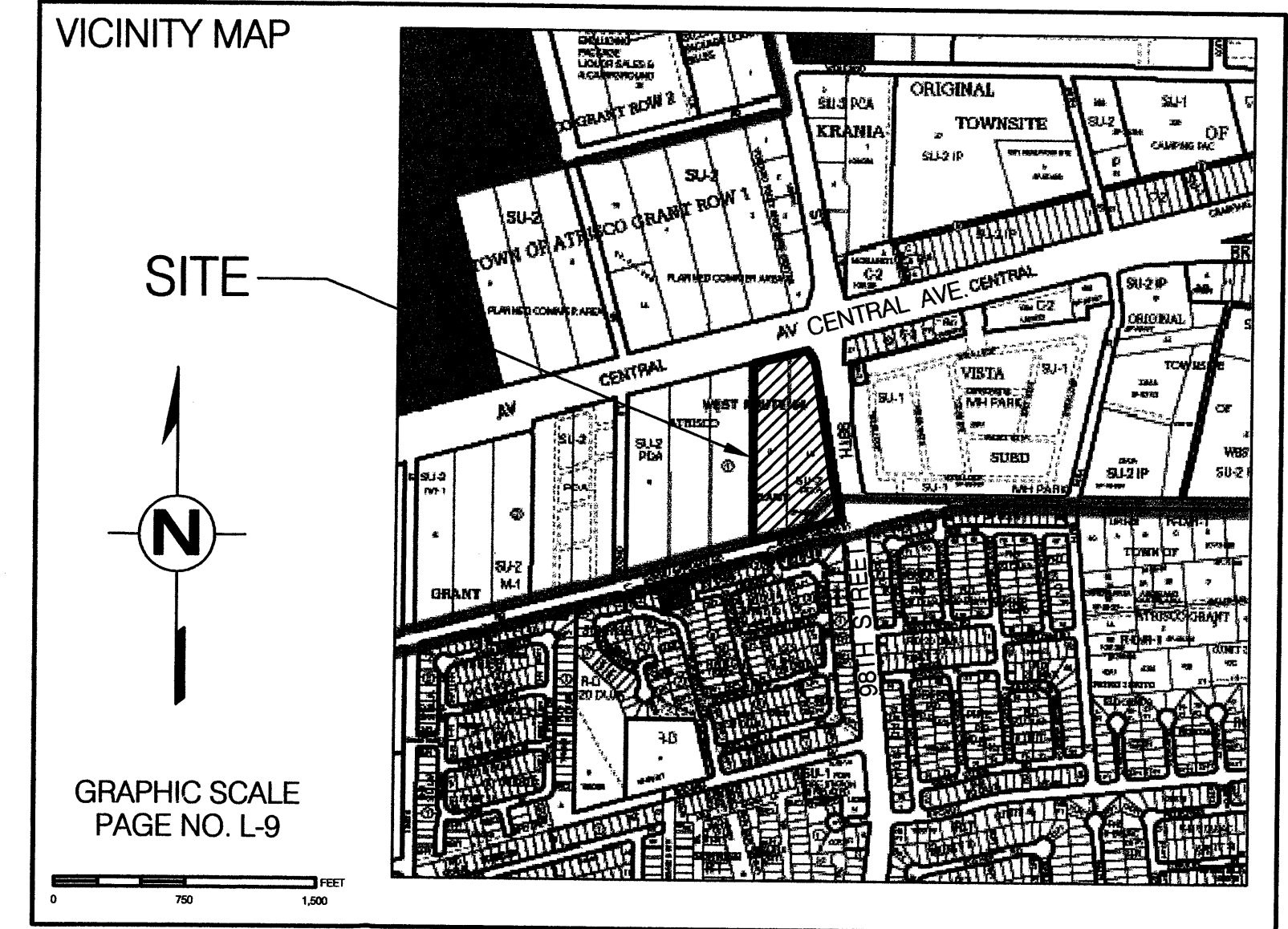
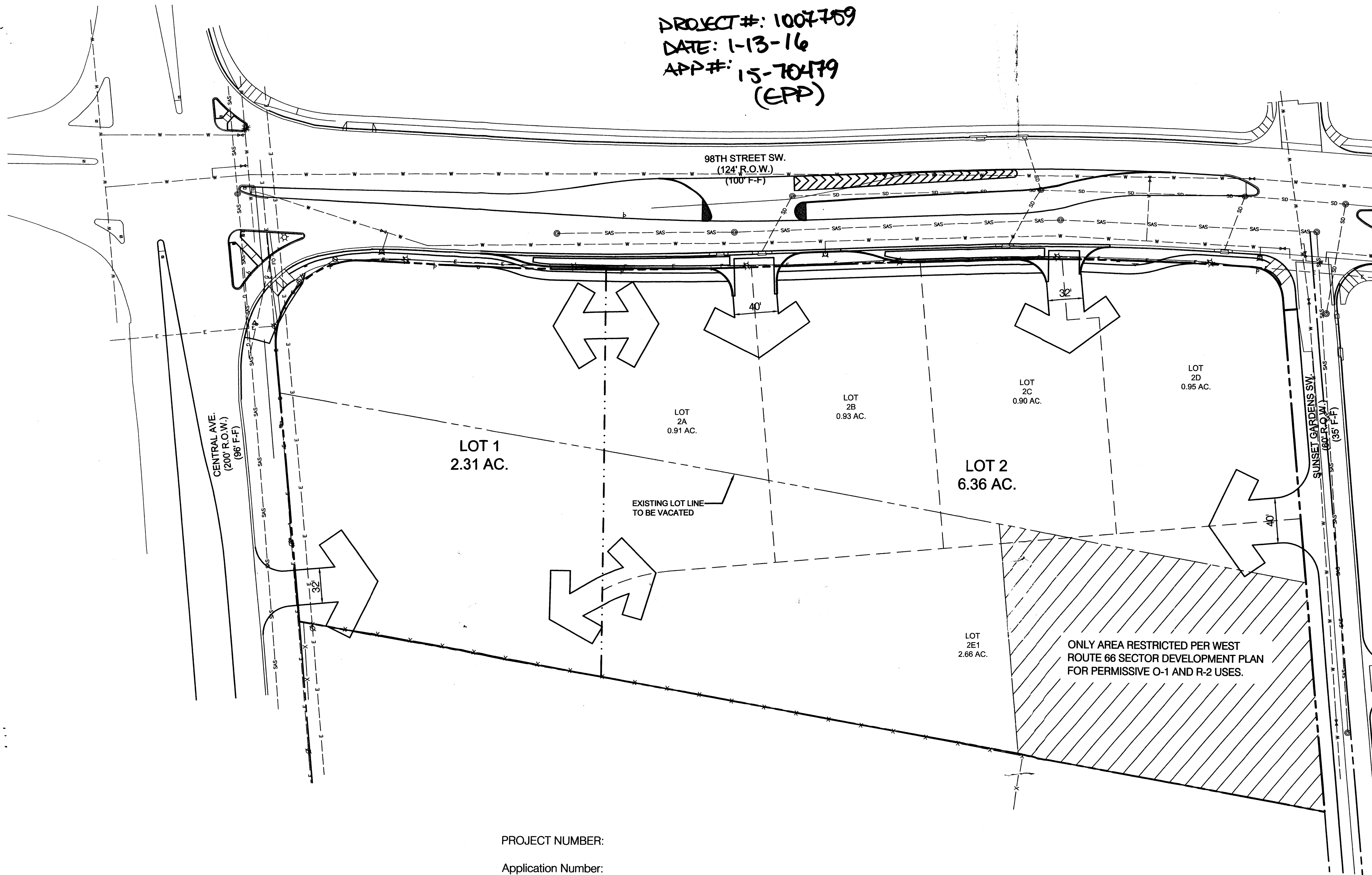


PROJECT#: 1007709
 DATE: 1-13-16
 APP#: 15-70479
 (EPP)



SITE PLAN FOR SUBDIVISION-REQUIRED INFORMATION

The Site:
 The site consists of 8.67 acres located at the southwest corner of Central Avenue and 98th Street. Legal description is Lot 1A/ Block 1, Lot 2/ Block 1 of the Atrisco Land Grant, being replatted as lots 1 and 2, Mercado Camino 66.

Proposed Use:
 Existing zoning is SU-1 for C-2 Permissive Uses except for the southern portion of former lot 2 only, which is restricted to O-1 or R-2 permissive uses as shown. This restriction only applies to the cross hatched area and not to the balance of the property.

Pedestrian and Vehicular Ingress and Egress:
Trails: An 8' path exists along the west side of 98th Street.

Vehicular Access and Circulation:
 North access from 98th Street is right-in/right-out/left-in/left-out. South access from 98th Street is right-in/right-out/ only. Access at Central Avenue is right-in/right-out only. Access from Sunset Gardens is right-in/right-out/left-in/left-out. Cross access between parcels shall be provided on the plat.

Pedestrian Access and Circulation:
 Pedestrian access is provided from Central Ave. and 98th St. in several locations into the site. Pedestrian access is also provided from Sunset Gardens SW. Internal circulation is provided via sidewalks connecting all parcels.

Transit Access:
 Route 54 Bridge Westgate bus runs on 98 Street along the East side of the site.

Building Heights and Setbacks:
 Maximum building heights are defined in the O-1 zone. Building setbacks are per the C-2, O-1, and R-2 zones.

Maximum FAR:
 The maximum floor area ratio is .35.

Landscape Plan:
 The Landscape Plan shall be submitted with the individual Site Plans for Building Permit. Landscape plans shall be consistent with the City's Water Conservation Landscaping and Water Waste Ordinance and the Pollen Control Ordinance, and shall be consistent with the design guidelines (sheets 2 and 3).

PROJECT NUMBER:
 Application Number:
 Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.
 DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
* Environmental Health Department-(conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

ONLY AREA RESTRICTED PER WEST ROUTE 66 SECTOR DEVELOPMENT PLAN FOR PERMISSIVE O-1 AND R-2 USES.

DESIGNATION OF POTENTIAL LOT CONFIGURATION (FOR ILLUSTRATIVE PURPOSES ONLY). ACTUAL LOT LINES SHALL BE DONE THROUGH FUTURE SUBDIVISION PLATS.

DESIGNATION OF FUTURE LOTS LOCATION AND ACREAGE.

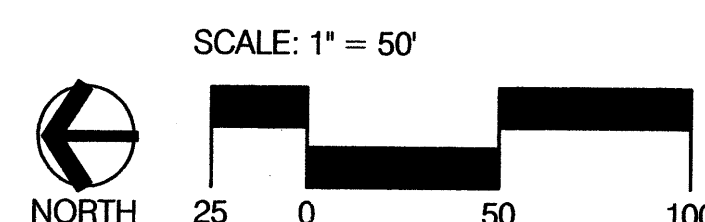
- 2A - 0.91 AC.
- 2B - 0.93 AC.
- 2C - 0.90 AC.
- 2D - 0.95 AC.
- 2E - 2.66 AC.

PREPARED FOR:
 ONORIO COLUCCI
 3305 TENNESSEE ST NE
 ALBUQUERQUE, NM 87110-2312

PREPARED BY:
CONSENSUS PLANNING, INC.
 Planning / Landscape Architecture
 302 Eighth Street NW
 Albuquerque, NM 87102
 (505) 764-9801 Fax 842-5495
 e-mail: cp@consensusplanning.com

LARKIN GROUP, INC.
 CONSULTING ENGINEERS AND SURVEYORS
 ALBUQUERQUE NEW MEXICO

NOVEMBER 6, 2009



MERCADO CAMINO 66

98TH STREET AND CENTRAL AVENUE

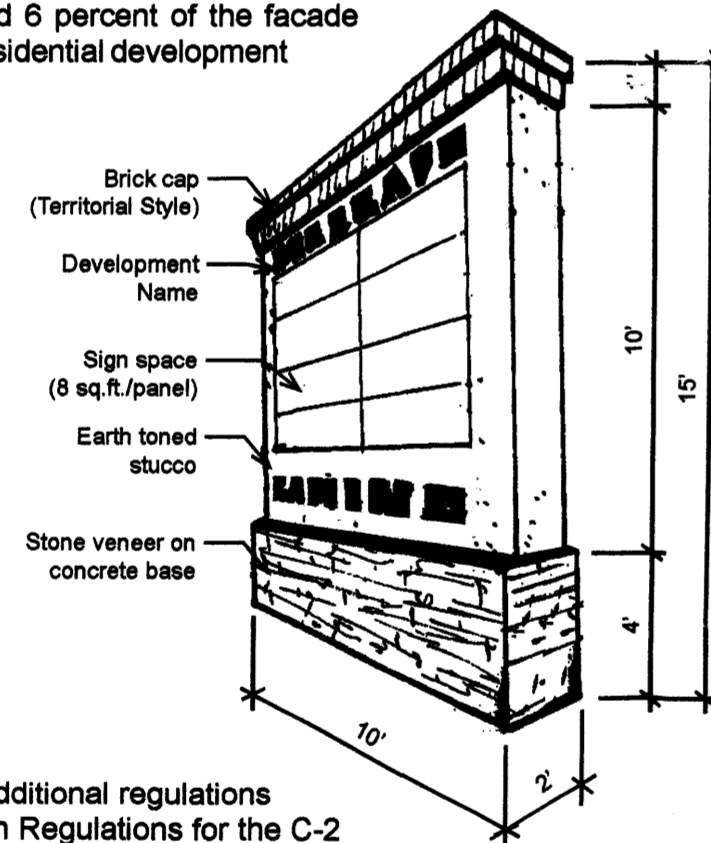
SITE PLAN FOR SUBDIVISION

- All planting areas not covered with turf shall have a ground topping of crushed rock, river rock, shredded bark, or another similar material which extends completely under the plant material; however, these materials shall not be used as a focal landscape element.
- Landscape headers shall be used to separate any turf areas from planting areas. Headers shall be either 6" x 6" concrete, brick (side by side), or 1/8" x 4" steel construction or equivalent.
- Off-street parking areas shall have one tree for each 10 parking spaces with no space being more than 100 feet from a tree. The minimum size of tree planters within off-street parking areas shall be 36 square feet per tree.
- A minimum of 75 percent of the required parking lot trees shall be deciduous shade trees and shall have a mature height of at least 25 feet.
- A landscape strip of no less than 10 feet shall be maintained between parking areas and the street right-of-way.
- Low water use turf may be provided at a maximum of 40 percent of the landscaped area. High water use turf may be provided at a maximum of 20 percent of the landscaped area.
- An automatic underground irrigation system shall be provided to support all landscaping. The system shall be designed to avoid overspraying of walks, buildings, fences, etc. Backflow preventers shall be provided in accordance with City of Albuquerque Codes.
- All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the Owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of pervious filter material. Each individual lot owner will be responsible for the maintenance of the landscape on their property and within the adjacent public right-of-way.
- Minimum plant sizes at time of installation shall be as follows:
 - Trees 2 inch caliper, or 10 to 12 feet in height
 - Shrubs & Groundcovers 1 gallon
 - Turf Grasses provide complete ground coverage within one growing season after installation

7. SIGNAGE

The following signage standards were developed to regulate the size, location, type, and quality of sign elements within this property. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors; to provide circulation requirements and restrictions; to provide for public safety, and to complement the visual character of the development.

