



OFFICIAL NOTICE OF DECISION

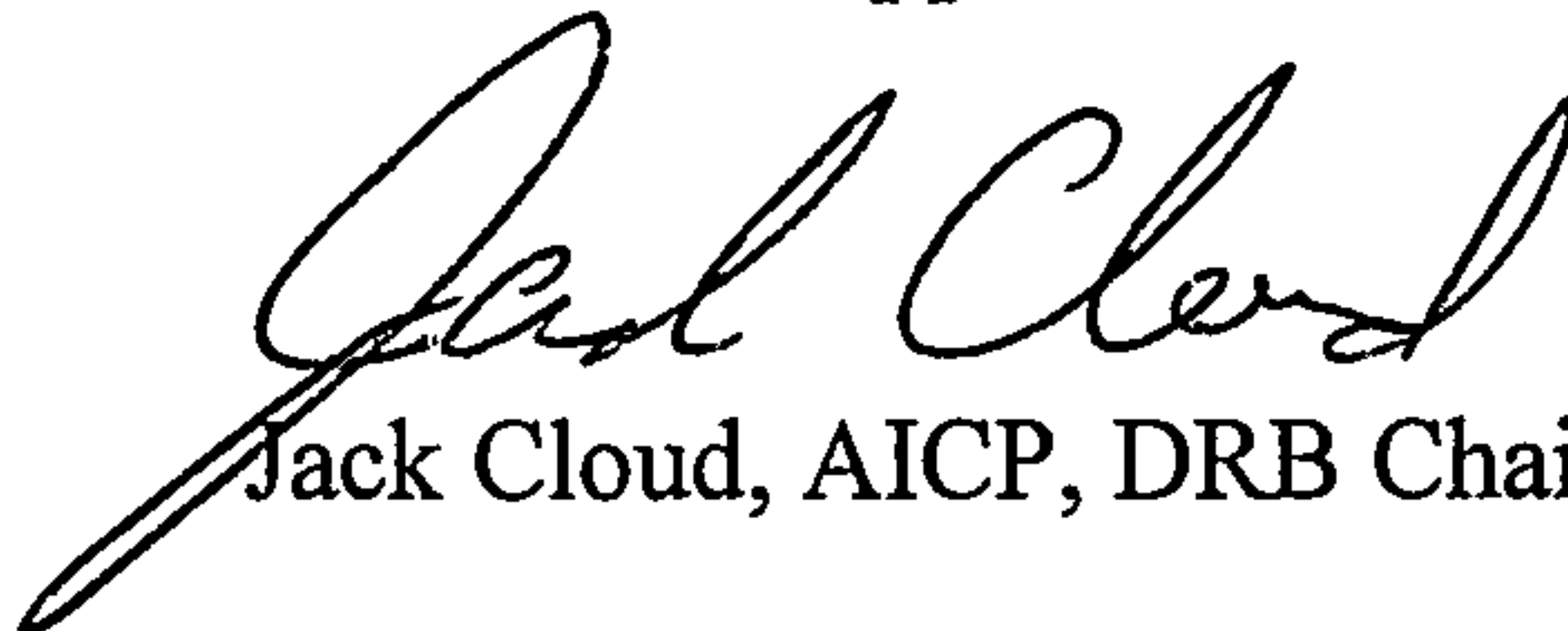
CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

May 27, 2009

Project# 1007720
09DRB-70182 MINOR - TEMP DEFR SWDK CONST

CITY OF ALBUQUERQUE TRANSIT DEPT request(s) the above action(s) for all or a portion of Lot(s) C43, **TOWN OF ATRISCO Unit 4**, zoned SU-2 FOR IP, located on NW CORNER OF CENTRAL NW & UNSER NW containing approximately 4.8 acre(s). (K-10)

At the May 27, 2009 Development Review Board meeting, with the Amendment of the Infrastructure List, the temporary deferral of construction of sidewalks on Central Avenue was approved.



Jack Cloud, AICP, DRB Chair

Cc: Shabih Rizvi – C/O Transit Dept. – Alvarado Transportation Center – 100 1st Street
SW – Albuquerque, NM 87102
Marilyn Maldonado
File

3. **Project# 1007720**
09DRB-70125 MAJOR – SITE
DEVELOPMENT PLAN FOR
BUILDING PERMIT

BOHANNAN HUSTON INC agent(s) for CITY OF ALBUQUERQUE TRANSIT DEPT request(s) the referenced/ above action(s) for all or a portion of Tract(s) C-43, **TOWN ATRISCO Unit(s) 4**, zoned SU-2 IP, located on the north side of CENTRAL AVE NW between UNSER BLVD NW and 98TH ST NW containing approximately 4.8 acre(s). (K-10) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF TRANSPORTATION FOR ACCESS EASEMENT AND TO PLANNING FOR ZONING VERIFICATION REGARDING SETBACK.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

4. **Project# 1006864**
09DRB-70144 EPC APPROVED SDP
FOR SUBDIVISION

HARTMAN & MAJEWSKI DESIGN GROUP agent(s) for SUNCAL COMPANY NEW MEXICO DIVISION request(s) the above action(s) for all or a portion of Tract(s) M, N & P, **WATERSHED & INSPIRATION** zoned RR, located on TIERRA PINTADA BLVD NW BETWEEN ARROYO VISTA BLVD NW AND PETROGLYPH NATIONAL MONUMENT containing approximately 483.5169 acre(s). (H-7-9/J-7-9) **THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PARKS TO VERIFY OPEN SPACE CONDITIONS AND TO PLANNING TO ADDRESS CASE PLANNERS COMMENTS.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

5. **Project# 1003698**
09DRB-70145 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

JACKS HIGH COUNTRY INC agent(s) for CHRIS & JANET BURKS request(s) the above action(s) for all or a portion of Lot(s) NORTH 1/3 OF 10-12, Block(s) 18, **BROWNEWELL & LAIL'S HIGHLAND ADDITION** zoned SU-2 MD-1, located on MAPLE NE BETWEEN COPPER NE AND TIJERAS NE containing approximately .1631 acre(s). (K-15) **THE PRELIMINARY/FINAL PLAT WAS APPROVED. A COPY OF THE RECORDED PLAT MUST BE PROVIDED TO PLANNING.**

6. **Project# 1007675**
09DRB-70138 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

DIRK EDMONDS request(s) the above action(s) for all or a portion of Lot(s) 23 & 24, Block(s) 55, **RAYNOLDS** zoned SU-2 R-1, located on STOVER SW BETWEEN 11TH ST SW AND 10TH ST SW containing approximately .33 acre(s). (K-13) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.**



COMPLETED 06/02/09 SH
DRB CASE ACTION LOG (Site Plan - Building P.)
REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 09DRB-70125 Project # 1007720
Project Name: TOWN AT RISCO Unit 4
Agent: Shannon Huston Inc. Phone No.:

Your request was approved on 4-22-09 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: - Access Easement

UTILITIES:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): - See comments

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
 - Property Management's signature must be obtained prior to Planning Department's signature.
 - AGIS DXF File approval required.
 - Copy of recorded plat for Planning.

Created On:



DRB CASE ACTION LOG

REVISED 10/08/07

(Site Plan - Building P.)

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 09DRB-70125 Project # 1007720
Project Name: TOWN AT RISCO Unit 4
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Your request was approved on 4-22-09 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: - Access Easement

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): - See comments

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
- Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Created On:



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

April 22, 2009

Project# 1007720

09DRB-70125 MAJOR – SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

BOHANNAN HUSTON INC agent(s) for CITY OF ALBUQUERQUE TRANSIT DEPT request(s) the referenced/ above action(s) for all or a portion of Tract(s) C-43, **TOWN ATRISCO Unit(s) 4**, zoned SU-2 IP, located on the north side of CENTRAL AVE NW between UNSER BLVD NW and 98TH ST NW containing approximately 4.8 acre(s). (K-10)

At the April 22, 2009 Development Review Board meeting, the site development plan for building permit was approved with final sign-off delegated to Transportation Development for an Access Easement and to Planning for zoning verification regarding setback and to comply with comments.

If you wish to appeal this decision, you must do so by May 7, 2009 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision.

The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).


Jack Cloud, AICP, DRB Chair

Cc: Bohannan Huston/Roy Gibson – Courtyard 1 – 7500 Jefferson –
Albuquerque, NM 87102
Marilyn Maldonado
File

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1007720

AGENDA ITEM NO: 3

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

PO Box 1293

ENGINEERING COMMENTS:

No adverse comments on Site Plan.

Albuquerque

An approved infrastructure list, signed by the Dept Director, is required for Site Plan approval.

NM 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: April 22, 2009

DRB PUBLIC HEARING SIGN IN SHEETS

PROJECT #: 1007720 **AGENDA#:** 3 **DATE:** 4/22/09

- 1. Name: _____ Address: _____ Zip: _____
- 2. Name: _____ Address: _____ Zip: _____
- 3. Name: _____ Address: _____ Zip: _____
- 4. Name: _____ Address: _____ Zip: _____
- 5. Name: _____ Address: _____ Zip: _____
- 6. Name: _____ Address: _____ Zip: _____
- 7. Name: _____ Address: _____ Zip: _____
- 8. Name: _____ Address: _____ Zip: _____
- 9. Name: _____ Address: _____ Zip: _____
- 10. Name: _____ Address: _____ Zip: _____
- 11. Name: _____ Address: _____ Zip: _____
- 12. Name: _____ Address: _____ Zip: _____
- 13. Name: _____ Address: _____ Zip: _____
- 14. Name: _____ Address: _____ Zip: _____
- 15. Name: _____ Address: _____ Zip: _____
- 16. Name: _____ Address: _____ Zip: _____
- 17. Name: _____ Address: _____ Zip: _____

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: April 22, 2009
Zone Atlas Page: K-10
Notification Radius: 100 Ft.

Project# 1007720
App# 09DRB-70125

Cross Reference and Location: NW CORNER OF CENTRAL AND UNSER BETWEEN
UNSER AND 98TH

Applicant: ROY GIBSON
BOHANNAN HUSTON
7500 JEFFERSON
ALBUQUERQUE, NM 87102

Agent: SAME

Special Instructions:

**Notice must be mailed from the
City's 15 day's prior to the meeting.**

Date Mailed: APRIL 3, 2009
Signature: ERIN TREMLIN

City of **Albuquerque**  DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

- | | |
|-------------------------------------|---|
| SUBDIVISION | S Z ZONING & PLANNING |
| Major Subdivision action | Annexation |
| Minor Subdivision action | County Submittal |
| Vacation | EPC Submittal |
| Variance (Non-Zoning) | Zone Map Amendment (Establish or Change Zoning) |
| SITE DEVELOPMENT PLAN | P Sector Plan (Phase I, II, III) |
| for Subdivision | Amendment to Sector, Area, Facility or Comprehensive Plan |
| for Building Permit | Text Amendment (Zoning Code/Sub Regs) |
| Administrative Amendment (AA) | Street Name Change (Local & Collector) |
| IP Master Development Plan | |
| Cert. of Appropriateness (LUCC) | L A APPEAL / PROTEST of... |
| STORM DRAINAGE | D Decision by DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals |
| Storm Drainage Cost Allocation Plan | |

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102 Fees must be paid at the time of application Refer to supplemental forms for submittal requirements

APPLICANT INFORMATION:
 Professional/Agent (if any) Roy Gibson Bohman Huston PHONE 823-1000
 ADDRESS COURTYARD 7500 JEEFERSEN FAX 716-7788
 CITY ALBUQUERQUE STATE NM ZIP 87102 E-MAIL rgibson@bhik
 APPLICANT CITY OF ALBUQUERQUE TRANSIT PHONE 228-9815
 ADDRESS _____ FAX _____
 CITY _____ STATE _____ ZIP _____ E-MAIL _____
 Proprietary interest in site _____ List all owners _____

DESCRIPTION OF REQUEST: _____

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.
 Lot or Tract No LOT C-43 Block _____ Unit 4
 Subdiv/Addn/TBKA TOWN ARRISCO
 Existing Zoning SU-2 IP Proposed zoning SAME
 Zone Atlas page(s) K-10 UPC Code 10/00570562033 MRGCD Map No _____

CASE HISTORY:
 List any current or prior case number that may be relevant to your application (Proj., App, DRB, AX, Z, V, S, etc) _____

CASE INFORMATION:
 Within city limits? Yes Within 1000FT of a landfill? NO
 No of existing lots 1 No of proposed lots 1 Total area of site (acres) 4.8 AC
 LOCATION OF PROPERTY BY STREETS On or Near NW CORNER OF CENTRAL & UNSER
 Between UNSER and 98TH
 Check-off if project was previously reviewed by Sketch Plat/Plan or Pre-application Review Team Date of review 10-2/10/09
 SIGNATURE Roy Glenn Gibson DATE 03/27/09
 (Print) Roy Glenn Gibson Applicant Agent

FOR OFFICIAL USE ONLY Form revised 4/07

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	SF	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>09DRB 70125</u>	<u>SRP</u>	---	\$ <u>2</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>ADY</u>	---	\$ <u>---</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	<u>CMF</u>	---	\$ <u>---</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	---	\$ <u>---</u>
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	---	\$ <u>---</u>
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	---	\$ <u>---</u>
<input checked="" type="checkbox"/> F H D P density bonus	_____	_____	---	Total
<input checked="" type="checkbox"/> F H D P fee rebate	Hearing date <u>April 22, 2009</u>	_____	---	\$ <u>2</u>

3.27.09 Project # 1007720

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)** Maximum Size: 24" x 36"
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 24 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- DRB hearings are approximately 30 DAYS after the filing deadline. Bring the original to the meeting.
Your attendance is required.

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)** Maximum Size: 24" x 36"
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 24 copies
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) 24 copies for DRB public hearings
 - Solid Waste Management Department signature on Site Plan **NO DUMPSTER**
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature **NOT REQUIRED**
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application **NO OTHER SUBMITTALS**
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. Bring the original to the meeting.
Your attendance is required.

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10)** Maximum Size: 24" x 36"
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 24 copies
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 24 copies
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) 24 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. Bring the original to the meeting.
Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Roy Glenn Gibson
 Applicant name (print)
[Signature] 03/27/04
 Applicant signature / date



Form revised October 2007

<input checked="" type="checkbox"/> Checklists complete	Application case numbers	<u>[Signature]</u> 3.27.04
<input checked="" type="checkbox"/> Fees collected	09DRB - 701AS	Planner signature / date
<input checked="" type="checkbox"/> Case #s assigned	_____	Project # <u>1007720</u>
<input checked="" type="checkbox"/> Related #s listed	_____	

March 27, 2009

Jack Cloud, Chair
Development Review Board
City of Albuquerque
600 Second Street NW
Albuquerque, New Mexico 87102

Re: Site Development Plan for Building Permit Approval
Lot c-43 of Town of Atrisco Grant Unit 4

Dear Mr. Cloud:

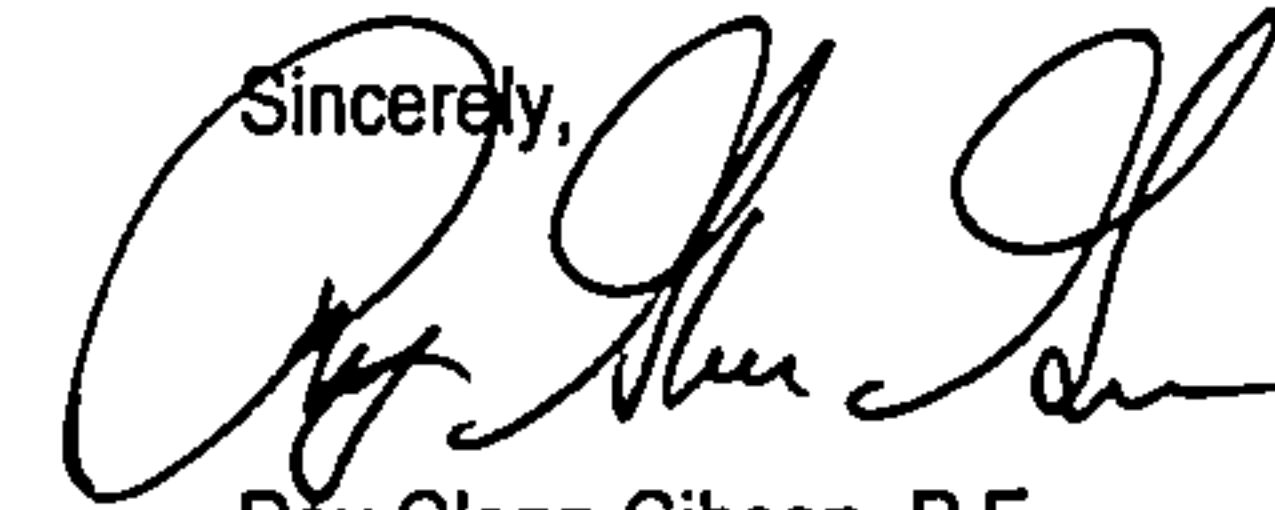
The referenced project includes a Site Development Plan for Building Permit for a Park & Ride in the Southwest Region of Albuquerque. The applicant intends to build a Park & Ride Facility similar to the Uptown Transit Center and the Northwest Transit Facility. The site is just less than 5 acres and is located on the Northwest corner of Central Avenue and Unser Boulevard.

Enclosed for review and approval by the Development Review Board (DRB) are copies of the following information:

- Development Review Application
- Six (6) copies of the Infrastructure List
- Zone Atlas Map showing the location of the property
- DRB Fee

Please place this item on the DRB Agenda for hearing on April 22, 2009. If you have any questions or require further information, please contact me.

Sincerely,



Roy Glenn Gibson, P.E.
Project Manager
Municipal Engineering

RGG
Enclosures

cc: Jim Flint, BHI
Andrew De Garmo, City of Albuquerque



March 26, 2009

RE: Agent Authorization for Lot C-43, Atrisco Grant (Unit 4)

To Whom It May Concern:

This letter authorizes representatives of Bohannon Huston, Inc. to act as agent to submit the Site Plan for Building Permit for Lot C-43 of Atrisco Grant (Unit 4) for the Transit Department's new park and ride facility. Please contact me at 724-3100 with any questions or concerns.

Sincerely,

Andrew de Garmo
Principal Planner
Transit Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

PRE-APPLICATION DISCUSSION

NOTE: PRE APPLICATION DISCUSSIONS ARE PROVIDED TO ASSIST APPLICANTS IN ACQUIRING INFORMATION ON PROCESS AND REQUIREMENTS PERTAINING TO THEIR REQUEST. THE INTERPRETATION OF SPECIFIC USES ALLOWED WITHIN VARIOUS ZONES IS THE RESPONSIBILITY OF THE ZONING ENFORCEMENT OFFICER, AS PROVIDED FOR BY THE COMPREHENSIVE ZONING CODE. ANY STATEMENTS REGARDING ZONING AT THE PRE APPLICATION DISCUSSION ARE NOT CERTIFICATES OF ZONING.

PA # 09-13 APPLICANT Bohannon Huston TEL. # 923-3319 EMAIL/FAX# tfreel@bhinc.com

RECEIVED BY Erin Tremlin DATE 2/4/09

APPOINTMENT TIME & DATE: Tuesday @ 3:00 pm; February 10, 2009
Appointment requests received by Friday will be scheduled for Tuesday of the following week, if times are available. Requests received after Friday will be scheduled for the following Tuesday. Please contact the Planning Division at 924-3860 for more information.

1. BRIEFLY DESCRIBE REQUEST: (What do you plan to develop on this site?)
The City of Albuquerque Transit Dept. intends on using the property as a Park & Ride Facility similar to the Northwest Park & Ride on Ellison and Coors Bypass.

2. RESPOND TO THE FOLLOWING QUESTIONS
Size of site: 5 acres Existing Zoning: SU-2 IP Proposed Zoning: no change
Previous zone change or site plan approval case #s for this site: N/A

Applicable Area or Sector Development Plans West Rt 66, Westside Strategic Plan

Residential: Type and # of Units Proposed: N/A

Commercial: Estimated building square footage: Shade structure No. Of Employees: 0

3. LOCATION OF REQUEST: Provide a legal description of property and indicate location using surrounding streets. Indicate significant landmarks or notable features in the vicinity. Include Zone atlas number.

TR C-43 Unit 4 of Town of Atrisco Grant. This lot is located on the NW corner of the intersection of Central Ave & Unser Blvd. 3rd lot west of Unser Blvd. Zone atlas page K-10

4. WHAT QUESTIONS OR CONCERNS DO YOU HAVE REGARDING THIS REQUEST:
Traffic questions:
What type of access should we expect to obtain on Central (full access, right in / right out)?
What type of analysis or plans does the COA have for this area of Central where we would like to access?
Would it be possible to vacate the Central frontage road that is along our southern boundary?
There is already a fully access to the site off of Unser; will there be any additional requirements or improvements what will be necessary?
Will we need to update the traffic study that was done for West Central Metro Redevelopment Area?
Planning and zoning:
We will need to request a zone map amendment to build a Park & Ride Facility on the property?
We would like to place the bus shelter on east side of the property to facilitate the future development of the MRA. We will need to apply for a variance on the setbacks?
What will landscape, drainage requirements be? Do we need to go through EPC, DRB, DRC processes?

REC	UPC CODE	OWNER	OWNER ADDRESS	OWNER CITY	OWNER STATE	OWNER ZIP CODE	PROPERTY CLASS	TAX DISTRICT	LEGAL	ACRES
1	1010 0570 4815 5313 12	STEWART MICHAEL J & LISA G	9300 C AMINO DEL S OL NE	ALB UQ UE RQ UE	N M	87 11 1	C	A1 A	TR C-44A OF SUMMARY PLAT OF TRS C-44A & C-44B UNIT 4 TRS ALLOTTED FROM TOWN OF ATRISCO GRANT CONT 1.00 AC	0.8 96 89 52 5
2	1010 0571 1209 6303 08	FAHAD LAND HOLDING LLC & BHOO DEVI LAN D HOLDINGS LLC & KU LIBIR LLC & ETAL	8627 D ESERT DUSK CT NE	ALB UQ UE RQ UE	N M	87 11 3	V	A1 A	TR 5-B-2 A PLAT OF TR 4-A-1 & TRS 5-B-1 & 5-B-2 LANDS OF WEFCO PARTNERS CONT 7.2160 AC M/L	6.4 03 31 23 6
3	1010 0570 2431 4203 10	BUILDING EXCHANGE COMPANY % SPARTON CORPORATION	8500 B LUEW ATER RD NW	ALB UQ UE RQ UE	N M	87 12 1	C	A1 A	* 1 SUMMARY PLAT OF TRACTS H-1 H-2 I-1 & I-2 OF ATRISCO BUSINESS PARK UNIT 2 CONT 20.00 AC	19. 93 95 12 1
4	1010 0570 7820 5313 18	CITY OF ALBUQUERQU E ATTN REAL ESTATE LEGAL DEPT	PO BO X 1293	ALB UQ UE RQ UE	N M	87 10 3	V	A1 A	TR C-42 UNIT 4 TOWN OF ATRISCO GRANT	4.8 00 34 69 1
5	1010 0571 0513 0303 03	FAHAD LAND HOLDING S LLC & BHOO DEVI LA ND HOLDINGS LLC & K ULBIR LLC & ETAL	8627 D ESERT DUSK CT NE	ALB UQ UE RQ UE	N M	87 11 3	V	A1 A	TR 5-B-1 A PLAT OF TR 4-A-1 & TRS 5-B-1 & 5-B-2 LANDS OF WEFCO PARTNERS CONT 68,171 SQ FT M/L	1.3 48 99 3
6	1010 0570 6816 3313 17	ROMERO DENNIS M	3134 B RIDGE BLVD SW	ALB UQ UE RQ UE	N M	87 12 1	V	A1 A	80' X 200' POR OF TR C43 UNIT 4 TOWN OF ATRISCO GRANT	0.3 72 49 95 8
7	1010 0570 5620 3313 16	ROMERO DENNIS M	3134 B RIDGE BLVD SW	ALB UQ UE RQ UE	N M	87 12 1	V	A1 A	TR C-43 UNIT 4 TOWN OF ATRISCO GRANT EXC 80' X 200'	4.4 57 81 49 1
8	1010 0570 9522 1313 20	CITY OF ALBUQUERQU E	PO BO X 1293	ALB UQ UE RQ UE	N M	87 10 3	C	A1 A	TR B-4 SUMMARY PLAT OF LTS 109 TO 116, 131 TO 146 & 161 TO 170 HUBBELL HEIGHTS & LTS 117A, 118A, 119A, 128A, 129A, 130A, 147A, 148A, 149A, 158A, 159A & 160A REPL OF HUBBELL HTS CONT	3.9 98 83 83 5
9	1010 0570 5611 9303 14	FAHAD LAND HOLDING LLC & BHOO DEVI LAN D HOLDINGS LLC & KU LBIR LLC & ETAL	8627 D ESERT DUSK CT NE	ALB UQ UE RQ UE	N M	87 11 3	V	A1 A	TR 4-A-1 A PLAT OF TR 4-A-1 & TRS 5-B-1 & 5-B-2 LANDS OF WEFCO PARTNERS CONT 40,010 SQ FT M/L	0.9 20 02 79 6
10	1010 0570 3420 4313 15	STEWART MICHAEL J & LISA G	9300 C AMINO DEL S OL NE	ALB UQ UE RQ UE	N M	87 11 1	V	A1 A	TR C-44B OF SUMMARY PLAT OF TRS C-44A & C-44B UNIT 4 TRS ALLOTTED FROM TOWN OF ATRISCO GRANT	3.8 52 40 46 6
11	1010 0571 0917 2313 21	CITY OF ALBUQUERQU E	PO BO X 1293	ALB UQ UE RQ UE	N M	87 10 3	V	A1 A	WLY POR OF LT 106 & ALL OF LTS 107 & 108 HUBBELL HEIGHTS SUBN CONT 1.01 AC	0.9 22 16 47 5
12	1010 0570	SAIZ JOSEPH P & ODA LYS	8181 C ENTRA	ALB UQ	N M	87 12	V	A1 A	E/2 TR C-45 UNIT 4 TOWN OF ATRISCO GRANT CONT. 2.4510	2.2 85

2419 2313 14		L AVE NW	UE RQ UE	1		(AC+/-) OR 106,775 (SQ.FT.+/-).	45 99 5
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OR CURRENT RESIDENT
101005702431420310
BUILDING EXCHANGE COMPANY
SPARTON CORPORATION
8500 BLUEWATER RD NW
ALBUQUERQUE, NM 87121

OR CURRENT RESIDENT
101005702419231314
SAIZ JOSEPH P & ODALYS
8181 CENTRAL AVE NW
ALBUQUERQUE, NM 87121

Project# 1007720
MIGUEL MAESTAS
Avalon NA
9400 HARBOR RD NW
ALBUQUERQUE, NM 87121

Project# 1007720
BEA PURCELLA
Skyview West NA
201 CLAIRE LN SW
ALBUQUERQUE, NM 87121

Project# 1007720
LARRY NELSON
Westside Merchants Assoc.
929 OLD COORS SW
ALBUQUERQUE, NM 87105

Project# 1007720
JERRY GALLEGOS
Alamosa NA
417 65TH ST SW
ALBUQUERQUE, NM 87121

Project# 1007720
ANDRES ANAYA
Sunrise HOA
209 GALATANEU NW
ALBUQUERQUE, NM 87121

Project# 1007720
MARCIA FERNANDEZ
South Valley Coalition of NA 2401
VIOLET SW
ALBUQUERQUE, NM 87105

Project# 1007720
CANDELARIA PATTERSON
Westside Coalition of NA
7608 ELDERWOOD NW
ALBUQUERQUE, NM 87120

OR CURRENT RESIDENT
101005705611930314
FAHAD LAND HOLDING LLC & BHOO
DEVI LAND HOLDINGS LLC & KULBIR LLC
& ETAL
8627 DESERT DUSK CT NE
ALBUQUERQUE, NM 87113

OR CURRENT RESIDENT
101005704815531312
STEWART MICHAEL J & LISA G
9300 CAMINO DEL SOL NE
ALBUQUERQUE, NM 87111

Project# 1007720
KELLY CHAPPELLE
Avalon NA
9135 SANTA CATALINA AVE NW
ALBUQUERQUE, NM 87121

Project# 1007720
M MAX GARCIA
Los Volcanes NA
6619 HONEYLOCUST AVE NW
ALBUQUERQUE, NM 87121

Project# 1007720
HUMBERTO PEREZ
Westside Merchants Assoc.
701B OLD COORS SW
ALBUQUERQUE, NM 87105

Project# 1007720
MICHAEL QUINTANA
West Mesa NA
301 63RD ST NW
ALBUQUERQUE, NM 87105

Project# 1007720
DARLENE NORRIS
Sunrise HOA
319 GALATANEU NW
ALBUQUERQUE, NM 87121

Project# 1007720
KLARISSA PENA
South West Alliance of Neighbors
6525 SUNSET GARDENS SW
ALBUQUERQUE, NM 87121

OR CURRENT RESIDENT
101005706816331317
ROMERO DENNIS M
3134 BRIDGE BLVD SW
ALBUQUERQUE, NM 87121

Project# 1007720
ROY GIBSON
BOHANNAN HUSTON
7500 JEFFERSON
ALBUQUERQUE, NM 87102

Project# 1007720
TONY CHAVEZ
Skyview West NA
305 CLAIRE LN SW
ALBUQUERQUE, NM 87121

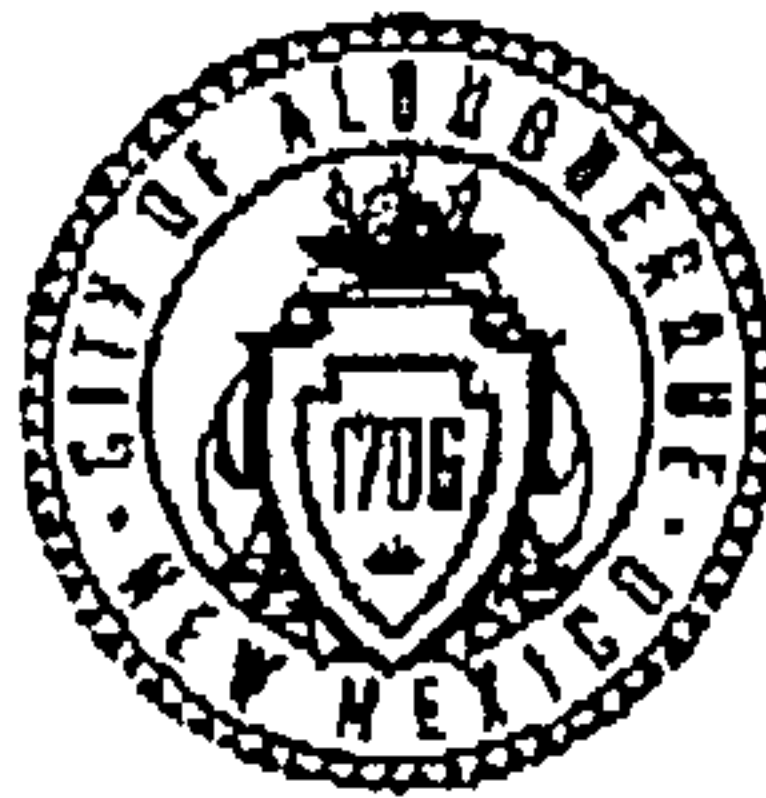
Project# 1007720
BEN SANDOVAL
Los Volcanes NA
6516 HONEYLOCUST AVE NW
ALBUQUERQUE, NM 87121

Project# 1007720
JEANETTE BACA
Alamosa NA
901 FIELD SW
ALBUQUERQUE, NM 87121

Project# 1007720
LOUIS TAFOYA
West Mesa NA
South West Alliance of Neighbors
6411 AVALON RD NW
ALBUQUERQUE, NM 87105

Project# 1007720
SUSAN WHITE
South Valley Coalition of NA
2736 LOS PADILLAS SW
ALBUQUERQUE, NM 87105

Project# 1007720
DAN SERRANO
Westside Coalition of NA
3305 RONDA DE LECHUSAS NW
ALBUQUERQUE, NM 87120



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

March 26, 2009

Tandy Freel
Bohannan Huston Inc.
7500 Jefferson NE/87109
Phone: 798-7988/Fax: 798-7988

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Dear Tandy:

Thank you for your inquiry of March 26, 2009 requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **(CITY PROJECT SUBMITTAL) - LOT C-43, TOWN OF ATRISCO GRANT (UNIT 4) LOCATED ON CENTRAL AVENUE NW BETWEEN 86TH STREET NW AND UNSER BOULEVARD NW** zone map **K-10**.

