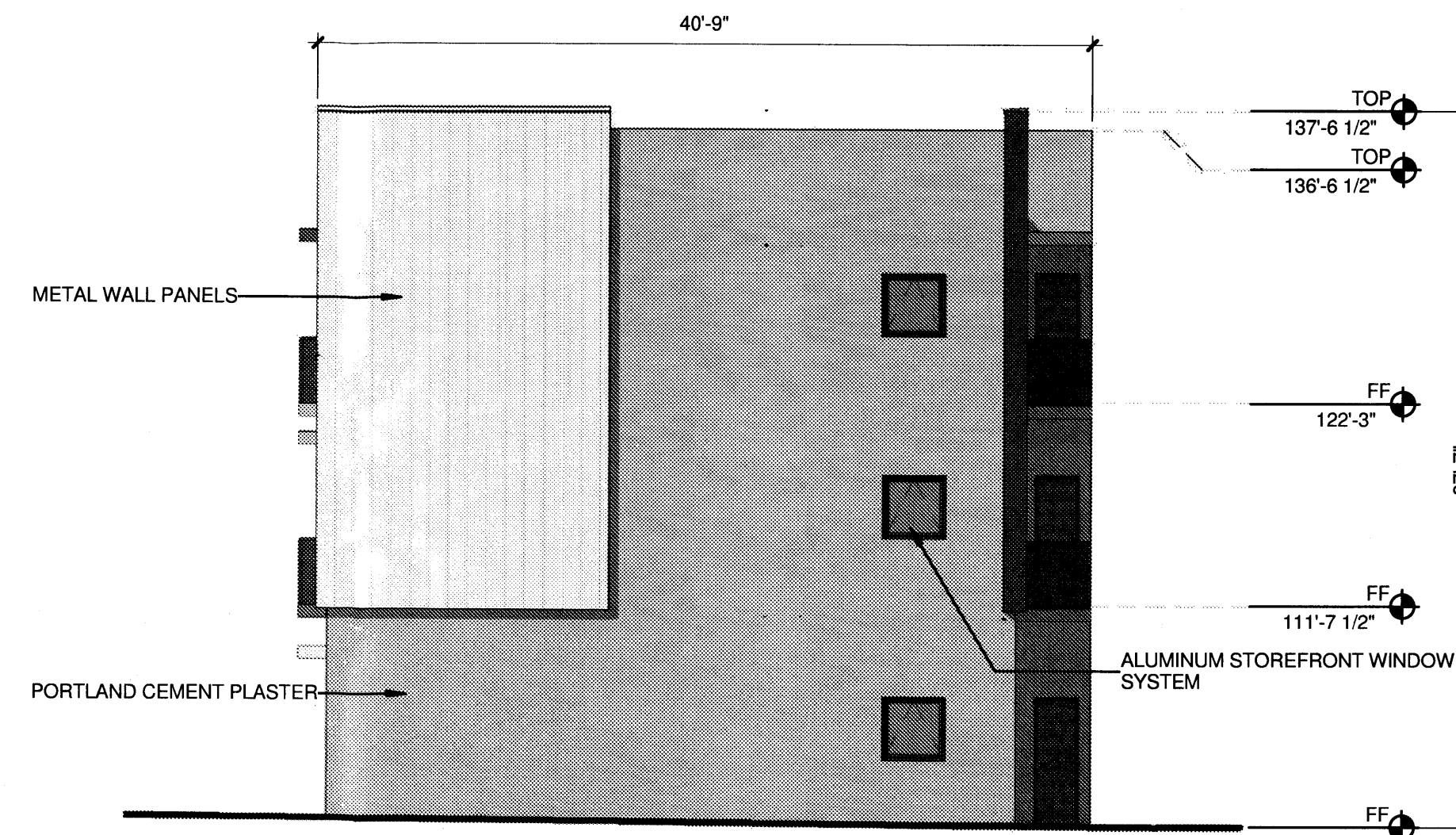
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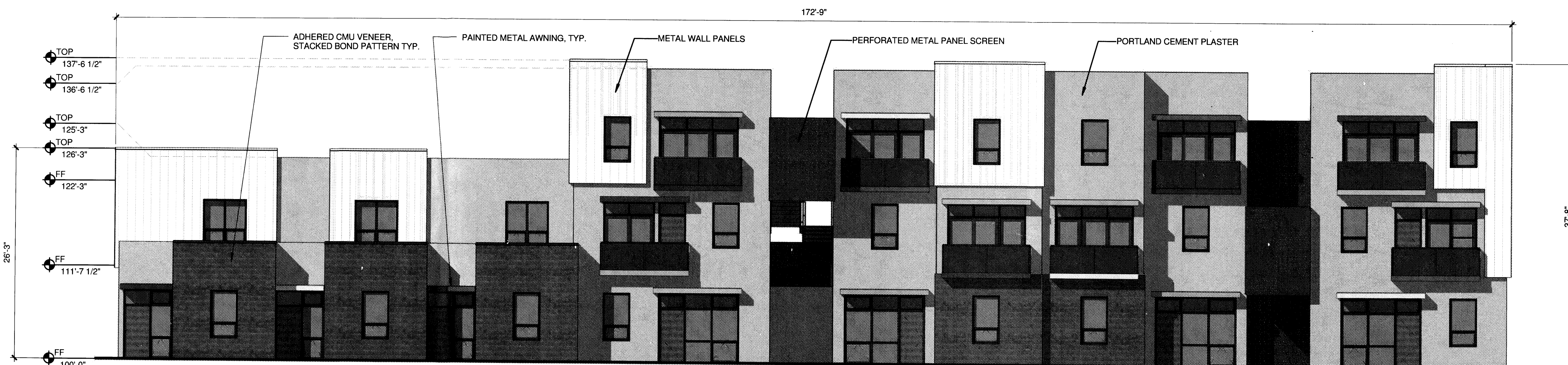
4 BUILDING D - ELEVATION NORTH
 1/8" = 1'-0"



