

SHEET INDEX

SHEET 1	SITE PLAN
SHEET 2	LANDSCAPING PLAN
SHEET 3	GRADING AND DRAINAGE PLAN
SHEET 4	BUS SHELTER ELEVATIONS
SHEET 5	CONCEPTUAL UTILITY PLAN

SITE DATA
 LEGAL DESCRIPTION: TR C-43 UNIT 4 OF TOWN OF ATRISCO GRANT.
 SIZE: 3.1 ACRES
 ZONING: IPSU-2

PARKING CALCULATIONS

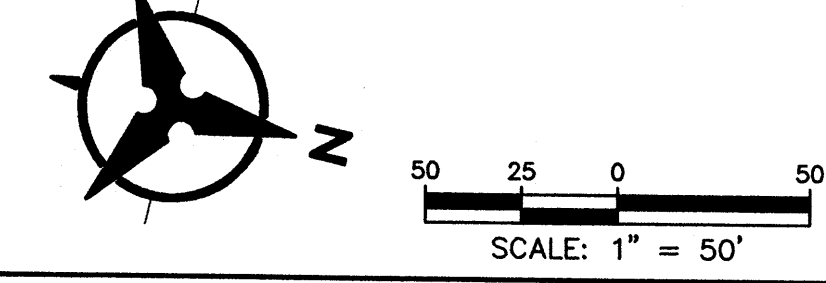
PHASE 1	
STANDARD SPACES (8.5' X 20')	176
HANDICAP SPACES	8
TOTAL	184

BICYCLE PARKING (1 PER 20 PARKING SPACES)
 BICYCLE PARKING REQUIRED 10 SPACES
 BICYCLE PARKING PROVIDED 20 SPACES
 (BICYCLE LOCKERS-8, BICYCLE RACKS-12)

SIGN LEGEND
 SIGN A (BUSES ONLY)
 SIGN B (DO NOT ENTER)

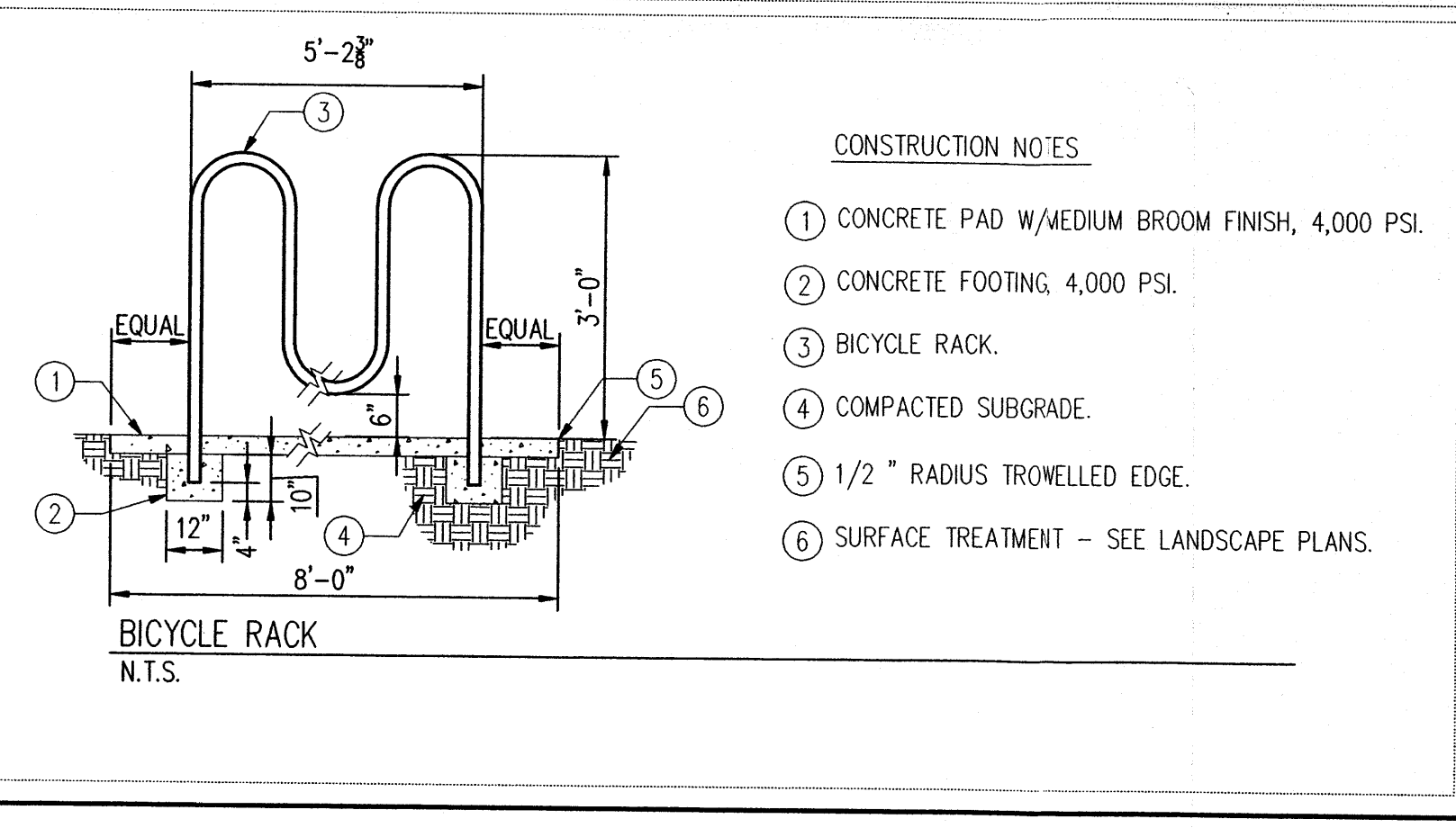
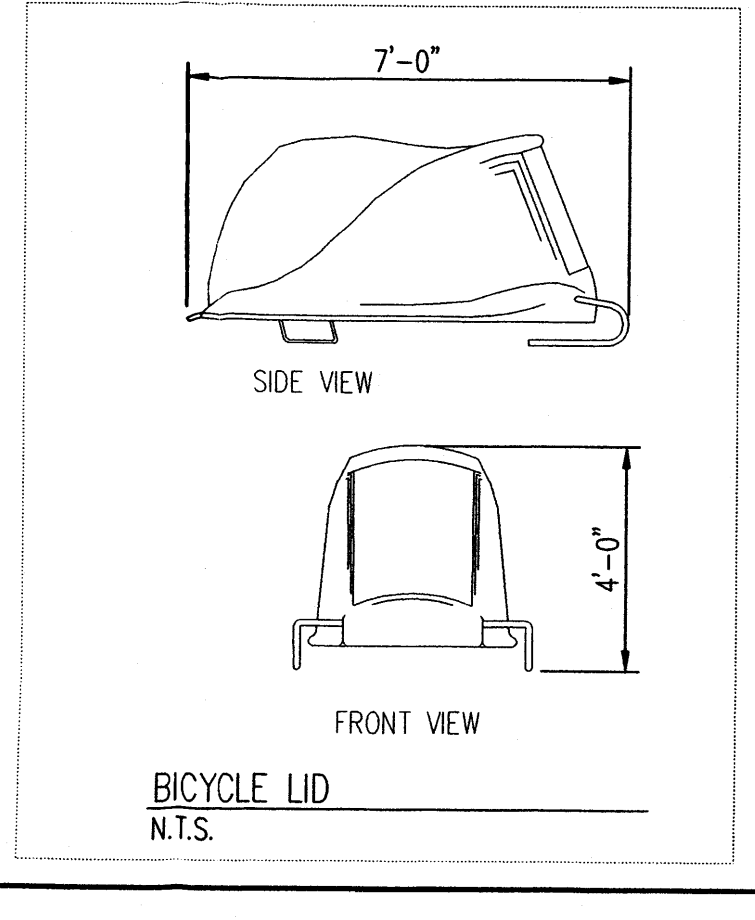
LEGEND