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

SEE ATTACHED LIST OF NEIGHBORHOOD AND/OR HOMEOWNERS TO CONTACT IN REGARDS TO THIS PROJECT -swinklepleck

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT!** Failure of adequate notification may result in your **Application Hearing being deferred for 30 days**. If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani I. Winklepleck
Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATION.

planningnaform(12/06/07)

Tandy Freel, Bohannon Huston, Inc.
zone map K-10.

AVALON N.A. (AVA) "R"

***Miguel Maestas**, 9400 Harbor Rd. NW/87121 831-9629 (h)
Kelly Chappelle, 9135 Santa Catalina Ave. NW/87121 836-1766 (h)

SKYVIEW WEST N.A. (SVW) "R"

***Tony Chavez**, 305 Claire Ln. SW/87121 831-5824 (h)
Bea Purcella, 201 Claire Ln. SW/87121 831-5556 (h)

LOS VOLCANES N.A. (LVC) "R"

***M. Max Garcia**, 6619 Honeylocust Ave. NW/87121 833-0969 (h)
Ben Sandoval, 6516 Honeylocust Ave. NW/87121 836-4419 (h)

WEST SIDE MERCHANTS ASSOC. (WSM) "R"

***Larry Nelson**, 929 Old Coors SW/87105 836-3330 (w)
Humberto Perez, 701B Old Coors SW/87105 839-5391 (w)

ALAMOSA N.A. (ALM) "R"

***Jeanette Baca**, 901 Field SW/87121 836-3281 (h)
Jerry Gallegos, 417 65th St. SW/87121 836-0668 (h)

WEST MESA N.A. (WTM) "R"

***Michael Quintana**, 301 63rd St. NW/87105 839-4250 (h)
✕ **Louis Tafoya**, 6411 Avalon Rd. NW/87105 836-3189 (h)

SUNRISE H.O.A. (SUN) "R"

***Andres Anaya**, 209 Galataneu NW/87121 319-7813 (h)
Darlene Norris, 319 Galataneu NW/87121 681-2012 (c)

SOUTH VALLEY COALITION OF NEIGHBORHOOD ASSOCIATIONS

***Susan White**, 2736 Los Padillas SW/87105 877-1296 (h) 321-2221 (c)
Marcia Fernandez, 2401 Violet SW/87105 877-9727 (h) 235-6511 (c)

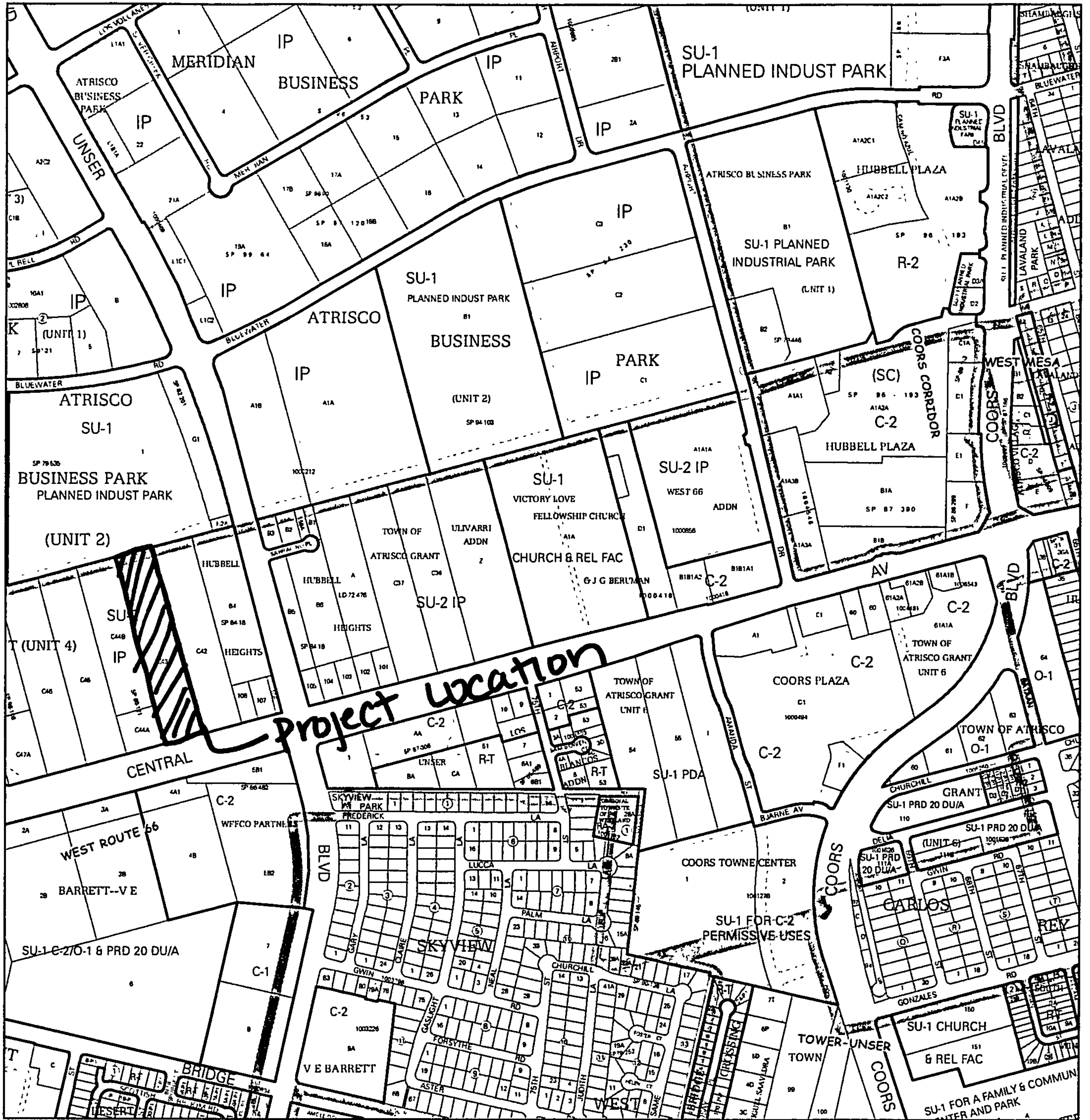
SOUTH WEST ALLIANCE OF NEIGHBORS (SWAN)

***Klarissa Pena**, 6525 Sunset Gardens SW/87121 270-9289 (h)
✕ **Louis Tafoya**, 6411 Avalon Rd. NW/87105 836-3189 (h)

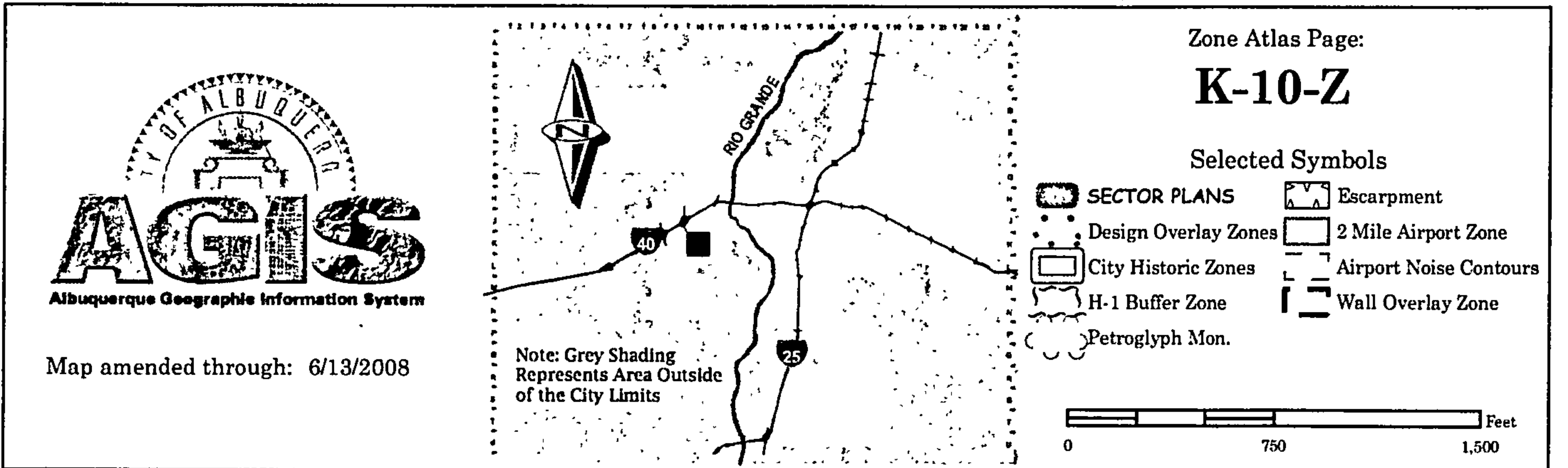
WESTSIDE COALITION OF N.A.'S

***Dan Serrano**, 3305 Ronda De Lechugas NW/87120 249-7994 (c) e
Candelaria Patterson, 7608 Elderwood NW/87120 321-1761 (h)





For more current information and more details visit: <http://www.cabq.gov/gis>





CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

April 22, 2009

Project# 1007720

09DRB-70125 MAJOR – SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

BOHANNAN HUSTON INC agent(s) for CITY OF ALBUQUERQUE TRANSIT DEPT request(s) the referenced/ above action(s) for all or a portion of Tract(s) C-43, **TOWN ATRISCO Unit(s) 4**, zoned SU-2 IP, located on the north side of CENTRAL AVE NW between UNSER BLVD NW and 98TH ST NW containing approximately 4.8 acre(s). (K-10)

AMAFCA No comment.
COG Central Av has been identified as an ITS Corridor. Please contact DMD at 291 6220 for implementation schedule and project details. The 2030 MTP lists MPO Project ID #802.3 "Central Av Streetscape Improvements" as a City of Albuquerque project to construct median streetscape improvements from the western City limit to Unser Bd. This project does not have funding in the 2008-2013 TIP, so no funds are programmed before FY 2014. The functional classification of Central Av is that of urban principal arterial.
TRANSIT No comments.
ZONING ENFORCEMENT No comments.
NEIGHBORHOOD COORDINATION No comments.
APS This will have no adverse impacts to the APS district.
POLICE DEPARTMENT See file for informational comments.
FIRE DEPARTMENT No comments.
PNM ELECTRIC & GAS Approved please contact PNM Distribution Engineering for availability of electric service to this development.
COMCAST No comments.
QWEST See file for informational comments.
ENVIRONMENTAL HEALTH No comments.

M.R.G.C.D

No Adverse Comments.

OPEN SPACE DIVISION

Open Space has no adverse comments

CITY ENGINEER

An approved infrastructure list signed by the director of Transit must accompany this request.

TRANSPORTATION DEVELOPMENT

For passenger vehicles, the minimum end island radius is 15 feet.

Label the compact parking spaces by placing the words "compact" on the pavement of each space.

Provide a copy of the most recent plat for this area.

PARKS AND RECREATION

No objection.

ABCWUA

Signature block must be revised for ABCWUA signature line.

Availability request is pending and must be completed prior to approval of any infrastructure list and utility plan.

Need sign off by Fire Marshall in regards to location and number of fire hydrants.

PLANNING DEPARTMENT

All signage needs to be shown on the site plan. Lighting locations also need to be shown.

Building elevations need to be complete (show doors and windows, if any). West Route

66 plan requires a 10 foot setback on side (where building is shown) and a 25 foot

landscape setback on Central (w/ street trees).

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: _____
Date Site Plan Approved: 4-22-09
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: 1007720
DRB Application No.: _____

ORIGINAL

INFRASTRUCTURE LIST

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

⚠ 05/27/09

City of Albuquerque Southwest Mesa Park & Ride
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Lot C-43 of Town of Atrisco Grant Unit 4
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<input type="text"/>	<input type="text"/>	12' FC- Existing lane	Paved Roadway Deceleration Lane, Striping, Curb and Gutter. Eastbound Central Left turn into development.	Central Ave.	250' West of Development Entrance	Development Entrance	/	/	/
<input type="text"/>	<input type="text"/>	Ex. Lane - 12' FC\	Paved Roadway Deceleration Lane, Striping, Curb and Gutter. Westbound Central Right turn into development.	Central Ave.	250' East of Development Entrance	Development Entrance	/	/	/
<input type="text"/>	<input type="text"/>	35' Median Cut	Paved Roadway Median Cut, Curb and Gutter Striping.	Central Ave.	Development Entrance	Development Entrance	/	/	/
<input type="text"/>	<input type="text"/>	30' FC-FC Cull-de-Sac	Paved Roadway Deceleration Lane, Place a cul-de-sac on the Central Frontage Road to Dead End in front of Car Wash West of development.	Central Frontage Road	50' West of Development Entrance	50' West of Development Entrance	/	/	/
<input type="text"/>	<input type="text"/>	220' Curb	Install Curb and Gutter along Central Ave. to Close Entrance to Existing Central Frontage Road.	Central Ave	Unser And Central	Proposed Deceleration Lane of Entrance	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>	6'	sidewalk *	Central Ave	W property 1, 2	E property	/	/	/
<input type="text"/>	<input type="text"/>		* to be deleted				/	/	/

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
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NAME OF PLAT AND/OR SITE PLAN _____

NOTES

Transit

The improvements identified above will be the responsibility of the City of Albuquerque, Dept of ~~Municipal Development~~. By signing below, I understand that my division is financially responsible for the above listed items. This agreement will constitute as a Subdivision Improvement Agreement (SIA). Acquiring funding for these items is my responsibility. These items listed above will be completed 6 months after written notification from the City Engineer. The estimated cost of these improvements are \$_____.

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

*Roy Gibson BHI / GREG PAYNE
KEN COX*
NAME (print)
BHI / COA TRANSIT
FIRM
[Signature]
SIGNATURE - date
04/24/09
MAXIMUM TIME ALLOWED TO CONSTRUCT
THE IMPROVEMENTS WITHOUT A DRB
EXTENSION: _____

[Signature] 4/22/09
DRB CHAIR - date
[Signature] 4/22/09
TRANSPORTATION DEVELOPMENT - date
[Signature] 4/22/09
UTILITY DEVELOPMENT - date
Bradley L. Bixler 4/22/09
CITY ENGINEER - date

Christina Sandoval 4/22/09
PARKS & GENERAL SERVICES - date

AMAFCA - date

- date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER
<i>Δ</i>	<i>05/27/09</i>		<i>KSAS</i>	<i>[Signature]</i>

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...
- D Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

Professional/Agent (if any): SHABIH RIZVI - COA TRANSIT DEPT. PHONE: 724-3134
 ADDRESS: ALVARADO TRANSPORTATION CENTER, 100 1ST STREET SW FAX: 724-3196
 CITY: ALBUQUERQUE STATE NM ZIP 87102 E-MAIL: srizvi@cabq.gov

APPLICANT: SAME AS ABOVE PHONE: _____
 ADDRESS: _____ FAX: _____
 CITY: _____ STATE _____ ZIP _____ E-MAIL: _____
 Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST:

REQUEST FOR DEFFERAL OF SIDEWALK CONSTRUCTION

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOT C 43 Block: _____ Unit: 4
 Subdiv/Addn/TBKA: TOWN ATRISCO
 Existing Zoning: SU-2 for IP Proposed zoning: SAME
 Zone Atlas page(s): K-10 UPC Code: _____ MRGCD Map No _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): ~~09DRB~~
DRB PROJ # 1007720 09DRB-70, PROJECT # 7616.91

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): 4.8
 LOCATION OF PROPERTY BY STREETS: On or Near: NW CORNER OF CENTRAL & UNSER NW
 Between: UNSER and 98TH

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Shabih Rizvi DATE 5/19/2009
 (Print) SHABIH RIZVI Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>09DRB 70182</u>	<u>TDS</u>	<u>✓</u>	<u>\$ 0</u>
<u>09DRB 70183</u>	<u>ESIA</u>		<u>\$ 0</u>
	<u>CME</u>		<u>\$ 0</u>
			<u>\$</u>
			<u>\$</u>
			<u>\$</u>
			<u>\$</u>
			<u>\$</u>
			<u>Total</u>
			<u>\$ 0</u>

Hearing date 05/27/09
Sandy Hurdley 05/19/09 Project # 1007720
 Planner signature / date

FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (DRB04)** **(PUBLIC HEARING CASE)**
- Application for Minor Plat on FORM S-3, including those submittal requirements. **24 copies**
 - Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
 - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application.
- DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- VACATION OF PUBLIC EASEMENT (DRB27)**
- VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**
- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**
(Not required for City owned public right-of-way.)
 - Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- SIDEWALK VARIANCE (DRB20)**
- SIDEWALK WAIVER (DRB21)**
- Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the variance or waiver
 - List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
- Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the variance
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
- EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)**
- Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the deferral or extension
 - List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- VACATION OF PRIVATE EASEMENT (DRB26)**
- VACATION OF RECORDED PLAT (DRB29)**
- The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
 - Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
 - Letter of authorization from the grantors and the beneficiaries (private easement only)
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

SHABIH RIZVI 5/19/2009
Applicant name (print)

[Signature] 5/19/2009
Applicant signature / date



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

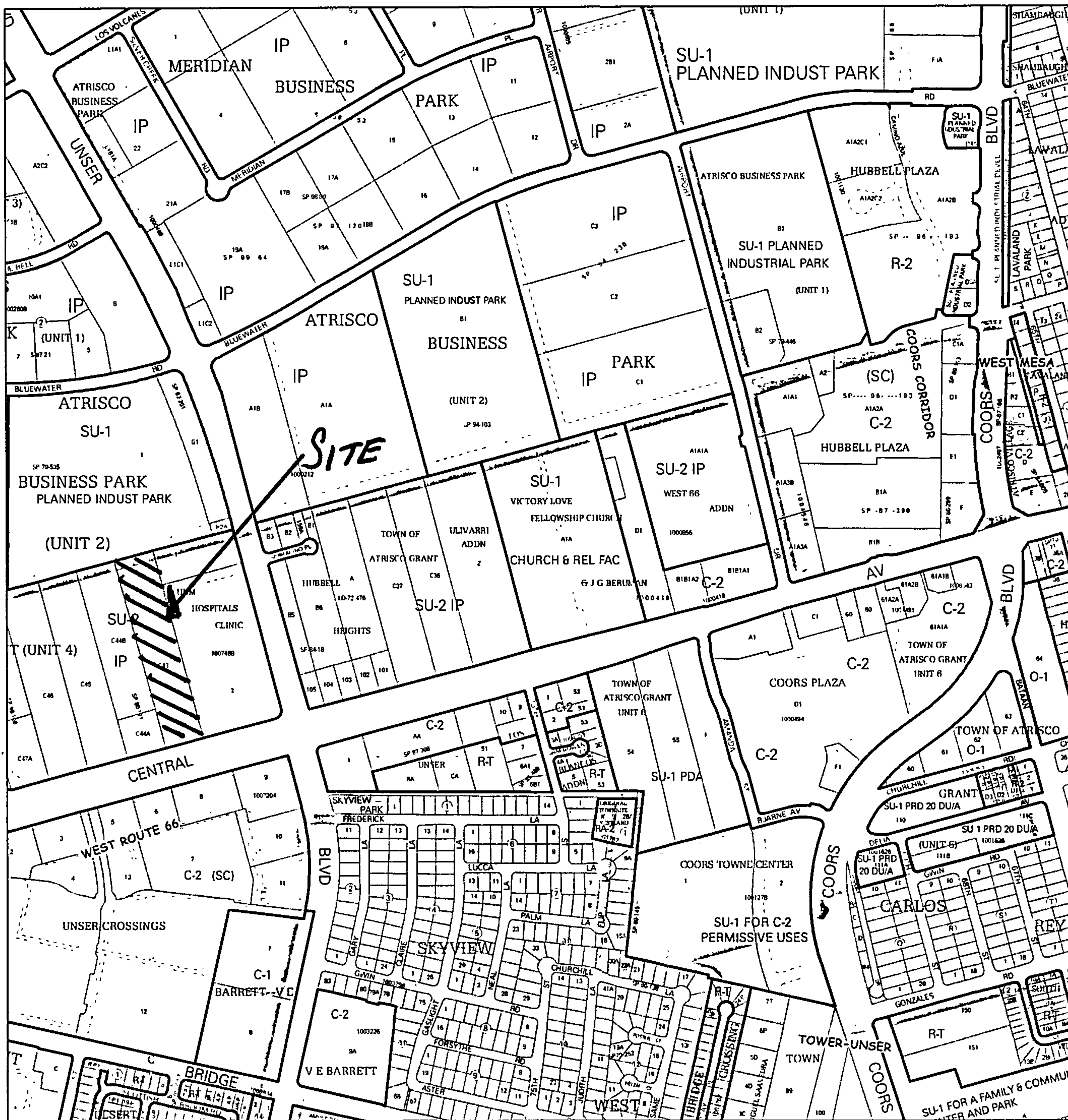
Application case numbers

09DRB-70182
09DRB-70183

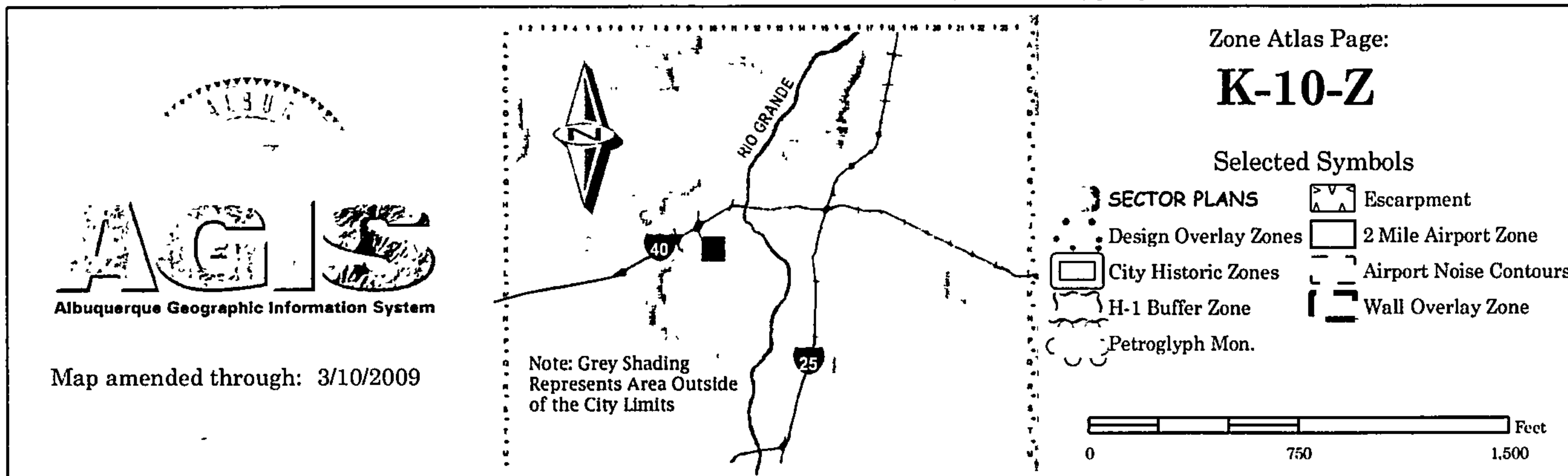
Form revised 4/07

Sandy Handley 05/19/09
Planner signature / date

Project # 1007720



For more current information and more details visit: <http://www.cabq.gov/gis>



CITY OF ALBUQUERQUE



May 19th, 2009

**RE: Request Temporary Deferral of Sidewalk Construction for
Southwest Mesa Park and Ride Located on Lot C-43, Atrisco Grant
(Unit 4)**

Dear Mr. Cloud

The City of Albuquerque, Transit Department is submitting the following DRB application requesting a temporary deferral of sidewalk construction (DRB19) and also the extension of SIA for temporary deferral of sidewalk construction (DRB-07) for the above-mentioned project.

The Transit Department and our neighbors to the east, the COA Metropolitan Redevelopment Agency (MRA) anticipate applying to vacate excess Right-of-Way on Central Avenue. In the interim Transit would like to defer construction of sidewalk along Central until the vacation is resolved.

Please contact me at 724-3134 with any questions or concerns.

Sincerely,

Shabih Rizvi

Transit Department

PO Box 1293

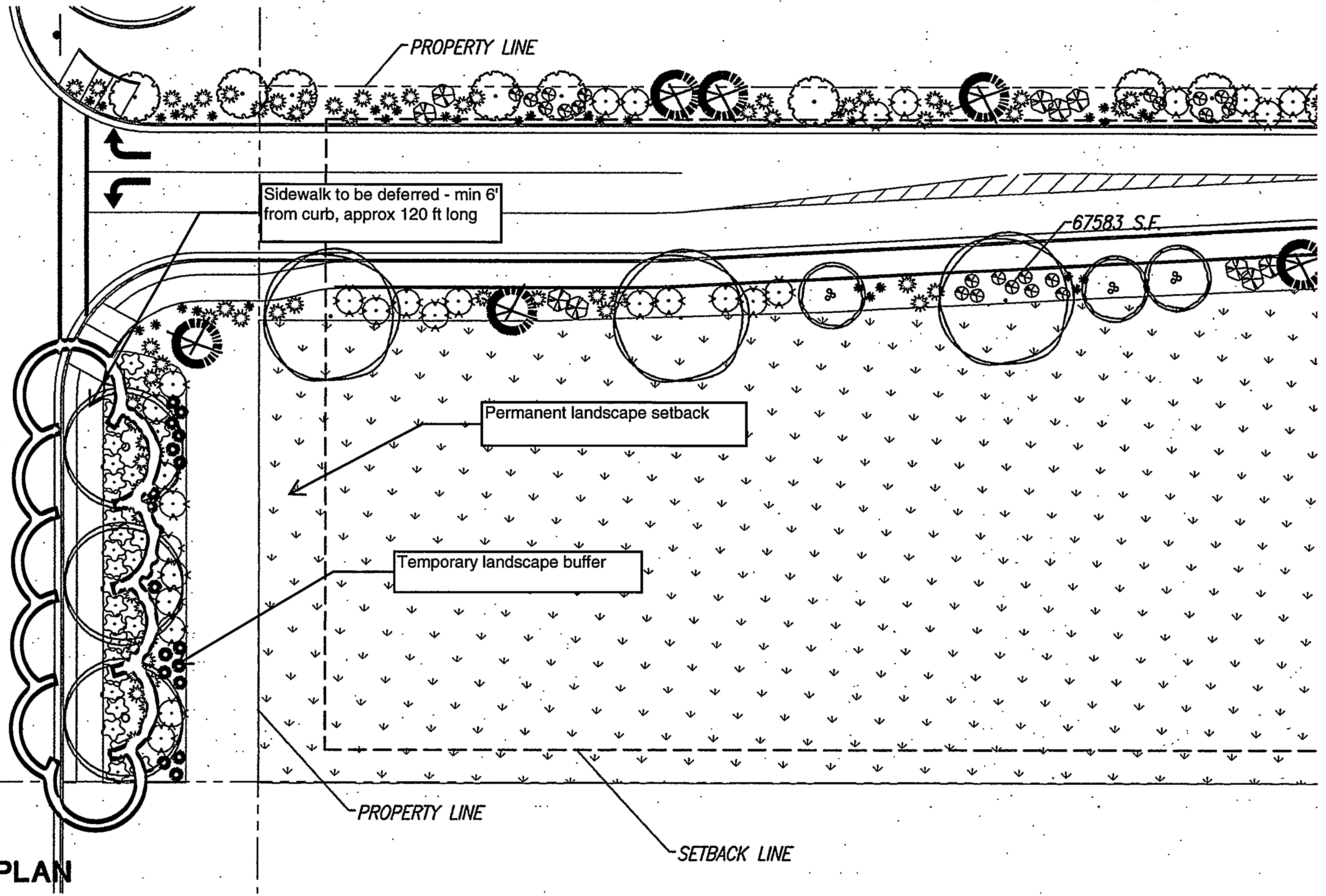
Albuquerque

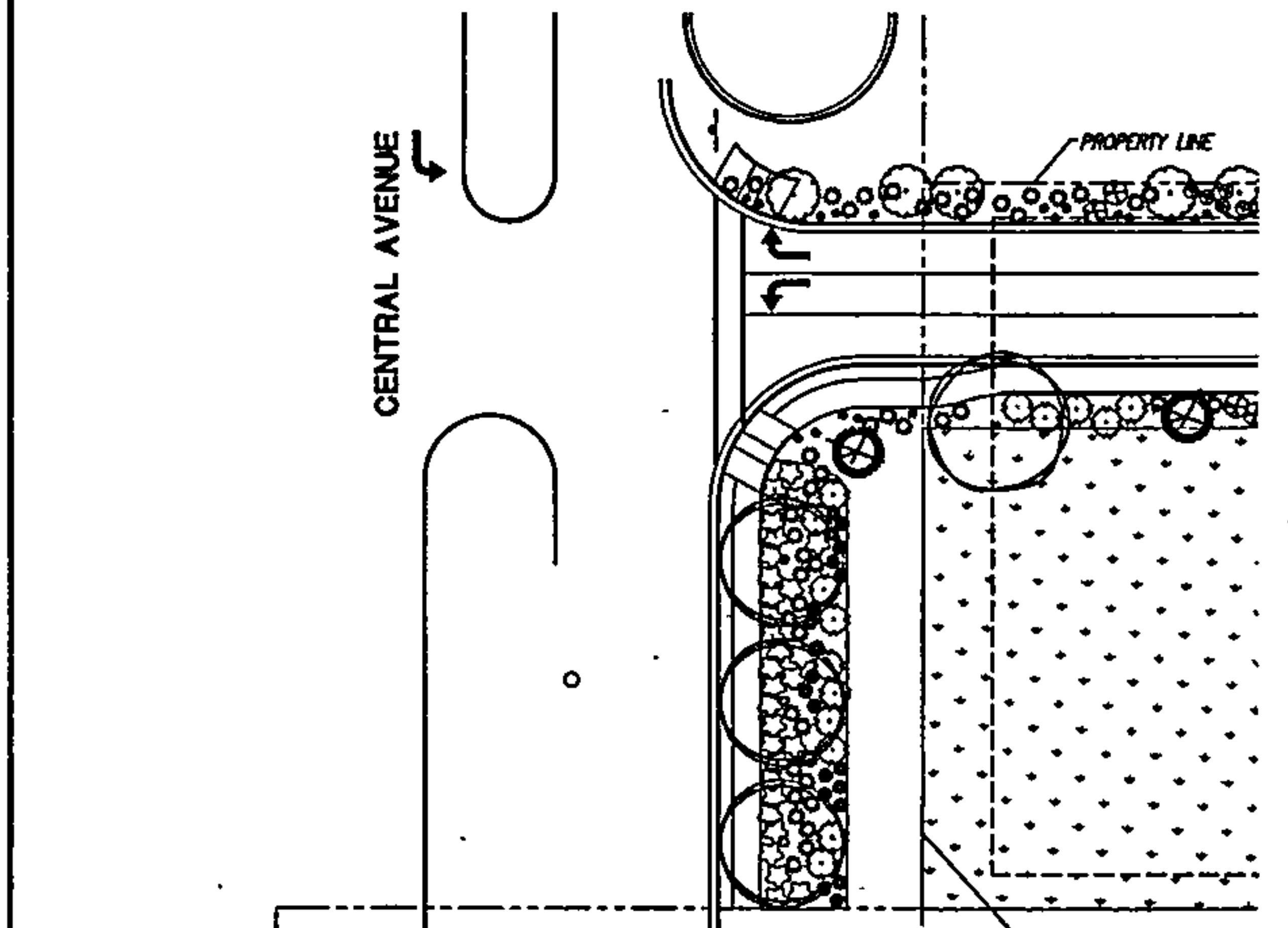
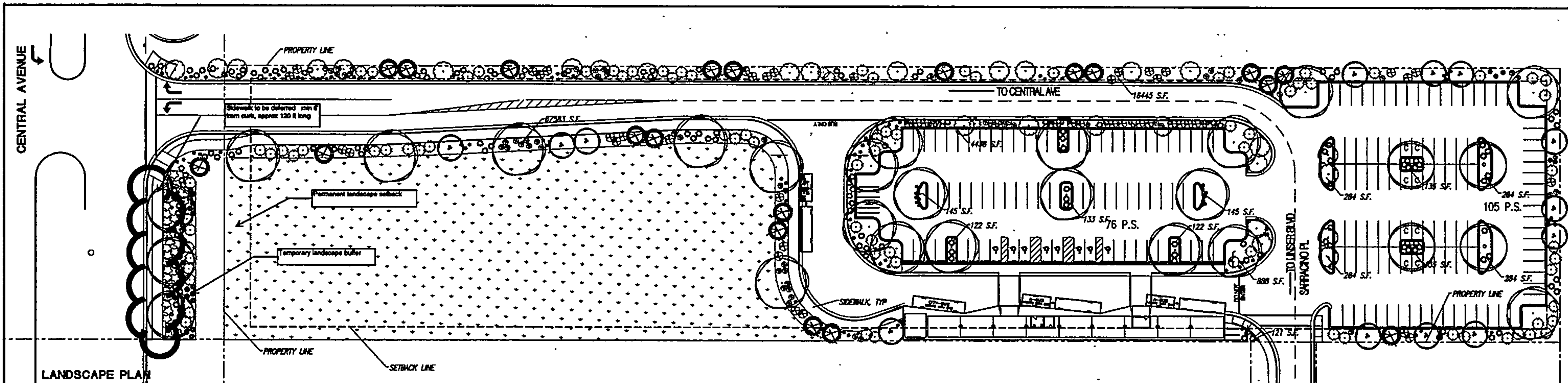
NM 87103

www.cabq.gov

CENTRAL AVENUE

LANDSCAPE PLAN





PLANT LEGEND

BOTANICAL	COMMON	SIZE	QTY	MATURE HEIGHT X SPREAD
<i>Fraxinus velutina</i>	ARIZONA ASH	2 1/2" cal.	21	45' X 45'
<i>Fraxinus oycarpa</i> 'Raywood'	RAYWOOD ASH	2" cal.	7	35' X 35'
<i>Quercus alba</i> 'Crinchoy'	CRIMSON SPINE OAK	2" cal.	29	45' X 15'
<i>Chrysolepis linearis</i> 'N1's Seedling'	DESERT WILLOW	8" - 10" HL. multi-trunk	13	25' X 25'
<i>Juniperus monosperma</i>	ONE-SEED JUMPER (FEMALE ONLY)	6"-8" HL. 8AB	19	15' X 15'
<i>Juniperus virginiana</i> 'Stryker'	SKYROCKET JUMPER (FEMALE ONLY)	6"-8" HL. 8AB	4	20' X 3'
<i>Artemisia tridentata</i>	BIG SAGE		77	4' x 4'
<i>Rhus trilobata</i>	THREE-LEAF SUMAC	5 gal.	46	8' x 6'
<i>Fallopia perfoliata</i>	APACHE PLUME	5 gal.	X	4' x 4'
<i>Rhus trilobata</i> 'Worm leaf sumac'	CREEPING THREE LEAF SUMAC	3 gal.	X	1.5' x 6'-8'
<i>Artemisia filifolia</i>	SAND SAGE	5 gal.	55	4' x 4'
<i>Nolina texana</i>	BEARGRASS	3 gal.	137	3' x 4'
<i>Bacopa multiradiata</i>	DESERT MARIGOLD	1 gal.	95	1' x 2'

SEEDING MIX

Material	Quantity
Topsoil	100
Compost	100
Perlite	100
Other	100

LANDSCAPING NOTES

ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" LAYER OF SANTA FE BROWN (OR EQUAL) CRUSHER FINES.

