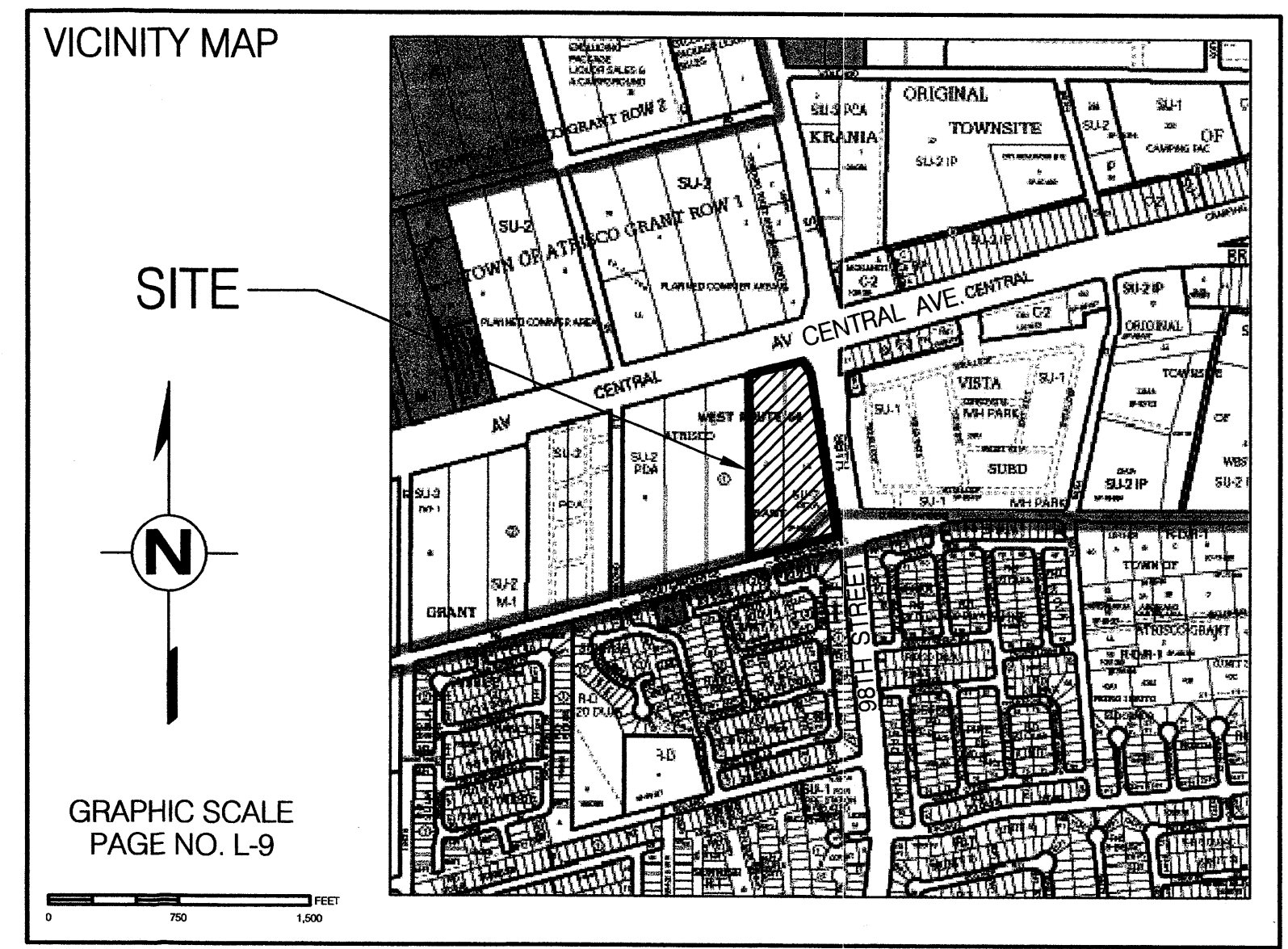


PROJECT # 1007759



SITE PLAN FOR SUBDIVISION-REQUIRED INFORMATION

The Site:
The site consists of 8.67 acres located at the southwest corner of Central Avenue and 98th Street. Legal description is Lot 1A/Block 1, Lot 2/Block 1 of the Atrisco Land Grant, being replatted as lots 1 and 2, Mercado Camino 66.

Proposed Use:
Existing zoning is SU-1 for C-2 Permissive Uses except for the southern portion of former lot 2 only, which is restricted to O-1 or R-2 permissive uses as shown. This restriction only applies to the cross hatched area and not to the balance of the property.

Pedestrian and Vehicular Ingress and Egress:
Trails: An 8' path exists along the west side of 98th Street.

Vehicular Access and Circulation:
North access from 98th Street is right-in/right-out/left-in/left-out. South access from 98th Street is right-in/right-out/only. Access at Central Avenue is right-in/right-out/only. Access from Sunset Gardens is right-in/right-out/left-in/left-out. Cross access between parcels shall be provided on the plat.

Pedestrian Access and Circulation:
Pedestrian access is provided from Central Ave. and 98th St. in several locations into the site. Pedestrian access is also provided from Sunset Gardens SW. Internal circulation is provided via sidewalks connecting all parcels.

Transit Access:
Route 54 Bridge Westgate bus runs on 98 Street along the East side of the site.

Building Heights and Setbacks:
Maximum building heights are defined in the O-1 zone. Building setbacks are per the C-2, O-1, and R-2 zones.

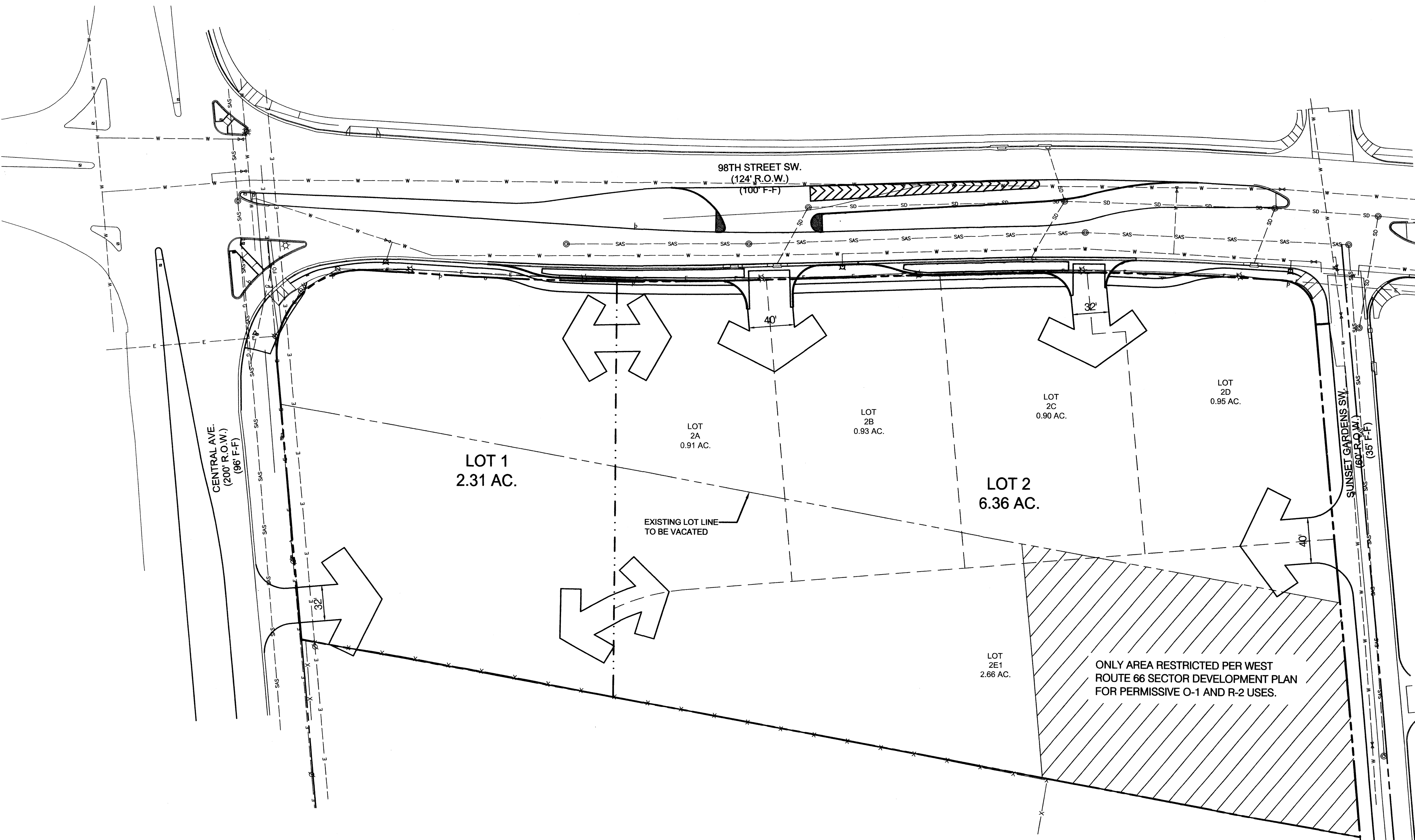
Maximum FAR:
The maximum floor area ratio is .35.