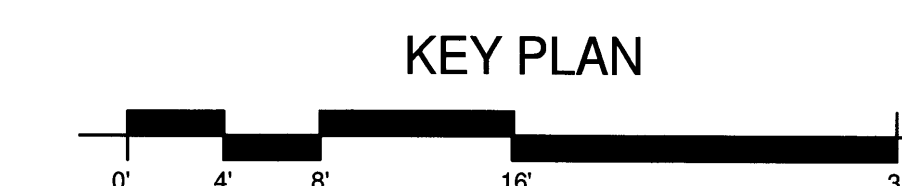
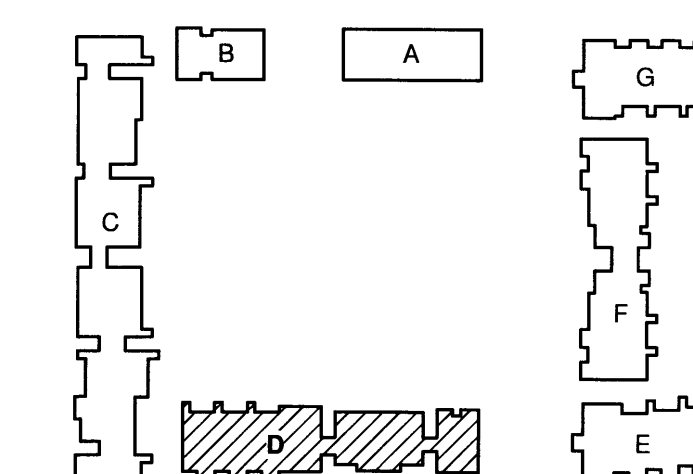
2 BUILDING D - ELEVATION WEST
 1/8" = 1'-0"



3 BUILDING D - ELEVATION EAST
 1/8" = 1'-0"



1 BUILDING D - ELEVATION SOUTH
 1/8" = 1'-0"





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 GREATER ALBUQUERQUE
 HOUSING PARTNERSHIP

FRANCISCAN ACRES SUBDIVISION
 INDIAN SCHOOL AND BROADWAY
 ALBUQUERQUE, NM 87102

REVISIONS

No.	Date	Description

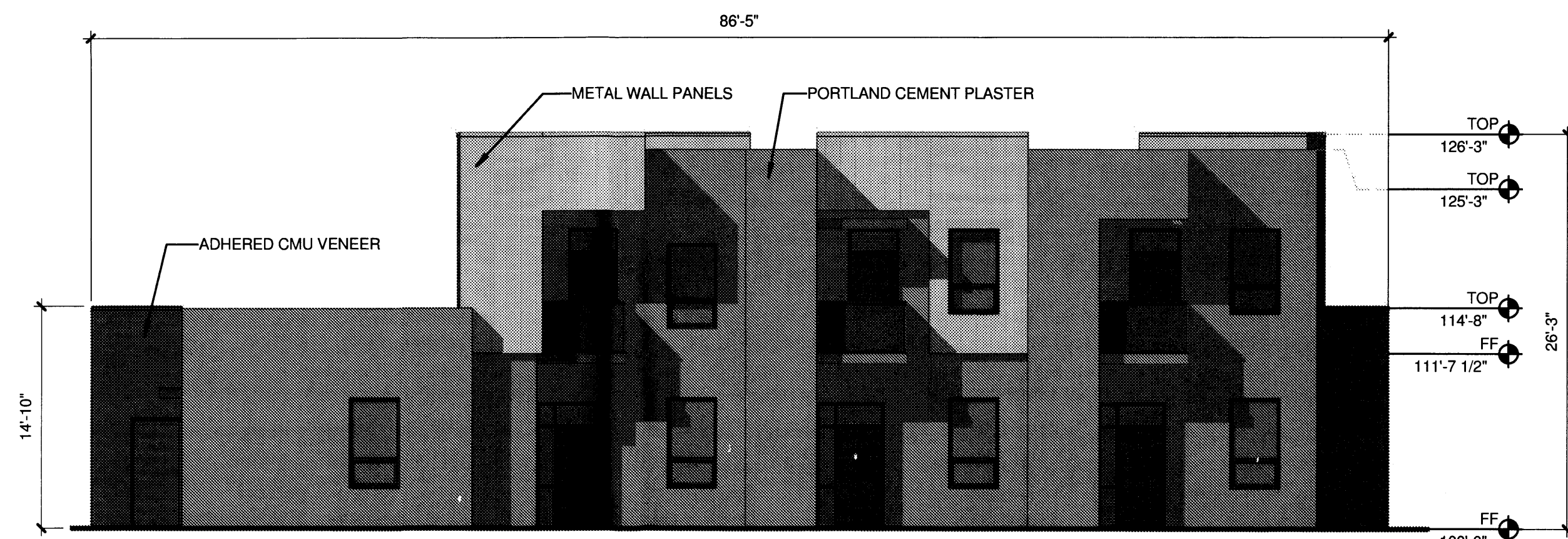
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 Date AUG 13, 2012
 Project number 2439
 CAD file name _____