RESPONSIBILITY FOR LANDSCAPE MAINTENANCE ON THE SITE SHALL LIE WITH THE CITY OF ALBUQUERQUE. LANDSCAPE PLAN WILL MEET THE REQUIREMENTS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE C ORD 18-1995.

AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM IS TO BE DESIGNED AND CONSTRUCTED FOR ALL INSTALLED PLANT MATERIALS. TREES, SHRUBS AND GROUNDCOVERS WILL BE IRRIGATED WITH A LOW FLOW BUBBLER SYSTEM.

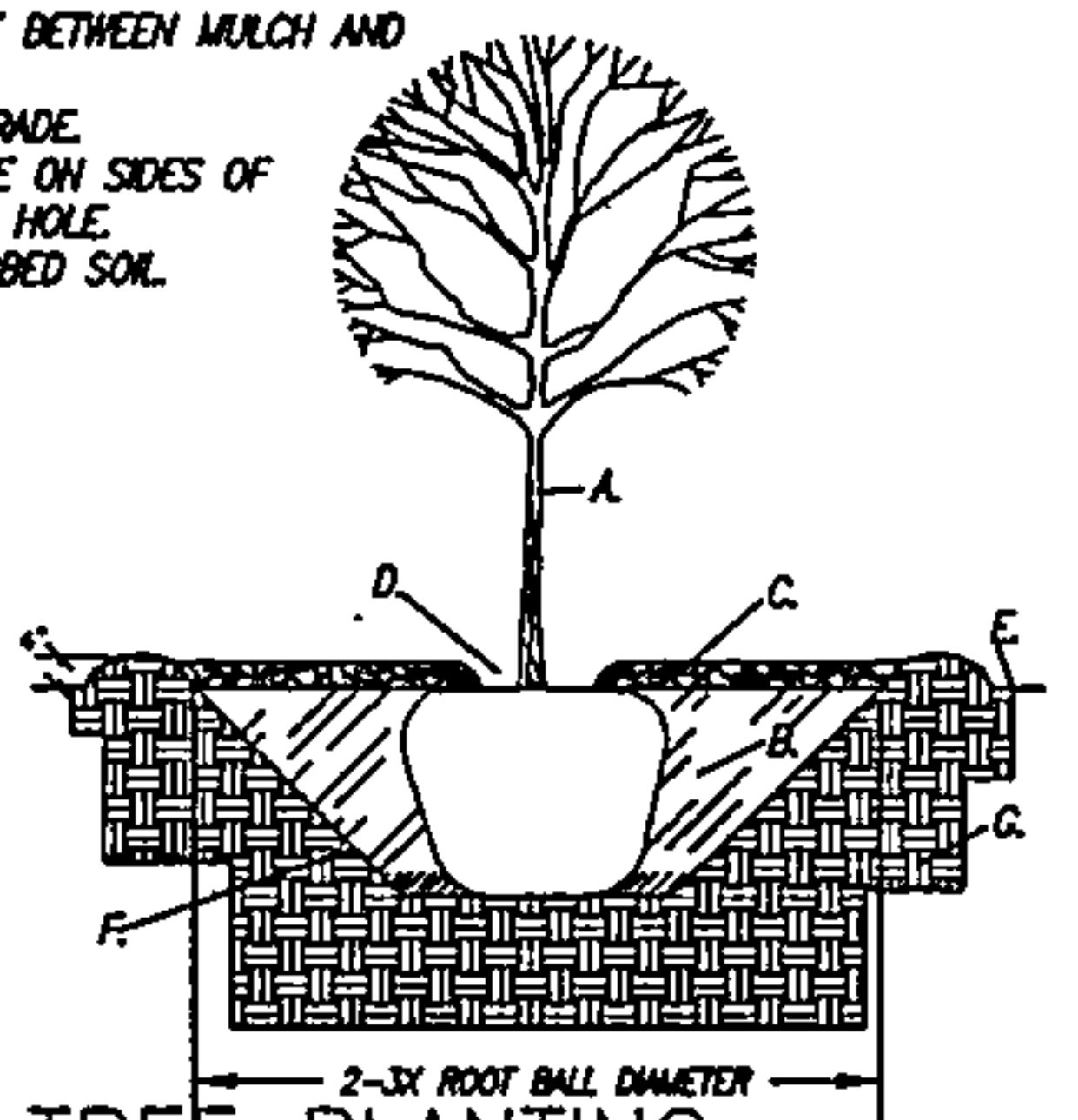
ALL LANDSCAPING IS INTENDED AS GENERAL LANDSCAPING, NO LANDSCAPE FOR SCREENING OR BUFFERING IS PROPOSED. ALL LANDSCAPE PLANTS SHALL BE NEW.

AREA CALCULATIONS

TOTAL SITE =	163,900 S.F.
LANDSCAPE AREA REQUIRED =	24,585 S.F.
LANDSCAPE AREA REQUIRED AS PERCENT OF NET LOT AREA =	15%
LANDSCAPE AREA PROVIDED =	31,256 S.F.
LANDSCAPE AREA PROVIDED AS PERCENT OF NET LOT AREA =	19%

CONSTRUCTION NOTES:

- TREE.
- BACKFILL WITH EXISTING SOIL AND 10% ORGANIC AMENDMENTS. SEE SPECIFICATIONS.
- 3" DEPTH OF MULCH.
- 4" SPACE BETWEEN MULCH AND TREE.
- FINISH GRADE.
- 1:1 SLOPE ON SIDES OF PLANTING HOLE.
- UNDISTURBED SOIL.



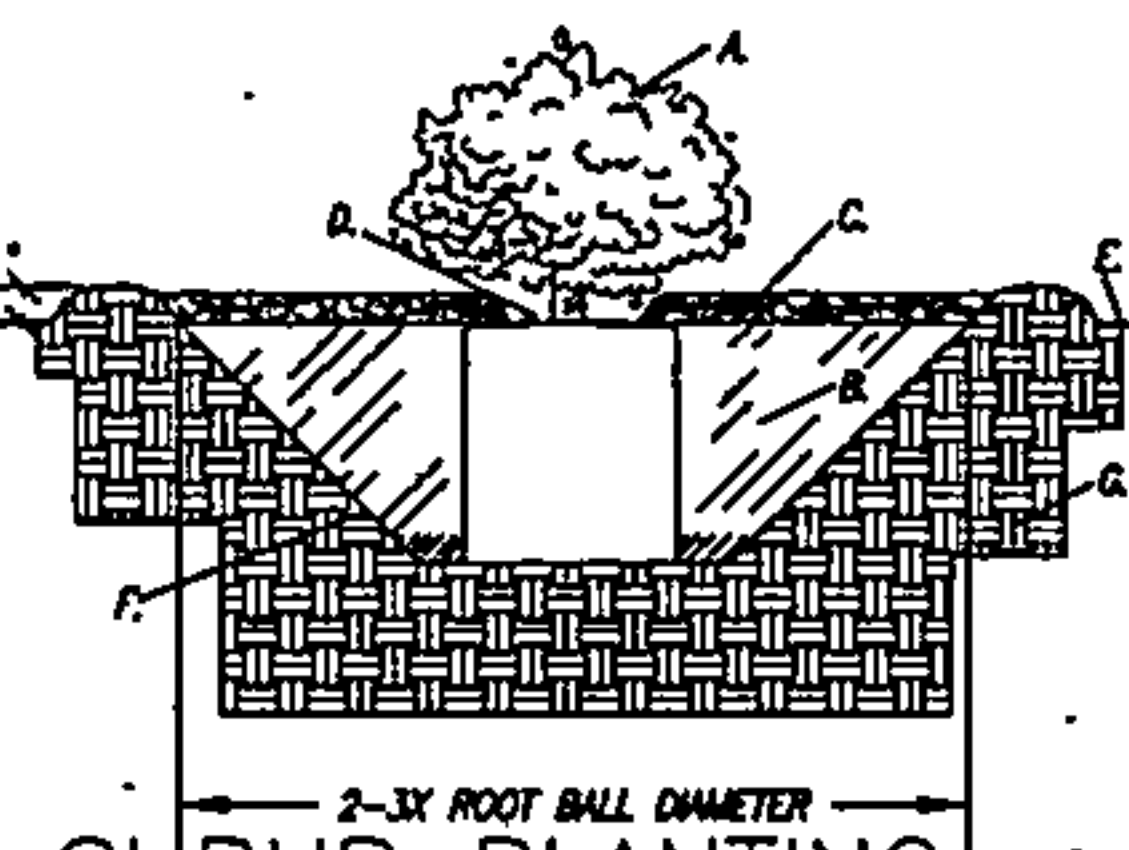
A TREE PLANTING

GENERAL NOTES:

- KEEP SOIL BELOW ROOT BALL UNDISTURBED TO PREVENT TREE FROM SETTLING.
- REMOVE ANY EXCESS SOIL FROM TOP OF ROOTBALL TO EXPOSE ROOT FLARE (WHERE TOP MOST ROOT EMERGES FROM THE TRUNK). PLANT WITH ROOT FLARE LEVEL TO FINISH GRADE (OR 1"-2" HIGHER IN SLOWLY DRAINING SOIL).
- TAMP SOIL FIRMLY AROUND BASE OF ROOTBALL WITH FOOT PRESSURE.
- PRIOR TO BACKFILLING, REMOVE BURLAP, ROPE, TWINE, AND WIRE FROM TOP HALF OF ROOTBALL AND FROM PLANTING HOLE.
- AT TIME OF PLANTING, ONLY PRUNE CO-DOMINANT LEADERS (DOES NOT APPLY TO MULTI-TRUNK SPECIMENS), CROSSOVER LIMBS, AND DEAD OR BROKEN BRANCHES.
- STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- DO NOT PLACE MULCH IN CONTACT WITH TREE, KEEP AT LEAST 4" AWAY FROM TRUNK.
- AFTER PLANTING, THOROUGHLY WATER TO ELIMINATE AIR POCKETS.

CONSTRUCTION NOTES:

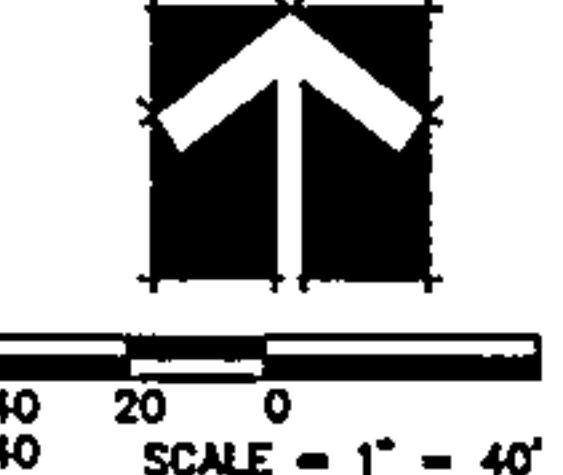
- SHRUB.
- BACKFILL WITH EXISTING SOIL AND 10% ORGANIC AMENDMENTS. SEE SPECIFICATIONS.
- 3" DEPTH OF MULCH.
- 4" SPACE BETWEEN MULCH AND SHRUB.
- FINISH GRADE.
- 1:1 SLOPE ON SIDES OF PLANTING HOLE.
- UNDISTURBED SOIL.



B SHRUB PLANTING

GENERAL NOTES:

- KEEP SOIL BELOW ROOT BALL UNDISTURBED TO PREVENT TREE FROM SETTLING.
- REMOVE ANY EXCESS SOIL FROM TOP OF ROOTBALL TO EXPOSE ROOT FLARE (WHERE TOP MOST ROOT EMERGES FROM THE TRUNK). PLANT WITH ROOT FLARE LEVEL TO FINISH GRADE (OR 1"-2" HIGHER IN SLOWLY DRAINING SOIL).
- REMOVE CONTAINER AND CUT ANY ROOTS THAT ARE CIRCLING THE CONTAINER.
- TAMP SOIL FIRMLY AROUND BASE OF ROOTBALL WITH FOOT PRESSURE.
- AT TIME OF PLANTING, ONLY PRUNE DEAD OR BROKEN BRANCHES.
- DO NOT PLACE MULCH IN CONTACT WITH SHRUB, KEEP AT LEAST 4" AWAY FROM TRUNK.
- AFTER PLANTING, THOROUGHLY WATER TO ELIMINATE AIR POCKETS.



SOUTHWEST MESA PARK & RIDE

REVISIONS

DATE	BY	COMMENT

DRAWN BY: LB
 REVIEWED BY: PA
 SCALE: 1:40
 DATE: Apr 18, 2009
 PROJECT NO: 09063

CALL BEFORE YOU DIG
 FOR UTILITY LOCATES
 1-800-321-ALERT

DRAWING: L1
 SHEET: 2 OF 5

PERMANENT EASEMENT

Grant of Permanent Easement, between the City of Albuquerque ("Grantor"), whose address is P.O. Box 1293, Albuquerque, NM, 87103, and the City of Albuquerque, a New Mexico municipal corporation ("City"), whose address is P.O. Box 1293, Albuquerque, NM 87103.

Grantor grants to the City an exclusive, permanent easement ("Easement") in, over, upon and across the real property described on Exhibit "A" attached hereto ("Property") for the construction, installation, maintenance, repair, modification, replacement and operation of **VEHICULAR AND PEDESTRIAN ACCESS TO TRACT G-43 FOR SOUTHWEST MESA PARK & RIDE AND OTHER USES.** together with the right to remove trees, bushes, undergrowth and any other obstacles upon the Property if the City determines they interfere with the appropriate use of this Easement.

The grant and other provisions of this Easement constitute covenants running with the Property for the benefit of the City and its successors and assigns utilities until terminated.

This Easement shall not be effective until approved by the City Engineer as shown in the signature block below.

WITNESS my hand and seal this _____ day of _____, 200__.

APPROVED:
[Signature]
City Engineer
Dated 5-12-09

5-8-04

GRANTOR: City of Albuquerque

[Signature]
Ed Adams, P.E.
Chief Administrative Officer

ACKNOWLEDGMENT FOR CITY

STATE OF NEW MEXICO)
)ss
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on this 14 day of May, 200__ by Ed Adams, P.E., Chief Administrative Officer of the City of Albuquerque, a municipal corporation, on behalf of the municipal corporation.

(SEAL)
My Commission Expires 8/27/2012
OFFICIAL SEAL
Cindy J. Jaramillo
NOTARY PUBLIC
STATE OF NEW MEXICO
My Commission Expires: 8/27/2012

[Signature]
Notary Public

(EXHIBIT "A" ATTACHED)



EXHIBIT A

FOUND REBAR
NO CAP

1" PLASTIC CAP
"7684-TAG11194"

1" PLASTIC CAP
"8668 GRITSKO"

LOT 1

U.N.M. HOSPITALS CLINIC
FILED: JANUARY 22, 2009
(BK2009C, PG0018)

1" PLASTIC CAP
"10204 PWT"

POINT OF
BEGINNING
1" PLASTIC CAP
"10204 PWT"

1" PLASTIC CAP
"10204 PWT-TAG 11194"

S75°03'57"W 401.08'
(S75°04'13"W)

0.4952 Acres

S75°03'57"W 401.04'

EXISTING 50' PRIVATE ACCESS EASEMENT TO
BENEFIT LOTS 1 AND 2 AS DESCRIBED IN PLAT
ENTITLED U.N.M. HOSPITALS CLINIC AS FILED ON
JANUARY 22, 2009 IN BOOK 2009C, PAGE 0018,
RECORDS OF BERNALILLO COUNTY, NM

EXISTING 50' PRIVATE ACCESS EASEMENT TO
TO GRANTED TO TRACT C-43, TOWN OF ATRISCO
WITH THE FILING OF THIS EXHIBIT.

TRACT C-43
TOWN OF ATRISCO
FILED: DECEMBER 5, 1944
(D-177)

LOT 2

U.N.M. HOSPITALS CLINIC
FILED: JANUARY 22, 2009
(BK2009C, PG0018)

ACS STATION "7-K10"
GEOGRAPHIC POSITION (NAD 1983)
NM STATE PLANE COORDINATES (CENTRAL ZONE)
X=1,498,962.651 Y=1,483,739.165
COMBINED FACTOR = 0.999683006
DELTA ALPHA = -00°16'18.14"
NAVD88 ORTHO ELEVATION = 5,097.854

Curve Data						
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	90°00'07"	25.00'	39.27'	25.00'	35.36'	N59°55'59"W
C2	89°59'53"	25.00'	39.27'	25.00'	35.35'	N30°04'01"E

Tangent Data		
ID	BEARING	DISTANCE
T1	S14°51'36"E	75.00'
T2	N14°56'03"W	50.00'
T3	S14°56'03"E	25.00'

EXISTING
10' PUE

WEST CENTRAL AVE.
(204' R/W)

(S14°55'46"E)

TIE S22°02'40"E 906.56'

UNSER BLVD. NW
(124' R/W)



Bohannon & Huston

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING ▲ SPATIAL DATA ▲ ADVANCED TECHNOLOGIES

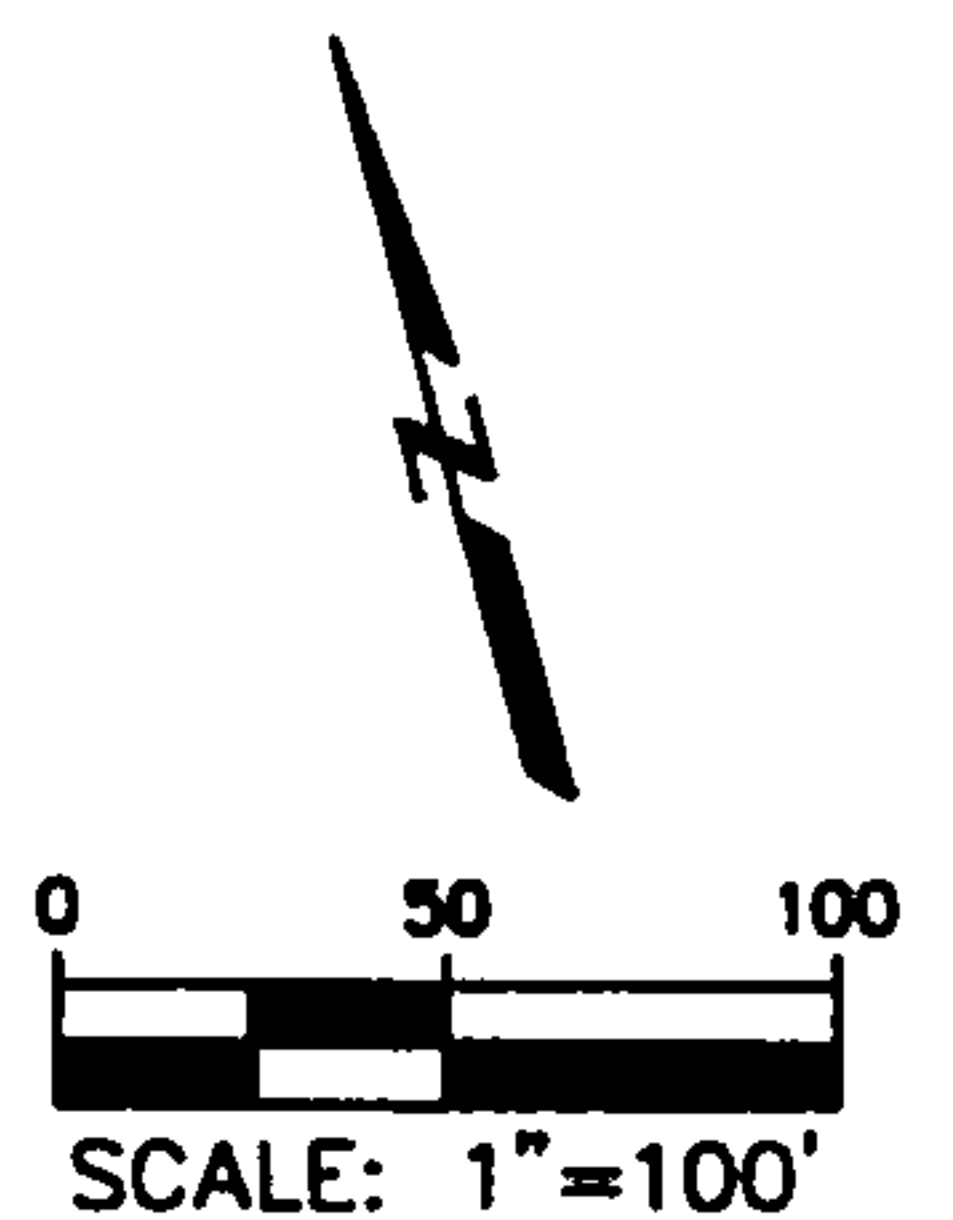


EXHIBIT A

DESCRIPTION

An existing 50 foot Private Access Easement within Lot 2 as described in the Plat entitled U.N.M. HOSPITAL CLINIC as filed on January 22, 2009 in book 2009C, Page 0018, Records of Bernalillo County, New Mexico, for the purpose of granting a Private Access Easement to Tract C-43, and said easement being fifty feet in width, the northerly line of which is coincident with the North line of said Lot 2, the side lines of said easement to be shortened or lengthened so as to terminate at the boundary lines of said Lot 2:

BEGINNING at a point on the northerly line of said Lot 2, whence to a found ACS Station "7-K10" South 22°02'40" East a distance of 906.56 feet; Thence along the west right-of-way line of Unser Blvd.,

South 14°51'36" East a distance of 75.00 feet to a point of curvature; Thence

39.27 feet along the arc of a curve to the left having a radius of 25.00 feet, a central angle of 90°00'07" and a chord bearing North 59°55'59" West a distance of 35.36 feet to a point of tangency; Thence

South 75°03'57" West parallel with said north line of Lot 2 a distance of 401.04 feet to a point on the west line of said Lot 2; Thence along said west line,

North 14°56'03" West a distance of 50.00 feet to the northwest corner of said Lot 2; Thence along said north line of Lot 2,

South 75°03'57" West a distance of 401.08 feet to a point of curvature: Thence

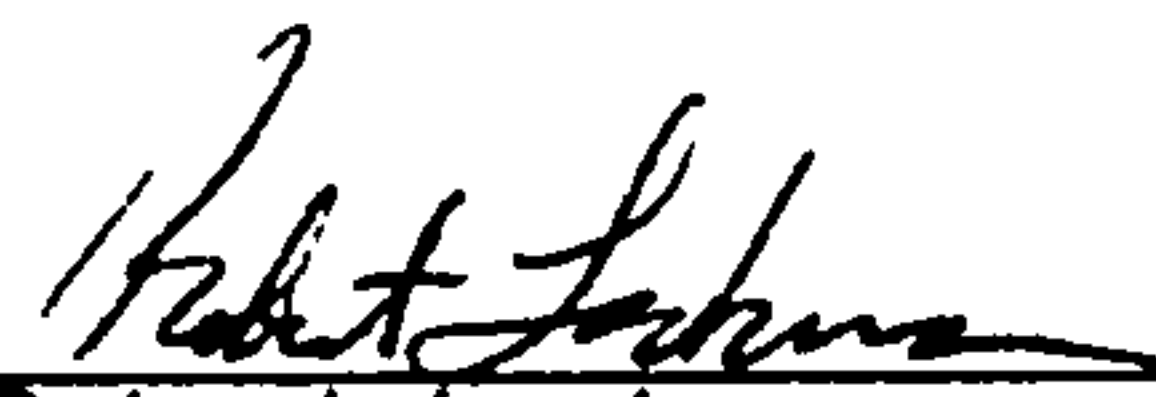
39.27 feet along the arc of a curve to the left having a radius of 25.00 feet, a central angle of 89°59'53" and a chord bearing North 30°04'01" East a distance of 35.35 feet to a point of tangency and being a point of said west right-of-way line; Thence along said west right-of-way line,

South 14°56'03" East a distance of 25.00 feet to the POINT OF BEGINNING.

This Tract contains 21570 square feet or 0.4952 acre, more or less.

SURVEYOR'S CERTIFICATION

I, Robert Lockman, a New Mexico Professional Surveyor No. 18331, do hereby certify that this Easement Plat and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that I am responsible for this survey; that this survey meets the Minimum Standards for Surveying in New Mexico; and that it is true and correct to the best of my knowledge and belief. I further certify that this survey is not a land division or subdivision as defined in the New Mexico Subdivision Act and that this instrument is an Easement Survey for use in granting a new easement.



Robert Lockman
New Mexico Professional Surveyor No. 18331

05-04-09
Date



Bohannon & Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335

ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

Item# 9
Project# 1007720
Hearing Date: May 27, 2009



CITY DEPARTMENT INFRASTRUCTURE LIST

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: _____
Date Site Plan Approved: 4-22-09
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: 1007720
DRB Application No.: _____

ORIGINAL

INFRASTRUCTURE LIST

**EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

City of Albuquerque Southwest Mesa Park & Ride
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Lot C-43 of Town of Atrisco Grant Unit 4
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<input type="text"/>	<input type="text"/>	12' FC- Existing lane	Paved Roadway Deceleration Lane, Striping, Curb and Gutter. Eastbound Central Left turn into development.	Central Ave.	250' West of Development Entrance	Development Entrance	/	/	/
<input type="text"/>	<input type="text"/>	Ex. Lane - 12' FC\	Paved Roadway Deceleration Lane, Striping, Curb and Gutter. Westbound Central Right turn into development.	Central Ave.	250' East of Development Entrance	Development Entrance	/	/	/
<input type="text"/>	<input type="text"/>	35' Median Cut	Paved Roadway Median Cut, Curb and Gutter Striping.	Central Ave.	Development Entrance	Development Entrance	/	/	/
<input type="text"/>	<input type="text"/>	30' FC-FC Cull-de-Sac	Paved Roadway Deceleration Lane, Place a cul-de-sac on the Central Frontage Road to Dead End in front of Car Wash West of development.	Central Frontage Road	50' West of Development Entrance	50' West of Development Entrance	/	/	/
<input type="text"/>	<input type="text"/>	220' Curb	Install Curb and Gutter along Central Ave. to Close Entrance to Existing Central Frontage Road.	Central Ave	Unser And Central	Proposed Deceleration Lane of Entrance	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/



NOTES

Transit

The improvements identified above will be the responsibility of the City of Albuquerque, Dept of ~~Municipal Development~~. By signing below, I understand that my division is financially responsible for the above listed items. This agreement will constitute as a Subdivision Improvement Agreement (SIA). Acquiring funding for these items is my responsibility. These items listed above will be completed 6 months after written notification from the City Engineer. The estimated cost of these improvements are \$_____.

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

*Roy Gibson BHI / GREG PAYNE
REN COX*

NAME (print)

[Signature] 4/22/09

DRB CHAIR - date

Christina Sandoval 4/22/09

PARKS & GENERAL SERVICES - date

BHI / COA TRANSIT

FIRM

[Signature] 4/22/09

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

[Signature] 4/22/09

SIGNATURE - date

[Signature] 4/22/09

UTILITY DEVELOPMENT - date

_____ - date

MAXIMUM TIME ALLOWED TO CONSTRUCT

THE IMPROVEMENTS WITHOUT A DRB

Bradley J. Bigham 4/22/09

CITY ENGINEER - date

_____ - date

EXTENSION: _____

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CLIENT/COURIER TRANSMITTAL

To: Jack Cloud, DRB Chair
Development Review Board
City of Albuquerque
600 Second St NW
Albuquerque, NM

Requested by: Roy Gibson

Date: 04-16-09

Time Due: This A.M.
 This P.M.
 Rush _____
 By Tomorrow

Phone: 924.2989

Job No.: 090422

Job Name: SW Mesa Park & Ride

DELIVERY VIA

- Courier Federal Express
 Mail UPS
 Other

PICK UP

Item: _____

<u>ITEM NO.</u>	<u>QUANTITY</u>	<u>DESCRIPTION</u>
1	5	Updated DRB Submittal DRB#1007720

COMMENTS / INSTRUCTIONS

Mr. Cloud,

As per your comments in our meeting on 04-10-09 and other COA staff members I have attached 5 Copies to update our submittal. If you have any questions please feel free to contact me.

