

LEGAL DESCRIPTION:

A CERTAIN PARCEL OF LAND SITUATE WITHIN PROJECTED SECTION 23, TOWNSHIP 11 NORTH, RANGE 3 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN, TOWN OF ELENA GALLEGOS GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO; SAID PARCEL LYING WITHIN AND COMPRISED OF ALL OF LOTS 8 AND 9, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF JOURNAL CENTER, PHASE 2, UNIT 2, FILED ON MARCH 10, 2003, IN BOOK 2003C, PAGE 98, AND BEING MORE PARTICULARLY DESCRIBED BY NAD 83 NEW MEXICO CENTRAL ZONE GRID BEARINGS AND GROUND DISTANCES AS FOLLOWS:

COMMENCING AT THE TRUE POINT OF BEGINNING BEING A FOUND 5/8 INCH REBAR FOR THE SOUTHWEST CORNER OF SAID LOT 9, FROM WHENCE A FOUND ALBUQUERQUE GEODETIC REFERENCE STATION STAMPED "NAA-8" AND HAVING NAD 83 NEW MEXICO CENTRAL ZONE, COORDINATE VALUES OF X:1,534,148.397 FEET Y:1,513,775.500 FEET BEARS S.30°41'48"W. A DISTANCE OF 2,012.70 FEET; THENCE, CONTINUING ALONG THE WEST LINE OF SAID LOT 9,

N.00°32'23"E., A DISTANCE OF 111.06 FEET TO A FOUND CHISELED "X" FOR THE SOUTHEAST CORNER OF PARCEL E OF THE A.M.A.F.C.A. NORTH DIVERSION CHANNEL FILED ON OCTOBER 11, 1996 ON VOL. 96C, FOLIO 429; THENCE,

N.05°50'06"E., ALONG THE EAST RIGHT-OF-WAY LINE OF SAID PARCEL E, A DISTANCE OF 178.80 FEET TO THE NORTHWEST CORNER OF SAID LOT 8; THENCE,

S.89°36'07"E., A DISTANCE OF 289.41 FEET TO THE NORTHEAST CORNER OF SAID LOT 8 BEING A FOUND 5/8 INCH REBAR AND ALSO BEING A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF BARTLETT STREET NORTHEAST; THENCE,

S00°20'06"W., ALONG THE WESTERLY RIGHT-OF-WAY LINE OF BARTLETT STREET NORTHEAST A DISTANCE OF 288.55 FEET TO A FOUND 5/8 INCH REBAR FOR THE SOUTHEAST CORNER OF SAID LOT 9; THENCE,

N.89°41'44"W., A DISTANCE OF 306.94 FEET TO THE TRUE POINT OF BEGINNING;

SAID PARCEL OF LAND HEREIN DESCRIBED CONTAINS 1.9979 ACRES (87,027.12 SQUARE FEET) MORE OR LESS;

DOCUMENTS USED FOR THE PREPARATION AND BASIS OF THIS SURVEY:

1. PLAT ENTITLED "JOURNAL CENTER, PHASE 2, UNIT 2" FILED WITH THE BERNALILLO COUNTY CLERKS OFFICE ON MARCH 10, 2003 IN BOOK 2003C, PAGE 98.

2. PLAT ENTITLED "LOTS 10-A, 10-B, 15-A, & 15-B, JOURNAL CENTER, PHASE 2, UNIT 2" FILED WITH THE BERNALILLO COUNTY CLERKS OFFICE ON AUGUST 18, 2003 IN BOOK 2003C, PAGE 251.

3. PLAT ENTITLED "A.M.A.F.C.A., NORTH DIVERSION CHANNEL & INLET CHANNELS, DRAINAGE RIGHT-OF-WAY, PHASE 4, RIGHT-OF-WAY PARCELS A THRU G" FILED WITH THE BERNALILLO COUNTY CLERKS OFFICE ON OCTOBER 11, 1996 IN VOLUME 96C, FOLIO 429.

FREE CONSENT AND DEDICATION:

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THAT CERTAIN PARCEL OF LAND HEREIN DESCRIBED AND BEING COMPRISED OF LOTS 8 AND 9 BEING INCLUSIVE TO PLAT OF JOURNAL CENTER, PHASE 2 UNIT 2, DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS SHOWN AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) AND SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE PARCEL(S) HEREIN DESCRIBED AND DO HEREBY GRANT EASEMENTS AS SHOWN HEREON, SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY REPRESENT THAT THEY ARE SO AUTHORIZED TO ACT.

BY: Carlos Martin Lopez
CARLOS MARTIN LOPEZ

BY: Patricia A. Lopez
PATRICIA A. LOPEZ

ACKNOWLEDGMENT

STATE OF _____)) SS.

COUNTY OF _____)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 12th DAY OF June, 2009, BY CARLOS MARTIN LOPEZ & PATRICIA A. LOPEZ.

NOTARY PUBLIC: Diana L. Luna
MY COMMISSION EXPIRES: Aug 30, 2010

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON

UNIFORM PROPERTY CODE # 1-017-063-081213-3-04-22 & 1-017-063-080198-3-04-23
PROPERTY OWNER OF RECORD: CARLOS MARTIN LOPEZ & PATRICIA A. LOPEZ

BERNALILLO COUNTY TREASURER'S OFFICE: D. Chavez 8/14/09

**PLAT OF
LOT 8-A
JOURNAL CENTER
PHASE 2, UNIT 2
SITUATE WITHIN
PROJECTED SECTION 23, T. 11 N., R. 3 E., N.M.P.M.
TOWN OF ELENA GALLEGOS GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE 2009**

PROJECT NUMBER: 1007775
APPLICATION NUMBER: 09DRB-10206

UTILITY APPROVALS:

Lernando Vigil 6-25-2009
PUBLIC SERVICE COMPANY OF NEW MEXICO DATE

Quela Ros 6/25/2009
NEW MEXICO GAS COMPANY DATE

Greg Hunt 6-26-09
QWEST TELECOMMUNICATIONS DATE

Robert Nathan 6-25-09
COMCAST DATE

CITY APPROVALS:

Y. B. Gal 6-15-09
CITY OF ALBUQUERQUE SURVEYOR DATE

N/A
REAL PROPERTY DIVISION DATE

NSRS 06/24/09
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE

Roger A. Green 6-24-09
ALBUQUERQUE BERNALILLO COUNTY WATER MUNICIPALITY AUTHORITY DATE

Christina Sandoval 6/24/09
PARKS & RECREATION DEPARTMENT DATE

Lynn M. Mayan 7-7-09
A.M.A.F.C.A. DATE

Bradley L. Bingham 7/8/09
CITY ENGINEER DATE

John Chad 8/14/09
DRB CHAIRPERSON, PLANNING DEPT. DATE

DOC# 2009093386
08/17/2009 10:24 AM Page: 1 of 2
PLAT # 12.00 B: 2009C P: 0130 M. Toulouse Olivere, Bernalillo Cou

PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS TO ELIMINATE THE LOT LINE COMMON TO LOTS 8 AND 9 AND COMBINE INTO ONE CONTIGUOUS PARCEL.

SUBDIVISION DATA:

CITY CASE NO. _____ GROSS SUBDIVISION ACREAGE 1.9979 ACRES
ZONE ATLAS INDEX NO. D-17-Z CURRENT ZONING IP
DATE OF SURVEY MARCH 2009 TALOS LOG NO. 2009241041 & 2009241050
TOTAL NO. OF LOTS EXISTING 2
TOTAL NO. OF LOTS CREATED 1
TOTAL MILEAGE OF STREETS CREATED: 0 MILES
TOTAL MILEAGE OF 1/2 WIDTH STREETS CREATED: 0 MILES

NOTES:

- FIELD SURVEY PERFORMED IN MARCH 2009.
- ALL DISTANCES SHOWN ARE GROUND DISTANCES.
- ALBUQUERQUE GEODETIC REFERENCE STATIONS USED:
ALBUQUERQUE GEODETIC REFERENCE STATION "REEVES 2 1991" DATA:
STANDARD CITY OF ALBUQUERQUE BRASS CAP (FOUND IN PLACE)
NAD 1983 NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE)
X=1,534,308.480 FEET Y=1,516,569.742 FEET (NAVD 1988)
GROUND TO GRID FACTOR = 0.999673430 DELTA ALPHA = (-)00°12'16.19"
ALBUQUERQUE GEODETIC REFERENCE STATION "NAA-8" DATA:
STANDARD CITY OF ALBUQUERQUE BRASS CAP (FOUND IN PLACE)
NAD 1983 NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE)
X=1,534,148.397 FEET Y=1,513,775.500 FEET (NAVD 1988)
GROUND TO GRID FACTOR = 0.999673929 DELTA ALPHA = (-)00°12'17.09"
- BASIS OF BEARING - NAD 83 STATE PLANE, NM CENTRAL ZONE GRID BEARINGS USING FOUND MONUMENTS REFERENCED ABOVE IN NOTE NO. 3. (S03°16'44"E).
- CORNERS IDENTIFIED AS "SET", ARE 5/8" REBAR WITH CAP STAMPED "PS15702", AND DEPICTED AS, UNLESS OTHERWISE INDICATED.
- BEARINGS AND DISTANCES SHOWN IN PARENTHESIS () ARE PER RECORDED PLAT.

SOLAR COLLECTOR NOTE:

NO PROPERTY WITHIN THE AREA OF THIS PLATTING SHALL AT ANY TIME BE SUBJECT TO DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THIS PLAT.

SURVEYOR'S CERTIFICATE:

I, CHRISTOPHER A. MEDINA, NEW MEXICO PROFESSIONAL SURVEYOR NO. 15702, DO HEREBY CERTIFY THAT THIS PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE; SHOWS ALL EASEMENTS ON SUBJECT TRACT(S) AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNER(S), UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST; MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS EFFECTIVE MAY 1, 2007; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Christopher A. Medina June 11, 2009
CHRISTOPHER A. MEDINA, NMPLS NO. 15702 DATE



TERRA LAND SURVEYS, LLC
P.O. BOX 2532 • CORRALES, NM 87048 • (505) 792-0513

PUBLIC UTILITY EASEMENT NOTE:

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

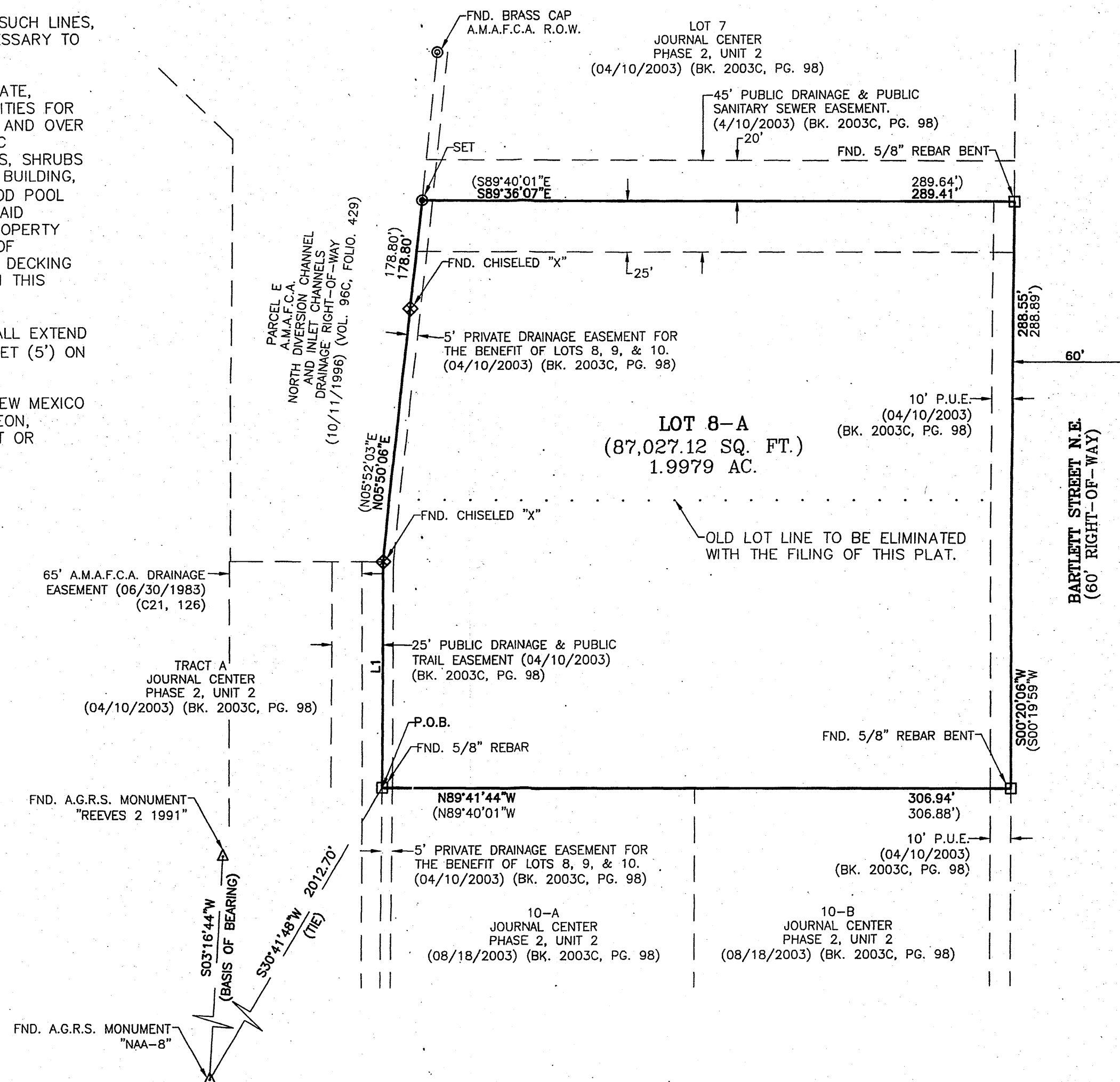
1. PUBLIC SERVICE COMPANY OF NEW MEXICO FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
2. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
3. QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
4. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLES, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OR POOLS, DECKING OR ANY STRUCTURES ADJACENT TO, WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10;) IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO AND NEW MEXICO GAS COMPANY DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON, CONSEQUENTLY, SAID COMPANIES DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHT TO WHICH THEY MAY BE ENTITLED.

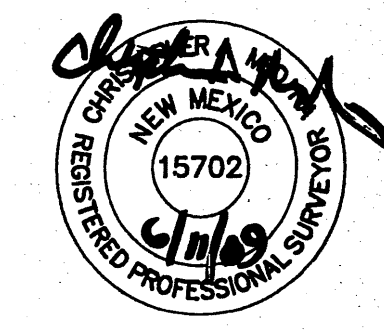
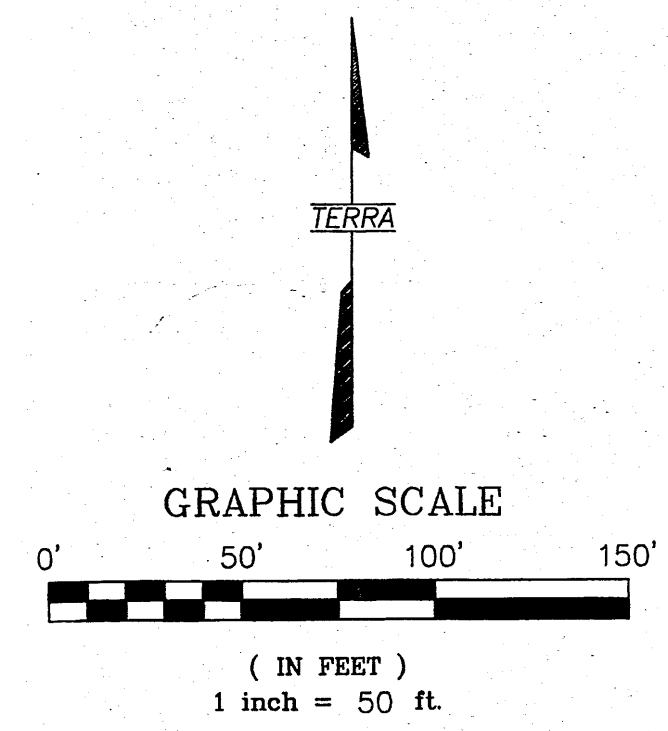
**PLAT OF
LOT 8-A
JOURNAL CENTER
PHASE 2, UNIT 2
SITUATE WITHIN
PROJECTED SECTION 23, T. 11 N., R. 3 E., N.M.P.M.
TOWN OF ELENA GALLEGOS GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE 2009**



- LEGEND**
- △ A.G.R.S. MONUMENT
 - FOUND REBAR (AS NOTED)
 - ⊗ FOUND CHISELED "X" (AS NOTED)
 - ⊙ FOUND BRASS CAP (AS NOTED)
 - ⊙ SET 5/8" REBAR W/CAP STAMPED "C.A. MEDINA PS 15702"

