

VICINITY MAP No. H-14



LEGAL DESCRIPTION

LOTS NUMBERED ONE (1), TWO (2), AND THREE (3), IN BLOCK NUMBERED NINE (9), OF FRANCISCAN ACRES, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 17, 1934, IN PLAT BOOK C2, FOLIO 11. AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT, BEING A POINT AT THE INTERSECTION OF THE EASTERLY LINE OF BROADWAY BOULEVARD AND THE SOUTHERLY LINE OF INDIAN SCHOOL ROAD, WHENCE CITY OF ALBUQUERQUE CONTROL MONUMENT "A-438" HAVING NEW MEXICO STATE PLANE COORDINATES OF (CENTRAL ZONE, NAD 1983) X=1,523,137.246 AND Y=1,495,747.494 BEARS N 11°56'07" W, A DISTANCE OF 2195.95 FEET RUNNING THENCE S 80°50'09" E, ALONG THE SOUTHERLY LINE OF INDIAN SCHOOL ROAD, A DISTANCE OF 435.22 FEET TO THE NORTHEAST CORNER; THENCE S 09°09'51" W, A DISTANCE OF 299.94 FEET TO THE SOUTHEAST CORNER WHENCE CITY OF ALBUQUERQUE CONTROL MONUMENT "9-J15" HAVING NEW MEXICO STATE PLANE COORDINATES OF (CENTRAL ZONE, NAD 1983) X=1,526,869.928 AND Y=1,489,021.809 BEARS S 34°34'14" E, A DISTANCE OF 5111.75 FEET; THENCE N 80°50'09" W, A DISTANCE OF 435.22 FEET TO THE SOUTHWEST CORNER, BEING A POINT ON THE EASTERLY LINE OF BROADWAY BOULEVARD; THENCE N 09°09'51" E, ALONG THE EASTERLY LINE OF BROADWAY BOULEVARD, A DISTANCE OF 299.94 FEET TO THE NORTHWEST CORNER AND PLACE OF BEGINNING CONTAINING 2.9968 ACRES MORE OR LESS

**PRELIMINARY PLAT OF
BROADWAY AND INDIAN SCHOOL SUBDIVISION**

WITHIN
 TOWN OF ALBUQUERQUE GRANT
 PROJECTED SECTION 8, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH 2010

PROJECT NUMBER: 1007649
 APPLICATION NUMBER: 10 DEB-70106


PURPOSE OF PLAT:

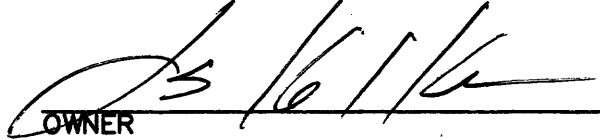
THE PURPOSE OF THIS PLAT IS TO COMBINE LOTS 1, 2 AND 3, BLOCK 9 FRANCISCAN ACRES INTO 2 LOTS, DEDICATE RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE AND GRANT ALL EASEMENTS AS SHOWN.

GENERAL NOTES:

- 1: UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
- 2: THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- 3: TOTAL AREA OF PROPERTY: 2.9968 ACRES.
- 4: TALOS LOG NO. 2010102462
- 5: BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1983.
- 6: DISTANCES ARE GROUND, BEARINGS ARE GRID.
- 7: BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
- 8: DATE OF FIELD WORK: FEBRUARY, 2009
- 9: NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT
- 10: TOTAL MILES OF FULL WIDTH STREET CREATED: 0.1186 MILES
- 11: STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN THUS WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB, PS 11463

APPROVALS:

 3-30-10
 CITY OF ALBUQUERQUE SURVEYOR DATE

 3/30/10
 OWNER DATE

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
 UPC# _____
 PROPERTY OWNER OF RECORD: _____
 BERNALILLO CO. TREASURER'S OFFICE: _____

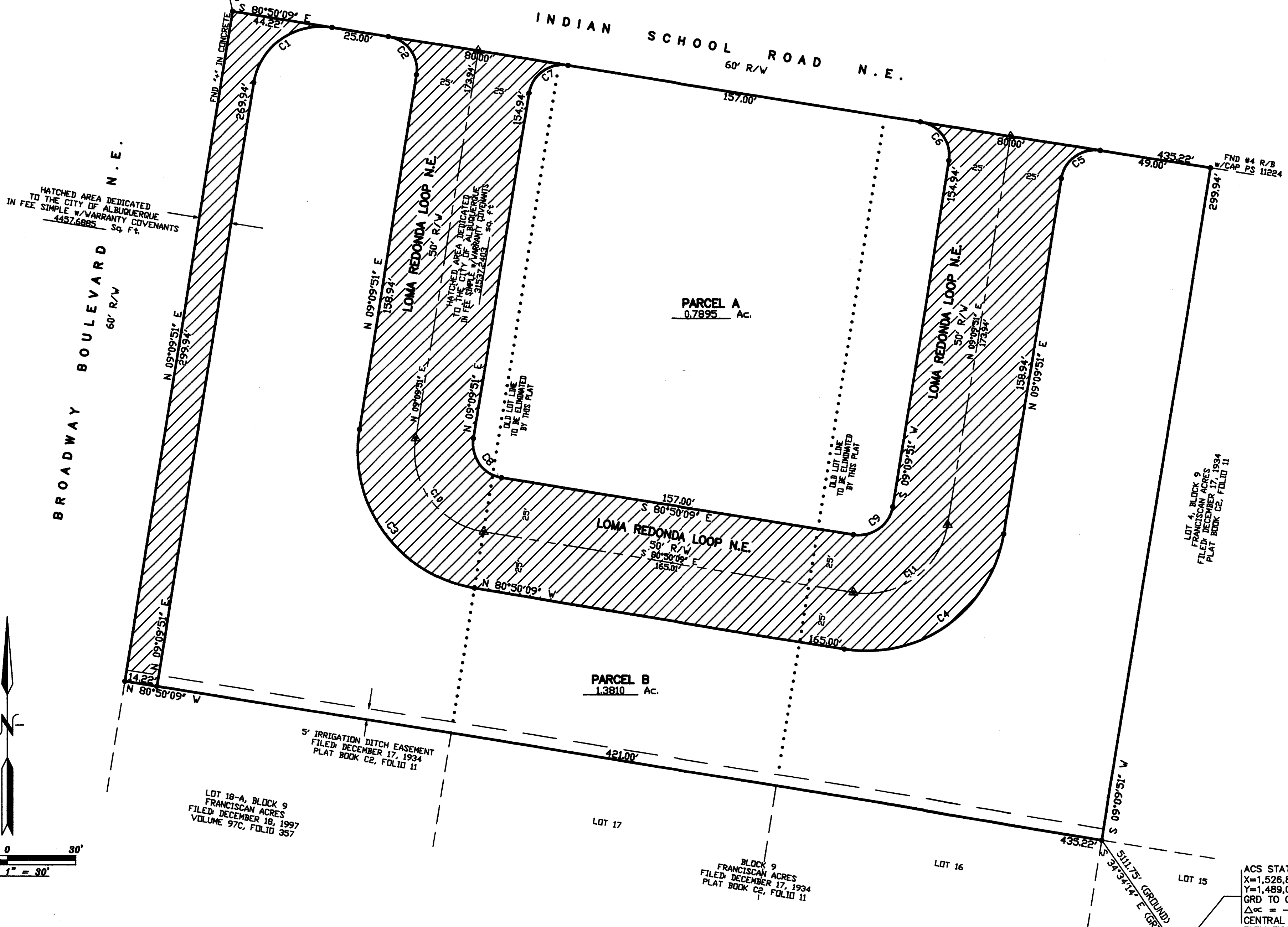
PRELIMINARY PLAT OF BROADWAY AND INDIAN SCHOOL PROPERTY

WITHIN
SECTION 8, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH 2010

ACS STATION "A-438"
X=1,523,137.246
Y=1,495,747.494
GRD TO GRID=0.999681662
 $\Delta\alpha = -00^{\circ} 13' 31.98''$
CENTRAL ZONE, NAD 1983
ELEVATION=4975.350

CURVE TABLE

NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	90°00'00"	S 54°09'51" W	30.00	47.12	42.43
C2	90°00'00"	N 35°50'09" W	15.00	23.56	21.21
C3	90°00'00"	S 35°50'09" E	61.00	95.82	86.27
C4	90°00'00"	N 54°09'51" E	61.00	95.82	86.27
C5	90°00'00"	S 54°09'51" W	15.00	23.56	21.21
C6	90°00'00"	N 35°50'09" W	15.00	23.56	21.21
C7	90°00'00"	S 54°09'51" W	15.00	23.56	21.21
C8	90°00'00"	S 35°50'09" E	15.00	23.56	21.21
C9	90°00'00"	N 54°09'51" E	15.00	23.56	21.21
C10	90°00'00"	S 35°50'09" E	36.00	56.55	50.91
C11	90°00'00"	N 54°09'51" E	36.00	56.55	50.91



HATCHED AREA DEDICATED TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE w/WARRANTY COVENANTS 4457.6885 Sq. Ft.

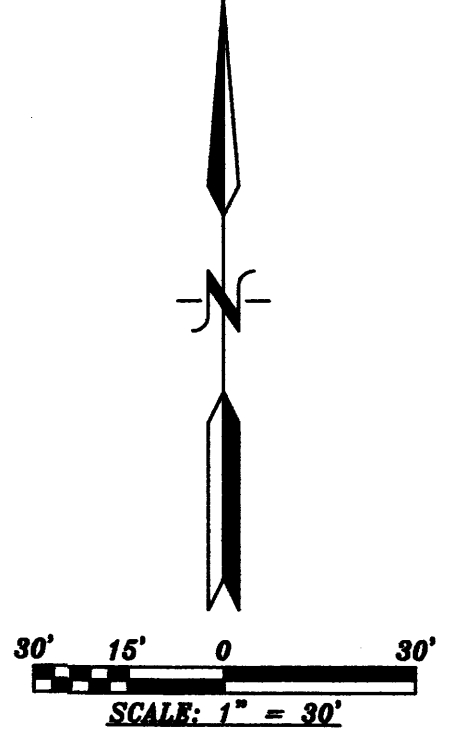
HATCHED AREA DEDICATED TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE w/WARRANTY COVENANTS 31537.2303 sq. ft.

LOT 4, BLOCK 9 FRANCISCAN ACRES FILED DECEMBER 17, 1934 PLAT BOOK C2, FOLIO 11

LOT 18-A, BLOCK 9 FRANCISCAN ACRES FILED DECEMBER 18, 1997 VOLUME 97C, FOLIO 357

BLOCK 9 FRANCISCAN ACRES FILED DECEMBER 17, 1934 PLAT BOOK C2, FOLIO 11

ACS STATION "9-J15"
X=1,526,869.928
Y=1,489,021.809
 $\Delta\alpha = -00^{\circ} 13' 05.60''$
CENTRAL ZONE, NAD 1983
ELEVATION=5093.057



Legal Description

LOTS NUMBERED ONE (1), TWO (2), AND THREE (3), IN BLOCK NUMBER NINE (9), OF FRANCISCAN ACRES, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE REPLAT OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OFFICE OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 17, 1984, IN PLAT BOOK C2, FOLIO 11.

Legend

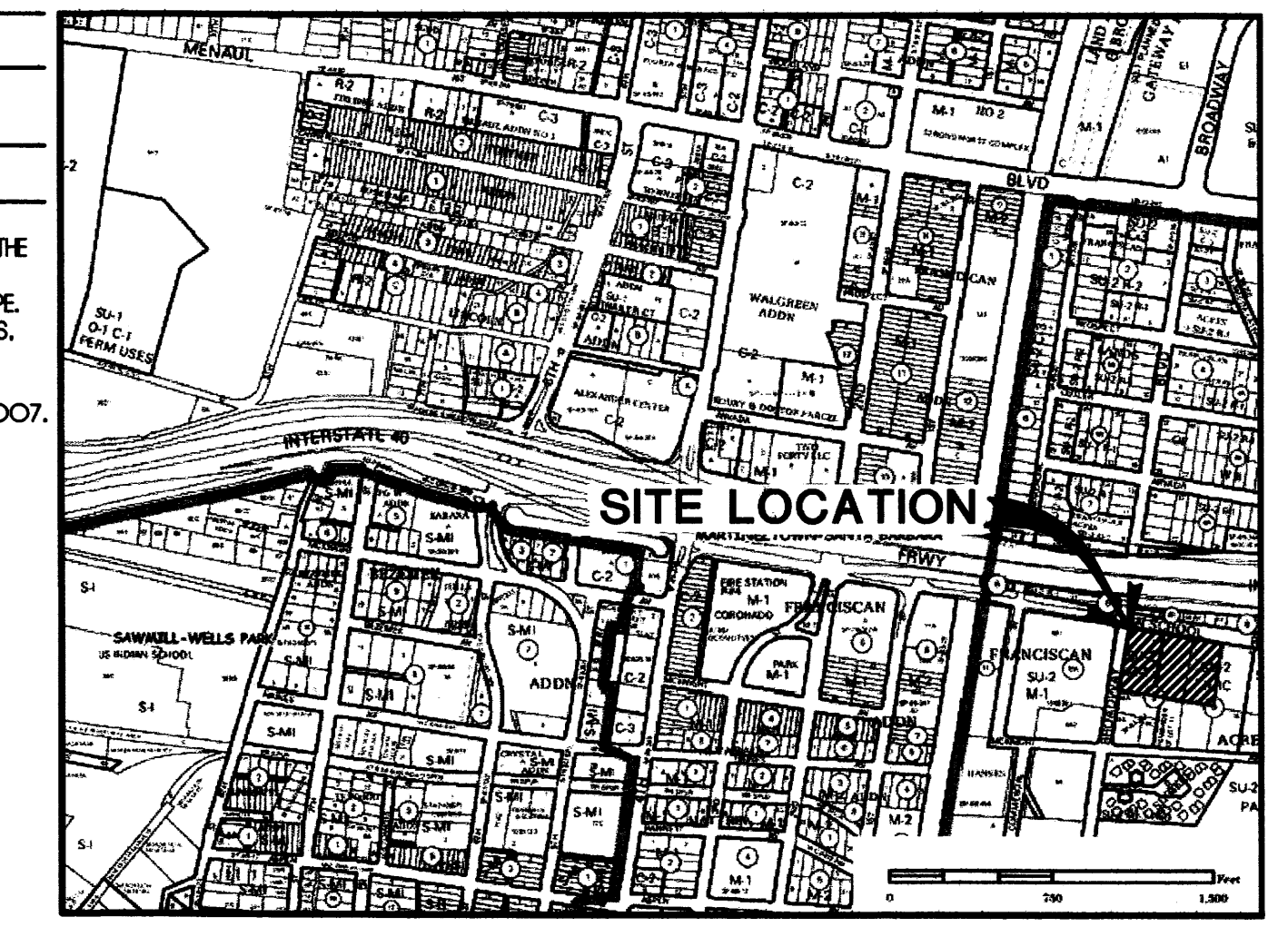
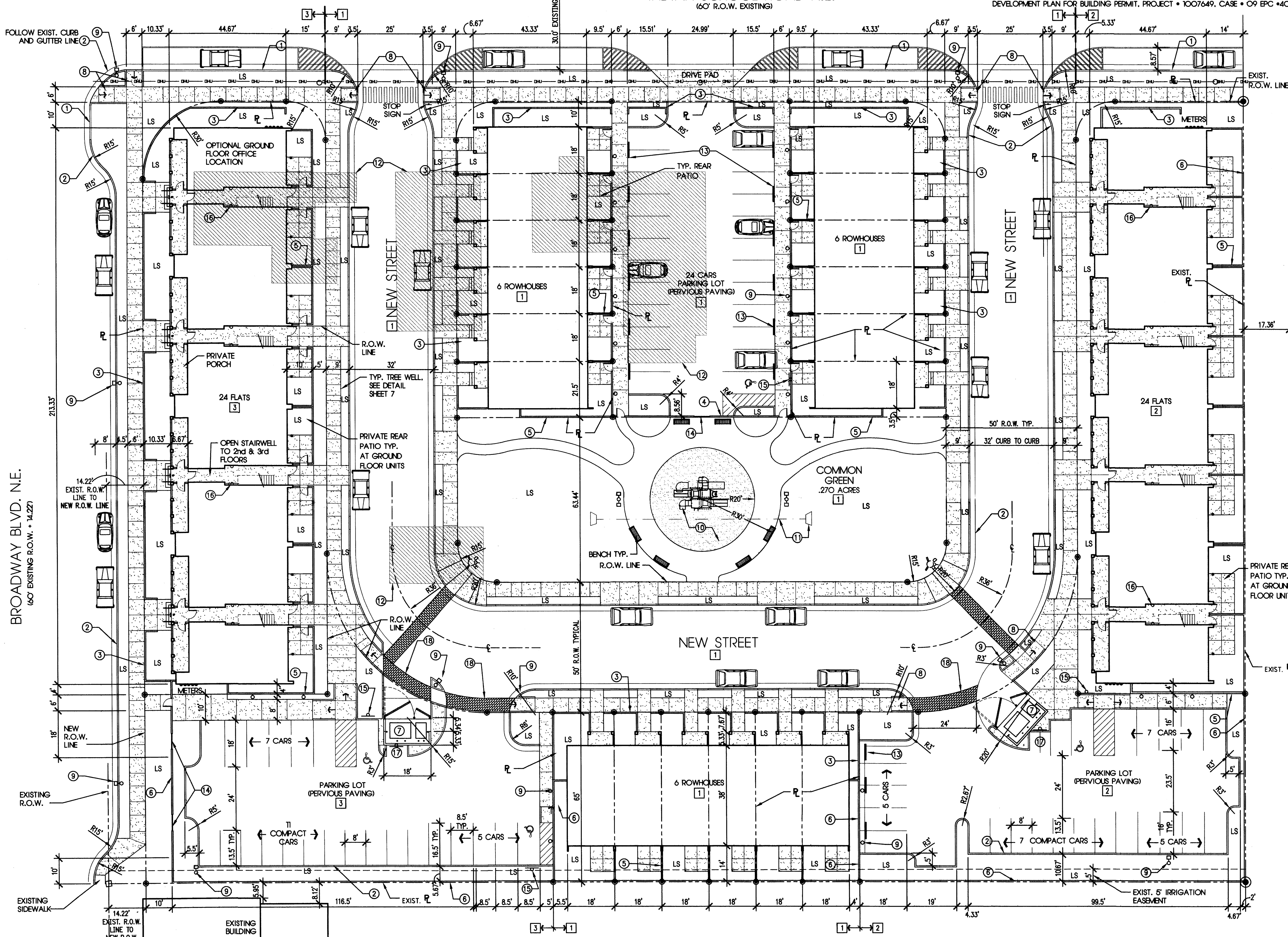
- ○ ○ POLE LIGHT, SEE SHEET 9
- ○ POLE LIGHT, SEE SHEET 9
- ACCENT LIGHT
- ⊕ FIRE HYDRANT, SEE OVERALL UTILITY PLAN

Transit Information

ABQ RIDE OPERATES (6) ROUTES WITH IN A 1/2 MILE OF THE SITE. THE (6) ROUTES ARE 6, 7, 8, 10, 13 & 101B.

General Notes

- A. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW FROM THE ADJACENT PUBLIC R.O.W.S. DEVELOPER IS RESPONSIBLE FOR PERMANENT IMPROVEMENTS TO THE TRANSPORTATION FACILITIES ADJACENT TO THE PROPOSED SITE DEVELOPMENT PLAN.
- B. ROOF TOP SOLAR COLLECTORS ARE PERMISSIVE, AND ARE INCLUDED IN THE MAXIMUM BUILDING HEIGHT ENVELOPE. ARCHITECTURAL DESIGN STANDARDS SUCH AS EXTERIOR WALL DESIGN, MATERIALS, AND COLORS, ROOF MATERIALS AND COLORS, PRELIMINARY GRADING AND DRAINAGE, LANDSCAPE DESIGN, PARKING, SITE LIGHTING, AND PEDESTRIAN AMENITIES, ARE AS SHOWN ON THE APPROVED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT, PROJECT # 1007649, CASE # C9 EPC #40006, 40007.



Vicinity Map

ZONE ATLAS - H-14-Z

Keyed Notes

- 1. EXISTING CURB
- 2. NEW CURB PER C.O.A. STANDARDS
- 3. 3' HIGH FRONT YARD WALLS SET AT R.O.W. LINE TYP. SEE ELEVATIONS.
- 4. 4' HIGH SCREEN WALLS. SEE ELEVATIONS.
- 5. 5' HIGH SIDE YARD WALLS. SEE ELEVATIONS.
- 6. 6' HIGH SITE WALLS TYP. AT PROPERTY LINE. TO SETBACK AT BROADWAY. SEE ELEVATIONS.
- 7. REUSE/RECYCLE ENCLOSURE PER C.O.A. STANDARDS. 6' HIGH WALL WITH STEEL ROLLING GATE ON TRACK.
- 8. NEW ACCESSIBLE PARKING PER C.O.A. STANDARDS, TYP.
- 9. SITE LIGHTING PER C.O.A. STANDARD AT STREET R.O.W. SEE SHEET 9 FOR OFF-STREET LIGHTING. AT YARD WALLS, USE STANDARD RESIDENTIAL FIXTURE, THAT COMPLY WITH COA LIGHTING RESTRICTIONS. RECESSED CAN DOWN LIGHT TYPE FIXTURES WILL BE UTILIZED IN SOFFIT ABOVE ALL ENTRIES.
- 10. PLAY STRUCTURE
- 11. DETENTION POND CULVERT. SEE PRELIMINARY GRADING PLAN
- 12. EXISTING BUILDINGS TO BE DEMOLISHED ALONG WITH ANY EXISTING CHAIN LINK FENCING AND ANY MISC. STRUCTURES
- 13. PRECAST CONC. WHEEL STOPS.
- 14. 6' WIDE STEEL PICKET FENCE SECTION SEE ELEVATIONS.
- 15. ACCESSIBLE PARKING SIGN, SEE DETAIL F.
- 16. BIKE LOCK LOOP TYP. OF (16).
- 17. MOTORCYCLE PARKING TYP. OF (17) WITH SIGN. SEE SIGN DETAIL F.
- 18. TEXTURED AND COLORED CONCRETE CROSSWALK.

Phasing Legend

- 1 - ORDER OF OCCURRENCE
- 1 (1) 6 ROWHOUSES (22320 SQFT.) WITH ASSOCIATED SIDEWALKS, (24) SPACE PARKING LOT, APPROXIMATELY 657' OF STREET WITH CURB AND GUTTER, & A .270 ACRES PLAYGROUND.
- 2 (2) 24 FLATS (22,008 SQFT) WITH ASSOCIATED SIDEWALKS, (24) SPACE PARKING LOT WITH ALL ASSOCIATED CURB, GUTTER AND SIDEWALKS, & (1) REUSE/RECYCLE ENCLOSURES.
- 3 (3) 24 FLATS (22,008 SQFT) WITH ASSOCIATED SIDEWALKS, (25) SPACE PARKING LOT WITH ALL ASSOCIATED CURB, GUTTER AND SIDEWALKS, & (1) REUSE/RECYCLE ENCLOSURES.

Site Information

EXISTING SITE AREA: 3.00 ACRES, PROPOSED SITE AREA AFTER STREET DEDICATIONS: 2.17 ACRES
 EXISTING SITE ZONING: SJ-2 FOR M-1 & SJ-2 FOR MFC
 PROPOSED ZONING FOR ALL LOTS & PARCELS: SJ-2/SJ-1 FOR PRD
 OVERALL GROSS DENSITY: 22.0 D.U. PER ACRE
 NET DENSITY: 30.41 D.U. PER ACRE
 FLOOR AREA RATIO - BUILDINGS: ROWHOUSES: 24,114 SQ.FT. FLATS: 39,888 SQ.FT.
 SITE: 94,544 SQ.FT. F.A.R.: 0.58
 UNIT BREAKDOWNS - ROWHOUSES: 18 TOTAL (18) 1240 SQ.FT. - 3 BDRM., 2 BATH FLATS: 48 TOTAL (48) 917 SQ.FT. - 2 BDRM., 1 BATH
 PARKING CALCULATION: (18x2) + (48x1.5) = 108 SPACES
 PARKING PROVIDED: 109 SPACES (INCL. 50% ON PUBLIC STREETS)
 OFF STREET PARKING: 73 SPACES
 ON STREET PARKING: 36 SPACES
 OFF STREET COMPACT PARKING: 19 SPACES
 OFF STREET STANDARD PARKING: 52 SPACES
 DISABLED PARKING REQUIRED: 4 SPACES
 DISABLED PARKING PROVIDED: 4 SPACES
 MOTORCYCLES: FOR (5-100 CARS) 3 SPACES
 BIKES: (MULTI-FAMILY ONLY) 48/2 = 24
 BIKE SPACES PROVIDED: (16) GROUND FLOOR PATIOS & (16) LOCK LOOPS

SITE AREA: 130,541 SQ.FT. TOTAL EXISTING SITE
 - 4,458 SQ.FT. DEDICATED TO C.O.A. NEW R.O.W. ON BROADWAY
 - 31,592 SQ.FT. DEDICATED TO C.O.A. NEW STREET R.O.W.
 94,544 SQ.FT. NET SITE AREA
 COMMON GREEN AREA: 11,767 SQ.FT. - .270 ACRES
 MAXIMUM / MINIMUM LOT SIZES: 1071 SQ.FT./ROWHOUSE / 14529 SQ.FT./FLATS
 MAXIMUM BUILDING ENVELOPE HEIGHT: FLATS BUILDING: 42'-0" / ROWHOUSES: 28'-0" ABOVE AVERAGE FINISH GRADE (INCLUDING ALL CHIMNEYS AND ROOF TOP SOLAR COLLECTORS).
 MINIMUM SETBACKS: FRONT YARD: 5.33'(FLATS) / 6.57'(ROWHOUSES)
 REAR YARD: 9.5' MIN.
 SIDE YARD: 3.5' MIN. / 10' AT CORNER

PROJECT NUMBER: 1007649
 Application Number: 10 DRB 70106

This plan is consistent with the specific Site Development Plan Approved by the Environmental Planning Commission (EPC), dated May 6, 2009 and the finding and conditions in the Official Notification of Decision are satisfied.

IS AN INFRASTRUCTURE LIST REQUIRED? () Yes () No
 If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
* Environmental Health Department-(conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

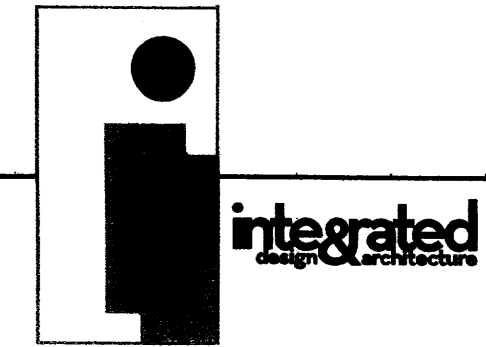
SITE PLAN

**MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL
 INDIAN SCHOOL AND BROADWAY**

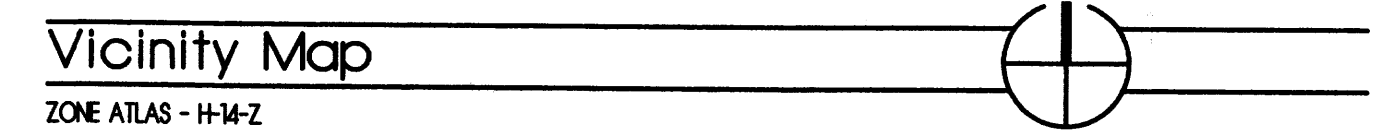
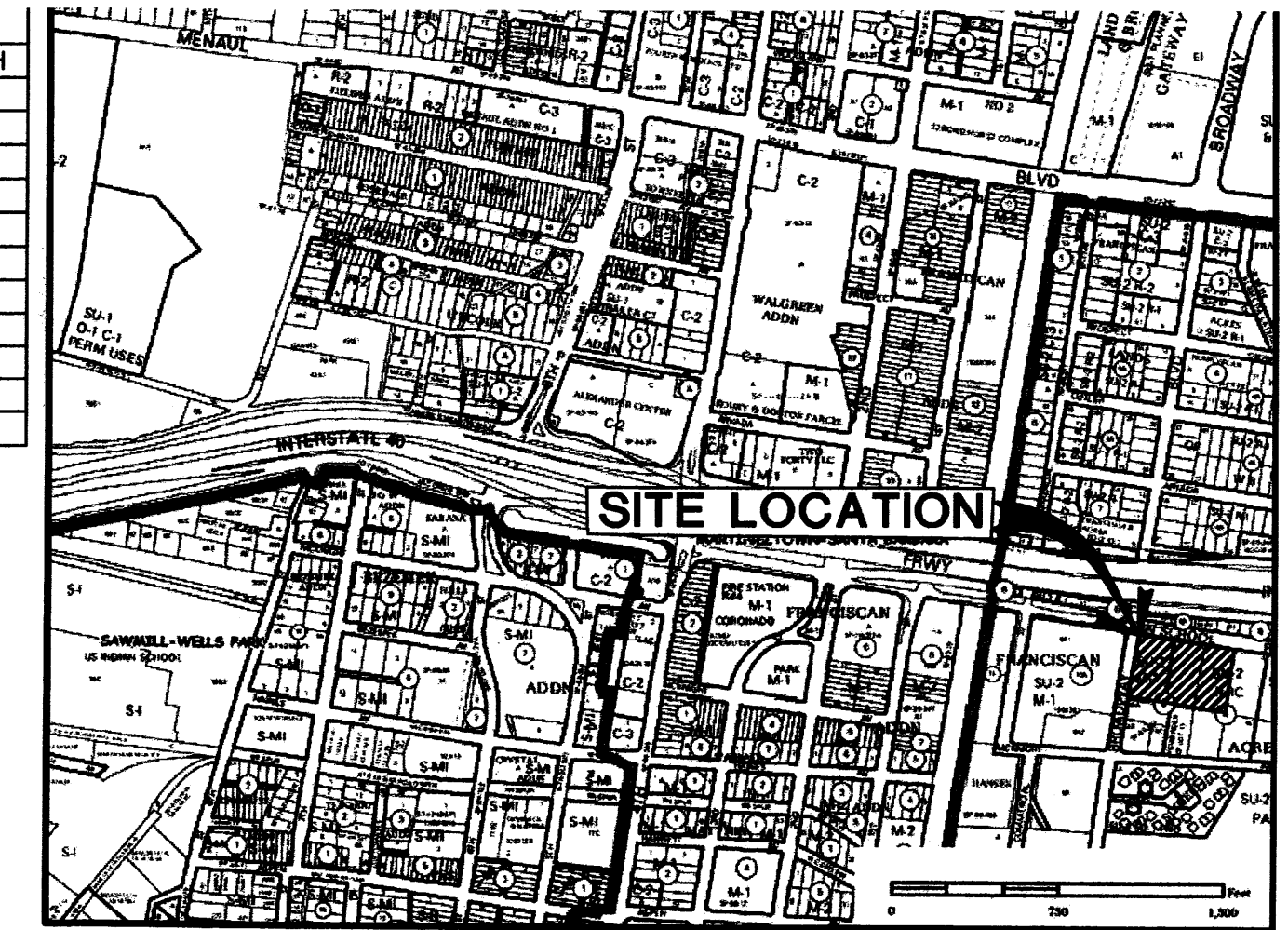
March 26, 2010



PHASING DIAGRAM
 SEE PHASING LEGEND



CURVE DATA	NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	90° 00' 00"	S 53° 53' 17" E	30.00'	47.12'	42.43'	
C2	90° 00' 00"	N 36° 06' 43" E	15.00'	23.56'	21.21'	
C3	90° 00' 00"	N 36° 06' 43" E	61.00'	95.82'	86.27'	
C4	90° 00' 00"	N 53° 53' 17" E	61.00'	95.82'	86.27'	
C5	90° 00' 00"	S 53° 53' 17" E	15.00'	23.56'	21.21'	
C6	90° 00' 00"	S 53° 53' 17" E	15.00'	23.56'	21.21'	
C7	90° 00' 00"	S 36° 06' 43" E	15.00'	23.56'	21.21'	
C8	90° 00' 00"	N 53° 53' 17" E	15.00'	23.56'	21.21'	
C9	90° 00' 00"	N 36° 06' 43" E	15.00'	23.56'	21.21'	
C10	90° 00' 00"	N 36° 06' 43" E	36.00'	56.55'	50.91'	
C11	90° 00' 00"	N 53° 53' 17" E	36.00'	56.55'	50.91'	



General Notes

- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW FROM THE ADJACENT PUBLIC R.O.W.S.
- UNLESS NOTED NUMBER 4 REBAR WITH CAP STAMPED P.S.#1463 WERE SET AT ALL PROPERTY CORNERS.
- THIS SITE PLAN FOR SUBDIVISION SHOWS ALL EASEMENTS OF RECORD.
- BASES OF BEARING IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1983.
- DISTANCES ARE GROUND, BEARINGS ARE GRID.
- BEARINGS AND DISTANCES IN PARENTHESIS ARE RECORD.

Legal Description

LOTS NUMBERED ONE (1), TWO (2), AND THREE (3), IN BLOCK NUMBERED NINE (9), OF FRANCISCAN ACRES, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE REPLAT OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK, OFFICE OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 17, 1934, IN PLAT BOOK C2, FOLIO 11.

Site Information

EXISTING SITE AREA: 2.9968 ACRES, PROPOSED SITE AREA AFTER STREET DEDICATIONS: 2.17 ACRES
 EXISTING SITE ZONING: SJ-2 FOR M-1 & SJ-2 FOR NRC
 PROPOSED ZONING: SJ-2/ SJ-1 FOR PRD

OVERALL GROSS DENSITY: 22.0 D.U. PER ACRE
 NET DENSITY: 30.41 D.U. PER ACRE

FLOOR AREA RATIO - BUILDINGS: ROWHOUSES: 24.14 SQ.FT.
 FLATS: 39.888 SQ.FT.
 SITE: 94,544 SQ.FT.
 F.A.R.: 0.68

UNIT BREAKDOWNS:
 ROWHOUSES (TOWNHOUSE): (8) UNITS * 1240 SQ.FT. - 3 BDRM., 2 BATH, LOTS 2 - 19
 FLATS (CONDOMINIUMS): (48) UNITS * 917 SQ.FT. - 2 BDRM., 1 BATH, LOTS 1 & 20

MAXIMUM / MINIMUM LOT SIZES: 1071 SQ.FT./ROWHOUSE / 14529 SQ.FT./FLATS
MAXIMUM BUILDING ENVELOPE HEIGHT:
 FLATS BUILDING: 42'-0"
 ROWHOUSES: 28'-0"

MINIMUM SETBACKS: FRONT YARD: 5.33'(FLATS) / 6.67'(ROWHOUSES)
 REAR YARD: 9.5' MIN.
 SIDE YARD: 3.5' MIN. / 10' AT CORNER

ARCHITECTURAL DESIGN STANDARDS SUCH AS EXTERIOR WALL DESIGN, MATERIALS, AND COLORS, ROOF MATERIALS AND COLORS, PRELIMINARY GRADING AND DRAINAGE, LANDSCAPE DESIGN, PARKING, SITE LIGHTING, AND PEDESTRIAN AMENITIES, ARE AS SHOWN ON THE APPROVED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT, PROJECT # 1007649, CASE # 09 EPC #40006, 40007.

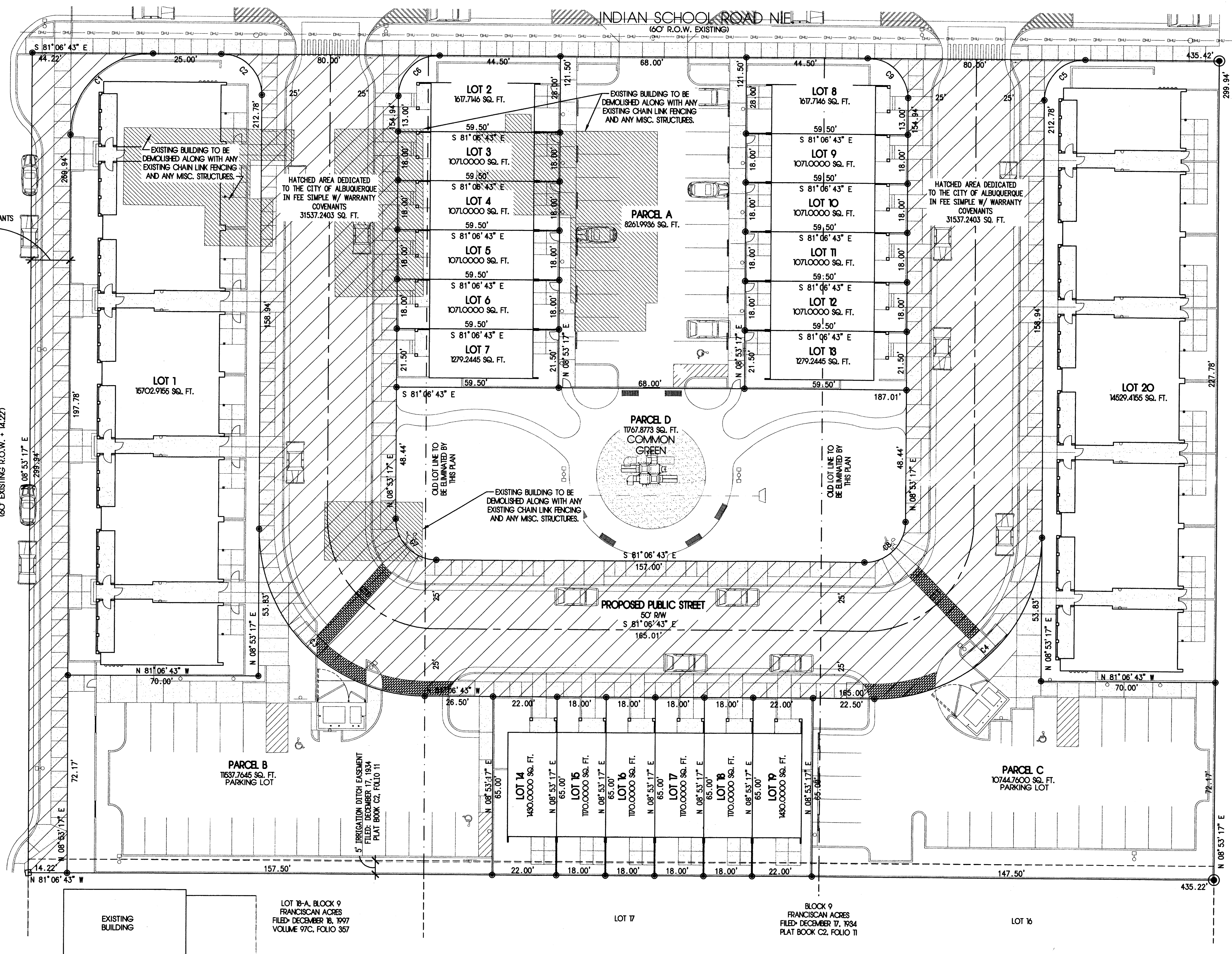
PROJECT NUMBER: 1007649
 Application Number: 10 DRB-70107

This plan is consistent with the specific Site Development Plan Approved by the Environmental Planning Commission (EPC), dated May 6, 2009 and the finding and conditions in the Official Notification of Decision are satisfied.

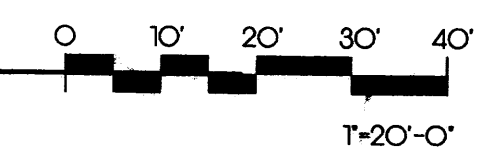
IS AN INFRASTRUCTURE LIST REQUIRED? () Yes () No
 If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

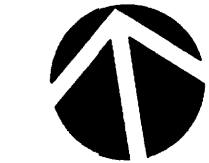
Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
* Environmental Health Department-(conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date



SITE PLAN



INDIAN SCHOOL AND BROADWAY SITE DEVELOPMENT PLAN FOR SUBDIVISION



June, 12, 2009



AS BUILT INFORMATION		CONTRACTOR		DATE	
FIELD NOTES		NO.		DATE	
ENGINEER'S SEAL		BY		DATE	
REVISIONS		DESIGN		DATE	
DRAWN BY		DESIGNED BY		DATE	
CHECKED BY		DATE		DATE	



UTILITY PRECAUTIONS
 THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND FACILITIES IN THE AREA OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND MARKING ALL UTILITIES BEFORE ANY EXCAVATION WORK IS BEGUN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED BY ITS FAILURE TO IDENTIFY UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.

CONSTRUCTION NOTES:

1. CONSTRUCT DETENTION /RETENTION POND NO. 1 WITH A TOTAL VOLUME = 4,792CF
2. CONSTRUCT DETENTION /RETENTION POND NO. 2 WITH A TOTAL POND VOLUME = 4,225CF.
3. INSTALL PERFORATED STAND PIPE PER DETAIL SHOWN ON SHEET 2.
4. INSTALL 18" STORM DRAIN PIPE.
5. INSTALL 6" STORM DRAIN PIPE WITH INLET AT PARKING LOT AND EROSION CONTROL IN POND.
6. INSTALL SINGLE TYPE 'A' INLET IN SUMP CONDITION.
7. CONNECT NEW 18" STORM DRAIN PIPE INTO EXISTING 36" STORM DRAIN PIPE WITH A NEW 6" DIAMETER MANHOLE.
8. INSTALL TYPICAL 32" WIDE RESIDENTIAL STREET SECTION WITH STANDARD CURB AND GUTTER.
9. CONSTRUCT 1'-6" DEEP CHANNEL FOR OFFSITE FLOWS PER DETAIL SHOWN ON SHEET 2.
10. CONSTRUCT DESILTATION POND FOR OFFSITE FLOWS.
11. CONSTRUCT RETAINING WALL PER GRADES SHOWN WITH A GARDEN WALL ON TOP WITH A BLOCK REMOVED AT GRADE EVERY 20' TO ALLOW OFFSITE FLOWS TO ENTER SITE.
12. CONSTRUCT GARDEN WALL WITH A BLOCK REMOVED AT GRADE EVERY 20' TO ALLOW OFFSITE FLOWS TO ENTER SITE.
13. INSTALL DOUBLE TYPE 'C' INLET IN SUMP CONDITION.