REC'D BY: S. Haider

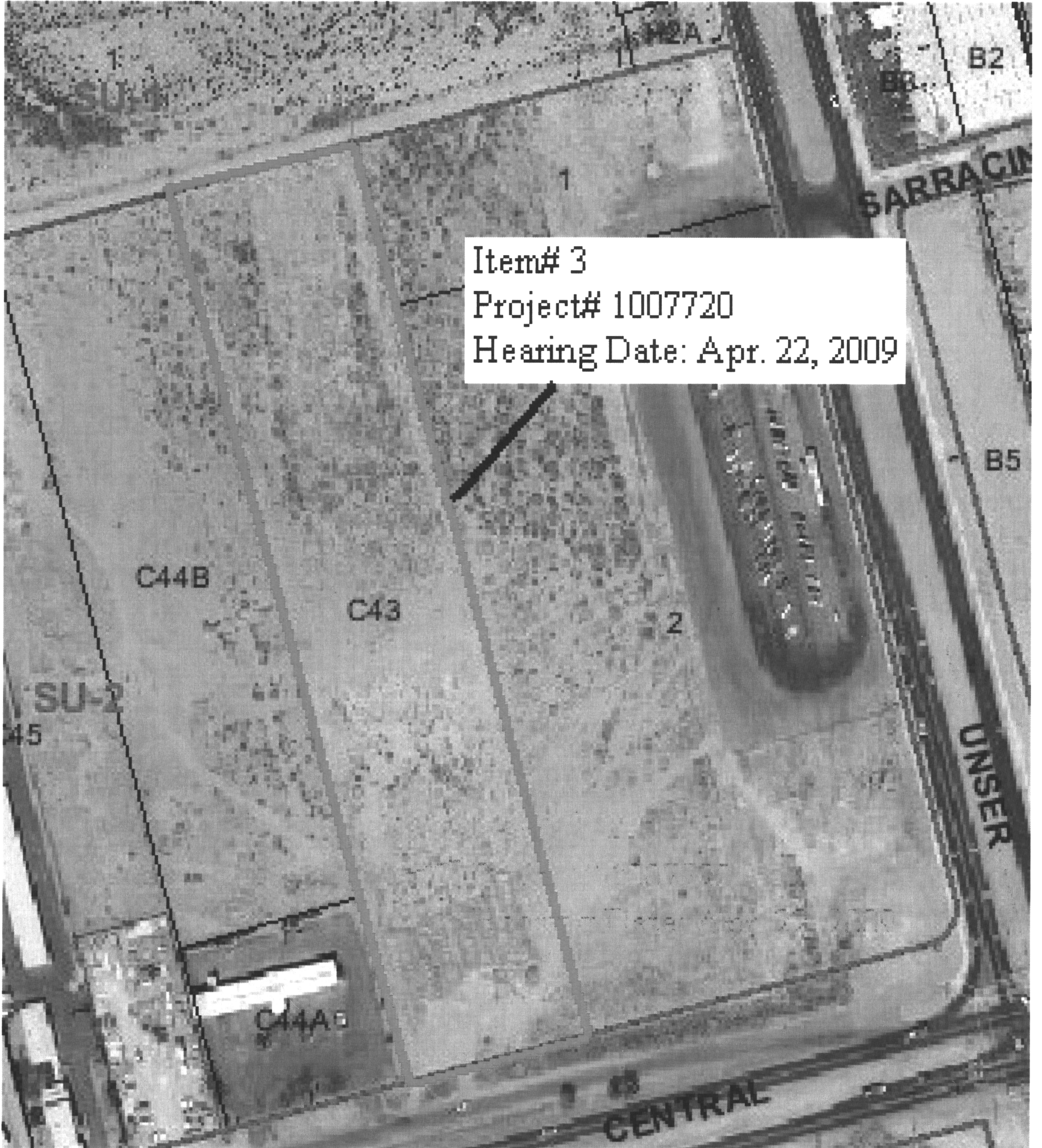
DATE: 04/16/09 TIME: 2:35

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

Item# 3
Project# 1007720
Hearing Date: Apr. 22, 2009





Supplemental form

SUBDIVISION	S Z ZONING & PLANNING
<input type="checkbox"/> Major Subdivision action	<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor Subdivision action	<input type="checkbox"/> County Submittal
<input type="checkbox"/> Vacation	<input type="checkbox"/> EPC Submittal
<input type="checkbox"/> Variance (Non-Zoning)	<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN	<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input type="checkbox"/> for Subdivision	<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input checked="" type="checkbox"/> for Building Permit	<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> Administrative Amendment (AA)	<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> IP Master Development Plan	
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L A APPEAL / PROTEST of...
STORM DRAINAGE	<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals
<input type="checkbox"/> Storm Drainage Cost Allocation Plan	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

Professional/Agent (if any): Roy Gibson Bohman Huston PHONE: 823-1000
 ADDRESS: COURTYARD I 7500 JEFFERSON FAX: 798 7988
 CITY: ALBUQUERQUE STATE NM ZIP 87102 E-MAIL: rgibson@bhinc

APPLICANT: CITY OF ALBUQUERQUE TRANSIT PHONE: 228-9815
 ADDRESS: _____ FAX: _____
 CITY: _____ STATE _____ ZIP _____ E-MAIL: _____
 Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST: _____

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOT C-43 Block: _____ Unit: 4
 Subdiv/Addn/TBKA: TOWN ARESKO
 Existing Zoning: SU-2 IP Proposed zoning: SAME
 Zone Atlas page(s): K-10 UPC Code: 10/00570562033 MRGCD Map No 1316

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): _____

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): 4.8 AC
 LOCATION OF PROPERTY BY STREETS: On or Near: NW CORNER OF CENTRAL & UNSER
 Between: UNSER and 98TH
 Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team Date of review: 2/10/09

SIGNATURE Roy Glenn Gibson DATE 03/22/09
 (Print) Roy Glenn Gibson Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>09DRB- 7012S</u>	<u>SBP</u>	_____	\$ <u>2</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>ADV</u>	_____	\$ _____
<input checked="" type="checkbox"/> All case #s are assigned	_____	<u>CMF</u>	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ <u>2</u>

Hearing date April 22, 2009

Ruby 3.27.09 Project # 1007720
 Planner signature / date

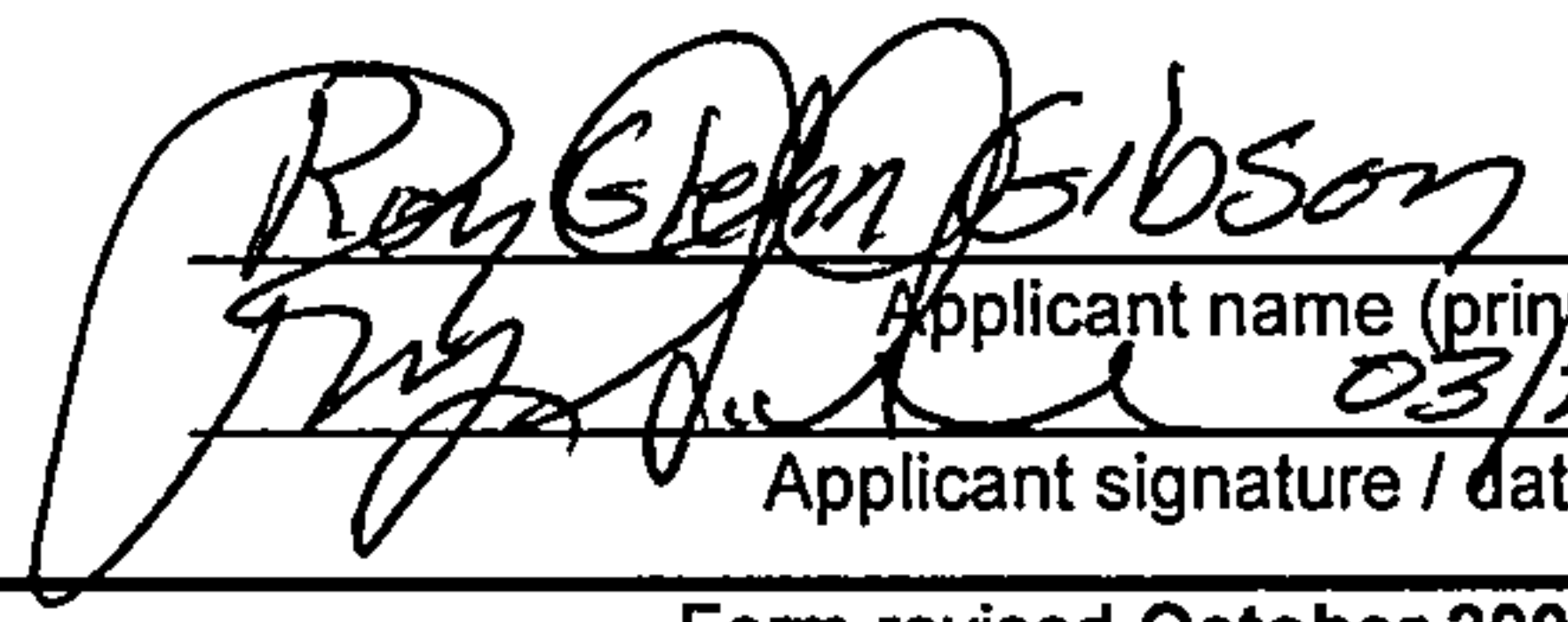
FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)** Maximum Size: 24" x 36"
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 24 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- DRB hearings are approximately 30 DAYS after the filing deadline. Bring the original to the meeting.
Your attendance is required.

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)** Maximum Size: 24" x 36"
- P44. BLD*
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 24 copies
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) 24 copies for DRB public hearings
 - Solid Waste Management Department signature on Site Plan **NO DUMPSTER**
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature **NOT REQUIRED**
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application **NO OTHER SUBMITTALS**
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. Bring the original to the meeting.
Your attendance is required.

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10)** Maximum Size: 24" x 36"
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 24 copies
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 24 copies
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) 24 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. Bring the original to the meeting.
Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.


 Applicant name (print) Roy Gibson
 Applicant signature / date [Signature] 03/27/04



Form revised October 2007

<input checked="" type="checkbox"/> Checklists complete	Application case numbers	3.27.04
<input checked="" type="checkbox"/> Fees collected	09DRB - 70185	<u>[Signature]</u> Planner signature / date
<input checked="" type="checkbox"/> Case #s assigned	_____	Project # <u>1007720</u>
<input checked="" type="checkbox"/> Related #s listed	_____	

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

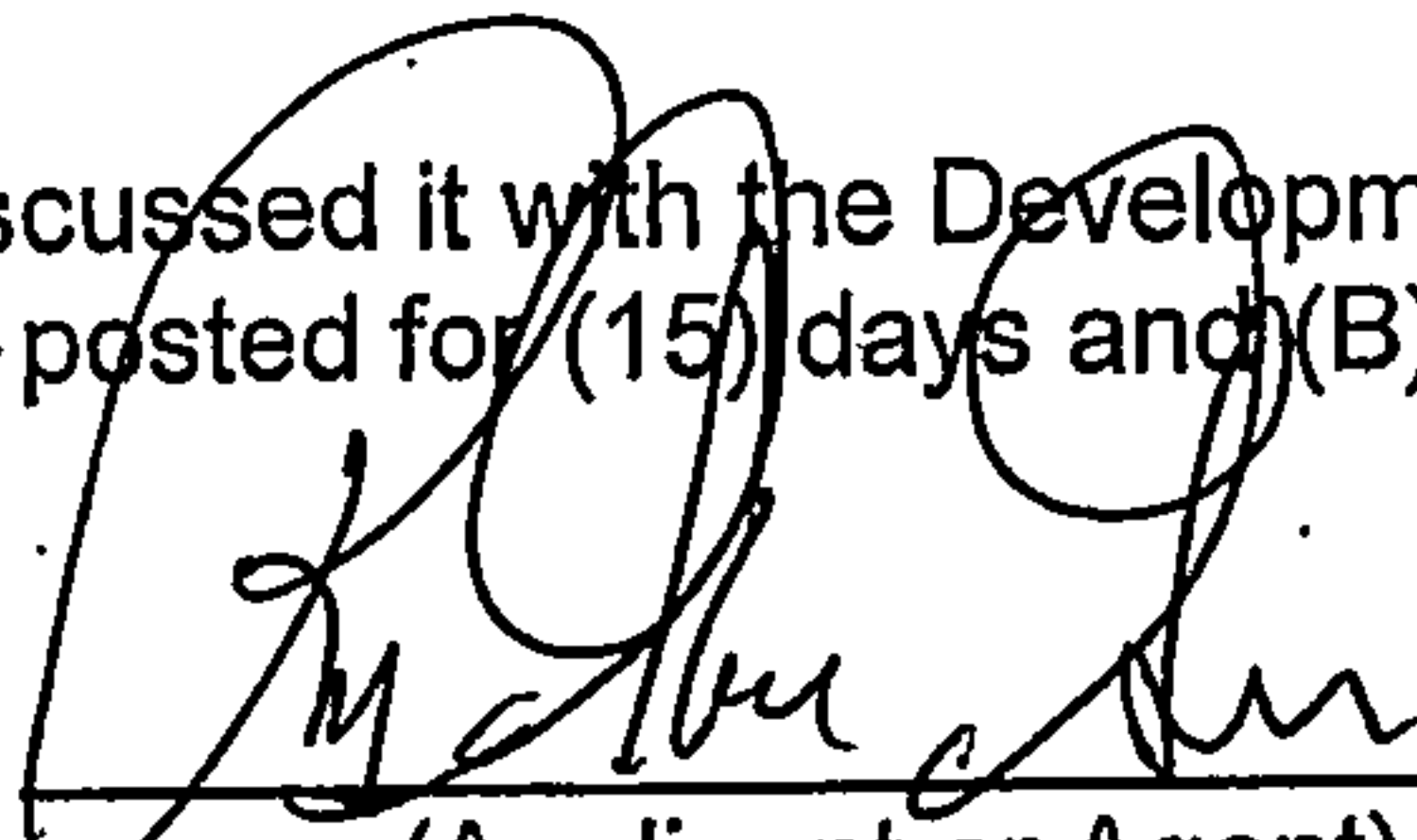
4. TIME

Signs must be posted from April 7, 2009 To April 22, 2009

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.



(Applicant or Agent)

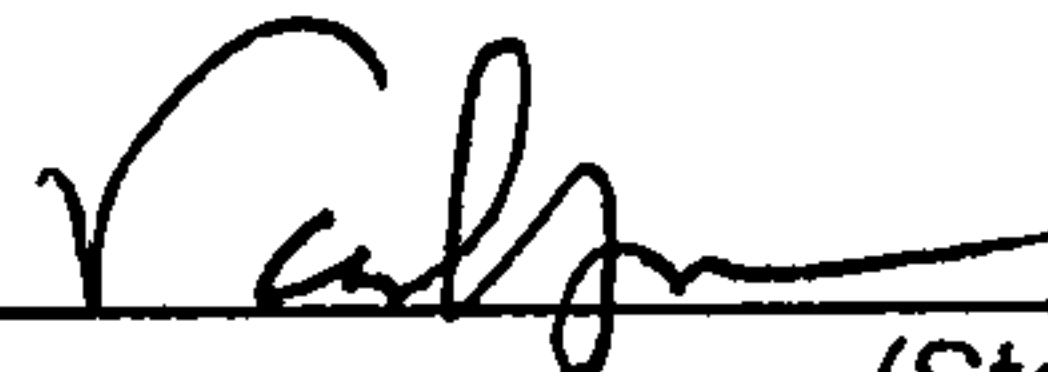
03/27/09

(Date)

I issued 1 signs for this application,

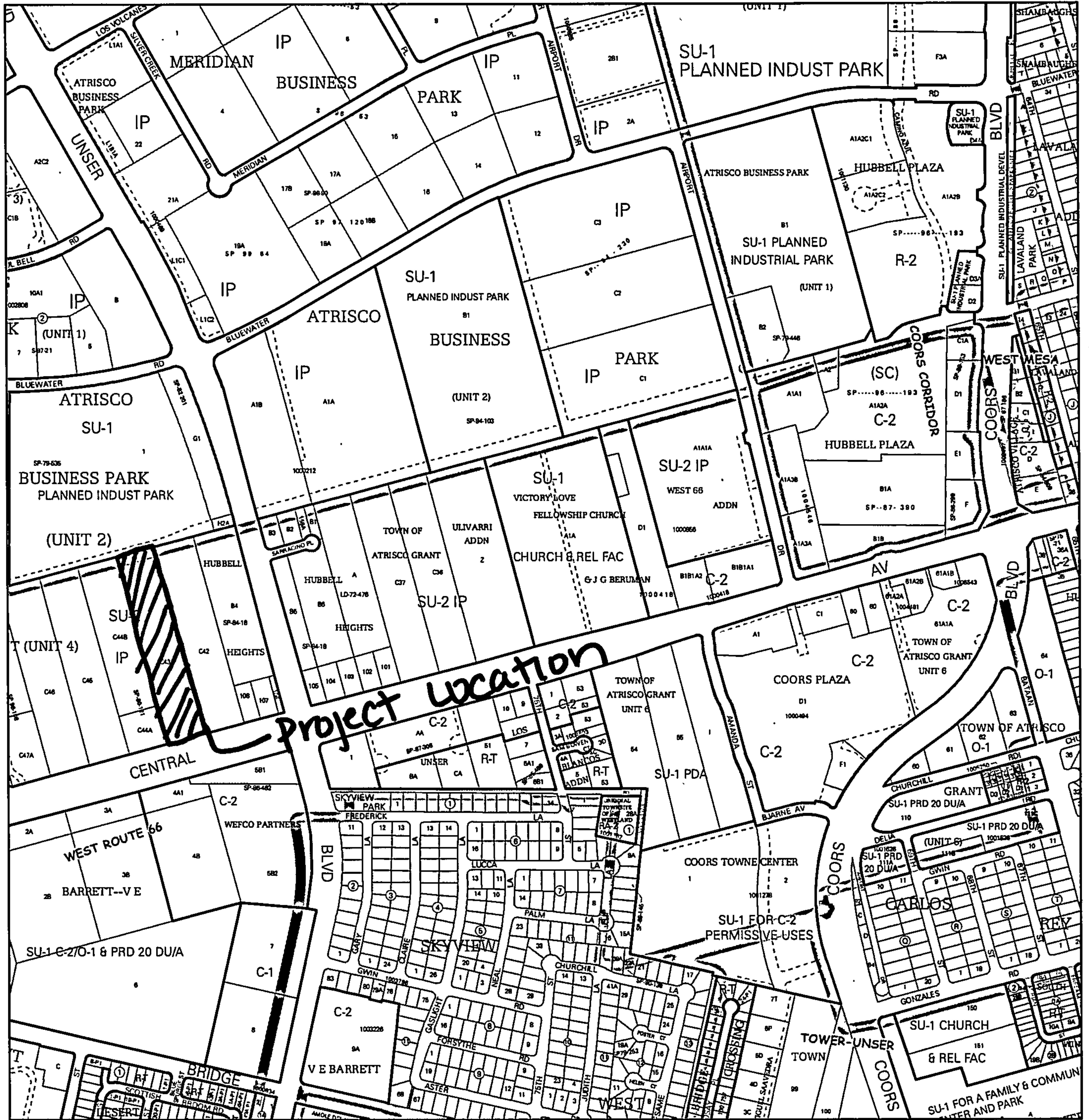
3.27.09

(Date)



(Staff Member)

DRB PROJECT NUMBER: 1007720



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 6/13/2008

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
K-10-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

March 27, 2009

Jack Cloud, Chair
Development Review Board
City of Albuquerque
600 Second Street NW
Albuquerque, New Mexico 87102

Re: Site Development Plan for Building Permit Approval
Lot c-43 of Town of Atrisco Grant Unit 4

Dear Mr. Cloud:

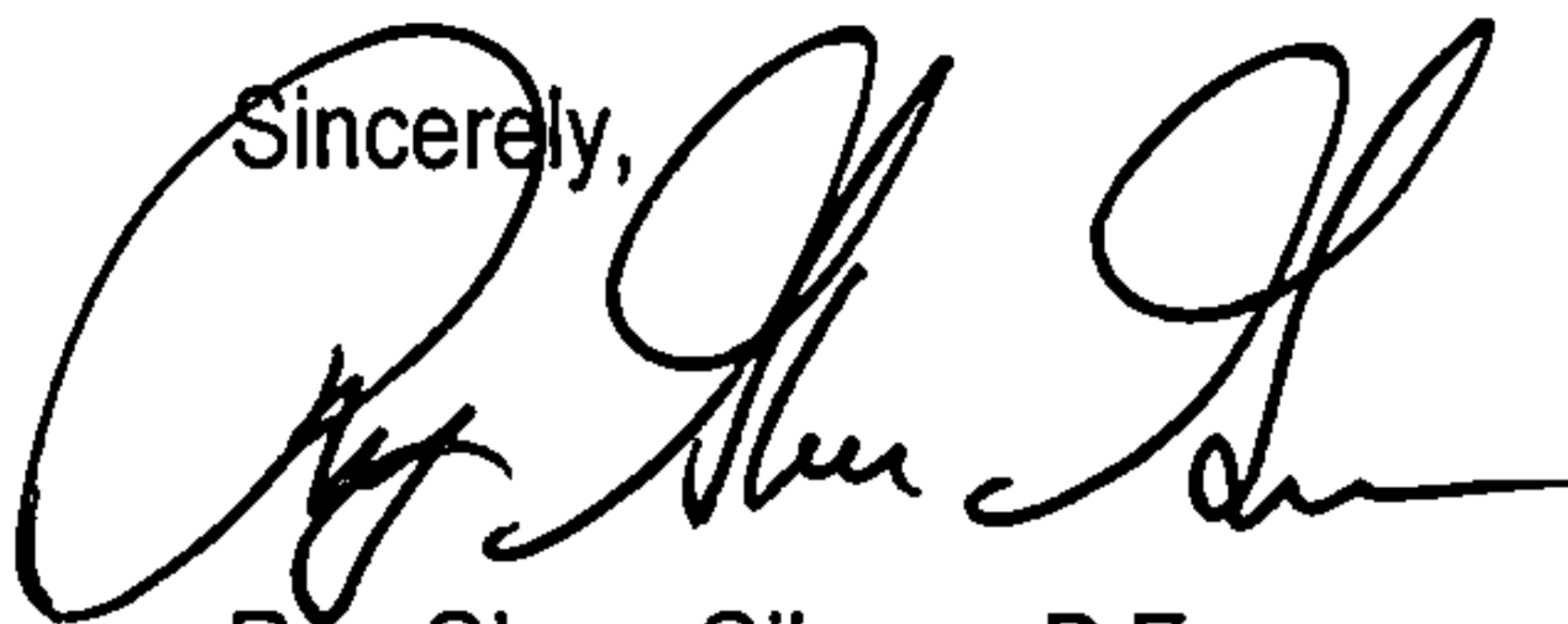
The referenced project includes a Site Development Plan for Building Permit for a Park & Ride in the Southwest Region of Albuquerque. The applicant intends to build a Park & Ride Facility similar to the Uptown Transit Center and the Northwest Transit Facility. The site is just less than 5 acres and is located on the Northwest corner of Central Avenue and Unser Boulevard.

Enclosed for review and approval by the Development Review Board (DRB) are copies of the following information:

- Development Review Application
- Six (6) copies of the Infrastructure List
- Zone Atlas Map showing the location of the property
- DRB Fee

Please place this item on the DRB Agenda for hearing on April 22, 2009. If you have any questions or require further information, please contact me.

Sincerely,



Roy Glenn Gibson, P.E.
Project Manager
Municipal Engineering

RGG
Enclosures

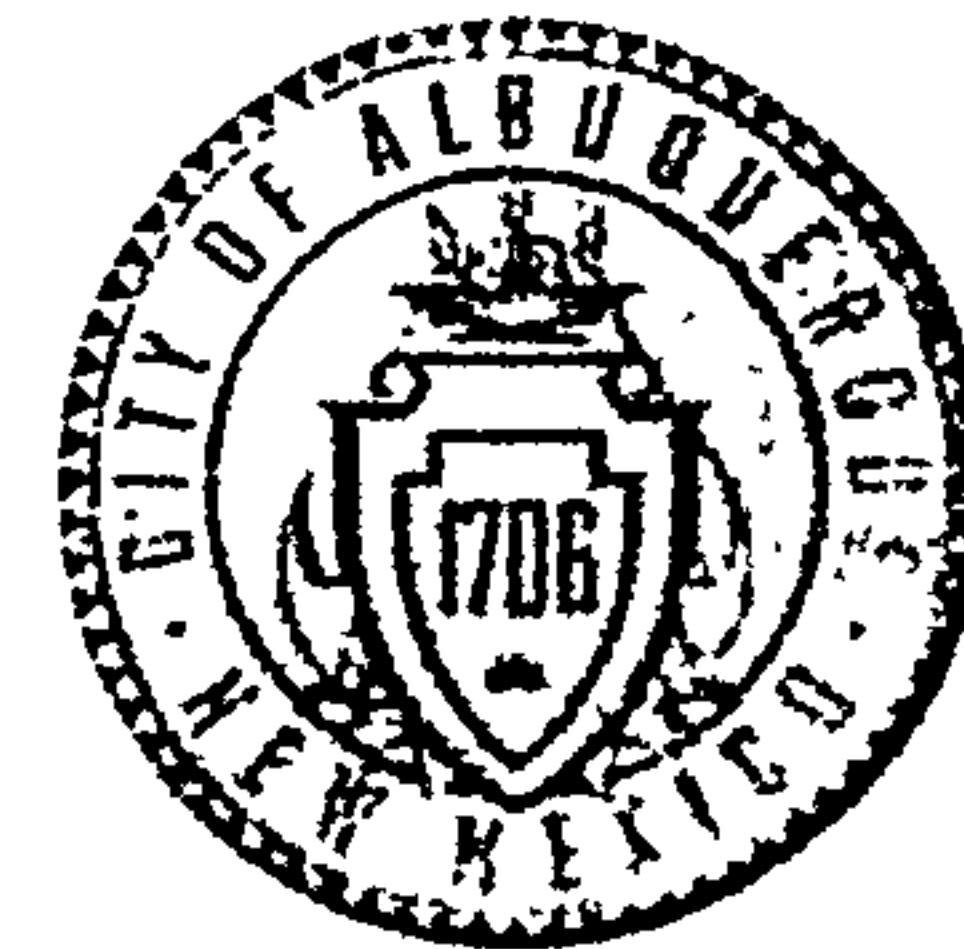
cc: Jim Flint, BHI
Andrew De Garmo, City of Albuquerque

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

CITY OF ALBUQUERQUE



March 26, 2009

RE: Agent Authorization for Lot C-43, Atrisco Grant (Unit 4)

To Whom It May Concern:

This letter authorizes representatives of Bohannon Huston, Inc. to act as agent to submit the Site Plan for Building Permit for Lot C-43 of Atrisco Grant (Unit 4) for the Transit Department's new park and ride facility. Please contact me at 724-3100 with any questions or concerns.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Sincerely,

A handwritten signature in black ink, appearing to read 'A. de Garmo', with a long horizontal flourish extending to the right.

**Andrew de Garmo
Principal Planner
Transit Department**

PRE-APPLICATION DISCUSSION

NOTE: PRE APPLICATION DISCUSSIONS ARE PROVIDED TO ASSIST APPLICANTS IN ACQUIRING INFORMATION ON PROCESS AND REQUIREMENTS PERTAINING TO THEIR REQUEST. THE INTERPRETATION OF SPECIFIC USES ALLOWED WITHIN VARIOUS ZONES IS THE RESPONSIBILITY OF THE ZONING ENFORCEMENT OFFICER, AS PROVIDED FOR BY THE COMPREHENSIVE ZONING CODE. ANY STATEMENTS REGARDING ZONING AT THE PRE APPLICATION DISCUSSION ARE NOT CERTIFICATES OF ZONING.

PA # 09-13 APPLICANT Bohannan Huston TEL. # 923-3319 EMAIL/FAX# tfreel@bhinc.com

RECEIVED BY Erin Tremlin DATE 2/4/09

APPOINTMENT TIME & DATE: Tuesday @ 3:00 pm; February 10, 2009

Appointment requests received by Friday will be scheduled for Tuesday of the following week, if times are available. Requests received after Friday will be scheduled for the following Tuesday. **Please contact the Planning Division at 924-3860 for more information.**

1. **BRIEFLY DESCRIBE REQUEST:** (What do you plan to develop on this site?)

The City of Albuquerque Transit Dept. intends on using the property as a Park & Ride Facility similar to the Northwest Park & Ride on Ellison and Coors Bypass.

2. **RESPOND TO THE FOLLOWING QUESTIONS**

Size of site: 5 acres Existing Zoning: SU-2 IP Proposed Zoning: no change
Previous zone change or site plan approval case #s for this site: N/A

Applicable Area or Sector Development Plans West Rt 66, Westside Strategic Plan

Residential: Type and # of Units Proposed: N/A

Commercial: Estimated building square footage: Shade structure No. Of Employees: 0

3. **LOCATION OF REQUEST:** Provide a **legal description** of property and indicate location using surrounding streets. Indicate significant landmarks or notable features in the vicinity. **Include Zone atlas number.**

TR C-43 Unit 4 of Town of Atrisco Grant. This lot is located on the NW corner of the intersection of Central Ave & Unser Blvd. 3rd lot west of Unser Blvd. Zone atlas page K-10

4. **WHAT QUESTIONS OR CONCERNS DO YOU HAVE REGARDING THIS REQUEST:**

Traffic questions:

What type of access should we expect to obtain on Central (full access, right in / right out?)

What type of analysis or plans does the COA have for this area of Central where we would like to access?

Would it be possible to vacate the Central frontage road that is along our southern boundary?

There is already a fully access to the site off of Unser; will there be any additional requirements or improvements what will be necessary?

Will we need to update the traffic study that was done for West Central Metro Redevelopment Area?

Planning and zoning:

We will need to request a zone map amendment to build a Park & Ride Facility on the property?

We would like to place the bus shelter on east side of the property to facilitate the future development of the MRA. We will need to apply for a variance on the setbacks?

What will landscape, drainage requirements be? Do we need to go through EPC, DRB, DRC processes?

PRE-APPLICATION REVIEW TEAM (PRT) MEETING

1. AGENCY REPRESENTATIVES PRESENT AT MEETING

Planning: Russell Brito Others _____

Transportation: Tony Loyd Others _____

ONC: Stephanie Winklepleck Others _____

Code Enforcement: Robert Pierson Others _____

Others: Elaine Romero & Tom Menicucci, Council Svcs.

