



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

May 27, 2009

Project# 1007775

09DRB-70164 MAJOR – SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

HRJ ARCHITECTURE LLC agent(s) for NORTHERN BUILDERS request(s) the referenced/ above action(s) for all or a portion of Lot(s) 8 & 9, **JOURNAL CENTER PHASE II Unit(s) 2**, zoned IP, located on the west side of BARLTLETT ST NE between MASTHEAD ST NE and RUTLEDGE ST NE containing approximately 1.98 acre(s). (D-17)

At the May 27, 2009 Development Review Board meeting, the site development plan for building permit was approved with final sign-off delegated to ABCWUA for revised site plan to address sanitary sewer easement and to planning to comply with comments and re-plat.

If you wish to appeal this decision, you must do so by June 11, 2009 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision.

The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).


Jack Cloud, AICP, DRB Chair

Cc: Ron James/HRN Architecture LLC – 182 A La Joya Road – Glorietta, NM 87535

Cc: Carlos Lopez/Northern Builders – HC 72 Box 317 – Ribera, NM 87560

Marilyn Maldonado

File



DRB CASE ACTION LOG

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 09DRB-70164 Project # 1007775
 Project Name: _____
 Agent: _____ Phone No.: _____

Your request was approved on 5-27-09 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: - address DXF Easement

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): address comments, re-plot

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - AGIS DXF File approval required.**
 - Copy of recorded plat for Planning.**

Created On:



DRB CASE ACTION LOG

REVISED 10/08/07

(Pre/Finial)

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 09DRB-70206 Project # 1007775

Project Name: Journal Center

Agent: ~~Journal Center~~ Terra Land Phone No.:

Your request was approved on 6-24-09 by the DRB with delegation of signature(s) to the following departments. Slowey's LLC

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: for AMAFCA sign off

PARKS / CIP: _____

PLANNING (Last to sign): to go w/ site plan

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
 - Property Management's signature must be obtained prior to Planning Department's signature.
 - AGIS DXF File approval required.
 - Copy of recorded plat for Planning.

Created On:



COMPLETED
DRB CASE ACTION LOG
REVISED 10/08/07

08/17/09, STH
(Pre/Final)

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 09 DRB-70206 Project # 1007775
Project Name: Journal Center
Agent: ~~Journal Center~~ Terra Land Phone No.:
Slowey's LLC

Your request was approved on 6-24-09 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: for AMAFCA sign off
OK BUS

PARKS / CIP: _____

PLANNING (Last to sign): to go w/ site plan
OK

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
 - Property Management's signature must be obtained prior to Planning Department's signature.
 - AGIS DXF File approval required.
 - Copy of recorded plat for Planning.

Created On:

7775

DXF Electronic Approval Form

DRB Project Case #: 1007775

Subdivision Name: JOURNAL CENTER PHASE 2 UNIT 2 LOT 8A

Surveyor: CHRISTOPHER A MEDINA

Contact Person: CHRISTOPHER A MEDINA

Contact Information: 792-0513

DXF Received: 7/8/2009

Hard Copy Received: 7/8/2009

Coordinate System: NMSP Grid (NAD 83)


Approved

07-08-2009
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only
Copied fc **7775** to agiscov on **7/8/2009** Contact person notified on **7/8/2009**

6. **Project# 1005458**
09DRB-70204 MAJOR - FINAL PLAT
APPROVAL

HARRIS SURVEYING INC agent(s) for GALILEO LADERA LLC request(s) the above action(s) for all or a portion of Tract(s) Q, **TOWN OF ATRISCO GRANT Unit(s) NORTHEAST**, zoned C-1/IP, located on COORS RD NW BETWEEN REDLANDS RD NW AND ATRISCO DR NW containing approximately 3.7951 acre(s). (G-11) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING TO CHECK THE UPDATED SITE PLAN.**

7. **Project# 1007056**
09DRB-70211 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

WAYJOHN SURVEYING INC agent(s) for RED ROCK CAPITAL LLC request(s) the above action(s) for all or a portion of Lot(s) 24-28, Block(s) 32, **HEIGHTS RESERVOIR ADDITION** zoned R-3, located on ADAMS ST NE BETWEEN LOMAS BLVD NE AND ROMA AVE NE containing approximately 0.7717 acre(s). (K-17) **THE PRELIMINARY/FINAL PLAT WAS APPROVED. A COPY OF THE RECORDED PLAT MUST BE PROVIDED TO PLANNING.**

8. **Project# 1007775**
09DRB-70206 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

TERRA LAND SURVEYS LLC agent(s) for CARLOS MARTIN & PATRICIA A LOPEZ request(s) the above action(s) for all or a portion of Lot(s) 8 & 9, Block(s) PHASE 2, **JOURNAL CENTER Unit(s) 2**, zoned IP, located on BARTLETT ST NE BETWEEN MASTHEAD ST NE AND RUTLEDGE RD NE containing approximately 1.9979 acre(s). (D-17) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER TO AMAFCA SIGNATURE AND TO PLANNING TO COORDINATE WITH THE SITE PLAN AND AGIS DXF FILE.**

9. **Project# 1007852**
09DRB-70205 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

BRASHER AND LORENZ INC agent(s) for THOMAS MONTANO request(s) the above action(s) for all or a portion of **MESA PARK ADDITION**, zoned O-1, located on ARIZONA ST SE BETWEEN ZUNI RD SE AND BELL AVE SE containing approximately 1.116 acre(s). (L-18) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR ADDED DIMENSIONS TO EXHIBIT AND TO PLANNING FOR SOLAR NOTE.**



COMPLETED 08/11/09 SA
DRB CASE ACTION LOG

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 09DRB-70164 Project # 1007775
Project Name: _____
Agent: _____ Phone No.: _____

Your request was approved on 5-27-09 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: OK - address GIS Permit

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): address comments, re-plat

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
 - Property Management's signature must be obtained prior to Planning Department's signature.
 - AGIS DXF File approval required.
 - Copy of recorded plat for Planning.

Created On:

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: June 3, 2009
Zone Atlas Page: D-17
Notification Radius: 100 Ft.

Project# 1007775
App# 09DRB -70164

Cross Reference and Location: BARTLETT ST NE BETWEEN MASTHEAD ST AND
HAWKINS ST

Applicant: CARLOS LOPEZ
NOTHERN BUILDERS
HC 72 BOX 317
RIBERA, NM 87560

Agent: MODULUS ARCHITECTS
2325 SAN PEDRO NE STE 2B
ALBUQUERQUE, NM 87110

Special Instructions:

**Notice must be mailed from the
City's 15 day's prior to the meeting.**

Date Mailed: MAY8, 2009
Signature: ERIN TREMLIN

OR CURRENT RESIDENT
101606346229010310
AMAFCA
2600 PROSPECT AVE NE
ALBUQUERQUE, NM 87110

OR CURRENT RESIDENT
101706308718430424
BLUE HOLE LTD CO
PO BOX 94030
ALBUQUERQUE, NM 87199

OR CURRENT RESIDENT
101706308122830421
BUILDERS TRUST OF NM & NM
HOMEBUILDERS ASSOCIATION
5931 OFFICE BLVD NE
ALBUQUERQUE, NM 87109

OR CURRENT RESIDENT
101706303619330426
G BRUNACINI & SON DEVELOPMENT
LLC
PO BOX 6363
ALBUQUERQUE, NM 87197

OR CURRENT RESIDENT
101706310818630704
L & L HOLDING CO LLC
3801 RUTLEDGE RD NE
ALBUQUERQUE, NM 87109

OR CURRENT RESIDENT
101706308019830423
LOPEZ CARLOS MARTIN & PATRICIA
HC 72 BOX 317
RIBERA, NM 87560

OR CURRENT RESIDENT
101706311621531001
WALTON CHAPMAN BUILDERS CO
404 BRUNN SCHOOL RD
SANTA FE, NM 87505

OR CURRENT RESIDENT
101706307218430425
WANDERING MIND LLC
2313 GEMINI RD
RIO RANCHO, NM 87124

Project# 1007775
RON JAMES
HRJ ARCHITECTURES, LLC
182A LA JOYA RD
GLORIETA, NM 87535

Project# 1007775
CARLOS LOPEZ
NORTHERN BUILDERS
HC 72 BOX 317
RIBERA, NM 87560

Supplemental form

SUBDIVISION	S Z ZONING & PLANNING
<input type="checkbox"/> Major Subdivision action	<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor Subdivision action	<input type="checkbox"/> County Submittal
<input type="checkbox"/> Vacation	<input type="checkbox"/> EPC Submittal
<input type="checkbox"/> Variance (Non-Zoning)	<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN	<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input checked="" type="checkbox"/> for Subdivision	<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input type="checkbox"/> for Building Permit	<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> Administrative Amendment (AA)	<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> IP Master Development Plan	L A APPEAL / PROTEST of...
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals
STORM DRAINAGE	<input type="checkbox"/> Storm Drainage Cost Allocation Plan

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

Professional/Agent (if any): RON JAMES / HRJ ARCHITECTURE, LLC PHONE: 505.600.8373
 ADDRESS: 182A LA JOYA ROAD FAX: 505.757.8882
 CITY: GLORIETA STATE NM ZIP 87535 E-MAIL: hrj_arch@cybermesa.a

APPLICANT: CARLOS LOPEZ / NORTHERN BUILDERS PHONE: 505.660.6875
 ADDRESS: AC 72 BOX 317 FAX: 505.426.1607
 CITY: RIBERA STATE NM ZIP 87560 E-MAIL: region2_carlos@yahoo.a

Proprietary interest in site: OWNER List all owners: CARLOS LOPEZ

DESCRIPTION OF REQUEST: SITE DEVELOPMENT PLAN APPROVAL FOR BUILDING PERMIT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 849 Block: _____ Unit: 2
 Subdiv/Addn/TBKA: JOURNAL CENTER PHASE 2
 Existing Zoning: IP Proposed zoning: _____
 Zone Atlas page(s): D-17 UPC Code: _____ MRGCD Map No _____

CASE HISTORY:
 List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): _____

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? _____
 No. of existing lots: 2 No. of proposed lots: 1 Total area of site (acres): 2.00±
 LOCATION OF PROPERTY BY STREETS: On or Near: BARTLETT STREET NE
 Between: MASTHEAD STREET and HAWKINS STREET

Check-off if project was previously reviewed by Sketch Plat/Plan or Pre-application Review Team Date of review: _____

SIGNATURE [Signature] DATE 30 April 2009
 (Print) RONALD JAMES, JR Applicant Agent

FOR OFFICIAL USE ONLY Form revised 4/07

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>09DRB 70164</u>	<u>SEP</u>	<u>PE</u>	<u>\$385.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>ADV</u>	_____	<u>\$ 75.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
	Hearing date <u>05/27/09</u>			Total <u>\$480.00</u>
	<u>Sandra Handley 04/30/09</u>	Project # <u>1007775</u>		

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- DRB hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

H. RONALD JAMES JR.
 Applicant name (print)
[Signature]
 Applicant signature / date



Form revised October 2007

<input type="checkbox"/> Checklists complete	Application case numbers	<i>09083</i>	<i>10164</i>	<i>Sandy Handley</i>	<i>04/30/09</i>
<input type="checkbox"/> Fees collected				Planner signature / date	
<input type="checkbox"/> Case #s assigned				Project #	<i>1007715</i>
<input type="checkbox"/> Related #s listed					

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 UTILITY PLAN

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

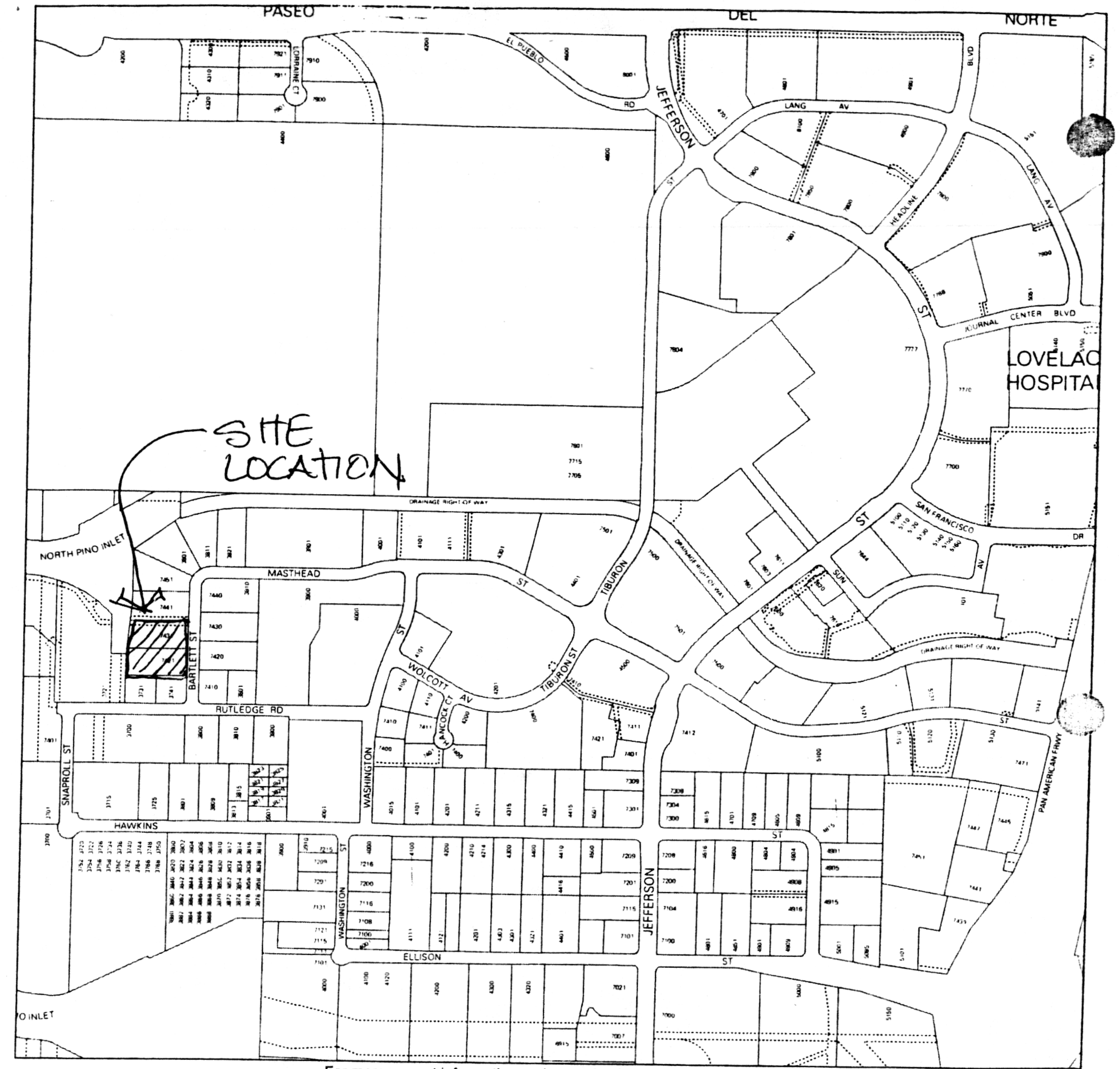
SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

A. General Information

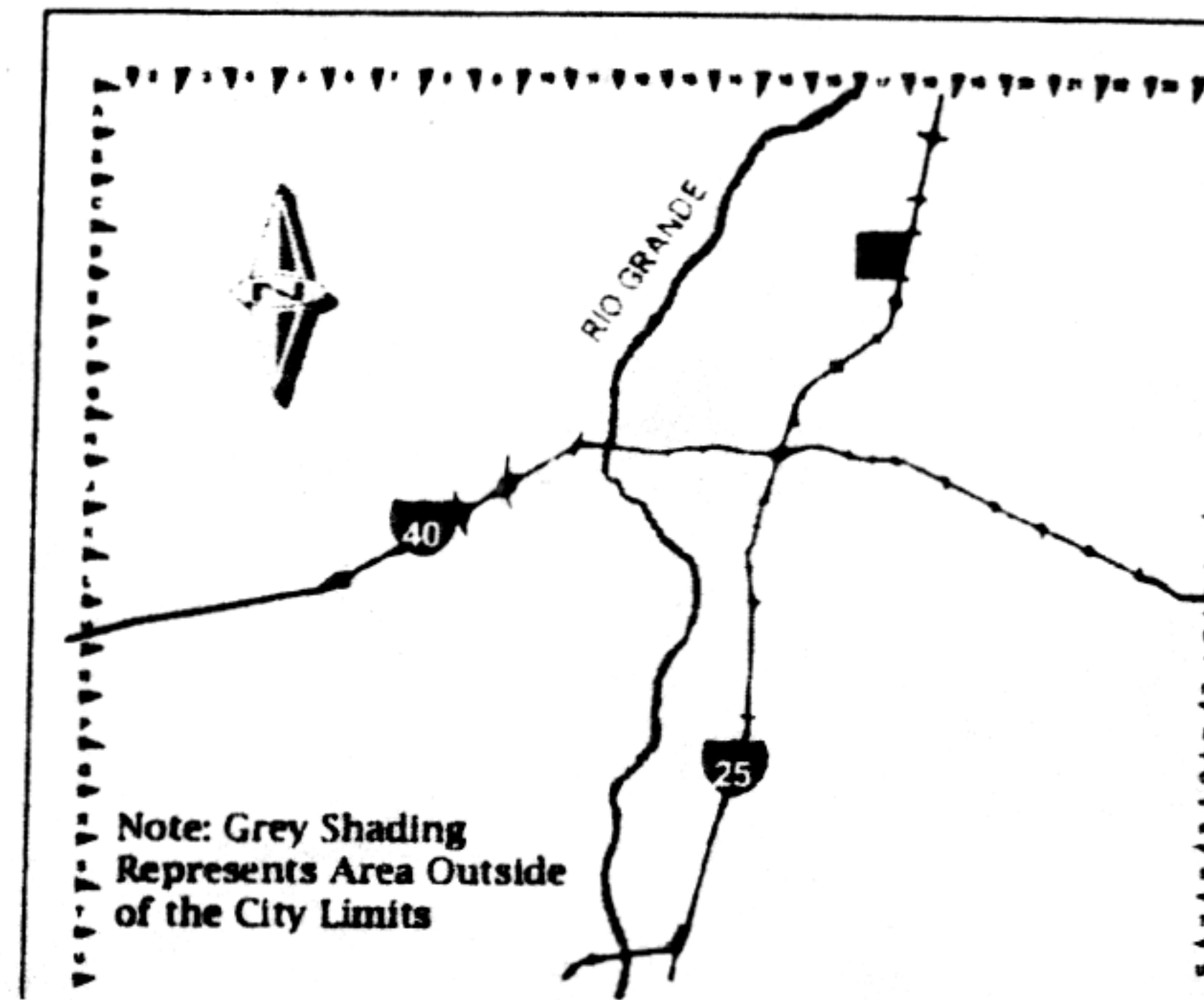
- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation (north, south, east, & west).
 - 2. Facade dimensions including overall height and width
 - 3. Location, dimensions, materials, and colors of principle façade elements- windows, doors, etc.
 - 4. For EPC and DRB submittals only – Color renderings or similar (12 copies) illustrations
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.



For more current information and more details visit: <http://www.cabq.gov/gis>

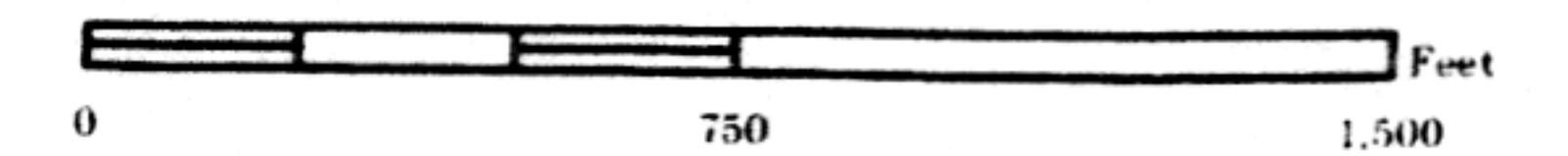


Address Map Page:
D-17-Z

Map amended through: 4/7/2008



These addresses are for information purposes only and are not intended for address verification.



CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT: CARLOS LOPEZ DATE OF REQUEST: 4/30/09 ZONE ATLAS PAGE(S): D-17

CURRENT: ZONING IP LEGAL DESCRIPTION: LOT OR TRACT # 840 BLOCK # _____
 PARCEL SIZE (AC/SQ. FT.) 2± AC / 87,120 SF SUBDIVISION NAME JOURNAL CENTER Phase 2, UNIT 2

REQUESTED CITY ACTION(S):
 ANNEXATION [] SECTOR PLAN [] SITE DEVELOPMENT PLAN:
 COMP. PLAN [] ZONE CHANGE [] A) SUBDIVISION [] BUILDING PERMIT
 AMENDMENT [] CONDITIONAL USE [] B) BUILD'G PURPOSES [] ACCESS PERMIT []
 C) AMENDMENT [] OTHER []

PROPOSED DEVELOPMENT: GENERAL DESCRIPTION OF ACTION:
 NO CONSTRUCTION/DEVELOPMENT [] # OF UNITS: _____
 NEW CONSTRUCTION BUILDING SIZE: 26,850 (sq. ft.)
 EXPANSION OF EXISTING DEVELOPMENT []

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.
 APPLICANT OR REPRESENTATIVE: [Signature] DATE: 30 April 2009
 (TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH)

Planning Department, Development & Building Services Division, Transportation Development Section -
 2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO BORDERLINE []
 THRESHOLDS MET? YES [] NO MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []
 Notes:

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.
 TRAFFIC ENGINEER: [Signature] DATE: 4-30-09

Air Quality Impact Analysis (AQIA) May Be Required:
 Section 14-16-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. An AQIA is not required, if a TIS is not required by the City or an associated TIS shows all signalized intersections functioning at Level of Service (LOS) C or better. An AQIA will only be required for a Sector Development Plan or Sector Development Plan Amendment if it meets AQIA thresholds in the Zoning Code.

AIR QUALITY IMPACT ANALYSIS (AQIA) REQUIRED: YES [] NO
 Contact an Air Quality Planner at 768-2660 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. Any subsequent changes to the development proposal identified above may require an update or new AQIA.
 APPLICANT: [Signature] DATE: 30 April 2009

Required TIS and/or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED /// TRAFFIC ENGINEER _____ DATE _____
 -FINALIZED ///

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

3. Phasing
 A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system - Phase I & II . . .
- 9. Backflow prevention detail
- 10. Planting Beds, indicating square footage of each bed
- 11. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 12. Responsibility for Maintenance (statement)
- 13. Statement of compliance with Water Conservation... Ordinance, see article 6-1-1-1.
- 14. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 15. Landscaped area provided; square footage and percent (specify clearly on plan)
- 16. Planting or tree well detail
- 17. Street Tree Plan as defined in the Street Tree Ord.

SHEET # 3 PRELIMINARY GRADING PLAN

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1 with written approval from the Planning Department Staff.

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: 4.30.09

Planning Department
Plaza Del Sol Building
600 Second St. NW
Second Floor (924-3860)

This letter will serve to notify you that on 4-30-09 (date)

TO CONTACT NAME: RON JAMES
COMPANY/AGENCY: HRJ Architecture LLC
ADDRESS/ZIP: 182 RAJON Rd
PHONE/FAX #: 699-8373 757-8882

Contacted the Office of Neighborhood Coordination requesting the contact names for ALL Affected Neighborhood and/or Homeowner Associations affected by their request concerning a Zoning Action or Site Development Plan, etc. at 7421 + 7431 Bartlett Street NE, WASTHEAD ST.

zone map page(s) D-17

Our records indicate that as of 4/30/09 (date), there were No Affected

Neighborhood and/or Homeowner Associations in this area.

If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Patrick Montoya
OFFICE OF NEIGHBORHOOD COORDINATION



DEVELOPER INQUIRY SHEET

(To be completed prior to application submittal)

The Office of Neighborhood Coordination (ONC) located in Room 120 (basement) of the Plaza Del Sol Building, 600 Second Street NW, Fax: (505) 924-3913 – will need the following information **BEFORE** neighborhood and/or homeowner association information will be released to the applicant/agent on any project being presented to the Planning Department of the City of Albuquerque. If you have any questions, please feel free to contact our office at (505) 924-3914. **Your Developer Inquiry is for the following:**

Cell Tower & Type: Free-Standing Tower -OR- Concealed Tower

Private Development EPC DRB LUCC Liquor Submittal

Administrative Amendments (AA's)

City Project

Special Exception Application (ZHE)

CONTACT NAME: RON JAMES

COMPANY NAME: HR ARCHITECTURE, LLC

ADDRESS/ZIP: 102A LA JOYA RD

PHONE: 505-699-8373 **FAX:** 505-757-8882

LEGAL DESCRIPTION INFORMATION

PLEASE FORWARD INFORMATION ON ANY NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATION IN THE AREA OF THE PROPERTY DESCRIBED BELOW:

LOTS 8 & 9 PLAT OF JOURNAL CENTER PHASE 2, UNIT 2

LEGAL DESCRIPTION

LOCATED ON 7421 & 7431 BARTLETT STREET NE

STREET NAME OR OTHER IDENTIFYING LANDMARK

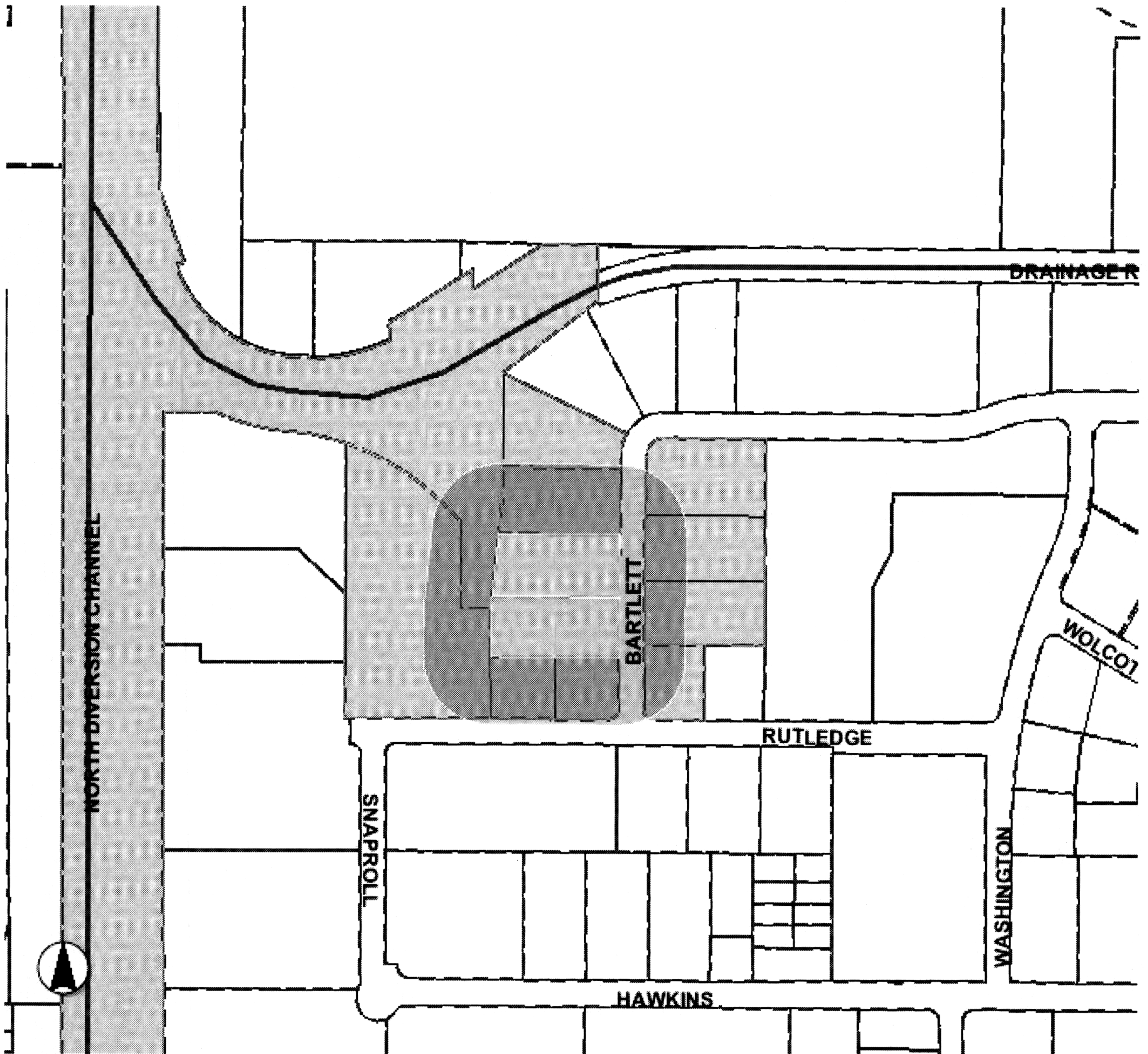
BETWEEN MASTHEAD STREET AND

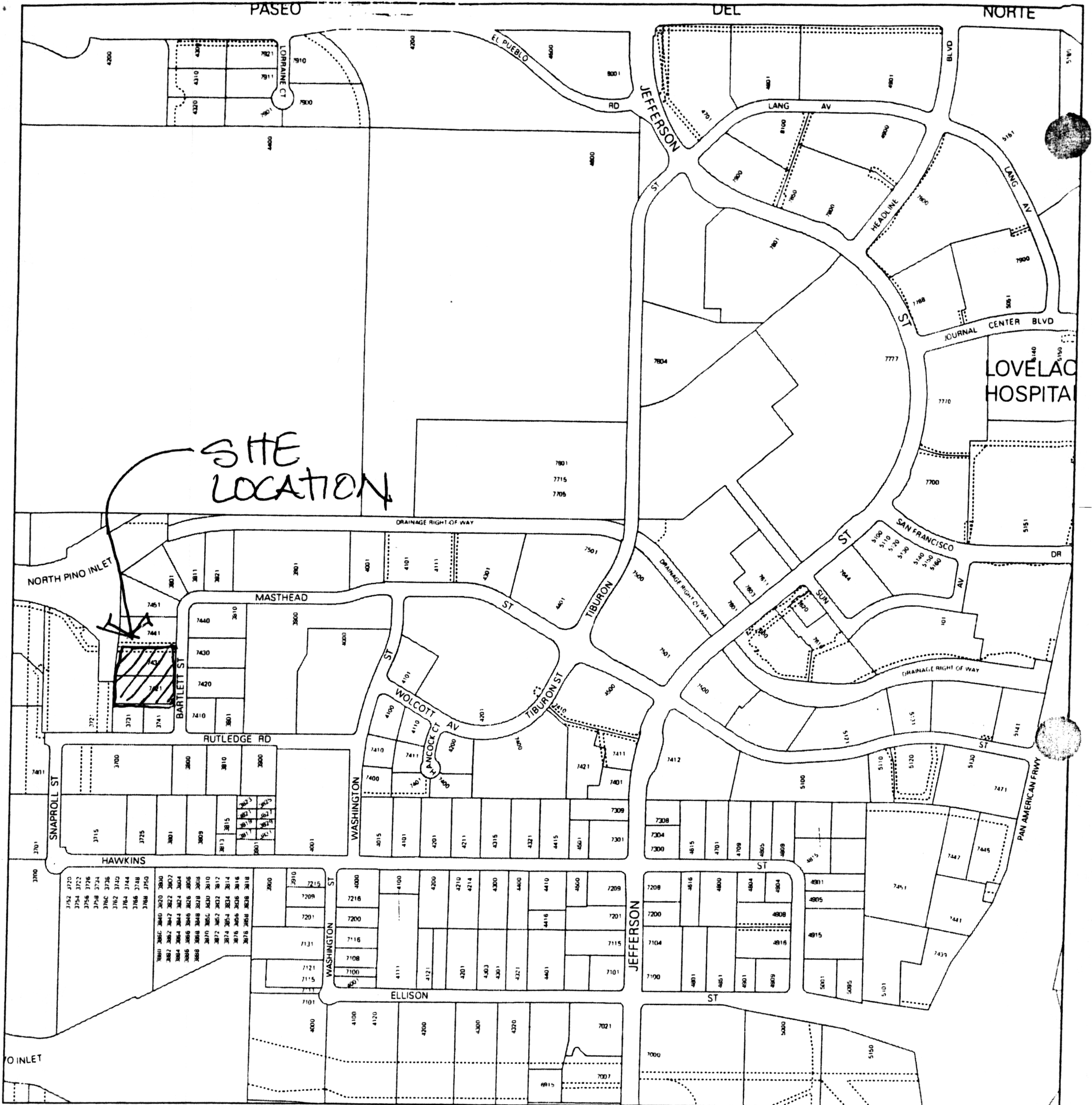
STREET NAME OR OTHER IDENTIFYING LANDMARK