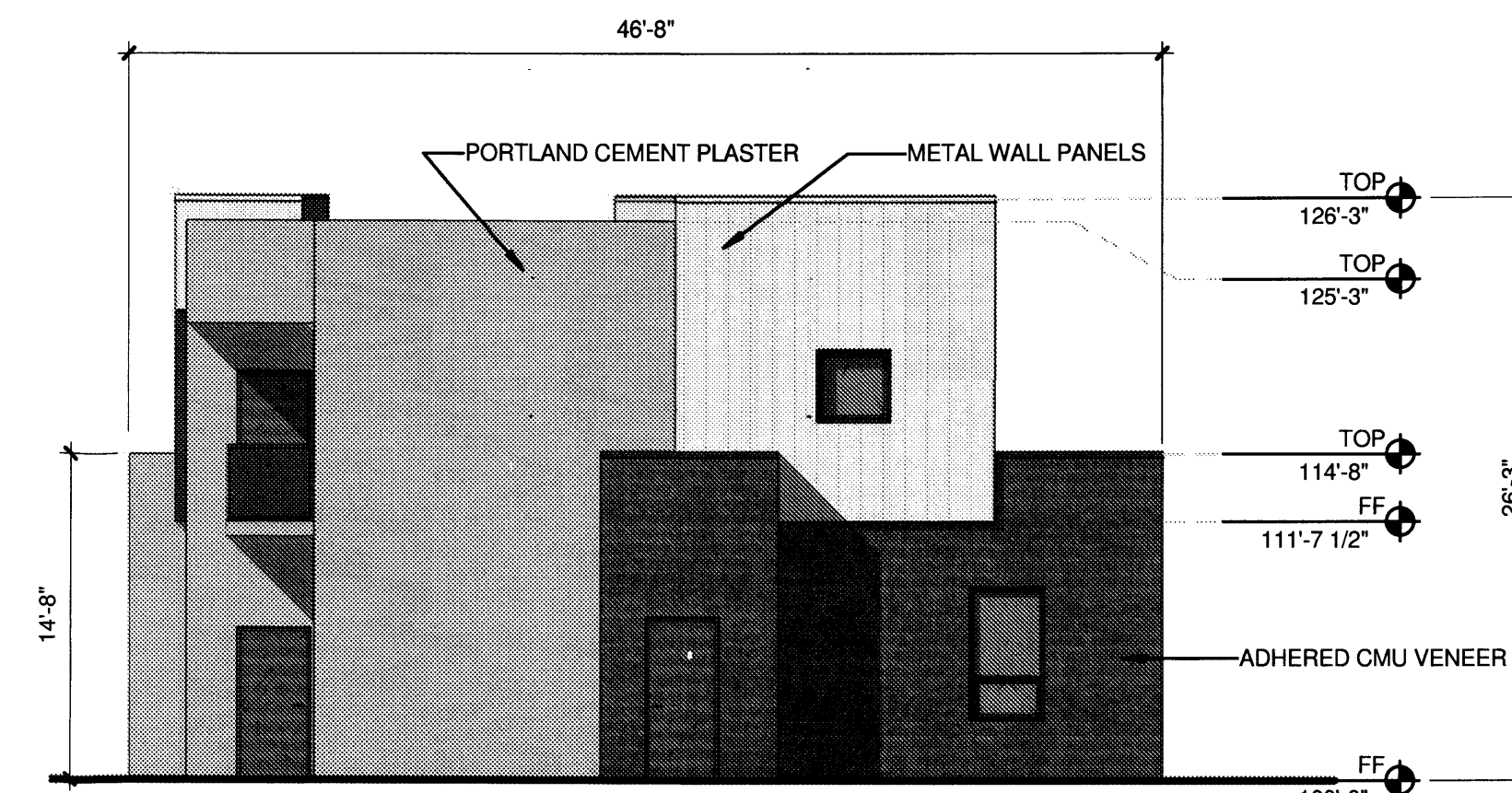
SHEET TITLE
 BUILDING AND STRUCTURE ELEVATIONS
 BUILDINGS E AND G

SHEET NUMBER

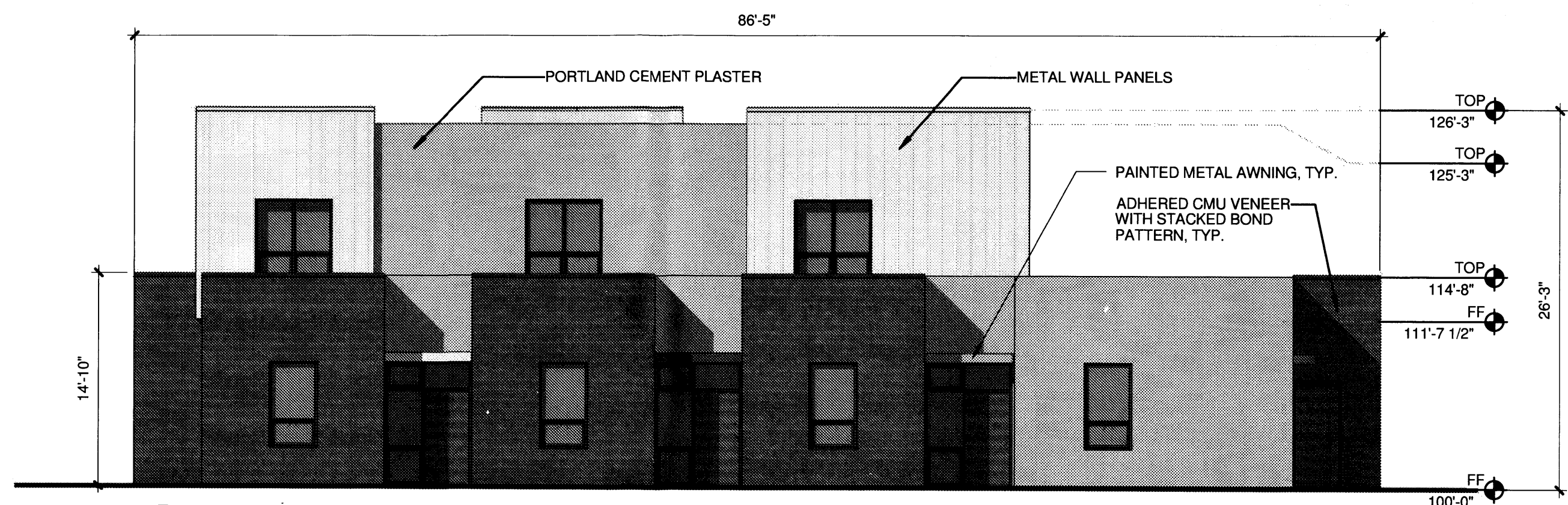
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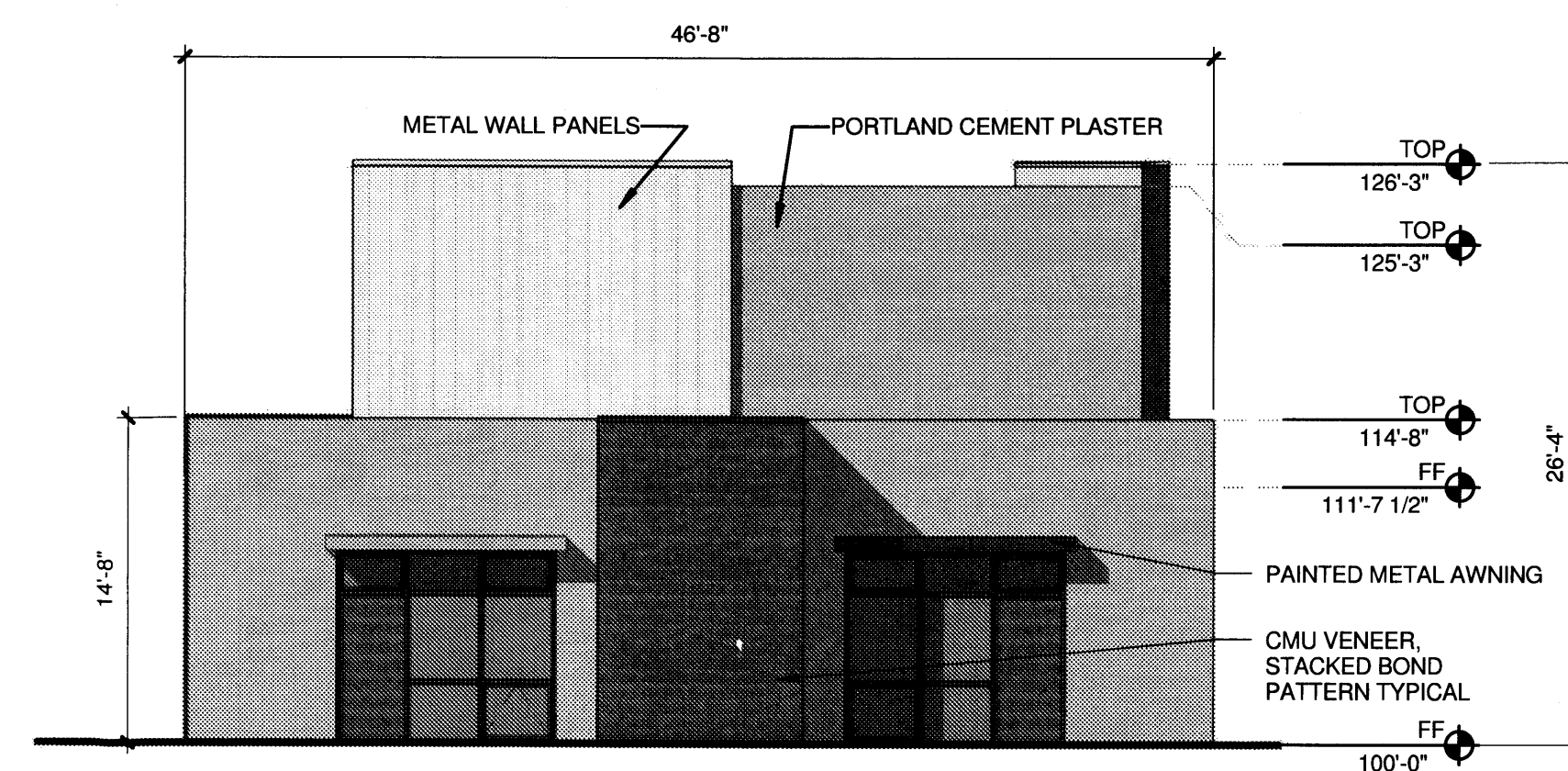
7 BUILDING G - ELEVATION SOUTH
 1/8" = 1'-0"