2. TYPE OF APPLICATION ANTICIPATED / APPROVAL AUTHORITY

- | | | |
|--|--|---|
| <input type="checkbox"/> Zone Map Amendment: | <input type="checkbox"/> EPC Approval | <input type="checkbox"/> City Council Approval |
| <input type="checkbox"/> Sector Dev. Plan Amendment: | <input type="checkbox"/> EPC Approval | <input type="checkbox"/> City Council Approval |
| <input type="checkbox"/> Site Dev. Plan for Subdivision: | <input type="checkbox"/> EPC Approval | <input type="checkbox"/> DRB Approval |
| <input checked="" type="checkbox"/> Site Dev. Plan for Bldg. Permit: | <input type="checkbox"/> EPC Approval | <input checked="" type="checkbox"/> DRB Approval |
| <input type="checkbox"/> Annexation: | <input type="checkbox"/> Bern. Co. Commission Approval | <input type="checkbox"/> EPC Approval <input type="checkbox"/> DRB Approval |
| <input type="checkbox"/> OTHER _____ | | |

3. SUMMARY OF PRT DISCUSSION

- Zone map amendment is not necessary
- Site dev. plan approval by City Planner (pg. 75, WR66 SDP), who has delegated approval authority to the Dev. Rev. Board (DRB)
- Side-yard setback: 10 feet
- Landscaping as per general landscape requirements of Zoning Code
- Vacation of Central R.O.W. will be difficult (DRB)
- Direct vehicular access to Central is doubtful the closer to the intersection with Unser
- Central access: right-in/right-out and left-in
- T.I.S. already completed; update probably not necessary
- Left-in from Unser (no. bound) is strongly encouraged
- WR66 SDP, Section IV, Design Overlay Zone

4. SIGN & DATE TO VERIFY ATTENDANCE & RECEIPT OF THIS SUMMARY (PRT DISCUSSIONS ARE INFORMATIONAL & NON-BINDING).

Russell Brito 10 Feb '09

PRT CHAIR / DATE

[Signature] 02/10/09

APPLICANT OR AGENT / DATE



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

March 26, 2009

Tandy Freel
Bohannan Huston Inc.
7500 Jefferson NE/87109
Phone: 798-7988/Fax: 798-7988

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Dear Tandy:

Thank you for your inquiry of March 26, 2009 requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **(CITY PROJECT SUBMITTAL) - LOT C-43, TOWN OF ATRISCO GRANT (UNIT 4) LOCATED ON CENTRAL AVENUE NW BETWEEN 86TH STREET NW AND UNSER BOULEVARD NW** zone map **K-10**.

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

SEE ATTACHED LIST OF NEIGHBORHOOD AND/OR HOMEOWNERS TO CONTACT IN REGARDS TO THIS PROJECT -swinklepleck

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT!** Failure of adequate notification may result in your **Application Hearing being deferred for 30 days**. If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani I. Winklepleck
Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATION.

planningmaform(12/06/07)

Tandy Freel, Bohannon Huston, Inc.
zone map **K-10.**

AVALON N.A. (AVA) "R"

***Miguel Maestas**, 9400 Harbor Rd. NW/87121 831-9629 (h)
Kelly Chappelle, 9135 Santa Catalina Ave. NW/87121 836-1766 (h)

SKYVIEW WEST N.A. (SVW) "R"

***Tony Chavez**, 305 Claire Ln. SW/87121 831-5824 (h)
Bea Purcella, 201 Claire Ln. SW/87121 831-5556 (h)

LOS VOLCANES N.A. (LVC) "R"

***M. Max Garcia**, 6619 Honeylocust Ave. NW/87121 833-0969 (h)
Ben Sandoval, 6516 Honeylocust Ave. NW/87121 836-4419 (h)

WEST SIDE MERCHANTS ASSOC. (WSM) "R"

***Larry Nelson**, 929 Old Coors SW/87105 836-3330 (w)
Humberto Perez, 701B Old Coors SW/87105 839-5391 (w)

ALAMOSA N.A. (ALM) "R"

***Jeanette Baca**, 901 Field SW/87121 836-3281 (h)
Jerry Gallegos, 417 65th St. SW/87121 836-0668 (h)

WEST MESA N.A. (WTM) "R"

***Michael Quintana**, 301 63rd St. NW/87105 839-4250 (h)
Louis Tafoya, 6411 Avalon Rd. NW/87105 836-3189 (h)

SUNRISE H.O.A. (SUN) "R"

***Andres Anaya**, 209 Galataneu NW/87121 319-7813 (h)
Darlene Norris, 319 Galataneu NW/87121 681-2012 (c)

SOUTH VALLEY COALITION OF NEIGHBORHOOD ASSOCIATIONS

***Susan White**, 2736 Los Padillas SW/87105 877-1296 (h) 321-2221 (c)
Marcia Fernandez, 2401 Violet SW/87105 877-9727 (h) 235-6511 (c)

SOUTH WEST ALLIANCE OF NEIGHBORS (SWAN)

***Klarissa Pena**, 6525 Sunset Gardens SW/87121 270-9289 (h)
Louis Tafoya, 6411 Avalon Rd. NW/87105 836-3189 (h)

WESTSIDE COALITION OF N.A.'S

***Dan Serrano**, 3305 Ronda De Lechusas NW/87120 249-7994 (c) e
Candelaria Patterson, 7608 Elderwood NW/87120 321-1761 (h)

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected neighborhood and/or homeowner associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describes the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-**
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**
- Copies of the certified receipts to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

Thank you for your cooperation on this matter.

(below this line for ONC use only)

Date of Inquiry: **03/26/09** Time Entered: **9:20 a.m.** ONC Rep. Initials: **siw**

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

March 26, 2009

SENT VIA – CERTIFIED MAIL
RETURN RECEIPT REQUESTED

Miguel Maestas
Avalon Neighborhood Association
9400 Harbor Road NW
Albuquerque, NM 87121

Re: Site Development Plan for Building Permit
Lot C-43 of Town of Atrisco Grant (Unit 4)

Dear Miguel Maestas:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of a Neighborhood and/or Homeowner's Association associated with the above mentioned project site.

This letter is to advise you that Bohannon Huston, Inc., agent for City of Albuquerque – Transit Department, is requesting Site Development Plan for Building Permit approval for the above property which is being presented to the Design Review Board for the purpose of obtaining such approval. The site is located within the Town of Atrisco Grant and can be accessed off of Central Avenue and Unser Boulevard. The site is zoned SU-2 IP. The proposed development will consist of a park and ride transit facility for approximately 175 vehicles. Enclosed is a copy of the Zone Atlas Page with the site highlighted for reference.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Roy Glenn Gibson, PE
Project Manager
Facilities Planning and Engineering

RGG/ff
Enclosures

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

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March 26, 2009

SENT VIA – CERTIFIED MAIL
RETURN RECEIPT REQUESTED

Kelly Chappelle
Avalon Neighborhood Association
9135 Santa Catalina Avenue NW
Albuquerque, NM 87121

Re: Site Development Plan for Building Permit
Lot C-43 of Town of Atrisco Grant (Unit 4)

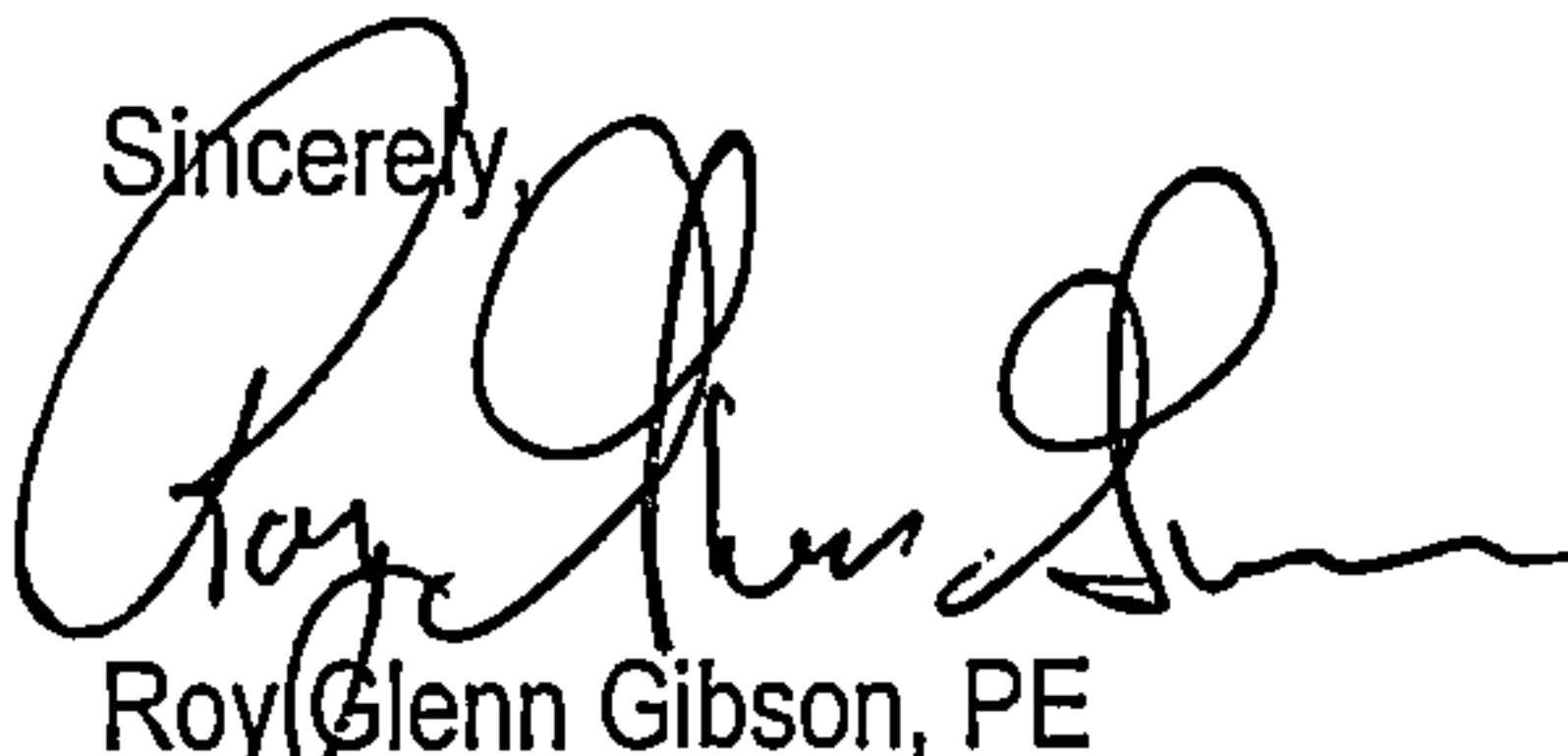
Dear Kelly Chappelle:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of a Neighborhood and/or Homeowner's Association associated with the above mentioned project site.

This letter is to advise you that Bohannon Huston, Inc., agent for City of Albuquerque – Transit Department, is requesting Site Development Plan for Building Permit approval for the above property which is being presented to the Design Review Board for the purpose of obtaining such approval. The site is located within the Town of Atrisco Grant and can be accessed off of Central Avenue and Unser Boulevard. The site is zoned SU-2 IP. The proposed development will consist of a park and ride transit facility for approximately 175 vehicles. Enclosed is a copy of the Zone Atlas Page with the site highlighted for reference.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Roy Glenn Gibson, PE
Project Manager
Facilities Planning and Engineering

RGG/tf
Enclosures

ENGINEERING ▲

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toll free: 800.877.5332

March 26, 2009

SENT VIA – CERTIFIED MAIL
RETURN RECEIPT REQUESTED

Jeanette Baca
Alamosa Neighborhood Association
901 Field SW
Albuquerque, NM 87121

Re: Site Development Plan for Building Permit
Lot C-43 of Town of Atrisco Grant (Unit 4)

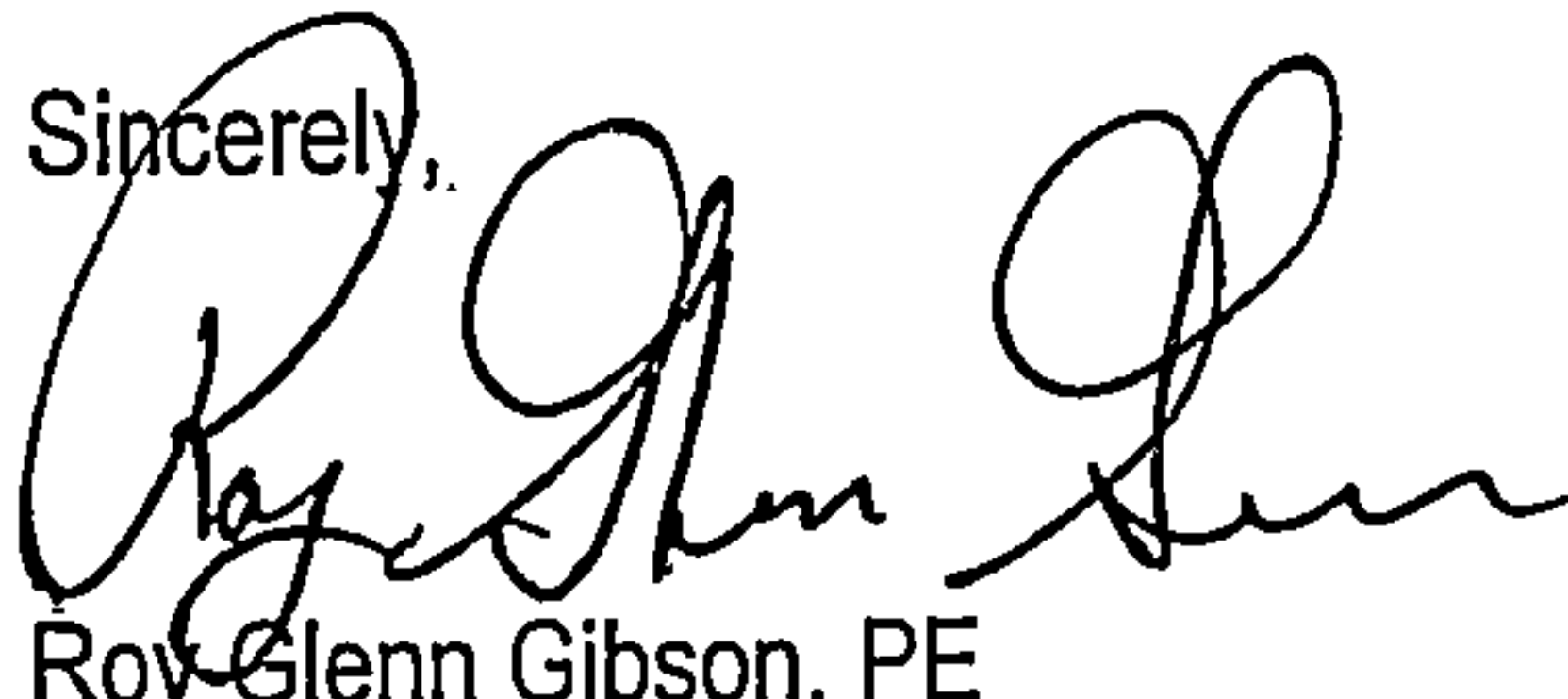
Dear Jeanette Baca:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of a Neighborhood and/or Homeowner's Association associated with the above mentioned project site.

This letter is to advise you that Bohannon Huston, Inc., agent for City of Albuquerque – Transit Department, is requesting Site Development Plan for Building Permit approval for the above property which is being presented to the Design Review Board for the purpose of obtaining such approval. The site is located within the Town of Atrisco Grant and can be accessed off of Central Avenue and Unser Boulevard. The site is zoned SU-2 IP. The proposed development will consist of a park and ride transit facility for approximately 175 vehicles. Enclosed is a copy of the Zone Atlas Page with the site highlighted for reference.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Roy Glenn Gibson, PE
Project Manager
Facilities Planning and Engineering

RGG/tf
Enclosures

ENGINEERING ▲

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7500 Jefferson St. NE
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87109-4335

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voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

March 26, 2009

SENT VIA – CERTIFIED MAIL
RETURN RECEIPT REQUESTED

Jerry Gallegos
Alamosa Neighborhood Association
417 65th Street SW
Albuquerque, NM 87121

Re: Site Development Plan for Building Permit
Lot C-43 of Town of Atrisco Grant (Unit 4)

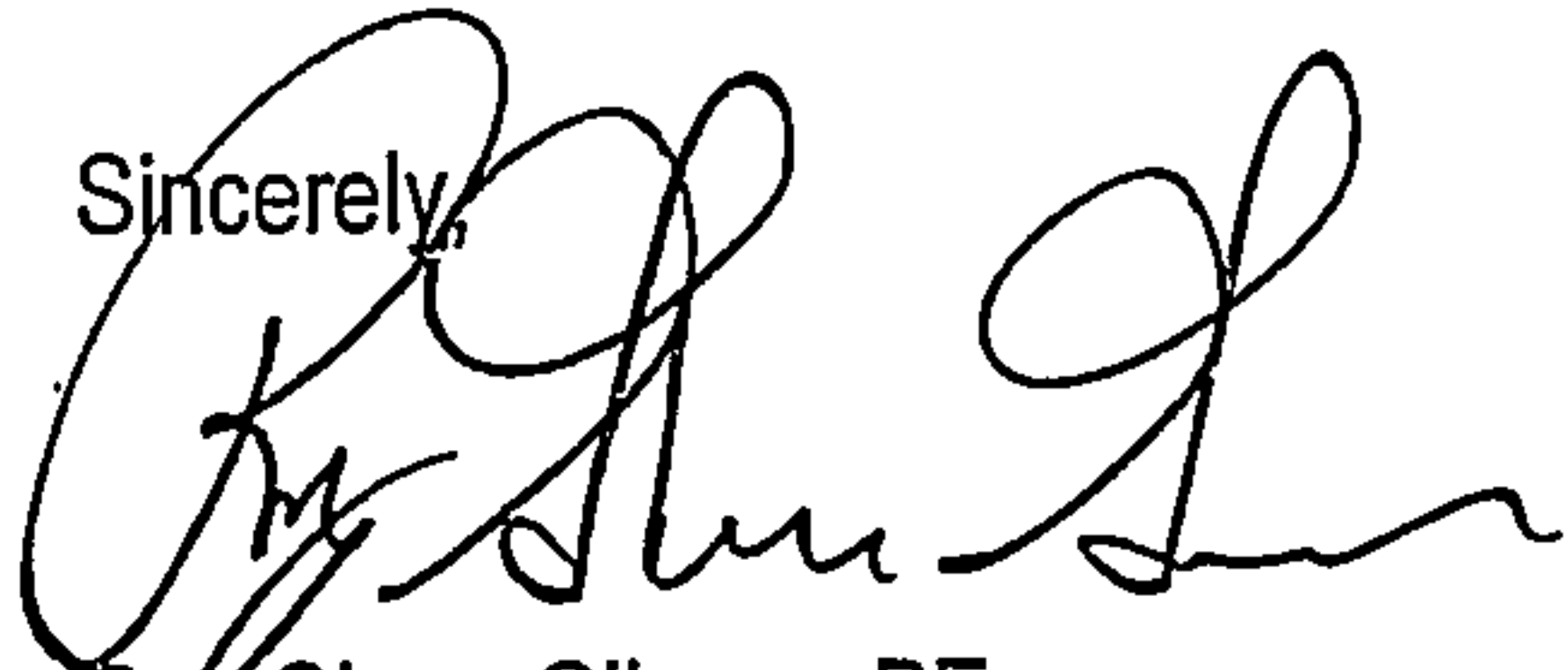
Dear Jerry Gallegos:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of a Neighborhood and/or Homeowner's Association associated with the above mentioned project site.

This letter is to advise you that Bohannon Huston, Inc., agent for City of Albuquerque – Transit Department, is requesting Site Development Plan for Building Permit approval for the above property which is being presented to the Design Review Board for the purpose of obtaining such approval. The site is located within the Town of Atrisco Grant and can be accessed off of Central Avenue and Unser Boulevard. The site is zoned SU-2 IP. The proposed development will consist of a park and ride transit facility for approximately 175 vehicles. Enclosed is a copy of the Zone Atlas Page with the site highlighted for reference.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Roy Glenn Gibson, PE
Project Manager
Facilities Planning and Engineering

RGG/ff
Enclosures

ENGINEERING ▲

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ADVANCED TECHNOLOGIES ▲

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

March 26, 2009

SENT VIA – CERTIFIED MAIL
RETURN RECEIPT REQUESTED

M. Max Garcia
Los Volcanes Neighborhood Association
6619 Honeylocust Avenue NW
Albuquerque, NM 87121

Re: Site Development Plan for Building Permit
Lot C-43 of Town of Atrisco Grant (Unit 4)

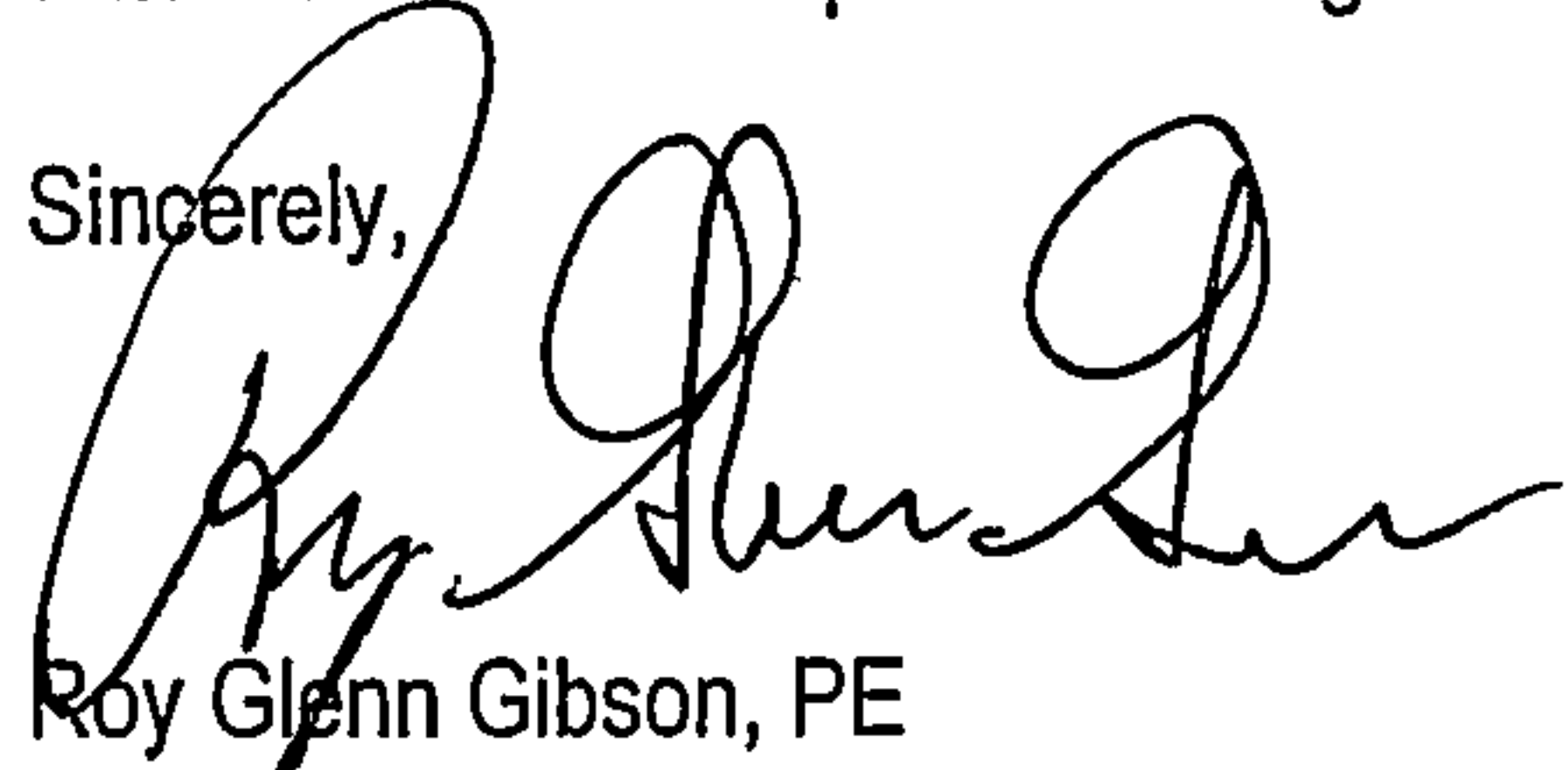
Dear M. Max Garcia:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of a Neighborhood and/or Homeowner's Association associated with the above mentioned project site.

This letter is to advise you that Bohannon Huston, Inc., agent for City of Albuquerque – Transit Department, is requesting Site Development Plan for Building Permit approval for the above property which is being presented to the Design Review Board for the purpose of obtaining such approval. The site is located within the Town of Atrisco Grant and can be accessed off of Central Avenue and Unser Boulevard. The site is zoned SU-2 IP. The proposed development will consist of a park and ride transit facility for approximately 175 vehicles. Enclosed is a copy of the Zone Atlas Page with the site highlighted for reference.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,


Roy Glenn Gibson, PE
Project Manager
Facilities Planning and Engineering

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March 26, 2009

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Ben Sandoval
Los Volcanes Neighborhood Association
6516 Honeylocust Avenue NW
Albuquerque, NM 87121

Re: Site Development Plan for Building Permit
Lot C-43 of Town of Atrisco Grant (Unit 4)

Dear Ben Sandoval:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of a Neighborhood and/or Homeowner's Association associated with the above mentioned project site.

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Sincerely,



Roy Glenn Gibson, PE
Project Manager
Facilities Planning and Engineering

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March 26, 2009

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Tony Chavez
Skyview West Neighborhood Association
305 Claire Lane SW
Albuquerque, NM 87121

Re: Site Development Plan for Building Permit
Lot C-43 of Town of Atrisco Grant (Unit 4)

Dear Tony Chavez:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of a Neighborhood and/or Homeowner's Association associated with the above mentioned project site.

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Roy Glenn Gibson, PE
Project Manager
Facilities Planning and Engineering

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March 26, 2009

SENT VIA – CERTIFIED MAIL
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Bea Purcella
Skyview West Neighborhood Association
201 Claire Lane SW
Albuquerque, NM 87121

Re: Site Development Plan for Building Permit
Lot C-43 of Town of Atrisco Grant (Unit 4)

Dear Bea Purcella:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of a Neighborhood and/or Homeowner's Association associated with the above mentioned project site.

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Sincerely,


Roy Glenn Gibson, PE
Project Manager
Facilities Planning and Engineering

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March 26, 2009

SENT VIA – CERTIFIED MAIL
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Andres Anaya
Sunrise Home Owners Association
209 Galataneu NW
Albuquerque, NM 87121

Re: Site Development Plan for Building Permit
Lot C-43 of Town of Atrisco Grant (Unit 4)

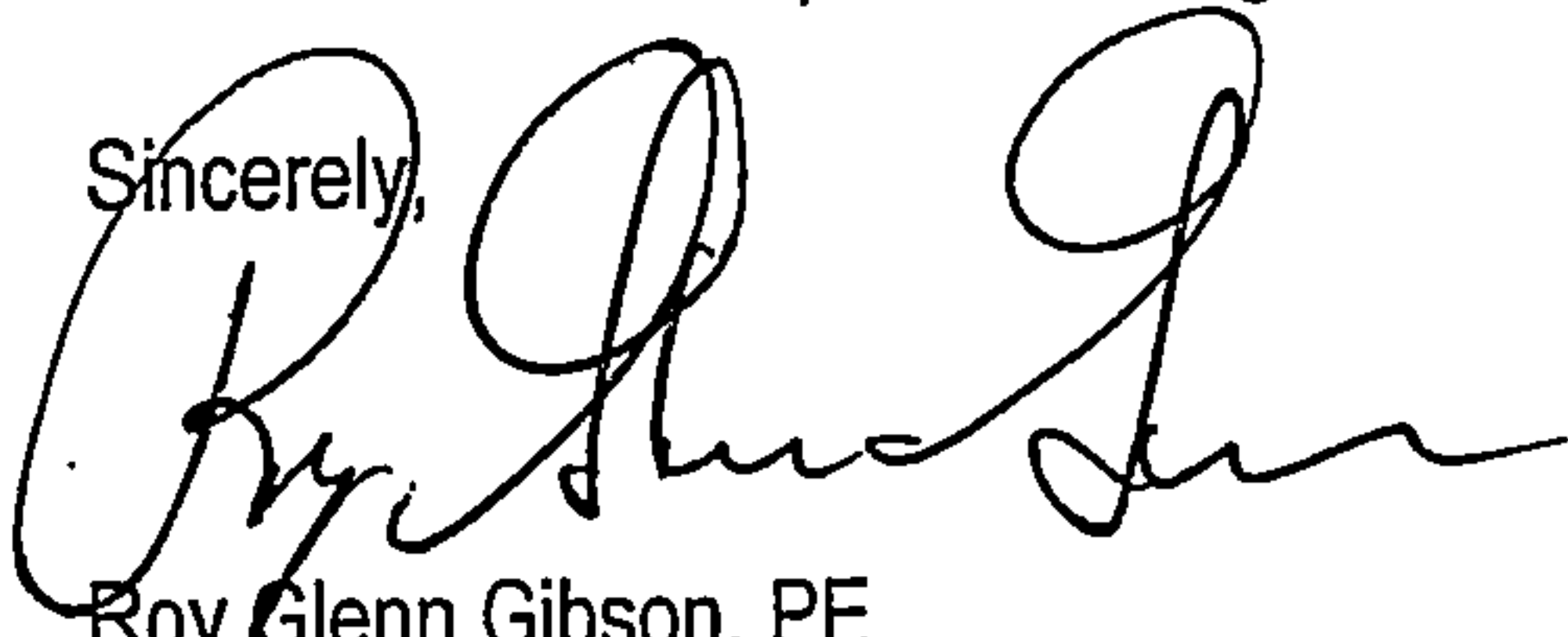
Dear Andres Anaya:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of a Neighborhood and/or Homeowner's Association associated with the above mentioned project site.

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Sincerely,



Roy Glenn Gibson, PE
Project Manager
Facilities Planning and Engineering

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March 26, 2009

SENT VIA – CERTIFIED MAIL
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Darlene Norris
Sunrise Home Owners Association
319 Galataneu NW
Albuquerque, NM 87121

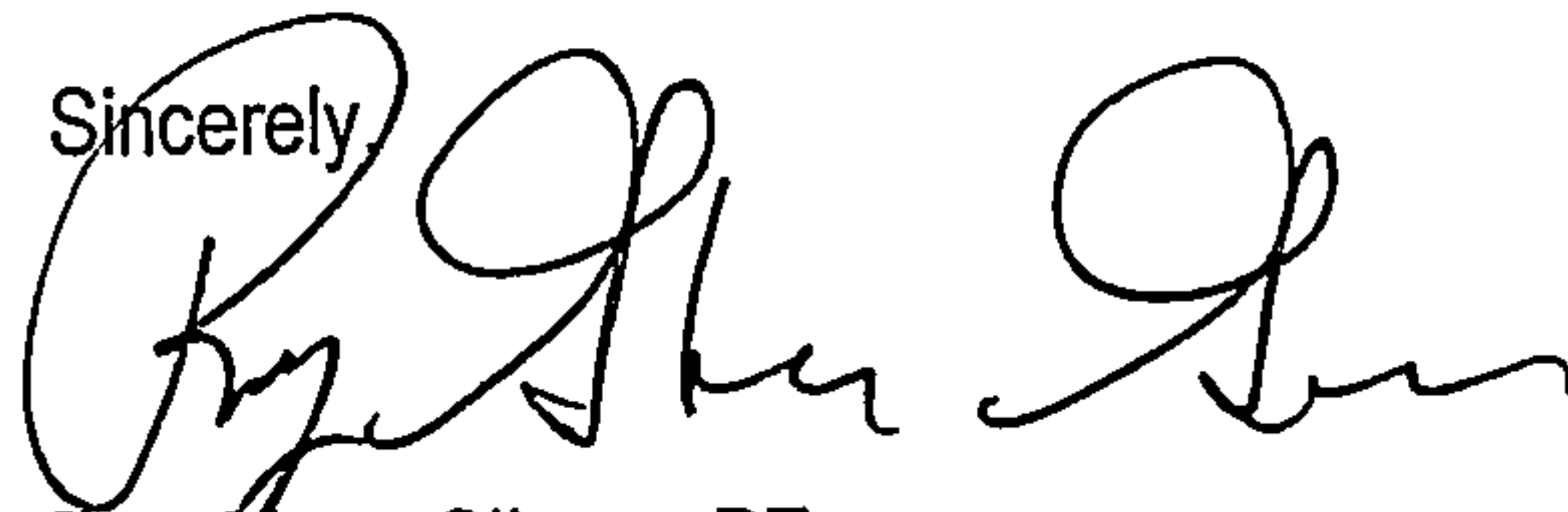
Re: Site Development Plan for Building Permit
Lot C-43 of Town of Atrisco Grant (Unit 4)

Dear Darlene Norris:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of a Neighborhood and/or Homeowner's Association associated with the above mentioned project site.