Landscape Plan:
The Landscape Plan shall be submitted with the individual Site Plans for Building Permit. Landscape plans shall be consistent with the City's Water Conservation Landscaping and Water Waste Ordinance and the Pollen Control Ordinance, and shall be consistent with the design guidelines (sheets 2 and 3).

MERCADO CAMINO 66

98TH STREET AND CENTRAL AVENUE

SITE PLAN FOR SUBDIVISION



PROJECT NUMBER: 1007759

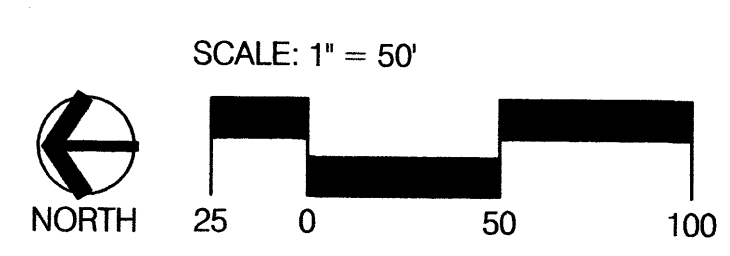
Application Number:

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

	02-16-10
Traffic Engineering, Transportation Division	Date
	1-27-10
Christina Sandoval	Date
	1/27/10
Bradley S. Bingham	Date
	N/A
* Environmental Health Department-(conditional)	Date
	N/A
Solid Waste Management	Date
	02-17-10
DRB Chairperson, Planning Department	Date

- ONLY AREA RESTRICTED PER WEST ROUTE 66 SECTOR DEVELOPMENT PLAN FOR PERMISSIVE O-1 AND R-2 USES.
- DESIGNATION OF POTENTIAL LOT CONFIGURATION (FOR ILLUSTRATIVE PURPOSES ONLY). ACTUAL LOT LINES SHALL BE DONE THROUGH FUTURE SUBDIVISION PLATS.
- DESIGNATION OF FUTURE LOTS LOCATION AND ACREAGE.
- 2A - 0.91 AC.
- 2B - 0.93 AC.
- 2C - 0.90 AC.
- 2D - 0.95 AC.
- 2E - 2.66 AC.



PREPARED FOR:
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3305 TENNESSEE ST NE
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PREPARED BY:
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CONSULTING ENGINEERS AND SURVEYORS
ALBUQUERQUE NEW MEXICO

DESIGN STANDARDS

The purpose of these Design Standards is to provide a framework to assist developers and designers in understanding the development goals and objectives for the Mercado Camino 66 project on Central Avenue and 98th Street. These guidelines address the creation of an urban character, landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for this property. They are designed to be consistent with the West Side Strategic Plan, the West Route 66 Sector Development Plan, and the City of Albuquerque Zoning Code.

The standards contained in this Site Plan for Subdivision represent base standards for acceptable development. Subsequent development within this subdivision shall abide by these standards. Any additional standards deemed necessary and appropriate, however, may be imposed upon future Site Plans for Building Permit, which will be reviewed by the Development Review Board (DRB).

Where there is a conflict between City Codes or Ordinances and/or the West Side Strategic Plan and/or the West Route 66 Sector Development Plan, and the Design Standards, the more restrictive requirements shall apply.

1. SITE DESIGN

The creation of a neighborhood center retail environment is dependant upon access to the site and internal circulation. The following standards apply and were created to encourage a high quality retail environment, consistent with the West Side Strategic Plan and the West Route 66 Sector Development Plan.

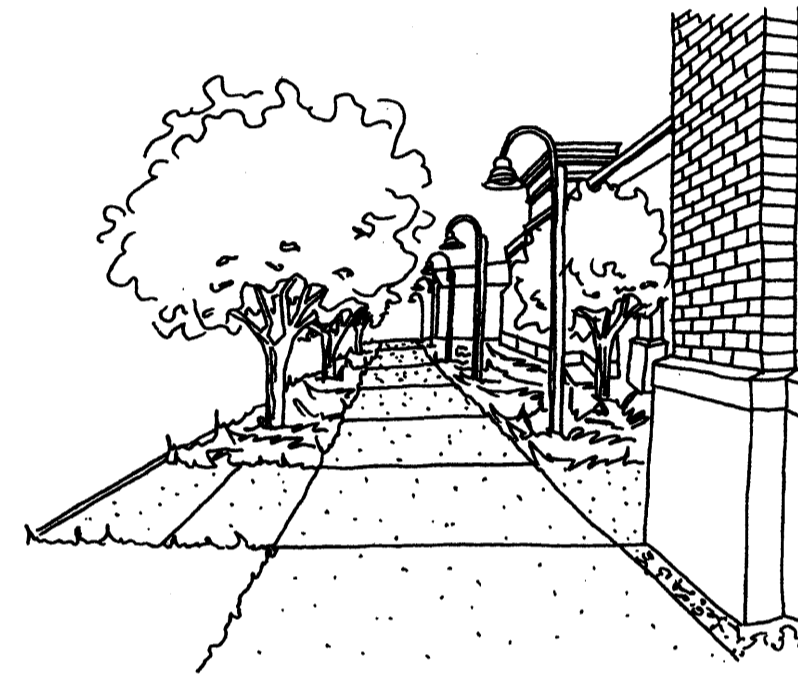
General

- Building access and entries shall be easily accessible from the adjacent buildings and should be visible from the street.
- Building entryways shall be clearly defined by either a canopy or inset (minimum 4 feet) and linked to pedestrian pathways.
- Parking located adjacent to 98th Street and Central Avenue shall be screened by buildings or a combination of landscaping, low walls, and/or earthen berming to a minimum height of 2½ feet. Screen walls shall be compatible with edge treatments at adjacent properties.