RUTLEDGE ROAD

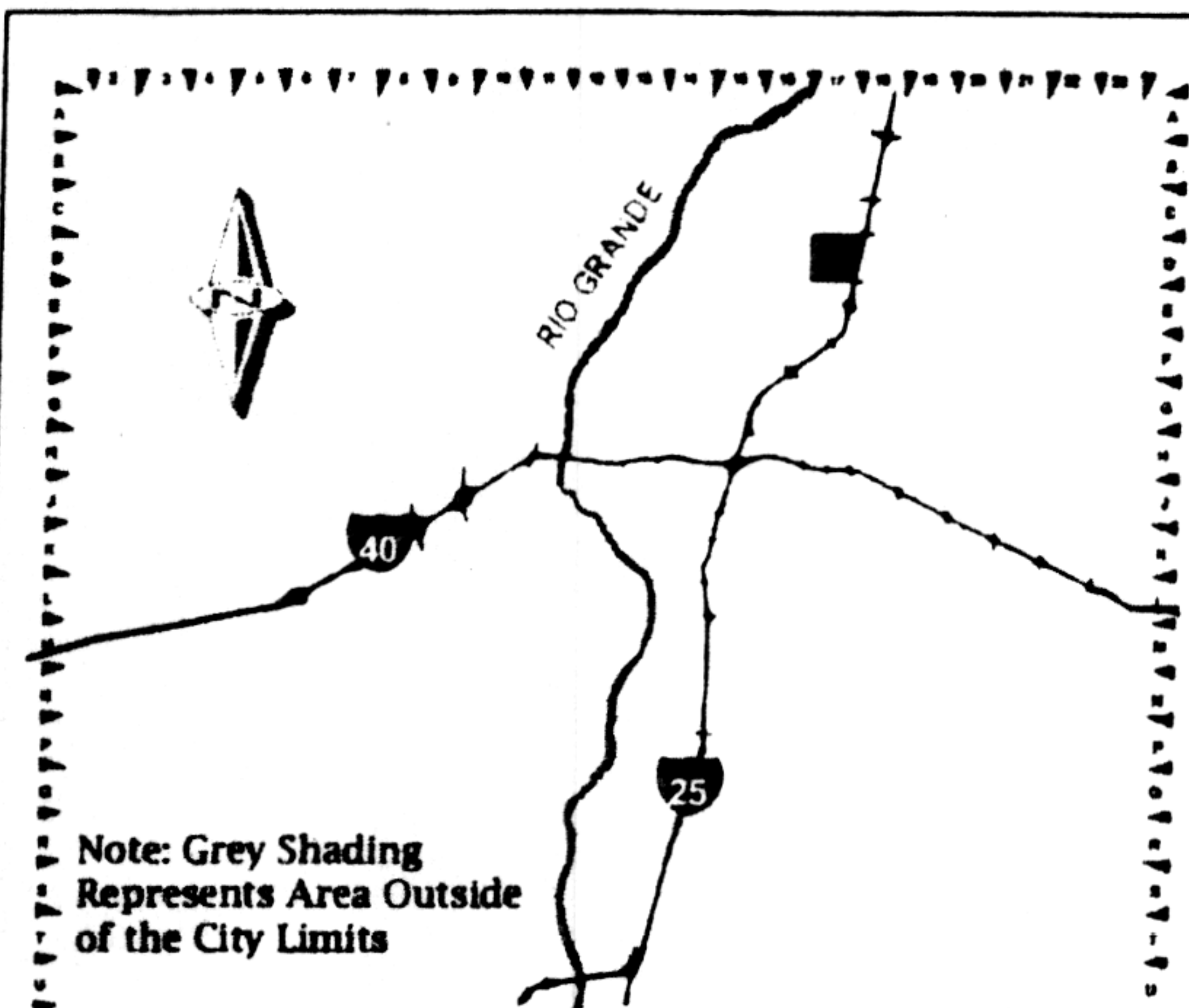
STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS INDICATED ON THE FOLLOWING ZONE ATLAS PAGE (D-17).
(PLEASE MARK/HATCH ZONE MAP WHERE PROPERTY IS LOCATED)
(Zone Map MUST be provided with request)





For more current information and more details visit: <http://www.cabq.gov/gis>

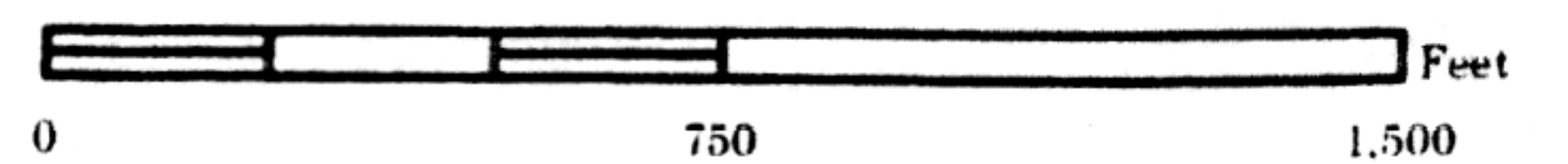


Note: Grey Shading Represents Area Outside of the City Limits

Address Map Page:
D-17-Z

Map amended through: 4/7/2008

These addresses are for information purposes only and are not intended for address verification.



R e c	UPC CODE	OWNER	OWNER ADDRES S	OWN ER CITY	OW NE R ST AT E	OW NE R ZIP CO DE	PR OP ER TY CL AS S	TA X DI ST RICT	LEGAL	AC RES
1	101706 303619 330426	G BRUNACINI & SON D EVELOPMENT LLC	PO BOX 6363	ALBU QUE RQU E	N M	87 19 7	C	A1 A	TR A-4-A PLAT OF TRACTS A-1-A, A-2-A, A- 3-A & A-4- A JOURNALCENTER PHASE 2 UNIT 2 CO NT 4.0282 AC	4.02 812 647
2	101706 307218 430425	WANDERING MIND LL C	2313 GE MINI RD	RIO RAN CHO	N M	87 12 4	C	A1 A	LT 10-A PLAT OF LOTS 10-A, 10-B, 15- A & 15- B JOURNAL CENTERPHASE 2 UNIT 2 A RE PLAT OF LOTS 10 & 15 JOURNAL CENTER PHASE 2 UNIT 2 CONT .5147 AC	0.51 471 251
3	101706 308019 830423	LOPEZ CARLOS MART IN & PATRICIA A	HC 72 B OX 317	RIBE RA	N M	87 56 0	V	A1 A	LT 9 PLAT OF JOURNAL CENTER PHASE 2 UNIT 2, A REPLAT OFTRACT 8A- 1 JOURNAL CENTER PHASE 2 UNIT 1 CON T 1.0000 AC	1.00 000 071
4	101706 310818 630704	L & L HOLDING CO LL C	3801 RU TLEDGE RD NE	ALBU QUE RQU E	N M	87 10 9	C	A1 A	LT 15-A PLAT OF LOTS 10-A, 10-B, 15- A & 15- B JOURNAL CENTERPHASE 2 UNIT 2 A RE PLAT OF LOTS 10 & 15 JOURNAL CENTER PHASE 2 UNIT 2 CONT .5941 AC	0.59 406 519
5	101706 308121 330422	LOPEZ CARLOS MART IN & PATRICIA A	HC 72 B OX 317	RIBE RA	N M	87 56 0	V	A1 A	LT 8 PLAT OF JOURNAL CENTER PHASE 2 UNIT 2, A REPLAT OFTRACT 8A- 1 JOURNAL CENTER PHASE 2 UNIT 1 CON T 1.0000 AC	1.00 001 778
6	101706 308718 430424	BLUE HOLE LTD CO	PO BOX 94030	ALBU QUE RQU E	N M	87 19 9	C	A1 A	LT 10-B PLAT OF LOTS 10-A, 10-B, 15- A & 15- B JOURNAL CENTERPHASE 2 UNIT 2 A RE PLAT OF LOTS 10 & 15 JOURNAL CENTER PHASE 2 UNIT 2 CONT .5146 AC	0.51 455 321
7	101606 346229 010310	AMAFCA	2600 PR OSPECT AVE NE	ALBU QUE RQU E	N M	87 11 0	V	A1 A	PARCEL E AMAFCA NORTH DIVERSION C HANNEL & INLET CHANNELS DRAINAGE R /W CONT 69.0990 AC M/L	69.0 886 860 6
8	101706 308122 830421	BUILDERS TRUST OF NM & NM HOMEBUILD ERS ASSOCIATION	5931 OF FICE BL VD NE	ALBU QUE RQU E	N M	87 10 9	V	A1 A	LT 7 PLAT OF JOURNAL CENTER PHASE 2 UNIT 2, A REPLAT OFTRACT 8A- 1 JOURNAL CENTER PHASE 2 UNIT 1 CON T 1.0000 AC	1.00 001 877
9	101706 311621 531001	WALTON CHAPMAN B UILDERS CO	404 BRU NN SCH OOL RD	SANT A FE	N M	87 50 5	C	A1 A	LT 12-B-1 PLAT OF LT 12-B- 1 JOURNAL CENTER PHASE 2 UNIT 2 & LT S 13 & 14 PLAT OF JOURNAL CENTER PH ASE 2 UNIT 2 (A REPLATOF TR BA- 1 JOURNAL CENTER PHASE 2 UNIT 1) (AK A MASTHEAD	3.17 808 754
10	101706 308124 230420	BUILDERS TRUST OF NM & NM HOMEBUILD ERS ASSOCIATION	5931 OF FICE BL VD NE	ALBU QUE RQU E	N M	87 10 9	V	A1 A	LT 6 PLAT OF JOURNAL CENTER PHASE 2 UNIT 2, A REPLAT OFTRACT 8A- 1 JOURNAL CENTER PHASE 2 UNIT 1 CON T 1.0000 AC	1.00 024 818



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

May 27, 2009

Project# 1007775

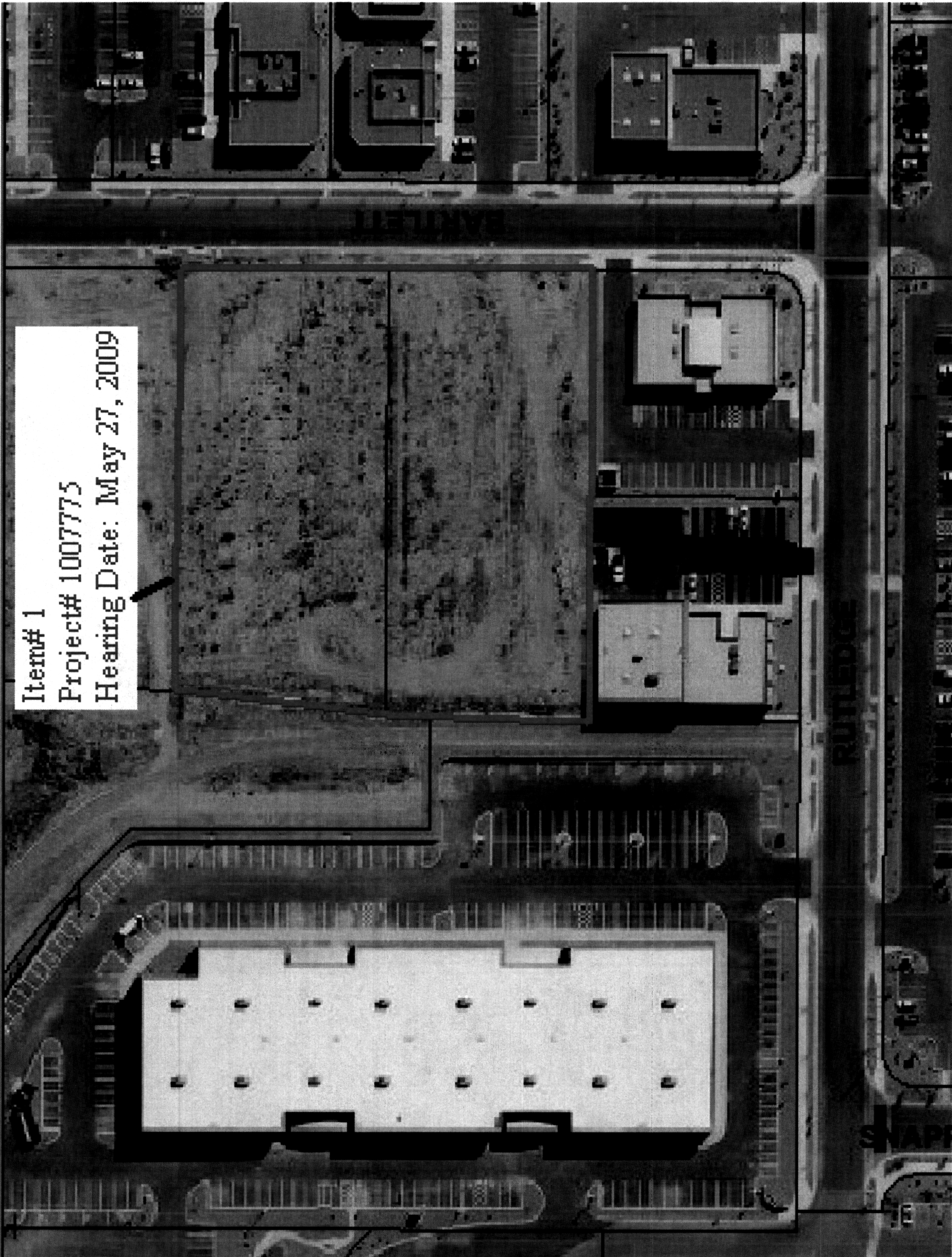
09DRB-70164 MAJOR – SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

HRJ ARCHITECTURE LLC agent(s) for NORTHERN BUILDERS request(s) the referenced/ above action(s) for all or a portion of Lot(s) 8 & 9, **JOURNAL CENTER PHASE II Unit(s) 2**, zoned IP, located on the west side of BARLTLETT ST NE between MASTHEAD ST NE and RUTLEDGE ST NE containing approximately 1.98 acre(s). (D-17)

AMAFCA Zepol Complex Building, Journal Center II, (D-17) No objection to Site Plan for Building Permit. All lots discharging to the AMAFCA channel are required to provide a storm water quality debris screen. AMAFCA can provide a detail.
COG MRCOG staff have no comment on the proposed development.
TRANSIT No comment.
ZONING ENFORCEMENT 6' Landscaping buffer along west property line where drainage easement ends. Pedestrian walkway street sidewalk connection at least 6' wide. Motorcycle spaces should be located in an area that is visible from the entrance of the building. Show motorcycle signage. Increase Landscaping buffer along North side to 6' from 5'. Provide parking bumpers where parking spaces abuts landscaping buffers.
NEIGHBORHOOD COORDINATION Letters sent to: No Neighborhood and/or Homeowner Association(s)
APS This will have no adverse impacts to the APS district.
POLICE DEPARTMENT No comment.
FIRE DEPARTMENT No comment.
PNM ELECTRIC & GAS No comment.
COMCAST No comment.
QWEST No adverse comments.

<p>ENVIRONMENTAL HEALTH No comment.</p>
<p>M.R.G.C.D No adverse comments.</p>
<p>OPEN SPACE DIVISION Open Space has no adverse comments.</p>
<p>CITY ENGINEER The site is adjacent to and drains directly to an AMAFCA facility. AMAFCA has no objection to the Site Plan, but has provided a condition for Building Permit approval.</p> <p>It appears a platting action will be required.</p> <p>Hydrology has no objection.</p>
<p>TRANSPORTATION DEVELOPMENT Please list the width and length for all parking spaces. List radii for all curves shown; for passenger vehicles, the minimum end island radius is 15 feet. Clearly demonstrate the 6-foot wide, ADA accessible, pedestrian pathway from the roadway to the building. Call out the width of the pedestrian gate (note the gate must be a minimum of 3 feet in width). All ramps located within the City right of way must have truncated domes. Please ensure all ramps are ADA compliant. The ADA accessible pedestrian pathway must be a minimum of 6 feet wide. Provide details for all proposed ramps. Build notes, referring to the specific City Standard, must be provided for all proposed items within the City right of way (curb and gutter, sidewalk, curb cuts, etc.).</p>
<p>PARKS AND RECREATION No objection.</p>
<p>ABCWUA</p> <ol style="list-style-type: none"> 1. Trash enclosure is not allowed in sanitary sewer line easement. 2. Need fire flow calculation sheet and Fire Marshall's approval on Site Plan for number and location of fire hydrants.
<p>PLANNING DEPARTMENT Refer to comments from Zoning Enforcement; it appears significant changes may be needed to comply with the Zoning Code Landscaping requirements Section 14-16-3-10. Approval from Journal Center Architectural Review Committee is needed prior to final sign-off. A replat into a single lot would be required prior to final site plan sign-off.</p>

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING



Item# 1
Project# 1007775
Hearing Date: May 27, 2009

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1007775

AGENDA ITEM NO: 8

SUBJECT:

Final Plat
Preliminary Plat

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

PO Box 1293

ENGINEERING COMMENTS:

Albuquerque

AMAFCA must sign plat prior to sign-off by City Engineer.

NM 87103

RESOLUTION:

www.cabq.gov

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

AMAFCA sig

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: June 24, 2009

City of Albuquerque Planning Department

One Stop Shop – Development and Building Services

06/16/2009 Issued By: PLNSDH

Permit Number: 2009 070 206

Category Code 910

Application Number: 09DRB-70206, Minor - Preliminary/ Final Plat Approval

Address:

Location Description: BARTLETT ST NE BETWEEN MASTHEAD ST NE AND RUTLEDGE RD NE

Project Number: 1007775

Applicant

Carlos Martin & Patricia A Lopez

Ho 72 Box 317
Ribera NM 87560

Agent / Contact

Terra Land Surveys Llc

Po Box 2532
Corrales NM 87048
782-0513

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$215.00
TOTAL:		\$235.00

City Of Albuquerque
Treasury Division

6/16/2009 11:04AM LOC: ANNX
 WSH 00B TRANS# 0004
 RECEIPT# 00106702-00106702
 PERMIT# 2009070206 TRSASR
 Trans Amt \$235.00
 Conflict Manag. Fee \$20.00
 DRB Actions \$215.00
 CK \$235.00
 CHANGE \$0.00

Thank You

City of Albuquerque Planning Department

One Stop Shop – Development and Building Services

04/30/2009 Issued By: PLNSDH

Permit Number: 2009 070 164

Category Code 910

Application Number: 09DRB-70164, Major - Sdp For Building Permit

Address:

Location Description: BARLTLETT ST NE BETWEEN MASTHEAD ST NE AND HAWKINS ST NE

Project Number: 1007775

Applicant
Northern Builders

Hc 72 Box 317
Ribera NM 87580
660-8875

Agent / Contact
Hrj Architecture Llc

182 A La Joya Rd
Glorieta NM 87535
699-8373

Application Fees

441018/4971000	Public Notification	\$75.00
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$385.00
TOTAL:		\$480.00

City Of Albuquerque
Treasury Division

4/30/2009 3:40PM LOC: ANNX
 WSH 003 TRANS# 0053
 RECEIPT# 00104935-00104935
 PERMIT# 2009070164 TRSASR
 Trans Amt \$480.00
 APN Fee \$75.00
 Conflict Manag. Fee \$20.00
 DRB Actions \$385.00
 CK \$480.00
 CHANGE \$0.00

~ Thank You



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): TERRA LAND SURVEYS, LLC PHONE: (505) 792-0513
 ADDRESS: P.O. Box 2532 FAX: (505) 792-5233
 CITY: CORRALES STATE NM ZIP 87048 E-MAIL: terrasurveys@comcast.net

APPLICANT: CARLOS MARTIN + PATRICIA A. LOPEZ PHONE: _____
 ADDRESS: HC 72 Box 317 FAX: _____
 CITY: RIBERA STATE NM ZIP 87560 E-MAIL: _____

Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST: ELIMINATE THE LOT LINE COMMON TO LOTS 8 AND 9 AND COMBINE INTO ONE CONTIGUOUS PARCEL.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOTS 8 AND 9 Block: PHASE 2 Unit: 2
 Subdiv/Addn/TBKA: JOURNAL CENTER
 Existing Zoning: IP Proposed zoning: IP MRGCD Map No 28
 Zone Atlas page(s): D-17-2 UPC Code: 1-017-063-081-213-304-22
1-017-063-080-198-304-23

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): _____

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? N/A
 No. of existing lots: 2 No. of proposed lots: 1 Total area of site (acres): 1.9979
 LOCATION OF PROPERTY BY STREETS: On or Near: BARTLETT STREET N.E.
 Between: MASTHEAD STREET NE and RUTLEDGE ROAD NE

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Christopher A Medina DATE 6/16/09
 (Print) Christopher A Medina Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>09DRB-70206</u>	<u>PAF</u>	<u>5(3)</u>	<u>\$ 215.00</u>
_____	<u>OMF</u>	_____	<u>\$ 20.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Total			<u>\$ 235.00</u>

Hearing date 06/24/09

Sandy Handley 06/17/09
 Planner signature / date

Project # 1007775

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) AND INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Copy of DRB approved infrastructure list
- Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
- List any original and/or related file numbers on the cover application

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) Your attendance is required.

- NA** 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) Your attendance is required.