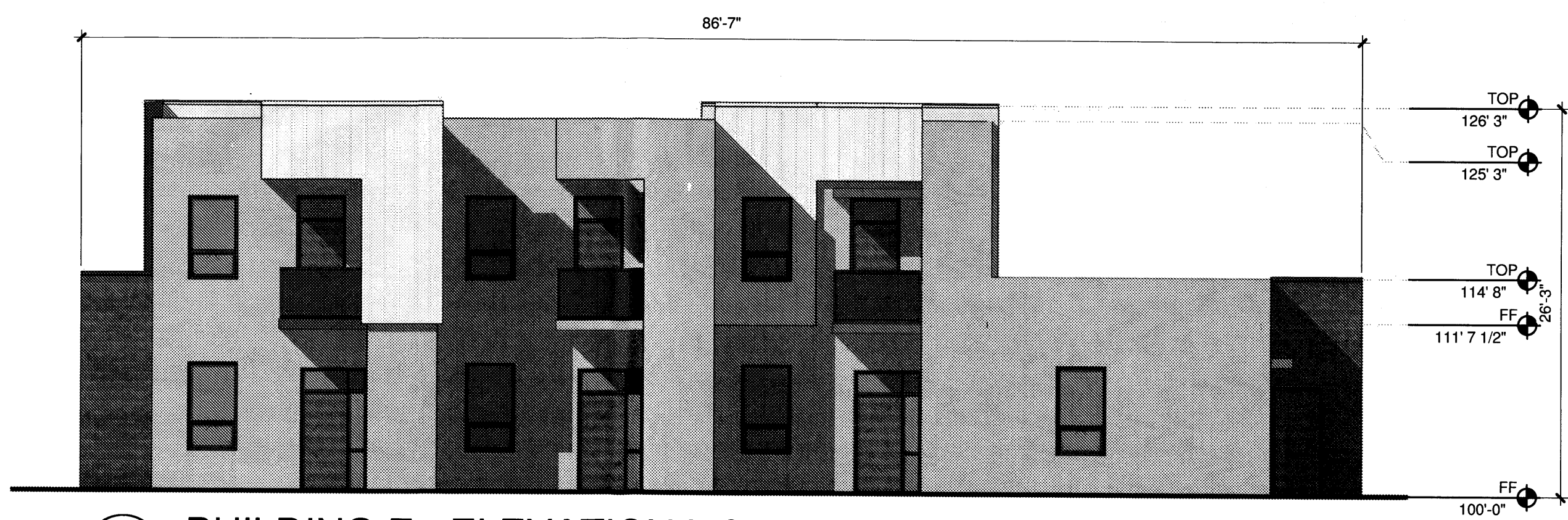
8 BUILDING G - ELEVATION EAST
 1/8" = 1'-0"