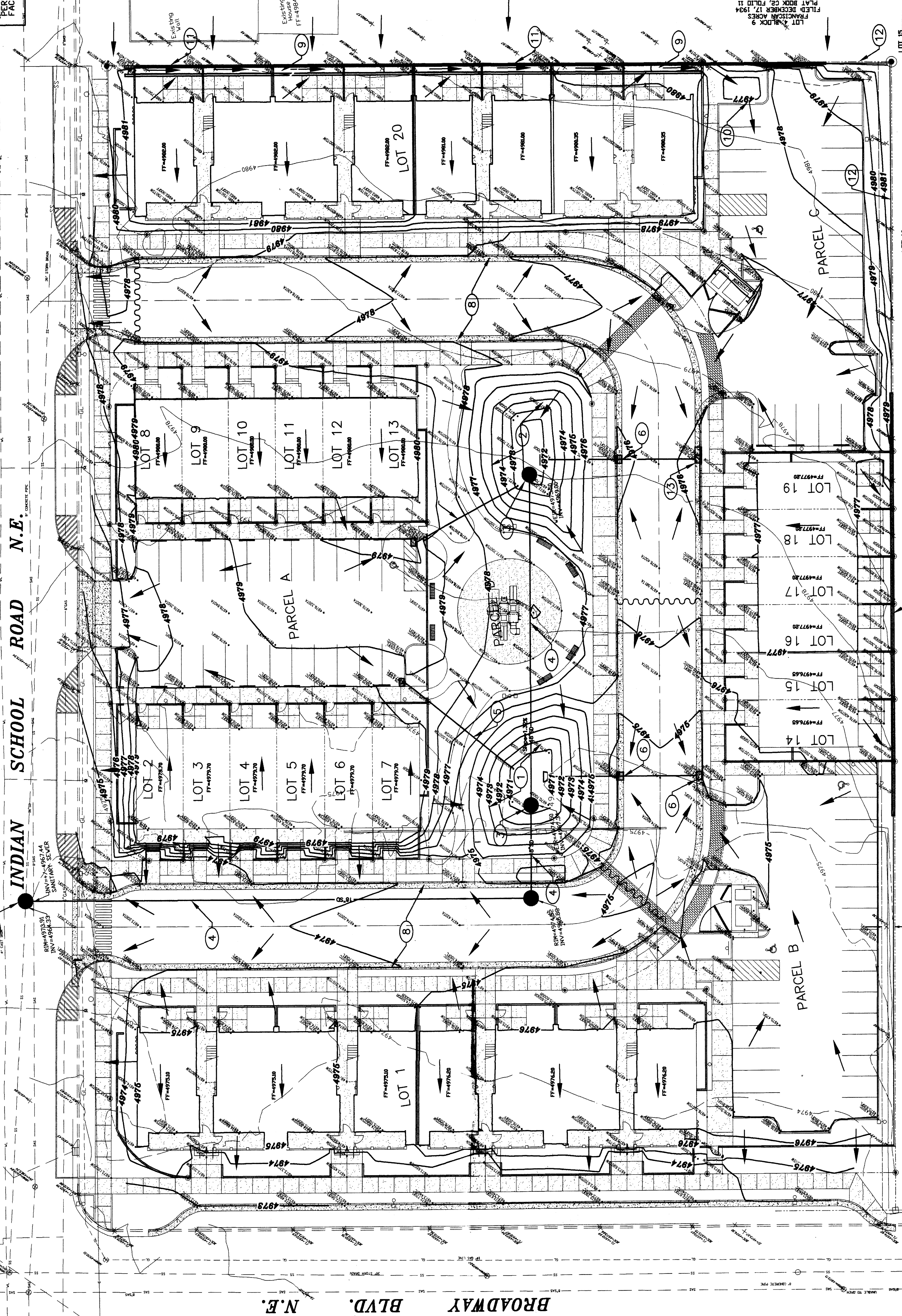
APPLIED ENGINEERING AND SURVEYING, INC.
 ENGINEERS AND PLANNERS
 1000 10TH AVENUE, S.W.
 ALBUQUERQUE, NEW MEXICO 87102
 PHONE: (505) 263-1111
 FAX: (505) 263-1112

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP

INDIAN SCHOOL AND BROADWAY

Design Review Committee City Engineer Approval
FOR INFORMATION ONLY

City Project No. TBD Zone Map No. H-14 Sheet 1 of 2



LEGEND

5.360	EXISTING CENTER GRADE	5.360	NEW GRADE BREAK/WATER BLOCK
5.360	EXISTING CENTER GRADE	56.0FL	NEW GRADE ELEVATION
62.50TC	NEW TOP OF CURB ELEVATION	55.3FL	FLUSH GRADE ELEVATION
62.00FL	NEW FLOORLINE OF CURB ELEVATION	95.1TW	NEW TOP OF WALL ELEVATION
60.11TA	NEW TOP OF ADJACENT ELEVATION	93.1BW	NEW BOTTOM OF WALL ELEVATION
61.87TSW	NEW TOP OF RETAINMENT ELEVATION	93.1TCC	NEW TOP OF CONCRETE ELEVATION
			BRIDGE SCALE

BLOCK 9
 FRANKLIN ACRES
 FILED DECEMBER 17, 1994
 PLAT BOOK CE, FOLIO 11

IRRIGATION DITCH EASEMENT
 FRANKLIN ACRES
 FILED DECEMBER 18, 1997
 VOLUME 97C, FOLIO 57

LOT 18-A, BLOCK 9
 FRANKLIN ACRES
 FILED DECEMBER 18, 1997
 VOLUME 97C, FOLIO 57

NOTE: ALL WORK IN THE RIGHT OF WAY IS TO BE BUILT UNDER A SEPARATE WORK ORDER.

Transit Information
 A65 RIDE OPERATES ON ROUTES WITH IN A 1/2 MILE OF THE SITE. THE (A) ROUTES ARE 4, 7, 10, 13, 18, & 19A.

General Notes
 A. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW FROM THE ADJACENT PUBLIC R.O.W.S. DEVELOPER IS RESPONSIBLE FOR PERMANENT IMPROVEMENTS TO THE TRANSPORTATION FACILITIES ADJACENT TO THE PROPOSED SITE DEVELOPMENT PLAN.
 B. PROPOSED SITE DEVELOPMENT PLAN.
 C. ROOF TOP SOLAR COLLECTORS ARE PERMISSIVE, AND ARE INCLUDED IN THE MAXIMUM BUILDING HEIGHT ENVELOPE.

Legend

DOOR POLE LIGHT, SEE SHEET 9
 DOOR POLE LIGHT, SEE SHEET 9
 ACCENT LIGHT
 FIRE HYDRANT, SEE OVERALL UTILITY PLAN

Legend

1. EXISTING CURB
 2. NEW CURB PER C.O.A. STANDARDS
 3. NEW CURB AND GUTTER PER C.O.A. STANDARDS
 4. HIGH SIDE WALK WALLS, SEE ELEVATIONS
 5. HIGH SIDE WALK WALLS, SEE ELEVATIONS
 6. HIGH SIDE WALK WALLS, SEE ELEVATIONS
 7. REFERENCING ENCLOSURE PER C.O.A. STANDARDS, SEE ELEVATIONS
 8. NEW ACCESSIBLE PARKS PER C.O.A. STANDARDS, TYP.
 9. STANDARD PER C.O.A. STANDARDS AT STREET R.O.W., SEE SHEET 9 FOR OFF-STREET LIGHTING, AT YARD WALLS, USE STANDARD PER C.O.A. STANDARDS
 10. REFERENCING ENCLOSURE PER C.O.A. STANDARDS, SEE ELEVATIONS
 11. TYPE FRUITREES WILL BE UTILIZED IN SPERT ABOVE ALL OTHERS
 12. DEFINITION FORD OLIVERT, SEE PRELIMINARY GRADING PLAN
 13. EXISTING BUILDINGS TO BE REFINISHED ALONG WITH ANY EXISTING CHAIN LINK FENCING AND ANY MISC. STRUCTURES, WATER STOPS
 14. 6" WIDE STEEL PICKET FENCE SECTION SEE ELEVATIONS
 15. ACCESSIBLE PARKING SIGN, SEE DETAIL F
 16. BIKE LOCK LOOP TYP. OF (A)
 17. MOTORCYCLE PARKING TYP. OF (A) WITH SIGN, SEE SIGN DETAIL F
 18. TEXTURED AND COLORED CONCRETE CROSSWALK

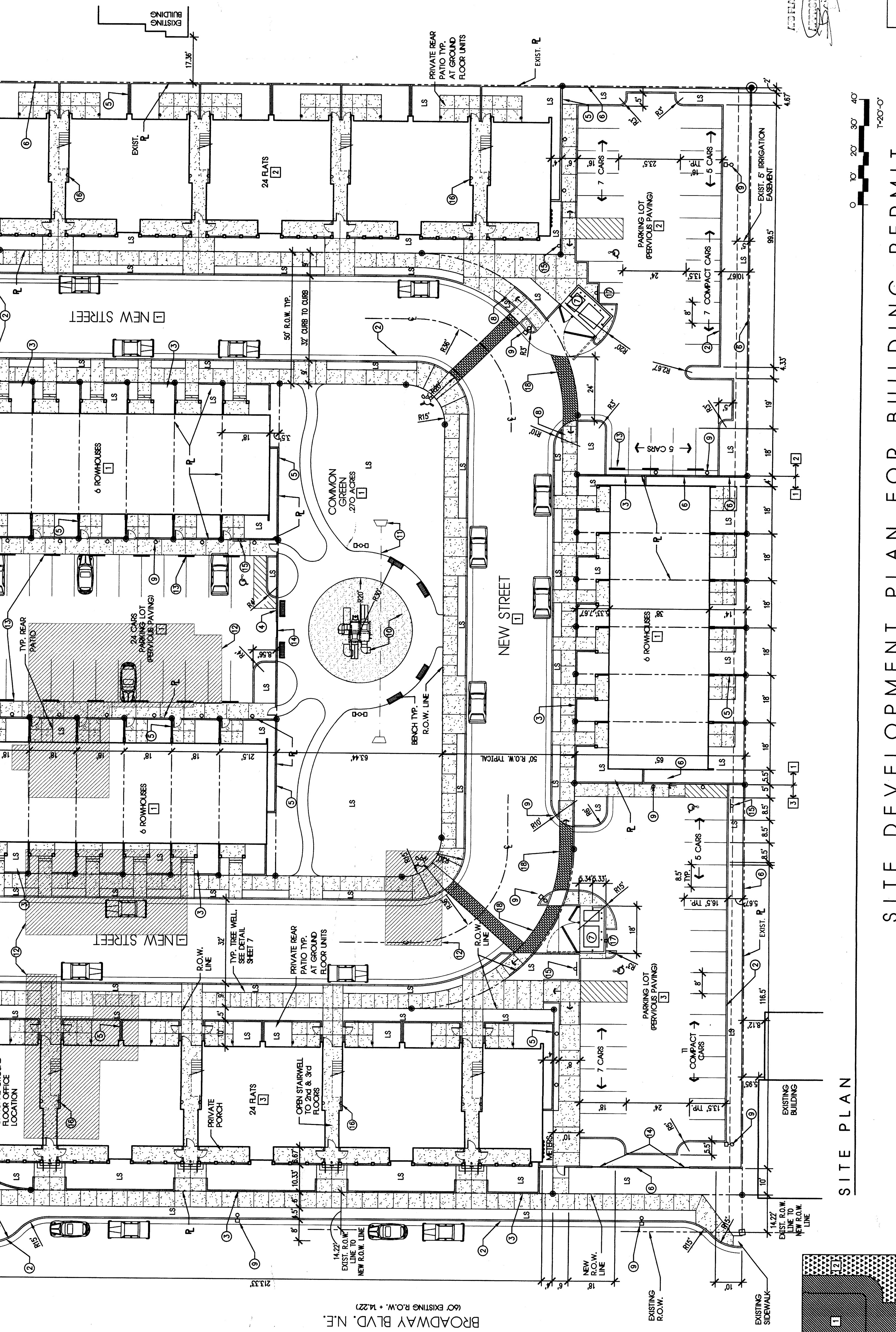
Phasing Legend

1 - ORDER OF OCCURRENCE
 1 (B) ROWHOUSES (22200 SQFT) WITH ASSOCIATED SEWERLINES, (24) SPACE PARKING LOT, APPROXIMATELY 457' OF STREET WITH CURB AND GUTTER, & A .270 ACRES PLAYGROUND.
 2 (24) RATES (22,000 SQFT) WITH ASSOCIATED SEWERLINES, (24) SPACE PARKING LOT WITH ALL ASSOCIATED CURB, GUTTER AND SEWERLINES, & (10) REFERENCING ENCLOSURES.
 3 (24) RATES (22,000 SQFT) WITH ASSOCIATED SEWERLINES, (25) SPACE PARKING LOT WITH ALL ASSOCIATED CURB, GUTTER AND SEWERLINES, & (10) REFERENCING ENCLOSURES.



Vicinity Map
 ZONE ATLAS - HH-7

Site Information
 EXISTING SITE AREA: 3.00 ACRES; PROPOSED SITE AREA AFTER STREET DEDICATIONS: 2.17 ACRES.
 EXISTING SITE ZONING: SU-2 FOR M-1 & SU-2 FOR MRC
 EXISTING LOT AREA: 10,100 SQ. FT. (230' X 43.5')
 OVERALL GROSS DENSITY: 24.1 U.S.U. PER ACRE
 NET DENSITY: 30.41 D.U. PER ACRE
 FLOOR AREA RATIO - BUILDINGS: ROWHOUSES: 24.114 SQ.FT. FLATS: 39.888 SQ.FT.
 SITE: 94,644 SQ.FT.
 UNIT BREAKDOWNS - ROWHOUSES: 6 TOTAL (6) 1010 SQ.FT. - 3 BDRM., 2 BATH
 FLATS: 24 TOTAL (24) 917 SQ.FT. - 2 BDRM., 1 BATH
 PARKING CALCULATION (BX)29 * (48)15 = 108 SPACES
 PARKING PROVIDED: 109 SPACES (INCL. 50% ON PUBLIC STREETS)
 ON STREET PARKING: 79 SPACES
 OFF STREET PARKING: 30 SPACES
 OFF STREET STANDARD PARKING: 59 SPACES
 DISABLED PARKING PROVIDED: 4 SPACES
 MOTORCYCLES (FOR 51-100 CARS) 3 SPACES
 BIKES: MULTIFAMILY ONLY: 48/2 = 24
 BIKE SPACES PROVIDED: (6) GROUND FLOOR PATIOS & (6) LOCK ROOMS
 SIDE YARD: 3.5' MIN. / TO AT CORNER
 PROJECT NUMBER: 1007649
 Application Number:
 This plan is consistent with the specific Site Development Plan Approved by the Environmental Planning Commission (EPC), dated May 6, 2009 and the finding and conditions in the Official Notification of Decision are satisfied.
 IS AN INFRASTRUCTURE LIST REQUIRED? () Yes () No
 If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.
 DRB SITE DEVELOPMENT PLAN APPROVAL:
 Traffic Engineering, Transportation Division
 Date
 ABCWUA
 Date
 Parks and Recreation Department
 Date
 City Engineer
 Date
 * Environmental Health Department (conditional)
 Date
 3-240
 Date
 Soil Waste Management
 Date
 DRB Chairperson, Planning Department
 Date
integrated
 DRB Chairperson, Planning Department
 Date
SHEET 1 OF 11

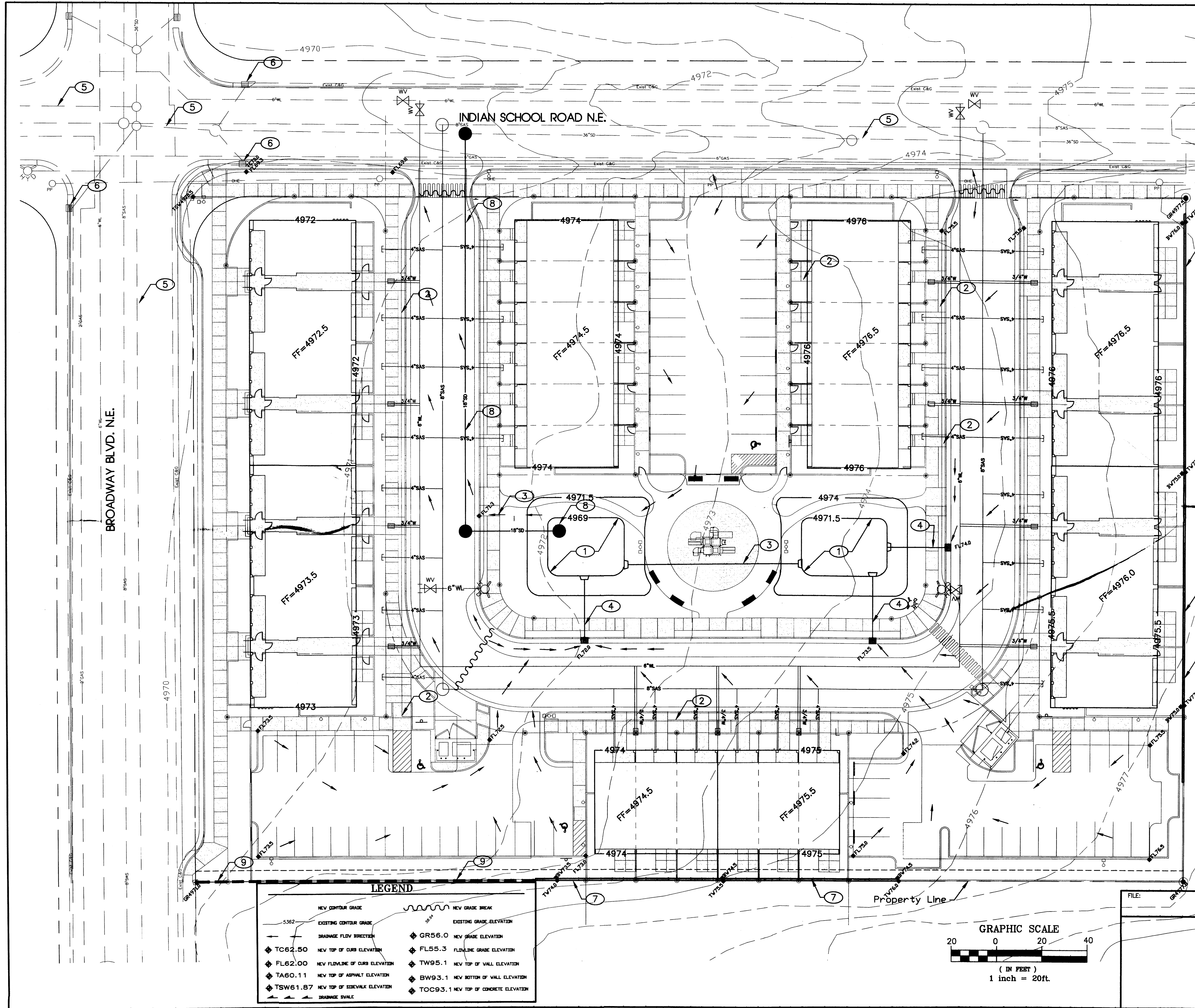


PHASING DIAGRAM
 SEE PHASING LEGEND

SITE PLAN

PHASING LEGEND

1. EXISTING CURB AND GUTTER LINE
 2. NEW CURB AND GUTTER LINE
 3. NEW CURB AND GUTTER LINE
 4. HIGH SIDE WALK WALLS
 5. HIGH SIDE WALK WALLS
 6. HIGH SIDE WALK WALLS
 7. REFERENCING ENCLOSURE
 8. NEW ACCESSIBLE PARKS
 9. STANDARD PER C.O.A. STANDARDS
 10. REFERENCING ENCLOSURE
 11. TYPE FRUITREES
 12. DEFINITION FORD OLIVERT
 13. EXISTING BUILDINGS TO BE REFINISHED
 14. 6" WIDE STEEL PICKET FENCE SECTION
 15. ACCESSIBLE PARKING SIGN
 16. BIKE LOCK LOOP TYP.
 17. MOTORCYCLE PARKING TYP.
 18. TEXTURED AND COLORED CONCRETE CROSSWALK



GRADING AND DRAINAGE CONDITIONS:

EXISTING SITE TOPOGRAPHY CONDITIONS
 THE SITE IS LOCATED AT THE SOUTHEAST CORNER OF THE INTERSECTION OF INDIAN SHOOL ROAD NE AND BROADWAY BLVD NE. THE PARCEL'S LEGAL DESCRIPTION IS LOTS 1, 2 & 3, BLOCK 9, FRANCISCAN ACRES. LOTS 1 & 2 ARE CURRENTLY DEVELOPED AND CONTAIN EXISTING RESIDENCES WITH LOT 3 BEING VACANT. LOTS 1, 2 AND 3 CONTAIN APPROXIMATELY 3.00ACRES.

THE SITE CURRENTLY DRAINS FROM AN EAST TO WEST DIRECTION AND INTO BROADWAY BLVD NE WITH A SLOPE OF APPROXIMATELY 1.6% SLOPE. THERE ARE EXISTING CONCRETE AND GRAVEL AREAS WITHIN LOTS 1 AND 2. IT APPEARS THAT SOME OFFSITE FLOWS FROM THE EXISTING INDUSTRIAL DEVELOPMENT TO THE EAST MAY DRAIN THROUGH THIS SITE. THERE IS EXISTING INDUSTRIAL DEVELOPMENT TO THE SOUTH BUT IT APPEARS FLOWS FROM THIS DEVELOPMENT DO NOT IMPACT THIS SITE.

THE SITE IS LOCATED ON FIRM MAP 35001 C0332 D AND IS NOT LOCATED WITHIN A 100-YEAR FLOODPLAIN; HOWEVER, 200 FEET TO THE WEST OF THIS SITE ON INDIAN SCHOOL ROAD EXIST A 100-YEAR FLOODPLAIN IN WHICH THIS SITE DRAINS TOO.

PROPOSED CONDITIONS
 AS SHOWN BY THE GRADING PLAN PREPARED FOR THIS SITE, THE INTENT IS TO CONSTRUCT A MULTI-USE RESIDENTIAL FACILITY WITH STREETS, PARKING AND SIDEWALK IMPROVEMENTS CONSTRUCTED TO CITY STANDARDS.

THE PROPOSED DRAINAGE MANAGEMENT PLAN FOR THIS SITE IS TO CONSTRUCT TWO PONDS IN THE OPEN SPACE AREA NEAR THE CENTER OF THIS DEVELOPMENT IN ORDER TO REDUCE THE 100-YEAR RELEASE RATE FROM THIS SITE TO THE DOWNSTREAM FLOODPLAIN. THE INTENT IS ALSO TO RETAIN THE 2-YEAR STORM WITHIN THESE PONDS IN ORDER TO SECURE LEED CERTIFICATION. THE GRADING PROPOSED WILL DIVERT AS MUCH FLOW FROM THE PROPOSED DEVELOPMENT INTO THESE PONDS AS POSSIBLE IN ORDER TO REDUCE THE RATE OF RUNOFF FROM THIS DEVELOPMENT. THE INTENT IS TO USE PERVIOUS PARKING LOTS AND TREE HARVESTING CONCEPTS TO HELP RETAIN FLOWS IN ORDER TO REDUCE ONSITE RUNOFF.

FOR THE RESIDENTIAL FACILITIES ALONG THE EAST AND SOUTH BOUNDARY IT WILL BE NECESSARY TO CONSTRUCT RETAINING WALLS THAT WILL VARY FROM 6" HEIGHT TO 24" HEIGHT IN ORDER TO ACCOMPLISH THE NECESSARY GRADING FOR PROPER BACKYARD SLOPES.

THE DRAINAGE ANALYSIS FOR THIS SITE WILL BE PREPARED USING HYDROLOGY SECTION 22.7 OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY 1993.

EROSION CONTROL
 THE CONTRACTOR WILL BE REQUIRED TO DEVELOP A STORM WATER POLLUTION PREVENTION PLAN AND COMPLETE AND SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO BEGINNING CONSTRUCTION GRADING ACTIVITIES.

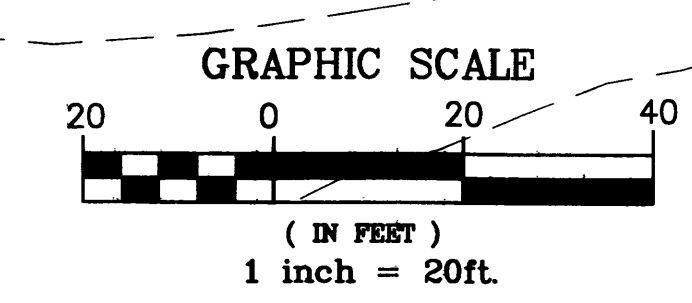
THE CONTRACTOR WILL ALSO BE REQUIRED TO PREPARE A SEDIMENT CONTROL PLAN REQUIRED FOR NEW MEXICO ENVIRONMENTAL DEPARTMENT PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES.

GRADING NOTES:

- ① INSTALL 2'-6" DETENTION POND WITH LOWER 18" TO SERVE AS RETENTION FOR 2-YEAR STORM AND FOR LEEDS CERTIFICATION.
- ② INSTALL WATERHARVESTING TREEWELLS.
- ③ INSTALL CULVERT FOR STORMS LARGER THAN 2-YEAR STORM.
- ④ INSTALL 18" STORM DRAIN WITH INLET TO CONVEY FLOWS FROM STREET INTO PONDING AREAS.
- ⑤ EXISTING 36" STORM DRAIN
- ⑥ EXISTING DROP INLETS.
- ⑦ INSTALL RETAINING WALL, VARIES FROM 6' TO 24' HEIGHT, SEE DIFFERENCE IN TOP OF WALL VERSUS BOTTOM OF WALL ELEVATIONS ON GRADING PLAN.
- ⑧ INSTALL 18"RCP STORM DRAIN WITH MANHOLES AND FLAP GATE IN ORDER TO REDUCE 100-YEAR RELEASE RATE FROM THIS SITE.
- ⑨ EXISTING 12'-18" HIGH RETAINING WALL.

LEGEND

— 5362 —	EXISTING CONTOUR GRADE	— 5362 —	EXISTING GRADE ELEVATION
— 5362 —	NEW CONTOUR GRADE	— 5362 —	NEW GRADE BREAK
— 5362 —	NEW GRADE ELEVATION	— 5362 —	NEW GRADE ELEVATION
— 5362 —	NEW TOP OF CURB ELEVATION	— 5362 —	NEW TOP OF WALL ELEVATION
— 5362 —	NEW FLOWLINE OF CURB ELEVATION	— 5362 —	NEW BOTTOM OF WALL ELEVATION
— 5362 —	NEW TOP OF ASPHALT ELEVATION	— 5362 —	NEW TOP OF CONCRETE ELEVATION
— 5362 —	NEW TOP OF SIDEWALK ELEVATION	— 5362 —	
— 5362 —	DRAINAGE SWALE	— 5362 —	
— 5362 —	TC62.50	— 5362 —	GR56.0
— 5362 —	FL62.00	— 5362 —	FL55.3
— 5362 —	T60.11	— 5362 —	TW95.1
— 5362 —	TSW61.87	— 5362 —	BW93.1
— 5362 —		— 5362 —	TOC93.1



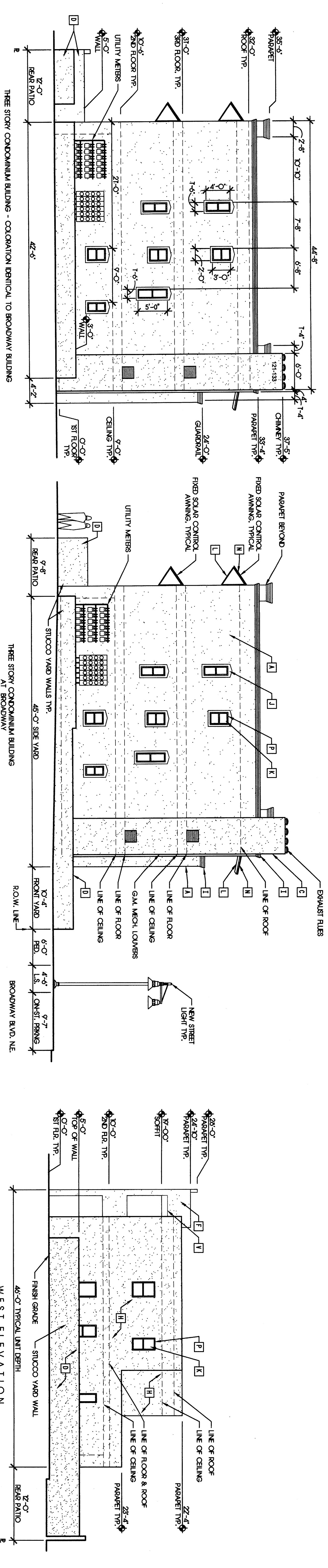
FILE: _____ DATE/REVISIONS: _____

PRELIMINARY GRADING PLAN
INDIAN SCHOOL AND BROADWAY

APPLIED ENGINEERING AND SURVEYING, INC.
 ENGINEERS AND PLANNERS

1600 Blue Drive NE Albuquerque, New Mexico 87112
 Phone: (505) 460-8125 Fax: (505) 460-8125
 e-mail: gads@apl.com

SHEET NUMBER: _____ SHEET 3 of 11



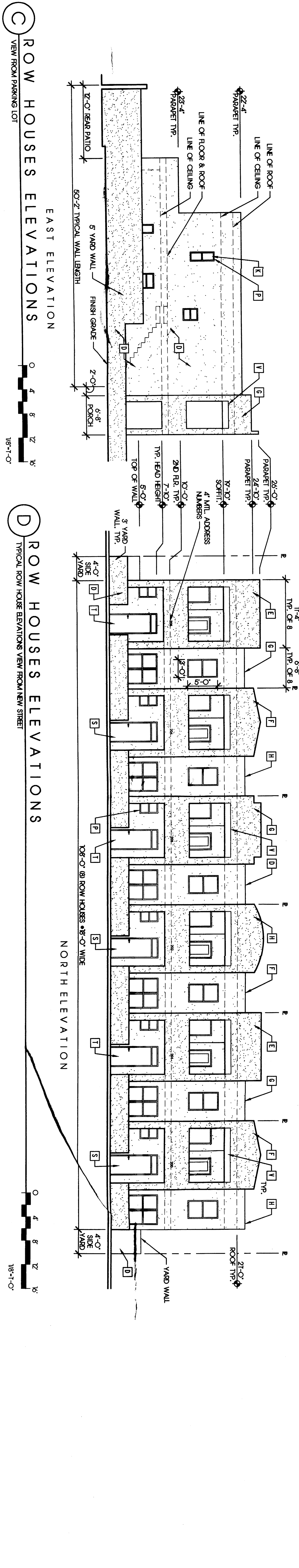
A NORTH ELEVATION - CONDOMINIUM BUILDING
VIEW FROM INDIAN SCHOOL ROAD NE

B ROW HOUSES ELEVATION
VIEW FROM PARKING LOT

C ROW HOUSES ELEVATIONS
VIEW FROM PARKING LOT

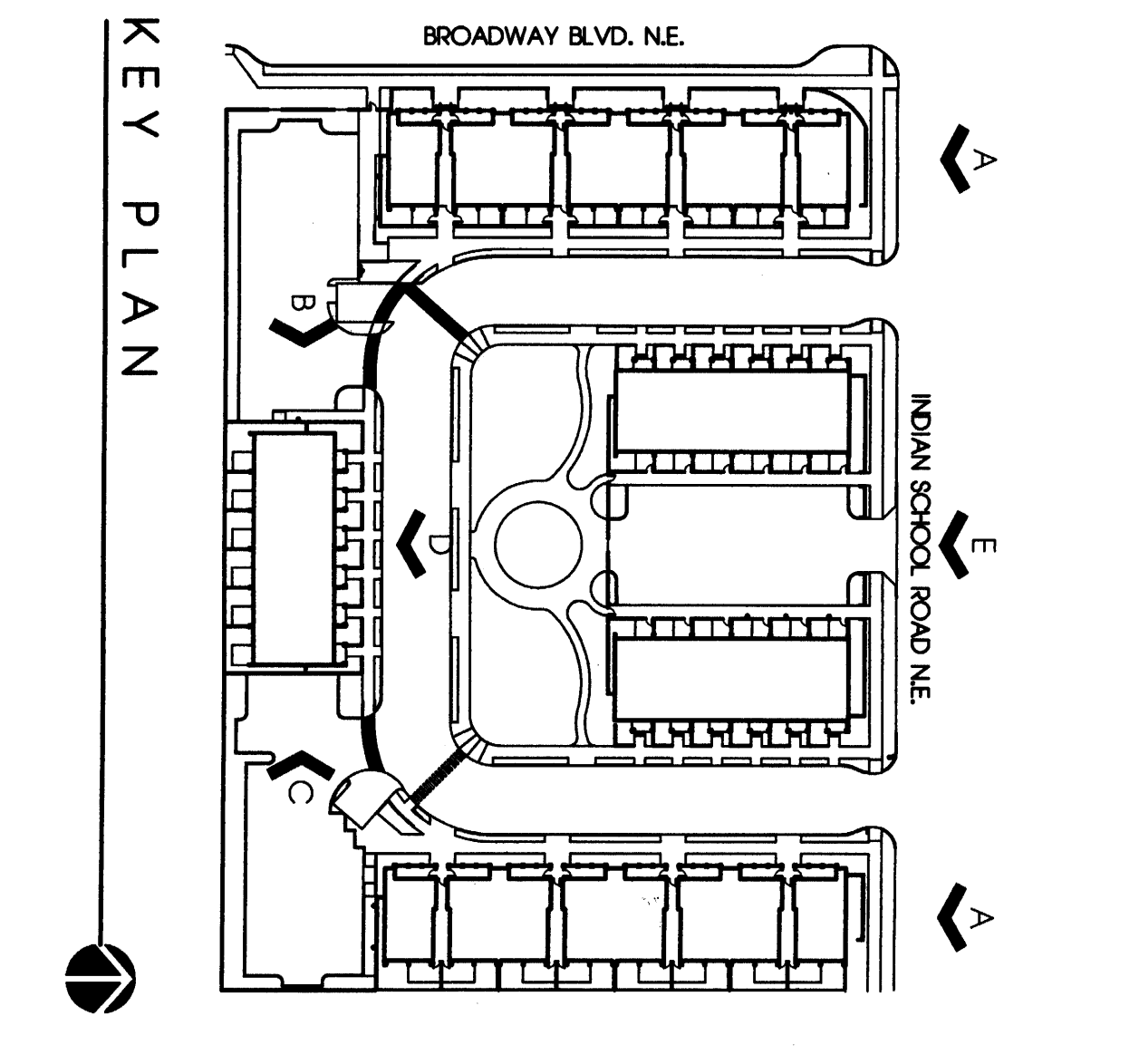
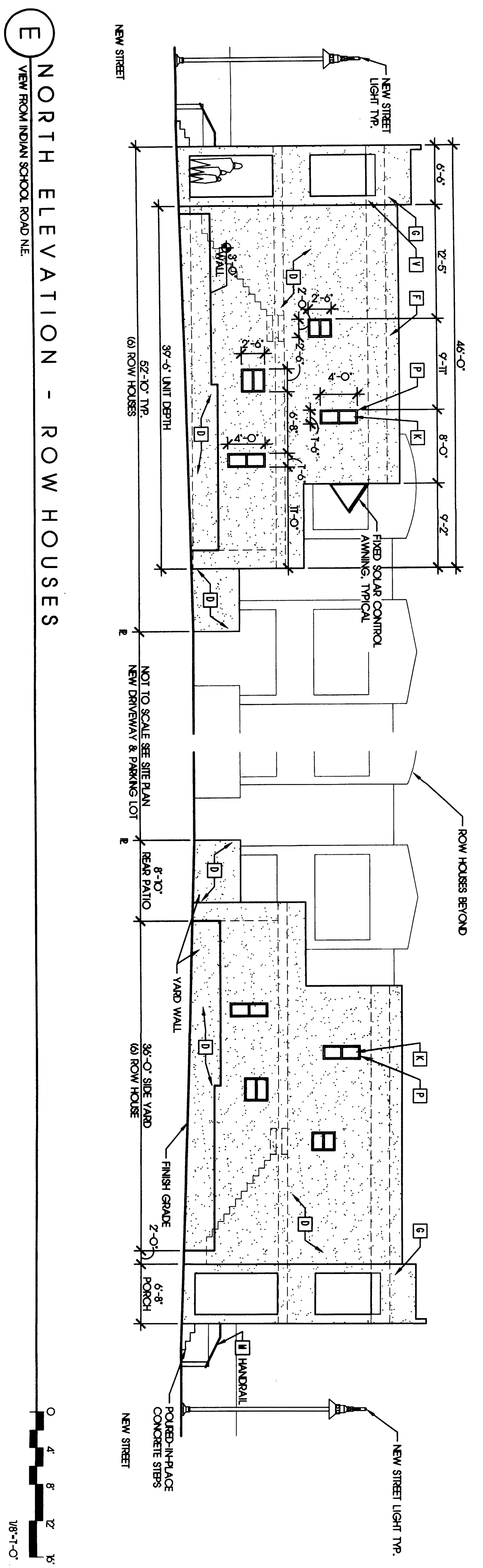
D ROW HOUSES ELEVATIONS
TYPICAL ROW HOUSE ELEVATIONS VIEW FROM NEW STREET

E NORTH ELEVATION - ROW HOUSES
VIEW FROM INDIAN SCHOOL ROAD NE



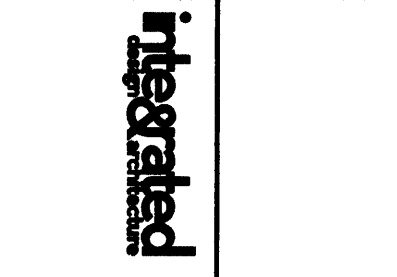
MATERIALS KEY

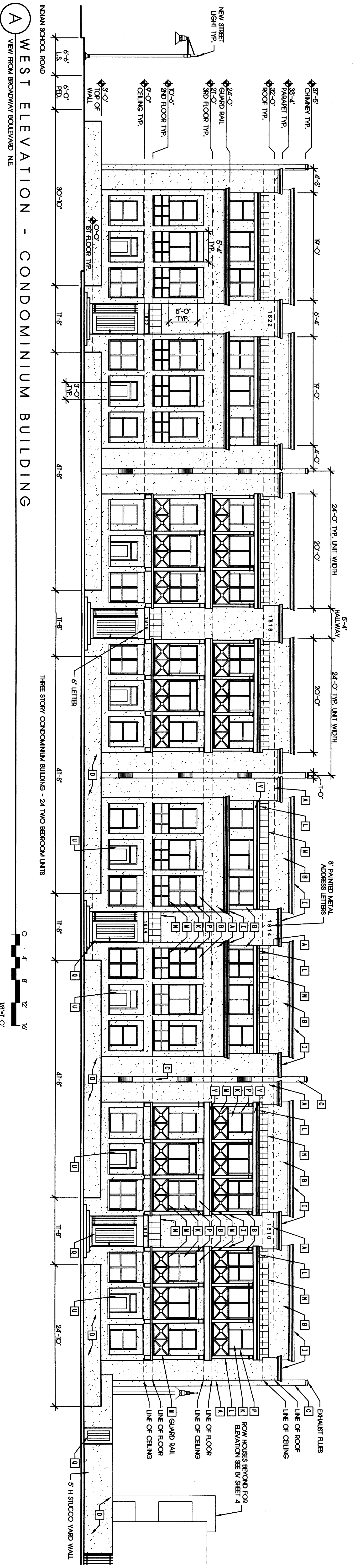
- A STUCCO COLOR - ORANGE - STO COLOR 3142.
- B STUCCO COLOR - YELLOW - STO COLOR 3891.
- C STUCCO COLOR - BURNT ORANGE - STO COLOR 3270.
- D STUCCO COLOR - LIGHT BROWN - STO COLOR 3143
- E STUCCO COLOR - ROSE - STO COLOR 3243.
- F STUCCO COLOR - LIGHT BLUE - STO COLOR 38222.
- G STUCCO COLOR - GREEN - STO COLOR 3422.
- H STUCCO COLOR - LIGHT GREEN - STO COLOR 3626.
- I STUCCO COLOR - DARK RED (TRM) - STO COLOR 3314
- J STUCCO COLOR - WHITE (TRM) - STO COLOR 3140.
- K TYPICAL GLASS - LOW 'E' AND GRAY TINTED (SHGC 0.60) CLEAR GLASS TYPICAL EAST AND NORTH PORCHES & UNDER PORCH ROOFS LOW 'E' (SHGC 0.60) CLEAR GLASS.
- L PAINTED STEEL OR WOOD - WHITE - KVAL PAINT COLOR DEEP FEATHER.
- M METAL GUARDS & HANDRAILS - SILVER PERFORATED METAL GUARDS
- N WHITE TUBE STEEL GUARDRAILS.
- O 5V METAL ROOFING - MANUFACTURERS STANDARD RED OR GALVANIZED FINISH TYPICAL.
- P ALUMINUM CLAD WINDOWS - WHITE TYPICAL.
- Q PAINTED STEEL FENCING - SILVER.
- R PAINTED STEEL GATE - SILVER.
- S DOOR COLOR A - DARK BLUE - KVAL PAINT COLOR TADPOLE
- T DOOR COLOR B - DARK RED - KVAL PAINT COLOR BULLET MARK
- U DOOR COLOR C - BLUE - KVAL PAINT COLOR BLUE MINE
- V FIBER GYPSUM PANEL - PAINTED WHITE - KVAL PAINT COLOR DEEP FEATHER TYPICAL AT ALL FASCIAS



