



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

January 13, 2016

**Project# 1007759**  
15DRB-70479 EXT OF MAJOR PRELIMINARY PLAT

LARKIN GROUP NM, INC agent(s) for ONORIO COLUCCI request(s) the above action(s) for all or a portion of Lot(s) 1A AND 2, Block(s) 1, **LANDS OF ATRISCO LAND GRANT** zoned SU-2 PDA, located on 98TH ST SW BETWEEN CENTRAL AVE AND SUNSET GARDENS containing approximately 8.6662 acre(s). (L-9)

At the January 13, 2016 Development Review Board meeting, a one-year extension of the preliminary plat was approved with the condition that the first flush requirements be noted. The conditions of final plat still apply.

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

A handwritten signature in black ink, appearing to read "Jack Cloud".

Jack Cloud, DRB Chair



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

January 21, 2015

**Project# 1007759**


15DRB-70003 EXT OF MAJOR PRELIMINARY PLAT

LARKIN GROUP NM, INC. agent(s) for ONORIO COLUCCI request(s) the above action(s) for all or a portion of Lot(s) 1A & 2, Block(s) 1, **LANDS OF ATRISCO LAND GRANT** zoned SU-2/PDA, located on 98TH ST BETWEEN CENTRAL AND SUNSET GARDENS containing approximately 8.6662 acre(s). (L-9)

At the January 21, 2015 Development Review Board meeting, the one-year extension of the preliminary plat was approved.

The conditions of final plat still apply.

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)



Jack Cloud, DRB Chair



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

January 8, 2014

**Project# 1007759**  
13DRB-70812 EXT OF MAJOR PRELIMINARY PLAT

LARKIN GROUP NM, INC agent(s) for ONORIO COLUCCI request(s) the above action(s) for all or a portion of Lot(s) 1A & 2, Block(s) 1, **LANDS OF ATRISCO LAND GRANT** zoned SU-2 PDA, located on 98TH ST SW BETWEEN CENTRAL AVE AND SUNSET GARDENS SW containing approximately 8.6662 acre(s). (L-9)

At the January 8, 2014 Development Review Board meeting, the one-year extension of the preliminary plat was approved.

The conditions of final plat still apply.

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

A handwritten signature in black ink, appearing to read "Jack Cloud".

Jack Cloud, DRB Chair

Cc: LARKIN GROUP NM, INC  
File



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

January 12, 2011

**Project# 1007759**  
11DRB-70000 EXT OF PRELIMINARY PLAT

LARKIN GROUP NM INC agent(s) for ONORIO COLUCCI request(s) the above action(s) for all or a portion of Lot(s) 1A & 2, Block(s) 1, **LANDS OF ATRISCO LAND GRANT**, zoned SU-2 PDA, located on 98TH ST SW BETWEEN CENTRAL AVE SW AND SUNSET GARDENS SW containing approximately 8.6662 acre(s). (L-9)

At the January 12, 2011 Development Review Board meeting, the one-year extension of the preliminary plat was approved. If you wish to appeal this decision, you must do so by January 27, 2011, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

The conditions of final plat still apply.

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

  
Jack Cloud, DRB Chair

Cc: Larkin Group NM, Inc. – 8500 Menaul Blvd NE, Ste A-440 – Albuquerque, NM 87112

Onorio Colucci – P.O. Box 14374 – Albuquerque, NM 87191

Marilyn Maldonado

file



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

January 8, 2014

**Project# 1007759**

13DRB-70812 EXT OF MAJOR PRELIMINARY PLAT

LARKIN GROUP NM, INC agent(s) for ONORIO COLUCCI request(s) the above action(s) for all or a portion of Lot(s) 1A & 2, Block(s) 1, **LANDS OF ATRISCO LAND GRANT** zoned SU-2 PDA, located on 98TH ST SW BETWEEN CENTRAL AVE AND SUNSET GARDENS SW containing approximately 8.6662 acre(s). (L-9)

At the January 8, 2014 Development Review Board meeting, the one-year extension of the preliminary plat was approved.

The conditions of final plat still apply.

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

A handwritten signature in black ink, appearing to read "Jack Cloud".

Jack Cloud, DRB Chair

Cc: LARKIN GROUP NM, INC  
File



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

January 9, 2013

**Project# 1007759**  
12DRB-70400 EXT OF MAJOR PRELIMINARY PLAT

LARKIN GROUP NM, INC agent(s) for ONORIO COLUCCI request(s) the above action(s) for all or a portion of Lot(s) 1A & 2, Block(s) 1, **LANDS OF ATRISCO LAND GRANT** zoned SU-2 PDA, located on 98TH ST SW BETWEEN CENTRAL AVE AND SUNSET GARDENS SW containing approximately 8.6662 acre(s). (L-9)

At the January 9, 2013 Development Review Board meeting, the one-year extension of the preliminary plat was approved.

The conditions of final plat still apply.

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

A handwritten signature in black ink, appearing to read "Richard Dourte".

Richard Dourte, Acting DRB Chair

Cc: Larkin Group NM, Inc.  
Marilyn Maldonado  
File



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

January 11, 2012

**Project# 1007759**  
11DRB-70367 EXT OF MAJOR PRELIMINARY PLAT

LARKIN GROUP NM, INC agent(s) for ONORIO COLUCCI request(s) the above action(s) for all or a portion of Lot(s) 1A & 2, Block(s) 1, **LANDS OF ATRISCO LAND GRANT** zoned SU-2 PDA, located on 98TH BETWEEN CENTRAL AND SUNSET GARDENS containing approximately 8.6662 acre(s). (L-9)

At the January 11, 2012 Development Review Board meeting, the one-year extension of the preliminary plat was approved. The conditions of final plat still apply.

If you wish to appeal this decision, you must do so by January 26, 2012, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)



Jack Cloud, DRB Chair

Cc: Larkin Group NM, Inc. – 8500 Menaul Blvd NE, Ste A-440 – Albuquerque, NM 87112

Cc: Onorio Colucci – P.O. Box 14374 – Albuquerque, NM 87191  
Marilyn Maldonado  
file

HEARING DATE: 1-11-12 (EPD)





## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

January 12, 2011

**Project# 1007759**  
11DRB-70000 EXT OF PRELIMINARY PLAT

LARKIN GROUP NM INC agent(s) for ONORIO COLUCCI request(s) the above action(s) for all or a portion of Lot(s) 1A & 2, Block(s) 1, **LANDS OF ATRISCO LAND GRANT**, zoned SU-2 PDA, located on 98TH ST SW BETWEEN CENTRAL AVE SW AND SUNSET GARDENS SW containing approximately 8.6662 acre(s). (L-9)

At the January 12, 2011 Development Review Board meeting, the one-year extension of the preliminary plat was approved. If you wish to appeal this decision, you must do so by January 27, 2011, in the manner described below.

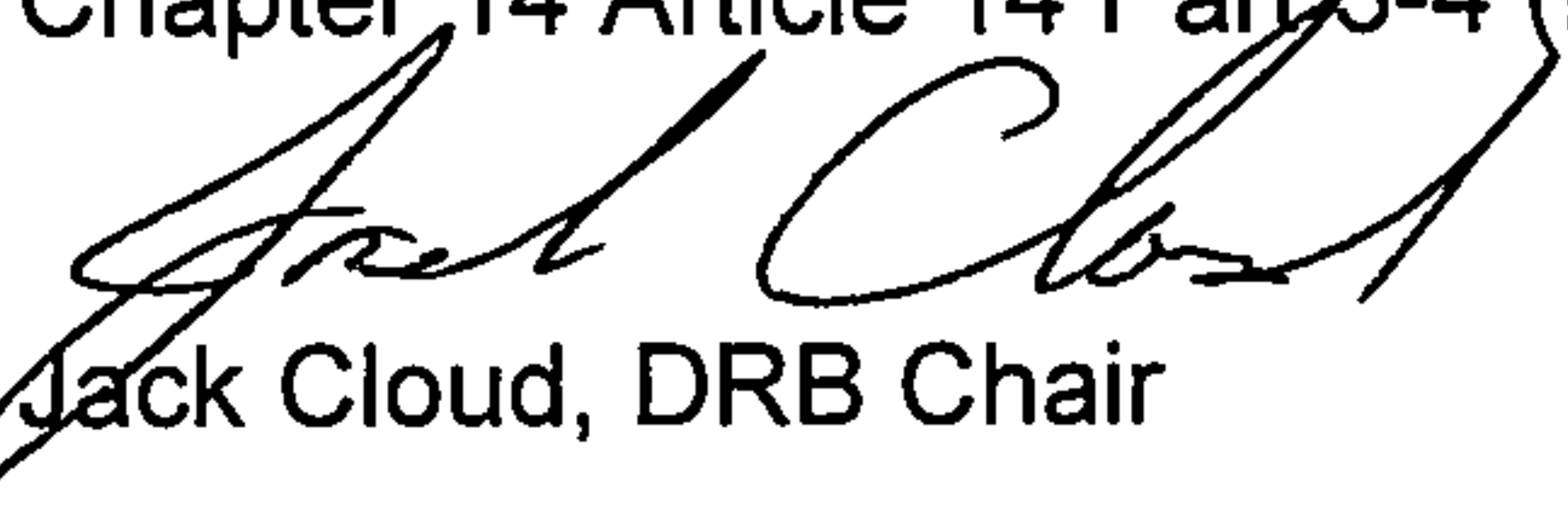
Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

The conditions of final plat still apply.

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)



Jack Cloud, DRB Chair

Cc: Larkin Group NM, Inc. – 8500 Menaul Blvd NE, Ste A-440 – Albuquerque, NM 87112  
Onorio Colucci – P.O. Box 14374 – Albuquerque, NM 87191  
Marilyn Maldonado  
file

HEADING DATE 1-12-11 (5/5)



COMPLETED 02/17/10 *SA*

**DRB CASE ACTION LOG**  
(Site Plan for Subdivision)

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

DRB Application No.: 09DRB-70399 Project # 1007759  
 Project Name: *Lands of Atrisco Land Grant*  
 Agent: *Larkin Group NM Inc and Consensus Planning Inc.* Phone No.:

\*\*Your request was approved on 01-27-10 by the DRB with delegation of signature(s) to the following departments.\*\*

**OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED:**

*OK*

**TRANSPORTATION:** *address comments*

**ABCWUA:** \_\_\_\_\_

**CITY ENGINEER / AMAFCA:** \_\_\_\_\_

**PARKS / CIP:** \_\_\_\_\_

*OK*

**PLANNING (Last to sign):** *Clarity via a via Redor Plan*

**Planning must record this plat. Please submit the following items:**

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). **RECORDED DATE:** \_\_\_\_\_
- Fax printout from the County Assessor.

*OK*

- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**



## DRB CASE ACTION LOG (Site Plan for Subdivision)

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

DRB Application No.: 09DRB-70399

Project # 1007759

Project Name: *Lands of Atrisco Land Grant*

Agent: *Larkin Group NM Inc and  
Consensus Planning Inc.*

Phone No.:

\*\*Your request was approved on 01-27-10 by the DRB with delegation of signature(s) to the following departments.\*\*

### OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED:



TRANSPORTATION: *address comments*



ABCWUA:



CITY ENGINEER / AMAFCA:



PARKS / CIP:



PLANNING (Last to sign): *Clarify via a visit Sedor Plan*



**Planning must record this plat. Please submit the following items:**

-The original plat and a mylar copy for the County Clerk.

-Tax certificate from the County Treasurer.

-Recording fee (checks payable to the County Clerk). **RECORDED DATE:** \_\_\_\_\_

-Tax printout from the County Assessor.

**3 copies of the approved site plan. Include all pages.**

**County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**

**Property Management's signature must be obtained prior to Planning Department's signature.**

**AGIS DXF File approval required.**

**Copy of recorded plat for Planning.**



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

January 27, 2010

**Project# 1007759**

09DRB-70397 - BULK LAND VARIANCE  
09DRB-70398 - TEMP DEFERRAL OF SIDEWALK CONSTRUCTION  
09DRB-70399 – SITE DEVELOPMENT PLAN FOR SUBDIVISION  
09DRB-70400 - PRELIMINARY/ FINAL PLAT APPROVAL

LARKIN GROUP NM INC and CONSENSUS PLANNING INC, agent(s) for VIRGINIA & ONORIO COLUCCI request(s) the referenced/ above action(s) for all or a portion of Lot(s) 1A & 2, Block(s) 1, **LANDS OF ATRISCO LAND GRANT**, zoned SU-2/ PDA, located on the west side of 98TH ST SW between CENTRAL AVE SW and SUNSET GARDENS RD SW containing approximately 8.6662 acre(s). (L-09)

At the January 27, 2010 Development Review Board meeting, the Site Plan for Subdivision was approved with final sign-off delegated to Transportation to address written comments, and to Planning to clarify vis a vis the sector plan. With the signing of the infrastructure list dated 1/27/10, the preliminary plat was approved. The Final Plat was deferred for the SIA. The Bulk Land Variance was approved for lot 2, subject to the Findings and Conditions of the Subdivision Ordinance as follows:

**BULK LAND VARIANCE:**

1. The variance will not be injurious to the public safety, health or welfare, or to adjacent property, the neighborhood or the community.
2. The variance will not conflict significantly with the goals and provisions of any City, County or AMAFCA adopted plan or policy; the applicable zoning ordinance, or any other City code or ordinance.
3. The variance will not permit, encourage or make possible undesired development in the 100-year floodplain.

**OFFICIAL NOTICE OF DECISION**  
**PAGE 2**

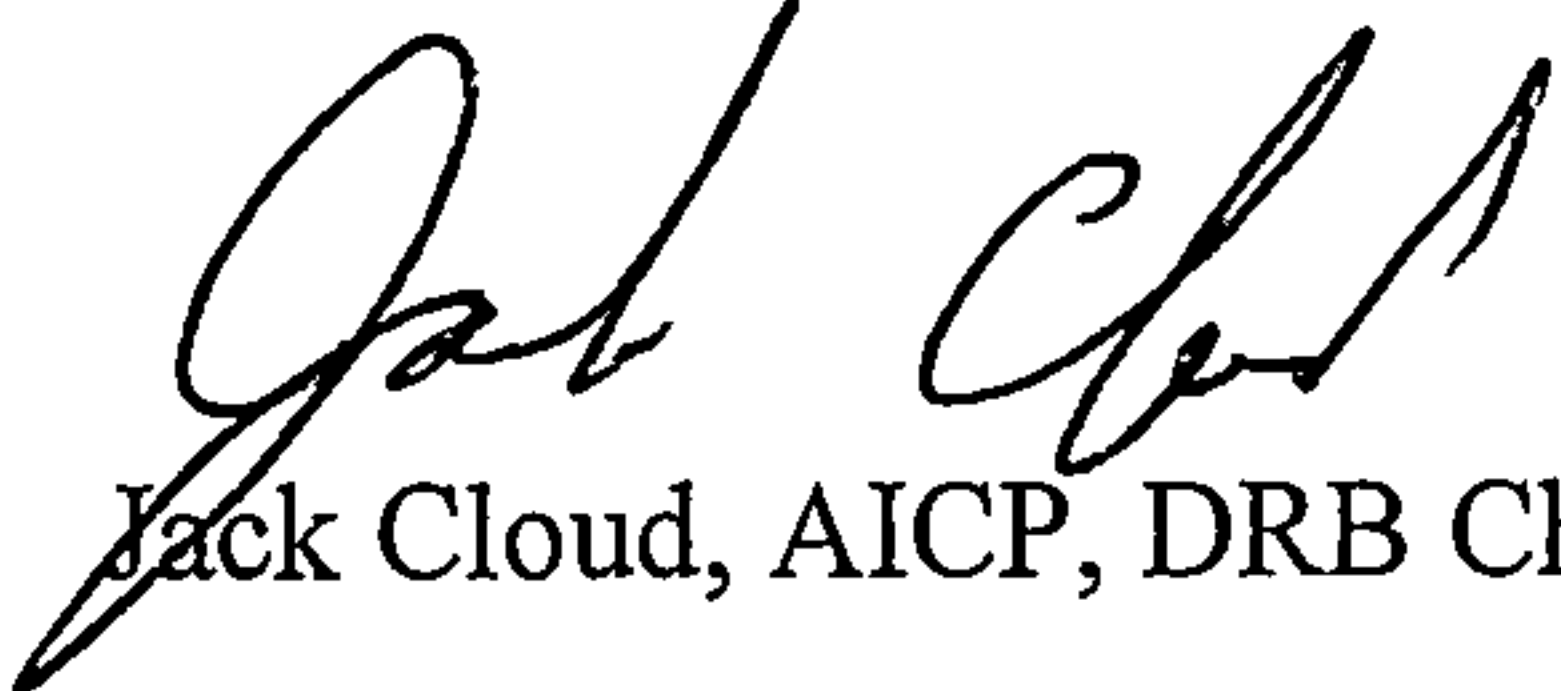
4. The variance will not hinder future planning, public right-of-way acquisition, or the financing or building of public infrastructure improvements.

If you wish to appeal this decision, you must do so by February 25, 2010 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).



Jack Cloud, AICP, DRB Chair

Cc: Onorio Colucci – P.O. Box 14274 – Albuquerque, NM 87191

Cc: Larkin Group NM, Inc. – 8500 Menaul Blvd. NE Ste A-440 – Albuquerque, NM 87112

Kelly Chappelle – 9135 Santa Catalina – Albuquerque, NM 87121

Marilyn Maldonado  
file



CITY OF ALBUQUERQUE  
 PLANNING DEPARTMENT  
 DEVELOPMENT REVIEW BOARD

January 27, 2010

**Project# 1007759**

- 09DRB-70397 - BULK LAND VARIANCE
- 09DRB-70398 - TEMP DEFERRAL OF SIDEWALK CONSTRUCTION
- 09DRB-70399 – SITE DEVELOPMENT PLAN FOR SUBDIVISION
- 09DRB-70400 - PRELIMINARY/ FINAL PLAT APPROVAL

LARKIN GROUP NM INC and CONSENSUS PLANNING INC, agent(s) for VIRGINIA & ONORIO COLUCCI request(s) the referenced/ above action(s) for all or a portion of Lot(s) 1A & 2, Block(s) 1, **LANDS OF ATRISCO LAND GRANT**, zoned SU-2/ PDA, located on the west side of 98TH ST SW between CENTRAL AVE SW and SUNSET GARDENS RD SW containing approximately 8.6662 acre(s). (L-09)

**AMAFCA**

No comment.

**COG**

A sidewalk deferral is not necessary; sidewalk will be required with site plan for building permit.

A blanket cross access easement is required.

Provide an exhibit showing the location of sidewalk and defining the distance from face of curb to the property line. Right of way dedication may be required.

Infrastructure list comments.

- Standard curb and gutter on Central Avenue (south side) should be from the west property line to the east property line.

Entrances to property do not need to be included on the infrastructure list.

**TRANSIT**

Project # 1007759

09DRB-70397

BULK LAND VARIANCE

09DRB-70398

TEMP. DEFERRAL OF SIDEWALK CONST.

09DRB-70399

SITE DEVELOPMENT PLAN FOR SUBDIVISION

09DRB-70400

PRELIMINARY/FINAL PLAT APPROVAL

Adjacent and nearby routes

Route #54, Bridge-Westgate route passes the site on 98<sup>th</sup> street to head eastbound on Central

Adjacent bus stops

Nearest bus stop is located 760' east from the northeast corner of the property on Central for westbound Route #54.

Site plan requirements

It is the intention of Transit to provide a southbound transit service on 98<sup>th</sup> street. Transit requests to provide sufficient Right of Way for future bus shelter, 40 feet north from the beginning of the north deceleration lane. The pad for the bus shelter is 8ft x 20 ft.

Large site TDM suggestions

None.

Other information

None.

**ZONING ENFORCEMENT**

No comments.

<p><b>NEIGHBORHOOD COORDINATION</b>  Letters sent to: <b>West Side Merchants Assoc (R)</b>  <b>Avalon NA (R)</b></p>
<p><b>APS</b>  This will have no adverse impacts to the APS district.</p>
<p><b>POLICE DEPARTMENT</b>  No comments.</p>
<p><b>FIRE DEPARTMENT</b>  No comments.</p>
<p><b>PNM ELECTRIC &amp; GAS</b>  No comments.</p>
<p><b>COMCAST</b>  No comments.</p>
<p><b>QWEST</b>  No comments.</p>
<p><b>ENVIRONMENTAL HEALTH</b>  No comments.</p>
<p><b>M.R.G.C.D</b>  No Adverse Comments.</p>
<p><b>OPEN SPACE DIVISION</b>  Open Space has no adverse comments</p>
<p><b>CITY ENGINEER</b>  The Hydrology section has no objection to the BLV request for lot 2. An approved conceptual drainage plan is required for Preliminary Plat approval. No objection to the sidewalk deferral request but it must appear on the Infrastructure List. An approved SIA with financial guarantees is required for Final Plat approval.</p>
<p><b>TRANSPORTATION DEVELOPMENT</b>  A sidewalk deferral is not necessary; sidewalk will be required with site plan for building permit. A blanket cross access easement is required. Provide an exhibit showing the location of sidewalk and defining the distance from face of curb to the property line. Right of way dedication may be required.  <b>Infrastructure list comments.</b></p> <ul style="list-style-type: none"> <li>Standard curb and gutter on Central Avenue (south side) should be from the west property line to the east property line.  Entrances to property do not need to be included on the infrastructure list.</li> </ul>
<p><b>PARKS AND RECREATION</b>  No objection to any of the requests.</p>
<p><b>ABCWUA</b>  No comments</p>
<p><b>PLANNING DEPARTMENT</b>  Maintenance of the proposed Access Easement needs to be noted on the plat. Please provide a Solar Note consistent with Section 14-14-4-7 which is specific to this type of request, i.e. use the words "THIS PLAT" (rather than the words "REQUESTED FINAL ACTION") at the beginning of the note, and do not use the words "OR SITE DEVELOPMENT PLAN FOR SUBDIVISION" at the end of the note.  If approved, and as noted on the plat, a separate NOTICE OF SUBDIVISION CONDITIONS will need to be executed and submitted with the plat for recording by the Planning Department.</p>

**IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING**



# DRB PUBLIC HEARING SIGN IN SHEETS

PROJECT #: 1007759 AGENDA# 1 DATE: 1/27/10

1. Name: Kelly Chappelle Address: 9135 Santa Catalina Zip: 87121
2. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
3. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
4. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
5. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
6. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
7. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
8. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
9. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
10. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
11. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
12. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
13. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
14. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
15. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
16. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
17. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
PROPERTY OWNERSHIP LIST**

**Meeting Date:** January 27, 2010  
**Zone Atlas Page:** L-9  
**Notification Radius:** 100 Ft.

**Project#** 1007759  
**App#** 09DRB-70397  
09DRB-70398  
09DRB-70399  
09DRB-70400

**Cross Reference and Location:** 98<sup>TH</sup> ST SW BETWEEN CENTRAL AVE SW AND  
SUNSET GARDENS SW

**Applicant:** ONORIO COLUCCI  
PO BOX 14274  
ALBUQUERQUE, NM 87191

**Agent:** LARKIN GROUP NM, INC  
8500 MENAUL BLVD NE STE A-440  
ALBUQUERQUE, NM 87112

**Special Instructions:**

NOTE: THE APPLICATION HAD THE WRONG YEAR FOR THE HEARING  
DATE.

**Notice must be mailed from the  
City's 15 day's prior to the meeting.**

**Date Mailed:** JANUARY 11, 2010  
**SIGNATURE:** *ERIN TREMLIN*

UPC	OWNER	OWNADD	OWNADD2	LEGALDESC	Shape_Area
100905603137420000	98TH STEET LTD C/O LONGFORD HOMES	7301 JEFFERSON NE	ALBUQUERQUE NM 87109	LOT 3-P1 BLOCK 2 PLAT FOR SUNRISE RANCH UNIT 1CONT .0958 AC	3960.0
100905602445320000	G-BART DEVELOPMENT GROUP	PO DRAWER K	ALBUQUERQUE NM 87103	TR 69 AKA TR 3 ROW 1 SO UNIT B W OF WESTLAND AKA LOT 3 BLK 1 LANDS OF TWN	191985.8
100905606346420000	COLUCCI ONORIO & VIRGINIA M	3305 TENNESSEE ST NE	ALBUQUERQUE NM 87110	LT 1-A BLK 1 EXC THE ELY POR PLAT OF LTS 1-A & 1-B 'LANDS OFATRISCO LAND GRANT' CONT 4.2489 AC M/L OR 185,082 SF M/L	187768.8
100905606436720000	ROJAS ERNESTO & DEBORAH	9904 LAUREN AVE SW	ALBUQUERQUE NM 87121	LOT 17-P1 BLOCK 3 PLAT FOR SUNRISE RANCH UNIT 1CONT .0964 AC	3931.5
100905608450921000	MOYA DOMINICA M	9317 CENTRAL AVE NW	ALBUQUERQUE NM 87105	SLY 120 FT OF LT 27 BLK 10 EXC THE NLY & WLY PORTS OUT TO R/W ORIGINAL TOWNSITE OF WESTLAND CONT 0.0573 AC M/L OR 2,500SQ FT M/L	5444.2
100905605838120000	LUJAN RAMONICITA	9905 LAUREN AVE SW	ALBUQUERQUE NM 87121	LOT 10-P1 BLOCK 2 PLAT FOR SUNRISE RANCH UNIT 1CONT .0957 AC	4120.0
100905605636520000	SANTOS VERONICA	9912 LAUREN AVE SW	ALBUQUERQUE NM 87121	LOT 15-P1 BLOCK 3 PLAT FOR SUNRISE RANCH UNIT 1CONT .0964 AC	4085.6
100905606238220000	GOFF ALAINA K	436 CARLISLE BLVD NE	ALBUQUERQUE NM 87106 1321	LOT 11-P1 BLOCK 2 PLAT FOR SUNRISE RANCH UNIT 1CONT .1015 AC	4335.0
100905608137420000	FAZIO JOSEPH A	401 EVENING FIRE ST SW	ALBUQUERQUE NM 87121	LOT 1-P1 BLOCK 3 PLAT FOR SUNRISE RANCH UNIT 1CONT .1301 AC	5410.7
100905609837220000	MALTOS LUCILA P	408 EVENING FIRE ST SW	ALBUQUERQUE NM 87121	LOT 10-P1 BLOCK 1 PLAT FOR SUNRISE RANCH UNIT 1CONT .0918 AC	3790.7
100905603937620000	PARAGGIO ROBERT P	10001 LAUREN AVE SW	ALBUQUERQUE NM 87121	LOT 5-P1 BLOCK 2 PLAT FOR SUNRISE RANCH UNIT 1CONT .0958 AC	3983.8
100905609339120000	BERRY MARCELINA & MARCUS F BERRY	9805 LAUREN AVE SW	ALBUQUERQUE NM 87121	LOT 6-P1 BLOCK 1 PLAT FOR SUNRISE RANCH UNIT 1CONT .1745 AC	7731.7

100905611738521000	MAESTAS JENNIFER	405 DESERT ROCK DR SW	ALBUQUERQUE NM 87107	LOT 23 PLAT OF DESERT PINE CONT .0956 AC	4169.8
100905611539021000	GUERRA ELIZABETH J	401 DESERT ROCK DR SW	ALBUQUERQUE NM 87121	LOT 24 PLAT OF DESERT PINE CONT .1060 AC	4623.0
100905605438020000	SANDOVAL SAMUEL A SR & MARY E	12525 TOWNER AVE NE	ALBUQUERQUE NM 87112	LOT 9-P1 BLOCK 2 PLAT FOR SUNRISE RANCH UNIT 1CONT .0958 AC	4043.6
100905606036620000	ACCOMANDO LAURA M & MICHAEL G	9908 LAUREN AVE SW	ALBUQUERQUE NM 87121	LOT 16-P1 BLOCK 3 PLAT FOR SUNRISE RANCH UNIT 1CONT .0964 AC	4078.9
100905611838121000	ACOSTA NANCY	409 DESERT ROCK DR SW	ALBUQUERQUE NM 87121	LOT 22 PLAT OF DESERT PINE CONT .0918 AC	4001.2
100905609738120000	RODRIGUEZ JAVIER & JESUS J RODRIGUEZ	400 EVENING FIRE ST SW	ALBUQUERQUE NM 87121	LOT 8-P1 BLOCK 1 PLAT FOR SUNRISE RANCH UNIT 1CONT .1063 AC	4665.4
100905611539721000	AMADOR JUAN & CECILIA	9727 DESERT PINE AVE SW	ALBUQUERQUE NM 87121	LOT 25 PLAT OF DESERT PINE CONT .1476 AC	6837.8
100905607236920000	KELSEY JOHN J	9828 LAUREN AVE SW	ALBUQUERQUE NM 87121	LOT 19-P1 BLOCK 3 PLAT FOR SUNRISE RANCH UNIT 1CONT .0964 AC	4001.6
100905605137920000	AGUILAR MICHAEL O	9915 LAUREN AVE SW	ALBUQUERQUE NM 87121	LOT 8-P1 BLOCK 2 PLAT FOR SUNRISE RANCH UNIT 1CONT .0958 AC	4167.3
100905607138520000	MEDINA JAVIER A	9827 LAUREN AVE SW	ALBUQUERQUE NM 87121	LOT 1-P1 BLOCK 1 PLAT FOR SUNRISE RANCH UNIT 1CONT .1015 AC	4418.8
100905604737820000	ROMERO ADOLPH G	9919 LAUREN AVE SW	ALBUQUERQUE NM 87121	LOT 7-P1 BLOCK 2 PLAT FOR SUNRISE RANCH UNIT 1CONT .0958 AC	4053.1
100905612640121000	MONDRAGON JOSE CARLOS	9719 DESERT PINE AVE SW	ALBUQUERQUE NM 87121 3391	LOT 27 PLAT OF DESERT PINE CONT .0990 AC	4313.0
100905607938620000	CHACON LOUIE U & NORMA L	23617 RONAN AVE	CARSON CA 90745	LOT 3-P1 BLOCK 1 PLAT FOR SUNRISE RANCH UNIT 1CONT .0960 AC	4052.1
100905609737620000	ARTIAGA FRANCES	404 EVENING FIRE ST SW	ALBUQUERQUE NM 87121	LOT 9-P1 BLOCK 1 PLAT FOR SUNRISE RANCH UNIT 1CONT .0939 AC	4010.8
100905603536421000	LOWE RACHEAL E	401 SHARP SPUR ST SW	ALBUQUERQUE NM 87121 8584	LOT 1-P1 BLOCK 6 PLAT FOR SUNRISE RANCH UNIT 1CONT .1047 AC	4483.2
100905607538620000	RUBIO MARIA C	9823 LAUREN AVE SW	ALBUQUERQUE NM 87121	LOT 2-P1 BLOCK 1 PLAT FOR SUNRISE RANCH UNIT 1CONT .0957 AC	4174.5

100905614747221000	VISTA MANUFACTURED HOME COMMUNITY LTP	9597 CENTRAL AVE	MONTCLAIR CA 91763	LT 28-A-1 CORRECTION PLAT OF LTS 4-A-1 & 28-A-1 VISTA ADDNCONT 24.5212 AC +/-	1006370.0
100805751904040000	WILSON FLOYD D	6707 ACADEMY RD NE	ALBUQUERQUE NM 87109	TR4 ROW1 UNIT A WEST OF WESTLAND ATRISCO GRANT CONT 5.00 AC	221659.1
100905608337020000	TURRIETTA ANDREW	405 EVENING FIRE ST SW	ALBUQUERQUE NM 87121	LOT 2-P1 BLOCK 3 PLAT FOR SUNRISE RANCH UNIT 1CONT .1138 AC	4603.1
100905705003530000	PETERSON PROPERTIES INVESTMENTS LLC	2105 CENTRAL AVE NW	ALBUQUERQUE NM 87104 1605	LT 4 PLAT OF LOTS 1 THRU 4 VOLCANO POINT SHOPPING CENTER(BEING A REPLAT OF TRACT 1A ROW 1 UNIT 1 WEST OF WESTLAND)CONT 1.2317 AC	54605.5
100905603537520000	GARCIA JEROMY J & MELISSA R	10005 LAUREN AVE SW	ALBUQUERQUE NM 87121	LOT 4-P1 BLOCK 2 PLAT FOR SUNRISE RANCH UNIT 1CONT .0958 AC	3935.3
100905606836820000	TORREZ MICHELLE A	9900 LAUREN AVE SW	ALBUQUERQUE NM 87121	LOT 18-P1 BLOCK 3 PLAT FOR SUNRISE RANCH UNIT 1CONT .0964 AC	4057.0
100905609738620000	CHAVEZ LEONORA M	9801 LAUREN AVE SW	ALBUQUERQUE NM 87121	LOT 7-P1 BLOCK 1 PLAT FOR SUNRISE RANCH UNIT 1CONT .1705 AC	7275.9
100905612140021000	HIGGINS MATTHEW & JENNIFER GAUTHIER	9723 DESERT PINE AVE SW	ALBUQUERQUE NM 87121	LOT 26 PLAT OF DESERT PINE CONT .1092 AC	4770.8
100905613040221000	HENRY STEVEN E & SYLVIA R	PO BOX 22087	ALBUQUERQUE NM 87154	LOT 28 PLAT OF DESERT PINE CONT .0918 AC	4000.1
100905607637020000	FERNANDEZ JOHN M	11600 BAJA DR NE	ALBUQUERQUE NM 87111	LOT 20-P1 BLOCK 3 PLAT FOR SUNRISE RANCH UNIT 1CONT .0964 AC	3988.2
100905604836320000	HSBC MORTGAGE SERVICES INC	1270 NORTHLAND DR SW SUITE 200	MENDOTA HEIGHTS MN 55120	LOT 13-P1 BLOCK 3 PLAT FOR SUNRISE RANCH UNIT 1CONT .1083 AC	4658.8
100905605236420000	FAJARDO JOSEPHINE E	9916 LAUREN SW	ALBUQUERQUE NM 87121	LOT 14-P1 BLOCK 3 PLAT FOR SUNRISE RANCH UNIT 1CONT .0964 AC	4150.8
100905608338820000	GONZALES JACOB A & ROMERO MONICA R	9815 LAUREN AVE SW	ALBUQUERQUE NM 87121	LOT 4-P1 BLOCK 1 PLAT FOR SUNRISE RANCH UNIT 1CONT .1060 AC	4608.5

100905602737320000	PHILLIPS DALLAS & CHARLES PHILLIPS	10015 LAUREN AVE SW	ALBUQUERQUE NM 87121	LOT 2-P1 BLOCK 2 PLAT FOR SUNRISE RANCH UNIT 1CONT .0958 AC	3929.2
100905604337720000	ROSALES REBECCA	9923 LAUREN AVE SW	ALBUQUERQUE NM 87121	LOT 6-P1 BLOCK 2 PLAT FOR SUNRISE RANCH UNIT 1CONT .0958 AC	3991.1
100905609251221000	MOYA DONMINICA M	9317 CENTRAL AVE NW	ALBUQUERQUE NM 87105	SOUTHERLY 120'FT OF LOT 25 BLK 10 ORIGINAL TOWNSITE OF WESTLAND	6256.8
100905611837821000	WERTS AARON C & ARCHIBEQUE WERTS MARLENE	415 DESERT ROCK DR SW	ALBUQUERQUE NM 87121	LOT 21 PLAT OF DESERT PINE CONT .0918 AC	4001.1
100905608839020000	RONI SIRAJUL L	6630 LINDA VISTA RD B-4	SAN DIEGO CA 92111	LOT 5-P1 BLOCK 1 PLAT FOR SUNRISE RANCH UNIT 1CONT .1268 AC	5386.4

98TH STEET LTD C/O LONGFORD  
HOMES  
7301 JEFFERSON NE  
ALBUQUERQUE NM 87109

ACCOMANDO LAURA M & MICHAEL G  
9908 LAUREN AVE SW  
ALBUQUERQUE NM 87121

ACOSTA NANCY  
409 DESERT ROCK DR SW  
ALBUQUERQUE NM 87121

AGUILAR MICHAEL O  
9915 LAUREN AVE SW  
ALBUQUERQUE NM 87121

AMADOR JUAN & CECILIA  
9727 DESERT PINE AVE SW  
ALBUQUERQUE NM 87121

ARTIAGA FRANCES  
404 EVENING FIRE ST SW  
ALBUQUERQUE NM 87121

BERRY MARCELINA & MARCUS F  
BERRY  
9805 LAUREN AVE SW  
ALBUQUERQUE NM 87121

CHACON LOUIE U & NORMA L  
23617 RONAN AVE  
CARSON CA 90745

CHAVEZ LEONORA M  
9801 LAUREN AVE SW  
ALBUQUERQUE NM 87121

COLUCCI ONORIO & VIRGINIA M  
3305 TENNESSEE ST NE  
ALBUQUERQUE NM 87110

FAJARDO JOSEPHINE E  
9916 LAUREN SW  
ALBUQUERQUE NM 87121

FAZIO JOSEPH A  
401 EVENING FIRE ST SW  
ALBUQUERQUE NM 87121

FERNANDEZ JOHN M  
11600 BAJA DR NE  
ALBUQUERQUE NM 87111

GARCIA JEROMY J & MELISSA R  
10005 LAUREN AVE SW  
ALBUQUERQUE NM 87121

G-BART DEVELOPMENT GROUP  
PO DRAWER K  
ALBUQUERQUE NM 87103

GOFF ALAINA K  
436 CARLISLE BLVD NE  
ALBUQUERQUE NM 87106 1321

GONZALES JACOB A & ROMERO  
MONICA R  
9815 LAUREN AVE SW  
ALBUQUERQUE NM 87121

GUERRA ELIZABETH J  
401 DESERT ROCK DR SW  
ALBUQUERQUE NM 87121

HENRY STEVEN E & SYLVIA R  
PO BOX 22087  
ALBUQUERQUE NM 87154

HIGGINS MATTHEW & JENNIFER  
GAUTHIER  
9723 DESERT PINE AVE SW  
ALBUQUERQUE NM 87121

HSBC MORTGAGE SERVICES INC  
1270 NORTHLAND DR SW SUITE 200  
MENDOTA HEIGHTS MN 55120

KELSEY JOHN J  
9828 LAUREN AVE SW  
ALBUQUERQUE NM 87121

LOWE RACHEAL E  
401 SHARP SPUR ST SW  
ALBUQUERQUE NM 87121 8584

LUJAN RAMONICITA  
9905 LAUREN AVE SW  
ALBUQUERQUE NM 87121

MAESTAS JENNIFER  
405 DESERT ROCK DR SW  
ALBUQUERQUE NM 87107

MALTOS LUCILA P  
408 EVENING FIRE ST SW  
ALBUQUERQUE NM 87121

MEDINA JAVIER A  
9827 LAUREN AVE SW  
ALBUQUERQUE NM 87121

MONDRAGON JOSE CARLOS  
9719 DESERT PINE AVE SW  
ALBUQUERQUE NM 87121 3391

MOYA DOMINICA M  
9317 CENTRAL AVE NW  
ALBUQUERQUE NM 87105

MOYA DONMINICA M  
9317 CENTRAL AVE NW  
ALBUQUERQUE NM 87105

PARAGGIO ROBERT P  
10001 LAUREN AVE SW  
ALBUQUERQUE NM 87121

PETERSON PROPERTIES  
INVESTMENTS LLC  
2105 CENTRAL AVE NW  
ALBUQUERQUE NM 87104 1605

PHILLIPS DALLAS & CHARLES  
PHILLIPS  
10015 LAUREN AVE SW  
ALBUQUERQUE NM 87121

RODRIGUEZ JAVIER & JESUS J  
RODRIGUEZ  
400 EVENING FIRE ST SW  
ALBUQUERQUE NM 87121

ROJAS ERNESTO & DEBORAH  
9904 LAUREN AVE SW  
ALBUQUERQUE NM 87121

ROMERO ADOLPH G  
9919 LAUREN AVE SW  
ALBUQUERQUE NM 87121

RONI SIRAJUL L  
6630 LINDA VISTA RD B-4  
SAN DIEGO CA 92111

ROSALES REBECCA  
9923 LAUREN AVE SW  
ALBUQUERQUE NM 87121

RUBIO MARIA C  
9823 LAUREN AVE SW  
ALBUQUERQUE NM 87121

SANDOVAL SAMUEL A SR & MARY E  
12525 TOWNER AVE NE  
ALBUQUERQUE NM 87112

SANTOS VERONICA  
9912 LAUREN AVE SW  
ALBUQUERQUE NM 87121

TORREZ MICHELLE A  
9900 LAUREN AVE SW  
ALBUQUERQUE NM 87121

TURRIETTA ANDREW  
405 EVENING FIRE ST SW  
ALBUQUERQUE NM 87121

VISTA MANUFACTURED HOME  
COMMUNITY LTP  
9597 CENTRAL AVE  
MONTCLAIR CA 91763

WERTS AARON C & ARCHIBEQUE  
WERTS MARLENE  
415 DESERT ROCK DR SW  
ALBUQUERQUE NM 87121

WILSON FLOYD D  
6707 ACADEMY RD NE  
ALBUQUERQUE NM 87109



Project# 1007759  
ONORIO COLUCCI  
PO BOX 14274  
ALBUQUERQUE, NM 87191

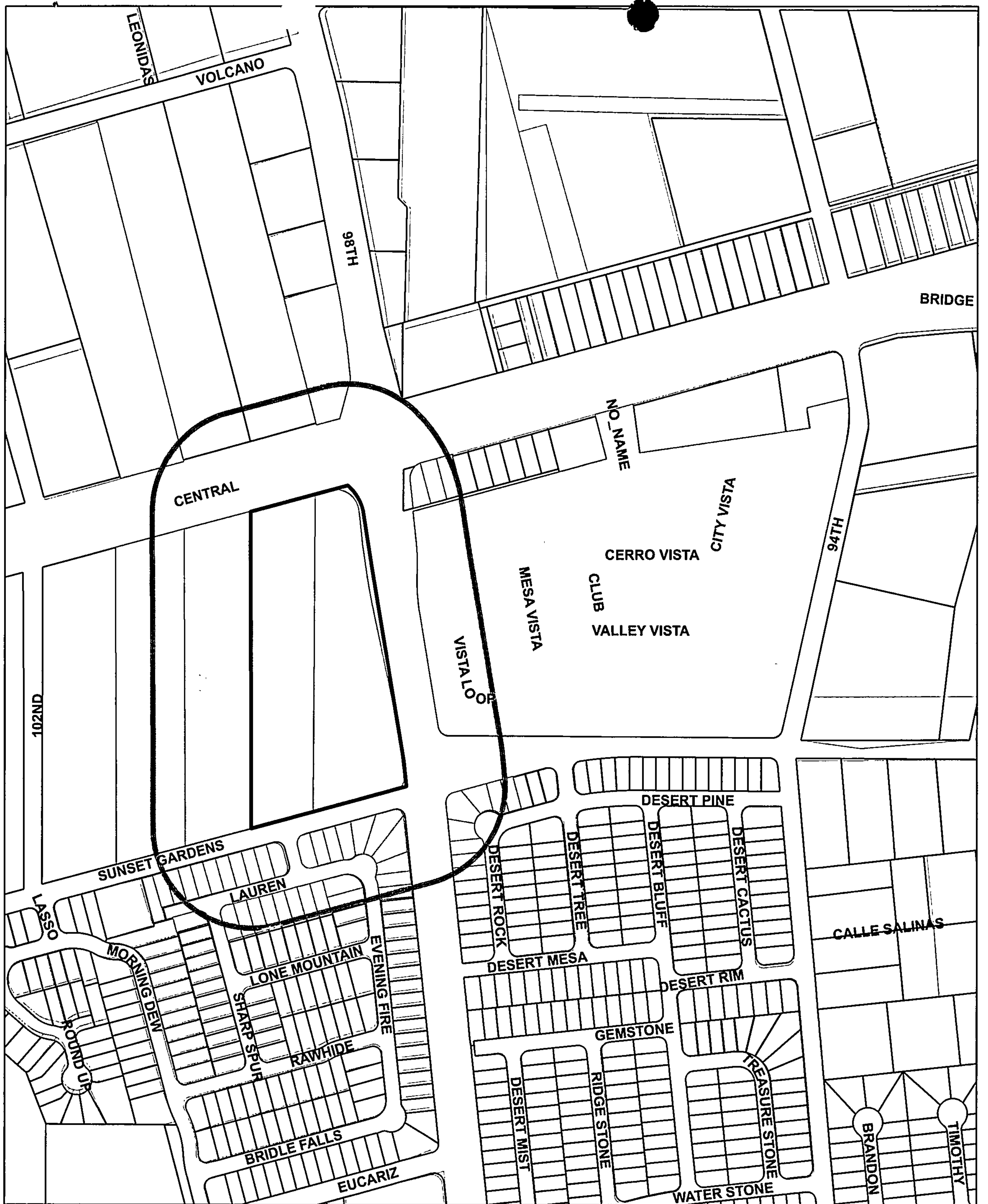
Project# 1007759  
LARKIN GROUP NM INC  
8500 MENAUL BLVD NE STE A-440  
ALBUQUERQUE, NM 87112

Project# 1007759  
LARRY NELSON  
929 OLD COORS SW  
ALBUQUERQUE, NM 87105




Project# 1007759  
HUMBERTO PEREZ  
701B OLD COORS SW  
ALUBQUERQUE, NM 87105

Project# 1007759  
KELLY CHAPPELLE  
9135 SANTA CATALINA AVE NW  
ALBUQUERQUE, NM 87121

Project# 1007759  
JANE HAMILTON  
9106 STARBOARD NW  
ALBUQUERQUE, NM 87121



\*Note parcels not selected by buffer are city owned property

-  Buffer
-  Project Site
-  Ownership Selection

**Ownership Selection**  
 Project# 1007759  
 09DRB-70397  
 09DRB-70398  
 09DRB-70399  
 09DRB-70340



HEARING DATE 1/27/10 (BLU, TDS, SPS, PIF)

DEV.  
REVIEW

7. **Project# 1007760**  
09DRB-70143 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

THE SURVEY OFFICE LLC agent(s) for FRANK VENAGUIA request(s) the above action(s) for all or a portion of Lot(s) 10-12, Block(s) 55, **NEW MEXICO TOWN COMPANY'S ORIGINAL TOWNSITE OF ALBUQUERQUE** zoned SU-2/ RC, located on TIJERAS AVE NW BETWEEN 11TH ST NW AND KENT AVE NW containing approximately 0.2634 acre(s). (J-13) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR SIDEWALK CONSTRUCTION ON KENT AND TO PLANNING FOR AGIS DXF FILE.**

**NO ACTION IS TAKEN ON THESE CASES:**  
**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

8. **Project# 1007757**  
09DRB-70141 SKETCH PLAT REVIEW  
AND COMMENT

TERRAMETRICS OF NEW MEXICO agent(s) for MARIA SALAZAR request(s) the above action(s) for all or a portion of Lot(s) 1-3, Block(s) 2, **FAIR GROUNDS ADDITION** zoned C-2, located on CENTRAL AVE BETWEEN SAN PEDRO SE AND LOUISIANA SE containing approximately .49 acre(s). (K-18) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

9. ~~**Project# 1007759**~~  
09DRB-70142 SKETCH PLAT REVIEW  
AND COMMENT

LARKIN GROUP NM INC agent(s) for ONORIO COLUCCI request(s) the above action(s) for all or a portion of Lot(s) 1A & 2, Block(s) 1, **LANDS OF ATRISCO GRANT** zoned SU-2 PRD, located on 98TH ST SW BETWEEN CENTRAL AVE SW AND SUNSET GARDENS SW containing approximately 8.6662 acre(s). (L-09) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

10. **Project# 1007761**  
09DRB-70146 SKETCH PLAT REVIEW  
AND COMMENT

MORROW REARDON WILKINSIN MILLAR LTD agent(s) for CITY OF ALBUQUERQUE request(s) the above action(s) for all or a portion of Tract(s) A2, B & 12, **BLACK ARROYO PARK Unit(s) 1**, zoned R-1, located on QUARRY NW BETWEEN BUCKBOARD NW AND TANZANITE NE containing approximately 3.43 acre(s). (A-12) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

11. Other Matters: NONE

ADJOURNED: 10:25

**CITY OF ALBUQUERQUE**

**PLANNING DEPARTMENT**

**April 22, 2009**

**DRB Comments**


**ITEM # 9**

**PROJECT # 1007759**

**APPLICATION # 09-70142**

**RE: Lots 1A & 2, Block 1, Town of Atrisco Grant**

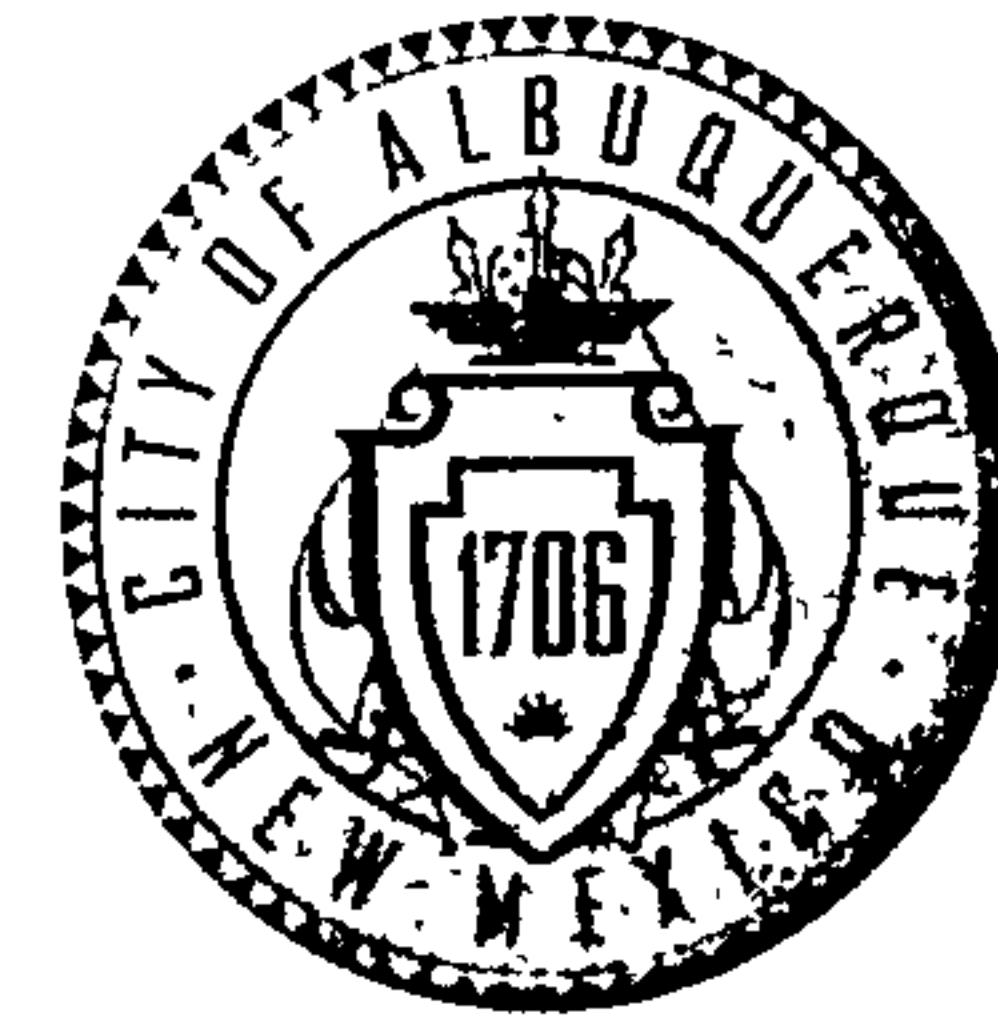
Per the Subdivision Ordinance, site development plan approval will be required prior to or concurrent with the proposed plat. The site development plan approval process by the City Planner through the West Route 66 Sector Development plan is by an advertised public hearing at the Development Review Board. The 30% Office/Residential requirement will need to be addressed on the site development plan. The requirement for future site plans must also be clearly noted in order to qualify for a Bulk Land Variance (waiver of infrastructure) – this would require a two site plans (one for the “2 Lot” subdivision, then one to create the subdivision of the larger lot into 5 lots, and that subdivision would require infrastructure.




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Jack Cloud AICP, DRB Chairman  
924-3880/ jcloud@cabq.gov

# CITY OF ALBUQUERQUE



## CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

### DEVELOPMENT REVIEW BOARD--SPEED MEMO

**DRB CASE NO/PROJECT NO: 1007759**

**AGENDA ITEM NO: 9**

**SUBJECT:**

Sketch Plat/Plan

**ACTION REQUESTED:**

REV/CMT:(x) APP:() SIGN-OFF:() EXTN:() AMEND:()

PO Box 1293

**ENGINEERING COMMENTS:**

Albuquerque

An approved infrastructure list is required for Preliminary Plat approval.  
An executed Subdivision Improvements Agreement with financial guarantees is required for Final Plat sign-off.