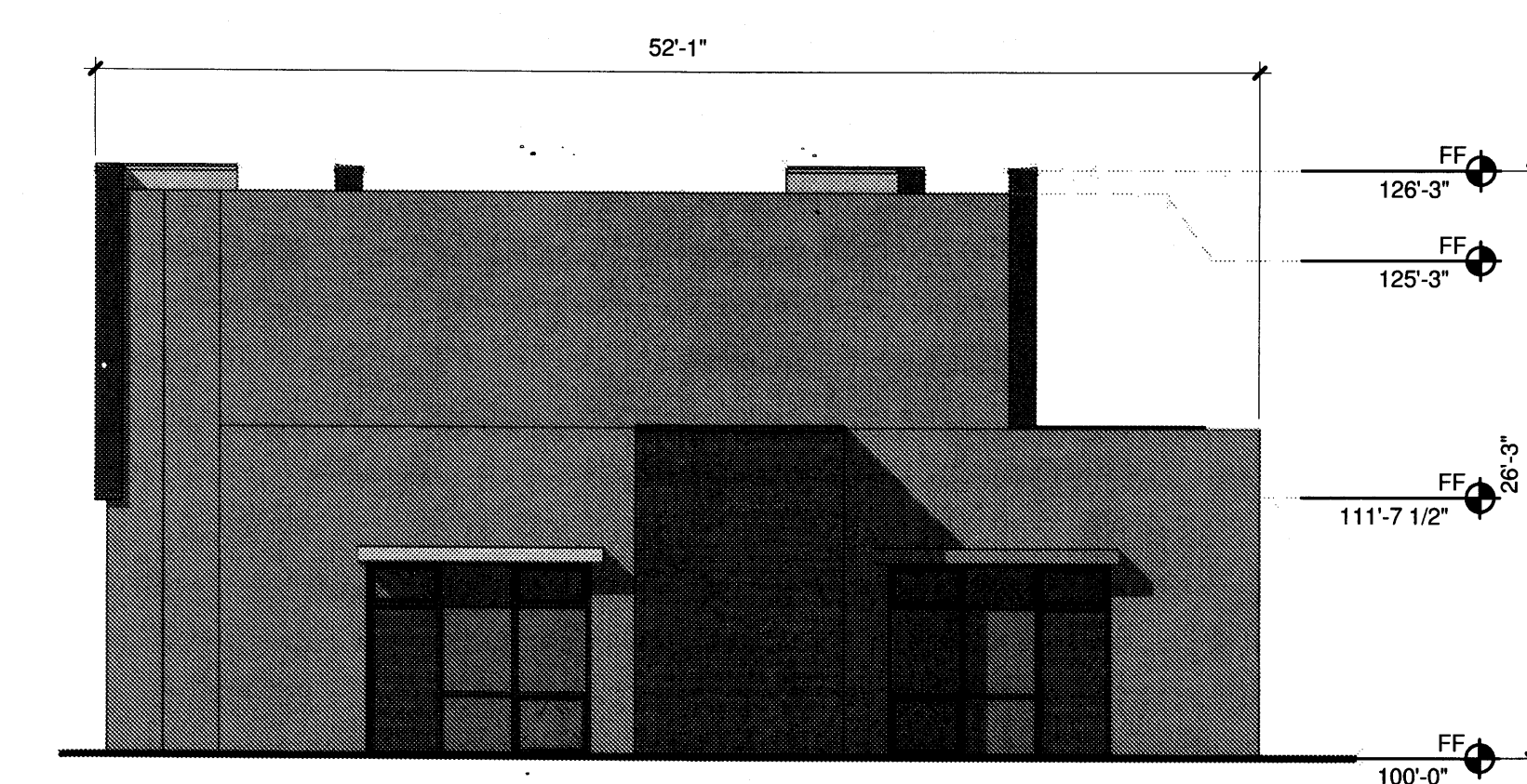
5 BUILDING G - ELEVATION NORTH
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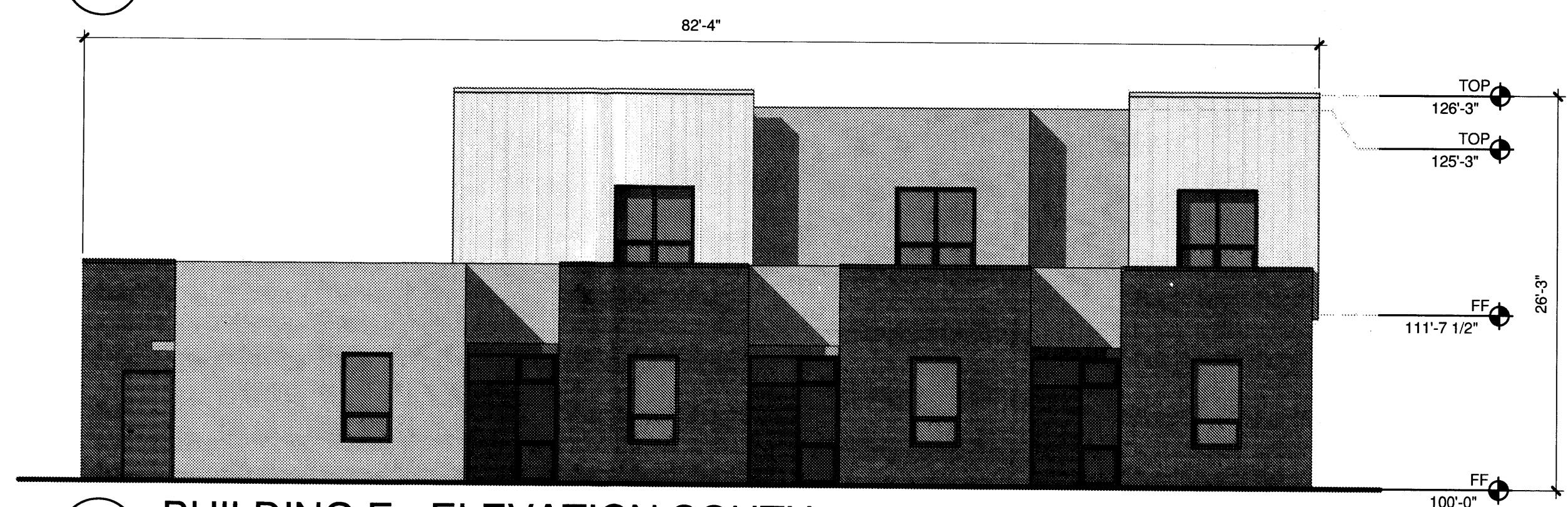
6 BUILDING G - ELEVATION WEST
 1/8" = 1'-0"