- All loading docks and service areas shall be screened and architecturally integrated with the building architecture.

- Any exterior storage and sales areas shall be architecturally integrated to the main building by use of walls, roofs, and fencing.

- A sidewalk with a minimum width of 8 feet shall be provided along the front of buildings that are less than or equal to 10,000 square feet. A sidewalk with a minimum of 10 feet in width shall be provided along the front of buildings that are 10,000 to 30,000 square feet. A sidewalk with a minimum width of 15 feet shall be provided along the front of buildings that are greater than 30,000 square feet. These sidewalks shall be shaded with architecturally integrated awnings, portals or canopies, or by trees planted at intervals of 25 feet in planters with a minimum interior dimension of 6' x 6'.



Sidewalk along the front of buildings

Public Space

- Plazas, courtyards, and other outdoor activity or seating areas shall be significantly shaded from summer sunlight by tree canopies or architectural devices.
- Public areas shall be defined by building edges, and a differentiation in intersection paving and landscaping at a variety of scales. The design and location of appropriate amenities (such as seating and landscaping areas) should also be used to enhance public areas.
- Since all the buildings will be less than 60,000 square feet, each building shall provide one outdoor plaza, patio, or courtyard, a minimum of 150 square feet with seating and shade covering a minimum of 25 percent of the area.

Accessibility & Safety

Design for accessibility shall be incorporated at all facilities and outdoor public areas. For the safety and ease of use by all modes of travel, it is important to separate cars, pedestrians and bicycles to the extent possible. The planning and design phases of the project need to include sufficient design consideration to separate circulation and provide for visitor convenience.

- The Americans with Disabilities Act, the American National Standards for Accessible and Usable Buildings and Facilities, and the New Mexico Building Codes for accessibility criteria for places of public use shall be consulted.

- Close attention shall be paid to grade changes and to how the entire site may be traversed. Private pedestrian linkages shall align with public paths to connect and integrate all building sites. The maximum gradient of any ramp shall not exceed 8.33 percent.

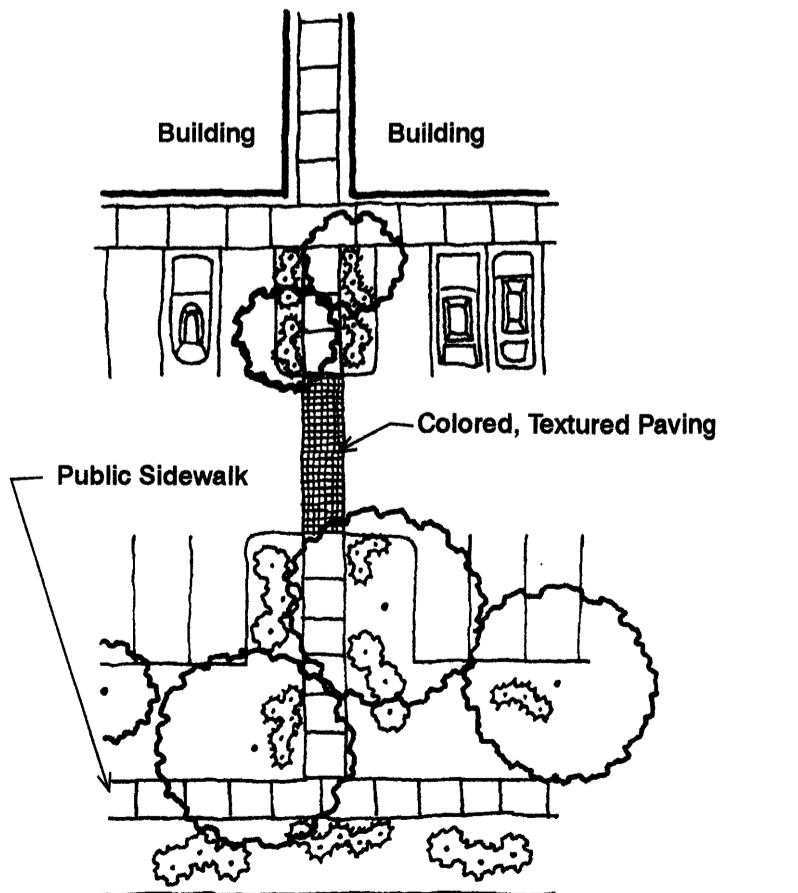
- Entrances and exits to buildings shall be flush with the handicapped spaces whenever possible.

- A constant elevation shall be maintained at all curb cuts and junctions between driveways and pedestrian sidewalks.

- All exterior landscape, streetscape, and building elements shall be designed to have minimal visual obstruction to their surrounding areas in order to maintain a safe degree of visual surveillance.

Circulation

- Pedestrian walkways within a site shall be a minimum of 6 feet in width, unobstructed, and clearly demarcated by use of techniques such as special paving, grade separation, or pavement marking of a permanent nature, except that clear width may be reduced to 4 feet 6 inches at planting areas for a maximum distance of 10 feet.



Pedestrian link between public sidewalk and structures

- Pedestrian walkways shall also be lined with adjacent shade trees spaced approximately 25 feet on center and placed within defined planting areas that have a minimum interior dimension of 36 square feet and a minimum width of four feet.

- Each building shall have an approved pedestrian and bicycle circulation plan that demonstrates efficient circulation patterns to the neighboring properties, adjacent arterials, and existing or future transit service.

- Pedestrian access shall be separated from vehicular access.

- Parking areas shall be designed to include a pedestrian link to connect structures to the public sidewalk.

Parking

- The maximum number of vehicular parking spaces shall be per Section 14-16-3-1, Off-street Parking Regulations contained in the City Comprehensive Zoning Code, plus 10 percent.

- A 10 percent parking reduction may be considered since the site is located within 300 feet of a regular transit route.

- On-street parking on Central Avenue and 98th Street is prohibited, so no on-street parking credit is available for these streets.

- Bicycle parking shall be provided at a rate of one bicycle rack space per 20 parking spaces. Bicycle racks shall be conveniently located near building entrances, but not within pedestrian pathways or landscape areas.

- Motorcycle, mopeds, and motor scooter parking spaces shall be provided per Section 14-16-3-1 (C)(1) Off-street Parking Regulations contained in the City Comprehensive Zoning Code.

- Parking areas shall be visually segmented into smaller subareas separated by landscaping and/or pedestrian walkways. No single subarea shall exceed 150 parking spaces.

- Parking shall be placed on at least two sides of a building.

- There shall be barrier curbs around landscape islands in parking areas in order to protect landscaping from vehicles.

Setbacks

- The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks will be pedestrian walkways and screening materials, including landscaping, earthen berms, and/or walls.

- Non-Residential Buildings shall have the following minimum setbacks, as required in C-2 zoning:

- 5 foot front or corner side yard setback.

- 11 foot setback from the junction of a driveway or alley and public R.O.W. or planned sidewalk in order to provide the necessary clear sight triangle.

- Residential Buildings shall have the following minimum setbacks, as required in R-2 zoning:

- 10 foot front or corner side setback where the non-residential is across the street from the front lot line of residential facing non-residential development.

- 5 foot side or rear setback where non-residential abuts the side of a residential lot.

- 15 foot side or rear setback where non-residential abuts the rear of a residential lot.