NM 87103

**RESOLUTION:**

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED *discussed* X; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee  
924-3986

**DATE:** April 22, 2009



Supplemental Form (SF)

**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): Larkin Group NM, Inc. PHONE: 505-275-7500  
 ADDRESS: 8500 Menaul Blvd. NE, Suite A-440 FAX: 505-275-0748  
 CITY: Albuquerque STATE NM ZIP 87112 E-MAIL: jandrews@larkinm.com

APPLICANT: Onorio Colucci PHONE: 505-450-4298  
 ADDRESS: P.O. Box 14374 FAX: N/A  
 CITY: Albuquerque STATE NM ZIP 87191 E-MAIL: N/A  
 Proprietary interest in site: Ownership List all owners: Onorio Colucci

DESCRIPTION OF REQUEST: Extension of Preliminary Plat

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Lot 1A & Lot 2 Block: 1 Unit: ----  
 Subdiv/Addn/TBKA: Lands of Atrisco Land Grant  
 Existing Zoning: SU-2 PDA Proposed zoning: Same MRGCD Map No N/A  
 Zone Atlas page(s): L-09 UPC Code: 100905606346420405 & 100905604545720404

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_, V\_, S\_, etc.):  
DRB Project No. 1007759 January 27, 2010

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill?  No  
 No. of existing lots: 2 No. of proposed lots: 2 Total site area (acres): 8.6662  
 LOCATION OF PROPERTY BY STREETS: On or Near: 98th Street SW  
 Between: Central Avenue and Sunset Gardens SW  
 Previous Extension Preliminary Plat 01-12-11, 01-11-12, 01-09-13, 01-08-14 and 01-21-15  
 Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: 01-27-10 Site

SIGNATURE John A. Andrews DATE 12-28-15  
 (Print Name) John A. Andrews, P.E. Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Revised: 4/2012

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>ISDRB - 70479</u>	<u>EPP</u>		<u>\$50.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CMF</u>		<u>\$20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned				\$
<input checked="" type="checkbox"/> AGIS copy has been sent				\$
<input checked="" type="checkbox"/> Case history #s are listed				\$
<input type="checkbox"/> Site is within 1000ft of a landfill				\$
<input type="checkbox"/> F.H.D.P. density bonus				\$
<input type="checkbox"/> F.H.D.P. fee-rebate				\$
	Hearing date <u>January 13, 2018</u>			Total <u>\$70.00</u>
	<u>12-29-15</u>	Project # <u>1007759</u>		
	Staff signature & Date			

**FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING**

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

**SKETCH PLAT REVIEW AND COMMENT (DRB22)** Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

**EXTENSION OF <sup>MINOR</sup> MAJOR PRELIMINARY PLAT (DRB08)** Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Copy of DRB approved infrastructure list
  - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
  - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.

**MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls 3 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

**MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** Your attendance is required.

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) 3 copies
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (verify with DRB Engineer)
- DXF file and hard copy of final plat data for AGIS is required.

**AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** Your attendance is required.

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
  - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

John A. Andrews  
Applicant name (print)  
John A. Andrews 12/28/15  
Applicant signature / date



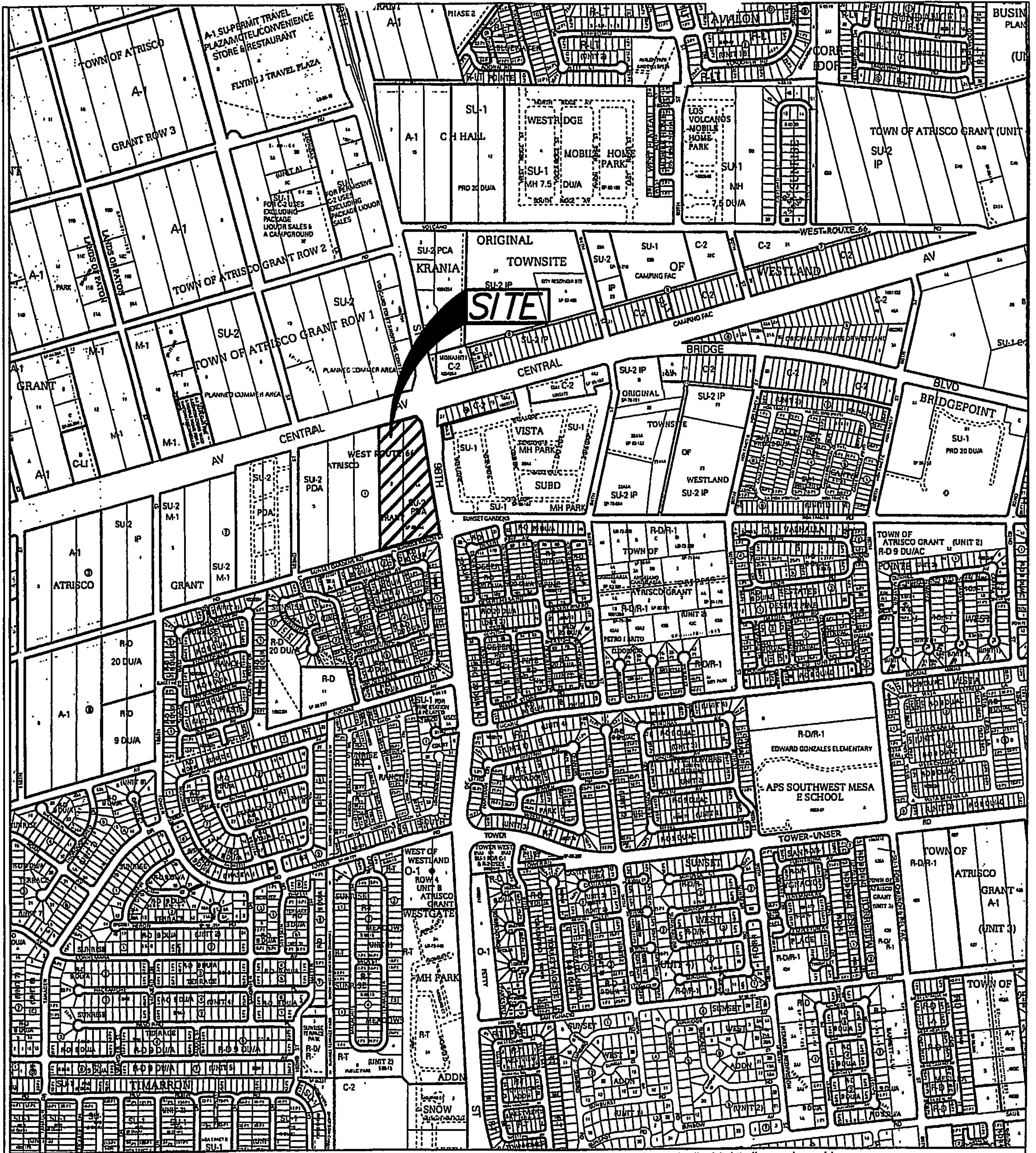
Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
15DRB-70479

Ying 12-29-15  
Planner signature / date  
Project # 1007789

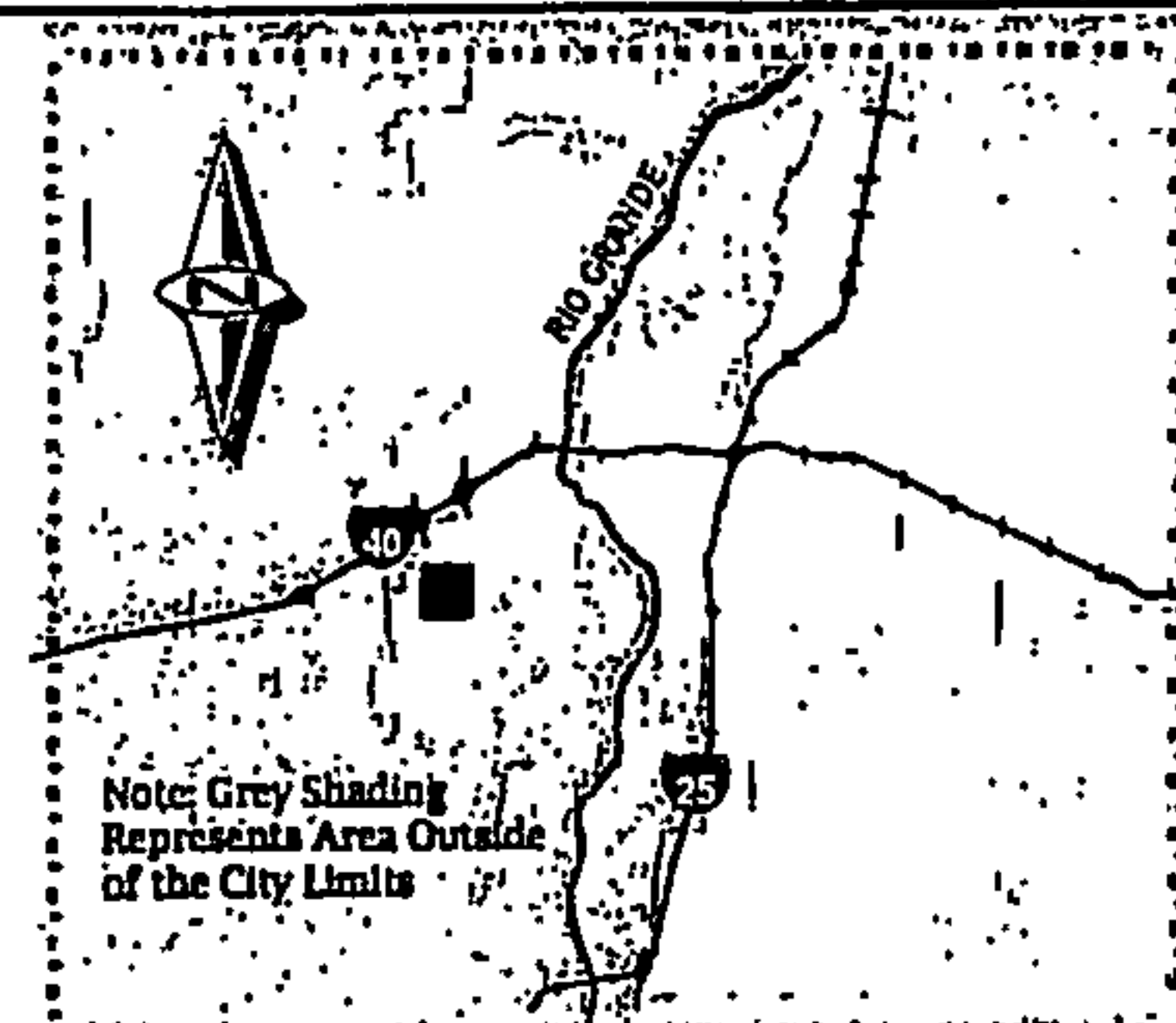




For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 6/13/2008



Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:

**L-09-Z**

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone





**LOCATION MAP**

SCALE: 1"=3000'±  
ZONE ATLAS MAP L-9

**REFERENCE DOCUMENTS**

1. Plat "Lands of the Atrisco Land Grant", filed August 25, 1961, in Vol. D3, Folio 26, Records of Bernalillo County, New Mexico.
2. Plat "Lots 1A and 1B, Block 1, Lands of the Atrisco Land Grant", filed September 6, 1986, Vol. C37, Folio 6B, Records of Bernalillo County, New Mexico.
3. Right of Way Maps, City of Albuquerque, Special Assessment District 222, dated August 1993.

**DISCLOSURE STATEMENT**

The purpose of this plat is to combine two lots into one subdivision, to create two new lots within the new subdivision and to grant the easements as shown for the purposes specified.

**DEVELOPMENT NOTES**

1. Two Lots are created by this plat.  
Lot 1 = 2,3078 Ac./100521 sq. ft.  
Lot 2 = 6,3588 Ac./276980 sq. ft.  
Total Acreage: 8,6662 Ac./377501 sq. ft.  
R.O.W. Dedication: None  
Net Acreage: 8,6662 Ac./377501 sq. ft.
2. Utility Council Location Log No: 2009-34-16-04

**FREE CONSENT AND DEDICATION**

The plat shown hereon is made in accordance with the desires of the undersigned owner(s) or proprietor(s) thereof. Said owner(s) or proprietor(s) do grant the easements shown hereon for the purposes specified; said owner(s) or proprietor(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided; said owner(s) and proprietor(s) do hereby certify that this is their free act and deed and do hereby represent that they are authorized to so act.

**OWNERS:**

*Onorio Colucci*  
ONORIO COLUCCI  
*Virginia M. Colucci*  
VIRGINIA M. COLUCCI  
STATE OF NEW MEXICO )  
                                  SS  
COUNTY OF BERNALILLO)



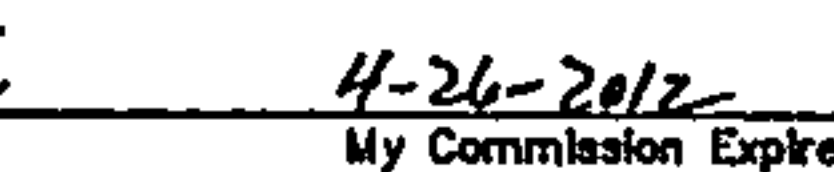
This instrument was acknowledged before me on August 25 of, 2009, by Onorio Colucci

*Holly W. Norton*  
NOTARY PUBLIC  
STATE OF NEW MEXICO )  
                                  SS  
COUNTY OF BERNALILLO)



This instrument was acknowledged before me on August 25 of, 2009, by Virginia M. Colucci

*Holly W. Norton*  
NOTARY PUBLIC  
STATE OF NEW MEXICO )  
                                  SS  
COUNTY OF BERNALILLO)



**LEGAL DESCRIPTION**

A certain parcel of land situate within Projected Section 28, Township 10 North, Range 2 East, New Mexico Principal Meridian, Town of Atrisco Grant, in the City of Albuquerque, Bernalillo County, New Mexico, being and comprising Lot 1-A, Plat of Lots 1-A & 1-B, Block 1, Lands of the Atrisco Land Grant, as the same is shown and designated on the Plat thereof filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 6, 1986 in Plat Book C37, Folio 6B and Lot 2, Block 1, Lands of the Atrisco Land Grant, as the same is shown and designated on the Plat thereof filed in the Office of the County Clerk of Bernalillo County, New Mexico on March 26, 1962 in Plat Book D3, Folio 26 and being more particularly described as follows:

Beginning at the northeast corner of the parcel herein described, a found #4 rebar with cap (not legible) in place, from whence the Albuquerque Control Station "REWARD" bears N17°55'38"W, a distance of 5743.46 feet; Thence from said point of beginning,  
S06°18'05"E, a distance of 62.88 feet to a point of curvature; Thence,  
Southeasterly, a distance of 280.95 feet, along the arc of a curve to the left having a radius of 2876.79 feet, a central angle of 5°35'44" and a chord which bears S09°05'57"E a distance of 280.84 feet; thence,  
S11°53'49"E, a distance of 194.04 feet to a point of curvature; Thence,  
Southeasterly, a distance of 274.94 feet, along the arc of a curve to the right having a radius of 2802.79 feet, a central angle of 5°37'14" and a chord which bears S09°05'12"E a distance of 274.83 feet to a point of compound curvature; thence,  
Southwesterly, a distance of 42.53 feet, along the arc of a curve to the right having a radius of 30.00 feet, a central angle of 81°13'57" and a chord which bears S34°20'17"W a distance of 39.06 feet to a point of tangency; thence,  
S74°57'15"W, a distance of 488.23 feet to the southwest corner of the parcel herein described; thence,  
N00°17'18"E, a distance of 954.39 feet to the northwest corner of the parcel herein described; thence,  
N74°57'23"E, a distance of 249.22 feet to a point of curvature; thence  
Southeasterly, a distance of 129.25 feet, along the arc of a curve to the right having a radius of 75.00 feet, a central angle of 98°44'32" and a chord which bears S55°40'21"E a distance of 113.84 feet to the point of beginning of the parcel herein described, containing 8.6662 acres (377501 sq.ft.), more or less.

**SURVEY NOTES**

1. Basis of bearings for the Survey shown hereon are New Mexico Coordinate System Grid Bearings, Central Zone, NAD 1983, NAVD 1988 Datum, Transverse Mercator Projection, New Mexico.

Albuquerque Control Station "REWARD"  
X=1,491,190.819 Y=1,487,364.063 (NAD 1983)  
Scale Factor: 0.999675005  
Convergence: -0°17'12.26"  
Elevation (NAVD 1988) 6318.688 feet

Albuquerque Control Station "7-19"  
X=1,493,224.214 Y=1,478,409.331 (NAD 1983)  
Scale Factor: 0.999681058  
Convergence: -0°16'57.27"  
Elevation (NAVD 88) 5178.475 feet

2. Corner monuments "SET" by this survey are capped #5 rebar, 1.5' feet in length, embossed "PLS 12804" or as described hereon. Existing corner monumentation found by this survey is described hereon.
3. Distances are horizontal ground distances.
4. Bearings and distances shown in parentheses ( ) are from recorded plats.

**UTILITIES APPROVAL**

PNM	DATE
NEW MEXICO GAS COMPANY	DATE
QWEST TELECOMMUNICATIONS	DATE
COMCAST	DATE

**PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:**

- A. Public Service Company of New Mexico (PNM) for the installation, maintenance and service of underground and overhead electrical lines, transformers and other equipment and related facilities reasonably necessary to provide electrical service.
- B. New Mexico Gas Company for the installation, maintenance and service of such lines and other related equipment and facilities reasonably necessary to provide gas service.
- C. Qwest Telecommunications for the installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including, but not limited to ground pedestals and closures.
- D. Comcast for the installation, maintenance and service of such lines and other related equipment and facilities reasonably necessary to provide cable TV service.

Included is the right to build, rebuild, construct, locate, relocate, change, modify, renew, operate and maintain facilities for the purposes described above, together with free access to, from and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood decking or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Owners shall be solely responsible for correcting any violations of the National Electric Safety Code by construction of pools, decking or any structures adjacent to or near easements shown on this plat.

**NOTICE OF SUBDIVISION PLAT CONDITIONS**

Pursuant to Section 7 of the City of Albuquerque Subdivision Ordinance, a variance or waiver from certain subdivision requirements has been granted by the City and the Albuquerque Metropolitan Arroyo Flood Control Authority in connection with this plat.

Future subdivision of lands designated as Lot 2 within this plat, zoning, Site Development Plan approvals and development permits may be conditioned upon dedication of rights-of-way and easements and/or sewer, streets, drainage, grading and parks in accordance with current resolutions, ordinances and policies in effect at the time for any specific project.

The City (and AMAFCA with reference to drainage) may require and/or permit easements to be added, modified or removed when future plats and/or site developments are approved.

By its approval of this subdivision the City makes no representation or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: improvements; park and open space requirements; drainage requirements and/or improvements; and, excavation, filling or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

A separate notice of these conditions is recorded with the County Clerk on \_\_\_\_\_

In Book \_\_\_\_\_, Page \_\_\_\_\_.

**PLAT OF  
LOTS 1 & 2  
MERCADO  
CAMINO 66**

BEING A REPLAT OF  
LOT 1A & LOT 2, BLOCK 1  
LANDS OF THE ATRISCO LAND GRANT

AUGUST, 2009

THIS IS TO CERTIFY THAT TAXES ARE CURRENT

AND PAID ON UPC #100905606346420405

#100905604545720404

PROPERTY OWNER OF RECORD: \_\_\_\_\_

BERNALILLO COUNTY TREASURER'S OFFICE: \_\_\_\_\_

**APPROVALS**

*Gregory L. Steiner*  
CITY SURVEYOR  
8-25-09  
DATE

TRAFFIC ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

DESIGN AND DEVELOPMENT, CIP \_\_\_\_\_ DATE \_\_\_\_\_

PARKS AND RECREATION DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

UTILITY DEVELOPMENT DIVISION \_\_\_\_\_ DATE \_\_\_\_\_

PROPERTY MANAGEMENT \_\_\_\_\_ DATE \_\_\_\_\_

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY \_\_\_\_\_ DATE \_\_\_\_\_

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, ARTICLE XI OF CHAPTER 7 OF THE REVISED ORDINANCES OF ALBUQUERQUE, N.M.

CITY PLANNER, ALBUQUERQUE/BERNALILLO COUNTY PLANNING DIVISION \_\_\_\_\_ DATE \_\_\_\_\_

CASE No. \_\_\_\_\_ PLAT No. \_\_\_\_\_

**SURVEYOR'S CERTIFICATE**

I, Gregory L. Steiner, New Mexico Professional Surveyor No. 12804, do hereby certify that the real property shown hereon has been surveyed, monumented and platted by me or under my direct supervision and responsible charge, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest that said survey meets the minimum requirements of the City of Albuquerque Subdivision Ordinance, is in accordance with the Standards for Land Surveys in New Mexico and that said survey and plat is true and correct to the best of my knowledge and belief.

*Gregory L. Steiner*  
GREGORY L. STEINER, MPS 12804  
08-20-2009  
DATE



**LARKIN GROUP N.M., INC.**  
CONSULTING ENGINEERS AND SURVEYORS  
8500 MENAUL BLVD, NE A-440  
ALBUQUERQUE, NEW MEXICO 87112  
(505) 275-7500 FAX (505) 275-0748  
www.larkinm.com FILE #2008-0013

# PLAT OF LOTS 1 & 2 MERCADO CAMINO 66

BEING A REPLAT OF  
LOT 1A & LOT 2, BLOCK 1  
LANDS OF THE ATRISCO LAND GRANT  
AUGUST, 2009

### CURVE DATA-ROADWAY EASEMENT

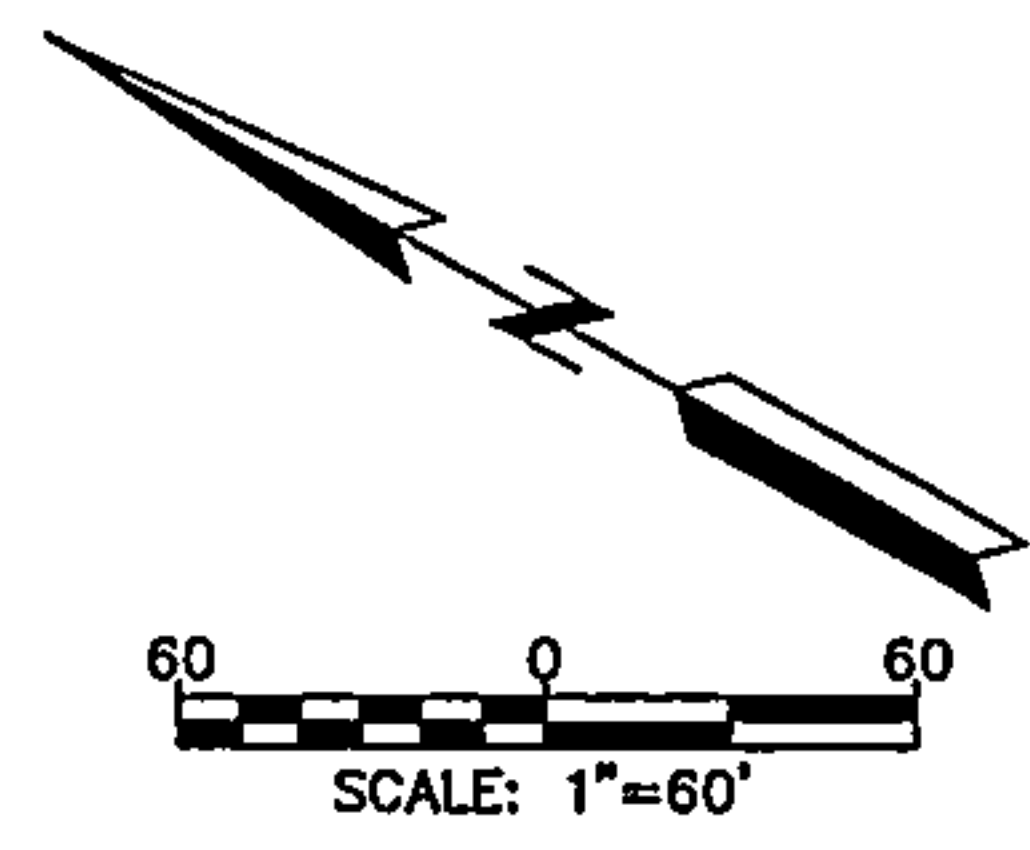
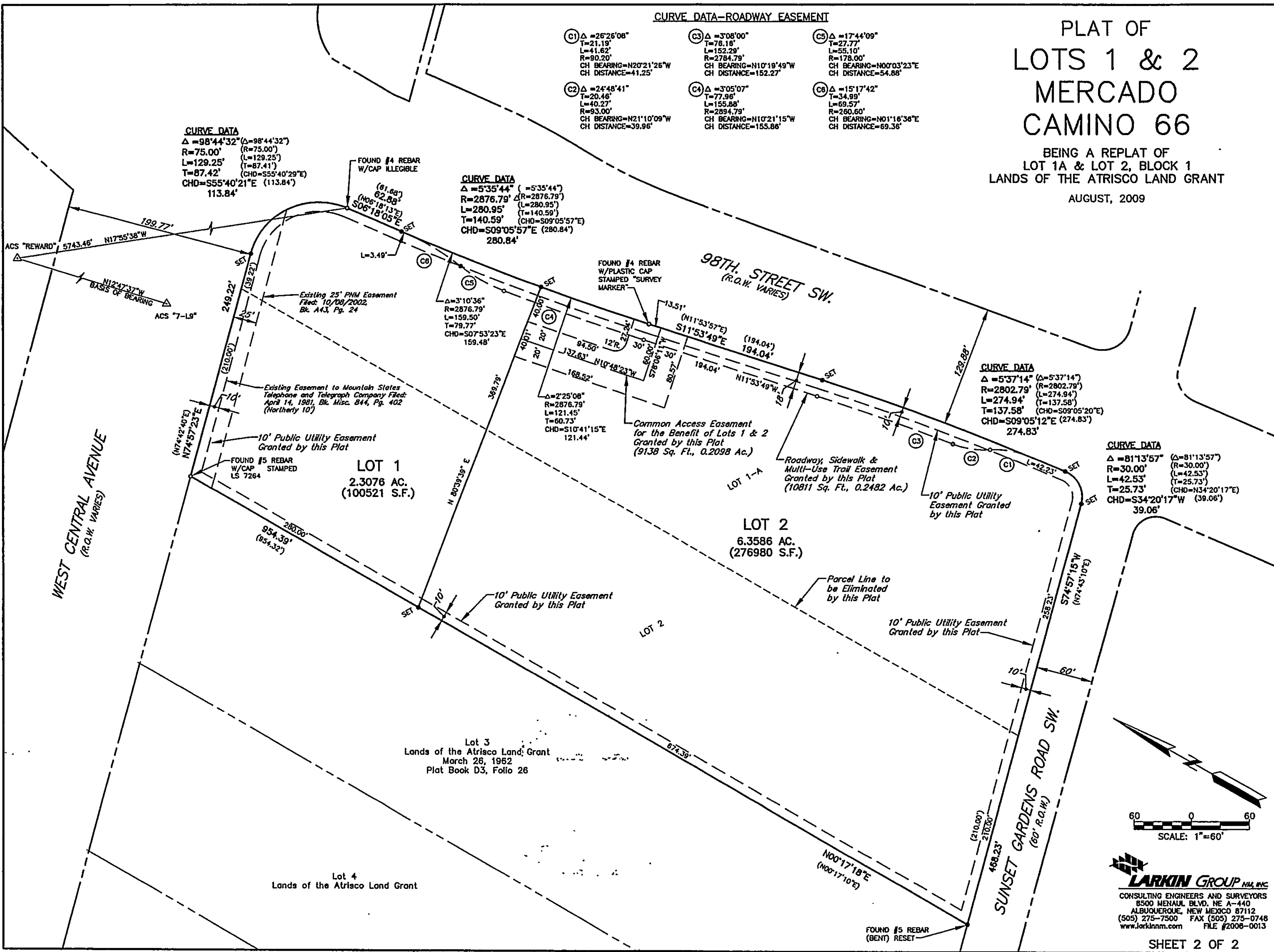
- |   |  |  |
|---|--|--|
| (C1) $\Delta = 26^{\circ}26'08''$<br>T=21.19'<br>L=41.62'<br>R=90.20'<br>CH BEARING=N20°21'26"W<br>CH DISTANCE=41.25' | (C3) $\Delta = 3^{\circ}08'00''$<br>T=78.18'<br>L=152.29'<br>R=2784.79'<br>CH BEARING=N10°19'49"W<br>CH DISTANCE=152.27' | (C5) $\Delta = 17^{\circ}44'09''$<br>T=27.77'<br>L=55.10'<br>R=178.00'<br>CH BEARING=N00°03'23"E<br>CH DISTANCE=54.88' |
| (C2) $\Delta = 24^{\circ}48'41''$<br>T=20.46'<br>L=40.27'<br>R=93.00'<br>CH BEARING=N21°10'09"W<br>CH DISTANCE=39.96' | (C4) $\Delta = 3^{\circ}05'07''$<br>T=77.98'<br>L=155.88'<br>R=2894.79'<br>CH BEARING=N10°21'15"W<br>CH DISTANCE=155.86' | (C6) $\Delta = 15^{\circ}17'42''$<br>T=34.99'<br>L=69.57'<br>R=260.60'<br>CH BEARING=N01°16'36"E<br>CH DISTANCE=69.36' |

**CURVE DATA**  
 $\Delta = 98^{\circ}44'32''$  ( $\Delta = 98^{\circ}44'32''$ )  
R=75.00' (R=75.00')  
L=129.25' (L=129.25')  
T=87.42' (T=87.41')  
CHD=S55°40'21"E (113.84')  
113.84'

**CURVE DATA**  
 $\Delta = 5^{\circ}35'44''$  ( $\Delta = 5^{\circ}35'44''$ )  
R=2876.79' (R=2876.79')  
L=280.95' (L=280.95')  
T=140.59' (T=140.59')  
CHD=S09°05'57"E (280.84')  
280.84'

**CURVE DATA**  
 $\Delta = 5^{\circ}37'14''$  ( $\Delta = 5^{\circ}37'14''$ )  
R=2802.79' (R=2802.79')  
L=274.94' (L=274.94')  
T=137.58' (T=137.58')  
CHD=S09°05'12"E (274.83')  
274.83'

**CURVE DATA**  
 $\Delta = 81^{\circ}13'57''$  ( $\Delta = 81^{\circ}13'57''$ )  
R=30.00' (R=30.00')  
L=42.53' (L=42.53')  
T=25.73' (T=25.73')  
CHD=S34°20'17"W (39.06')  
39.06'



**LARKIN GROUP** LLP, INC.  
CONSULTING ENGINEERS AND SURVEYORS  
8500 MENAUL BLVD. NE A-440  
ALBUQUERQUE, NEW MEXICO 87112  
(505) 275-7500 FAX (505) 275-0748  
www.larkinm.com FILE #2008-0013

December 29, 2015

Mr. Jack Cloud, Chairman  
Development Review Board  
City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

**Subject: Preliminary Plat Extension  
Mercado Camino 66 Subdivision  
DRB Project No. 1007759**

Dear Mr. Cloud:

This is a request to extend the above subject preliminary plat for one year.

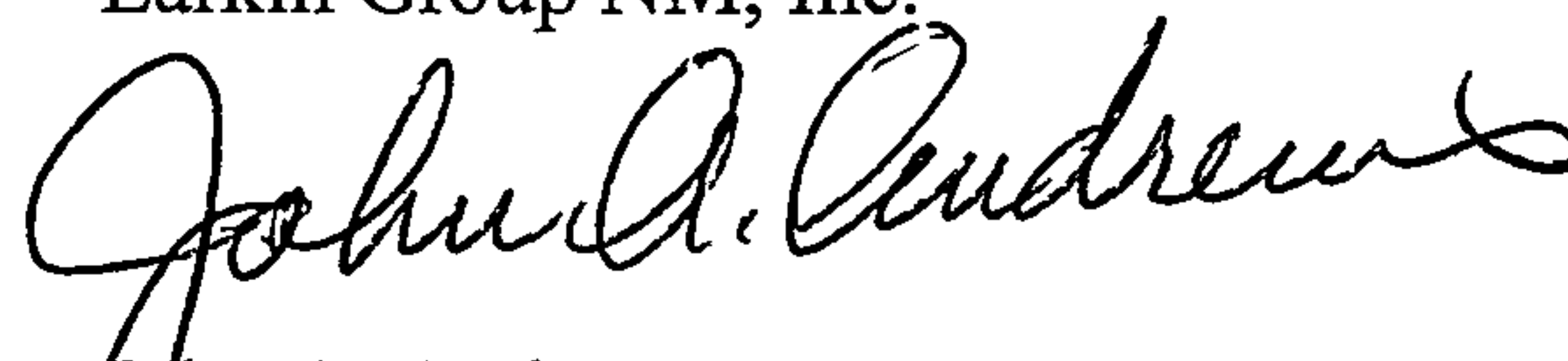
The preliminary plat was approved previously by DRB on January 27, 2010 and an extension of the preliminary plat on January 12, 2011, January 11, 2012, January 9, 2013, January 8, 2014 and January 21, 2015.

At the time of preparation of the preliminary plat and presenting it to DRB the owner of the property had been contacted by a possible user of a portion of the property. However, this has not materialized and the user currently has backed out of purchasing a portion of the property. The owner continues to market the property but there is not an indication that a sale is imminent at this time.

We therefore request that DRB approve a one-year extension of the preliminary plat to allow the owner more time to market the property during this slower economic time. A pending sale is needed to generate the funds for the owner to construct the infrastructure improvements.

Please call on any questions or comments you may have.

Very truly yours,  
Larkin Group NM, Inc.



John A. Andrews, P.E.  
Principal

JAA:tal  
cc: Onorio Colucci, Owner

**INFRASTRUCTURE LIST**

(Rev. 9-20-05)

**EXHIBIT "A"**

Date Site Plan Approved: 01-27-10

Date Preliminary Plat Approved: 01-27-10

Date Preliminary Plat Expires: 01-27-11

DRB Project No.: 1007759

DRB Application No.: 09-7400

**TO SUBDIVISION IMPROVEMENTS AGREEMENT**

**DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

MERCADO CAMINO 66 LOT-1

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Lot 1A & Lot 2, Block 1 Land of Atrisco Grant.

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		width varies	Median Opening & Left Turn Holding Lane	98 <sup>th</sup> Street	500 ft. So. of Central	900 ft. So. of Central			
		12' wide	Deceleration Lane at West Curb Line	98 <sup>th</sup> Street	280 ft. So. of Central	510 ft. So. of Central			
		10' wide	Relocation of Multi-Use Trail	98 <sup>th</sup> Street	250 ft. So. of Central	700 ft. So. of Central			
		40' wide	Turnout to Property	98 <sup>th</sup> Street	at 530 ft. So. of Central				
		32' wide	Turnout to Property	Central Ave.	at 390 ft. W. of 98 <sup>th</sup> St.				
		Std	Curb & Gutter	South Side Central Ave	175 ft. W. of 98 <sup>th</sup> St.	350 ft. W. of 98 <sup>th</sup> St.			
		2 EA	Curb Inlet Modification	98 <sup>th</sup> Street	at Deceleration Lane				

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification				
							Private Inspector	P.E.	City Cnst Engineer		
<input type="text"/>	<input type="text"/>						/	/	/		
<input type="text"/>	<input type="text"/>						/	/	/		
Approval of Creditable Items:							Approval of Creditable Items:				
Impact Fee Administrator Signature							Date		City User Dept. Signature		Date

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

- 1 \_\_\_\_\_
- 2 \_\_\_\_\_
- 3 \_\_\_\_\_

AGENT / OWNER

John A. Andrews  
NAME (print)  
Larkin Group NM, Inc  
FIRM  
John A. Andrews 12/21/09  
SIGNATURE - date

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

[Signature] 01/27/10  
DRB CHAIR - date  
[Signature] 01/27/10  
TRANSPORTATION DEVELOPMENT - date  
[Signature] 1-27-10  
UTILITY DEVELOPMENT - date  
Bradley S. Biker 1-27-10  
CITY ENGINEER - date

Christina Sandoral 1/27/10  
PARKS & RECREATION - date  
\_\_\_\_\_  
AMAFCA - date  
\_\_\_\_\_  
- date  
\_\_\_\_\_  
- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

January 21, 2015

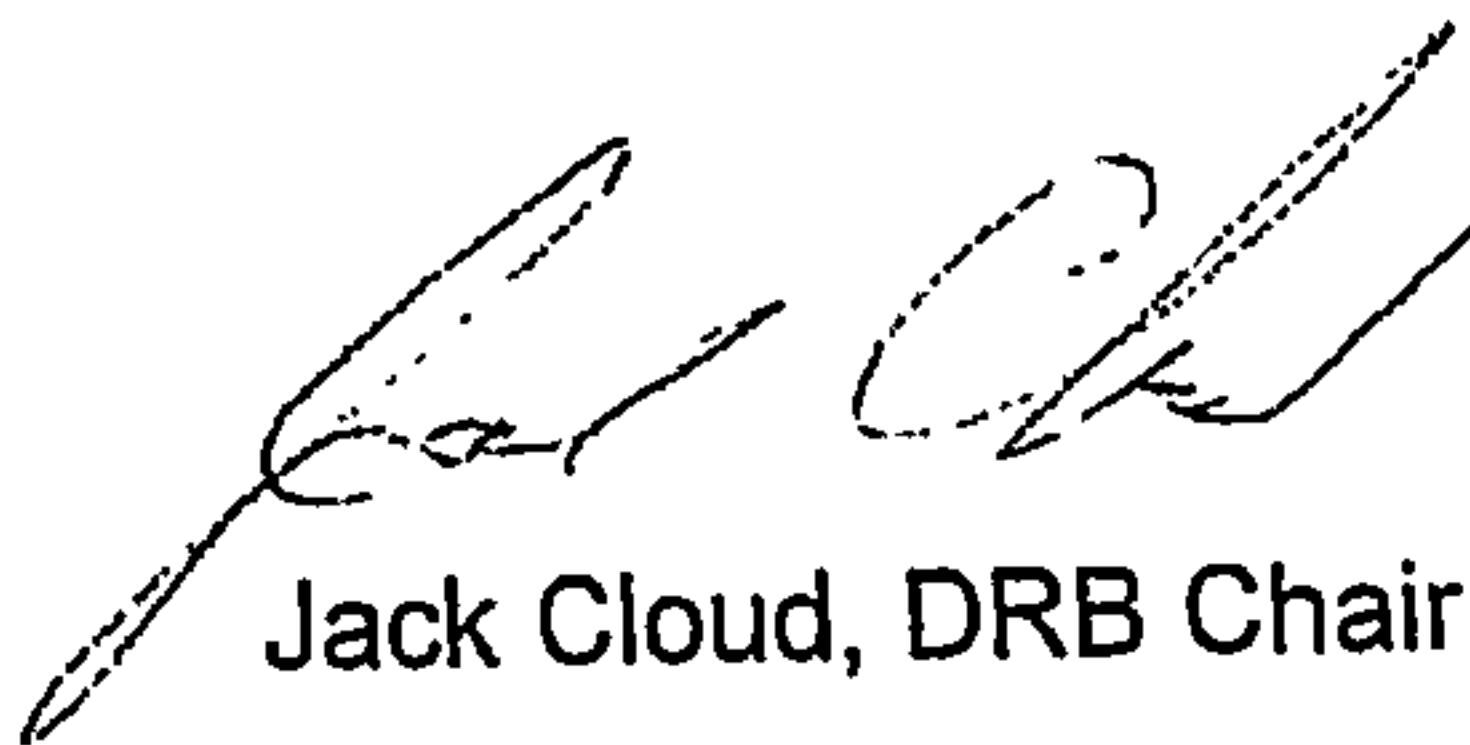
**Project# 1007759**  
15DRB-70003 EXT OF MAJOR PRELIMINARY PLAT

LARKIN GROUP NM, INC. agent(s) for ONORIO COLUCCI request(s) the above action(s) for all or a portion of Lot(s) 1A & 2, Block(s) 1, **LANDS OF ATRISCO LAND GRANT** zoned SU-2/PDA, located on 98TH ST BETWEEN CENTRAL AND SUNSET GARDENS containing approximately 8.6662 acre(s). (L-9)

At the January 21, 2015 Development Review Board meeting, the one-year extension of the preliminary plat was approved.

The conditions of final plat still apply.

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)



Jack Cloud, DRB Chair

PROJECT #  
1007759

January 13. 2016

EFF





Supplemental Form (SF)

**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): Larkin Group NM, Inc. PHONE: 505-275-7500  
 ADDRESS: 8500 Menaul Blvd NE, Suite A-440 FAX: 505-275-0748  
 CITY: Albuquerque STATE NM ZIP 87112 E-MAIL: jandrews@larkinm.com

APPLICANT: Onorio Colucci PHONE: 505-450-4298  
 ADDRESS: P.O. Box 14374 FAX: N/A  
 CITY: Albuquerque STATE NM ZIP 87191 E-MAIL: N/A  
 Proprietary interest in site: Ownership List all owners: Onorio Colucci

DESCRIPTION OF REQUEST: Extension of Preliminary Plat

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Lot 1A & Lot 2 Block: 1 Unit: ---  
 Subdiv/Addn/TBKA: Lands of Atrisco Land Grant  
 Existing Zoning: SU-2 PDA Proposed zoning: Same MRGCD Map No N/A  
 Zone Atlas page(s): L-09 UPC Code: 100905606346420405 & 100905604545720404

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_, Z\_, V\_, S\_, etc.): \_\_\_\_\_  
DRB Project No. 1007759 January 27, 2010

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill?  No  
 No. of existing lots: 2 No. of proposed lots: 2 Total site area (acres): 8.6662  
 LOCATION OF PROPERTY BY STREETS: On or Near: 98th Street SW  
 Between: Central Avenue and Sunset Gardens SW

Check if project was previously reviewed by: Previous Extension Preliminary Plat 01-12-11, 01-11-12, 01-09-13 and 01-08-14  
 Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: 01-27-10 Site Development Plan & Preliminary Plat Approval

SIGNATURE John A. Andrews DATE 01-06-15  
 (Print Name) John A. Andrews, P.E. Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Revised: 4/2012

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>15 DRB - 70003</u>	<u>EPP</u>		<u>\$ 50.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CMF</u>		<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned				\$
<input checked="" type="checkbox"/> AGIS copy has been sent				\$
<input checked="" type="checkbox"/> Case history #s are listed				\$
<input type="checkbox"/> Site is within 1000ft of a landfill				\$
<input type="checkbox"/> F.H.D.P. density bonus				\$
<input type="checkbox"/> F.H.D.P. fee rebate				\$
	Hearing date <u>January 21, 2015</u>			Total <u>\$ 70.00</u>

[Signature]  
 Staff signature & Date 1-7-15

Project # 1007759

**FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING**

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

**SKETCH PLAT REVIEW AND COMMENT (DRB22)**

Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

**EXTENSION OF <sup>MINOR</sup> MAJOR PRELIMINARY PLAT (DRB08)**

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Copy of DRB approved infrastructure list
  - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
  - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.**

**MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)**

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

**MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** Your attendance is required.

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

**AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** Your attendance is required.

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
  - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

John A. Andrews  
Applicant name (print)  
John A. Andrews 1/06/15  
Applicant signature / date

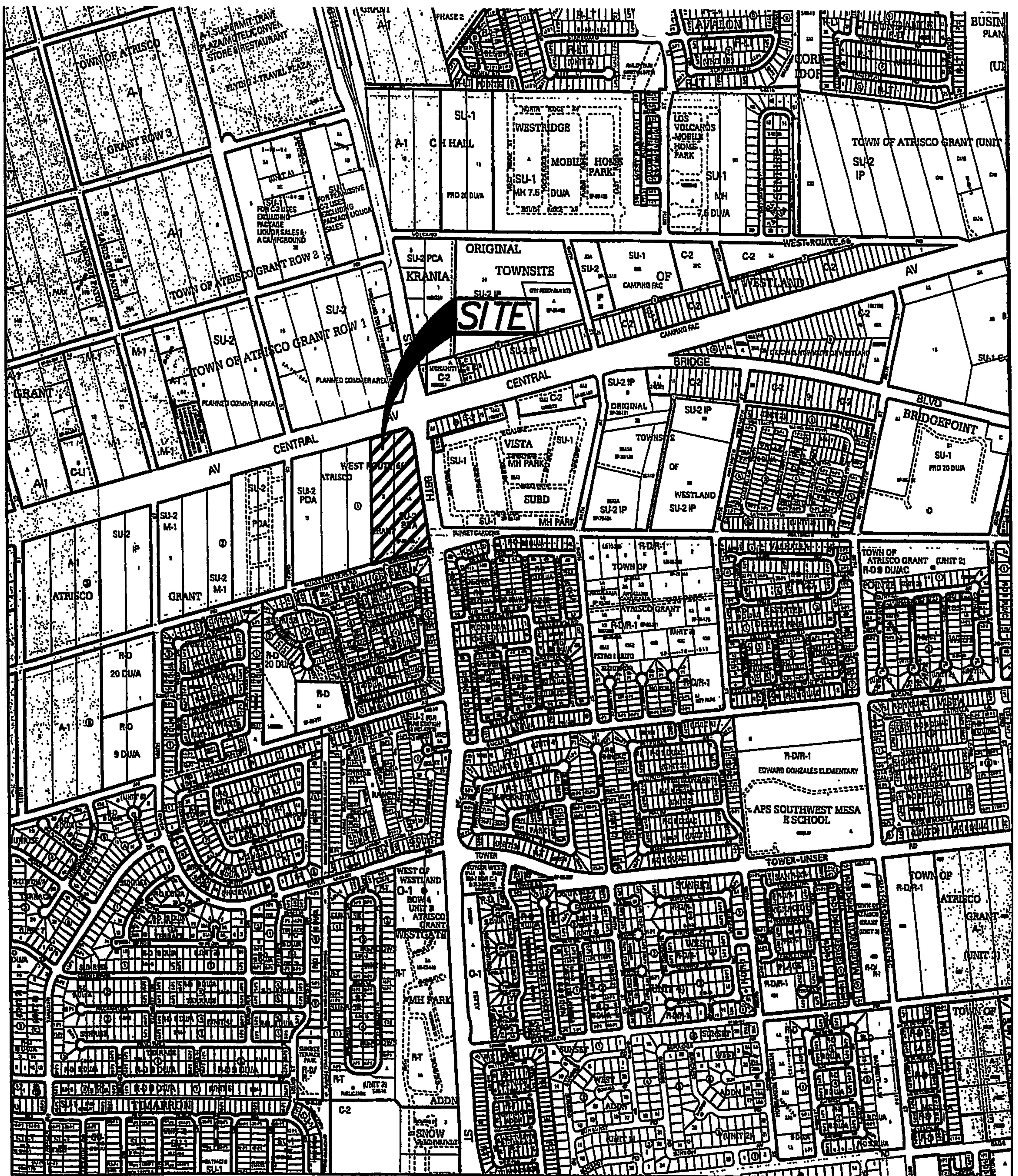


Form revised October 2007

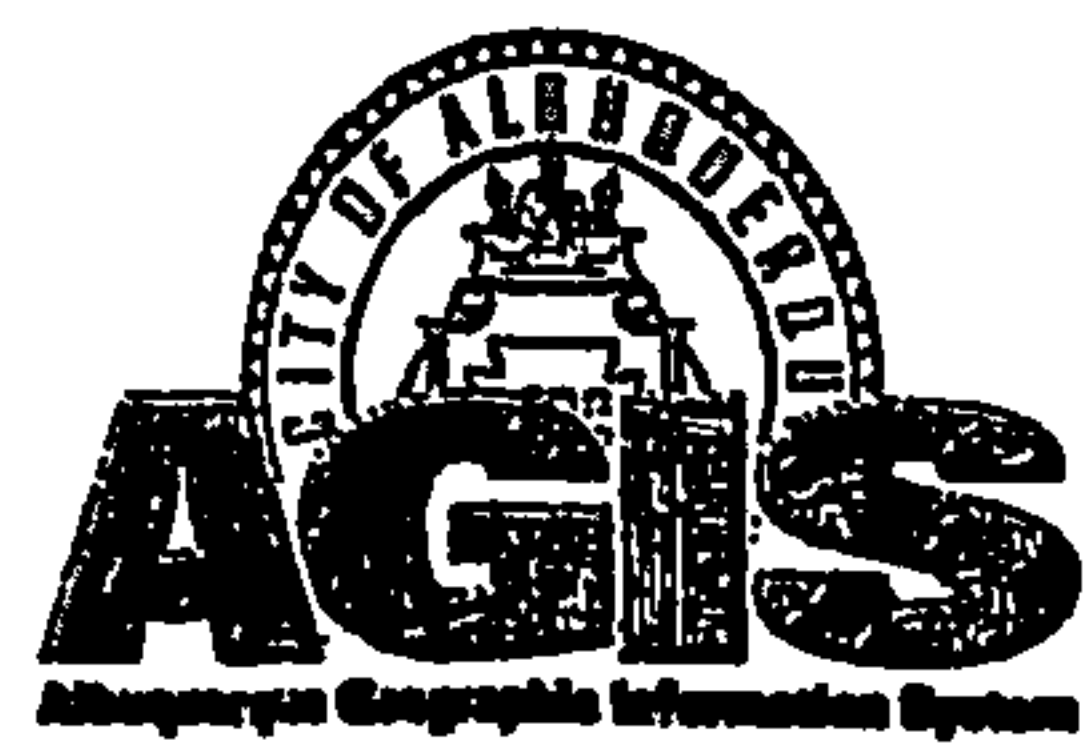
- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
15 - DRB - 70003  
\_\_\_\_\_  
\_\_\_\_\_

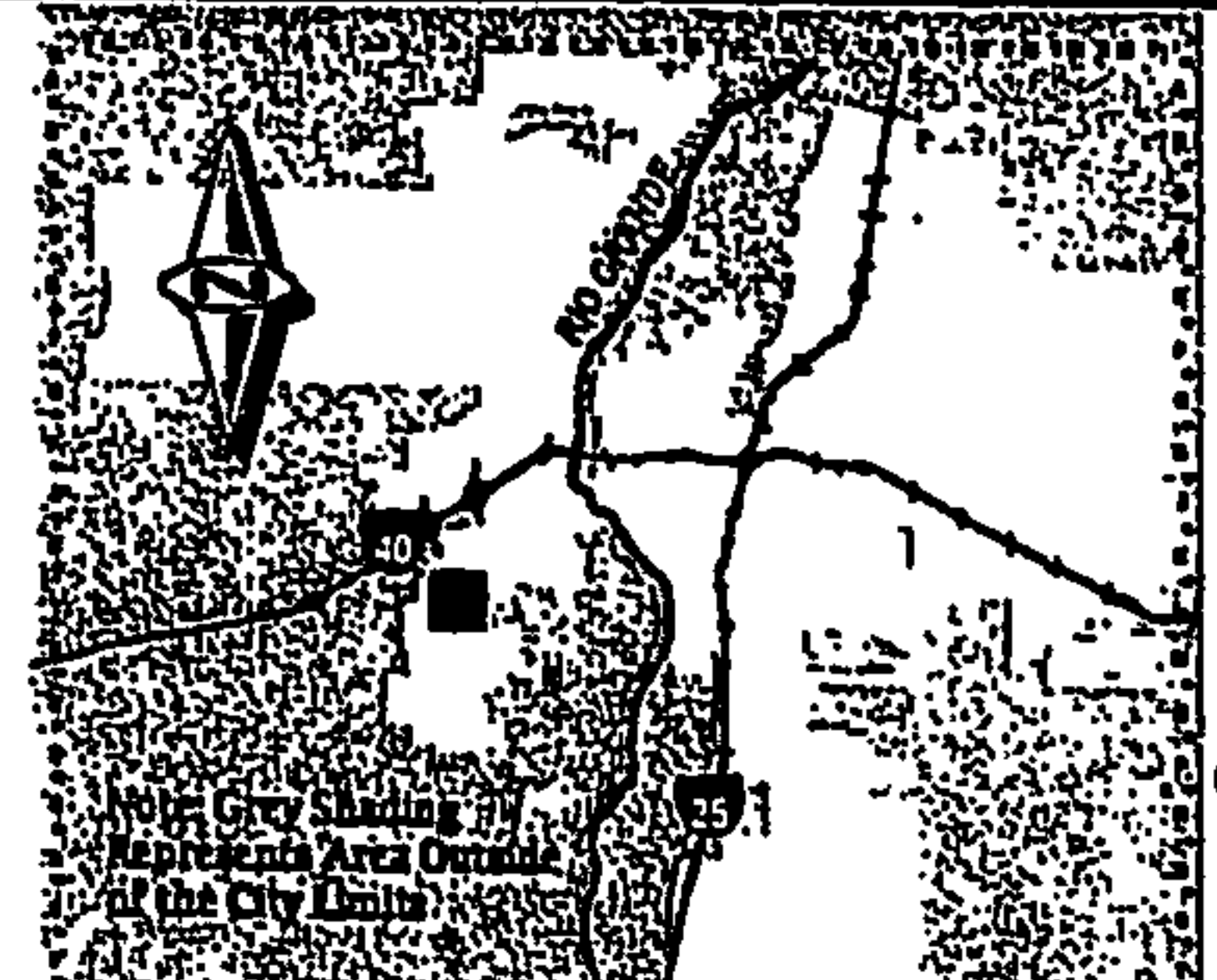
[Signature] 1-7-15  
Planner signature / date  
Project # 1007759



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 6/13/2008



Zone Atlas Page:  
**L-09-Z**

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- 1/4 Mile Buffer Zone
- Petroglyph Mon.
- Escarpment
- 1/2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone





**LOCATION MAP**  
SCALE: 1"=3000'±  
ZONE ATLAS MAP L-9

**REFERENCE DOCUMENTS**

1. Plat "Lands of the Atrisco Land Grant", filed August 25, 1861, in Vol. 03, Folio 28, Records of Bernalillo County, New Mexico.
2. Plat "Lots 1A and 1B, Block 1, Lands of the Atrisco Land Grant", filed September 6, 1888, Vol. C37, Folio 88, Records of Bernalillo County, New Mexico.
3. Right of Way Maps, City of Albuquerque, Special Assessment District 222, dated August 1993.