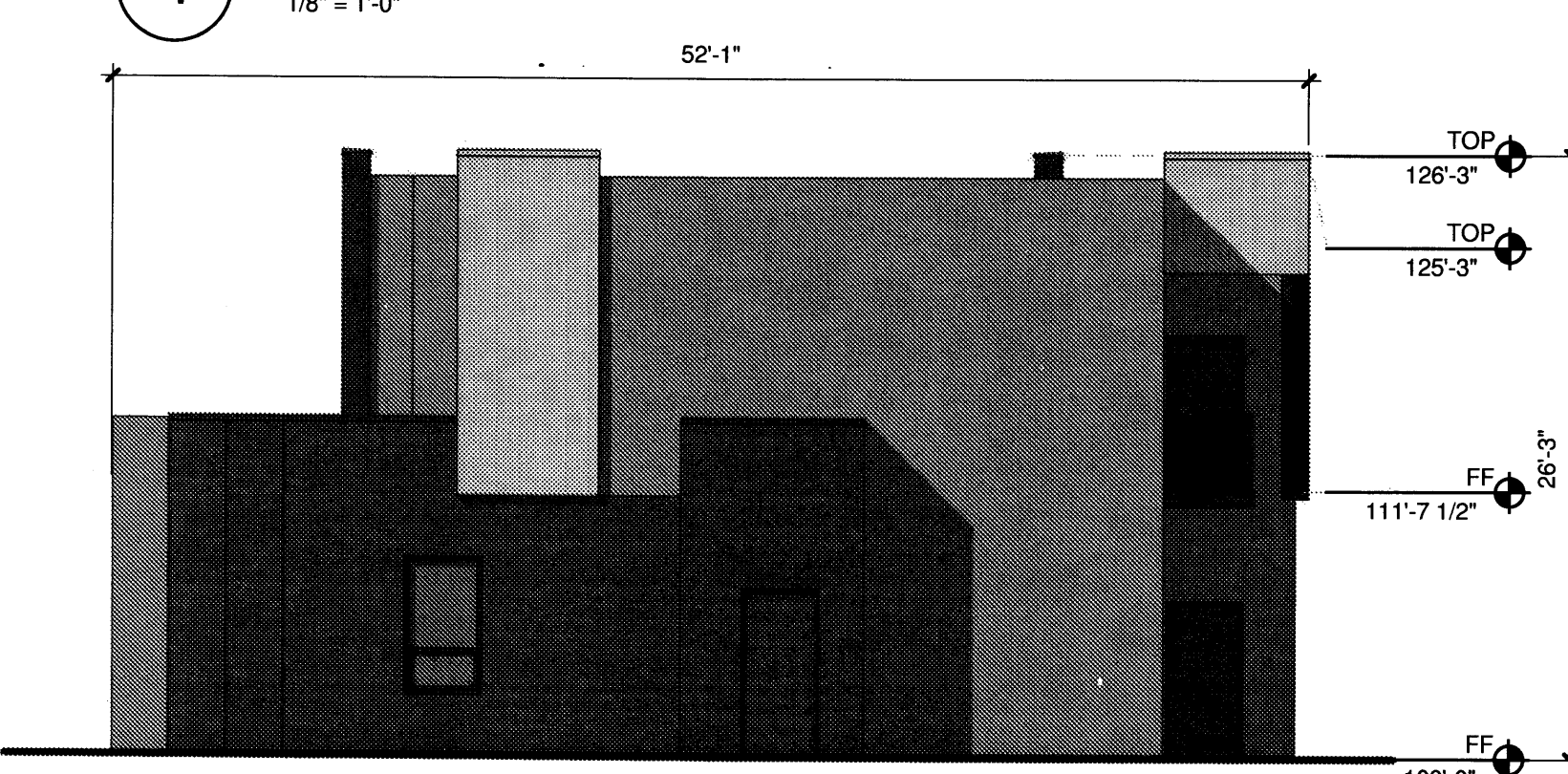
3 BUILDING E - ELEVATION NORTH
 1/8" = 1'-0"



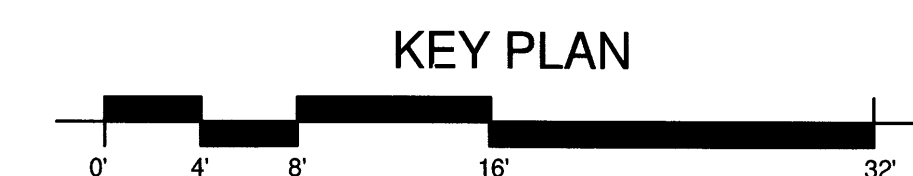
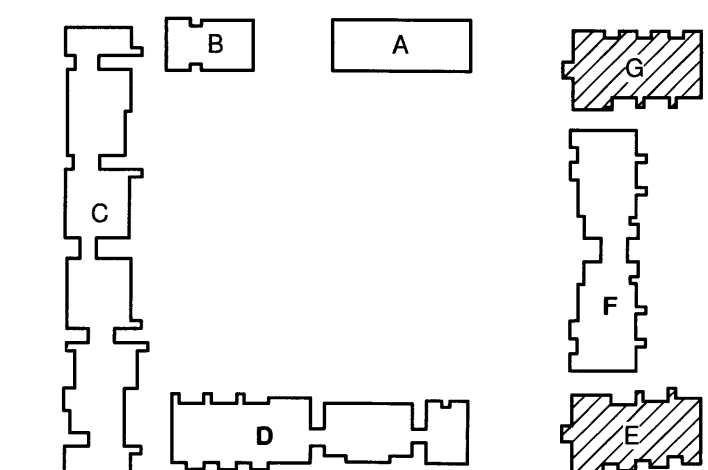
4 BUILDING E - ELEVATION WEST
 1/8" = 1'-0"



1 BUILDING E - ELEVATION SOUTH
 1/8" = 1'-0"



2 BUILDING E - ELEVATION EAST
 1/8" = 1'-0"





THE HARTMAN + MAJEWSKI
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CONSULTANT