DOCH 2009093386
08/17/2009 10:24 AM Page: 2 of 2
City PLAT # 12,00 B: 2009C P: 0130 M: Toulous Olivere, Bernalillo Cou

| LINE | BEARING | DISTANCE |
|------|------------------------------|----------------------|
| L1 | N00°32'23"E (N00°19'59"E) | 111.06' (110.92') |



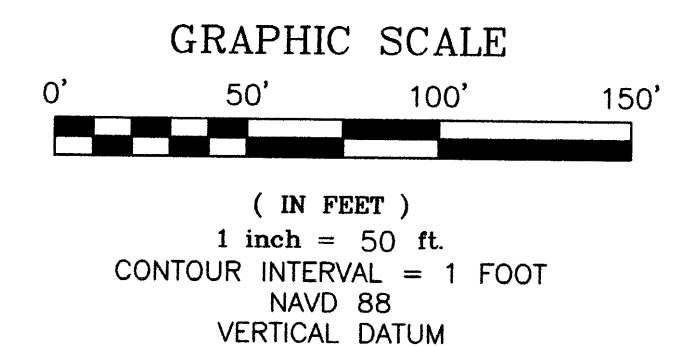
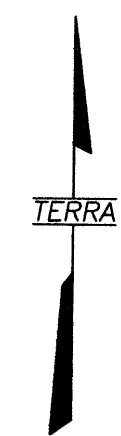
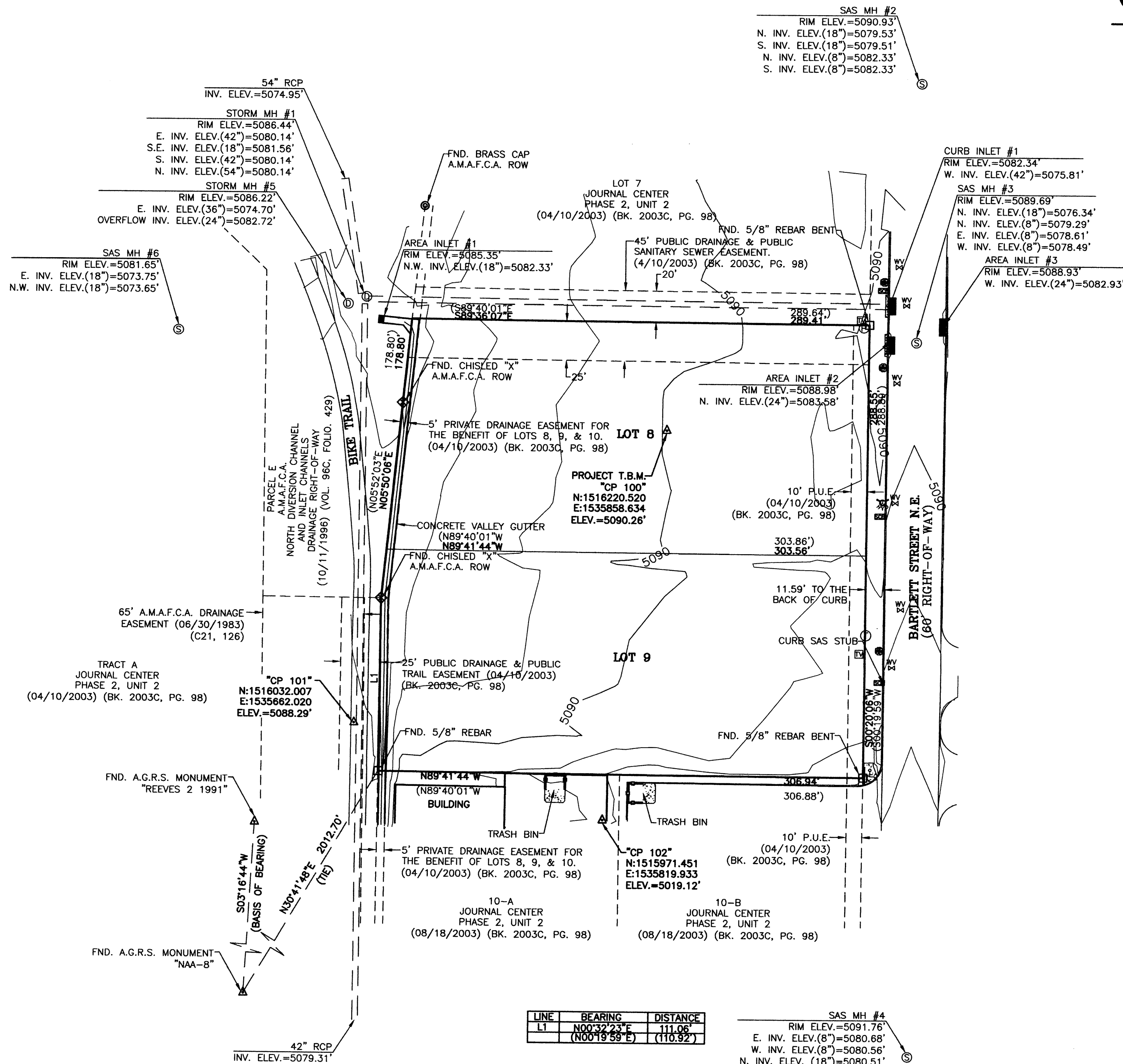
TERRA LAND SURVEYS, LLC
P.O. BOX 2532 • CORRALES, NM 87048 • (505) 792-0513

EXISTING SITE CONDITIONS

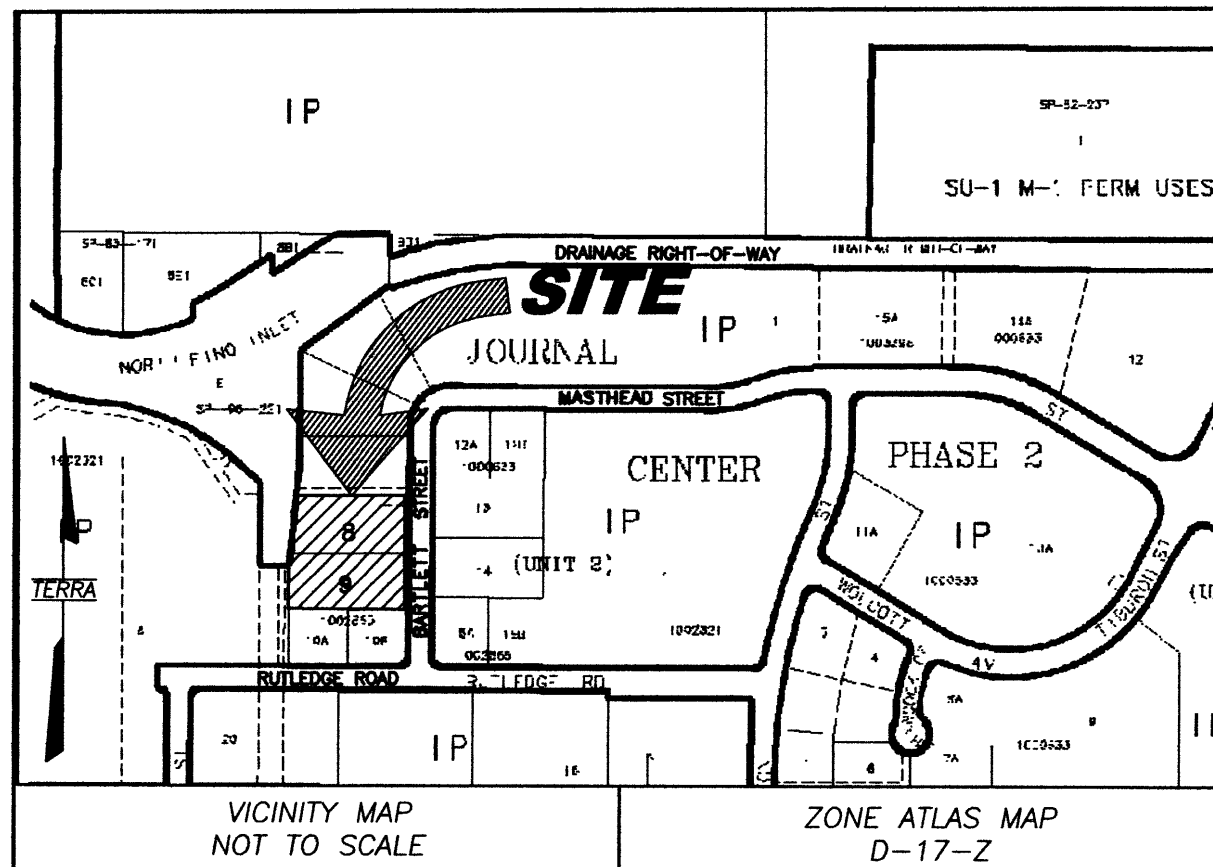
EXISTING CONDITION OF
LOTS 8 & 9 OF JOURNAL CENTER
PHASE 2, UNIT 2
JUNE 2009

LEGEND

- △ FOUND MONUMENT (AS NOTED)
- FOUND REBAR (AS NOTED)
- ◇ FOUND CHISLED "X" (AS NOTED)
- ⊙ FOUND BRASS CAP (AS NOTED)
- ⊕ FIRE HYDRANT
- ⊖ WATER VALVE
- ⊗ WATER METER
- ⊠ SPRINKLER CONTROL BOX
- ⊡ CURB INLET
- ⊙ STORM MANHOLE
- ⊠ AREA INLET
- ⊙ TELEPHONE MANHOLE
- ⊙ POWER PEDESTAL
- ⊙ SANITARY MANHOLE
- ⊙ CABLE TV
- ⊙ HANDICAPP
- ⊙ BLOCK WALL
- ▒ CONCRETE



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P.O. BOX 2532 • CORRALES, NM 87048 • (505) 792-0513



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NOTES:

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 ALBUQUERQUE GEODETIC REFERENCE STATION "REEVES 2 1991" DATA:
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SOLAR COLLECTOR NOTE:

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SURVEYOR'S CERTIFICATE:

I, CHRISTOPHER A. MEDINA, NEW MEXICO PROFESSIONAL SURVEYOR NO. 15702, DO HEREBY CERTIFY THAT THIS PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE; SHOWS ALL EASEMENTS ON SUBJECT TRACT(S) AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNER(S), UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST; MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS EFFECTIVE MAY 1, 2007; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

CHRISTOPHER A. MEDINA, NMPLS NO. 15702 _____ DATE _____

LEGAL DESCRIPTION:

A CERTAIN PARCEL OF LAND SITUATE WITHIN PROJECTED SECTION 23, TOWNSHIP 11 NORTH, RANGE 3 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN, TOWN OF ELENA GALLEGOS GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO; SAID PARCEL LYING WITHIN AND COMPRISED OF ALL OF LOTS 8 AND 9, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF JOURNAL CENTER, PHASE 2, UNIT 2, FILED ON MARCH 10, 2003, IN BOOK 2003C, PAGE 98, AND BEING MORE PARTICULARLY DESCRIBED BY NAD 83 NEW MEXICO CENTRAL ZONE GRID BEARINGS AND GROUND DISTANCES AS FOLLOWS:

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SAID PARCEL OF LAND HEREIN DESCRIBED CONTAINS 1.9979 ACRES (87,027.12 SQUARE FEET) MORE OR LESS;

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FREE CONSENT AND DEDICATION:

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THAT CERTAIN PARCEL OF LAND HEREIN DESCRIBED AND BEING COMPRISED OF LOTS 8 AND 9 BEING INCLUSIVE TO PLAT OF JOURNAL CENTER, PHASE 2 UNIT 2, DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS SHOWN AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) AND SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE PARCEL(S) HEREIN DESCRIBED AND DO HEREBY GRANT EASEMENTS AS SHOWN HEREON, SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY REPRESENT THAT THEY ARE SO AUTHORIZED TO ACT.

BY: _____
 CARLOS MARTIN LOPEZ

BY: _____
 PATRICIA A. LOPEZ

ACKNOWLEDGMENT

STATE OF _____)) SS.
 COUNTY OF _____)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS _____ DAY OF _____, 2009, BY CARLOS MARTIN LOPEZ & PATRICIA A. LOPEZ.

NOTARY PUBLIC: _____
 MY COMMISSION EXPIRES: _____

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON

UNIFORM PROPERTY CODE #: 1-017-063-081213-3-04-22 & 1-017-063-080198-3-04-23
 PROPERTY OWNER OF RECORD: CARLOS MARTIN LOPEZ & PATRICIA A. LOPEZ

BERNALILLO COUNTY TREASURE'S OFFICE: _____

**PLAT OF
 LOT 8-A
 JOURNAL CENTER
 PHASE 2, UNIT 2
 SITUATE WITHIN
 PROJECTED SECTION 23, T. 11 N., R. 3 E., N.M.P.M.
 TOWN OF ELENA GALLEGOS GRANT
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE 2009**

PROJECT NUMBER: _____
 APPLICATION NUMBER: _____

UTILITY APPROVALS:

PUBLIC SERVICE COMPANY OF NEW MEXICO _____ DATE _____

NEW MEXICO GAS COMPANY _____ DATE _____

QWEST TELECOMMUNICATIONS _____ DATE _____

COMCAST _____ DATE _____

CITY APPROVALS:

CITY OF ALBUQUERQUE SURVEYOR _____ DATE _____

N/A
 REAL PROPERTY DIVISION _____ DATE _____

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____

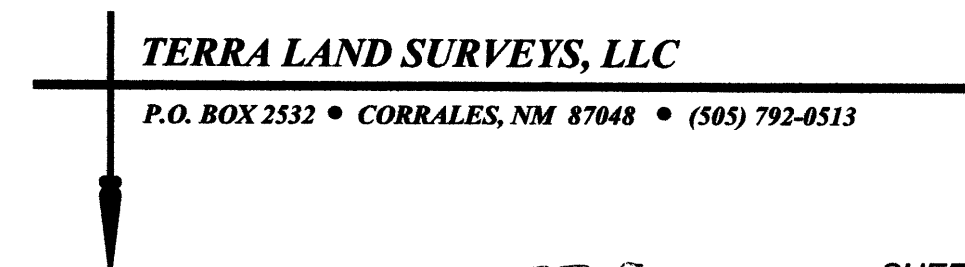
ALBUQUERQUE BERNALILLO COUNTY WATER MUNICIPALITY AUTHORITY _____ DATE _____

PARKS & RECREATION DEPARTMENT _____ DATE _____

A.M.A.F.C.A. _____ DATE _____

CITY ENGINEER _____ DATE _____

DRB CHAIRPERSON, PLANNING DEPT. _____ DATE _____



PUBLIC UTILITY EASEMENT NOTE:

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

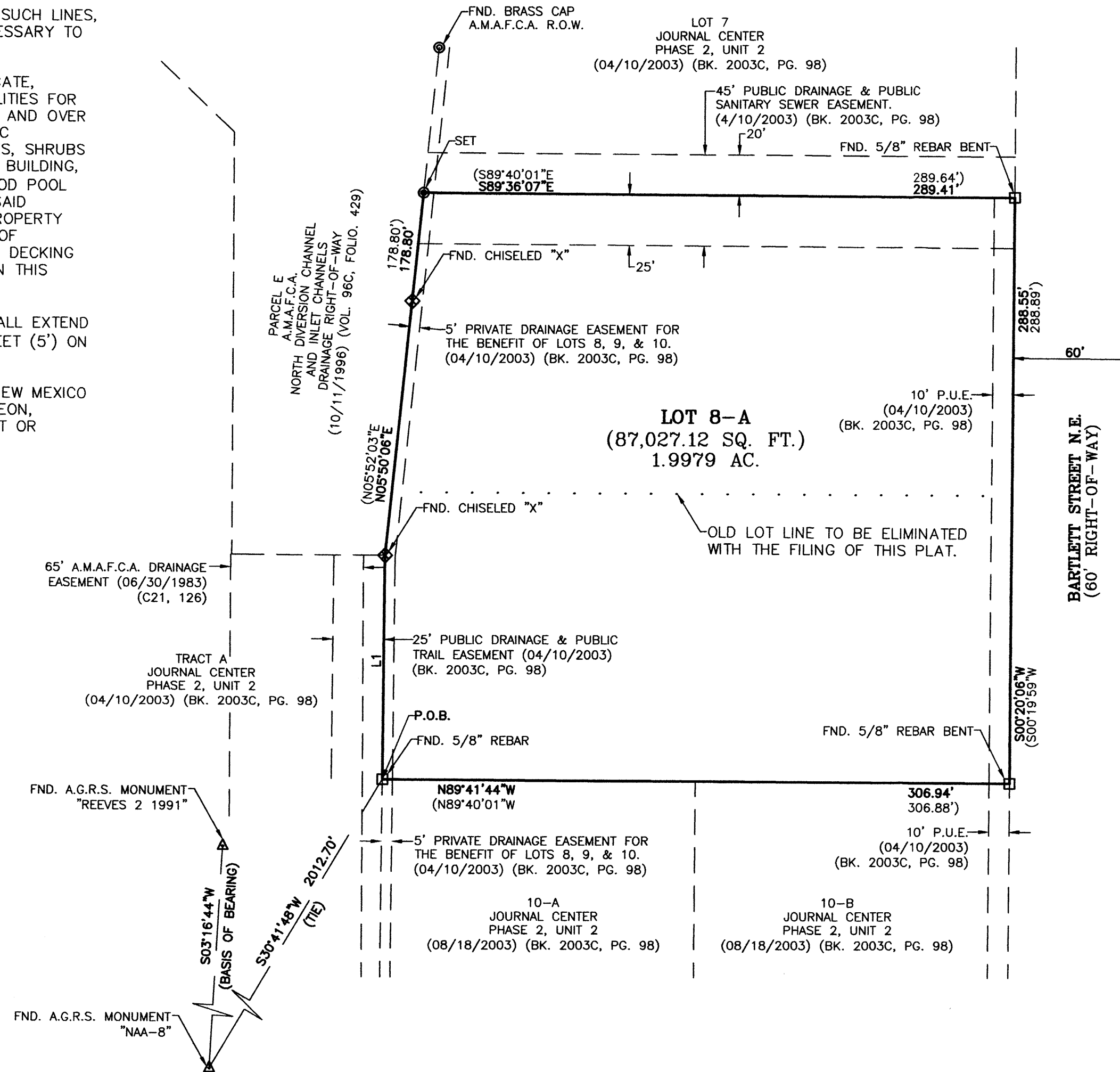
1. PUBLIC SERVICE COMPANY OF NEW MEXICO FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
2. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
3. QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
4. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLES, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OR POOLS, DECKING OR ANY STRUCTURES ADJACENT TO, WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10;) IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO AND NEW MEXICO GAS COMPANY DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON, CONSEQUENTLY, SAID COMPANIES DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHT TO WHICH THEY MAY BE ENTITLED.