**DISCLOSURE STATEMENT**

The purpose of this plat is to combine two lots into one subdivision, to create two new lots within the new subdivision and to grant the easements as shown for the purposes specified.

**DEVELOPMENT NOTES**

1. Two lots are created by this plat.  
Lot 1 = 2.3078 Ac./100521 sq. ft.  
Lot 2 = 0.3588 Ac./178980 sq. ft.  
Total Acreage: 0.6662 Ac./377501 sq. ft.  
N.O.W. Dedication: None  
Net Acreage: 0.6662 Ac./377501 sq. ft.
2. Utility Council Location Log No: 2008-34-18-04

**FREE CONSENT AND DEDICATION**

The plat shown hereon is made in accordance with the desires of the undersigned owner(s) or proprietor(s) thereof. Said owner(s) or proprietor(s) do grant the easements shown hereon for the purposes specified; said owner(s) or proprietor(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided; said owner(s) and proprietor(s) do hereby certify that this is their free act and deed and do hereby represent that they are authorized to do so etc.

**OWNERS:**

ONORIO COLUCCI  
Virginia M. Colucci  
STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO )  
My Comm. Exp. 4-26-2012

This instrument was acknowledged before me on August 25, 2009.

by: Onorion Colucci  
Holly W. Norton  
NOTARY PUBLIC  
4-26-2012

STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO )  
My Comm. Exp. 4-26-2012

This instrument was acknowledged before me on August 25, 2009.

by: Virginia M. Colucci  
Holly W. Norton  
NOTARY PUBLIC  
4-26-2012  
My Commission Expires

**LEGAL DESCRIPTION**

A certain parcel of land situated within Projected Section 28, Township 10 North, Range 2 East, New Mexico Principal Meridian, Town of Atrisco Grant, in the City of Albuquerque, Bernalillo County, New Mexico, being and comprising Lot 1A and Lot 1B, Block 1, Lands of the Atrisco Land Grant, of the same is shown and designated on the Plat thereof filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 6, 1888 in Plat Book 03, Folio 88 and Lot 2, Block 1, Lands of the Atrisco Land Grant, of the same is shown and designated on the Plat thereof filed in the Office of the County Clerk of Bernalillo County, New Mexico on March 28, 1862 in Plat Book 03, Folio 28 and being more particularly described as follows:

Beginning at the northeast corner of the the parcel herein described, a found #4 rebar with cap (not visible) in place, from whence the Albuquerque Control Station "REWARD" bears N17°55'38"W, a distance of 5743.48 feet; thence from said point of beginning,  
S08°18'05"E, a distance of 62.88 feet to a point of curvature; thence,  
Southeasterly, a distance of 280.95 feet, along the arc of a curve to the left having a radius of 2878.78 feet, a central angle of 9°35'44" and a chord which bears S05°05'57"E a distance of 280.84 feet; thence,  
S11°33'49"E, a distance of 184.04 feet to a point of curvature; thence,  
Southeasterly, a distance of 274.84 feet, along the arc of a curve to the right having a radius of 2802.78 feet, a central angle of 9°37'14" and a chord which bears S09°05'12"E a distance of 274.83 feet to a point of compound curvature; thence,  
Southeasterly, a distance of 42.83 feet, along the arc of a curve to the right having a radius of 30.00 feet, a central angle of 81°13'57" and a chord which bears S34°20'17"W a distance of 39.08 feet to a point of tangency; thence,  
S74°57'18"W, a distance of 488.23 feet to the southwest corner of the parcel herein described; thence,  
N00°17'18"E, a distance of 854.39 feet to the northwest corner of the parcel herein described; thence,  
N74°57'23"E, a distance of 249.22 feet to a point of curvature; thence  
Southeasterly, a distance of 129.25 feet, along the arc of a curve to the right having a radius of 75.00 feet, a central angle of 98°44'32" and a chord which bears S55°10'21"E a distance of 113.84 feet to the point of beginning of the parcel herein described, containing 0.6662 acres (377501 sq.ft.), more or less.

**SURVEY NOTES**

1. Basis of bearings for the Survey shown hereon are New Mexico Coordinate System Grid Bearings, Central Zone, NAD 1983, NAD 1983 Datum, Transverse Mercator Projection, New Mexico.

Albuquerque Control Station "REWARD"  
X=1,491,190.819 Y=1,487,364.083 (NAD 1983)  
Scale Factor: 0.999875003  
Convergence: -0°17'12.25"  
Elevation (NAVD 1988) 5318.888 feet

Albuquerque Control Station "7-15"  
X=1,493,224.214 Y=1,478,409.331 (NAD 1983)  
Scale Factor: 0.999881058  
Convergence: -0°16'57.27"  
Elevation (NAVD 88) 5178.475 feet

2. Corner monuments "CET" by this survey are capped #5 rebar, 1.5" feet in length, embossed "PLS 12804" or as described hereon. Existing corner monumentation found by this survey is described hereon.
3. Distances are horizontal ground distance.
4. Bearings and distances shown in parentheses ( ) are from recorded plats.

**UTILITIES APPROVAL**

PNM	DATE
NEW MEXICO GAS COMPANY	DATE
QWEST TELECOMMUNICATIONS	DATE
COMCAST	DATE

**PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:**

- A. Public Service Company of New Mexico (PNM) for the installation, maintenance and service of underground and overhead electrical lines, transformers and other equipment and related facilities reasonably necessary to provide electrical service.
- B. New Mexico Gas Company for the installation, maintenance and service of such lines and other related equipment and facilities reasonably necessary to provide gas service.
- C. Qwest Telecommunications for the installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including, but not limited to ground pedestals and closures.
- D. Comcast for the installation, maintenance and service of such lines and other related equipment and facilities reasonably necessary to provide cable TV service.

Included is the right to build, rebuild, construct, locate, relocate, change, modify, renew, operate and maintain facilities for the purposes described above, together with free access to, from and over said easements, including sufficient working areas spaces for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, post (above ground or subsurface), hot tub, concrete or wood decking or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Owners shall be solely responsible for correcting any violations of the National Electric Safety Code by construction of posts, decking or any structures adjacent to or near easements shown on this plat.

**NOTICE OF SUBDIVISION PLAT CONDITIONS**

Pursuant to Section 7 of the City of Albuquerque Subdivision Ordinance, a variance or waiver from certain subdivision requirements has been granted by the City and the Albuquerque Metropolitan Arroyo Flood Control Authority in connection with this plat.

Future subdivision of lands designated as Lot 2 within this plat, zoning, Site Development Plan approvals and development permits may be conditioned upon dedication of rights-of-way and easements and/or sewer, streets, drainage, grading and parks in accordance with current resolutions, ordinances and policies in effect at the time for any specific proposal.

The City (and AMAFCA with reference to drainage) may require end/or permit easements to be added, modified or removed when future plats and/or site developments are approved.  
By its approval of this subdivision the City makes no representation or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: improvement; park and open space requirements; drainage requirements and/or improvements; and, excavation, filling or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

A separate notice of these conditions is recorded with the County Clerk on \_\_\_\_\_  
In Book \_\_\_\_\_ Page \_\_\_\_\_

**PLAT OF  
LOTS 1 & 2  
MERCADO  
CAMINO 66**  
BEING A REPLAT OF  
LOT 1A & LOT 2, BLOCK 1  
LANDS OF THE ATRISCO LAND GRANT  
AUGUST, 2009

THIS IS TO CERTIFY THAT TAXES ARE CURRENT

AND PAID ON UPC #100905606348420405  
#100905604545720404

PROPERTY OWNER OF RECORD: \_\_\_\_\_  
BERNALILLO COUNTY TREASURER'S OFFICE: \_\_\_\_\_

**APPROVALS**

<i>[Signature]</i> CITY SURVEYOR	8-25-09 DATE
TRAFFIC ENGINEER	DATE
DESIGN AND DEVELOPMENT, CIP	DATE
PARKS AND RECREATION DEPARTMENT	DATE
UTILITY DEVELOPMENT DIVISION	DATE
PROPERTY MANAGEMENT	DATE
ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY	DATE
CITY ENGINEER	DATE

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, ARTICLE XI OF CHAPTER 7 OF THE REVISED ORDINANCES OF ALBUQUERQUE, N.M.

CITY PLANNER, ALBUQUERQUE/BERNALILLO COUNTY PLANNING DIVISION DATE

CASE No. \_\_\_\_\_ PLAT No. \_\_\_\_\_

**SURVEYOR'S CERTIFICATE**

I, Gregory L. Steiner, New Mexico Professional Surveyor No. 12804, do hereby certify that the real property shown hereon has been surveyed, monumented and plotted by me or under my direct supervision and responsible charge, shows all easements or shown on the plat of record or made known to me by the owner and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest that said survey meets the minimum requirements of the City of Albuquerque Subdivision Ordinance, is in accordance with the Standards for Land Surveys in New Mexico and that said survey and plat is true and correct to the best of my knowledge and belief.

*[Signature]* 09-20-2009  
GREGORY L. STEINER, SPS 12804 DATE



**LARKIN GROUP P.L.L.C.**  
CONSULTING ENGINEERS AND SURVEYORS  
8500 MENAUL BLVD. NE A-440  
ALBUQUERQUE, NEW MEXICO 87112  
(505) 278-7500 FAX (505) 278-6748  
www.larkin.com FILE #2008-0013

**PLAT OF  
LOTS 1 & 2  
MERCADO  
CAMINO 66**  
BEING A REPLAT OF  
LOT 1A & LOT 2, BLOCK 1  
LANDS OF THE ATRISCO LAND GRANT  
AUGUST, 2009

**CURVE DATA—ROADWAY EASEMENT**

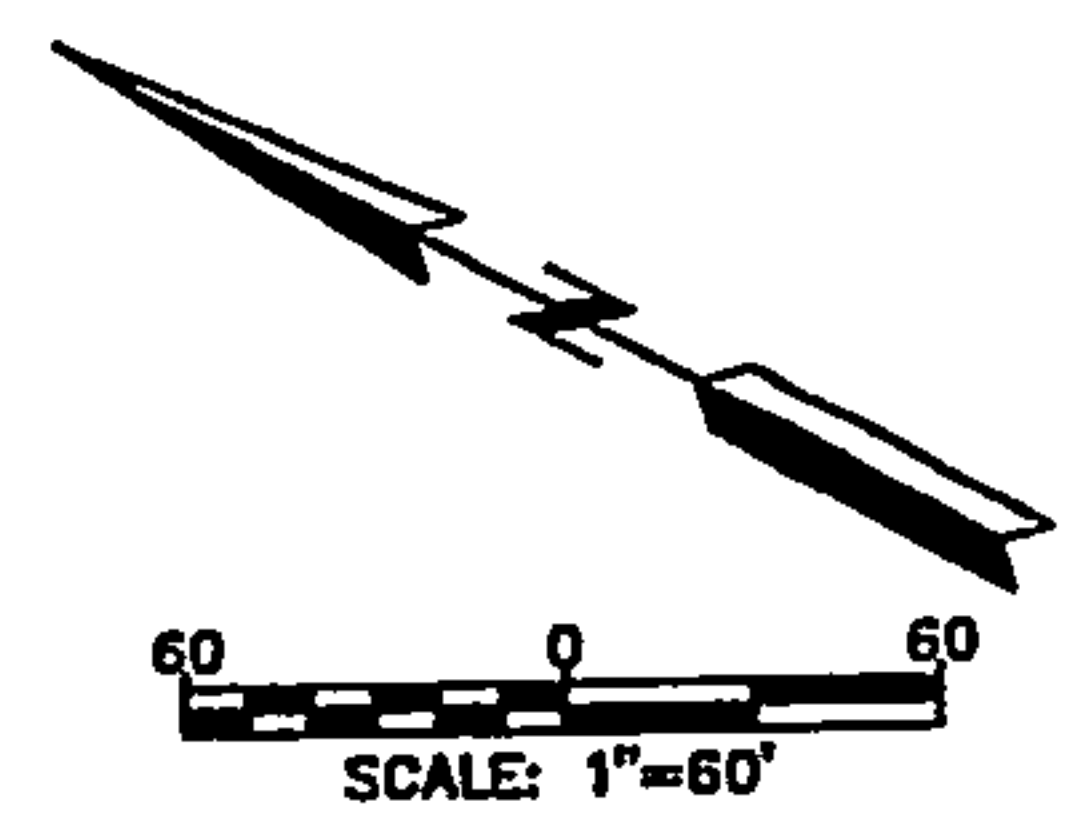
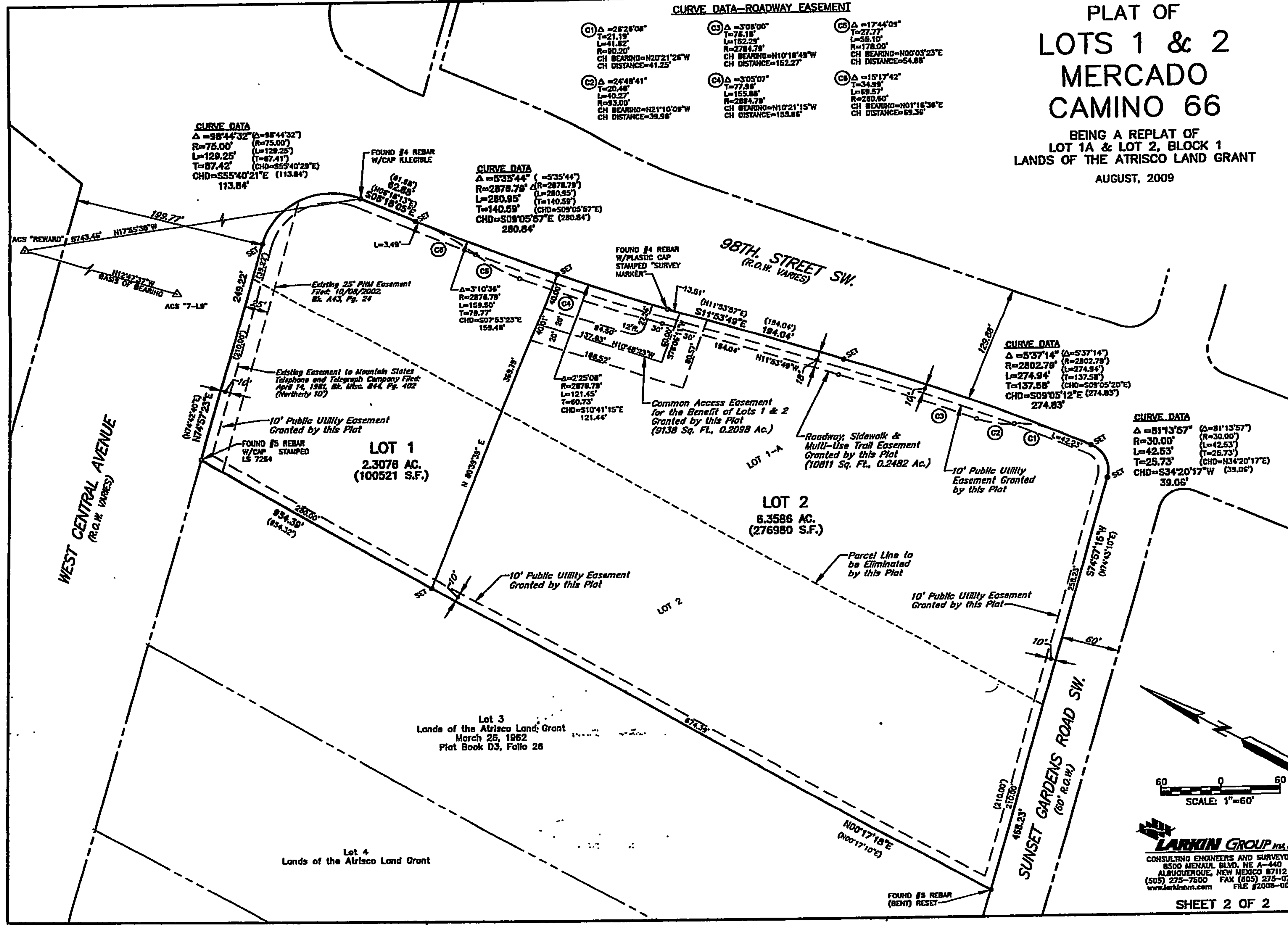
- ⓐ Δ = 26°26'08" T=21.15' L=41.52' R=80.20' CH BEARING=N20°21'26"W CH DISTANCE=41.25'
- ⓑ Δ = 26°48'41" T=20.48' L=40.27' R=80.20' CH BEARING=N21°10'09"W CH DISTANCE=39.96'
- ⓒ Δ = 3°08'00" T=78.18' L=152.29' R=2784.78' CH BEARING=N10°18'49"W CH DISTANCE=152.27'
- ⓓ Δ = 3°05'07" T=77.98' L=152.29' R=2784.78' CH BEARING=N10°21'15"W CH DISTANCE=153.86'
- ⓔ Δ = 17°44'03" T=27.77' L=55.10' R=178.00' CH BEARING=N00°03'23"E CH DISTANCE=54.88'
- ⓕ Δ = 15°17'42" T=34.89' L=69.57' R=280.60' CH BEARING=N01°16'38"E CH DISTANCE=69.36'

**CURVE DATA**  
Δ = 98°44'32" (Δ=98°44'32")  
R=75.00' (R=75.00')  
L=129.25' (L=129.25')  
T=87.42' (T=87.41')  
CHD=S55°40'21"E (113.84')  
113.84'

**CURVE DATA**  
Δ = 5°35'44" (Δ=5°35'44")  
R=2878.78' (R=2878.78')  
L=280.95' (L=280.95')  
T=140.59' (T=140.59')  
CHD=S09°05'57"E (280.84')  
280.84'

**CURVE DATA**  
Δ = 5°37'14" (Δ=5°37'14")  
R=2802.79' (R=2802.79')  
L=274.94' (L=274.94')  
T=137.58' (T=137.58')  
CHD=S09°05'20"E (274.83')  
274.83'

**CURVE DATA**  
Δ = 81°13'57" (Δ=81°13'57")  
R=30.00' (R=30.00')  
L=42.53' (L=42.53')  
T=25.73' (T=25.73')  
CHD=S34°20'17"W (39.06')  
39.06'



**LARKIN GROUP, INC.**  
CONSULTING ENGINEERS AND SURVEYORS  
8500 MENAUL BLVD. NE A-440  
ALBUQUERQUE, NEW MEXICO 87112  
(505) 275-7600 FAX (505) 275-0748  
www.larkinm.com FILE #2008-0013

January 6, 2015

Mr. Jack Cloud, Chairman  
Development Review Board  
City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

**Subject: Preliminary Plat Extension  
Mercado Camino 66 Subdivision  
DRB Project No. 1007759**

Dear Mr. Cloud:

This is a request to extend the above subject preliminary plat for one year.

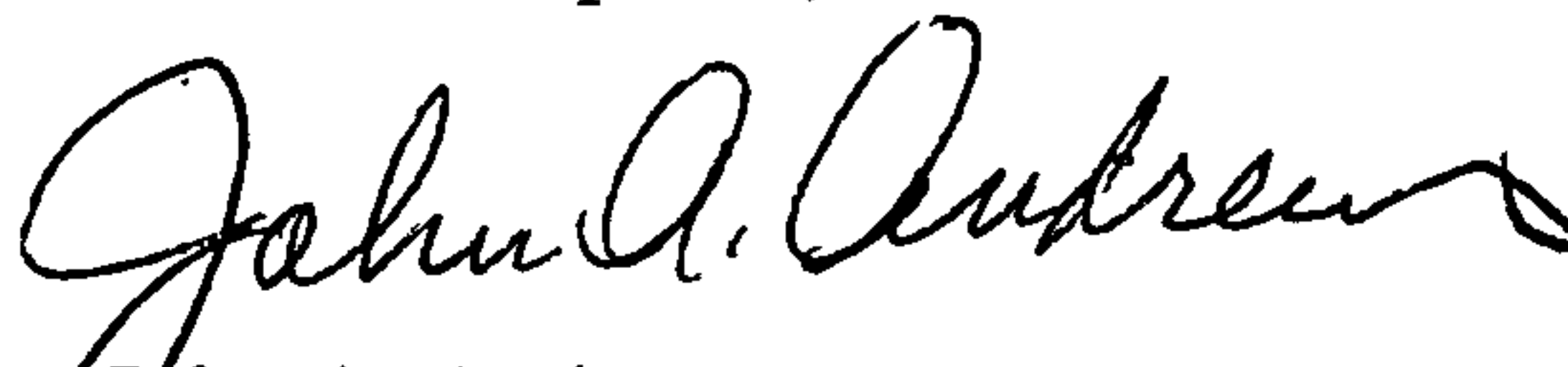
The preliminary plat was approved previously by DRB on January 27, 2010 and an extension of the preliminary plat on January 12, 2011, January 11, 2012, January 9, 2013 and January 8, 2014.

At the time of preparation of the preliminary plat and presenting it to DRB the owner of the property had been contacted by a possible user of a portion of the property. However, this has not materialized and the user currently has backed out of purchasing a portion of the property. The owner continues to market the property but there is not an indication that a sale is imminent at this time.

We therefore request that DRB approve a one-year extension of the preliminary plat to allow the owner more time to market the property during this slower economic time. A pending sale is needed to generate the funds for the owner to construct the infrastructure improvements.

Please call on any questions or comments you may have.

Very truly yours,  
Larkin Group NM, Inc.



John A. Andrews, P.E.  
Principal

JAA:tal  
cc: Onorio Colucci, Owner

Current DRC Project Number: 1007759

FIGURE 12

INFRASTRUCTURE LIST

(REV. 8-20-05)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

MERCADO CAMINO 66 LOT-1

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Lot 1A & Lot 2, Block 1 Land of Afrisco Grant.

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Date Submitted: 01-27-10  
 Date Site Plan Approved: 01-27-10  
 Date Preliminary Plat Approved: 01-27-10  
 Date Preliminary Plat Expires: 01-27-11  
 DRB Project No.: 1007759  
 DRB Application No.: 09-7400

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification	
							Inspector	P.E.
		width varies	Median Opening & Left Turn Holding Lane	98th Street	500 ft. So. of Central	900 ft. So. of Central		
		12' wide	Deceleration Lane at West Carb Line	98th Street	280 ft. So. of Central	510 ft. So. of Central		
		10' wide	Relocation of Multi-Use Trail	98th Street	250 ft. So. of Central	700 ft. So. of Central		
		40' wide	Turnout to Property	98th Street	at 530 ft. So. of Central			
		32' wide	Turnout to Property	Central Ave.	at 390 ft. W. of 98th St			
		Std	Curb & Gutter	South Side Central Ave	West Pt. to East Pt.			
		2 EA	Curb Inlet Modification	98th Street	at Deceleration Lane			

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		Approval of Creditable Items:	City User Dept. Signature	Date
							Inspector	P.E.			

**NOTES**  
 If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
 Street lights per City requirements.

- 1 \_\_\_\_\_
- 2 \_\_\_\_\_
- 3 \_\_\_\_\_

**AGENT / OWNER :** John A. Andrews  
 NAME (print)

Lockin Group NM, Inc  
 FIRM

John A. Andrews 12/1/09  
 SIGNATURE - date

**DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

John C. ... 01/27/10  
 DRB CHAIR - date

Christina Sandomal 1/27/10  
 PARKS & RECREATION - date

... 01/27/10  
 TRANSPORTATION DEVELOPMENT - date

... 1-27-10  
 UTILITY DEVELOPMENT - date

Bradley D. Byler 1-27-10  
 CITY ENGINEER - date

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER





## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

January 8, 2014

**Project# 1007759**  
13DRB-70812 EXT OF MAJOR PRELIMINARY PLAT

LARKIN GROUP NM, INC agent(s) for ONORIO COLUCCI request(s) the above action(s) for all or a portion of Lot(s) 1A & 2, Block(s) 1, **LANDS OF ATRISCO LAND GRANT** zoned SU-2 PDA, located on 98TH ST SW BETWEEN CENTRAL AVE AND SUNSET GARDENS SW containing approximately 8.6662 acre(s). (L-9)

At the January 8, 2014 Development Review Board meeting, the one-year extension of the preliminary plat was approved.

The conditions of final plat still apply.

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

A handwritten signature in black ink, appearing to read "Jack Cloud".

Jack Cloud, DRB Chair

Cc: LARKIN GROUP NM, INC  
File

PROJECT#

100775

January 21. 2015

EFF

# City of Albuquerque Planning Department

## DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

### DEVELOPMENT REVIEW BOARD

12/30/2013 Issued By: E08375 220433

Category Code **910**  
**2013 070 812**

**Application Number:** 13DRB-70812, Ext Of Major Preliminary Plat

**Address:**

**Location Description:** 98TH ST SW BETWEEN CENTRAL AVE AND SUNSET GARDENS SW

**Project Number:** 1007759

#### Applicant

ONORIO COLUCCI

PO BOX 14374  
ALBUQUERQUE NM 87191  
450-4298

#### Agent / Contact

LARKIN GROUP NM, INC

8500 MENAUL BLVD NE  
ALBUQUERQUE NM 87191  
275-7500

#### Application Fees

APN Fee

Conflict Mgmt Fee \$20.00

DRB Actions \$50.00

**TOTAL: \$70.00**

City of Albuquerque Treasury  
Date: 12/30/2013 Office: ANMEX  
Stat ID: 48000007 Cashier: TRSDLF  
Batch: 3043 Trans #: 29  
Permit: 2013070812  
Receipt Num 00169436  
Payment Total: \$70.00  
0901 Conflict Mgmts. Fee \$20.00  
0903 DRB Actions \$50.00  
Cash Tendered : \$30.00  
Check Tendered : \$40.00



Supplemental Form (SF)

**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): Larkin Group NM, Inc. PHONE: 505-275-7500  
 ADDRESS: 8500 Menaul Blvd NE, Suite A-440 FAX: 505-275-0748  
 CITY: Albuquerque STATE NM ZIP 87112 E-MAIL: jandrews@larkinm.com

APPLICANT: Onorio Colucci PHONE: 505-450-4298  
 ADDRESS: P.O. Box 14374 FAX: N/A  
 CITY: Albuquerque STATE NM ZIP 87191 E-MAIL: N/A  
 Proprietary interest in site: Ownership List all owners: Onorio Colucci & Virginia Colucci

DESCRIPTION OF REQUEST: Extension of Preliminary Plat

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Lot 1A & Lot 2 Block: 1 Unit: ---  
 Subdiv/Addn/TBKA: Lands of Atrisco Land Grant  
 Existing Zoning: SU-2 PDA Proposed zoning: Same MRGCD Map No N/A  
 Zone Atlas page(s): L-09 UPC Code: 100905606346420405 & 100905604545720404

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_, Z\_, V\_, S\_, etc.): \_\_\_\_\_  
 DRB Project No. 1007759 January 27, 2010

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill?  No  
 No. of existing lots: 2 No. of proposed lots: 2 Total site area (acres): 8.6662  
 LOCATION OF PROPERTY BY STREETS: On or Near: 98th Street SW

Between: Central Avenue and Sunset Gardens SW

Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT) . Review Date: 01-27-10 Site Development Plan & Preliminary Plat Approval

SIGNATURE John A. Andrews DATE 12-30-13

(Print Name) John A. Andrews, P.E. Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Revised: 4/2012

INTERNAL ROUTING

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>SDRB 70812</u>	<u>EPP</u>		<u>\$50.00</u>
	<u>CMF</u>		<u>\$20.00</u>
			\$
			\$
			\$
			\$
			\$
			\$
			Total
			<u>\$70.00</u>

Hearing date January 8 2014

Project # 1007759

[Signature] 12-30-13  
 Staff signature & Date

**FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING**

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** Your attendance is required.
  - Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - List any original and/or related file numbers on the cover application

- EXTENSION OF <sup>MINOR</sup> PRELIMINARY PLAT (DRB08)** Your attendance is required.
  - Preliminary Plat reduced to 8.5" x 11"
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Copy of DRB approved infrastructure list
  - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
  - List any original and/or related file numbers on the cover application

**Extension of preliminary plat approval expires after one year.**

- MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** Your attendance is required.
  - Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
  - Design elevations & cross sections of perimeter walls **3 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
  - Copy of recorded SIA
  - Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
  - List any original and/or related file numbers on the cover application
  - DXF file and hard copy of final plat data for AGIS is required.

- MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** Your attendance is required.
  - 5 Acres or more: Certificate of No Effect or Approval
  - Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
  - Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
  - Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
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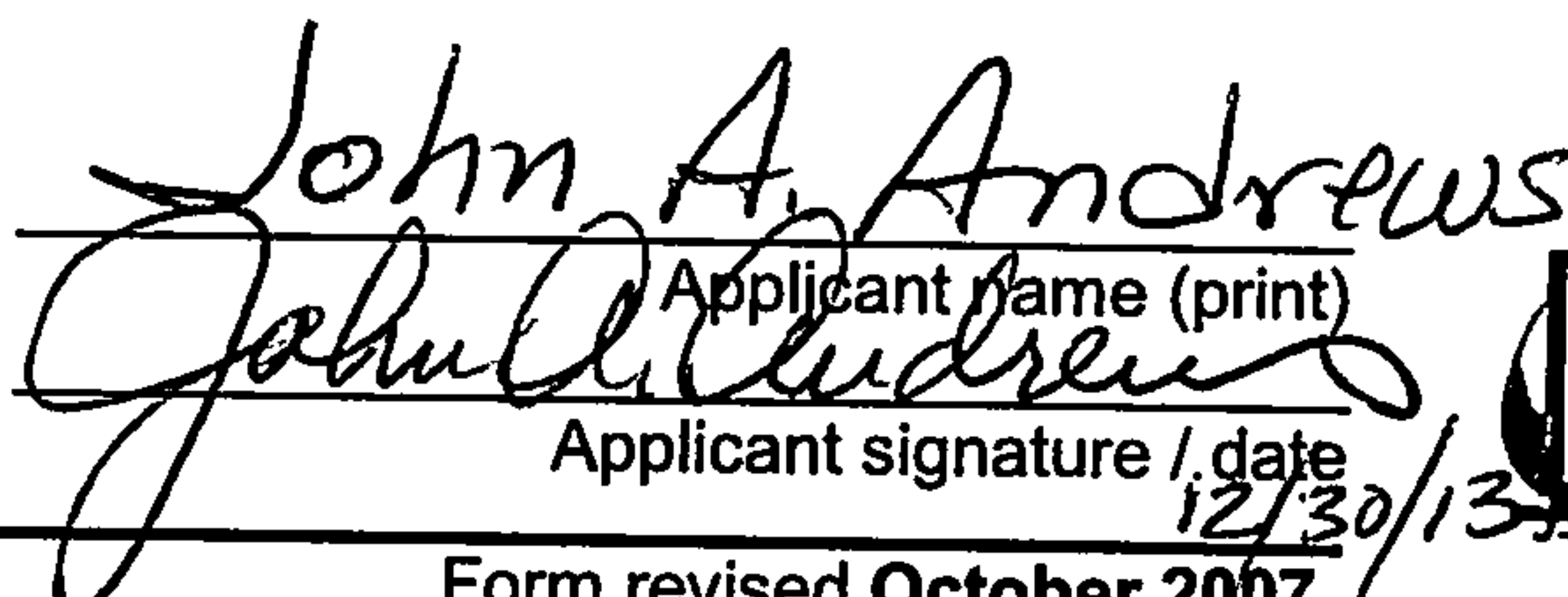
- AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** Your attendance is required.

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

  - Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
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**Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

  
 Applicant name (print) John A. Andrews  
 Applicant signature / date [Signature] 12/30/13  
 Form revised **October 2007**  
 Planner signature / date [Signature] 12-30-13  
 Project # 1007759



<input checked="" type="checkbox"/> Checklists complete	Application case numbers
<input checked="" type="checkbox"/> Fees collected	<u>3DRB - -70812</u>
<input checked="" type="checkbox"/> Case #s assigned	_____
<input checked="" type="checkbox"/> Related #s listed	_____



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SIGNATURE John A. Andrews DATE 12-30-13  
 (Print Name) John A. Andrews, P.E. Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Revised: 4/2012

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>DRB 70812</u>	<u>EPP</u>		<u>\$50.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CME</u>		<u>\$20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned				\$
<input checked="" type="checkbox"/> AGIS copy has been sent				\$
<input checked="" type="checkbox"/> Case history #s are listed				\$
<input type="checkbox"/> Site is within 1000ft of a landfill				\$
<input type="checkbox"/> F.H.D.P. density bonus				Total
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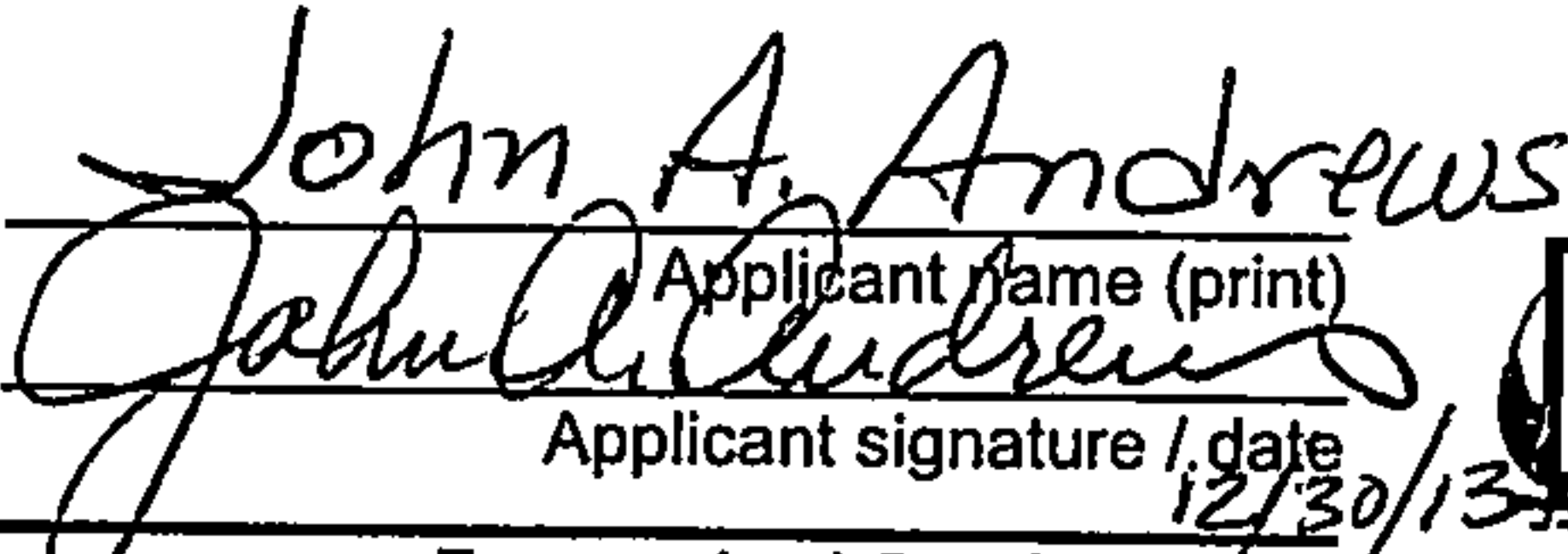
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- Amended preliminary plat approval expires after one year

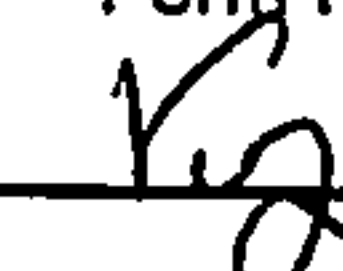
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 Applicant name (print) John A. Andrews  
 Applicant signature / date 12/30/13



Form revised October 2007

- |   |                          |
|---|--------------------------|
| <input checked="" type="checkbox"/> Checklists complete | Application case numbers |
| <input checked="" type="checkbox"/> Fees collected      | 3DRB - 70812             |
| <input type="checkbox"/> Case #s assigned               | _____                    |
| <input checked="" type="checkbox"/> Related #s listed   | _____                    |

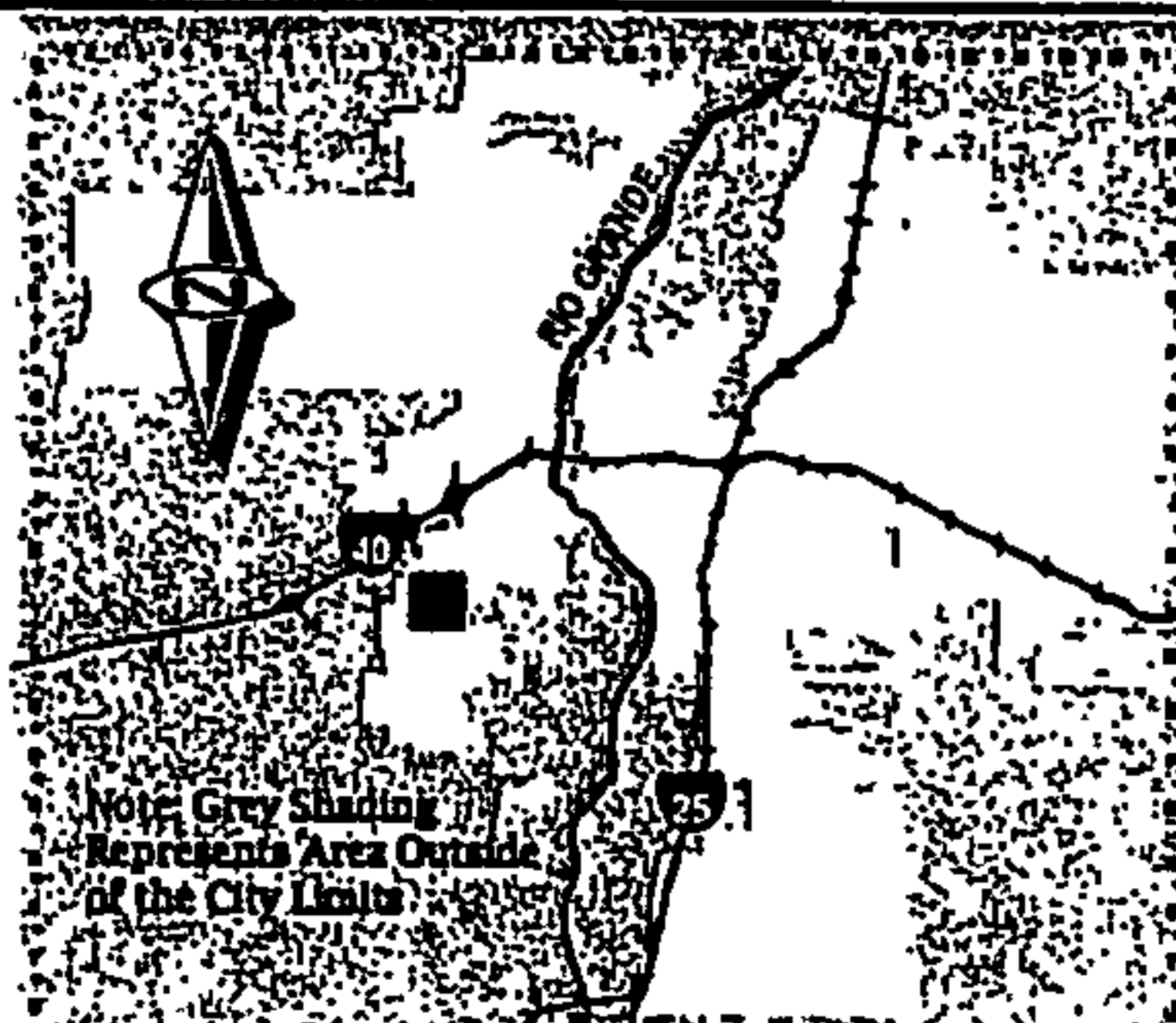
  
 Planner signature / date 12-30-13  
 Project # 1007759



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 6/13/2008



Zone Atlas Page:

**L-09-Z**

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 3 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone





December 30, 2013

Mr. Jack Cloud, Chairman  
Development Review Board  
City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

**Subject: Preliminary Plat Extension  
Mercado Camino 66 Subdivision  
DRB Project No. 1007759**

Dear Mr. Cloud:

This is a request to extend the above subject preliminary plat for one year.

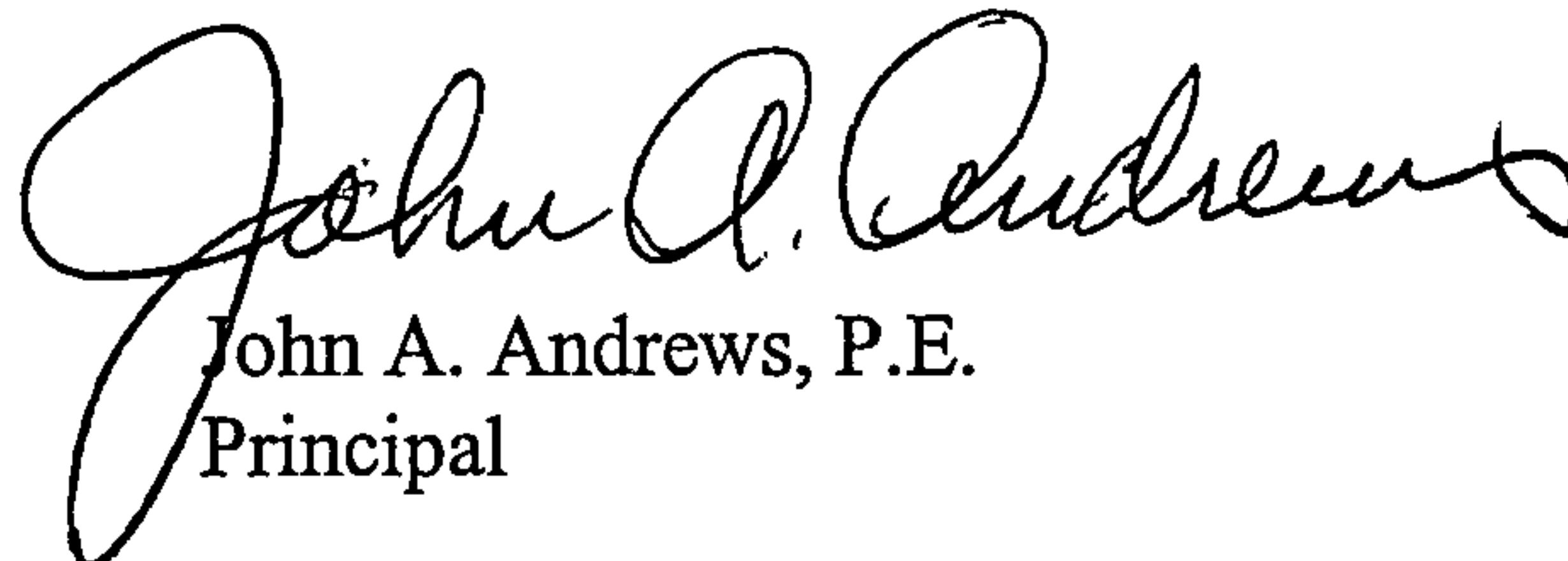
The preliminary plat was approved previously by DRB on January 27, 2010 and an extension of the preliminary plat on January 12, 2011, January 11, 2012 and January 9, 2013.

At the time of preparation of the preliminary plat and presenting it to DRB the owner of the property had been contacted by a possible user of a portion of the property. However, this has not materialized and the user currently has backed out of purchasing a portion of the property. The owner continues to market the property but there is not an indication that a sale is imminent at this time.

We therefore request that DRB approve a one-year extension of the preliminary plat to allow the owner more time to market the property during this slower economic time. A pending sale is needed to generate the funds for the owner to construct the infrastructure improvements.

Please call on any questions or comments you may have.

Very truly yours,  
Larkin Group NM, Inc.



John A. Andrews, P.E.  
Principal

JAA:tal  
cc: Onorio Colucci, Owner



**LOCATION MAP**  
SCALE: 1"=3000'±  
ZONE ATLAS MAP L-9

**REFERENCE DOCUMENTS**

1. Plat "Lands of the Atrisco Land Grant", filed August 25, 1981, in Vol. D3, Folio 28, Records of Bernalillo County, New Mexico.
2. Plat "Lots 1A and 1B, Block 1, Lands of the Atrisco Land Grant", filed September 6, 1988, Vol. C37, Folio 88, Records of Bernalillo County, New Mexico.
3. Right of Way Maps, City of Albuquerque, Special Assessment District 222, dated August 1993.

**DISCLOSURE STATEMENT**

The purpose of this plat is to combine two lots into one subdivision, to create two new lots within the new subdivision and to grant the easements as shown for the purposes specified.

**DEVELOPMENT NOTES**

1. Two Lots are created by this plat.  
Lot 1 = 2,307.8 Ac./100521 sq. ft.  
Lot 2 = 8,358.8 Ac./278980 sq. ft.  
Total Acreage: 8,666.6 Ac./377501 sq. ft.  
R.O.W. Deductions: None  
Net Acreage: 8,666.2 Ac./377501 sq. ft.
2. Utility Council Location Log No: 2009-34-16-04

**FREE CONSENT AND DEDICATION**

The plat shown hereon is made in accordance with the desires of the undersigned owner(s) or proprietor(s) thereof. Said owner(s) or proprietor(s) do grant the easements shown hereon for the purposes specified; said owner(s) or proprietor(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided; said owner(s) and proprietor(s) do hereby certify that this is their free act and deed and do hereby represent that they are authorized to so act.

**OWNERS:**

*David Colucci*  
ONORIO COLUCCI

*Virginia M. Colucci*  
VIRGINIA M. COLUCCI

STATE OF NEW MEXICO )  
                                  ) SS  
COUNTY OF BERNALILLO )



This instrument was acknowledged before me on: August 25 of 2009.

by: *Onorico Colucci*

*Holly W. Norton* 4-26-2012  
NOTARY PUBLIC My Commission Expires

STATE OF NEW MEXICO )  
                                  ) SS  
COUNTY OF BERNALILLO )



This instrument was acknowledged before me on: August 25 of 2009.

by: *Virginia M. Colucci*

*Holly W. Norton* 4-26-2012  
NOTARY PUBLIC My Commission Expires

**LEGAL DESCRIPTION**

A certain parcel of land situated within Protected Section 28, Township 10 North, Range 2 East, New Mexico Principal Meridian, Town of Atrisco Grant, in the City of Albuquerque, Bernalillo County, New Mexico, being and comprising Lot 1-A, Plat of Lots 1-A & 1-B, Block 1, Lands of the Atrisco Land Grant, as the same is shown and designated on the Plat thereof filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 6, 1988 in Plat Book C37, Folio 88 and Lot 2, Block 1, Lands of the Atrisco Land Grant, as the same is shown and designated on the Plat thereof filed in the Office of the County Clerk of Bernalillo County, New Mexico on March 28, 1982 in Plat Book D3, Folio 28 and being more particularly described as follows:

Beginning at the northeast corner of the parcel herein described, a found #4 rebar with cap (not visible) in place, from whence the Albuquerque Control Station "REWARD" bears N17°53'36"W, a distance of 5743.48 feet; thence from said point of beginning,  
S06°18'05"E, a distance of 82.88 feet to a point of curvature; Thence,  
Southeasterly, a distance of 280.85 feet, along the arc of a curve to the left having a radius of 2878.78 feet, a central angle of 5°35'44" and a chord which bears S09°05'57"E a distance of 280.84 feet; thence,  
S11°53'49"E, a distance of 194.04 feet to a point of curvature; Thence,  
Southeasterly, a distance of 274.94 feet, along the arc of a curve to the right having a radius of 2802.79 feet, a central angle of 5°37'14" and a chord which bears S09°05'12"E a distance of 274.83 feet to a point of compound curvature; thence,  
Southwesterly, a distance of 42.53 feet, along the arc of a curve to the right having a radius of 30.00 feet, a central angle of 81°13'57" and a chord which bears S34°20'17"W a distance of 39.08 feet to a point of tangency; thence,  
S74°57'16"W, a distance of 468.23 feet to the southwest corner of the parcel herein described; thence,  
N00°17'18"E, a distance of 854.39 feet to the northwest corner of the parcel herein described; thence,  
N74°57'23"E, a distance of 249.22 feet to a point of curvature; thence  
Southeasterly, a distance of 128.25 feet, along the arc of a curve to the right having a radius of 75.00 feet, a central angle of 98°44'32" and a chord which bears S55°40'21"E a distance of 113.84 feet to the point of beginning of the parcel herein described, containing 8.6662 acres (377501 sq.ft.), more or less.

**SURVEY NOTES**

1. Basis of bearings for the Survey shown hereon are New Mexico Coordinate System Grid Bearings, Central Zone, NAD 1983, NAVD 1988 Datum, Transverse Mercator Projection, New Mexico.  
Albuquerque Control Station "REWARD" X=1,491,190.819 Y=1,487,364.063 (NAD 1983) Scale Factor: 0.999875003 Convergence: -0°17'12.26" Elevation (NAVD 1988) 5319.688 feet  
Albuquerque Control Station "7-18" X=1,493,224.214 Y=1,478,409.331 (NAD 1983) Scale Factor: 0.999881059 Convergence: -0°18'57.27" Elevation (NAVD 88) 5178.475 feet
2. Corner monuments "SET" by this survey are capped #5 rebar, 1.5" feet in length, embossed "PLS 12804" or as described hereon. Existing corner monumentation found by this survey is described hereon.
3. Distances are horizontal ground distances.
4. Bearings and distances shown in parentheses ( ) are from recorded plats.

**UTILITIES APPROVAL**

PNM	DATE
NEW MEXICO GAS COMPANY	DATE
QWEST TELECOMMUNICATIONS	DATE
COMCAST	DATE

**PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:**

- A. Public Service Company of New Mexico (PNM) for the installation, maintenance and service of underground and overhead electrical lines, transformers and other equipment and related facilities reasonably necessary to provide electrical service.
- B. New Mexico Gas Company for the installation, maintenance and service of such lines and other related equipment and facilities reasonably necessary to provide gas service.
- C. Qwest Telecommunications for the installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including, but not limited to ground pedestals and closures.
- D. Comcast for the installation, maintenance and service of such lines and other related equipment and facilities reasonably necessary to provide cable TV service.

Included is the right to build, rebuild, construct, locate, relocate, change, modify, renew, operate and maintain facilities for the purposes described above, together with free access to, from and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood decking or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Owners shall be solely responsible for correcting any violations of the National Electric Safety Code by construction of pools, decking or any structures adjacent to or near easements shown on this plat.