- Parking and Building setbacks shall have the following minimum setbacks, as required by the West Route 66 Sector Development Plan:

- Along Central Avenue, there shall be a minimum landscape setback of 25 feet from the right-of-way line. The setback shall be landscaped with a minimum of 75 percent live landscape material.

- A 19' landscaped setback shall be provided along 98th Street.

2. SUSTAINABILITY

- Energy efficient techniques shall be utilized to reduce energy and water consumption, where possible.

- Provision for water harvesting techniques such as curb cuts for drainage to landscaped areas, permeable paving, bio-swales to slow and treat storm water runoff, and/or cisterns for the collection and reuse of storm water and gray water shall be included in the Site Grading and Landscape Plans.

- Buildings shall be oriented to take advantage of heat gain in the winter while coordinating with shading strategies to inhibit solar gain in the summer.

- Grasses and other ground vegetation should be near edges to help filter and slow runoff as it enters the site.

- Landscaped strips may be converted into vegetative storm-water canals but must be shallow to avoid defensive fencing.

- Convenient recyclable collection facilities shall be provided by all tenants of Mercado Camino 66.

- Safe and convenient pedestrian connections to future transit and bicycle routes along 98th Street and Central shall be provided to facilitate multi-modal transportation.

3. SCREENING WALLS & FENCES

The effective use of screening devices for parking lots, loading areas, refuse collection, delivery/storage areas, and drive-up service windows is essential to limit their adverse visual impact on surrounding developments. The site orientation of service functions shall be away from any street or pedestrian area. The guidelines established in the landscape and setback sections will provide the main element to screening objectionable views and activities. Walls and fences can also serve a major screening function. The intent is to keep walls and fences as low as possible while performing their screening and security functions.

- Perimeter walls and fences shall be designed to be consistent with the City's General Height and Design Regulations for walls, fences, and retaining walls, Section 14-16-3-19.

- The project will comply with all Solid Waste Management Department ordinances and requirements.

- Perimeter and parking screen walls shall contain materials and exterior colors consistent with, or complementary to, the principal building, including pilasters, offsets, or architecturally treated segments.

- Residential screening and courtyard walls shall have a maximum height of 6 feet and are encouraged to meander within the landscape setback.

- All outdoor refuse containers shall be screened within an appropriate enclosure and large enough to contain all refuse generated between collections. Refuse enclosures are discouraged from being placed between any public or private street or any building facade. Design and materials of enclosures shall be compatible with the architectural theme of the site or adjacent buildings.

- Trash compactors are encouraged, provided they are screened from public view.

- Areas for the storage of delivery/transport vehicles shall be screened from adjacent streets and properties with a wall or fence of no less than 6 feet in height above finish grade.

- Drive-up service windows shall be oriented away from pedestrian areas, residentially-zoned areas, and public streets, where possible. In cases where drive-up service windows face these areas, screening shall be provided. Screening shall be a minimum of 3 feet in height and may consist of walls, berms, or evergreen landscaping, or a combination thereof. Where walls are provided, a minimum 3-foot wide planting strip with landscaping shall also be provided on the pedestrian, residential, or public street side.

- Roof-mounted mechanical equipment shall be screened from the public right-of-way by parapet walls or structural features. Screening shall be compatible with materials and design of the building. The minimum height of the parapet walls or structural features shall be 42' if the roof top equipment is within 10 feet of the building wall; 30' if the roof top equipment is within 20 feet of the building wall; or 18' if the roof top equipment is beyond 20 feet of the building wall.

- No engineered wood panels; or cyclone, chain-link, razor-wire, and vinyl plastic fencing shall be permitted.

- Landscaping, walls, or fences shall be located so they will not create barriers for pedestrians.

- Outdoor storage or display is not allowed within 50 feet of Central Avenue. All outdoor storage or display must be enclosed on all sides by a 6 foot high solid wall or fence. The storage or display merchandise cannot exceed the height of the 6 foot wall.

4. ARCHITECTURAL DESIGN

The Architectural design shall, demonstrate a high quality aesthetic character throughout the property. Architectural design should respond to climate, views, solar access, and aesthetic considerations, with the architectural design being in harmony with adjoining properties. The Architectural style for all buildings shall be Territorial although individual expression and creativity is encouraged as long as the overall look of the buildings is characteristic of the Territorial Style and adheres to the guidelines below.

- Building structures erected within the site shall comply with all applicable zoning and building code requirements as well as other applicable codes.

- Building heights may be greater than 26 feet provided that the height falls within the 45 degree building height angle plane at the northern boundary and within 60 degree angle in any other direction drawn from the horizontal at the mean grade along each internal boundary of the premises and each adjacent public right-of-way centerline as permitted by the O-1 zone. Buildings shall not exceed 26 feet in height within 85 feet of a lot zoned specifically for houses (this applies to the southern boundary of the site).

- Buildings shall employ a variety of structural forms to create visual character and interest. Columns, arcades, corner articulation, overhangs, awnings, marquees, gutters and scuppers, breezeways, vertical fins, wall recesses, soffits, and deciduous tree canopies should be carefully dimensioned and detailed to provide a human-scale, visual interest, and a means of shading building facades while lending color and formal articulation to the buildings.

- Retail, service, and office uses shall be horizontally connected for pedestrians in a variety of ways through the use of arcades and portals, controlled plaza elements, outdoor cafes, pathways, or sitting areas.

Building Facades

The scale, proportion, and composition of fenestration of facades shall be designed to give visual interest from the exterior, to provide variation in quality of light on the interior, and to coordinate with the lighting requirements for each activity area.

- No plastic or vinyl building panels or awnings shall be permitted.

- Buildings shall have windows on the front elevations flush with exterior wall cased with wood molding. The windows may be a combination of shop windows or viewing windows on average of 30 feet on center maximum.

- Building entrances shall be clearly identifiable and include a covered entrance incorporating materials consistent with the Territorial Style such as solid wood square columns with chamfered corners.

- Facades SHALL:

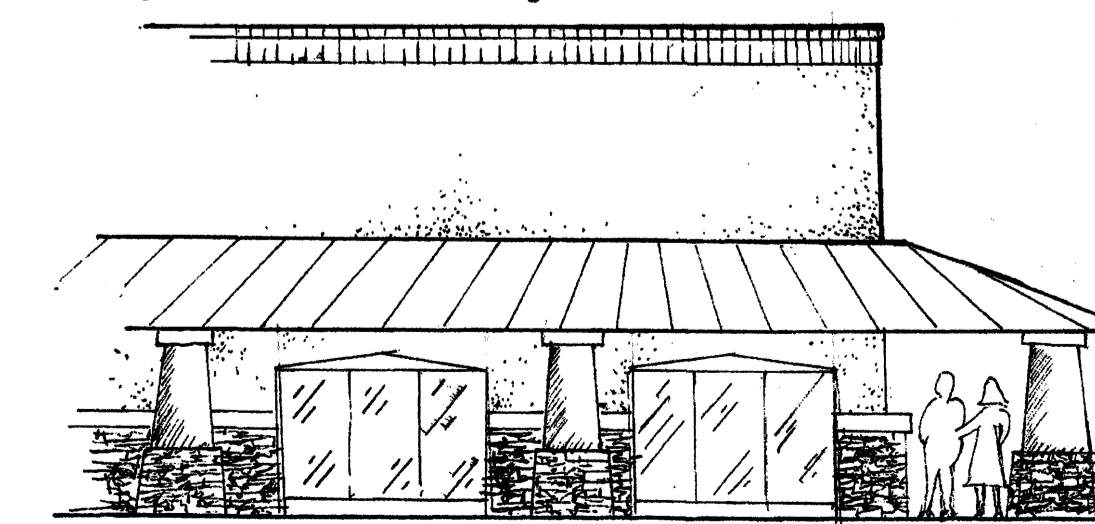
- vary in height, depth and articulation to create a pedestrian-scaled environment;

- have sharp angular corners, earth toned stucco, exposed square ceiling vigas and other wood elements such as door and window moldings.