- The developer shall provide entry/directory signs for the project to create a sense of arrival and to contribute to the unique identity of the project. These signs shall be on private property and shall be maintained by the property owner.
- Free standing signs are allowed, 1 sign per premise, not to exceed 12 feet in height and limited to 50 square feet of sign area.
- One free-standing project directory sign incorporating all 8 businesses shall be installed on the SW corner of 98th Street and Central Ave (See detail).
- Building-mounted signs shall not exceed 6 percent of the facade area. Building-mounted signs that face residential development shall not be illuminated.
- The signs shall be of a similar style and material as the other entry signs.
- Internally illuminated logos are permissible at a maximum sign area of 16 square feet. Illuminated plastic panel signs are prohibited. Individual channel letters may be back toned or down lit.
- Signs perpendicular to an elevation shall only occur under an awning or canopy/portal and shall not be more than 8 square feet. These signs may not project past the overhang.
- Off-premise signs are prohibited.
- Other than the standards listed above, additional regulations may apply in Section 14-16-2-17-10, Sign Regulations for the C-2 zone.
- The use of neon signage along Central Avenue is strongly encouraged. If a property or business owner for a parcel along Central Avenue develops an artistic neon or neon-like (fiber optic lights, etc.) sign, a 20 percent maximum increase in size of the sign face may be granted by the Planning Director or his designee. This bonus may be applied to all individual signs (building mounted and free standing) facing Central Avenue.



Signage SHALL:

- be designed to be consistent with and complement the materials, color, and architectural style of the building or site location;
- be illuminated in accordance with the General Sign Regulations as provided in Section 14-16-3-5 of the City Comprehensive Zoning Code. Signs which are directly spotlighted may be used provided there is no glare on the street or upon adjacent property or that the light does not distract motorists. Illuminated signage facing adjacent residential areas shall not be permitted;
- identify only the name and business of the occupant or of those offering the premises for sale or lease; and
- have a minimum contrast of 70 percent between the background and the text.

Signage SHALL NOT:

- use moving parts, make audible sounds, or have blinking or flashing lights, except reader boards are permitted;
- overhang into the public right-of-way, property line, or extend above the building roof line;

- require any external bracing, angle-iron supports, guy wires or similar devices;
- intrude upon any architectural features, including windows, columns, moldings or any decorative features; and
- include illuminated plastic panels or backlit plastic/vinyl signs and letters, except logo designs are permitted.

8. UTILITIES

- All new electric distribution lines shall be placed underground.
- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way. Screening of transformers, electric boxes and other utility structures shall not impede access to the equipment and shall provide for safe maintenance and repair by utility workers.
- Above-ground backflow prevention devices shall be appropriately screened from view by walls and/or landscaping.
- Any wireless communication facilities shall be concealed and architecturally integrated.
- Screening of transformers, electric boxes and other utility structures shall not impede access to the equipment and shall provide for safe maintenance and repair by utility workers.
- Paging and loud speaker systems are prohibited.

9. MAINTENANCE

The property owner will maintain the landscape and irrigation system. All planting areas will be maintained in a living attractive, and weed free condition.

MERCADO CAMINO 66

98TH STREET AND CENTRAL AVENUE

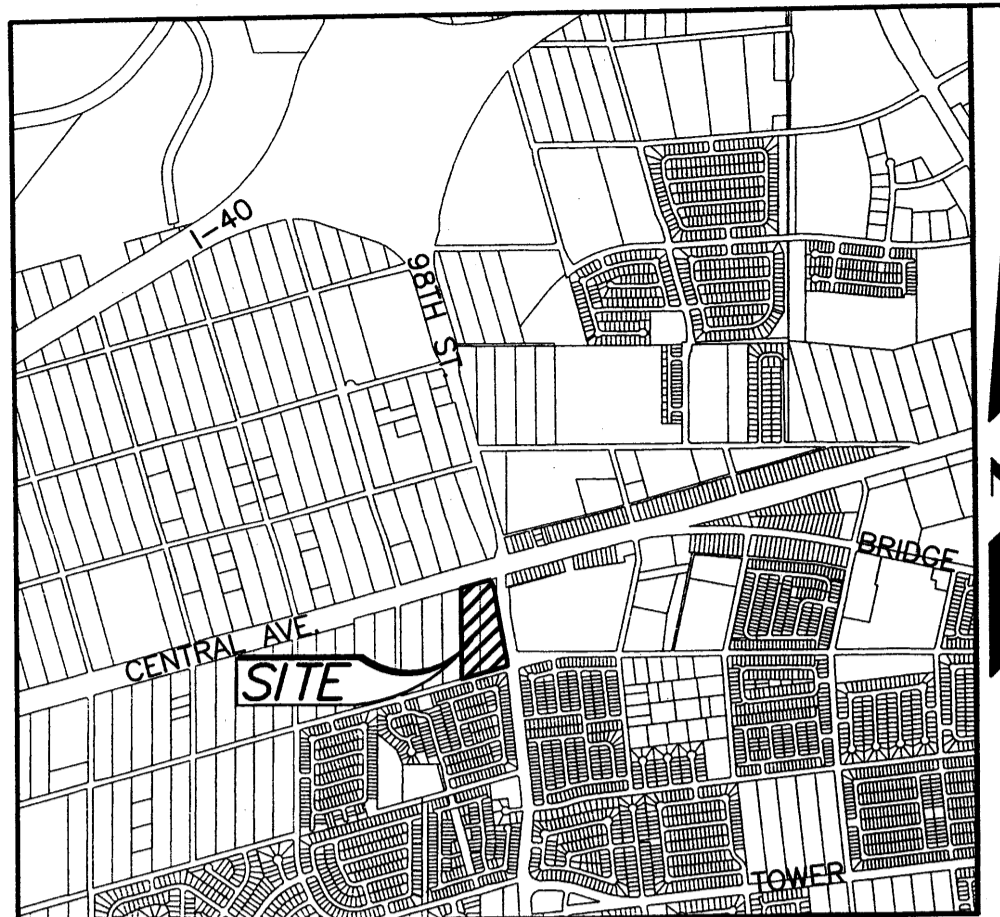
SITE PLAN FOR SUBDIVISION

Prepared For:
Onorio Colucci
Core Properties
P.O. Box 14374
Albuquerque, NM 87191-4374

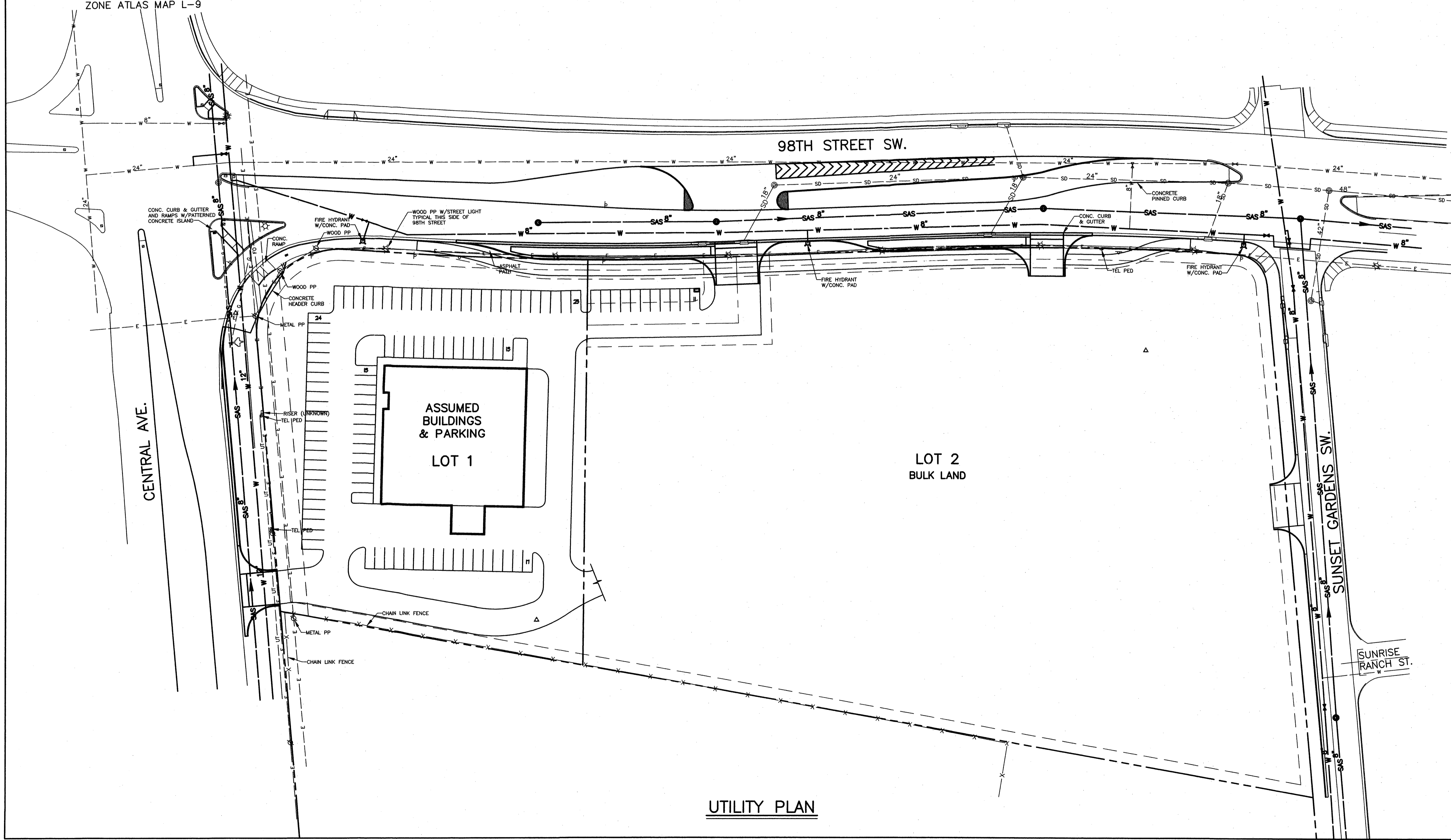
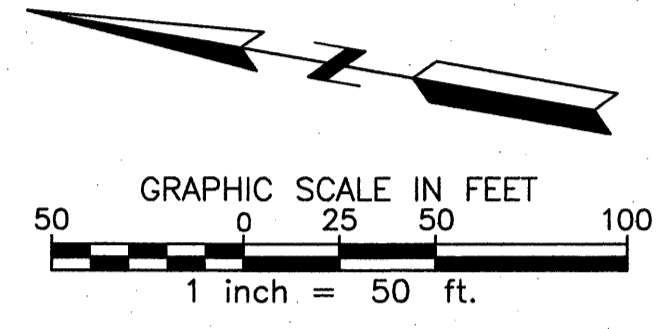
Prepared By:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