**NOTICE OF SUBDIVISION PLAT CONDITIONS**

Pursuant to Section 7 of the City of Albuquerque Subdivision Ordinance, a variance or waiver from certain subdivision requirements has been granted by the City and the Albuquerque Metropolitan Arroyo Flood Control Authority in connection with this plat.  
Future subdivision of lands designated as Lot 2 within this plat, zoning, Site Development Plan approvals and development permits may be conditioned upon dedication of rights-of-way and easements and/or sewer, streets, drainage, grading and parks in accordance with current resolutions, ordinances and policies in effect at the time for any specific proposal.

The City (and AMAFCA with reference to drainage) may require end/or permit easements to be added, modified or removed when future plats and/or site developments are approved.  
By its approval of this subdivision the City makes no representation or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: improvements; park and open space requirements; drainage requirements and/or improvements; and, excavation, filling or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

A separate notice of these conditions is recorded with the County Clerk on \_\_\_\_\_  
In Book \_\_\_\_\_, Page \_\_\_\_\_.

PLAT OF  
**LOTS 1 & 2**  
**MERCADO**  
**CAMINO 66**  
BEING A REPLAT OF  
LOT 1A & LOT 2, BLOCK 1  
LANDS OF THE ATRISCO LAND GRANT  
AUGUST, 2009

THIS IS TO CERTIFY THAT TAXES ARE CURRENT  
AND PAID ON UPC # 100905606348420405  
#100905604545720404  
PROPERTY OWNER OF RECORD: \_\_\_\_\_  
BERNALILLO COUNTY TREASURER'S OFFICE: \_\_\_\_\_

**APPROVALS**

*[Signature]* 8-25-09  
CITY SURVEYOR DATE

TRAFFIC ENGINEER DATE

DESIGN AND DEVELOPMENT, CIP DATE

PARKS AND RECREATION DEPARTMENT DATE

UTILITY DEVELOPMENT DIVISION DATE

PROPERTY MANAGEMENT DATE

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY DATE

CITY ENGINEER DATE

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE  
ALBUQUERQUE SUBDIVISION ORDINANCE, ARTICLE XI OF CHAPTER 7 OF  
THE REVISED ORDINANCES OF ALBUQUERQUE, N.M.

CITY PLANNER, ALBUQUERQUE/BERNALILLO COUNTY PLANNING DIVISION DATE

CASE No. \_\_\_\_\_ PLAT No. \_\_\_\_\_

**SURVEYOR'S CERTIFICATE**

I, Gregory L. Steiner, New Mexico Professional Surveyor No. 12804, do hereby certify that the real property shown hereon has been surveyed, monumented and plotted by me or under my direct supervision and responsible charge, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest that said survey meets the minimum requirements of the City of Albuquerque Subdivision Ordinance, is in accordance with the Standards for Land Surveys in New Mexico and that said survey and plat is true and correct to the best of my knowledge and belief.

*Gregory L. Steiner* 08-20-2009  
GREGORY L. STEINER, SPS 12804 DATE

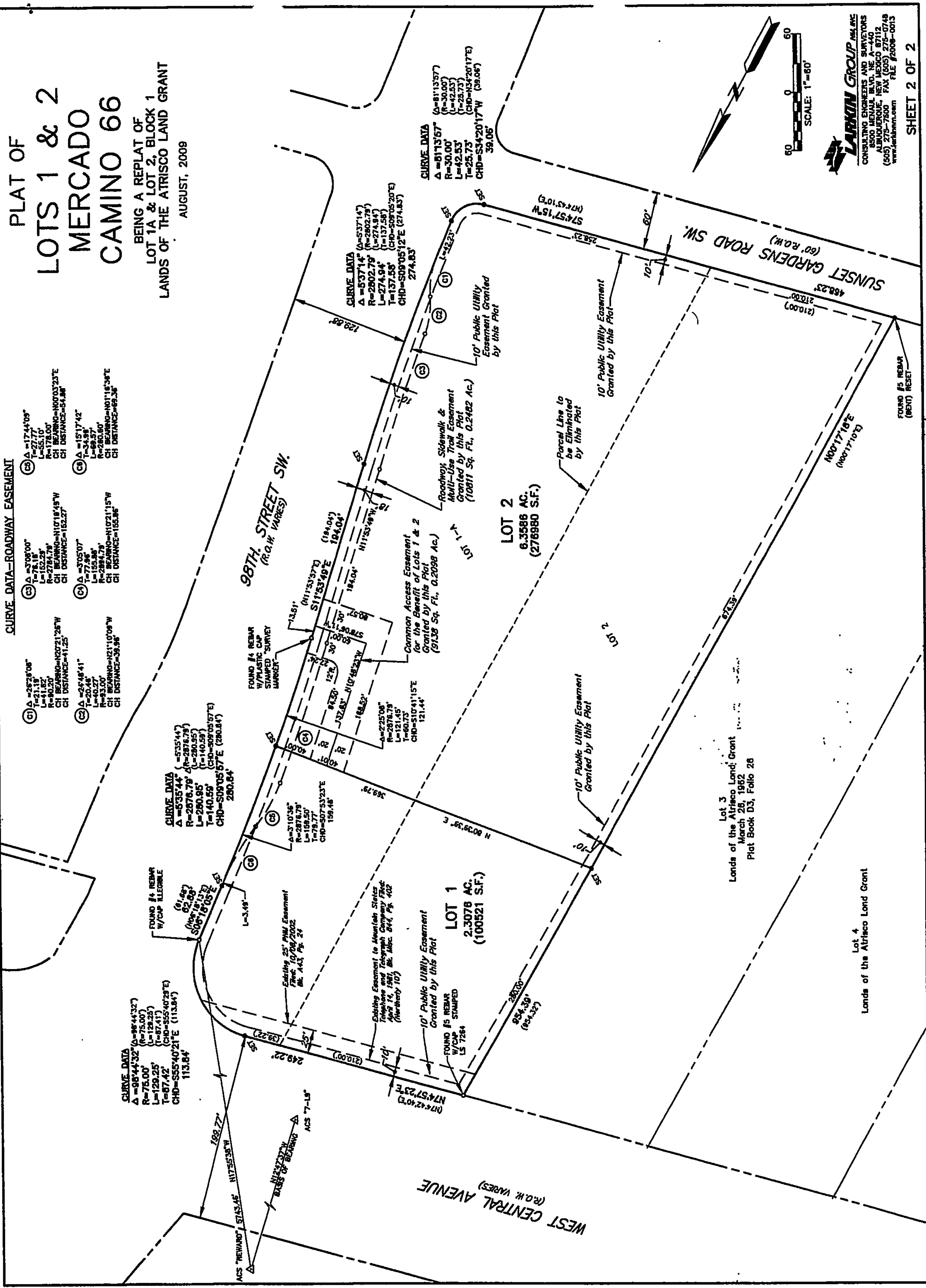


# PLAT OF LOTS 1 & 2 MERCADO CAMINO 66

BEING A REPLAT OF  
LOT 1A & LOT 2, BLOCK 1  
LANDS OF THE ATRISCO LAND GRANT  
AUGUST, 2009

## CURVE DATA—ROADWAY EASEMENT

- (C1)  $\Delta = 252^{\circ}08'$   
 $T = 21.18'$   
 $R = 41.82'$   
 $L = 80.20'$   
 $CH \text{ BEARING} = N202^{\circ}12'25"W$   
 $CH \text{ DISTANCE} = 41.25'$
- (C2)  $\Delta = 24^{\circ}48'41"$   
 $T = 20.48'$   
 $R = 40.27'$   
 $L = 83.00'$   
 $CH \text{ BEARING} = N211^{\circ}09'57"W$   
 $CH \text{ DISTANCE} = 39.96'$
- (C3)  $\Delta = 370^{\circ}00'$   
 $T = 78.18'$   
 $R = 152.25'$   
 $L = 278.47'$   
 $CH \text{ BEARING} = N107^{\circ}18'49"W$   
 $CH \text{ DISTANCE} = 152.27'$
- (C4)  $\Delta = 370^{\circ}07'$   
 $T = 77.98'$   
 $R = 155.88'$   
 $L = 289.47'$   
 $CH \text{ BEARING} = N102^{\circ}11'57"W$   
 $CH \text{ DISTANCE} = 152.86'$
- (C5)  $\Delta = 174^{\circ}09'$   
 $T = 27.77'$   
 $R = 55.10'$   
 $L = 178.00'$   
 $CH \text{ BEARING} = N007^{\circ}03'23"E$   
 $CH \text{ DISTANCE} = 54.88'$
- (C6)  $\Delta = 151^{\circ}42'$   
 $T = 34.89'$   
 $R = 69.57'$   
 $L = 260.90'$   
 $CH \text{ BEARING} = N011^{\circ}16'38"E$   
 $CH \text{ DISTANCE} = 69.36'$



**LARKIN GROUP**  
CONSULTING ENGINEERS AND SURVEYORS  
8500 MENAUL BLVD. NE A-440  
ALBUQUERQUE, NEW MEXICO 87112  
(505) 275-7500 FAX (505) 275-0748  
www.larkinmn.com

Current DRC Project Number: 1007759

FIGURE 12

INFRASTRUCTURE LIST

(Rev. 8-23-05)

EXHIBIT "A"

TO SUBMISSION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

MERCADO CAMINO 66

LOT-1

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Lot 1A & Lot 2, Block 1 Land of Atrisco Grant.

EXISTING LEGAL DESCRIPTION PRIOR TO FLATTING ACTION

Date Submitted: 01-27-10  
 Date Site Plan Approved: 01-27-10  
 Date Preliminary Plat Approved: 01-27-10  
 Date Preliminary Plat Expires: 01-27-11  
 DRB Project No.: 1007759  
 DRB Application No.: 09-7400

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the Infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantees. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Inspector	P.E.	City Enst Engineer
		width varies	Median Opening	98th Street	500 ft. So. of Central	900 ft. So. of Central			
		12' wide	Deceleration Lane at West Curb Line	98th Street	280 ft. So. of Central	510 ft. So. of Central			
		10' wide	Relocation of Multi-Use Trail	98th Street	250 ft. So. of Central	700 ft. So. of Central			
		40' wide	Turnout to Property	98th Street	at 530 ft. So. of Central				
		32' wide	Turnout to Property	Central Ave.	at 390 ft. W. of 98th St				
		Std	Curb & Gutter	South Side Central Ave	WEST Pt to East Pt				
		2 EA	Curb Inlet Modification	98th Street	at Deceleration Lane				

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Type of Improvement	Location	From	To	Construction Certification	
						Inspector	City Cnst Engineer
						/	/
						/	/

Approval of Creditable Items:

Impact Fee Administrator Signature \_\_\_\_\_ Date \_\_\_\_\_

City User Dept. Signature \_\_\_\_\_ Date \_\_\_\_\_

**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LORR is approved by FEMA.  
Street lights per City requirements.

- 1 \_\_\_\_\_
- 2 \_\_\_\_\_
- 3 \_\_\_\_\_

**AGENT / OWNER . . . . . DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

John A. Andrews

NAME (print)

Larkin Group NM, Inc

FIRM

John A. Andrews 12/21/09

SIGNATURE - date

John A. Andrews 01/27/10

DRB CHAIR - date

[Signature] 01/27/10

TRANSPORTATION DEVELOPMENT - date

[Signature] 1-27-10

UTILITY DEVELOPMENT - date

Bradley A. Byler 1-27-10

CITY ENGINEER - date

Christina Sandoral 1/27/10

PARKS & RECREATION - date

AMAFCGA - date

\_\_\_\_\_ - date

\_\_\_\_\_ - date

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRG CHAIR	USER DEPARTMENT	AGENT / OWNER



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

January 9, 2013

**Project# 1007759**

**12DRB-70400 EXT OF MAJOR PRELIMINARY PLAT**

LARKIN GROUP NM, INC agent(s) for ONORIO COLUCCI request(s) the above action(s) for all or a portion of Lot(s) 1A & 2, Block(s) 1, **LANDS OF ATRISCO LAND GRANT** zoned SU-2 PDA, located on 98TH ST SW BETWEEN CENTRAL AVE AND SUNSET GARDENS SW containing approximately 8.6662 acre(s). (L-9)

At the January 9, 2013 Development Review Board meeting, the one-year extension of the preliminary plat was approved.

The conditions of final plat still apply.

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

  
Richard Dourte, Acting DRB Chair

Cc: Larking Group NM, Inc.  
Marilyn Maldonado  
File

January 8, 2014

(EFF)

# City of Albuquerque Planning Department

## DEVELOPMENT AND BUILDING SERVICES

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STANDARD APPLICATION, Paper Plans Required

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### DEVELOPMENT REVIEW BOARD

12/28/2012 Issued By: E08375 175349

Category Code **910**  
**2012 070 400**

**Application Number:** 12DRB-70400, Ext Of Major Preliminary Plat

**Address:**

**Location Description:** 98TH ST SW BETWEEN CENTRAL AVE AND SUNSET GARDENS SW

**Project Number:** 1007759

**Applicant**  
ONORIO COLUCCI

PO BOX 14374  
ALBUQUERQUE NM 87191  
450-4298

**Agent / Contact**  
LARKIN GROUP NM, INC

8500 MENAUL BLVD NE SUITE A-440  
ALBUQUERQUE NM 87112  
275-7500

### Application Fees

---

APN Fee

---

Conflict Mgmt Fee \$20.00

---

DRB Actions \$50.00

---

**TOTAL: \$70.00**





Supplemental form

**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): Larkin Group NM, Inc. PHONE: 505-275-7500  
 ADDRESS: 8500 Menaul Blvd NE, Suite A-440 FAX: 505-275-0748  
 CITY: Albuquerque STATE NM ZIP 87112 E-MAIL: jandrews@larkinm.com

APPLICANT: Onorio Colucci PHONE: 505-450-4298  
 ADDRESS: P.O. Box 14374 FAX: N/A  
 CITY: Albuquerque STATE NM ZIP 87191 E-MAIL: N/A

Proprietary interest in site: Ownership List all owners: Onorio Colucci & Virginia Colucci

DESCRIPTION OF REQUEST: Extension of Preliminary Plat

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Lot 1A & Lot 2 Block: 1 Unit: ---  
 Subdiv/Addn/TBKA: Lands of Atrisco Land Grant  
 Existing Zoning: SU-2 PDA Proposed zoning: Same MRGCD Map No N/A  
 Zone Atlas page(s): L-09 UPC Code: 100905606346420405 & 100905604545720404

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): \_\_\_\_\_  
 DRB Project No. 1007759 January 27, 2010

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill?  No  
 No. of existing lots: 2 No. of proposed lots: 2 Total area of site (acres): 8.6662

LOCATION OF PROPERTY BY STREETS: On or Near: 98th Street SW  
 Between: Central Avenue and Sunset Gardens SW

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: 01-27-10 Site  
 Development Plan & Preliminary Plat Approval

SIGNATURE John A. Andrews DATE 12-28-12  
 (Print) John A. Andrews, P.E. Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>DRB - 70400</u>	<u>EPP</u>		<u>\$ 50</u>
	<u>CMF</u>		<u>\$ 20.00</u>
			\$
			\$
			\$
			\$
			Total
			<u>\$ 70.00</u>

Hearing date January 9, 2012

[Signature]  
 Planner signature / date 12-28-12

Project # 1007759

**FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING**

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

**SKETCH PLAT REVIEW AND COMMENT (DRB22)** Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

**EXTENSION OF <sup>MINOR</sup> MAJOR PRELIMINARY PLAT (DRB08)** Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Copy of DRB approved infrastructure list
- Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
- List any original and/or related file numbers on the cover application

Extension of preliminary plat approval expires after one year.

**MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls 3 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

**MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** Your attendance is required.

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) 3 copies
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (verify with DRB Engineer)
- DXF file and hard copy of final plat data for AGIS is required.

**AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** Your attendance is required.

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- List any original and/or related file numbers on the cover application

Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

John A. Andrews  
 Applicant name (print)  
John A. Andrews 12/28/12  
 Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
 12DRB - 70100  
 - - -  
 - - -

[Signature] 12-28-12  
 Planner signature / date  
 Project # 1007759



Supplemental form

**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

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- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- County Submittal
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- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
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APPLICANT: Onorio Colucci PHONE: 505-450-4298  
 ADDRESS: P.O. Box 14374 FAX: N/A  
 CITY: Albuquerque STATE NM ZIP 87191 E-MAIL: N/A

Proprietary interest in site: Ownership List all owners: Onorio Colucci & Virginia Colucci

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Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

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 Subdiv/Addn/TBKA: Lands of Atrisco Land Grant  
 Existing Zoning: SU-2 PDA Proposed zoning: Same MRGCD Map No N/A  
 Zone Atlas page(s): L-09 UPC Code: 100905606346420405 & 100905604545720404

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.):  
DRB Project No. 1007759 January 27, 2010

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill?  No  
 No. of existing lots: 2 No. of proposed lots: 2 Total area of site (acres): 8.6662  
 LOCATION OF PROPERTY BY STREETS: On or Near: 98th Street SW

Between: Central Avenue and Sunset Gardens SW

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: 01-27-10 Site Development Plan & Preliminary Plat Approval

SIGNATURE John A. Andrews DATE 12-28-12

(Print) John A. Andrews, P.E. Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers  
DRB - 10400

Action	S.F.	Fees
<u>EPP</u>		<u>50</u>
<u>CMF</u>		<u>20.00</u>
		\$
		\$
		\$
		\$
		Total
		<u>70.00</u>

Hearing date January 9, 2012

[Signature]  
 Planner signature / date 12-28-12

Project # 1007759

**FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING**

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  - Copy of DRB approved infrastructure list
  - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
  - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.

**MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)**

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls 3 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
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- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
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- DXF file and hard copy of final plat data for AGIS is required.

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- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) 3 copies
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (verify with DRB Engineer)
- DXF file and hard copy of final plat data for AGIS is required.

**AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** Your attendance is required.

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
  - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

John A. Andrews  
 Applicant name (print)  
John A. Andrews 12/28/12  
 Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
 12 DRB - 70400  
 - - -  
 - - -

[Signature] 12-28-12  
 Planner signature / date  
 Project # 1007759



**LOCATION MAP**  
SCALE: 1" = 3000 ±  
ZONE ATLAS MAP L-9

**REFERENCE DOCUMENTS**

1. Plat "Lots of the Atrisco Land Grant", filed August 25, 1981, in Vol. 03, Folio 28, Records of Bernalillo County, New Mexico.
2. Plat "Lots 1A and 1B, Block 1, Lots of the Atrisco Land Grant", filed September 6, 1988, Vol. 037, Folio 68, Records of Bernalillo County, New Mexico.
3. Right of Way Maps, City of Albuquerque, Special Assessment District 222, dated August 1993.

**DISCLOSURE STATEMENT**

The purpose of this plat is to combine two lots into one subdivision, to create two new lots within the new subdivision and to grant the easements as shown for the purposes specified.

**DEVELOPMENT NOTES**

1. Two lots are created by this plat.  
Lot 1 = 2.3078 Ac./105521 sq. ft.  
Lot 2 = 6.3568 Ac./276990 sq. ft.  
Total Acreage: 8.6646 Ac./377511 sq. ft.  
R.O.W. Dedication: None  
Net Acreage: 8.6682 Ac./377501 sq. ft.
2. Utility Council Location Log No: 2009-34-16-01.

**FREE CONSENT AND DEDICATION**

The plat shown hereon is made in accordance with the desires of the undersigned owner(s) or proprietor(s) thereof. Said owner(s) or proprietor(s) do grant the easements shown hereon for the purposes specified; said owner(s) or proprietor(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided; said owner(s) and proprietor(s) do hereby certify that this is their free act and deed and do hereby represent that they are authorized to so act.

OWNERS:

ORORO COCCO  
VIRGINIA M. CALUCCI  
STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO ) SS

This instrument was acknowledged before me on August 25 of 2009.

by: Virginia M. Calucci  
NOTARY PUBLIC

STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO ) SS

This instrument was acknowledged before me on August 25 of 2009.

by: Virginia M. Calucci  
NOTARY PUBLIC

4-26-2012  
My Commission Expires

**LEGAL DESCRIPTION**

A certain parcel of land situated within Precinct Section 28, Township 10 North, Range 2 East, New Mexico Principal Meridian, County of Bernalillo, State of New Mexico, being and comprising Lot 1-A, Block 1, Lots of the Atrisco Land Grant, as the same is shown and designated on the Plat thereof filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 6, 1988 in Plat Book C-17, Folio 68 and Lot 2, Block 1, Lots of the Atrisco Land Grant, as the same is shown and designated on Plat Book D-3, Folio 28 and being more particularly described as follows:

1. Beginning at the northeast corner of the parcel herein described, a found 4/4 rebar with cap (not to scale) in place, from whence the Azimuthal Central Station "REWARD" bears N17505.56°W, a distance of 5743.46 feet; thence from said point of beginning,
  - a. S08°18'05"E, a distance of 82.88 feet to a point of curvature; thence,
  - Southwesterly, a distance of 280.85 feet, along the arc of a curve to the left having a radius of 2876.79 feet, a central angle of 53°57'44" and a chord which bears S08°05'57"E, a distance of 280.54 feet; thence,
  - S11°53'49"E, a distance of 194.04 feet to a point of curvature; thence,
  - Southwesterly, a distance of 274.94 feet, along the arc of a curve to the right having a radius of 2802.78 feet, a central angle of 53°17'14" and a chord which bears S09°05'12"E, a distance of 274.83 feet to a point of compound curvature; thence,
  - Southwesterly, a distance of 42.53 feet, along the arc of a curve to the right having a radius of 30.00 feet, a central angle of 81°10'57" and a chord which bears S3°20'17"W, a distance of 30.00 feet to a point of tangency; thence,
  - S74°57'15"W, a distance of 488.23 feet to the southwest corner of the parcel herein described; thence,
  - N00°17'18"E, a distance of 249.22 feet to a point of curvature; thence,
  - N74°57'23"E, a distance of 249.22 feet to a point of curvature; thence
2. Southwesterly, a distance of 129.25 feet, along the arc of a curve to the right having a radius of 75.00 feet, a central angle of 98°41'32" and a chord which bears S55°40'21"E, a distance of 113.84 feet to the point of beginning of the parcel herein described, containing 0.6682 acres (377501 sq. ft.), more or less.

**SURVEY NOTES**

1. Books of bearings for the Survey shown herein are New Mexico Coordinate System Grid Bearings, Central Zone, NAD 1983, NAD 1988 Datum, Transverse Mercator Projection, New Mexico.  
Abuquerque Central Station "REWARD"  
X=1481190.819 Y=1487384.063 (NAD 1983)  
Scale Factor: 0.999875005  
Convergence: -0°17'12.28"  
Elevation (NAVD 88) 5319.688 feet
2. Corner monuments "SET" by this survey are capped #5 rebar, 1.5" feet in length, embossed "PLS 12804" or as described herein. Existing corner monumentation found by this survey is described herein.
3. Distances are horizontal ground distances.
4. Bearings and distances shown in parentheses ( ) are from recorded plats.

**UTILITIES APPROVAL**

PHM	DATE
NEW MEXICO GAS COMPANY	
QUEST TELECOMMUNICATIONS	
COMCAST	
PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:	
A. Public Service Company of New Mexico (PSNM) for the installation, maintenance and service of underground and overhead electrical lines, transformers and other equipment and related facilities reasonably necessary to provide electrical service.	
B. New Mexico Gas Company for the installation, maintenance and service of such lines and other related equipment and facilities reasonably necessary to provide gas service.	
C. Qwest Telecommunications for the installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including, but not limited to ground pedestals and closures.	
D. Comcast for the installation, maintenance and service of such lines and other related equipment and facilities reasonably necessary to provide cable TV service.	

**NOTICE OF SUBDIVISION PLAT CONDITIONS**

Pursuant to Section 7 of the City of Albuquerque Subdivision Ordinance, a variance or waiver from certain subdivision requirements has been granted by the City and the Albuquerque Metropolitan Arroyo Flood Control Authority in connection with this plat.

Future subdivision of lands designated as Lot 2 within this plat, zoning, Site Development Plan approvals and development permits may be conditioned upon dedication of rights-of-way and easements and/or sewer, electric, drainage, grading and other easements in accordance with current resolutions, ordinances and policies in effect at the time for any specific proposed.

The City (and AMAFCA, with reference to drainage) may require and/or permit easements to be added, modified or removed when future plats and/or site developments are approved.

By its approval of this subdivision the City makes no representation or warranty as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: improvement; park and open space requirements; drainage requirements and/or improvements; and, excavation, filling or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

A separate notice of these conditions is recorded with the County Clerk on \_\_\_\_\_

In Book \_\_\_\_\_ Page \_\_\_\_\_

**SURVEYOR'S CERTIFICATE**

I, Gregory L. Steiner, New Mexico Professional Surveyor No. 12804, do hereby certify that the real property shown herein has been surveyed, monumented and plotted by me or under my direct supervision and responsible charge, shows all easements or interests that are recorded or otherwise known to me by the owner(s) and/or proprietor(s) of the subject land, and that the same are in accordance with the minimum requirements of the City of Albuquerque Subdivision Ordinance. In accordance with the Standards for Land Surveys in New Mexico and that said survey and plat is true and correct to the best of my knowledge and belief.

GREGORY L. STEINER, PLS 12804  
DATE 08-20-2009



**LARKIN GROUP P.L.L.C.**  
CONSULTING ENGINEERS AND SURVEYORS  
8500 MENAUL BLVD., NE A-440  
ALBUQUERQUE, NEW MEXICO 87112  
(505) 275-7500 FAX (505) 275-0748  
www.larkinmm.com

**PLAT OF  
LOTS 1 & 2  
MERCADO  
CAMINO 66  
BEING A REPLAT OF  
LOT 1A & LOT 2, BLOCK 1  
LANDS OF THE ATRISCO LAND GRANT  
AUGUST, 2009**

THIS IS TO CERTIFY THAT TAXES ARE CURRENT  
AND PAID ON UPC # 100905608346420405  
# 100905604545720404

PROPERTY OWNER OF RECORD: \_\_\_\_\_  
BERNALILLO COUNTY TREASURER'S OFFICE: \_\_\_\_\_

**APPROVALS**

*[Signature]*  
CITY SURVEYOR  
DATE 8-25-09

TRAFFIC ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

DESIGN AND DEVELOPMENT, C/P \_\_\_\_\_ DATE \_\_\_\_\_

PARKS AND RECREATION DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

UTILITY DEVELOPMENT DIVISION \_\_\_\_\_ DATE \_\_\_\_\_

PROPERTY MANAGEMENT \_\_\_\_\_ DATE \_\_\_\_\_

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY \_\_\_\_\_ DATE \_\_\_\_\_

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE  
ALBUQUERQUE SUBDIVISION ORDINANCE, ARTICLE XI OF CHAPTER 7 OF  
THE REVISED ORDINANCES OF ALBUQUERQUE, N.M.

CITY PLANNER, ALBUQUERQUE/BERNALILLO COUNTY PLANNING DIVISION \_\_\_\_\_ DATE \_\_\_\_\_

CASE No. \_\_\_\_\_ PLAT No. \_\_\_\_\_

PLAT OF  
**LOTS 1 & 2**  
**MERCADO**  
**CAMINO 66**  
 BEING A REPLAT OF  
 LOT 1A & LOT 2, BLOCK 1  
 LANDS OF THE ATRISCO LAND GRANT  
 AUGUST, 2009

**CURVE DATA—ROADWAY EASEMENT**

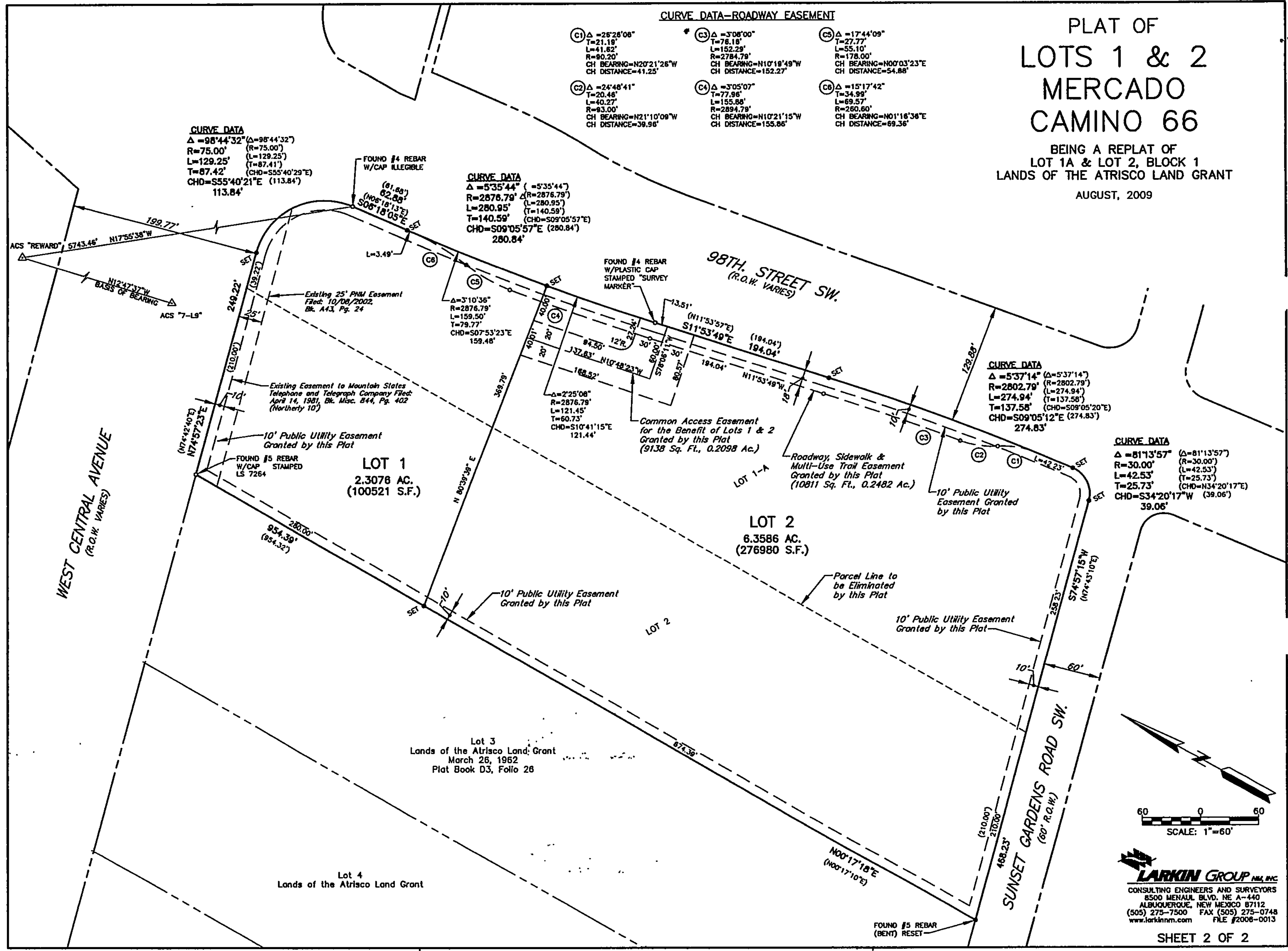
- |   |  |  |
|---|--|--|
| (C1) $\Delta = 26^{\circ}26'08''$<br>$T = 21.18'$<br>$L = 41.82'$<br>$R = 80.20'$<br>CH BEARING = $N20^{\circ}21'26''W$<br>CH DISTANCE = 41.25' | (C3) $\Delta = 3^{\circ}08'00''$<br>$T = 76.18'$<br>$L = 152.29'$<br>$R = 2784.79'$<br>CH BEARING = $N10^{\circ}19'49''W$<br>CH DISTANCE = 152.27' | (C5) $\Delta = 17^{\circ}44'09''$<br>$T = 27.77'$<br>$L = 55.10'$<br>$R = 178.00'$<br>CH BEARING = $N00^{\circ}03'23''E$<br>CH DISTANCE = 54.88' |
| (C2) $\Delta = 24^{\circ}48'41''$<br>$T = 20.48'$<br>$L = 40.27'$<br>$R = 80.20'$<br>CH BEARING = $N21^{\circ}10'09''W$<br>CH DISTANCE = 39.96' | (C4) $\Delta = 3^{\circ}05'07''$<br>$T = 77.96'$<br>$L = 155.86'$<br>$R = 2894.79'$<br>CH BEARING = $N10^{\circ}21'15''W$<br>CH DISTANCE = 155.86' | (C6) $\Delta = 15^{\circ}17'42''$<br>$T = 34.95'$<br>$L = 69.57'$<br>$R = 260.60'$<br>CH BEARING = $N01^{\circ}16'38''E$<br>CH DISTANCE = 69.36' |

**CURVE DATA**  
 $\Delta = 98^{\circ}44'32''$  ( $\Delta = 98^{\circ}44'32''$ )  
 $R = 75.00'$  ( $R = 75.00'$ )  
 $L = 129.25'$  ( $L = 129.25'$ )  
 $T = 87.42'$  ( $T = 87.41'$ )  
 CHD =  $S55^{\circ}40'21''E$  (113.84')  
 113.84'

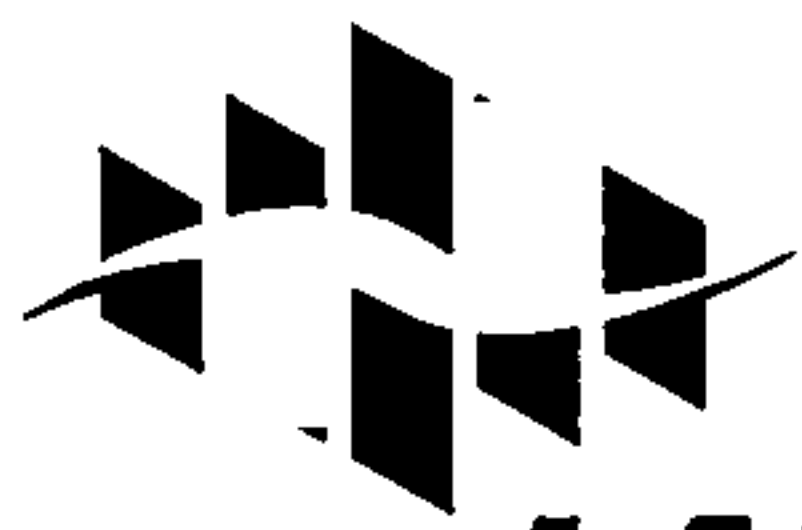
**CURVE DATA**  
 $\Delta = 5^{\circ}35'44''$  ( $\Delta = 5^{\circ}35'44''$ )  
 $R = 2876.79'$  ( $R = 2876.79'$ )  
 $L = 280.95'$  ( $L = 280.95'$ )  
 $T = 140.59'$  ( $T = 140.59'$ )  
 CHD =  $S09^{\circ}05'57''E$  (280.84')  
 280.84'

**CURVE DATA**  
 $\Delta = 5^{\circ}37'14''$  ( $\Delta = 5^{\circ}37'14''$ )  
 $R = 2802.79'$  ( $R = 2802.79'$ )  
 $L = 274.94'$  ( $L = 274.94'$ )  
 $T = 137.58'$  ( $T = 137.58'$ )  
 CHD =  $S09^{\circ}05'12''E$  (274.83')  
 274.83'

**CURVE DATA**  
 $\Delta = 81^{\circ}13'57''$  ( $\Delta = 81^{\circ}13'57''$ )  
 $R = 30.00'$  ( $R = 30.00'$ )  
 $L = 42.53'$  ( $L = 42.53'$ )  
 $T = 25.73'$  ( $T = 25.73'$ )  
 CHD =  $S34^{\circ}20'17''W$  (39.06')  
 39.06'



**LARKIN GROUP** INC. INC. IN N.M.  
 CONSULTING ENGINEERS AND SURVEYORS  
 8500 MENAUL BLVD., NE A-440  
 ALBUQUERQUE, NEW MEXICO 87112  
 (505) 275-7500 FAX (505) 275-0748  
 www.larkinm.com FILE #2008-0013



December 28, 2012

Mr. Jack Cloud, Chairman  
Development Review Board  
City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

**Subject: Preliminary Plat Extension  
Mercado Camino 66 Subdivision  
DRB Project No. 1007759**

Dear Mr. Cloud:

This is a request to extend the above subject preliminary plat for two years.

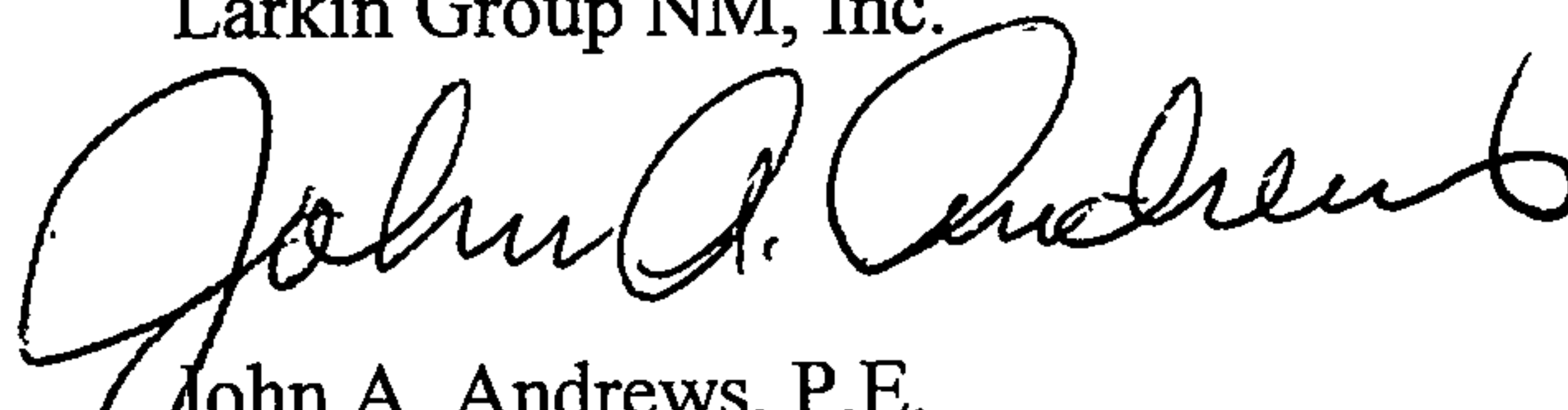
The preliminary plat was approved previously by DRB on January 27, 2010 and an extension of the preliminary plat on January 12, 2011 and January 11, 2012.

At the time of preparation of the preliminary plat and presenting it to DRB the owner of the property had been contacted by a possible user of a portion of the property. However, this has not materialized and the user currently has backed out of purchasing a portion of the property. The owner continues to market the property but there is no indication that a sale is imminent at this time.

We therefore request that DRB approve a two-year extension of the preliminary plat to allow the owner more time to market the property during this slow economic time. A pending sale is needed to generate the funds for the owner to construct the infrastructure improvements.

Please call on any questions or comments you may have.

Very truly yours,  
Larkin Group NM, Inc.



John A. Andrews, P.E.  
Principal

JAA:msm  
cc: Onorio Colucci, Owner

Current DRC Project Number: 1007759

FIGURE 12

Date Submitted: 01-27-10  
 Date Site Plan Approved: 1  
 Date Preliminary Plat Approved: 01-27-10  
 Date Preliminary Plat Expires: 01-27-11  
 DRB Project No.: 1007759  
 DRB Application No.: 09-7400

INFRASTRUCTURE LIST

(Rev. 9-20-05)  
 EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT  
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

MERCADO CAMINO 666 LOT-1

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Lot 1A & Lot 2, Block 1 Land of Atresco Grant.

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantee. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Inspector	P.E.	City Cnst Engineer
		Width varies	Median Opening	98th Street	500 ft. So. of Central	900 ft. So. of Central			
		12' wide	Left Turn Holding Lane	98th Street	280 ft. So. of Central	Approx 1 mpt. to 510 ft. So. of Central			
		10' wide	Deceleration Lane at West Curb Line	98th Street	250 ft. So. of Central	700 ft. So. of Central			
		40' wide	Turnout to Property	98th Street	at 530 ft. So. of Central				
		32' wide	Turnout to Property	Central Ave.	at 390 ft. W. of 98th St				
		Std	Curb & Gutter	South Side Central Ave	WEST Pt. to East Pt. 175 ft W. to 350 ft W. of 98th St				
		2 EA	Curb Inlet Modification	98th Street	at Deceleration Lane				



The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification	
							Inspector	City Cnst Engineer
							/	/
							/	/

Approval of Creditable Items:

Impact Fee Administrator Signature \_\_\_\_\_ Date \_\_\_\_\_  
 City User Dept. Signature \_\_\_\_\_ Date \_\_\_\_\_

**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
 Street lights per City requirements.

- 1 \_\_\_\_\_
- 2 \_\_\_\_\_
- 3 \_\_\_\_\_

**AGENT / OWNER** DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

John A. Andrews  
 NAME (print)  
Larkin Group NM, Inc  
 FIRM  
John A. Andrews 12/21/09  
 SIGNATURE - date  
John (John) 01/27/10  
 DRB CHAIR - date  
Christina Sandoral 1/27/10  
 PARKS & RECREATION - date  
01/27/10  
 TRANSPORTATION DEVELOPMENT - date  
1-27-10  
 UTILITY DEVELOPMENT - date  
Bradley D. Byler 1-27-10  
 CITY ENGINEER - date  
 AMAFCA - date \_\_\_\_\_  
 \_\_\_\_\_ - date \_\_\_\_\_  
 \_\_\_\_\_ - date \_\_\_\_\_

**DESIGN REVIEW COMMITTEE REVISIONS**

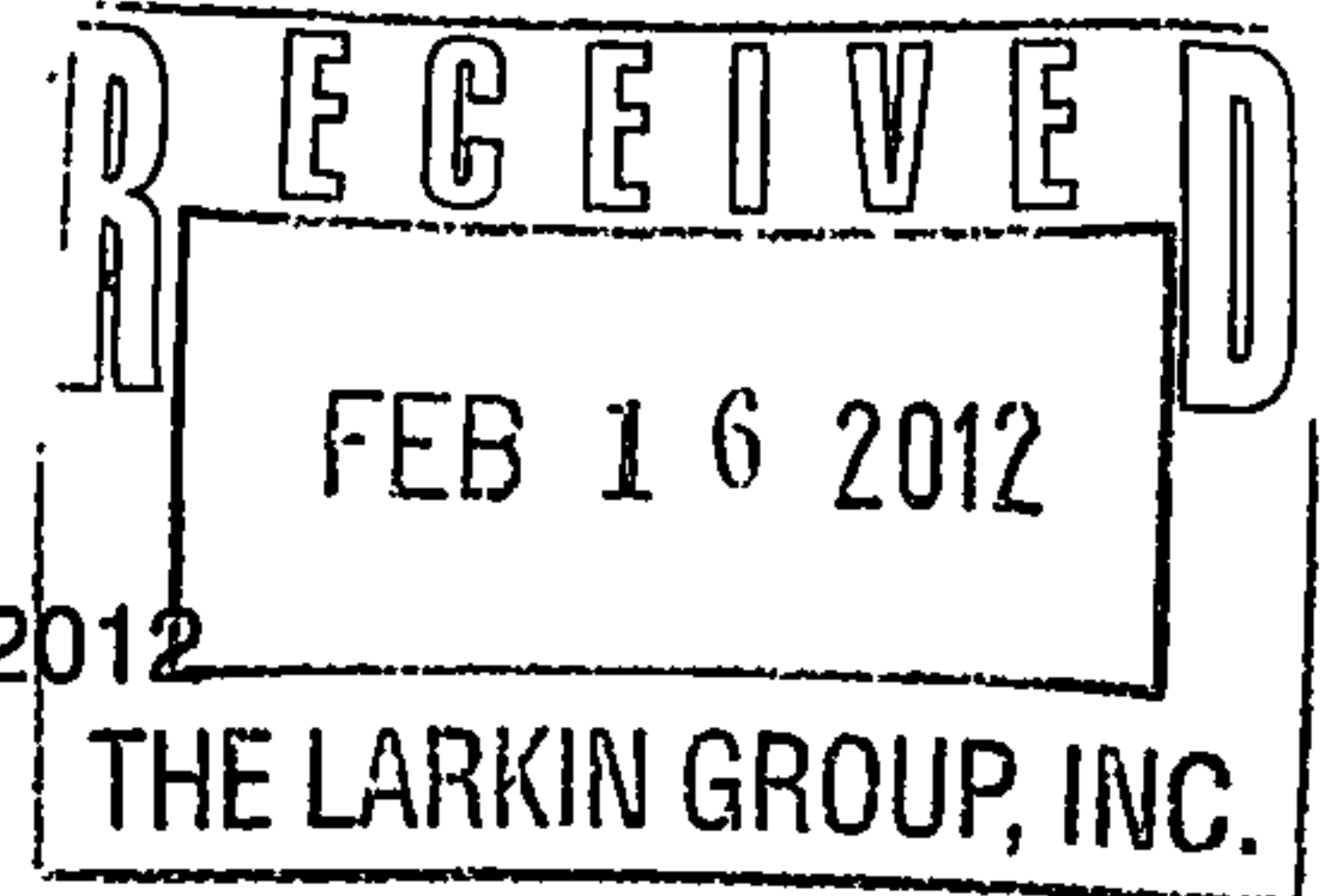
REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



**OFFICIAL NOTICE OF DECISION**

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

January 11, 2012



**Project# 1007759**  
11DRB-70367 EXT OF MAJOR PRELIMINARY PLAT

LARKIN GROUP NM, INC agent(s) for ONORIO COLUCCI request(s) the above action(s) for all or a portion of Lot(s) 1A & 2, Block(s) 1, **LANDS OF ATRISCO LAND GRANT** zoned SU-2 PDA, located on 98TH BETWEEN CENTRAL AND SUNSET GARDENS containing approximately 8.6662 acre(s). (L-9)

At the January 11, 2012 Development Review Board meeting, the one-year extension of the preliminary plat was approved. The conditions of final plat still apply.

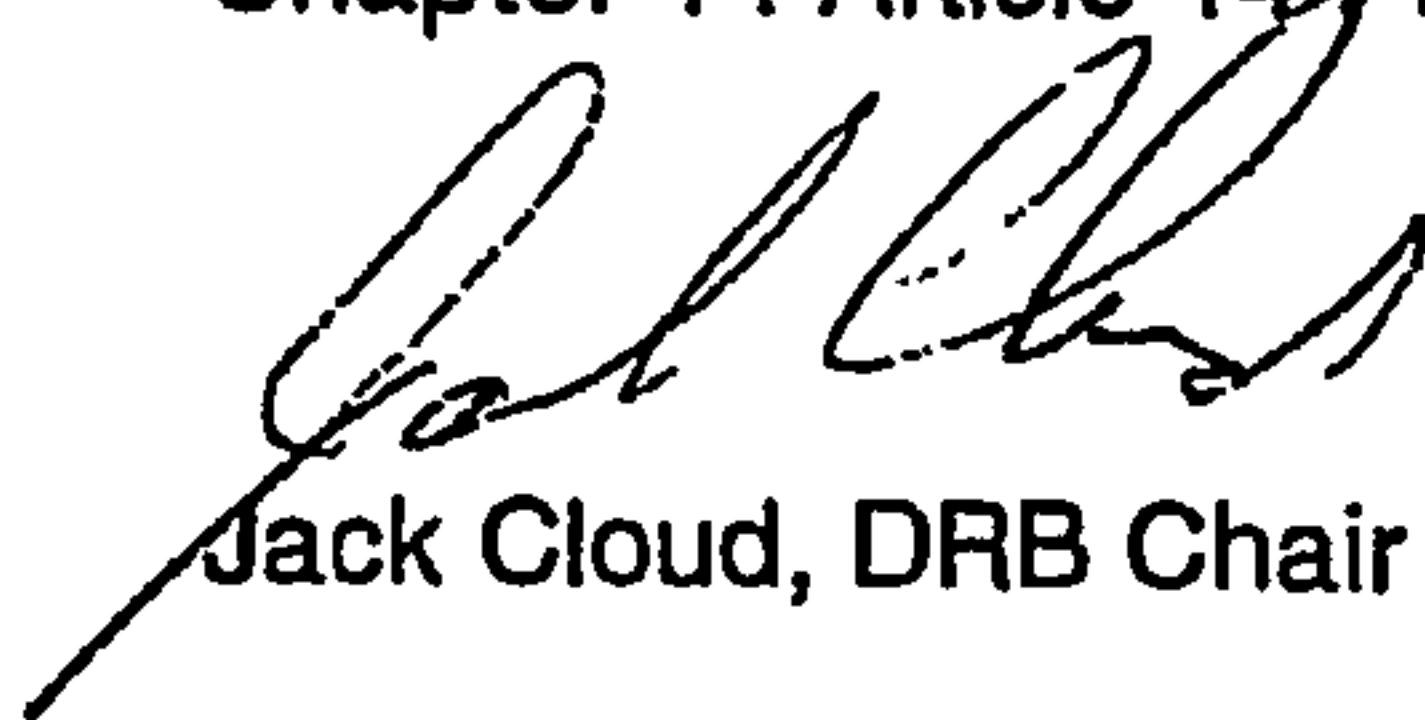
If you wish to appeal this decision, you must do so by January 26, 2012, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

  
Jack Cloud, DRB Chair

Cc: Larkin Group NM, Inc. – 8500 Menaul Blvd NE, Ste A-440 – Albuquerque, NM 87112

Cc: Onorio Colucci – P.O. Box 14374 – Albuquerque, NM 87191  
Marilyn Maldonado  
file

January 9th 2013



Supplemental form

**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): Larkin Group NM, Inc. PHONE: 505-275-7500  
 ADDRESS: 8500 Menaul Blvd NE, Suite A-440 FAX: 505-275-0748  
 CITY: Albuquerque STATE NM ZIP 87112 E-MAIL: jandrews@larkinm.com

APPLICANT: Onorio Colucci PHONE: 505-450-4298  
 ADDRESS: P.O. Box 14374 FAX: N/A  
 CITY: Albuquerque STATE NM ZIP 87191 E-MAIL: N/A  
 Proprietary interest in site: Ownership List all owners: Onorio Colucci & Virginia Colucci

DESCRIPTION OF REQUEST: Extension of Preliminary Plat

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Lot 1A & Lot 2 Block: 1 Unit: ---  
 Subdiv/Addn/TBKA: Lands of Atrisco Land Grant  
 Existing Zoning: SU-2 PDA Proposed zoning: Same MRGCD Map No N/A  
 Zone Atlas page(s): L-09 UPC Code: 100905606346420405 & 100905604545720404

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_, Z\_, V\_, S\_, etc.):  
DRB Project No. 1007759 January 27, 2010

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill?  No  
 No. of existing lots: 2 No. of proposed lots: 2 Total area of site (acres): 8.6662

LOCATION OF PROPERTY BY STREETS: On or Near: 98th Street SW  
 Between: Central Avenue and Sunset Gardens SW

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: 01-27-10 Site Development Plan & Preliminary Plat Approval

SIGNATURE John A. Andrews DATE 12-28-2011  
 (Print) John A. Andrews, P.E. Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

11 - DRB - 70367

Action

EPP

CMF

S.F.

Fees

\$ 50.00

\$ 20.00

\$

\$

\$

Total

\$ 70.00

Hearing date Jan. 11, 2012

12-29-11

Project # 1007759

Planner signature / date

Form revised 4/07

**FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING**

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

**SKETCH PLAT REVIEW AND COMMENT (DRB22)** Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

**EXTENSION OF <sup>MINOR</sup> MAJOR PRELIMINARY PLAT (DRB08)** Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Copy of DRB approved infrastructure list
  - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
  - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.**

**MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls: 3 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

**MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** Your attendance is required.

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) 3 copies
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (verify with DRB Engineer)
- DXF file and hard copy of final plat data for AGIS is required.

**AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** Your attendance is required.

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
  - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

*John A. Andrews*  
 \_\_\_\_\_  
 Applicant name (print)  
*John A. Andrews 12/29/11*  
 \_\_\_\_\_  
 Applicant signature / date

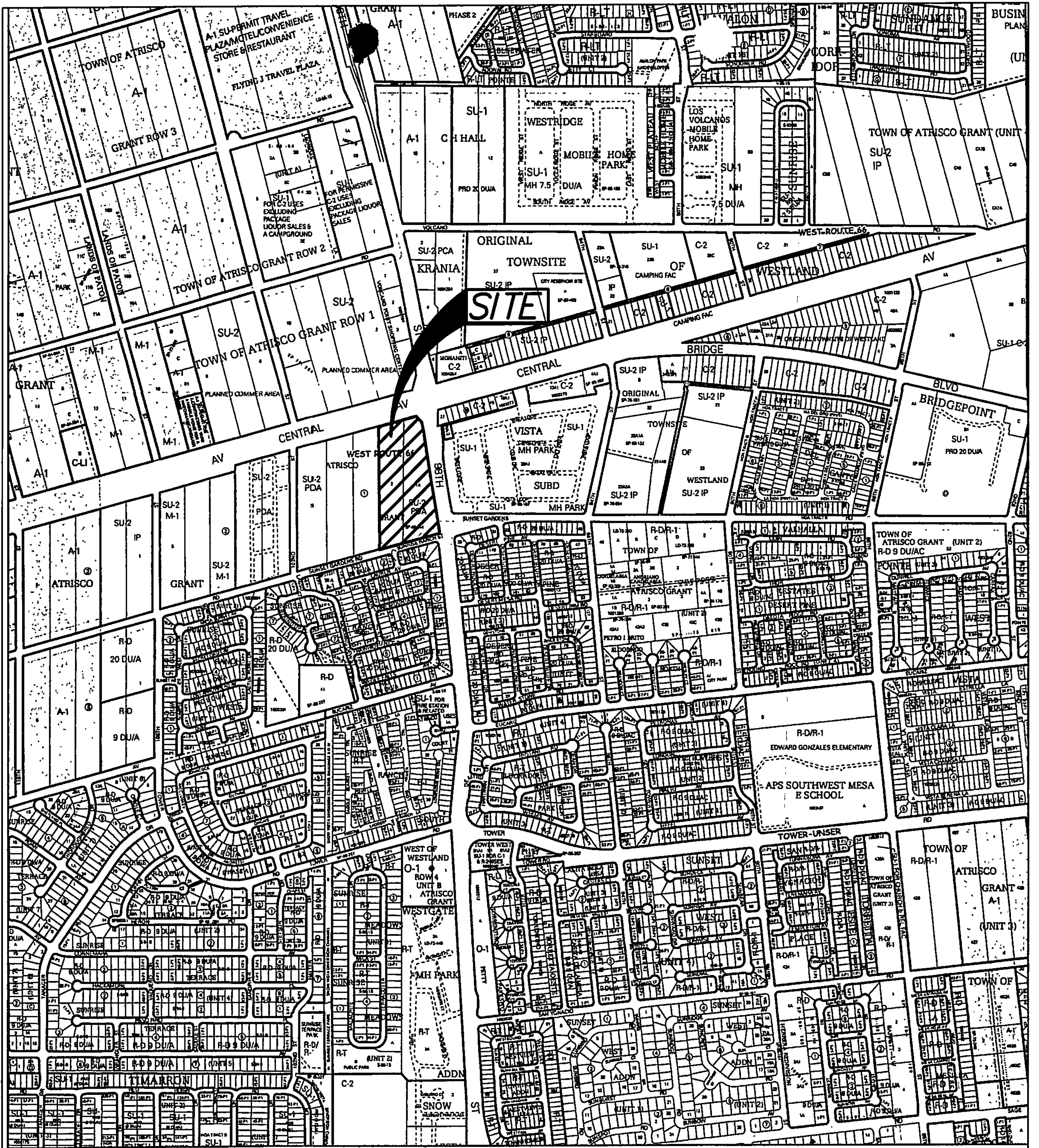


Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
 11 - DRB - 70367  
 \_\_\_\_\_  
 \_\_\_\_\_

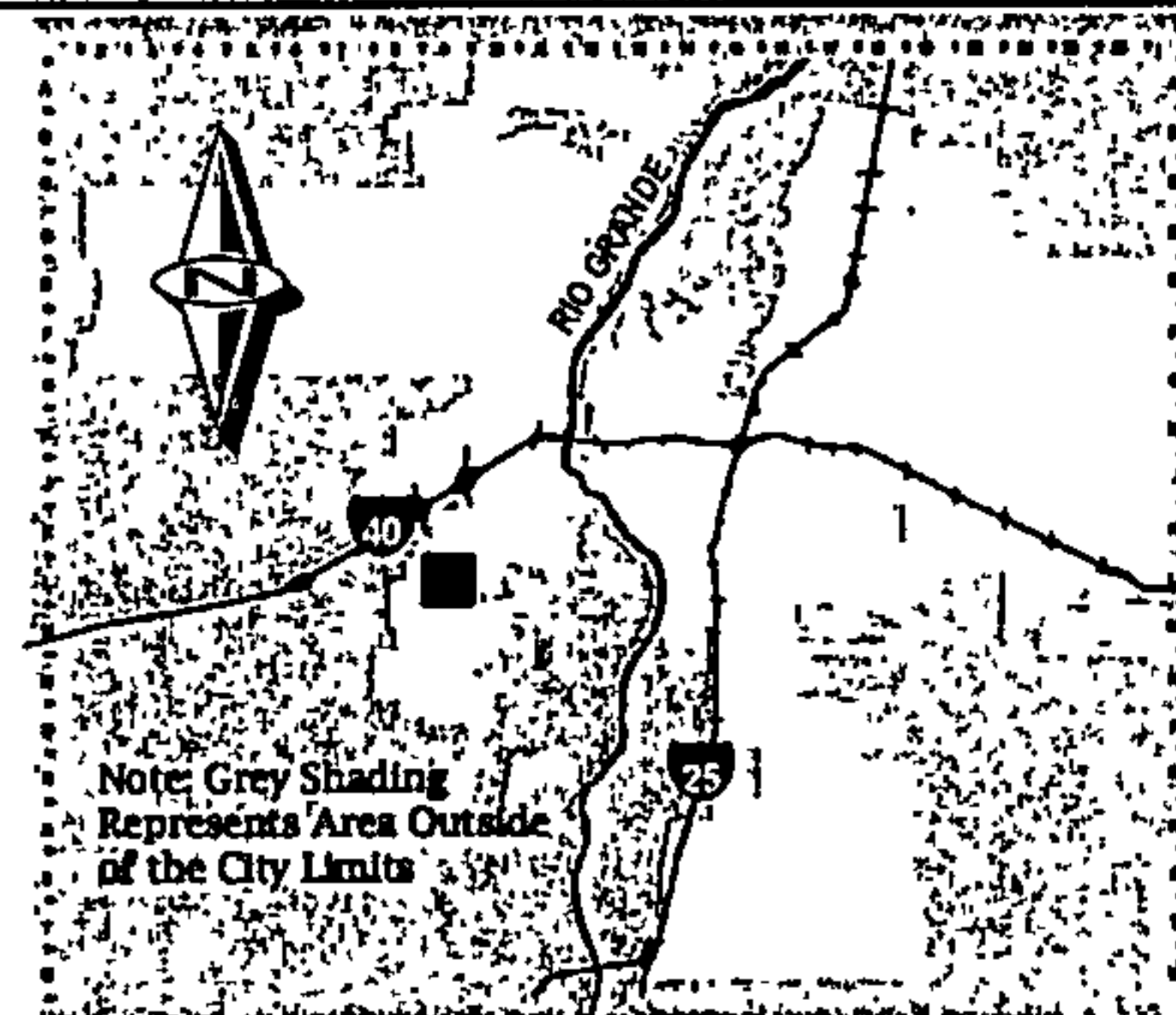
*[Signature]* 12-29-11  
 \_\_\_\_\_  
 Planner signature / date  
 Project # 1007759



For more current information and more details visit: <http://www.cabq.gov/gis>



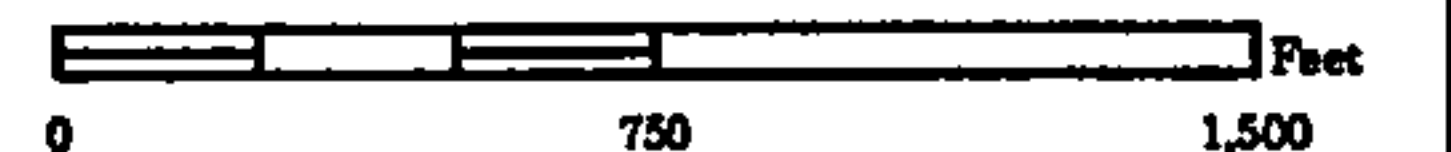
Map amended through: 6/13/2008



Zone Atlas Page:  
**L-09-Z**

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



December 28, 2011

Mr. Jack Cloud, Chairman  
Development Review Board  
City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

**Subject: Preliminary Plat Extension  
Mercado Camino 66 Subdivision  
DRB Project No. 1007759**

Dear Mr. Cloud:

This is a request to extend the above subject preliminary plat for two years.

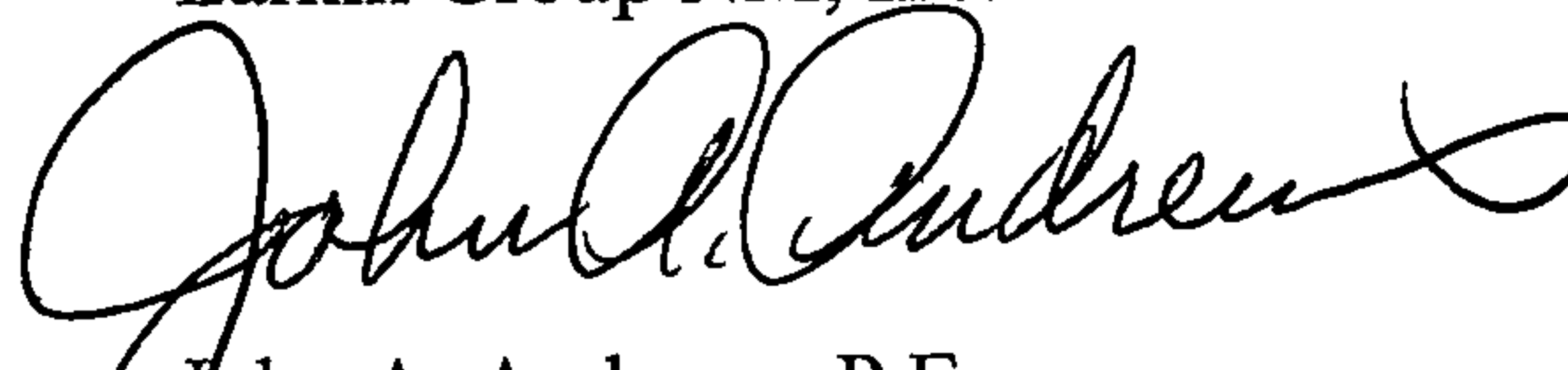
The preliminary plat was approved previously by DRB on January 27, 2010 and an extension of the preliminary plat on January 12, 2011.

At the time of preparation of the preliminary plat and presenting it to DRB the owner of the property had been contacted by a possible user of a portion of the property. However, this has not materialized and the user currently has backed out of purchasing a portion of the property. The owner continues to market the property but there is no indication that a sale is imminent at this time.

We therefore request that DRB approve a two-year extension of the preliminary plat to allow the owner more time to market the property during this slow economic time. A pending sale is needed to generate the funds for the owner to construct the infrastructure improvements.

Please call on any questions or comments you may have.

Very truly yours,  
Larkin Group NM, Inc.



John A. Andrews, P.E.  
Principal

JAA:msm  
cc: Onorio Colucci, Owner

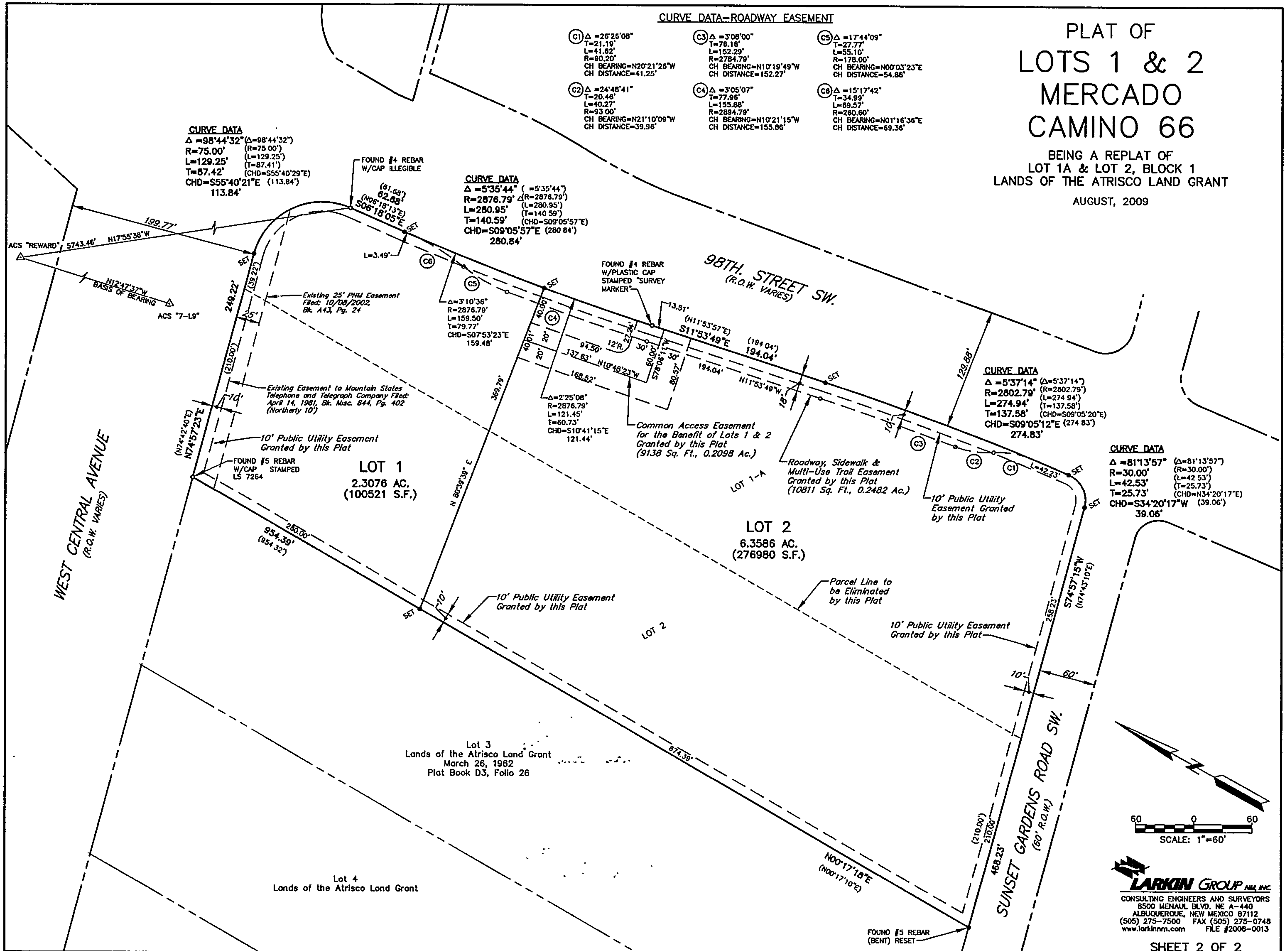




Original

# PLAT OF LOTS 1 & 2 MERCADO CAMINO 66

BEING A REPLAT OF  
LOT 1A & LOT 2, BLOCK 1  
LANDS OF THE ATRISCO LAND GRANT  
AUGUST, 2009



### CURVE DATA—ROADWAY EASEMENT

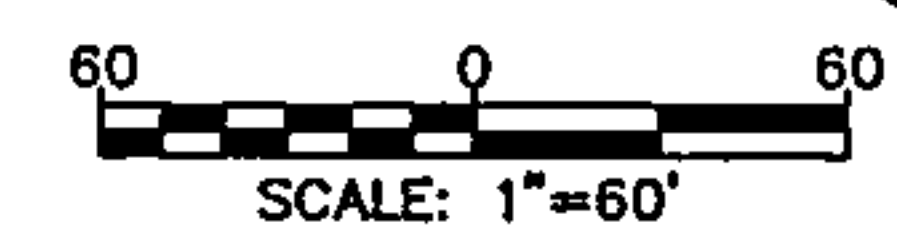
- |  |   |   |
|--|---|---|
| (C1) $\Delta = 25'26'08''$<br>T=21.19'<br>L=41.62'<br>R=90.20'<br>CH BEARING=N20°21'26"W<br>CH DISTANCE=41.25' | (C3) $\Delta = 3'08'00''$<br>T=78.18'<br>L=152.29'<br>R=2784.79'<br>CH BEARING=N10°18'49"W<br>CH DISTANCE=152.27' | (C5) $\Delta = 17'44'09''$<br>T=27.77'<br>L=55.10'<br>R=178.00'<br>CH BEARING=N00°03'23"E<br>CH DISTANCE=54.88' |
| (C2) $\Delta = 24'48'41''$<br>T=20.48'<br>L=40.27'<br>R=93.00'<br>CH BEARING=N21°10'09"W<br>CH DISTANCE=39.96' | (C4) $\Delta = 3'05'07''$<br>T=79.98'<br>L=155.88'<br>R=2894.79'<br>CH BEARING=N10°21'15"W<br>CH DISTANCE=155.66' | (C6) $\Delta = 15'17'42''$<br>T=34.99'<br>L=69.57'<br>R=280.60'<br>CH BEARING=N01°16'36"E<br>CH DISTANCE=69.36' |

**CURVE DATA**  
 $\Delta = 98'44'32''$  ( $\Delta = 98'44'32''$ )  
 R=75.00' (R=75.00')  
 L=129.25' (L=129.25')  
 T=87.42' (T=87.41')  
 CHD=S55°40'29"E (113.84')  
 113.84'

**CURVE DATA**  
 $\Delta = 5'35'44''$  ( $\Delta = 5'35'44''$ )  
 R=2876.79' (R=2876.79')  
 L=280.95' (L=280.95')  
 T=140.59' (T=140.59')  
 CHD=S09°05'57"E (280.84')  
 280.84'

**CURVE DATA**  
 $\Delta = 5'37'14''$  ( $\Delta = 5'37'14''$ )  
 R=2802.79' (R=2802.79')  
 L=274.94' (L=274.94')  
 T=137.58' (T=137.58')  
 CHD=S09°05'12"E (274.83')  
 274.83'

**CURVE DATA**  
 $\Delta = 81'13'57''$  ( $\Delta = 81'13'57''$ )  
 R=30.00' (R=30.00')  
 L=42.53' (L=42.53')  
 T=25.73' (T=25.73')  
 CHD=N34°20'17"E (39.06')  
 39.06'



**LARKIN GROUP** INC.  
 CONSULTING ENGINEERS AND SURVEYORS  
 8500 MENAUL BLVD. NE A-440  
 ALBUQUERQUE, NEW MEXICO 87112  
 (505) 275-7500 FAX (505) 275-0748  
 www.larkinm.com FILE #2008-0013

Current DRC  
Project Number: 1007759

FIGURE 12

Date Submitted: 01-27-10

INFRASTRUCTURE LIST

Date Site Plan Approved: 01-27-10

(Rev. 9-20-05)

Date Preliminary Plat Approved: 01-27-10

EXHIBIT "A"

Date Preliminary Plat Expires: 01-27-11

DRB Project No.: 1007759

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DRB Application No.: 09-7400

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

MERCADO CAMINO 66 LOT-1

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Lot 1A & Lot 2, Block 1 Land of Atrisco Grant.

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		width varies	Median Opening & Left Turn Holding Lane	98th Street	500 ft. So. of Central	900 ft. So. of Central			
		12' Wide	Deceleration Lane at West Curb Line	98th Street	280 ft. So. of Central	Approximately 510 ft. So. of Central			
		10' wide	Relocation of Multi-Use Trail	98th Street	250 ft. So. of Central	700 ft. So. of Central			
		40' wide	Turnout to Property	98th Street	at 530 ft. So. of Central				
		32' wide	Turnout to Property	Central Ave.	at 390 ft. W. of 98th St				
		Std	Curb & Gutter	South Side Central Ave	West Pt. of 98th St	to East Pt. of 98th St			
		2 EA	Curb Inlet Modification	98th Street	at Deceleration Lane				

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	P.E.	City Cnst Engineer	
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>						/	/	/	
Approval of Creditable Items:							Approval of Creditable Items:			
Impact Fee Administrator Signature							Date	City User Dept. Signature		Date

**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

- 1 \_\_\_\_\_  
\_\_\_\_\_
- 2 \_\_\_\_\_  
\_\_\_\_\_
- 3 \_\_\_\_\_  
\_\_\_\_\_

**AGENT / OWNER . . . . . DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

John A. Andrews  
NAME (print)

Larkin Group NM, Inc  
FIRM

John A. Andrews 12/21/09  
SIGNATURE - date

[Signature] 01/27/10  
DRB CHAIR - date

[Signature] 01/27/10  
TRANSPORTATION DEVELOPMENT - date

[Signature] 1-27-10  
UTILITY DEVELOPMENT - date

Bradley S. Baker 1-27-10  
CITY ENGINEER - date

Christina Sandoral 1/27/10  
PARKS & RECREATION - date

\_\_\_\_\_  
AMAFCA - date

\_\_\_\_\_  
- date

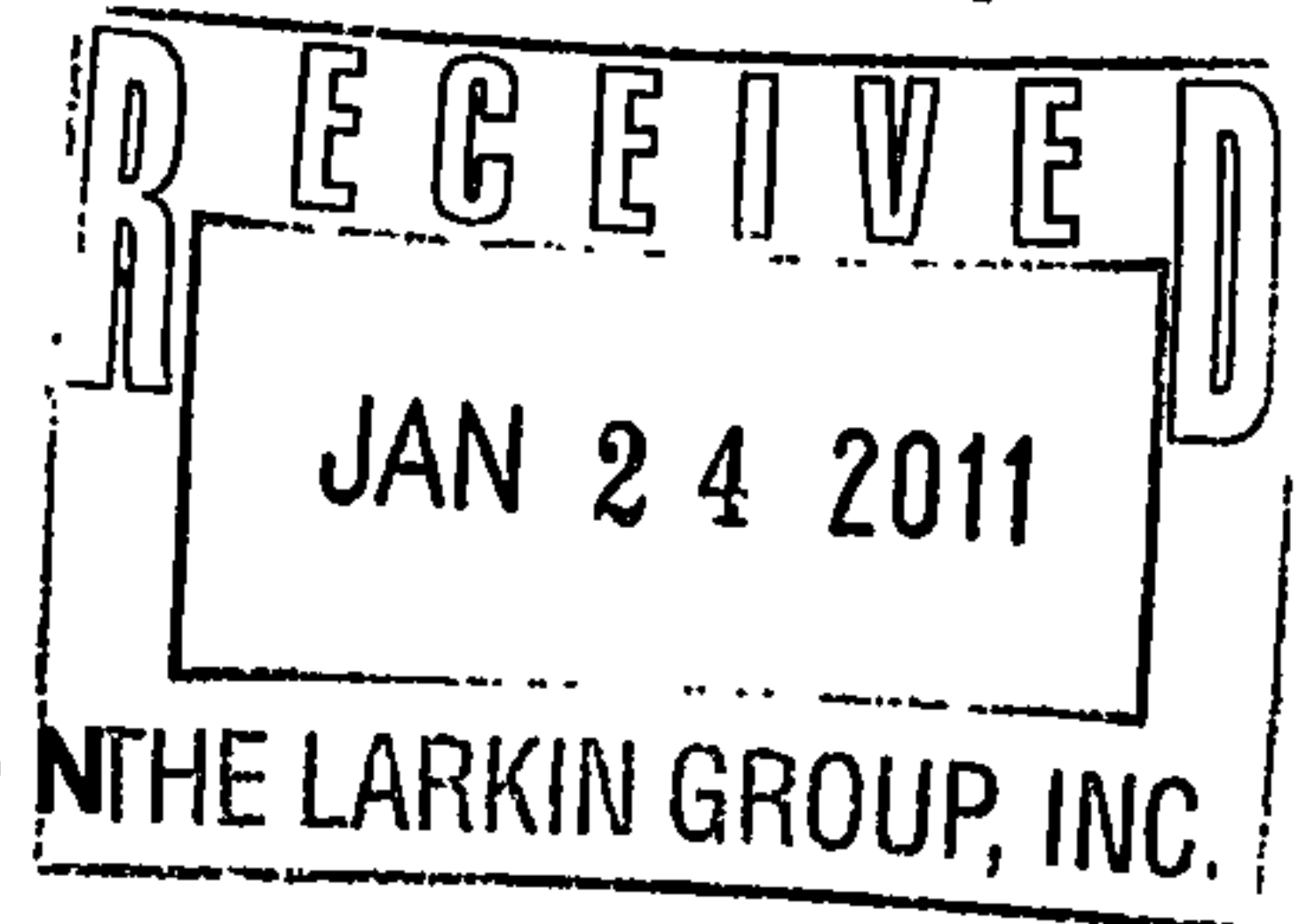
\_\_\_\_\_  
- date

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



**OFFICIAL NOTICE OF DECISION**



CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

January 12, 2011

**Project# 1007759**  
11DRB-70000 EXT OF PRELIMINARY PLAT

LARKIN GROUP NM INC agent(s) for ONORIO COLUCCI request(s) the above action(s) for all or a portion of Lot(s) 1A & 2, Block(s) 1, **LANDS OF ATRISCO LAND GRANT**, zoned SU-2 PDA, located on 98TH ST SW BETWEEN CENTRAL AVE SW AND SUNSET GARDENS SW containing approximately 8.6662 acre(s). (L-9)

At the January 12, 2011 Development Review Board meeting, the one-year extension of the preliminary plat was approved. If you wish to appeal this decision, you must do so by January 27, 2011, in the manner described below.

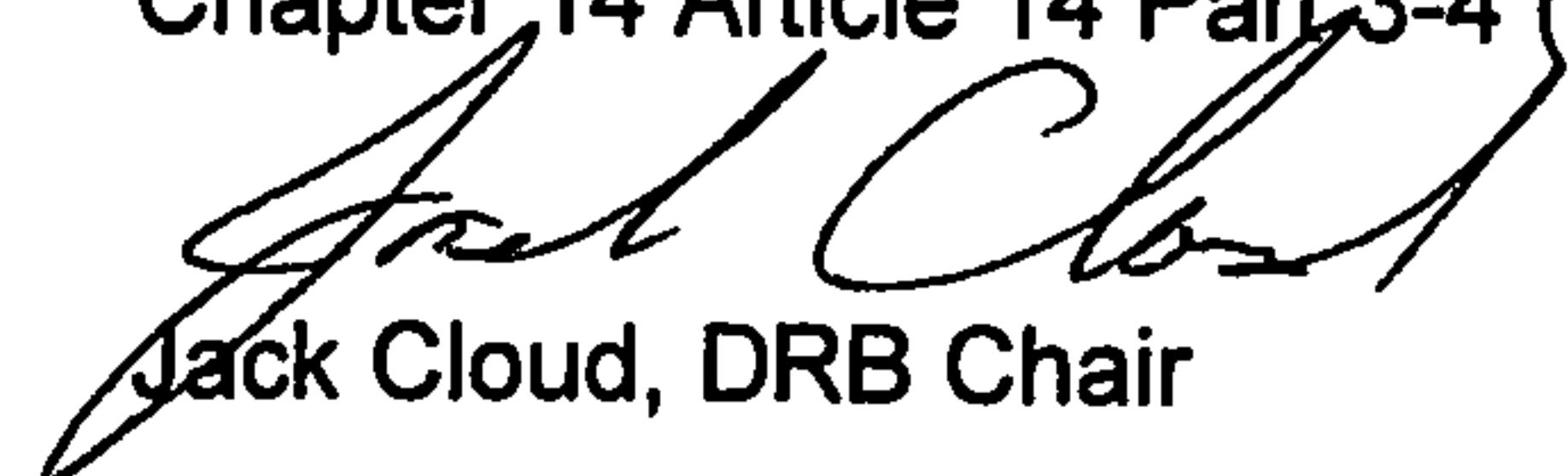
Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

The conditions of final plat still apply.

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

  
Jack Cloud, DRB Chair

Cc: Larkin Group NM, Inc. – 8500 Menaul Blvd NE, Ste A-440 – Albuquerque, NM 87112  
Onorio Colucci – P.O. Box 14374 – Albuquerque, NM 87191  
Marilyn Maldonado  
file

98  
98

# City of Albuquerque Planning Department

## One Stop Shop – Development and Building Services

01/03/2011 Issued By: E08375 97200

---

STANDARD APPLICATION, Paper Plans Required

**Permit Number:** 2011 070 000 **Category Code 910**

**Application Number:** 11DRB-70000, Ext Of Major Preliminary Plat

**Address:**

**Location Description:** 98TH ST SW BETWEEN CENTRAL AVE SW AND SUNSET GARDENS SW

**Project Number:** 1007759

**Applicant**  
ONORIO COLUCCI

PO BOX 14374  
ALBUQUERQUE NM 87191  
450-4298

**Agent / Contact**  
Larkin Group Nm Inc

8500 Menaul Blvd Ne Suite A-440  
Albuquerque NM 87112  
275-7500  
jandrews@larkinnm.com

**Application Fees**

441018/4943000	APN Fee	
441032/3416000	Conflict Mgmt Fee	\$20.00
441006/4958000	DRB Actions	\$50.00
<b>TOTAL:</b>		<b>\$70.00</b>

City Of Albuquerque  
Treasury Division

1/3/2011 3:50PM LOC: ANNX  
WS# 006 TRANS# 0043  
RECEIPT# 00128304-00128304  
PERMITH 2011070000 TRSSVG  
Trans Amt \$70.00  
Conflict Manag. Fee \$20.00  
DRB Actions \$50.00  
CK \$70.00  
CHANGE \$0.00

Thank You

# City of Albuquerque Planning Department

## DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

### DEVELOPMENT REVIEW BOARD

12/29/2011 Issued By: BLDAVM 132214

Category Code **910**  
**2011 070 367**

**Application Number:** 11DRB-70367, Ext Of Major Preliminary Plat

**Address:**

**Location Description:** 98TH BETWEEN CENTRAL AND SUNSET GARDENS

**Project Number:** 1007759

#### Applicant

ONORIO COLUCCI

PO BOX 14374  
ALBUQUERQUE NM 87191  
450-4298

#### Agent / Contact

LARKIN GROUP NM, INC

8500 MENAUL BLVD NE, SUITE A-440  
ALBUQUERQUE NM 87112  
275-7500

#### Application Fees

441018/4943000	APN Fee	
441032/3416000	Conflict Mgmt Fee	<b>\$20.00</b>
441006/4958000	DRB Actions	<b>\$50.00</b>
<b>TOTAL:</b>		<b>\$70.00</b>

City Of Albuquerque  
Treasury Division

12/29/2011 11:11AM LOC: ANNX  
WSH 007 TRANS# 0010  
RECEIPT# 00152378-00152378  
PERMIT# 2011070367 TRSMCS  
Trans Amt \$70.00  
Conflict Manag. Fee \$20.00  
DRB Actions \$50.00  
CR \$70.00  
CHANGE \$0.00

Thank You

**INFRASTRUCTURE LIST**

(Rev. 9-20-05)

**EXHIBIT "A"**

**TO SUBDIVISION IMPROVEMENTS AGREEMENT**

**DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

MERCADO CAMINO 66 LOT-1

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Lot 1A & Lot 2, Block 1 Land of Atrisco Grant.

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

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		width varies	Median Opening & Left Turn Holding Lane	98 <sup>th</sup> Street	500 ft. So. of Central	900 ft. So. of Central			
		12' Wide	Deceleration Lane at West Curb Line	98 <sup>th</sup> Street	280 ft. So. of Central	Approximately 510 ft. So. of Central			
		10' wide	Relocation of Multi-Use Trail	98 <sup>th</sup> Street	250 ft. So. of Central	700 ft. So. of Central			
		40' wide	Turnout to Property	98 <sup>th</sup> Street	at 530 ft. So. of Central				
		32' wide	Turnout to Property	Central Ave.	at 390 ft. W. of 98 <sup>th</sup> St				
		Std	Curb & Gutter	South Side Central Ave	West Pt of 98 <sup>th</sup> St	East Pt to 98 <sup>th</sup> St			
		2 EA	Curb Inlet Modification	98 <sup>th</sup> Street	at Deceleration Lane				



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Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature      Date							City User Dept. Signature      Date		

**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

- 1 \_\_\_\_\_
- 2 \_\_\_\_\_
- 3 \_\_\_\_\_

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS		
<u>John A. Andrews</u> NAME (print)	<u>[Signature]</u> 01/27/10 DRB CHAIR - date	<u>Christina Sandoral</u> 1/27/10 PARKS & RECREATION - date	
<u>Larkin Group NM, Inc</u> FIRM	<u>[Signature]</u> 01/27/10 TRANSPORTATION DEVELOPMENT - date	_____ - date	_____ - date
<u>John A. Andrews</u> 12/21/09 SIGNATURE - date	<u>[Signature]</u> 1-27-10 UTILITY DEVELOPMENT - date	_____ - date	_____ - date
	<u>Bradley S. Biker</u> 1-27-10 CITY ENGINEER - date		

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



Supplemental form

**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): Larkin Group NM, Inc. PHONE: 505-275-7500  
 ADDRESS: 8500 Menaul Blvd NE, Suite A-440 FAX: 505-275-0748  
 CITY: Albuquerque STATE NM ZIP 87112 E-MAIL: jandrews@larkinm.com

APPLICANT: Onorio Colucci PHONE: 505-450-4298  
 ADDRESS: P.O. Box 14374 FAX: N/A  
 CITY: Albuquerque STATE NM ZIP 87191 E-MAIL: N/A

Proprietary interest in site: Ownership List all owners: Onorio Colucci & Virginia Colucci

DESCRIPTION OF REQUEST: Extension of Preliminary Plat

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Lot 1A & Lot 2 Block: 1 Unit: ---  
 Subdiv/Addn/TBKA: Lands of Atrisco Land Grant  
 Existing Zoning: SU-2 PDA Proposed zoning: Same MRGCD Map No N/A  
 Zone Atlas page(s): L-09 UPC Code: 100905606346420405 & 100905604545720404

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_, Z\_, V\_, S\_, etc.):  
DRB Project No. 1007759 January 27, 2010

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill?  No  
 No. of existing lots: 2 No. of proposed lots: 2 Total area of site (acres): 8.6662  
 LOCATION OF PROPERTY BY STREETS: On or Near: 98th Street SW  
 Between: Central Avenue and Sunset Gardens SW

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: 01-27-10 Site Development Plan & Preliminary Plat Approval

SIGNATURE John A. Andrews DATE 01-03-2011  
 (Print) John A. Andrews, P.E. Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Form revised 4/07

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>11 DRB - 70000</u>	<u>EPP</u>		<u>\$ 50.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CMF</u>		<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned				\$
<input checked="" type="checkbox"/> AGIS copy has been sent				\$
<input checked="" type="checkbox"/> Case history #s are listed				\$
<input type="checkbox"/> Site is within 1000ft of a landfill				\$
<input type="checkbox"/> F.H.D.P. density bonus				Total
<input type="checkbox"/> F.H.D.P. fee rebate				<u>\$ 70.00</u>

Hearing date January 12, 2011

[Signature] 1-3-11  
 Planner signature / date

Project # 1007759

**FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING**

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

**SKETCH PLAT REVIEW AND COMMENT (DRB22)** Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

**EXTENSION OF <sup>MINOR</sup> MAJOR PRELIMINARY PLAT (DRB08)** Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Copy of DRB approved infrastructure list
  - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
  - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.**

**MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

**MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** Your attendance is required.

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

**AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** Your attendance is required.

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
  - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

*John A. Andrews*  
 Applicant name (print)  
*John A. Andrews 01-03-11*  
 Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
 11 DRB - 70000

*V. [Signature]* 1-3-11  
 Planner signature / date  
 Project # 1007759



January 3, 2011

8500 Menaul Boulevard NE, Suite A-440  
Albuquerque, New Mexico 87112  
Phone: 505-275-7500  
Fax: 505-275-0748  
e-mail: [info@larkinm.com](mailto:info@larkinm.com)  
website: [www.larkinm.com](http://www.larkinm.com)

Mr. Jack Cloud, Chairman  
Development Review Board  
City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

**Subject: Preliminary Plat Extension  
Mercado Camino 66 Subdivision  
DRB Project No. 1007759**

Dear Mr. Cloud:

This is a request to extend the above subject preliminary plat for two years.

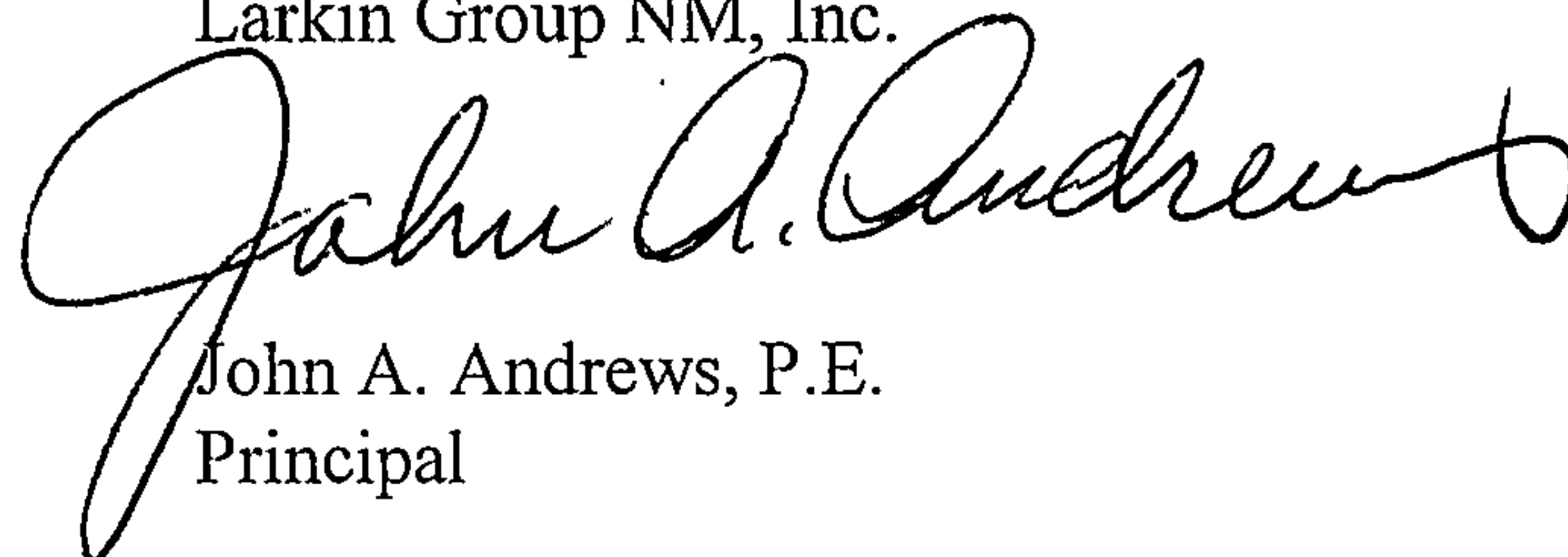
The preliminary plat was approved previously by DRB on January 27, 2010.

At the time of preparation of the preliminary plat and presenting it to DRB the owner of the property had been contacted by a possible user of a portion of the property. However, this has not materialized and the user currently has backed out of purchasing a portion of the property. The owner continues to market the property but there is no indication that a sale is imminent at this time.

We therefore request that DRB approve a two year extension of the preliminary plat to allow the owner more time to market the property during this slow economic time. A pending sale is needed to generate the funds for the owner to construct the infrastructure improvements.

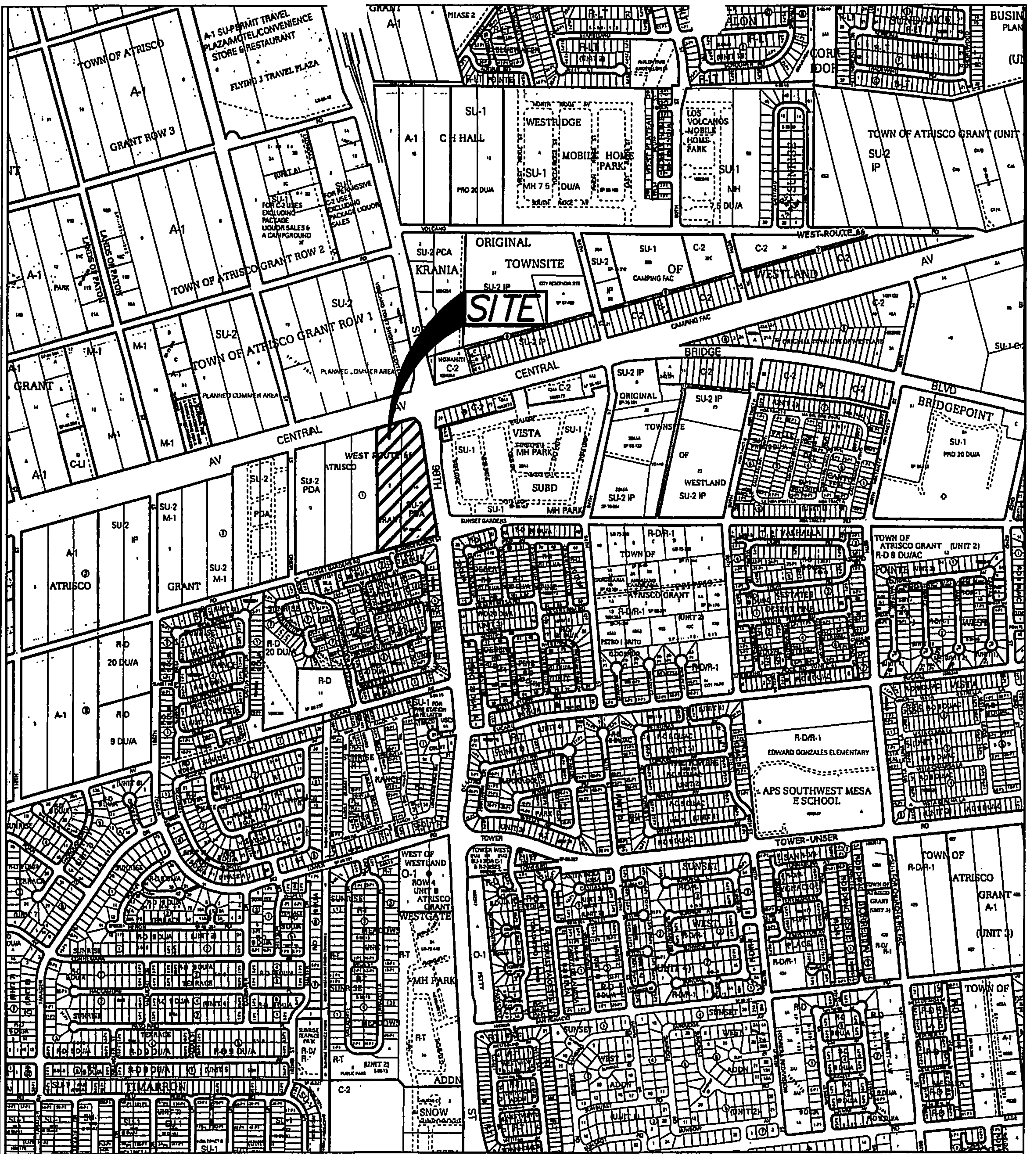
Please call on any questions or comments you may have.

Very truly yours,  
Larkin Group NM, Inc.



John A. Andrews, P.E.  
Principal

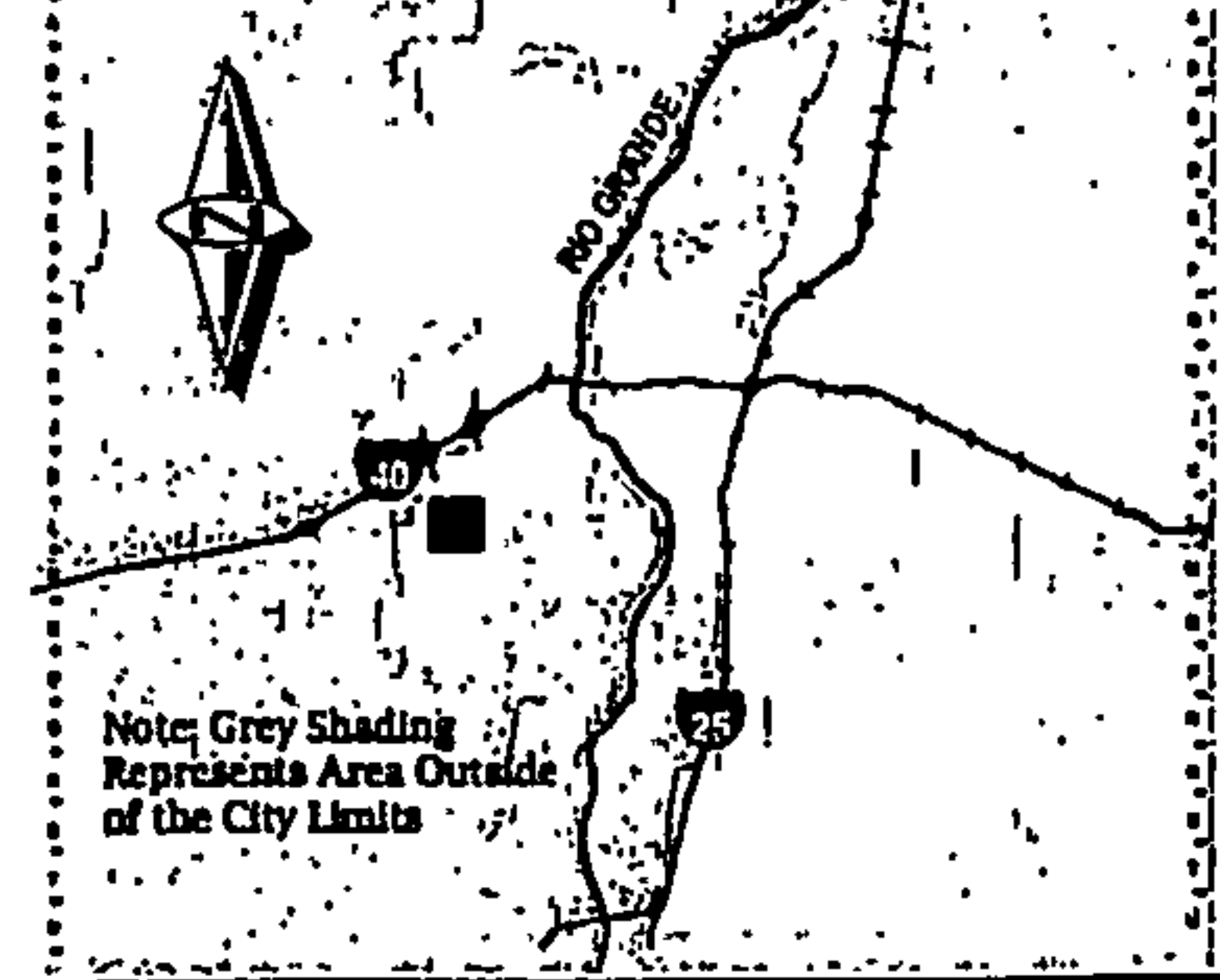
JAA:rlh  
cc: Onorio Colucci, Owner



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 6/13/2008



Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**L-09-Z**

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone





**LOCATION MAP**

SCALE: 1"=3000'±  
ZONE ATLAS MAP L-9

**REFERENCE DOCUMENTS**

1. Plat "Lands of the Atrisco Land Grant", filed August 25, 1961, in Vol. D3, Folio 26, Records of Bernalillo County, New Mexico.
2. Plat "Lots 1A and 1B, Block 1, Lands of the Atrisco Land Grant", filed September 6, 1988, Vol. C37, Folio 68, Records of Bernalillo County, New Mexico.
3. Right of Way Maps, City of Albuquerque, Special Assessment District 222, dated August 1993.

**DISCLOSURE STATEMENT**

The purpose of this plat is to combine two lots into one subdivision, to create two new lots within the new subdivision and to grant the easements as shown for the purposes specified.

**DEVELOPMENT NOTES**

1. Two Lots are created by this plat.  
Lot 1 = 2.3078 Ac./100521 sq. ft.  
Lot 2 = 6.3586 Ac./276980 sq. ft.  
Total Acreage: 8.6662 Ac./377501 sq.ft.  
R.O.W. Dedication: None  
Net Acreage: 8.6662 Ac./377501 sq.ft.
2. Utility Council Location Log No: 2009-34-16-04

**FREE CONSENT AND DEDICATION**

The plat shown hereon is made in accordance with the desires of the undersigned owner(s) or proprietor(s) thereof. Said owner(s) or proprietor(s) do grant the easements shown hereon for the purposes specified; said owner(s) or proprietor(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided; said owner(s) and proprietor(s) do hereby certify that this is their free act and deed and do hereby represent that they are authorized to so act.

**OWNERS:**

*Onofria Colucci*  
ONOFRIA COLUCCI  
VIRGINIA M. COLUCCI  
STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO )  
*Holly W. Norton*  
HOLLY W. NORTON  
NOTARY PUBLIC  
STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO )

This instrument was acknowledged before me on August 25 of, 2009.

by: *Onofria Colucci*  
*Holly W. Norton*  
NOTARY PUBLIC  
STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO )

This instrument was acknowledged before me on August 25 of, 2009.

by: *Virginia M. Colucci*  
*Holly W. Norton*  
NOTARY PUBLIC  
STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO )

**LEGAL DESCRIPTION**

A certain parcel of land situate within Projected Section 28, Township 10 North, Range 2 East, New Mexico Principal Meridian, Town of Atrisco Grant, in the City of Albuquerque, Bernalillo County, New Mexico, being and comprising Lot 1-A, Plat of Lots 1-A & 1-B, Block 1, Lands of the Atrisco Land Grant, as the same is shown and designated on the Plat thereof filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 6, 1988 in Plat Book C37, Folio 68 and Lot 2, Block 1, Lands of the Atrisco Land Grant, as the same is shown and designated on the Plat thereof filed in the Office of the County Clerk of Bernalillo County, New Mexico on March 26, 1962 in Plat Book D3, Folio 26 and being more particularly described as follows:

Beginning at the northeast corner of the parcel herein described, a found #4 rebar with cap (not legible) in place, from whence the Albuquerque Control Station "REWARD" bears N17°55'36" W, a distance of 5743.46 feet; thence from said point of beginning,  
S08°18'05"E, a distance of 62.88 feet to a point of curvature; thence,  
Southeasterly, a distance of 280.95 feet, along the arc of a curve to the left having a radius of 2876.79 feet, a central angle of 5°35'44" and a chord which bears S09°05'57"E a distance of 280.84 feet; thence,  
S11°53'49"E, a distance of 194.04 feet to a point of curvature; thence,  
Southeasterly, a distance of 274.94 feet, along the arc of a curve to the right having a radius of 2802.79 feet, a central angle of 5°37'14" and a chord which bears S09°05'12"E a distance of 274.83 feet to a point of compound curvature; thence,  
Southwesterly, a distance of 42.53 feet, along the arc of a curve to the right having a radius of 30.00 feet, a central angle of 81°13'57" and a chord which bears S34°20'17"W a distance of 39.06 feet to a point of tangency; thence,  
S74°57'15"W, a distance of 468.23 feet to the southwest corner of the parcel herein described; thence,  
N00°17'18"E, a distance of 954.39 feet to the northwest corner of the parcel herein described; thence,  
N74°57'23"E, a distance of 249.22 feet to a point of curvature; thence  
Southeasterly, a distance of 129.25 feet, along the arc of a curve to the right having a radius of 75.00 feet, a central angle of 98°44'32" and a chord which bears S55°40'21"E a distance of 113.84 feet to the point of beginning of the parcel herein described, containing 8.6662 acres (377501 sq.ft.), more or less.

**SURVEY NOTES**

1. Basis of bearings for the Survey shown hereon are New Mexico Coordinate System Grid Bearings, Central Zone, NAD 1983, NAVD 1988 Datum, Transverse Mercator Projection, New Mexico.

Albuquerque Control Station "REWARD" X=1,491,190.819 Y=1,487,384.083 (NAD 1983) Scale Factor: 0.999675005 Convergence: -0°17'12.26" Elevation (NAVD 1988) 5319.688 feet	Albuquerque Control Station "7-19" X=1,493,224.214 Y=1,478,409.331 (NAD 1983) Scale Factor: 0.999681058 Convergence: -0°16'57.27" Elevation (NAVD 88) 5178.475 feet
---	---

2. Corner monuments "SET" by this survey are capped #5 rebar, 1.5' feet in length, embossed "PLS 12804" or as described hereon. Existing corner monumentation found by this survey is described hereon.
3. Distances are horizontal ground distance.
4. Bearings and distances shown in parentheses ( ) are from recorded plats.