---	PROPERTY LINE
♿	HANDICAP
▨	CONCRETE PAVEMENT
▩	TEXTURED CONCRETE SIDEWALK

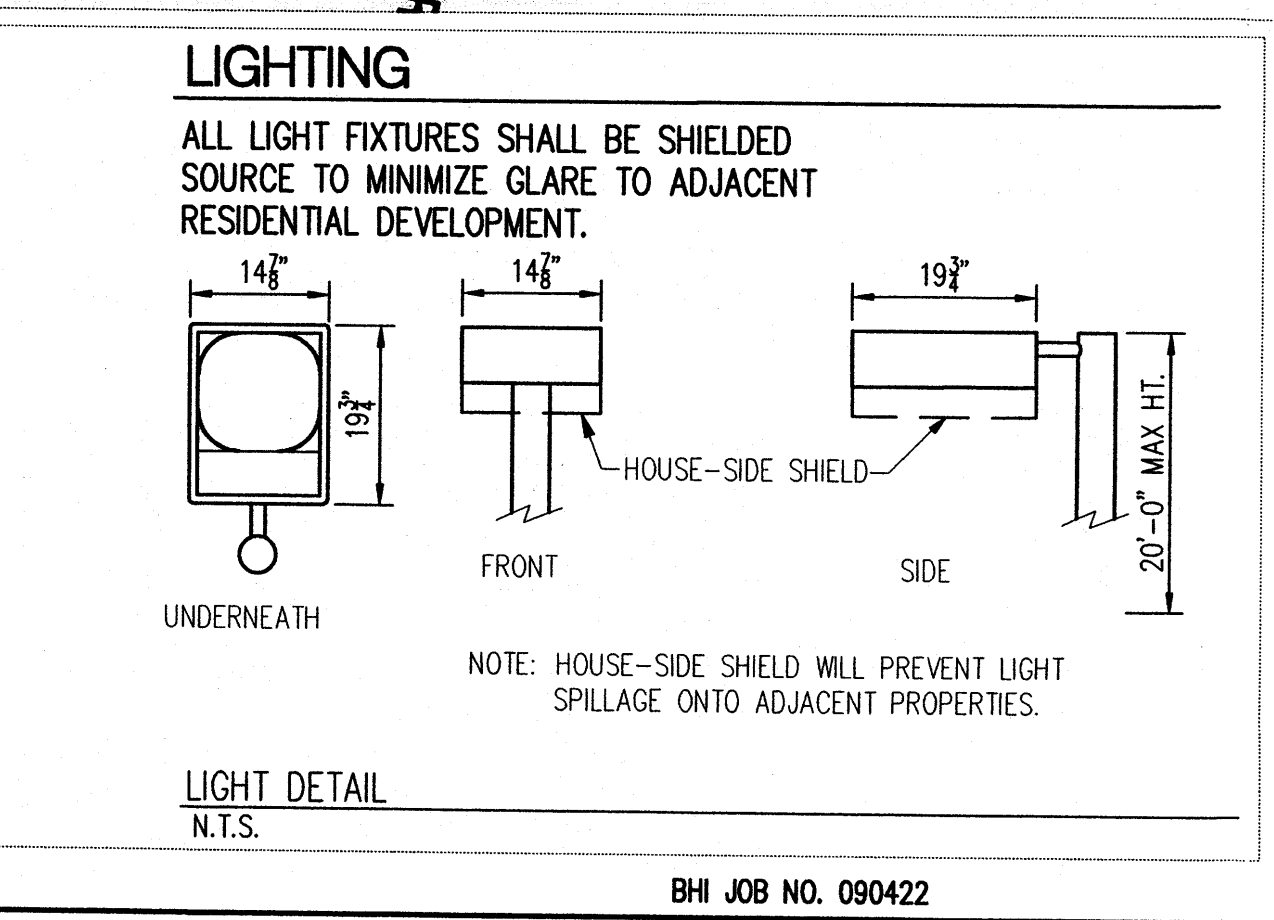


APPROVALS
 THIS SITE PLAN IS GENERALLY CONSISTENT WITH THE SITE PLAN FOR SUBDIVISION APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON _____ AND THE SITE PLAN FOR BUILDING PURPOSES APPROVED ON _____ AND CONDITIONS OF APPROVAL HAVE BEEN MET.

PLANNING DIRECTOR _____
 TRANSPORTATION DEVELOPMENT _____
 CITY ENGINEER/AMAFCA _____
 UTILITY DEVELOPMENT _____
 PARKS AND RECREATION DEPARTMENT _____



- CONSTRUCTION NOTES**
- 1 CONCRETE PAD W/MEDIUM BROOM FINISH, 4,000 PSI.
 - 2 CONCRETE FOOTING, 4,000 PSI.
 - 3 BICYCLE RACK.
 - 4 COMPACTED SUBGRADE.
 - 5 1/2" RADIUS TROWELLED EDGE.
 - 6 SURFACE TREATMENT - SEE LANDSCAPE PLANS.

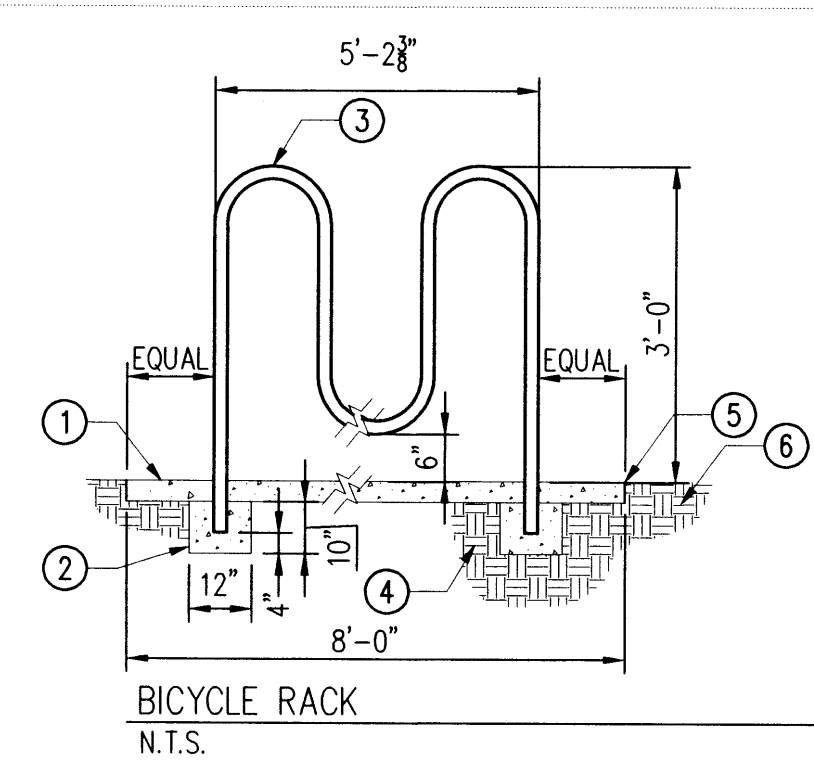
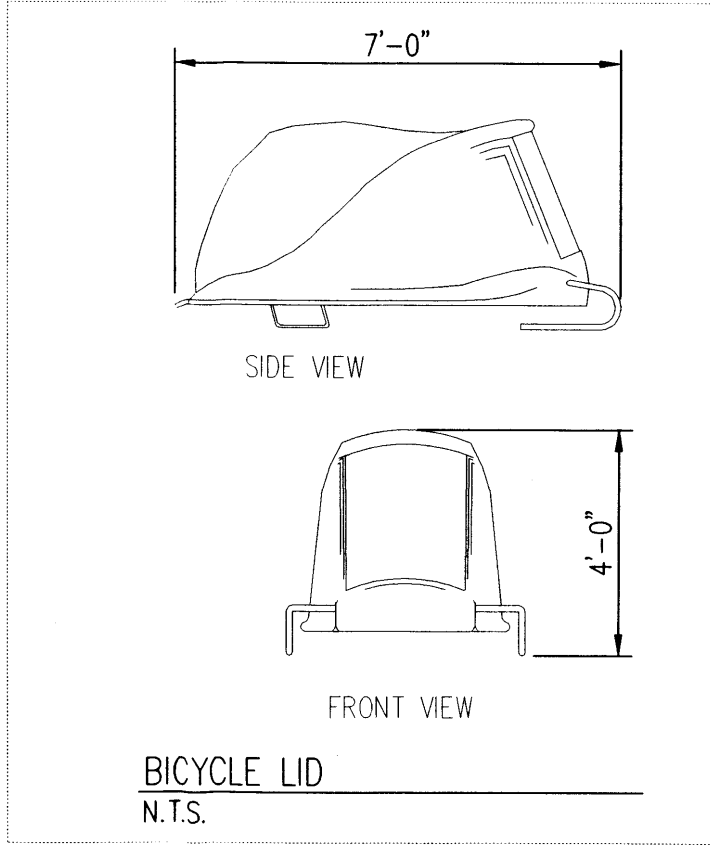
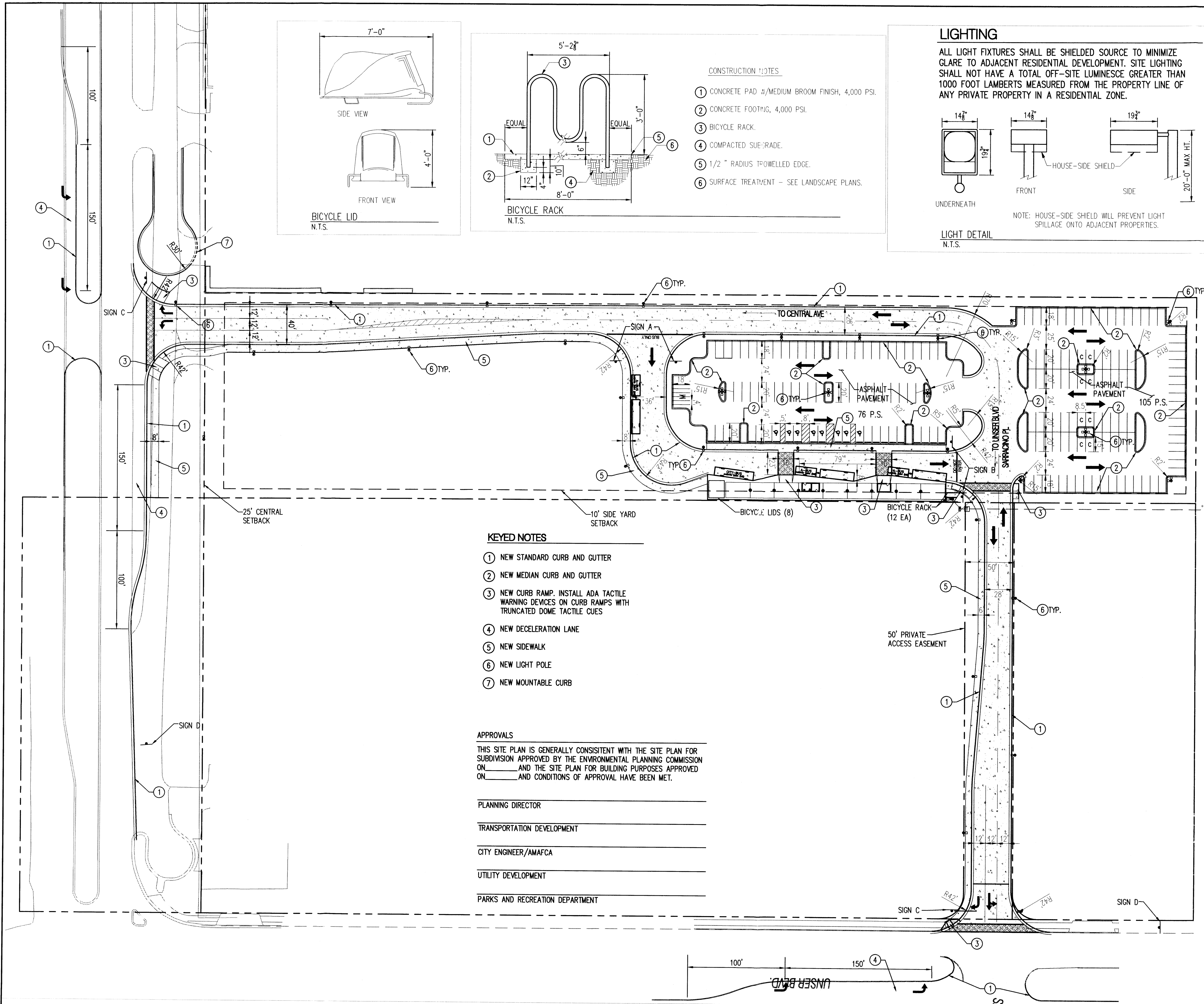