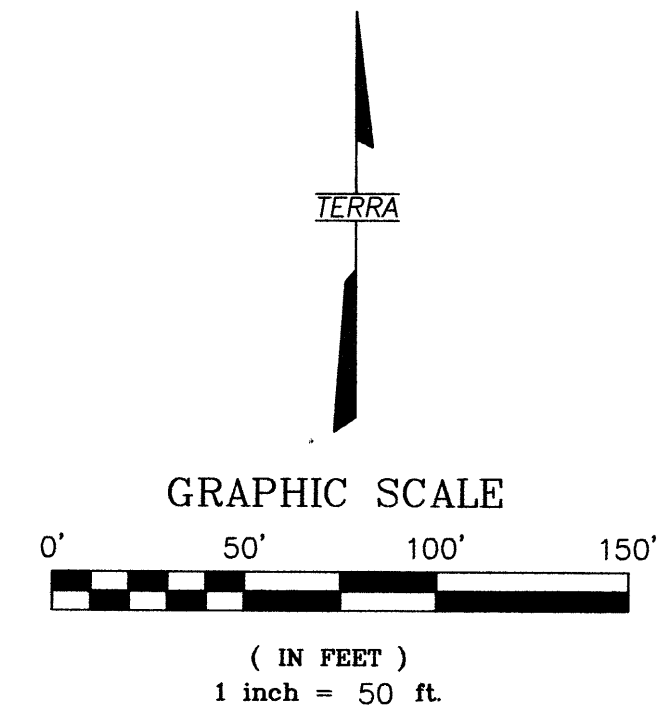
**PLAT OF
LOT 8-A
JOURNAL CENTER
PHASE 2, UNIT 2
SITUATE WITHIN
PROJECTED SECTION 23, T. 11 N., R. 3 E., N.M.P.M.
TOWN OF ELENA GALLEGOS GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE 2009**



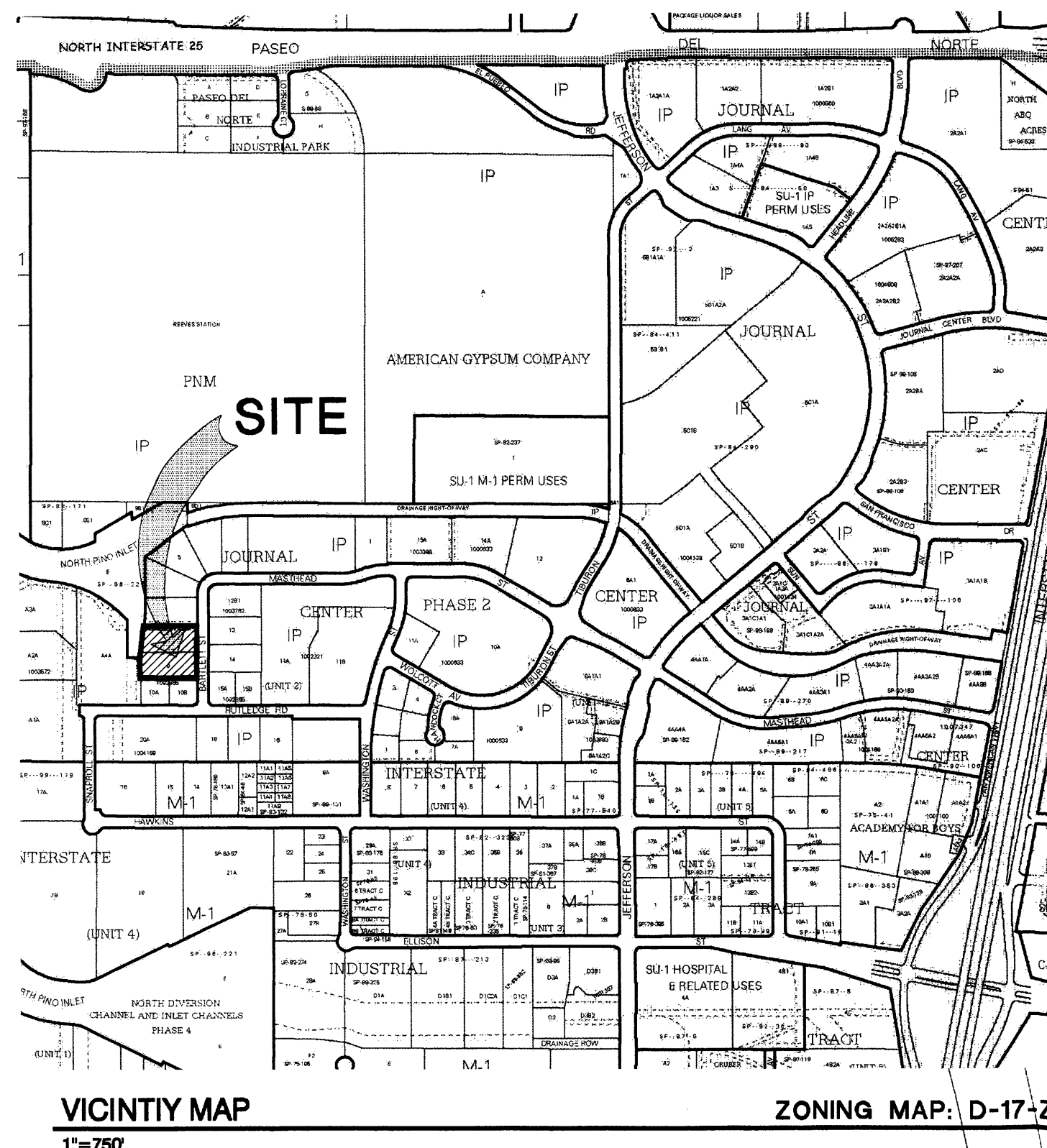
LEGEND

- △ A.G.R.S. MONUMENT
- FOUND REBAR (AS NOTED)
- ⊠ FOUND CHISELED "X" (AS NOTED)
- ⊙ FOUND BRASS CAP (AS NOTED)
- ⊙ SET 5/8" REBAR W/CAP STAMPED "C.A. MEDINA PS 15702"

| LINE | BEARING | DISTANCE |
|------|---------------|-----------|
| L1 | N00°32'23"E | 111.06' |
| | (N00°19'59"E) | (110.92') |



TERRA LAND SURVEYS, LLC
P.O. BOX 2532 • CORRALES, NM 87048 • (505) 792-0513



VICINITY MAP 1"=750' ZONING MAP: D-17-Z

KEYED NOTES:

1. HANDICAP RAMP PER CITY OF ALBUQUERQUE STANDARDS 2426
2. MONUMENT SIGN SIGN TO MEET JOURNAL CENTER TENANT, AND CITY OF ALBUQUERQUE REGULATIONS
3. ELECTRICAL TRANSFORMER
4. 7' HIGH METAL SECURITY FENCE SEE DETAIL 2/C1
5. ELECTRICAL ACCESS GATE
6. ENTRY/EXIT GATE CARD READER
7. LOCKED GATE W/ CARD READER
8. 4'-0" WIDE MOTORCYCLE PARKING SPACE(S)
9. 20' POLE LIGHT FOR BUILDING LIGHTING SEE A31 & A32
10. BICYCLE RACK 3 SPACES
11. WOOD BENCH
12. ARTS IN PUBLIC PLACES LOCATION
13. SLOPED SIDEWALK HANDICAP RAMP, MAXIMUM RAMP SLOPE OF 12.1%
14. BICYCLE RACK 6 SPACES
15. CONCRETE STAMPED EMPLOYEE PLAZA
16. COVERED PICNIC TABLE
17. FREE-ENGINEERED METAL BUILDING CANOPY FOR 20 COVERED PARKING SPACES
18. FUTURE EXPANSION OF FIRST AND SECOND FLOOR
19. TRASH ENCLOSURE SEE DETAIL 1/C1
20. 6" WIDE X 6" HIGH ABOVE ADJACENT SURFACE HEADER CURB RAMP LANDING AT SAME ELEVATION AS PARKING LOT. SEE 4/C1
21. PAINTED 12" BLOCK LETTERS AND/OR SYMBOL INDICATING TYPE OF PARKING SPACE
22. EXISTING FIRE HYDRANT
23. EXISTING WATER LINE ON LOT 9 STUB-OUT TO BE USED FOR SERVICE. LOT 8 LINE TO BE LEFT IN CURRENT LOCATION. ADJUST TO PAVEMENT LEVEL AND PROVIDE LOCKING TOP FOR BOTH EXISTING METER BOXES
24. LOCATION OF NEW WATER METER. PROVIDE LOCK TOP FOR METER. EXISTING 1/2" WATER LINE CONSTRUCTED OF C-900 PIPE
25. CONNECT FIRE LINE TO EXISTING 6" FIRE LINE. FIRE LINE CONSTRUCTED OF C-900 PIPE
26. CONNECT SANITARY SEWER LINE TO 6" SANITARY SEWER TAP. LINE CONSTRUCTED OF SDR-26
27. GAS LINE TO BE CONNECTED TO EXISTING LINE. VERIFY W/ GAS COMPANY.
28. HANDICAP SIGN TYPICAL EACH HANDICAP PARKING SPACE SEE 3/C1
29. EXISTING TELEPHONE OR CABLE TV FEDESTAL. COORDINATE RELOCATION WITH RESPECTIVE COMPANY.
30. EXISTING TRASH ENCLOSURE
31. NEW 4" CONCRETE SIDEWALK

AFD PLANS CHECKING OFFICE
924-3511
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
4/30/09
SIGNATURE & DATE

PARKING ANALYSIS

1. PARKING TO BE PER CITY OF ALBUQUERQUE ZONING CODE 14-16-3-1.
 2. PARKING SPACES REQUIRED:
OFFICE: 1 SPACE PER 200 SF. OF NET LEASABLE AREA ON THE GROUND FLOOR AND 1 SPACE PER 300 SF. OF NET LEASABLE AREA OF ALL FLOORS ABOVE THE GROUND FLOOR. (AX21)
- | | REQUIRED | PROVIDED |
|--|----------|----------|
| 113 SPACES - REGULAR | 6 | 5 |
| VAN (1:6) | 3 | 2 |
| 3. MOTORCYCLE PARKING (10:150) | 4 | 4 |
| SPACES (4x8) PER (FX7) | | |
| 4. BICYCLE (1/20 PARKING SPACES) | 6 | 9 |
| SPACES PER (BX3) - 3 PUBLIC AND 6 EMPLOYEE | | |
- 1ST FLOOR: 14,204/200 = 71
2ND FLOOR: 12,655/300 = 42
TOTAL: 113 120
- 2.1. REGULAR CAR PARKING SPACE = 9'x18'. ALLOW 2'-0" OVERHANG
 - 2.2. SMALL CAR PARKING (8'x16') - 25% ALLOWED (120/25 = 30 SPACES) - 30 PROVIDED. ALLOW 1'-6" OVERHANG

PROJECT INFORMATION

PROJECT DESCRIPTION: BUSINESS - OFFICE BUILDING
LEGAL DESCRIPTION: LOTS 8 & 9 PLAT OF JOURNAL CENTER PHASE 2 UNIT 2, A REPLAT OF TRACT 8A-1 JOURNAL CENTER PHASE 2 UNIT 1
LOT AREA: LOT 8 - 1.00± ACRE
LOT 9 - 1.00± ACRE
TOTAL 2.00± ACRE
BUILDING GROSS AREA 1ST FLOOR: 15,845 s.f.
LOT COVERAGE: 15,845 s.f./87,120 s.f. = 18.2% LOT COVERAGE
w/ EXPANSION: 16,264 s.f./87,120 s.f. = 18.7% LOT COVERAGE
ZONE MAP: D-17-Z
ZONING: IF (INDUSTRIAL PARK)
FOR LANDSCAPING AREA, LANDSCAPING PLAN

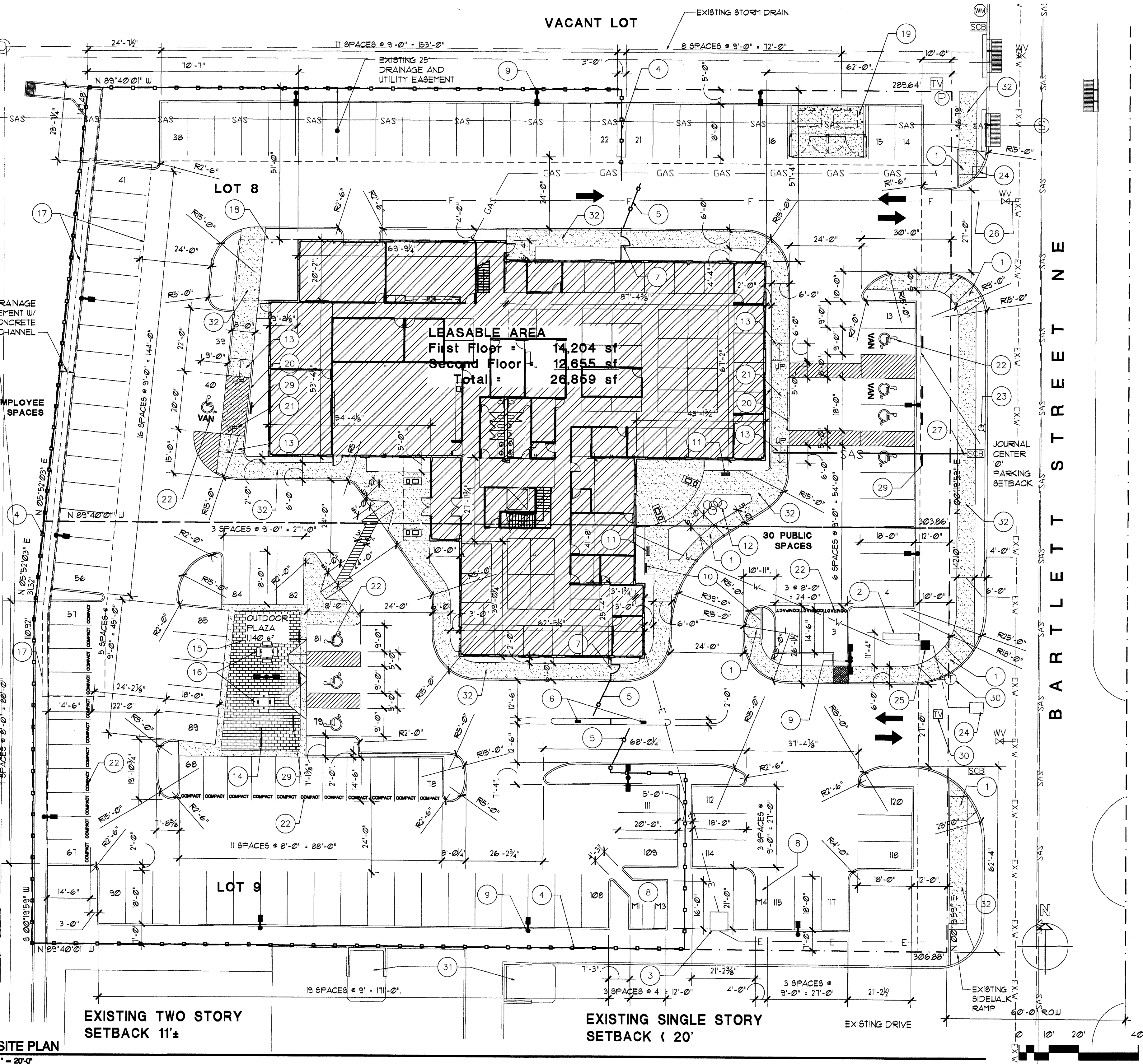
GENERAL NOTES:

- A. ALL CONSTRUCTION AND DESIGN SHALL COMPLY WITH CURRENT INTERNATIONAL BUILDING CODE (IBC), CITY OF ALBUQUERQUE BUILDING CODE, ADA, ANSI, AND ALL OTHER CODES AND REGULATIONS
- B. PARKING LAYOUT SHALL CONFORM TO CITY OF ALBUQUERQUE PARKING REQUIREMENTS. PARKING LOT TO BE ASPHALTIC CONCRETE. REGULAR PARKING SPACES: 9'x20' SMALL CAR PARKING SPACE: 8'x16' (25% OF PARKING: 30 SPACES) REGULAR DRIVE AISLE: 24' SMALL CAR DRIVE AISLE: 20'
- C. SITE DESIGN SHALL COMPLY WITH JOURNAL CENTER COVENANTS AND STANDARDS
- D. FACILITY SHALL COMPLY WITH DEE JOHNSON CLEAN INDOOR AIR ACT WITH SIGNS POSTED AT EXTERIOR DOORS THAT STATE NO SMOKING WITHIN 50' OF BUILDING DISPOSAL RECEPTACLES TO BE PROVIDED AND COORDINATED W/ TENANT.
- E. LOCKABLE UTILITY BOXES FOR WATER, ELECTRIC, AND GAS SHALL BE PROVIDED TO PREVENT TAMPERING.
- F. ALL HANDICAP PARKING SPACES SHALL BE PROVIDED WITH SIGNAGE THAT MEETS CITY OF ALBUQUERQUE AND ADA REQUIREMENTS. LIGHTING AT ENTRIES MEETS OR EXCEEDS 5 FOOT-CANDLES.
- G. ALL MONUMENT AND BUILDING SIGNAGE SHALL COMPLY WITH JOURNAL CENTER ZONING REGULATIONS. SIGNAGE SHALL BE SUBMITTED AND APPROVED BY TENANT, JOURNAL CENTER, AND THE CITY OF ALBUQUERQUE.
- H. BUILDING SHALL HAVE AN AUTOMATIC FIRE SFRINKLER SYSTEM.

