




3. **Project# 1007786**  
15DRB-70474 EPC APPROVED SDP  
FOR BUILD PERMIT  
15DRB-70475 EPC APPROVED SDP  
FOR SUBDIVISION 

RIO GRANDE ENGINEERING agent(s) for WESTWIND APARTMENTS LLC request(s) the above action(s) for all or a portion of Tract(s) 2A, **INDIAN RIDGE** zoned SU-1/PRD, located on MENAUL BETWEEN DEANNA ST NE AND CHELWOOD PARK NE containing approximately 1.73 acre(s). (H-22) [Deferred from 1/6/16] **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 1/13/16, THE SITE DEVELOPMENT PLANS FOR BUILDING PERMIT AND SUBDIVISION WERE APPROVED WITH FINAL SIGN-OFF DELEGATED TO CITY ENGINEER FOR THE SUBDIVISION IMPROVEMENTS AGREEMENT (SIA) AND TO PLANNING.**


**CASES WHICH REQUIRE PUBLIC NOTIFICATION**  
**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

4. **Project# 1008656**  
15DRB-70468 VACATION OF R-O-W  
15DRB-70469 PRELIMINARY PLAT  
15DRB-70470 TEMPORARY  
DEFERRAL OF SIDEWALK  
CONSTRUCTION 

RIO GRANDE ENGINEERING agents for ASHTON HOMES LLC request the referenced/ above actions for Tracts A & B, **ESTATES AT GLENDALE** zoned SU-1/RD 5 DU/AC, located on the south side of GLENDALE AVE NE between WYOMING BLVD NE and BARSTOW ST NE containing approximately 3.5 acres. (B-19) **DEFERRED TO 1/27/16.**

5. **Project# 1010703**  
15DRB-70462 VACATION OF PUBLIC  
WATERLINE EASEMENT 

WILSON & COMPANY agents for ALBUQUERQUE PUBLIC SCHOOLS request the referenced/ above action for a portion of **MANZANO HIGH SCHOOL**, zoned R-1, located on the south side of LOMAS BLVD NE between JUAN TABO BLVD NE and CHELWOOD PARK BLVD NE containing approximately 61 acres. (K-22) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE.**

6. **Project# 1010401**  
15DRB-70104 - PRELIMINARY PLAT  
15DRB-70106 - TEMP DEFERRAL/  
SIDEWALK CONSTRUCTION 

BOHANNAN HUSTON INC agents for WOODMONT PASEO, LLC request the referenced/ above actions for a portion of Tract 7, **THE TRAILS UNIT 3A**, zoned VTML, located on the south side of WOODMONT AVE NW west of RAINBOW BLVD NW containing approximately 12.48 acres. (C-9) [deferred 4/8/15, 5/6/15, 5/27/15, 6/17/15, 7/8/15, 7/29/15, 8/19/15, 10/21/15] **DEFERRED TO 2/24/16.**

**INFRASTRUCTURE LIST**

**EXHIBIT "A"**

**TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

11910 MENAUL NE

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

TRACT 2A, INDIAN RIDGE SUBDIVISION

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<b>PHASE 1</b>									
<input type="text"/>	<input type="text"/>	30'	driveway with handicap ramps	menaul	ex curb line	onsite returns	/	/	/
<input type="text"/>	<input type="text"/>	24"	3-sidewalk culverts	menaul	site	menaul	/	/	/
<input type="text"/>	<input type="text"/>	6"	public waterline	menaul	existing line west of site	existing line east of site	/	/	/
<input type="text"/>	<input type="text"/>	6"	private fire hydrant	onsite	public waterline in menaul	new fire hydrant	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
							/	/	/

NOTES

1 \_\_\_\_\_  
 \_\_\_\_\_

2 \_\_\_\_\_  
 \_\_\_\_\_

3 \_\_\_\_\_  
 \_\_\_\_\_

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS
---------------	---

David Soule  
 NAME (print)

Rid Grand Engineering  
 FIRM

DM  
 SIGNATURE - date

\_\_\_\_\_ DRB CHAIR - date

\_\_\_\_\_ TRANSPORTATION DEVELOPMENT - date

\_\_\_\_\_ UTILITY DEVELOPMENT - date

\_\_\_\_\_ CITY ENGINEER - date

\_\_\_\_\_ PARKS & RECREATION DEPARTMENT - date

\_\_\_\_\_ AMAFCA - date

\_\_\_\_\_ - date

\_\_\_\_\_ - date

MAXIMUM TIME ALLOWED TO CONSTRUCT  
 THE IMPROVEMENTS WITHOUT A DRB  
 EXTENSION: \_\_\_\_\_

DESIGN REVIEW COMMITTEE REVISIONS
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REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