December 9, 2009

Sheet 3 of 6



VICINITY MAP
SCALE: 1"=2000'±
ZONE ATLAS MAP L-9



UTILITY PLAN

LEGEND

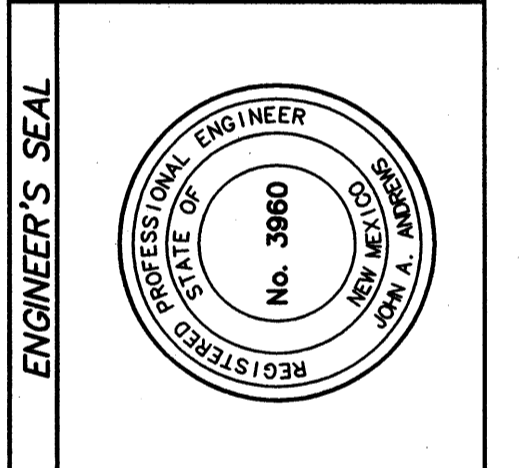
- ABBREVIATIONS
 TO-TOP OF CURB
 FL-FLOWLINE
 EP-EDGE OF PAVEMENT
 CONC-CONCRETE
 SW-SIDEWALK
 EM-ELECTRIC MARKER
 GM-GAS MARKER
 MH-MANHOLE
 ASPH-ASPHALT
 ICI, ITO-IRRIGATION CONTROL VALVE, BOX
 PP-POWER POLE
 WV-WATER VALVE
 WM-WATER METER

- MANHOLE
- ☆ STREET LIGHT
- ⊕ WATER VALVE
- ⊕ WATER METER
- ⊕ FIRE HYDRANT
- UTILITY POLE W/GUY WIRE
- ONE WAY
- ⊕ TEL PED TELEPHONE PEDESTAL
- ⊕ ELEC PED ELECTRIC RISER
- ⊕ CATV PED CABLE TV RISER
- ⊕ TRAFFIC SIGNAL POLE
- ⊕ TRAFFIC SIGNAL PULLBOX
- E ELECTRIC LINE (OVERHEAD UNLESS OTHERWISE INDICATED)
- G GASLINE
- SAS SANITARY SEWER
- W WATERLINE
- SD 24" STORM DRAIN LINE, MANHOLE AND INLET
- RIGHT-OF-WAY LINE
- LOT LINE
- X CHAIN LINK FENCE

AS BUILT INFORMATION	
CONTRACTOR	DATE
STANDARD	DATE
INSPECTED BY	DATE
FIELD	DATE
MODIFIED BY	DATE
DATE	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
RECORDED BY	DATE
RECORDED BY	DATE

BENCH MARKS	
Albuquerque Central Station 7-19"	DATE
Brass Disc set in concrete	DATE
0.4 feet above ground.	DATE
Located 54.0 feet west of 98th St. centerline and 360.0 feet south of Tower Rd. centerline	DATE
X=1,493,224.214 Y=1,478,409.331 (NAD 1983)	DATE
Scale Factor: 0.999681058	DATE
Convergence: -0016'57"	DATE
Elevation (NAVD 88) 5178.475 feet	DATE

SURVEY INFORMATION	
FIELD NOTES	DATE
BY	DATE
NO. 1	4/06
LARKIN GROUP, INC	



NOTE:
WATER & SEWER AVAILABILITY
 EXISTING WATER LINES AND SANITARY SEWER LINES AS SHOWN HEREON ARE AVAILABLE TO SERVE THIS SUBDIVISION. NO NEW LINES ARE PROPOSED TO SERVE THIS SUBDIVISION AT THIS TIME. SERVICE LINES WILL BE PROVIDED AT THE TIME OF DEVELOPMENT AND/OR BUILDING PERMIT.

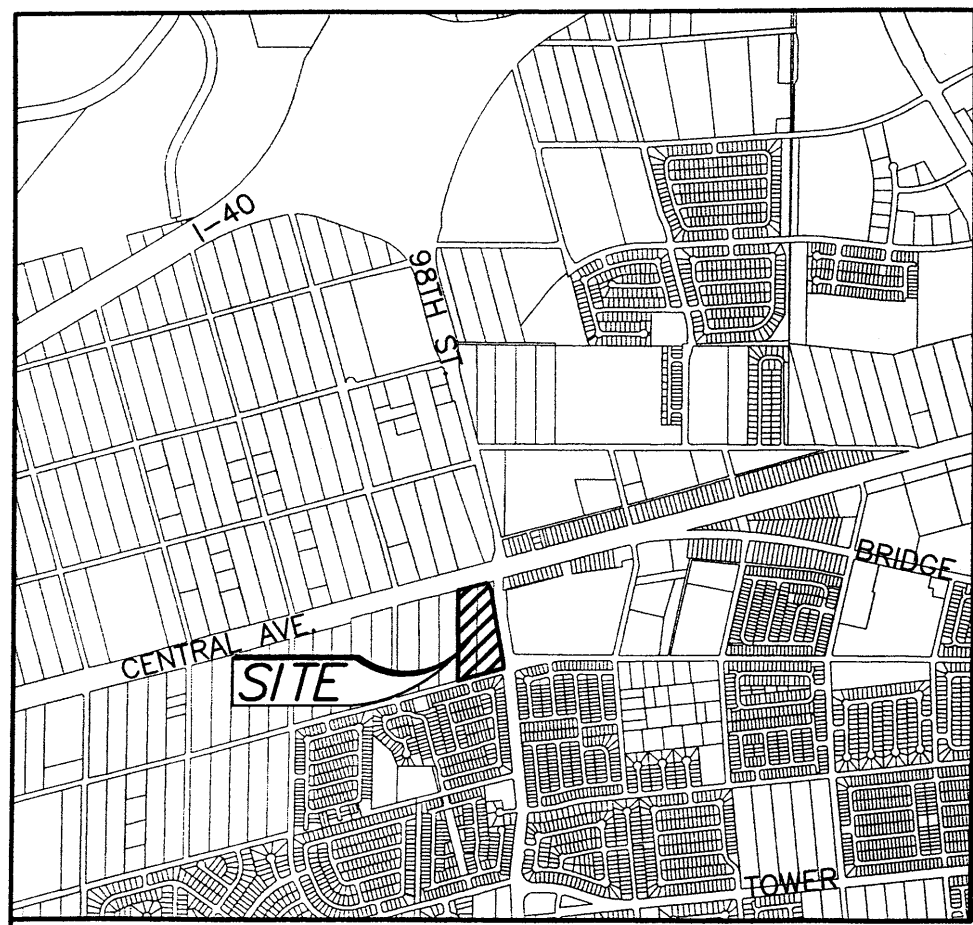


CITY OF ALBUQUERQUE
 DEPARTMENT OF MUNICIPAL DEVELOPMENT
 ENGINEERING DIVISION

TITLE: **MERCADO CAMINO 66**
UTILITY PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

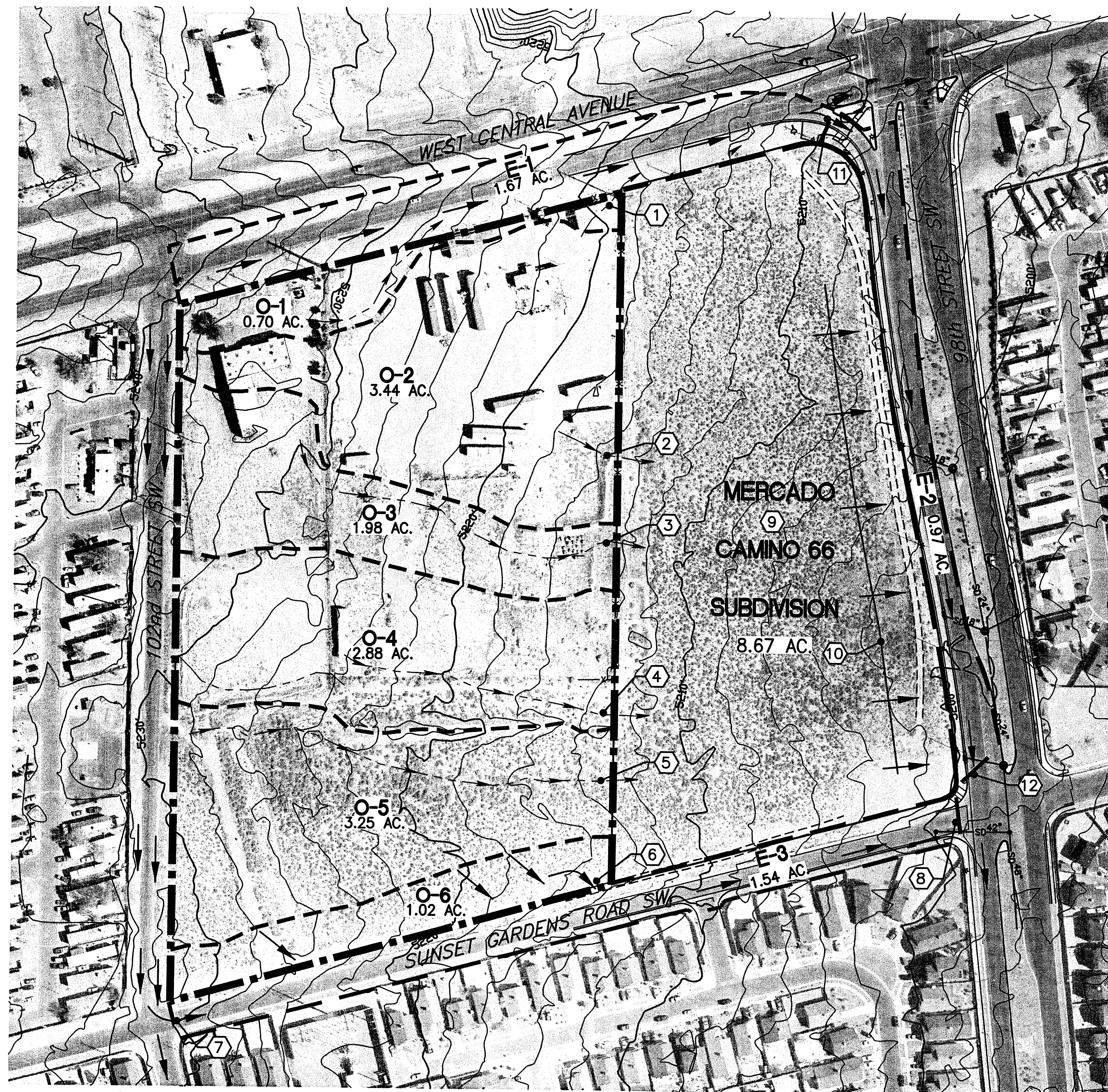
Project No. - Zone Map No. L-9 Sheet 4 of 6



VICINITY MAP
SCALE: 1"=2000'±
ZONE ATLAS MAP L-9

LEGEND

- EXISTING CONTOUR
- EXISTING SURFACE FLOW DIRECTION
- EXISTING SWALE
- FUTURE SWALE
- OFFSITE DRAINAGE BASIN BOUNDARY
- OFFSITE DRAINAGE SUB-BASIN BOUNDARY
- EXISTING STORM DRAIN LINE, MANHOLE & INLET

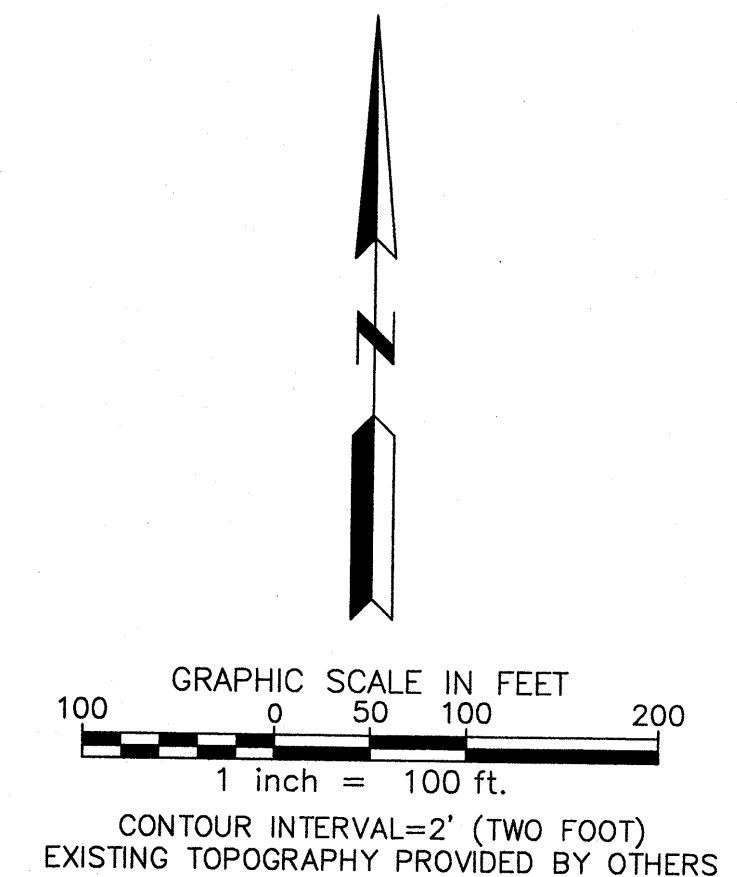


PLAN-EXISTING CONDITIONS
SCALE: 1"=100'

EXISTING CONDITIONS
FLOW RATE

ANALYSIS POINT	10 yr. cfs	100 yr. cfs
AP ①	1.04	2.01
AP ②	4.05	8.51
AP ③	1.71	4.11
AP ④	2.13	5.53
AP ⑤	0.78	4.19
AP ⑥	0.24	1.31
AP ⑦	6.08	10.32
AP ⑧	9.41	15.85
AP ⑨	2.08	11.17
AP ⑩	10.75	35.27
AP ⑪	3.58	6.53
AP ⑫	17.06*	44.22*