PROJECT # _____
APPLICATION # _____
IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC UTILITIES.

DRB SITE DEVELOPMENT PLAN APPROVAL:

| | |
|---|-----------------|
| PLANNING DEPT. | DATE |
| ABCWUA | DATE |
| PARKS AND RECREATION DEPARTMENT | DATE |
| CITY ENGINEER | DATE |
| ENVIRONMENTAL HEALTH DEPARTMENT (conditional) | DATE |
| SOLID WASTE MANAGEMENT | 4.30.09 DATE |
| DRB CHAIRPERSON, PLANNING DEPARTMENT | DATE |
| Environmental Health, if necessary | |



1 SITE PLAN 1"=20'-0"

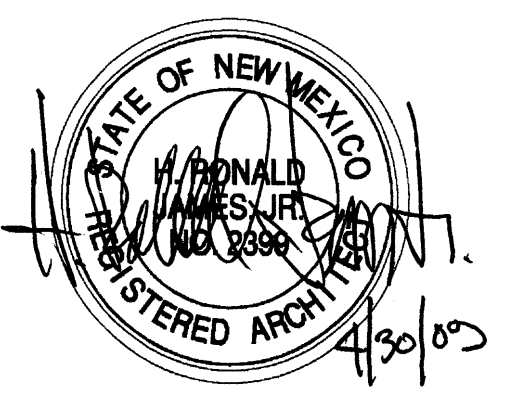


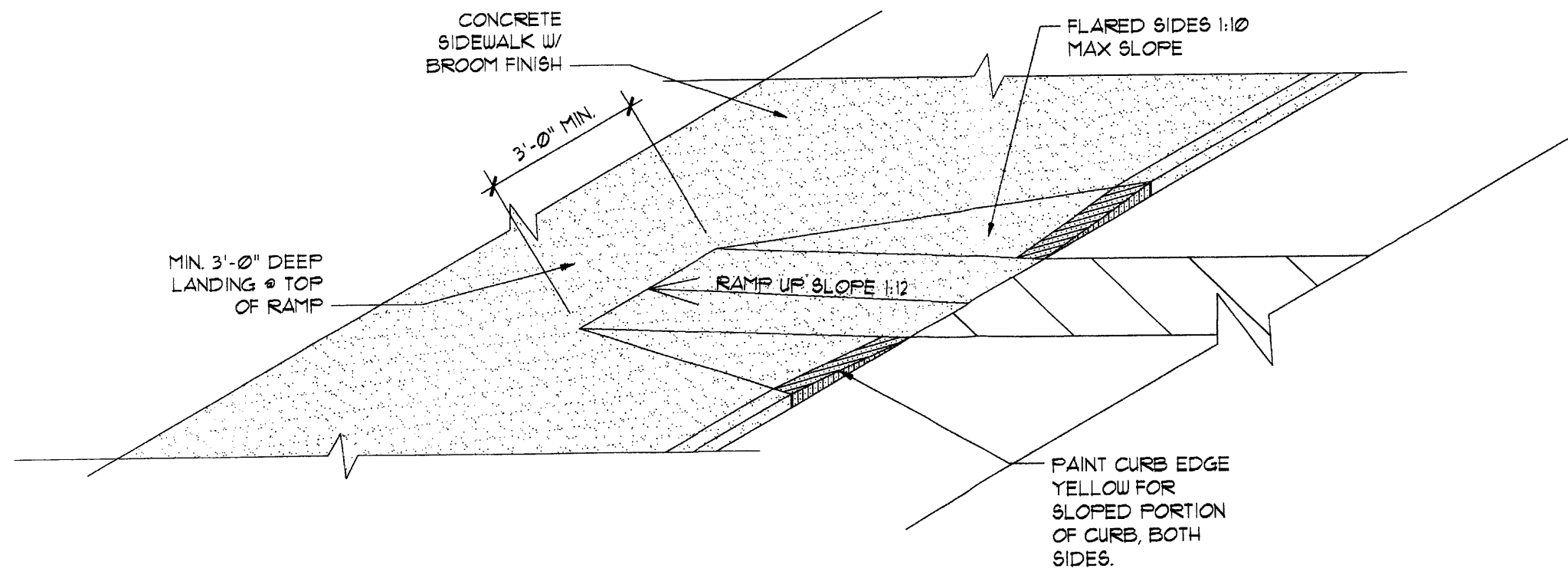
PO BOX 1088 PECOS, NM 87552/1826 LA JOYA RD GLORIETA, NM 87535
1606 SEVENTH STREET, SUITE A LAS VEGAS, NM 87701
(505) 757-3691 FAX (505) 757-8882 E-MAIL: hrj_arch@cybermesa.com

Zepol Complex at Journal Center 2
7421 Bartlett Street NE
Albuquerque, NM

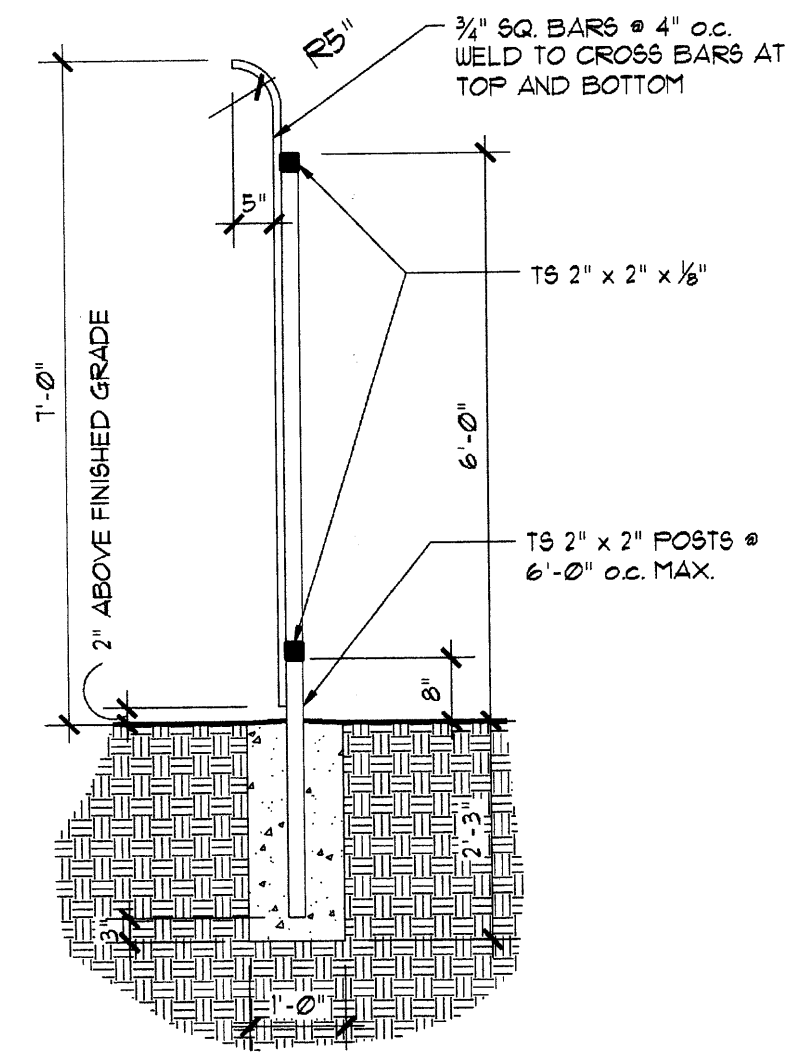
080919
PROJECT NO.
30 APRIL, 2009
DATE
rj
DRAWN BY
HRJ
PROJ. MGR.
35 65 95 100
COMPLETION

SITE AND UTILITY PLAN



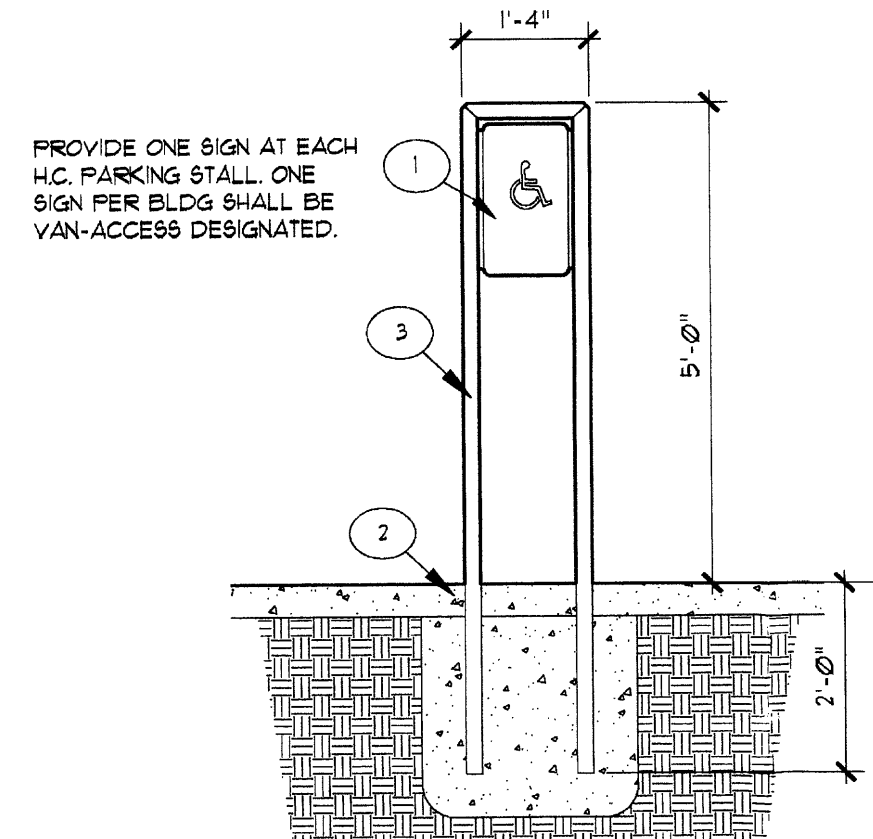


5 STANDARD HANDICAP RAMP
NO SCALE



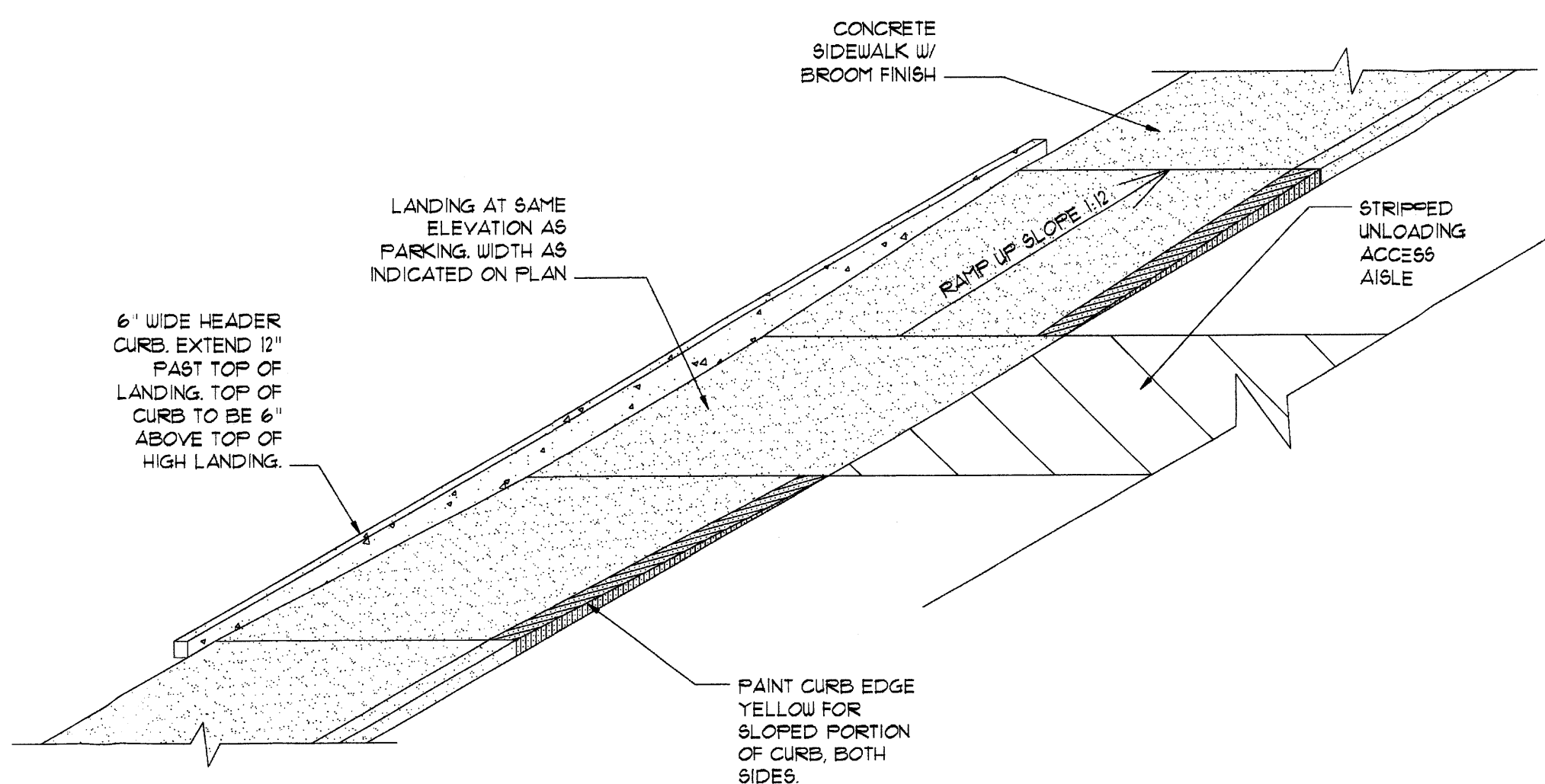
- ALL STEEL TO BE WROUGHT IRON OR PAINTED. PAINT FINISH ALL STEEL PIPE W/ PRIMER 4 2 COATS ENAMEL COLOR TO BE BLACK.
- PROVIDE CONCRETE ENCASMENT OR BORE HOLE THROUGH CONCRETE PAVEMENT. SLOPE TOP OF CONCRETE TO DRAIN AWAY FROM POSTS.
- T8 2" x 2" x 1/8" PRIMED 4 PAINTED STEEL POSTS 4 CROSS BAR WELDED TOGETHER. PROVIDE CAP FOR POSTS.
- GATES TO BE SIMILAR IN APPEARANCE. SLIDING GATE SHALL BE 4" HIGHER SO THAT "CROOKS" PASS OVER FENCE. COORDINATE W/ FENCE FABRICATOR AND GATE OPERATOR MANUFACTURER.