Supplemental Form (SF)

<b>SUBDIVISION</b>	<b>S</b>	<b>Z</b>	<b>ZONING &amp; PLANNING</b>
<input type="checkbox"/> Major subdivision action			<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor subdivision action			
<input type="checkbox"/> Vacation	<b>V</b>		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
<input type="checkbox"/> Variance (Non-Zoning)			<input type="checkbox"/> Adoption of Rank 2 or 3 Plan or similar
<b>SITE DEVELOPMENT PLAN</b>	<b>P</b>		<input type="checkbox"/> Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
<input checked="" type="checkbox"/> for Subdivision			
<input checked="" type="checkbox"/> for Building Permit			
<input type="checkbox"/> Administrative Amendment (AA)			
<input type="checkbox"/> Administrative Approval (DRT, URT, etc.)			
<input type="checkbox"/> IP Master Development Plan	<b>D</b>		<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	<b>L A</b>		<b>APPEAL / PROTEST of...</b>
<b>STORM DRAINAGE (Form D)</b>			<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other
<input type="checkbox"/> Storm Drainage Cost Allocation Plan			

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102.  
Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): RIO GRANDE ENGINEERING PHONE: 505.321.9099  
 ADDRESS: PO BOX 93924 FAX: 505.872.0999  
 CITY: ALBUQUERQUE STATE NM ZIP 87199 E-MAIL: david@riograndeengineering.com  
 APPLICANT: WESTWIND APARTMENTS, LLC PHONE: \_\_\_\_\_  
 ADDRESS: 8232 LOUISIANA BLVE NE STE C FAX: \_\_\_\_\_  
 CITY: ALBUQUERQUE STATE NM ZIP 87113 E-MAIL: jazar@joeazar.com  
 Proprietary interest in site: OWNER List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: final signoff of site plan for subdivision and building permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACTS 2A Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv/Addn/TBKA: INDIAN RIDGE  
 Existing Zoning: SU FOR PRD Proposed zoning: SU1 FOR PRD MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): H-22 UPC Code: 102205920526634222

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_, V\_, S\_, etc.): \_\_\_\_\_  
1007786, 15EPC-40053, 15EPC-40059, 15EPC-40054

CASE INFORMATION:

Within city limits?  Yes Within 1000FT of a landfill?  NO  
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 1.73  
 LOCATION OF PROPERTY BY STREETS: On or Near: MENAU  
 Between: DEANNA ST NE and CHELWOOD PARK NE  
 Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: \_\_\_\_\_

SIGNATURE [Signature] DATE 12/17/15  
 (Print Name) DAVID SOULE Applicant  Agent:

FOR OFFICIAL USE ONLY

Revised: 11/2014

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>ISDRB - 70474</u>	<u>SPD</u>	_____	\$ <u>0</u>
<input type="checkbox"/> All fees have been collected	<u>ISDRB - 70475</u>	<u>SPS</u>	_____	\$ <u>0</u>
<input type="checkbox"/> All case #s are assigned	_____	<u>CMF</u>	_____	\$ <u>70.00</u>
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
				Total
				\$ <u>20.00</u>

Hearing date January 6 2016  
[Signature] 12-22-15 Project # 1007786  
 Staff signature & Date

**FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISE)**

- SKETCH PLAN REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
  - \_\_\_ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
  - \_\_\_ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - \_\_\_ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
  - \_\_\_ Copy of the document delegating approval authority to the DRB
  - \_\_\_ Completed Site Plan for Subdivision Checklist
  - \_\_\_ Infrastructure List, if relevant to the site plan
  - \_\_\_ Fee (see schedule)
  - \_\_\_ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
  - \_\_\_ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - \_\_\_ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
  - \_\_\_ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
  - \_\_\_ Solid Waste Management Department signature on Site Plan
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
  - \_\_\_ Copy of the document delegating approval authority to the DRB
  - \_\_\_ Infrastructure List, if relevant to the site plan
  - \_\_\_ Completed Site Plan for Building Permit Checklist
  - \_\_\_ Copy of Site Plan with Fire Marshal's stamp
  - \_\_\_ Fee (see schedule)
  - \_\_\_ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
  - \_\_\_ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
  - \_\_\_ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
  - \_\_\_ Infrastructure List, if relevant to the site plan
  - \_\_\_ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - \_\_\_ Fee (see schedule)
  - \_\_\_ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
  - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Solid Waste Management Department signature on Site Plan for Building Permit
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
  - Infrastructure List, if relevant to the site plan
  - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
  - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