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 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

CITY OF ALBUQUERQUE
 DEPARTMENT OF MUNICIPAL DEVELOPMENT
 SOUTHWEST MESA PARK & RIDE
 SITE PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

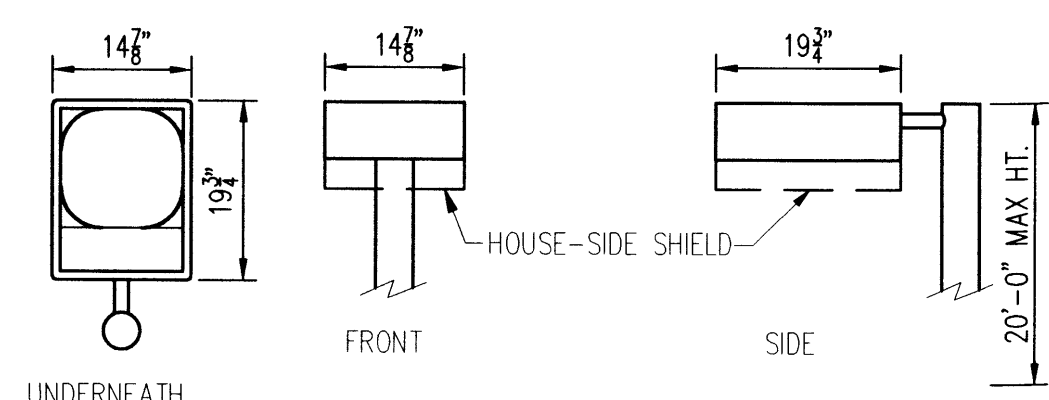
CITY PROJECT NO. **7616.91** ZONE MAP NO. **K - 10** SHEET **XX** OF



- CONSTRUCTION NOTES**
- 1 CONCRETE PAD 3/4 MEDIUM BROOM FINISH, 4,000 PSI.
 - 2 CONCRETE FOOTING, 4,000 PSI.
 - 3 BICYCLE RACK.
 - 4 COMPACTED SUBGRADE.
 - 5 1/2" RADIUS FLOWELED EDGE.
 - 6 SURFACE TREATMENT - SEE LANDSCAPE PLANS.

LIGHTING

ALL LIGHT FIXTURES SHALL BE SHIELDED SOURCE TO MINIMIZE GLARE TO ADJACENT RESIDENTIAL DEVELOPMENT. SITE LIGHTING SHALL NOT HAVE A TOTAL OFF-SITE LUMINESCENCE GREATER THAN 1000 FOOT LAMBERTS MEASURED FROM THE PROPERTY LINE OF ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.



- KEYED NOTES**
- 1 NEW STANDARD CURB AND GUTTER
 - 2 NEW MEDIAN CURB AND GUTTER
 - 3 NEW CURB RAMP. INSTALL ADA TACTILE WARNING DEVICES ON CURB RAMPS WITH TRUNCATED DOME TACTILE CUES
 - 4 NEW DECELERATION LANE
 - 5 NEW SIDEWALK
 - 6 NEW LIGHT POLE
 - 7 NEW MOUNTABLE CURB

APPROVALS

THIS SITE PLAN IS GENERALLY CONSISTENT WITH THE SITE PLAN FOR SUBDIVISION APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON _____ AND THE SITE PLAN FOR BUILDING PURPOSES APPROVED ON _____ AND CONDITIONS OF APPROVAL HAVE BEEN MET.

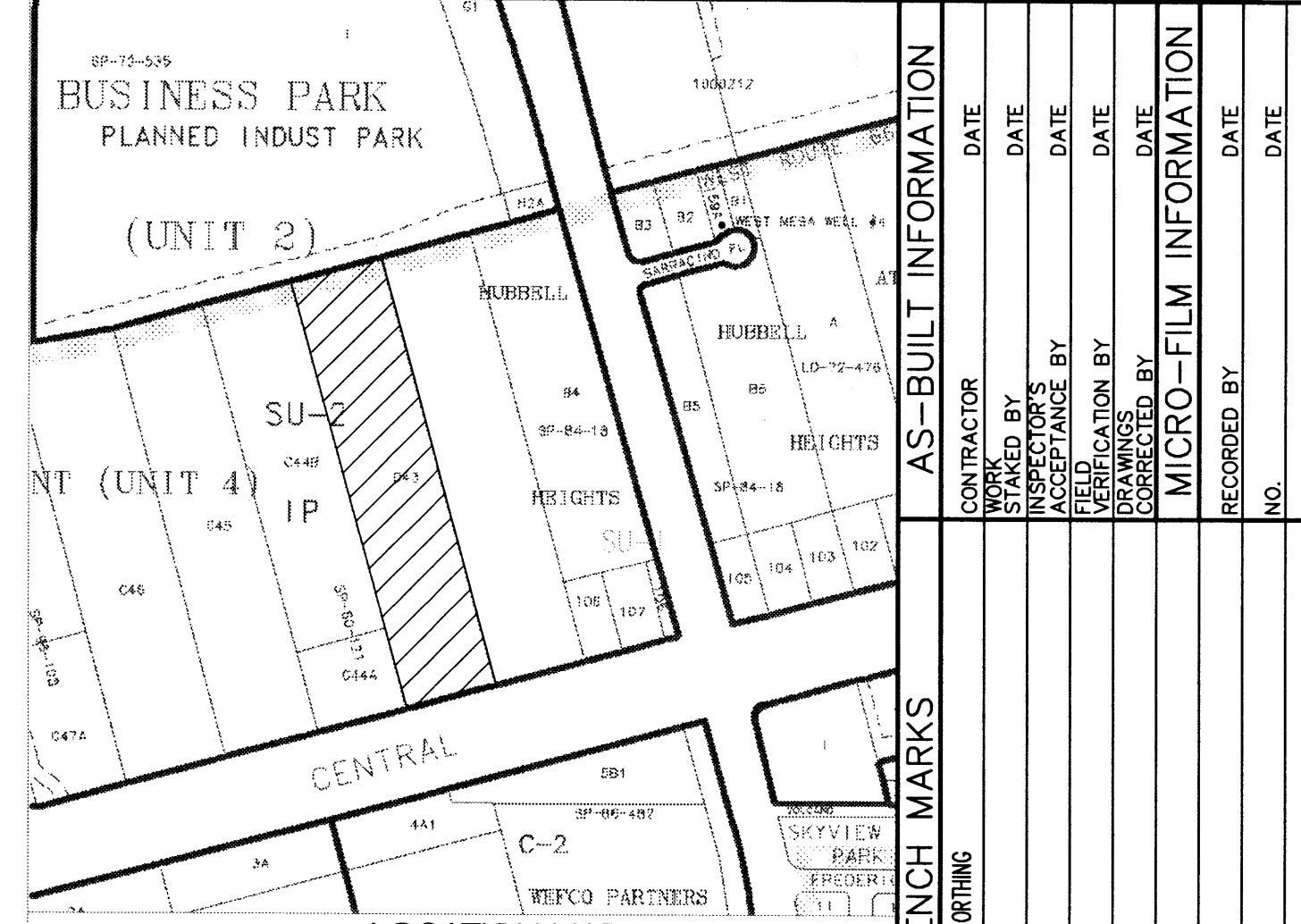
PLANNING DIRECTOR _____

TRANSPORTATION DEVELOPMENT _____

CITY ENGINEER/AMAFCA _____

UTILITY DEVELOPMENT _____

PARKS AND RECREATION DEPARTMENT _____



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SITE DATA

LEGAL DESCRIPTION: TR C-43 UNIT 4 OF TOWN OF ATRISCO GRANT.

SIZE: 3.1 ACRES

ZONING: IPSU-2

PARKING CALCULATIONS

STANDARD SPACES (8.5' X 20')	165
COMPACT SPACES (8.5' X 15')	8
HANDICAP SPACES	8
TOTAL	181

MOTORCYCLE PARKING REQUIRED: 5 SPACES
MOTORCYCLE PARKING PROVIDED: 6 SPACES

BICYCLE PARKING (1 PER 20 PARKING SPACES)
BICYCLE PARKING REQUIRED: 10 SPACES
BICYCLE PARKING PROVIDED: 20 SPACES
(BICYCLE LOCKERS-8, BICYCLE RACKS-12)

SIGN LEGEND

SIGN A (BUSES ONLY)
SIGN B (R5-1 DO NOT ENTER)
SIGN C (R1-1 STOP)
SIGN D (D4-2 PARK AND RIDE)

LEGEND

--- PROPERTY LINE
△ HANDICAP
[Pattern] CONCRETE PAVEMENT
[Pattern] TEXTURED CONCRETE SIDEWALK

SCALE: 1" = 50'

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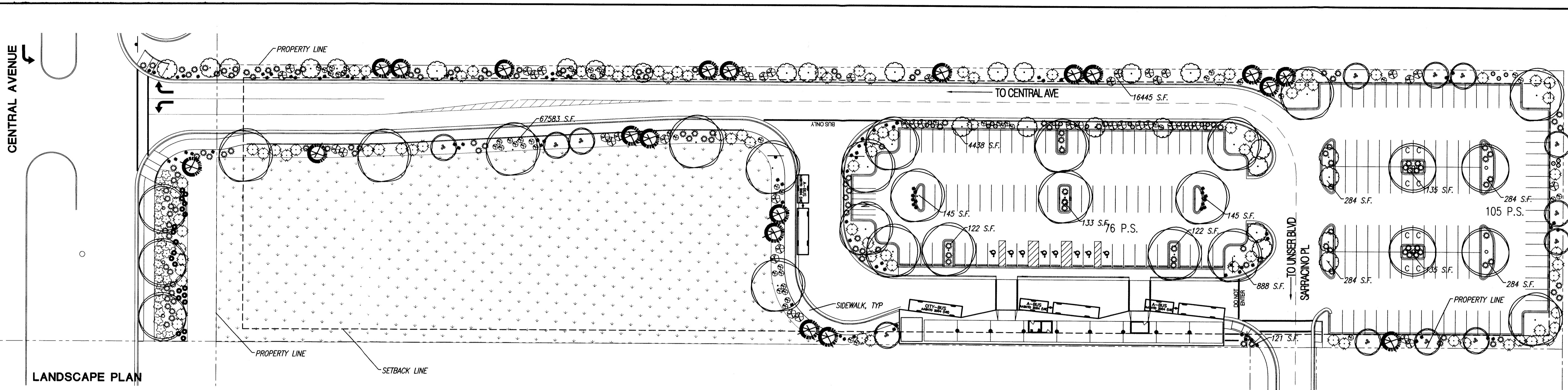
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CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT

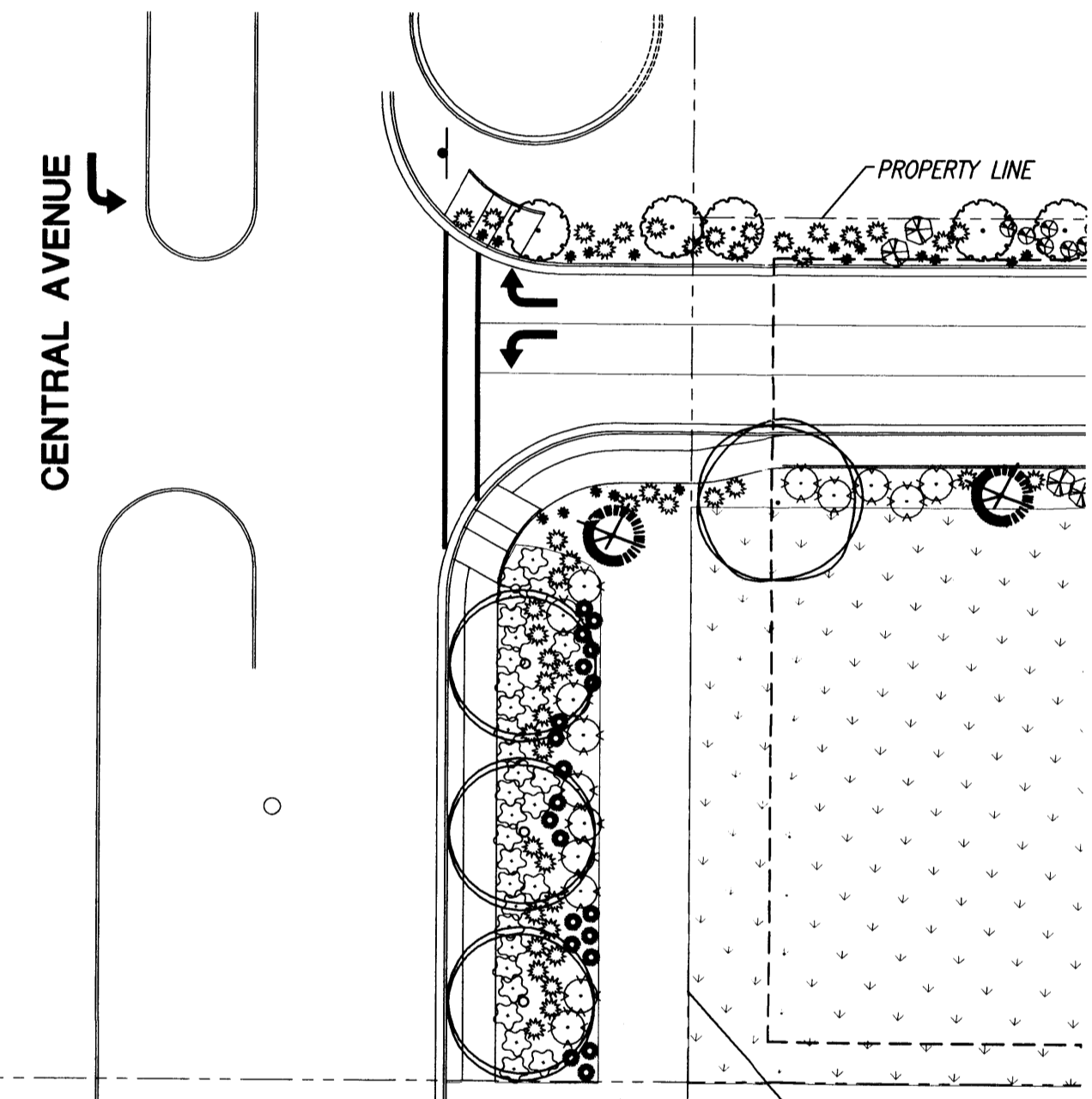
SOUTHWEST MESA PARK & RIDE
SITE PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/17.YR.	MO./DAY/17.YR.
		LAST DESIGN UPDATE	
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
7616.91	K - 10	1	5

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Thu, 16-Apr-2009 - 2:00:pm, Plotted by: ECANFIELD



LANDSCAPE PLAN



STREET TREE PLAN

PLANT LEGEND

BOTANICAL	COMMON	SIZE	QTY	MATURE HEIGHT X SPREAD
<i>Fraxinus velutina</i>	ARIZONA ASH	2 1/2" cal.	21	45' X 45'
<i>Fraxinus oxycarpa</i> 'Raywood'	RAYWOOD ASH	2" cal.	7	35' X 35'
<i>Quercus alba</i> 'Crimschmidt'	CRIMSON SPIRE OAK	2" cal.	29	45' X 15'
<i>Chilopsis linearis</i> 'Art's Seedless'	DESERT WILLOW	8' - 10' Ht. multi-trunk	13	25' X 25'
<i>Juniperus monosperma</i>	ONE-SEED JUNIPER (FEMALE ONLY)	6'-8' Ht. B&E	19	15' X 15'
<i>Juniperus virginiana</i> 'Skyrocket'	SKYROCKET JUNIPER (FEMALE ONLY)	6'-8' Ht. B&E	4	20' X 3'
<i>Artemisia tridentata</i>	BIG SAGE		77	4' x 4'
<i>Rhus trilobata</i>	THREE-LEAF SUMAC	5 gal.	46	6' x 6'
<i>Fallugia paradoxa</i>	APACHE PLUME	5 gal.	X	4' x 4'
<i>Rhus trilobata</i> 'Autumn Amber'	CREeping-THREE LEAF SUMAC	3 gal.	X	1.5' x 6-8'
<i>Artemisia filifolia</i>	SAND SAGE	5 gal.	55	4' x 4'
<i>Nolina texana</i>	BEARGRASS	3 gal.	137	3' x 4'
<i>Baileya multiradiata</i>	DESERT MARIGOLD	1 gal.	95	1' x 2'

SEEDING MIX

Botanical Name	Quantity	Weight
<i>Baileya multiradiata</i>	DESERT MARIGOLD	1.0
<i>Fallugia paradoxa</i>	APACHE PLUME	0.5
<i>Quercus alba</i>	CRIMSON SPIRE OAK	1.0
<i>Artemisia tridentata</i>	BIG SAGE	1.0

LANDSCAPING NOTES

ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" LAYER OF SANTA FE BROWN (OR EQUAL) CRUSHER FINES.

RESPONSIBILITY FOR LANDSCAPE MAINTENANCE ON THE SITE SHALL LIE WITH THE CITY OF ALBUQUERQUE. LANDSCAPE PLAN WILL MEET THE REQUIREMENTS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE C ORD 18-1995.

AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM IS TO BE DESIGNED AND CONSTRUCTED FOR ALL INSTALLED PLANT MATERIALS. TREES, SHRUBS AND GROUNDCOVERS WILL BE IRRIGATED WITH A LOW FLOW BUBBLER SYSTEM.

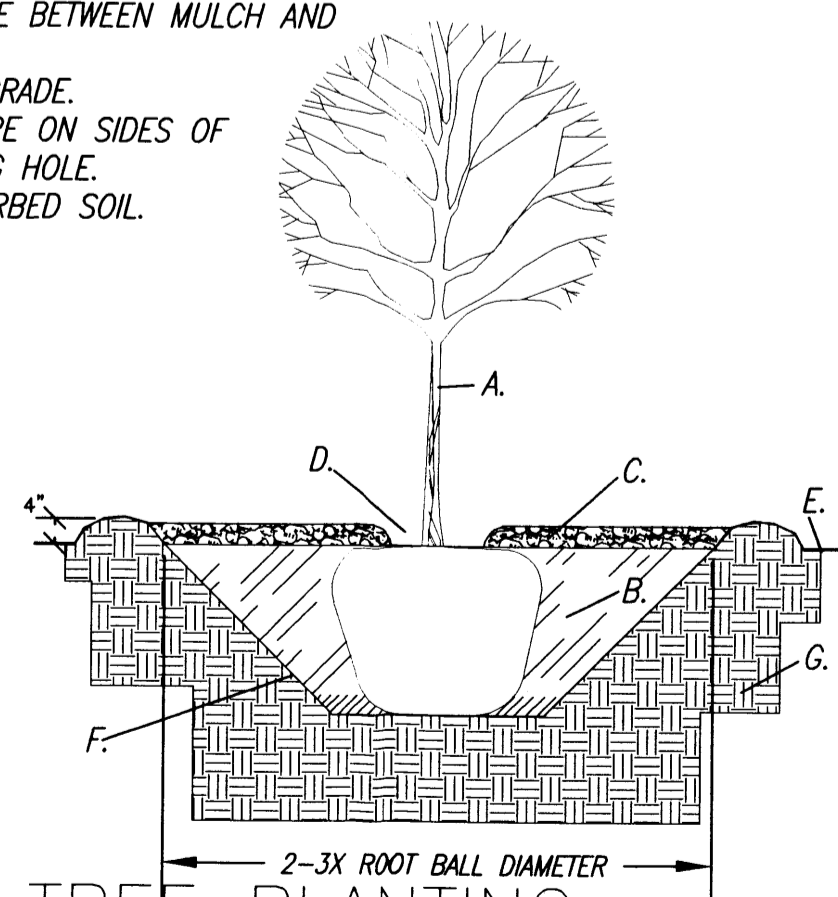
ALL LANDSCAPING IS INTENDED AS GENERAL LANDSCAPING, NO LANDSCAPE FOR SCREENING OR BUFFERING IS PROPOSED. ALL LANDSCAPE PLANTS SHALL BE NEW.