* STORMDRAIN AND STREET FLOW



MERCADO CAMINO 66
DRAINAGE PLAN
EXISTING CONDITIONS



CONSULTING ENGINEERS AND SURVEYORS		ALBUQUERQUE NEW MEXICO	
PROJECT NO.	DRAWN	CHECKED	DATE
2008-0013	TL,KW	JAA	12/22/09
SHEET			OF
5			6

DEVELOPED CONDITIONS FLOW RATE

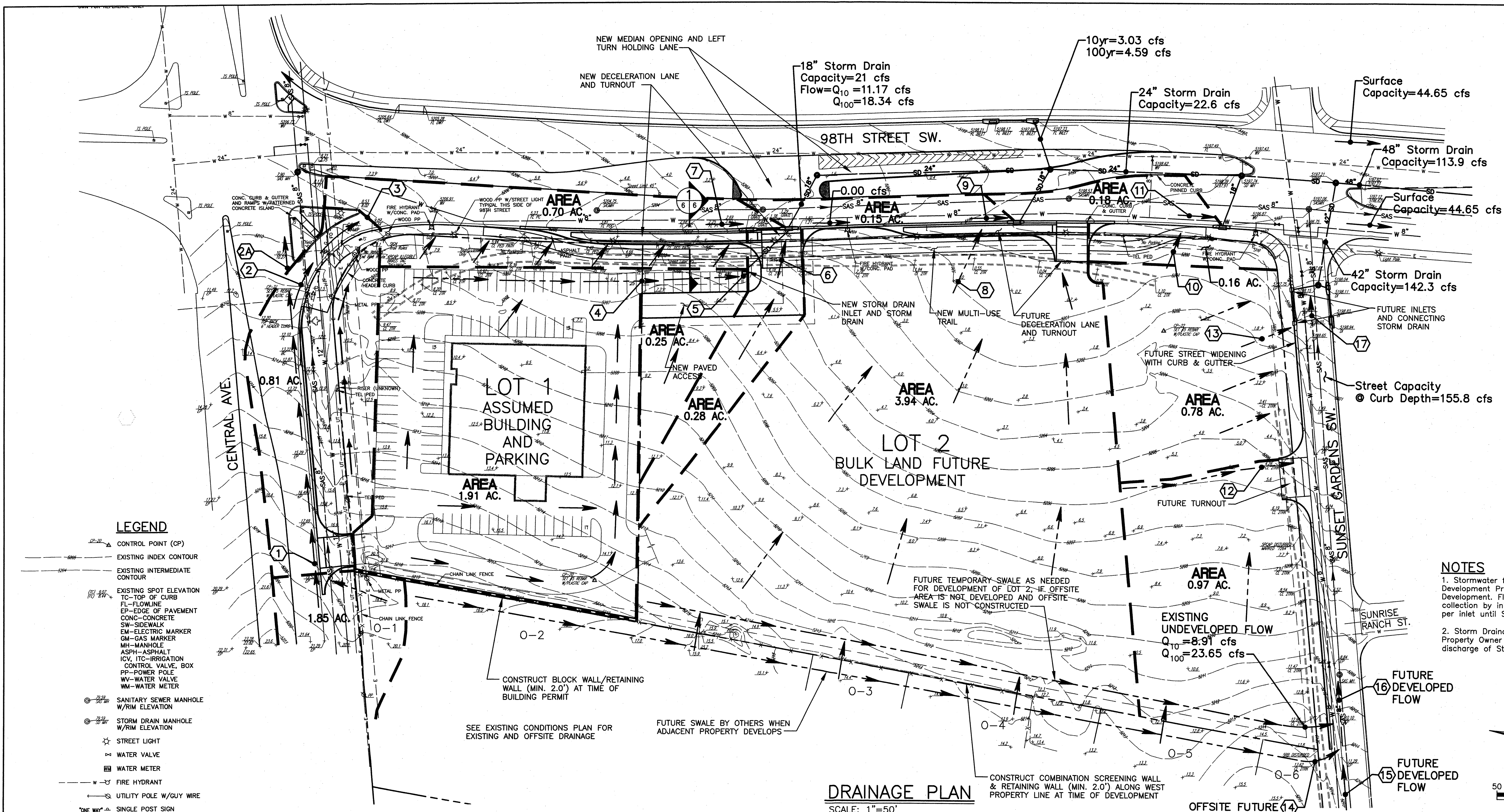
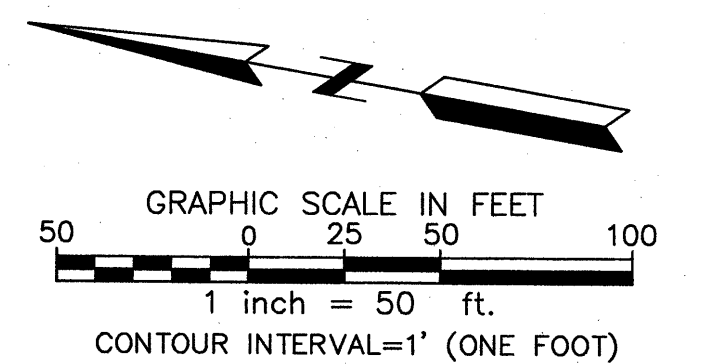
ANALYSIS POINT	10 yr. cfs	100 yr. cfs
AP ①	3.27	5.85
AP ②	2.86	5.07
AP ②A	1.43	2.53
AP ③	3.21	5.80
AP ④	4.94	7.72
AP ⑤	5.62	8.76
AP ⑥	0.59	1.02
AP ⑦	4.96	8.56
AP ⑧	10.84	16.23
AP ⑨	11.28	16.90
AP ⑩	0.30	0.52
AP ⑪	6.51	18.21
AP ⑫	2.67	4.09
AP ⑬	2.62	4.65
AP ⑭	32.69	51.99
AP ⑮	8.26	13.76
AP ⑯	40.95	65.75
AP ⑰	47.92	76.99

NOTES

- Stormwater flow rates shown are based on City Development Process Manual Chapter 22 for Commercial Development. Flow rates shown on 98th Street assumes collection by inlets at rates varying from 5 cfs to 6 cfs per inlet until Storm Drain is filled.
- Storm Drainage Facilities constructed and paid for by Property Owner under SAD-222 provided for free discharge of Stormwater from this property.

BENCHMARK

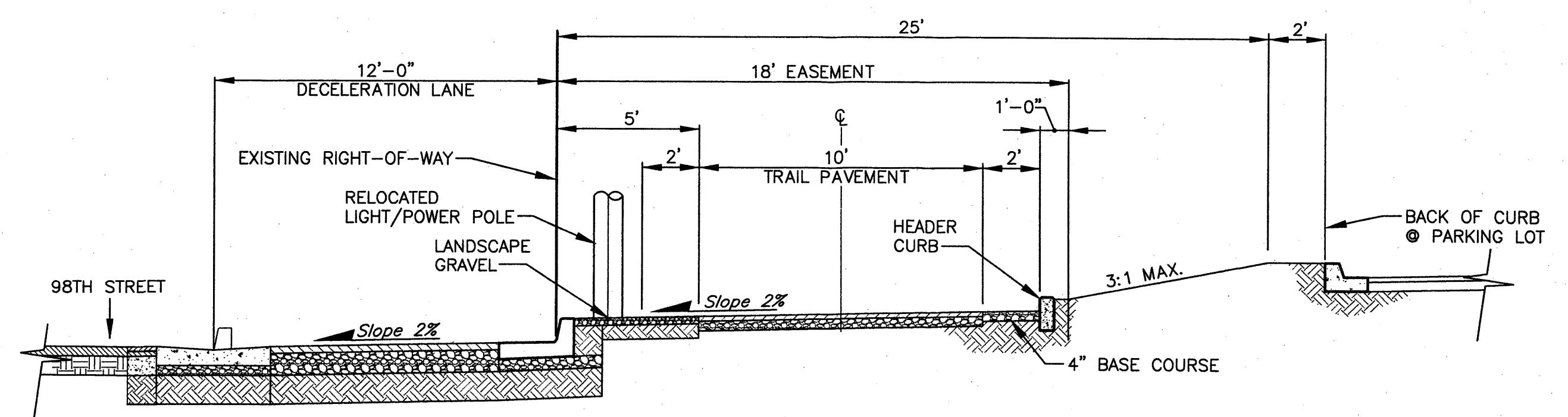
Elevation datum for this survey is taken from City of Albuquerque Benchmark Sta. "7-19" located 360 feet south of the centerline of Tower Rd. and 54 feet west of the centerline of 98th St. Elevation=5178.475 (NAVD 1988).



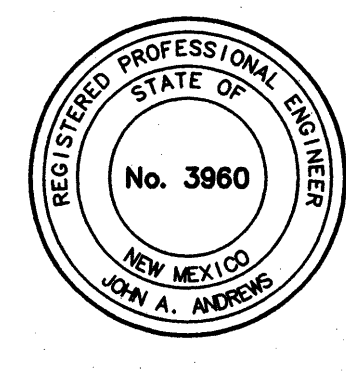
LEGEND

- CP CONTROL POINT (CP)
- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- EXISTING SPOT ELEVATION
- TC TOP OF CURB
- FL FLOWLINE
- EP EDGE OF PAVEMENT
- CONC-CONCRETE
- SW SIDEWALK
- EM ELECTRIC MARKER
- GM GAS MARKER
- MH MANHOLE
- ASPH ASPHALT
- ICV IRRIGATION CONTROL VALVE, BOX
- PP POWER POLE
- WV WATER VALVE
- WM WATER METER
- SANITARY SEWER MANHOLE W/RIM ELEVATION
- STORM DRAIN MANHOLE W/RIM ELEVATION
- ★ STREET LIGHT
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- WATER METER
- W FIRE HYDRANT
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- CABLE TV PED CABLE TV RISER
- TRAFFIC SIGNAL POLE
- TRAFFIC SIGNAL PULLBOX
- E ELECTRIC LINE (OVERHEAD UNLESS OTHERWISE INDICATED)
- G GASLINE
- SAS SANITARY SEWER (EXISTING)
- W WATERLINE (EXISTING)
- SD 24" STORM DRAIN LINE, MANHOLE AND INLET (EXISTING)
- RIGHT-OF-WAY LINE
- LOT LINE & PROPERTY LINE
- X CHAIN LINK FENCE
- PROPOSED SURFACE FLOW DIRECTION

DRAINAGE PLAN
SCALE: 1"=50'



SECTION 1
SCALE: 1/4"=1'-0"



MERCADO CAMINO 66 GRADING AND DRAINAGE PLAN
DEVELOPED CONDITIONS

LARKIN GROUP, INC.
CONSULTING ENGINEERS AND SURVEYORS ALBUQUERQUE, NEW MEXICO

PROJECT NO. 2008-0013	DRAWN TL, KW	CHECKED JAA	DATE 12/22/09	SHEET 6 OF 6
-----------------------	--------------	-------------	---------------	--------------