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Roy Glenn Gibson, PE
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Facilities Planning and Engineering

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March 26, 2009

SENT VIA – CERTIFIED MAIL
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Louis Tafoya
West Mesa Neighborhood Association
6411 Avalon Road NW
Albuquerque, NM 87105

Re: Site Development Plan for Building Permit
Lot C-43 of Town of Atrisco Grant (Unit 4)

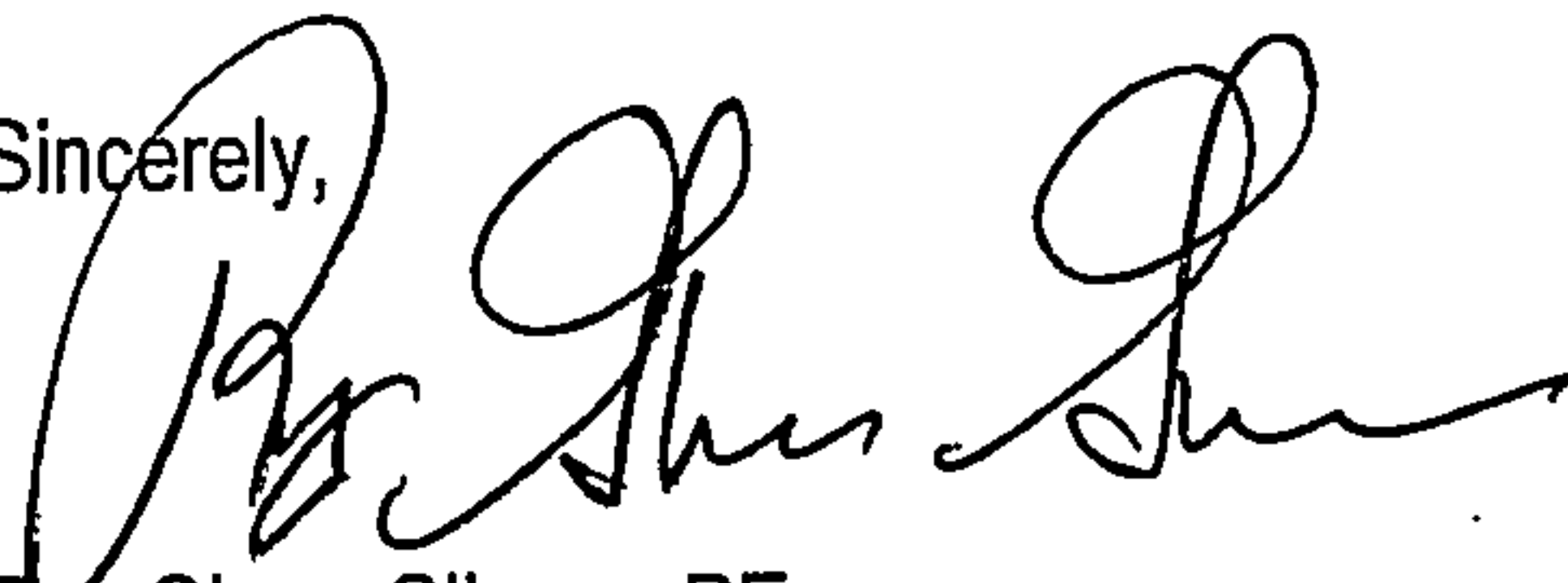
Dear Louis Tafoya:

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Roy Glenn Gibson, PE
Project Manager
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March 26, 2009

SENT VIA – CERTIFIED MAIL
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Mike Quintana Jr.
West Mesa Neighborhood Association
301 63rd Street NW
Albuquerque, NM 87105

Re: Site Development Plan for Building Permit
Lot C-43 of Town of Atrisco Grant (Unit 4)

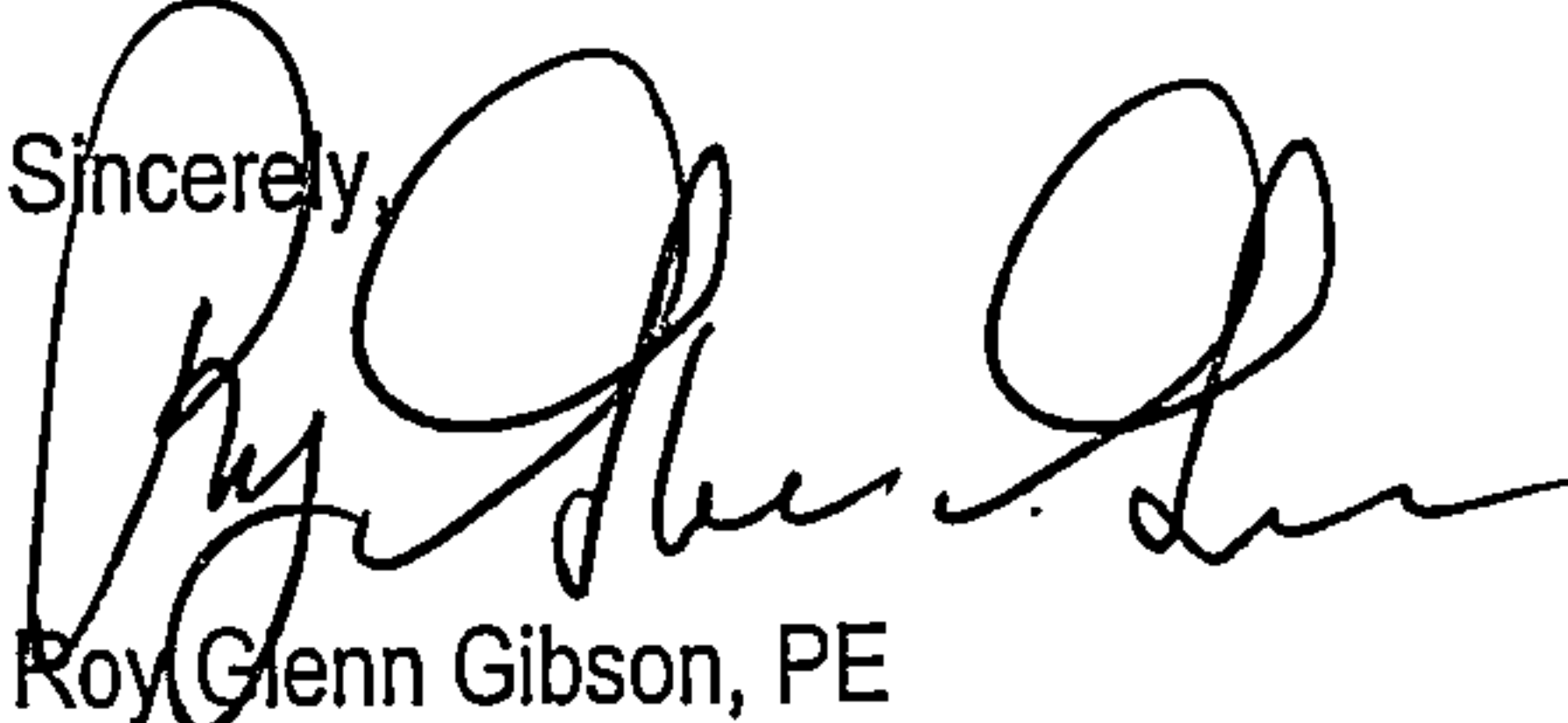
Dear Mike Quintana Jr.:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of a Neighborhood and/or Homeowner's Association associated with the above mentioned project site.

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Sincerely,



Roy Glenn Gibson, PE
Project Manager
Facilities Planning and Engineering

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March 26, 2009

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Larry Nelson
West Side Merchants Association
929 Old Coors SW
Albuquerque, NM 87105

Re: Site Development Plan for Building Permit
Lot C-43 of Town of Atrisco Grant (Unit 4)

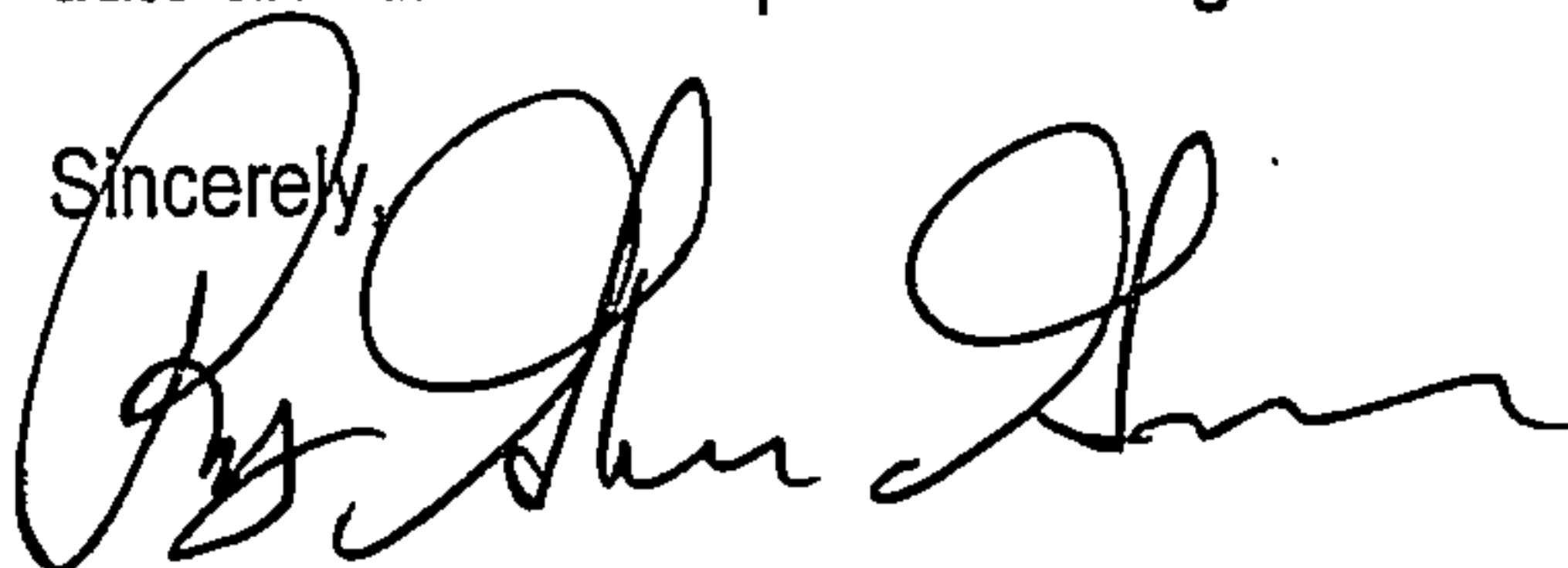
Dear Larry Nelson:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of a Neighborhood and/or Homeowner's Association associated with the above mentioned project site.

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Sincerely,



Roy Glenn Gibson, PE
Project Manager
Facilities Planning and Engineering

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March 26, 2009

SENT VIA – CERTIFIED MAIL
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Humberto Perez
West Side Merchants Association
701B Old Coors SW
Albuquerque, NM 87105

Re: Site Development Plan for Building Permit
Lot C-43 of Town of Atrisco Grant (Unit 4)

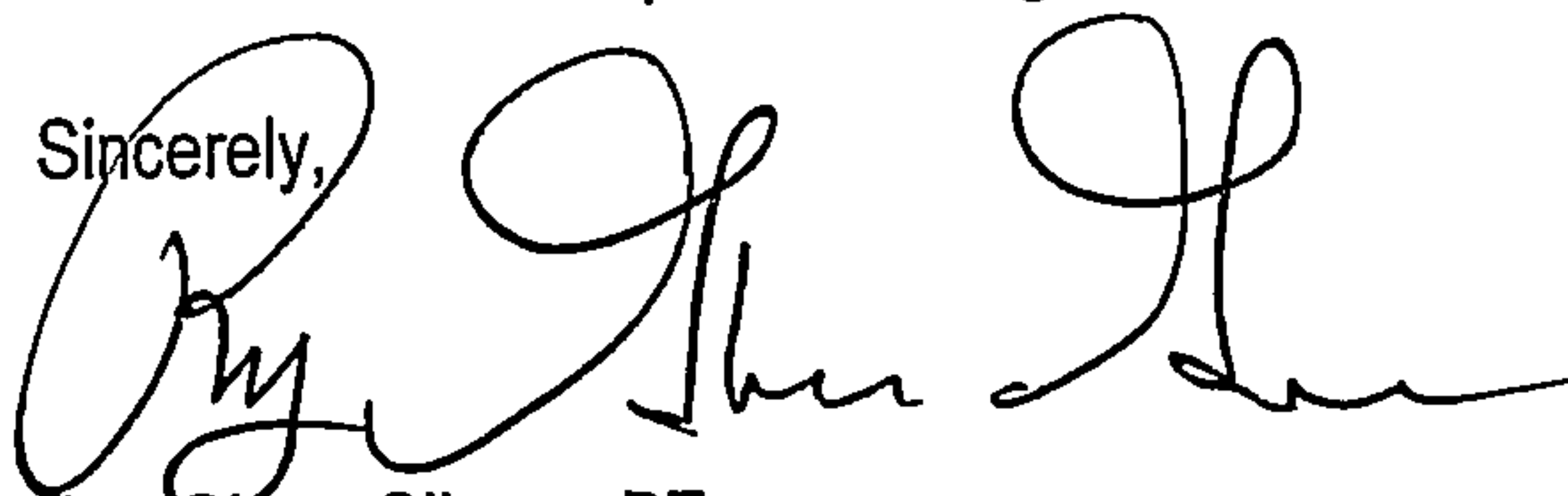
Dear Humberto Perez:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of a Neighborhood and/or Homeowner's Association associated with the above mentioned project site.

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Sincerely,



Roy Glenn Gibson, PE
Project Manager
Facilities Planning and Engineering

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March 26, 2009

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Klarissa Pena
South West Alliance of Neighbors
6525 Sunset Gardens SW
Albuquerque, NM 87121

Re: Site Development Plan for Building Permit
Lot C-43 of Town of Atrisco Grant (Unit 4)

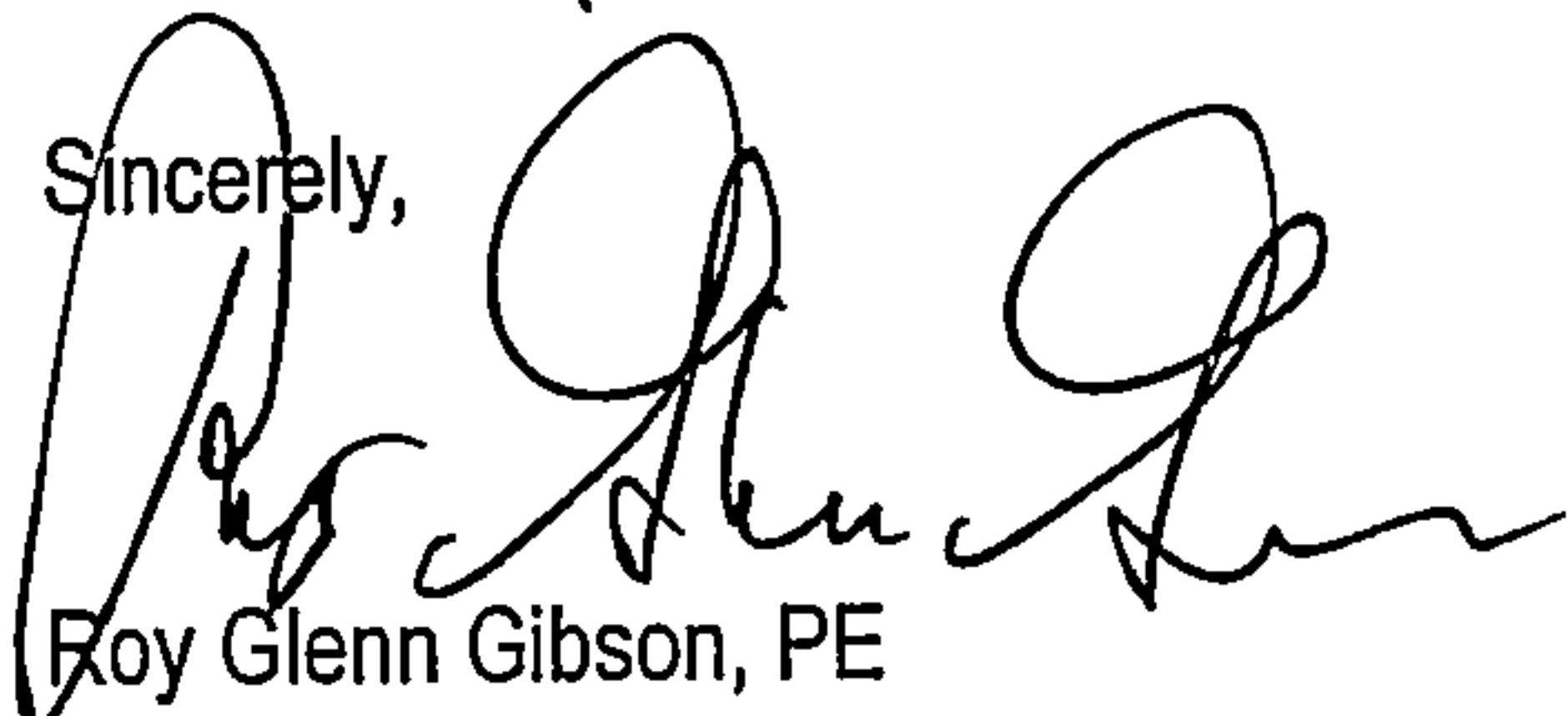
Dear Klarissa Pena:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of a Neighborhood and/or Homeowner's Association associated with the above mentioned project site.

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Sincerely,



Roy Glenn Gibson, PE
Project Manager
Facilities Planning and Engineering

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March 26, 2009

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Louis Tafoya
South West Alliance of Neighbors
6411 Avalon Road NW
Albuquerque, NM 87105

Re: Site Development Plan for Building Permit
Lot C-43 of Town of Atrisco Grant (Unit 4)

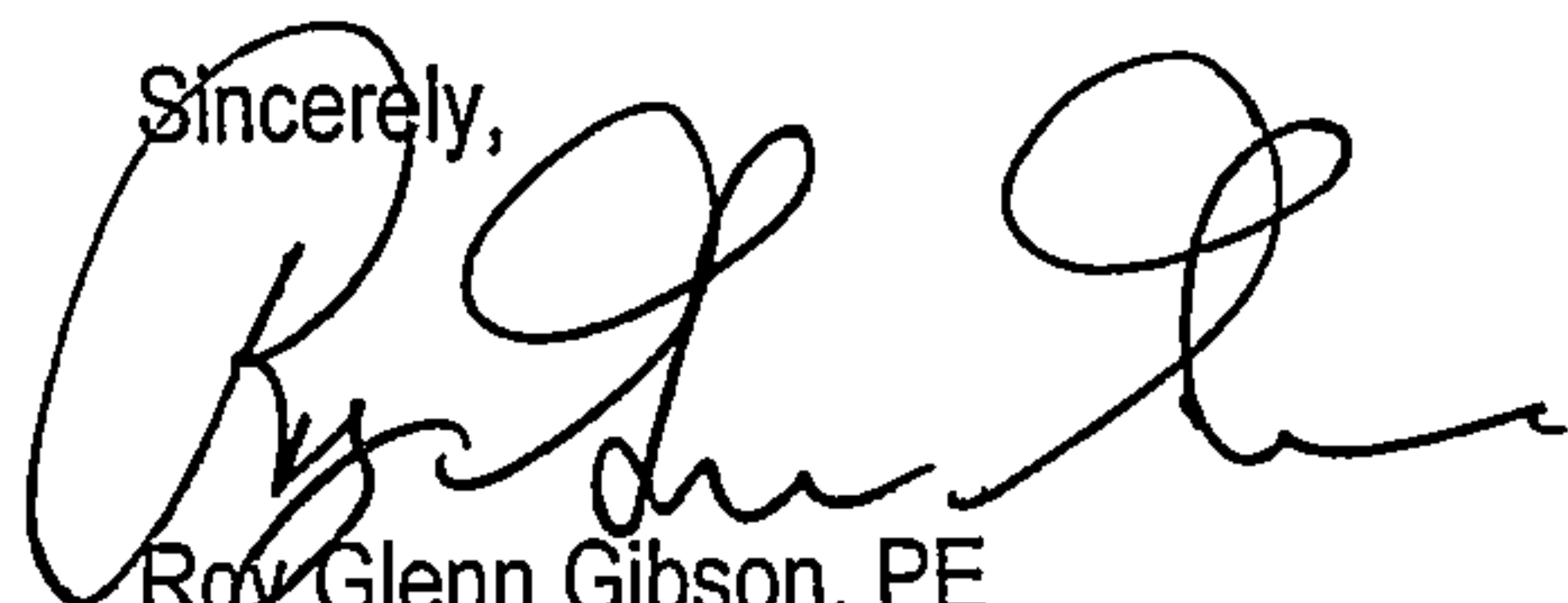
Dear Louis Tafoya:

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Roy Glenn Gibson, PE
Project Manager
Facilities Planning and Engineering

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March 26, 2009

SENT VIA – CERTIFIED MAIL
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Dan Serrano
Westside Coalition of Neighborhood Associations
3305 Ronda de Lechugas NW
Albuquerque, NM 87120

Re: Site Development Plan for Building Permit
Lot C-43 of Town of Atrisco Grant (Unit 4)

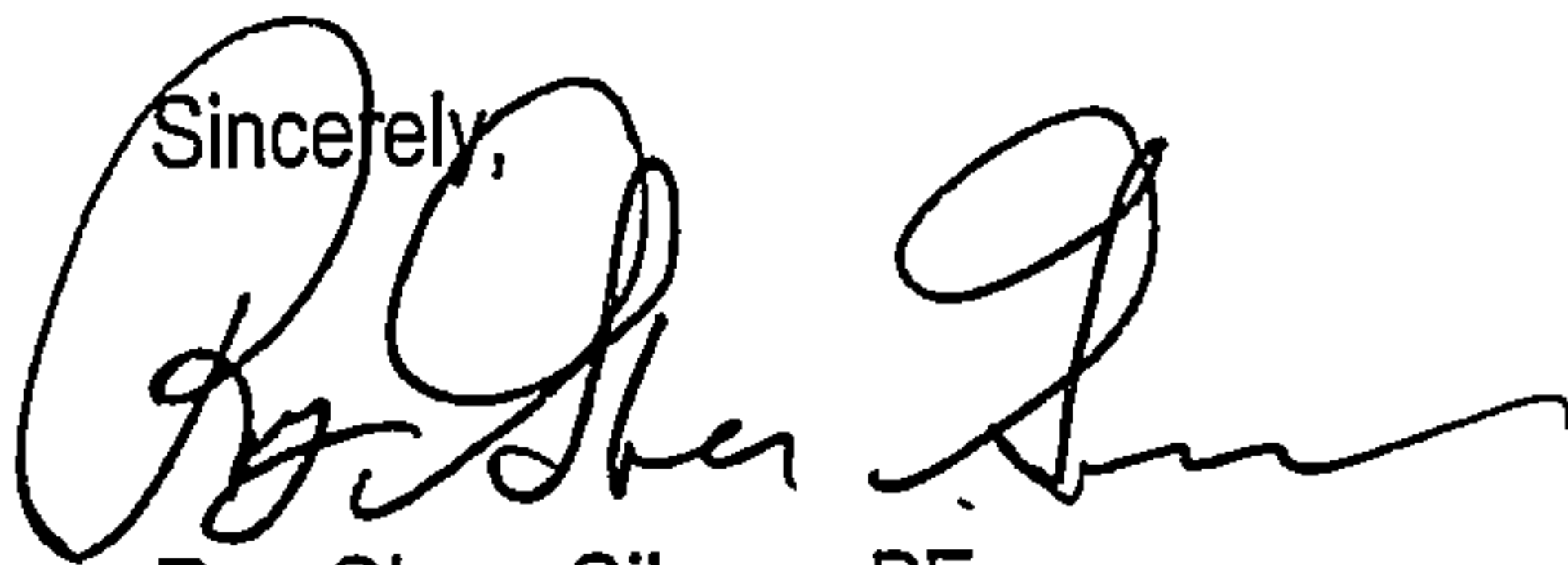
Dear Dan Serrano:

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Roy Glenn Gibson, PE
Project Manager
Facilities Planning and Engineering

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March 26, 2009

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Candelaria Patterson
Westside Coalition of Neighborhood Associations
7608 Elderwood NW
Albuquerque, NM 87120

Re: Site Development Plan for Building Permit
Lot C-43 of Town of Atrisco Grant (Unit 4)

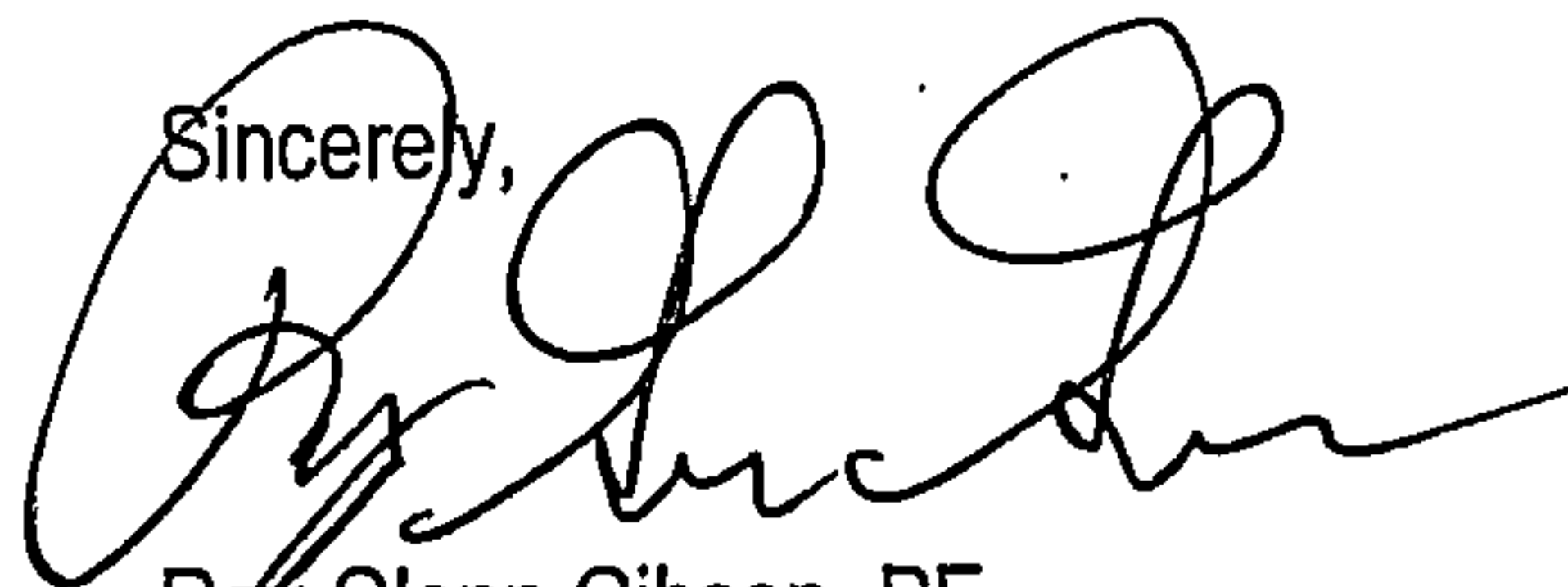
Dear Candelaria Patterson:

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Roy Glenn Gibson, PE
Project Manager
Facilities Planning and Engineering

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March 26, 2009

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Susan White
South Valley Coalition of Neighborhood Associations
2736 Los Padillas SW
Albuquerque, NM 87105

Re: Site Development Plan for Building Permit
Lot C-43 of Town of Atrisco Grant (Unit 4)

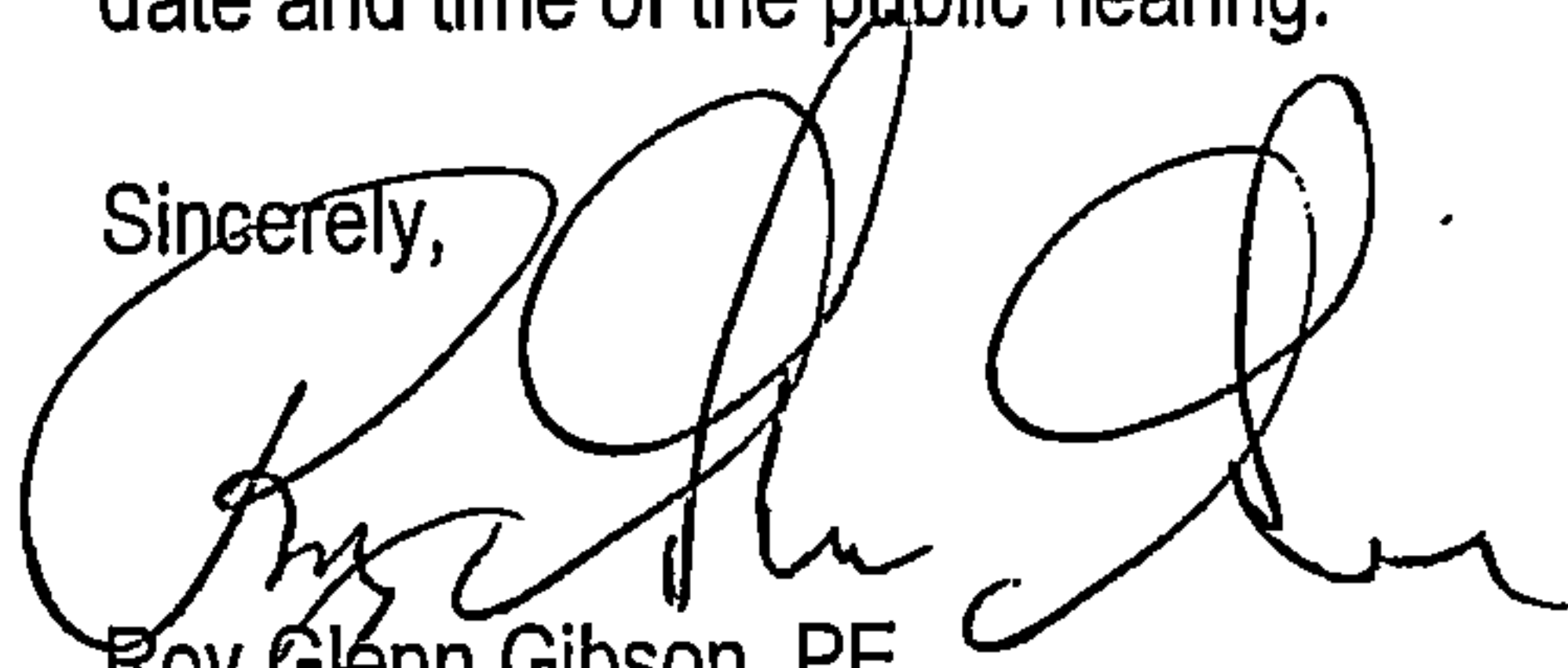
Dear Susan White:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of a Neighborhood and/or Homeowner's Association associated with the above mentioned project site.

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Roy Glenn Gibson, PE
Project Manager
Facilities Planning and Engineering

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March 26, 2009

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Marcia Fernandez
South Valley Coalition of Neighborhood Associations
2401 Violet SW
Albuquerque, NM 87105

Re: Site Development Plan for Building Permit
Lot C-43 of Town of Atrisco Grant (Unit 4)

Dear Marcia Fernandez:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of a Neighborhood and/or Homeowner's Association associated with the above mentioned project site.