2 PERIMETER FENCE
1/2" = 1'-0"

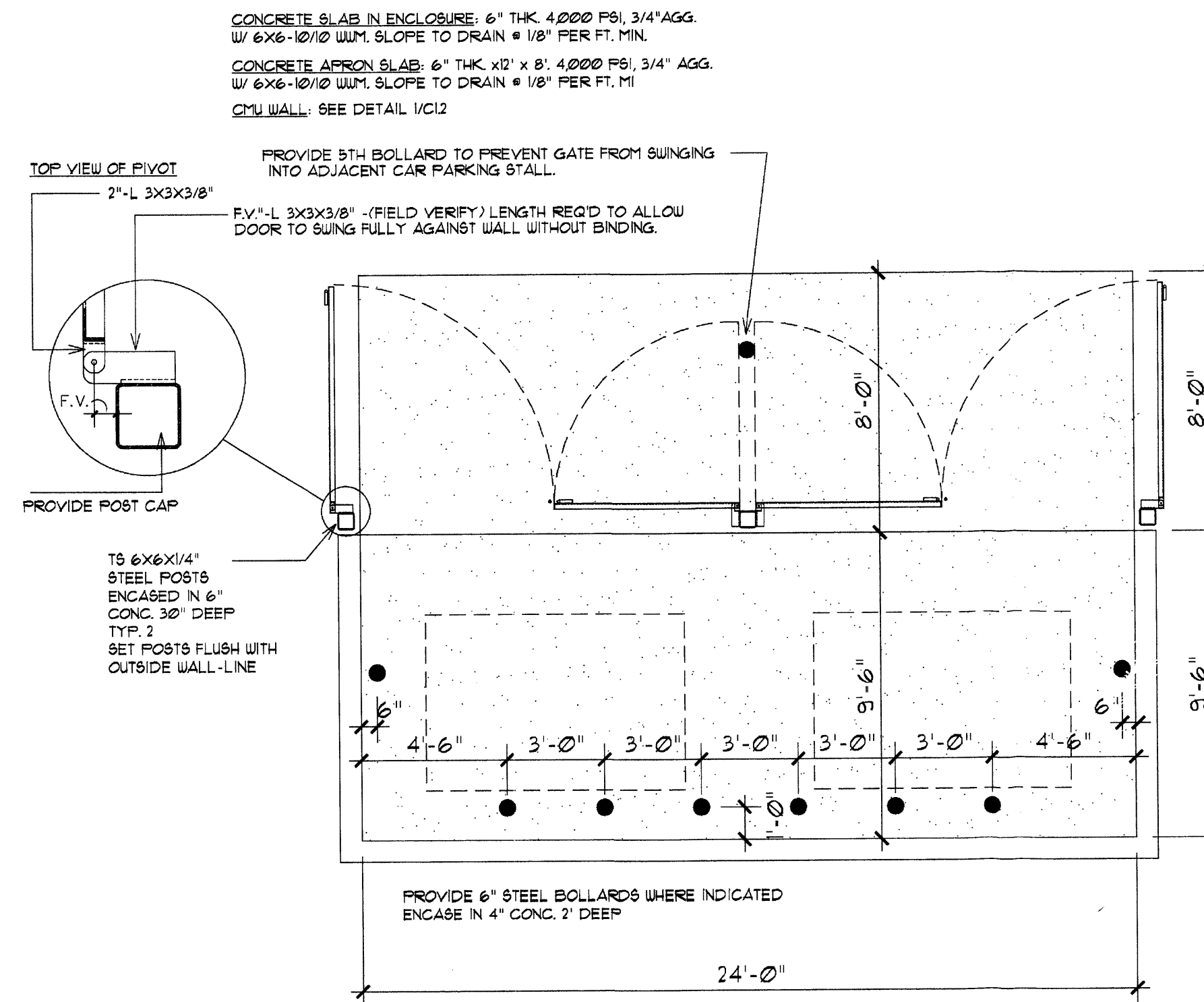


- SIGN TO READ "ACCESSIBLE PARKING" TYPICAL EXCEPT VAN AISLES SHALL READ "VAN ACCESSIBLE". SIGN SIZE 11 1/2" W X 18" H. PROVIDE TRANSLUCENT FLEXIGLASS SIGNS.
- PROVIDE 4" CONCRETE ENCASMENT OR BORE HOLE THROUGH CONCRETE PAVEMENT.
- T8 2" x 2" x 1/8" PRIMED 4 PAINTED STEEL POSTS 4 CROSS BAR PROVIDE 3/4" x 1/8" GALV. CONTINUOUS FLANGE EA. SIDE 4 SIGN. MITRE OUTSIDE CORNER OF POSTS. FINISH ALL STEEL PIPE W/ PRIMER 4 2 COATS ENAMEL COLOR TO BE SELECTED BY ARCHITECT.

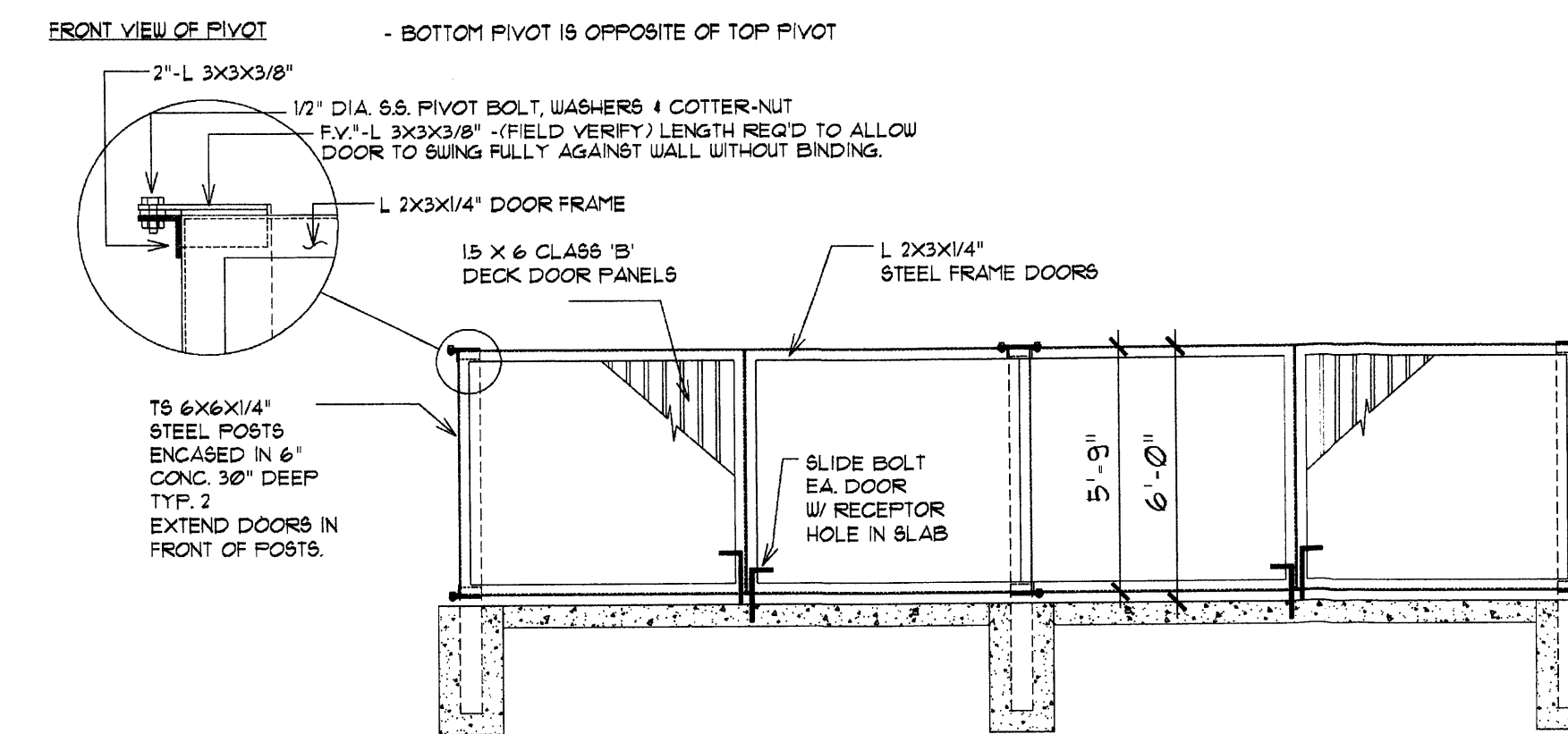
3 HANDICAP SIGN
1/2" = 1'-0"



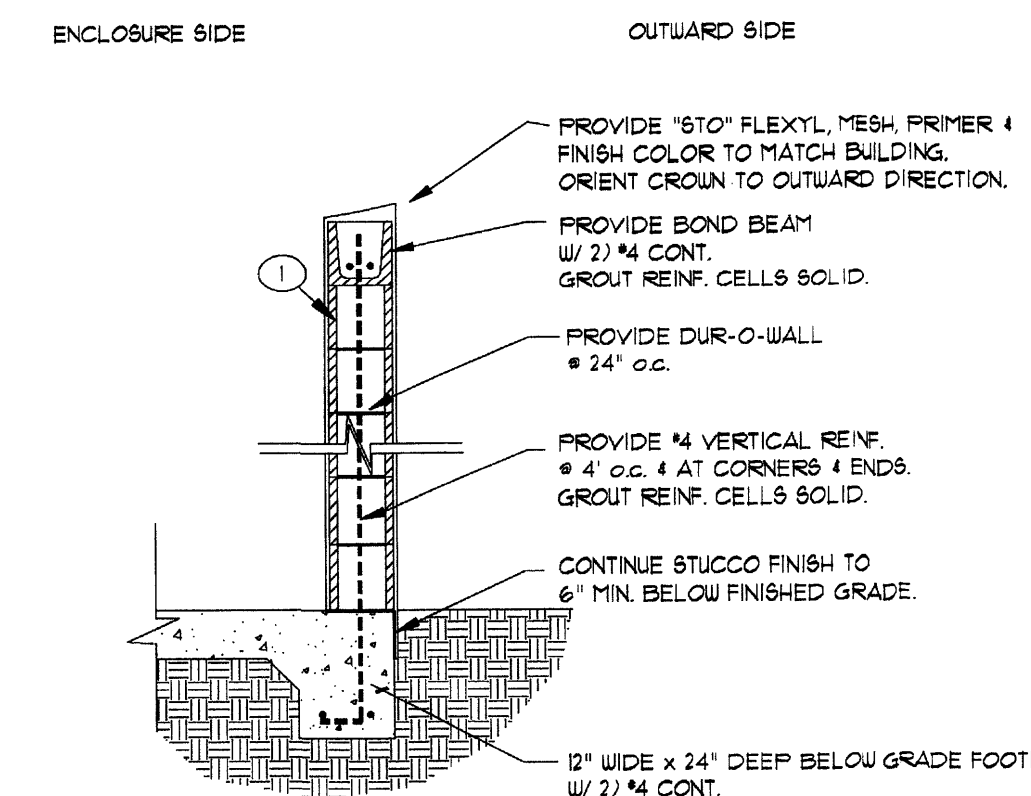
4 SLOPED SIDEWALK RAMP
NO SCALE



TYPICAL PLAN
SCALE 1/4" = 1'-0"



FRONT VIEW OF GATES
SCALE 1/4" = 1'-0"



WALL SECTION
SCALE 1/2" = 1'-0"

1 SOLID WASTE ENCLOSURE
1/4" = 1'-0"

HRJ ARCHITECTURE, LLC

PO BOX 1088 PECOS, NM 87552/182a LA JOYA RD GLORETA, NM 87535
1606 SEVENTH STREET, SUITE A LAS VEGAS, NM 87701
(505) 757-3691 FAX (505) 757-8882 E-MAIL: hrj_arch@oybermesa.com

Zepol Complex at Journal Center 2
7421 Bartlett Street NE
Albuquerque, NM

080918
PROJECT NO.
30 APRIL, 2009
DATE
rj
DRAWN BY
HRJ
PROJ. MGR.
35 65 100
COMPLETION

SITE DETAILS

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C1.1

GENERAL NOTES:

- AS OF MARCH 10, 2003, THE USPA REQUIRES NPDES PERMIT COVERAGE FOR STORM WATER DISCHARGES FROM CONSTRUCTION PROJECTS (COMMON PLANS OF DEVELOPMENT) THAT WILL RESULT IN THE DISTURBANCE (OR RE-DISTURBANCE) OF ONE OR MORE ACRES, INCLUDING EXPANSIONS OF TOTAL LAND AREA. THE DEVELOPER SHOULD BE MADE AWARE THAT THE USEPA REQUIRES THAT ALL "OPERATORS" (SEE FEDERAL REGISTER/VOL. 63, NO. 128 / MONDAY, JULY 6, 1999 PG 36509) OBTAIN NPDES PERMIT COVERAGE FOR CONSTRUCTION PROJECTS. GENERALLY THIS MEANS THAT AT LEAST TWO PARTIES WILL REQUIRE PERMIT COVERAGE. THE OWNER/DEVELOPER OF THIS CONSTRUCTION PROJECT WHO HAS OPERATIONAL CONTROL OVER THE PROJECT SPECIFICATIONS, THE GENERAL CONTRACTOR WHO HAS DAY-TO-DAY OPERATIONAL CONTROL OF THOSE ACTIVITIES AT THE SITE, WHICH ARE NECESSARY TO ENSURE COMPLIANCE WITH THE STORM WATER POLLUTION PLAN AND OTHER CONDITIONS, AND POSSIBLY OTHER "OPERATORS" THAT WILL REQUIRE APPROPRIATE NPDES PERMIT COVERAGE FOR THIS PROJECT.
- THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION LATEST EDITION.
- CONTRACTOR SHALL OBTAIN A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO ANY GRADING OR CONSTRUCTION.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990 FOR LOCATION OR EXISTING UTILITIES.
- BACKFILL AND COMPACTION SHALL BE ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER(S) OF THE PROPERTY SERVED.
- ALL CONCRETE SHALL BE A MINIMUM OF 3000 P.S.I.
- PROJECT BENCHMARK: ALUMINUM CAP STAMPED CP 110 ELEVATION=5148.88. NORTHERN WEST CORNER OF PROPERTY.
- ALL EXISTING TOPOGRAPHIC DATA SHOWN ON THESE PLANS HAS BEEN PROVIDED BY TERRA LAND SURVEYS. MILLER ENGINEERING CONSULTANTS HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS INFORMATION.
- THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- ALL PAVEMENT, BASE COURSE AND SUBGRADE PREPARATION THICKNESS SHALL BE PROVIDED BY THE SOILS ENGINEER FOR THIS PROJECT.
- ALL DISTURBED AREA SHALL RECEIVE CLASS "A" SEEDING IN ACCORDANCE WITH THE NMDOT BLUE BOOK. ALL DISTURBED AREAS WITH SLOPES GREATER THAN 3:1 SHALL RECEIVE A LANDSCAPE FABRIC WITH 3 INCHES OF GRAVEL MULCH.
- ALL HDPE STORM DRAIN PIPE MUST HAVE WATER TIGHT JOINTS.
- ALL ASPHALT PAVED AREAS SHALL HAVE A 1% MINIMUM SLOPE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER TO DETERMINE A SOLUTION IF AN ASPHALT PAVED AREA OF LESS THAN 1% IS ENCOUNTERED.

EXISTING ON SITE CONDITIONS

THE PROJECT SITE CONSISTS OF TWO PARCELS OF LAND TOTALING APPROXIMATELY 2.0 ACRES (MORE OR LESS) LOCATED IN THE JOURNAL CENTER AREA. BOTH TRACTS HAVE BEEN ROUGH GRADED AND GROUND COVER IS NOT NATIVE AND SPARSE AT BEST. THE PROJECT SITE DRAINS IN A WESTERLY DIRECTION TO A CONCRETE LINED DITCH THAT WAS SIZED TO DRAIN THIS SITE, AND SOME OTHER ADJOINING PROPERTIES FOR DEVELOPED CONDITIONS. THIS DESIGN WAS COMPLETED DURING THE MASTER PLANNING PHASE OF THE JOURNAL CENTER COMPLEX. EXISTING LAND TREATMENTS FOR THE SITE ARE CATEGORIZED IN THE HYDROLOGY TABLE BELOW.

PROPOSED CONDITIONS

THE PROPOSED IMPROVEMENTS WILL CONSIST OF A NEW 17,000 SF BUILDING (OFFICE BUILDING), ASSOCIATED PARKING AND ASSOCIATED IMPROVEMENTS. THE MAIN ACCESS WILL BE OFF BARTLETT STREET WITH A SECONDARY ACCESS APPROXIMATELY 130 FEET NORTH OF THE MAIN ENTRANCE. THIS ENTRANCE IS OFF OF BARTLETT AS WELL. ALL SIDEWALKS AND HANDICAPPED PARKING SPACES WILL MEET ADA REQUIREMENTS. THE PROPOSED LAND TREATMENTS FOR THE FOUR BASINS MAY BE SEEN BELOW IN THE HYDROLOGY TABLES.