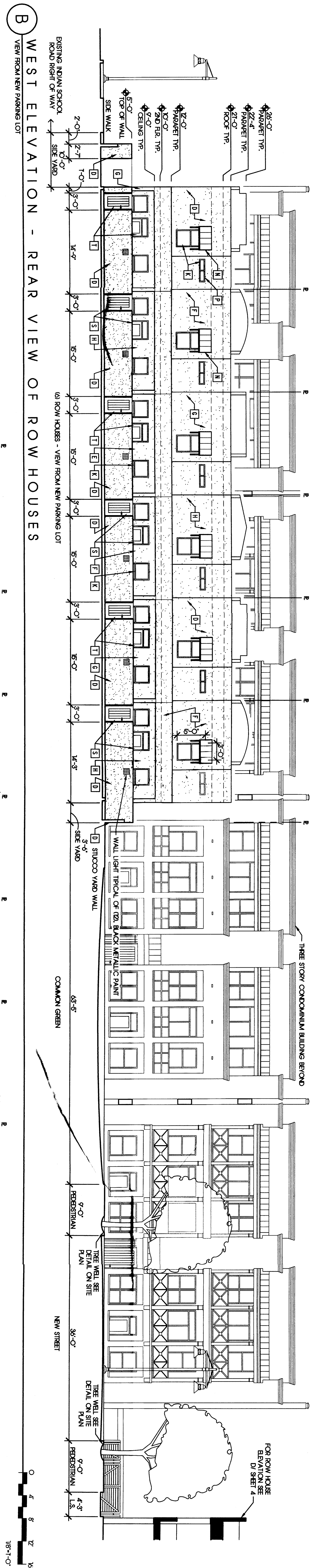
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
INDIAN SCHOOL AND BROADWAY

June, 12, 2009

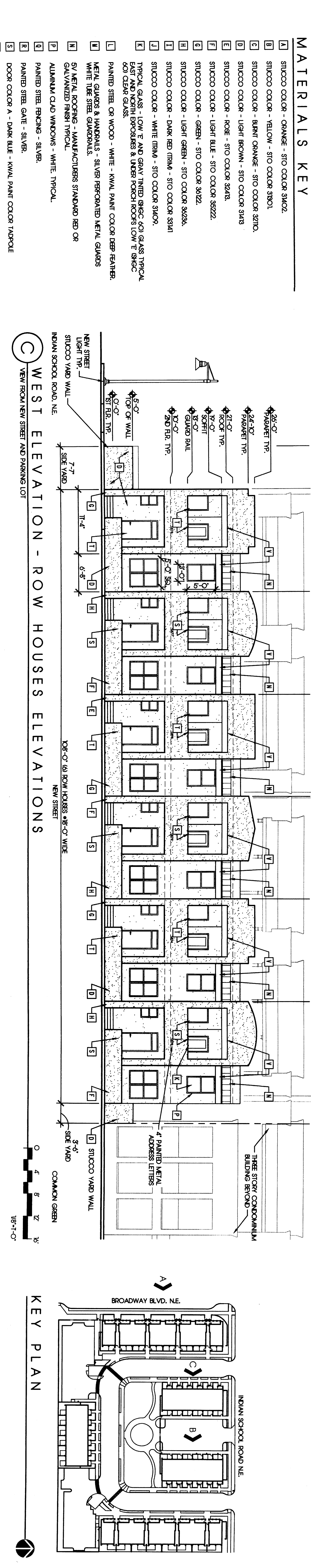




A WEST ELEVATION - CONDOMINIUM BUILDING
VIEW FROM BROADWAY BOULEVARD, NE

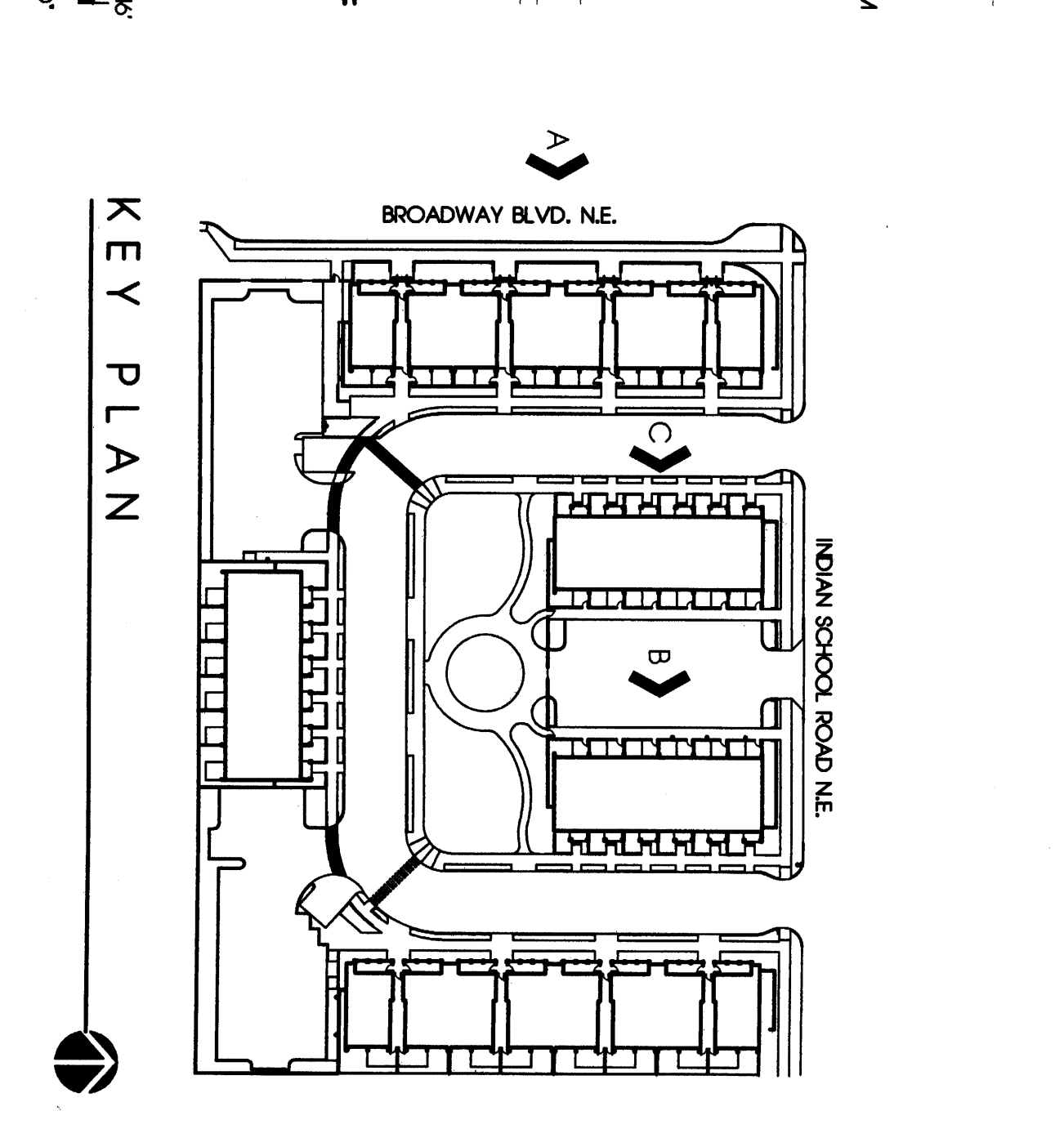
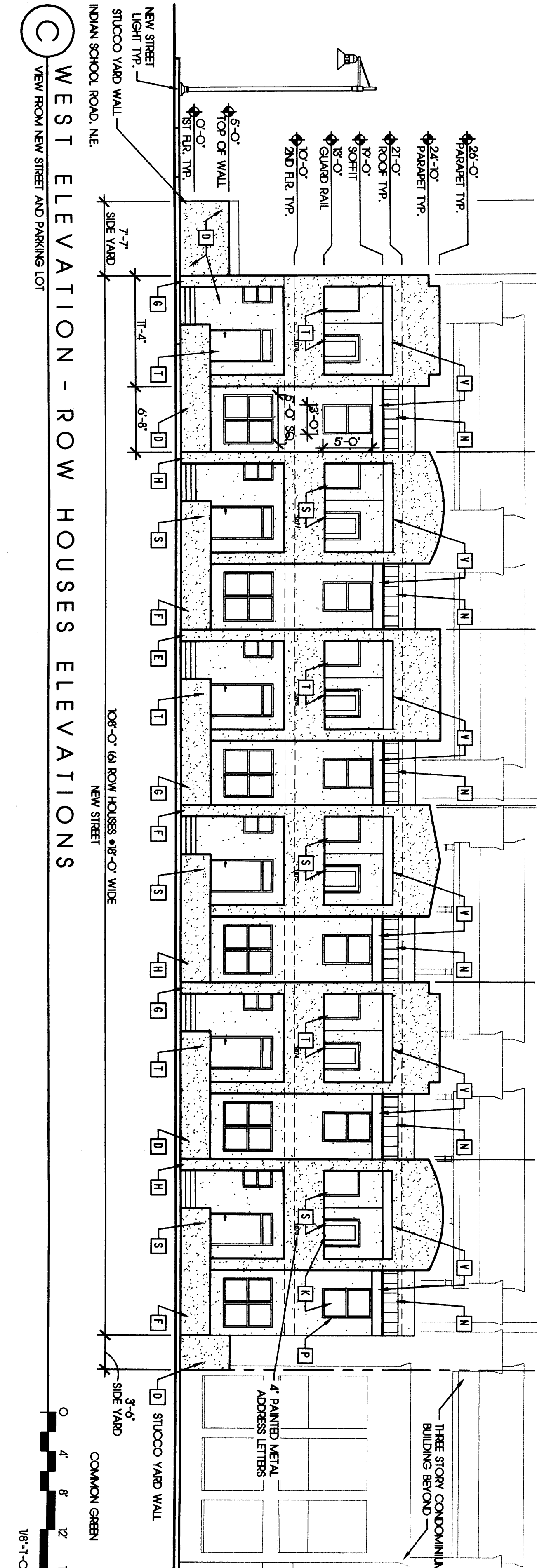


B WEST ELEVATION - REAR VIEW OF ROW HOUSES
VIEW FROM NEW PARKING LOT

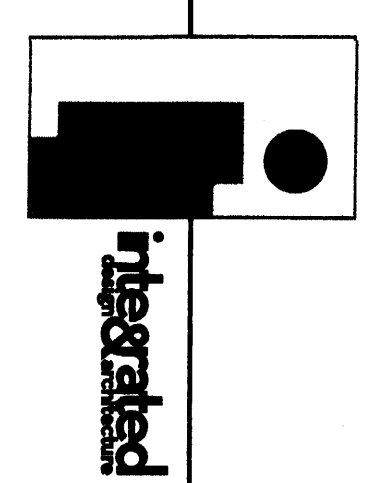


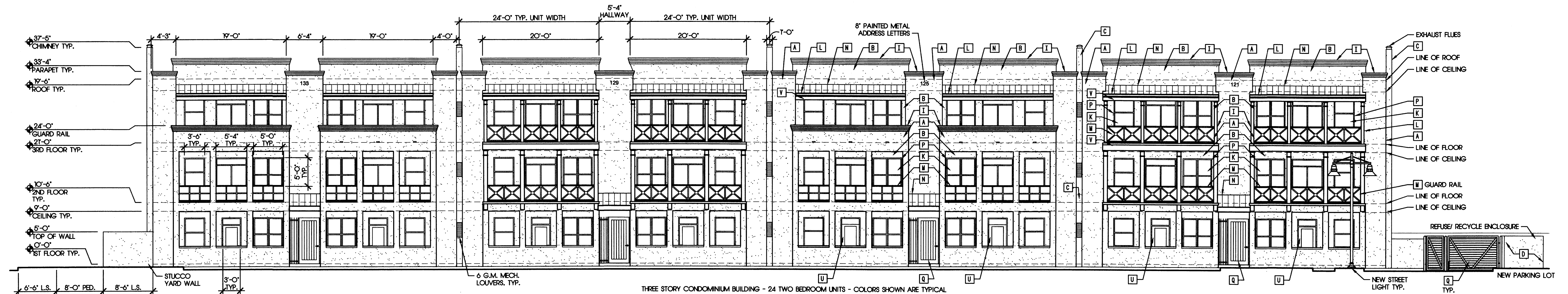
C WEST ELEVATION - ROW HOUSES ELEVATIONS
VIEW FROM NEW STREET AND PARKING LOT

- MATERIALS KEY**
- A STUCCO COLOR - ORANGE - STO COLOR 3140Z.
 - B STUCCO COLOR - YELLOW - STO COLOR 3180I.
 - C STUCCO COLOR - BURNT ORANGE - STO COLOR 3210O.
 - D STUCCO COLOR - LIGHT BROWN - STO COLOR 3141S.
 - E STUCCO COLOR - ROSE - STO COLOR 3241R.
 - F STUCCO COLOR - LIGHT BLUE - STO COLOR 3252Z.
 - G STUCCO COLOR - GREEN - STO COLOR 3612Z.
 - H STUCCO COLOR - LIGHT GREEN - STO COLOR 3623X.
 - I STUCCO COLOR - DARK RED TRINA - STO COLOR 3514I.
 - J STUCCO COLOR - WHITE TRINA - STO COLOR 3140O.
 - K TYPICAL GLASS - LOW E AND GRAY TINTED (RSCC 40) GLASS TYPICAL EXISTING WINDOWS & UPON PORCH ROOFS LOW E (RSCC 40) CLEAR GLASS.
 - L PAINTED STEEL OR WOOD - WHITE - KWAL PAINT COLOR DEEP FEATHER.
 - M METAL GUARDS & HANDRAILS - SILVER PERFORATED METAL GUARDS.
 - N WHITE TUBE STEEL GUARDRAILS.
 - O 5V METAL ROOFING - MANUFACTURERS STANDARD RED OR GALVANIZED FINISH TYPICAL.
 - P ALUMINUM GLAD WINDOWS - WHITE TYPICAL.
 - Q PAINTED STEEL FINCHING - SILVER.
 - R PAINTED STEEL GATE - SILVER.
 - S DOOR COLOR A - DARK BLUE - KWAL PAINT COLOR TADPOLE.
 - T DOOR COLOR B - DARK RED - KWAL PAINT COLOR BULLET MARK.
 - U DOOR COLOR C - BLUE - KWAL PAINT COLOR BLUE MINE.
 - V FIBER GYPSUM PANEL - PAINTED WHITE - KWAL PAINT COLOR DEEP FEATHER TYPICAL AT ALL FASCIAS.

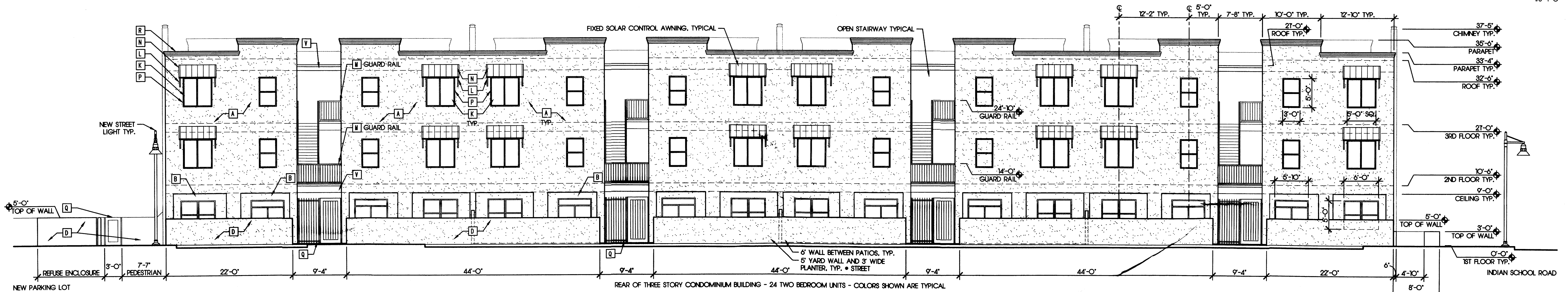


SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
INDIAN SCHOOL AND BROADWAY



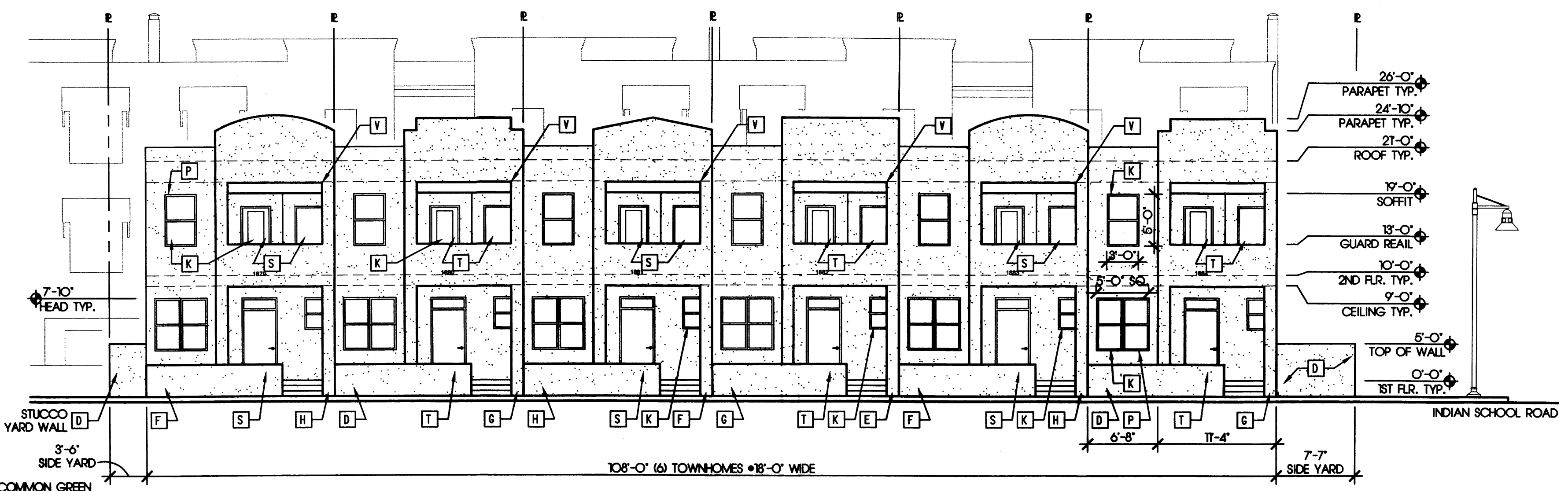


A WEST ELEVATION - CONDOMINIUM BUILDING (PHASE 1 & 2)
VIEW FROM NEW STREET

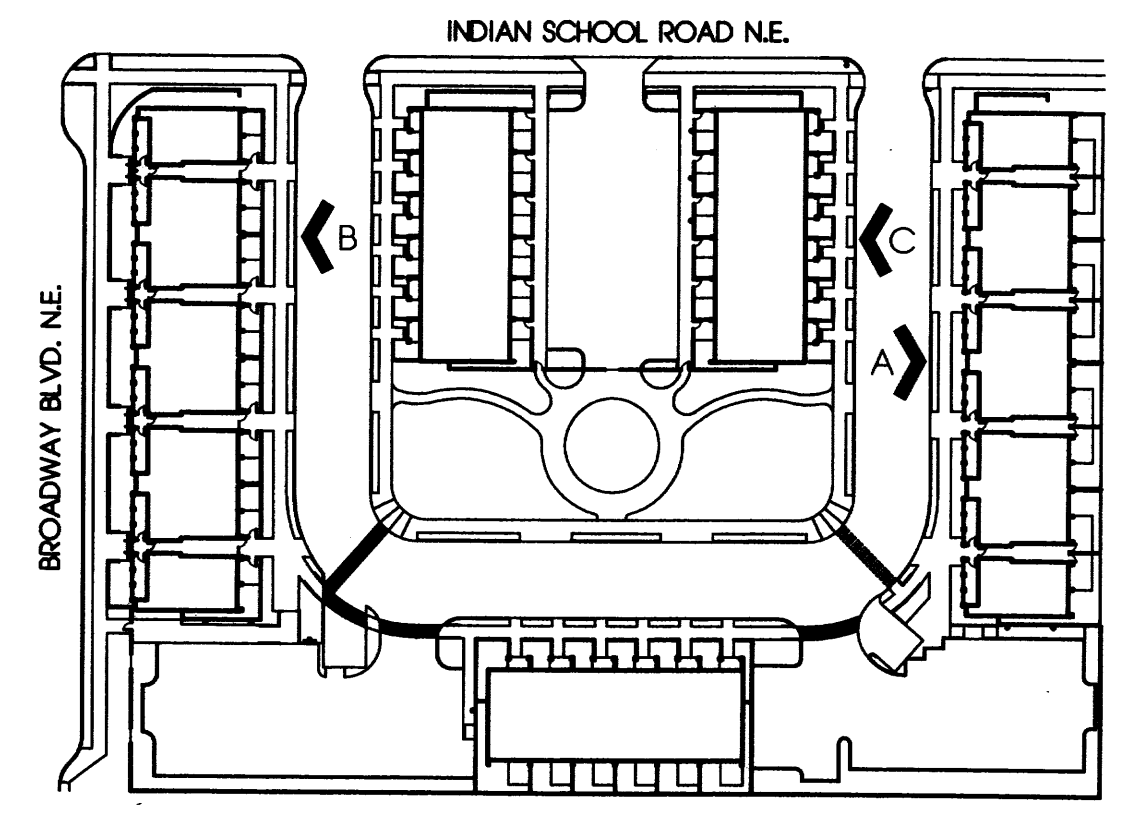


B EAST ELEVATION - CONDOMINIUM BUILDING
VIEW FROM NEW STREET

- MATERIALS KEY**
- A STUCCO COLOR - ORANGE - STO COLOR 31402.
 - B STUCCO COLOR - YELLOW - STO COLOR 31901.
 - C STUCCO COLOR - BURNT ORANGE - STO COLOR 32110.
 - D STUCCO COLOR - LIGHT BROWN - STO COLOR 31413.
 - E STUCCO COLOR - ROSE - STO COLOR 32413.
 - F STUCCO COLOR - LIGHT BLUE - STO COLOR 35222.
 - G STUCCO COLOR - GREEN - STO COLOR 36122.
 - H STUCCO COLOR - LIGHT GREEN - STO COLOR 36236.
 - I STUCCO COLOR - DARK RED (TRIM) - STO COLOR 33141.
 - J STUCCO COLOR - WHITE (TRIM) - STO COLOR 31409.
 - K TYPICAL GLASS - LOW 'E' AND GRAY TINTED (SHGC 60) GLASS TYPICAL EAST AND NORTH EXPOSURES & UNDER PORCH ROOFS LOW 'E' (SHGC 60) CLEAR GLASS.
 - L PAINTED STEEL OR WOOD - WHITE - KVAL PAINT COLOR DEEP FEATHER.
 - M METAL GUARDS & HANDRAILS - SILVER PERFORATED METAL GUARDS WHITE TUBE STEEL GUARDRAILS.
 - N SV METAL ROOFING - MANUFACTURERS STANDARD RED OR GALVANIZED FINISH TYPICAL.
 - P ALUMINUM CLAD WINDOWS - WHITE, TYPICAL.
 - Q PAINTED STEEL FENCING - SILVER.
 - R PAINTED STEEL GATE - SILVER.
 - S DOOR COLOR A - DARK BLUE - KVAL PAINT COLOR TADPOLE
 - T DOOR COLOR B - DARK RED - KVAL PAINT COLOR BULLET MARK
 - U DOOR COLOR C - BLUE - KVAL PAINT COLOR BLUE MINE
 - V FIBER CEMENT PANEL - PAINTED WHITE - KVAL PAINT COLOR DEEP FEATHER, TYPICAL AT ALL FASCIAS



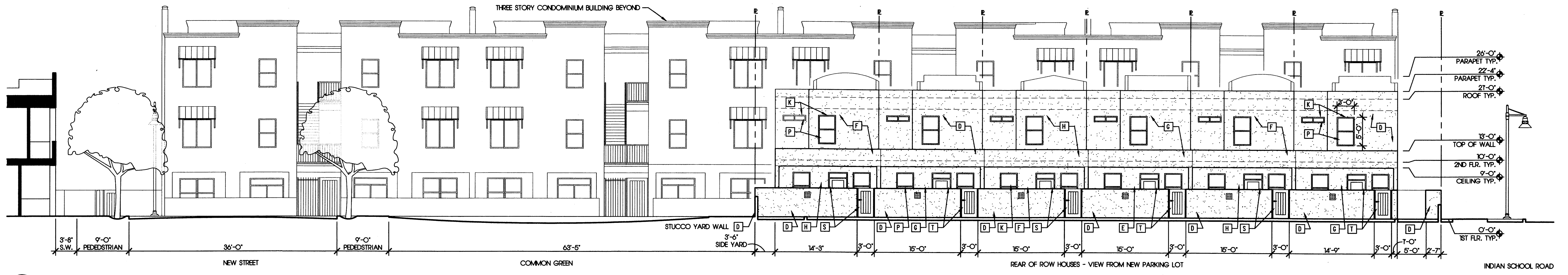
C EAST ELEVATION - ROW HOUSES
VIEW FROM NEW STREET



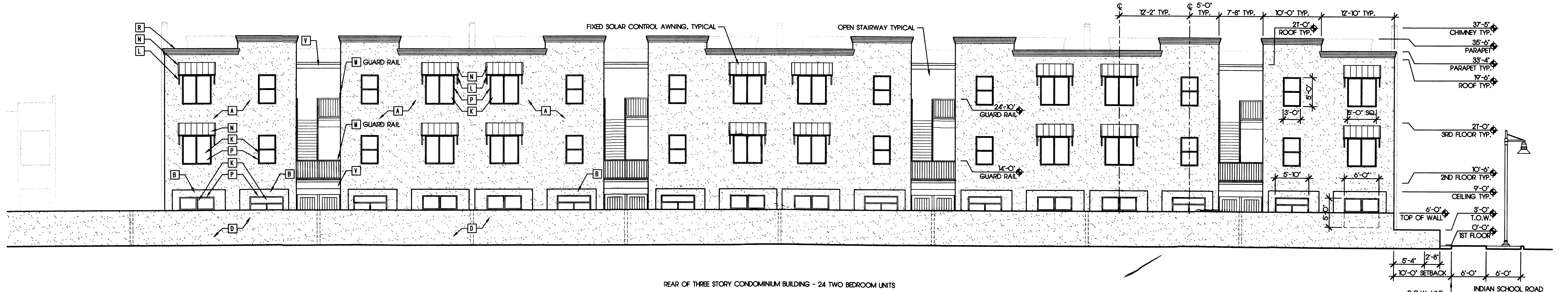
KEY PLAN

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
INDIAN SCHOOL AND BROADWAY**





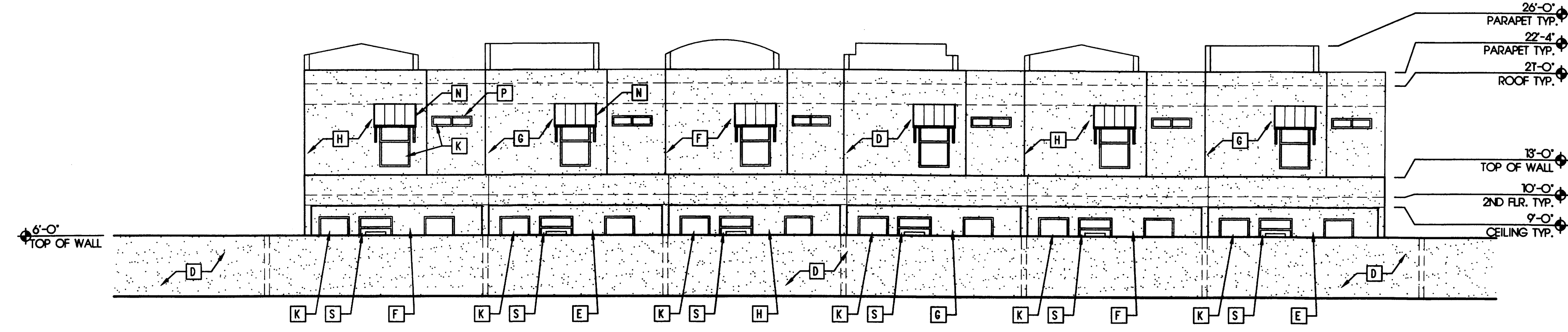
A EAST ELEVATION ROW HOUSES AND SECTION



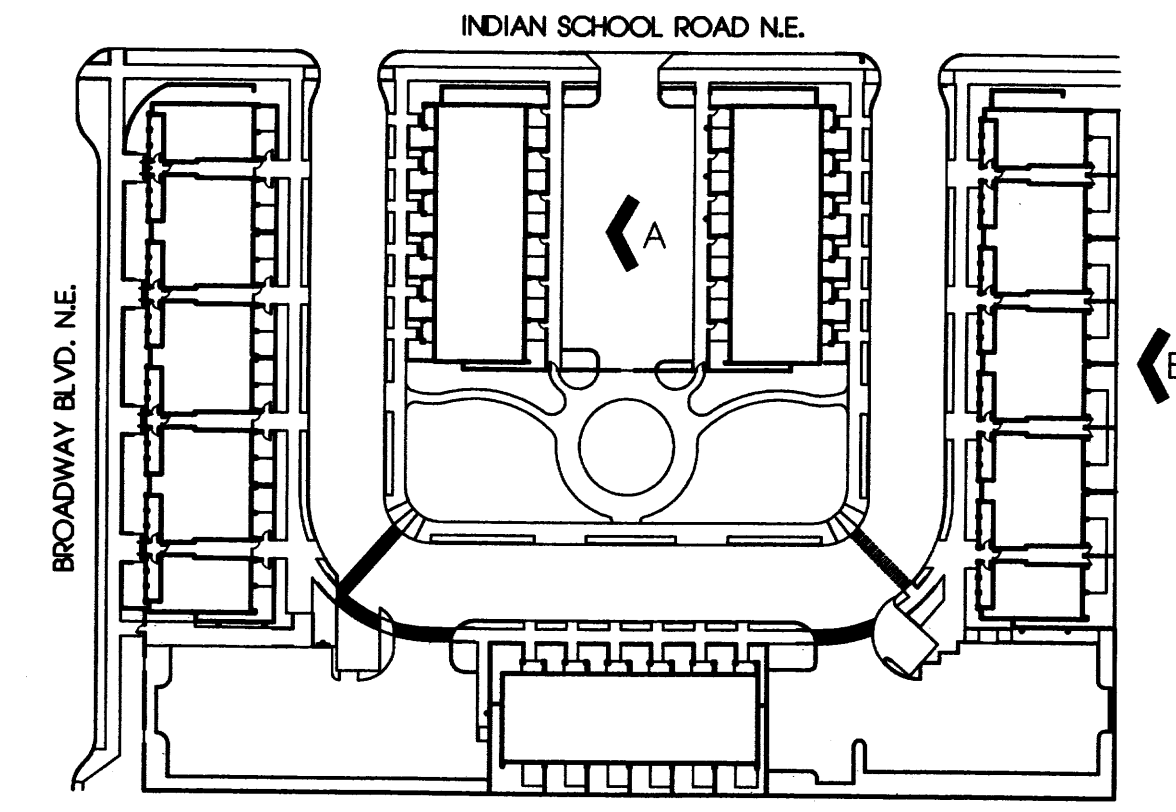
B EAST ELEVATION - CONDOMINIUM BUILDING
VIEW FROM ADJACENT PROPERTY

MATERIALS KEY

- A** STUCCO COLOR - ORANGE - STO COLOR 31402.
- B** STUCCO COLOR - YELLOW - STO COLOR 31301.
- C** STUCCO COLOR - BURNT ORANGE - STO COLOR 32210.
- D** STUCCO COLOR - LIGHT BROWN - STO COLOR 31413
- E** STUCCO COLOR - ROSE - STO COLOR 32413.
- F** STUCCO COLOR - LIGHT BLUE - STO COLOR 35222.
- G** STUCCO COLOR - GREEN - STO COLOR 36222.
- H** STUCCO COLOR - LIGHT GREEN - STO COLOR 36236.
- I** STUCCO COLOR - DARK RED (TRIM) - STO COLOR 33141
- J** STUCCO COLOR - WHITE (TRIM) - STO COLOR 31409.
- K** TYPICAL GLASS - LOW 'E' AND GRAY TINTED (SHGC 60) GLASS TYPICAL EAST AND NORTH EXPOSURES & UNDER PORCH ROOFS LOW 'E' (SHGC 60) CLEAR GLASS.
- L** PAINTED STEEL OR WOOD - WHITE - KWAL PAINT COLOR DEEP FEATHER.
- M** METAL GUARDS & HANDRAILS - SILVER PERFORATED METAL GUARDS WHITE TUBE STEEL GUARDRAILS.
- N** 5V METAL ROOFING - MANUFACTURERS STANDARD RED OR GALVANIZED FINISH TYPICAL.
- P** ALUMINUM CLAD WINDOWS - WHITE, TYPICAL.
- Q** PAINTED STEEL FENCING - SILVER.
- R** PAINTED STEEL GATE - SILVER.
- S** DOOR COLOR A - DARK BLUE - KWAL PAINT COLOR TADPOLE
- T** DOOR COLOR B - DARK RED - KWAL PAINT COLOR BULLET MARK
- U** DOOR COLOR C - BLUE - KWAL PAINT COLOR BLUE MINE
- V** FIBER CEMENT PANEL - PAINTED WHITE - KWAL PAINT COLOR DEEP FEATHER, TYPICAL AT ALL FASCIAS



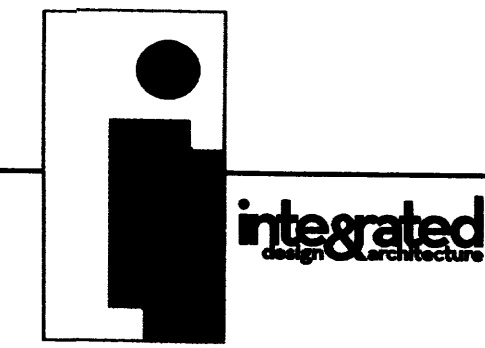
C SOUTH ELEVATION ROW HOUSES
VIEW FROM ADJACENT PROPERTY

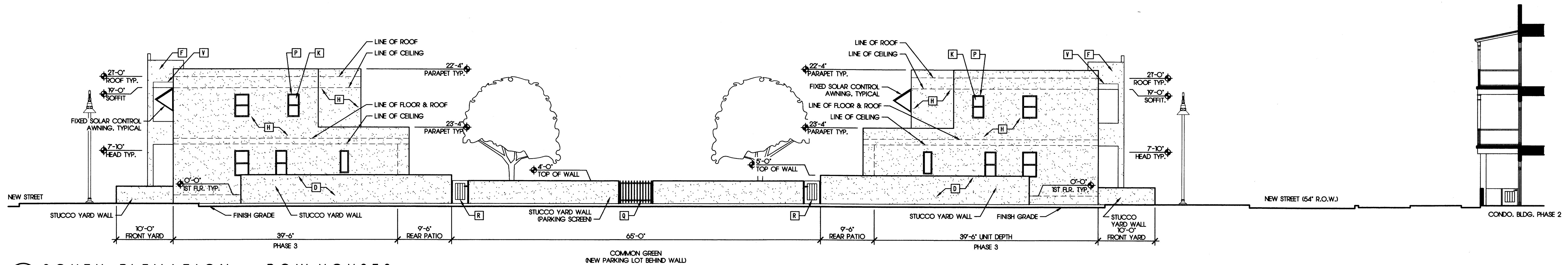


KEY PLAN

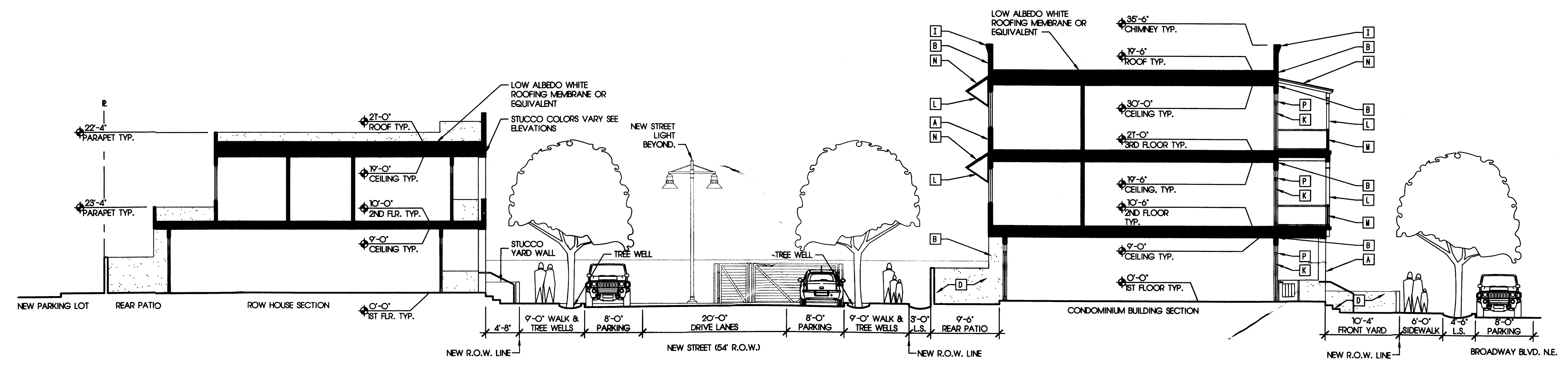
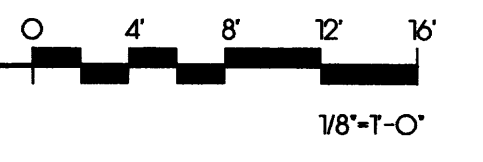
**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
INDIAN SCHOOL AND BROADWAY**

June, 12, 2009

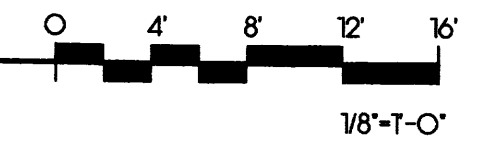




A SOUTH ELEVATION - ROW HOUSES
VIEW FROM COMMON GREEN

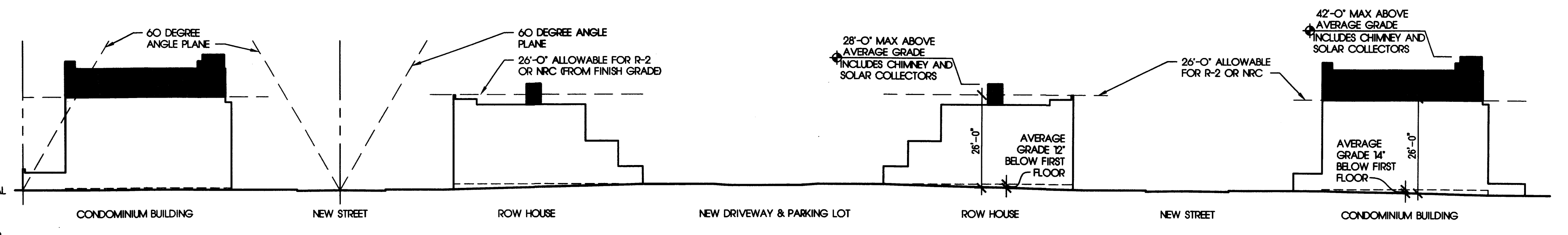


B TYPICAL NEW STREET SECTION
VIEW FROM INDIAN SCHOOL

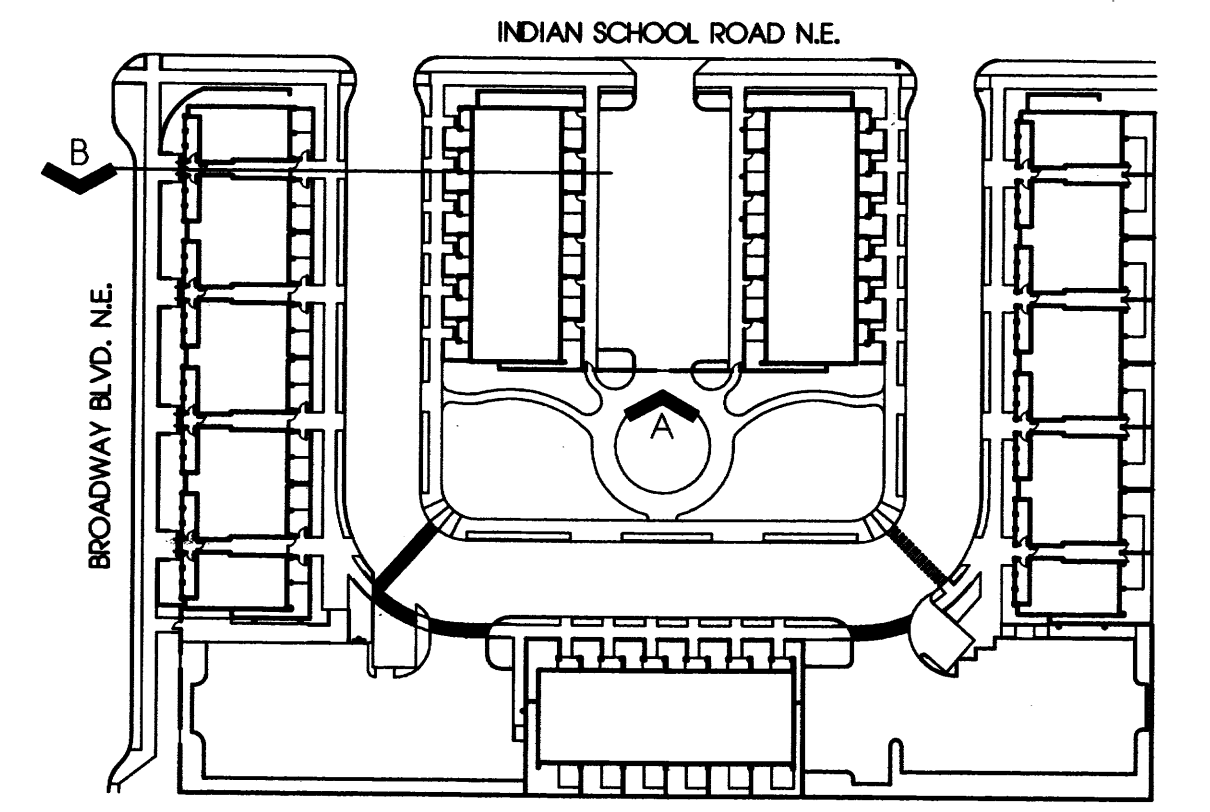
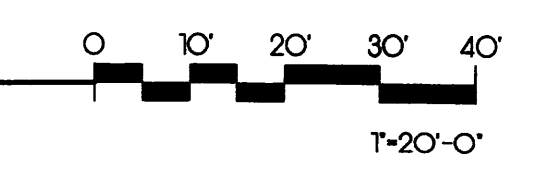