**UTILITIES APPROVAL**

PNM	DATE
NEW MEXICO GAS COMPANY	DATE
QWEST TELECOMMUNICATIONS	DATE
COMCAST	DATE

**PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:**

- A. Public Service Company of New Mexico (PNM) for the installation, maintenance and service of underground and overhead electrical lines, transformers and other equipment and related facilities reasonably necessary to provide electrical service.
- B. New Mexico Gas Company for the installation, maintenance and service of such lines and other related equipment and facilities reasonably necessary to provide gas service.
- C. Qwest Telecommunications for the installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including, but not limited to ground pedestals and closures.
- D. Comcast for the installation, maintenance and service of such lines and other related equipment and facilities reasonably necessary to provide cable TV service.

Included is the right to build, rebuild, construct, locate, relocate, change, modify, renew, operate and maintain facilities for the purposes described above, together with free access to, from and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood decking or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Owners shall be solely responsible for correcting any violations of the National Electric Safety Code by construction of pools, decking or any structures adjacent to or near easements shown on this plat.

**NOTICE OF SUBDIVISION PLAT CONDITIONS**

Pursuant to Section 7 of the City of Albuquerque Subdivision Ordinance, a variance or waiver from certain subdivision requirements has been granted by the City and the Albuquerque Metropolitan Arroyo Flood Control Authority in connection with this plat.

Future subdivision of lands designated as Lot 2 within this plat, zoning, Site Development Plan approvals and development permits may be conditioned upon dedication of rights-of-way and easements and/or sewer, streets, drainage, grading and parks in accordance with current resolutions, ordinances and policies in effect at the time for any specific proposal.

The City (and AMAFCA with reference to drainage) may require and/or permit easements to be added, modified or removed when future plats and/or site developments are approved.

By its approval of this subdivision the City makes no representation or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: improvements; park and open space requirements; drainage requirements and/or improvements; and, excavation, filling or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

A separate notice of these conditions is recorded with the County Clerk on \_\_\_\_\_

In Book \_\_\_\_\_, Page \_\_\_\_\_.

**PLAT OF  
LOTS 1 & 2  
MERCADO  
CAMINO 66**

BEING A REPLAT OF  
LOT 1A & LOT 2, BLOCK 1  
LANDS OF THE ATRISCO LAND GRANT  
AUGUST, 2009

THIS IS TO CERTIFY THAT TAXES ARE CURRENT

AND PAID ON UPC # 100905606346420405

# 100905604545720404

PROPERTY OWNER OF RECORD: \_\_\_\_\_

BERNALILLO COUNTY TREASURER'S OFFICE: \_\_\_\_\_

**APPROVALS**

<i>[Signature]</i> CITY SURVEYOR	8-25-09 DATE
TRAFFIC ENGINEER	DATE
DESIGN AND DEVELOPMENT, CIP	DATE
PARKS AND RECREATION DEPARTMENT	DATE
UTILITY DEVELOPMENT DIVISION	DATE
PROPERTY MANAGEMENT	DATE
ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY	DATE
CITY ENGINEER	DATE

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, ARTICLE XI OF CHAPTER 7 OF THE REVISED ORDINANCES OF ALBUQUERQUE, N.M.

CITY PLANNER, ALBUQUERQUE/BERNALILLO COUNTY PLANNING DIVISION DATE

CASE No. \_\_\_\_\_ PLAT No. \_\_\_\_\_

**SURVEYOR'S CERTIFICATE**

I, Gregory L. Steiner, New Mexico Professional Surveyor No. 12804, do hereby certify that the real property shown hereon has been surveyed, monumented and platted by me or under my direct supervision and responsible charge, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest; that said survey meets the minimum requirements of the City of Albuquerque Subdivision Ordinance, is in accordance with the Standards for Land Surveys in New Mexico and that said survey and plat is true and correct to the best of my knowledge and belief.

*Gregory L. Steiner*  
GREGORY L. STEINER, N.M.P.S. 12804  
DATE 08-20-2009



# PLAT OF LOTS 1 & 2 MERCADO CAMINO 66

BEING A REPLAT OF  
LOT 1A & LOT 2, BLOCK 1  
LANDS OF THE ATRISCO LAND GRANT  
AUGUST, 2009

### CURVE DATA-ROADWAY EASEMENT

- |   |  |  |
|---|--|--|
| (C1) $\Delta = 26'26''08''$<br>T=21.19'<br>L=41.62'<br>R=90.20'<br>CH BEARING=N20°21'26"W<br>CH DISTANCE=41.25' | (C3) $\Delta = 3'06''00''$<br>T=78.16'<br>L=152.29'<br>R=2784.79'<br>CH BEARING=N10°19'49"W<br>CH DISTANCE=152.27' | (C5) $\Delta = 17'44''09''$<br>T=27.77'<br>L=55.10'<br>R=178.00'<br>CH BEARING=N00°03'23"E<br>CH DISTANCE=54.88' |
| (C2) $\Delta = 24'48''41''$<br>T=20.48'<br>L=40.27'<br>R=93.00'<br>CH BEARING=N21°10'09"W<br>CH DISTANCE=39.96' | (C4) $\Delta = 3'05''07''$<br>T=77.98'<br>L=155.88'<br>R=2894.79'<br>CH BEARING=N10°21'15"W<br>CH DISTANCE=155.88' | (C6) $\Delta = 15'17''42''$<br>T=34.99'<br>L=69.57'<br>R=260.60'<br>CH BEARING=N01°16'36"E<br>CH DISTANCE=69.36' |

### CURVE DATA

$\Delta = 98'44''32''$  ( $\Delta = 98'44''32''$ )  
R=75.00' (R=75.00')  
L=129.25' (L=129.25')  
T=87.42' (T=87.41')  
CHD=S55°40'21"E (113.84')  
113.84'

### CURVE DATA

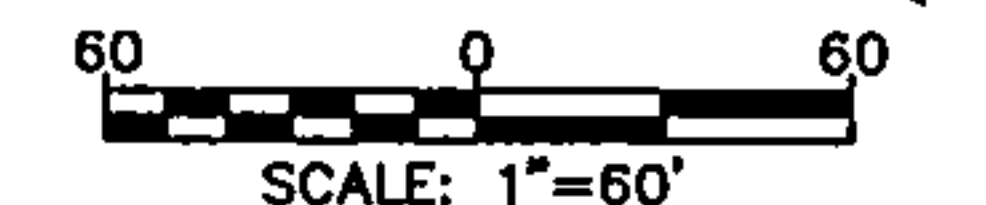
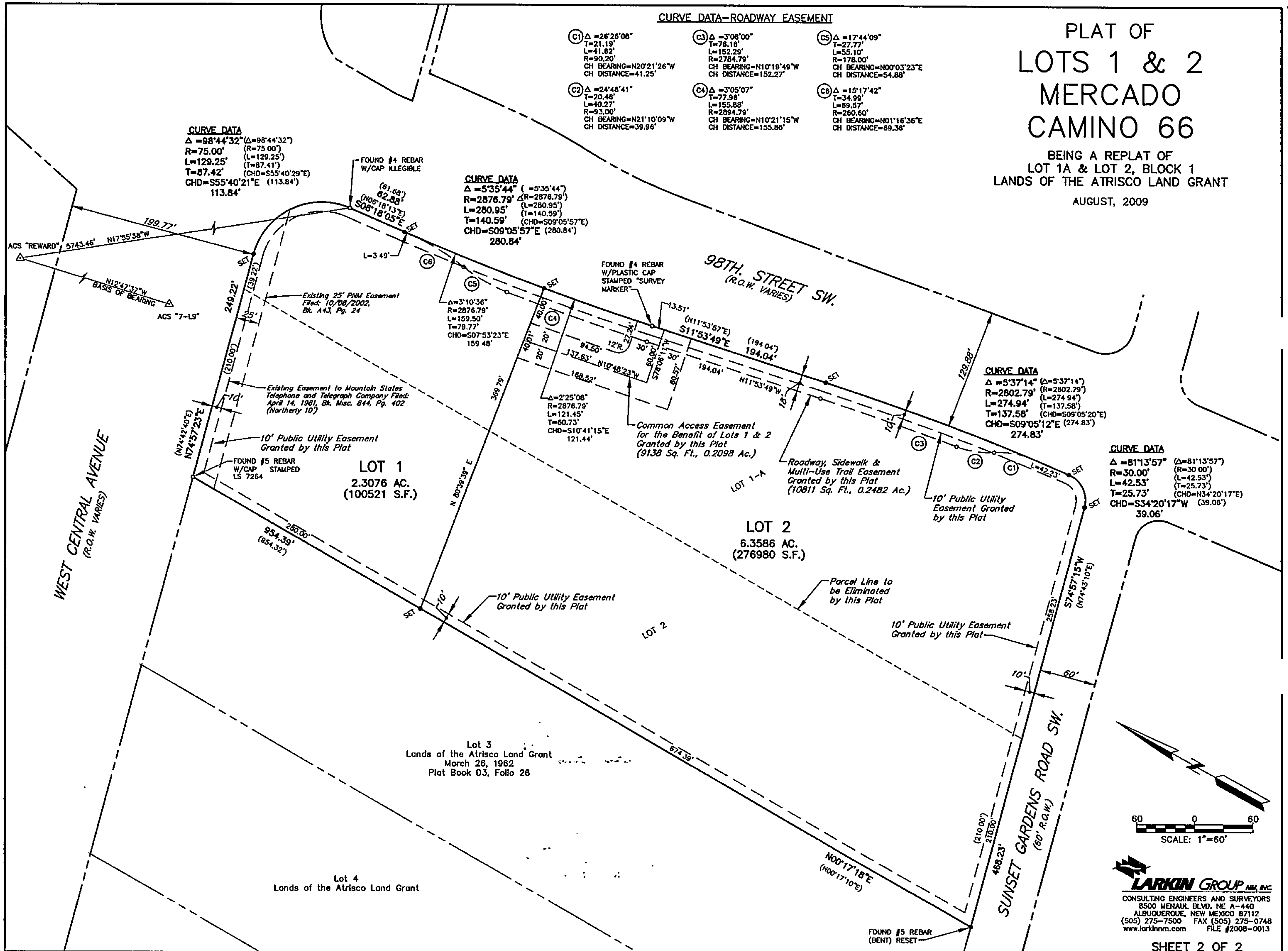
$\Delta = 5'35''44''$  ( $\Delta = 5'35''44''$ )  
R=2876.79' (R=2876.79')  
L=280.95' (L=280.95')  
T=140.59' (T=140.59')  
CHD=S09°05'57"E (280.84')  
280.84'

### CURVE DATA

$\Delta = 5'37''14''$  ( $\Delta = 5'37''14''$ )  
R=2802.79' (R=2802.79')  
L=274.94' (L=274.94')  
T=137.58' (T=137.58')  
CHD=S09°05'12"E (274.83')  
274.83'

### CURVE DATA

$\Delta = 81'13''57''$  ( $\Delta = 81'13''57''$ )  
R=30.00' (R=30.00')  
L=42.53' (L=42.53')  
T=25.73' (T=25.73')  
CHD=N34°20'17"E (39.06')  
39.06'



**LARKIN GROUP** PLA, INC  
CONSULTING ENGINEERS AND SURVEYORS  
8500 MENAUL BLVD. NE A-440  
ALBUQUERQUE, NEW MEXICO 87112  
(505) 275-7500 FAX (505) 275-0748  
www.larkinm.com FILE #2008-0013

# City of Albuquerque Planning Department

## One Stop Shop – Development and Building Services

12/29/2009 Issued By: PLNSDH 64478

-----  
**Permit Number:** 2009 070 399 **Category Code 910**

**Application Number:** 09DRB-70399, Major - Sdp For Subdivision

**Address:**

**Location Description:** 98TH ST SW BETWEEN CENTRAL AVE SW AND SUNSET GARDENS SW

**Project Number:** 1007759

**Applicant**  
Onorio Colucci

Po Box 14274  
Albuquerque NM 87191  
450-4298

**Agent / Contact**  
Larkin Group Nm Inc

8500 Menaul Blvd Ne Ste A-440  
Albuquerque NM 87112  
275-7500

### Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	
441006/4983000	DRB Actions	\$385.00
<b>TOTAL:</b>		<b>\$385.00</b>

City Of Albuquerque  
Treasury Division

12/29/2009 11:06AM LOC: ANNX  
WS# 007 TRANS# 0011  
RECEIPT# 00125142-00125143  
PERMIT# 2009070399 TRSCXG  
Trans Amt \$910.00  
DRB Actions \$385.00

Thank You



**City of Albuquerque Planning Department**  
**One Stop Shop – Development and Building Services**

12/29/2008 Issued By: PLNSDH 64480

**Permit Number: 2009 070 400** **Category Code 910**

**Application Number:** 09DRB-70400, Minor - Preliminary/ Final Plat Approval

**Address:**

**Location Description:** 98TH ST SW BETWEEN CENTRAL AVE SW AND SUNSET GARDENS SW

**Project Number:** 1007759

**Applicant**  
Onorio Colucci

**Agent / Contact**  
Larkin Group Nm Inc

Po Box 14274  
Albuquerque NM 87191  
450-4298

8500 Menaul Blvd Ne Ste A-440  
Albuquerque NM 87112  
275-7500

**Application Fees**

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	
441006/4983000	DRB Actions	\$285.00
<b>TOTAL:</b>		<b>\$285.00</b>

City Of Albuquerque  
Treasury Division

12/29/2009 11:05AM LOC: ANNX  
WSH 007 TRANS# 0011  
RECEIPT# 00125142-00125142  
PERMIT# 2009070400 TRSCXG  
Trans Amt \$910.00  
DRB Actions \$285.00

Thank You

**City of Albuquerque Planning Department**  
**One Stop Shop – Development and Building Services**

12/29/2009 Issued By: PLNSDH 84475

**Permit Number: 2009 070 397** **Category Code 910**

**Application Number: 09DRB-70397, Bulk Land Variance**

**Address:**

**Location Description: 88TH ST SW BETWEEN CENTRAL AVE SW AND SUNSET GARDENS SW**

**Project Number: 1007759**

**Applicant**  
Onorio Colucci

**Agent / Contact**  
Larkin Group Nm Inc

Po Box 14274  
Albuquerque NM 87191  
450-4298

8500 Menaul Blvd Ne Ste A-440  
Albuquerque NM 87112  
275-7500

**Application Fees**

441018/4971000	Public Notification	\$75.00
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$145.00
<b>TOTAL:</b>		<b>\$240.00</b>

City Of Albuquerque  
Treasury Division

12/29/2009 11:06AM LOC: ANN  
WS# 007 TRANS# 0011  
RECEIPT# 00125142-00125144  
PERMIT# 2009070397 TRSCXG  
Trans Amt \$910.00  
APN Fee \$75.00  
Conflict Manag. Fee \$20.00  
DRB Actions \$145.00  
CK \$910.00  
CHANGE \$0.00

Thank You

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

**SUBDIVISION**

Major Subdivision action  
 Minor Subdivision action  
 Vacation  
 Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

for Subdivision Purposes  
 for Building Permit  
 IP Master Development Plan  
 Cert. of Appropriateness (LUCC)

**STORM DRAINAGE**

Storm Drainage Cost Allocation Plan

Supplemental form

**S Z ZONING & PLANNING**

Annexation  
 County Submittal  
 EPC Submittal  
 Zone Map Amendment (Establish or Change Zoning)  
 Sector Plan (Phase I, II, III)  
 Amendment to Sector, Area, Facility or Comprehensive Plan  
 Text Amendment (Zoning Code/Sub Regs)  
 Street Name Change (Local & Collector)

**L A APPEAL / PROTEST of...**

Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: Onorio Colucci PHONE: 505-450-4298  
 ADDRESS: P.O. Box 14274 FAX: N/A  
 CITY: Albuquerque STATE NM ZIP 87191 E-MAIL: N/A  
 Proprietary interest in site: Ownership List all owners: Onorio Colucci & Virginia Colucci  
 AGENT (if any): Larkin Group NM, Inc. PHONE: 505-275-7500  
 ADDRESS: 8500 Menaul Boulevard NE, Suite A-440 FAX: 505-275-0748  
 CITY: Albuquerque STATE NM ZIP 87112 E-MAIL: jandrews@larkinm.com

DESCRIPTION OF REQUEST: Preliminary Plat Approval

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Lot 1A & Lot 2 Block: 1 Unit: ----  
 Subdiv. / Addn. Lands of Atrisco Land Grant  
 Current Zoning: SU-2 PDA Proposed zoning: Same  
 Zone Atlas page(s): L-09 No. of existing lots: 2 No. of proposed lots: 2  
 Total area of site (acres): 8.6662 Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A  
 Within city limits?  Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill?  No  
 UPC No. 100905606346420405 & 100905604545720404 MRGCD Map No. N/A  
 LOCATION OF PROPERTY BY STREETS: On or Near: 98th Street SW  
 Between: Central Avenue SW and Sunset Gardens SW

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): \_\_\_\_\_

West Route 66 Sector Development Plan; DRB 1007759 4-22-09

Check-off if project was previously reviewed by Sketch Plat/Plan, or Pre-application Review Team X. Date of review: 5-8-08

SIGNATURE John A. Andrews DATE 12-21-09

(Print) John A. Andrews Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 4/04

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
09DRB-70397	BLV		\$ 145.00
09DRB-70398	TDS		\$ 0
09DRB-70399	SPS		\$ 385.00
09DRB-70400	P&F		\$ 285.00
	ADV		\$ 75.00
	CMF		Total 20.00
			\$ 910.00

Hearing date 01/27/09

Sandy Handley 12/29/09

Project # 1007759

FORM V: SUBDIVISION VARIANCE & VACATIONS

- BULK LAND VARIANCE (DRB04)** (PUBLIC HEARING CASE)  
 Application for Minor Plat on FORM S-3, including those submittal requirements. **24 copies**  
 Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.  
 Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)  
 Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts  
 Sign Posting Agreement  
 Fee (see schedule)  
 List any original and/or related file numbers on the cover application  
**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- VACATION OF PUBLIC EASEMENT (DRB27)**  
 **VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**  
 The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**  
 (Not required for City owned public right-of-way.)  
 Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**  
 Zone Atlas map with the entire property(ies) clearly outlined  
 Letter briefly describing, explaining, and justifying the request  
 Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts  
 Sign Posting Agreement  
 Fee (see schedule)  
 List any original and/or related file numbers on the cover application  
 Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.  
**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- SIDEWALK VARIANCE (DRB20)**  
 **SIDEWALK WAIVER (DRB21)**  
 Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**  
 Zone Atlas map with the entire property(ies) clearly outlined  
 Letter briefly describing, explaining, and justifying the variance or waiver  
 List any original and/or related file numbers on the cover application  
**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**  
 Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**  
 Zone Atlas map with the entire property(ies) clearly outlined  
 Letter briefly describing, explaining, and justifying the variance  
 Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts  
 Sign Posting Agreement  
 Fee (see schedule)  
 List any original and/or related file numbers on the cover application  
**DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**  
 **EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)**  
 Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**  
 Zone Atlas map with the entire property(ies) clearly outlined  
 Letter briefly describing, explaining, and justifying the deferral or extension  
 List any original and/or related file numbers on the cover application  
**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- VACATION OF PRIVATE EASEMENT (DRB26)**  
 **VACATION OF RECORDED PLAT (DRB29)**  
 The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**  
 Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**  
 Zone Atlas map with the entire property(ies) clearly outlined  
 Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**  
 Letter of authorization from the grantors and the beneficiaries (private easement only)  
 Fee (see schedule)  
 List any original and/or related file numbers on the cover application  
 Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.  
**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

John A. Andrews  
 Applicant name (print)  
John A. Andrews  
 Applicant signature / date  
 12/29/09



- Checklists complete  
 Fees collected  
 Case #s assigned  
 Related #s listed

Application case numbers  
 09DRB - 70397  
 09DRB - 70398

Form revised 4/07  
Sandy Havelley 12/29/09  
 Planner signature / date  
 Project # 1007759

**FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Subdivision Checklist
  - N/A*  6 copies of the Infrastructure List, if relevant to the site plan - *Attached to Plat*
  - TIS/AQIA Traffic Impact Study form with required signature
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- DRB hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.  
**Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
  - Solid Waste Management Department signature on Site Plan
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Building Permit Checklist
  - 6 copies of the Infrastructure List, if relevant to the site plan
  - TIS/AQIA Traffic Impact Study form with required signature
  - Copy of Site Plan with Fire Marshal's stamp
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.  
**Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - 6 copies of the Infrastructure List, if relevant to the site plan
  - TIS/AQIA Traffic Impact Study form with required signature
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.  
**Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

James K. Strozier, AICP  
 Applicant name (print) 12/29/09  
 Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
09DRB - 70399  
 \_\_\_\_\_  
 \_\_\_\_\_

Sandy Handley 12/29/09  
 Planner signature / date  
 Project # 1007739

**FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING**

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

**SKETCH PLAT REVIEW AND COMMENT (DRB22)** Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

**EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)** Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Copy of DRB approved infrastructure list
  - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
  - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.**

**MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

**MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

**AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** Your attendance is required.

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
  - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

\_\_\_\_\_  
 John A. Andrews  
 Applicant name (print)  
 \_\_\_\_\_  
 John A. Andrews 12/29/09  
 Applicant signature / date



Form revised 4/07

- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
 09DRB - \_\_\_\_\_ - 70400

\_\_\_\_\_  
 Sandy Handley 12/29/09  
 Planner signature / date  
**Project # 1007759**

# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

#### 1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

#### 2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

#### 3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

#### 4. TIME

Signs must be posted from JAN 12, 2010 To JAN 27, 2010

#### 5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

*Justin Patterson*  
(Applicant or Agent)

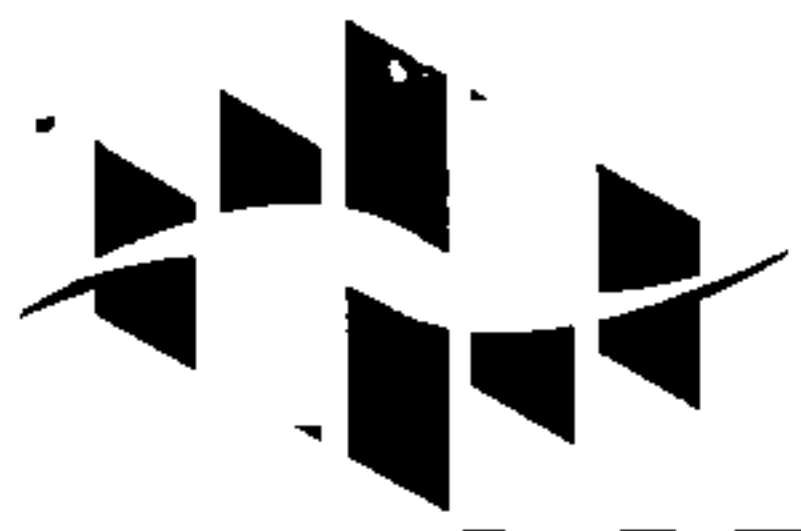
12-29-09  
(Date)

I issued 2 signs for this application,

12/29/09  
(Date)

*Sandy Handley*  
(Staff Member)

DRB PROJECT NUMBER: 1007759



December 24, 2009

Mr. Jack Cloud, Chairman  
Development Review Board  
City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

**Subject: Bulk Land Variance  
Mercado Camino 66 Subdivision**

Dear Mr. Cloud:

We are asking for preliminary plat approval of the Mercado Camino 66 Subdivision.

This is the subdivision of property located at the southwest corner of Central Avenue and 98<sup>th</sup> Street SW and as currently known as Lot 1A and Lot 2 of the Land of Atrisco Grant. The property is presently undeveloped but has existing streets on three sides of the property, Central on the north, 98<sup>th</sup> Street on the east and Sunset Gardens on the South.

The plat proposes to divide the property into two new lots, Lot 1 consisting of 2.31 Acres and Lot 2 consisting of 6.36 Acres.

A possible user has been identified for the Lot 1 property therefore it is proposed to prepare this Lot for development by constructing the infrastructure necessary for accessing and serving this Lot 1 property.

There has not been any users identified for property in Lot 2 therefor lot sizes for further subdivision can not be determined at this time and this is the reason we are requesting this Lot 1 be allowed a bulk land variance.

It is proposed that the southerly turnout from 98<sup>th</sup> Street with deceleration lane as well as the improvements to Sunset Gardens including the turnout to the property not be constructed at this time. The Lot 2 property will remain in its natural undisturbed state leaving the natural vegetation in place.





At the time a user is identified for use of all or any part of Lot 2 a plat will be prepared to divide the property as needed to accommodate the user. This plat will be presented to DRB at that time including associated requirements.

We therefor request that Lot 2 as shown on the preliminary plat be provided a bulk land variance.

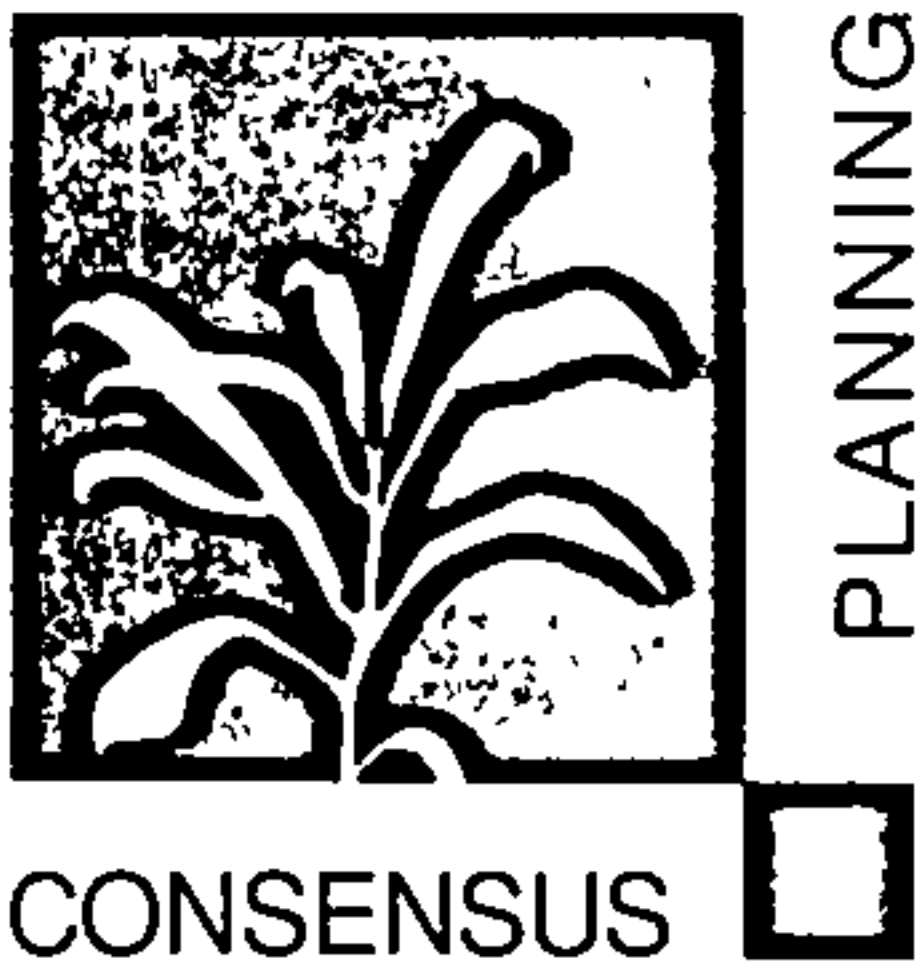
Please call should questions arise or additional information be needed.

Very truly yours,  
Larkin Group NM, Inc.

A handwritten signature in black ink that reads "John A. Andrews". The signature is fluid and cursive, with a large initial "J".

John A. Andrews, P.E.  
Principal

JAA:efm



December 29, 2009

Mr. Jack Cloud, AICP, Chairman  
Development Review Board  
City of Albuquerque  
600 Second Street NW  
Albuquerque, NM 87102

Landscape Architecture  
Urban Design  
Planning Services

302 Eighth St. NW  
Albuquerque, NM 87102

(505) 764-9801  
Fax 842-5495  
cp@consensusplanning.com  
www.consensusplanning.com

***RE: Site Development Plan for Subdivision for Lots 1A and 2, Block 1, of the Lands of Atrisco Grant***

Dear Mr. Chairman:

On behalf of Onorio Colucci, Consensus Planning is requesting a Site Development Plan for Subdivision for the property located on the southwest corner of 98<sup>th</sup> Street SW and Central Avenue SW. The property is legally described as Lots 1A and 2, Block 1, of the Lands of Atrisco Grant, which is comprised of approximately 8.67 acres. The proposed subdivision is called the Mercado Camino 66, and the Preliminary Plat is submitted in concert with this request.

With this request, the existing lot line will be vacated. A new lot line will be established that runs east to west, creating two lots, 1 and 2. Lot 1 is 2.31 acres, located on the northern portion of the property, and Lot 2 is 6.36 acres. As required by the West Route 66 Sector Development Plan, a portion of Lot 2 is restricted to Permissive O-1 and R-2 Uses, which is clearly indicated. The Site Plan shows illustrative lot lines for the remaining portion of Lot 2, which will be created through future subdivision plats.

There are four access points proposed to serve the Mercado Camino 66. The locations of the proposed curb cuts are as followed: one along Central Avenue SW near the northwest corner of the site, two along 98<sup>th</sup> Street SW, and one along Sunset Gardens SW. Two internal access points are conceptually shown on the Site Plan to enable circulation between Lots 1 and 2, as future development occurs.

We respectfully request that the Development Review Board approve the request for this Site Development Plan for Subdivision. If you have any questions, do not hesitate to call me at (505) 764-9801.

PRINCIPALS

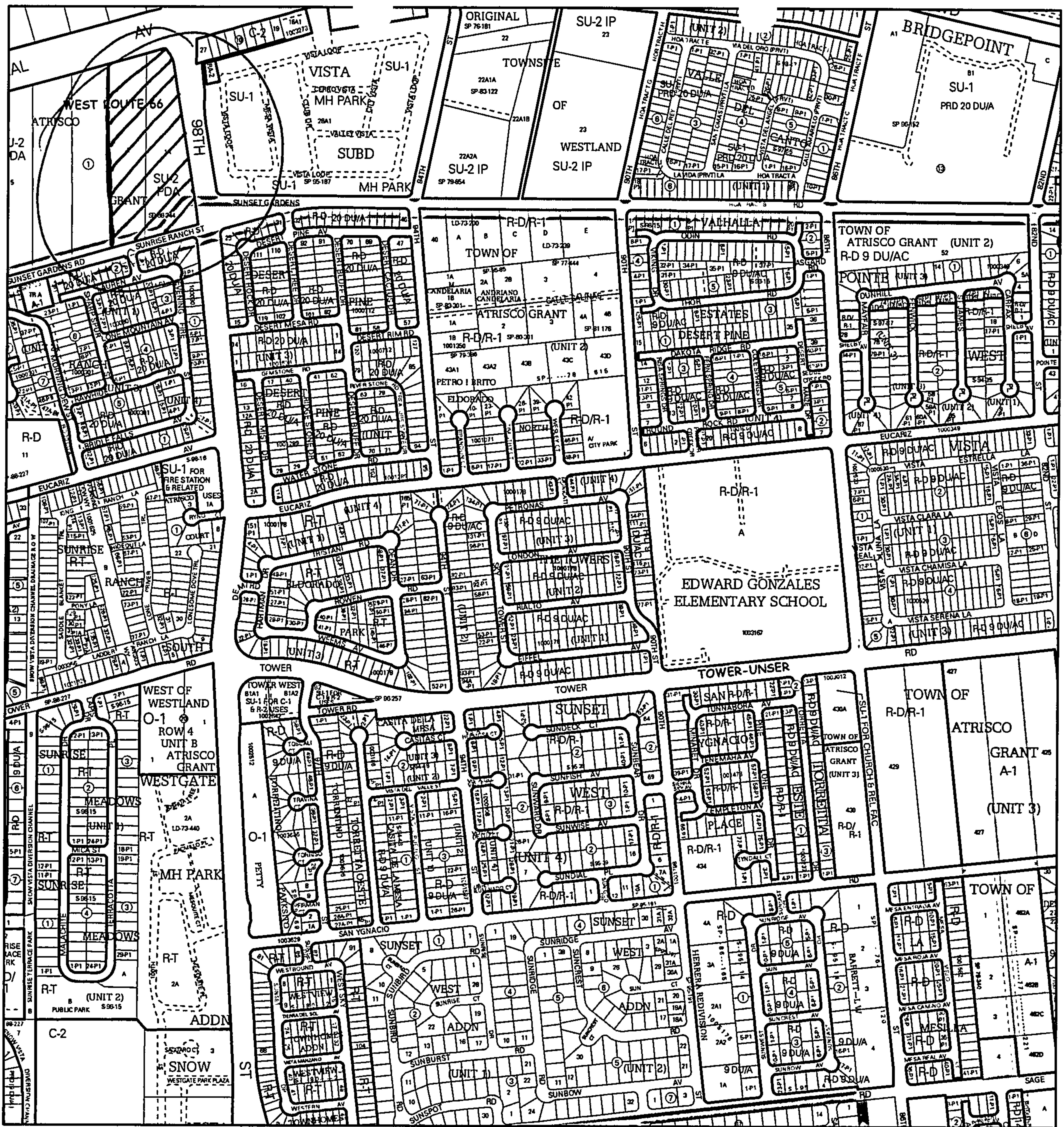
Karen R. Marcotte, AICP  
James K. Strozier, AICP  
Christopher J. Green, ASLA

Sincerely,

ASSOCIATES

Jacqueline Fishman, AICP

James K. Strozier, AICP  
Principal



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 3/10/2009

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**L-09-Z**

Selected Symbols

	<b>SECTOR PLANS</b>		<b>Escarpment</b>
	<b>Design Overlay Zones</b>		<b>2 Mile Airport Zone</b>
	<b>City Historic Zones</b>		<b>Airport Noise Contours</b>
	<b>H-1 Buffer Zone</b>		<b>Wall Overlay Zone</b>
	<b>Petroglyph Mon.</b>		

0 750 1,500 Feet

August 13, 2009

Mr. Jack Cloud, AICP, Chairman  
Development Review Board  
City of Albuquerque  
600 Second Street NW  
Albuquerque, NM 87102

RE: Site Development Plan for Subdivision for Lots 1A and 2, Block 1, of the  
Lands of Atrisco Grant

Dear Mr. Jack Cloud:

The purpose of this letter is to authorize Consensus Planning, Inc. to act as my agent on this request for a Site Development Plan for Subdivision for Lots 1A and 2, Block 1, of the Lands of Atrisco Grant. The property is located on the southwest corner of 98<sup>th</sup> Street SW and Central Avenue SW. Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read "Onorio Colucci". The signature is written in a cursive style with a long horizontal stroke extending to the right.

Onorio Colucci

December 22, 2009

Mr. Jock Cloud, Chairman  
Development Review Board  
City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

**Subject: Preliminary Plat Approval for  
Mercado Camino 66 Subdivision  
Existing Lots 1A and 2, Block 1  
of Lands of Atrisco Grant**

Dear Mr. Cloud:

Submitted herewith is the above subject subdivision plat for preliminary plat approval.

The owners, Mr. Onorio Colucci and his wife Virginia are proposing to prepare for development of the property represented by this plat which is located at the southwest corner of Central Avenue and 98<sup>th</sup> Street SW.

The property as it exists today is presently undeveloped. With this plat it is proposed to vacate the existing lot line that now separates the property into Lot 1A and Lot 2 and then divide the property into two new lots, Lot 1 and Lot 2, of the Mercado Camino 66 Subdivision. Lot 1 consisting of 2.31 Acres is proposed to be prepared for development at this time. Lot 2 consisting of 6.36 acres is proposed to be placed in bulk land for development in the future as no current users have been identified.

There are existing streets on three sides of the property, Central Avenue on the north, 98<sup>th</sup> Street on the east and Sunset Gardens on the south. It is proposed to access this property from these existing streets as well as serve the property with water and sewer service from the existing utility lines in these streets. An infrastructure list is presented with this application for preliminary plat approval showing facilities to be constructed to serve Lot 1. Infrastructure to serve Lot 2 (bulk land) is not included with this list.

The owners of this property propose to construct the necessary infrastructure to serve Lot 1 in lieu of entering into a subdivision improvement agreement prior to requesting final plat approval.



Mr. Jock Cloud, Chairman  
December 22, 2009  
Page 2 of 2

This plat is being submitted in conjunction with the Site Development Plan for Subdivision that has been prepared by Consensus Planning.

We request Development Review Board approval of this Mercado Camino 66 Preliminary plat. Should questions arise or if additional information is needed please call.

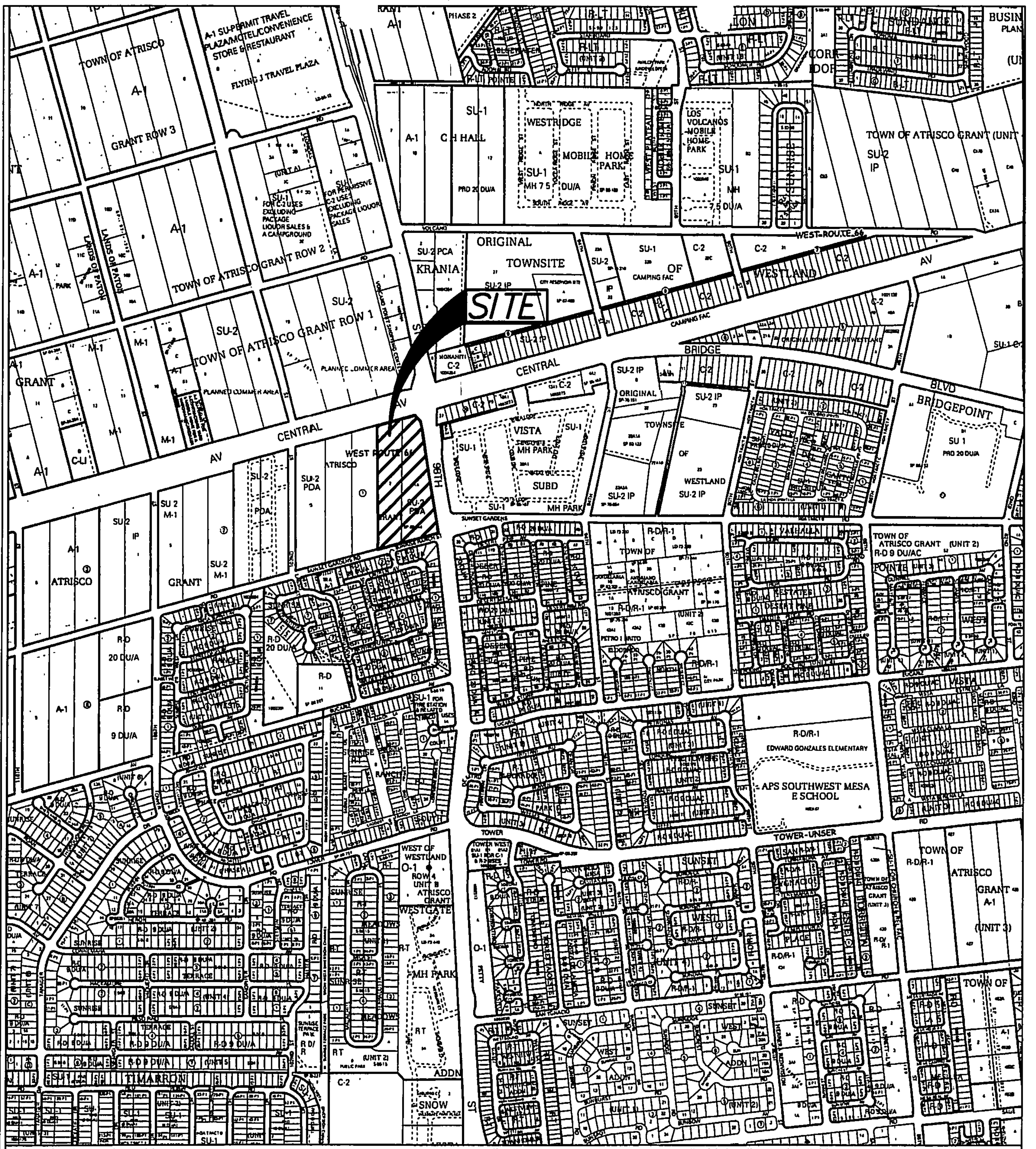
Very truly yours,  
Larkin Group NM, Inc.

A handwritten signature in black ink, appearing to read "John A. Andrews".

John A. Andrews, P.E.  
Principal

JAA:efm

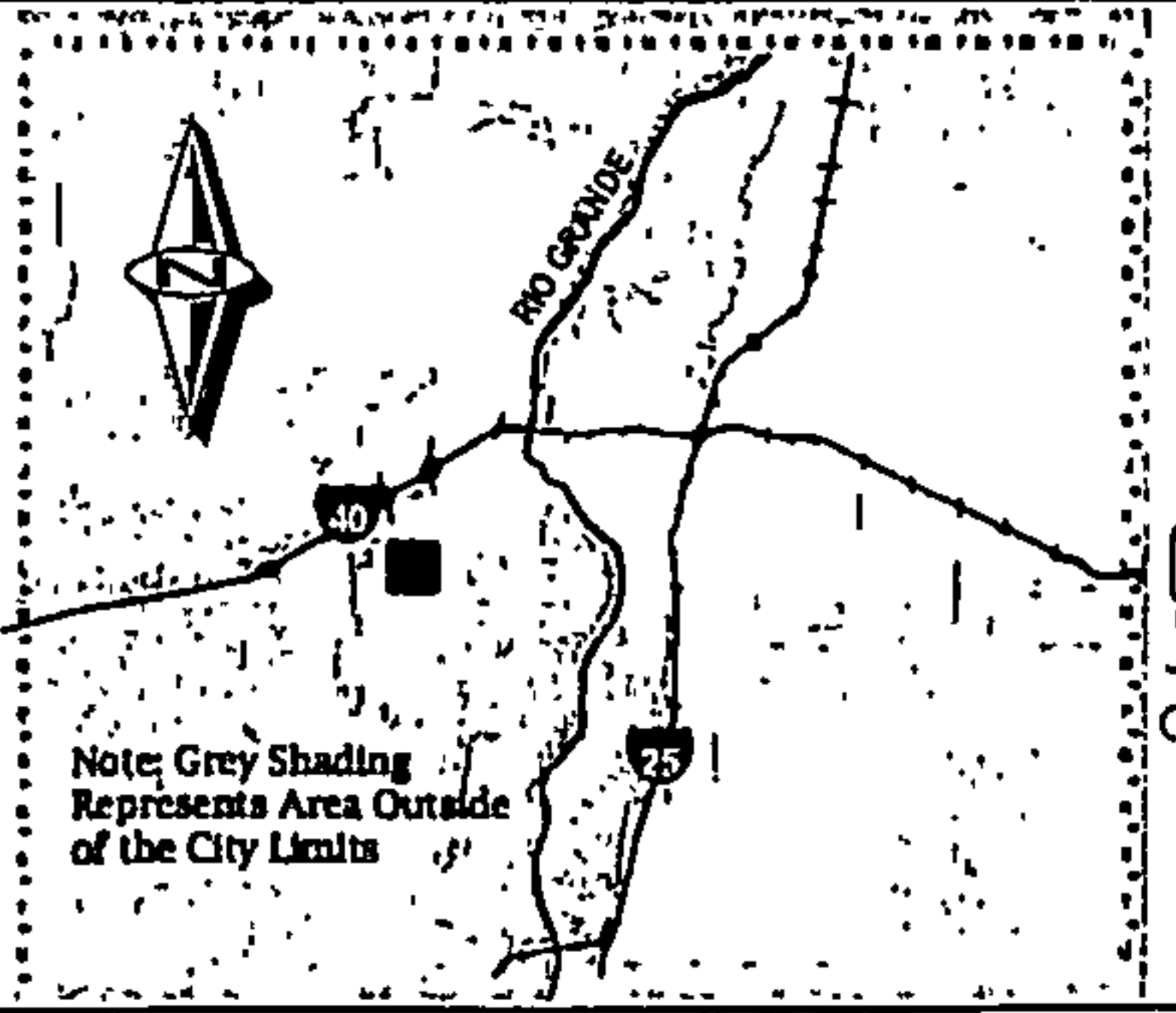
Enclosure



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 6/13/2008



Note: Grey Shading Represents Area Outside of the City Limits

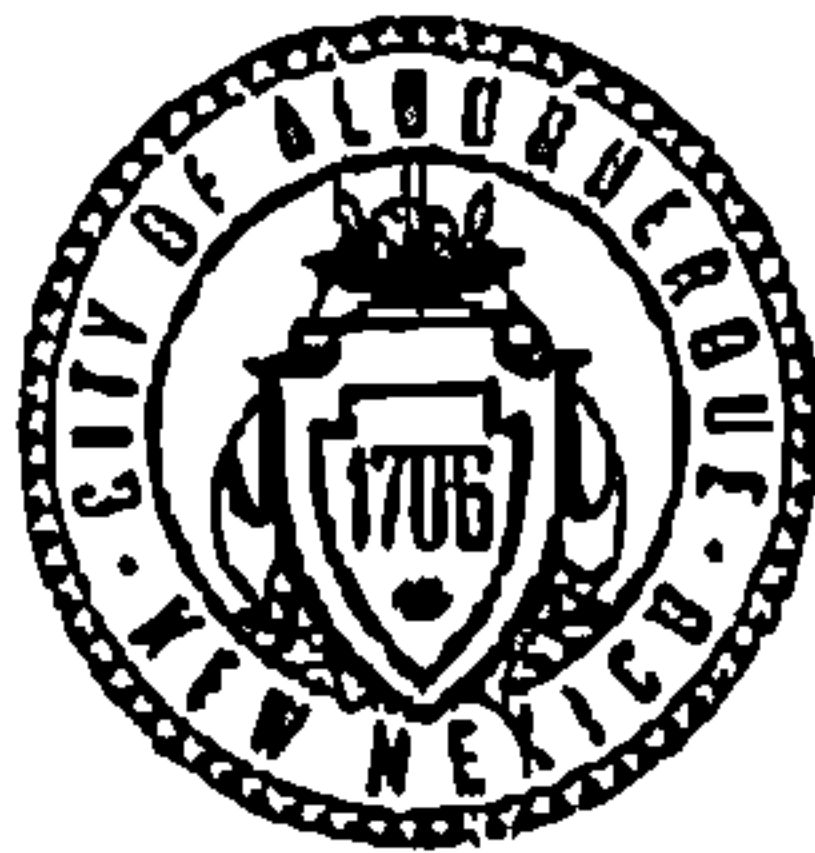
Zone Atlas Page:

**L-09-Z**

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone





## City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

December 8, 2009

Justin Montgomery  
 Consensus Planning  
 302 8<sup>th</sup> Street NW/87102  
 Phone: (505) 764-9801/Fax: (505) 842-5495

**PLEASE NOTE:** The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Dear Justin:

Thank you for your inquiry of December 8, 2009 requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **(DRB SUBMITTAL) - LOT 1-A AND LOT 2, BLOCK 1, ATRISCO LAND GRANT, LOCATED ON 98<sup>TH</sup> STREET SW BETWEEN CENTRAL AVENUE SW AND SUNSET GARDENS ROAD SW** zone map **L-9**.

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

**WEST SIDE MERCHANTS ASSOC. (WSM) "R"**

Larry Nelson, 929 Old Coors SW/87105 836-3330 (w)  
 Humberto Perez, 701B Old Coors SW/87105 489-2104 (c)

**AVALON N.A. (AVA) "R"**

Kelly Chappelle, 9135 Santa Catalina Ave. NW/87121 836-1766 (h)  
 Jane Hamilton, 9106 Starboard NW/87121-1946

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov) or by fax at (505) 924-3913.

Sincerely,

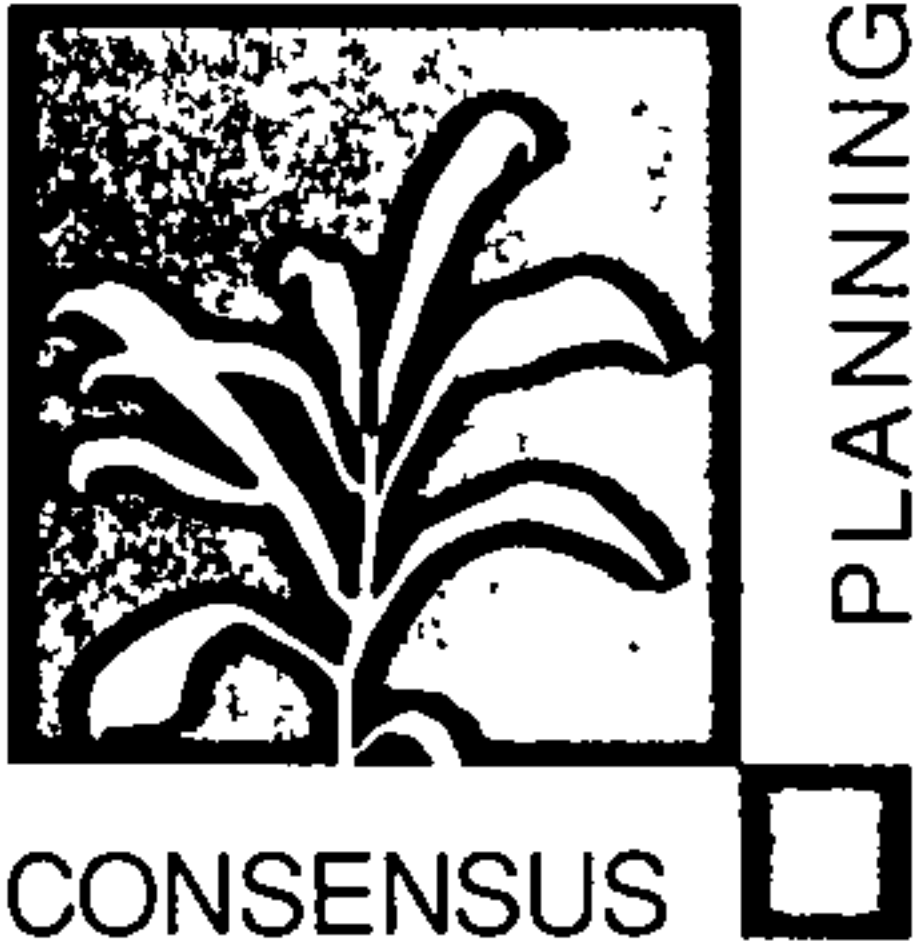
**Stephani J. Winklepleck**

Stephani J. Winklepleck  
 Neighborhood Liaison  
 OFFICE OF NEIGHBORHOOD COORDINATION  
 Planning Department

**LETTERS MUST BE SENT TO BOTH  
 CONTACTS OF EACH  
 NEIGHBORHOOD AND/OR  
 HOMEOWNER ASSOCIATION.**



Typical



December 29, 2009

Mr. Kelly Chappelle  
Avalon Neighborhood Association  
9135 Santa Catalina Avenue NW  
Albuquerque, NM 87121

Landscape Architecture  
Urban Design  
Planning Services

*RE: Site Development Plan for Subdivision for Lots 1A and 2, Block 1, of the Lands of Atrisco Grant*

302 Eighth St. NW  
Albuquerque, NM 87102

Dear Mr. Chappelle,

(505) 764-9801  
Fax 842-5495  
cp@consensusplanning.com  
www.consensusplanning.com

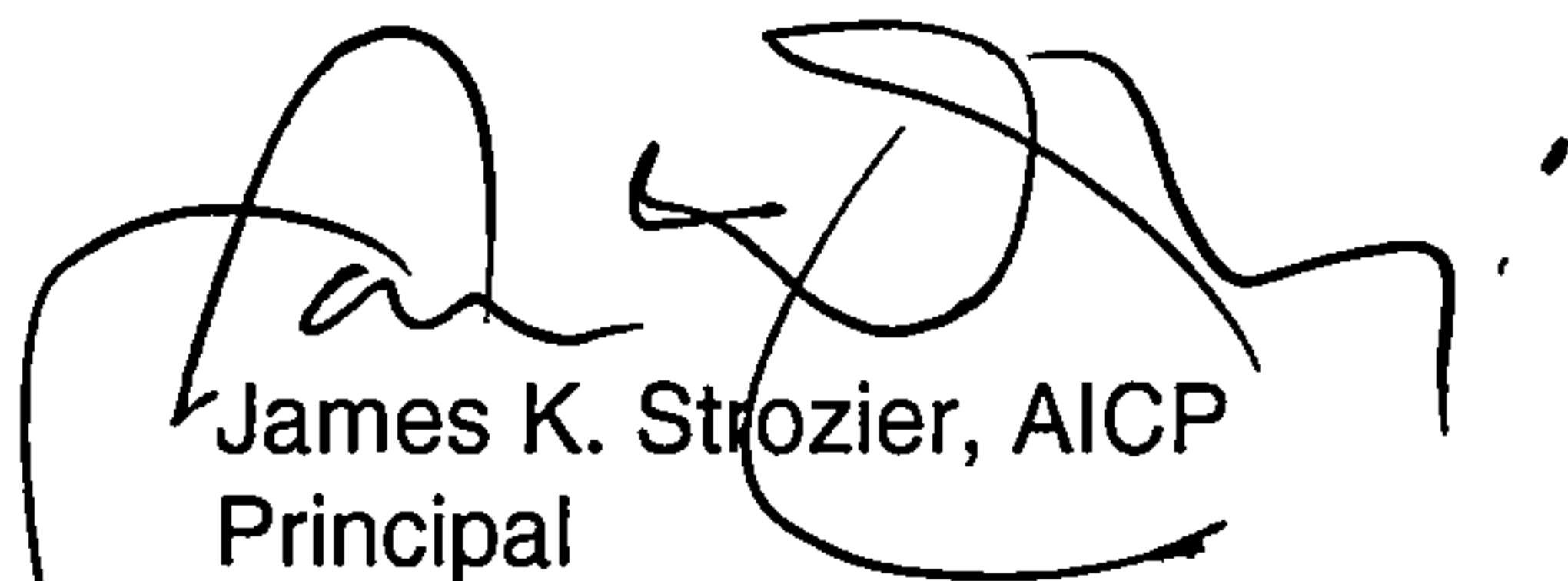
The purpose of this letter is to notify you that Consensus Planning has submitted an application to the Development Review Board, on behalf of Onorio Colucci. We are requesting a Site Development Plan for Subdivision for the property located on the southwest corner of 98<sup>th</sup> Street SW and Central Avenue SW (Please see the attached Zone Atlas Page). The proposed subdivision is called the Mercado Camino 66.