- have all accessory buildings and enclosures, whether attached or detached from the main building, treated with similar compatible design and materials as the main structure or structures.

- be treated with a consistent level of detail on all sides of all buildings and structures within the site.

- For major facades greater than 100 feet in length, the building shall incorporate outdoor seating adjacent to at least one of the facades, a minimum of one seat per 25 linear feet of building facade. Each seat shall be a minimum of 24 inches in width and 15 inches in height. Benches, raised planters, ledges or similar seating features may be counted as seating space. If the outdoor seating is located on the south or west side of the building, at least 25% of the seating area shall be shaded.



Territorial Style

Roofs & Parapets

- Roofs shall drain water to areas which are landscaped appropriately for run-off, and to areas that are not heavily travelled.

- Parapet height shall be greater than or equal to the installed height of all HVAC and other roof equipment and capped with brick.

- The parapets shall maintain a consistent character, but shall vary in height in accordance with overall facade variations and individual building articulation.

Building Materials & Colors

- Reflective glass is not allowed unless the builder can demonstrate there is not a reflective glare or solar heat build up on adjacent properties or on public right-of-ways.

- Prohibited as main architectural features include the following:

- corbels or pitched roofs
- exposed, untreated precision block walls within public view
- highly reflective surfaces
- chain link fence or barbed wire
- reflective metal paneling
- materials with high maintenance requirements

- Building material colors shall be the natural tone of materials (earthtones such as sands, creams, tans, etc.) rather than applied color (painted), except where used as an accent color.

- Accent colors and materials shall be used to bring out detailing which better articulates or give scale to a building including the colors of light fixtures, wood trim, paint, etc.

5. LIGHTING

In order to enhance the safety, security, and visual aesthetics of the property, careful consideration must be given to selection of outdoor furniture, lighting design, site materials and other features. It is important to consider the daytime appearance of all materials.

- Placement of fixtures and standards shall conform to State and local safety and illumination requirements.

- A design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. All lights, including stand alone fixtures and building mounted, shall be shielded source to prevent spillage onto adjoining properties or light pollution of the existing "Dark Sky".

- Individual site lighting standards shall blend with the architectural character of the building and other site fixtures.

- Site lighting shall not have a total off-site luminesce greater than 1,000 foot lamberts measured from the property line of any private property in a residential zone.

- Individual platted lots that are less than 5 acres in size shall have a maximum lighting fixture height of 20 feet to the top of the fixture. Individual platted lots that are larger than 5 acres in size shall have a maximum lighting fixture height of 25 feet to the top of the fixture. Any lights within 100 feet of residential shall be restricted to a maximum of 16 feet.

- Lighting for pedestrian walkways and entry plazas shall have a maximum height of 16 feet.

- Sodium lighting is prohibited.

- Outdoor materials shall be chosen for their durability and resistance to weathering.

- Building mounted signs shall not be lighted if they are adjacent to Sunset Gardens facing south.

6. LANDSCAPE

The development of an overall landscape concept will establish a framework that unifies the entire property. To achieve a cohesive development, all areas of design need to be coordinated and responsive to existing environmental conditions and local building policies. These standards shall be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Pollen Ordinance, the Street Tree Ordinance, and other landscape regulations included in the City Comprehensive Zoning Code.

- Site amenities, such as street furniture, lighting, bollards, and graphic pylons shall be part of the landscape plan and shall be compatible with the architectural and landscape treatment of the project.

- Street trees shall be provided along Central Avenue, 98th Street and Sunset Gardens. Street trees are defined as being within 20 feet of the back of curb. Street trees should be spaced no greater than the diameter of the tree canopy at maturity.

- The following street trees are preferred:

- Ash (Modesto, Raywood, Green)
- Honey Locust, Chinese Pistache
- Lacebark Elm
- Japanese Pagoda

- A minimum of 15 percent of the site area (minus the building square footage) shall be landscaped in accordance with an emphasis placed on areas with streetside exposure.

- Areas between the property line and curb shall be landscaped and maintained by the adjacent property owner per these guidelines. The design shall be consistent throughout the development. Landscape elements that reinforce the street edge are encouraged.

- All required landscape areas 36 square feet in size or larger shall be covered with living, vegetative materials over a minimum of 75 percent of the required landscape area. The area and percentage is calculated based on the mature spread of all plant materials.

MERCADO CAMINO 66

98TH STREET AND CENTRAL AVENUE

SITE PLAN FOR SUBDIVISION

Prepared For:
Onorio Colucci
Core Properties
P.O. Box 14374
Albuquerque, NM 87191-4374