MATERIALS KEY

- A** STUCCO COLOR - ORANGE - STO COLOR 31402.
- B** STUCCO COLOR - YELLOW - STO COLOR 31301.
- C** STUCCO COLOR - BURNT ORANGE - STO COLOR 32110.
- D** STUCCO COLOR - LIGHT BROWN - STO COLOR 31413
- E** STUCCO COLOR - ROSE - STO COLOR 32413.
- F** STUCCO COLOR - LIGHT BLUE - STO COLOR 35222.
- G** STUCCO COLOR - GREEN - STO COLOR 36122.
- H** STUCCO COLOR - LIGHT GREEN - STO COLOR 36236.
- I** STUCCO COLOR - DARK RED (TRIM) - STO COLOR 33141
- J** STUCCO COLOR - WHITE (TRIM) - STO COLOR 31409.
- K** TYPICAL GLASS - LOW 'E' AND GRAY TINTED (SHGC 60) GLASS TYPICAL EAST AND NORTH EXPOSURES & UNDER PORCH ROOFS LOW 'E' (SHGC 60) CLEAR GLASS.
- L** PAINTED STEEL OR WOOD - WHITE - KWAL PAINT COLOR DEEP FEATHER.
- M** METAL GUARDS & HANDRAILS - SILVER PERFORATED METAL GUARDS WHITE TUBE STEEL GUARDRAILS.
- N** 5V METAL ROOFING - MANUFACTURERS STANDARD RED OR GALVANIZED FINISH TYPICAL.
- P** ALUMINUM CLAD WINDOWS - WHITE. TYPICAL.
- Q** PAINTED STEEL FENCING - SILVER.
- R** PAINTED STEEL GATE - SILVER.
- S** DOOR COLOR A - DARK BLUE - KWAL PAINT COLOR TADPOLE
- T** DOOR COLOR B - DARK RED - KWAL PAINT COLOR BULLET MARK
- U** DOOR COLOR C - BLUE - KWAL PAINT COLOR BLUE MINE
- V** FIBER CEMENT PANEL - PAINTED WHITE - KWAL PAINT COLOR DEEP FEATHER. TYPICAL AT ALL FASCIAS



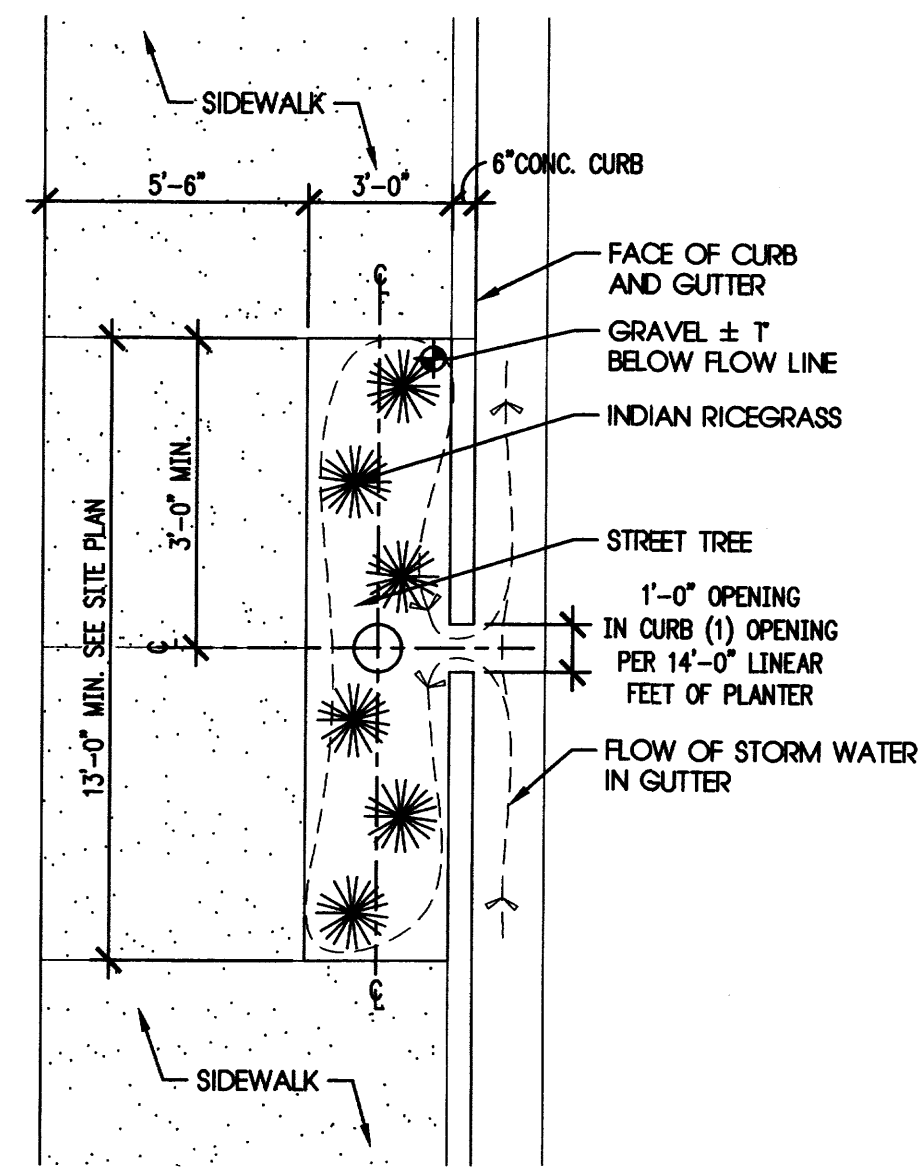
C BUILDING HEIGHT DIAGRAM
VIEW FROM INDIAN SCHOOL



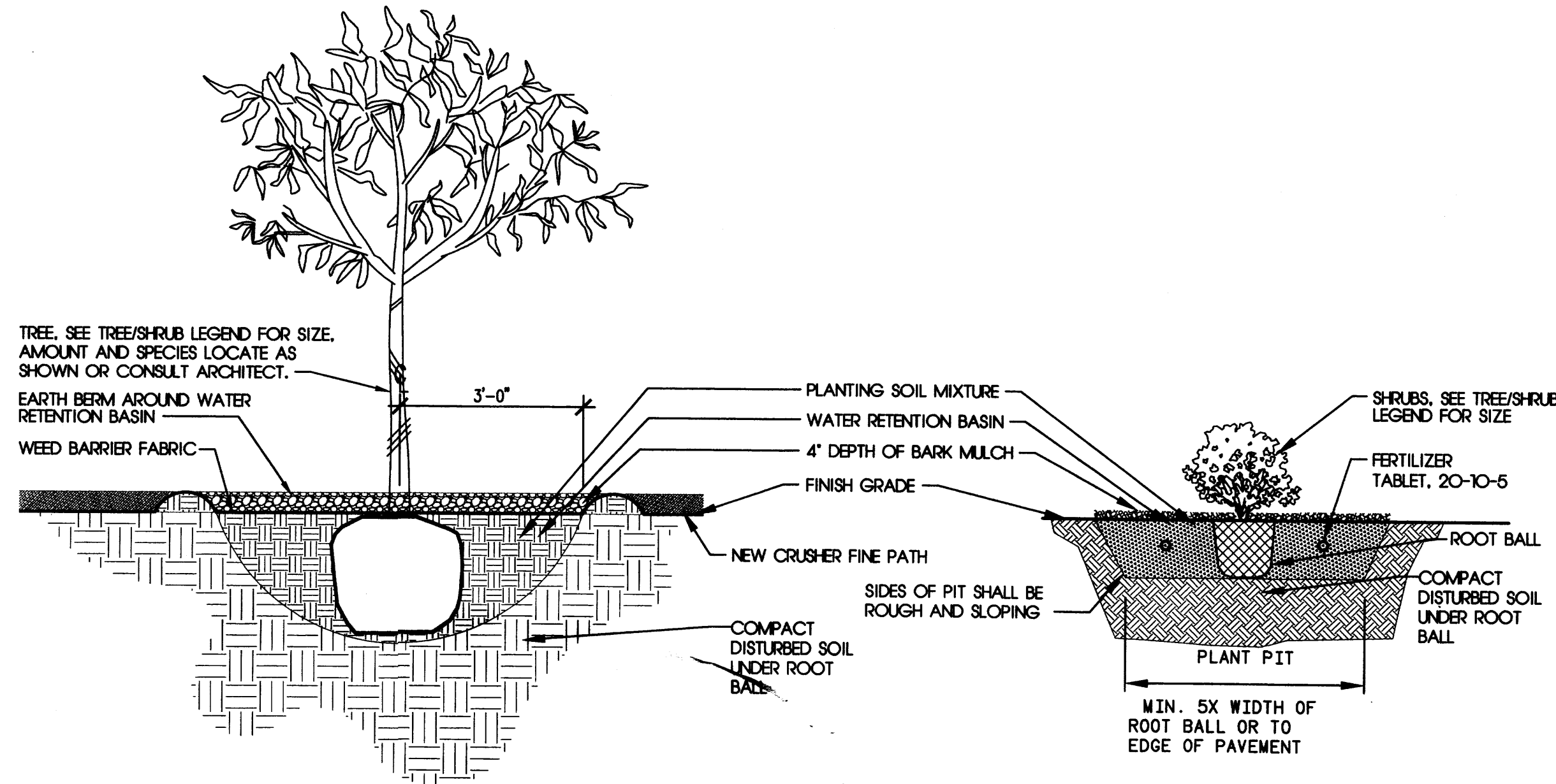
KEY PLAN

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
INDIAN SCHOOL AND BROADWAY**



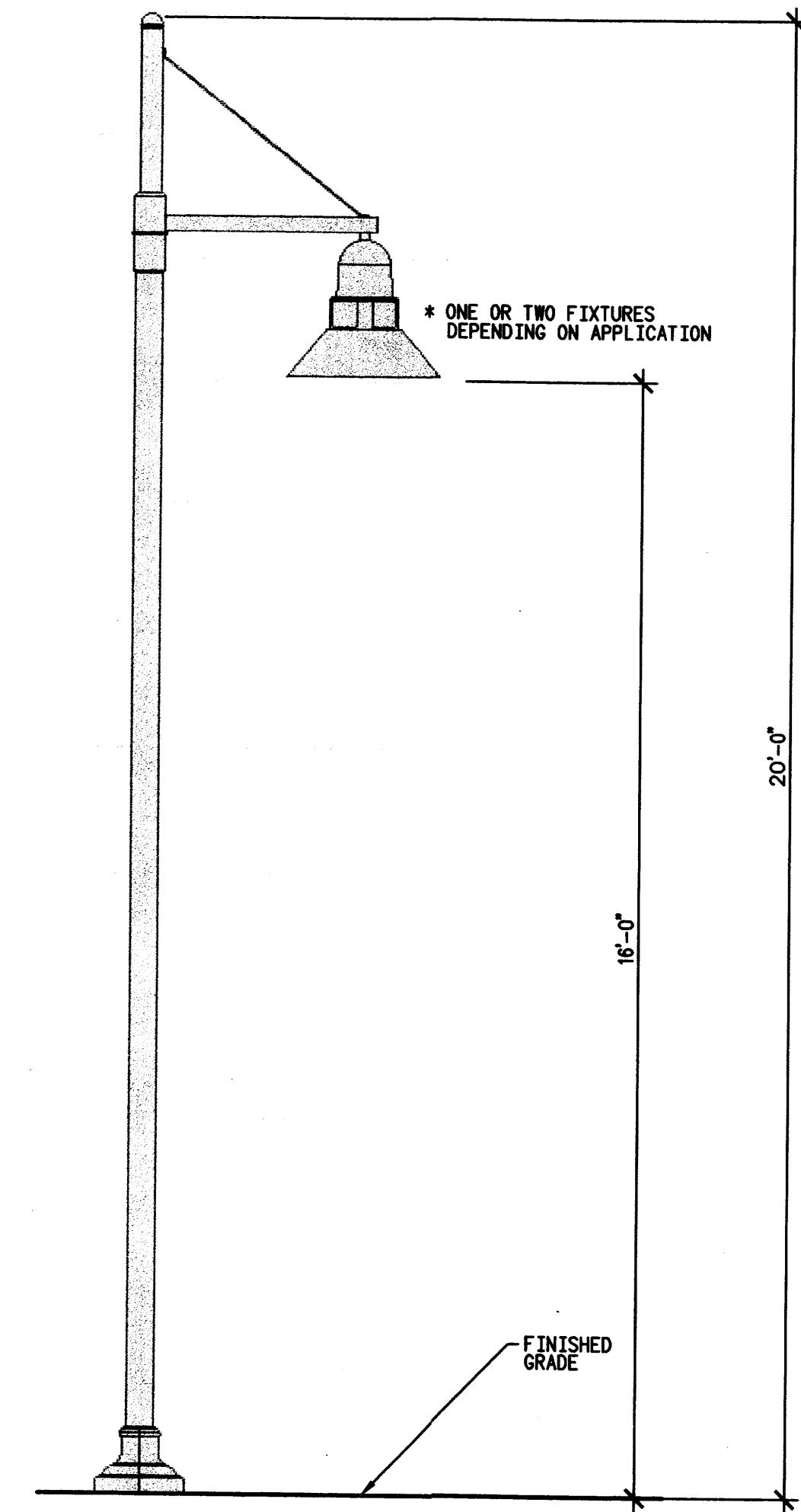


A WATER HARVESTING PLANTER 1/4"=1'-0"

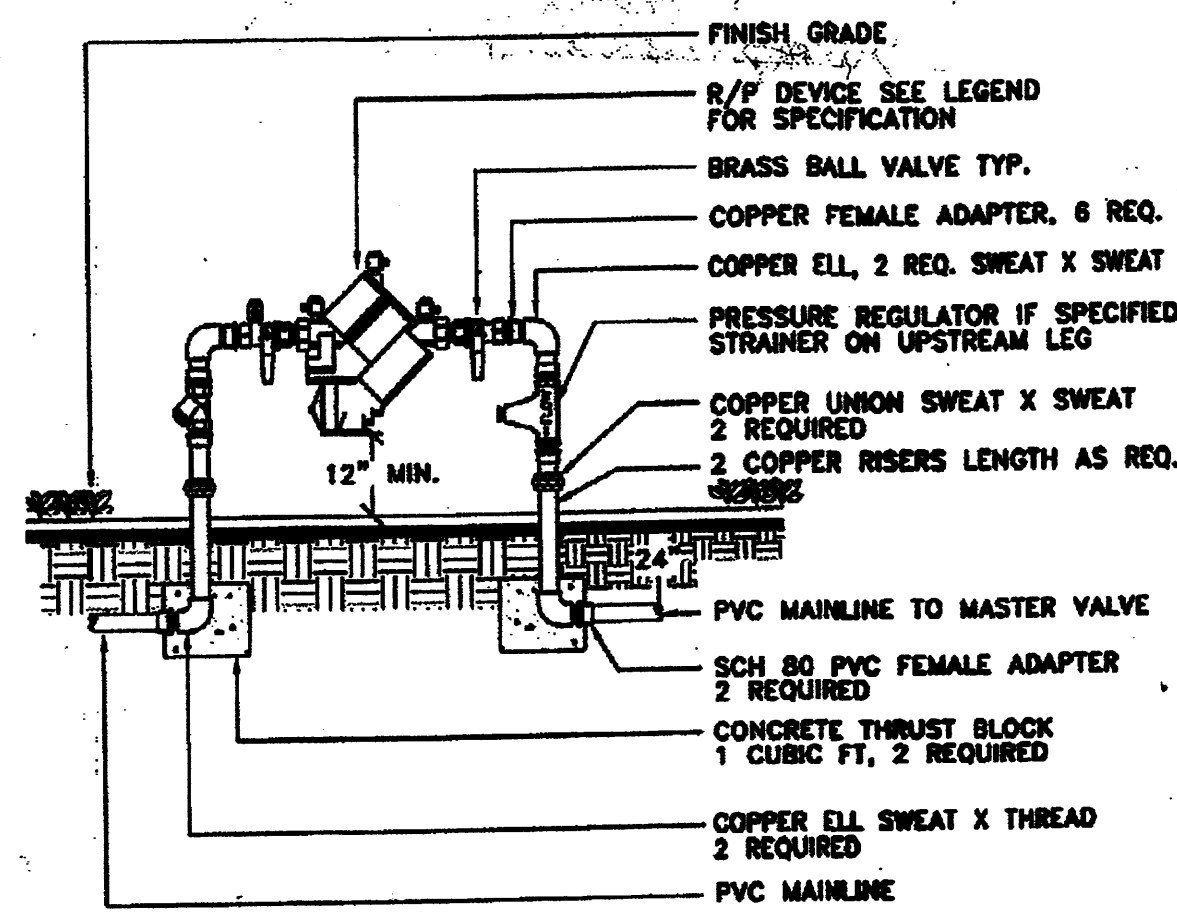


B TREE PLANTING N.T.S.
NOTE: PLANT ROOT COLLAR AT FINISH GRADE. REMOVE ALL WIRE, TWINE, ROPE, TAGS, AND BURLAP. ALL SOIL IN TREE WELL SHALL BE UNCOMPACTED, DESIRABLE PLANTING MIXTURE, AND FREE OF CONSTRUCTION DEBRIS.

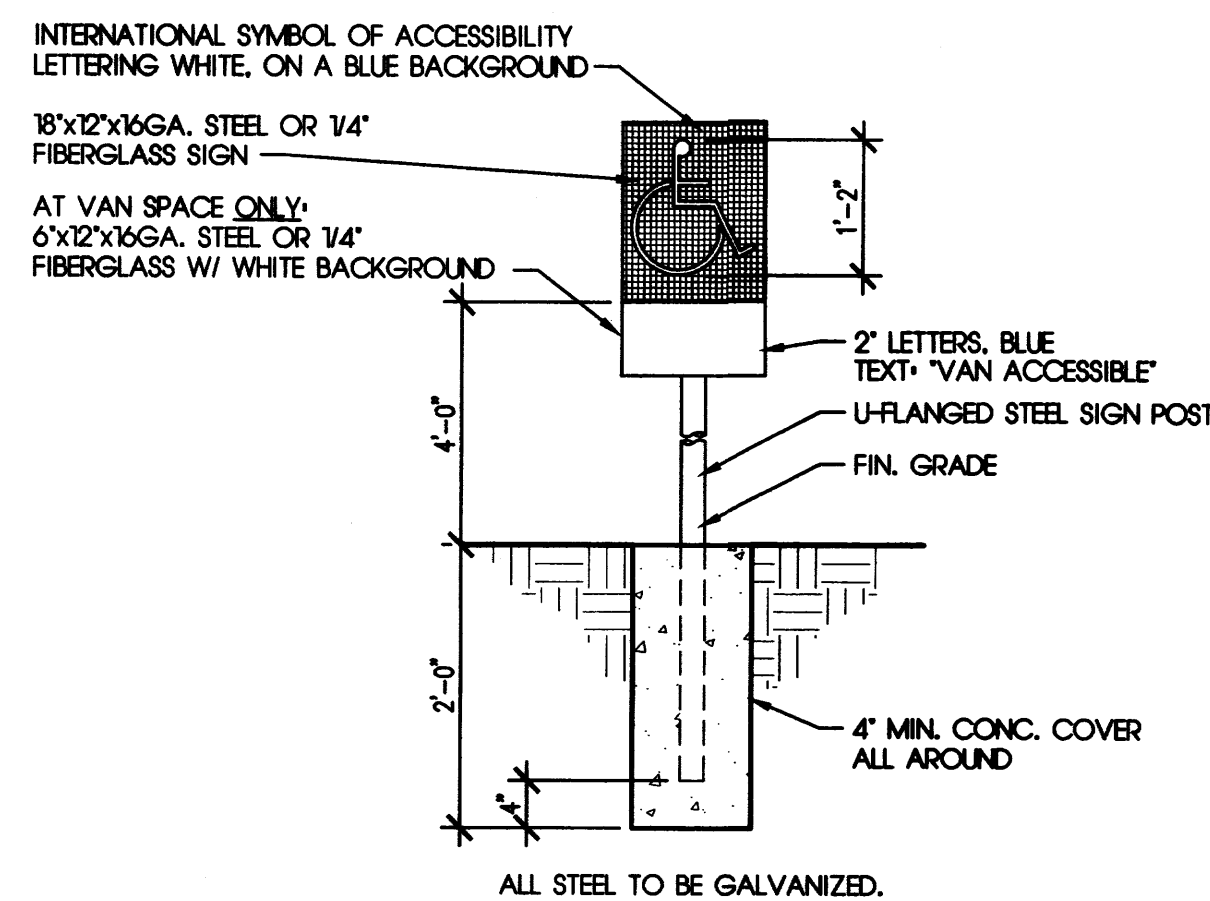
C SHRUB PLANTING N.T.S.
NOTE: PLANT ROOT COLLAR AT FINISH GRADE. REMOVE ALL WIRE, TWINE, ROPE, TAGS, AND BURLAP. ALL SOIL IN PLANT WELL SHALL BE UNCOMPACTED, DESIRABLE PLANTING MIXTURE, AND FREE OF CONSTRUCTION DEBRIS.



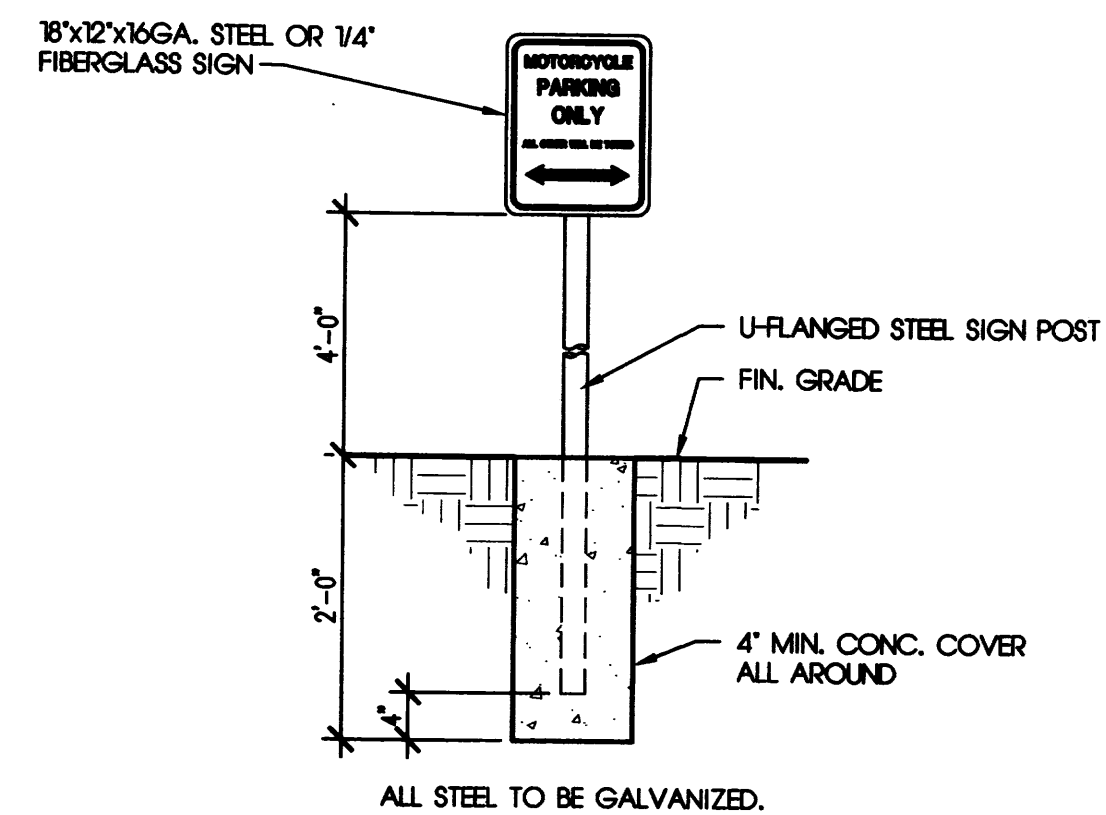
D POLE LIGHT FIXTURE N.T.S.
NOTE: FIXTURES SHALL BE SHIELDED SOURCE. MOUNTED LIGHT LENS SHALL NOT PROJECT BELOW LIGHT SHIELD.



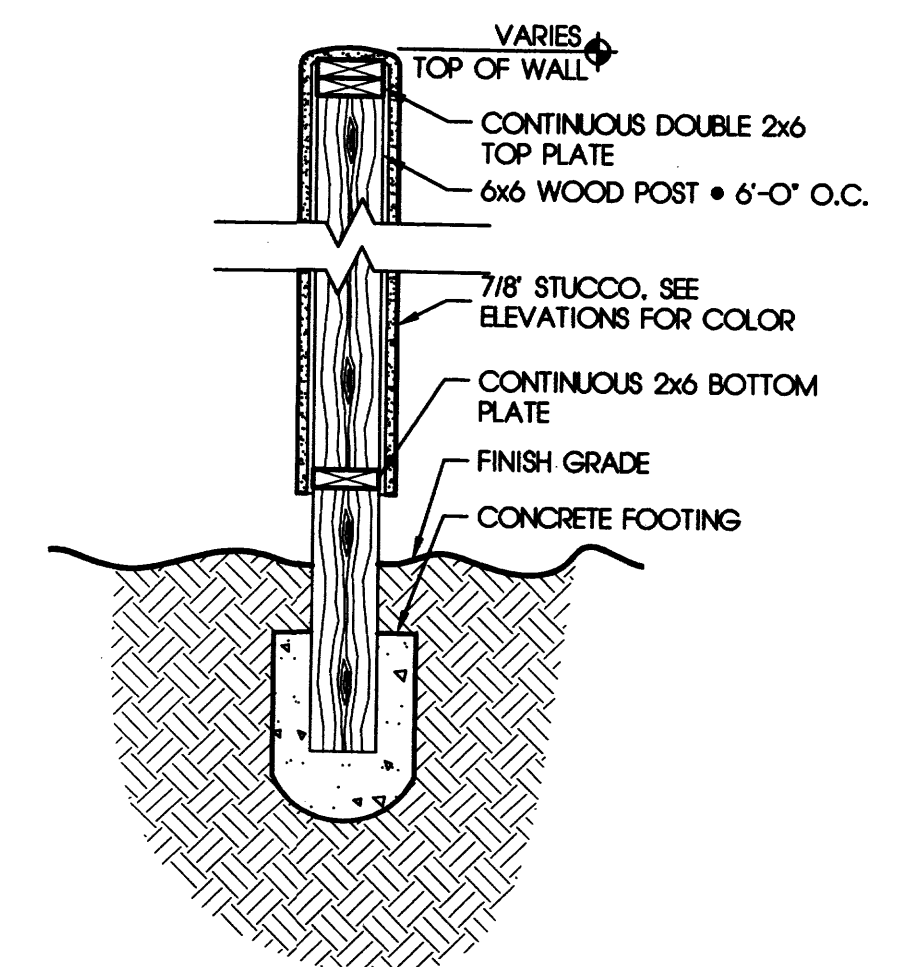
E BACK FLOW PREVENTER N.T.S.



F ACCESSIBILITY SIGN 3/4"=1'-0"



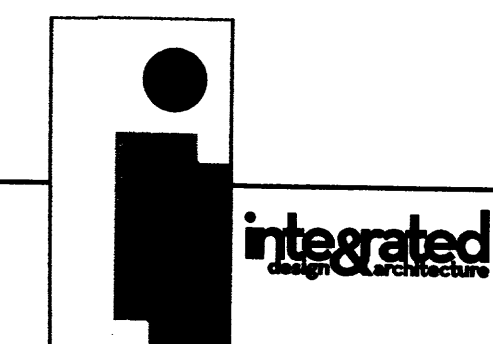
G MOTORCYCLE PARKING SIGN 3/4"=1'-0"



H TYPICAL YARD/ SITE WALL 1"=1'-0"

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
INDIAN SCHOOL AND BROADWAY

June, 12, 2009



Site Plan for Building Permit
 LOTS 1 THRU 20 AND PARCELS A THRU D
 BROADWAY AND INDIAN SCHOOL PROPERTY
 WITHIN
 SECTION 8, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY, 2009

- GENERAL NOTES:
 1: UNLESS NOTED, NO. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
 2: THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
 3: TOTAL AREA OF PROPERTY: 2.9868 ACRES.
 4: TALOS LOG NO. _____
 5: BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1983.
 6: DISTANCES ARE GROUND, BEARINGS ARE GRID.
 7: BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
 8: DATE OF FIELD WORK: FEBRUARY, 2009.
 9: NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT

NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	90°00'00"	S 53°53'17" W	30.00	47.12	42.43
C2	90°00'00"	N 36°06'43" W	15.00	23.56	21.21
C3	90°00'00"	S 36°06'43" E	15.00	23.56	21.21
C4	90°00'00"	N 53°53'17" E	61.00	95.82	86.27
C5	90°00'00"	S 53°53'17" W	15.00	23.56	21.21
C6	90°00'00"	S 53°53'17" W	15.00	23.56	21.21
C7	90°00'00"	S 36°06'43" E	15.00	23.56	21.21
C8	90°00'00"	N 53°53'17" E	15.00	23.56	21.21
C9	90°00'00"	N 36°06'43" W	15.00	23.56	21.21
C10	90°00'00"	S 36°06'43" E	36.00	56.55	50.91
C11	90°00'00"	N 53°53'17" E	36.00	56.55	50.91

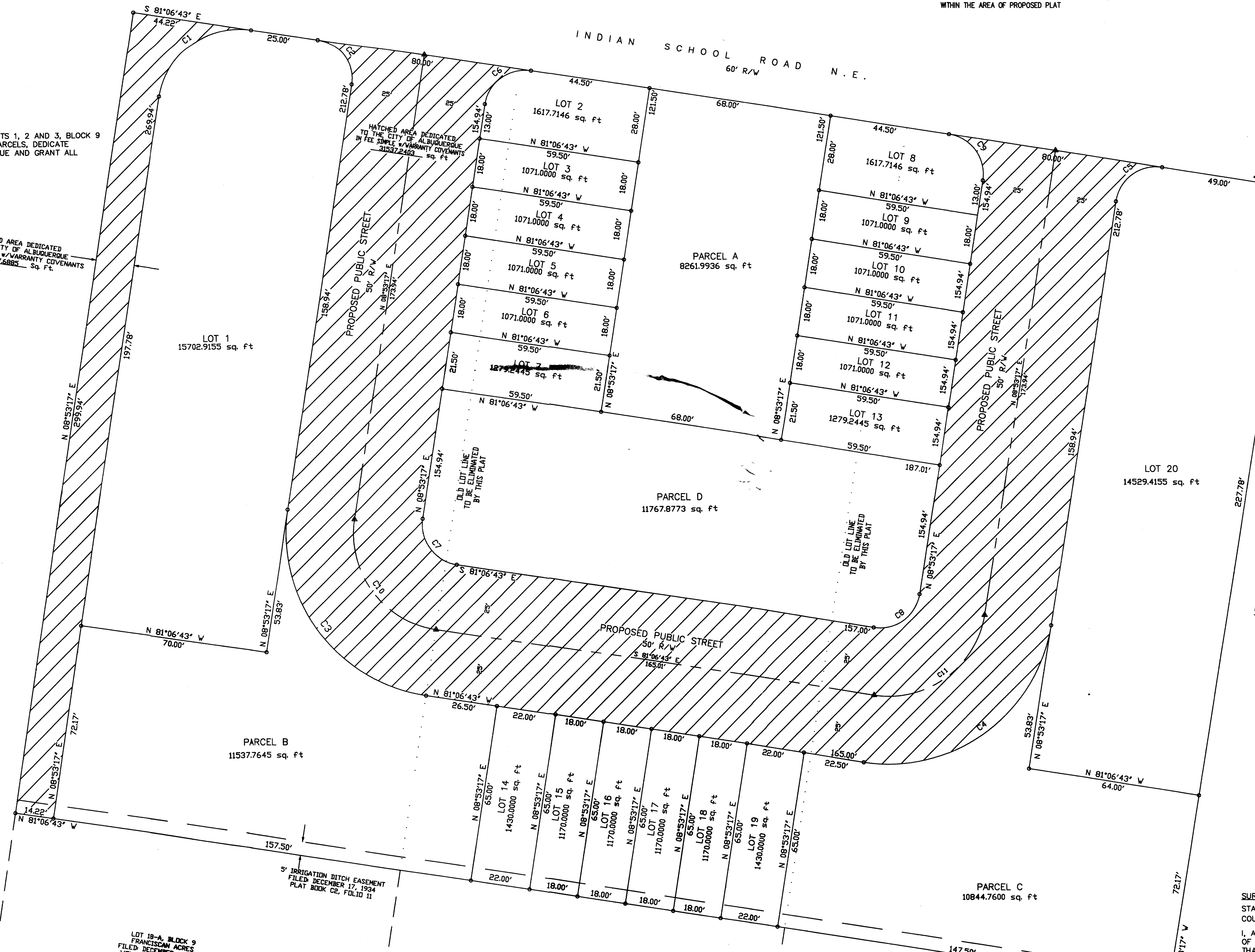
LEGAL DESCRIPTION
 LOTS NUMBERED ONE (1), TWO (2), AND THREE (3), IN BLOCK NUMBERED NINE (9), OF FRANCISCAN ACRES, AN ADDITION, TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE REPLAT OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 17, 1934, IN PLAT BOOK C2, FOLIO 11.

PURPOSE OF PLAT:
 THE PURPOSE OF THIS PLAT IS TO DIVIDE LOTS 1, 2 AND 3, BLOCK 9 FRANCISCAN ACRES INTO 20 LOTS AND 4 PARCELS, DEDICATE RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE AND GRANT ALL EASEMENTS AS SHOWN.

HATCHED AREA DEDICATED TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE w/WARRANTY COVENANTS 4457.6889 Sq. Ft.

BROADWAY BOULEVARD 60' R/W N.E.

INDIAN SCHOOL ROAD N.E. 60' R/W



PROJECT NUMBER: _____
 APPLICATION NUMBER: _____
 UTILITY APPROVALS:
 PUBLIC SERVICE COMPANY OF NEW MEXICO _____ DATE _____
 NEW MEXICO GAS COMPANY _____ DATE _____
 QWEST TELECOMMUNICATIONS _____ DATE _____
 COMCAST _____ DATE _____
 NEW MEXICO UTILITIES _____ DATE _____
 CITY APPROVALS:
 CITY SURVEYOR _____ DATE _____
 REAL PROPERTY DIVISION (CONDITIONAL) _____ DATE _____
 ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) _____ DATE _____
 TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____
 ABCWJA _____ DATE _____
 PARKS AND RECREATION DEPARTMENT _____ DATE _____
 AMAFCA _____ DATE _____
 CITY ENGINEER _____ DATE _____
 DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

FREE CONSENT
 THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT, THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED, AND DO HEREBY DEDICATE ADDITIONAL RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE w/WARRANTY COVENANTS

ACKNOWLEDGMENT
 STATE OF NEW MEXICO) S.S.
 COUNTY OF BERNALILLO)
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC THIS _____ DAY OF _____, 20____
 BY: _____
 MY COMMISSION EXPIRES: _____ BY: _____ NOTARY PUBLIC

SURVEYORS CERTIFICATE:
 STATE OF NEW MEXICO) S.S.
 COUNTY OF BERNALILLO)
 I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LICENSED LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO, THIS _____ DAY OF _____, 2009.

ANTHONY L. HARRIS, P.S. # 11463
 HARRIS SURVEYING, INC. PHONE: (505) 889-8066
 1015-33 HUNTER STREET N.E. FAX: (505) 889-8645
 ALBUQUERQUE, NEW MEXICO 87110

LOT 15

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
 UPC# _____
 PROPERTY OWNER OF RECORD: _____
 BERNALILLO CO. TREASURER'S OFFICE: _____

LOT 19-A, BLOCK 9 FRANCISCAN ACRES FILED DECEMBER 18, 1997 VOLUME 97C, FOLIO 357

BLOCK 9 FRANCISCAN ACRES FILED DECEMBER 17, 1934 PLAT BOOK C2, FOLIO 11

LOT 4, BLOCK 9 FRANCISCAN ACRES FILED DECEMBER 17, 1934 PLAT BOOK C2, FOLIO 11

SCALE: 1" = 20'

Legend

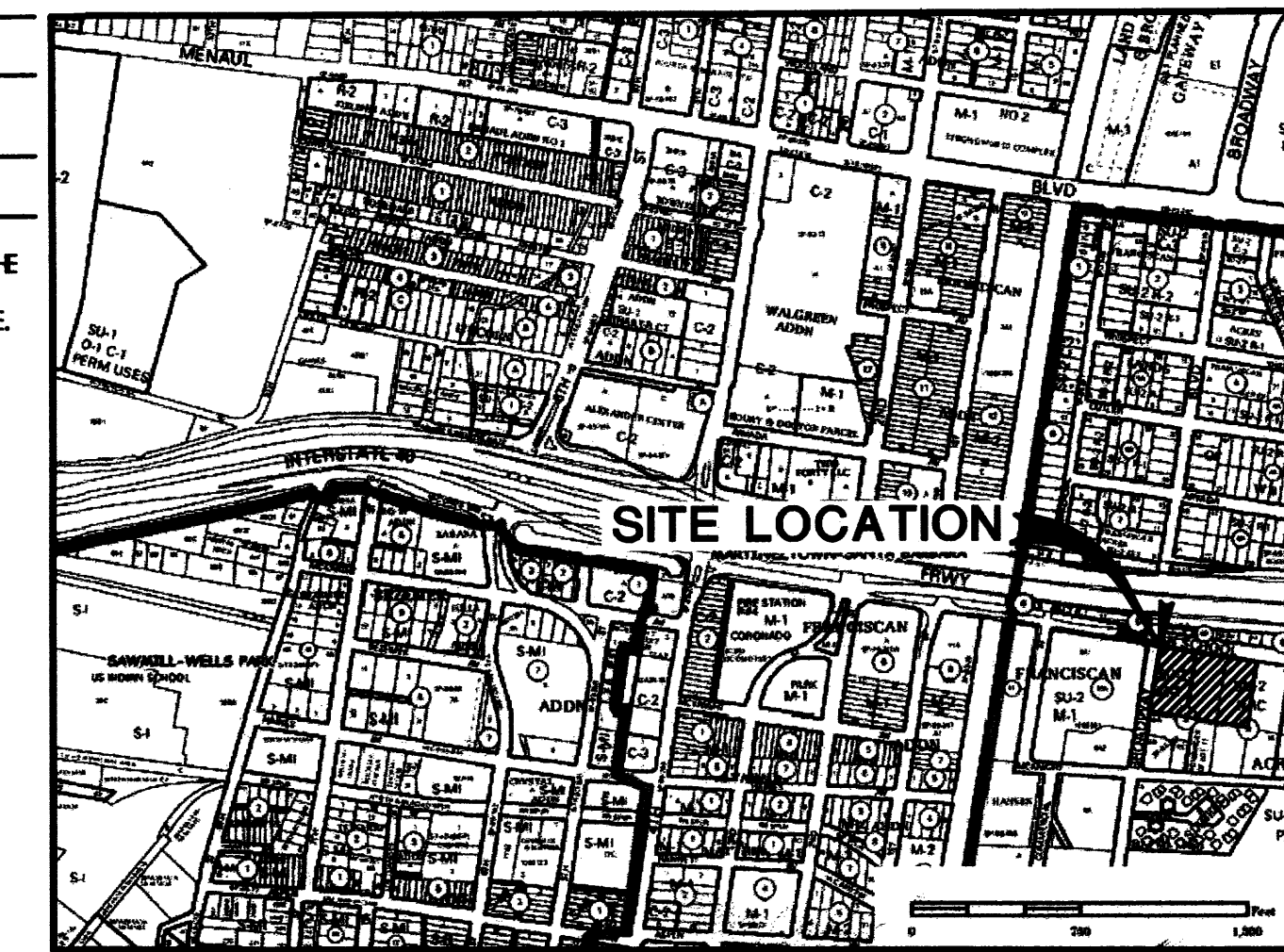
- ⊙ POLE LIGHT, SEE SHEET 9
- ⊖ POLE LIGHT, SEE SHEET 9
- ⊙ ACCENT LIGHT
- ⊕ FIRE HYDRANT, SEE OVERALL UTILITY PLAN

Transit Information

ABC RIDE OPERATES (6) ROUTES WITH IN A 1/2 MILE OF THE SITE. THE (6) ROUTES ARE 6, 7, 8, 10, 13 & 16B.