STORMWATER ROUTING

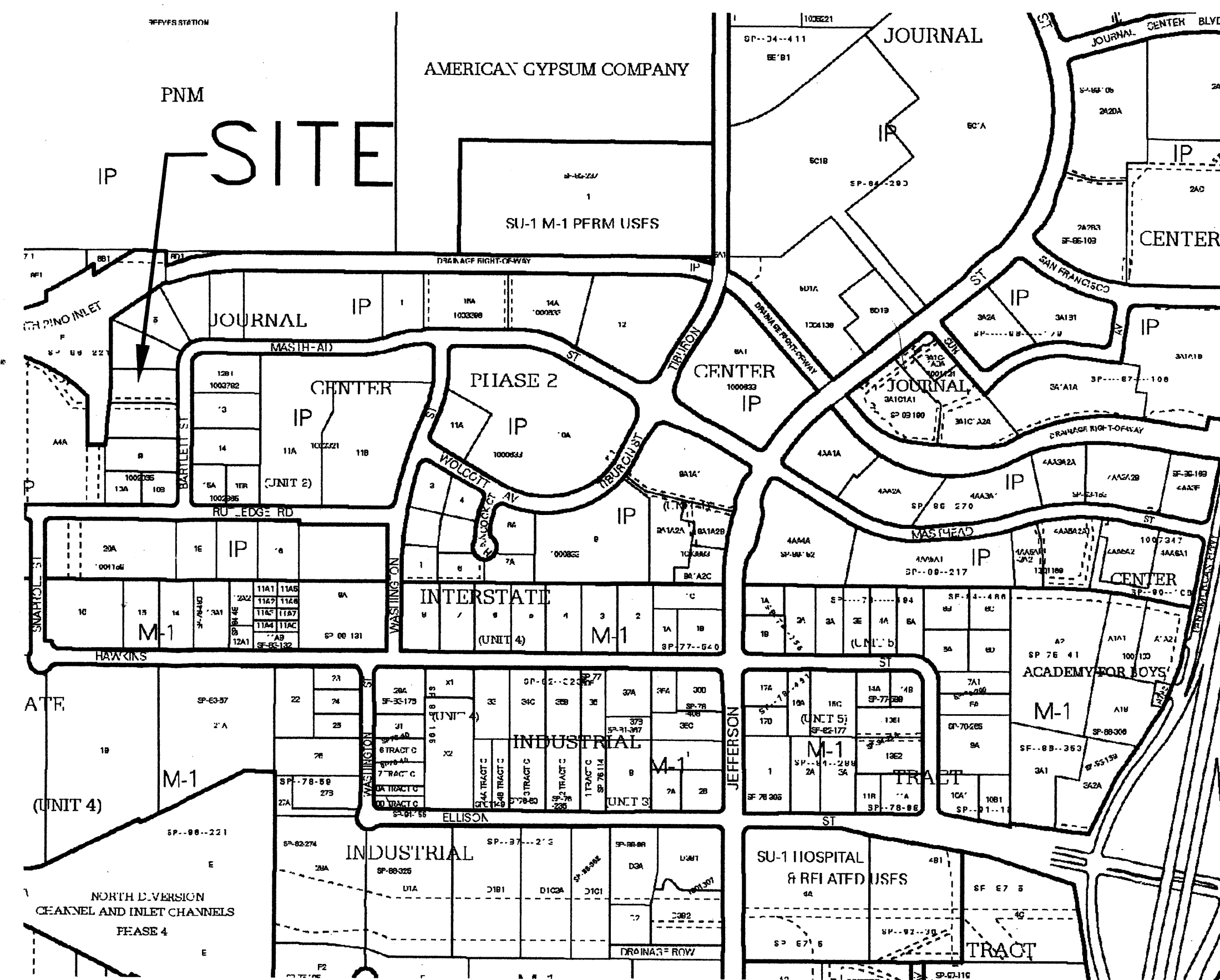
THE RUNOFF FROM THE ENTIRE SITE WILL FREE DISCHARGE TO THE EXISTING DRAINAGE CHANNEL LOCATED IN THE WESTERN BOUNDARY OF THE SITE. THIS CHANNEL DRAINS TO THE NORTH WHERE THE RUNOFF IS DEPOSITED INTO A 54" RCP. THE DESIGN CAPACITY OF THE CONCRETE CHANNEL IS ADEQUATE TO PASS FLOWS GENERATED BY A 100 YEAR, 24 HOUR EVENT FOR THESE TWO LOTS AND SOME STREET FLOWS.

OFFSITE FLOWS

IT DOES NOT APPEAR THAT THERE ARE ANY OFFSITE FLOWS THAT WILL IMPACT THIS SITE, NOR IS THERE A DESIGNATED FEMA FLOODPLAIN LOCATED ON THE SITE.

CONCLUSION

AFTER DEVELOPMENT OF THIS SITE, THERE WILL BE NO IMPACT TO THE EXISTING DRAINAGE SYSTEM AS IT WAS DESIGNED TO ACCOMMODATE DEVELOPED FLOWS FROM THE PROJECT SITE IN THE JOURNAL CENTER MASTER PLAN.



VICINITY MAP
NOT TO SCALE



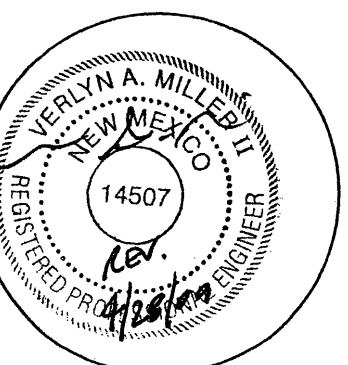
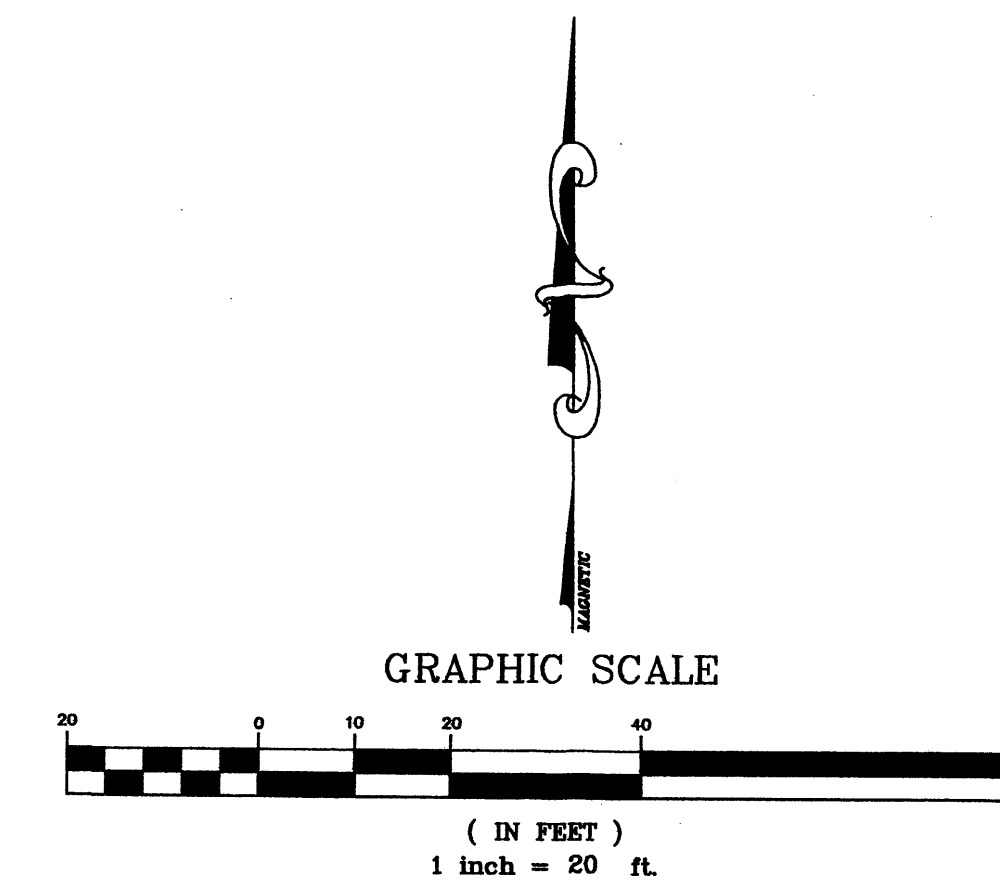
F.I.R.M. MAP
NOT TO SCALE

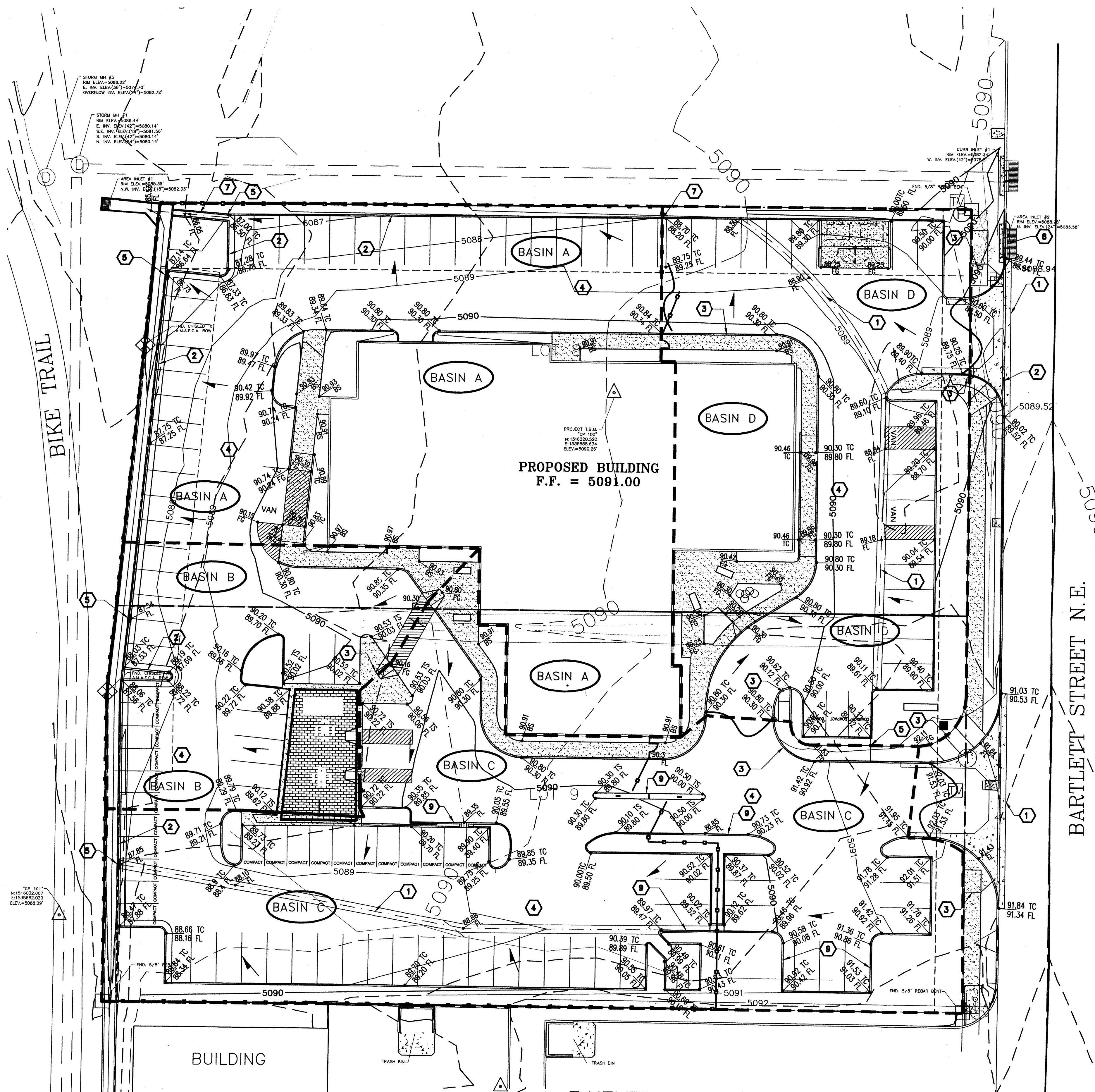
| Percipitation Zone 2 - 100-year Storm | | P(360) = 2.35 in | | | | P(1440) = 2.75 in | | | |
|---------------------------------------|-----------------|------------------------|------|------|------|-------------------|---------------|----------------|--------------|
| Basin | Basin Area (Ac) | Land Treatment Factors | | | | Ew (in) | V(100-6) (af) | V(100-24) (af) | Q(100) (cfs) |
| | | A | B | C | D | | | | |
| Existing Conditions | | | | | | | | | |
| A | 0.63 | 0.63 | 0.00 | 0.00 | 0.00 | 0.53 | 0.028 | 0.028 | 0.99 |
| B | 0.23 | 0.23 | 0.00 | 0.00 | 0.00 | 0.53 | 0.010 | 0.010 | 0.36 |
| C | 0.64 | 0.64 | 0.00 | 0.00 | 0.00 | 0.53 | 0.028 | 0.028 | 1.00 |
| D | 0.48 | 0.48 | 0.00 | 0.00 | 0.00 | 0.53 | 0.021 | 0.021 | 0.75 |
| Total | 1.98 | | | | | | | | 3.10 |
| Proposed Conditions | | | | | | | | | |
| A | 0.63 | 0.00 | 0.00 | 0.06 | 0.58 | 2.03 | 0.107 | 0.127 | 2.89 |
| B | 0.23 | 0.00 | 0.00 | 0.01 | 0.22 | 2.09 | 0.040 | 0.047 | 1.07 |
| C | 0.64 | 0.00 | 0.00 | 0.11 | 0.53 | 1.95 | 0.104 | 0.121 | 2.83 |
| D | 0.48 | 0.00 | 0.00 | 0.09 | 0.39 | 1.94 | 0.078 | 0.091 | 2.12 |
| Total | 1.98 | | | | | | | | 8.91 |

| Percipitation Zone 2 - 10-year Storm | | P(360) = 1.56 in | | | | P(1440) = 1.83 in | | | |
|--------------------------------------|-----------------|------------------------|------|------|------|-------------------|--------------|---------------|-------------|
| Basin | Basin Area (Ac) | Land Treatment Factors | | | | Ew (in) | V(10-6) (af) | V(10-24) (af) | Q(10) (cfs) |
| | | A | B | C | D | | | | |
| Existing Conditions | | | | | | | | | |
| A | 0.63 | 0.63 | 0.00 | 0.00 | 0.00 | 0.13 | 0.007 | 0.007 | 0.24 |
| B | 0.23 | 0.23 | 0.00 | 0.00 | 0.00 | 0.13 | 0.002 | 0.002 | 0.09 |
| C | 0.64 | 0.64 | 0.00 | 0.00 | 0.00 | 0.13 | 0.007 | 0.007 | 0.24 |
| D | 0.48 | 0.48 | 0.00 | 0.00 | 0.00 | 0.13 | 0.005 | 0.005 | 0.18 |
| Total | 1.98 | | | | | | | | 0.75 |
| Proposed Conditions | | | | | | | | | |
| A | 0.63 | 0.00 | 0.00 | 0.06 | 0.58 | 1.27 | 0.067 | 0.080 | 1.91 |
| B | 0.23 | 0.00 | 0.00 | 0.01 | 0.22 | 1.32 | 0.025 | 0.030 | 0.71 |
| C | 0.64 | 0.00 | 0.00 | 0.11 | 0.53 | 1.20 | 0.064 | 0.076 | 1.85 |
| D | 0.48 | 0.00 | 0.00 | 0.09 | 0.39 | 1.19 | 0.048 | 0.056 | 1.38 |
| Total | 1.98 | | | | | | | | 5.85 |