With this request, the existing lot line will be vacated. A new lot line will be established that runs east to west, creating two lots, 1 and 2. Lot 1 is 2.31 acres, located on the northern portion of the property, and Lot 2 is 6.36 acres. As required by the West Route 66 Sector Development Plan, a portion of Lot 2 is restricted to Permissive O-1 and R-2 Uses.

There are four access points proposed to serve the Mercado Camino 66. The submittal includes conceptual drainage and utility plans and design guidelines. The plan helps to implement the City's West Route 66 Sector Development Plan and provide for needed services in the community.

If you have any questions, do not hesitate to call me at (505) 764-9801.

Sincerely,



James K. Strozier, AICP  
Principal

PRINCIPALS

Karen R. Marcotte, AICP  
James K. Strozier, AICP  
Christopher J. Green, ASLA

Attachments: Zone Atlas Page L-9  
11"x17" Site Development Plan for Subdivision

ASSOCIATES

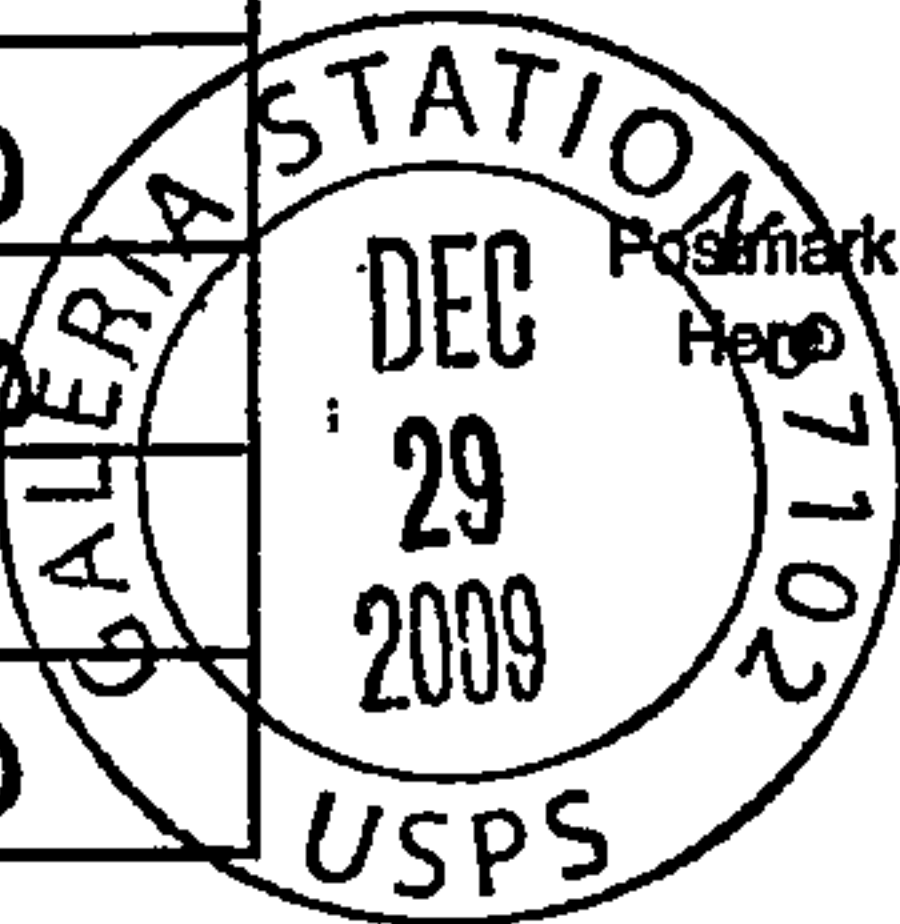
Jacqueline Fishman, AICP

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Restricted Delivery Fee (Endorsement Required)	
<b>Total Postage &amp; Fees</b>	<b>\$ 9.70</b>



Sent To **Mr. Kelly Chappelle**  
 Street, Apt. No.;  
 or PO Box No. **9135 Santa Catalina Ave. NW**  
 City, State, ZIP+4  
**Albuquerque, NM 87121**

PS Form 3800, August 2006

See Reverse for Instructions

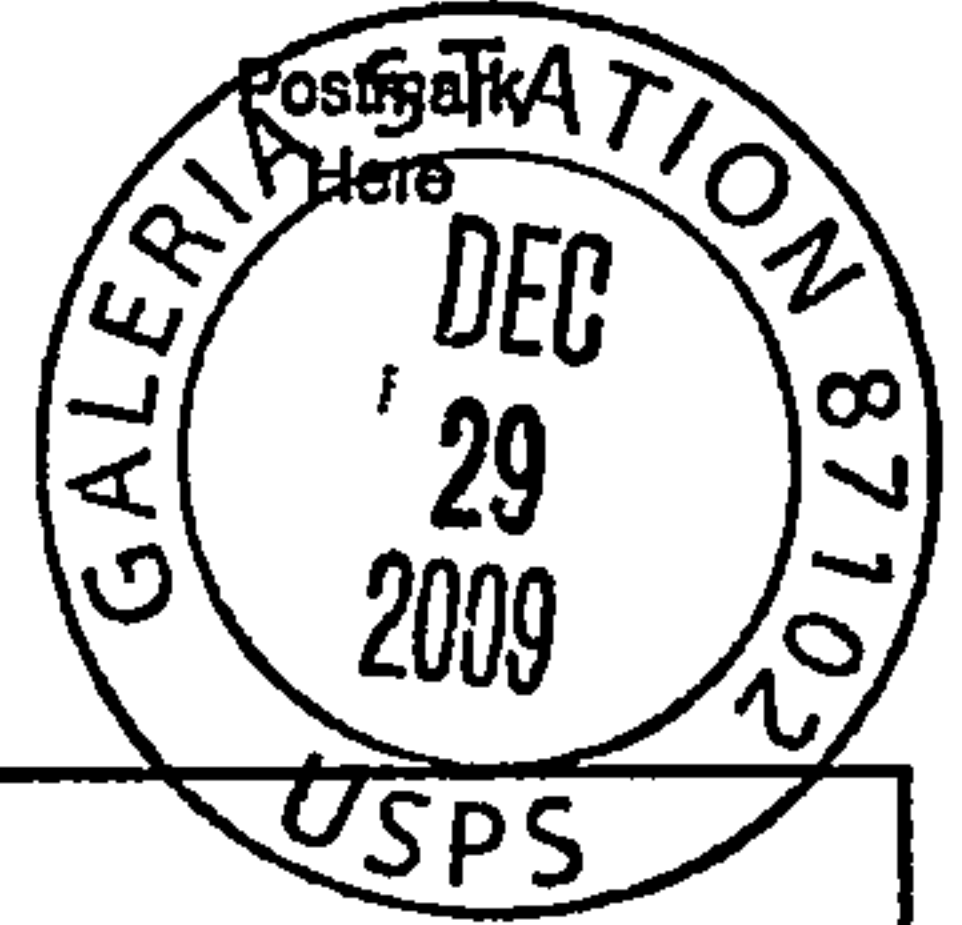
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<b>Total Postage &amp; Fees</b>	<b>\$ 9.70</b>



Sent To **Mr. Larry Nelson**  
 Street, Apt. No.;  
 or PO Box No. **929 Old Coors SW**  
 City, State, ZIP+4  
**Albuquerque, NM 87105**

PS Form 3800, August 2006

See Reverse for Instructions

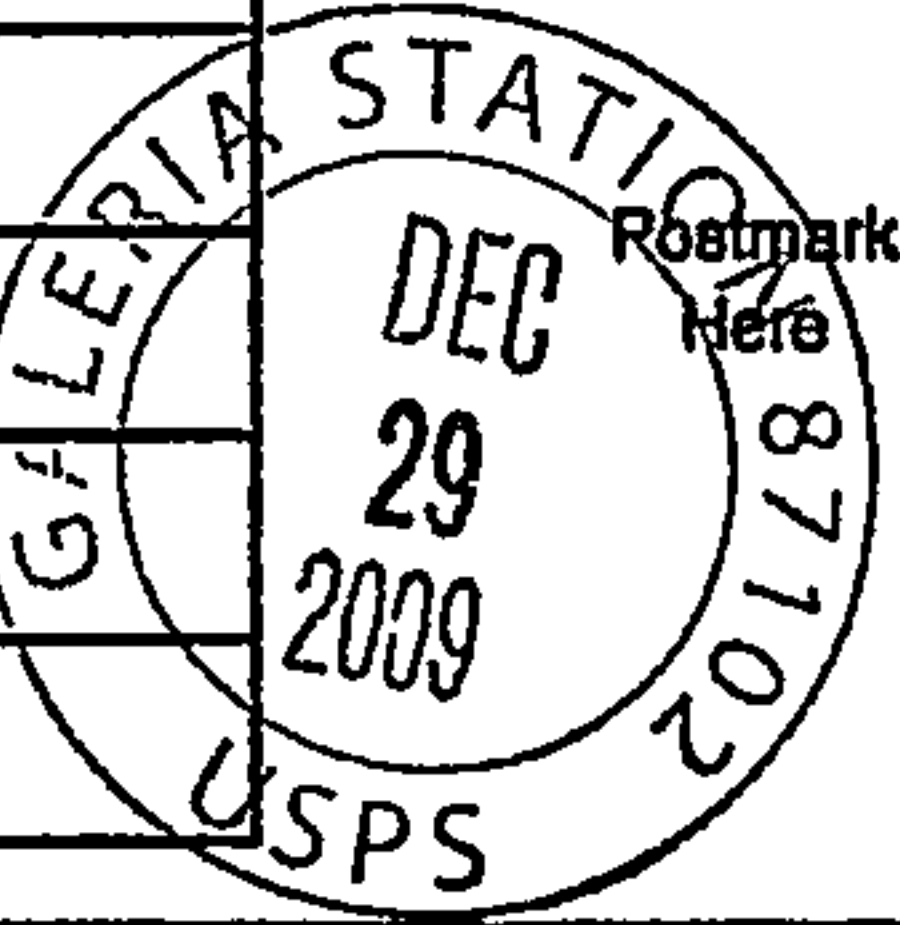
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Sent To **Ms. Jane Hamilton**  
 Street, Apt. No.;  
 or PO Box No. **9106 Starboard NW**  
 City, State, ZIP+4  
**Albuquerque, NM 87121-1946**

PS Form 3800, August 2006

See Reverse for Instructions

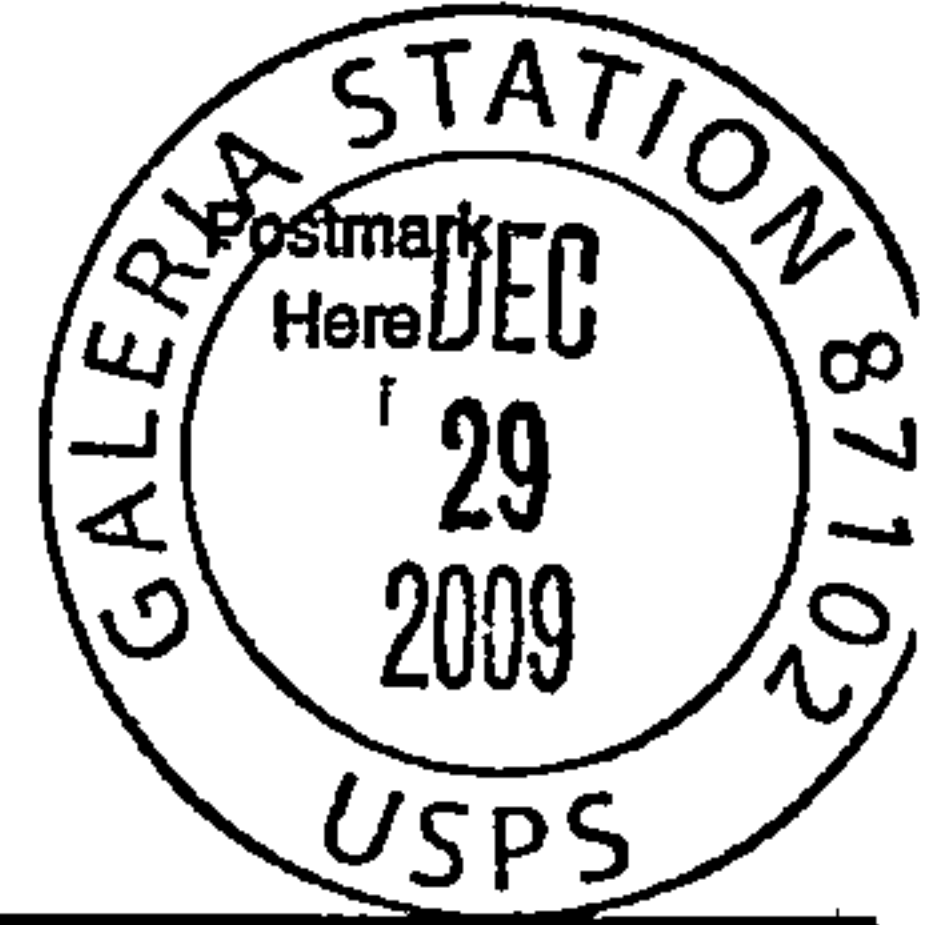
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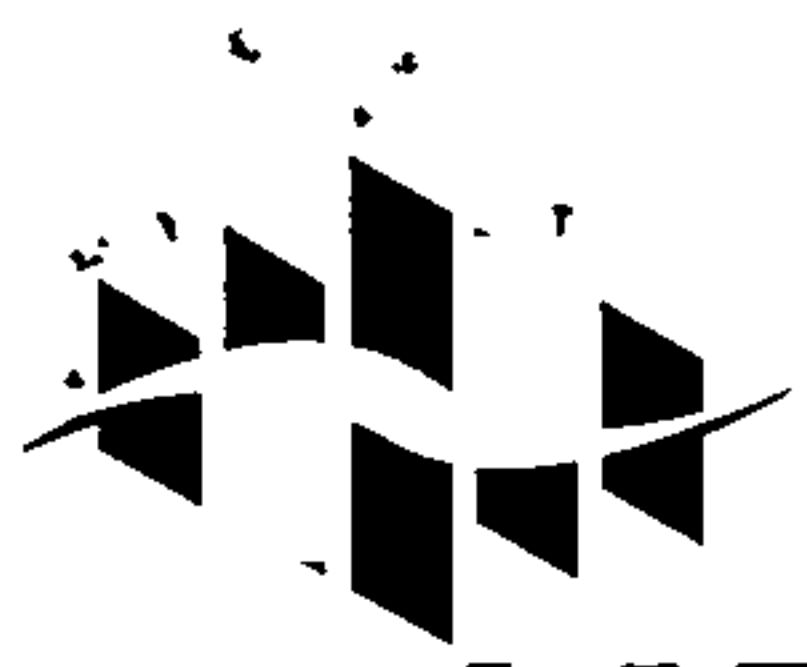


Sent To **Mr. Humberto Perez**  
 Street, Apt. No.;  
 or PO Box No. **701 B Old Coors SW**  
 City, State, ZIP+4  
**Albuquerque, NM 87105**

PS Form 3800, August 2006

See Reverse for Instructions

509E 5495 0000 0000 DEPT 9001



**LARKIN GROUP** NM INC.

8500 Menaul Boulevard NE, Suite A-440  
Albuquerque, New Mexico 87112  
Phone: 505-275-7500  
Fax: 505-275-0748  
e-mail: [info@larkinm.com](mailto:info@larkinm.com)  
website: [www.larkinm.com](http://www.larkinm.com)

December 28, 2009

Mr. Jack Cloud, Chairman  
Development Review Board  
City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

**Subject: Sidewalk Deferral  
Mercado Camino 66**

Dear Mr. Cloud:

We are asking for preliminary plat approval of the Mercado Camino 66 Subdivision.

This is the subdivision of property located at the southwest corner of Central Avenue and 98<sup>th</sup> Street SW and as currently known as Lot 1A and Lot 2 of the Land of Atrisco Grant. The property is presently undeveloped but has existing streets on three sides of the property, Central on the north, 98<sup>th</sup> Street on the east and Sunset Gardens on the South.

The plat proposes to divide the property into two new lots, Lot 1 consisting of 2.31 Acres located on the north end of the property and Lot 2 consisting of 6.36 Acres located on the remainder of the property.

It is proposed to provide Lot 1 with infrastructure for access and utility service so that development can occur when a building permit is applied for.

It is requested that a temporary sidewalk deferral for construction of the sidewalk on the north side of the property adjacent to Central Avenue be granted.

It is proposed that this sidewalk be included with the building permit and then constructed at the time the building and parking lot is constructed on this Lot 1 property. At that time the grading for the sidewalk will be known. The sidewalk if set back at the property line will be a significant distance from the street as extra right-of-way exists. Also a 25 ft. minimum width of landscaping is required per the sector plan.



Mr. Jack Cloud, Chairman  
December 28, 2009  
Page 2 of 2

In addition, there is no existing sidewalk or adjacent development to the west of this property at this time therefor any new sidewalk will not serve as a connection to any existing sidewalk.

We therefor request that the sidewalk on Central Avenue adjacent to this property be granted temporary deferral.

Please call should questions arise or additional information be needed.

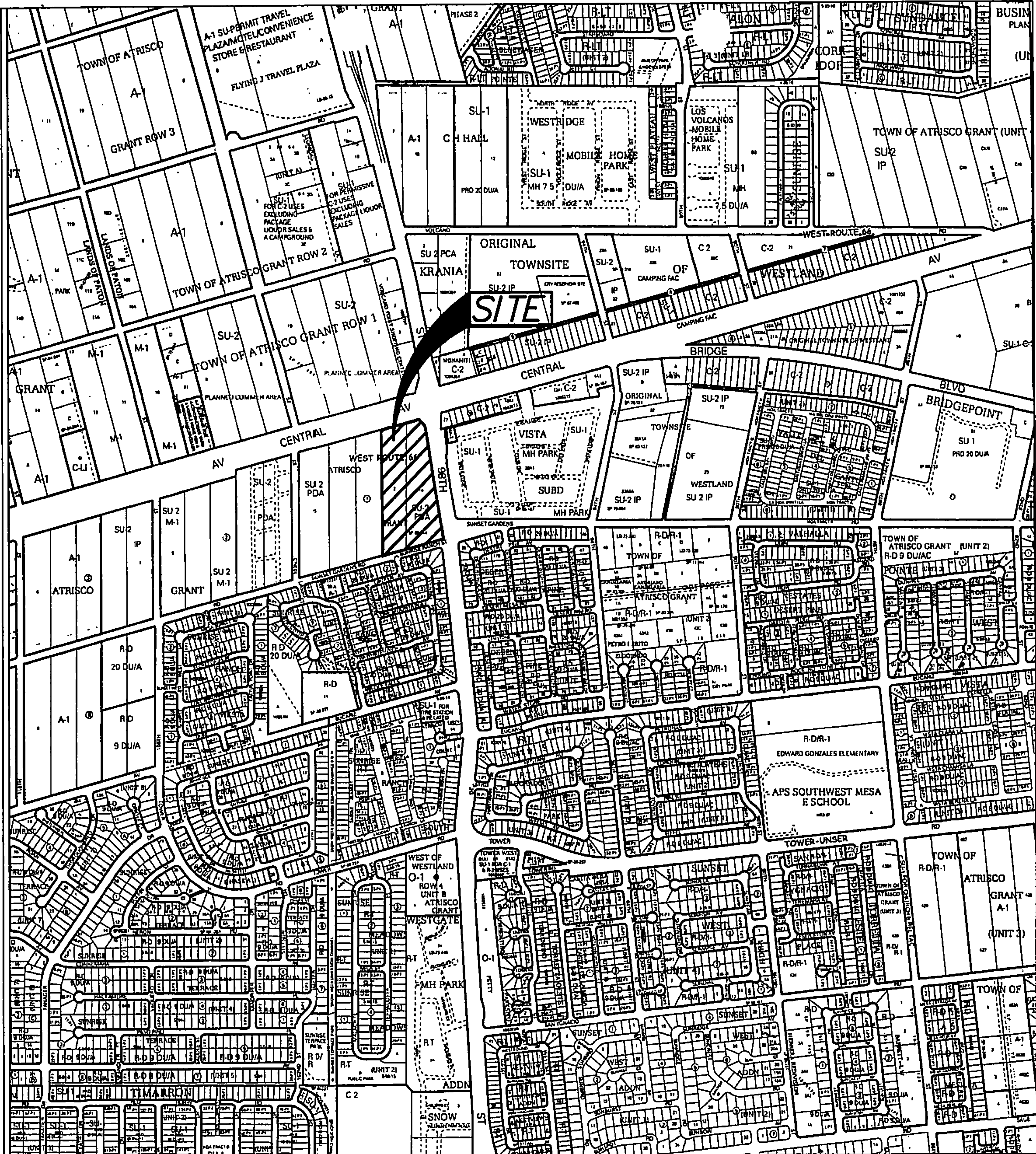
Very truly yours,  
Larkin Group NM, Inc.

A handwritten signature in black ink that reads "John A. Andrews". The signature is fluid and cursive, with a large initial "J".

John A. Andrews, P.E.  
Principal

JAA:efm

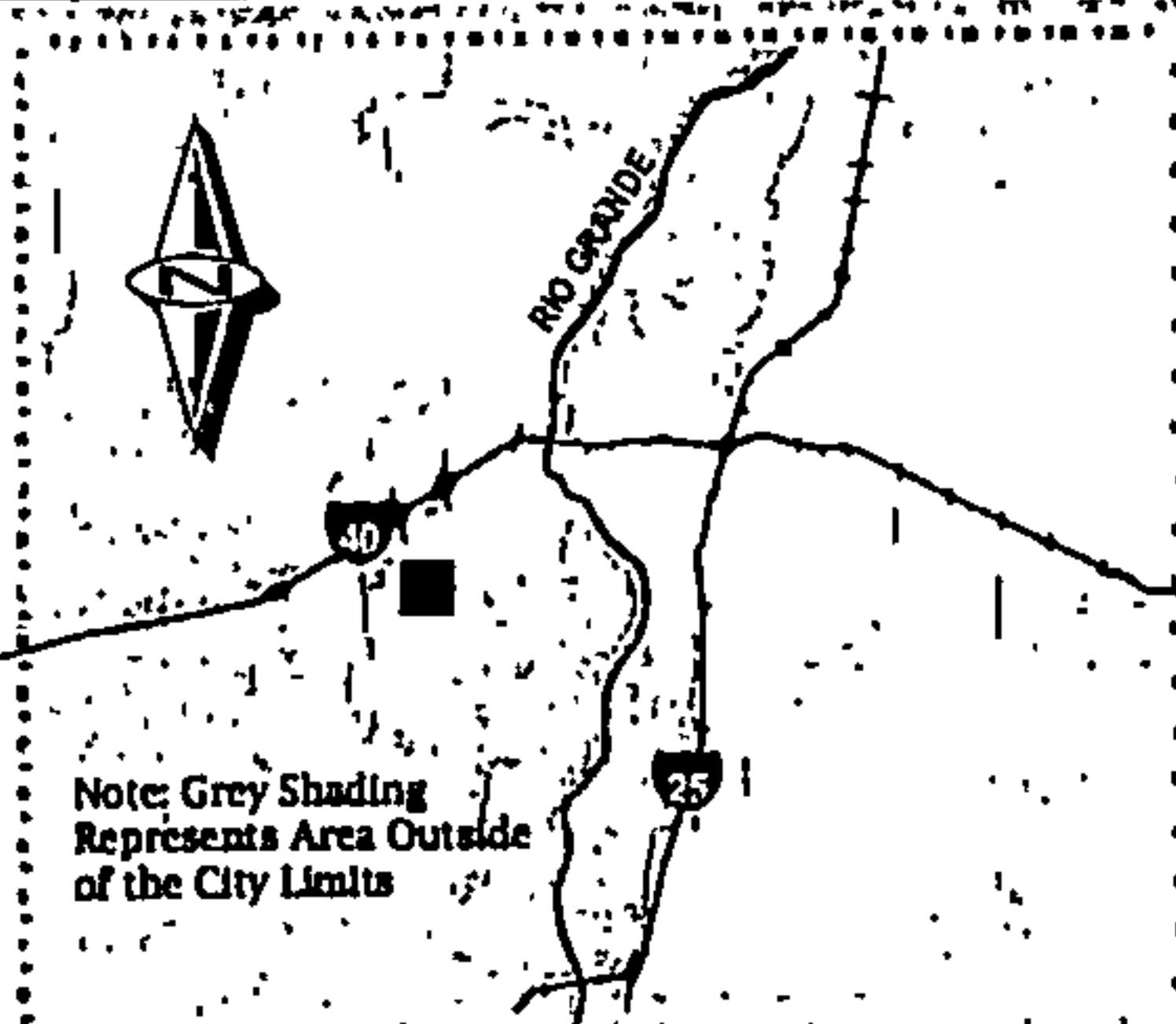
Enclosure



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 6/13/2008



Zone Atlas Page:  
**L-09-Z**

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



NEW MEDIAN OPENING  
& HOLDING LANE

98TH STREET SW.

SIDEWALK  
DEFERRAL

NEW TURNOUT  
& DECELERATION LANE

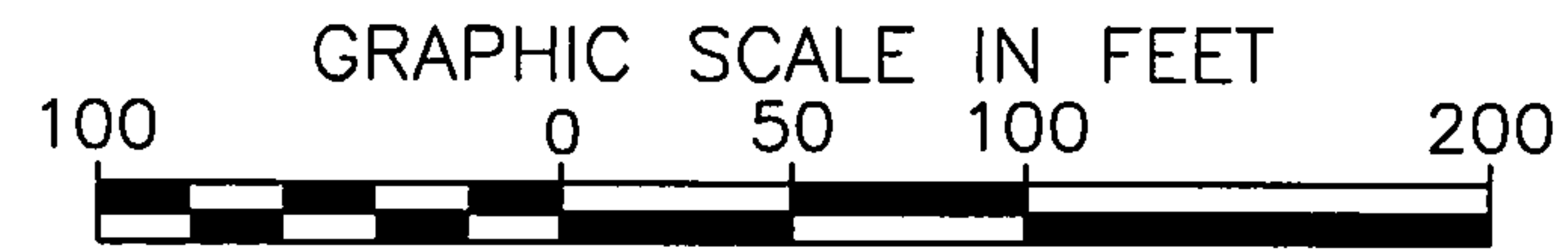
FUTURE TURNOUT &  
DECELERATION LANE

LOT 1

LOT 2  
BULK LAND

FUTURE  
TURNOUT

NEW TURNOUT



1 inch = 100 ft.

12/22/09

MERCADO CAMINO 66  
SIDEWALK DEFERRAL PLAN

CENTRAL AVE.

SUNSET GARDENS SW.

SUNRISE  
RANCH ST.

  
**LARKIN GROUP**<sub>PKA, INC.</sub>  
8500 MENAUL NE. SUITE A-440  
ALBUQUERQUE, NEW MEXICO 87112  
(505) 275-7500, FAX (505) 275-0748  
ENGINEER'S FILE No. 2008-0013

# SITE DEVELOPMENT PLAN FOR SUBDIVISION CHECKLIST

This checklist will be used by the Planning Department to verify the completeness of site plans submitted for review by the Environmental Planning Commission (EPC) and Development Review Board (DRB). Since development proposals vary in type and scale, there may be application requirements that are not included here and others that may not be necessary. Nonetheless, it is the applicant's responsibility to provide a complete submittal. The EPC and DRB will not consider incomplete submittals. Incomplete submittals run the risk of not being scheduled for hearing until they are made complete. Site development plans should ordinarily be composed of the following plan sheets:

1. **Site Plan** (required)
2. **Conceptual Utility Plan** (required)
3. **Design requirements for future site development plans for building permit** (optional, but STRONGLY recommended)

The following checklist describes the minimum information necessary for each sheet. Most of the site plan requirements for *Sheet #1* are taken from the definition for "SITE DEVELOPMENT PLAN For Subdivision" as outlined in the Zoning Code (§ 14-16-1-5). **The Applicant shall include and check off all items shown on the site plan or write in "n/a" if not applicable.**

**NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".**

## **SHEET # 1 – SITE PLAN** (Required)

- 1. Scale: at least 1" = 100'
- 2. Bar Scale
- 3. North Arrow
- 4. Scaled Vicinity Map
- 5. The Site (property lines)
- 6. Proposed Use(s) and List of Applicable Plans
- 7. Pedestrian Ingress and Egress (Access)
- 8. Vehicular Ingress and Egress (Access)
- 9. Any Internal Circulation Requirements
- 10. For each lot:
  - a. Maximum Building Height
  - b. Minimum Building Setback
  - c. Maximum Total Dwelling Units and / or
  - d. Maximum Floor Area Ratio (F.A.R.) for Nonresidential Uses

## **Accompanying Material**

- A. Fee payment
- B. Complete application
- C. Written Summary of Request including a narrative describing compliance with applicable plans and/or zoning requirements per §14-16-3-11(B) of the Comprehensive Zoning Code.
- D. 8-1/2" x 11" reductions

# **SITE DEVELOPMENT PLAN FOR SUBDIVISION CHECKLIST**

## **DESIGN STANDARDS FOR FUTURE SITE DEVELOPMENT PLANS FOR BUILDING PERMIT (Optional but STRONGLY recommended)**

**Note:** If applicant is requesting delegation of future phases of development or future site development plans for building permit to the DRB or other approval body, design standards should be provided to guide future development. The design standards should address the following elements of design at a minimum. The Design Standards should be written so that they can be enforced by the DRB and/or Code Enforcement plan check.

### **Site Design**

- Overall layout of site and buildings, relationship to adjacent sites
- Building placement, orientation, setbacks, and heights
- Pedestrian and vehicular connectivity (internal and external)
- Parking location and design (shared parking/cross parking is strongly encouraged)
- Public outdoor spaces including pedestrian amenities, shading, etc.
- Dumpster and service area locations and screening techniques
- Location, height, design and purpose of all walls and wall openings
- Location, height, design and purpose of all lighting
- Topographic challenges/opportunities
- Screening/buffering techniques
- Sustainable techniques such as permeable paving and other "green" features

### **Street Realm**

- Transit, bicycle, pedestrian amenities
- Landscape buffers, sidewalks and other amenities in the public r-o-w
- Street trees – location and type of trees

### **Landscaping**

- Overall landscape theme including plant palette and general location, height, and purpose of plants and trees
- Water conservation techniques

### **Building Design**

- Context
- Architectural theme or style
- Building height, scale, massing, materials, colors, and articulation

### **Signage**

- Standards for wall-mounted and monument signs: location of signs; max. number of signs for entire site; max. height and face area of signs; and signage materials and lighting.



SU-2 PDA (PLANNED DEVELOPMENT AREA)

A. Permissive Uses:

Uses first allowed and permissive in the C-2, O-1, and R-2 zones. Uses shall be as regulated by the C-2, O-1, and R-2 sections of the Comprehensive City Zoning Code according to the zone category within which an allowed use is designated with the following exceptions.

1. Where more restrictive, the requirements of the Design Overlay Zone shall govern. (See Section V).
2. A site development plan shall include at least all of a lot as platted October 1, 1987. The southern 30 percent of such lots shall be dominantly office and residential uses, and at least 30 percent of the plan area on each lot shall be office or residential.
3. A site development plan, approved by the City Planner, is required for any development in this zone category.

B. Conditional Uses:

None

SU-2 M-1

A. Permissive Uses:

Uses listed as permissive in the M-1 zone, Section 25.A, of the Comprehensive City Zoning Code, except that automobile dismantling uses shall be excluded.

B. Conditional Uses:

Uses listed as conditional in the M-1 zone, Section 25.B, of the Comprehensive City Zoning Code, except that salvage yard, adult book store or adult photo studio shall be excluded, and signs shall be allowed only as provided in the Design Overlay zone of the plan. (See Section V).

Existing legal uses which become conditional uses with the adoption of this Plan shall not require a public hearing to become conditional. However, within six months from the adoption of the West Route 66 Sector Development Plan paperwork must be completed at the Planning Division to establish the use as conditional.

C. Height:

The height of structures will be as regulated in the M-1 zone, Section 25.C, of the Comprehensive City Zoning Code.



City of Albuquerque  
P.O. Box 1293 Albuquerque, New Mexico 87103

## Planning Department

Martin J. Chavez, Mayor

Richard Dineen, Director

### Interoffice Memorandum

October 20, 2008

---

**Subject: Albuquerque Archaeological Ordinance—Compliance Documentation**

**Project Number(s):**

**Case Number(s):**

**Agent: Consensus Planning**

**Applicant:**

**Legal Description: Tract 1A and Tract 2, Block 1, Atrisco Grant**

**Acreage: 8.7 acres**

**Zone Atlas Page: L-9**

**CERTIFICATE OF NO EFFECT: Yes  No**

**SUPPORTING DOCUMENTATION:**

**A Class I and Class III Survey of 3.5 Hectares (8.7 acres) for a Proposed Development at Central and 98<sup>th</sup> Street, Albuquerque, Bernalillo County, New Mexico. by Kenneth L. Brown (Marron and Associates, Kenneth Brown P.I.). NMCRIS #111283.**

**SITE VISIT: n/a**

**RECOMMENDATION(S):**

- ***CERTIFICATE OF NO EFFECT IS ISSUED (ref O-07-72 Section 4B(1)-- no significant sites in project area)***

**SUBMITTED:**

Matthew Schmader, PhD  
Superintendent, Open Space Division  
Acting City Archaeologist

## PRE-APPLICATION DISCUSSION

**NOTE.** PRE APPLICATION DISCUSSIONS ARE PROVIDED TO ASSIST APPLICANTS IN ACQUIRING INFORMATION ON PROCESS AND REQUIREMENTS PERTAINING TO THEIR REQUEST. THE INTERPRETATION OF SPECIFIC USES ALLOWED WITHIN VARIOUS ZONES IS THE RESPONSIBILITY OF THE ZONING ENFORCEMENT OFFICER, AS PROVIDED FOR BY THE COMPREHENSIVE ZONING CODE. ANY STATEMENTS REGARDING ZONING AT THE PRE APPLICATION DISCUSSION ARE NOT CERTIFICATES OF ZONING

PA # 08-53 APPLICANT John Andrews TEL.# 294-6080 FAX# \_\_\_\_\_

RECEIVED BY Erin Tremlin DATE April 25, 2007

APPOINTMENT TIME & DATE: Tuesday @ 3:45pm; May 6, 2008  
 Appointment requests received by Friday will be scheduled for Tuesday of the following week, if times are available. Requests received after Friday will be scheduled for the following Tuesday. **Please contact the Planning Division at 924-3860 for more information.**

1. **BRIEFLY DESCRIBE REQUEST:** (What do you plan to develop on this site?)  
 Neighborhood shopping facilities and offices.

2. **RESPOND TO THE FOLLOWING QUESTIONS:**

Size of site: 8.7 acres Zoning: SU-2 POA Proposed Zoning: no change

Previous zone change or site plan approval case #s for this site: Z-289

Applicable Area or Sector Development Plans: West Route 66 Sector Plan, Westside Strategic, Southwest Area Plan

Residential: Type and # of Units Proposed: unknown

Commercial: Estimated building square footage: (approx 20% of land area) No. Of Employees: unknown

3. **LOCATION OF REQUEST:** Provide a **legal description** of property and indicate location using surrounding streets. Indicate significant landmarks or notable features in the vicinity. **Include Zone atlas number.**

Tract 1A and 2 of Atrisco Grant. Bounded on North Central Ave, East 98<sup>th</sup> St, South Sunser Gardens  
 Zone atlas page L-9

4. **WHAT QUESTIONS OR CONCERNS DO YOU HAVE REGARDING THIS REQUEST?**

We will have a plan of the site showing proposed access points for discussion. We would like to know the steps required to obtain plat approval.

1. AGENCY REPRESENTATIVES PRESENT AT MEETING

Planning:  Carmen Marrone

Others Russell Brito

924-3994 Transportation:  Tony Loyd

Others \_\_\_\_\_

ONC:  Stephanie Winklepleck

Others \_\_\_\_\_

924-3850 Code Enforce:  Robert Pierson

Others \_\_\_\_\_

Others: Neal Weinberg

2. TYPE OF APPLICATION ANTICIPATED / APPROVAL AUTHORITY

IF needed

Zone Map Amendment:

EPC Approval

City Council Approval

Sector Dev. Plan Amendment:

EPC Approval

City Council Approval

Site Dev. Plan for Subdivision:

EPC Approval

DRB Approval

Site Dev. Plan for Bldg. Permit:

EPC Approval

DRB Approval

Annexation:

Bern. Co. Commission Approval

EPC Approval

DRB Approval

OTHER:

3. SUMMARY OF PRT DISCUSSION

- Current zoning: SU-2/PDA as described in Policy 3.a; p.69 of WR66 Sector Plan
- How to change/remove requirement?:
  - zone map amendment; or
  - Sector Development Plan text amendment
- Development proposals under existing SU-2/PDA zoning reviewed by the Development Review Board (DRB)
- Sketch Plat Review and Comment at the DRB is available to get feedback and guidance on proposed design(s)
- Traffic Impact Study (T.I.S.) will probably be required
- Shared access point with property owner to the west may be a strategy to get Full access from Central Ave.
- Parking requirement reduction available based on adjacency to transit route and/or provision of transit shelter(s)
- Permissive uses and regulations as per C-2, O-1 and R-2 zone
- Bicycle lanes required on both Central Ave. and 98<sup>th</sup> Street

4. SIGN & DATE TO VERIFY ATTENDANCE & RECEIPT OF THIS SUMMARY

(PRT DISCUSSIONS ARE INFORMATIONAL & NON-BIND)

Russell Brito 6 May 08

PRT CHAIRMAN / DATE

D. Oslove 5/6/08

APPLICATION OR AGENT / DATE

**INFRASTRUCTURE LIST**

(Rev 9-20-05)

**EXHIBIT "A"**

**TO SUBDIVISION IMPROVEMENTS AGREEMENT**

**DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

MERCADO CAMINO 66

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Lot 1A & Lot 2, Block 1 Land of Atasco Grant.

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		width varies	Median Opening & Left Turn Holding Lane	98 <sup>th</sup> Street	500 ft. So. of Central	900 ft. So. of Central			
		12' Wide	Deceleration Lane at West Curb Line	98 <sup>th</sup> Street	280 ft. So. of Central	510 ft. So. of Central			
		10' wide	Relocation of Multi-Use Trail	98 <sup>th</sup> Street	250 ft. So. of Central	700 ft. So. of Central			
		40' wide	Turnout to Property	98 <sup>th</sup> Street	at 530 ft. So. of Central				
		32' wide	Turnout to Property	Central Ave.	at 390 ft. W. of 98 <sup>th</sup> St.				
		Std	Curb & Gutter	South Side Central Ave	175 ft. W. of 98 <sup>th</sup> St	350 ft. W. of 98 <sup>th</sup> St.			
		2 EA	Curb Inlet Modification	98 <sup>th</sup> Street	at Deceleration Lane				

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature      Date							City User Dept. Signature      Date		

**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

- 1 \_\_\_\_\_
- 2 \_\_\_\_\_
- 3 \_\_\_\_\_

**AGENT / OWNER**

**DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

*John A. Andrews*

NAME (print)

*Larkin Group NM, Inc*

FIRM

*John A. Andrews 12/21/09*

SIGNATURE - date

DRB CHAIR - date

PARKS & RECREATION - date

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

UTILITY DEVELOPMENT - date

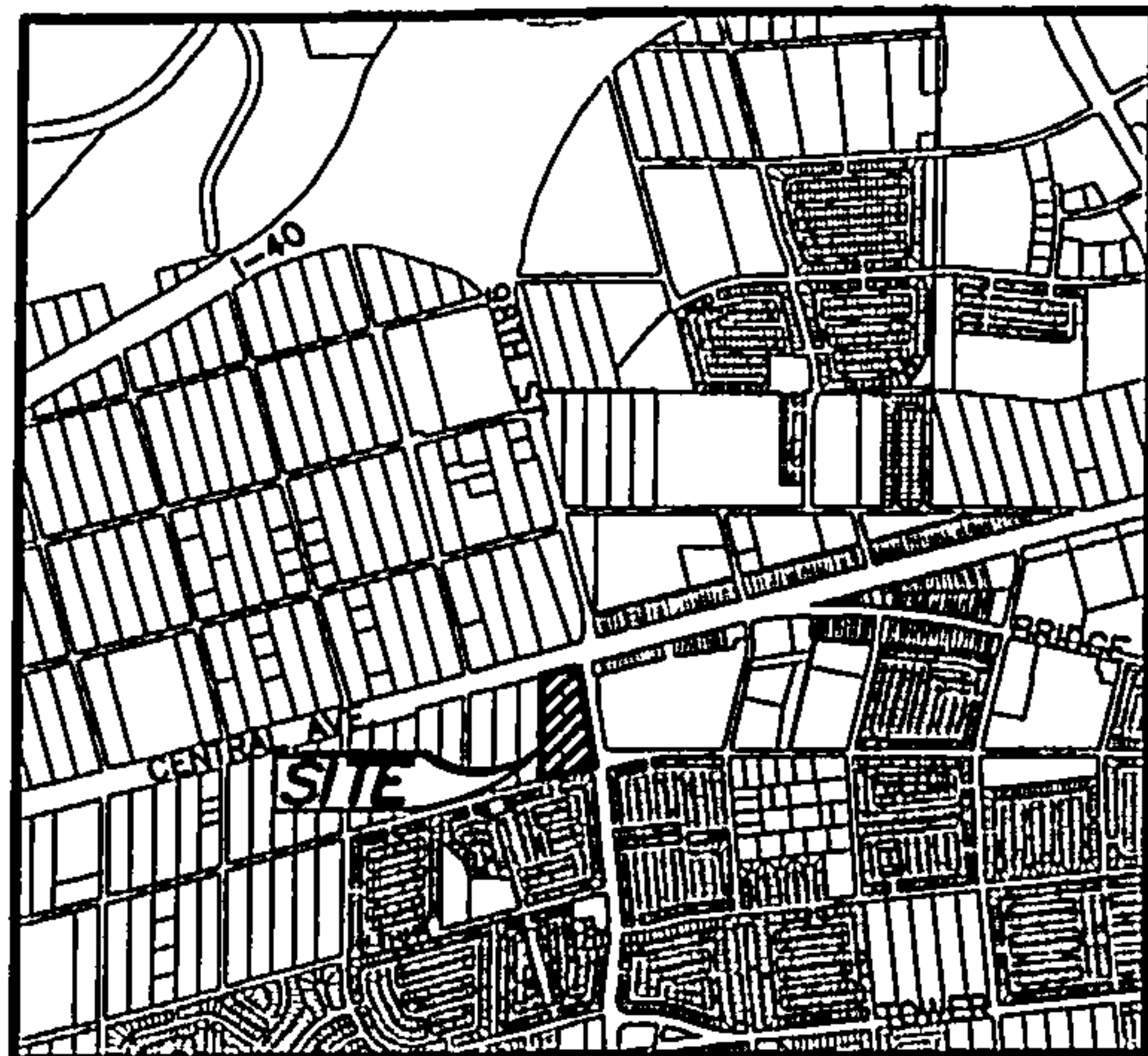
\_\_\_\_\_ - date

CITY ENGINEER - date

\_\_\_\_\_ - date

**DESIGN REVIEW COMMITTEE REVISIONS**

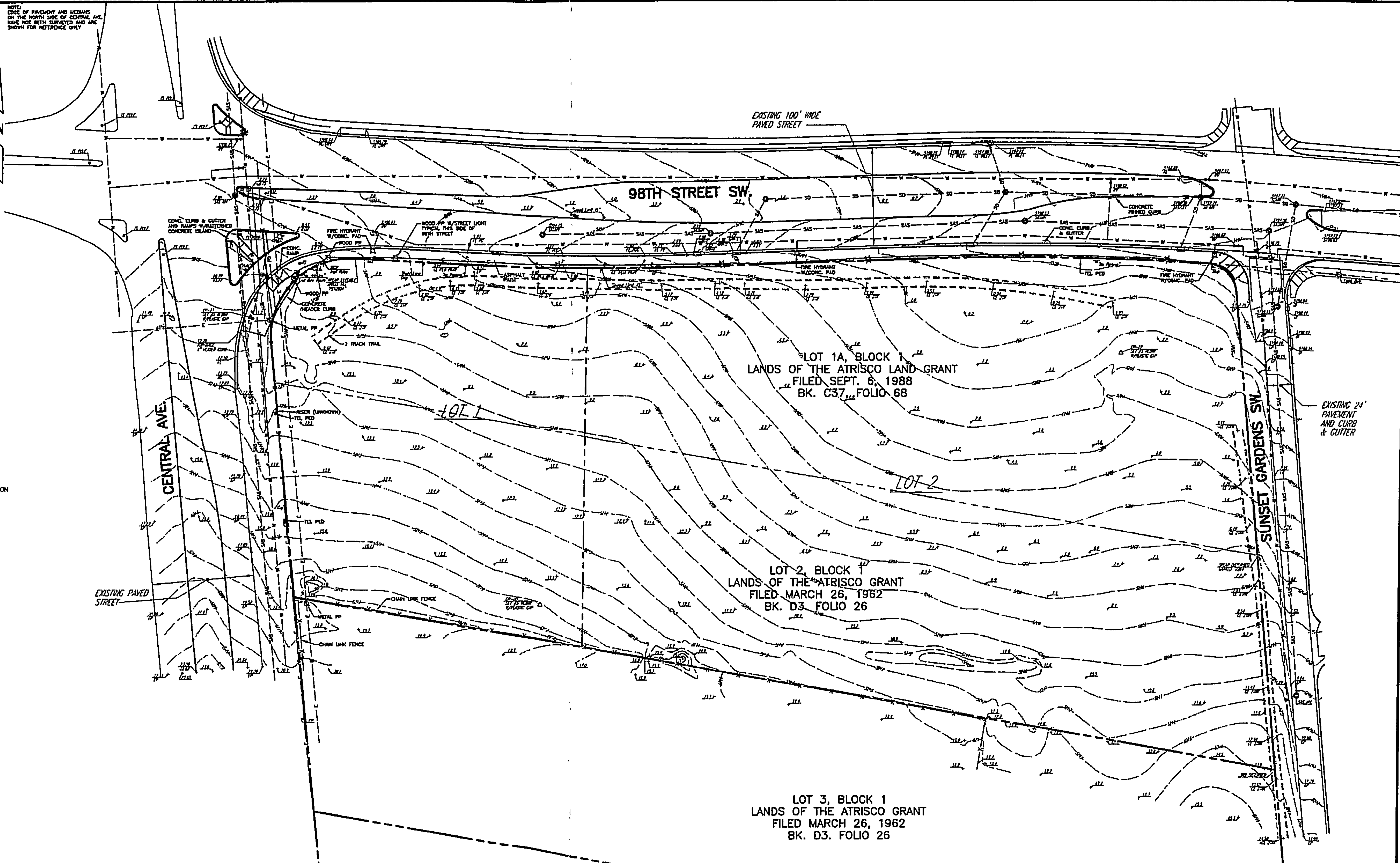
REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



**VICINITY MAP**  
SCALE: 1"=2000'±  
ZONE ATLAS MAP L-9

**LEGEND**

- ▲ CONTROL POINT (CP)
- - - EXISTING INDEX CONTOUR
- - - EXISTING INTERMEDIATE CONTOUR
- EXISTING SPOT ELEVATION
- TC-TOP OF CURB
- FL-FLOWLINE
- EP-EDGE OF PAVEMENT
- CC-CONCRETE
- SW-SIDEWALK
- EM-ELECTRIC MARKER
- GM-GAS MARKER
- MH-MANHOLE
- ASPH-ASPHALT
- ICV, ITC-IRRIGATION CONTROL VALVE, BOX
- PP-POWER POLE
- WV-WATER VALVE
- WM-WATER METER
- SANITARY SEWER MANHOLE W/RIM ELEVATION
- STORM DRAIN MANHOLE W/RIM ELEVATION
- ★ STREET LIGHT
- W WATER VALVE
- W WATER METER
- U FIRE HYDRANT
- U UTILITY POLE W/GUY WIRE
- SP SINGLE POLE SIGN W/DESIGNATION
- TPD TELEPHONE PEDESTAL
- ERD ELECTRIC RISER
- CRD CABLE TV RISER
- TSR TRAFFIC SIGNAL POLE
- TSR TRAFFIC SIGNAL PULLBOX
- EL ELECTRIC LINE (OVERHEAD UNLESS OTHERWISE INDICATED)
- GL GASLINE
- RL RIGHT-OF-WAY LINE
- LL LOT LINE
- XL CHAIN LINK FENCE



NOTE:  
EDGE OF PAVEMENT AND MEDIANS ON THE NORTH SIDE OF CENTRAL AVE. HAVE NOT BEEN SURVEYED AND ARE SHOWN FOR REFERENCE ONLY.

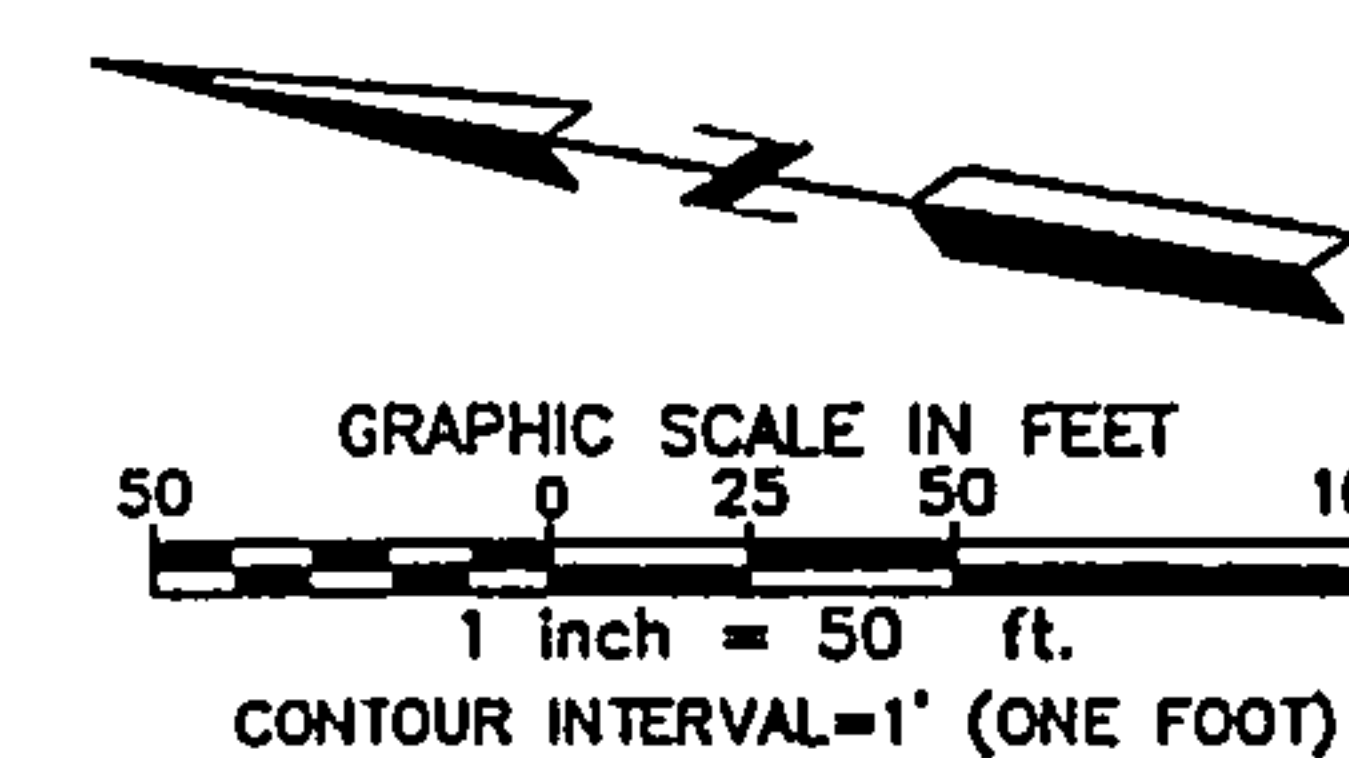
**UTILITY NOTE**

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**SURVEY NOTES**

1. Elevation datum for this survey is taken from City of Albuquerque Benchmark Sta. "7-L9" located 360 feet south of the centerline of Tower Rd. and 54 feet west of the centerline of 98th St. Elevation=5178.475 (NAVD 1988).
2. Elevations shown are 5200 ft. lower than actual for clarity.