General Notes

- A. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW FROM THE ADJACENT PUBLIC R.O.W.S.
- B. DEVELOPER IS RESPONSIBLE FOR PERMANENT IMPROVEMENTS TO THE TRANSPORTATION FACILITIES ADJACENT TO THE PROPOSED SITE DEVELOPMENT PLAN.
- C. ROOF TOP SOLAR COLLECTORS ARE PERMISSIVE, AND ARE INCLUDED IN THE MAXIMUM BUILDING HEIGHT ENVELOPE.



Vicinity Map

ZONE ATLAS - H-14-Z

Keyed Notes

1. EXISTING CURB.
2. NEW CURB PER C.O.A. STANDARDS.
3. 3' HIGH FRONT YARD WALLS SET AT R.O.W. LINE TYP., SEE ELEVATIONS.
4. 4' HIGH SCREEN WALLS, SEE ELEVATIONS.
5. 5' HIGH SIDE YARD WALLS, SEE ELEVATIONS.
6. 6' HIGH SITE WALLS TYP. AT PROPERTY LINE, 10' SETBACK AT BROADWAY, SEE ELEVATIONS.
7. REUSE/RECYCLE ENCLOSURE PER C.O.A. STANDARDS, 6' HIGH WALL WITH STEEL ROLLING GATE ON TRACK.
8. NEW ACCESSIBLE RAMPS PER C.O.A. STANDARDS, TYP.
9. SITE LIGHTING PER C.O.A. STANDARD AT STREET R.O.W., SEE SHEET 9 FOR OFF-STREET LIGHTING. AT YARD WALLS, USE STANDARD RESIDENTIAL FIXTURE, THAT COMPLY WITH COA LIGHTING RESTRICTIONS. RECESSED 'CAN' DOWN LIGHT-TYPE FIXTURES WILL BE UTILIZED IN SOFFIT ABOVE ALL ENTRIES.
10. PLAY STRUCTURE.
11. DETENTION POND CULVERT, SEE PRELIMINARY GRADING PLAN.
12. EXISTING BUILDINGS TO BE DEMOLISHED ALONG WITH ANY EXISTING CHAIN LINK FENCING AND ANY MISC. STRUCTURES.
13. PRECAST CONC. WHEEL STOPS.
14. 6' WIDE STEEL PICKET FENCE SECTION SEE ELEVATIONS.
15. ACCESSIBLE PARKING SIGN, SEE DETAIL F.
16. BIKE LOCK LOOP TYP. OF (16).
17. MOTORCYCLE PARKING TYP. OF (3) WITH SIGN, SEE SIGN DETAIL F.
18. TEXTURED AND COLORED CONCRETE CROSSWALK.

Phasing Legend

- 1 - ORDER OF OCCURRENCE.
- 1 (1) 6 ROWHOUSES (22320 SQFT) WITH ASSOCIATED SIDEWALKS, (24) SPACE PARKING LOT, APPROXIMATELY 657 OF STREET WITH CURB AND GUTTER, & A 270 ACRES PLAYGROUND.
- 2 (2) 24 FLATS (22,008 SQFT) WITH ASSOCIATED SIDEWALKS, (24) SPACE PARKING LOT WITH ALL ASSOCIATED CURB, GUTTER AND SIDEWALKS, & (1) REUSE/RECYCLE ENCLOSURES.
- 3 (3) 24 FLATS (22,008 SQFT) WITH ASSOCIATED SIDEWALKS, (25) SPACE PARKING LOT WITH ALL ASSOCIATED CURB, GUTTER AND SIDEWALKS, & (1) REUSE/RECYCLE ENCLOSURES.

Site Information

EXISTING SITE AREA: 3.00 ACRES. PROPOSED SITE AREA AFTER STREET DEDICATIONS: 2.17 ACRES
 EXISTING SITE ZONING: SJ-2 FOR M-1 & SJ-2 FOR NRC
 PROPOSED ZONING FOR ALL LOTS & PARCELS: SJ-2/SJ-1 FOR PRD
 OVERALL GROSS DENSITY: 22.0 D.U. PER ACRE
 NET DENSITY: 30.41 D.U. PER ACRE
 FLOOR AREA RATIO - BUILDINGS: ROWHOUSES: 24,114 SQ.FT. FLATS: 39,888 SQ.FT.
 SITE: 94,544 SQ.FT. F.A.R.: 0.68
 UNIT BREAKDOWNS - ROWHOUSES: 18 TOTAL (18) 1240 SQ.FT. - 3 BDRM., 2 BATH FLATS: 48 TOTAL (48) 917 SQ.FT. - 2 BDRM., 1 BATH
 PARKING CALCULATION: (18x2) + (48x1.5) = 108 SPACES
 PARKING PROVIDED: 109 SPACES (INCL. 50% ON PUBLIC STREETS)
 OFF STREET PARKING: 73 SPACES
 ON STREET PARKING: 36 SPACES
 OFF STREET COMPACT PARKING: 19 SPACES
 OFF STREET STANDARD PARKING: 52 SPACES
 DISABLED PARKING REQUIRED: 4 SPACES
 DISABLED PARKING PROVIDED: 4 SPACES
 MOTORCYCLES: FOR 61-100 CARS: 3 SPACES
 BIKES (MULTI-FAMILY ONLY): 48/2 = 24 BIKE SPACES PROVIDED (16) GROUND FLOOR PATIOS & (16) LOCK LOOPS

SITE AREA: 130,541 SQ.FT. TOTAL EXISTING SITE - 4,458 SQ.FT. DEDICATED TO C.O.A. NEW R.O.W. ON BROADWAY - 31,539 SQ.FT. DEDICATED TO C.O.A. NEW STREET R.O.W. 94,544 SQ.FT. NET SITE AREA

COMMON GREEN AREA: 11,767 SQ.FT. - .270 ACRES

MAXIMUM / MINIMUM LOT SIZES: 1071 SQ.FT./ROWHOUSE / 14529 SQ.FT./FLATS
 MAXIMUM BUILDING ENVELOPE HEIGHT: FLATS BUILDING: 42'-0" / ROWHOUSES: 28'-0" ABOVE AVERAGE FINISH GRADE (INCLUDING ALL CHIMNEYS AND ROOF TOP SOLAR COLLECTORS).
 MINIMUM SETBACKS: FRONT YARD: 5.33' (FLATS) / 6.67' (ROWHOUSES)
 REAR YARD: 9.5' MIN.
 SIDE YARD: 3.5' MIN. / 10' AT CORNER

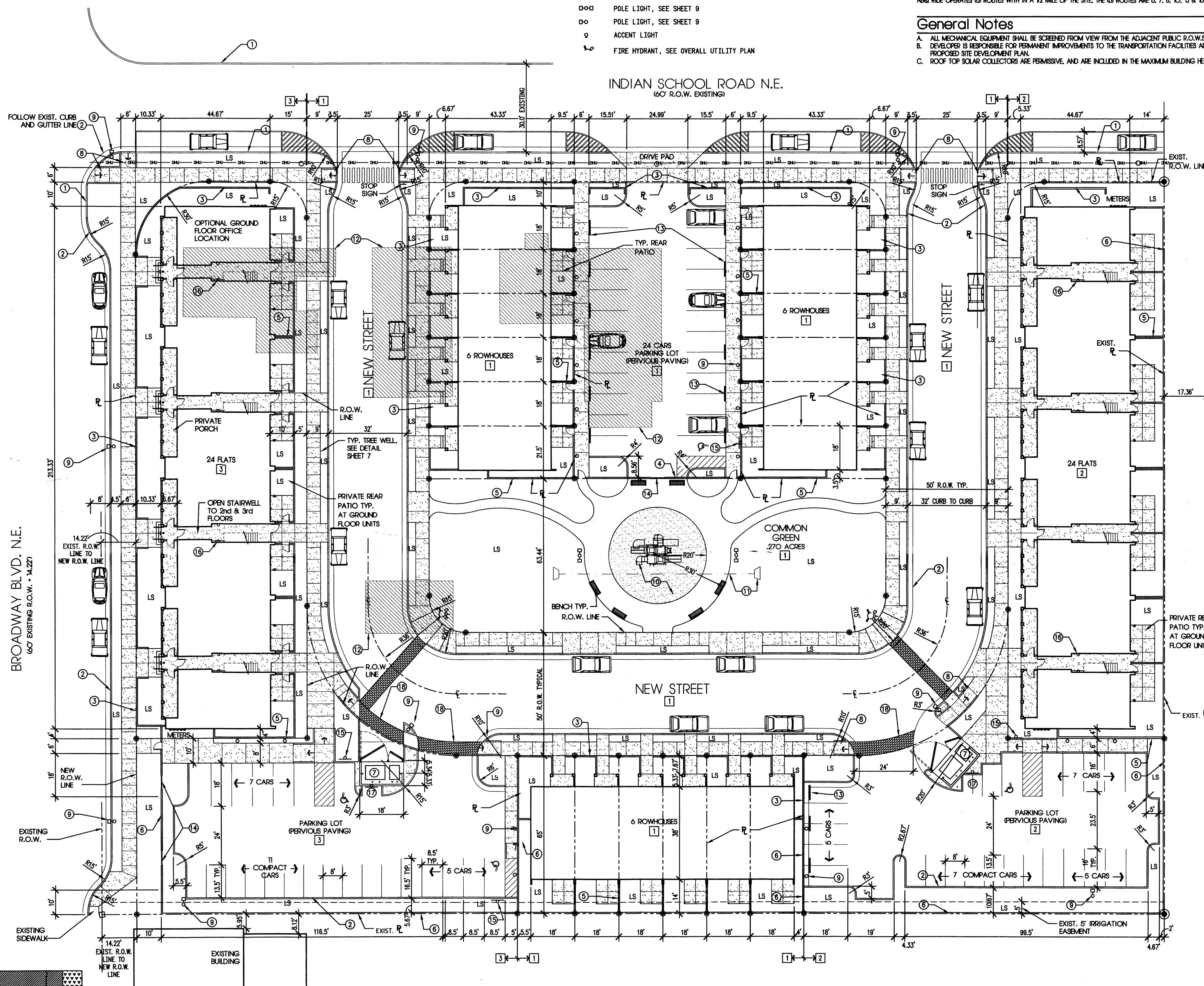
PROJECT NUMBER: 1007649
 Application Number: 10PEB-10107

This plan is consistent with the specific Site Development Plan Approved by the Environmental Planning Commission (EPC), dated May 6, 2009 and the finding and conditions in the Official Notification of Decision are satisfied.

IS AN INFRASTRUCTURE LIST REQUIRED? () Yes () No
 If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

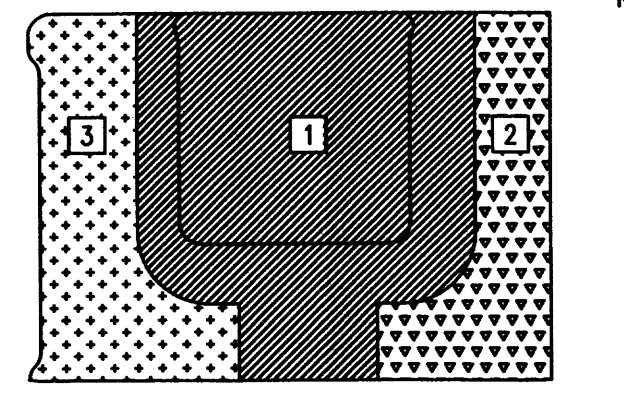
Traffic Engineering, Transportation Division:	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date



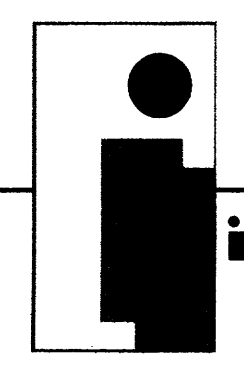
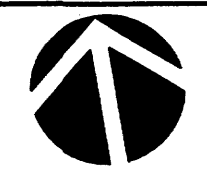
SITE PLAN

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
 INDIAN SCHOOL AND BROADWAY**

June, 12, 2009

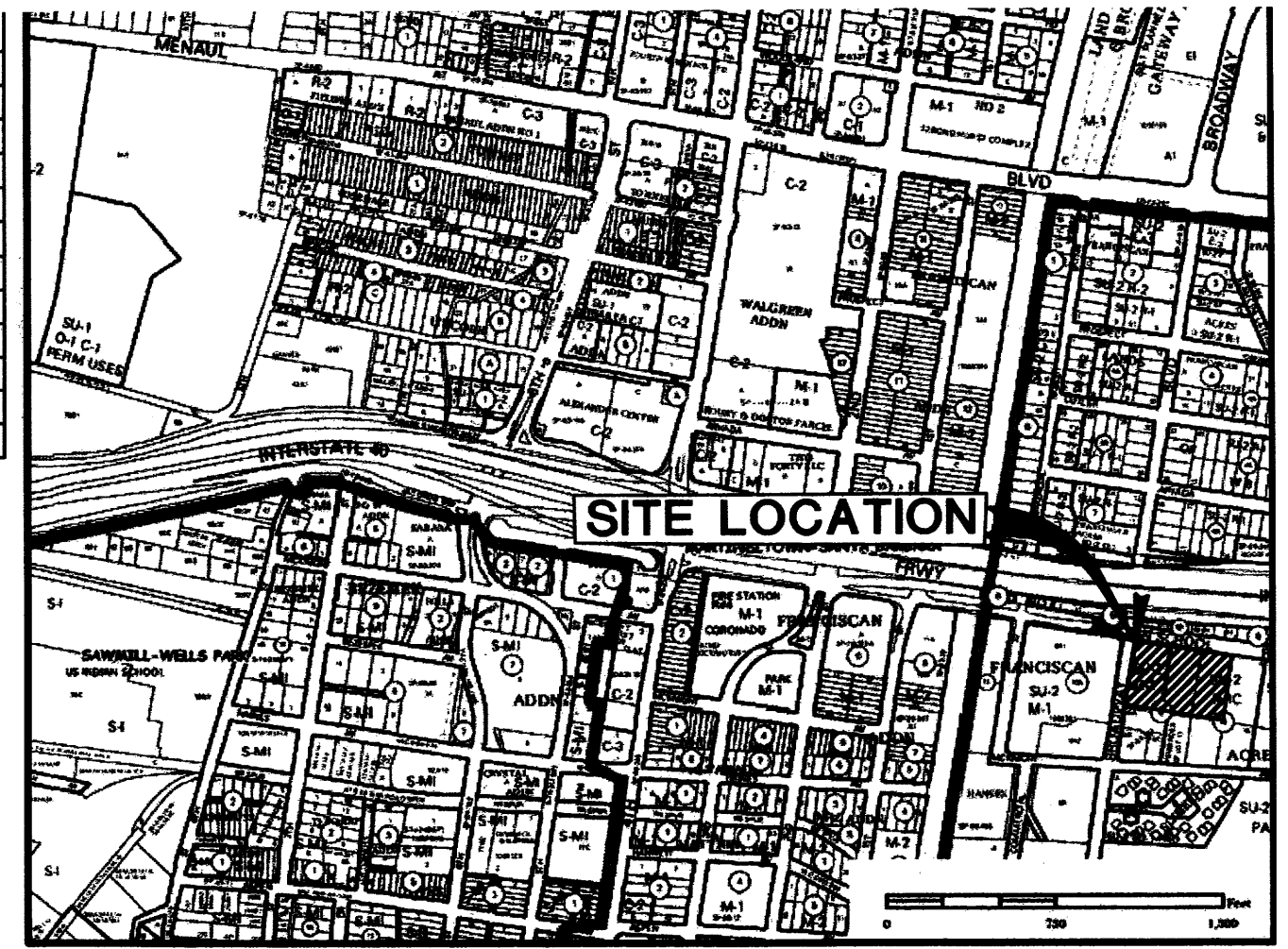


PHASING DIAGRAM
 SEE PHASING LEGEND



integrated
 DRB Chairperson, Planning Department

NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	90° 00' 00"	S 53° 53' 17" W	30.00'	47.12'	42.43'
C2	90° 00' 00"	N 36° 06' 43" W	15.00'	23.56'	21.21'
C3	90° 00' 00"	S 36° 06' 43" E	61.00'	95.82'	86.27'
C4	90° 00' 00"	N 53° 53' 17" E	61.00'	95.82'	86.27'
C5	90° 00' 00"	S 53° 53' 17" W	15.00'	23.56'	21.21'
C6	90° 00' 00"	S 53° 53' 17" W	15.00'	23.56'	21.21'
C7	90° 00' 00"	S 36° 06' 43" E	15.00'	23.56'	21.21'
C8	90° 00' 00"	S 53° 53' 17" W	15.00'	23.56'	21.21'
C9	90° 00' 00"	S 36° 06' 43" E	15.00'	23.56'	21.21'
C10	90° 00' 00"	S 36° 06' 43" E	36.00'	56.55'	50.91'
C11	90° 00' 00"	N 53° 53' 17" E	36.00'	56.55'	50.91'



Vicinity Map

ZONE ATLAS - H-14-Z

General Notes

- A. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW FROM THE ADJACENT PUBLIC R.O.W.S.
- B. UNLESS NOTED NUMBER 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
- C. THIS SITE PLAN FOR SUBDIVISION SHOWS ALL EASEMENTS OF RECORD.
- D. BASIS OF BEARING IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1983.
- E. DISTANCES ARE GROUND, BEARINGS ARE GRID.
- F. BEARINGS AND DISTANCES IN PARENTHESIS ARE RECORD.

Legal Description

LOTS NUMBERED ONE (1), TWO (2), AND THREE (3), IN BLOCK NUMBERED NINE (9), OF FRANCISCAN ACRES, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE REPLAT OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK, OFFICE OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 17, 1934, IN PLAT BOOK C2, FOLIO 11.

Site Information

EXISTING SITE AREA: 2.9968 ACRES, PROPOSED SITE AREA AFTER STREET DEDICATIONS: 2.17 ACRES
 EXISTING SITE ZONING: SU-2 FOR M-1 & SU-2 FOR NRC
 PROPOSED ZONING: SU-2/ SU-1 FOR PRD

OVERALL GROSS DENSITY: 22.0 D.U. PER ACRE
 NET DENSITY: 30.41 D.U. PER ACRE
 FLOOR AREA RATIO - BUILDINGS: 24.14 SQ.FT./LOT
 FLOOR AREA RATIO - FLATS: 39.888 SQ.FT./LOT
 SITE: 94,544 SQ.FT.
 F.A.R.: 0.68

UNIT BREAKDOWNS:
 ROWHOUSES (TOWNHOUSE) (8) UNITS = 1240 SQ.FT. - 3 BDRM., 2 BATH, LOTS 2 - 19
 FLATS (CONDOMINIUMS) (48) UNITS = 917 SQ.FT. - 2 BDRM., 1 BATH, LOTS 1 & 20

MAXIMUM / MINIMUM LOT SIZES: 1071 SQ.FT.(ROWHOUSE) / 14529 SQ.FT.(FLATS)
 MAXIMUM BUILDING ENVELOPE HEIGHT: FLATS BUILDING: 42'-0"
 ROWHOUSES: 28'-0"

MINIMUM SETBACKS: FRONT YARD: 5.33'(FLATS) / 6.67'(ROWHOUSES)
 REAR YARD: 9.5' MIN.
 SIDE YARD: 3.5' MIN. / 10' AT CORNER

ARCHITECTURAL DESIGN STANDARDS SUCH AS EXTERIOR WALL DESIGN, MATERIALS, AND COLORS, ROOF MATERIALS AND COLORS, PRELIMINARY GRADING AND DRAINAGE, LANDSCAPE DESIGN, PARKING, SITE LIGHTING, AND PEDESTRIAN AMENITIES, ARE AS SHOWN ON THE APPROVED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT, PROJECT # 1007649, CASE # 09 EPC #40006, 40007.

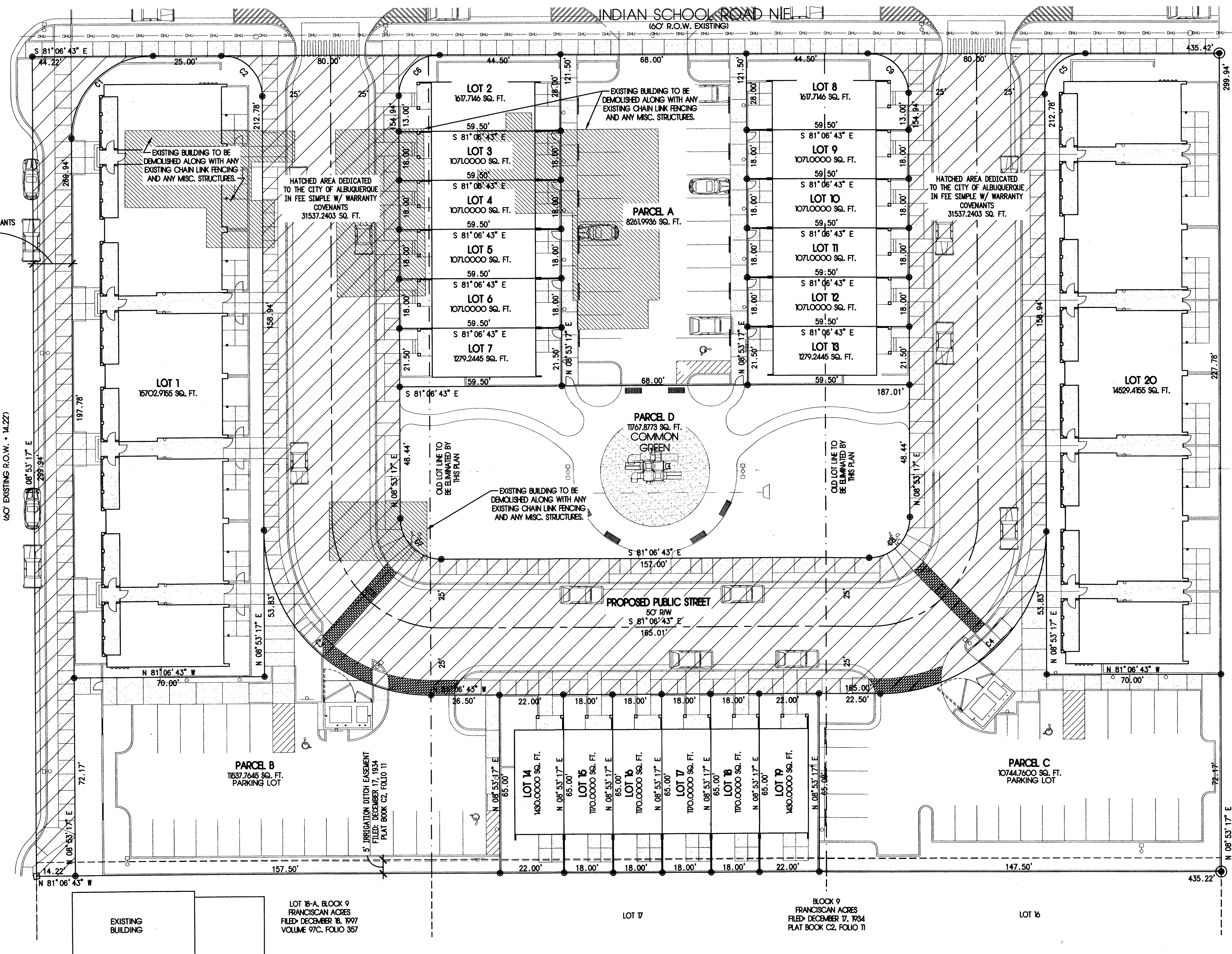
PROJECT NUMBER: 1007649
 Application Number: 16 DRB - 7-127

This plan is consistent with the specific Site Development Plan Approved by the Environmental Planning Commission (EPC), dated May 6, 2009 and the finding and conditions in the Official Notification of Decision are satisfied.

IS AN INFRASTRUCTURE LIST REQUIRED? () Yes () No
 If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

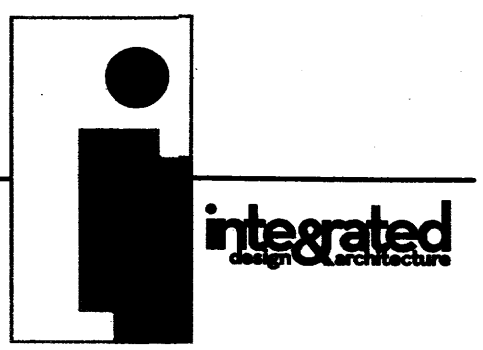
Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
* Environmental Health Department-(conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date



SITE PLAN

INDIAN SCHOOL AND BROADWAY SITE DEVELOPMENT PLAN FOR SUBDIVISION

June, 12, 2009



Legal Description

LOTS NUMBERED ONE (1), TWO (2), AND THREE (3), IN BLOCK NUMBERED NINE (9), OF FRANCISCAN ACRES, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE REPLAT OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OFFICE OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 17, 1934, IN PLAT BOOK C2, FOLIO 11.

Legend

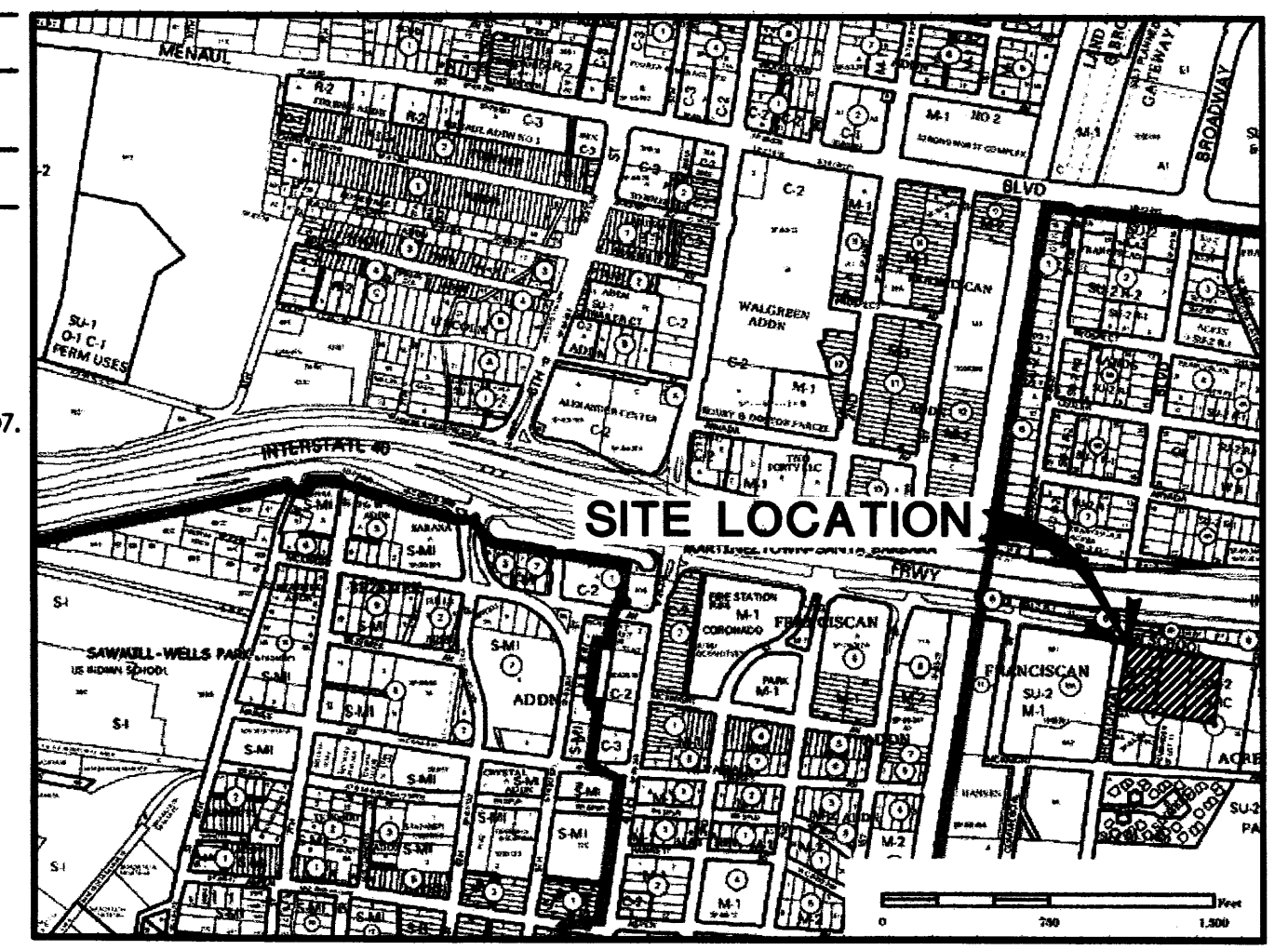
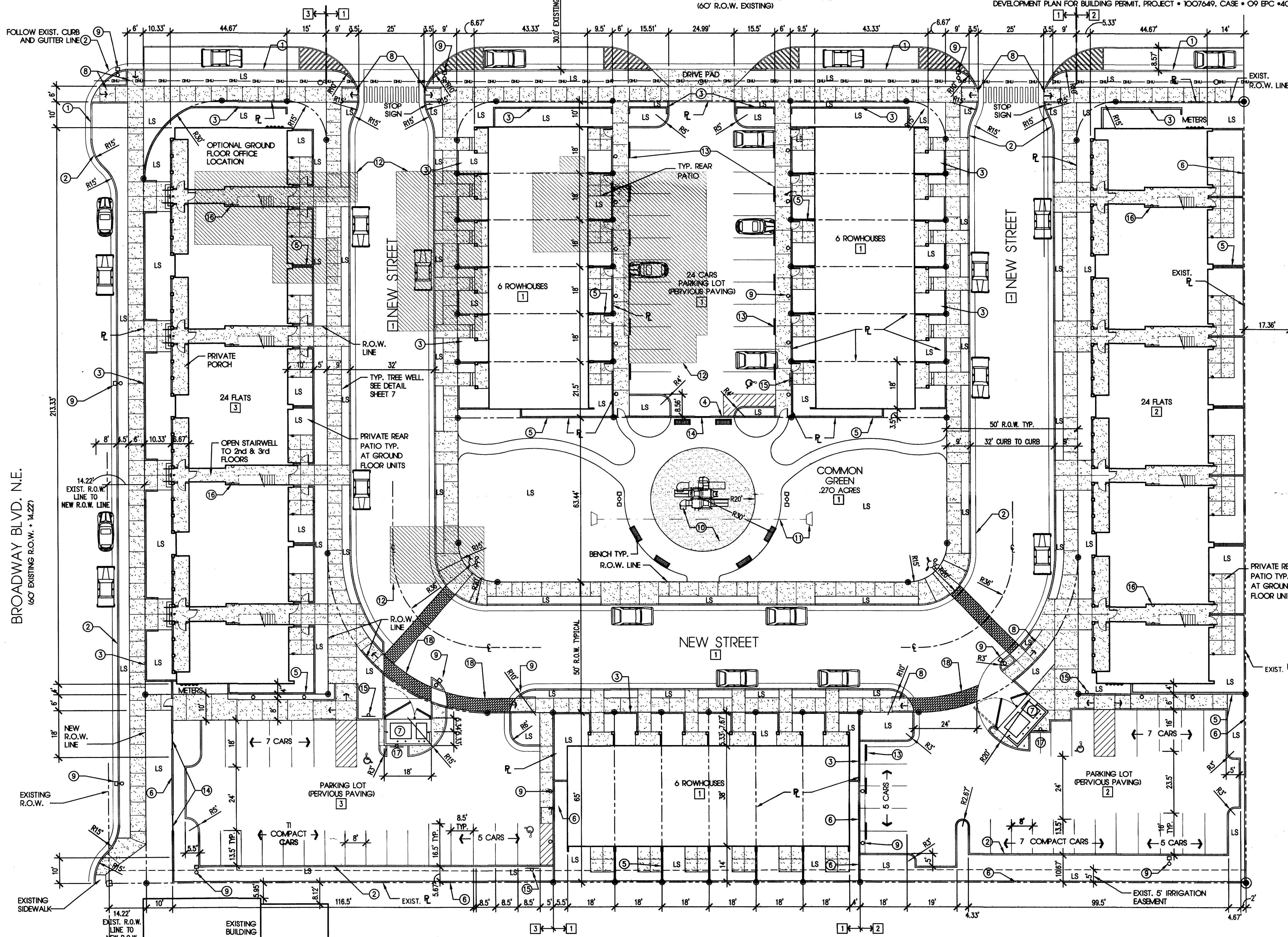
- POLE LIGHT, SEE SHEET 9
- POLE LIGHT, SEE SHEET 9
- ACCENT LIGHT
- ⊕ FIRE HYDRANT, SEE OVERALL UTILITY PLAN

Transit Information

ABQ RIDE OPERATES (6) ROUTES WITH IN A 1/2 MILE OF THE SITE. THE (6) ROUTES ARE 6, 7, 8, 10, 13 & 16(B).

General Notes

- A. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW FROM THE ADJACENT PUBLIC R.O.W.S. DEVELOPER IS RESPONSIBLE FOR PERMANENT IMPROVEMENTS TO THE TRANSPORTATION FACILITIES ADJACENT TO THE PROPOSED SITE DEVELOPMENT PLAN.
- B. ROOF TOP SOLAR COLLECTORS ARE PERMISSIVE, AND ARE INCLUDED IN THE MAXIMUM BUILDING HEIGHT ENVELOPE. ARCHITECTURAL DESIGN STANDARDS SUCH AS EXTERIOR WALL DESIGN, MATERIALS, AND COLORS, ROOF MATERIALS AND COLORS, PRELIMINARY GRADING AND DRAINAGE, LANDSCAPE DESIGN, PARKING, SITE LIGHTING, AND PEDESTRIAN AMENITIES, ARE AS SHOWN ON THE APPROVED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT, PROJECT # 1007649, CASE # 09 EPC #40006, 40007.



Vicinity Map

ZONE ATLAS - H-14-Z

Keyed Notes

1. EXISTING CURB
2. NEW CURB PER C.O.A. STANDARDS
3. 3' HIGH FRONT YARD WALLS SET AT R.O.W. LINE TYP. SEE ELEVATIONS.
4. 4' HIGH SCREEN WALLS. SEE ELEVATIONS.
5. 5' HIGH SIDE YARD WALLS. SEE ELEVATIONS.
6. 6' HIGH SITE WALLS TYP. AT PROPERTY LINE, 10' SETBACK AT BROADWAY. SEE ELEVATIONS.
7. REUSE/RECYCLE ENCLOSURE PER C.O.A. STANDARDS. 6' HIGH WALL WITH STEEL ROLLING GATE ON TRACK.
8. NEW ACCESSIBLE PARKING PER C.O.A. STANDARDS, TYP.
9. SITE LIGHTING PER C.O.A. STANDARD AT STREET R.O.W.S. SEE SHEET 9 FOR OFF-STREET LIGHTING. AT YARD WALLS, USE STANDARD RESIDENTIAL FIXTURE, THAT COMPLY WITH COA LIGHTING RESTRICTIONS. RECESSED 'CANY DOWN LIGHT' TYPE FIXTURES WILL BE UTILIZED IN SOFT ABOVE ALL ENTRIES.
10. PLAY STRUCTURE
11. DETENTION POND CULVERT. SEE PRELIMINARY GRADING PLAN
12. EXISTING BUILDINGS TO BE DEMOLISHED ALONG WITH ANY EXISTING CHAIN LINK FENCING AND ANY MISC. STRUCTURES
13. PRECAST CONC. WHEEL STOPS.
14. 6' WIDE STEEL PICKET FENCE SECTION SEE ELEVATIONS.
15. ACCESSIBLE PARKING SIGN, SEE DETAIL F.
16. BIKE LOCK LOOP TYP. OF (16).
17. MOTORCYCLE PARKING TYP. OF (17) WITH SIGN, SEE SIGN DETAIL F.
18. TEXTURED AND COLORED CONCRETE CROSSWALK.

Phasing Legend

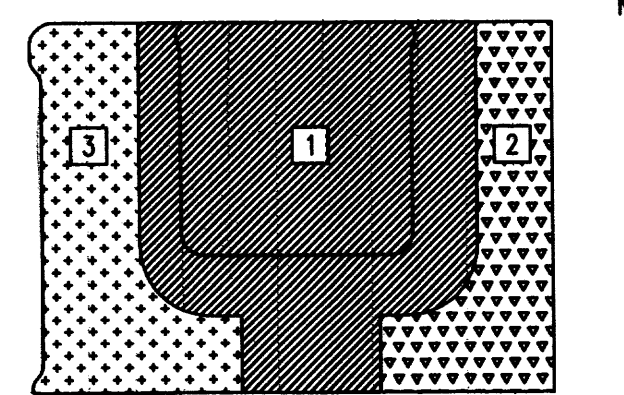
- 1 - ORDER OF OCCURRENCE
- 1 (18) ROWHOUSES (22,220 SQFT) WITH ASSOCIATED SIDEWALKS, (24) SPACE PARKING LOT, APPROXIMATELY 657' OF STREET WITH CURB AND GUTTER, & A .270 ACRES PLAYGROUND.
- 2 (24) FLATS (22,008 SQFT) WITH ASSOCIATED SIDEWALKS, (24) SPACE PARKING LOT WITH ALL ASSOCIATED CURB, GUTTER AND SIDEWALKS, & (1) REUSE/RECYCLE ENCLOSURES.
- 3 (24) FLATS (22,008 SQFT) WITH ASSOCIATED SIDEWALKS, (25) SPACE PARKING LOT WITH ALL ASSOCIATED CURB, GUTTER AND SIDEWALKS, & (1) REUSE/RECYCLE ENCLOSURES.

Site Information

EXISTING SITE AREA: 3.00 ACRES. PROPOSED SITE AREA AFTER STREET DEDICATIONS: 2.17 ACRES
 EXISTING SITE ZONING: S-U-2 FOR M-1 & S-U-2 FOR NRC
 PROPOSED ZONING FOR ALL LOTS & PARCELS: S-U-2/SU-1 FOR PRD
 OVERALL GROSS DENSITY: 22.0 D.U. PER ACRE
 NET DENSITY: 30.41 D.U. PER ACRE
 FLOOR AREA RATIO - BUILDINGS: ROWHOUSES: 24,114 SQ.FT. FLATS: 39,888 SQ.FT.
 SITE: 94,544 SQ.FT. F.A.R.: 0.58
 UNIT BREAKDOWNS - ROWHOUSES: 18 TOTAL (18) 1240 SQ.FT. - 3 BDRM., 2 BATH FLATS: 48 TOTAL (48) 917 SQ.FT. - 2 BDRM., 1 BATH
 PARKING CALCULATION: (18x2) + (48x1.5) = 108 SPACES
 PARKING PROVIDED: 109 SPACES (INCL. 50% ON PUBLIC STREETS)
 OFF STREET PARKING: 73 SPACES
 ON STREET PARKING: 36 SPACES
 OFF STREET COMPACT PARKING: 19 SPACES
 OFF STREET STANDARD PARKING: 52 SPACES
 DISABLED PARKING REQUIRED: 4 SPACES
 DISABLED PARKING PROVIDED: 4 SPACES
 MOTORCYCLES: FOR 5100 CARS) 3 SPACES
 BIKES: (MULTI-FAMILY ONLY) 48/2 = 24
 BIKE SPACES PROVIDED: (16) GROUND FLOOR PATIOS & (16) LOCK LOOPS
 SITE AREA: 130,541 SQ.FT. TOTAL EXISTING SITE
 - 4,458 SQ.FT. DEDICATED TO C.O.A. NEW R.O.W. ON BROADWAY
 - 31,539 SQ.FT. DEDICATED TO C.O.A. NEW STREET R.O.W.
 94,544 SQ.FT. NET SITE AREA
 COMMON GREEN AREA: 11,767 SQ.FT. - .270 ACRES
 MAXIMUM / MINIMUM LOT SIZES: 1071 SQ.FT./ROWHOUSE / 14529 SQ.FT./FLATS
 MAXIMUM BUILDING ENVELOPE HEIGHT: FLATS BUILDING: 42'-0" / ROWHOUSES: 28'-0" ABOVE AVERAGE
 FINISH GRADE (INCLUDING ALL CHIMNEYS AND ROOF TOP SOLAR COLLECTORS).
 MINIMUM SETBACKS: FRONT YARD: 5.33'(FLATS) / 6.57'(ROWHOUSES)
 REAR YARD: 9.5' MIN.
 SIDE YARD: 3.5' MIN. / 10' AT CORNER

PROJECT NUMBER: 1007649
 Application Number: 10 DRB 70106
 This plan is consistent with the specific Site Development Plan Approved by the Environmental Planning Commission (EPC), dated May 6, 2009 and the finding and conditions in the Official Notification of Decision are satisfied.
 IS AN INFRASTRUCTURE LIST REQUIRED? () Yes () No
 If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.
 DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWJA Christina Sandoval Parks and Recreation Department	4/14/10 Date
City Engineer	Date
* Environmental Health Department-(conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date



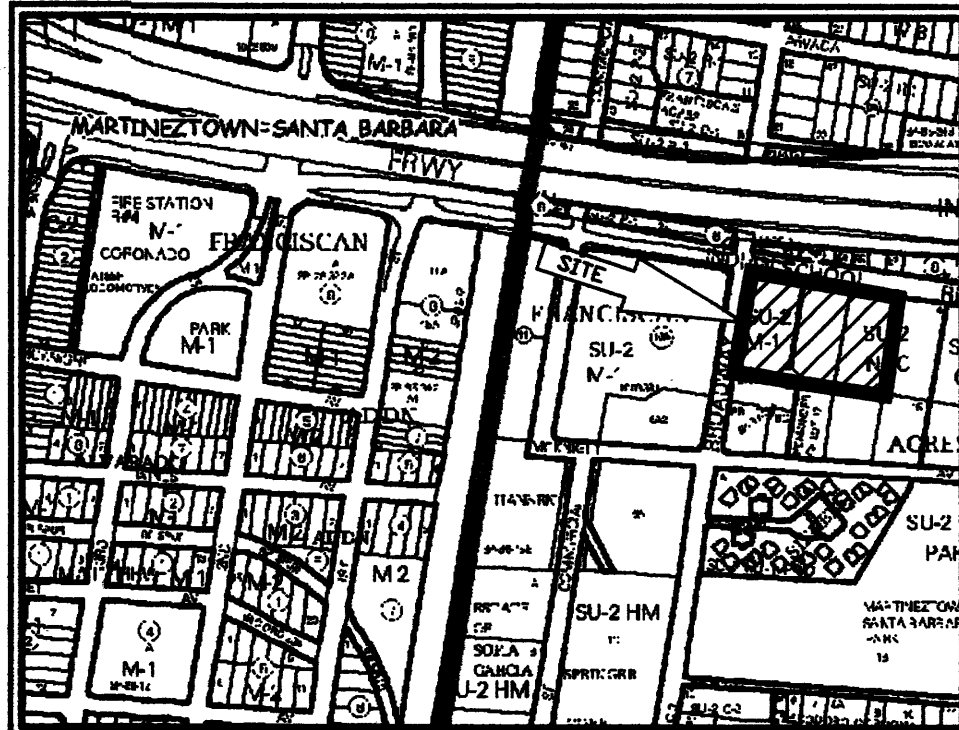
PHASING DIAGRAM
SEE PHASING LEGEND

SITE PLAN

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL
 INDIAN SCHOOL AND BROADWAY

March 26, 2010





LEGAL DESCRIPTION

LOTS NUMBERED ONE (1), TWO (2), AND THREE (3), IN BLOCK NUMBERED NINE (9), OF FRANCISCAN ACRES, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 17, 1934, IN PLAT BOOK C2, FOLIO 11. AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT, BEING A POINT AT THE INTERSECTION OF THE EASTERLY LINE OF BROADWAY BOULEVARD AND THE SOUTHERLY LINE OF INDIAN SCHOOL ROAD, WHENCE CITY OF ALBUQUERQUE CONTROL MONUMENT "A-438" HAVING NEW MEXICO STATE PLANE COORDINATES OF (CENTRAL ZONE, NAD 1983) X=1,523,137.246 AND Y=1,495,747.494 BEARS N 11°56'07" W, A DISTANCE OF 2195.95 FEET RUNNING THENCE S 80°50'09" E, ALONG THE SOUTHERLY LINE OF INDIAN SCHOOL ROAD, A DISTANCE OF 435.22 FEET TO THE NORTHEAST CORNER; THENCE S 09°09'51" W, A DISTANCE OF 299.94 FEET TO THE SOUTHEAST CORNER WHENCE CITY OF ALBUQUERQUE CONTROL MONUMENT "9-J15" HAVING NEW MEXICO STATE PLANE COORDINATES OF (CENTRAL ZONE, NAD 1983) X=1,526,869.928 AND Y=1,489,021.809 BEARS S 34°34'14" E, A DISTANCE OF 5111.75 FEET; THENCE N 80°50'09" W, A DISTANCE OF 435.22 FEET TO THE SOUTHWEST CORNER, BEING A POINT ON THE EASTERLY LINE OF BROADWAY BOULEVARD; THENCE N 09°09'51" E, ALONG THE EASTERLY LINE OF BROADWAY BOULEVARD, A DISTANCE OF 299.94 FEET TO THE NORTHWEST CORNER AND PLACE OF BEGINNING CONTAINING 2.9968 ACRES MORE OR LESS

**PRELIMINARY PLAT OF
 BROADWAY AND INDIAN SCHOOL SUBDIVISION**

WITHIN
 TOWN OF ALBUQUERQUE GRANT
 PROJECTED SECTION 8, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH 2010

PROJECT NUMBER: 1007649
 APPLICATION NUMBER: 10DRB-70106

VICINITY MAP No. H-14

PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS TO COMBINE LOTS 1, 2 AND 3, BLOCK 9 FRANCISCAN ACRES INTO 2 LOTS, DEDICATE RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE AND GRANT ALL EASEMENTS AS SHOWN.