AREA CALCULATIONS

TOTAL SITE =	163,900 S.F.
LANDSCAPE AREA REQUIRED =	24,585 S.F.
LANDSCAPE AREA REQUIRED AS PERCENT OF NET LOT AREA =	15%
LANDSCAPE AREA PROVIDED =	31,256 S.F.
LANDSCAPE AREA PROVIDED AS PERCENT OF NET LOT AREA =	19%

CONSTRUCTION NOTES:

- TREE.
- BACKFILL WITH EXISTING SOIL AND 10% ORGANIC AMENDMENTS. SEE SPECIFICATIONS.
- 3" DEPTH OF MULCH.
- 4" SPACE BETWEEN MULCH AND TREE.
- FINISH GRADE.
- 1:1 SLOPE ON SIDES OF PLANTING HOLE.
- UNDISTURBED SOIL.



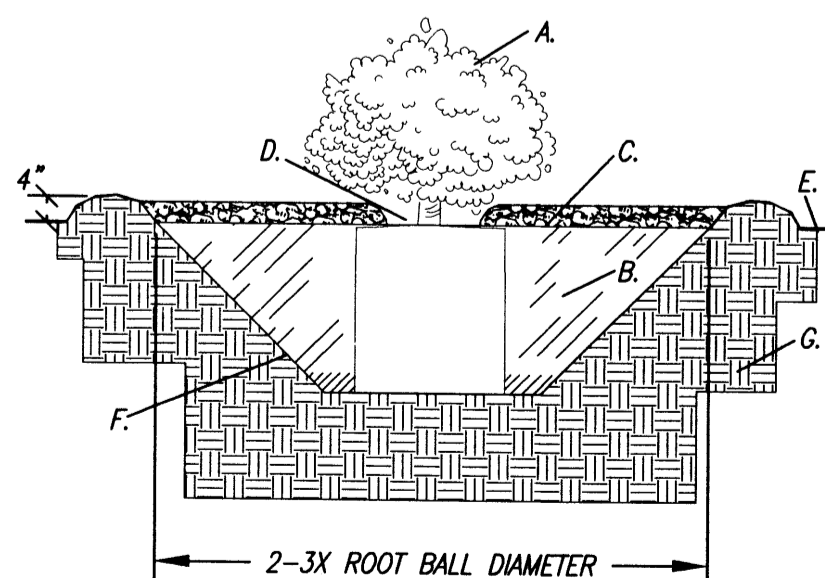
A TREE PLANTING

GENERAL NOTES:

- KEEP SOIL BELOW ROOT BALL UNDISTURBED TO PREVENT TREE FROM SETTLING.
- REMOVE ANY EXCESS SOIL FROM TOP OF ROOTBALL TO EXPOSE ROOT FLARE (WHERE TOP MOST ROOT EMERGES FROM THE TRUNK). PLANT WITH ROOT FLARE LEVEL TO FINISH GRADE (OR 1"-2" HIGHER IN SLOWLY DRAINING SOIL).
- TAMP SOIL FIRMLY AROUND BASE OF ROOTBALL WITH FOOT PRESSURE.
- PRIOR TO BACKFILLING, REMOVE BURLAP, ROPE, TWINE, AND WIRE FROM TOP HALF OF ROOTBALL AND FROM PLANTING HOLE.
- AT TIME OF PLANTING, ONLY PRUNE CO-DOMINANT LEADERS (DOES NOT APPLY TO MULTI-TRUNK SPECIMENS), CROSSOVER LIMBS, AND DEAD OR BROKEN BRANCHES.
- STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- DO NOT PLACE MULCH IN CONTACT WITH TREE, KEEP AT LEAST 4" AWAY FROM TRUNK.
- AFTER PLANTING, THOROUGHLY WATER TO ELIMINATE AIR POCKETS.

CONSTRUCTION NOTES:

- SHRUB.
- BACKFILL WITH EXISTING SOIL AND 10% ORGANIC AMENDMENTS. SEE SPECIFICATIONS.
- 3" DEPTH OF MULCH.
- 4" SPACE BETWEEN MULCH AND SHRUB.
- FINISH GRADE.
- 1:1 SLOPE ON SIDES OF PLANTING HOLE.
- UNDISTURBED SOIL.

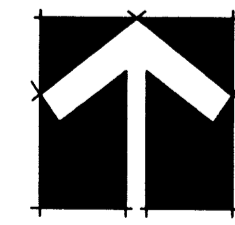


B SHRUB PLANTING

GENERAL NOTES:

- KEEP SOIL BELOW ROOT BALL UNDISTURBED TO PREVENT TREE FROM SETTLING.
- REMOVE ANY EXCESS SOIL FROM TOP OF ROOTBALL TO EXPOSE ROOT FLARE (WHERE TOP MOST ROOT EMERGES FROM THE TRUNK). PLANT WITH ROOT FLARE LEVEL TO FINISH GRADE (OR 1"-2" HIGHER IN SLOWLY DRAINING SOIL).
- REMOVE CONTAINER AND CUT ANY ROOTS THAT ARE CIRCLING THE CONTAINER.
- TAMP SOIL FIRMLY AROUND BASE OF ROOTBALL WITH FOOT PRESSURE.
- AT TIME OF PLANTING, ONLY PRUNE DEAD OR BROKEN BRANCHES.
- DO NOT PLACE MULCH IN CONTACT WITH SHRUB, KEEP AT LEAST 4" AWAY FROM TRUNK.
- AFTER PLANTING, THOROUGHLY WATER TO ELIMINATE AIR POCKETS.

Handwritten notes: "17 02 Site Design 1. 25' from R-O-W 17 03 6' slope etc 11/02"



40 20 0 40 SCALE = 1" = 40'

REVISIONS

DATE: X COMMENT

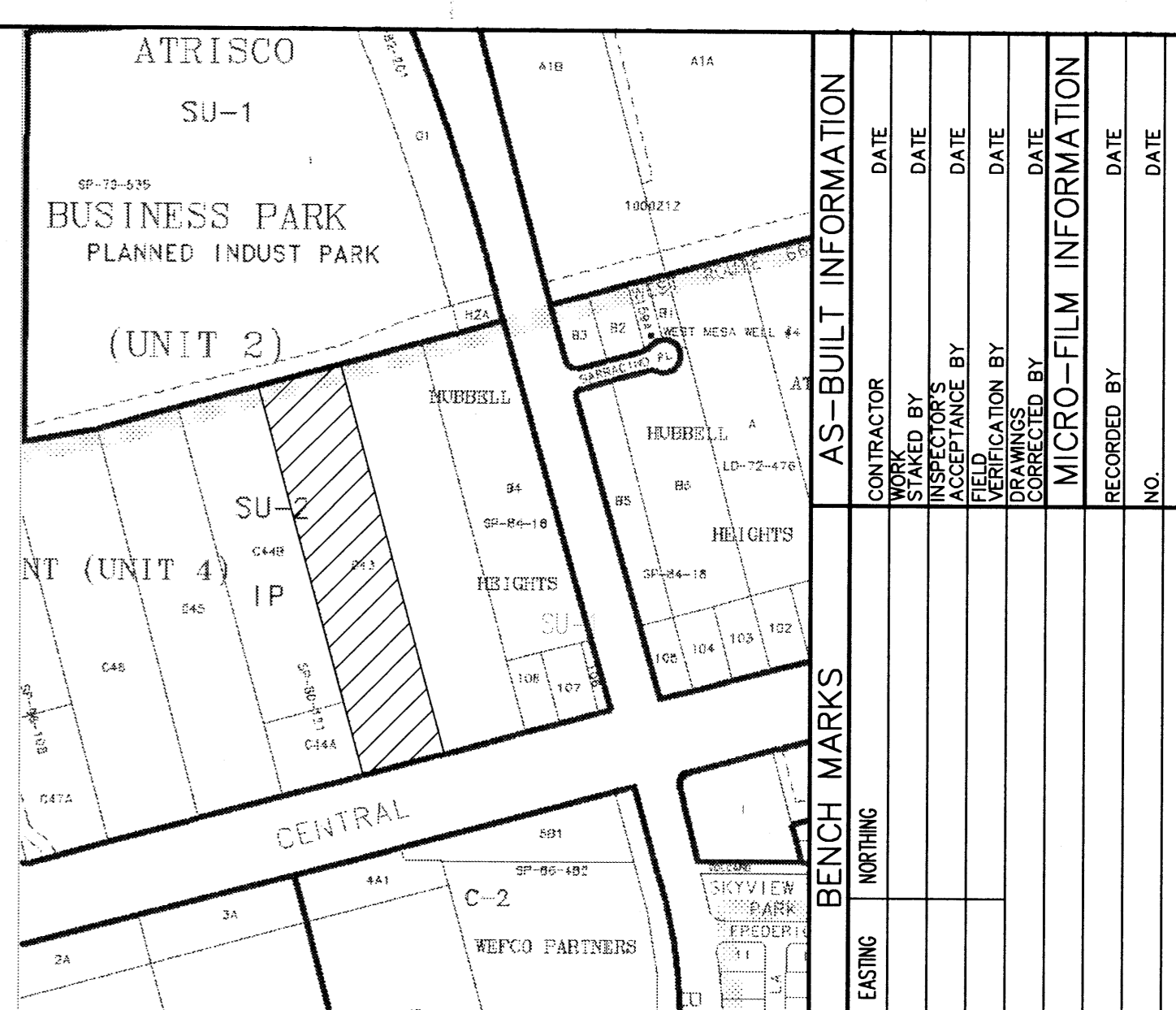
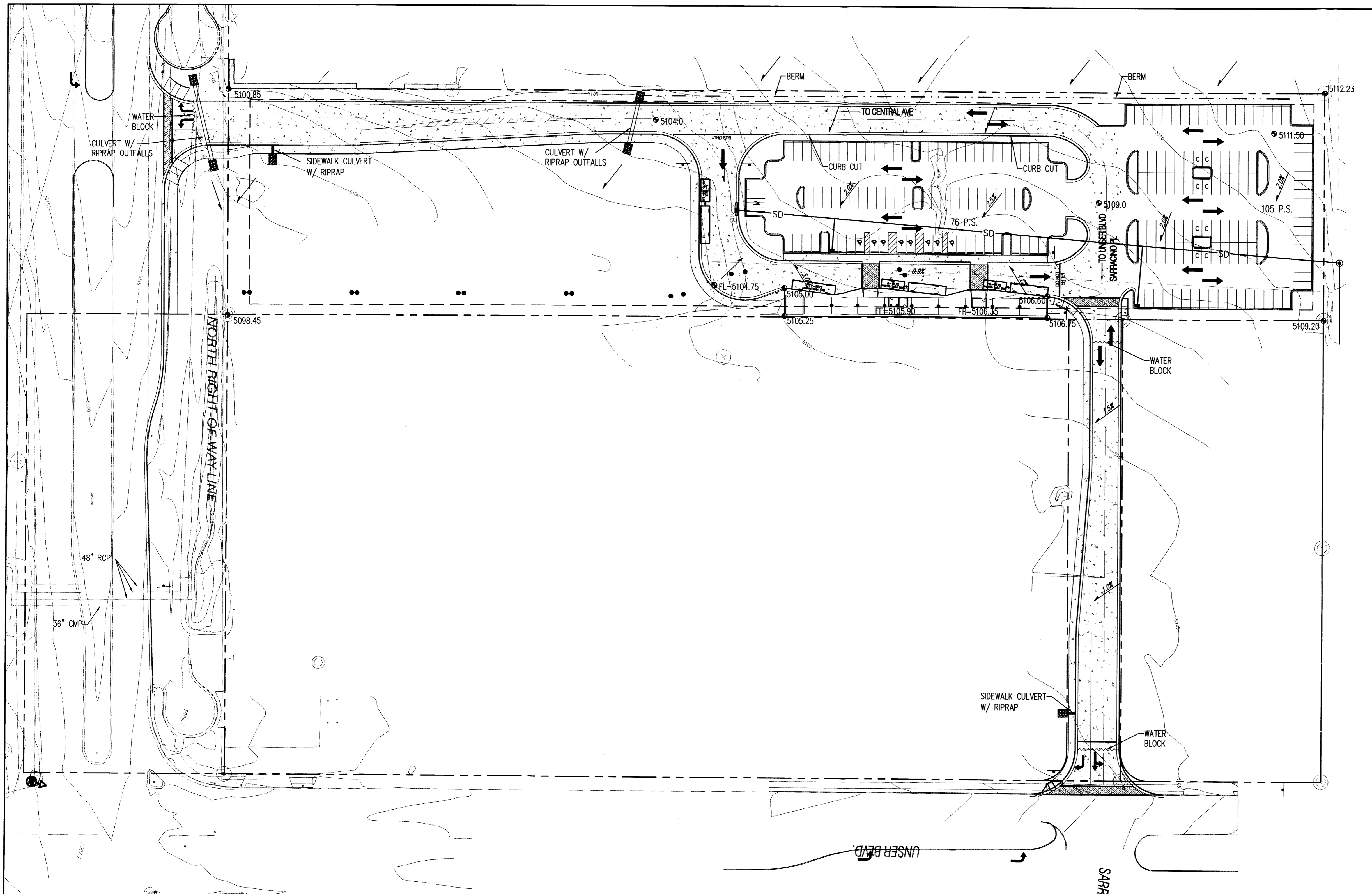
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 REVIEWED BY: PA
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 DATE: Apr 16, 2009
 PROJECT NO: 09063