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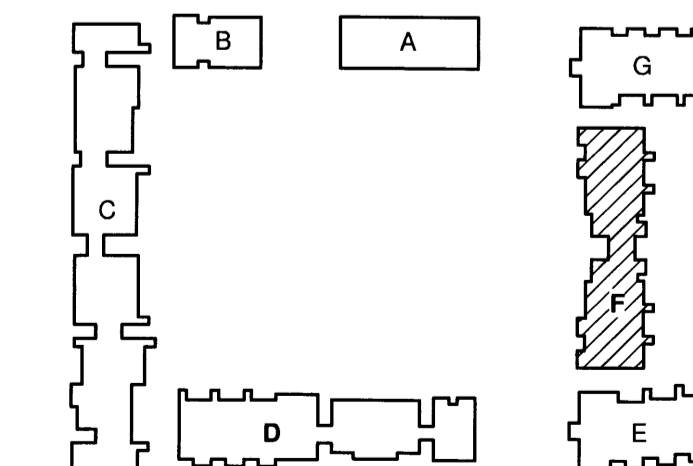
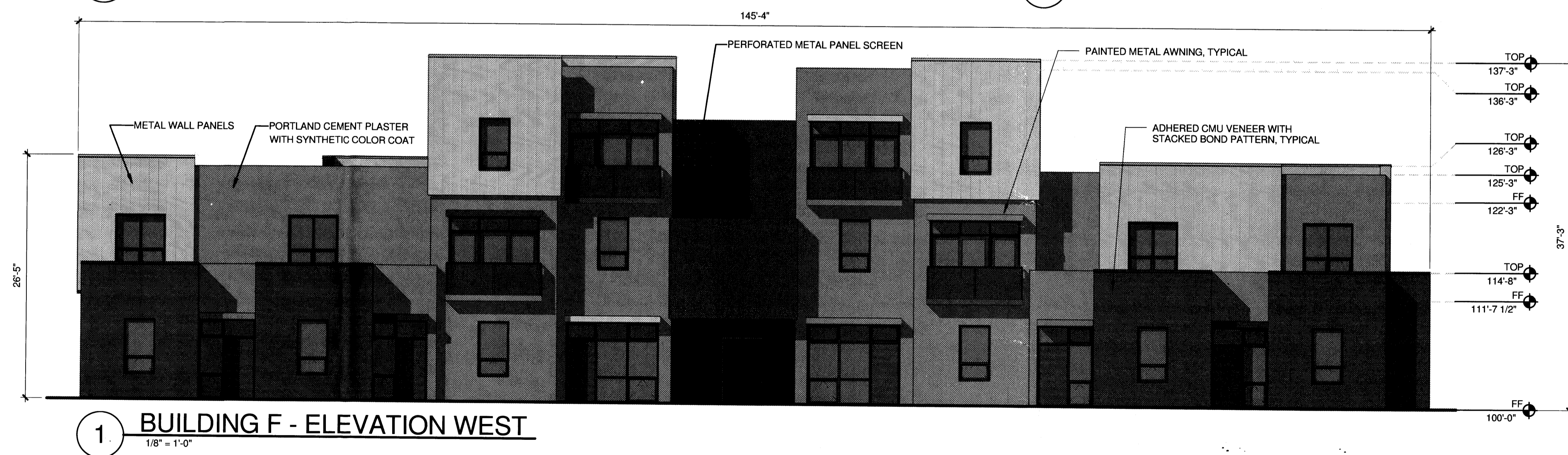
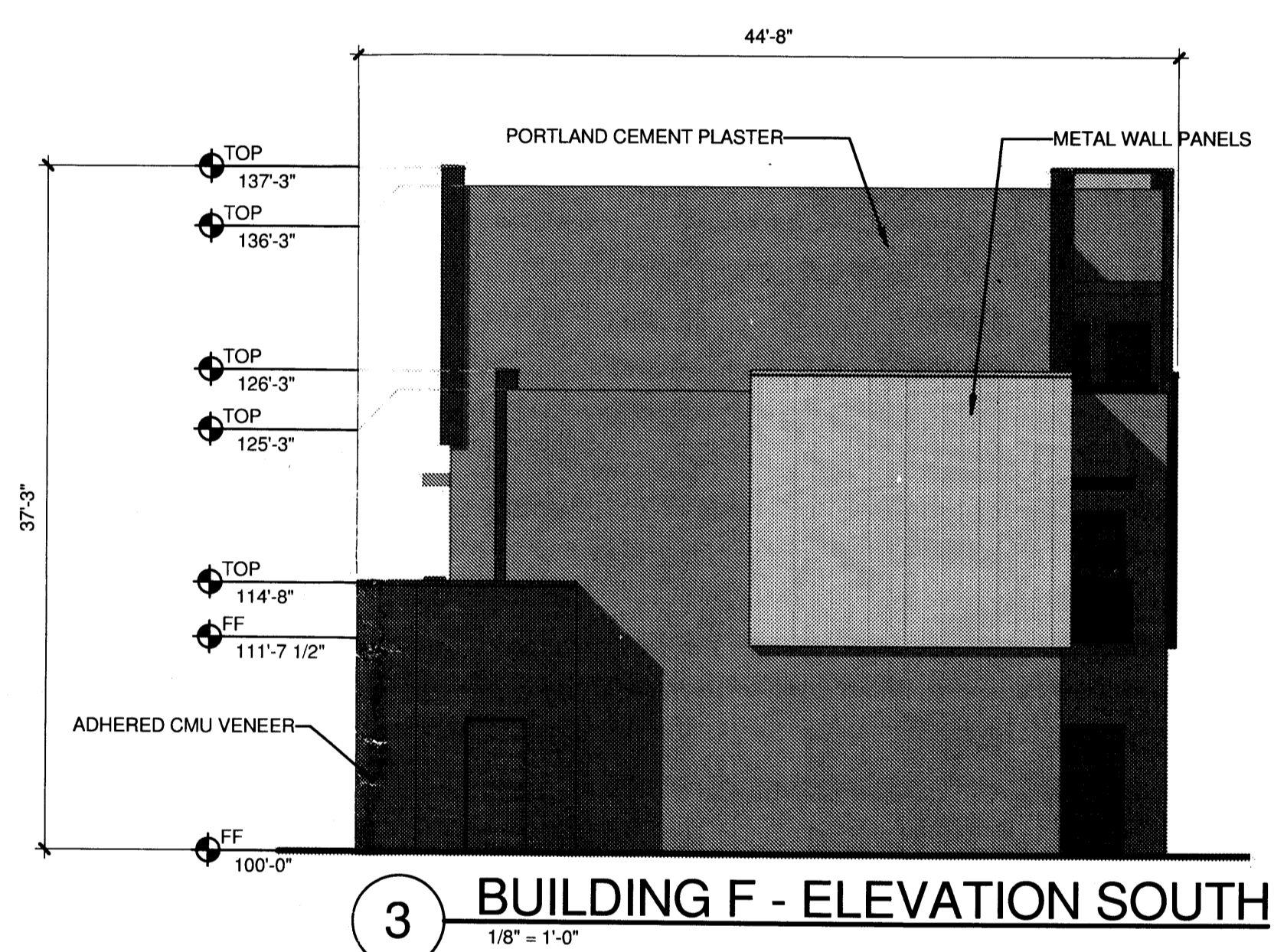
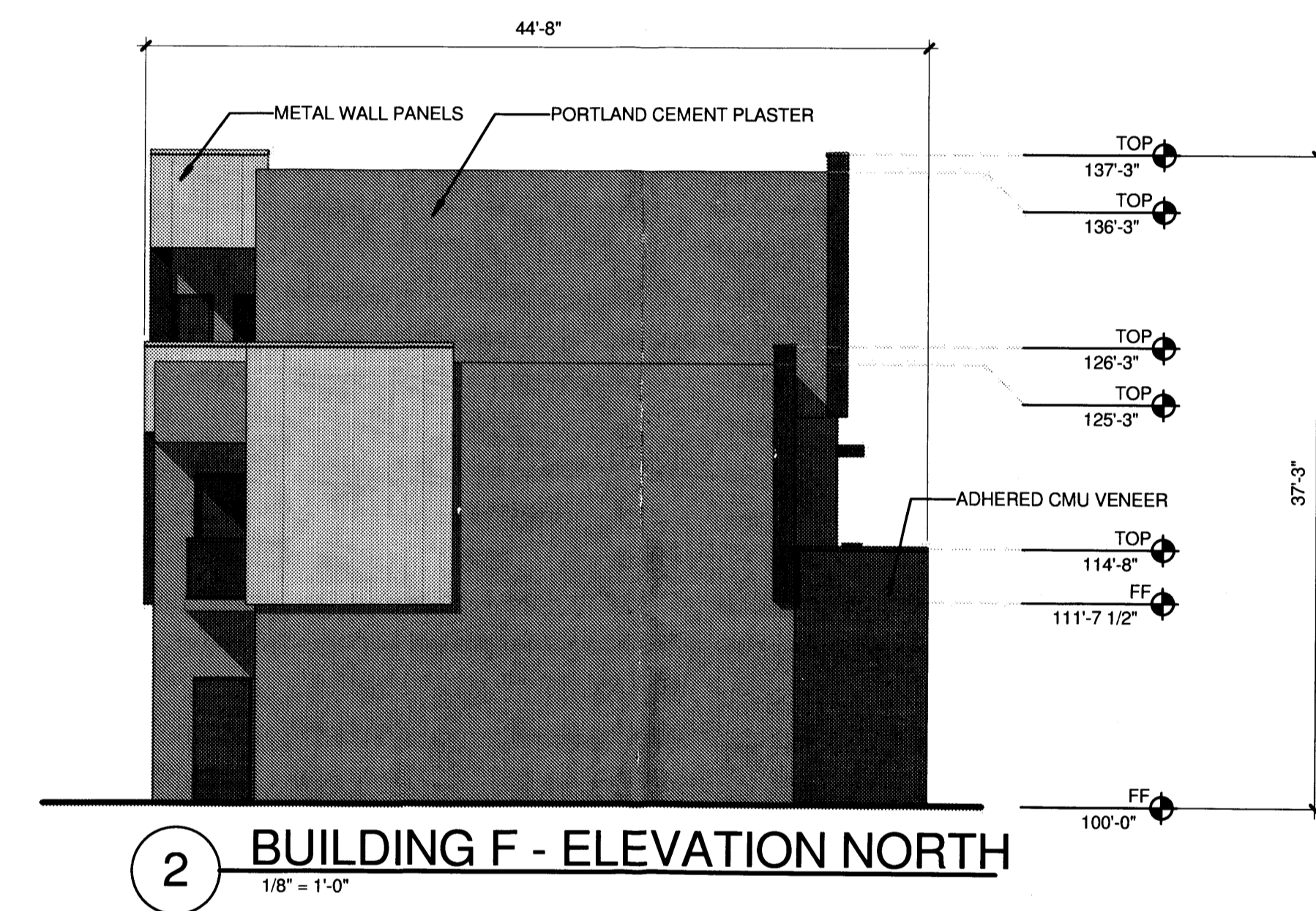