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

MICHAEL ESQUIVEL
Applicant name (print)
Michael Esquivel 6/16/09
Applicant signature / date

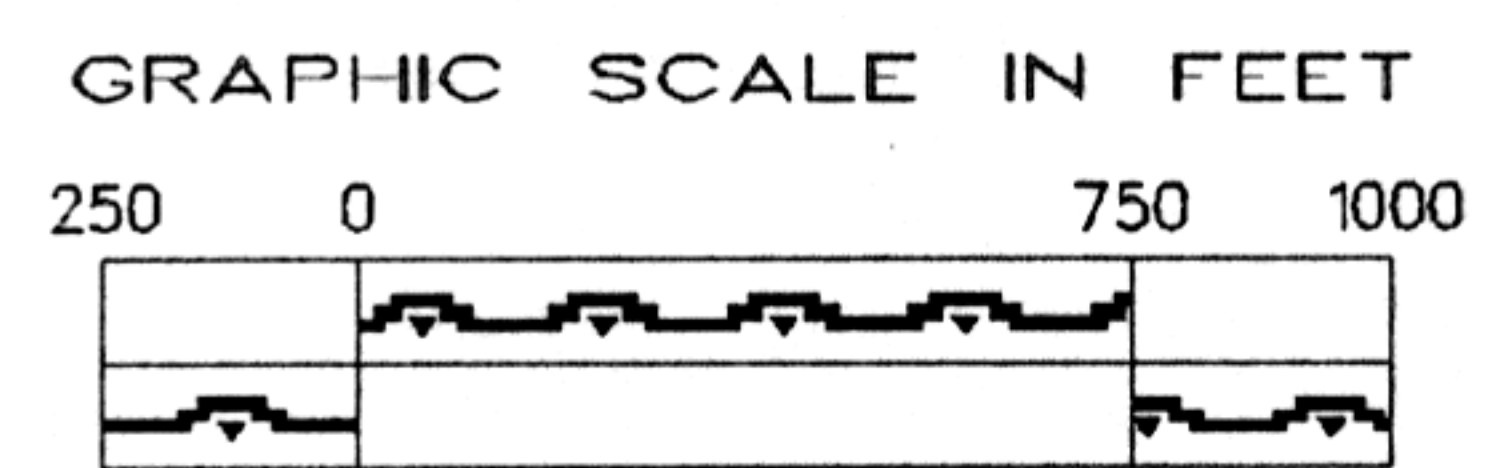
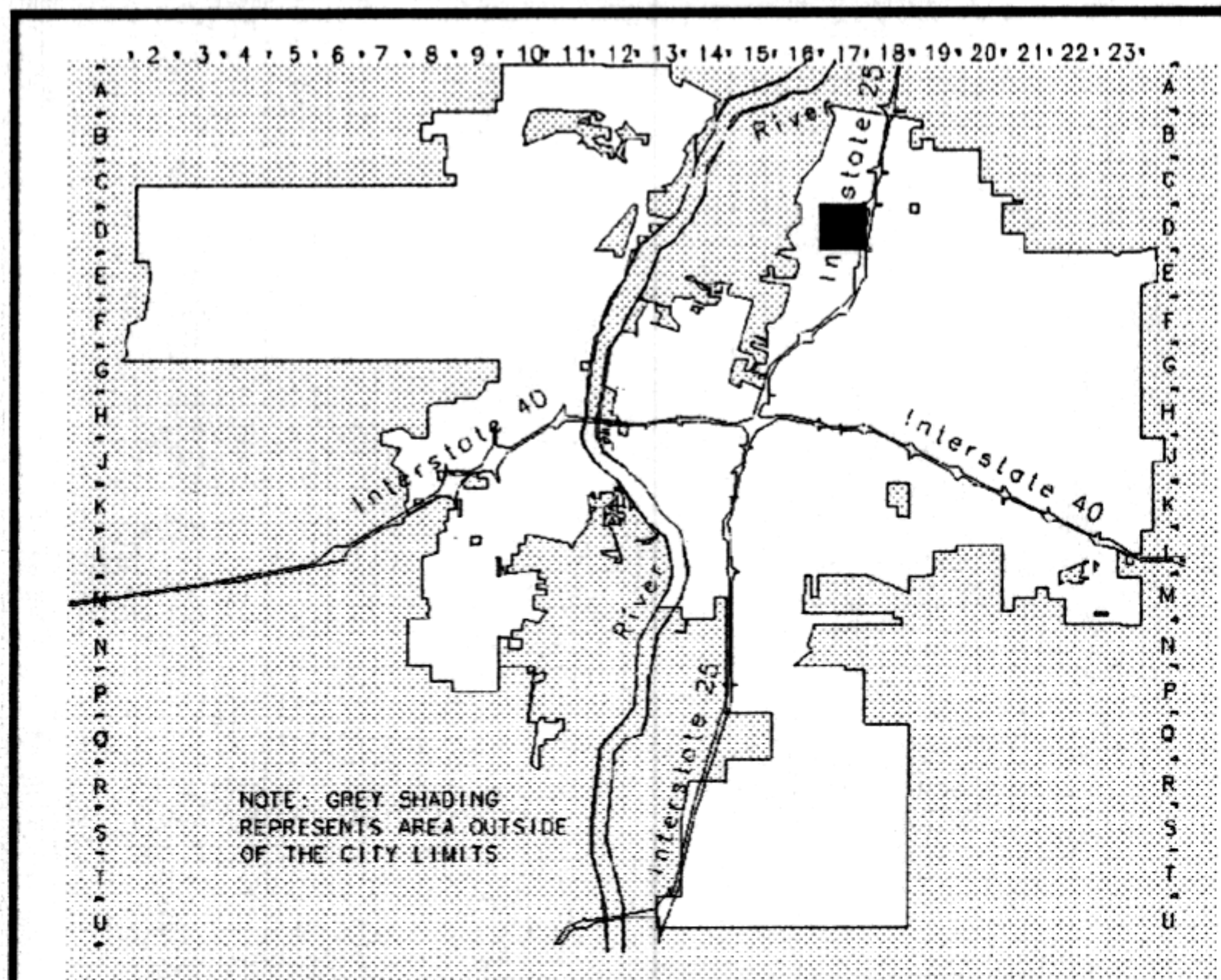
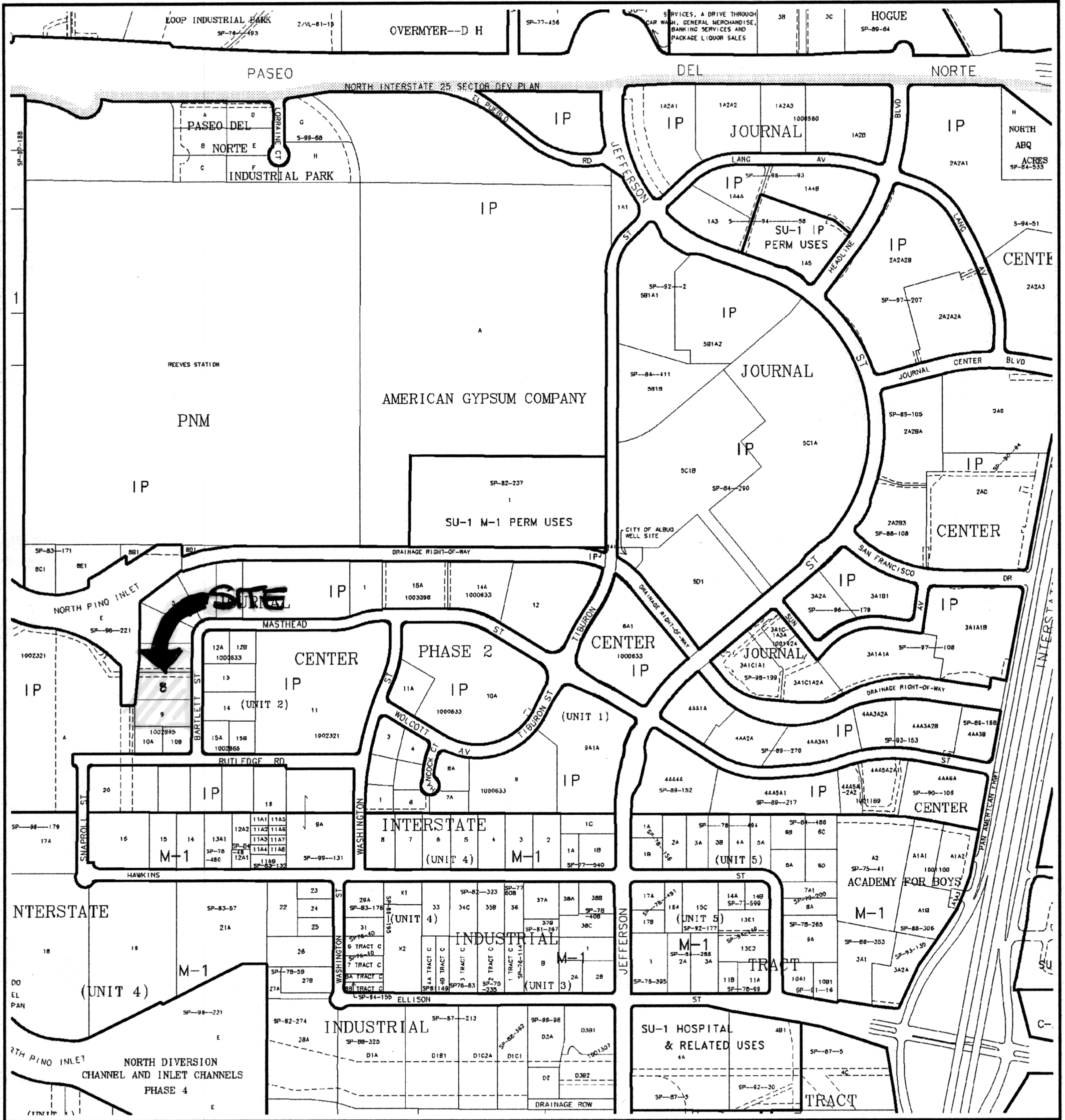


Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
09DRB3 - 70206

Sandy Handley 06/16/09
Planner signature / date
Project # 1007775



Abuquerque **G**eographic **I**nformation **S**ystem
PLANNING DEPARTMENT
© Copyright 2004

Zone Atlas Page

D-17-Z

Map Amended through August 03, 2004

TERRA LAND SURVEYS, LLC

P.O. BOX 2532 • CORRALES, NM 87048 • OFFICE (505) 792-0513 • FAX (505) 792-5233 • terrasurveys@comcast.net

June 16, 2009

City of Albuquerque
Development Review Board
Plaza Del Sol
600 Second Street NW
Albuquerque, NM 87103

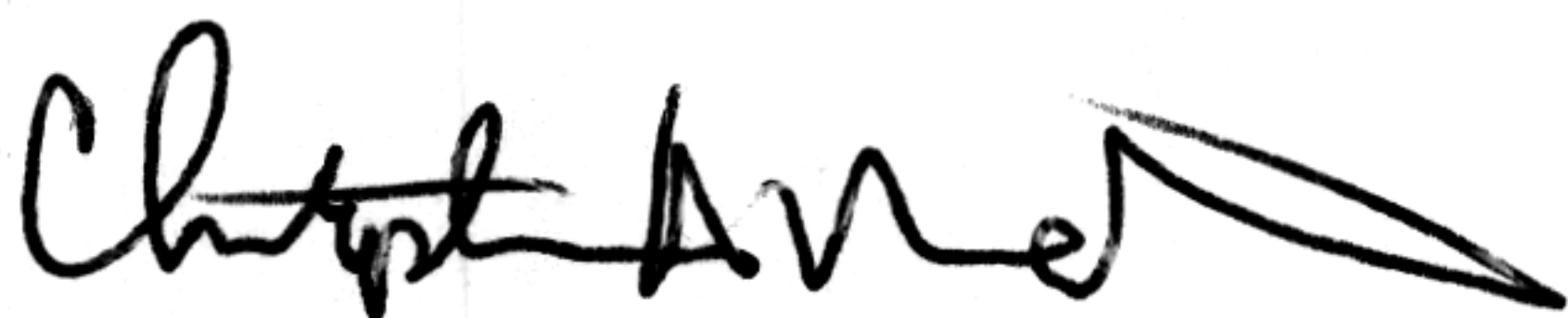
Re: Request for Preliminary Plat/Final Plat Review of the Proposed Replat of Lots 8 and 9 of Journal Center, Phase 2, Unit 2

Ladies and Gentlemen:

This letter is to inform the Development Review Board that Terra Land Surveys, LLC, acting as agent for and on the behalf of Mr. Carlos Martin Lopez & Ms. Patricia A. Lopez, requests review and comment of the proposed minor subdivision, being a replat of existing lots 8 and 9 of Journal Center, Phase 2, Unit 2.

The purpose of this platting action is to consolidate the two existing lots into one lot. Currently lots 8 & 9 are undeveloped. If you have any questions or comments regarding this project, please don't hesitate to contact me at (505) 792-0513.

Sincerely,



Christopher A. Medina, PS
Terra Land Surveys, LLC

GRANT OF LICENSE FOR LANDSCAPING AND MAINTENANCE
ALONG WEST PROPERTY LINE OF LOT 9 OF NORTHERN BUILDERS, LLC
PROPERTY IN JOURNAL CENTER PHASE 2, UNIT 2

G Brunacini Development LLC

For good and valuable consideration, the receipt of which is hereby acknowledged and accepted, the **BRUNACINI DEVELOPMENT LTD CO**, hereinafter called Owner and Licensor, a New Mexico domestic limited liability company, whose address is 7550 Meridian Pl. N.W., P.O. Box 6363, Albuquerque, New Mexico, 87197, hereby grants to **NORTHERN BUILDERS, LLC**, its successors and assigns, hereinafter called Licensee, a New Mexico limited liability company, whose address is HC72, Box 317, Ribera, New Mexico 87560, a License to landscape and maintain a portion of land adjacent to the Jogging/Bicycle Path Right-of-Way ("Licensed Area") located in the Journal Center, Phase II, Unit 2, as shown on the attached Exhibit "A", together with full and free ingress thereto, upon the following terms and conditions:

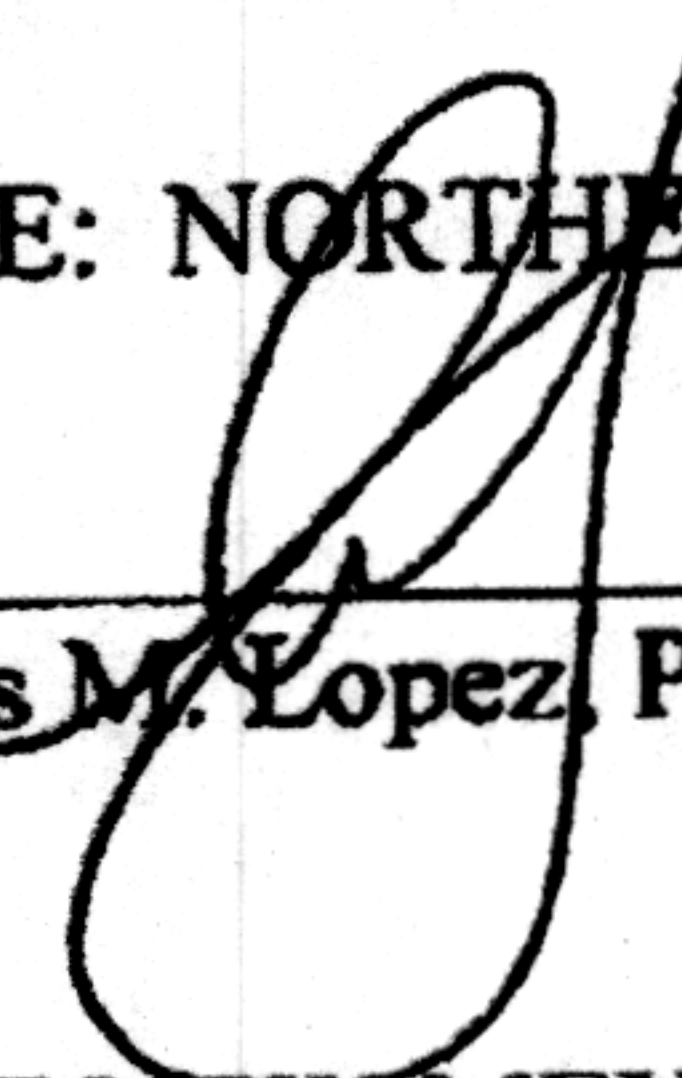
1. The landscaping, including, but not limited to, design, planting, grading, irrigating and maintenance, shall be the sole responsibility and accomplished at the sole expense of the Licensee. Any existing survey control or right-of-way monuments that are moved or destroyed as a result the work permitted by this License shall be replaced by a registered surveyor at the expense of the Licensee.
2. This License does not permit construction of permanent structures, any commercial use, or placement of any signs within the Licensed Area.
3. Work and materials to be used within the Licensed Area shall be subject to inspection by Owner's staff. Owner's comments will be directed to Licensee's Project Manager. Licensee shall be responsive to Owner's comments.
4. Except as provided for in Section 56-7-1, N.M.S.A. 1978, Licensee shall defend, save and hold harmless Owner from all claims or judgments for damages or injury to property or persons arising from the planting, operation, maintenance or removal of any improvements within the Licensed Area; shall defend against any such claims; and shall, should the need arise, reimburse Owner for all reasonable costs or expenses incurred by Owner in the removal of any improvements within the Licensed Area. Determination of whether such improvements should be removed shall be made by Owner, which determination shall be reasonable.
5. Licensee shall be responsible for all damages caused by the landscaping activities.
6. Licensee shall pay the reasonable attorney's fees and court costs incurred by Owner in enforcing the obligations of Licensee under the terms of this License.
7. All or any portion of this License, and the rights and privileges herein granted, may be terminated with or without cause by Owner upon thirty (30) days written notice.
8. Upon termination of all or any portion of this License, Licensee shall remove, at its cost, the landscaping, equipment and related appurtenances from the Licensed Area and shall restore the Licensed Area to the conditions existing, as near as practicable, on the date hereof.

- 9. The Licensee acknowledges that Owner has the right and obligation to enter on the Licensed Area for purposes related to inspection, maintenance, construction, or otherwise. Although Owner will endeavor to avoid damage to Licensee's improvements, Owner shall repair damage at their cost should such damage occur by acts of negligence by Owner or their Agent.
- 10. Licensee shall provide Owner with one set of "as built" plans within thirty (30) days of completion of work to facilitate location of underground facilities.
- 11. This License is valid for a period of thirty (30) years. It must be renewed upon expiration, and the burden of timely renewal is on Licensee.

Witness our hands and seals this 31st day of July, 2009.

Terms and Conditions of License Agreed to and Acknowledged:

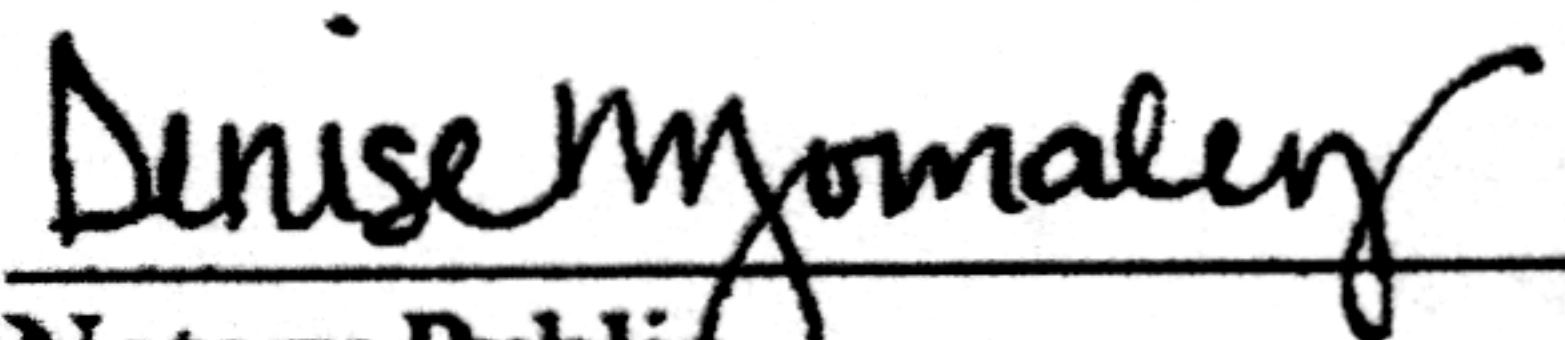
LICENSEE: NORTHERN BUILDERS, LLC

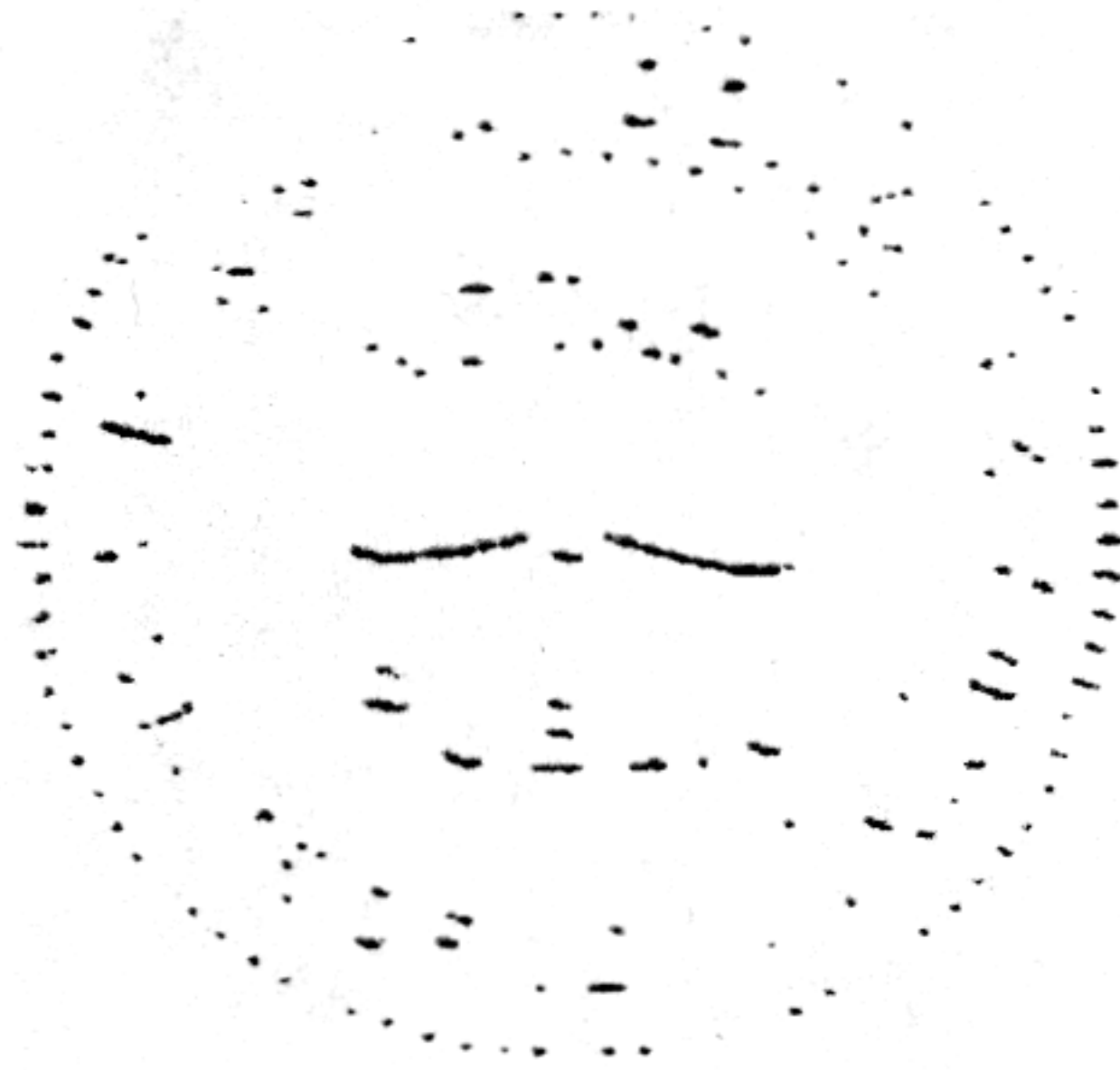
By: 
 Carlos M. Lopez, President

STATE OF NEW MEXICO)
) SS.
 COUNTY OF SAN MIGUEL)

This instrument was acknowledged before me on July 31st, 2009,
 by Carlos M. Lopez as President of Northern Builders, LLC, a New Mexico Domestic Limited
 Liability Company, on behalf of said company.

My Commission Expires:
April 8, 2012
 (SEAL)


 Notary Public



G Brunacini & Son Development LLC.

LICENSOR: ~~BRUNACINI DEVELOPMENT LTD CO~~

By:

[Signature]
J. Angelo Brunacini

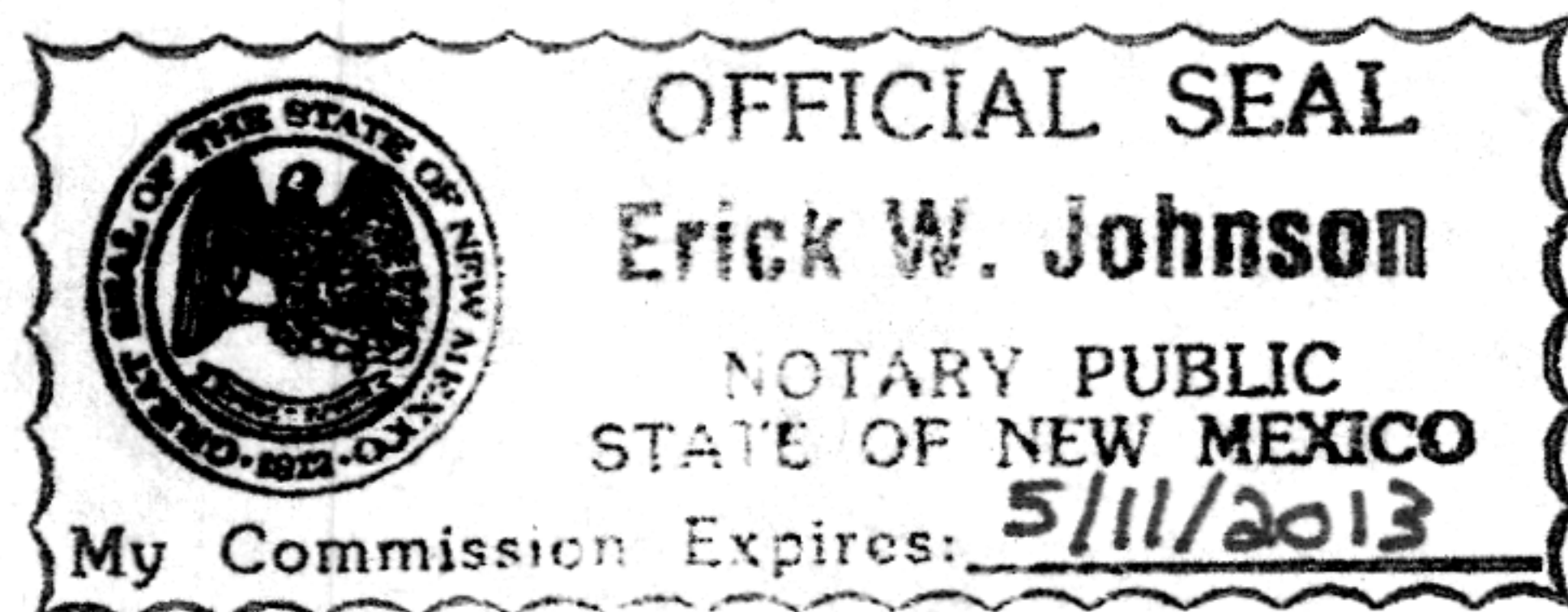
STATE OF NEW MEXICO)
) SS.
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on August 10,
2009, by J. Angelo Brunacini of ~~BRUNACINI DEVELOPMENT LTD CO~~, a New Mexico
domestic limited liability company, on behalf of said company.

My Commission Expires:
5/11/2013

(SEAL)

G Brunacini Development LLC.
[Signature]
Notary Public



**PLAT OF
LOT 8-A
JOURNAL CENTER
PHASE 2, UNIT 2
SITUATE WITHIN**

**PROJECTED SECTION 23, T. 11 N., R. 3 E., N.M.
TOWN OF ELENA GALLEGOS GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE 2009**

11 NORTH,
EGOS GRANT,
WITHIN AND
ON THE PLAT
03C, PAGE 98,
ONE GRID

AR FOR THE
ODETIC
RAL ZONE,
0°41'48"W. A
ID LOT 9,

SOUTHEAST
OCTOBER 11,

TANCE OF

PG. 98)

LOT 8 BEING
DRAINAGE & PUBLIC
-OF-WAY LINE.

03) (BK. 2003C, PG. 98)

NORTHEAST A
CORNER OF

FND 5/8" REBAR BENT
289.64'
289.41'

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

UTILITY APPROVALS:

LEGEND

PUBLIC SERVICE COMPANY OF NEW MEXICO

DATE

NEW MEXICO GAS COMPANY

- △ A.G.R.S. MONUMENT
- FOUND REBAR (AS NOTED)
- ◇ FOUND CHISELED "X" (AS NOTE)
- ⊙ FOUND BRASS CAP (AS NOTED)
- SET 5/8" REBAR W/CAP STAMP

QWEST TELECOMMUNICATIONS

"C.A. MEDINA PS 15709" DATE

COMCAST

DATE

CITY APPROVALS:

CITY OF ALBUQUERQUE SURVEYOR

6-15-09

DATE

N/A

REAL PROPERTY DIVISION

LINE	BEARING	DISTANCE
L1	N00°32'23"E	111.06'
	(N00°19'59"E)	(DATE)

LAND HEREIN
OF JOURNAL
PROPERTY AS
THE DESIRES
AND/OR
EASIBLE TITLE
ASEMENTS AS

SQUARE FEET)

BERNALILLO COUNTY

2, UNIT 2
BOOK) 2003C,

DRAINAGE
BERNALILLO

LINE TO BE ELIMINATED
E FILING OF THIS PLAT.

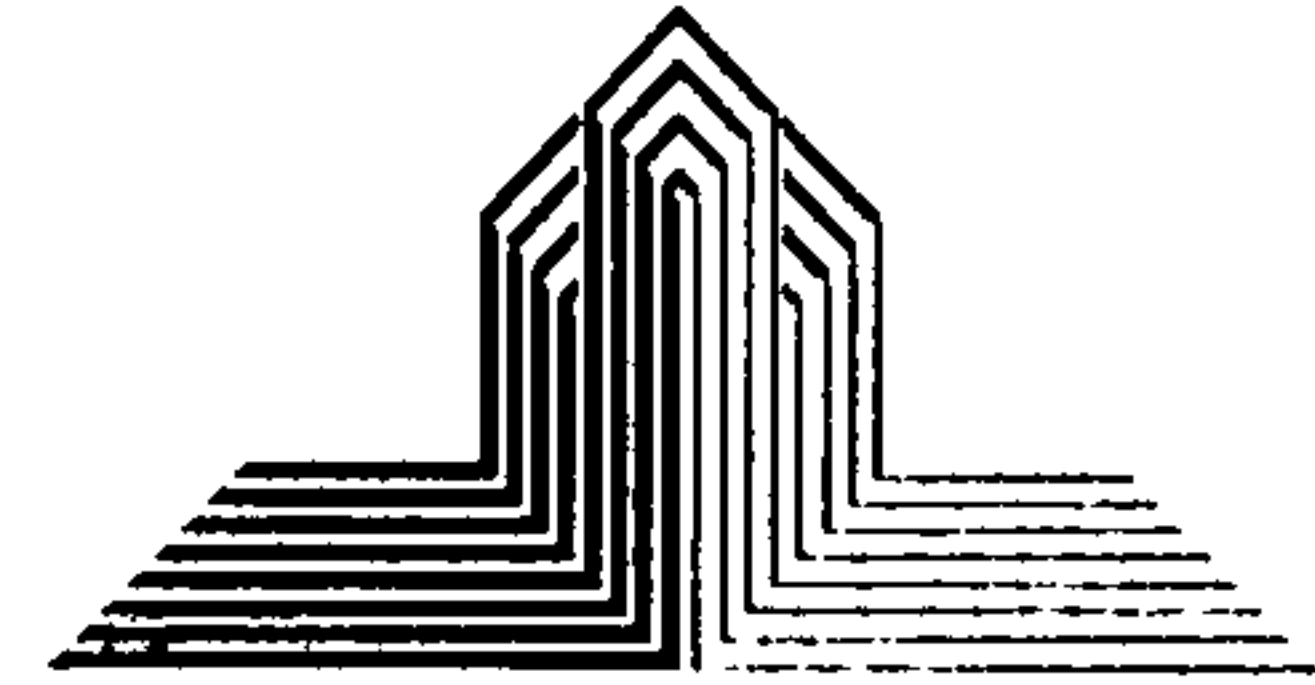
10' P.U.E.
(04/10/2003)

STREET N.E.
RIGHT-OF-WAY

288.5'
288.8'

20'06"
19'59"

**JOURNAL
CENTER
CORPORATION**



June 11, 2009

Mr. Jack Cloud
Planning Department
City of Albuquerque
600 2nd Plaza del Sol N.W.
Albuquerque, NM 87102

Re: Lots 8 & 9, Journal Center Phase II

Dear Mr. Cloud:

The Journal Center Architectural Review Committee has reviewed and approved the site plan; design/building/landscape plans for the referenced project, subject to the conditions noted in the letter from Mr. Collister dated April 28, 2009.