CALL BEFORE YOU DIG
 FOR UTILITY LOCATES
 1-800-321-ALERT

SOUTHWEST MESA
 PARK & RIDE



DRAWING SHEET
 L1 2 OF 5



LOCATION MAP
ZONE ATLAS INDEX MAP K-10-Z
NOT TO SCALE

- LEGEND**
- 5104.0 PROPOSED SPOT ELEVATION
 - EXISTING CURB & GUTTER
 - PROPOSED MOUNTABLE CURB & GUTTER
 - PROPOSED STANDARD CURB & GUTTER
 - EXISTING CONTOUR W/ INDEX ELEVATION
 - FLOW ARROW
 - SD PROPOSED STORM DRAIN
 - PROPOSED STORM DRAIN MANHOLE
 - PROPOSED STORM DRAIN INLET

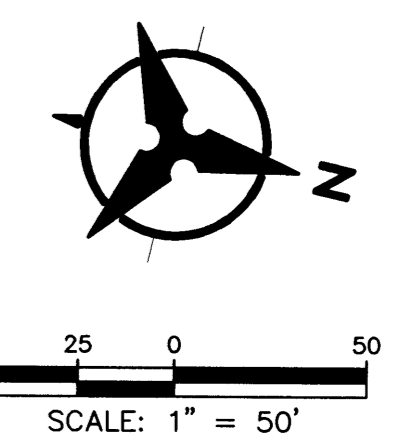


TABLE 1
SOUTHWEST MESA PARK & RIDE - HYDRAULIC CALCULATIONS
Existing and Ultimate Development Conditions Basin Data Table

This table is based on the DPM Section 22.2, Zone: 1

SUB-BASIN ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (cfs)	WT E _{100yr} (inches)	V(100) ₃₆₀ (CF)	V(100) _{1day} (CF)
			A	B	C	D					
EXISTING	216639	4.97	100.0%	0.0%	0.0%	0.0%	1.29	6.42	0.44	7943	7943
PROPOSED-A	130680	3.00	0.0%	0.0%	18.0%	82.0%	4.10	12.30	1.79	19532	33820
PROPOSED-B	85813	1.97	0.0%	70.0%	5.0%	25.0%	2.66	5.23	1.01	7230	10090
							11.12	18616.63	35906.74		

DRAINAGE MANAGEMENT PLAN

I. INTRODUCTION
THE PURPOSE OF THIS SUBMITTAL IS TO PRESENT A DRAINAGE PLAN FOR THE PROPOSED SOUTHWEST MESA PARK & RIDE. THIS SITE IS LOCATED ON THE NORTHWEST CORNER OF CENTRAL AVENUE AND UNSER BOULEVARD. THERE IS VACANT LAND TO THE WEST AND WEST, ON THE NORTHSIDE IS A UTILITY EASEMENT AND UTILITY ACCESS ROAD AND TO THE SOUTH IS CENTRAL AVENUE. THIS PROJECT WILL INCLUDE A NEW PARK & RIDE FACILITY WITH SHADE STRUCTURE SIMILAR TO THE UPTOWN TRANSIT CENTER AND A NEW PARKING LOT. WITH THIS SUBMITTAL WE ARE SEEKING HYDROLOGY APPROVAL FOR SITE DEVELOPMENT FOR BUILDING PERMIT APPROVAL.

II. EXISTING HYDROLOGIC CONDITIONS
THE PROPOSED SITE IS APPROXIMATELY 4.97 ACRES AND IS CURRENTLY UNDEVELOPED. THE LAND SLOPES 1.0% TO 2.5% FROM THE NORTHWEST CORNER TO THE SOUTHEAST CORNER. THIS PARCEL AND THE SURROUNDING PARCELS SHEET FLOW THE NORTHEAST INTERSECTION OF CENTRAL AVENUE AND UNSER BOULEVARD WHERE FLOW IS THEN DIRECTED INTO 3-48" RCPS AND 1-36" CMP.

III. PROPOSED HYDROLOGIC CONDITIONS
THE PROPOSED SITE WILL CONSIST OF APPROXIMATELY 3.0 ACRES OF DEVELOPMENT AND THE REMAINING 2.97 ACRES BASIN B WILL BE NATURALLY RESEEDED AND WILL FOLLOW HISTORIC FLOW PATHS. THE DEVELOPED AREA WILL CONSIST OF IMPERVIOUS PAVING, SHADE STRUCTURE, AND LANDSCAPING. WATER HARVESTING IN THE LANDSCAPING AREAS WILL BE UTILIZED AND WILL HELP TO CHANNEL FLOWS. ON THE PROPOSED DEVELOPMENT BASIN A SHEET FLOW AND STORM DRAIN TO CHANNEL STORM WATER TO THE

EXISTING 48" STORMDRAIN ON THE NORTH BOUNDARY. NO PONDING WILL BE NECESSARY DURING THIS PHASE OF DEVELOPMENT BASIN A WILL TAKE THE ENTIRE FLOW TO EXISTING STORMDRAIN AND BASIN B WILL BE ALLOWED TO SHEET FLOW TO THE EXISTING CULVERT CROSSING CENTRAL. THE TOTAL FLOW FROM BASIN A WILL BE 12.30CFS AND BASIN B 5.23CFS.

OFFSITE DRAINAGE
CURRENT DRAINAGE FROM THE PROPERTY TO THE WEST WILL BE DIVERTED ALONG THE WESTERN PROPERTY LINE TO THE PROPOSED CULVERT TO CROSS THE PROPOSED ACCESS TO CENTRAL AVENUE FLOW WILL THEN FOLLOW HISTORIC SHEET FLOWS TO THE EXISTING CULVERTS AT THE INTERSECTION OF UNSER AND CENTRAL.

FLOODPLAIN
IN ACCORDANCE WITH FEMA COMMUNITY MAP PANEL #35001C0328 G, THE SITE IS NOT LOCATED WITHIN A FLOODPLAIN.

IV. CONCLUSION
THE 100YR PEAK DISCHARGE FROM THE SITE WILL BE SEPERATED INTO TWO DIRECTIONS BASIN A WILL DISCHARGE 12.30CFS TO THE 48" STORMDRAIN TO THE NORTH, AND BASIN B WILL DIRECT 5.23CFS TO THE CULVERTS IN CENTRAL AVENUE THIS DRAINAGE MANAGEMENT PLAN IS CAPABLE OF SAFELY PASSING THE 100 YEAR STORM EVEN AND MEETS CITY REQUIREMENTS. WITH THIS SUBMITTAL WE ARE SEEKING SITE DEVELOPMENT FOR BUILDING PERMIT APPROVAL.