GENERAL NOTES:

- 1: UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
- 2: THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- 3: TOTAL AREA OF PROPERTY: 2.9968 ACRES.
- 4: TALOS LOG NO. 2010102462
- 5: BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1983.
- 6: DISTANCES ARE GROUND, BEARINGS ARE GRID.
- 7: BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
- 8: DATE OF FIELD WORK: FEBRUARY, 2009
- 9: NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT
- 10: TOTAL MILES OF FULL WIDTH STREET CREATED: 0.1186 MILES
- 11: STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN THUS WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB, PS 11463

APPROVALS:

CITY OF ALBUQUERQUE SURVEYOR 3-30-10
DATE

OWNER 3/30/10
DATE

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
 UPC# _____
 PROPERTY OWNER OF RECORD: _____
 BERNALILLO CO. TREASURER'S OFFICE: _____

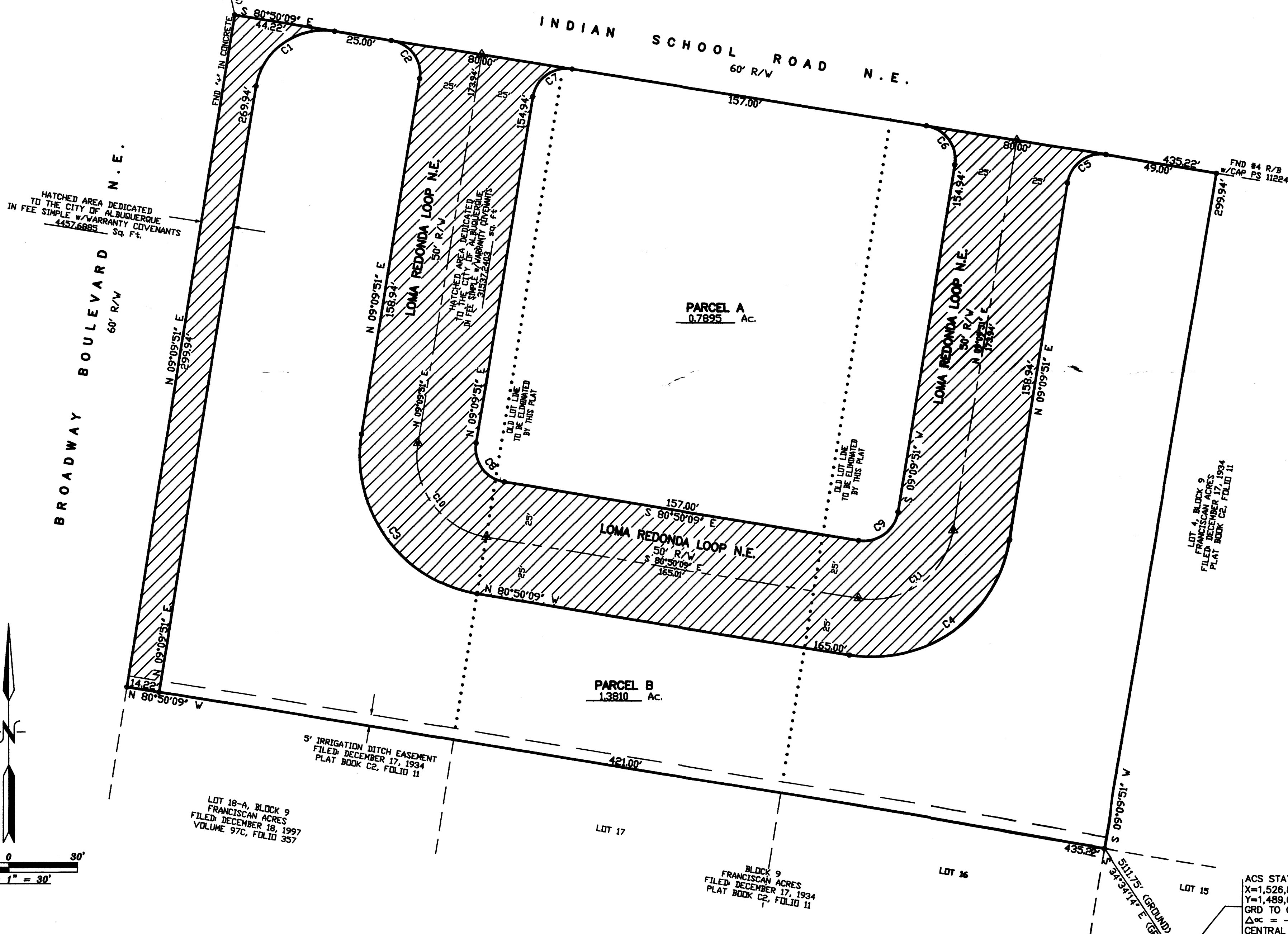
PRELIMINARY PLAT OF BROADWAY AND INDIAN SCHOOL PROPERTY

WITHIN
SECTION 8, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH 2010

ACS STATION "A-438"
X=1,523,137.246
Y=1,495,747.494
GRD TO GRID=0.999681662
 $\Delta\alpha = -00^{\circ} 13' 31.98''$
CENTRAL ZONE, NAD 1983
ELEVATION=4975.350

CURVE TABLE

NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	90°00'00"	S 54°09'51" V	30.00	47.12	42.43
C2	90°00'00"	N 35°50'09" W	15.00	23.56	21.21
C3	90°00'00"	S 35°50'09" E	61.00	95.82	86.27
C4	90°00'00"	N 54°09'51" E	61.00	95.82	86.27
C5	90°00'00"	S 54°09'51" V	15.00	23.56	21.21
C6	90°00'00"	N 35°50'09" W	15.00	23.56	21.21
C7	90°00'00"	S 54°09'51" V	15.00	23.56	21.21
C8	90°00'00"	S 35°50'09" E	15.00	23.56	21.21
C9	90°00'00"	N 54°09'51" E	15.00	23.56	21.21
C10	90°00'00"	S 35°50'09" E	36.00	56.55	50.91
C11	90°00'00"	N 54°09'51" E	36.00	56.55	50.91



HATCHED AREA DEDICATED
TO THE CITY OF ALBUQUERQUE
IN FEE SIMPLE w/WARRANTY COVENANTS
4457.6885 Sq. Ft.

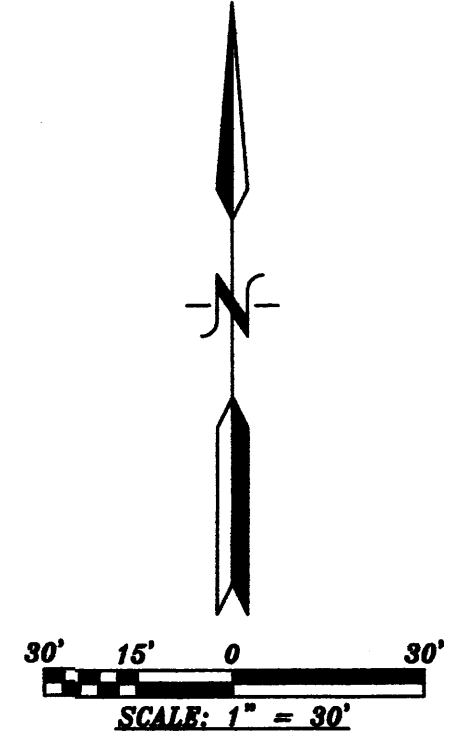
HATCHED AREA DEDICATED
TO THE CITY OF ALBUQUERQUE
IN FEE SIMPLE w/WARRANTY COVENANTS
3155.2203 Sq. Ft.

LOT 4, BLOCK 9
FRANCISCAN ACRES
FILED: DECEMBER 17, 1934
PLAT BOOK C2, FOLIO 11

LOT 18-A, BLOCK 9
FRANCISCAN ACRES
FILED: DECEMBER 18, 1997
VOLUME 97C, FOLIO 357

BLOCK 9
FRANCISCAN ACRES
FILED: DECEMBER 17, 1934
PLAT BOOK C2, FOLIO 11

ACS STATION "9-J15"
X=1,526,869.928
Y=1,489,021.809
GRD TO GRID=0.999675053
 $\Delta\alpha = -00^{\circ} 13' 05.60''$
CENTRAL ZONE, NAD 1983
ELEVATION=5093.057



Legend

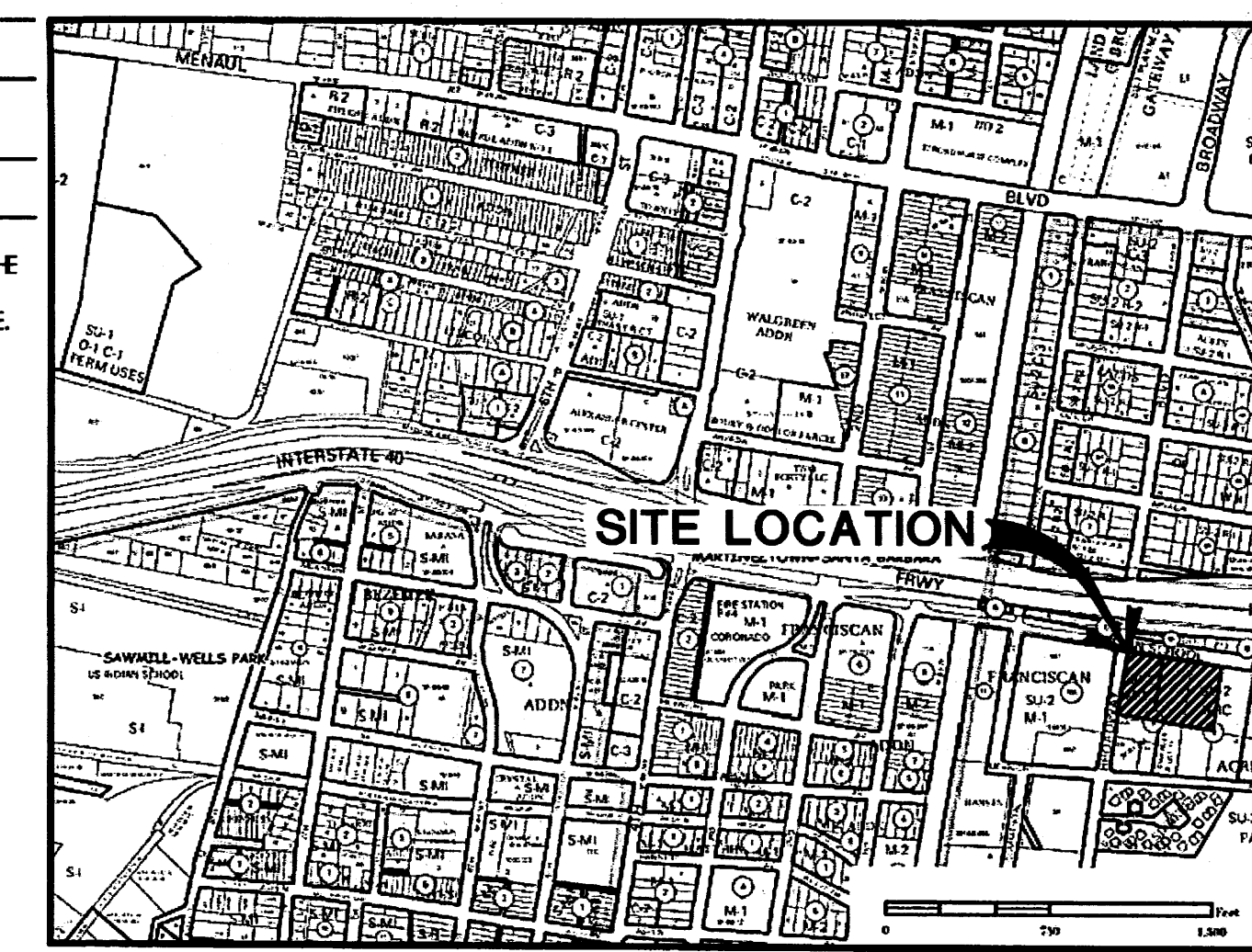
- ⊠ POLE LIGHT, SEE SHEET 9
- ⊙ POLE LIGHT, SEE SHEET 9
- ⊙ ACCENT LIGHT
- ⊙ FIRE HYDRANT, SEE OVERALL UTILITY PLAN

Transit Information

ABC RIDE OPERATES 160 ROUTES WITH IN A 1/2 MILE OF THE SITE. THE 160 ROUTES ARE 6, 7, 8, 10, 13 & 16B.

General Notes

- A. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW FROM THE ADJACENT PUBLIC R.O.W.S.
- B. DEVELOPER IS RESPONSIBLE FOR PERMANENT IMPROVEMENTS TO THE TRANSPORTATION FACILITIES ADJACENT TO THE PROPOSED SITE DEVELOPMENT PLAN.
- C. ROOF TOP SOLAR COLLECTORS ARE PERMISSIVE, AND ARE INCLUDED IN THE MAXIMUM BUILDING HEIGHT ENVELOPE.



Vicinity Map

ZONE ATLAS - H-14-Z

Keyed Notes

1. EXISTING CURB
2. NEW CURB PER C.O.A. STANDARDS
3. 3' HIGH FRONT YARD WALLS SET AT R.O.W. LINE TYP., SEE ELEVATIONS.
4. 4' HIGH SCREEN WALLS, SEE ELEVATIONS.
5. 5' HIGH SIDE YARD WALLS, SEE ELEVATIONS.
6. 6' HIGH SITE WALLS TYP. AT PROPERTY LINE, 10' SETBACK AT BROADWAY, SEE ELEVATIONS.
7. RECYCLING ENCLOSURE PER C.O.A. STANDARDS, 6' HIGH WALL WITH STEEL ROLLING GATE ON TRACK.
8. NEW ACCESSIBLE RAMPS PER C.O.A. STANDARDS, TYP.
9. SITE LIGHTING PER C.O.A. STANDARD AT STREET R.O.W., SEE SHEET 9 FOR OFF-STREET LIGHTING, AT YARD WALLS, USE STANDARD RESIDENTIAL FIXTURE, THAT COMPLY WITH COA LIGHTING RESTRICTIONS, RECESSED CAN DOWN LIGHT TYPE FIXTURES WILL BE UTILIZED IN SOFFIT ABOVE ALL ENTRIES.
10. PLAY STRUCTURE
11. DETENTION POND CULVERT, SEE PRELIMINARY GRADING PLAN
12. EXISTING BUILDINGS TO BE DEMOLISHED ALONG WITH ANY EXISTING CHAIN LINK FENCING AND ANY MISC. STRUCTURES
13. PRECAST CONC. WHEEL STOPS
14. 6' WIDE STEEL PICKET FENCE SECTION SEE ELEVATIONS.
15. ACCESSIBLE PARKING SIGN, SEE DETAIL F.
16. BIKE LOCK LOOP TYP. OF 16B
17. MOTORCYCLE PARKING TYP. OF 17B WITH SIGN, SEE SIGN DETAIL F.
18. TEXTURED AND COLORED CONCRETE CROSSWALK

Phasing Legend

- 1 - ORDER OF OCCURRENCE
- 1 (B) ROWHOUSES (22,008 SQFT.) WITH ASSOCIATED SIDEWALKS, (24) SPACE PARKING LOT, APPROXIMATELY 657 OF STREET WITH CURB AND GUTTER, & A .270 ACRES PLAYGROUND.
- 2 (24) FLATS (22,008 SQFT.) WITH ASSOCIATED SIDEWALKS, (24) SPACE PARKING LOT WITH ALL ASSOCIATED CURB, GUTTER AND SIDEWALKS, & (0) RECYCLE ENCLOSURES.
- 3 (24) FLATS (22,008 SQFT.) WITH ASSOCIATED SIDEWALKS, (24) SPACE PARKING LOT WITH ALL ASSOCIATED CURB, GUTTER AND SIDEWALKS, & (0) RECYCLE ENCLOSURES.

Site Information

EXISTING SITE AREA: 3.00 ACRES, PROPOSED SITE AREA AFTER STREET DEDICATIONS: 2.17 ACRES
 EXISTING SITE ZONING: SU-2 FOR M-1 & SU-2 FOR MRC
 PROPOSED ZONING FOR ALL LOTS & PARCELS: SU-2/SU-1 FOR PRD
 OVERALL GROSS DENSITY: 22.0 D.U. PER ACRE
 NET DENSITY: 30.41 D.U. PER ACRE
 FLOOR AREA RATIO - BUILDINGS: ROWHOUSES: 24.14 SQ.FT. / FLAT
 SITE: 94,544 SQ.FT. / 39,888 SQ.FT.
 F.A.R.: 0.68
 UNIT BREAKDOWNS - ROWHOUSES: 18 TOTAL (18) 1240 SQ.FT. - 3 BDRM., 2 BATH
 FLATS: 48 TOTAL (48) 917 SQ.FT. - 2 BDRM., 1 BATH
 PARKING CALCULATION: (18x2) + (48x1.5) = 108 SPACES
 PARKING PROVIDED: 109 SPACES (INCL. 50% ON PUBLIC STREETS)
 OFF STREET PARKING: 73 SPACES
 ON STREET PARKING: 36 SPACES
 OFF STREET COMPACT PARKING: 19 SPACES
 OFF STREET STANDARD PARKING: 52 SPACES
 DISABLED PARKING REQUIRED: 4 SPACES
 DISABLED PARKING PROVIDED: 4 SPACES
 MOTORCYCLES: FOR 51-100 CARS: 3 SPACES
 BIKES: (MULTI-FAMILY ONLY) 48/2 = 24
 BIKE SPACES PROVIDED: (16) GROUND FLOOR PATIOS & (16) LOCK LOOPS

SITE AREA: 130,641 SQ.FT. TOTAL EXISTING SITE
 - 4,458 SQ.FT. DEDICATED TO C.O.A. NEW R.O.W. ON BROADWAY
 - 31,532 SQ.FT. DEDICATED TO C.O.A. NEW STREET R.O.W.
 94,544 SQ.FT. NET SITE AREA

COMMON GREEN AREA: 11,767 SQ.FT. - .270 ACRES
 MAXIMUM / MINIMUM LOT SIZES: 1071 SQ.FT./ROWHOUSE / 14529 SQ.FT./FLATS
 MAXIMUM BUILDING ENVELOPE HEIGHT: FLATS BUILDING: 42'-0" / ROWHOUSES: 28'-0" ABOVE AVERAGE FINISH GRADE (INCLUDING ALL CHIMNEYS AND ROOF TOP SOLAR COLLECTORS).
 MINIMUM SETBACKS: FRONT YARD: 5.33' FLATS / 6.67' ROWHOUSES
 REAR YARD: 9.5' MIN.
 SIDE YARD: 3.5' MIN. / 10' AT CORNER

PROJECT NUMBER: 1007649
 Application Number: 09EPC-40006

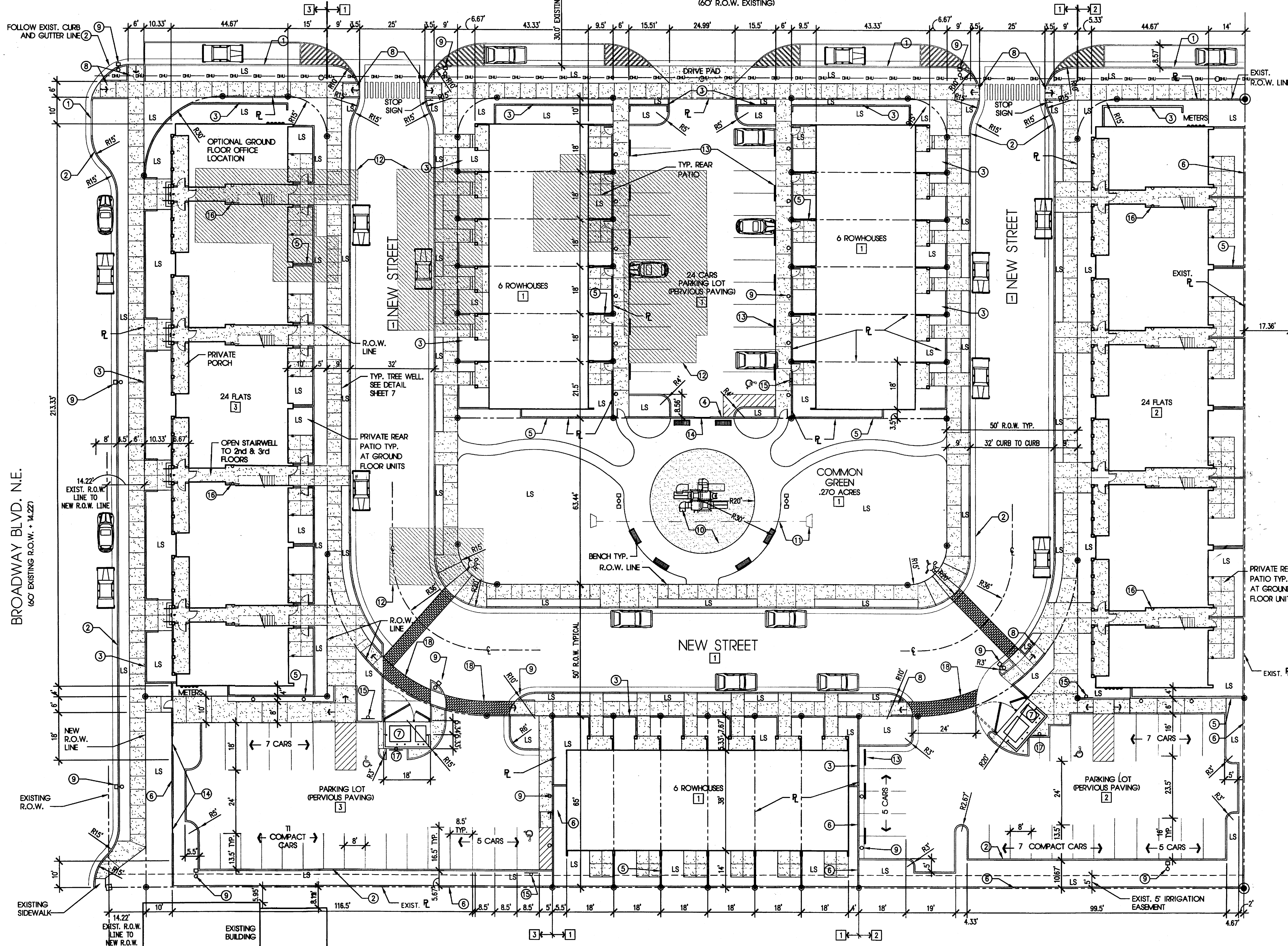
This plan is consistent with the specific Site Development Plan Approved by the Environmental Planning Commission (EPC), dated May 6, 2009 and the finding and conditions in the Official Notification of Decision are satisfied.

IS AN INFRASTRUCTURE LIST REQUIRED? () Yes () No
 If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

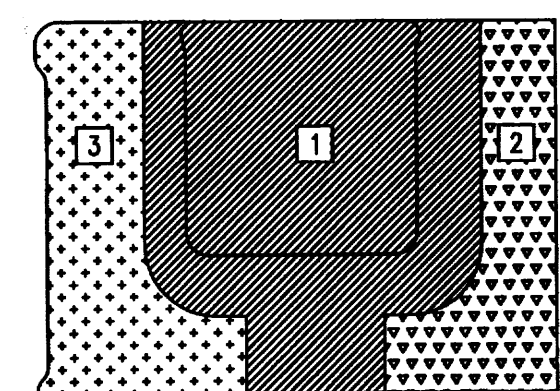
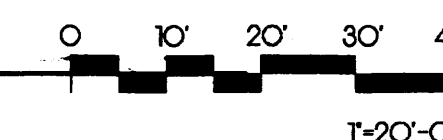
Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

INDIAN SCHOOL ROAD N.E.
(60' R.O.W. EXISTING)



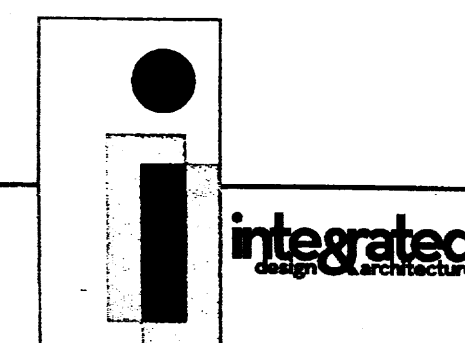
SITE PLAN

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
INDIAN SCHOOL AND BROADWAY**



PHASING DIAGRAM
SEE PHASING LEGEND

June, 12, 2009



Keyed Notes

1. ASPHALT PAVING (IMPERVIOUS).
2. CONCRETE SIDEWALK (IMPERVIOUS).
3. PLANTING AREA (PERVIOUS).
4. CRUSHED FINE PATH (PERVIOUS).
5. PLAY AREA SAND (PERVIOUS).
6. PLUG AND SEED NATIVE TURF MIX (PERVIOUS).
7. STORM DRAINAGE AND AQUIFER RECHARGE ZONE (PERVIOUS).
8. TREE: SEE TREE/SHRUB LEGEND FOR SIZE, AMOUNT AND SPECIES LOCATE AS SHOWN OR CONSULT ARCHITECT, SEE DETAILS SHEET 9.
9. PONDING CURBERT SEE PRELIMINARY GRADING PLAN.
10. TREE WELL WITH WATER HARVESTING CURB CUT, SEE DETAIL A SHEET 9, OCCURS ON NEW STREET ONLY.

INDICATES LANDSCAPE AREAS TO BE LANDSCAPED AND MAINTAINED BY FUTURE RESIDENTS

General Notes

- ALL PLANTING BEDS SHALL BE MULCHED, UNLESS OTHERWISE STATED ON THE PLAN. SEE PLANS FOR TYPE AND LOCATION.
- TREE LOCATIONS AS SHOWN ARE SCHEMATIC AND MAY VARY BASED ON SIGNAGE LOCATIONS AND OTHER SITE CONSTRAINTS. TREE LOCATIONS SHALL COMPLY WITH ALL JURISDICTIONAL ORDINANCES WHICH APPLY.
- AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM IS TO BE DESIGNED AND CONSTRUCTED FOR ALL INSTALLED PLANT MATERIALS. TREES WILL BE IRRIGATED WITH A LOW FLOW BUBBLER SYSTEM AND SHRUBS AND GROUND COVERS WILL BE IRRIGATED WITH A DRIP EMITTER SYSTEM.
- AT MATURITY, PLANTS WILL PROVIDE MINIMUM COVERAGE OF 75% OF THE LANDSCAPE AREA.
- LANDSCAPE PLAN WILL MEET THE REQUIREMENTS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.
- THE LANDSCAPE DESIGN WILL EMPHASIZE WATER-CONSERVATIVE PLANTING AND IS INTENDED TO COMPLEMENT THE ADJACENT NEIGHBORHOOD PLANTINGS, WHILE PROVIDING INDIVIDUAL OWNER MAINTAINED "EDIBLE" LANDSCAPE IN PRIVATE PATIO AREAS.
- ALL PLANT MATERIALS AT INTERSECTIONS WILL FOLLOW CLEAR SIGHT TRIANGLE GUIDELINES, EXCEPT AT PRIVATE PATIOS, ALL PROPOSED LANDSCAPING IS TO BE ESTABLISHED AS GENERAL LANDSCAPING.
- MAINTENANCE OF THE COMMON AREA LANDSCAPE AND IRRIGATION SYSTEM, INCLUDING THOSE AREAS WITHIN THE PUBLIC RIGHT-OF-WAY, SHALL BE THE RESPONSIBILITY OF THE H.O.A. FINAL DETERMINATION OF AREAS TO BE IDENTIFIED DURING PLATTING, MAINTENANCE OF PRIVATE PATIO L.S. BY OWNERS.
- STREET TREES SHALL BE CO-LOCATED WITH (6) 1-GALLON INDIAN RICEGRASS CLUMPS PER TREE, SEE DETAIL A SHEET 9.
- TREES TO BE 2.5" CALIPER AT PLANTING AND ALL OTHER VEGETATION TO BE 1 GALLON MIN. AT PLANTING.

Tree/Shrub Legend

FOR PLANTING DETAILS SEE SHEET 9. (100% OF PLANTS ARE DECIDUOUS)

BOTANICAL NAME	COMMON NAME	MATURE SIZE (HT. x W.)	WATER USE
STREET TREES:			
(27) ROBINIA X AMBIGUA	IDAHO LOCUST	40' x 30'	MEDIUM
(27) PISTACIA CHINENSIS	CHINESE PISTACHE	50' x 40'	MEDIUM
(27) FRAXINUS VELUTINA	ARIZONA ASH	30' x 20'	MEDIUM
ACCENT TREE:			
(12) SAMBUCUS MEXICANA	MEXICAN ELDER	20' x 25'	LOW+
NOTE: ACCENT TREE TO BE USED ONLY WHEN OVERHEAD RESTRICTIONS DO NOT ALLOW THE STREET TREES TO BE USED.			
CHILOPSIS LINEARIS	DESERT WILLOW	20' x 25'	LOW
HESPERALOE PARVIFLORA	TEXAS RED YUCCA	3' x 3'	MEDIUM
YUCCA GLUCA	SMALL SOAPWEED	2' x 2'	LOW
ROSMARINUS OFFICINALIS	UPRIGHT ROSEMARY	6' x 6'	LOW
SALVIA GEGGII	AUTUMN SAGE	2' x 3'	MEDIUM
ANISACANTHUS THURBEII	DESERT HONEYSUCCLE	3' x 3'	LOW
ERICAMERIA LARICIFOLIA	TURPENTINE BUSH	3' x 3'	LOW
COTONEASTER APICULATUS	CRANBERRY COTONEASTER	3' x 4'	MEDIUM
MISCANTHUS SINENSIS	MAIDEN HAIR GRASS	5' x 4'	MEDIUM
ORYZOPSIS HYMENOIDES	INDIAN RICEGRASS	1' x 1'-6"	MEDIUM
BUCHLOE DACTYLOIDES	BUFFALOGRASS	6500 SQ.FT.	MEDIUM

Landscape Area Calculations

SITE SQUARE FOOTAGES:	130,641	SQ. FT.	TOTAL EXISTING SITE
	-4,458	SQ. FT.	DEDICATED TO C.O.A. NEW R.O.W. ON BROADWAY
	-31,539	SQ. FT.	DEDICATED TO C.O.A. NEW STREET R.O.W.
	-21,901	SQ. FT.	PRIVATE LOT FOR ROW HOUSE (LOTS 2 THRU 21)
	-8,746	SQ. FT.	FLATS BUILDING FOOTPRINT AREA
	53,897	SQ. FT.	NET LOT AREA
	8,085	SQ. FT.	REQUIRED LANDSCAPE AREA
LANDSCAPE AREA PROVIDED:	ON-SITE LANDSCAPE AREA*	15,803	SQ. FT.
	OFF-SITE LANDSCAPE AREA*	8,006	SQ. FT.
	TOTAL LANDSCAPE AREA*	23,809	SQ. FT.
LANDSCAPE AREA PROVIDED 23,809 SQ. FT. > 8,085 SQ. FT. LANDSCAPE COVERAGE REQUIRED			
LANDSCAPING COVERAGE SQUARE FOOTAGE:	8,085	SQ. FT.	REQUIRED LANDSCAPE AREA
	75%		REQUIRED LANDSCAPE COVERAGE PERCENTAGE
	6,064	SQ. FT.	REQUIRED LANDSCAPE COVERAGE
QUANTITY:	COMMON NAME	INDIVIDUAL SQ. FT.	TOTAL SQ. FT.
460	INDIAN RICEGRASS	0.78	358
50	TEXAS RED YUCCA	15	750
60	SMALL SOAPWEED	10	600
32	UPRIGHT ROSEMARY	30	960
66	AUTUMN SAGE	15	990
25	DESERT HONEYSUCCLE	15	375
39	TURPENTINE BUSH	15	585
35	CRANBERRY COTONEASTER	20	700
49	MAIDEN HAIR GRASS	20	980
	BUFFALOGRASS (18.64')		-1212
LANDSCAPE COVERAGE PROVIDED 7,440 SQ. FT. > LANDSCAPE COVERAGE REQUIRED 6,064 SQ. FT.			

TREE CALCULATIONS

TREES REQUIRED:

OFF STREET PARKING:
 PARKING PROVIDED: 73 ON SITE (OFF STREET PARKING)
 TREES REQUIRED: 1 PER 10 PARKING SPACES = 8 TREES

UNIT TREES (FLATS):
 NUMBER OF GROUND FLOOR UNITS: 16 UNITS
 NUMBER OF SECOND FLOOR UNITS: 16 UNITS
 TOTAL NUMBER OF UNITS: 32 UNITS
 TREES REQUIRED (1 PER 1ST & HALF OF 2ND FLOOR UNITS): 24 TREES

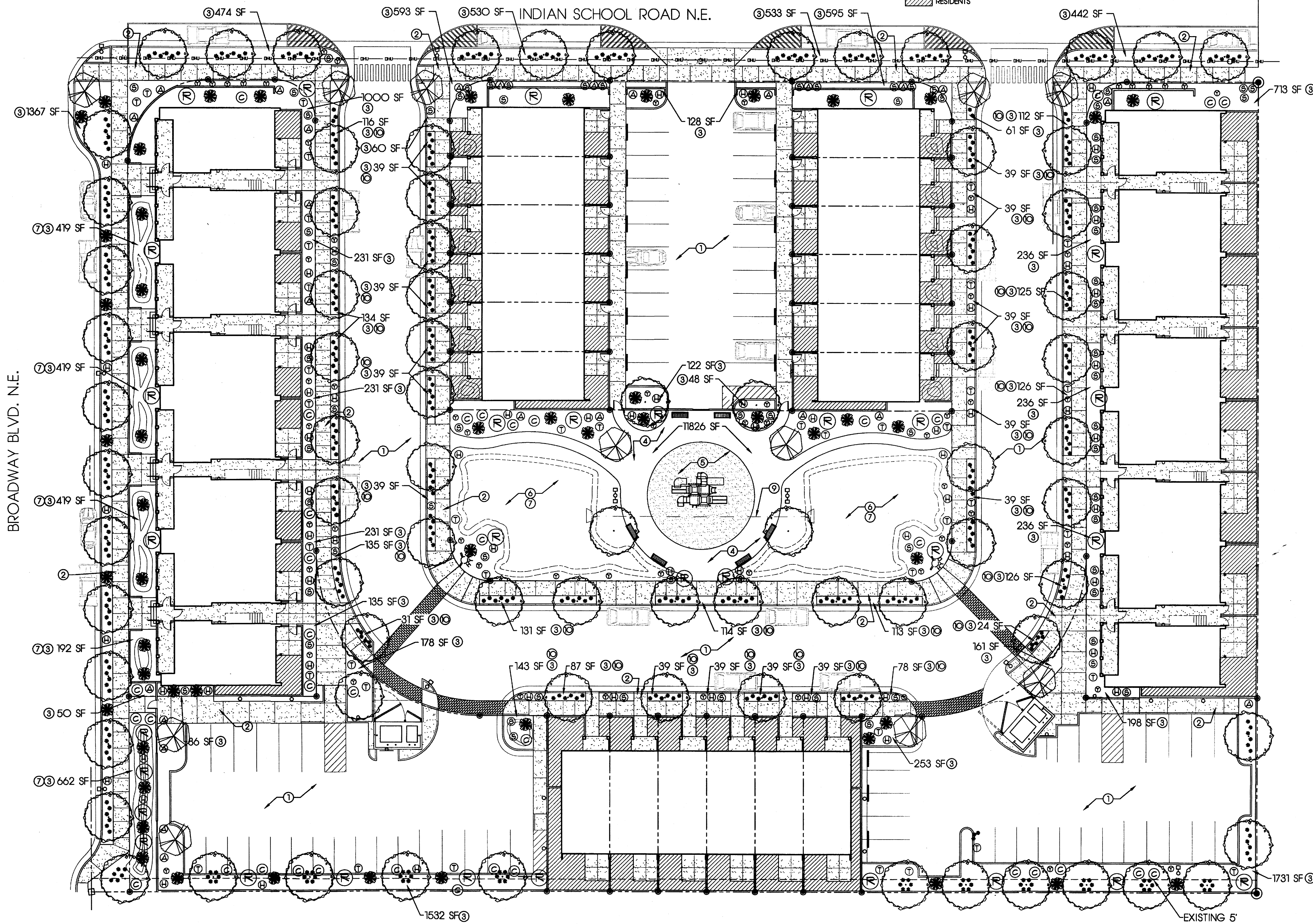
STREET TREES:
 TREES PROVIDED ON BROADWAY (30'-0" O.C. MAX): 13 TREES

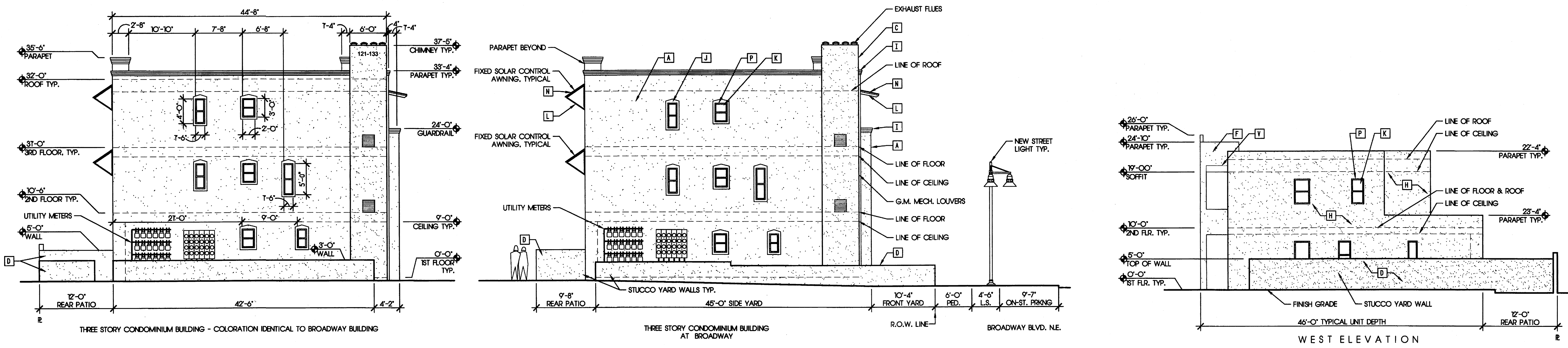
TOTAL TREES REQUIRED: 44 TREES

TOTAL TREES PROVIDED:
 81 STREET TREES
 13 DESERT WILLOW
 94 TOTAL TREES PROVIDED

TREES PROVIDED: 94 > 44 TREES REQUIRED

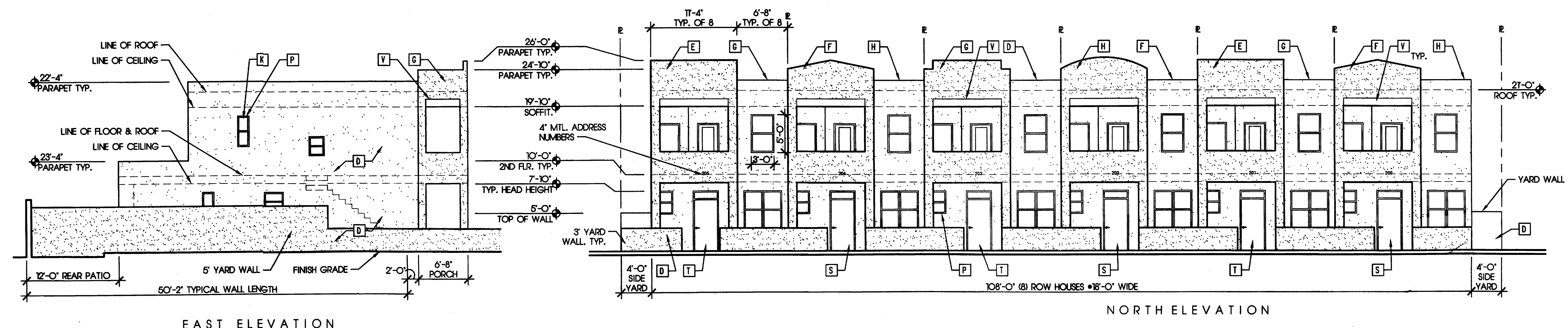
NOTE: TREES ALONG INDIAN SCHOOL AND THE NEW STREET ARE COUNTED TOWARDS UNIT TREES, SINCE THEY ARE NOT CLASSIFIED AS ARTERIAL OR COLLECTOR STREET.