PLAT OF LOTS 1 & 2 MERCADO CAMINO 66

BEING A REPLAT OF
LOT 1A & LOT 2, BLOCK 1
LANDS OF THE ATRISCO LAND GRANT

AUGUST, 2009

CURVE DATA—ROADWAY EASEMENT

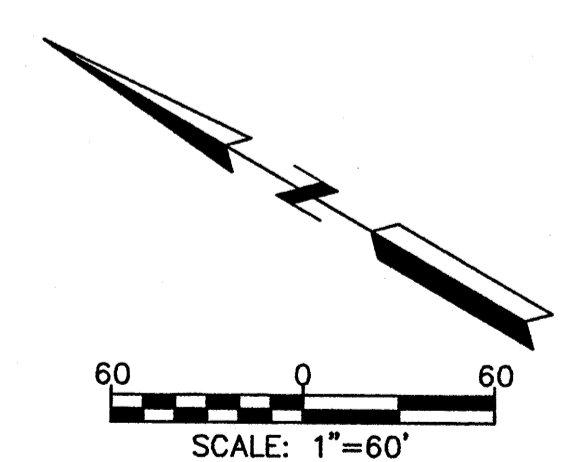
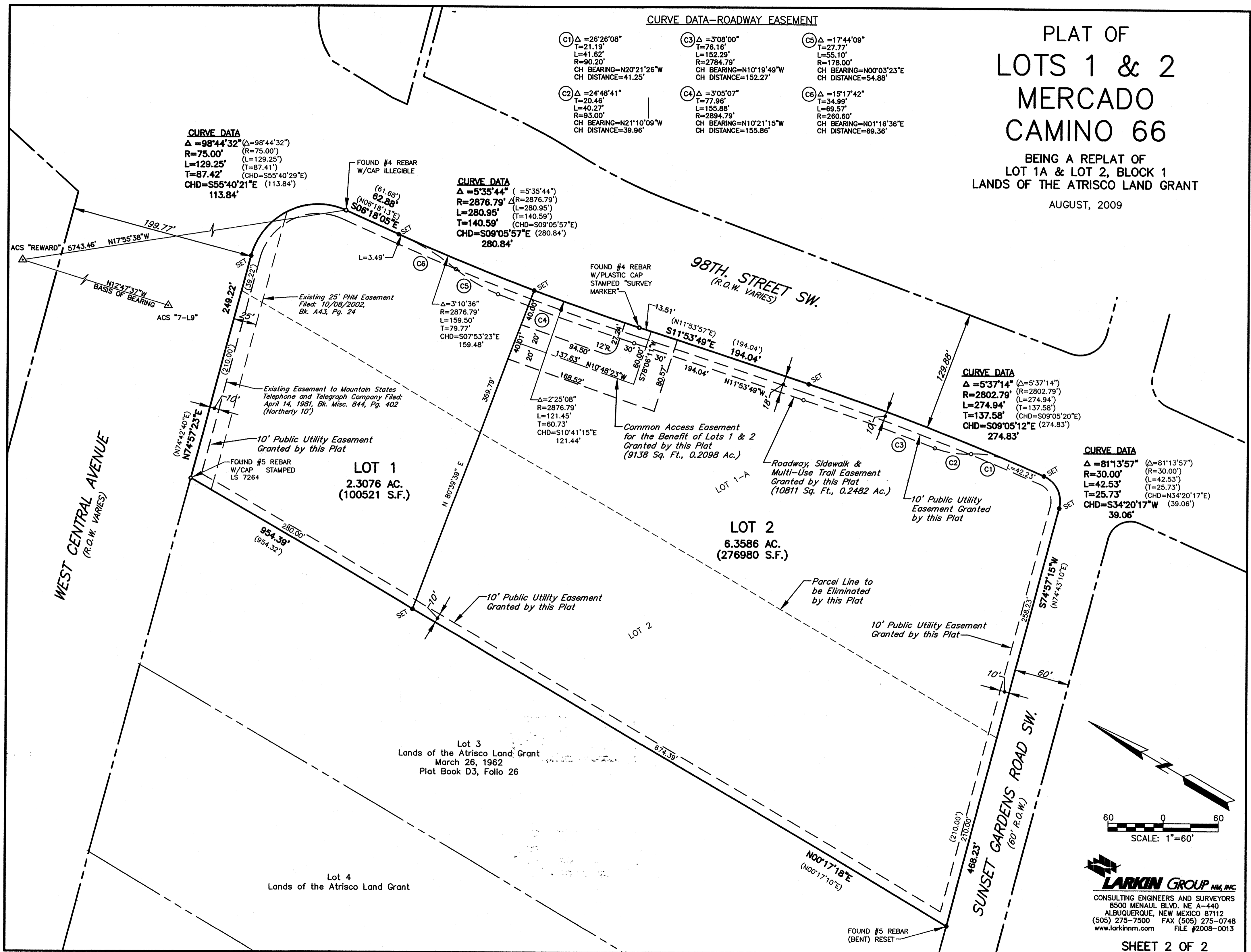
- | | | |
|---|--|--|
| (C1) $\Delta = 26^{\circ}26'08''$
T=21.19'
L=41.62'
R=90.20'
CH BEARING=N20°21'26"W
CH DISTANCE=41.25' | (C3) $\Delta = 3^{\circ}08'00''$
T=76.16'
L=152.29'
R=2784.79'
CH BEARING=N10°19'49"W
CH DISTANCE=152.27' | (C5) $\Delta = 17^{\circ}44'09''$
T=27.77'
L=55.10'
R=178.00'
CH BEARING=N00°03'23"E
CH DISTANCE=54.88' |
| (C2) $\Delta = 24^{\circ}48'41''$
T=20.46'
L=40.27'
R=93.00'
CH BEARING=N21°10'09"W
CH DISTANCE=39.96' | (C4) $\Delta = 3^{\circ}05'07''$
T=77.96'
L=155.88'
R=2894.79'
CH BEARING=N10°21'15"W
CH DISTANCE=155.86' | (C6) $\Delta = 15^{\circ}17'42''$
T=34.99'
L=69.57'
R=260.60'
CH BEARING=N01°16'36"E
CH DISTANCE=69.36' |

CURVE DATA
 $\Delta = 98^{\circ}44'32''$ ($\Delta = 98^{\circ}44'32''$)
R=75.00' (R=75.00')
L=129.25' (L=129.25')
T=87.42' (T=87.41')
CHD=S55°40'21"E (113.84')
113.84'

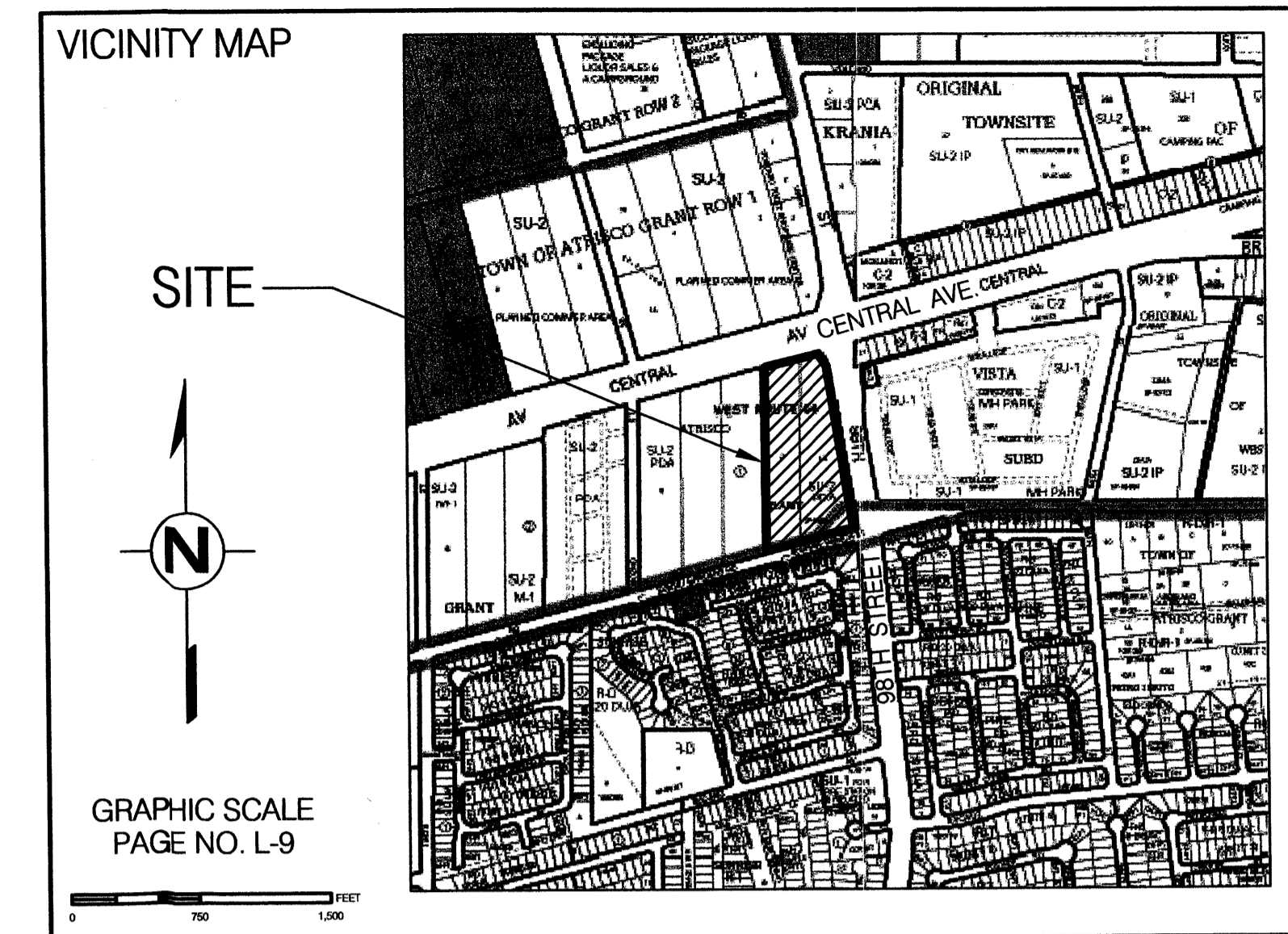
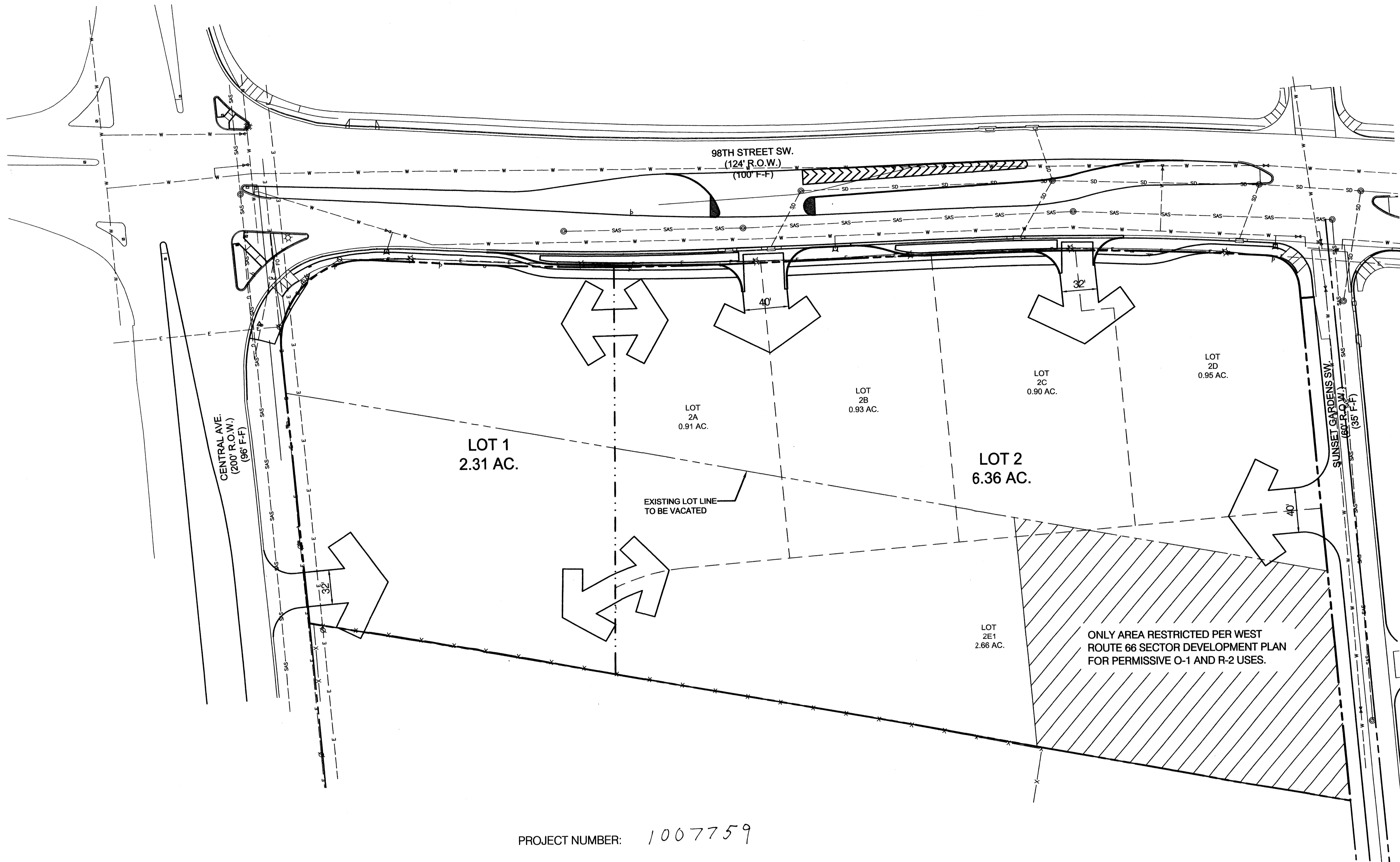
CURVE DATA
 $\Delta = 5^{\circ}35'44''$ ($\Delta = 5^{\circ}35'44''$)
R=2876.79' (R=2876.79')
L=280.95' (L=280.95')
T=140.59' (T=140.59')
CHD=S09°05'57"E (280.84')
280.84'

CURVE DATA
 $\Delta = 5^{\circ}37'14''$ ($\Delta = 5^{\circ}37'14''$)
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L=274.94' (L=274.94')
T=137.58' (T=137.58')
CHD=S09°05'12"E (274.83')
274.83'

CURVE DATA
 $\Delta = 81^{\circ}13'57''$ ($\Delta = 81^{\circ}13'57''$)
R=30.00' (R=30.00')
L=42.53' (L=42.53')
T=25.73' (T=25.73')
CHD=S34°20'17"W (39.06')
39.06'



LARKIN GROUP INC.
CONSULTING ENGINEERS AND SURVEYORS
8500 MENAUL BLVD. NE A-440
ALBUQUERQUE, NEW MEXICO 87112
(505) 275-7500 FAX (505) 275-0748
www.larkinm.com FILE #2008-0013



SITE PLAN FOR SUBDIVISION-REQUIRED INFORMATION

The Site:
The site consists of 8.67 acres located at the southwest corner of Central Avenue and 98th Street. Legal description is Lot 1A/ Block 1, Lot 2/ Block 1 of the Atrisco Land Grant, being replatted as lots 1 and 2, Mercado Camino 66.