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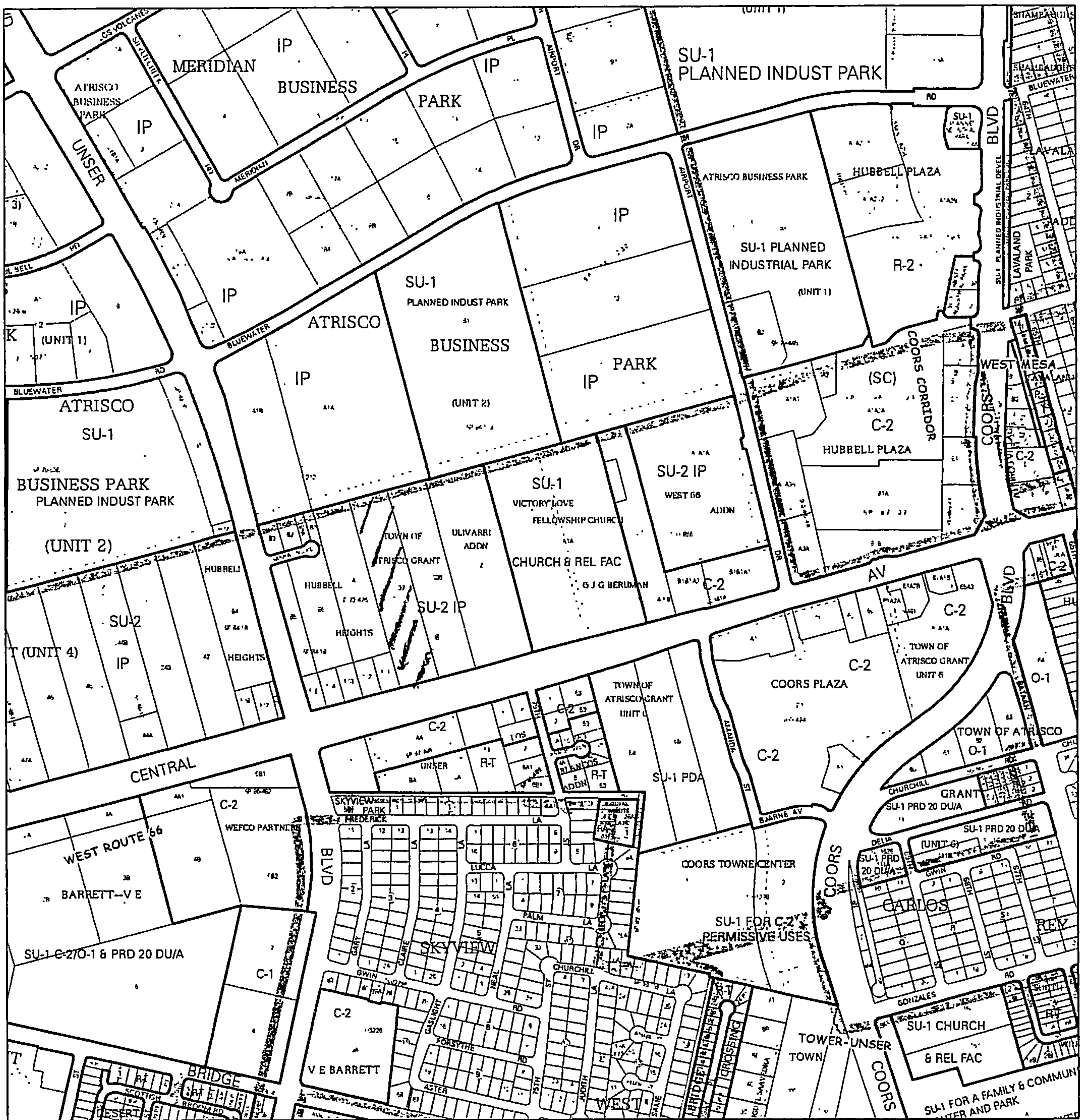
Roy Glenn Gibson, PE
Project Manager
Facilities Planning and Engineering

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For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 6/13/2008

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
K-10-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	SITE

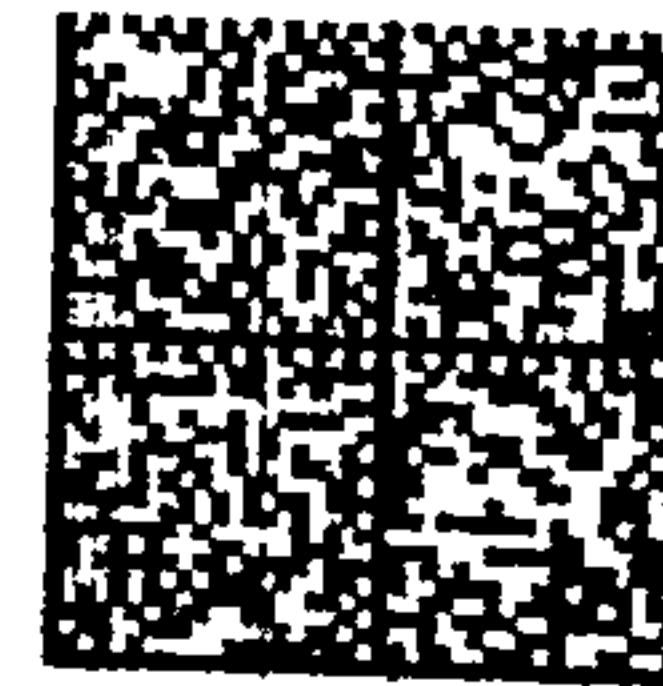
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Albuquerque, NM
87109-4335



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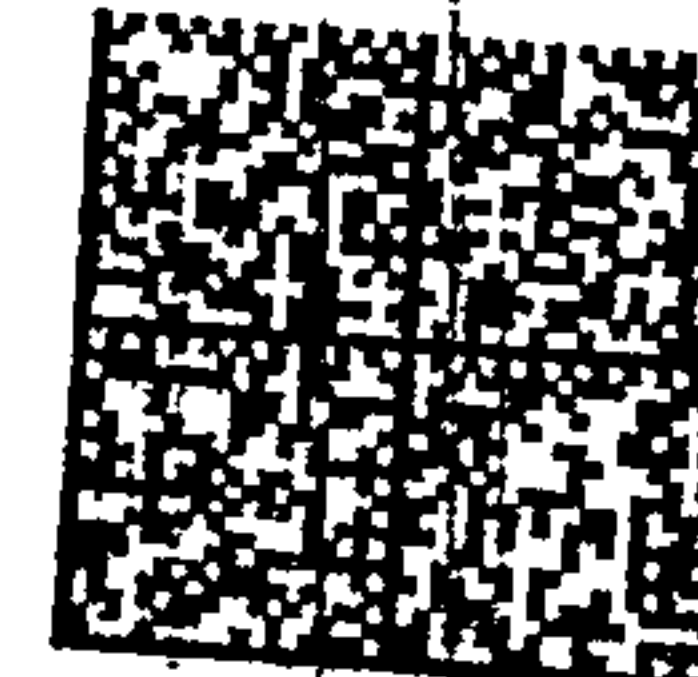
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87109-4335



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Jeanette Baca
Alamosa Neighborhood Association
901 Field SW
Albuquerque, NM 87121

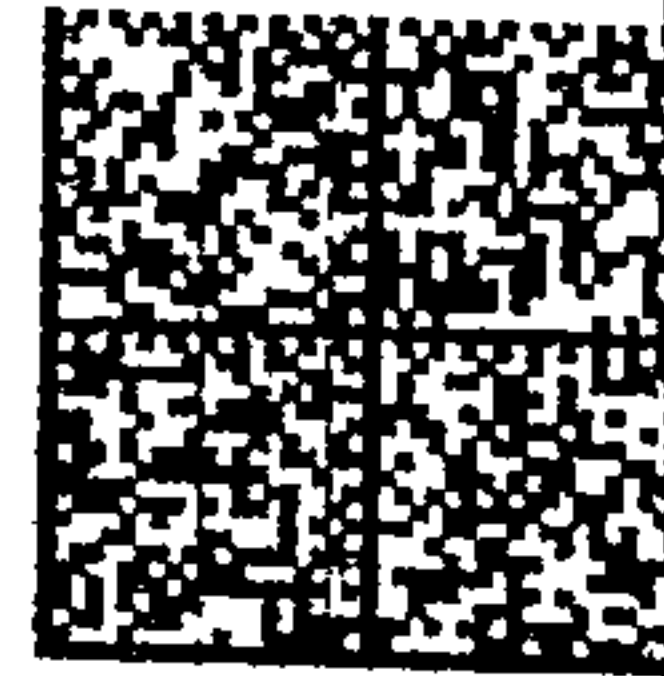
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Candelaria Patterson
Westside Coalition of Neighborhood Associations
7608 Elderwood NW
Albuquerque, NM 87120

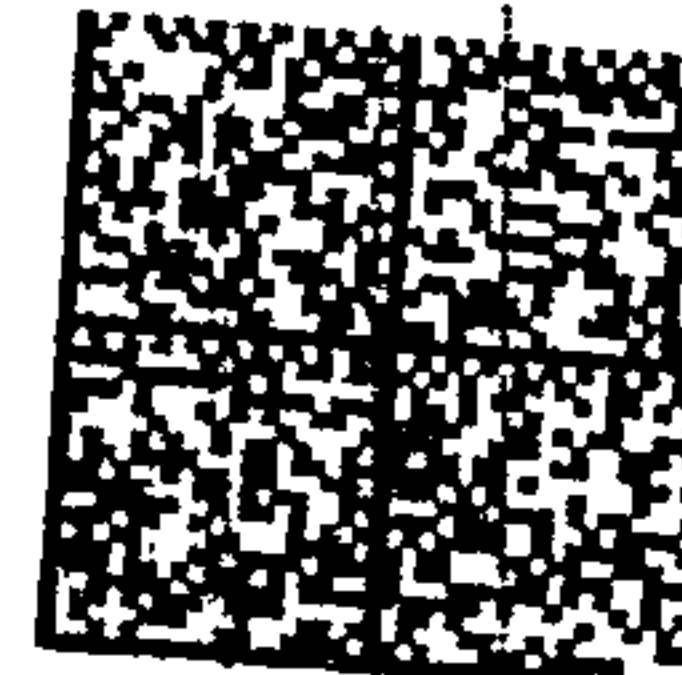
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M. Max Garcia
Los Volcanes Neighborhood Association
6619 Honeylocust Avenue NW
Albuquerque, NM 87121

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Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

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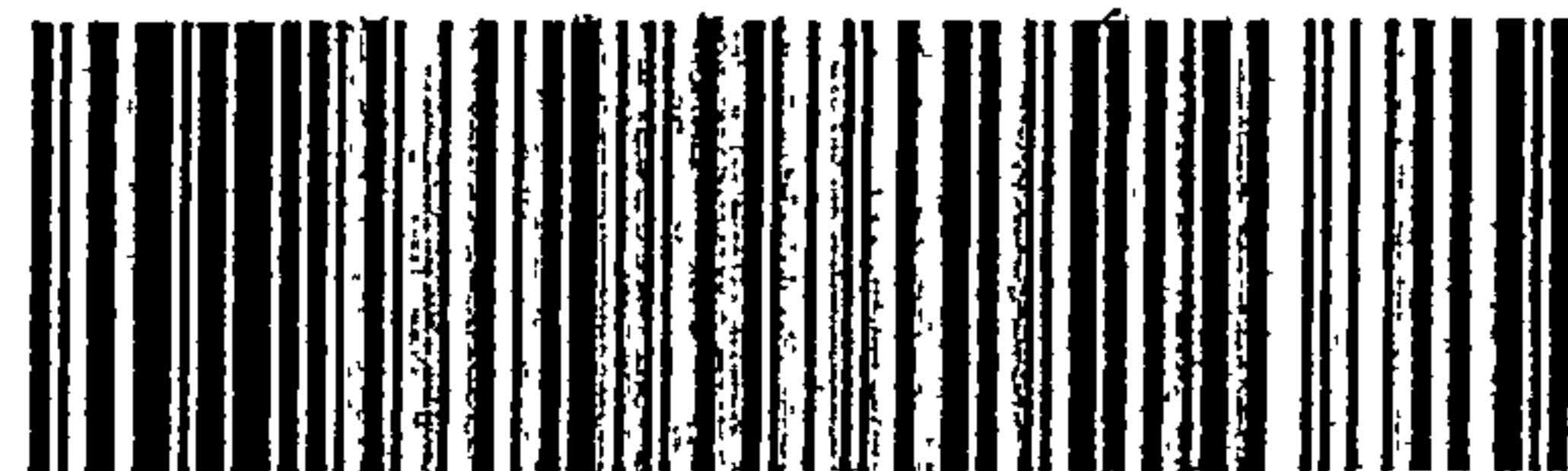
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MAR 26 2009

Bea Purcella
Skyview West Neighborhood Association
201 Claire Lane SW
Albuquerque, NM 87121

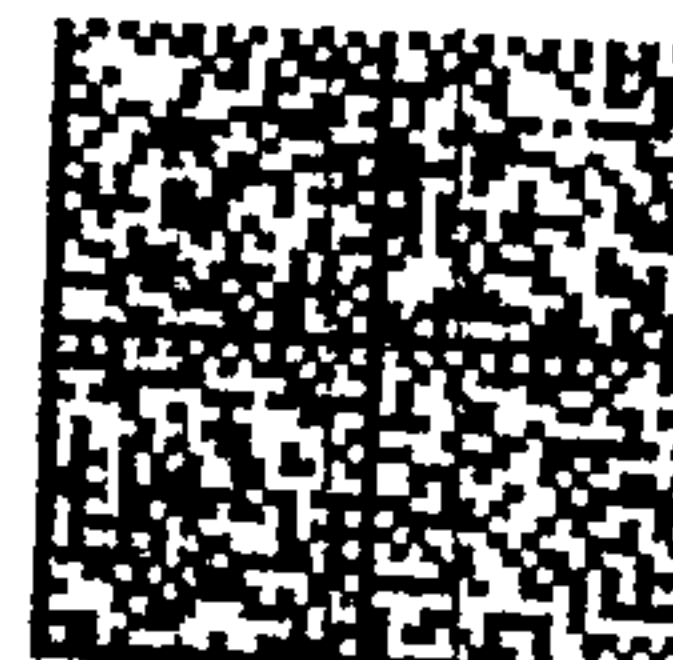
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Albuquerque, NM
87109-4335



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MAR 26 2009

Larry Nelson
West Side Merchants Association
929 Old Coors SW
Albuquerque, NM 87105

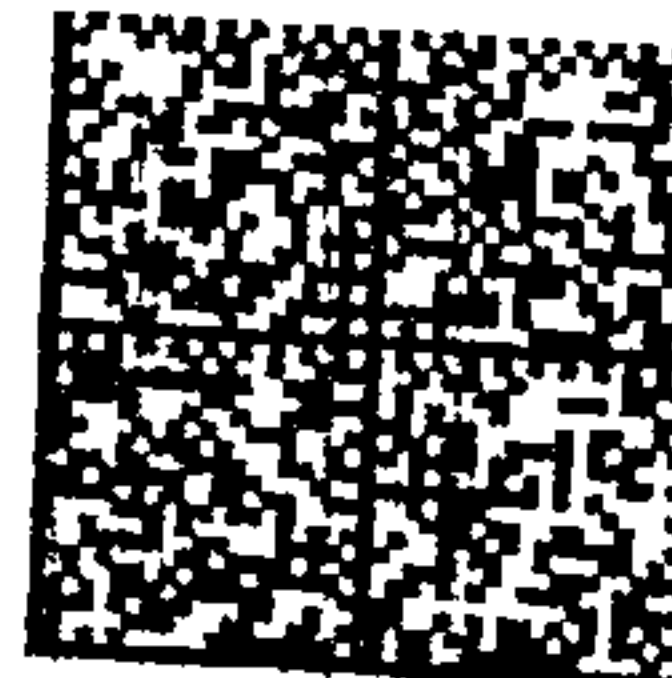
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Bohannon  **Huston**

Courtyard I
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Albuquerque, NM
87109-4335



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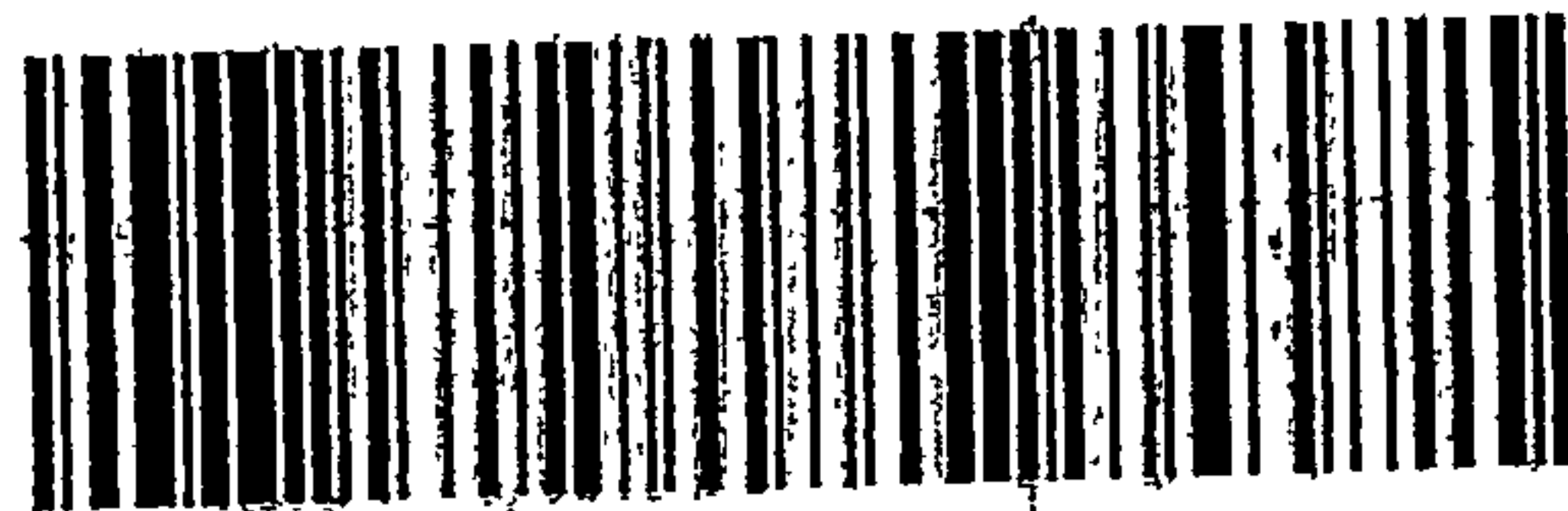
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Tony Chavez
Skyview West Neighborhood Association
305 Claire Lane SW
Albuquerque, NM 87121

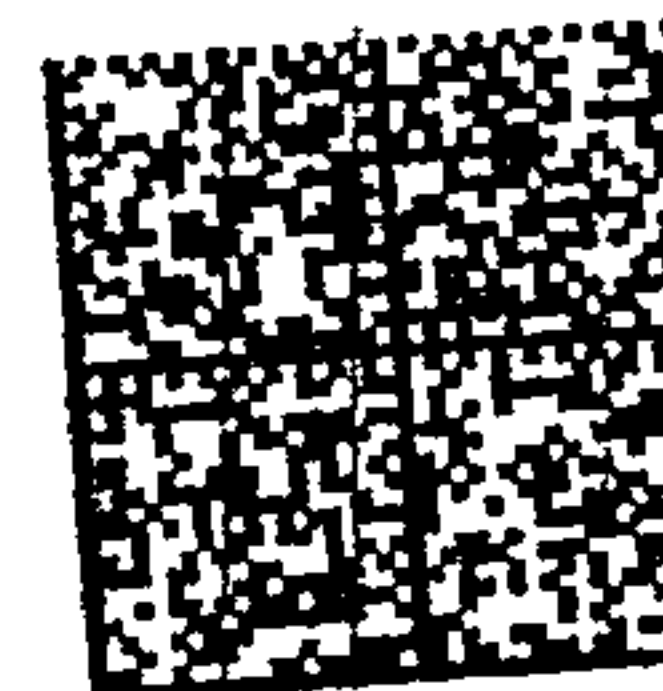
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Courtyard I
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87109-4335



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Louis Tafoya
West Mesa Neighborhood Association
6411 Avalon Road NW
Albuquerque, NM 87105

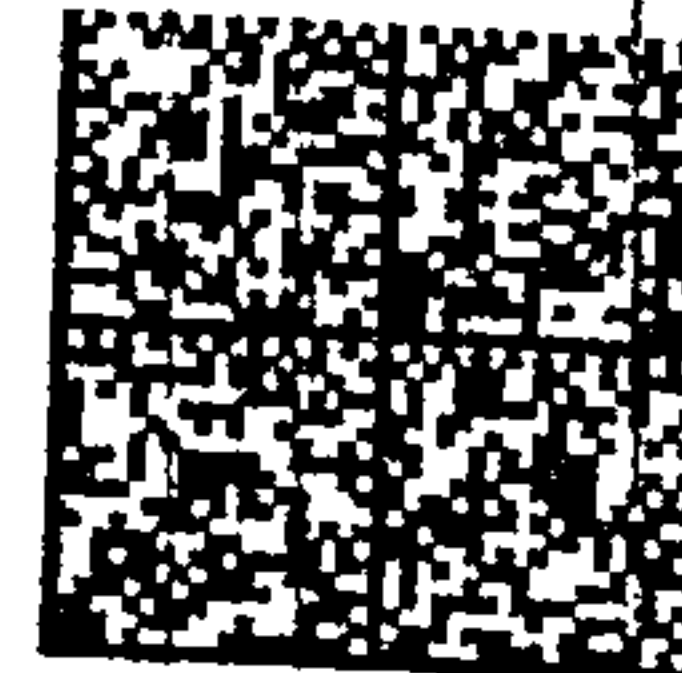
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Albuquerque, NM
87109-4335



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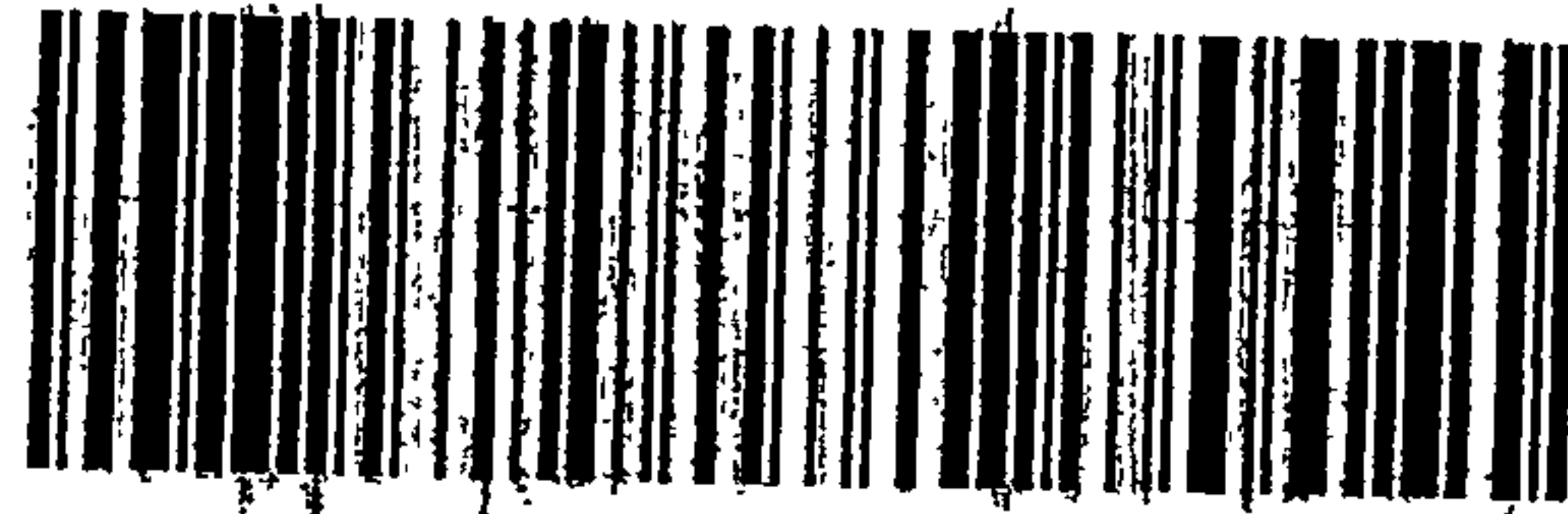
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Humberto Perez
West Side Merchants Association
701B Old Coors SW
Albuquerque, NM 87105

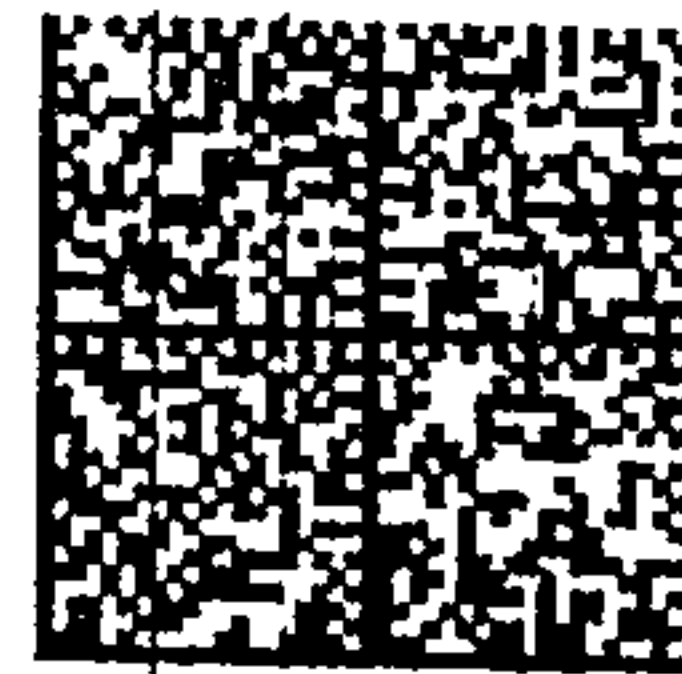
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87109-4335



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Klarissa Pena
South West Alliance of Neighbors
6525 Sunset Gardens SW
Albuquerque, NM 87121

Rohmann & Hirston

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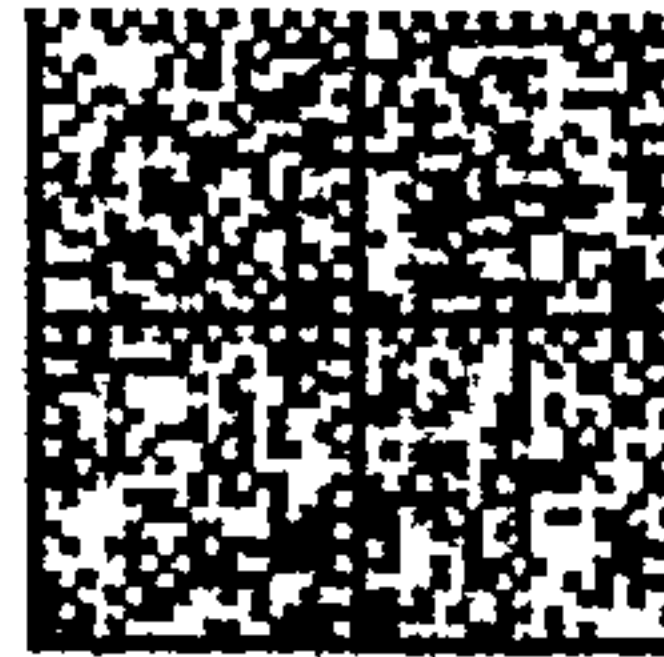
STATES POSTAL


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Ben Sandoval
Los Volcanes Neighborhood Association
6516 Honeylocust Avenue NW
Albuquerque, NM 87121

Bohannon  **Huston**


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Albuquerque, NM
87109-4335

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Miguel Maestas
Avalon Neighborhood Association
9400 Harbor Road NW
Albuquerque, NM 87121

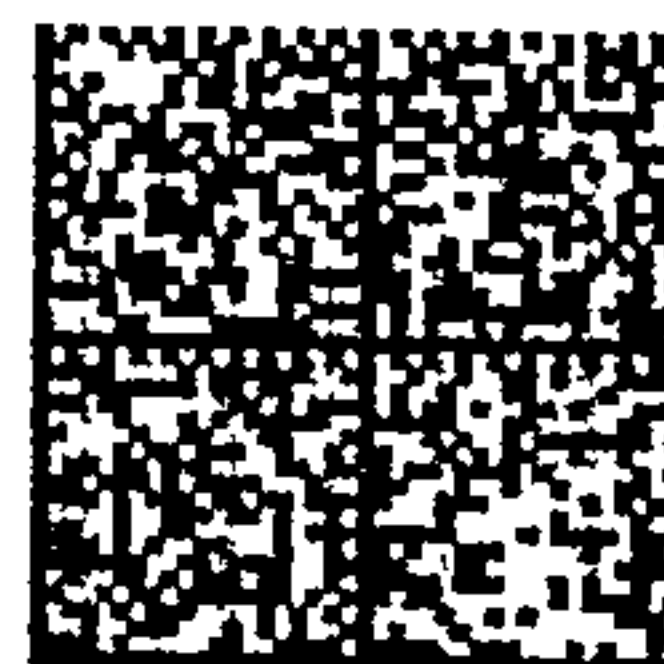
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Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335



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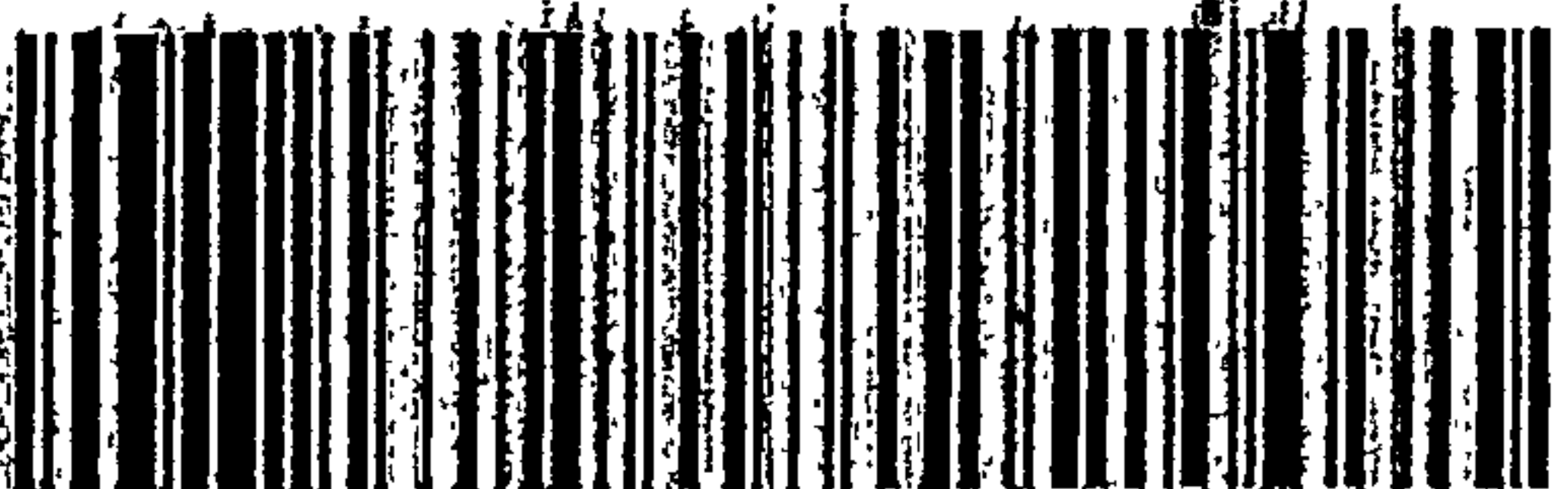
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Kelly Chappelle
Avalon Neighborhood Association
9135 Santa Catalina Avenue NW
Albuquerque, NM 87121

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7500 Jefferson St. NE
Albuquerque, NM
87109-4335