A NORTH ELEVATION - CONDOMINIUM BUILDING
VIEW FROM INDIAN SCHOOL ROAD N.E.

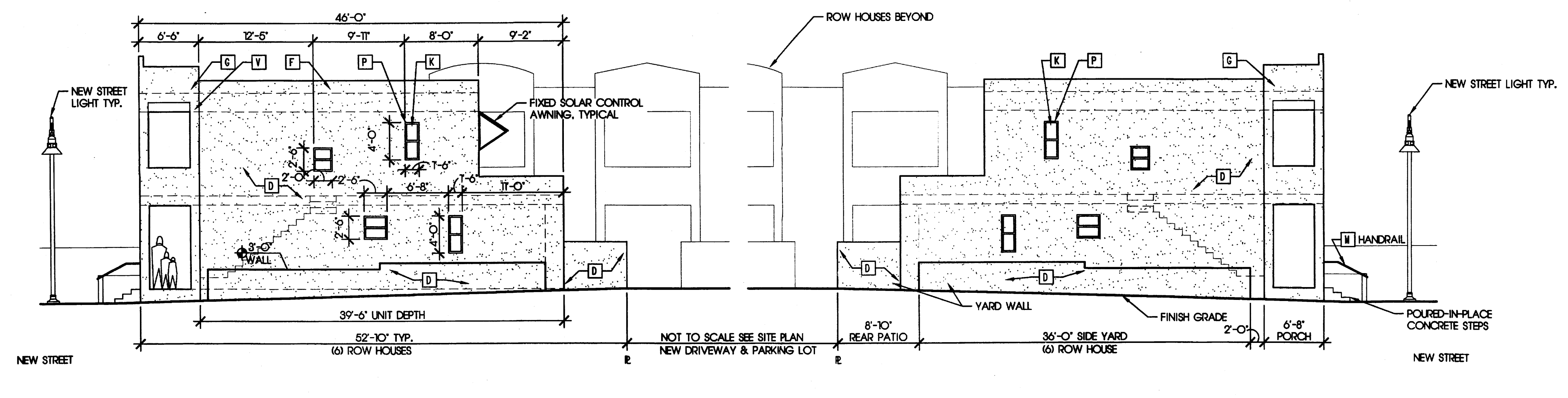
B ROW HOUSES ELEVATION
VIEW FROM PARKING LOT



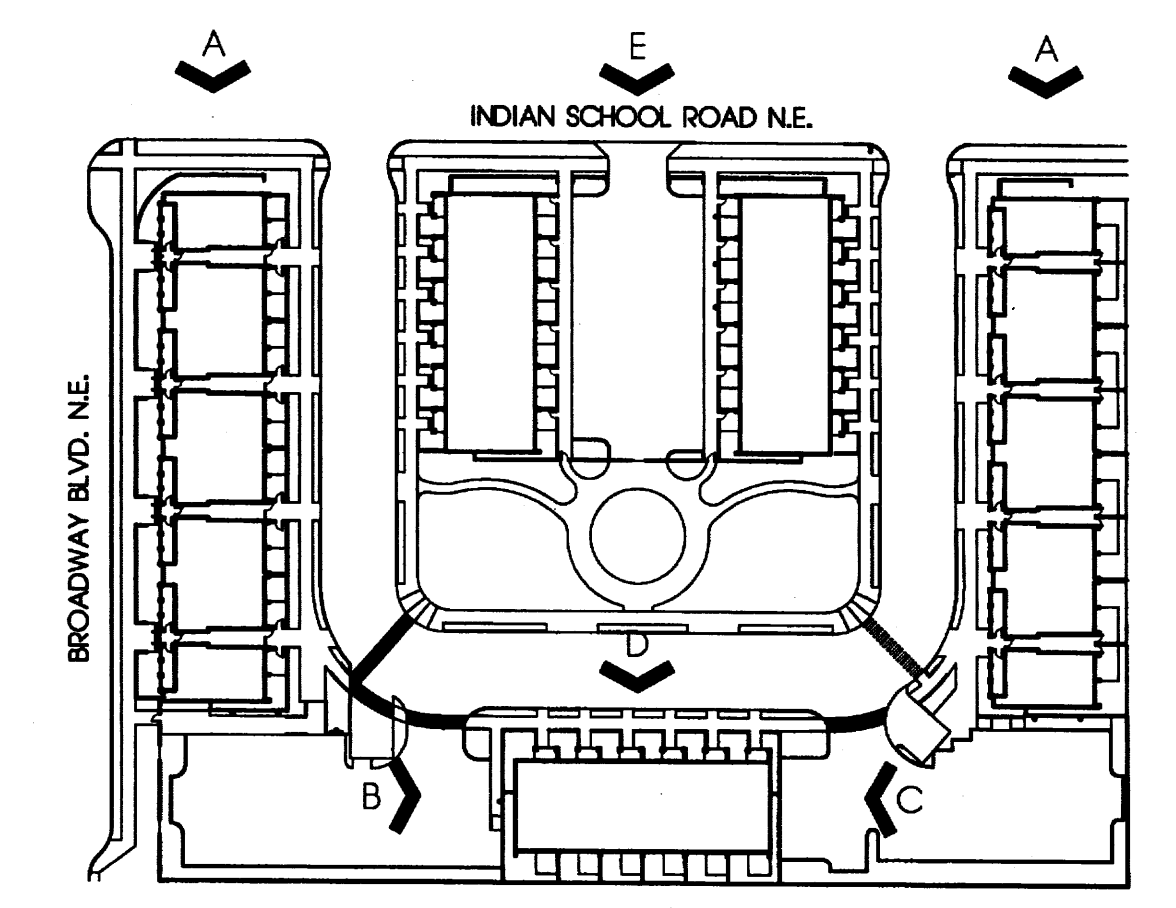
C ROW HOUSES ELEVATIONS
VIEW FROM PARKING LOT

D ROW HOUSES ELEVATIONS
TYPICAL ROW HOUSE ELEVATIONS VIEW FROM NEW STREET

- MATERIALS KEY**
- A STUCCO COLOR - ORANGE - STO COLOR 31402.
 - B STUCCO COLOR - YELLOW - STO COLOR 31301.
 - C STUCCO COLOR - BURNT ORANGE - STO COLOR 32110.
 - D STUCCO COLOR - LIGHT BROWN - STO COLOR 31413
 - E STUCCO COLOR - ROSE - STO COLOR 32413.
 - F STUCCO COLOR - LIGHT BLUE - STO COLOR 35222.
 - G STUCCO COLOR - GREEN - STO COLOR 36122.
 - H STUCCO COLOR - LIGHT GREEN - STO COLOR 36236.
 - I STUCCO COLOR - DARK RED (TRIM) - STO COLOR 33141
 - J STUCCO COLOR - WHITE (TRIM) - STO COLOR 31409.
 - K TYPICAL GLASS - LOW 'E' AND GRAY TINTED (SHGC 60) GLASS TYPICAL EAST AND NORTH EXPOSURES & UNDER PORCH ROOFS LOW 'E' (SHGC 60) CLEAR GLASS.
 - L PAINTED STEEL OR WOOD - WHITE - KWAL PAINT COLOR DEEP FEATHER.
 - M METAL GUARDS & HANDRAILS - SILVER PERFORATED METAL GUARDS WHITE TUBE STEEL GUARDRAILS.
 - N 5V METAL ROOFING - MANUFACTURERS STANDARD RED OR GALVANIZED FINISH TYPICAL.
 - P ALUMINUM CLAD WINDOWS - WHITE. TYPICAL.
 - Q PAINTED STEEL FENCING - SILVER.
 - R PAINTED STEEL GATE - SILVER.
 - S DOOR COLOR A - DARK BLUE - KWAL PAINT COLOR TADPOLE
 - T DOOR COLOR B - DARK RED - KWAL PAINT COLOR BULLET MARK
 - U DOOR COLOR C - BLUE - KWAL PAINT COLOR BLUE MINE
 - V FIBER CEMENT PANEL - PAINTED WHITE - KWAL PAINT COLOR DEEP FEATHER, TYPICAL AT ALL FASCIAS

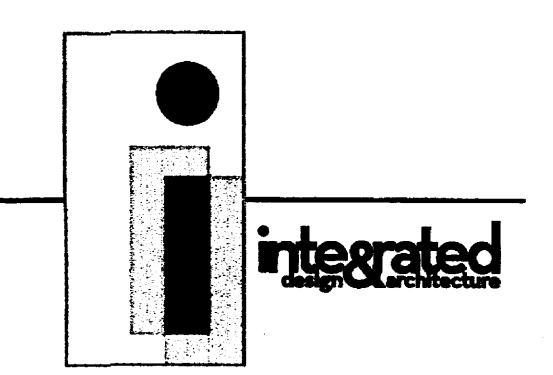


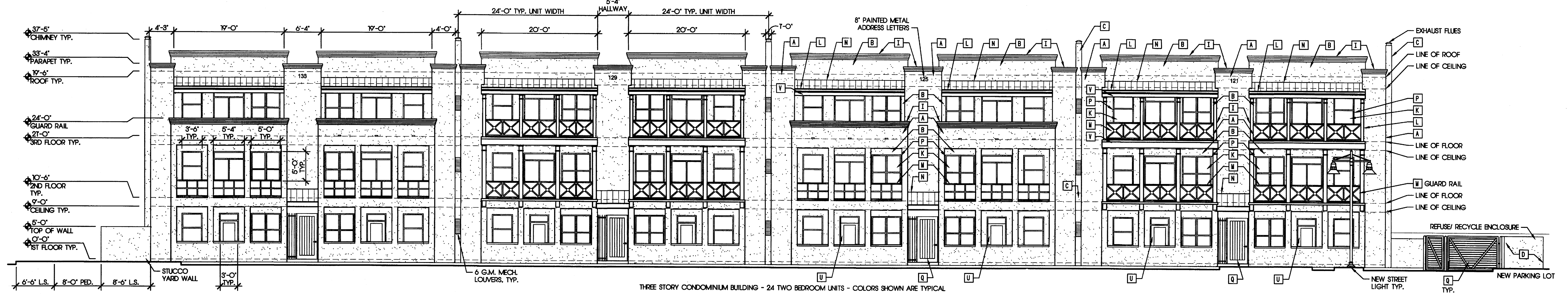
E NORTH ELEVATION - ROW HOUSES
VIEW FROM INDIAN SCHOOL ROAD N.E.



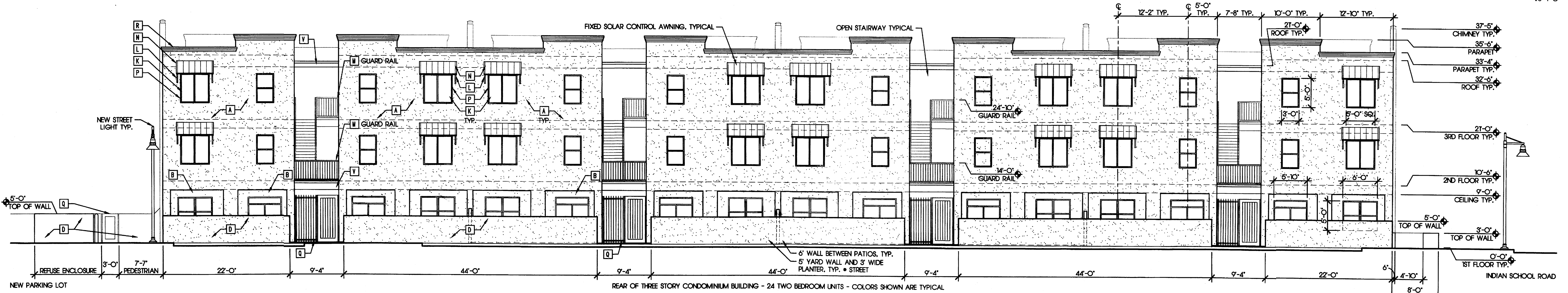
KEY PLAN

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
INDIAN SCHOOL AND BROADWAY**



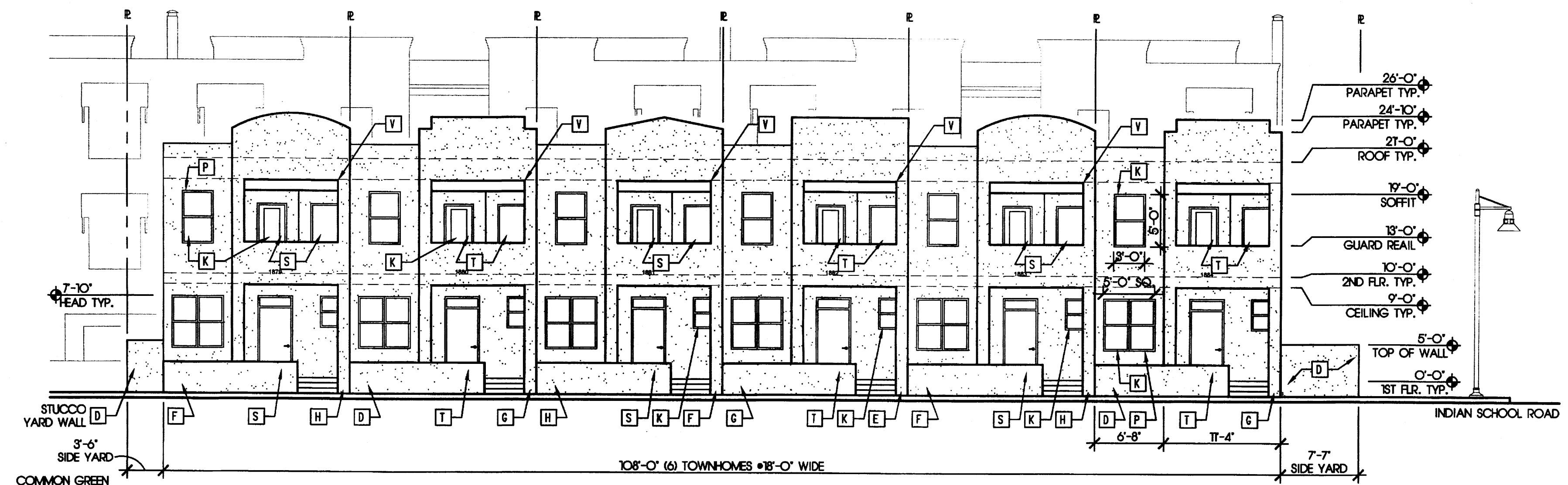


(A) WEST ELEVATION - CONDOMINIUM BUILDING (PHASE 1 & 2)
VIEW FROM NEW STREET

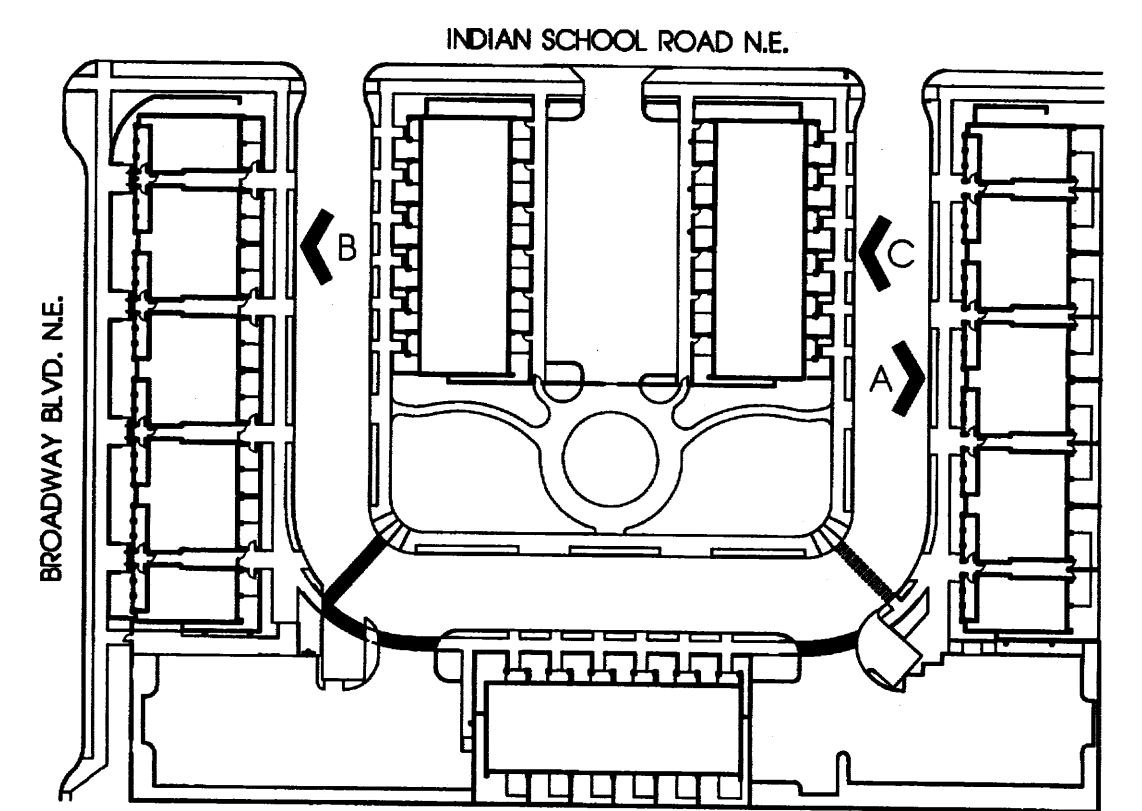


(B) EAST ELEVATION - CONDOMINIUM BUILDING
VIEW FROM NEW STREET

- MATERIALS KEY**
- A STUCCO COLOR - ORANGE - STO COLOR 31402.
 - B STUCCO COLOR - YELLOW - STO COLOR 31801.
 - C STUCCO COLOR - BURNT ORANGE - STO COLOR 32110.
 - D STUCCO COLOR - LIGHT BROWN - STO COLOR 31413.
 - E STUCCO COLOR - ROSE - STO COLOR 32413.
 - F STUCCO COLOR - LIGHT BLUE - STO COLOR 35222.
 - G STUCCO COLOR - GREEN - STO COLOR 36122.
 - H STUCCO COLOR - LIGHT GREEN - STO COLOR 36236.
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 - N 5V METAL ROOFING - MANUFACTURERS STANDARD RED OR GALVANIZED FINISH TYPICAL.
 - P ALUMINUM CLAD WINDOWS - WHITE, TYPICAL.
 - Q PAINTED STEEL FENCING - SILVER.
 - R PAINTED STEEL GATE - SILVER.
 - S DOOR COLOR A - DARK BLUE - KVAL PAINT COLOR TADPOLE
 - T DOOR COLOR B - DARK RED - KVAL PAINT COLOR BULLET MARK
 - U DOOR COLOR C - BLUE - KVAL PAINT COLOR BLUE MINE
 - V FIBER CEMENT PANEL - PAINTED WHITE - KVAL PAINT COLOR DEEP FEATHER, TYPICAL AT ALL FASCIAS

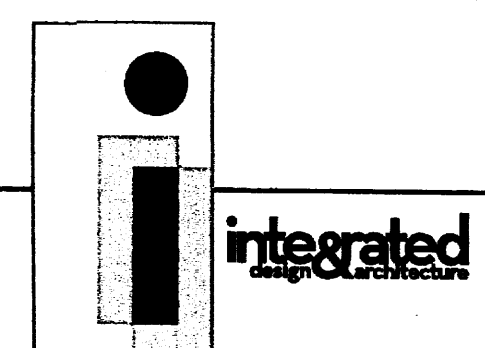


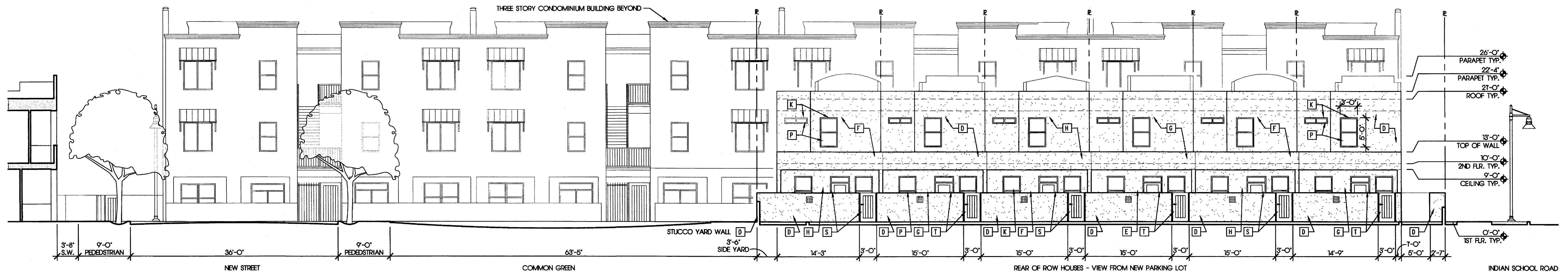
(C) EAST ELEVATION - ROW HOUSES
VIEW FROM NEW STREET



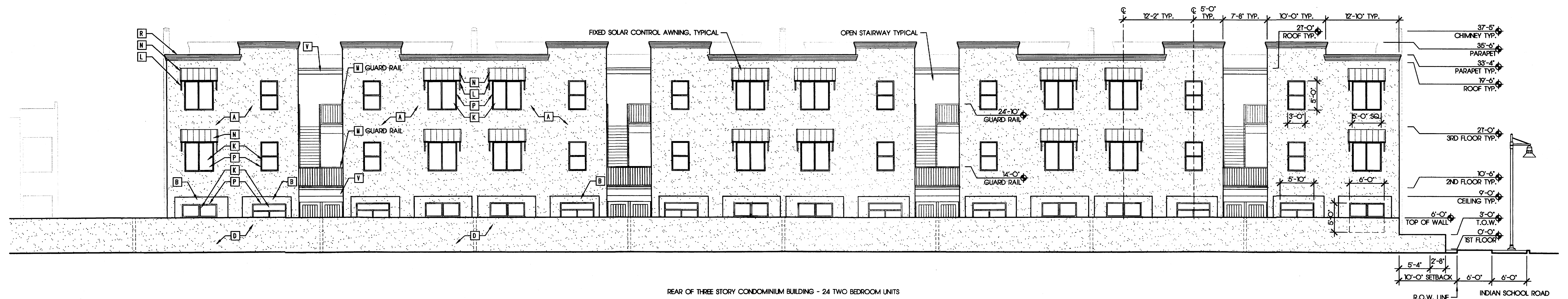
KEY PLAN

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
INDIAN SCHOOL AND BROADWAY**





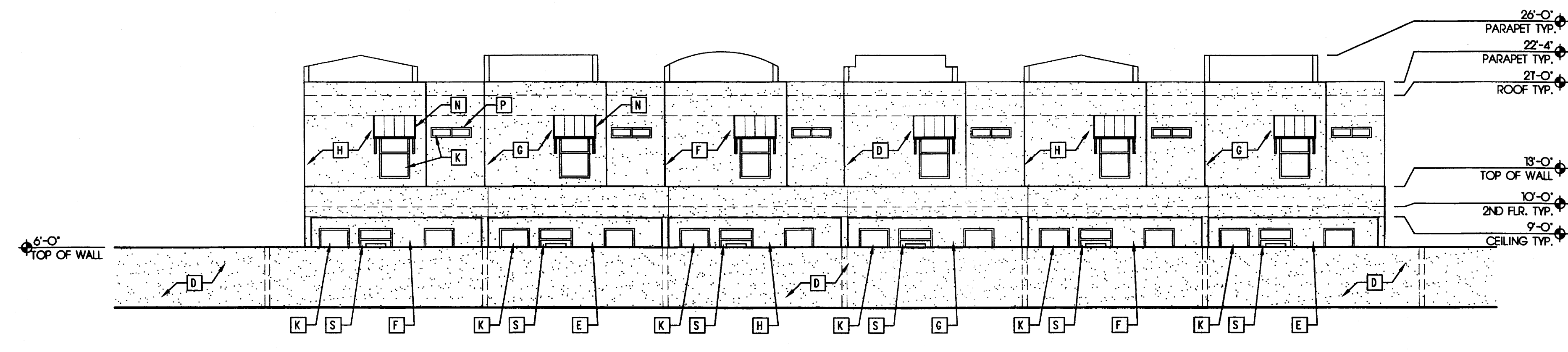
A EAST ELEVATION ROW HOUSES AND SECTION



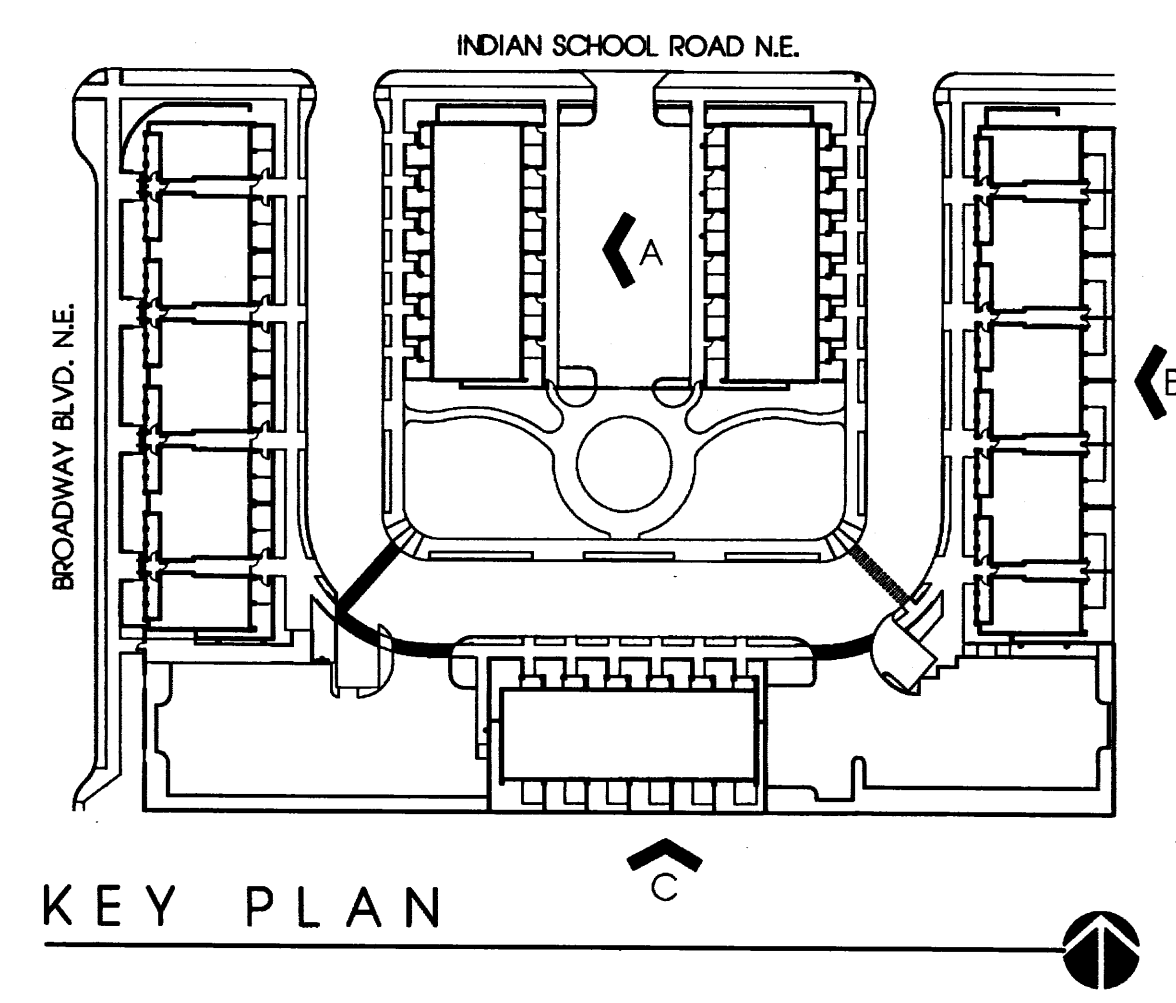
B EAST ELEVATION - CONDOMINIUM BUILDING
VIEW FROM ADJACENT PROPERTY

MATERIALS KEY

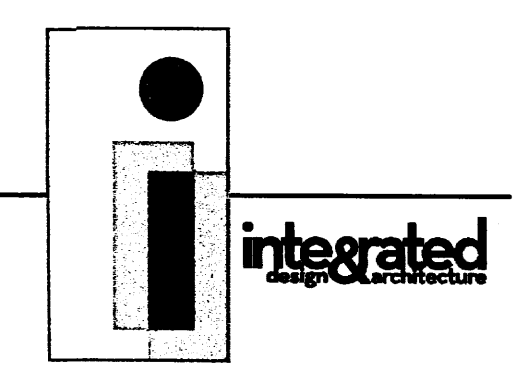
- A** STUCCO COLOR - ORANGE - STO COLOR 31402.
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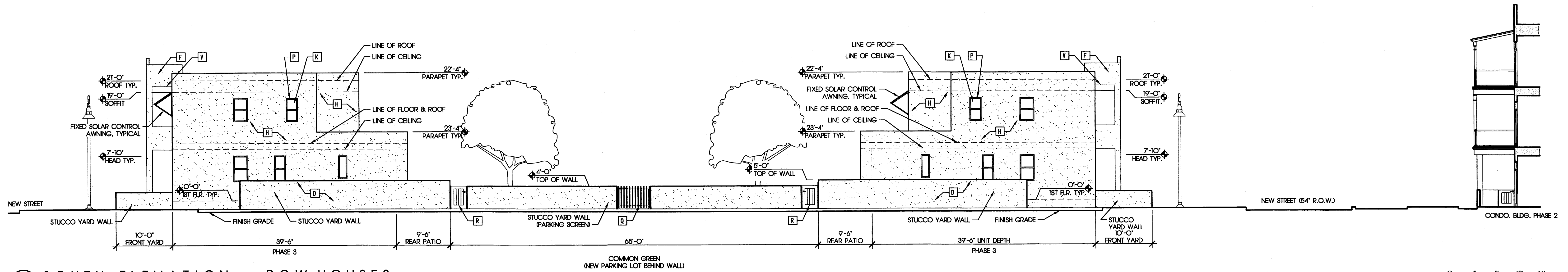


C SOUTH ELEVATION ROW HOUSES
VIEW FROM ADJACENT PROPERTY

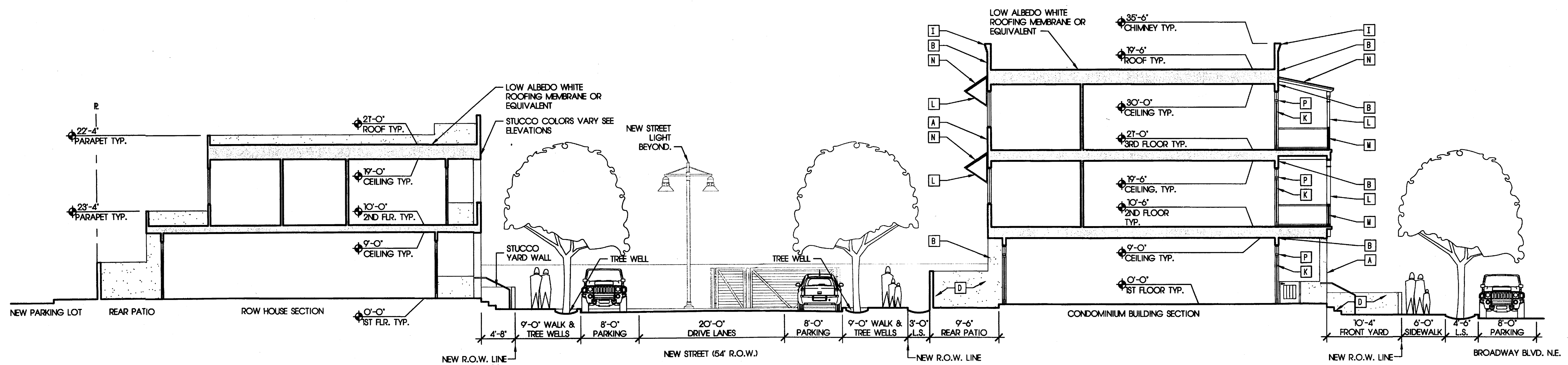


**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
INDIAN SCHOOL AND BROADWAY**





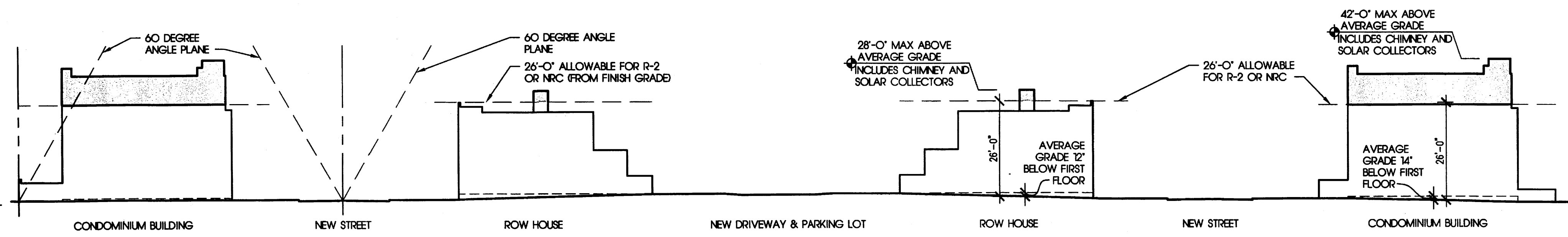
A SOUTH ELEVATION - ROW HOUSES
VIEW FROM COMMON GREEN



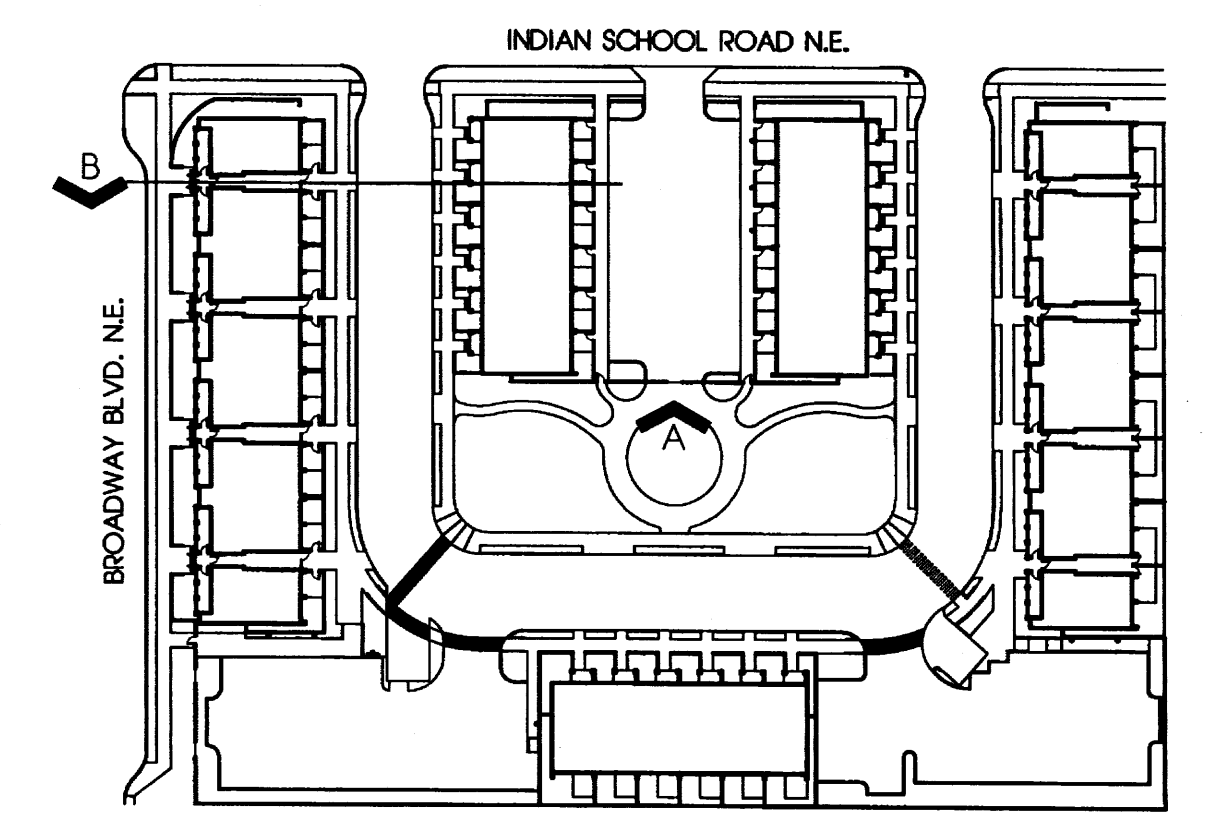
B TYPICAL NEW STREET SECTION
VIEW FROM INDIAN SCHOOL

MATERIALS KEY

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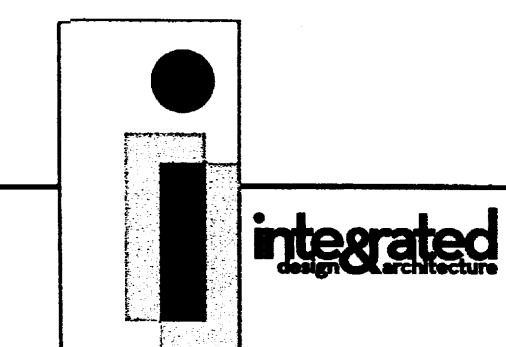
C BUILDING HEIGHT DIAGRAM
VIEW FROM INDIAN SCHOOL