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PROJECT NUMBER: 1007759

Application Number:

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

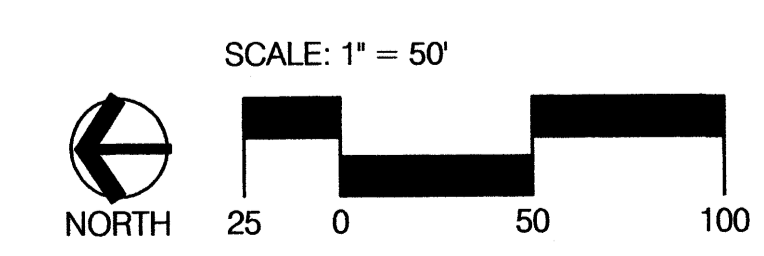
	02-16-10
Traffic Engineering, Transportation Division	Date
	1-27-10
Christina Sandoval	Date
	1/27/10
Bradley S. Bingham	Date
City Engineer	
N/A	Date
* Environmental Health Department-(conditional)	Date
N/A	Date
Solid Waste Management	Date
	02-17-10
DRB Chairperson, Planning Department	Date

ONLY AREA RESTRICTED PER WEST ROUTE 66 SECTOR DEVELOPMENT PLAN FOR PERMISSIVE O-1 AND R-2 USES.

DESIGNATION OF POTENTIAL LOT CONFIGURATION (FOR ILLUSTRATIVE PURPOSES ONLY). ACTUAL LOT LINES SHALL BE DONE THROUGH FUTURE SUBDIVISION PLATS.

DESIGNATION OF FUTURE LOTS LOCATION AND ACREAGE.

2A - 0.91 AC.
2B - 0.93 AC.
2C - 0.90 AC.
2D - 0.95 AC.
2E - 2.66 AC.



PREPARED FOR:
ONORIO COLUCCI
3305 TENNESSEE ST NE
ALBUQUERQUE, NM 87110-2312

PREPARED BY:

CONSENSUS PLANNING, INC.
Planning / Landscape Architecture
302 Eighth Street NW
Albuquerque, NM 87102
(505) 764-9801 Fax 842-5495
e-mail: cp@consensusplanning.com

LARKIN GROUP, INC.
CONSULTING ENGINEERS AND SURVEYORS
ALBUQUERQUE NEW MEXICO

NOVEMBER 6, 2009

MERCADO CAMINO 66

98TH STREET AND CENTRAL AVENUE

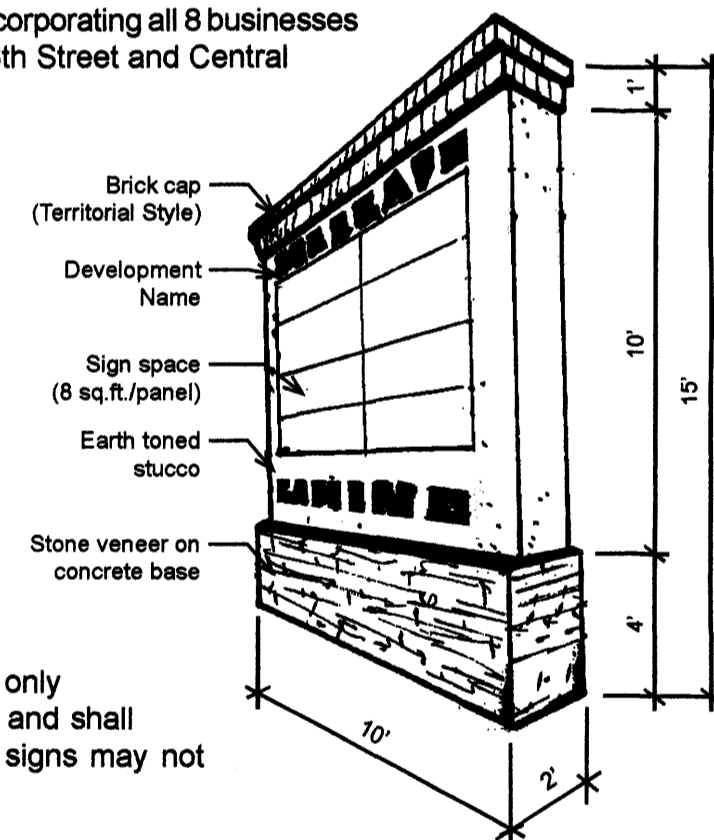
SITE PLAN FOR SUBDIVISION

- All planting areas not covered with turf shall have a ground topping of crushed rock, river rock, shredded bark, or another similar material which extends completely under the plant material; however, these materials shall not be used as a focal landscape element.
- Landscape headers shall be used to separate any turf areas from planting areas. Headers shall be either 6" x 6" concrete, brick (side by side), or 1/8" x 4" steel construction or equivalent.
- Off-street parking areas shall have one tree for each 10 parking spaces with no space being more than 100 feet from a tree. The minimum size of tree planters within off-street parking areas shall be 36 square feet per tree.
- A minimum of 75 percent of the required parking lot trees shall be deciduous shade trees and shall have a mature height of at least 25 feet.
- A landscape strip of no less than 10 feet shall be maintained between parking areas and the street right-of-way.
- Low water use turf may be provided at a maximum of 40 percent of the landscaped area. High water use turf may be provided at a maximum of 20 percent of the landscaped area.
- An automatic underground irrigation system shall be provided to support all landscaping. The system shall be designed to avoid overspraying of walks, buildings, fences, etc. Backflow preventers shall be provided in accordance with City of Albuquerque Codes.
- All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the Owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of pervious filter material. Each individual lot owner will be responsible for the maintenance of the landscape on their property and within the adjacent public right-of-way.
- Refer to Section 1. Site Design - Setbacks bullet number 4 on Sheet 2, for the landscape setbacks required by the West Route 66 Sector Development Plan.
- Minimum plant sizes at time of installation shall be as follows:
 - Trees 2 inch caliper, or 10 to 12 feet in height
 - Shrubs & Groundcovers 1 gallon
 - Turf Grasses provide complete ground coverage within one growing season after installation

7. SIGNAGE

The following signage standards were developed to regulate the size, location, type, and quality of sign elements within this property. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors; to provide circulation requirements and restrictions; to provide for public safety, and to complement the visual character of the development.

- The developer shall provide entry/directory signs for the project to create a sense of arrival and to contribute to the unique identity of the project. These signs shall be on private property and shall be maintained by the property owner.
- Free standing signs are allowed, 1 sign per premise, not to exceed 12 feet in height and limited to 50 square feet of sign area.
- One free-standing project directory sign incorporating all 8 businesses shall be installed on the SW corner of 98th Street and Central Ave (See detail).
- Building-mounted signs shall not exceed 6 percent of the facade area. Building-mounted signs that face residential development shall not be illuminated.
- The signs shall be of a similar style and material as the other entry signs.
- Internally illuminated logos are permissible at a maximum sign area of 16 square feet. Illuminated plastic panel signs are prohibited. Individual channel letters may be back or down lit.
- Signs perpendicular to an elevation shall only occur under an awning or canopy/portal and shall not be more than 8 square feet. These signs may not project past the overhang.
- Off-premise signs are prohibited.
- Other than the standards listed above, additional regulations may apply in Section 14-16-2-17-10, Sign Regulations for the C-2 zone.
- The use of neon signage along Central Avenue is strongly encouraged. If a property or business owner for a parcel along Central Avenue develops an artistic neon or neon-like (fiber optic lights, etc.) sign, a 20 percent maximum increase in size of the sign face may be granted by the Planning Director or his designee. This bonus may be applied to all individual signs (building mounted and free standing) facing Central Avenue.



Signage SHALL:

- be designed to be consistent with and complement the materials, color, and architectural style of the building or site location;
- be illuminated in accordance with the General Sign Regulations as provided in Section 14-16-3-5 of the City Comprehensive Zoning Code. Signs which are directly spotlighted may be used provided there is no glare on the street or upon adjacent property or that the light does not distract motorists. Illuminated signage facing adjacent residential areas shall not be permitted;
- identify only the name and business of the occupant or of those offering the premises for sale or lease; and
- have a minimum contrast of 70 percent between the background and the text.

Signage SHALL NOT:

- use moving parts, makes audible sounds, or have blinking or flashing lights, except reader boards are permitted;

- overhang into the public right-of-way, property line, or extend above the building roof line;
- require any external bracing, angle-iron supports, guy wires or similar devices;
- intrude upon any architectural features, including windows, columns, moldings or any decorative features; and
- include illuminated plastic panels or backlit plastic/vinyl signs and letters, except logo designs are permitted.

8. UTILITIES

- All new electric distribution lines shall be placed underground.
- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way. Screening of transformers, electric boxes and other utility structures shall not impede access to the equipment and shall provide for safe maintenance and repair by utility workers.
- Above-ground backflow prevention devices shall be appropriately screened from view by walls and/or landscaping.
- Any wireless communication facilities shall be concealed and architecturally integrated.
- Screening of transformers, electric boxes and other utility structures shall not impede access to the equipment and shall provide for safe maintenance and repair by utility workers.
- Paging and loud speaker systems are prohibited.

9. MAINTENANCE

The property owner will maintain the landscape and irrigation system. All planting areas will be maintained in a living attractive, and weed free condition.

MERCADO CAMINO 66

98TH STREET AND CENTRAL AVENUE

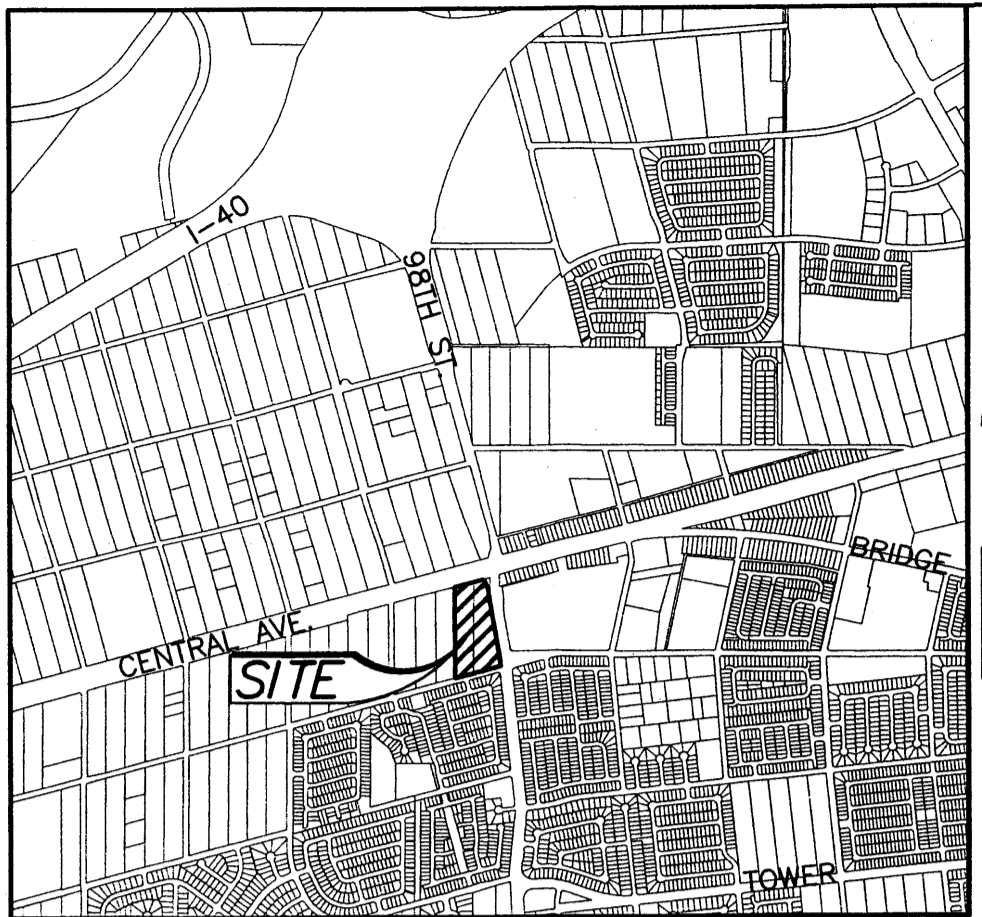
SITE PLAN FOR SUBDIVISION

Prepared For:
Onorio Colucci
Core Properties
P.O. Box 14374
Albuquerque, NM 87191-4374