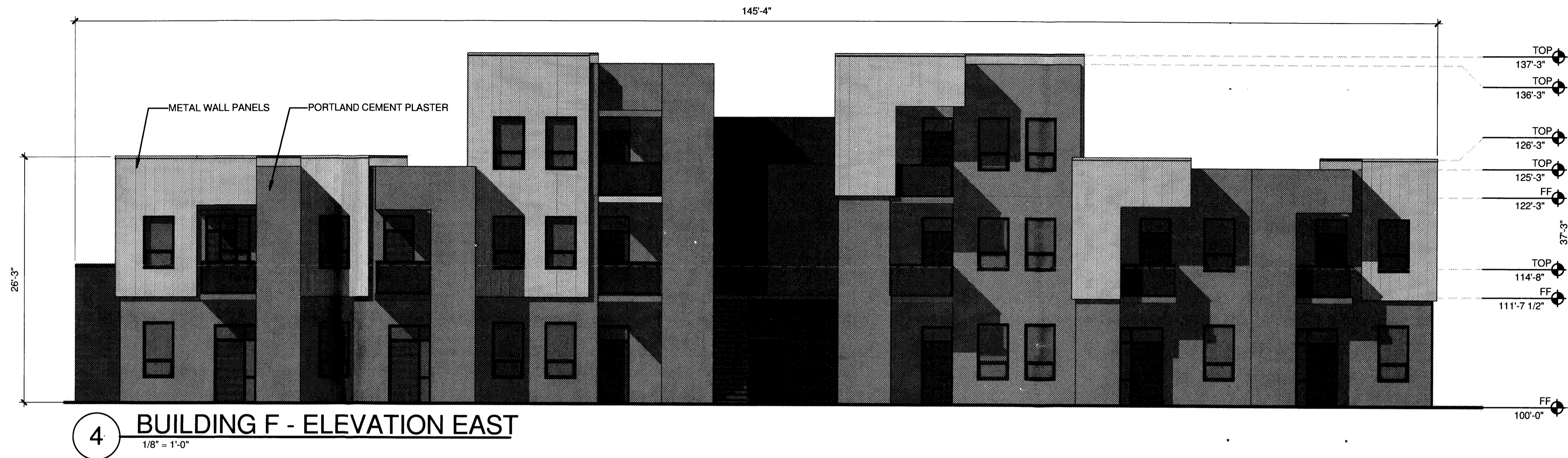
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SHEET TITLE
 BUILDING AND STRUCTURE ELEVATIONS
 BUILDING F

SHEET NUMBER

5.5



KEY PLAN