If you should have any questions, please do not hesitate to give me a call.

Sincerely,

Michael N. Callahan
Vice President
Director of Operations

Cc: H. Ronald James, Jr.
HRJ Architecture, LLC
Jack Eichorn
Tiburon Investment

MNC/jk

P.O. Drawer J 7777 Jefferson Street, N.E. Albuquerque, NM 87103
(505) 823-7000 FAX (505) 823-3413

7775

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

Professional/Agent (if any): RON JAMES / HRJ ARCHITECTURE, LLC PHONE: 505-699-8373
 ADDRESS: 182A LA JOYA ROAD FAX: 505-757-8882
 CITY: GLORIETA STATE NM ZIP 87535 E-MAIL: hrj_arch@cybermesa.com

APPLICANT: CARLOS LOPEZ / NORTHERN BUILDERS PHONE: 505-660-6875
 ADDRESS: AC 72 BOX 317 FAX: 505-426-1607
 CITY: RIBERA STATE NM ZIP 87560 E-MAIL: region2_carlos@yahoo.com
 Proprietary interest in site: OWNER List all owners: CARLOS LOPEZ

DESCRIPTION OF REQUEST: SITE DEVELOPMENT PLAN APPROVAL FOR BUILDING PERMIT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 849 Block: _____ Unit: 2
 Subdiv/Addn/TBKA: JOURNAL CENTER PHASE 2
 Existing Zoning: IP Proposed zoning: -
 Zone Atlas page(s): D-17 UPC Code: _____ MRGCD Map No _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): _____

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? _____
 No. of existing lots: 2 No. of proposed lots: 1 Total area of site (acres): 2.00±
 LOCATION OF PROPERTY BY STREETS: On or Near: BARTLETT STREET NE
 Between: MASTHEAD STREET and HAWKINS STREET
 Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE

H. RONALD JAMES, JR. DATE 30 APRIL 2009
 (Print) H. RONALD JAMES, JR. Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>09DRB</u> <u>70164</u>	<u>SBP</u>	<u>P(2)</u>	\$ <u>385.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>ADV</u>	_____	\$ <u>75.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ <u>20.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
	Hearing date <u>05/27/09</u>			Total \$ <u>480.00</u>

Sandy Hawley 04/30/09 Project # 1007775
 Planner signature / date

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- DRB hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

H. RONALD JAMES JR
 Applicant name (print)
[Signature] 4/30/09
 Applicant signature / date



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 09 DRB _____ 70164

Form revised October 2007
Sandy Handley 04/30/09
 Planner signature / date
 Project # 100775

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from MAY 12, 2009 To MAY 27, 2009

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

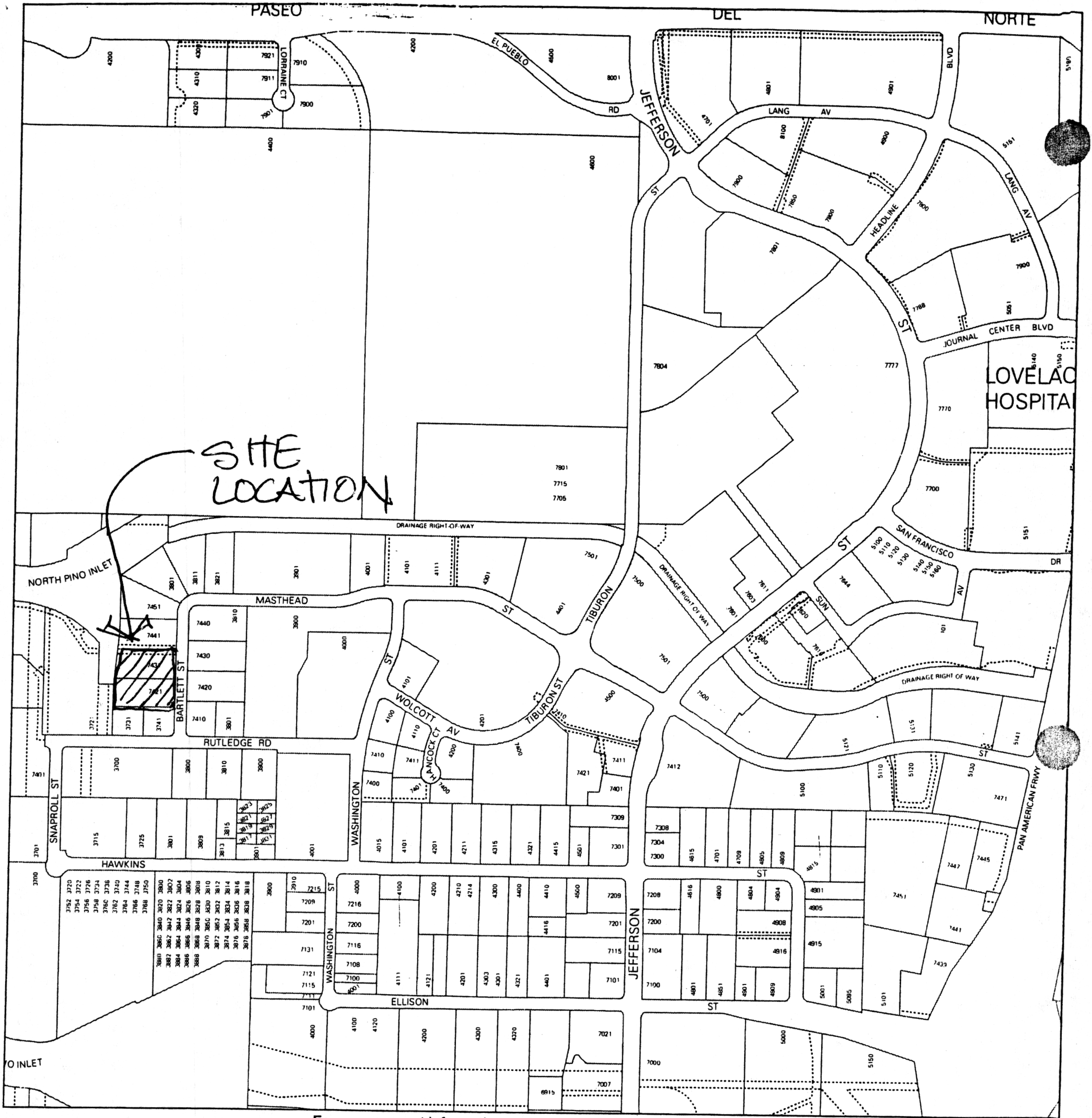
I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

[Signature]
(Applicant or Agent)

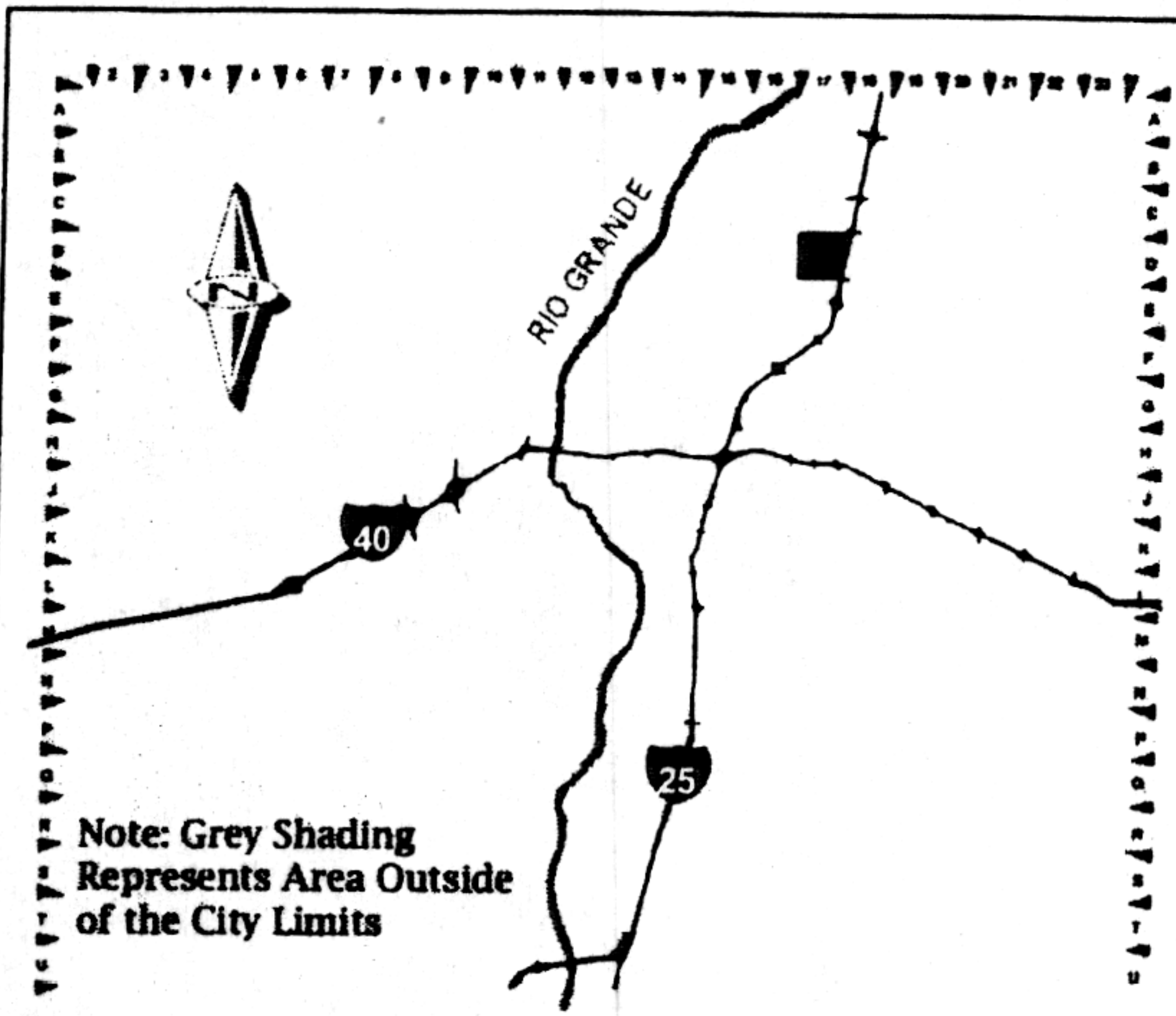
30 April 2009
(Date)

I issued 1 signs for this application, 04/30/09 Sandy Hardley
(Date) (Staff Member)

DRB PROJECT NUMBER: 1007775



For more current information and more details visit: <http://www.cabq.gov/gis>

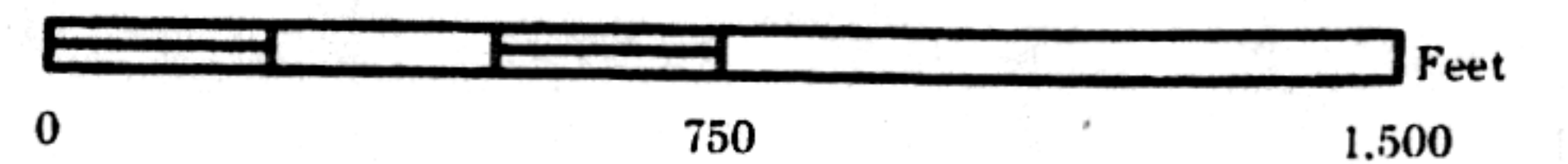
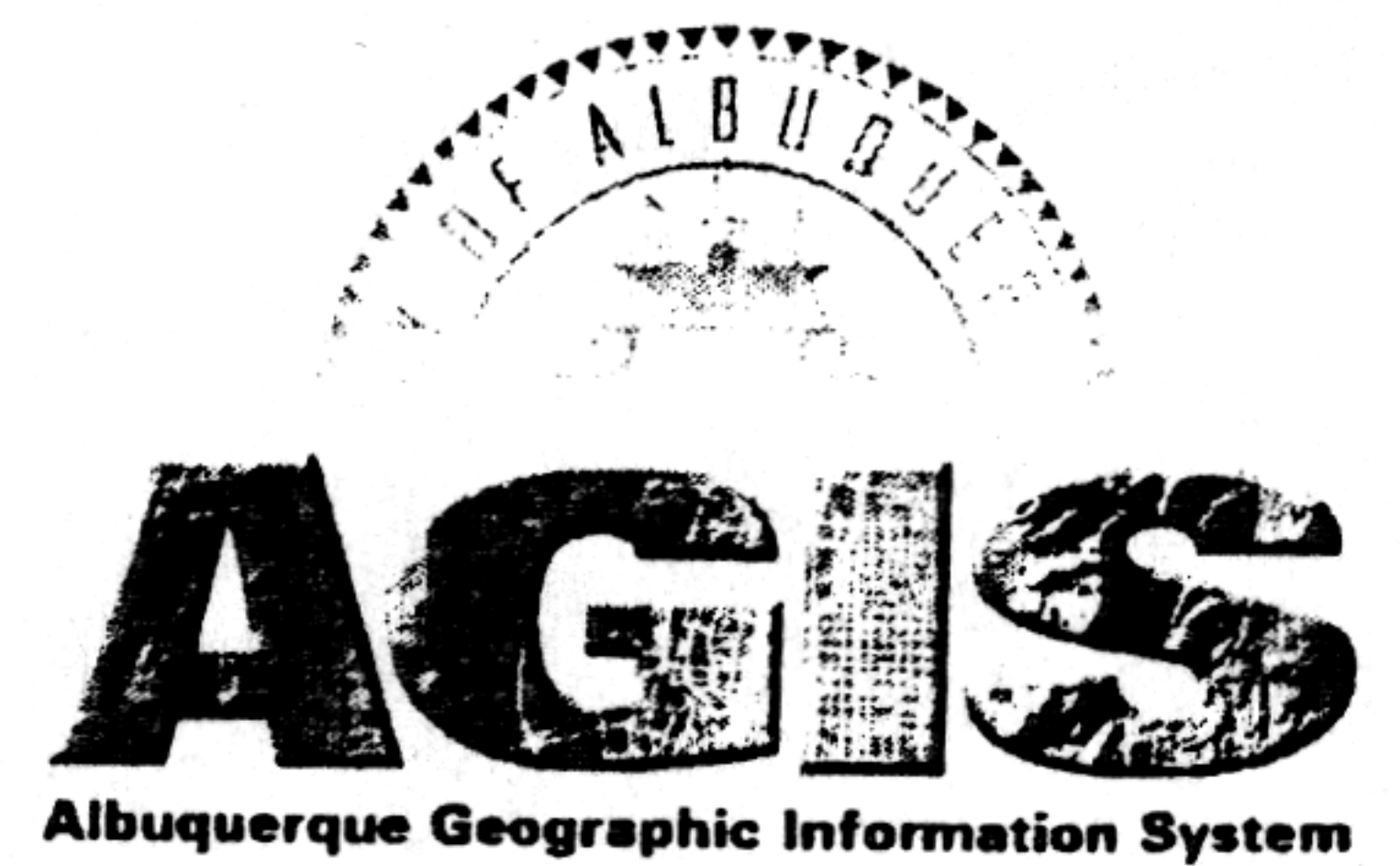


Note: Grey Shading Represents Area Outside of the City Limits

Address Map Page:
D-17-Z

Map amended through: 4/7/2008

These addresses are for information purposes only and are not intended for address verification.



CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT: CARLOS LOPEZ DATE OF REQUEST: 4/30/09 ZONE ATLAS PAGE(S): D-17

CURRENT: ZONING TP LEGAL DESCRIPTION: LOT OR TRACT # 840 BLOCK # _____
PARCEL SIZE (AC/SQ. FT.) 2± AC/87,120 SF SUBDIVISION NAME JOURNAL CENTER Phase 2, Unit 2

REQUESTED CITY ACTION(S):
ANNEXATION [] SECTOR PLAN [] SITE DEVELOPMENT PLAN:
COMP. PLAN [] ZONE CHANGE [] A) SUBDIVISION [] BUILDING PERMIT
AMENDMENT [] CONDITIONAL USE [] B) BUILD'G PURPOSES [] ACCESS PERMIT []
C) AMENDMENT [] OTHER []

PROPOSED DEVELOPMENT: GENERAL DESCRIPTION OF ACTION:¹
NO CONSTRUCTION/DEVELOPMENT [] # OF UNITS: _____
NEW CONSTRUCTION BUILDING SIZE: 26,850 (sq. ft.)
EXPANSION OF EXISTING DEVELOPMENT []

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE: [Signature] DATE: 30 April 2009
(TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO BORDERLINE []

THRESHOLDS MET? YES [] NO MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []
Notes:

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. *Any subsequent changes to the development proposal identified above may require an update or new TIS.*

TRAFFIC ENGINEER: [Signature] DATE: 4-30-09

Air Quality Impact Analysis (AQIA) May Be Required:

Section 14-16-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. An AQIA is not required, if a TIS is not required by the City or an associated TIS shows all signalized intersections functioning at Level of Service (LOS) C or better. An AQIA will only be required for a Sector Development Plan or Sector Development Plan Amendment if it meets AQIA thresholds in the Zoning Code.

AIR QUALITY IMPACT ANALYSIS (AQIA) REQUIRED: YES [] NO

Contact an Air Quality Planner at 768-2660 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. *Any subsequent changes to the development proposal identified above may require an update or new AQIA.*

APPLICANT: [Signature] DATE: 30 April 2009

Required TIS and/or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / / TRAFFIC ENGINEER _____ DATE _____
-FINALIZED / /

HRJ ARCHITECTURE, LLC ■●▲

PO Box 1088; Pecos, New Mexico 87552
182a La Joya Road; Glorieta, New Mexico 87535
1606 Seventh Street, Suite A; Las Vegas, New Mexico 87701

Telephone (505) 757-3691
e-mail: hrj_arch@cybermesa.com

30 April, 2009

City of Albuquerque
Planning Department
600 2nd Street NW
Albuquerque, New Mexico 87103

Re: Lot 8&9 of Journal Center Phase 2, Unit 2. Address: 7421 Bartlett Street, Albuquerque, New Mexico

To Whom It May Concern:

We are submitting the above referenced property for Site Development Plan for Building Permit approval. The building will be a new building named Zepol Complex. The building is designed to be leased to the State of New Mexico Disability Determination Services. Use of the building will be for offices and is designed to be very compatible with the other neighboring buildings within the Journal Center park. The overall appearance, site design, and landscaping has been reviewed by the Journal Center 2 Architectural Review Committee and a letter of approval has been included.

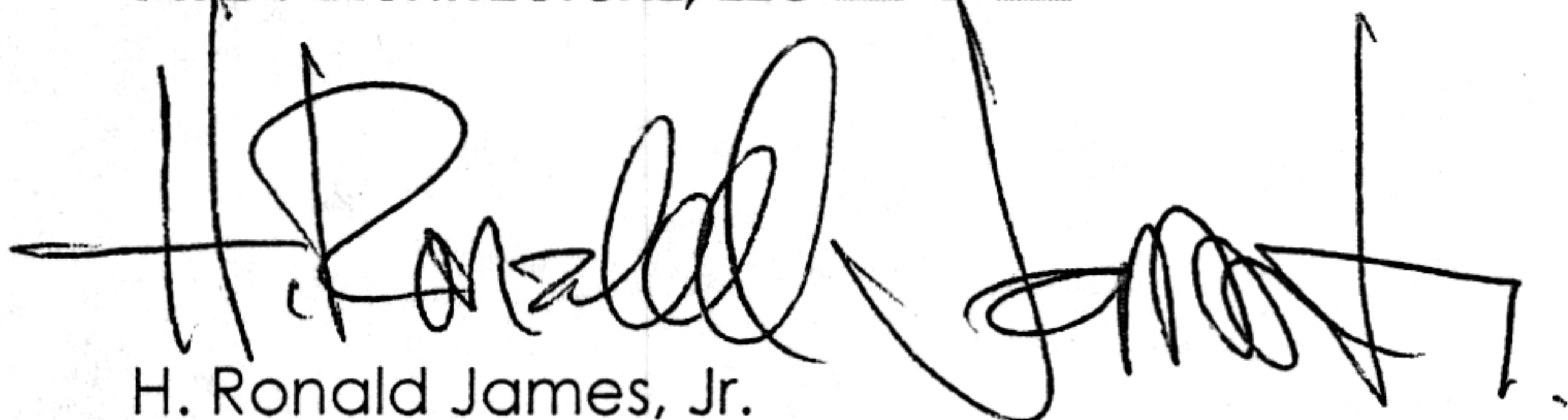
The building will be two stories with the design incorporating stucco for the majority of the building and metal insulated panels as accents. Landscaping design complies with Journal Center 2 landscaping requirements and meets the City of Albuquerque requirements for landscaping.

We are requesting approval of the site plan, grading and drainage, elevations, and landscaping so that the owner may proceed with the building permit process.

If you have any questions regarding this matter, please call me at (505) 699-8373.

Sincerely,

HRJ ARCHITECTURE, LLC ■●▲



H. Ronald James, Jr.
President/Architect



April 28, 2009

VIA EMAIL ONLY – region2_carlos@yahoo.com

Carlos M. Lopez, Owner
Northern Builders LLC
HC 72 Box 317
Ribera, NM 87560

Re: Lots 8 & 9, Unit 2 Journal Center 2 (7421 Bartlett St. NE) – Plans dated April 14, 2009 Design Review Approval by Journal Center 2 Architectural Review Committee

Dear Mr. Lopez:

We reviewed the submittal for the above referenced project and approve plans, colors, materials and specifications, with the following conditions:

1. All roof mounted mechanical equipment must be screened from view.
2. You must prepare and implement a Storm Water Pollution Prevention Plan (SWPPP) and file a Notice of Intent (NOI) for Storm Water Discharges Associated with Construction Activity Under an National Pollutant Discharge Elimination System (NPDES) General Permit.
 - Under the provisions of the Clean Water Act federal law prohibits storm water discharges from certain construction activities to waters of the U.S. unless that discharge is covered under a NPDES Permit.
 - You may obtain additional information regarding NPDES and submit your NOI electronically at: www.epa.gov/npdes/stormwater/cgp, or telephone Storm Water Notice Processing Center at 866-352-7755.

This approval constitutes approval of the above referenced plans, colors, materials and specifications for reliance by the City of Albuquerque Development Review Board.

By copy of this letter we are transmitting the plans, colors/material board and specifications to the Journal Center Architectural Review Committee for their review. We will advise you of their action as soon as they review the plans.

Thank you for the submittal.

Very truly yours,

Douglas H. Collister
Administrative Manager

Copy Journal Center Architectural Review Committee – Attention: Mike Callahan
Journal Center 2 Architectural Review Committee

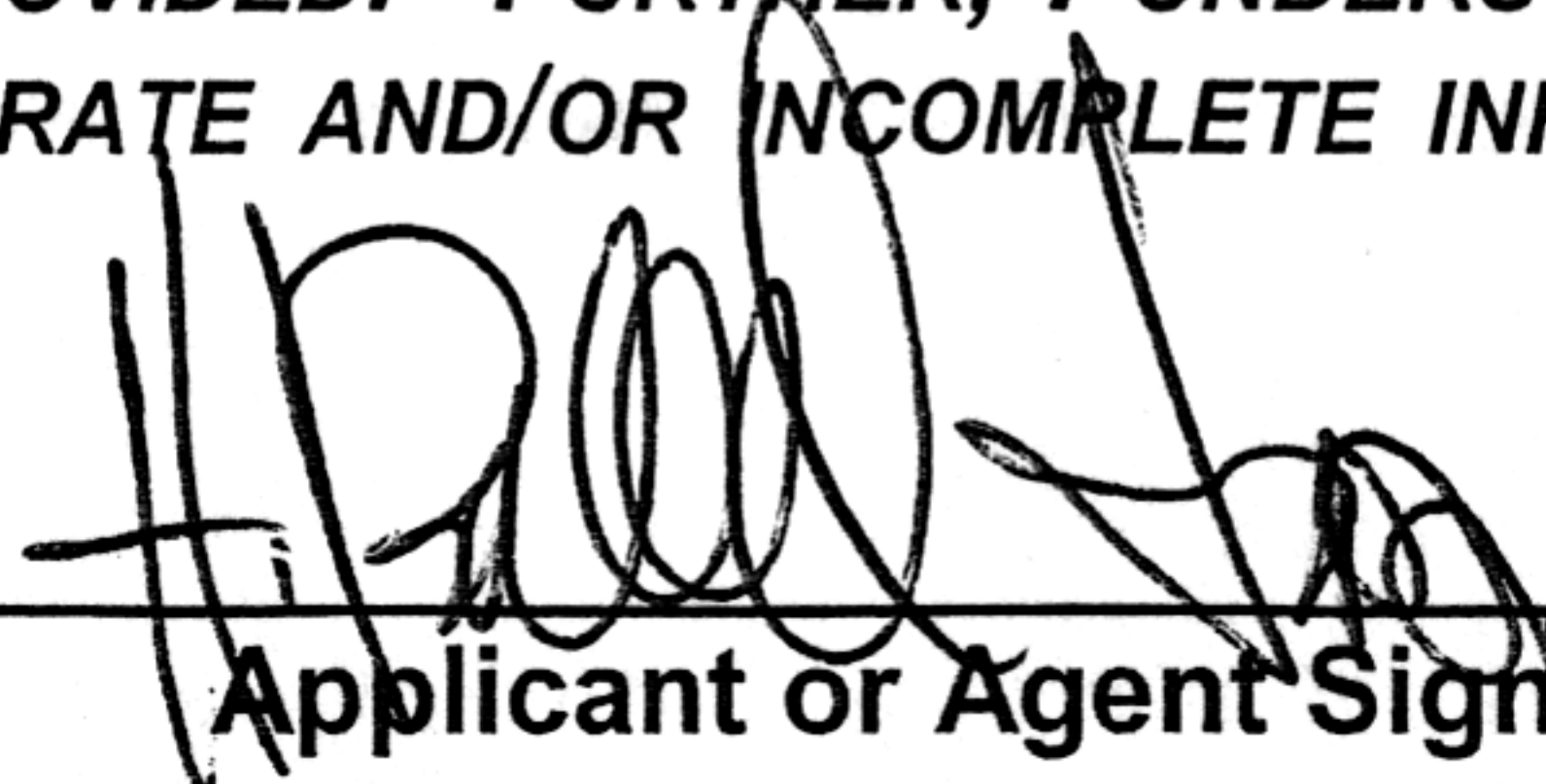
TIBURON INVESTMENT, LLC

2500 PARKWAY AVENUE NE, SUITE 200 RIO RANCHO, NM 87144
TELEPHONE 505.823.9360 FAX 505.823.9611

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.


Applicant or Agent Signature / Date 30 Apr 09

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**
6. **Previously approved Development Plan (if applicable)**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.**

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' *[Other scales as approved by staff]*
- 3. Bar scale
- 4. North arrow
- 5. Scaled vicinity map
- 6. Property lines (clearly identify)
- 7. Existing and proposed easements (identify each)
- 8. Phases of development including location and square footages of structures, circulation, parking and landscaping

SITE DEVELOPMENT PLAN FOR BUILDING PERMITS CHECKLIST

B. Proposed Development (If supplemental Sheets are used please indicate sheet #)

1. Structural

- A. Location of existing & proposed structures (distinguish between existing & proposed, include phasing)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- Cl.1 E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- NA G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- Cl.1 J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Site amenities including patios, benches, tables, (indicating square footage of patios/ plazas).

2. Parking and Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. **Location and typical dimensions**, including handicapped spaces
 - 2. **Calculations:** spaces required: 113 provided: 120
Handicapped spaces (included in required total) required: 8 provided: 8
Motorcycle spaces (in addition to required total) required: 4 provided: 4
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 4 provided: 9
 - 2. Bikeways and other bicycle facilities, if applicable
- C. Public Transit
 - 1. Bus facilities, including routes, bays and shelters existing or required
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
- E. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
 - 6. Existing and proposed street widths, right-of-way widths and curve radii
 - 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 8. Location of traffic signs and signals related to the functioning of the proposal
 - 9. Identify existing and proposed medians and median cuts

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

3. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system - Phase I & II . . .
- 9. Backflow prevention detail
- 10. Planting Beds, indicating square footage of each bed
- 11. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 12. Responsibility for Maintenance (statement)
- 13. Statement of compliance with Water Conservation . . . Ordinance, see article 6-1-1-1.
- 14. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 15. Landscaped area provided; square footage and percent (specify clearly on plan)
- 16. Planting or tree well detail
- 17. Street Tree Plan as defined in the Street Tree Ord.