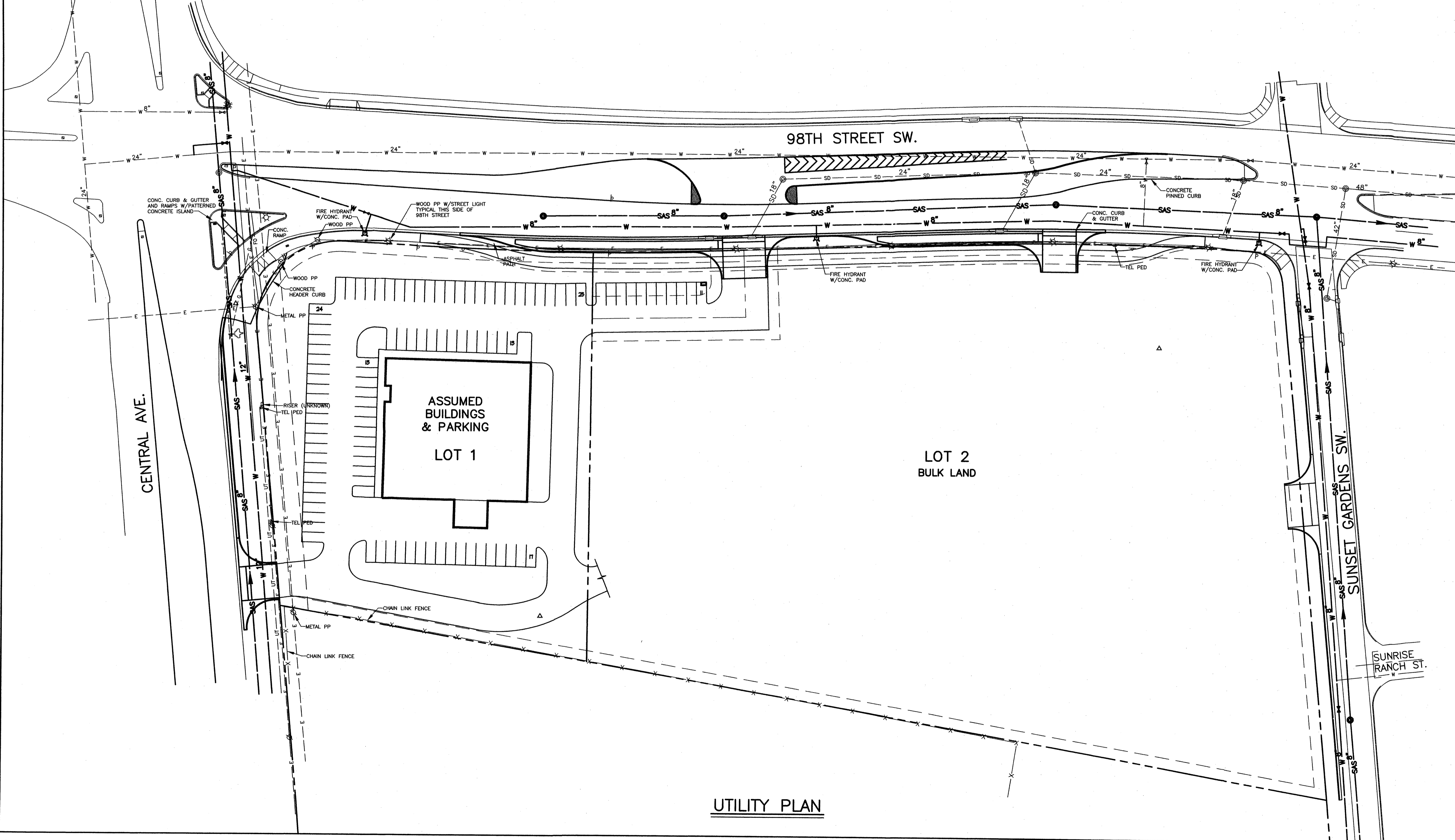
Prepared By:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

December 9, 2009

Sheet 3 of 6



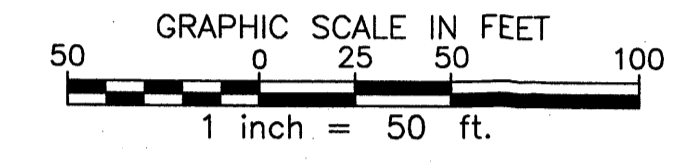
VICINITY MAP
SCALE: 1" = 2000' ±
ZONE ATLAS MAP L-9



UTILITY PLAN

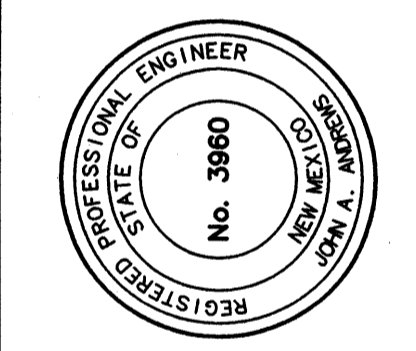
LEGEND

- ABBREVIATIONS
- TC--TOP OF CURB
- FL--FLOWLINE
- EP--EDGE OF PAVEMENT
- CONC--CONCRETE
- SW--SIDEWALK
- EM--ELECTRIC MARKER
- GM--GAS MARKER
- MH--MANHOLE
- ASPH--ASPHALT
- ICV, ITC--IRRIGATION CONTROL VALVE, BOX
- PP--POWER POLE
- WV--WATER VALVE
- WM--WATER METER
- MANHOLE
- STREET LIGHT
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- UTILITY POLE W/GUY WIRE
- SINGLE POLE SIGN W/DESIGNATION
- TEL PED TELEPHONE PEDESTAL
- ELEC PED ELECTRIC RISER
- CABLE TV RISER
- TRAFFIC SIGNAL POLE
- TRAFFIC SIGNAL PULLBOX
- ELECTRIC LINE (OVERHEAD UNLESS OTHERWISE INDICATED)
- GASLINE
- SANITARY SEWER
- WATERLINE
- STORM DRAIN LINE, MANHOLE AND INLET
- RIGHT-OF-WAY LINE
- LOT LINE
- CHAIN LINK FENCE



AS BUILT INFORMATION	
CONTRACTOR	DATE
Albuquerque Control Station "7-L9" <td></td>	
Brass Disc set in concrete <td></td>	
0.4 feet above ground, <td></td>	
Located 54.0 feet west of 98th St. centerline <td></td>	
and 360.0 feet south of Tower Rd. centerline <td></td>	
X=1,493,224.214 Y=1,478,409.331 (NAD 1983) <td></td>	
Scale Factor: 0.999681058 <td></td>	
Convergence: -00'16.57" <td></td>	
Elevation (NAVD 88): 5178.475 feet <td></td>	

SURVEY INFORMATION	
FIELD NOTES	DATE
Albuquerque Control Station "7-L9" <td>4/7/06</td>	4/7/06
Brass Disc set in concrete <td></td>	
0.4 feet above ground, <td></td>	
Located 54.0 feet west of 98th St. centerline <td></td>	
and 360.0 feet south of Tower Rd. centerline <td></td>	
X=1,493,224.214 Y=1,478,409.331 (NAD 1983) <td></td>	
Scale Factor: 0.999681058 <td></td>	
Convergence: -00'16.57" <td></td>	
Elevation (NAVD 88): 5178.475 feet <td></td>	



NOTE:
WATER & SEWER AVAILABILITY
EXISTING WATER LINES AND SANITARY SEWER LINES AS SHOWN HEREON ARE AVAILABLE TO SERVE THIS SUBDIVISION. NO NEW LINES ARE PROPOSED TO SERVE THIS SUBDIVISION AT THIS TIME. SERVICE LINES WILL BE PROVIDED AT THE TIME OF DEVELOPMENT AND/OR BUILDING PERMIT.

ENGINEER'S SEAL	
NO.	DATE
4	
3	
2	
1	

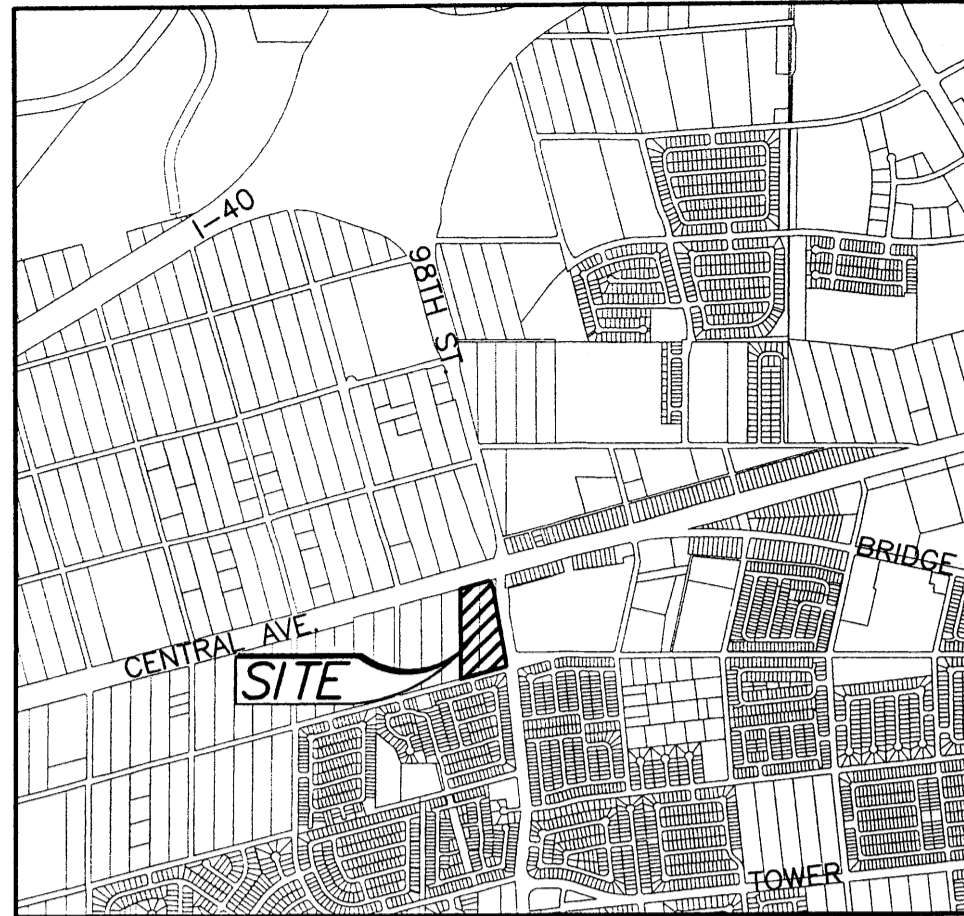


CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
ENGINEERING DIVISION

TITLE: **MERCADO CAMINO 66
UTILITY PLAN**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

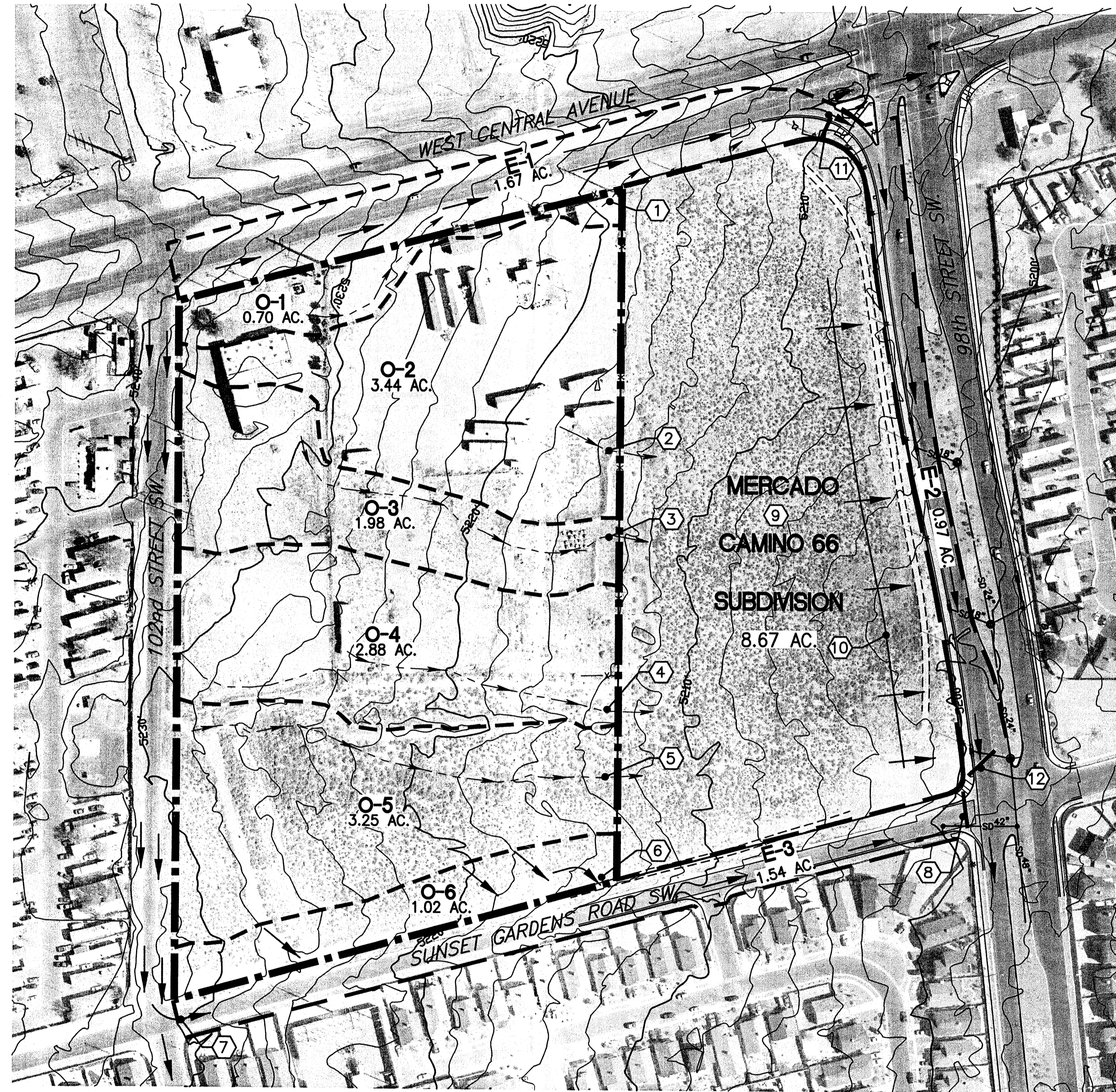
Project No. - Zone Map No. **L-9** Sheet **4** of **6**