Prepared By:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

December 9, 2009

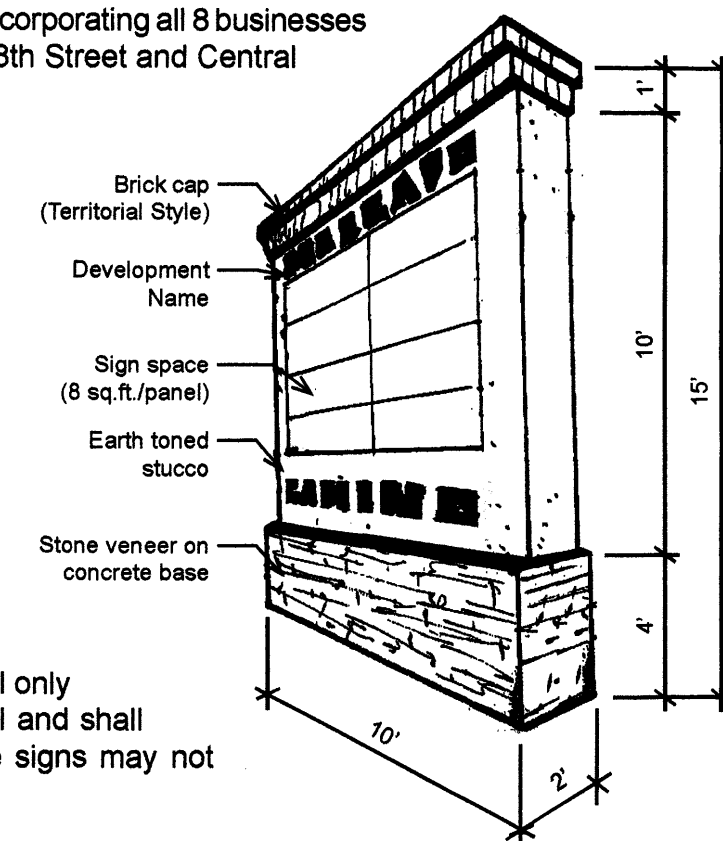
Sheet 2 of 6

- All planting areas not covered with turf shall have a ground topping of crushed rock, river rock, shredded bark, or another similar material which extends completely under the plant material; however, these materials shall not be used as a focal landscape element.
- Landscape headers shall be used to separate any turf areas from planting areas. Headers shall be either 6" x 6" concrete, brick (side by side), or 1/8" x 4" steel construction or equivalent.
- Off-street parking areas shall have one tree for each 10 parking spaces with no space being more than 100 feet from a tree. The minimum size of tree planters within off-street parking areas shall be 36 square feet per tree.
- A minimum of 75 percent of the required parking lot trees shall be deciduous shade trees and shall have a mature height of at least 25 feet.
- A landscape strip of no less than 10 feet shall be maintained between parking areas and the street right-of-way.
- Low water use turf may be provided at a maximum of 40 percent of the landscaped area. High water use turf may be provided at a maximum of 20 percent of the landscaped area.
- An automatic underground irrigation system shall be provided to support all landscaping. The system shall be designed to avoid overspraying of walks, buildings, fences, etc. Backflow preventers shall be provided in accordance with City of Albuquerque Codes.
- All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the Owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of pervious filter material. Each individual lot owner will be responsible for the maintenance of the landscape on their property and within the adjacent public right-of-way.
- Refer to Section 1, Site Design - Setbacks bullet number 4 on Sheet 2, for the landscape setbacks required by the West Route 66 Sector Development Plan.
- Minimum plant sizes at time of installation shall be as follows:
 - Trees 2 inch caliper, or 10 to 12 feet in height
 - Shrubs & Groundcovers 1 gallon
 - Turf Grasses provide complete ground coverage within one growing season after installation

7. SIGNAGE

The following signage standards were developed to regulate the size, location, type, and quality of sign elements within this property. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors; to provide circulation requirements and restrictions; to provide for public safety, and to complement the visual character of the development.

- The developer shall provide entry/directory signs for the project to create a sense of arrival and to contribute to the unique identity of the project. These signs shall be on private property and shall be maintained by the property owner.
- Free standing signs are allowed, 1 sign per premise, not to exceed 12 feet in height and limited to 50 square feet of sign area.
- One free-standing project directory sign incorporating all 8 businesses shall be installed on the SW corner of 98th Street and Central Ave (See detail).
- Building-mounted signs shall not exceed 6 percent of the facade area. Building-mounted signs that face residential development shall not be illuminated.
- The signs shall be of a similar style and material as the other entry signs.
- Internally illuminated logos are permissible at a maximum sign area of 16 square feet. Illuminated plastic panel signs are prohibited. Individual channel letters may be back or down lit.
- Signs perpendicular to an elevation shall only occur under an awning or canopy/portal and shall not be more than 8 square feet. These signs may not project past the overhang.
- Off-premise signs are prohibited.
- Other than the standards listed above, additional regulations may apply in Section 14-16-2-17-10, Sign Regulations for the C-2 zone.
- The use of neon signage along Central Avenue is strongly encouraged. If a property or business owner for a parcel along Central Avenue develops an artistic neon or neon-like (fiber optic lights, etc.) sign, a 20 percent maximum increase in size of the sign face may be granted by the Planning Director or his designee. This bonus may be applied to all individual signs (building mounted and free standing) facing Central Avenue.



Signage SHALL:

- be designed to be consistent with and complement the materials, color, and architectural style of the building or site location;
- be illuminated in accordance with the General Sign Regulations as provided in Section 14-16-3-5 of the City Comprehensive Zoning Code. Signs which are directly spotlighted may be used provided there is no glare on the street or upon adjacent property or that the light does not distract motorists. Illuminated signage facing adjacent residential areas shall not be permitted;
- identify only the name and business of the occupant or of those offering the premises for sale or lease; and
- have a minimum contrast of 70 percent between the background and the text.

Signage SHALL NOT:

- use moving parts, makes audible sounds, or have blinking or flashing lights, except reader boards are permitted;

- overhang into the public right-of-way, property line, or extend above the building roof line;
- require any external bracing, angle-iron supports, guy wires or similar devices;
- intrude upon any architectural features, including windows, columns, moldings or any decorative features; and
- include illuminated plastic panels or backlit plastic/vinyl signs and letters, except logo designs are permitted.

8. UTILITIES

- All new electric distribution lines shall be placed underground.
- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way. Screening of transformers, electric boxes and other utility structures shall not impede access to the equipment and shall provide for safe maintenance and repair by utility workers.
- Above-ground backflow prevention devices shall be appropriately screened from view by walls and/or landscaping.
- Any wireless communication facilities shall be concealed and architecturally integrated.
- Screening of transformers, electric boxes and other utility structures shall not impede access to the equipment and shall provide for safe maintenance and repair by utility workers.
- Paging and loud speaker systems are prohibited.

9. MAINTENANCE

The property owner will maintain the landscape and irrigation system. All planting areas will be maintained in a living attractive, and weed free condition.

MERCADO CAMINO 66

98TH STREET AND CENTRAL AVENUE

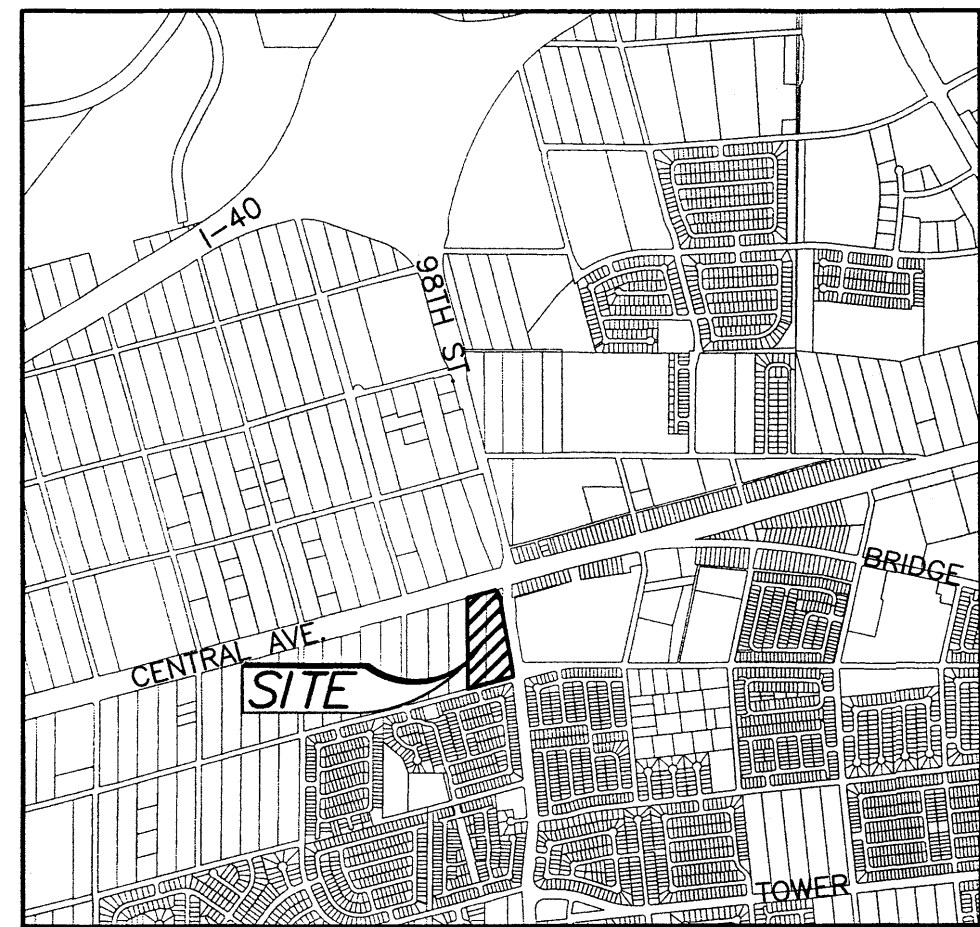
SITE PLAN FOR SUBDIVISION

Prepared For:
Onario Calucci
Core Properties
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Prepared By:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