HYDROLOGY CALCS

NOT TO SCALE

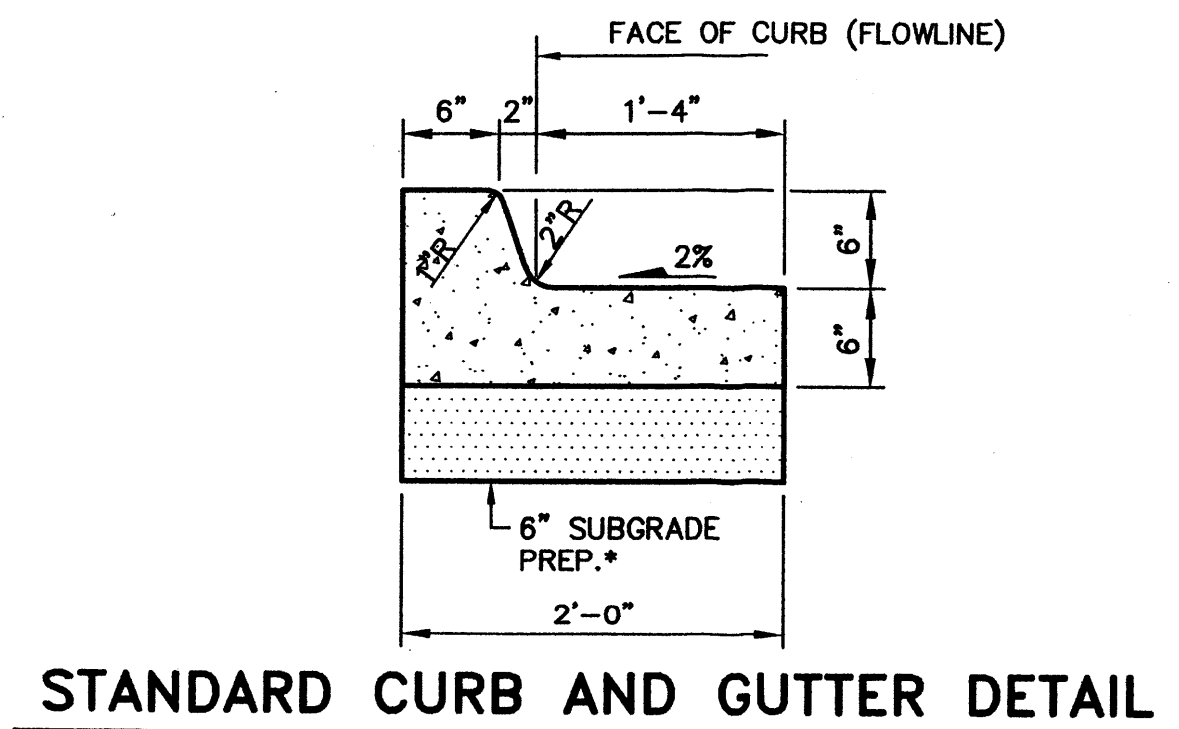




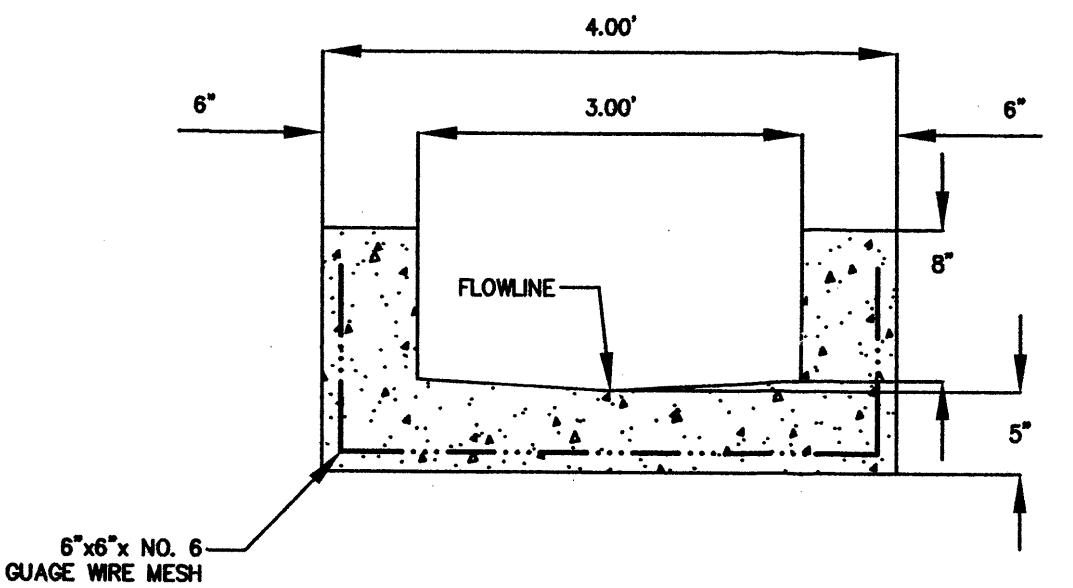
1 GRADING AND DRAINAGE PLAN
SCALE: 1"=20'

KEYED NOTES

1. PROPOSED CONCRETE VALLEY GUTTER PER C.O.A. STD. DWG. 2421.
2. PROPOSED CURB & GUTTER PER C.O.A. STD. DWG. 2415A.
3. PROPOSED SIDEWALKS & RAMPS, PER C.O.A. STD. DWGS. 2430, 2431, 2432, AND 2441.
4. PROPOSED PAVING, SEE ARCHITECTURAL SHEETS FOR INFO.
5. PROPOSED 3" CURB CUT PER C.O.A. STD. DWG. 2415A.
6. PROPOSED SIDEWALK CULVERT WITH STEEL PLATE TOP PER C.O.A. STD. DWG. 2236.
7. PROPOSED CONCRETE RIBBON CHANNEL, SEE DETAIL BELOW.
8. EXISTING AREA INLET TO REMAIN IN PLACE.
9. STANDARD 6" CURB & GUTTER, SEE DETAIL ON THIS SHEET.



STANDARD CURB AND GUTTER DETAIL
SCALE: NONE
6" SUBGRADE PREP. SHALL BE CONSIDERED INCIDENTAL TO ITEM NO. 609424, CONCRETE BARRIER CURB AND GUTTER TYPE B-6"x24" AND NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE FOR THE WORK.

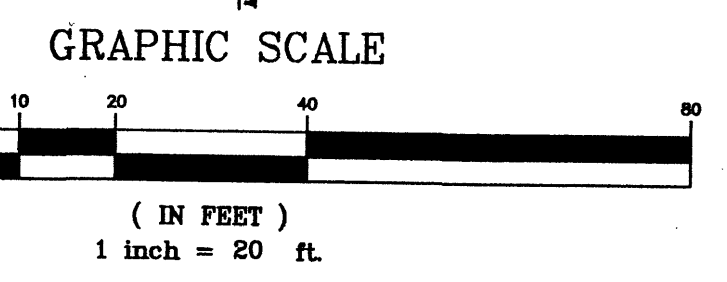


JOINTS SHALL BE IN ACCORDANCE WITH SECTION 340.5 AND 340.6.2.2 OF CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

CONCRETE RIBBON CHANNEL DETAIL

LEGEND

- △ CONTROL MONUMENT (AS NOTED)
- ⊕ FND REBAR W/CAP (AS NOTED)
- ⊙ FND PIPE (AS NOTED)
- ⊗ FND PK NAIL (AS NOTED)
- WATER METER
- ⊙ SANITARY SEWER MANHOLE
- ⊙ POWER PEDESTAL
- ◆ FINISH FLOOR BENCHMARK
- ⊕ TRANSFORMER
- ⊕ GAS VALVE
- ⊕ GAS METER
- ⊕ TELEPHONE RISER
- ⊕ LIGHT POLE
- ⊕ POWER POLE
- ⊕ GUY WIRE
- ⊕ BOLLARD
- ⊕ GATE
- EXISTING FENCE
- CHAINLINK FENCE
- OVERHEAD ELECTRIC LINE
- BLOCK WALL
- CONCRETE HATCH
- SPOT ELEVATIONS (50' INTERVAL)
- 00.00 → PROPOSED FINISHED GRADE
- FG →
- 00.00 → PROPOSED FLOW LINE
- FL →
- 00.00 TC → PROPOSED TOP OF CURB ELEVATION
- 00.00 FL → PROPOSED FLOW LINE ELEVATION
- 00.00 TS → PROPOSED TOP OF SIDEWALK ELEVATION
- 00.00 FL → PROPOSED FLOW LINE ELEVATION
- PROPOSED GRADE BREAK
- 5151— PROPOSED CONTOUR MAJOR
- 5147— PROPOSED CONTOUR MINOR
- PROPOSED BASIN DELINEATION



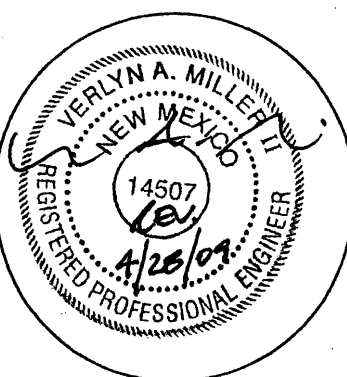
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Architectur e LLC

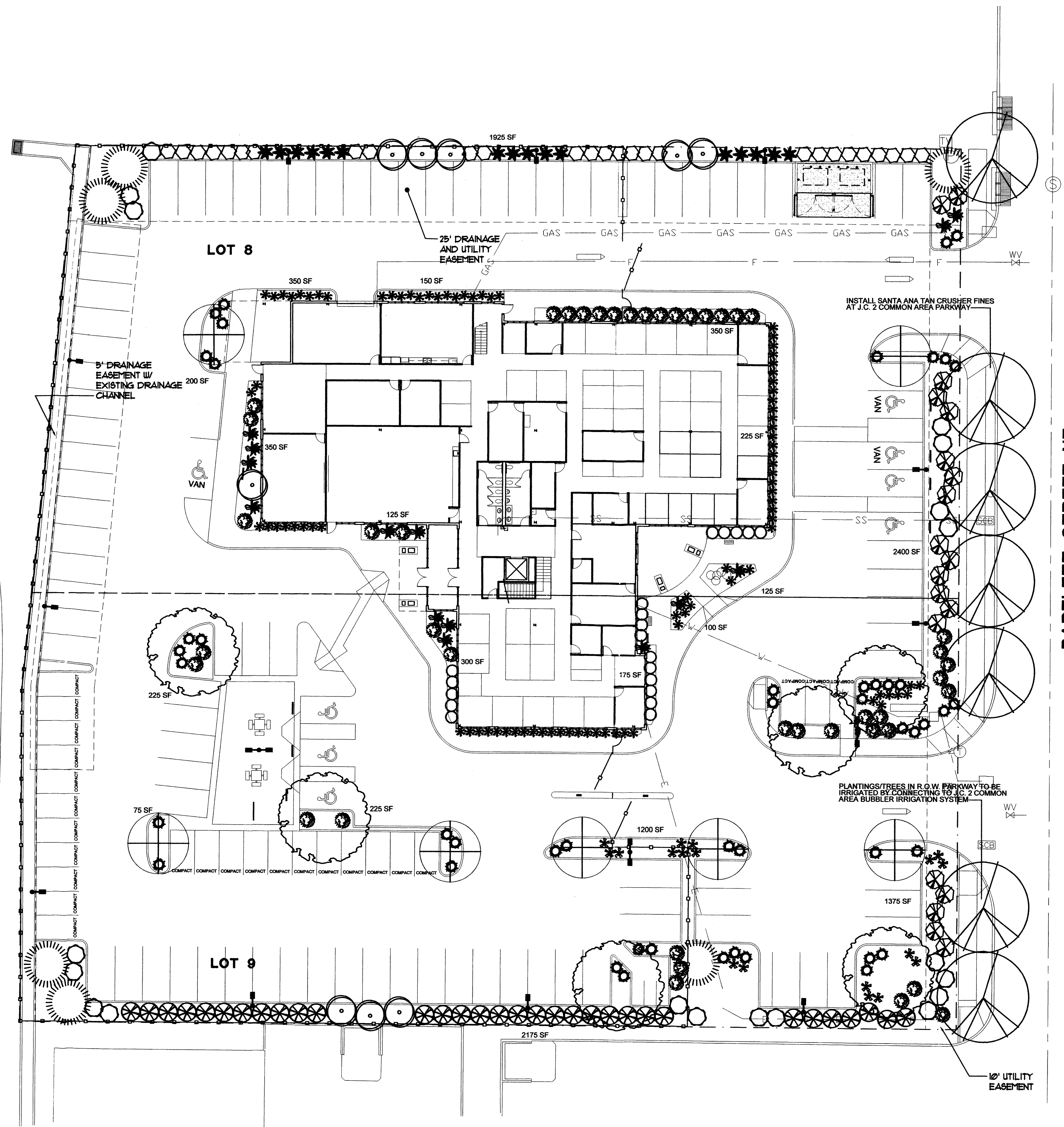
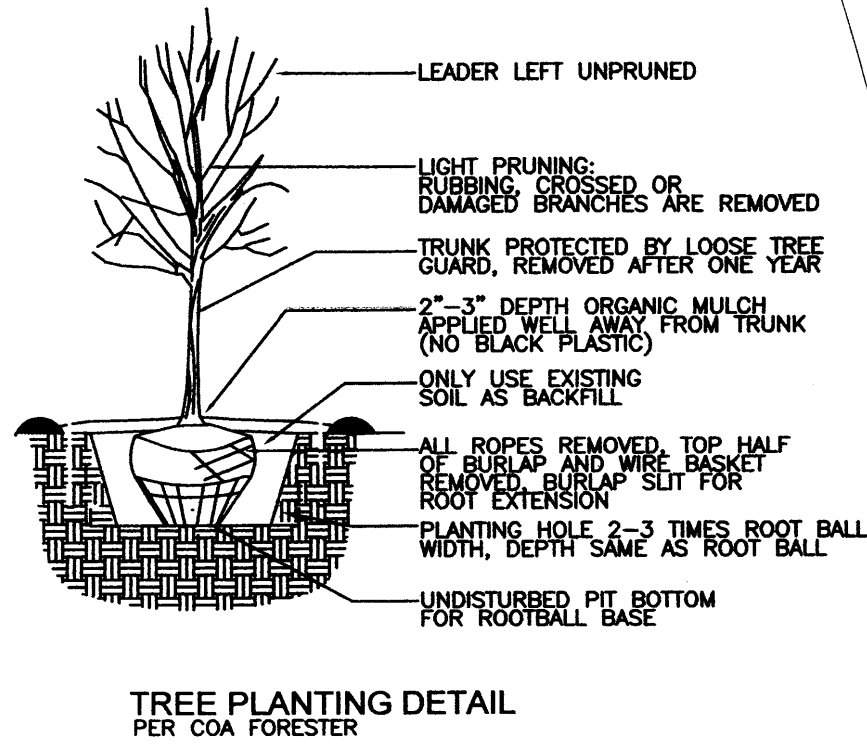
PO BOX 1088 PECOS, NM 87552/182a LA JOYA RD GLORIETA,
(505) 757-3691 FAX (505) 757-1882 hrj_arch@cybermesa.

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GRADING AND DRAINAGE PLAN

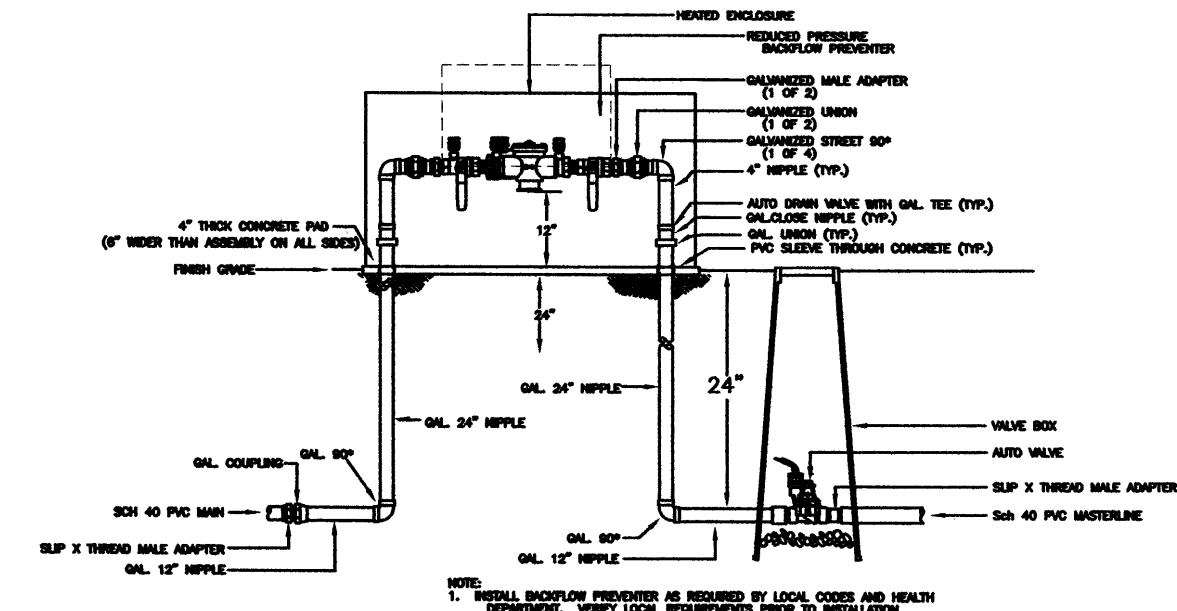
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PLANT LEGEND

| Qty. | Symbol | Scientific Name Common Name | Installed Size | Mature Height/Spread | Landscape Coverage | Water Use | Drip Emitters Per Plant (see note) |
|-----------------------------------|--------|--|----------------|----------------------|--------------------|-----------|------------------------------------|
| 7 | ⊕ | Crataegus crus galli 'Crusader' 'Crusader' Cockspear Hawthorn | 15 Gal | 20'/25' | | Medium | 6-2 gph |
| 7 | ⊖ | Fraxinus velutina 'Berinda' Berinda Ash | 2" B&B | 40'/40' | | Medium | 6-2 gph |
| 6 | ⊙ | Pinus flexilis Vanderwulf Pine | 2" B&B | 30'/20' | | Medium | 6-2 gph |
| 9 | ⊙ | Quercus gambelii Gambel Oak | 15 Gal | 25'/25' | | Low + | 4-2 gph |
| 6 | ⊙ | Pistachia Chinese Pistache | 2" B&B | 60'/60' | | Medium | 6-2 gph |
| Shrubs/Groundcovers | | | | | | | |
| 19 | ⊙ | Leucophyllum Texas Ranger | 5-Gal | 6'/6' | 20 sf=380 sf | Low+ | 2-2 gph |
| 43 | ⊙ | Jasminum Winter Jasmine | 5-Gal | 4'/12' | 25 sf=1075 sf | Low+ | 2-2 gph |
| 19 | ⊙ | Cercocarpus ledifolius Curl Leaf Mtn. Mahogany | 5-Gal | 15'/15' | 50 sf=950 sf | Low+ | 2-2 gph |
| 18 | ⊙ | Yucca baccata Banana Yucca | 5-Gal | 4'/5' | 25 sf=450 sf | Low | 2-1 gph |
| 27 | ⊙ | Fallugia Apache Plume | 5-Gal | 6'/7' | 25 sf=675 sf | Low | 2-1 gph |
| 48 | ⊙ | Rhus trilobata 'prostrata' Prostrate Sumac | 5-Gal | 2'/6' | 50 sf=2400 sf | Low + | 2-2 gph |
| 20 | ⊙ | Lavandula angustifolia English Lavender | 1-Gal | 3'/3' | 12 sf=240 sf | Medium | 2-2 gph |
| 14 | ⊙ | Rosmarinus officinalis Rosemary | 5-Gal | 6'/6' | 30 sf=420sf | Low + | 2-2 gph |
| 32 | ⊙ | Elaeagnus Silverberry | 5-Gal | 10'/10' | 50 sf=1600 sf | Medium | 2-2 gph |
| Ornamental Grasses | | | | | | | |
| 16 | ⊙ | Nolina microcarpa Beargrass | 5-Gal | 5'/6' | 18 sf=288 sf | Low+ | 2-1 gph |
| 91 | ⊙ | Stipa/Nassella Threadgrass | 1-Gal | 2'/2' | 8 sf=728 sf | Low+ | 2-1 gph |
| Total landscape coverage=9,206 sf | | | | | | | |