91 7108 2183 3933 5826 1992

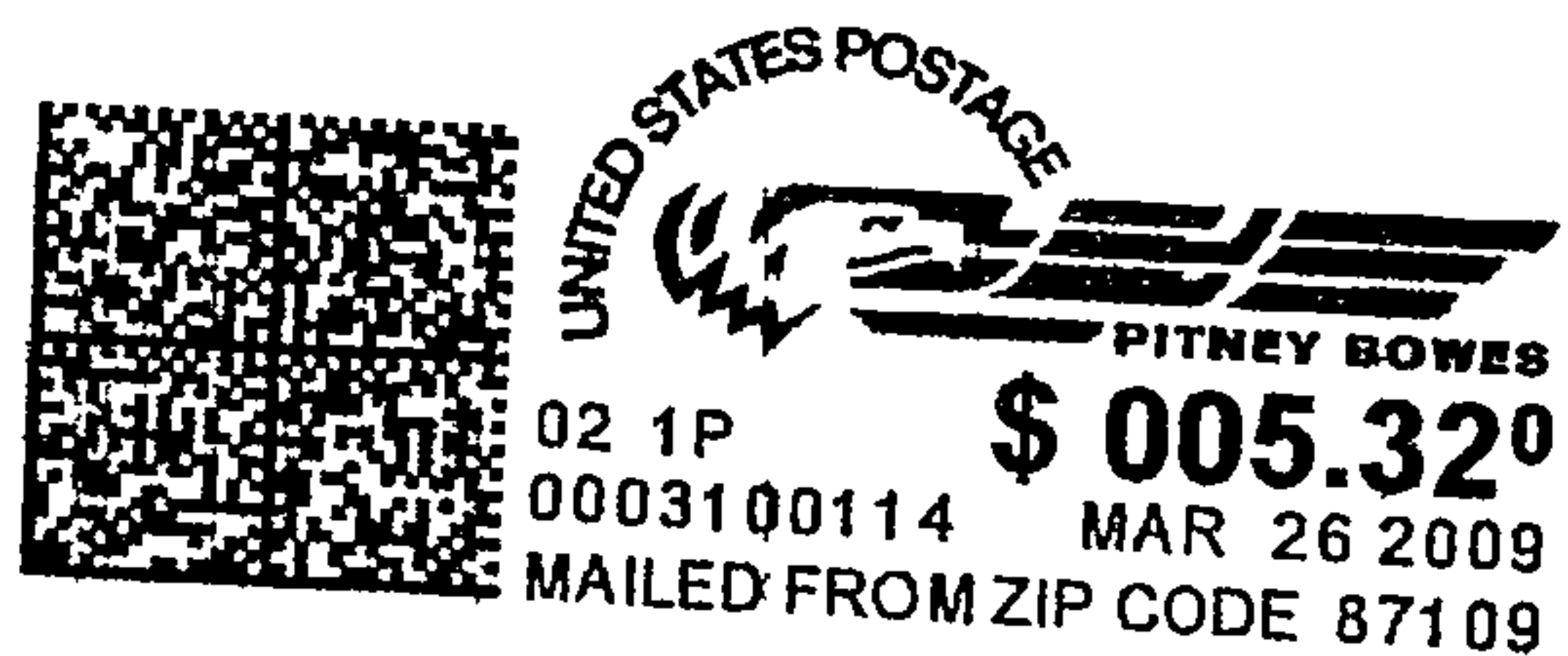


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Andres Anaya
Sunrise Home Owners Association
209 Galatanew NW
Albuquerque, NM 87121

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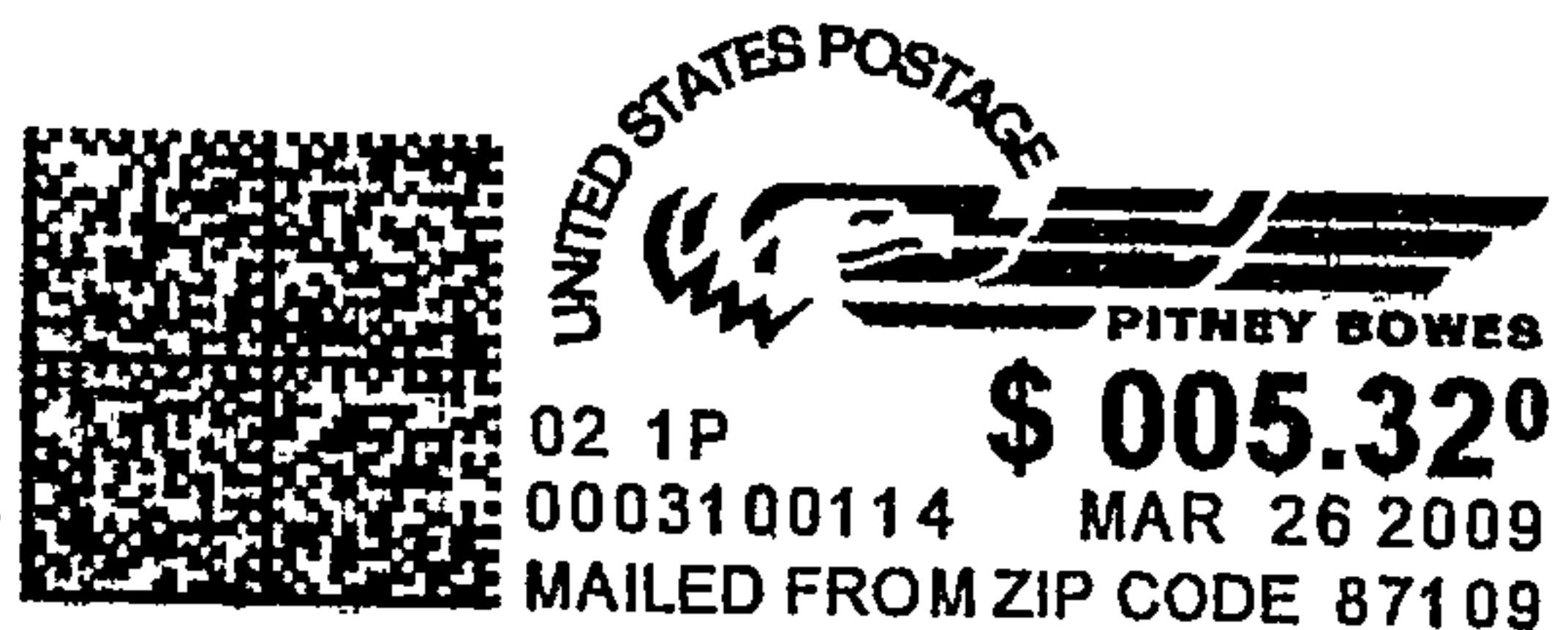
Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335



Darlene Norris
Sunrise Home Owners Association
319 Galataneu NW
Albuquerque, NM 87121

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Albuquerque, NM
87109-4335

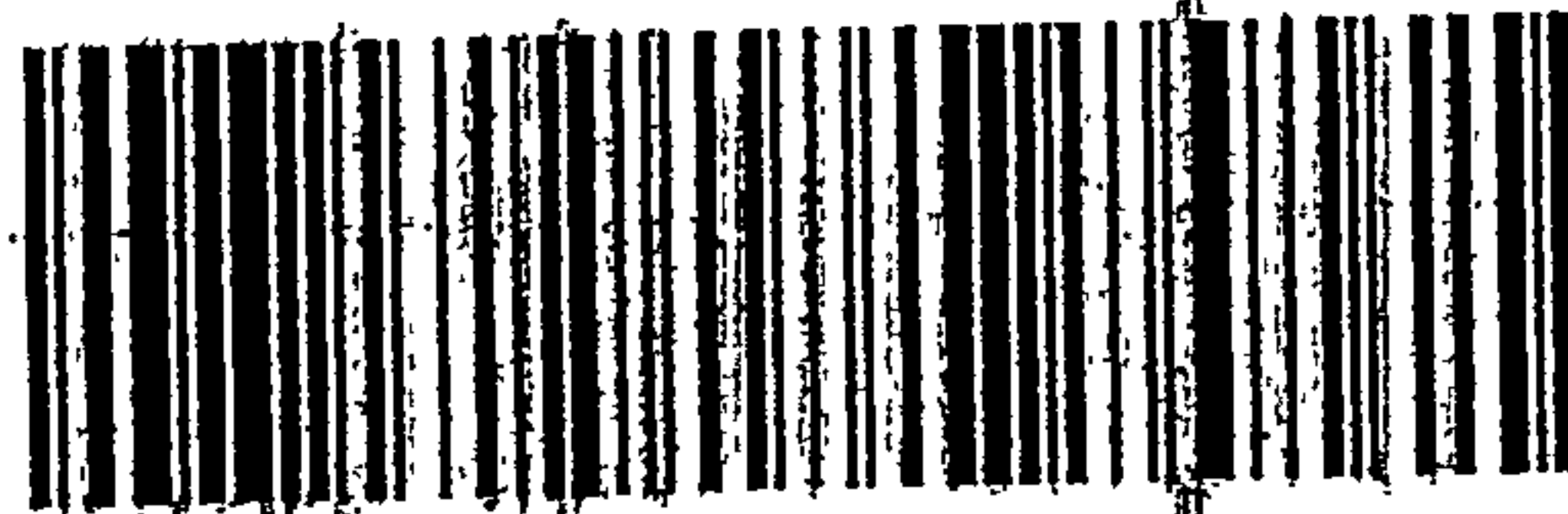


Jerry Gallegos
Alamosa Neighborhood Association
417 65th Street SW
Albuquerque, NM 87121

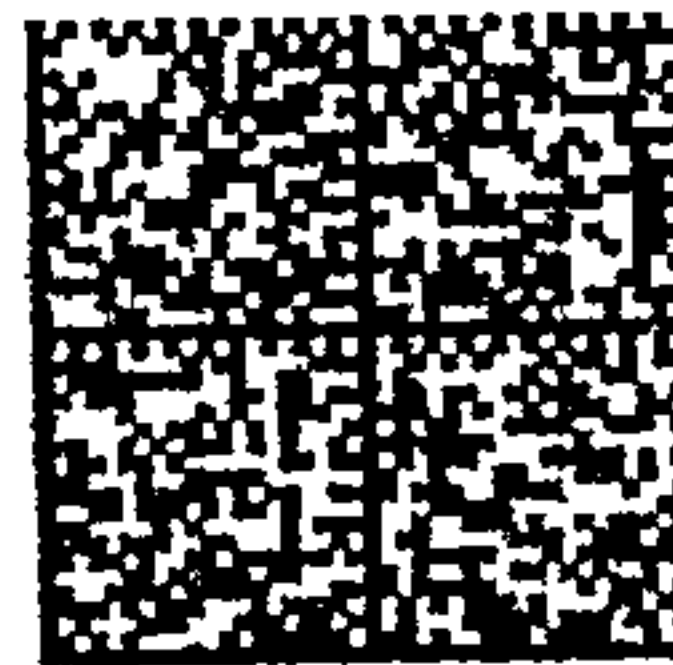
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Bohannon & Huston

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Albuquerque, NM
87109-4335



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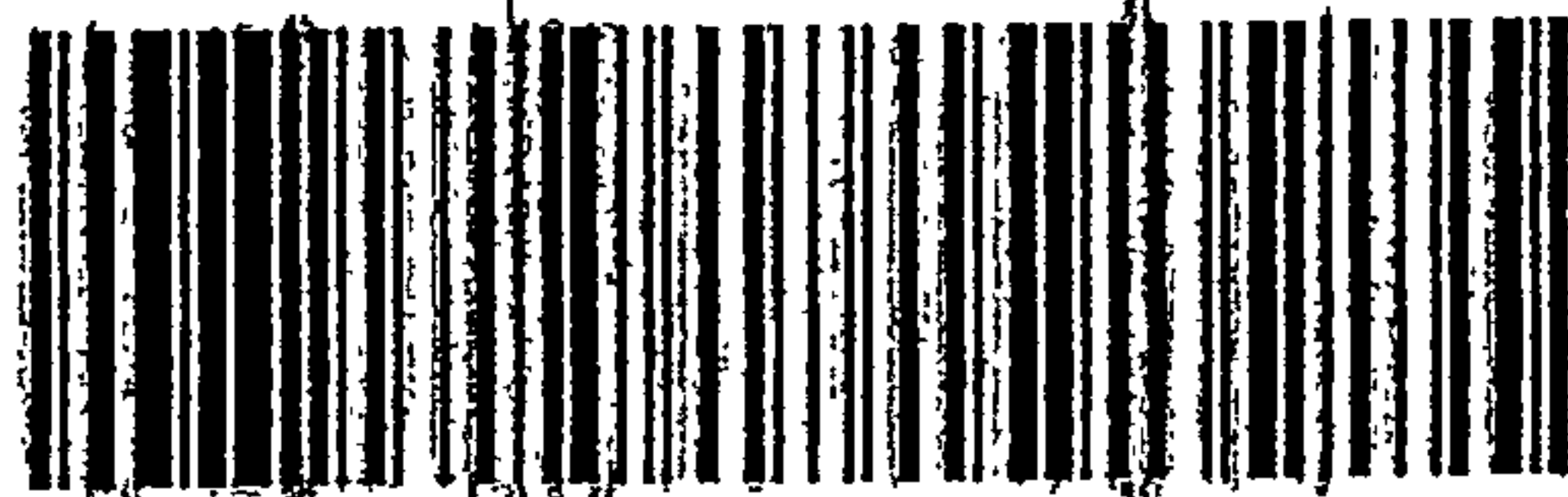
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Mike Quintana Jr.
West Mesa Neighborhood Association
301 63rd Street NW
Albuquerque, NM 87105

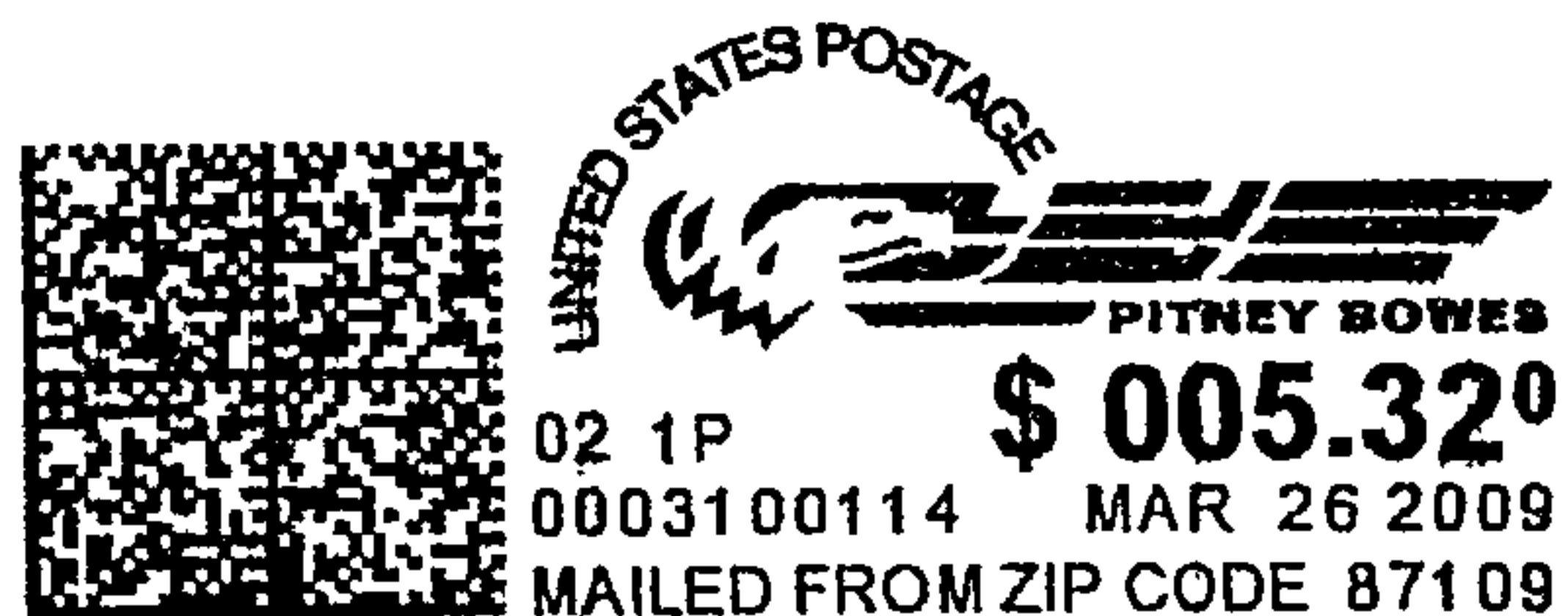
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Albuquerque, NM
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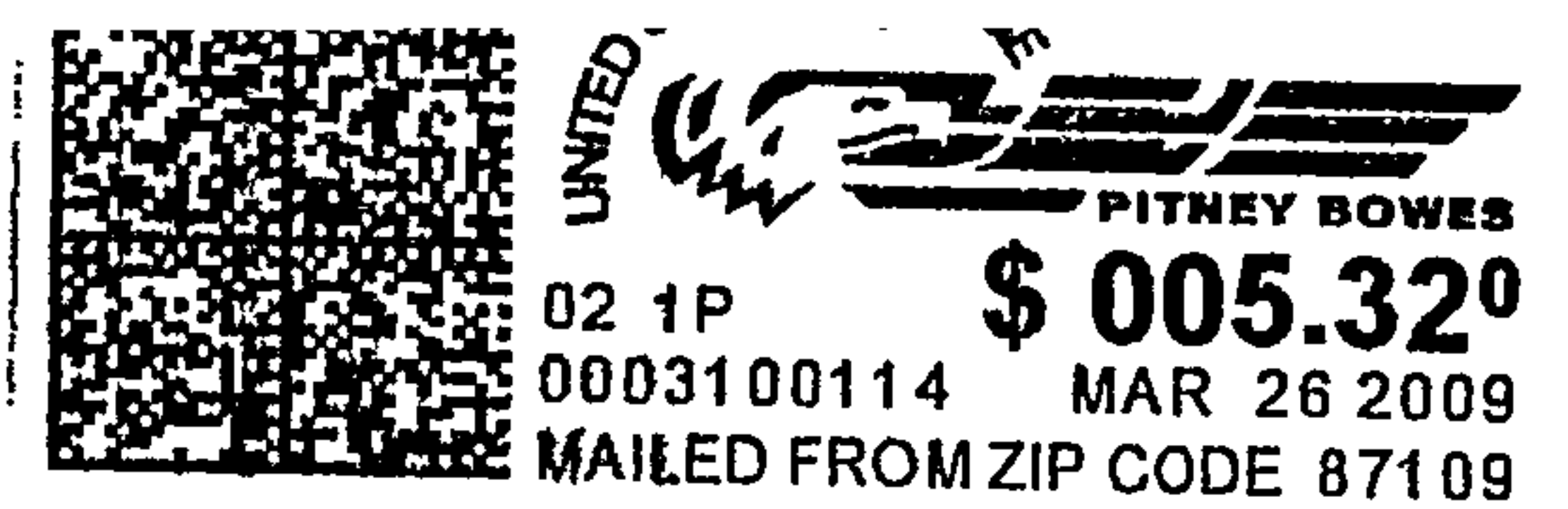
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Dan Serrano
Westside Coalition of Neighborhood Associations
3305 Ronda de Lechugas NW
Albuquerque, NM 87120

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335



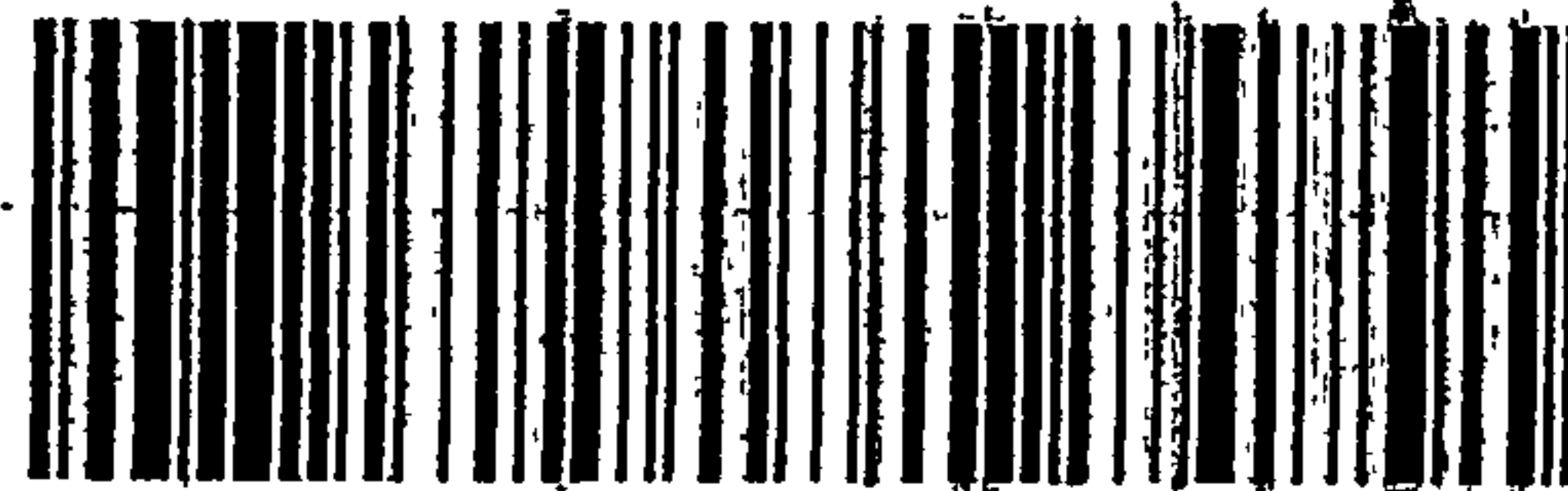
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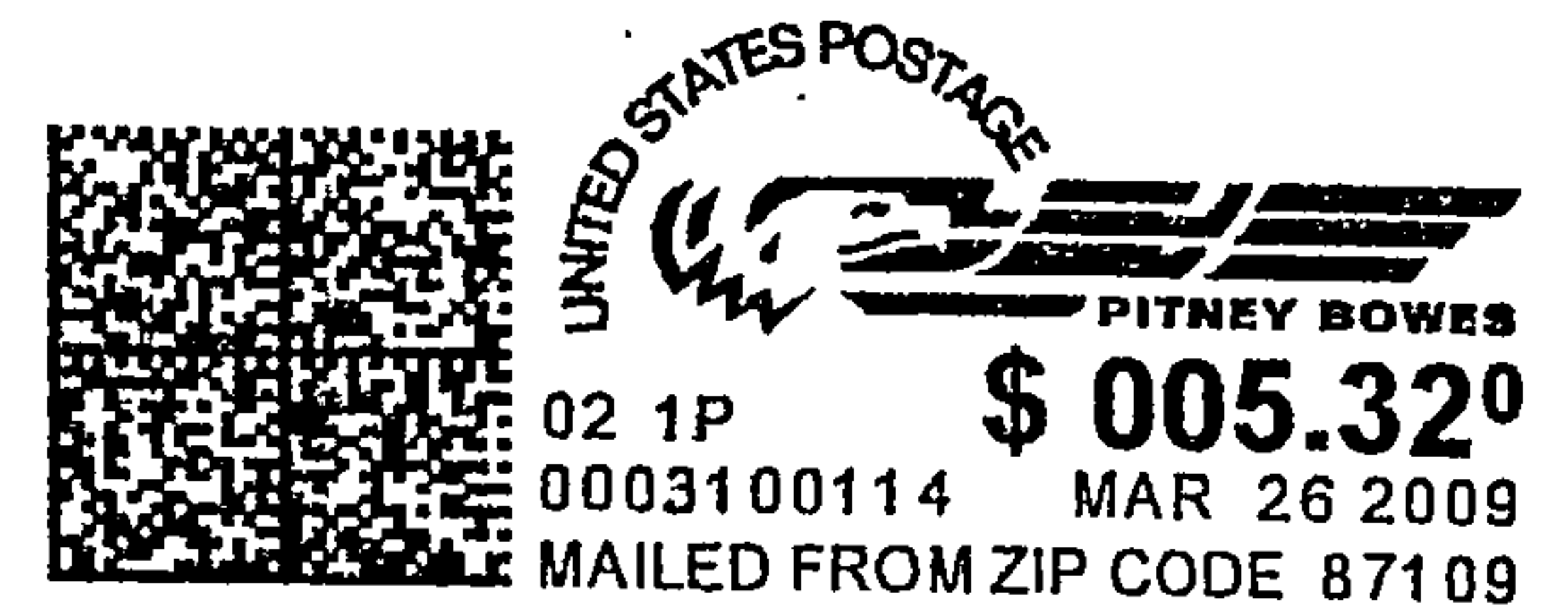
Marcia Fernandez
South Valley Coalition of Neighborhood Associations
2401 Violet SW
Albuquerque, NM 87105

Bohannon  **Huston**

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335



91 7108 2133 3933 4836 8110



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Susan White
South Valley Coalition of Neighborhood Associations
2736 Los Padillas SW
Albuquerque, NM 87105

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable. *No DUMPSTER*

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: N/A provided: 184
Handicapped spaces required: 8 provided: 8
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 10
provided: 20
 - 2. Other bicycle facilities, if applicable *BIKE LOCKER*
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

- 2. Pedestrian trails and linkages
- 3. Bus facilities, including routes, bays and shelters existing or required

4. Utilities

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

5. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Statement of compliance with Water Conservation... Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)
- 15. Planting or tree well detail
- 16. Street Tree Plan as defined in the Street Tree Ord.

SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

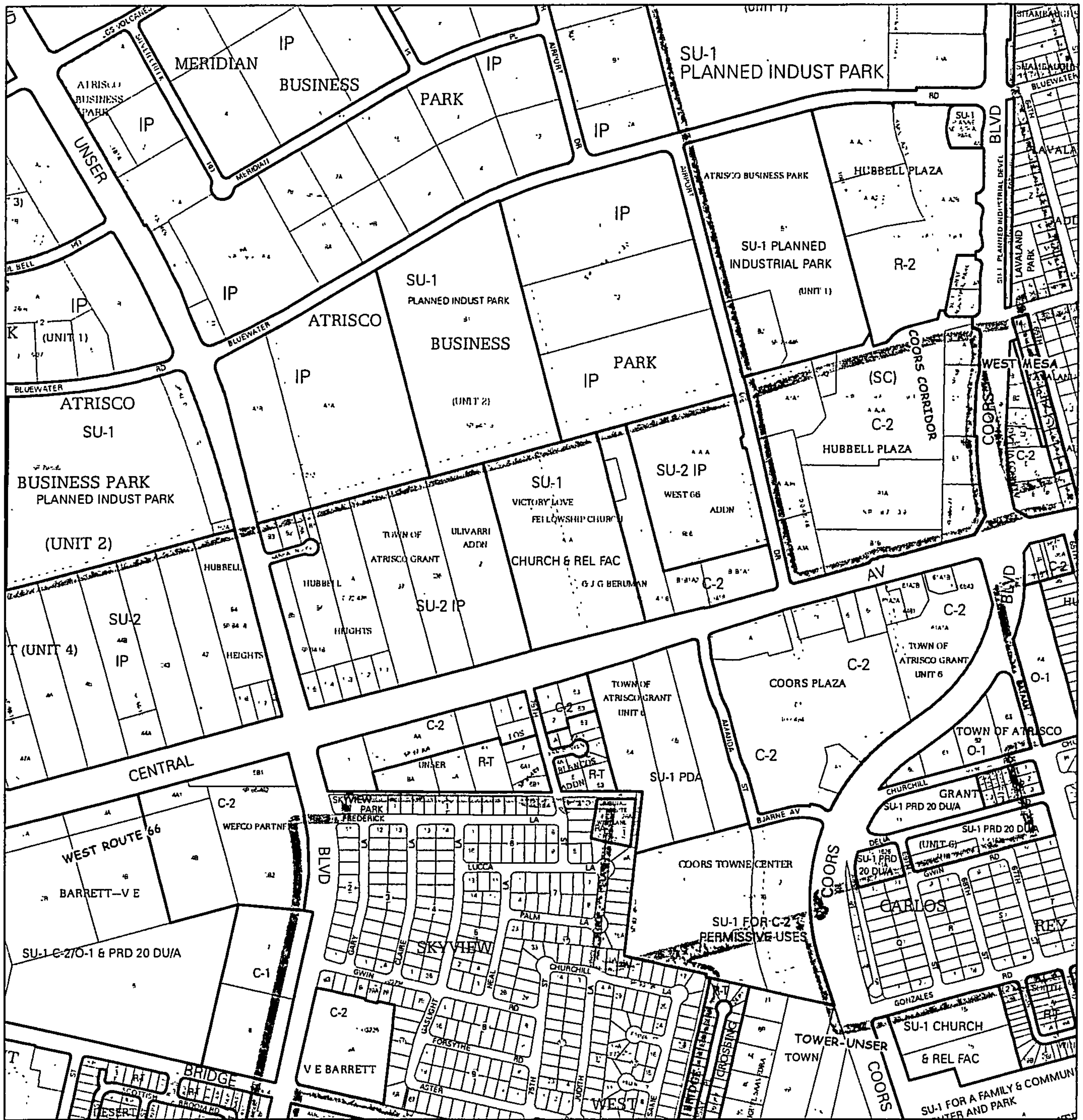
A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. For EPC and DRB submittals only – Color renderings or similar illustrations
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- N/A NO MONUMENT SIGNS*
- 1. Site location(s)
 - 2. Sign elevations to scale
 - 3. Dimensions, including height and width
 - 4. Sign face area - dimensions and square footage clearly indicated
 - 5. Lighting
 - 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.



For more current information and more details visit: <http://www.cabq.gov/gis>

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
K-10-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1500
Feet

CITY DEPARTMENT INFRASTRUCTURE LIST

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: _____
Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: _____
DRB Application No.: _____

INFRASTRUCTURE LIST

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

City of Albuquerque Southwest Mesa Park & Ride
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Lot C-43 of Town of Atrisco Grant Unit 4
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<input type="text"/>	<input type="text"/>	12' FC- Existing lane	Paved Roadway Deceleration Lane, Striping, Curb and Gutter. Eastbound Central Left turn into development.	Central Ave.	250' West of Development Entrance	Development Entrance	/	/	/
<input type="text"/>	<input type="text"/>	Ex. Lane - 12' FC\	Paved Roadway Deceleration Lane, Striping, Curb and Gutter. Westbound Central Right turn into development.	Central Ave.	250' East of Development Entrance	Development Entrance	/	/	/
<input type="text"/>	<input type="text"/>	35' Median Cut	Paved Roadway Median Cut, Curb and Gutter Striping.	Central Ave.	Development Entrance	Development Entrance	/	/	/
<input type="text"/>	<input type="text"/>	30' FC-FC Cull-de-Sac	Paved Roadway Deceleration Lane, Place a cul-de-sac on the Central Frontage Road to Dead End in front of Car Wash West of development.	Central Frontage Road	50' West of Development Entrance	50' West of Development Entrance	/	/	/
<input type="text"/>	<input type="text"/>	220' Curb	Install Curb and Gutter along Central Ave. to Close Entrance to Existing Central Frontage Road.	Central Ave	Unser And Central	Proposed Deceleration Lane of Entrance	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
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SIA Sequence #	COA DRC Project #
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Size	Type of Improvement	Location	From	To

Private Inspector	City Inspector	City Cnst Engineer
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/	/	/
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/	/	/
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NAME OF PLAT AND/OR SITE PLAN _____

revised 07/01/01

NOTES

The improvements identified above will be the responsibility of the City of Albuquerque, Dept of Municipal Development. By signing below, I _____ understand that my division is financially responsible for the above listed items . This agreement will constitute as a Subdivision Improvement Agreement (SIA). Acquiring funding for these items is my responsibility. These items listed above will be completed 6 months after written notification from the City Engineer. The estimated cost of these improvements are \$_____.

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

NAME (print)

DRB CHAIR - date

PARKS & GENERAL SERVICES - date

FIRM

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

SIGNATURE - date

UTILITY DEVELOPMENT - date

- date

MAXIMUM TIME ALLOWED TO CONSTRUCT
THE IMPROVEMENTS WITHOUT A DRB
EXTENSION: _____

CITY ENGINEER - date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER

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