December 9, 2009

Sheet 3 of 6



VICINITY MAP
SCALE: 1"=2000'±
ZONE ATLAS MAP L-9

- LEGEND
- EXISTING CONTOUR
 - EXISTING SURFACE FLOW DIRECTION
 - EXISTING SWALE
 - FUTURE SWALE
 - OFFSITE DRAINAGE BASIN BOUNDARY
 - OFFSITE DRAINAGE SUB-BASIN BOUNDARY
 - EXISTING STORM DRAIN LINE, MANHOLE & INLET

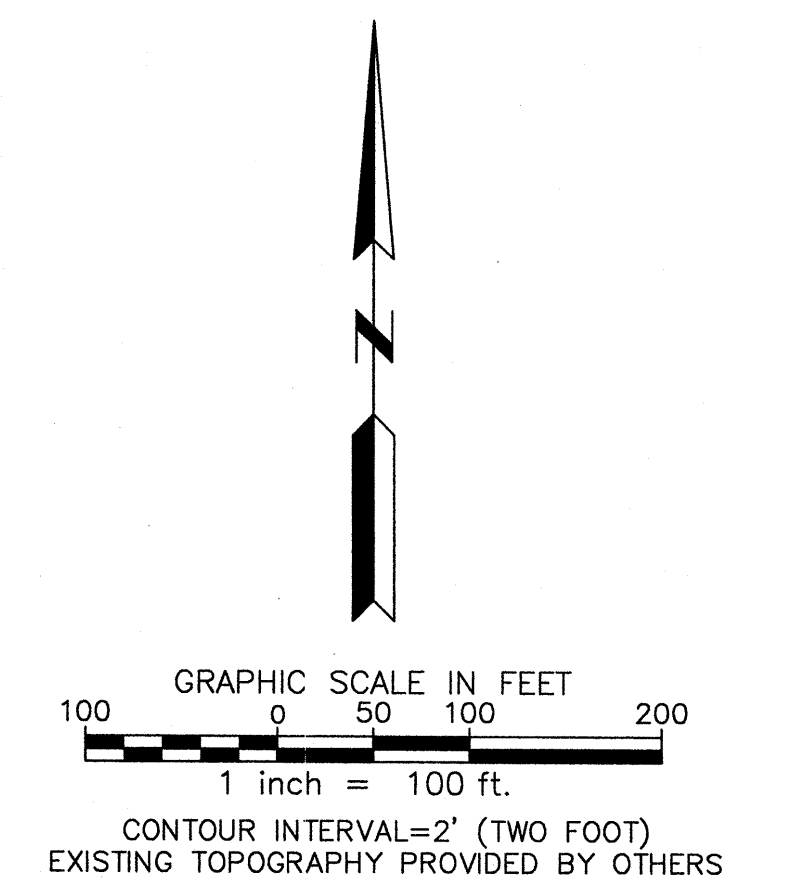


PLAN-EXISTING CONDITIONS
SCALE: 1"=100'

EXISTING CONDITIONS
FLOW RATE

ANALYSIS POINT	10 yr. cfs	100 yr. cfs
AP (1)	1.04	2.01
AP (2)	4.05	8.51
AP (3)	1.71	4.11
AP (4)	2.13	5.53
AP (5)	0.78	4.19
AP (6)	0.24	1.31
AP (7)	6.08	10.32
AP (8)	9.41	15.85
AP (9)	2.08	11.17
AP (10)	10.75	35.27
AP (11)	3.58	6.53
AP (12)	17.06*	44.22*