LANDSCAPE DATA

| | | | |
|--|-----------|--|----------------|
| GROSS LOT AREA | 87,118 SF | REQUIRED STREET TREES PROVIDED AT 30' O.C. SPACING STREET | 7 |
| LESS BUILDING(S) | 15,850 SF | REQUIRED PARKING LOT TREES PROVIDED AT 1 PER 10 SPACES (120 SPACES/10) | 12 |
| NET LOT AREA | 71,268 SF | TOTAL REQUIRED TREES | 19 |
| REQUIRED LANDSCAPE 15% OF NET LOT AREA | 10,690 SF | TOTAL PROPOSED TREES (2" CAL.) | 19 |
| PROPOSED LANDSCAPE PERCENT OF NET LOT AREA | 12,050 SF | REQUIRED LANDSCAPE COVERAGE 75% LIVE VEGETATIVE MATERIAL (12,050 SF x 75%) | 9,038 SF MIN. |
| | 17 % | PROVIDED LANDSCAPE COVERAGE | 9,206 SF (75%) |
| HIGH WATER USE TURF NONE PROPOSED | | | |

NOTE

MAINTENANCE OF LANDSCAPE AND IRRIGATION IS THE RESPONSIBILITY OF THE OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM PROTECTED WITH REDUCED PRESSURE BACKFLOW PREVENTER (WILKINS MODEL 975) PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE AND POLLEN ORDINANCE

THIS PLAN SHALL PROVIDE AT MINIMUM 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY

LANDSCAPE AREAS TO BE MULCHED WITH 3/4" SANTA ANA TAN GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC

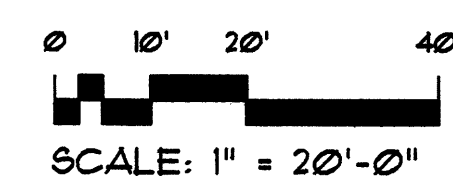
APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE

TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS

NO PARKING SPACE SHALL BE MORE THAN 100' FROM A TREE.

DRIP SYSTEM TO BE RUN 1 HOUR/4 DAYS A WEEK DURING ESTABLISHMENT AND SUMMER MONTHS

1 LANDSCAPE PLAN
1" = 20'-0"



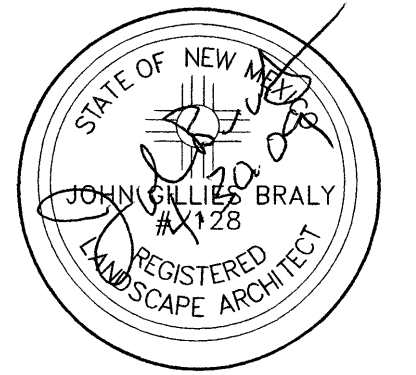
Growing Better Up Heads
LANDSCAPE CONTRACTORS
www.headsuplandscapes.com
P.O. BOX 10597
Albuquerque, NM 87114
505.898.9815
505.898.2105 (fax)
design@hulc.com

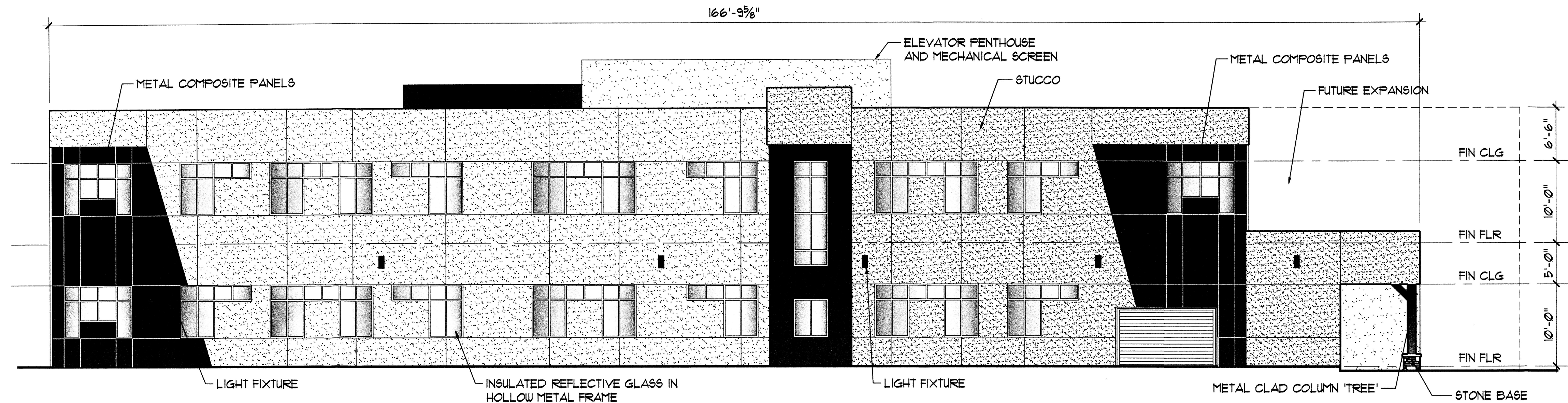
HRJ ARCHITECTURE, LLC

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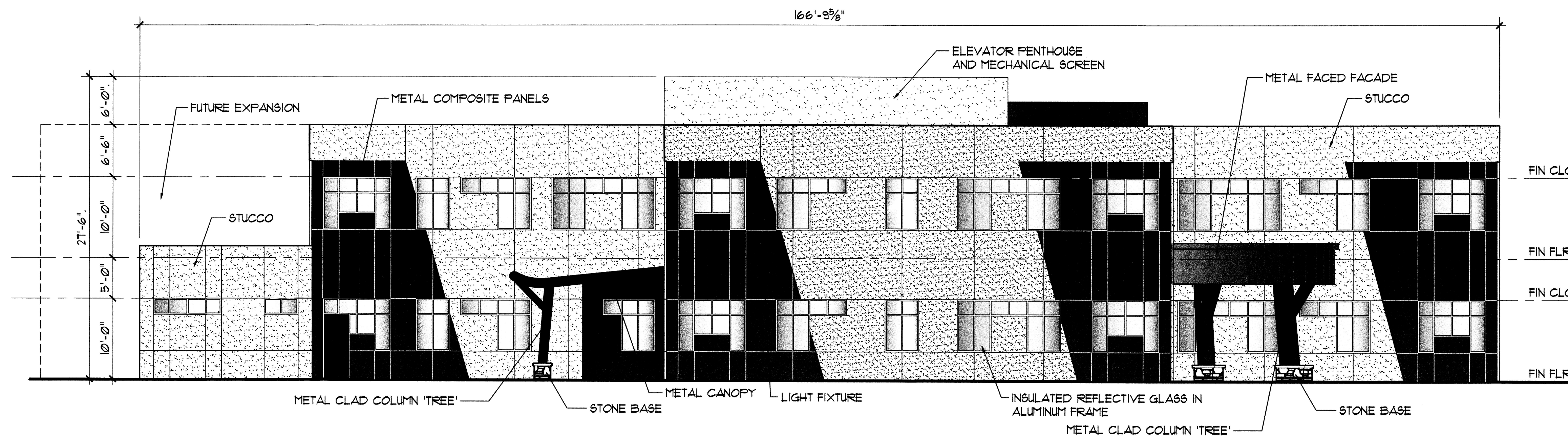
Zepol Complex at Journal Center 2
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LANDSCAPE PLAN
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1 NORTH ELEVATION
1/8" = 1'-0"



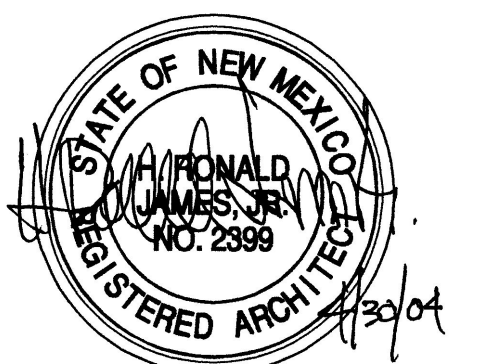
2 SOUTH ELEVATION
1/8" = 1'-0"

HRJ
ARCHITECTURE, LLC

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**Zepol Complex at
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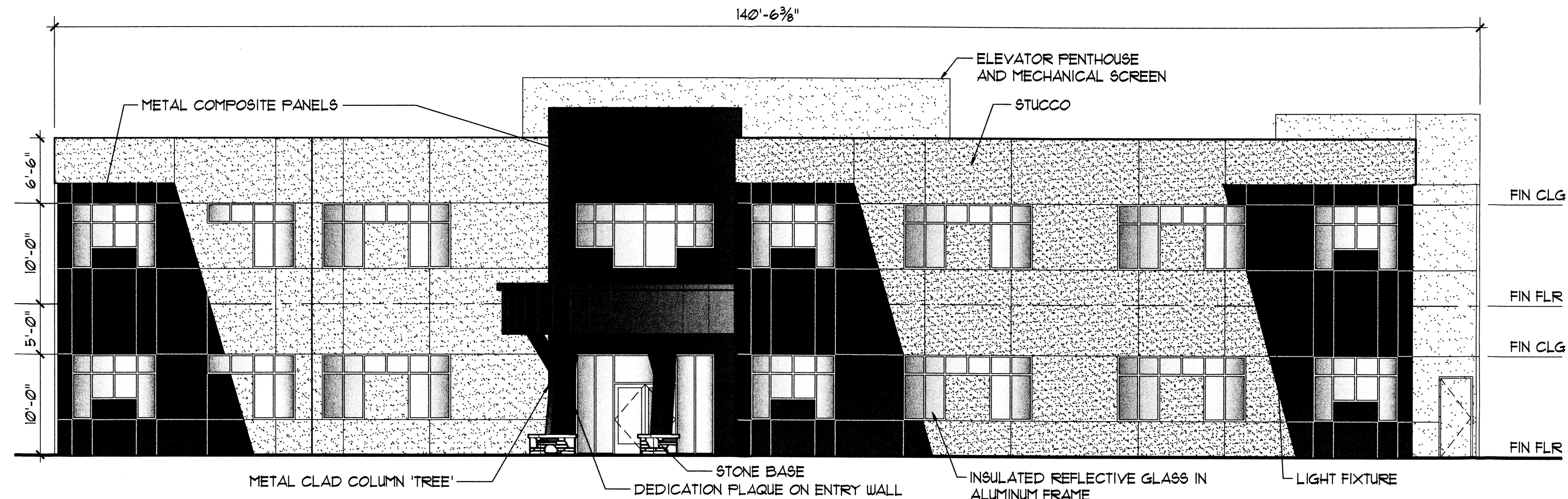


**EXTERIOR ELEVATIONS
NORTH AND SOUTH**

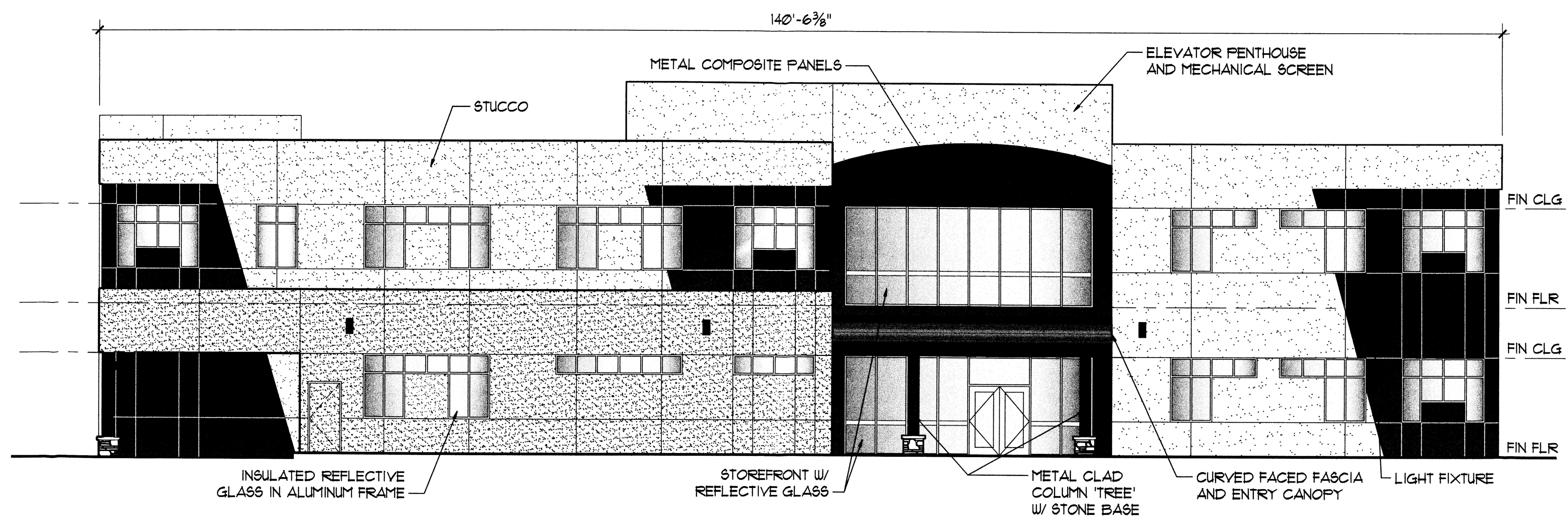
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3 EAST ELEVATION - PUBLIC ENTRANCE BARTLETT STREET
1/8" = 1'-0"



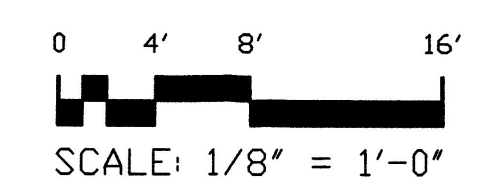
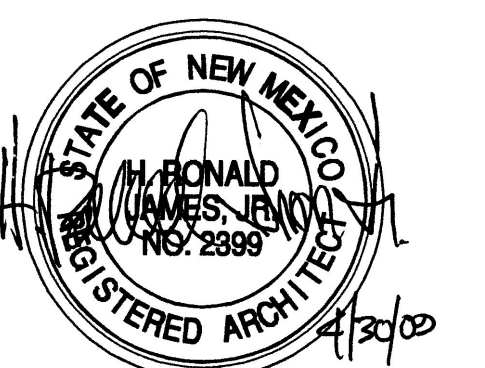
4 WEST ELEVATION - EMPLOYEE ENTRANCE
1/8" = 1'-0"

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**EXTERIOR ELEVATIONS
EAST AND WEST**

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