SHEET # 3 PRELIMINARY GRADING PLAN

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1 with written approval from the Planning Department Staff.

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 UTILITY PLAN

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

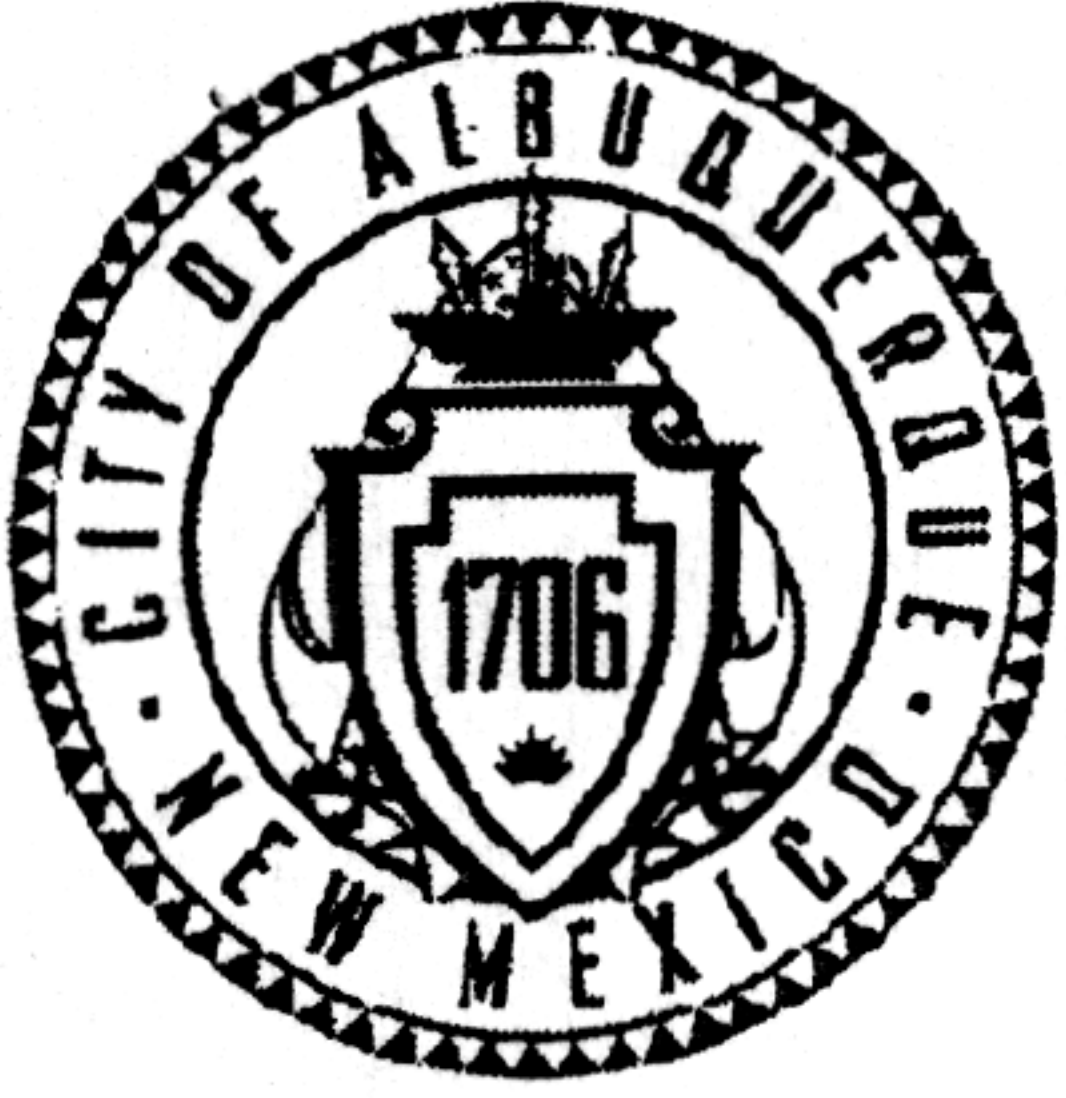
SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation (north, south, east, & west).
 - 2. Facade dimensions including overall height and width
 - 3. Location, dimensions, materials, and colors of principle facade elements- windows, doors, etc.
 - 4. For EPC and DRB submittals only – Color renderings or similar (12 copies) illustrations
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.



DEVELOPER INQUIRY SHEET

(To be completed prior to application submittal)

The Office of Neighborhood Coordination (ONC) located in Room 120 (basement) of the Plaza Del Sol Building, 600 Second Street NW, Fax: (505) 924-3913 – will need the following information **BEFORE** neighborhood and/or homeowner association information will be released to the applicant/agent on any project being presented to the Planning Department of the City of Albuquerque. If you have any questions, please feel free to contact our office at (505) 924-3914. Your Developer Inquiry is for the following:

Cell Tower & Type: Free-Standing Tower -OR- Concealed Tower

Private Development EPC DRB LUCC Liquor Submittal

Administrative Amendments (AA's)

City Project

Special Exception Application (ZHE)

CONTACT NAME: RON LAMES

COMPANY NAME: HR ARCHITECTURE, LLC

ADDRESS/ZIP: 102A LA JOYA RD

PHONE: 505-699-8373 FAX: 505-757-8882

LEGAL DESCRIPTION INFORMATION

PLEASE FORWARD INFORMATION ON ANY NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATION IN THE AREA OF THE PROPERTY DESCRIBED BELOW:

LOTS 8 & 9 PLAT OF JOURNAL CENTER PHASE 2, UNIT 2

LOCATED ON 7421 & 7431 BARTLETT STREET NE

LEGAL DESCRIPTION
STREET NAME OR OTHER IDENTIFYING LANDMARK

BETWEEN MASHHEAD STREET AND

STREET NAME OR OTHER IDENTIFYING LANDMARK

RUTLEDGE ROAD

STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS INDICATED ON THE FOLLOWING ZONE ATLAS PAGE (D-17).
(PLEASE MARK/HATCH ZONE MAP WHERE PROPERTY IS LOCATED)
(Zone Map **MUST** be provided with request)



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: 4.30.09

Planning Department
Plaza Del Sol Building
600 Second St. NW
Second Floor (924-3860)

This letter will serve to notify you that on 4.30.09
(date)

TO CONTACT NAME: RON JAMES
COMPANY/AGENCY: HRT Architecture LLC
ADDRESS/ZIP: 182 RAJOYA Rd
PHONE/FAX #: 699-8373 757-8882

Contacted the Office of Neighborhood Coordination requesting the contact names for **ALL Affected Neighborhood and/or Homeowner Associations** affected by their request concerning a Zoning Action or Site Development Plan, etc. at 7421 + 7431
Bartlett Street NE, MASTHEAD ST.

zone map page(s) D-17.

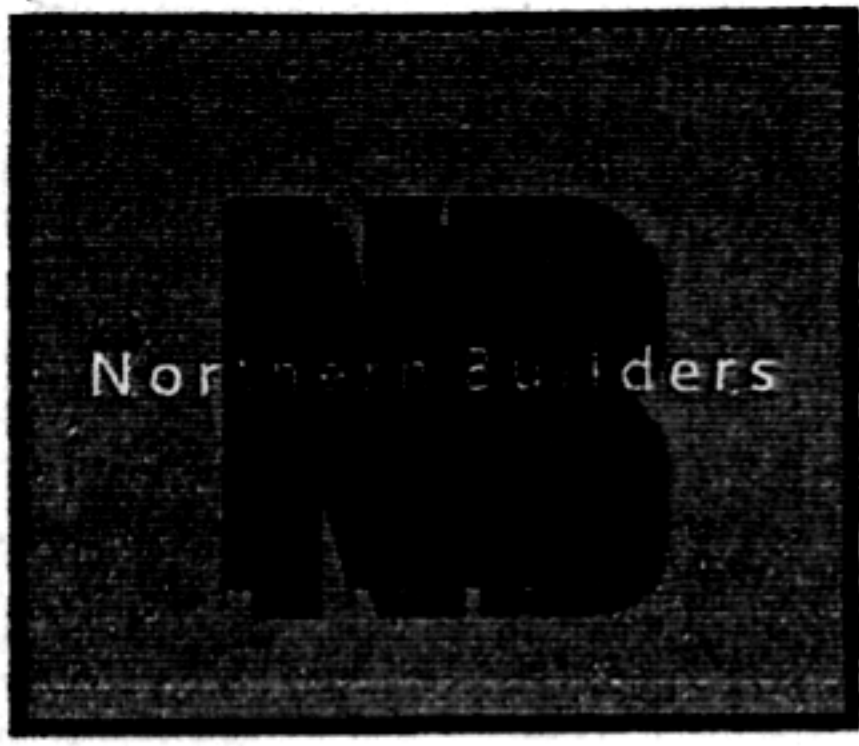
Our records indicate that as of 4/30/09, there were **No Affected**
(date)

Neighborhood and/or Homeowner Associations in this area.

If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,


OFFICE OF NEIGHBORHOOD COORDINATION



N o r t h e r n B u i l d e r s L L C

NEW MEXICO LICENSE # 353074

HC 72 Box 317
Ribera, New Mexico 87560

Phone: (505) 660-6875
Fax: (505) 426-1607
Email: region2_carlos@yahoo.com

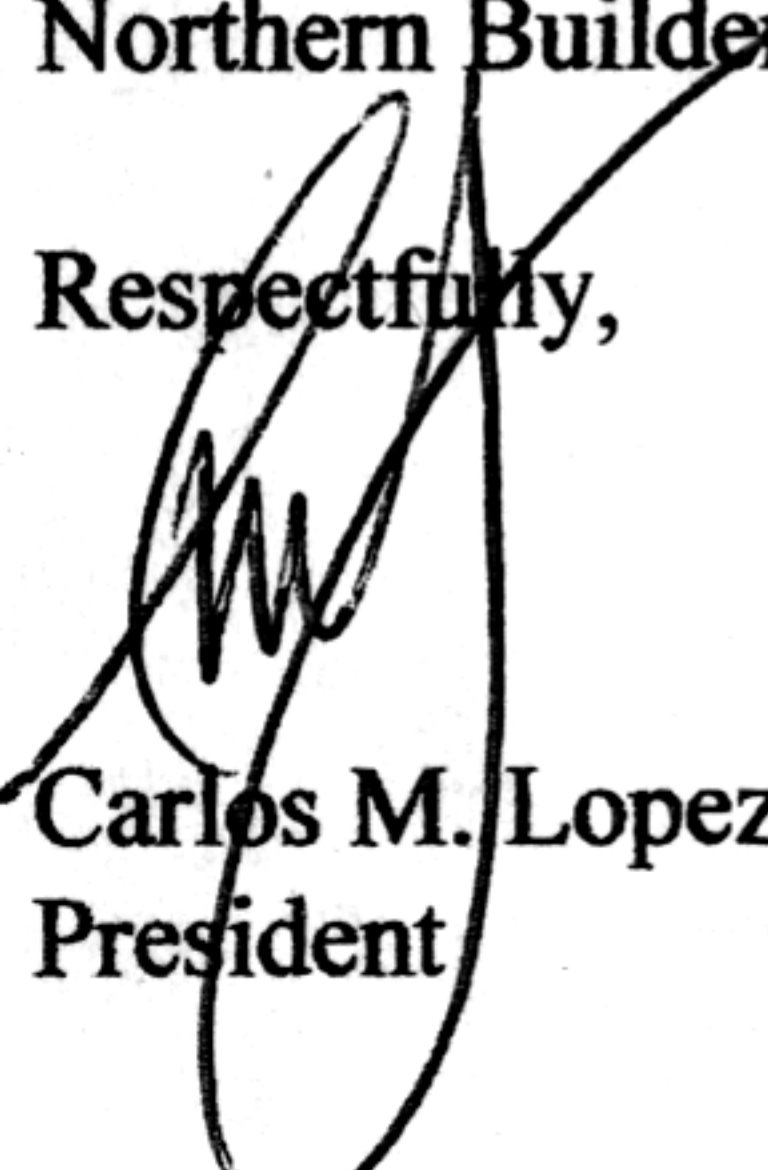
April 29, 2009

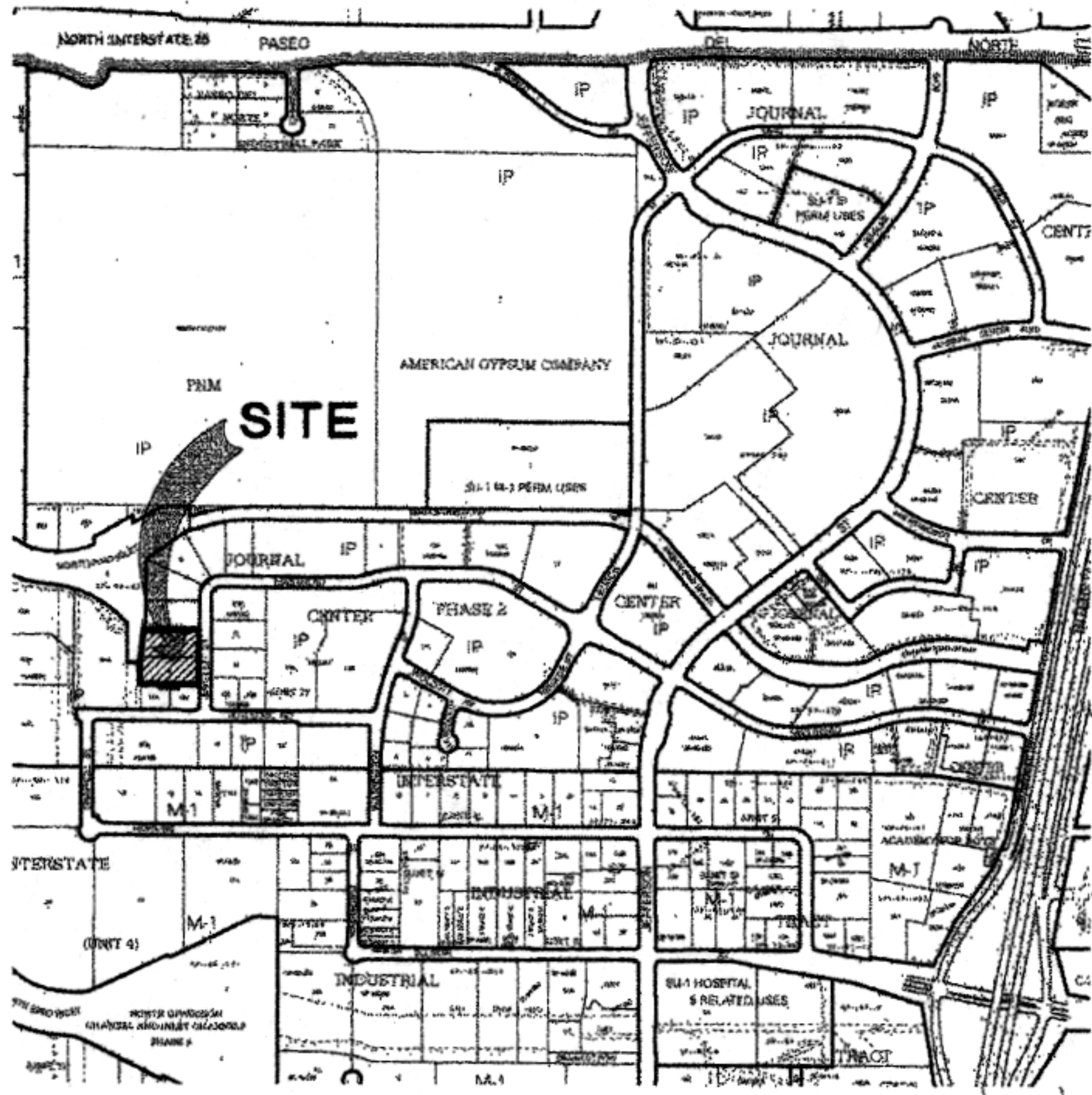
Plaza Del Sol Building
600 2nd Street NW
Albuquerque, N.M. 87102

City of Albuquerque,

I authorize H. Ronald James, Jr. of HRJ Architecture, LLC to act as our agent for the Zepol Complex at Journal Center 2 for Northern Builders LLC.

Respectfully,


Carlos M. Lopez
President



VICINITY MAP
1" = 750'

ZONING MAP: D-17-Z

KEYED NOTES:

1. HANDICAP RAMP PER CITY OF ALBUQUERQUE STANDARDS 2406
2. MONUMENT SIGN SIGN TO MEET JOURNAL CENTER, TENANT, AND CITY OF ALBUQUERQUE REGULATIONS
3. ELECTRICAL TRANSFORMER
4. 7' HIGH METAL SECURITY FENCE. SEE DETAIL 2/C1
5. ELECTRICAL ACCESS GATE
6. ENTRY/EXIT GATE CARD READER
7. LOCKED GATE W/ CARD READER
8. 4'-0" WIDE MOTORCYCLE PARKING SPACES
9. 20' POLE LIGHT FOR BUILDING LIGHTING SEE A31 4 A32
10. BICYCLE RACK, 3 SPACES
11. WOOD BENCH
12. ARTS IN PUBLIC PLACES LOCATION
13. SLOPED SIDEWALK HANDICAP RAMP, MAXIMUM RAMP SLOPE OF 1:1
14. BICYCLE RACK, 6 SPACES
15. CONCRETE STAMPED EMPLOYEE PLAZA
16. COVERED PICNIC TABLE
17. FIRE-ENGINEERED METAL BUILDING CANOPY FOR 20 COVERED PARKING SPACES
18. FUTURE EXPANSION OF FIRST AND SECOND FLOOR
19. TRASH ENCLOSURE. SEE DETAIL 1/C1
20. 6" WIDE X 6" HIGH ABOVE ADJACENT SURFACE, HEADER CURB
21. RAMP LANDING AT SITE ELEVATION AS PARKING LOT. SEE 4/C1
22. PAINTED 17" BLOCK LETTERS AND/OR SYMBOL INDICATING TYPE OF PARKING SPACE
23. EXISTING FIRE HYDRANT
24. EXISTING WATER LINE ON LOT 9 SHUT-OFF TO BE USED FOR SERVICE. LOT 8 LINE TO BE LEFT IN CURRENT LOCATION, ADJUST TO PAYMENT LEVEL AND PROVIDE LOCKING TOP FOR BOTH EXISTING METER BOXES
25. LOCATION OF NEW WATER METER. PROVIDE LOCK TOP FOR METER. EXISTING 1/2" WATER LINE CONSTRUCTED OF C-900 PIPE
26. CONNECT FIRE LINE TO EXISTING 6" FIRE LINE. FIRE LINE CONSTRUCTED OF C-900 PIPE
27. CONNECT SANITARY SELLER LINE TO 6" SANITARY SELLER TAP. LINE CONSTRUCTED OF 80R-36
28. GAS LINE TO BE CONNECTED TO EXISTING LINE. VERIFY W/ GAS COMPANY.
29. HANDICAP SIGN TYPICAL EACH HANDICAP PARKING SPACE. SEE 3/C1
30. EXISTING TELEPHONE OR CABLE TV FEDESTAL. COORDINATE RELOCATION WITH RESPECTIVE COMPANY
31. EXISTING TRASH ENCLOSURE
32. NEW 4" CONCRETE SIDEWALK

AFO PLANS CHECKING OFFICE
924-3511
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
4/30/09
SIGNATURE & DATE

PARKING ANALYSIS

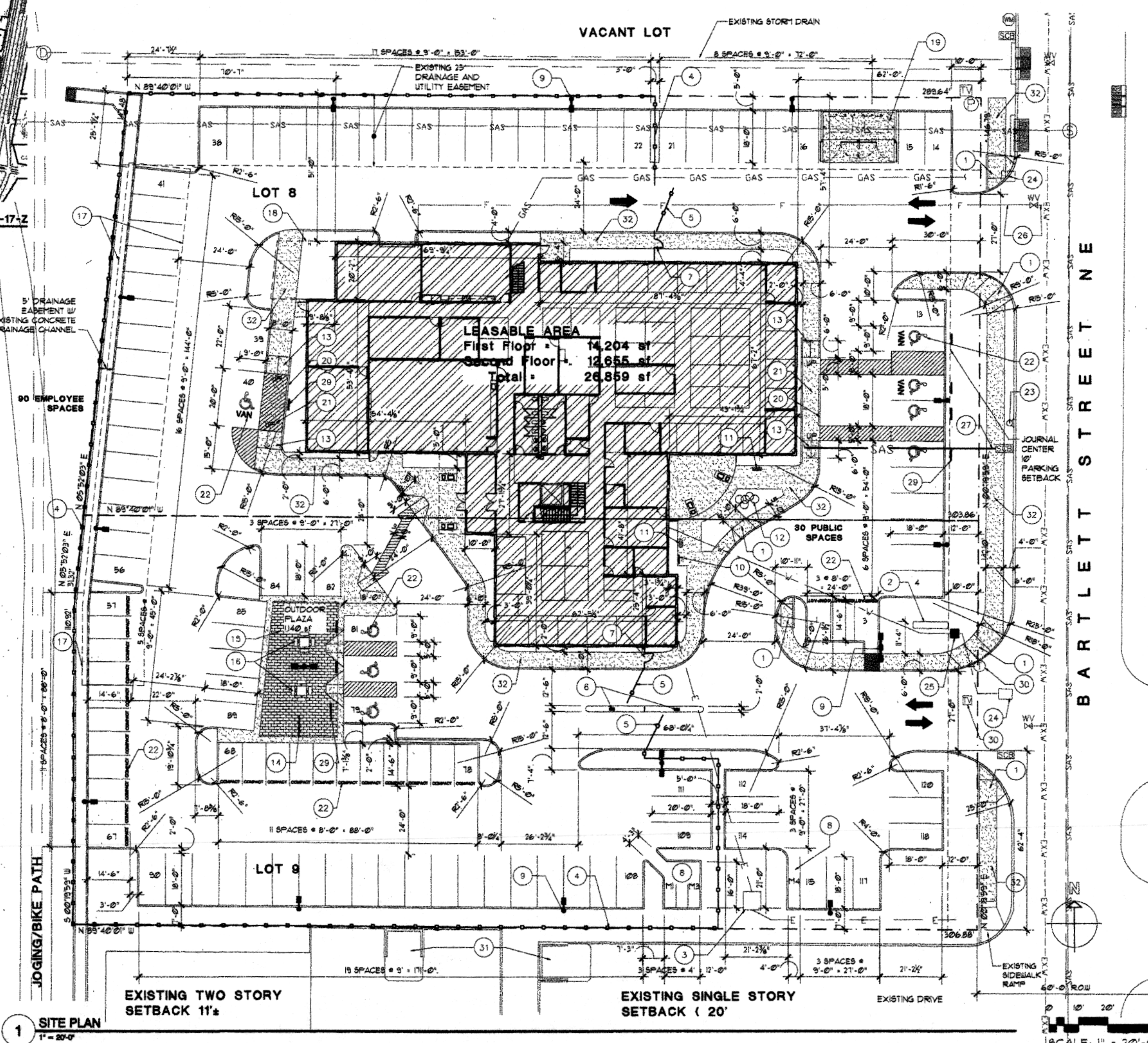
1. PARKING TO BE PER CITY OF ALBUQUERQUE ZONING CODE 14-16-3-1
 2. PARKING SPACES REQUIRED:
OFFICE: 1 SPACE PER 200 SF. OF NET LEASABLE AREA ON THE GROUND FLOOR AND 1 SPACE PER 300 SF. OF NET LEASABLE AREA OF ALL FLOORS ABOVE THE GROUND FLOOR. (AX2)
 3. REGULAR CAR PARKING SPACE + 9'x18'. ALLOW 2'-0" OVERHANG
 4. SMALL CAR PARKING (8'x16') - 75% ALLOWED (120/75 = 30 SPACES) - 30 PROVIDED. ALLOW 1'-6" OVERHANG
 5. DISABLED PARKING SPACES (10'-0" x 13'-0") = 9'x20" REQUIRED PER (F.X.9)
 6. MOTORCYCLE PARKING (10'-10" x 4'-0") SPACES (4'x8') PER (F.X.7)
 7. BICYCLE (1/2) PARKING SPACES 6 SPACES PER (B.X.3) - 3 PUBLIC AND 6 EMPLOYEE
- | | REQUIRED | PROVIDED |
|---|----------|----------|
| 113 SPACES - REGULAR | 6 | 5 |
| VAN (1:6) | 3 | 2 |
| MOTORCYCLE PARKING (10'-10" x 4'-0") SPACES (4'x8') PER (F.X.7) | 4 | 4 |
| BICYCLE (1/2) PARKING SPACES 6 SPACES PER (B.X.3) - 3 PUBLIC AND 6 EMPLOYEE | 6 | 9 |
| 1ST FLOOR: 14204/200 = 71 | | |
| 2ND FLOOR: 12655/300 = 42 | | |
| TOTAL: 113 | | 120 |

PROJECT INFORMATION

PROJECT DESCRIPTION: BUSINESS - OFFICE BUILDING
LEGAL DESCRIPTION: LOTS 8 & 9 PLAT OF JOURNAL CENTER PHASE 2 UNIT 2, A REPLAT OF TRACT BA-1 JOURNAL CENTER PHASE 2 UNIT 1
LOT AREA: LOT 8 - 1.00± ACRE
LOT 9 - 1.00± ACRE
TOTAL 2.00± ACRE
BUILDING GROSS AREA 1ST FLOOR: 15,845 s.f.
LOT COVERAGE: 15,845 s.f./87,120 s.f. = 18.2% LOT COVERAGE w/ EXPANSION: 16,264 s.f./87,120 s.f. = 18.7% LOT COVERAGE
ZONE MAP: D-17-Z
ZONING: 1P (INDUSTRIAL PARK)
FOR LANDSCAPING AREA, LANDSCAPING PLAN

GENERAL NOTES:

- A. ALL CONSTRUCTION AND DESIGN SHALL COMPLY WITH CURRENT INTERNATIONAL BUILDING CODE (IBC) CITY OF ALBUQUERQUE BUILDING CODE, ADA, ANSI, AND ALL OTHER CODES AND REGULATIONS
- B. PARKING LAYOUT SHALL CONFORM TO CITY OF ALBUQUERQUE PARKING REQUIREMENTS. PARKING LOT TO BE ASPHALTIC CONCRETE. REGULAR PARKING SPACES: 9'x20" SMALL CAR PARKING SPACES: 8'x16" (75% OF PARKING: 30 SPACES) REGULAR DRIVE AISLE: 24' SMALL CAR DRIVE AISLE: 20'
- C. SITE DESIGN SHALL COMPLY WITH JOURNAL CENTER COVENANTS AND STANDARDS
- D. FACILITY SHALL COMPLY WITH DEE-JONSON CLEAN INDOOR AIR ACT WITH SIGNS POSTED AT EXTERIOR DOORS THAT STATE NO SMOKING WITHIN 50' OF BUILDING DISPOSAL RECEPTACLES TO BE PROVIDED AND COORDINATED W/ TENANT.
- E. LOCKABLE UTILITY BOXES FOR WATER, ELECTRIC, AND GAS SHALL BE PROVIDED TO PREVENT TAMPERING
- F. ALL HANDICAP PARKING SPACES SHALL BE PROVIDED WITH SIGNAGE THAT MEETS CITY OF ALBUQUERQUE AND ADA REQUIREMENTS
- G. LIGHTING AT ENTRIES MEETS OR EXCEEDS 5 FOOTCANDLES
- H. ALL MONUMENT AND BUILDING SIGNAGE SHALL COMPLY WITH JOURNAL CENTER ZONING REGULATIONS. SIGNAGE SHALL BE SUBMITTED AND APPROVED BY TENANT, JOURNAL CENTER, AND THE CITY OF ALBUQUERQUE
- I. BUILDING SHALL HAVE AN AUTOMATIC FIRE SPRINKLER SYSTEM



1 SITE PLAN
1" = 20'-0"

PROJECT # _____

APPLICATION # _____

IS AN INFRASTRUCTURE LIST REQUIRED? (YES () NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.)