* STORMDRAIN AND STREET FLOW

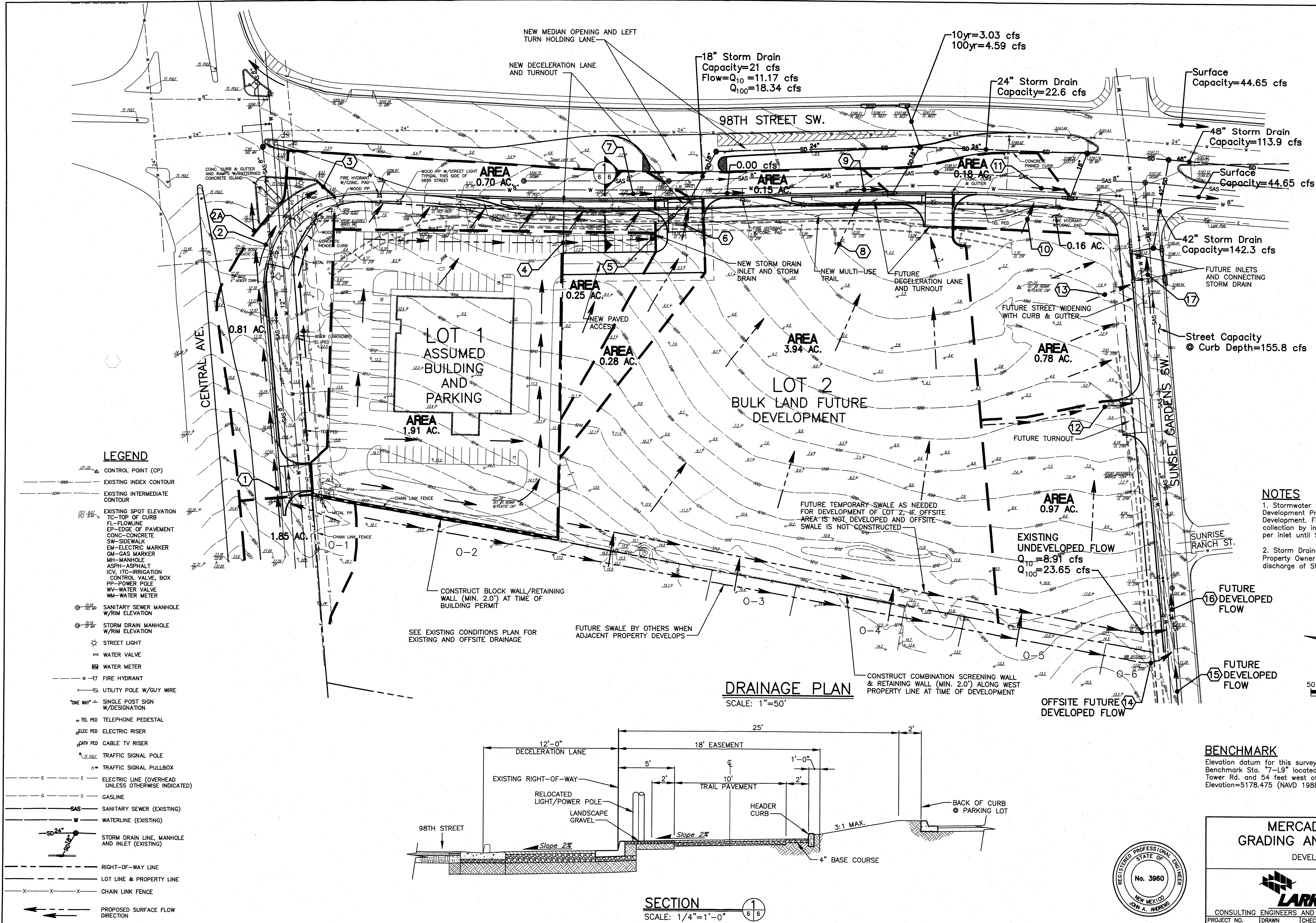


MERCADO CAMINO 66
DRAINAGE PLAN
EXISTING CONDITIONS



CONSULTING ENGINEERS AND SURVEYORS ALBUQUERQUE, NEW MEXICO

PROJECT NO.	DRAWN	CHECKED	DATE	SHEET	OF
2008-0013	TL_KW	JAA	12/22/09	5	6



**DEVELOPED CONDITIONS
FLOW RATE**

ANALYSIS POINT	10 yr. cfs	100 yr. cfs
AP (1)	3.27	5.85
AP (2)	2.86	5.07
AP (2A)	1.43	2.53
AP (3)	3.21	5.80
AP (4)	4.94	7.72
AP (5)	5.62	8.76
AP (6)	0.59	1.02
AP (7)	4.96	8.56
AP (8)	10.84	16.23
AP (9)	11.28	16.90
AP (10)	0.30	0.52
AP (11)	6.51	18.21
AP (12)	2.67	4.09
AP (13)	2.62	4.65
AP (14)	32.69	51.99
AP (15)	8.26	13.76
AP (16)	40.95	65.75
AP (17)	47.92	76.99

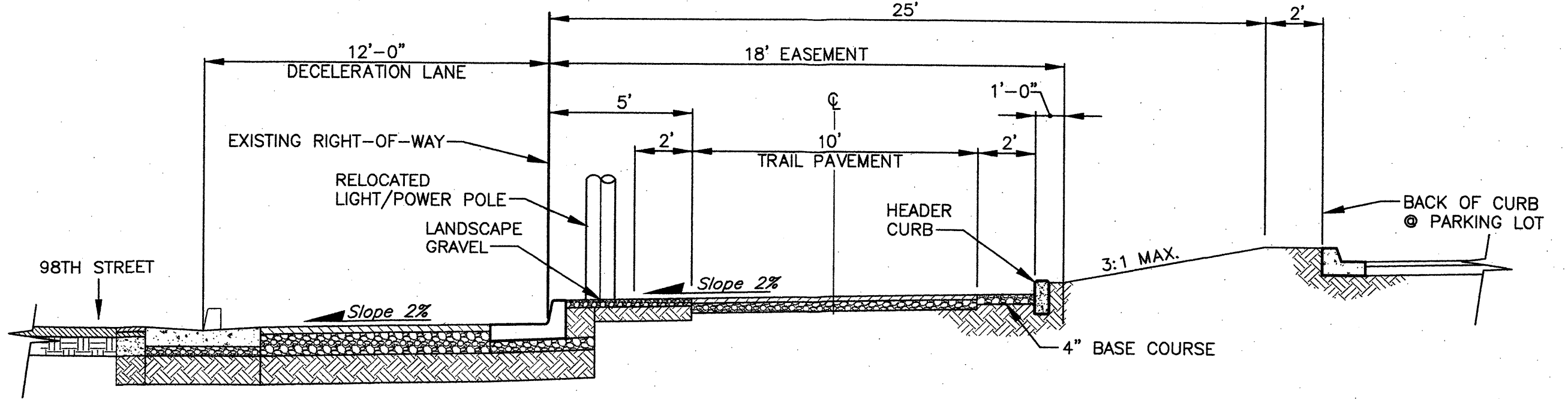
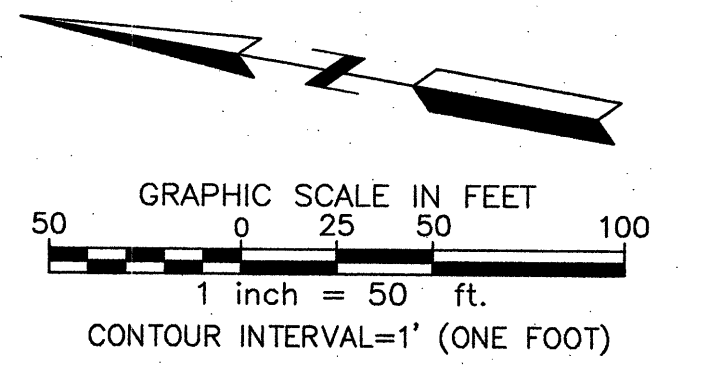
LEGEND

- CP — CONTROL POINT (CP)
- EX — EXISTING INDEX CONTOUR
- EX — EXISTING INTERMEDIATE CONTOUR
- (E) — EXISTING SPOT ELEVATION
- FL — TOP OF CURB
- FL — FLOWLINE
- EP — EDGE OF PAVEMENT
- CC — CONC-CONCRETE
- SW — SIDEWALK
- EM — ELECTRIC MARKER
- GM — GAS MARKER
- MH — MANHOLE
- ASPH — ASPHALT
- ICV, ITC — IRRIGATION CONTROL VALVE, BOX
- PP — POWER POLE
- W/V — WATER VALVE
- WM — WATER METER
- (S) — SANITARY SEWER MANHOLE W/RIM ELEVATION
- (SD) — STORM DRAIN MANHOLE W/RIM ELEVATION
- SL — STREET LIGHT
- W — WATER VALVE
- WM — WATER METER
- FH — FIRE HYDRANT
- U — UTILITY POLE W/GUY WIRE
- (S) — SINGLE POST SIGN W/DESIGNATION
- TEL PED — TELEPHONE PEDESTAL
- ELEC PED — ELECTRIC RISER
- CTV PED — CABLE TV RISER
- TRAFFIC SIGNAL POLE
- TRAFFIC SIGNAL PULLBOX
- E — ELECTRIC LINE (OVERHEAD UNLESS OTHERWISE INDICATED)
- G — GASLINE
- SAS — SANITARY SEWER (EXISTING)
- W — WATERLINE (EXISTING)
- SD — STORM DRAIN LINE, MANHOLE AND INLET (EXISTING)
- — — — — RIGHT-OF-WAY LINE
- — — — — LOT LINE & PROPERTY LINE
- X — X — X — CHAIN LINK FENCE
- — — — — PROPOSED SURFACE FLOW DIRECTION

NOTES

1. Stormwater flow rates shown are based on City Development Process Manual Chapter 22 for Commercial Development. Flow rates shown on 98th Street assumes collection by inlets at rates varying from 5 cfs to 6 cfs per inlet until Storm Drain is filled.
2. Storm Drainage Facilities constructed and paid for by Property Owner under SAD-222 provided for free discharge of Stormwater from this property.

DRAINAGE PLAN
SCALE: 1"=50'



SECTION
SCALE: 1/4"=1'-0" (6)

BENCHMARK

Elevation datum for this survey is taken from City of Albuquerque Benchmark Sta. "7-L9" located 360 feet south of the centerline of Tower Rd. and 54 feet west of the centerline of 98th St. Elevation=5178.475 (NAVD 1988).



**MERCADO CAMINO 66
GRADING AND DRAINAGE PLAN**
DEVELOPED CONDITIONS

LARKIN GROUP NM, INC.
CONSULTING ENGINEERS AND SURVEYORS ALBUQUERQUE NEW MEXICO

PROJECT NO.	DRAWN	CHECKED	DATE	SHEET	OF
2008-0013	TL, KW	JAA	12/22/09	6	6