**SITE SKETCH**



THIS IS NOT A BOUNDARY SURVEY  
APPARENT LOT LINES & PROPERTY CORNERS  
ARE SHOWN FOR ORIENTATION ONLY

**ONORIO COLUCCI**  
**ALBUQUERQUE, NEW MEXICO**

**98TH ST. SW. & CENTRAL AVENUE**  
SITE SKETCH  
EXISTING TOPOGRAPHY



PROJECT NO.	DRAWN	CHECKED	DATE	SHEET	OF
2008-0013	TL	GS	4/13/09	1	1

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action (Sketch Plat)
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- D**  Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: Onorio Colucci PHONE: 505-450-4298  
 ADDRESS: P.O. Box 14274 FAX: N/A  
 CITY: Albuquerque STATE NM ZIP 87191 E-MAIL: N/A  
 Proprietary interest in site: Ownership List all owners: Onorio Colucci & Virginia Colucci  
 AGENT (if any): Larkin Group NM, Inc. PHONE: 505-275-7500  
 ADDRESS: 8500 Menaul Boulevard NE, Suite A-440 FAX: 505-275-0748  
 CITY: Albuquerque STATE NM ZIP 87112 E-MAIL: jandrews@larkinm.com

DESCRIPTION OF REQUEST: Sketch Plat Review

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Lot 1A & Lot 2 Block: 1 Unit: ----  
 Subdiv. / Adn. Lands of Atrisco Grant  
 Current Zoning: SU-2 PDA Proposed zoning: Same  
 Zone Atlas page(s): L-09 No. of existing lots: 2 No. of proposed lots: 2  
 Total area of site (acres): 8.6662 Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A  
 Within city limits?  Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill?  No  
 UPC No. 100905606346420405 & 100905604545720404 MRGCD Map No. N/A  
 LOCATION OF PROPERTY BY STREETS: On or Near: 98th Street SW  
 Between: Central Avenue SW and Sunset Gardens SW

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.):  
West Route 66 Sector Development Plan

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team X. Date of review: 5-8-08

SIGNATURE John A. Andrews DATE 4-13-09  
 (Print) John A. Andrews  Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 4/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>09 DEB- 70142</u>	<u>SLA</u>	<u>5(3)</u>	<u>\$ 0</u>
<input type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				Total
<input type="checkbox"/> F.H.D.P. fee rebate				\$ <u>0</u>

Hearing date 04/22/09

Sandy Handley 04/14/09

Project # 1007759



**FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING**

**SKETCH PLAT REVIEW AND COMMENT DRB 22 YOUR ATTENDANCE IS REQUIRED.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

**MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
- Any original and/or related file numbers are listed on the cover application

**Extensions are not reviewed through internal routing.**

Extension of preliminary plat approval expires after one year.

**MAJOR SUBDIVISION FINAL PLAT APPROVAL Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
- Design elevations & cross sections of perimeter walls 3 copies
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application

**DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

**MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL Your attendance is required.**

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**

**DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

**AMENDMENT TO PRELIMINARY PLAT (with minor changes) Your attendance is required.**

**AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)**

**AMENDMENT TO GRADING PLAN (with minor changes)**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
- Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

John A. Andrews - Agent  
Applicant name (print)  
John A. Andrews 4-14-09  
Applicant signature / date



Form revised 8/04, 1/05 & 10/05

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers

09 DRB - 70142

Sandy Handley 04/14/09  
Planner signature / date

**Project # 1007759**



**SKETCH PLAT REVIEW  
LOTS 1A & 2  
LANDS OF ATRISCO GRANT**

Reason for Request

Lots 1A & 2 of the Lands of Atrisco Giant are located at the Southwest corner of Central Avenue SW and 98<sup>th</sup> Street SW, and it is proposed that the title of the subdivision replat will be Mercado Camino 66.

One owner owns both lots and proposes to proceed with development of the property and therefore it is proposed to replat the property.

The property is presently undeveloped and there are no structures on the property.

The property is presently within the West Route 66 Sector Development Plan and the zoning has been designated as SU2-PDA.

With this sketch plat it is proposed to confirm the permissive uses for this property as stated in the Sector Plan page 80 and page 69. This being, that permissive uses allowed for the entire area of existing Lot 1A can be C-2 and all of existing Lot 2 can be C-2 except the Southerly 30% of this Tract 2 shall be office and/or residential. Excerpts from the Sector Plan are attached.

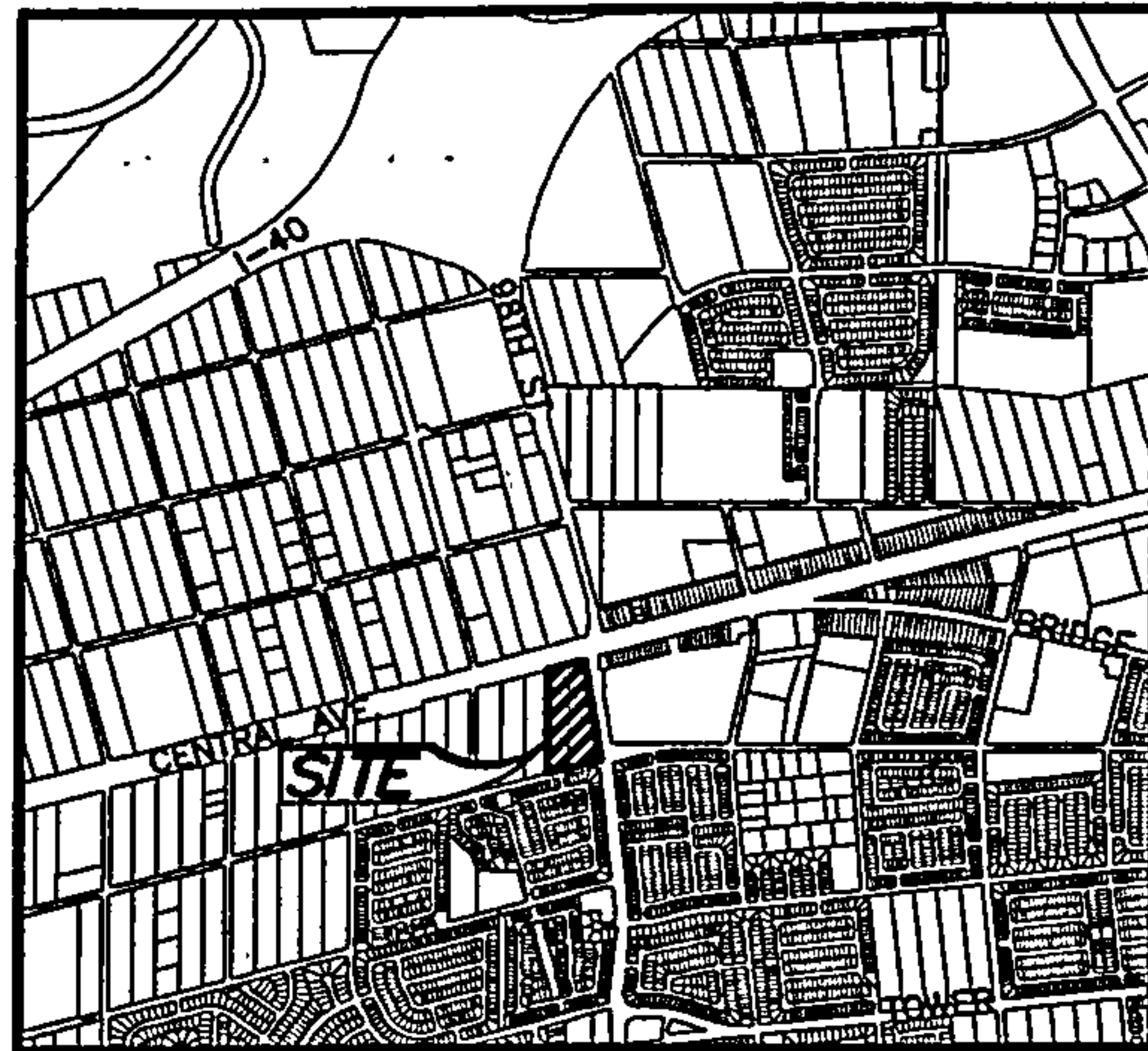
With this replat it is proposed to replat the property into 2 lots with Lot 1 designated as Phase I Development and Lot 2 designated as Phase II Development. Currently it is proposed to develop Phase I of the property initially, as there is a probable user for this lot. Phase II is proposed to be developed at a later date as users are identified.

For access to the Phase I Development it is proposed to construct an access from 98<sup>th</sup> Street including an opening in the median and the left turn holding lane along with a right turn deceleration lane. In addition for access to and from Central Avenue a right turn in and a right out is proposed. A traffic impact analysis is currently being prepared to address traffic requirements.

Future Access points to allow for Phase II development will include a right turn in and right out from 98<sup>th</sup> Street farther south than the Phase I access and an access to Sunset Gardens. Also, completion of the improvements Sunset Gardens would be made when Phase II is developed. A waiver of the infrastructure improvements to serve Phase II will be requested.

A preliminary site plan for subdivision is attached with this application for informational purposes.

Information relative to the amount of impact fees is requested.

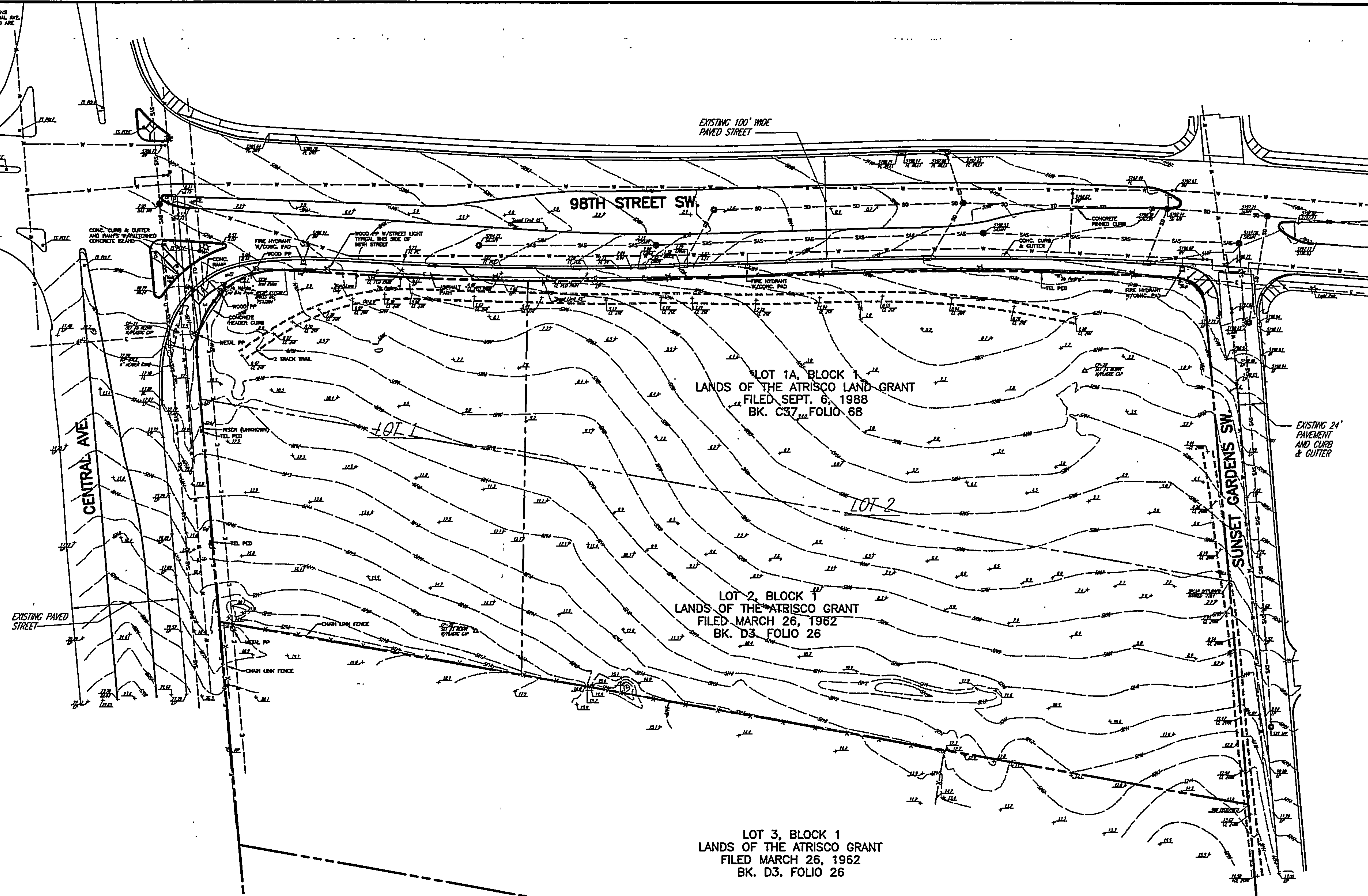


**VICINITY MAP**  
SCALE: 1" = 2000'  
ZONE ATLAS MAP L-9

**LEGEND**

- CONTROL POINT (CP)
- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- EXISTING SPOT ELEVATION TO TOP OF CURB
- FL--- FLOWLINE
- EP--- EDGE OF PAVEMENT
- CONC--- CONCRETE
- SK--- SIDEWALK
- EM--- ELECTRIC MARKER
- GM--- GAS MARKER
- MH--- MANHOLE
- ASPH--- ASPHALT
- ICV, ITC--- IRRIGATION CONTROL VALVE, BOX
- PP--- POWER POLE
- WV--- WATER VALVE
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- SANITARY SEWER MANHOLE W/R/M ELEVATION
- STORM DRAIN MANHOLE W/R/M ELEVATION
- ★ STREET LIGHT
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- UTILITY POLE W/GUY WIRE
- SINGLE POLE SIGN W/DESIGNATION
- TEL PED TELEPHONE PEDESTAL
- ELEC PED ELECTRIC RISER
- CABLE PED CABLE TV RISER
- TRAFFIC SIGNAL POLE
- TRAFFIC SIGNAL PULLBOX
- ELECTRIC LINE (OVERHEAD UNLESS OTHERWISE INDICATED)
- GASLINE
- RIGHT-OF-WAY LINE
- LOT LINE
- CHAIN LINK FENCE

NOTE: EDGE OF PAVEMENT AND MEDIANS ON THE NORTH SIDE OF CENTRAL AVE. HAVE NOT BEEN SURVEYED AND ARE SHOWN FOR REFERENCE ONLY.



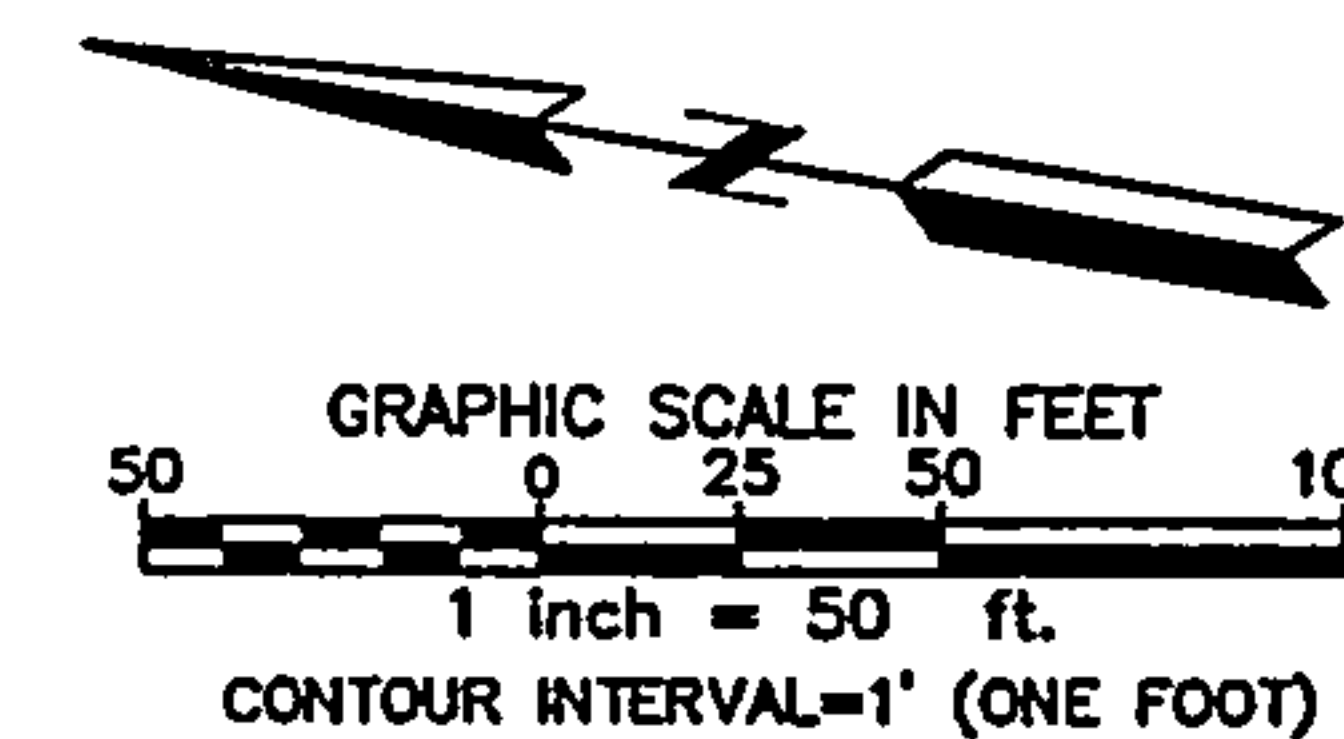
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**SURVEY NOTES**

1. Elevation datum for this survey is taken from City of Albuquerque Benchmark Sta. "7-19" located 360 feet south of the centerline of Tower Rd. and 54 feet west of the centerline of 98th St. Elevation=5178.475 (NAVD 1988).
2. Elevations shown are 5200 ft. lower than actual for clarity.

**SITE SKETCH**



THIS IS NOT A BOUNDARY SURVEY  
APPARENT LOT LINES & PROPERTY CORNERS  
ARE SHOWN FOR ORIENTATION ONLY

**ONORIO COLUCCI**  
ALBUQUERQUE, NEW MEXICO

**98TH ST. SW. & CENTRAL AVENUE**  
SITE SKETCH  
EXISTING TOPOGRAPHY



CONSULTING ENGINEERS AND SURVEYORS		ALBUQUERQUE, NEW MEXICO	
PROJECT NO.	DRAWN	CHECKED	DATE
2008-0013	TL	GS	4/13/09
SHEET			OF
1			1

# SKETCH PLAT MERCADO CAMINO 66

BEING A REPLAT OF  
LOT 1A & LOT 2, BLOCK 1  
LANDS OF THE ATRISCO GRANT

APRIL 2009

THIS IS TO CERTIFY THAT TAXES ARE CURRENT  
AND PAID ON UPC #100905606346420405  
#100905604545720404

PROPERTY OWNER OF RECORD: \_\_\_\_\_  
BERNALILLO COUNTY TREASURER'S OFFICE: \_\_\_\_\_

### APPROVALS

CHIEF CITY SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_

TRAFFIC ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

DESIGN AND DEVELOPMENT, CIP \_\_\_\_\_ DATE \_\_\_\_\_

PARKS AND RECREATION DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

UTILITY DEVELOPMENT DIVISION \_\_\_\_\_ DATE \_\_\_\_\_

PROPERTY MANAGEMENT \_\_\_\_\_ DATE \_\_\_\_\_

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY \_\_\_\_\_ DATE \_\_\_\_\_

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE  
ALBUQUERQUE SUBDIVISION ORDINANCE, ARTICLE XI OF CHAPTER 7 OF  
THE REVISED ORDINANCES OF ALBUQUERQUE, N.M.

CITY PLANNER, ALBUQUERQUE/BERNALILLO COUNTY PLANNING DIVISION \_\_\_\_\_ DATE \_\_\_\_\_

CASE No. 08 DRB-XXXXX PLAT No. \_\_\_\_\_

### SURVEYOR'S CERTIFICATE

I, Gregory L. Steiner, New Mexico Professional Surveyor No. 12804, do hereby certify that the real property shown hereon has been surveyed, monumented and platted by me or under my direct supervision and responsible charge, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest; that said survey meets the minimum requirements of the City of Albuquerque Subdivision Ordinance, is in accordance with the Standards for Land Surveys in New Mexico and that said survey and plat is true and correct to the best of my knowledge and belief.

GREGORY L. STEINER, NMPS 12804 \_\_\_\_\_ DATE \_\_\_\_\_

**LARKIN GROUP** NM, INC.  
CONSULTING ENGINEERS AND SURVEYORS  
8500 MENAUL BLVD. NE A-440  
ALBUQUERQUE, NEW MEXICO 87112  
(505) 275-7500 FAX (505) 275-0748  
www.larkinm.com FILE #2008-0013

### LIST OF DOCUMENTS

1. Plat "Lands of the Atrisco Grant", filed August 25, 1961, in Vol. D3, Folio 26, Records of Bernalillo County, New Mexico.
2. Plat "Lots 1A and 1B, Block 1, Lands of the Atrisco Grant", filed September 6, 1988, Vol. c37, Folio 68, Records of Bernalillo County, New Mexico.
3. Right of Way Maps, City of Albuquerque, Special Assessment District 222, dated August 1993.



**LOCATION MAP**  
SCALE: 1"=3000'±  
ZONE ATLAS MAP L-9

### DISCLOSURE STATEMENT

The purpose of this plat is to combine two lots into one subdivision and to create two new lots within the new subdivision.

### DEVELOPMENT NOTES

1. Two Lots are created by this plat.  
Lot 1 = 2,3076 Ac./100521 sq. ft.  
Lot 2 = 6,3586 Ac./276980 sq. ft.  
Total Acreage: 8.6662 Ac./377501 sq. ft.  
R.O.W. Dedication: None  
Net Acreage: 8.6662 Ac./377501 sq. ft.
2. Utility Council Location Log No: 2008 xx xxxx

### UTILITIES APPROVAL

PNM	DATE
NEW MEXICO GAS COMPANY	DATE
QWEST TELECOMMUNICATIONS	DATE
COMCAST	DATE

### FREE CONSENT AND DEDICATION

The plat shown hereon is made in accordance with the desires of the undersigned owner(s) or proprietor(s) thereof. Said owner(s) or proprietor(s) dedicate to the City of Albuquerque the Right-of-Way shown hereon; said owner(s) or proprietor(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided; said owner(s) and proprietor(s) do hereby certify that this is their free act and deed and do hereby represent that they are authorized to so act.

### OWNERS:

ONORIO COLUCCI \_\_\_\_\_

VIRGINIA M. COLUCCI \_\_\_\_\_

STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO ) SS

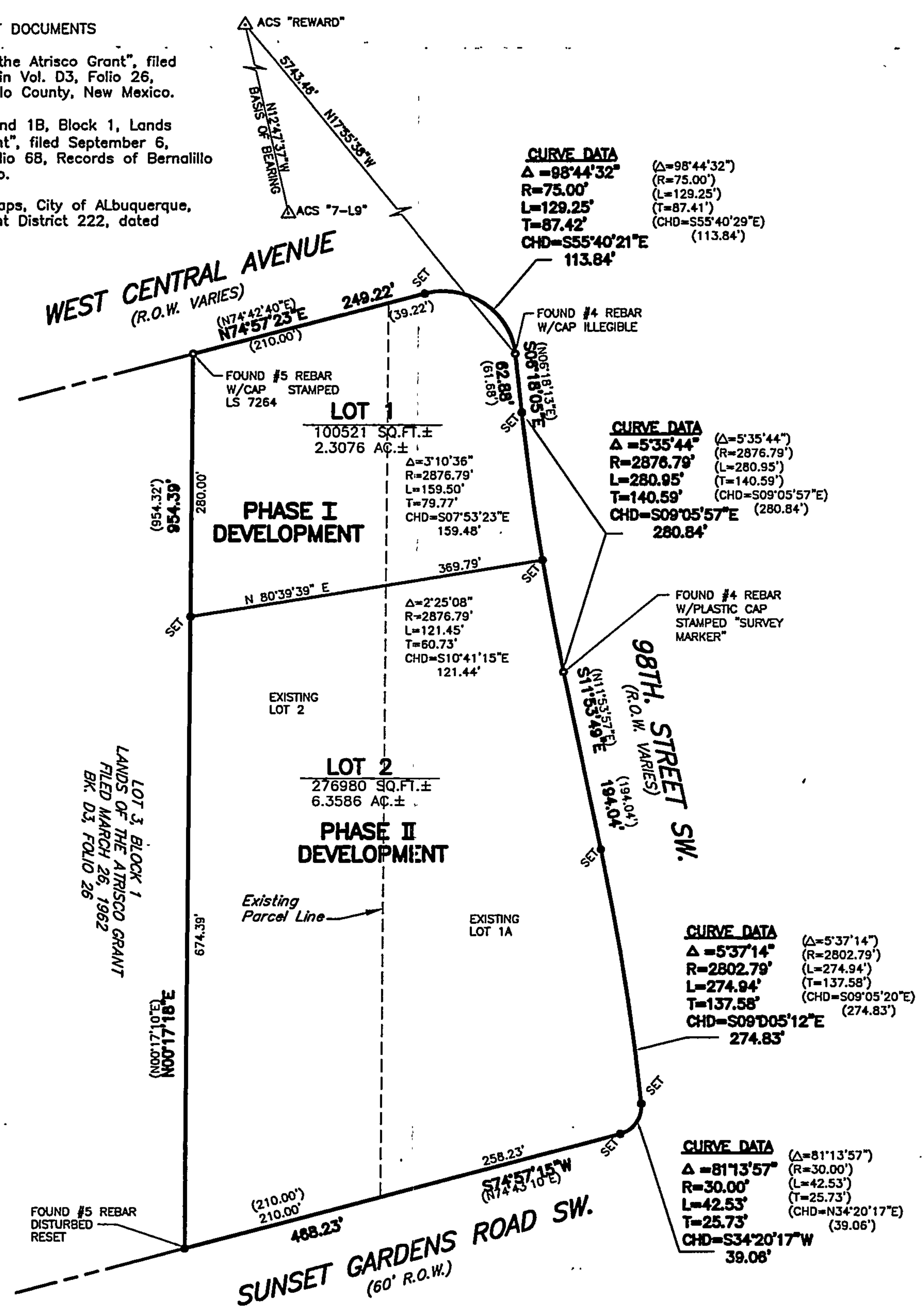
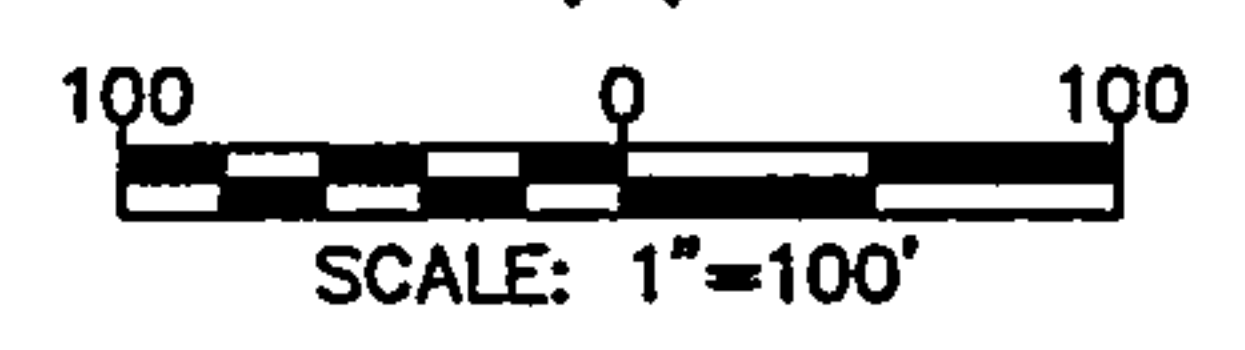
This instrument was acknowledged before me on: \_\_\_\_\_ of 20\_\_\_\_  
by: \_\_\_\_\_

NOTARY PUBLIC \_\_\_\_\_ My Commission Expires \_\_\_\_\_

STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO ) SS

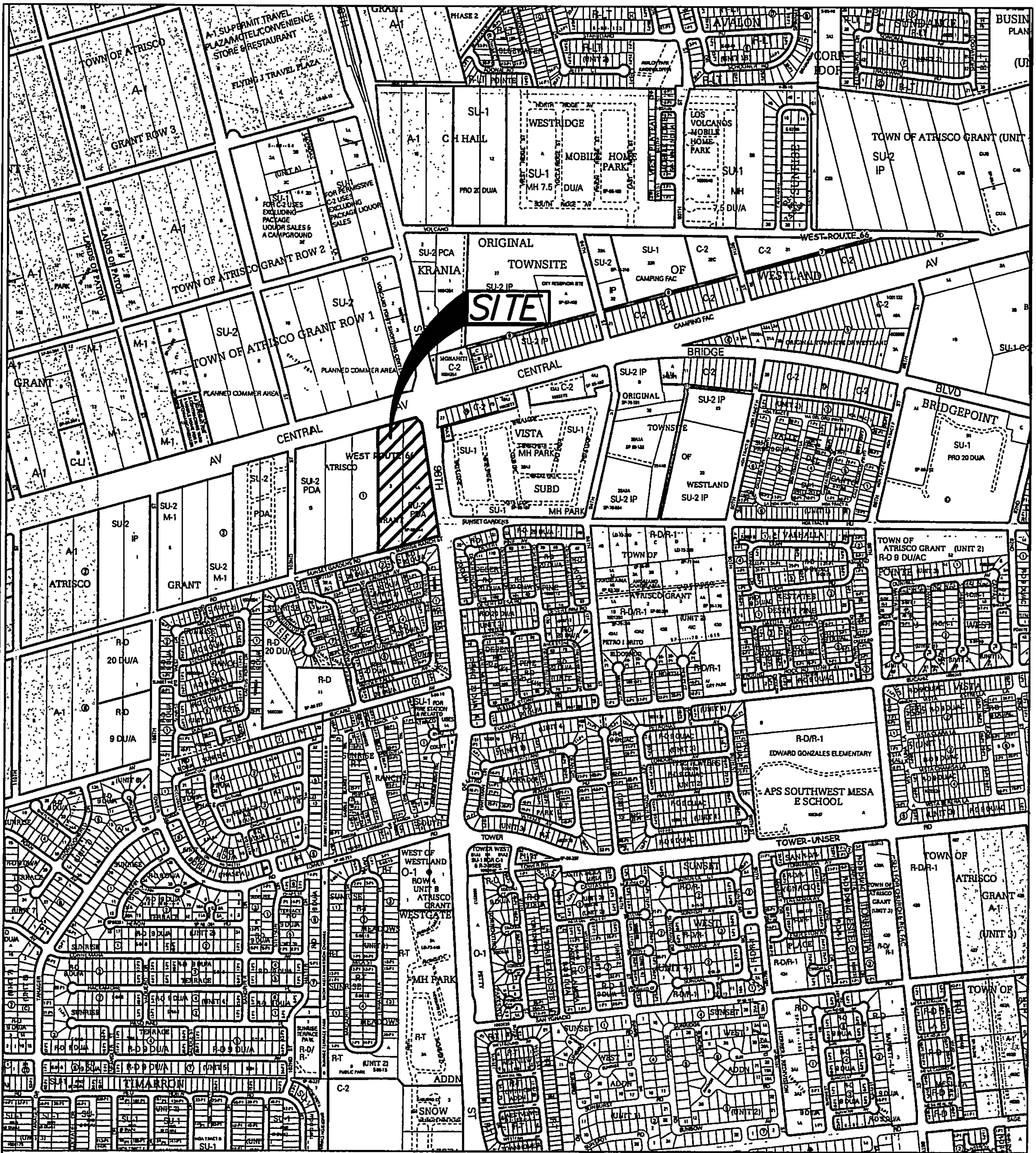
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### SURVEY NOTES

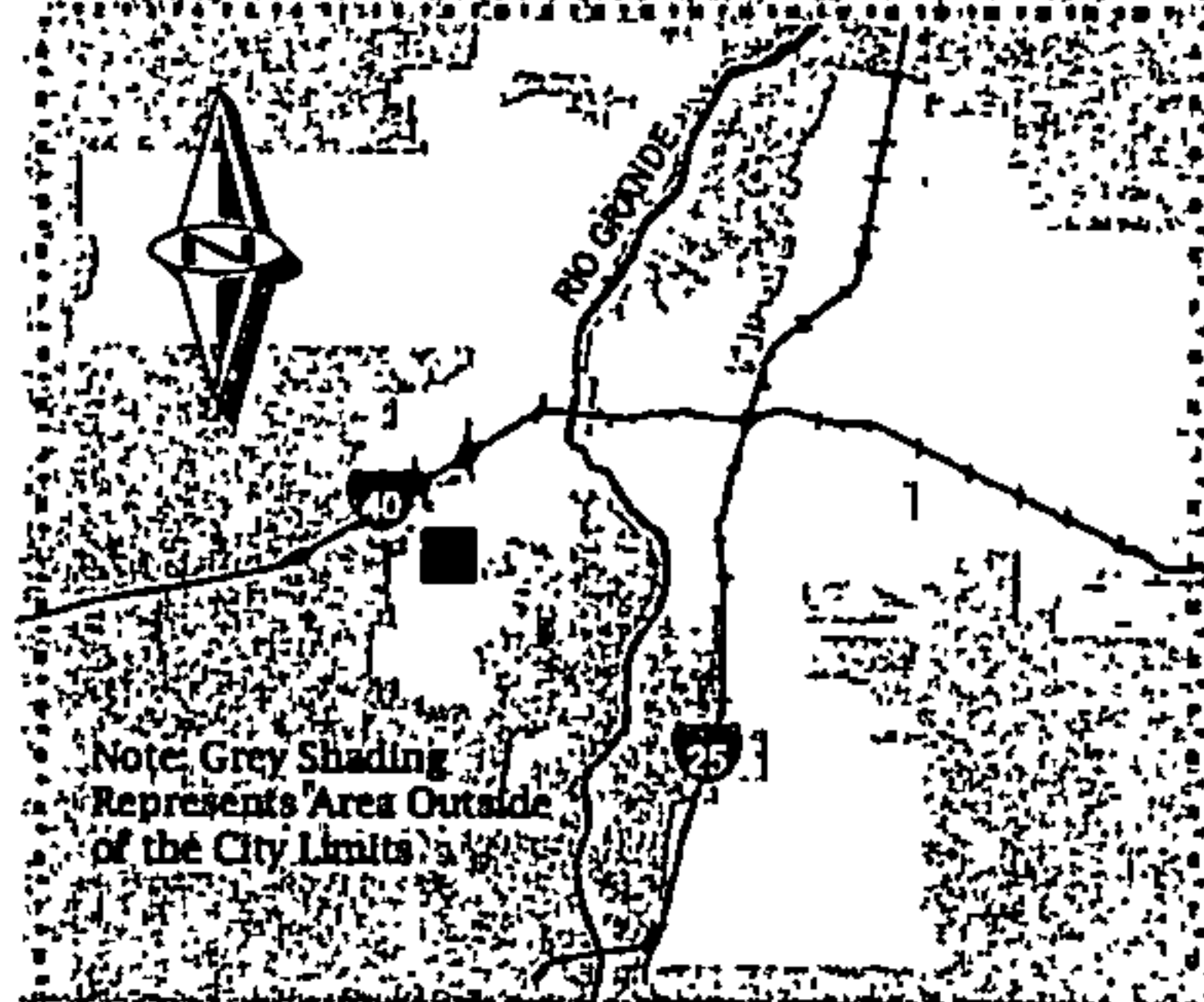
1. Basis of bearings for the Survey shown hereon are New Mexico Coordinate System Grid Bearings, Central Zone, NAD 1983, NAVD 1988 Datum, Transverse Mercator Projection, New Mexico.  
Albuquerque Control Station "REWARD"  
X=1,491,190.819 Y=1,487,364.063 (NAD 1983)  
Scale Factor: 0.999675005  
Convergence: -0°17'12"  
Elevation (NAVD 1988) 5319.688 feet  
Albuquerque Control Station "7-LS"  
X=1,493,224.214 Y=1,478,409.331 (NAD 1983)  
Scale Factor: 0.999681058  
Convergence: -0°16'57"  
Elevation (NAVD 88) 5178.475 feet
2. Corner monuments "SET" by this survey are capped #4 rebar, 1.5' feet in length, embossed "PLS 12804" or as described hereon. Existing corner monumentation found by this survey is described hereon.
3. Distances are horizontal ground distance.
4. Bearings and distances shown in parentheses ( ) are from recorded plats.



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 6/13/2008



Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**L-09-Z**

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



***WEST ROUTE 66  
SECTOR DEVELOPMENT PLAN***



*City of Albuquerque  
Planning Department/Planning Division*

*January 1988*

Underscored Material - New  
[Bracketed Material] - Deletion

1 by the Environmental Planning Commission, is hereby mapped  
2 reflecting the boundaries shown on Figures 24, 25, and 26 of the  
3 attached West Route 66 Sector Development Plan.

4 Section 4. The design standards contained in Section V of the  
5 attached West Route 66 Sector Development Plan are hereby adopted  
6 and shall be enforced within the boundaries of the Design Overlay  
7 Zone.

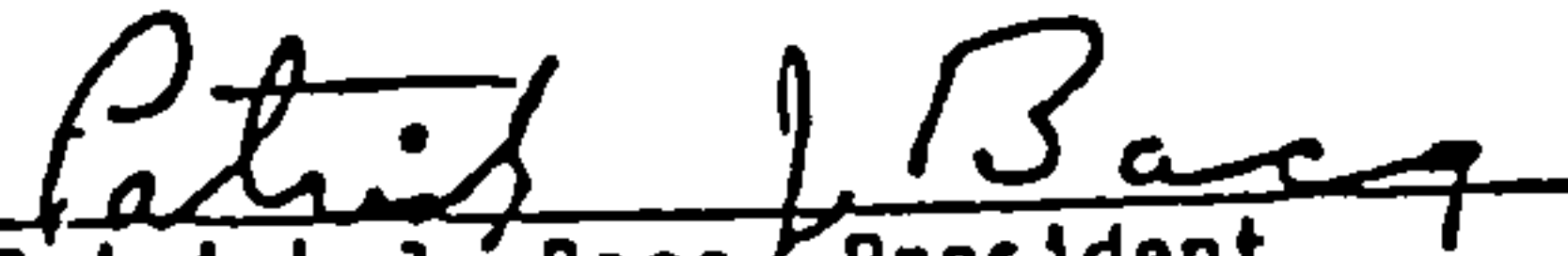
8 Section 5. The proposed Transportation Improvements as detailed  
9 on pages 50 and 51 and shown on Figure 22 of the attached plan are  
10 hereby adopted.

11 Section 6. The bikeway improvements recommended on pages 43 and  
12 45 of the attached plan are hereby recommended for adoption by the  
13 Urban Transportation Planning and Policy Board as amendments to the  
14 Bikeways Master Plan.


15 PASSED AND ADOPTED THIS 19th DAY OF October, 1987.

16 BY A VOTE OF 7 FOR AND 0 AGAINST.

17 Yes: 7  
18 Excused: Gallegos, Hill

19  
20   
21 Patrick J. Baca, President  
22 City Council

23  
24 APPROVED THIS 24<sup>th</sup> DAY OF November, 1987.

25  
26   
27 Ken Schultz, Mayor  
28 City of Albuquerque

29 ATTEST:

30  
31   
32 City Clerk

33

This property is owned by three separate entities. Several land use concepts have been discussed with the separate owners. The most workable solution is the zoning shown on Figure 25. This recommendation most closely approximates the existing zoning but brings it under current zoning categories.

### 3.a Policy

SU-2 for a Planned Development Area I as regulated in Section IV of the West Route 66 Sector Development Plan, allowing uses permissive in the C-2, O-1, and R-2 zones, but requiring at least thirty (30) percent of land developed to include office and/or residential uses for Tracts 2-5, Block 1 and Tracts 1 and 2, Block 2, Unit 2, Town of Atrisco Grant located on the south side of Central Avenue between 98th Street and 106th Street.

### 3.b Justification

These lots are presently zoned a combination of C-2, SU-1 for a Mobile Home Park, SU-1 for Planned Residential Development (PRD) at 20 dwelling units per acre, and RA-2. The existing zoning, intermixed as it is, will not provide a reasonable pattern for development or compatibility of uses at this major intersection.

The recommended mixture of uses will provide overall land use compatibility on these parcels and will provide a sense of interface with potential development to the south. Development stability cannot be achieved with the present zoning pattern. There is a single-family residential subdivision south of this area in the vicinity of 106th Street, therefore, a residential community does exist and can be anticipated to expand in the future.

### 4.a Policy

SU-2 for Planned Commercial Development as regulated by Section IV of the West Route 66 Sector Development Plan allowing those commercial uses specifically designated for this zone for properties located on the north side of Central Avenue between 98th Street and the City limits.

### 4.b Justification

This area is a mixture of existing M-1, C-2, C-3, SU-1 for a Mobile Home Park, and RA-2 zoning. The zoning lines rarely correspond to lot lines, therefore, the existing zone pattern cannot create a cohesive development strategy.

The M-1, C-3, and RA-2 parcels are vacant at this time. The SU-2 zoning will provide overall continuity of land uses for these properties which cannot exist under the present zoning. The uses allowed in this zone will serve the community, provide compatibility and stability to the area, and provide flexibility of development to the property owners.



SU-2 PDA (PLANNED DEVELOPMENT AREA)

A. Permissive Uses:

Uses first allowed and permissive in the C-2, O-1, and R-2 zones. Uses shall be as regulated by the C-2, O-1, and R-2 sections of the Comprehensive City Zoning Code according to the zone category within which an allowed use is designated with the following exceptions.

1. Where more restrictive, the requirements of the Design Overlay Zone shall govern. (See Section V).

★ 2. A site development plan shall include at least all of a lot as platted October 1, 1987. The southern 30 percent of such lots shall be dominantly office and residential uses, and at least 30 percent of the plan area on each lot shall be office or residential. ★

★ 3. A site development plan, approved by the City Planner, is required for any development in this zone category. ★

B. Conditional Uses:

None

SU-2 M-1

A. Permissive Uses:

Uses listed as permissive in the M-1 zone, Section 25.A, of the Comprehensive City Zoning Code, except that automobile dismantling uses shall be excluded.

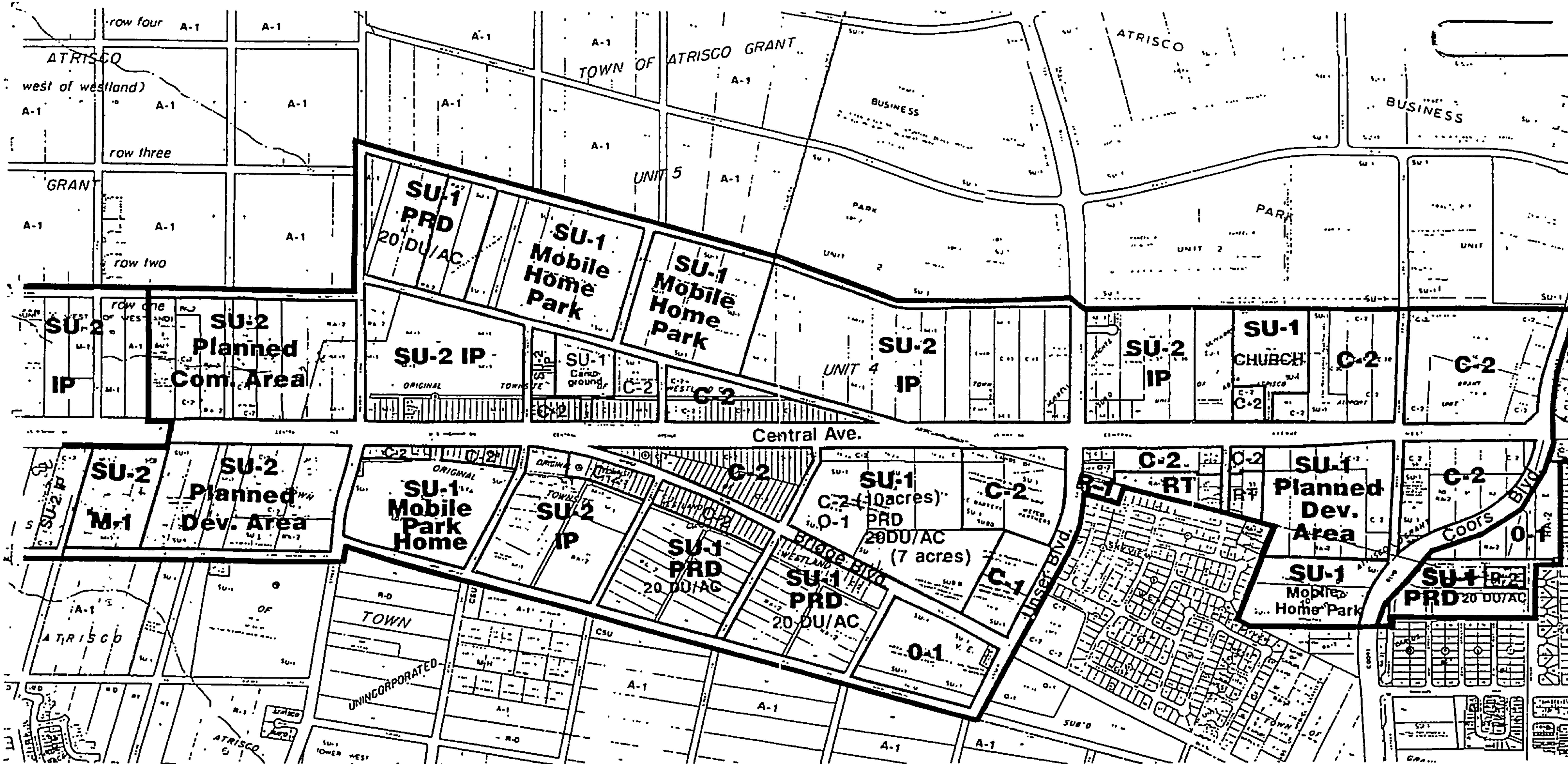
B. Conditional Uses:

Uses listed as conditional in the M-1 zone, Section 25.B, of the Comprehensive City Zoning Code, except that salvage yard, adult book store or adult photo studio shall be excluded, and signs shall be allowed only as provided in the Design Overlay zone of the plan. (See Section V).

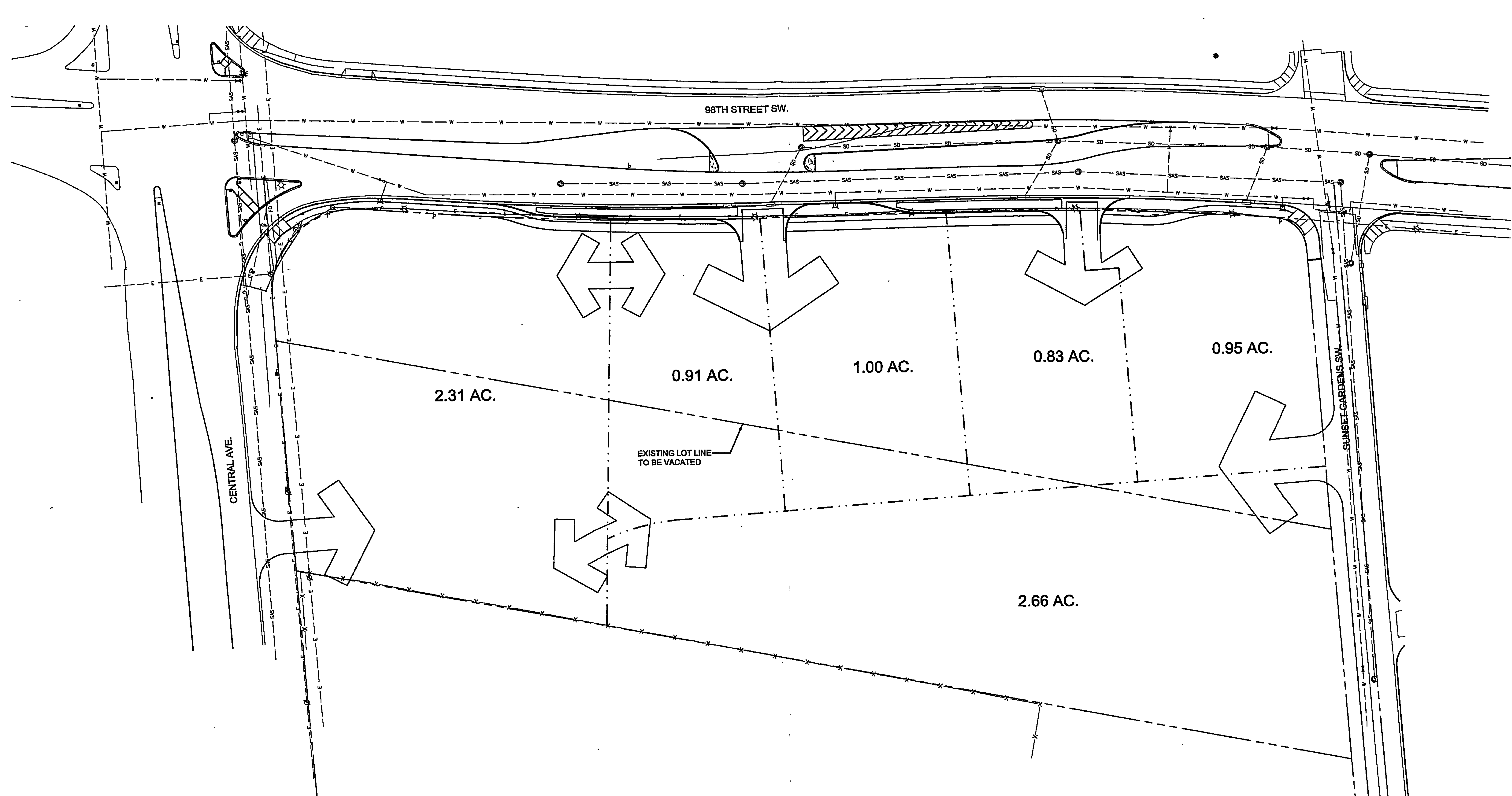
Existing legal uses which become conditional uses with the adoption of this Plan shall not require a public hearing to become conditional. However, within six months from the adoption of the West Route 66 Sector Development Plan paperwork must be completed at the Planning Division to establish the use as conditional.

C. Height:

The height of structures will be as regulated in the M-1 zone, Section 25.C, of the Comprehensive City Zoning Code.




**Segment 2**  
**figure 25** **Approved Zoning**  
 West Route 66 Sector Development Plan  
 City of Albuquerque | Planning Department | Planning Division



# MERCADO CAMINO 66

98TH STREET AND CENTRAL AVENUE

SITE PLAN FOR SUBDIVISION

APRIL 2, 2009

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