DRG SITE DEVELOPMENT PLAN APPROVAL:

PLANNING DEPT. _____ DATE _____

ASCMUA _____ DATE _____

PARKS AND RECREATION DEPARTMENT _____ DATE _____

CITY ENGINEER _____ DATE _____

ENVIRONMENTAL HEALTH DEPARTMENT (conditional) _____ DATE _____

Joe White 4/30/09
SOLID WASTE MANAGEMENT _____ DATE _____

DRG CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

*Environmental Health, if necessary

HRJ ARCHITECTURE, LLC

PO BOX 1088 PECOS, NM 87552/182a LA JOYA RD GLORETA, NM 87535
1606 SEVENTH STREET, SUITE A LAS VEGAS, NM 87701
(505) 757-3691 FAX (505) 757-8882 E-MAIL: hrj_arch@cybermesa.com

Zepol Complex at
Journal Center 2
7421 Bartlett Street NE
Albuquerque, NM

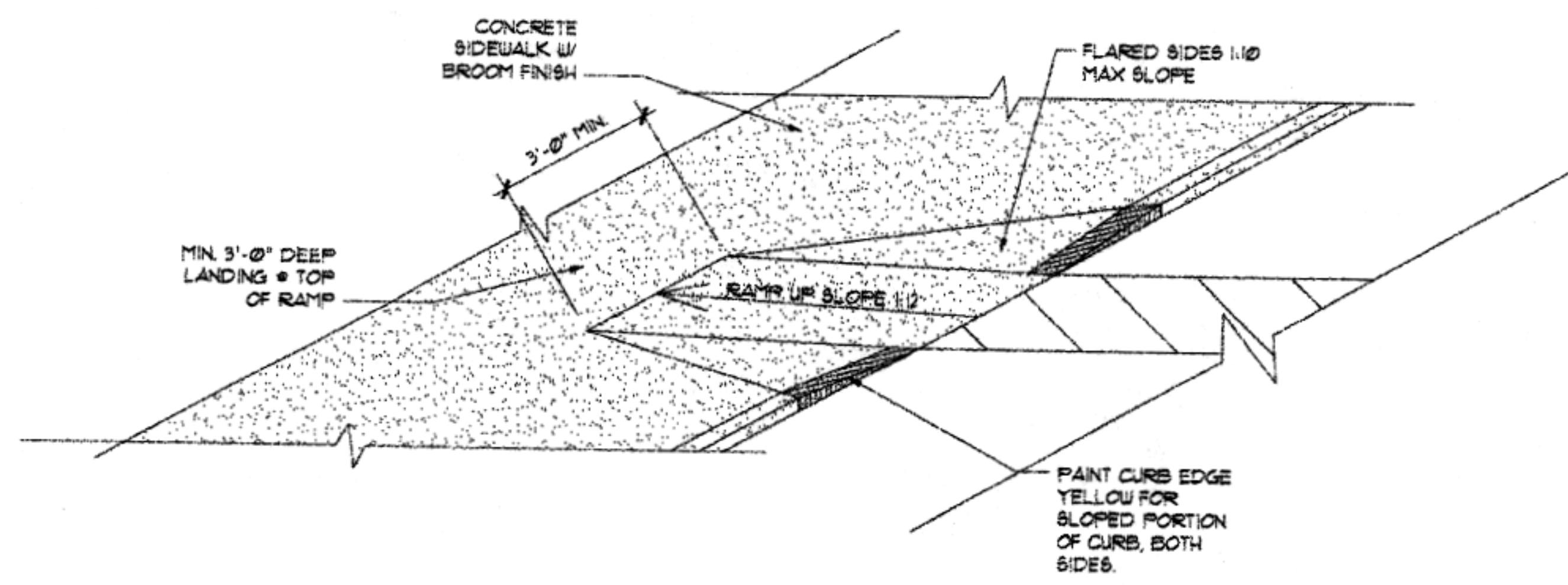
080918
PROJECT NO.
30 APRIL 2009
DATE
DRAWN BY
HRJ
PROJ. MGR.
35 05 95 100
COMPLETION

SITE AND UTILITY PLAN

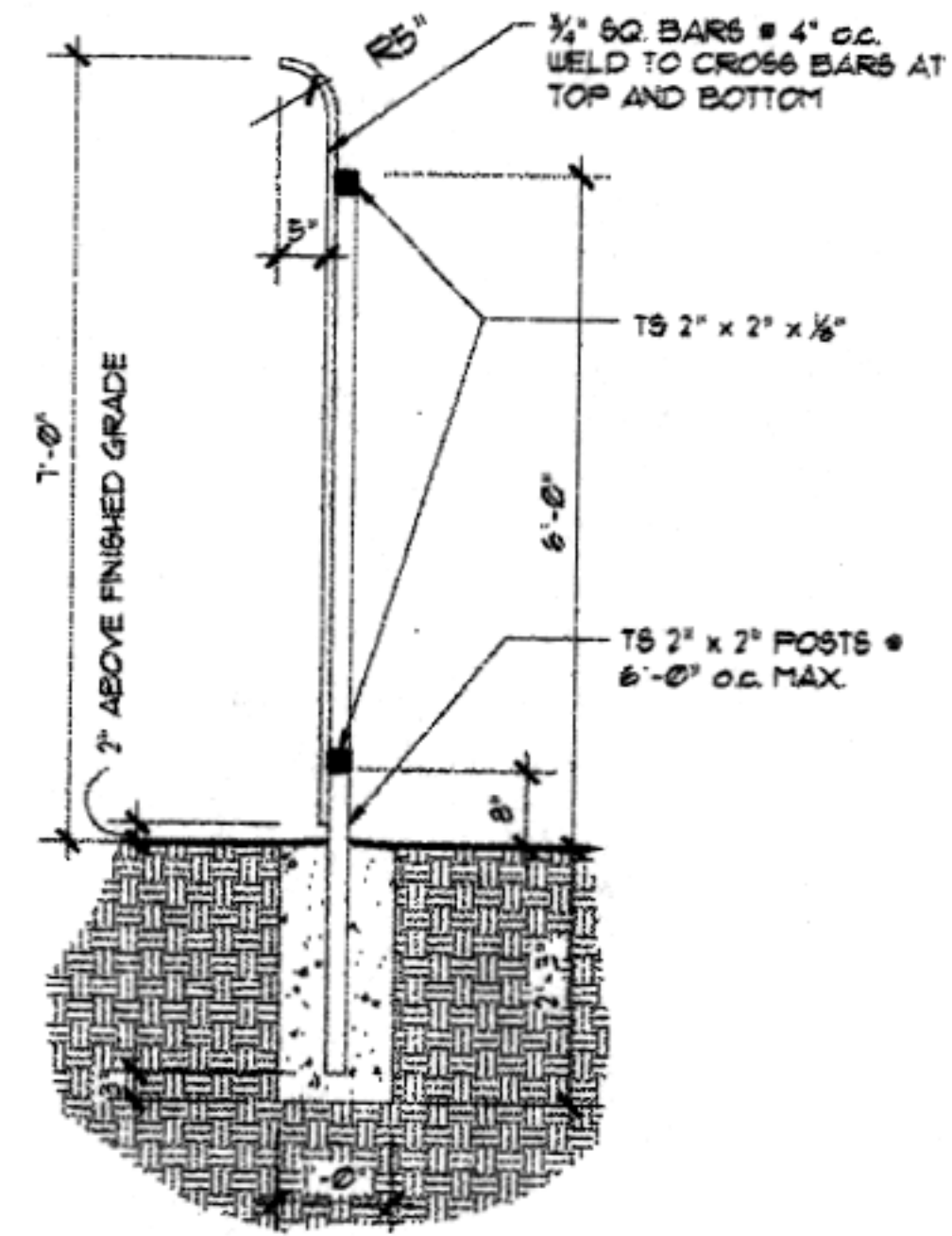


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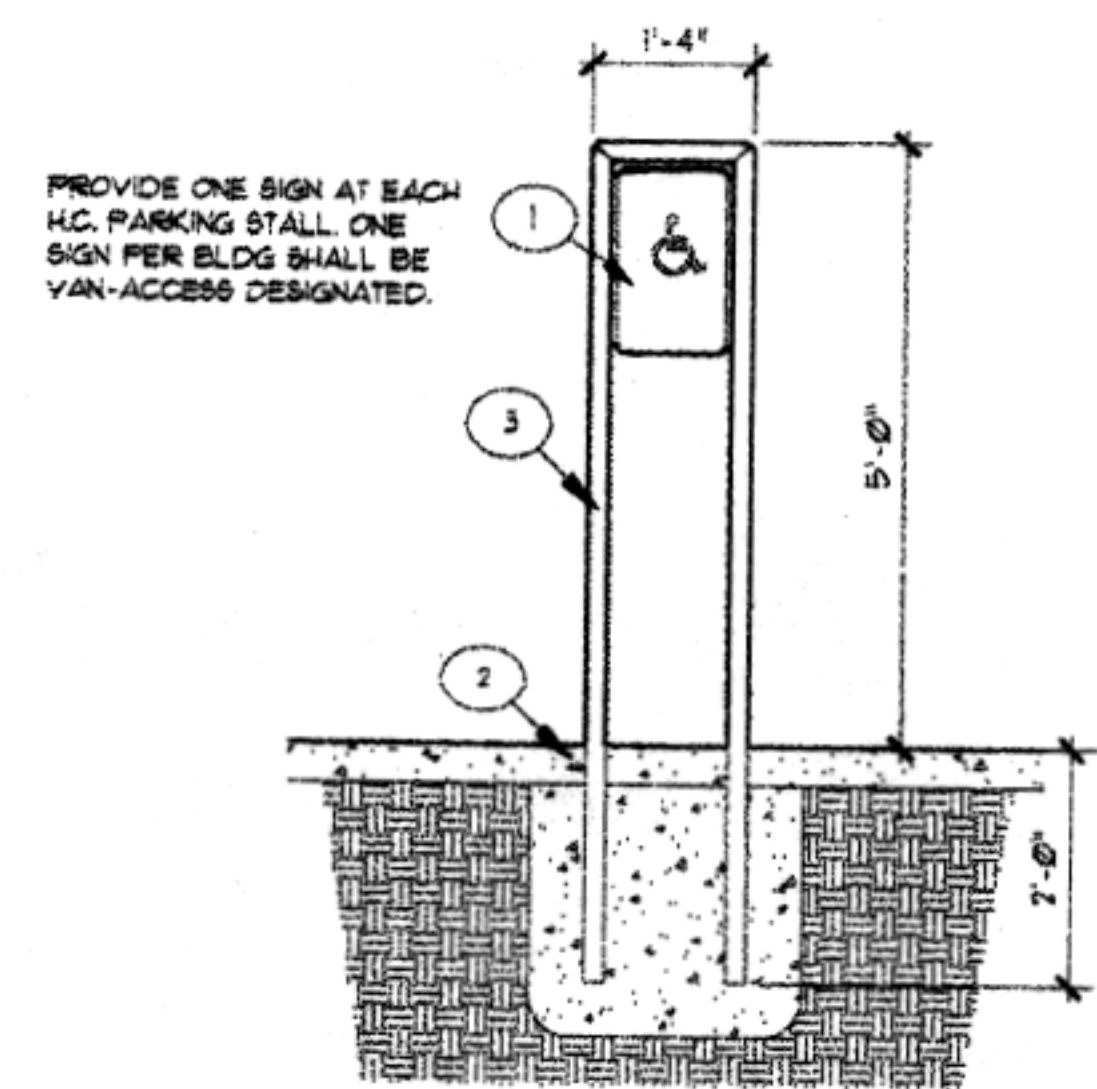


5 STANDARD HANDICAP RAMP
NO SCALE



- ALL STEEL TO BE WROUGHT IRON OR PAINTED. PAINT FINISH ALL STEEL PIPE W/ PRIMER + 2 COATS ENAMEL COLOR TO BE BLACK.
- PROVIDE CONCRETE ENCASMENT OR BORE HOLE THROUGH CONCRETE PAVEMENT. SLOPE TOP OF CONCRETE TO DRAIN AWAY FROM POSTS.
- 78 2" x 2" x 1/8" PRIMED + PAINTED STEEL POSTS + CROSS BAR WELDED TOGETHER. PROVIDE CAP FOR POSTS.
- GATES TO BE SIMILAR IN APPEARANCE. SLIDING GATE SHALL BE 4" HIGHER SO THAT "CROOKS" PASS OVER FENCE. COORDINATE W/ FENCE FABRICATOR AND GATE OPERATOR MANUFACTURER.

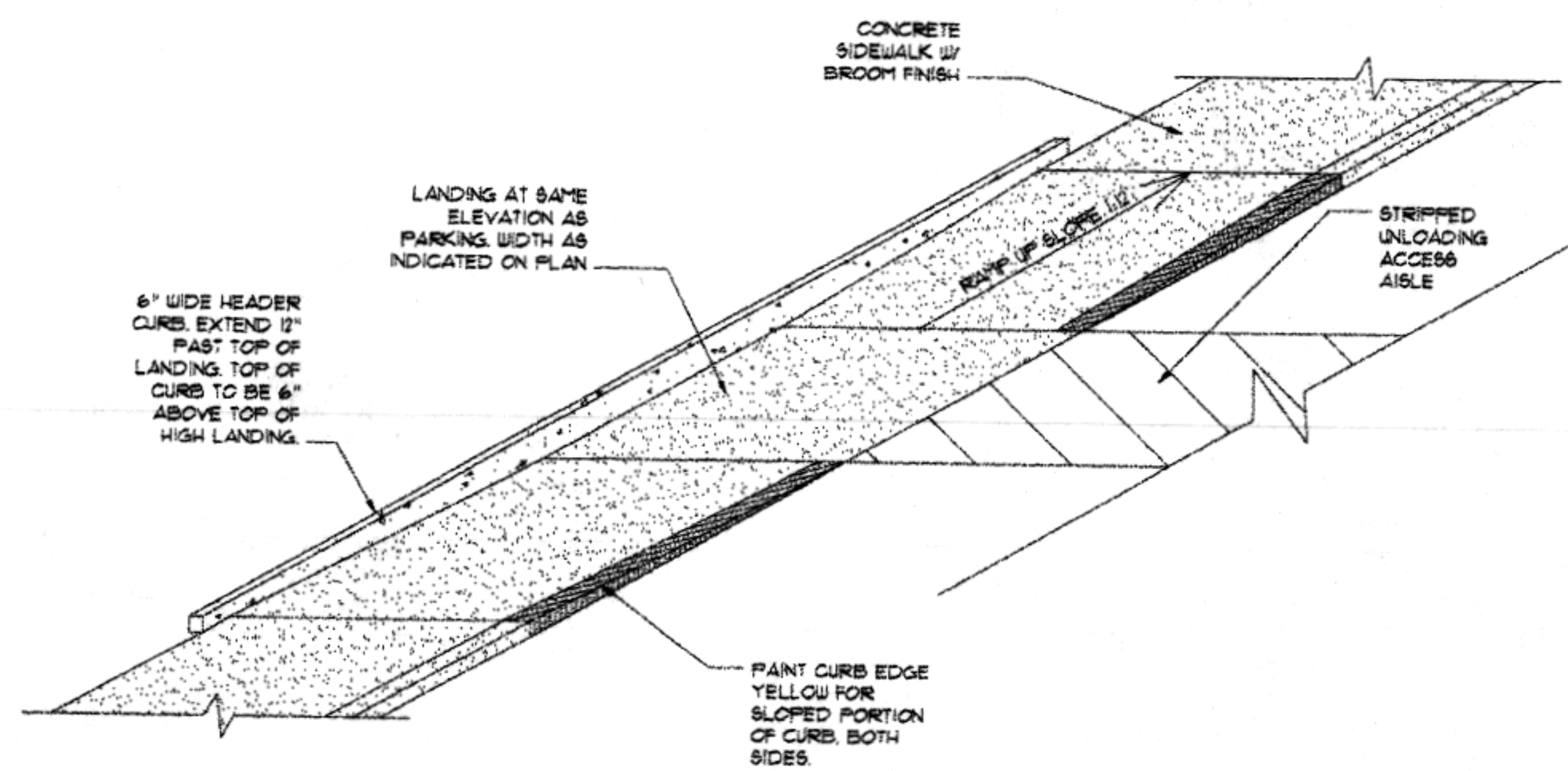
2 PERIMETER FENCE
1/2" = 1'-0"



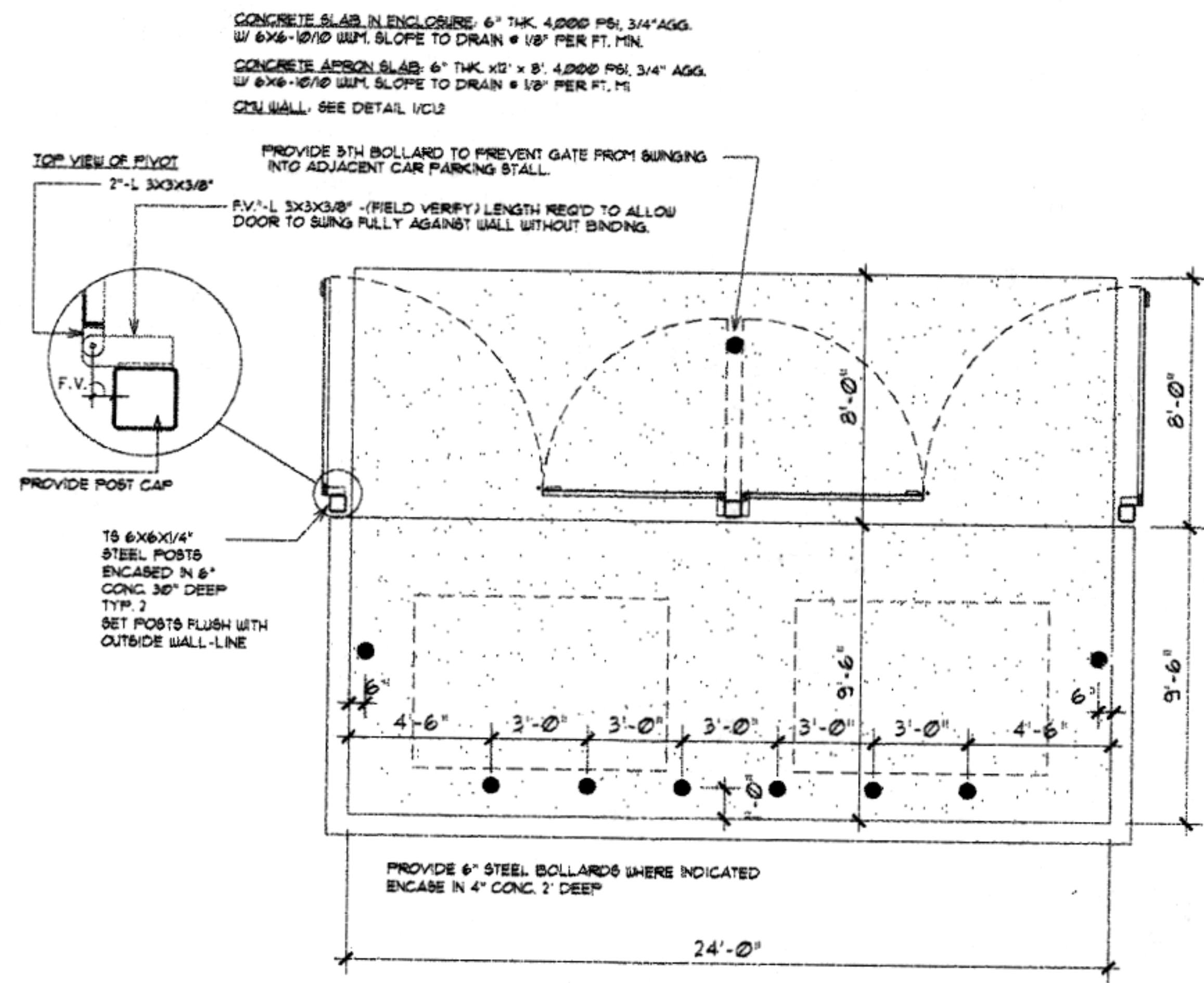
PROVIDE ONE SIGN AT EACH H.C. PARKING STALL. ONE SIGN PER BLOS SHALL BE VAN-ACCESS DESIGNATED.

- SIGN TO READ "ACCESSIBLE PARKING" TYPICAL EXCEPT VAN AISLES SHALL READ "VAN ACCESSIBLE". SIGN SIZE 1'5" W X 18" H. PROVIDE TRANSLUCENT PLEXIGLASS SIGNS.
- PROVIDE 4" CONCRETE ENCASMENT OR BORE HOLE THROUGH CONCRETE PAVEMENT.
- 78 2" x 2" x 1/8" PRIMED + PAINTED STEEL POSTS + CROSS BAR. PROVIDE 3/4" x 1/8" x 8'-0" CONTINUOUS FLANGE EA. SIDE + SIGN FITS OUTSIDE CORNER OF POSTS. FINISH ALL STEEL PIPE W/ PRIMER + 2 COATS ENAMEL COLOR TO BE SELECTED BY ARCHITECT.

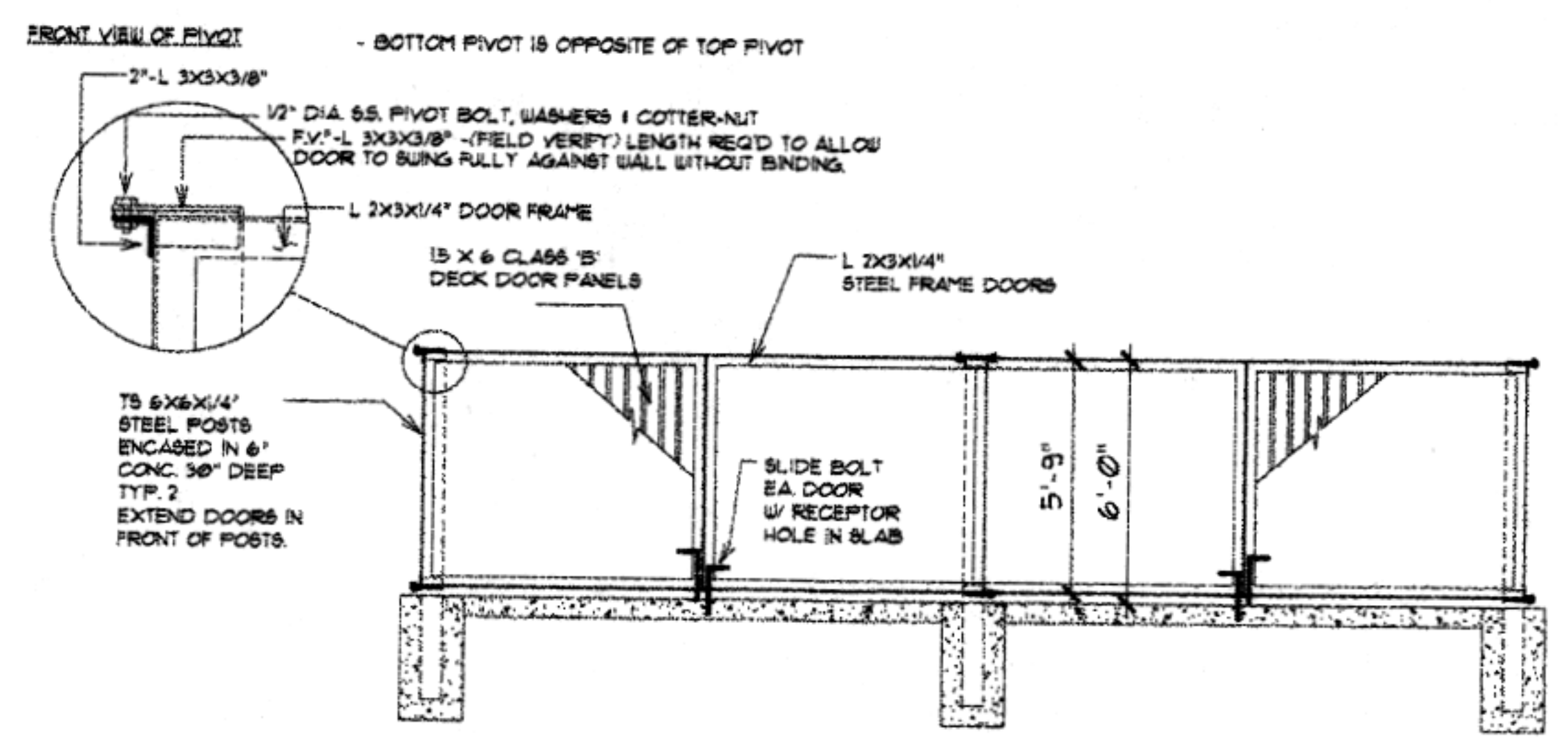
3 HANDICAP SIGN
1/2" = 1'-0"



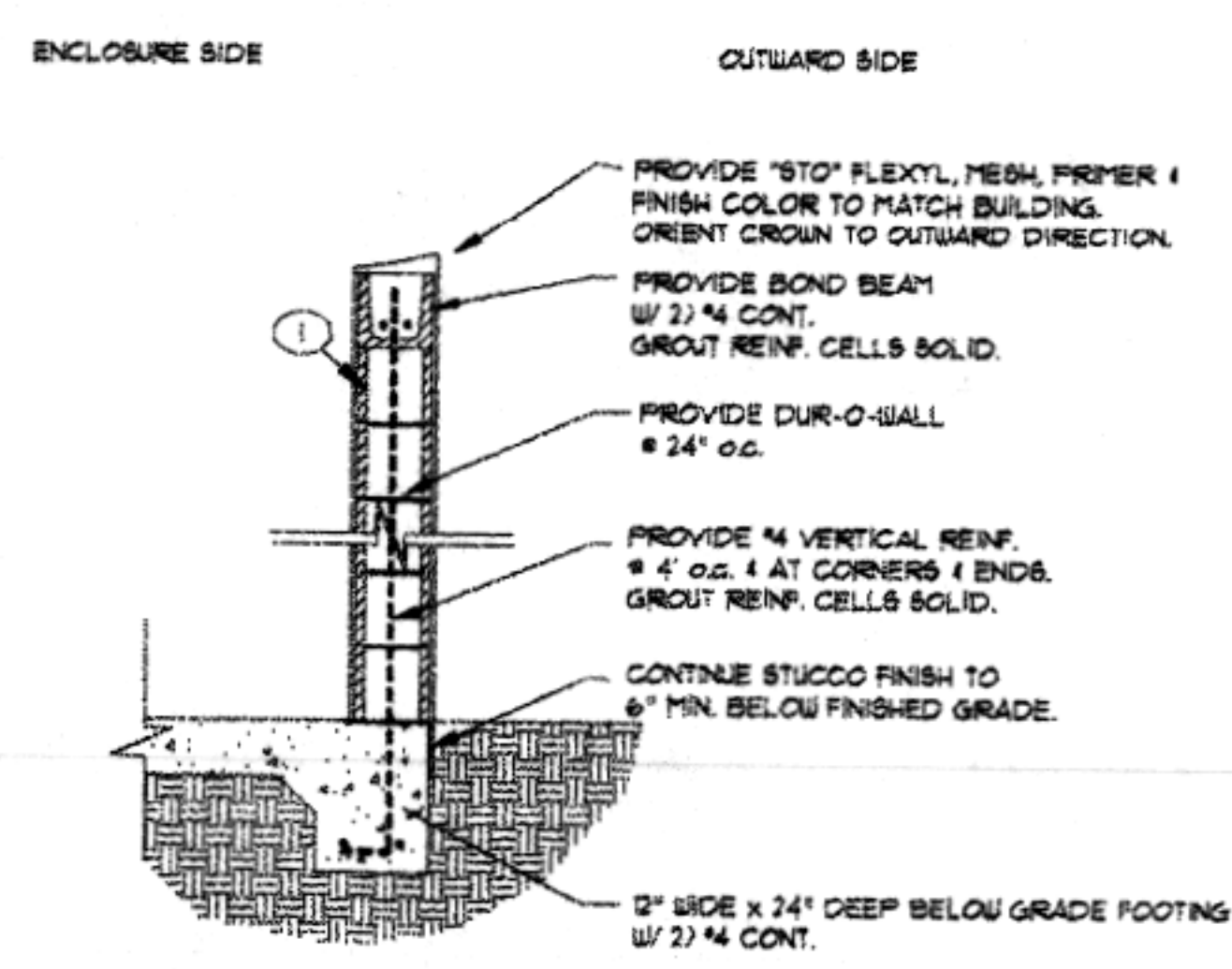
4 SLOPED SIDEWALK RAMP
NO SCALE



TYPICAL PLAN
SCALE 1/4" = 1'-0"



FRONT VIEW OF GATES
SCALE 1/4" = 1'-0"



WALL SECTION
SCALE 1/2" = 1'-0"

1 SOLID WASTE ENCLOSURE
1/4" = 1'-0"

HRJ ARCHITECTURE, LLC
PO BOX 1088 PECOS, NM 87552/182a LA JOYA RD GLORETA, NM 87535
1606 SEVENTH STREET, SUITE A LAS VEGAS, NM 87701
(505) 757-3691 FAX (505) 757-8882 E-MAIL: hrj_arch@cybermesa.com

Zepol Complex at Journal Center 2
7421 Bartlett Street NE
Albuquerque, NM

080819
PROJECT NO.
30 APRIL, 2009
DATE
R
DRAWN BY
HRJ
PROJ. MGR.
35 65 95 100
COMPLETION

SITE DETAILS



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GENERAL NOTES:

- AS OF MARCH 10, 2003, THE USPA REQUIRES NPDES PERMIT COVERAGE FOR STORM WATER DISCHARGES FROM CONSTRUCTION PROJECTS (COMMON PLANS OF DEVELOPMENT) THAT WILL RESULT IN THE DISTURBANCE (OR RE-DISTURBANCE) OF ONE OR MORE ACRES, INCLUDING EXPANSIONS OF TOTAL LAND AREA. THE DEVELOPER SHOULD BE MADE AWARE THAT THE USEPA REQUIRES THAT ALL "OPERATORS" (SEE FEDERAL REGISTER/VOL. 63, NO. 128 / MONDAY, JULY 6, 1999 PG 36509) OBTAIN NPDES PERMIT COVERAGE FOR CONSTRUCTION PROJECTS. GENERALLY THIS MEANS THAT AT LEAST TWO PARTIES WILL REQUIRE PERMIT COVERAGE. THE OWNER/DEVELOPER OF THIS CONSTRUCTION PROJECT WHO HAS OPERATIONAL CONTROL OVER THE PROJECT SPECIFICATIONS, THE GENERAL CONTRACTOR WHO HAS DAY-TO-DAY OPERATIONAL CONTROL OF THOSE ACTIVITIES AT THE SITE, WHICH ARE NECESSARY TO ENSURE COMPLIANCE WITH THE STORM WATER POLLUTION PLAN AND OTHER CONDITIONS, AND POSSIBLY OTHER "OPERATORS" THAT WILL REQUIRE APPROPRIATE NPDES PERMIT COVERAGE FOR THIS PROJECT.
- THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION LATEST EDITION.
- CONTRACTOR SHALL OBTAIN A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO ANY GRADING OR CONSTRUCTION.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990 FOR LOCATION OR EXISTING UTILITIES.
- BACKFILL AND COMPACTION SHALL BE ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER(S) OF THE PROPERTY SERVED.
- ALL CONCRETE SHALL BE A MINIMUM OF 3000 P.S.I.
- PROJECT BENCHMARK: ALUMINUM CAP STAMPED CP 110 ELEVATION=5148.88, NORTHERN WEST CORNER OF PROPERTY.
- ALL EXISTING TOPOGRAPHIC DATA SHOWN ON THESE PLANS HAS BEEN PROVIDED BY TERRA LAND SURVEYS. MILLER ENGINEERING CONSULTANTS HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS INFORMATION.
- THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- ALL PAVEMENT, BASE COURSE AND SUBGRADE PREPARATION THICKNESS SHALL BE PROVIDED BY THE SOILS ENGINEER FOR THIS PROJECT.
- ALL DISTURBED AREA SHALL RECEIVE CLASS "A" SEEDING IN ACCORDANCE WITH THE NMDOT BLUE BOOK. ALL DISTURBED AREAS WITH SLOPES GREATER THAN 3:1 SHALL RECEIVE A LANDSCAPE FABRIC WITH 3 INCHES OF GRAVEL MULCH.
- ALL HDPE STORM DRAIN PIPE MUST HAVE WATER TIGHT JOINTS.
- ALL ASPHALT PAVED AREAS SHALL HAVE A 1% MINIMUM SLOPE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER TO DETERMINE A SOLUTION IF AN ASPHALT PAVED AREA OF LESS THAN 1% IS ENCOUNTERED.