BHI JOB NO. 090422

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Thu, 16-Apr-2009 - 1:15:pm, Plotted by: ECANFIELD

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SOUTHWEST MESA PARK & RIDE
DRAINAGE MANAGEMENT PLAN

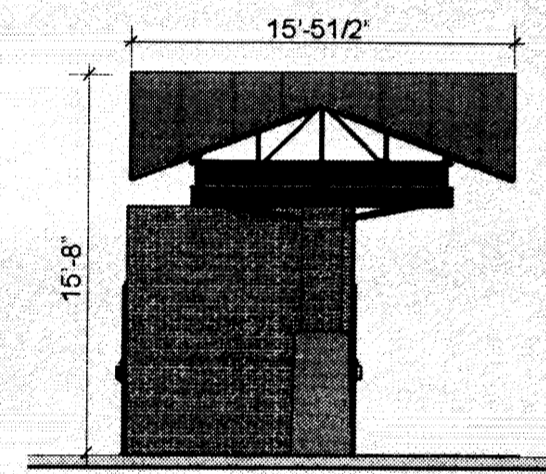
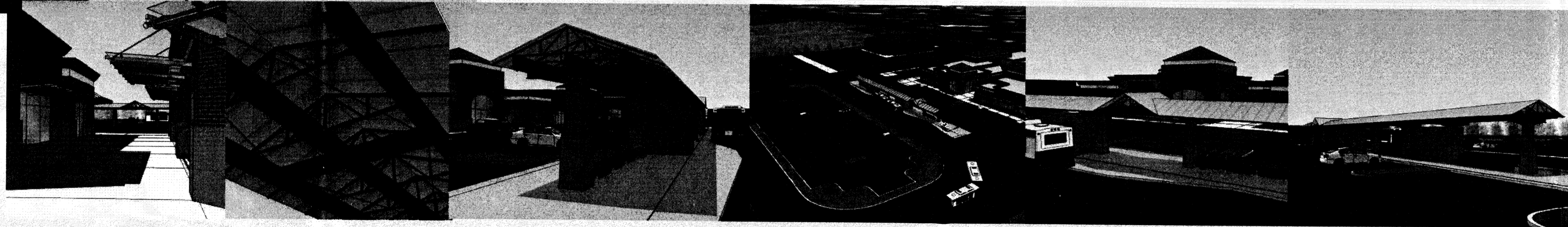
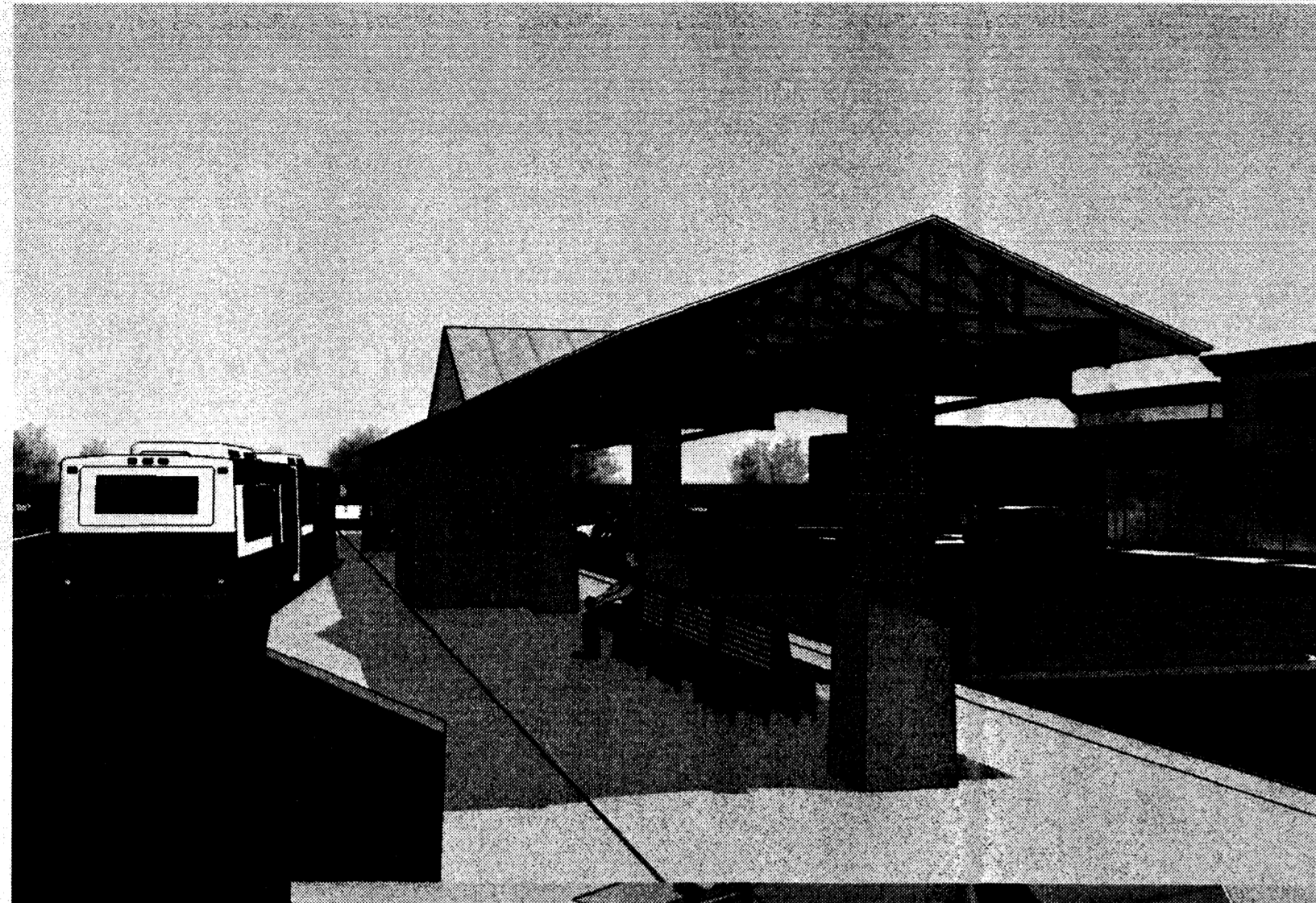
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
	LAST DESIGN UPDATE		

CITY PROJECT NO. **7616.91** ZONE MAP NO. **K - 10** SHEET **3** OF **5**

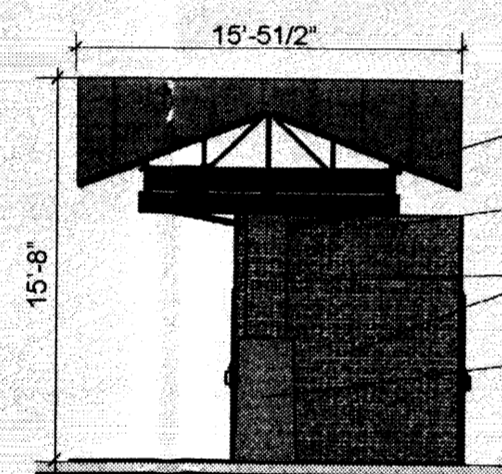
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CONTRACTOR	DATE	NORTHING	EASTING	NO.	BY	REVISIONS	BY

NO.	DATE	REMARKS	BY

DESIGNED BY	DATE	CHECKED BY	DATE
TMF	02/2009	RGG	02/2009

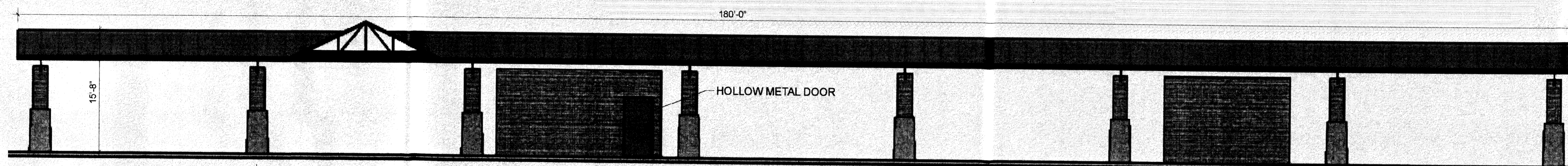


SOUTH ELEVATION
1"=1/8"

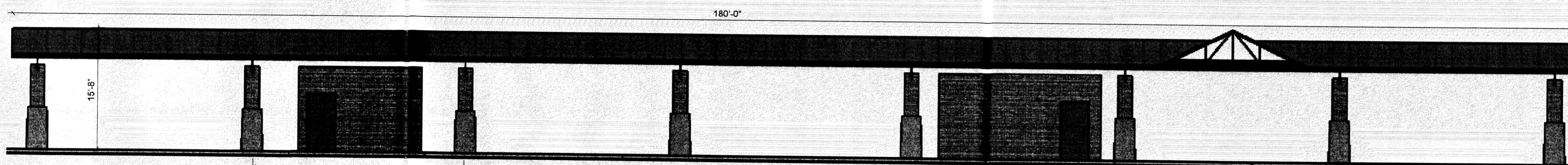


NORTH ELEVATION
1"=1/8"

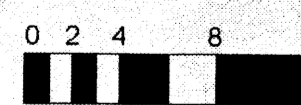
- STANDING SEAM METAL ROOF
- RED GALVANIZED STEEL STRUCTURE
- BRICK VENEER
- GREY CONCRETE BASE



EAST ELEVATION
1"=1/8"



WEST ELEVATION
1"=1/8"



AS-BUILT INFORMATION	
CONTRACTOR	DATE
STARTED BY	DATE
INSPECTOR'S	DATE
FIELD	DATE
VERIFICATION BY	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	DATE