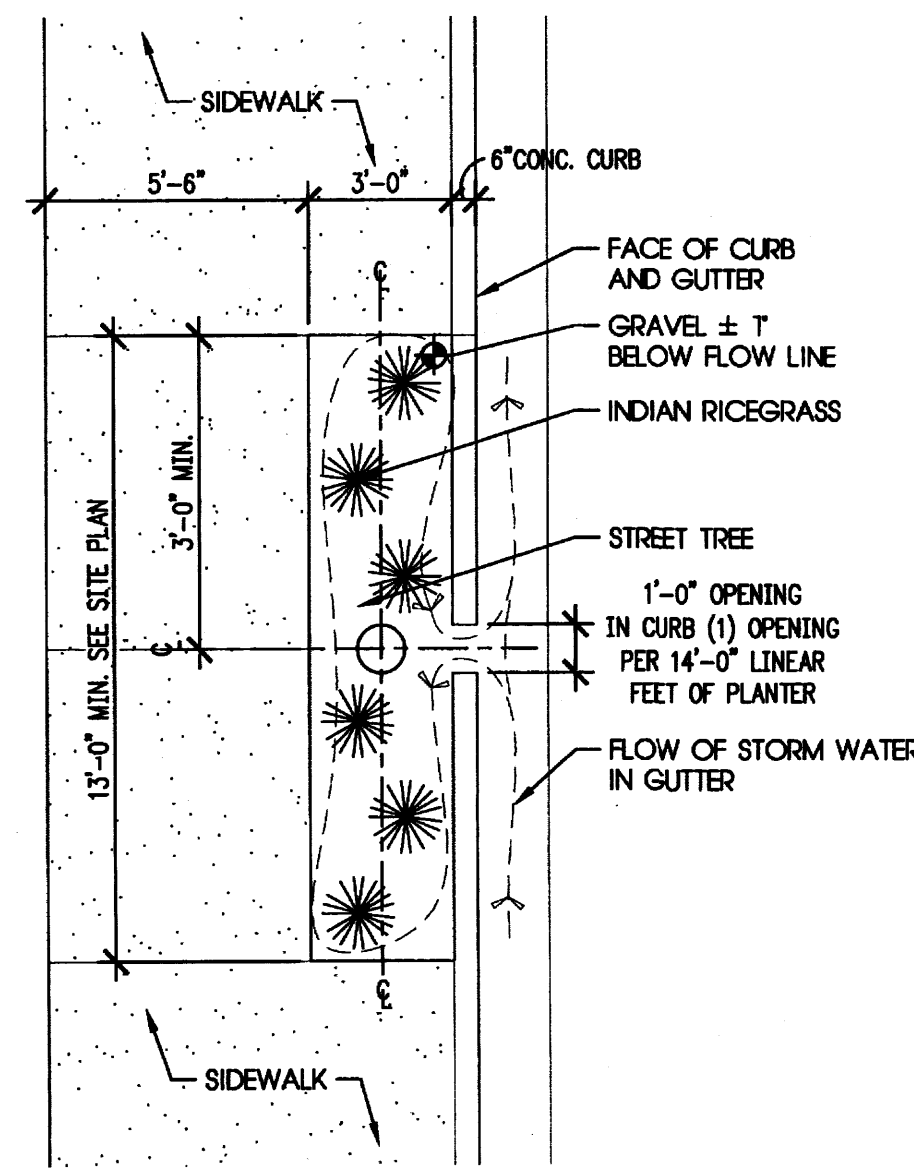


KEY PLAN

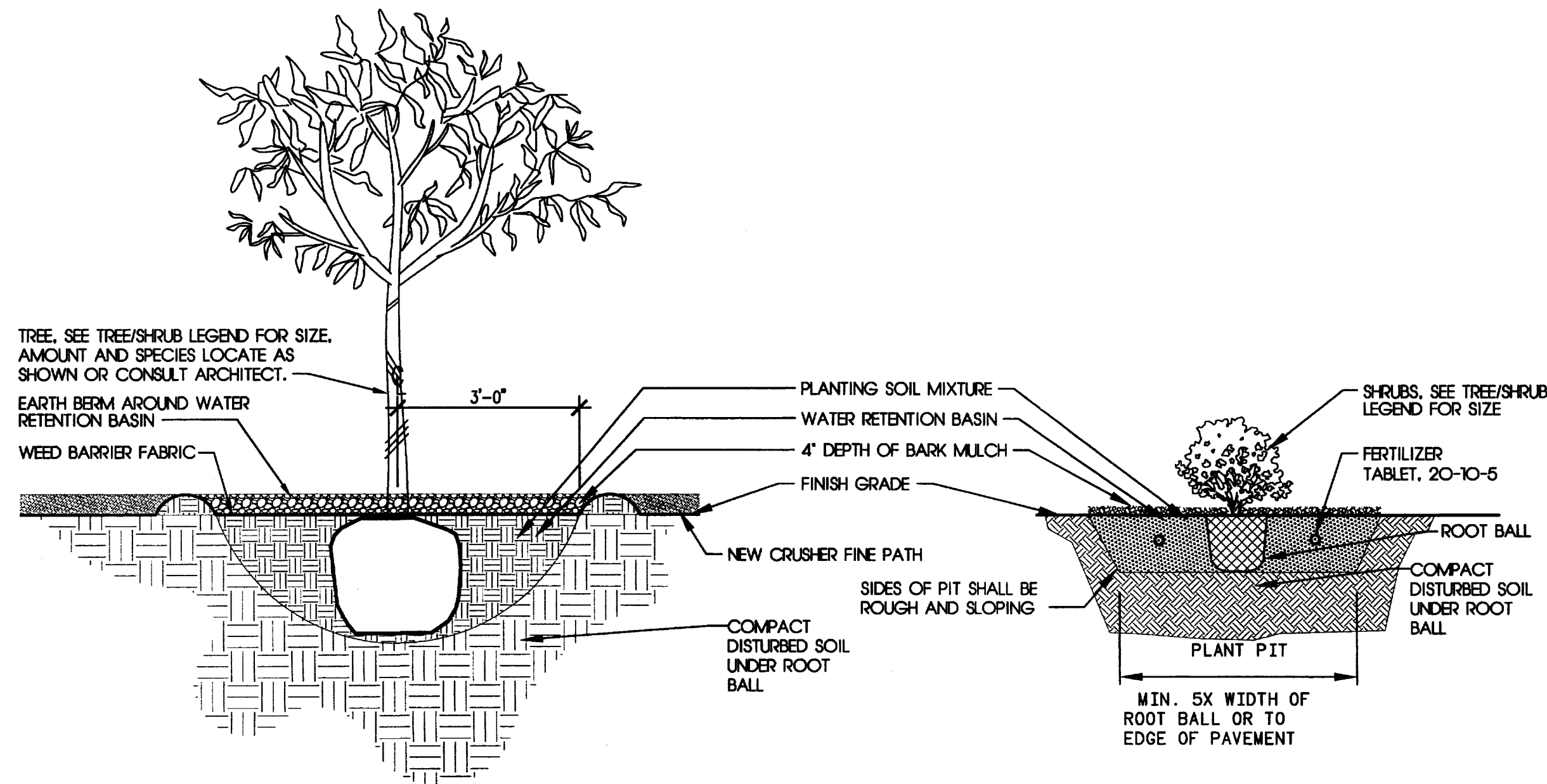
**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
INDIAN SCHOOL AND BROADWAY**

June, 12, 2009



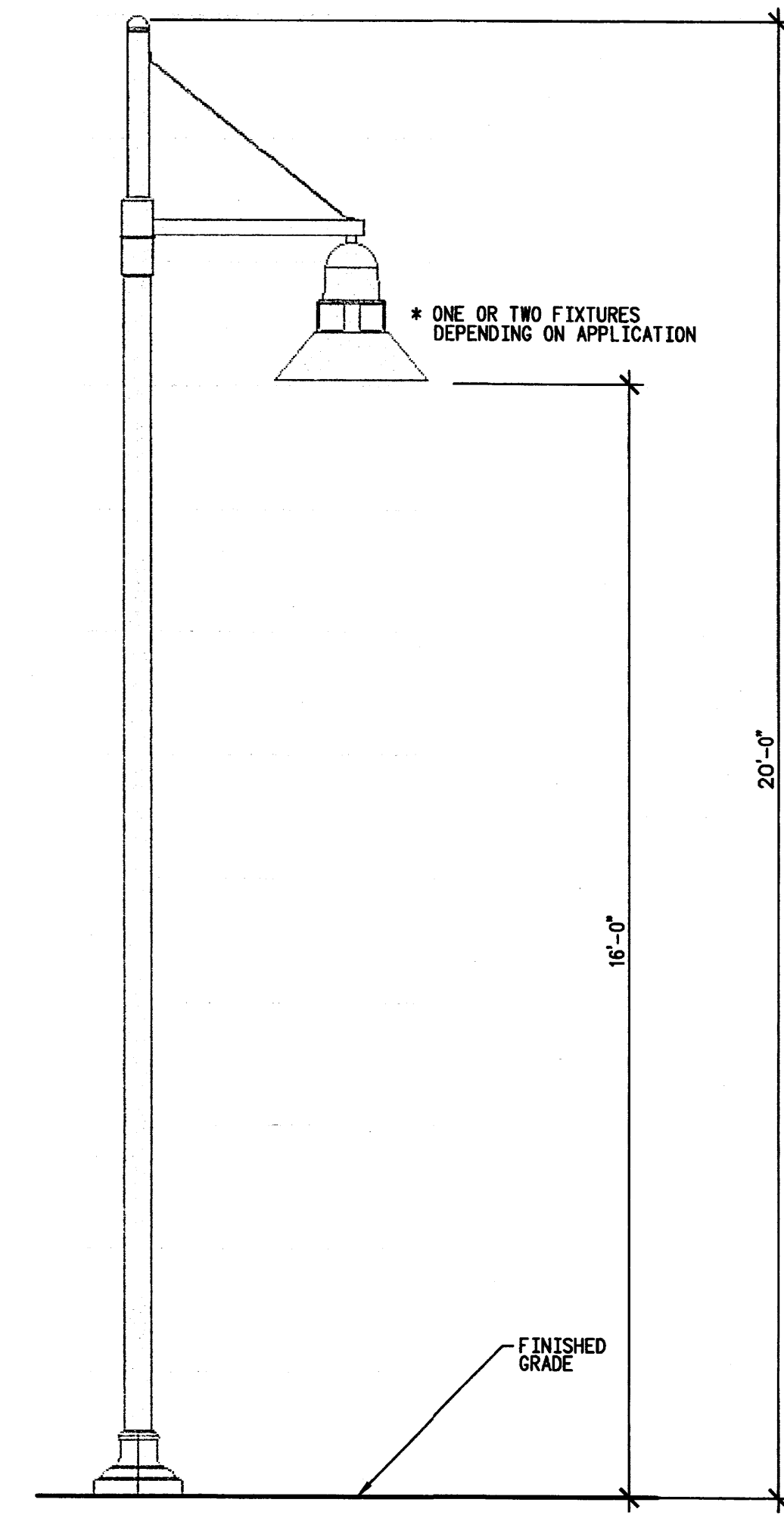


A WATER HARVESTING PLANTER 1/4"-1'-0"

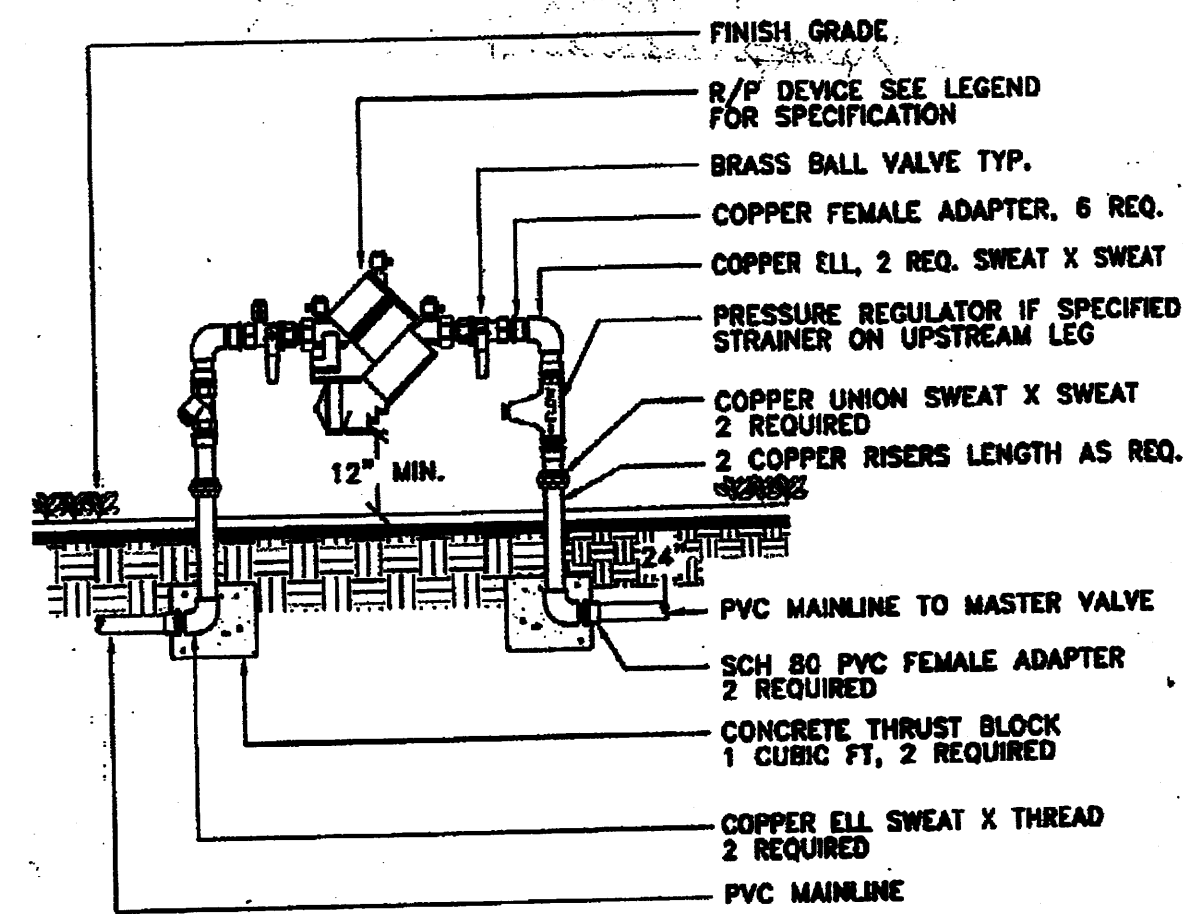


B TREE PLANTING N.T.S.
 NOTE: PLANT ROOT COLLAR AT FINISH GRADE. REMOVE ALL WIRE, TWINE, ROPE, TAGS, AND BURLAP. ALL SOIL IN TREE WELL SHALL BE UNCOMPACTED, DESIRABLE PLANTING MIXTURE, AND FREE OF CONSTRUCTION DEBRIS.

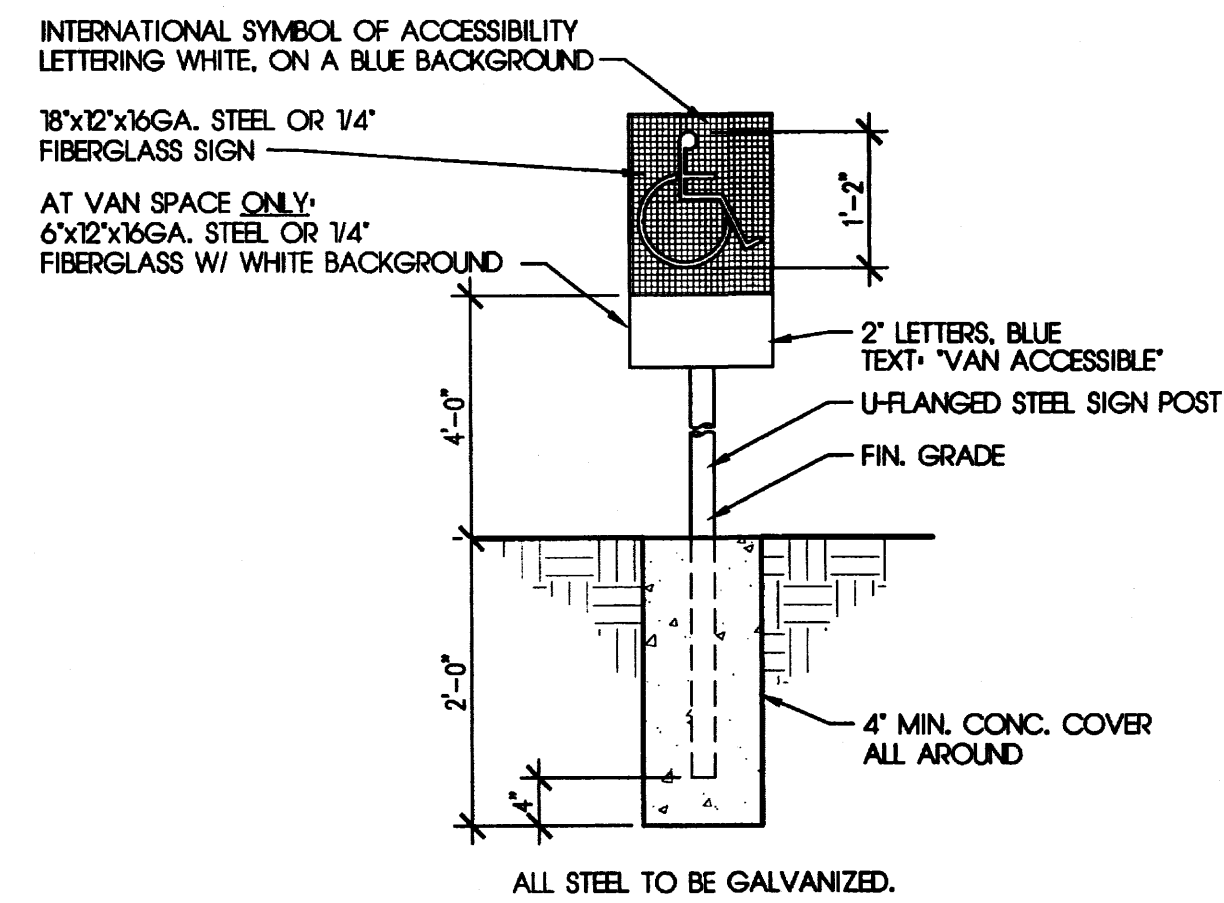
C SHRUB PLANTING N.T.S.
 NOTE: PLANT ROOT COLLAR AT FINISH GRADE. REMOVE ALL WIRE, TWINE, ROPE, TAGS, AND BURLAP. ALL SOIL IN PLANT WELL SHALL BE UNCOMPACTED, DESIRABLE PLANTING MIXTURE, AND FREE OF CONSTRUCTION DEBRIS.



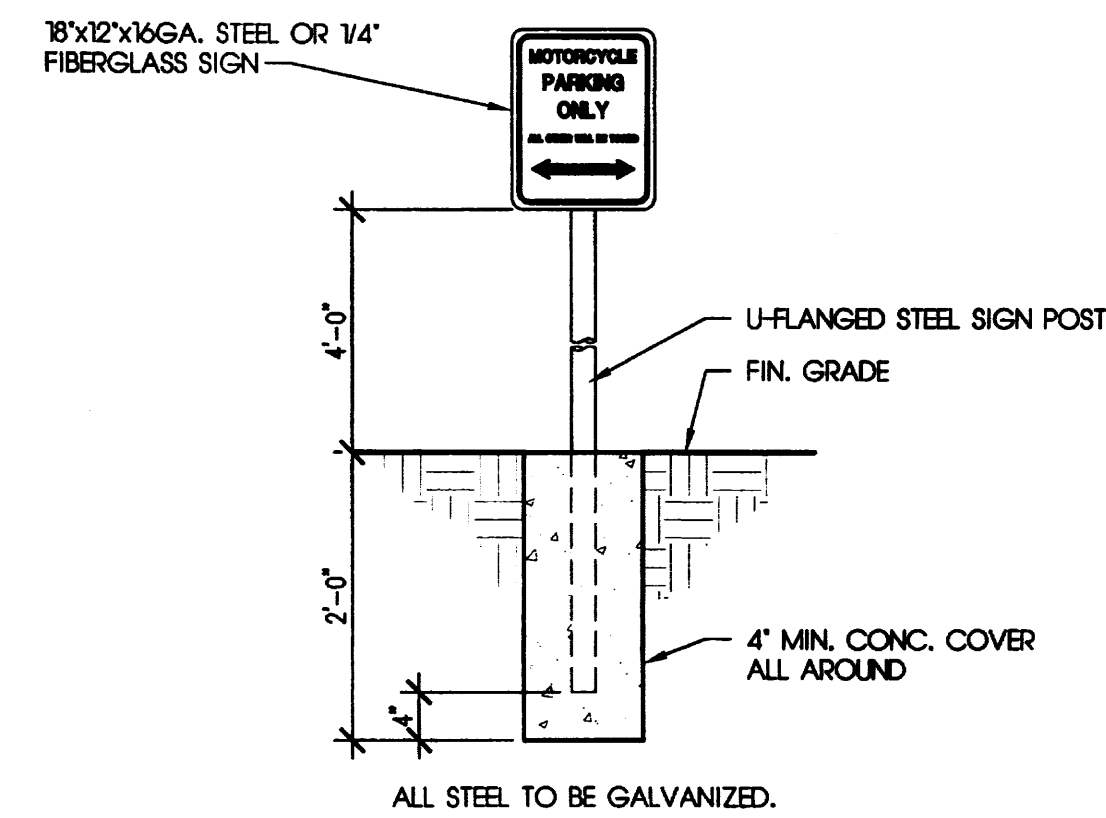
D POLE LIGHT FIXTURE N.T.S.
 NOTE: FIXTURES SHALL BE SHIELDED SOURCE. MOUNTED LIGHT LENS SHALL NOT PROJECT BELOW LIGHT SHIELD.



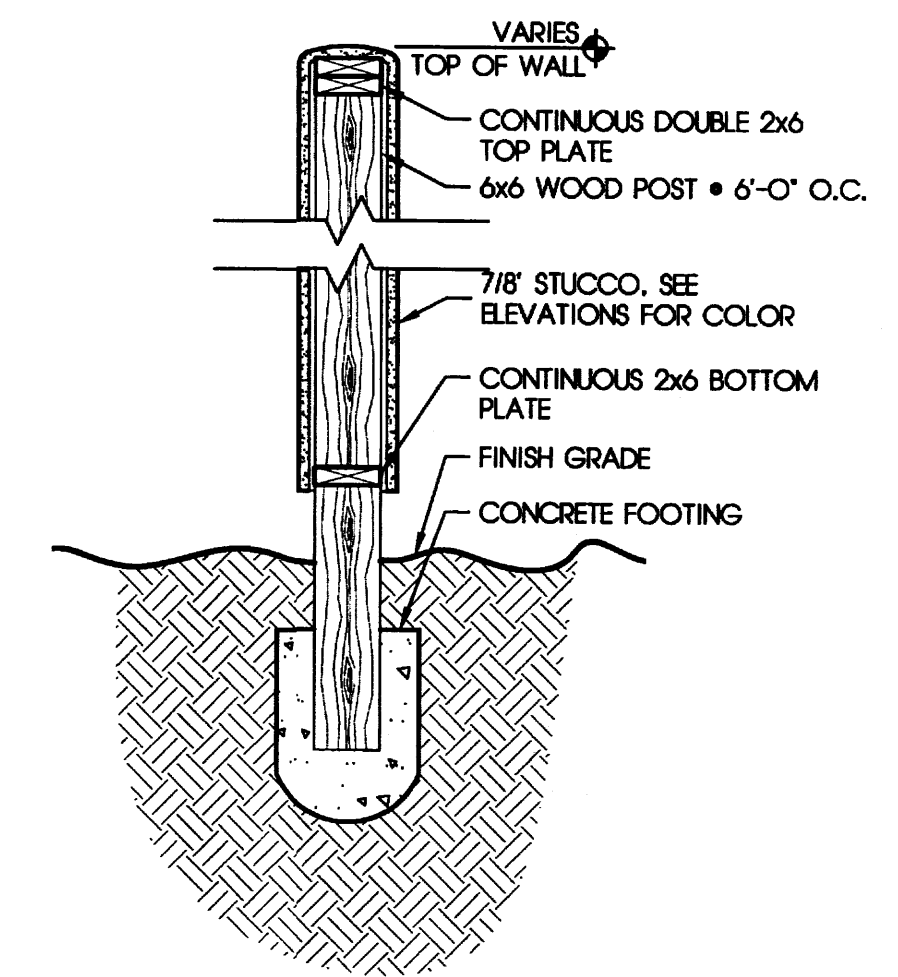
E BACK FLOW PREVENTER N.T.S.



F ACCESSIBILITY SIGN 3/4"-1'-0"

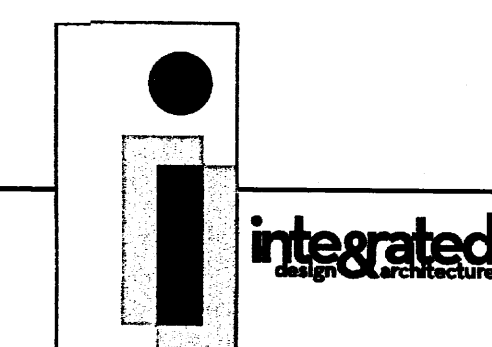


G MOTORCYCLE PARKING SIGN 3/4"-1'-0"



H TYPICAL YARD/ SITE WALL 1'-1'-0"

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
 INDIAN SCHOOL AND BROADWAY





LEGAL DESCRIPTION
 LOTS NUMBERED ONE (1), TWO (2), AND THREE (3), IN BLOCK NUMBERED NINE (9), OF FRANCISCAN ACRES, AN ADDITION, TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE REPLAT OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 17, 1934, IN PLAT BOOK C2, FOLIO 11.

NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	90°00'00"	S 33°53'17" W	30.00	47.12	42.43
C2	90°00'00"	N 36°06'43" W	15.00	23.56	21.21
C3	90°00'00"	S 36°06'43" E	61.00	95.82	86.27
C4	90°00'00"	N 53°53'17" E	61.00	95.82	86.27
C5	90°00'00"	S 33°53'17" W	15.00	23.56	21.21
C6	90°00'00"	S 33°53'17" W	15.00	23.56	21.21
C7	90°00'00"	S 36°06'43" E	15.00	23.56	21.21
C8	90°00'00"	N 53°53'17" E	15.00	23.56	21.21
C9	90°00'00"	N 36°06'43" W	15.00	23.56	21.21
C10	90°00'00"	S 36°06'43" E	36.00	56.55	50.91
C11	90°00'00"	N 53°53'17" E	36.00	56.55	50.91

- GENERAL NOTES:**
- UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
 - THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
 - TOTAL AREA OF PROPERTY: 2.9968 ACRES.
 - TALOS LOG NO. _____
 - BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1983.
 - DISTANCES ARE GROUND, BEARINGS ARE GRID.
 - BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
 - DATE OF FIELD WORK: FEBRUARY, 2009
 - NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT

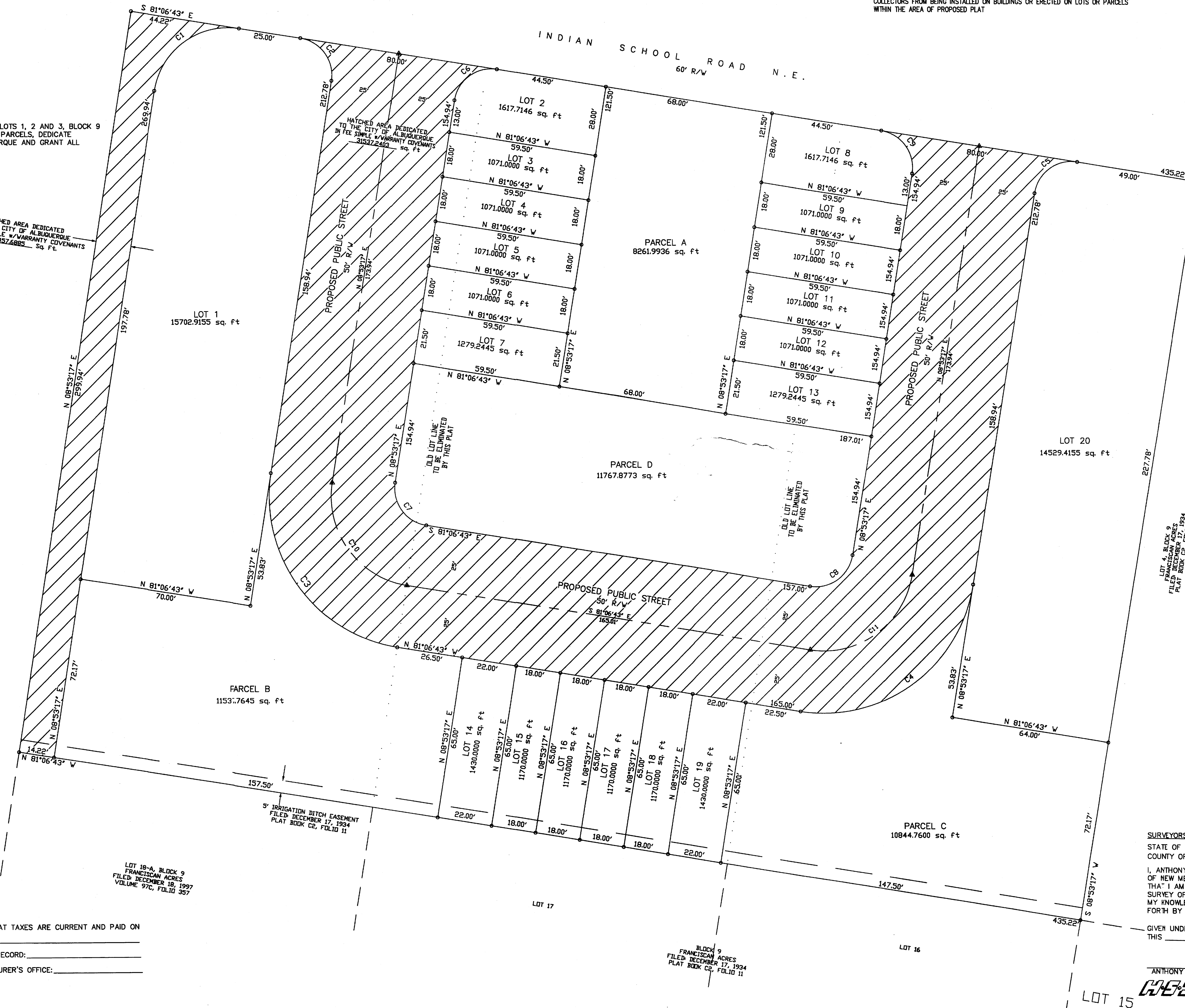
Site Plan for Building Permit
LOTS 1 THRU 20 AND PARCELS A THRU D
BROADWAY AND INDIAN SCHOOL ROAD PROPERTY
 WITHIN
 SECTION 8, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY, 2009

PROJECT NUMBER: _____
 APPLICATION NUMBER: _____
 UTILITY APPROVALS:
 PUBLIC SERVICE COMPANY OF NEW MEXICO _____ DATE _____
 NEW MEXICO GAS COMPANY _____ DATE _____
 QWEST TELECOMMUNICATIONS _____ DATE _____
 COMCAST _____ DATE _____
 NEW MEXICO UTILITIES _____ DATE _____
 CITY APPROVALS:
 CITY SURVEYOR _____ DATE _____
 *REAL PROPERTY DIVISION (CONDITIONAL) _____ DATE _____
 **ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) _____ DATE _____
 TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____
 ABCMJA _____ DATE _____
 PARKS AND RECREATION DEPARTMENT _____ DATE _____
 AMAFCA _____ DATE _____
 CITY ENGINEER _____ DATE _____
 DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

PURPOSE OF PLAT:
 THE PURPOSE OF THIS PLAT IS TO DIVIDE LOTS 1, 2 AND 3, BLOCK 9 FRANCISCAN ACRES INTO 20 LOTS AND 4 PARCELS, DEDICATE RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE AND GRANT ALL EASEMENTS AS SHOWN.

HATCHED AREA DEDICATED TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE w/WARRANTY COVENANTS 4457.6883 sq. ft.

BROADWAY BOULEVARD N.E.
 60' R/W

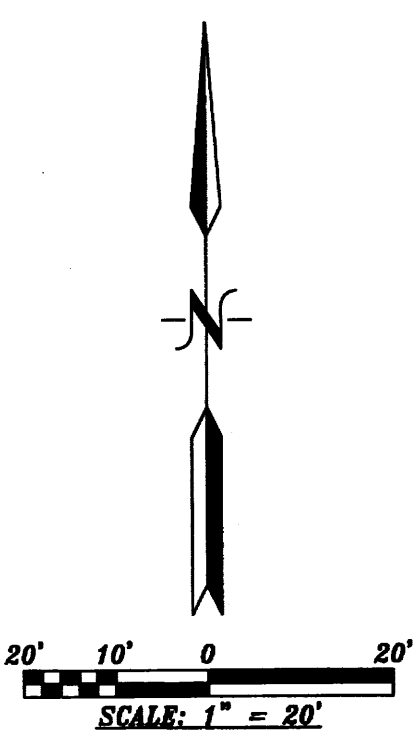


FREE CONSENT
 THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF, SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED, AND DO HEREBY DEDICATE ADDITIONAL RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE w/WARRANTY COVENANTS

ACKNOWLEDGMENT
 STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) S.S.
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC THIS _____ DAY OF _____, 20____.
 BY: _____
 OWNERS NAME
 MY COMMISSION EXPIRES: _____ BY: _____
 NOTARY PUBLIC

SURVEYORS CERTIFICATE:
 STATE OF NEW MEXICO) S.S.
 COUNTY OF BERNALILLO) S.S.
 I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LICENSED LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.
 GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO, THIS _____ DAY OF _____, 2009.

ANTHONY L. HARRIS, P.S. # 11463
ALHARRIS SURVEYING, INC. PHONE: (505) 889-8056
 2415-B WILSON STREET, N.E. ALBUQUERQUE, NEW MEXICO 87110 FAX: (505) 889-8045

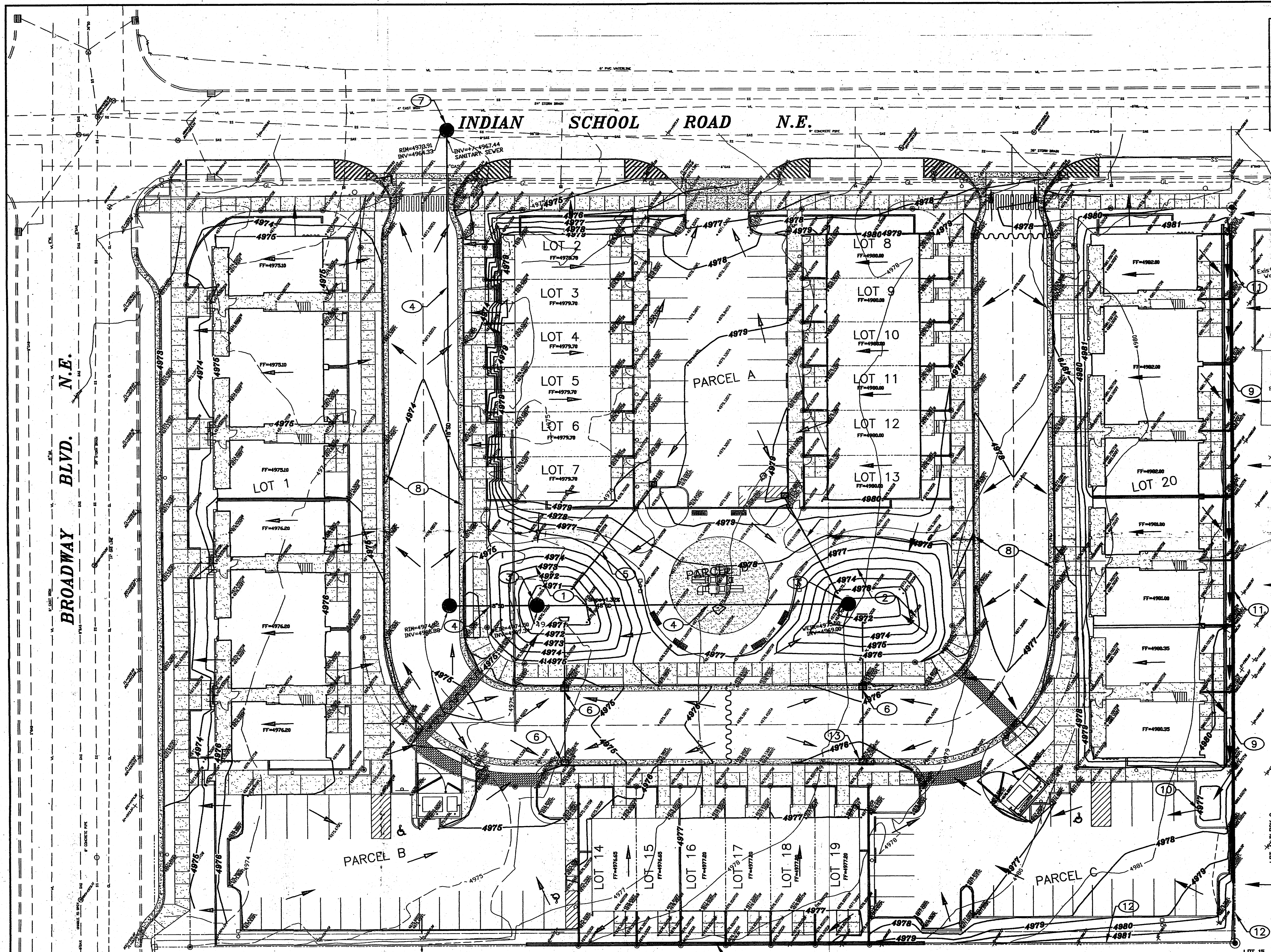


THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UP# _____
 PROPERTY OWNER OF RECORD: _____
 BERNALILLO CO. TREASURER'S OFFICE: _____

LOT 18-A, BLOCK 9 FRANCISCAN ACRES FILED DECEMBER 18, 1997 VOLUME 97C, FOLIO 357

5' IRRIGATION DITCH EASEMENT FILED DECEMBER 17, 1934 PLAT BOOK C2, FOLIO 11

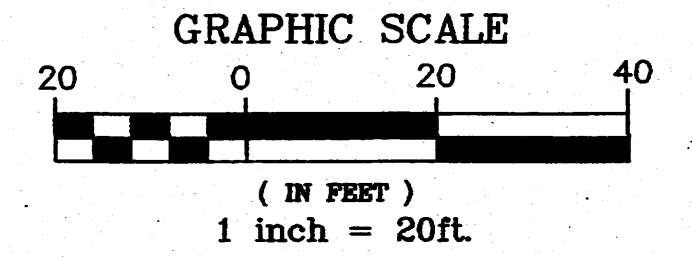
BLOCK 9 FRANCISCAN ACRES FILED DECEMBER 17, 1934 PLAT BOOK C2, FOLIO 11



UTILITY PRECAUTIONS
 THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.

CONSTRUCTION NOTES:

- 1 CONSTRUCT DETENTION /RETENTION POND NO. 1 WITH A TOTAL VOLUME = 4,792CF
- 2 CONSTRUCT DETENTION /RETENTION POND NO. 2 WITH A TOTAL POND VOLUME = 4,225CF.
- 3 INSTALL PERFORATED STAND PIPE PER DETAIL SHOWN ON SHEET 2.
- 4 INSTALL 18" STORM DRAIN PIPE.
- 5 INSTALL 6" STORM DRAIN PIPE WITH INLET AT PARKING LOT AND EROSION CONTROL IN POND.
- 6 INSTALL SINGLE TYPE "A" INLET IN SUMP CONDITION.
- 7 CONNECT NEW 18" STORM DRAIN PIPE INTO EXISTING 36" STORM DRAIN PIPE WITH A NEW 6' DIAMETER MANHOLE.
- 8 INSTALL TYPICAL 32' WIDE RESIDENTIAL STREET SECTION WITH STANDARD CURB AND GUTTER.
- 9 CONSTRUCT 1'-6" DEEP CHANNEL FOR OFFSITE FLOWS PER DETAIL SHOWN ON SHEET 2.
- 10 CONSTRUCT DESILTATION POND FOR OFFSITE FLOWS.
- 11 CONSTRUCT RETAINING WALL PER GRADES SHOWN WITH A GARDEN WALL ON TOP WITH A BLOCK REMOVED AT GRADE EVERY 20' TO ALLOW OFFSITE FLOWS TO ENTER SITE.
- 12 CONSTRUCT GARDEN WALL WITH A BLOCK REMOVED AT GRADE EVERY 20' TO ALLOW OFFSITE FLOWS TO ENTER SITE.
- 13 INSTALL DOUBLE TYPE "C" INLET IN SUMP CONDITION.



APPLIED ENGINEERING AND SURVEYING, INC.
ENGINEERS AND PLANNERS
 10000 N. ALBUQUERQUE BLVD. SUITE 100
 ALBUQUERQUE, NM 87113
 PHONE (505) 253-1144

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP

TITLE: GRADING PLAN INDIAN SCHOOL AND BROADWAY

Design Review Committee	City Engineer Approval	Ma./Day/Yr.	Ma./Day/Yr.
FOR INFORMATION ONLY			
City Project No.	Zone Map No.	Sheet	Of
TBD	H-14	1	2

LEGEND

— 5360 —	NEW CENTER GRADE	~~~~~	NEW GRADE BREAK/WATER BLOCK
— 5362 —	EXISTING CENTER GRADE	~~~~~	EXISTING GRADE ELEVATION
←	DRAINAGE FLOW DIRECTION	◆ 56.0FL	NEW GRADE ELEVATION
◆ 62.50TC	NEW TOP OF CURB ELEVATION	◆ 55.3FL	FLUVELINE GRADE ELEVATION
◆ 62.0OFL	NEW FLUVELINE OF CURB ELEVATION	◆ 95.1TW	NEW TOP OF WALL ELEVATION
◆ 60.11TA	NEW TOP OF ASPHALT ELEVATION	◆ 93.1BW	NEW BOTTOM OF WALL ELEVATION
◆ 61.87TSW	NEW TOP OF SIDEWALK ELEVATION	◆ 93.1TC	NEW TOP OF CONCRETE ELEVATION
— — —	DRAINAGE SWALE		

NOTE: ALL WORK IN THE RIGHT OF WAY IS TO BE BUILT UNDER A SEPARATE WORK ORDER.

AS BUILT INFORMATION		BENCH MARKS FOR THIS SURVEY IS BENCHMARK A-438, THE PUBLISHED ELEVATION OF WHICH IS 4975.35 NAVD83. BENCHMARK IS LOCATED IN THE NW QUADRANT OF MENAUL BLVD. NW AND THE BNSF RAILROAD TRACKS, 45.2 FT WEST OF THE WEST RR TRACK, 83 FT NORTH OF CENTERLINE ON MENAUL BLVD, 11 FT EAST OF THE WIRE FENCE.	
CONTRACTOR	DATE	NO.	DATE
WORK	DATE	NO.	DATE
INSPECTION	DATE	NO.	DATE
APPROVAL BY	DATE	NO.	DATE
REVISIONS	DATE	NO.	DATE
DESIGNED BY	DATE	NO.	DATE
DRAWN BY	DATE	NO.	DATE
CHECKED BY	DATE	NO.	DATE