EXISTING ON SITE CONDITIONS

THE PROJECT SITE CONSISTS OF TWO PARCELS OF LAND TOTALING APPROXIMATELY 2.0 ACRES (MORE OR LESS) LOCATED IN THE JOURNAL CENTER AREA. BOTH TRACTS HAVE BEEN ROUGH GRADED AND GROUND COVER IS NOT NATIVE AND SPARSE AT BEST. THE PROJECT SITE DRAINS IN A WESTERLY DIRECTION TO A CONCRETE LINED DITCH THAT WAS SIZED TO DRAIN THIS SITE, AND SOME OTHER ADJOINING PROPERTIES FOR DEVELOPED CONDITIONS. THIS DESIGN WAS COMPLETED DURING THE MASTER PLANNING PHASE OF THE JOURNAL CENTER COMPLEX. EXISTING LAND TREATMENTS FOR THE SITE ARE CATEGORIZED IN THE HYDROLOGY TABLE BELOW.

PROPOSED CONDITIONS

THE PROPOSED IMPROVEMENTS WILL CONSIST OF A NEW 17,000 SF BUILDING (OFFICE BUILDING), ASSOCIATED PARKING AND ASSOCIATED IMPROVEMENTS. THE MAIN ACCESS WILL BE OFF BARTLETT STREET WITH A SECONDARY ACCESS APPROXIMATELY 130 FEET NORTH OF THE MAIN ENTRANCE. THIS ENTRANCE IS OFF OF BARTLETT AS WELL. ALL SIDEWALKS AND HANDICAPPED PARKING SPACES WILL MEET ADA REQUIREMENTS. THE PROPOSED LAND TREATMENTS FOR THE FOUR BASINS MAY BE SEEN BELOW IN THE HYDROLOGY TABLES.

STORMWATER ROUTING

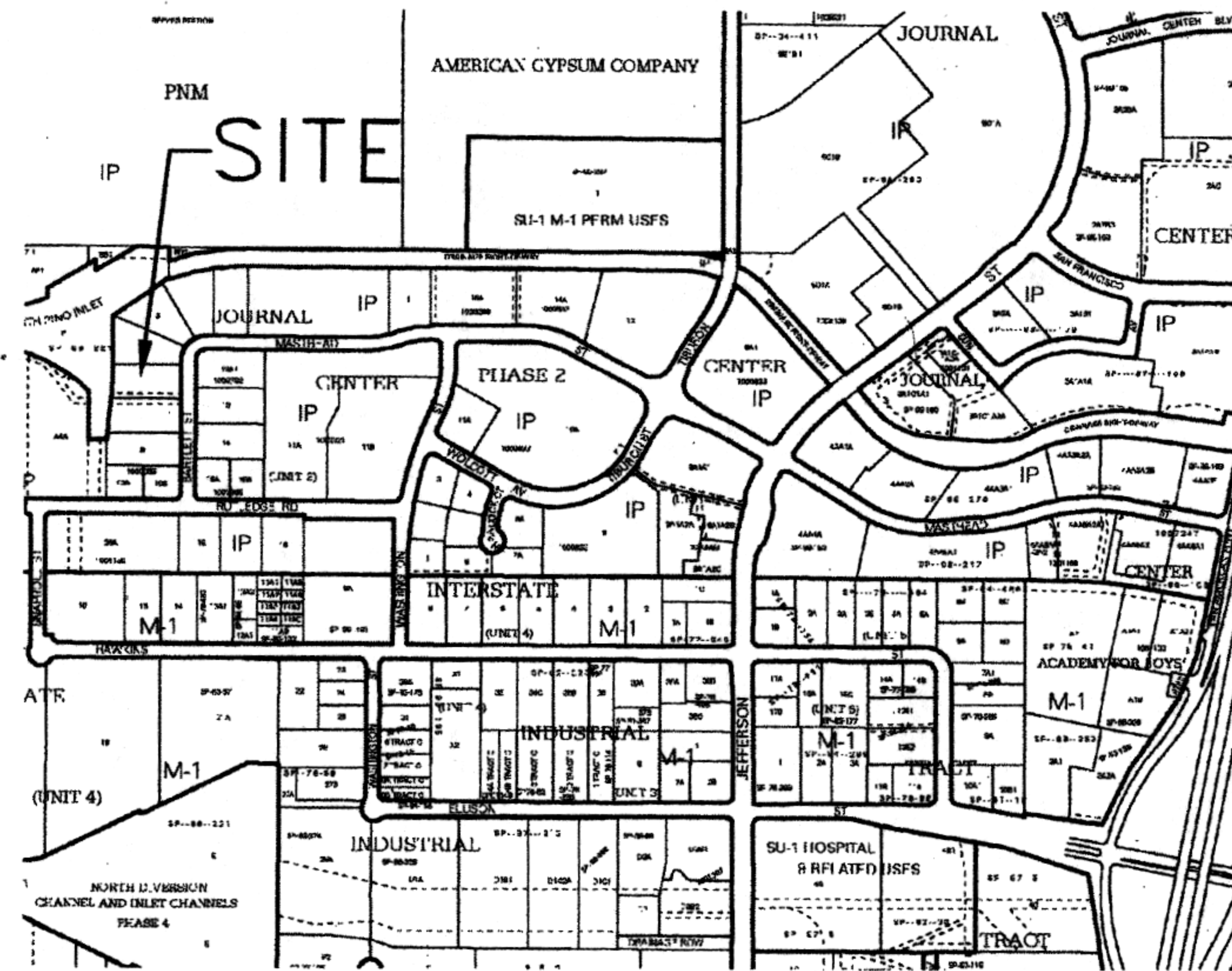
THE RUNOFF FROM THE ENTIRE SITE WILL FREE DISCHARGE TO THE EXISTING DRAINAGE CHANNEL LOCATED IN THE WESTERN BOUNDARY OF THE SITE. THIS CHANNEL DRAINS TO THE NORTH WHERE THE RUNOFF IS DEPOSITED INTO A 54" RCP. THE DESIGN CAPACITY OF THE CONCRETE CHANNEL IS ADEQUATE TO PASS FLOWS GENERATED BY A 100 YEAR, 24 HOUR EVENT FOR THESE TWO LOTS AND SOME STREET FLOWS.

OFFSITE FLOWS

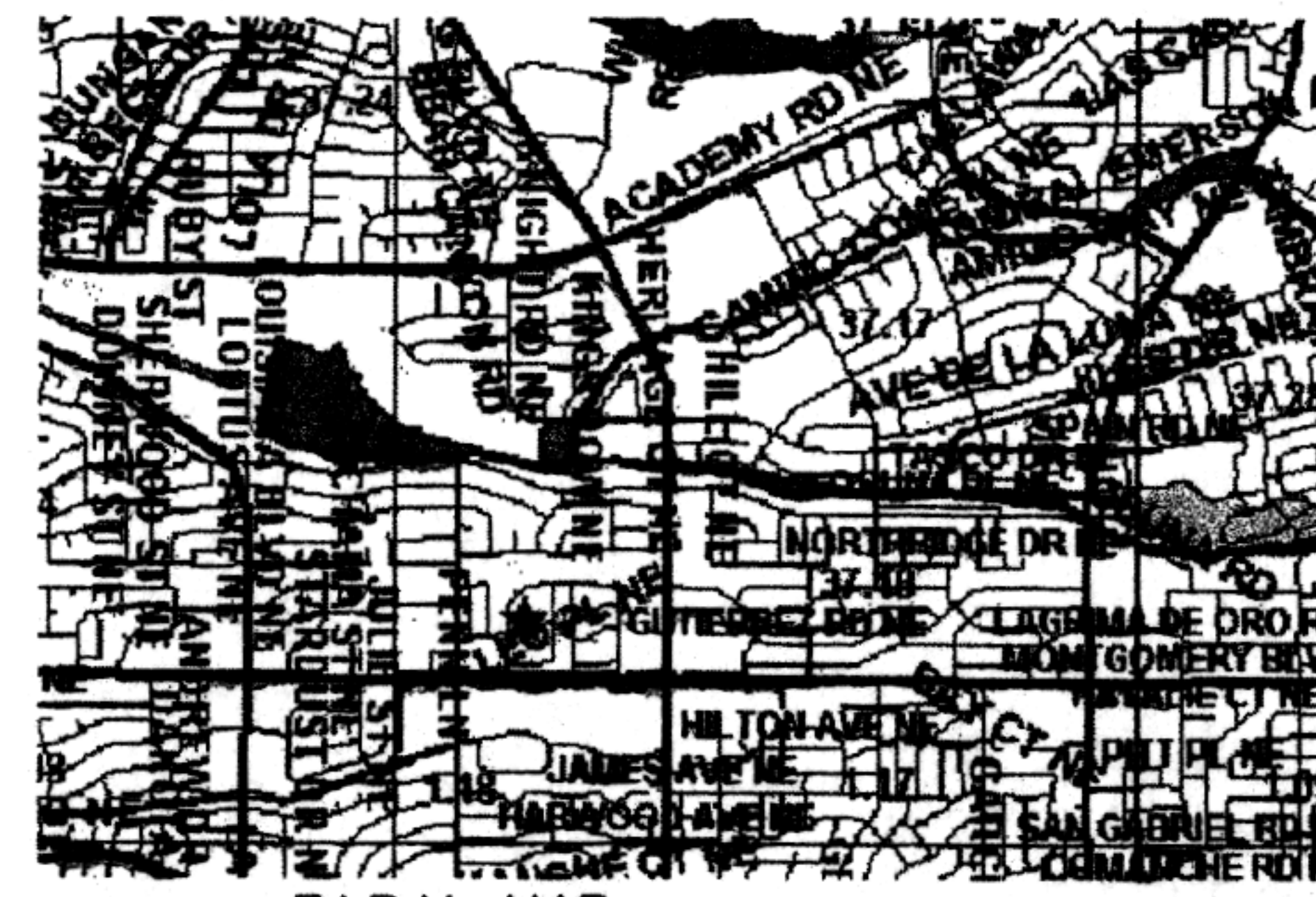
IT DOES NOT APPEAR THAT THERE ARE ANY OFFSITE FLOWS THAT WILL IMPACT THIS SITE, NOR IS THERE A DESIGNATED FEMA FLOODPLAIN LOCATED ON THE SITE.

CONCLUSION

AFTER DEVELOPMENT OF THIS SITE, THERE WILL BE NO IMPACT TO THE EXISTING DRAINAGE SYSTEM AS IT WAS DESIGNED TO ACCOMMODATE DEVELOPED FLOWS FROM THE PROJECT SITE IN THE JOURNAL CENTER MASTER PLAN.



VICINITY MAP
NOT TO SCALE



F.I.R.M. MAP
NOT TO SCALE

Precipitation Zone 2 - 100-year Storm P(360) = 2.35 in P(1440) = 2.75 in

Basin	Basin Area (Ac)	Land Treatment Factors				Ew (in)	V(100-6) (af)	V(100-24) (af)	Q(100) (cfs)
		A	B	C	D				
Existing Conditions									
A	0.63	0.63	0.00	0.00	0.00	0.53	0.028	0.028	0.99
B	0.23	0.23	0.00	0.00	0.00	0.53	0.010	0.010	0.36
C	0.64	0.64	0.00	0.00	0.00	0.53	0.028	0.028	1.00
D	0.48	0.48	0.00	0.00	0.00	0.53	0.021	0.021	0.75
Total	1.98								3.10
Proposed Conditions									
A	0.63	0.00	0.00	0.06	0.58	2.03	0.107	0.127	2.89
B	0.23	0.00	0.00	0.01	0.22	2.09	0.040	0.047	1.07
C	0.64	0.00	0.00	0.11	0.53	1.95	0.104	0.121	2.83
D	0.48	0.00	0.00	0.09	0.39	1.84	0.078	0.091	2.12
Total	1.98								8.91

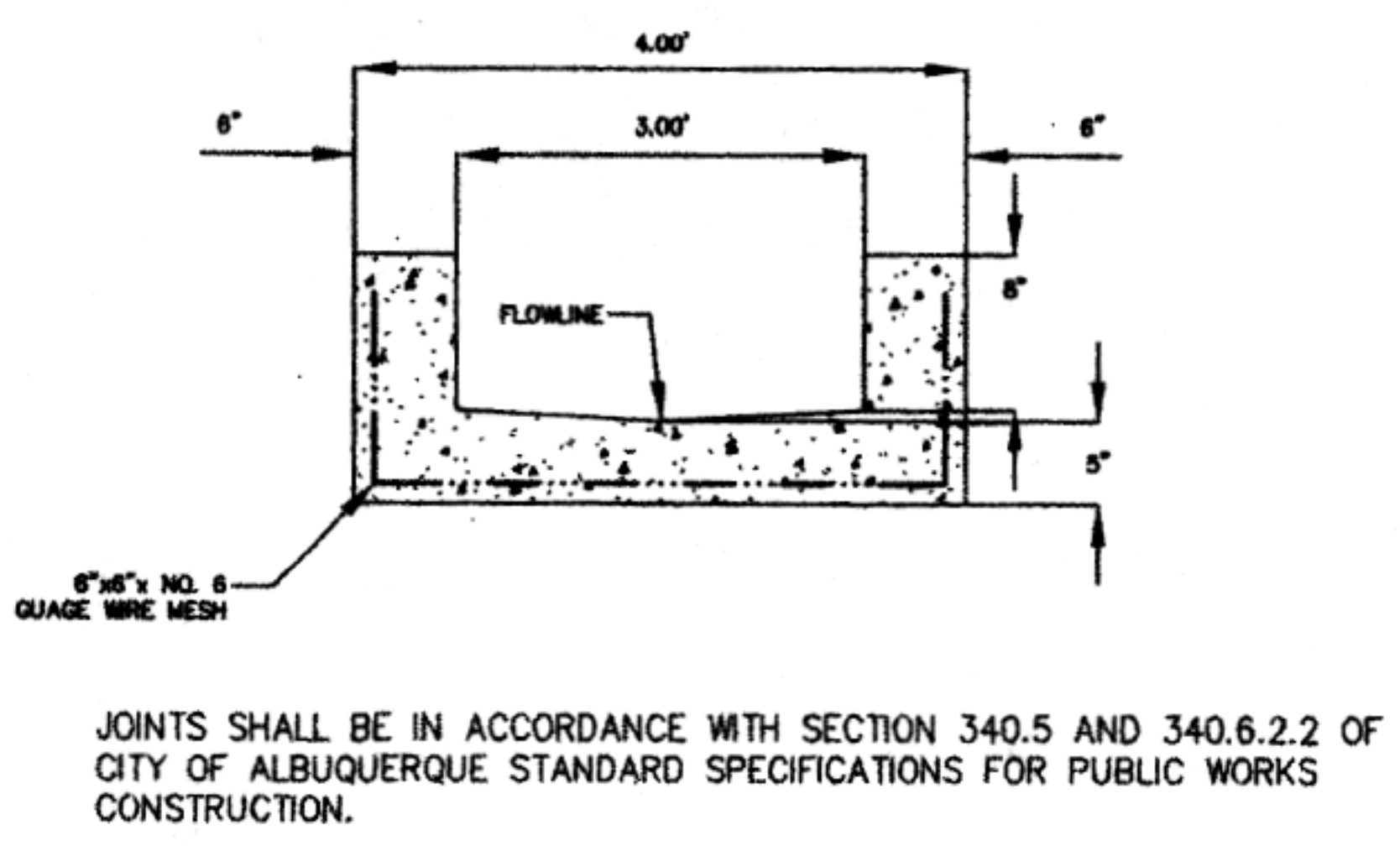
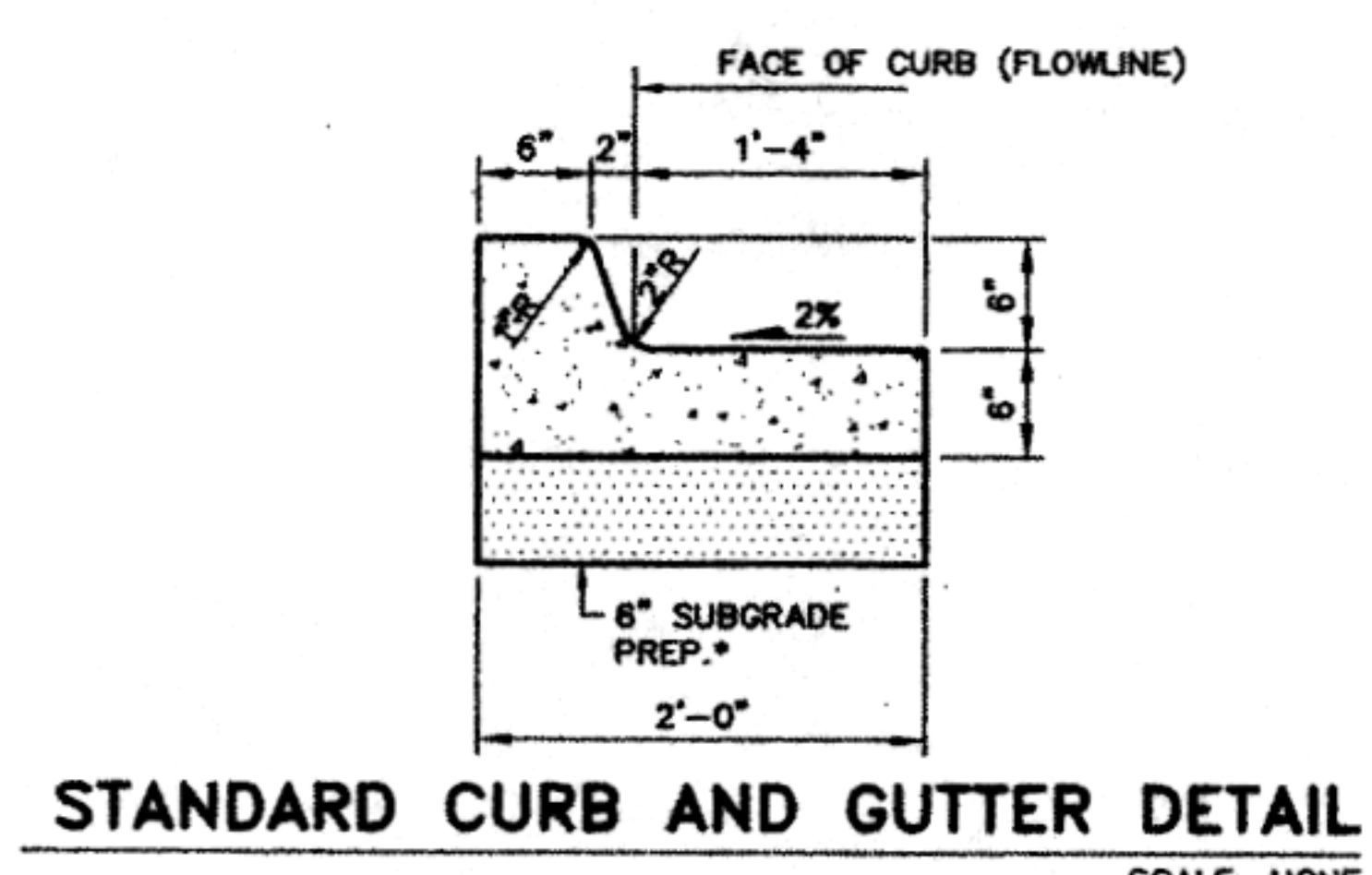
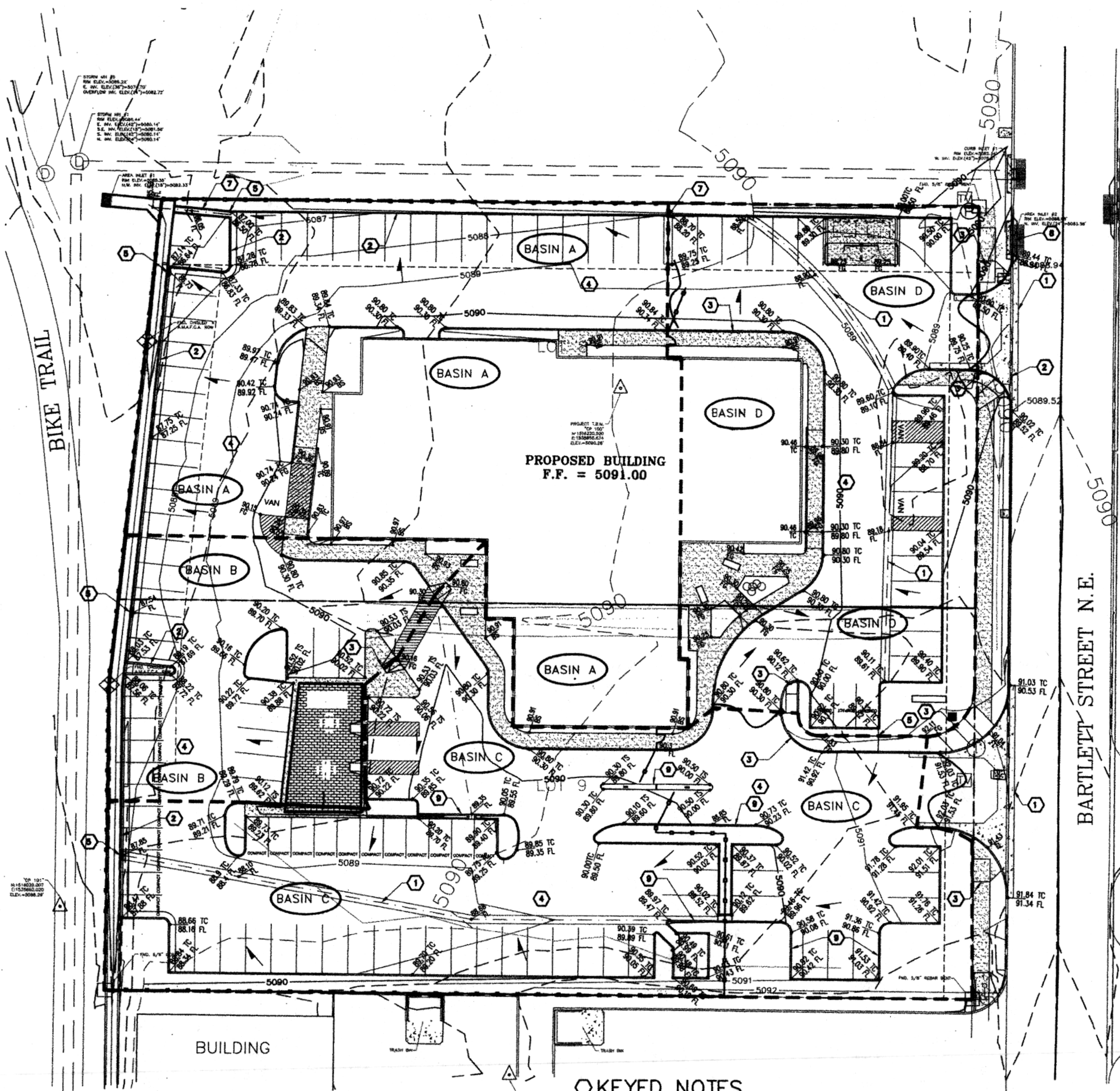
Precipitation Zone 2 - 10-year Storm P(360) = 1.56 in P(1440) = 1.83 in

Basin	Basin Area (Ac)	Land Treatment Factors				Ew (in)	V(10-6) (af)	V(10-24) (af)	Q(10) (cfs)
		A	B	C	D				
Existing Conditions									
A	0.63	0.63	0.00	0.00	0.00	0.13	0.007	0.007	0.24
B	0.23	0.23	0.00	0.00	0.00	0.13	0.002	0.002	0.09
C	0.64	0.64	0.00	0.00	0.00	0.13	0.007	0.007	0.24
D	0.48	0.48	0.00	0.00	0.00	0.13	0.005	0.005	0.18
Total	1.98								0.75
Proposed Conditions									
A	0.63	0.00	0.00	0.06	0.58	1.27	0.067	0.080	1.91
B	0.23	0.00	0.00	0.01	0.22	1.32	0.025	0.030	0.71
C	0.64	0.00	0.00	0.11	0.53	1.20	0.064	0.076	1.85
D	0.48	0.00	0.00	0.09	0.39	1.19	0.048	0.056	1.38
Total	1.98								5.85

HYDROLOGY CALCS

NOT TO SCALE





JOINTS SHALL BE IN ACCORDANCE WITH SECTION 340.5 AND 340.6.2.2 OF CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

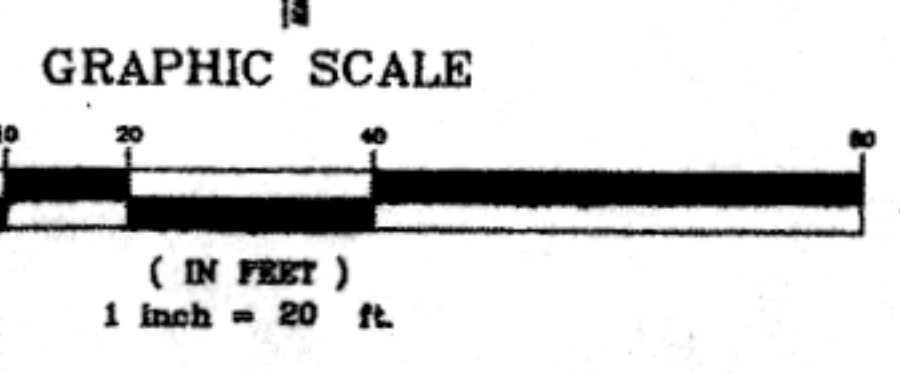
CONCRETE RIBBON CHANNEL DETAIL

LEGEND

- ▲ CONTROL MONUMENT (AS NOTED)
- FND REBAR W/CAP (AS NOTED)
- FND PIPE (AS NOTED)
- ⊙ FND PK NAIL (AS NOTED)
- ⊕ WATER METER
- ⊕ SANITARY SEWER MANHOLE
- ⊕ POWER PEDESTAL
- ⊕ FINISH FLOOR BENCHMARK
- ⊕ TRANSFORMER
- ⊕ GAS VALVE
- ⊕ GAS METER
- ⊕ TELEPHONE RISER
- ⊕ LIGHT POLE
- ⊕ POWER POLE
- ⊕ GUY WIRE
- ⊕ BOLLARD
- ⊕ GATE
- EXISTING FENCE
- CHAINLINK FENCE
- OVERHEAD ELECTRIC LINE
- BLOCK WALL
- CONCRETE HATCH
- SPOT ELEVATIONS (50' INTERVAL)
- 00.00 — PROPOSED FINISHED GRADE
- 00.00 — PROPOSED FLOW LINE
- 00.00 TC — PROPOSED TOP OF CURB ELEVATION
- 00.00 FL — PROPOSED FLOW LINE ELEVATION
- 00.00 TS — PROPOSED TOP OF SIDEWALK ELEVATION
- 00.00 FL — PROPOSED FLOW LINE ELEVATION
- PROPOSED GRADE BREAK
- 5151 — PROPOSED CONTOUR MAJOR
- 5147 — PROPOSED CONTOUR MINOR
- PROPOSED BASIN DELINEATION

KEYED NOTES

1. PROPOSED CONCRETE VALLEY GUTTER PER C.O.A. STD. DWG. 2421.
2. PROPOSED CURB & GUTTER PER C.O.A. STD. DWG. 2415A.
3. PROPOSED SIDEWALKS & RAMPS, PER C.O.A. STD. DWGS. 2430, 2431, 2432, AND 2441.
4. PROPOSED PAVING, SEE ARCHITECTURAL SHEETS FOR INFO.
5. PROPOSED 3" CURB CUT PER C.O.A. STD. DWG. 2415A.
6. PROPOSED SIDEWALK CULVERT WITH STEEL PLATE TOP PER C.O.A. STD. DWG. 2236.
7. PROPOSED CONCRETE RIBBON CHANNEL, SEE DETAIL BELOW.
8. EXISTING AREA INLET TO REMAIN IN PLACE.
9. STANDARD 6" CURB & GUTTER, SEE DETAIL ON THIS SHEET.