VICINITY MAP
SCALE: 1"=2000'±
ZONE ATLAS MAP L-9

LEGEND

- EXISTING CONTOUR
- EXISTING SURFACE FLOW DIRECTION
- EXISTING SWALE
- FUTURE SWALE
- OFFSITE DRAINAGE BASIN BOUNDARY
- OFFSITE DRAINAGE SUB-BASIN BOUNDARY
- EXISTING STORM DRAIN LINE, MANHOLE & INLET

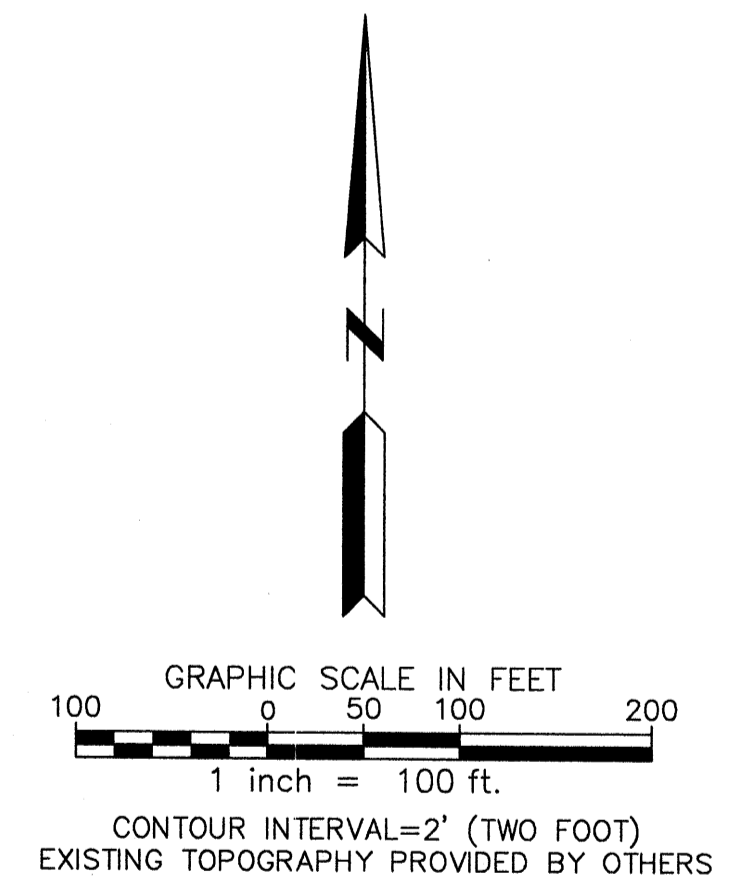


PLAN-EXISTING CONDITIONS
SCALE: 1"=100'

EXISTING CONDITIONS
FLOW RATE

ANALYSIS POINT	10 yr. cfs	100 yr. cfs
AP ①	1.04	2.01
AP ②	4.05	8.51
AP ③	1.71	4.11
AP ④	2.13	5.53
AP ⑤	0.78	4.19
AP ⑥	0.24	1.31
AP ⑦	6.08	10.32
AP ⑧	9.41	15.85
AP ⑨	2.08	11.17
AP ⑩	10.75	35.27
AP ⑪	3.58	6.53
AP ⑫	17.06*	44.22*

* STORMDRAIN AND STREET FLOW



MERCADO CAMINO 66
DRAINAGE PLAN
EXISTING CONDITIONS



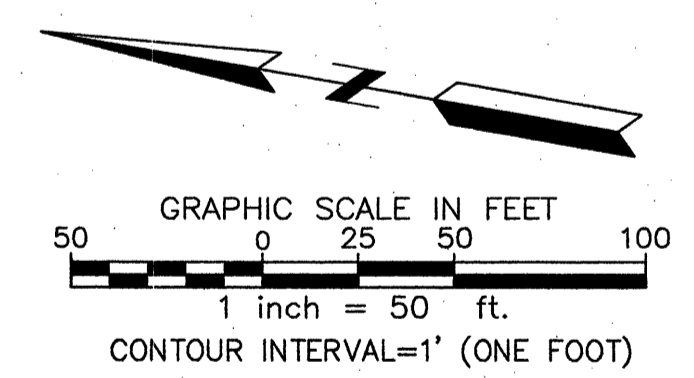
CONSULTING ENGINEERS AND SURVEYORS ALBUQUERQUE NEW MEXICO
PROJECT NO. 2008-0013 DRAWN TL_KW CHECKED JAA DATE 12/22/09 SHEET 5 OF 6

**DEVELOPED CONDITIONS
FLOW RATE**

ANALYSIS POINT	10 yr. cfs	100 yr. cfs
AP ①	3.27	5.85
AP ②	2.86	5.07
AP ②A	1.43	2.53
AP ③	3.21	5.80
AP ④	4.94	7.72
AP ⑤	5.62	8.76
AP ⑥	0.59	1.02
AP ⑦	4.96	8.56
AP ⑧	10.84	16.23
AP ⑨	11.28	16.90
AP ⑩	0.30	0.52
AP ⑪	6.51	18.21
AP ⑫	2.67	4.09
AP ⑬	2.62	4.65
AP ⑭	32.69	51.99
AP ⑮	8.26	13.76
AP ⑯	40.95	65.75
AP ⑰	47.92	76.99

NOTES

- Stormwater flow rates shown are based on City Development Process Manual Chapter 22 for Commercial Development. Flow rates shown on 98th Street assumes collection by inlets at rates varying from 5 cfs to 6 cfs per inlet until Storm Drain is filled.
- Storm Drainage Facilities constructed and paid for by Property Owner under SAD-222 provided for free discharge of Stormwater from this property.



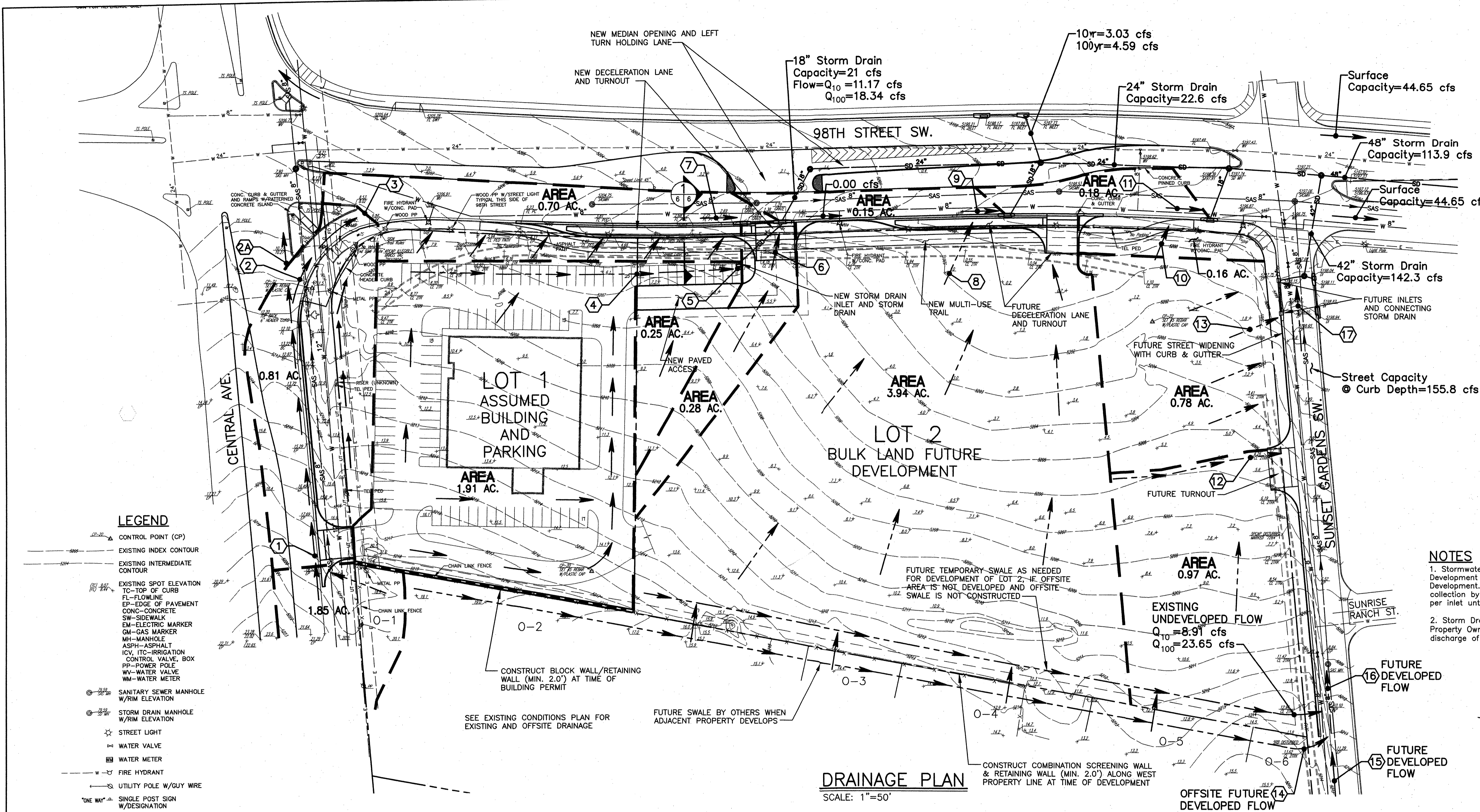
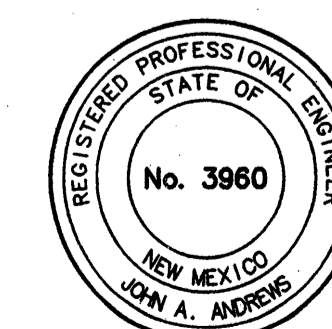
BENCHMARK

Elevation datum for this survey is taken from City of Albuquerque Benchmark Sta. "7-L9" located 360 feet south of the centerline of Tower Rd. and 54 feet west of the centerline of 98th St. Elevation=5178.475 (NAVD 1988).

**MERCADO CAMINO 66
GRADING AND DRAINAGE PLAN
DEVELOPED CONDITIONS**



PROJECT NO. 2008-0013 DRAWN TL,KW CHECKED JAA DATE 12/22/09 SHEET 6 OF 6

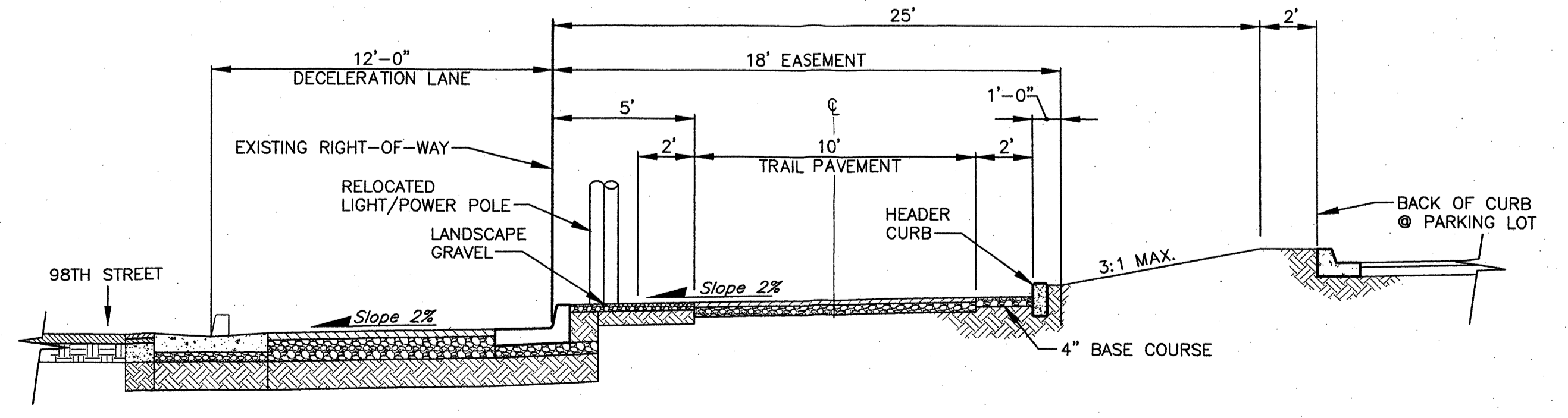


LEGEND

- ▲ CONTROL POINT (CP)
- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- EXISTING SPOT ELEVATION TO TOP OF CURB
- FL---FLOWLINE
- EP---EDGE OF PAVEMENT
- CONC---CONCRETE
- SW---SIDEWALK
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- ≡ WATER METER
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- TRAFFIC SIGNAL POLE
- TRAFFIC SIGNAL PULLBOX
- ELECTRIC LINE (OVERHEAD UNLESS OTHERWISE INDICATED)
- GASLINE
- SAS SANITARY SEWER (EXISTING)
- W WATERLINE (EXISTING)
- SD 24" STORM DRAIN LINE, MANHOLE AND INLET (EXISTING)
- RIGHT-OF-WAY LINE
- LOT LINE & PROPERTY LINE
- X---CHAIN LINK FENCE
- PROPOSED SURFACE FLOW DIRECTION

DRAINAGE PLAN

SCALE: 1"=50'



SECTION

SCALE: 1/4"=1'-0"