BENCH MARKS	
EASTING	NORTHING
1	
2	
3	

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	BY
1	
2	
3	

ENGINEER'S SEAL	
REMARKS	BY
REVISIONS	DATE
DESIGN	DATE
DESIGNED BY	STAFF
DRAWN BY	STAFF
CHECKED BY	STAFF

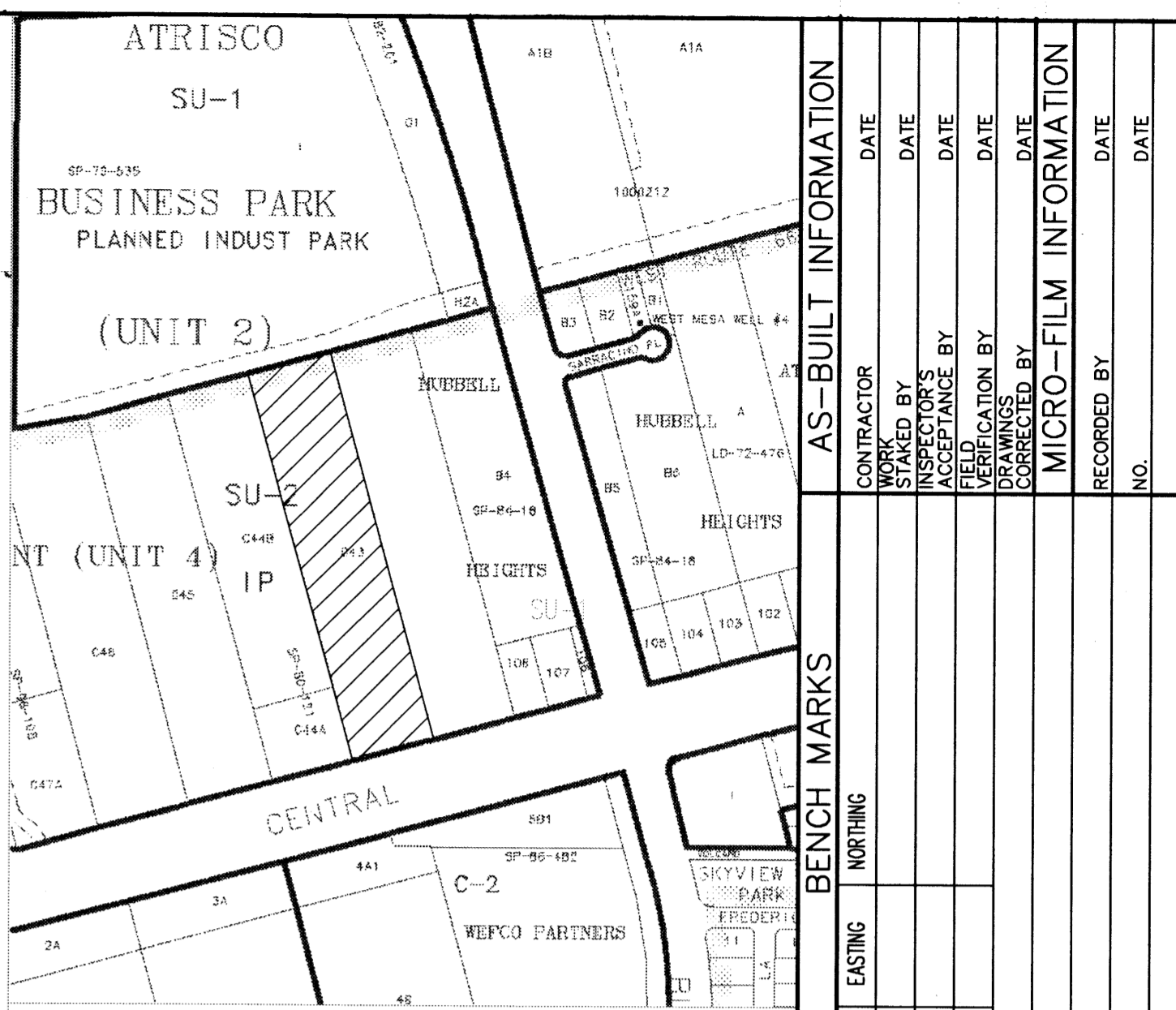
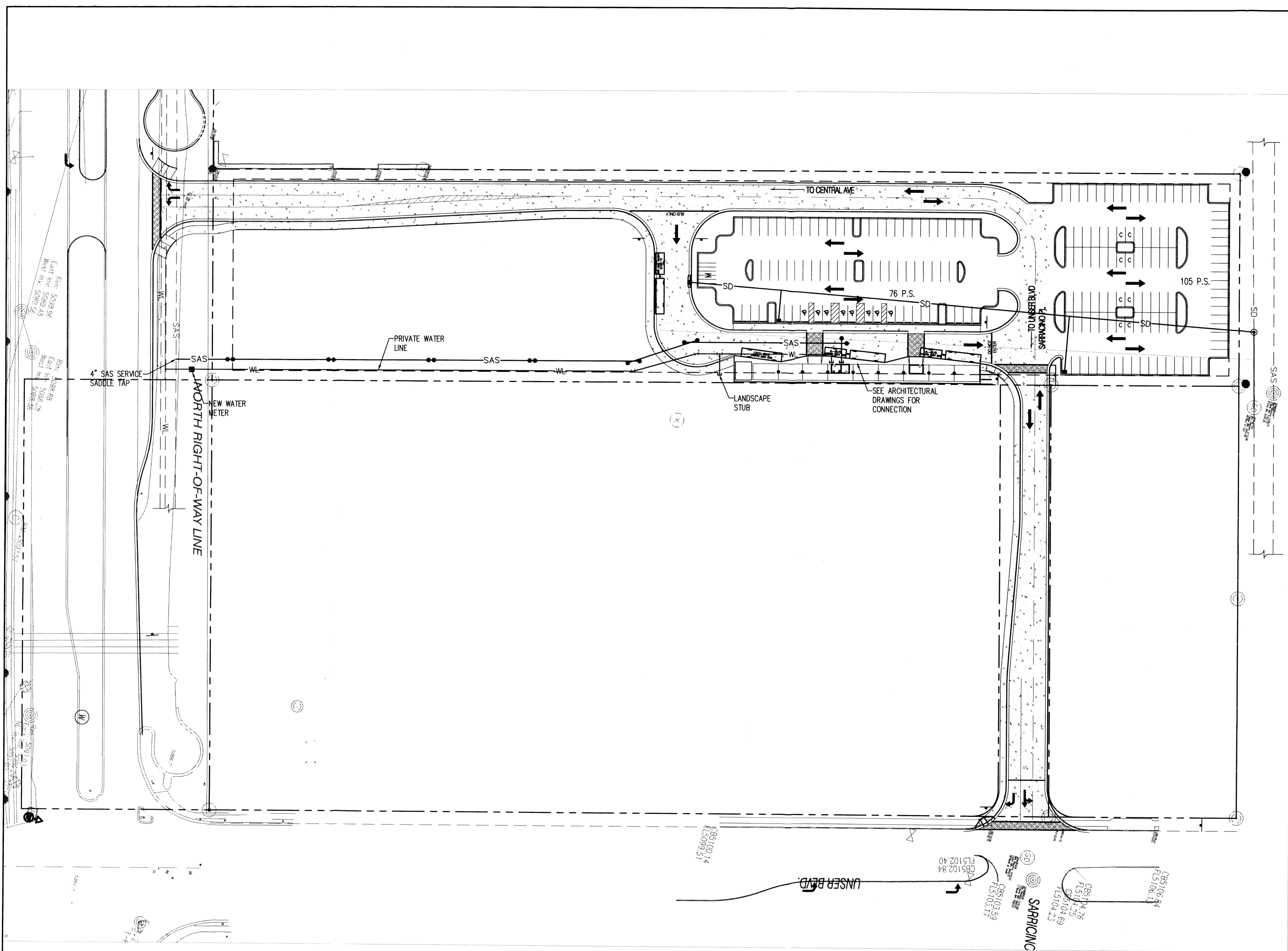
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SOUTH-WEST MESA PARK & RIDE
 BUS SHELTER ELEVATIONS

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

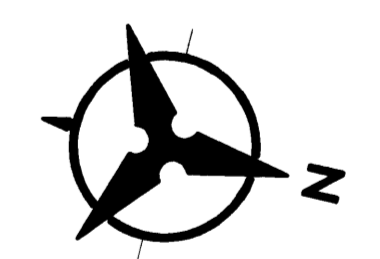
CITY PROJECT NO. 7616.91 ZONE MAP NO. K - 10 SHEET 4 OF 5



LOCATION MAP
ZONE ATLAS INDEX MAP K-10-Z
NOT TO SCALE

LEGEND

- SD— PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- SAS— PROPOSED SANITARY SEWER
- PROPOSED SANITARY SEWER CLEANOUT
- WL— PROPOSED WATERLINE
- PROPOSED WATERLINE METER
- ⊙ EXISTING SANITARY SEWER MANHOLE
- -SAS - - EXISTING SANITARY SEWER
- -WL - - EXISTING WATERLINE
- ⊙ EXISTING STORM DRAIN MANHOLE
- -SD - - EXISTING STORM DRAIN LINE



50 25 0 50
SCALE: 1" = 50'

Bohannon & Huston
 Courtyard I 7500 Jefferson St NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

CITY OF ALBUQUERQUE
 DEPARTMENT OF MUNICIPAL DEVELOPMENT

SOUTH-WEST MESA PARK & RIDE
 CONCEPTUAL UTILITY PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. 7616.91	ZONE MAP NO. K - 10	SHEET 5 OF 5
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AS-BUILT INFORMATION

CONTRACTOR	DATE
WORKED BY	DATE
INSPECTED BY	DATE
ACCEPTANCE BY	DATE
VERIFICATION BY	DATE
DRAWINGS CHECKED BY	DATE
CONVERTED BY	DATE
MICRO-FILM INFORMATION	DATE
RECORDED BY	DATE

BENCH MARKS

NO.	EASTING	NORTHING
1		
2		
3		

SURVEY INFORMATION

NO.	DATE	BY
1		
2		
3		

ENGINEER'S SEAL

REVISIONS	BY
DESIGN	

DESIGNED BY	EGG	DATE	03/2009
DRAWN BY	EGG	DATE	03/2009
CHECKED BY	RGG	DATE	03/2009