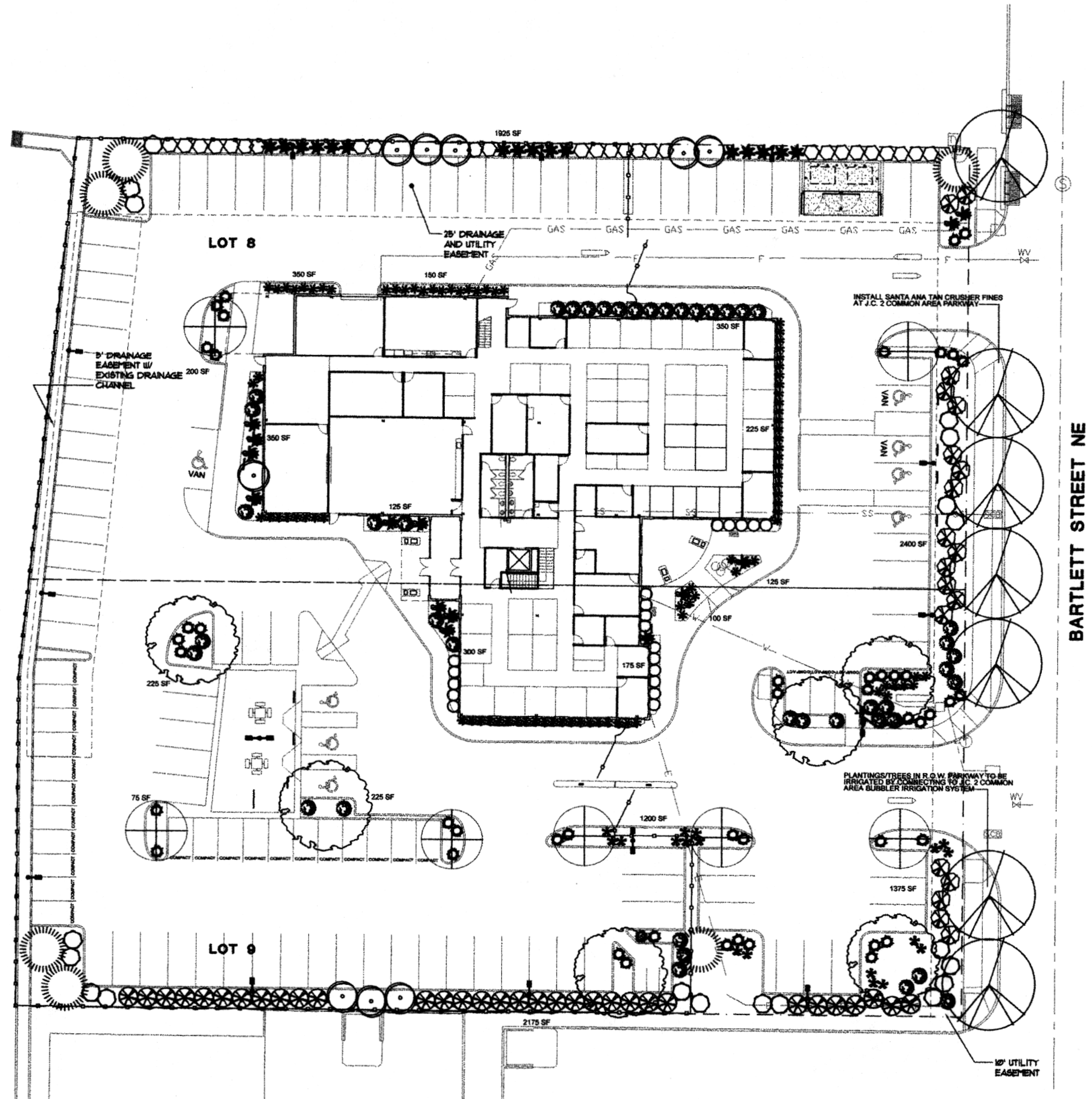
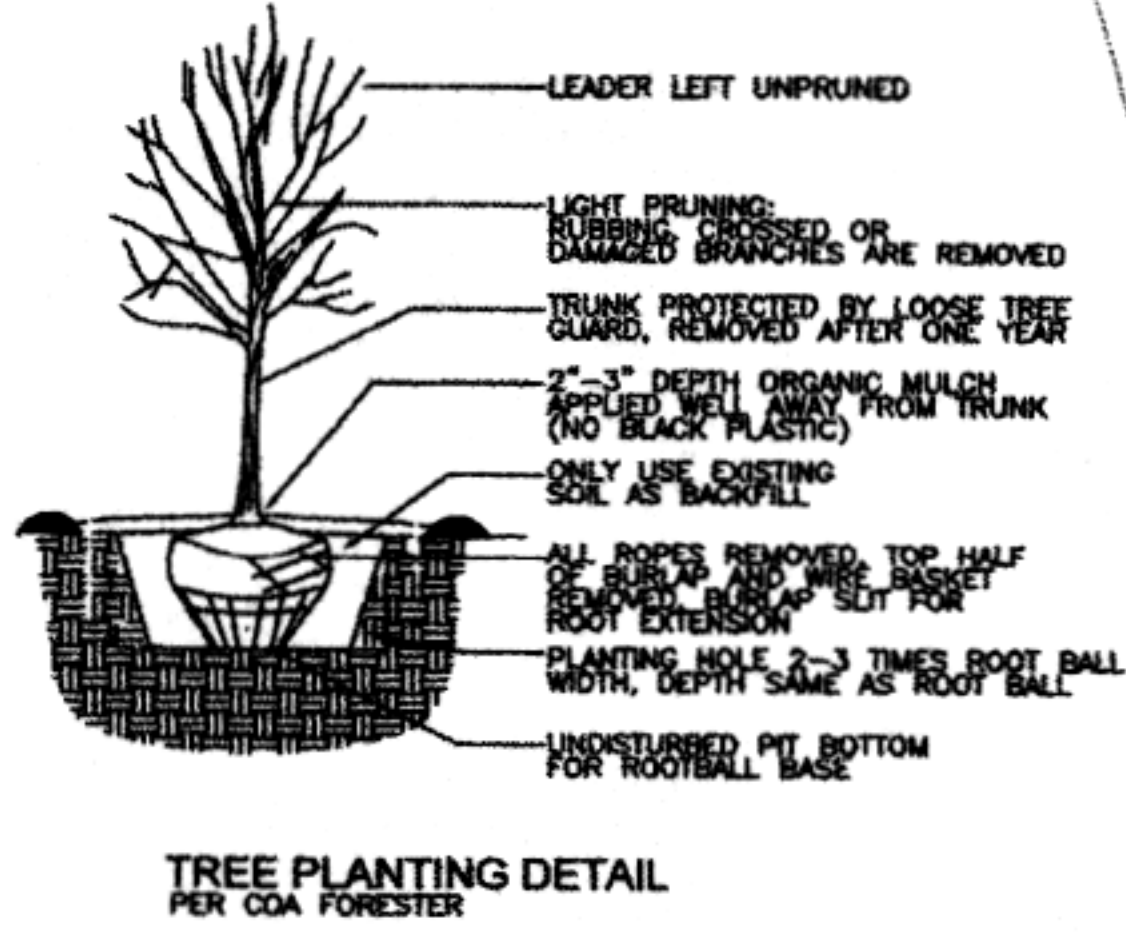
1 GRADING AND DRAINAGE PLAN
SCALE: 1"=20'

HRJ Architecture LLC
PO BOX 1088 PECOS, NM 87552/182a LA JOYA RD GLORIETA,
(505) 757-3691 FAX (505) 757-1822 hrj_arch@cybermesa.

PROJECT NO. _____
DATE _____
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GRADING AND DRAINAGE PLAN
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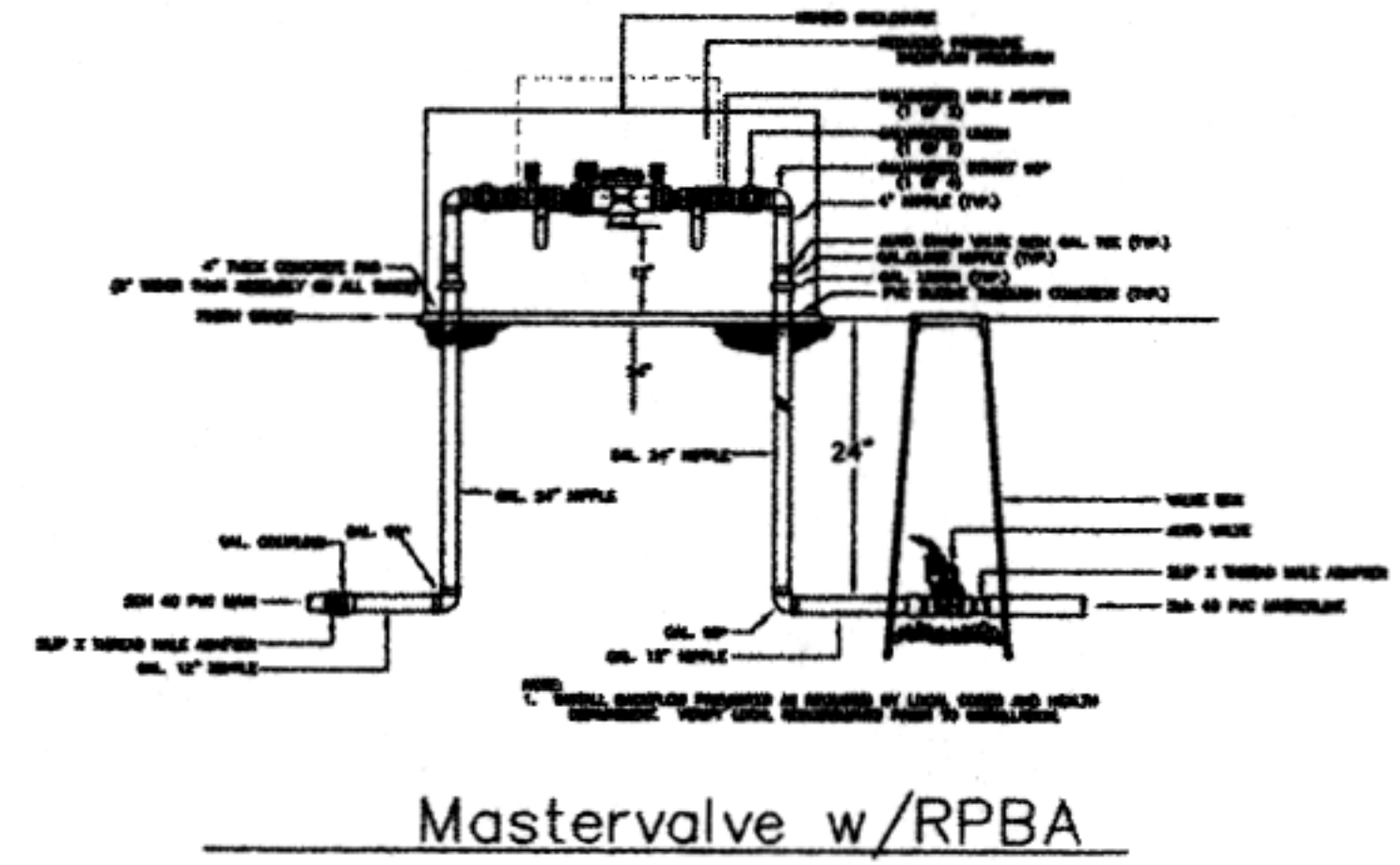
PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Installed Size	Mature Height/Spread	Landscape Coverage	Water Use	Drip Emitters Per Plant (see note)
7	(Symbol)	<i>Crataegus crus galli</i> 'Crusader' 'Crusader' Cockspur Hawthorn	15 Gal	20/25'		Medium	6-2 gph
7	(Symbol)	<i>Frazinus velutina</i> 'Berinda' Berinda Ash	2" B&B	40/40'		Medium	6-2 gph
6	(Symbol)	<i>Pinus flexilis</i> Vanderwolf Pine	2" B&B	30/20'		Medium	6-2 gph
9	(Symbol)	<i>Quercus gambelii</i> Gambel Oak	15 Gal	25/25'		Low +	4-2 gph
6	(Symbol)	<i>Pistachia</i> Chinese Pistacho	2" B&B	60/60'		Medium	6-2 gph

Qty.	Symbol	Scientific Name Common Name	Installed Size	Mature Height/Spread	Landscape Coverage	Water Use	Drip Emitters Per Plant (see note)
19	(Symbol)	<i>Leucophyllum</i> Texas Ranger	5-Gal	6/6'	20 sf=380 sf	Low+	2-2 gph
43	(Symbol)	<i>Jasminum</i> Winter Jasmine	5-Gal	4/12'	25 sf=1075 sf	Low+	2-2 gph
19	(Symbol)	<i>Cercocarpus ledifolius</i> Curl Leaf Mtn. Mahogany	5-Gal	15/15'	50 sf=950 sf	Low+	2-2 gph
18	(Symbol)	<i>Yucca baccata</i> Banana Yucca	5-Gal	4/5'	25 sf=450 sf	Low	2-1 gph
27	(Symbol)	<i>Falugia</i> Apache Plume	5-Gal	6/7'	25 sf=675 sf	Low	2-1 gph
48	(Symbol)	<i>Rhus trilobata</i> 'prostrata' Prostrate Sumac	5-Gal	2/6'	50 sf=2400 sf	Low +	2-2 gph
20	(Symbol)	<i>Lavandula angustifolia</i> English Lavender	1-Gal	3/3'	12 sf=240 sf	Medium	2-2 gph
14	(Symbol)	<i>Rosmarinus officinalis</i> Rosemary	5-Gal	6/6'	30 sf=420sf	Low +	2-2 gph
32	(Symbol)	<i>Elaeagnus</i> Silverberry	5-Gal	10/10'	50 sf=1800 sf	Medium	2-2 gph

Qty.	Symbol	Scientific Name Common Name	Installed Size	Mature Height/Spread	Landscape Coverage	Water Use	Drip Emitters Per Plant (see note)
16	(Symbol)	<i>Notine microcarpa</i> Beargrass	5-Gal	5/6'	18 sf=288 sf	Low+	2-1 gph
91	(Symbol)	<i>Stipa/Nassella</i> Threadgrass	1-Gal	2/2'	8 sf=728 sf	Low+	2-1 gph

Total landscape coverage=9,206 sf



Growing Better Up
Heads
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LANDSCAPE DATA

GROSS LOT AREA	87,118 SF	REQUIRED STREET TREES PROVIDED AT 30' O.C. SPACING STREET	7
LESS BUILDING(S)	15,850 SF	REQUIRED PARKING LOT TREES PROVIDED AT 1 PER 10 SPACES (120 SPACES/10)	12
NET LOT AREA	71,268 SF	TOTAL REQUIRED TREES	19
REQUIRED LANDSCAPE 15% OF NET LOT AREA	10,690 SF	TOTAL PROPOSED TREES (2" CAL.)	19
PROPOSED LANDSCAPE PERCENT OF NET LOT AREA	12,050 SF	REQUIRED LANDSCAPE COVERAGE 75% LIVE VEGETATIVE MATERIAL (12,050 SF x 75%)	9,038 SF MIN.
HIGH WATER USE TURF NONE PROPOSED	17%	PROVIDED LANDSCAPE COVERAGE	9,206 SF (75%)

NOTE

MAINTENANCE OF LANDSCAPE AND IRRIGATION IS THE RESPONSIBILITY OF THE OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM PROTECTED WITH REDUCED PRESSURE BACKFLOW PREVENTER (WILKINS MODEL 975) PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE AND POLLEN ORDINANCE

THIS PLAN SHALL PROVIDE AT MINIMUM 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY

LANDSCAPE AREAS TO BE MULCHED WITH 3/4" SANTA ANA TAN GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC

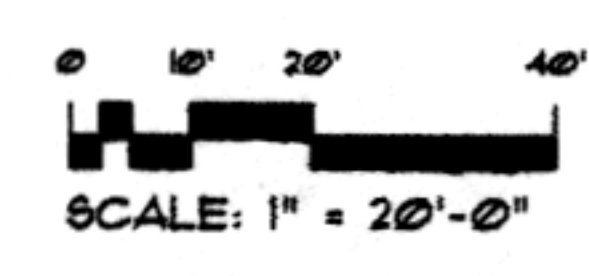
APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE

TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS

NO PARKING SPACE SHALL BE MORE THAN 100' FROM A TREE.

DRIP SYSTEM TO BE RUN 1 HOUR 4 DAYS A WEEK DURING ESTABLISHMENT AND SUMMER MONTHS

1 LANDSCAPE PLAN
1" = 20'-0"

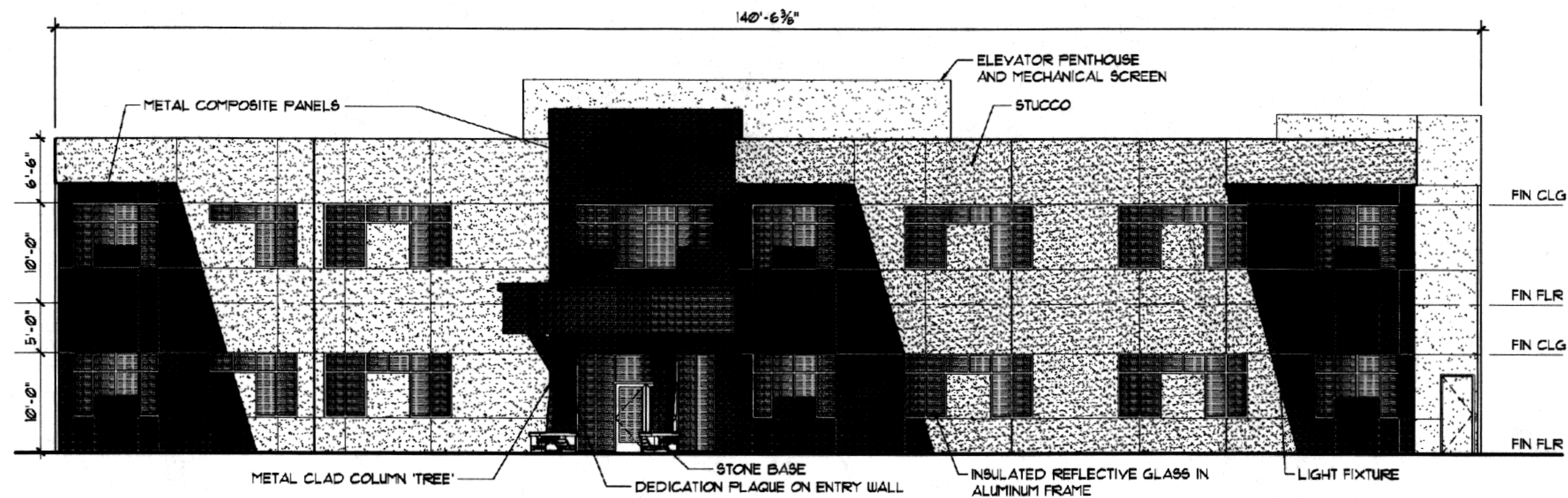


Zepol Complex at Journal Center 2
7421 Bartlett Street NE
Albuquerque, NM

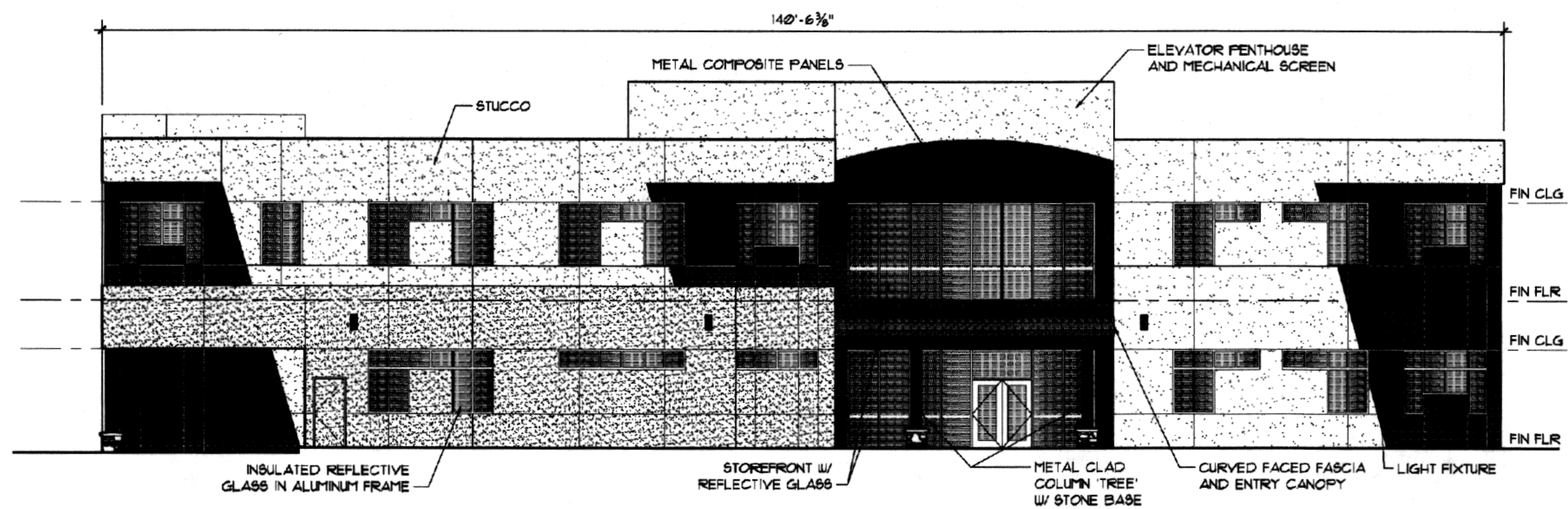
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35 65 95
COMPLETION

LANDSCAPE PLAN





3 EAST ELEVATION - PUBLIC ENTRANCE BARTLETT STREET
1/8" = 1'-0"



4 WEST ELEVATION - EMPLOYEE ENTRANCE
1/8" = 1'-0"

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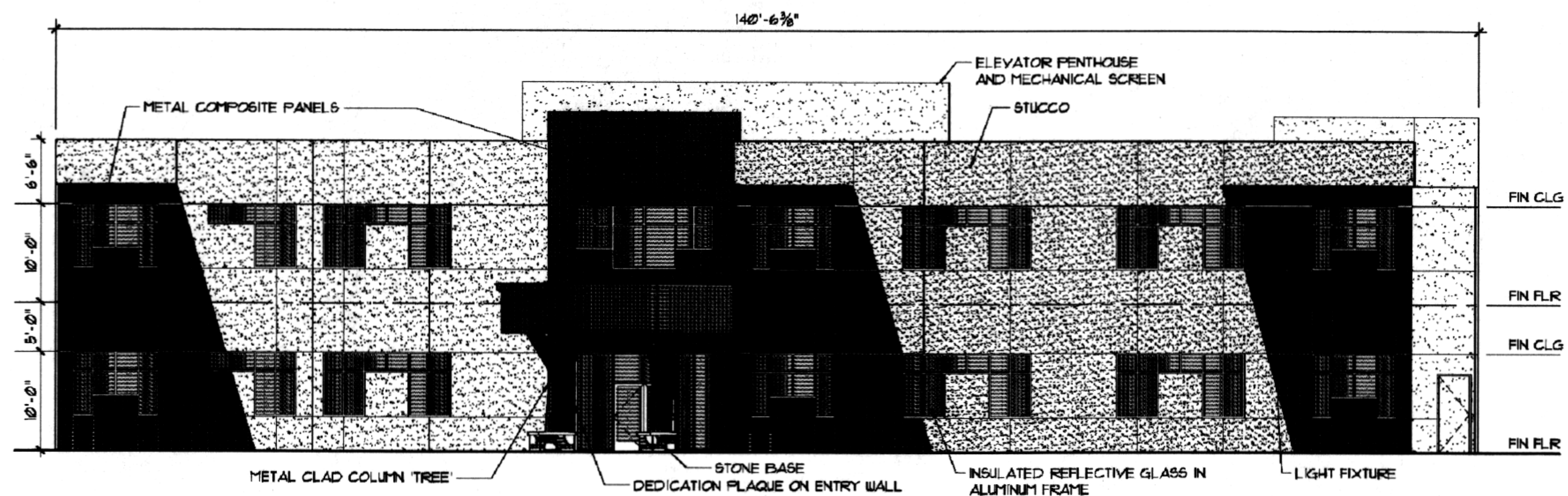


EXTERIOR ELEVATIONS
EAST AND WEST

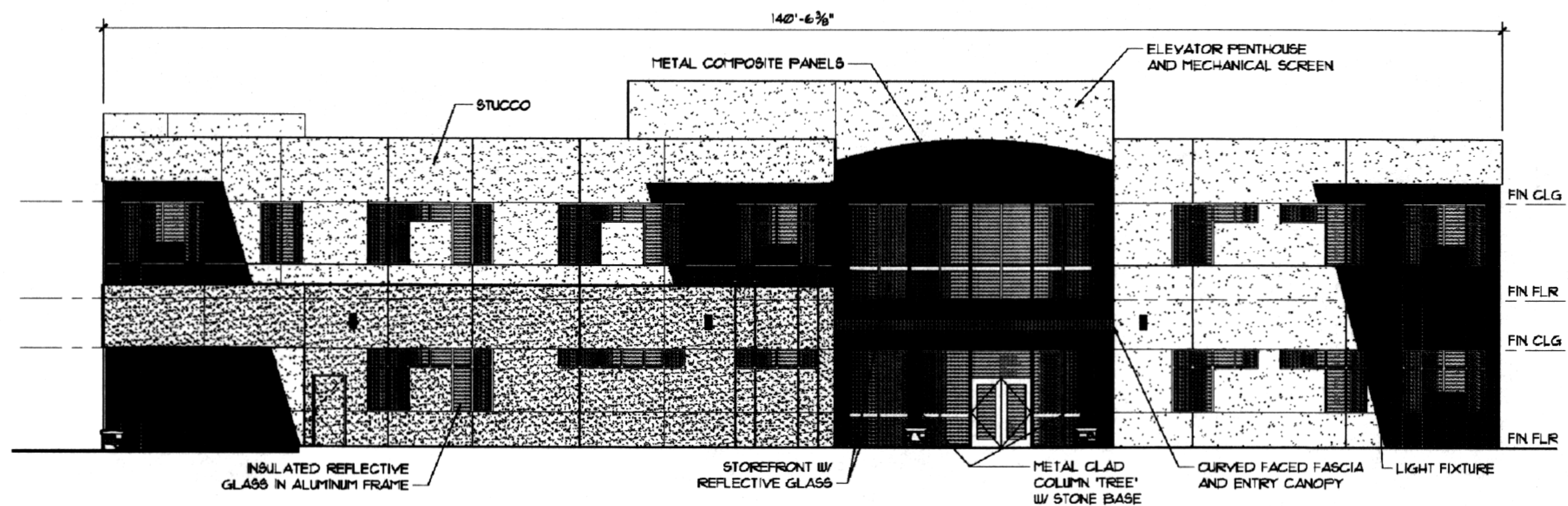
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A3.1

0 4' 8' 16'
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION - PUBLIC ENTRANCE BARTLETT STREET
1/8" = 1'-0"



4 WEST ELEVATION - EMPLOYEE ENTRANCE
1/8" = 1'-0"

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EAST AND WEST**
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A3.1

0 4' 8' 16'
SCALE: 1/8" = 1'-0"