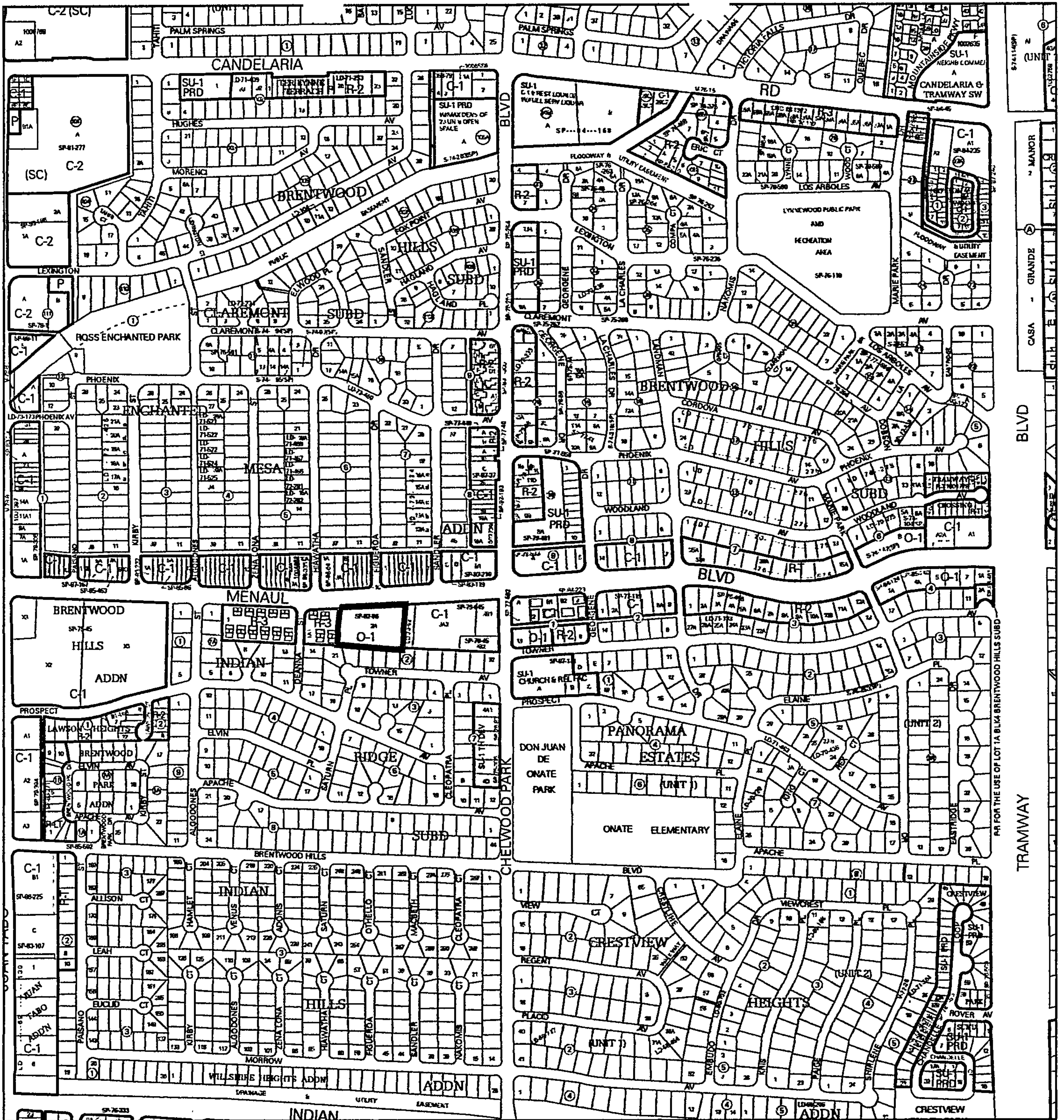
David Sode  
 Applicant name (print)  
MSA 12/17/15  
 Applicant signature / date



- Checklists complete
- Fees collected
- Case #'s assigned
- Related #'s listed

Application case numbers  
 SDP# 70474  
 SDP# 70475

Form revised October 2007  
MSA 12-22-15  
 Planner signature / date  
 Project # 1007784



For more current information and more details visit: <http://www.cabq.gov/gis>

Albuquerque Geographic Information System

Map amended through: 2/4/2010

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**H-22-Z**

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0 750 1,500 Feet

# CITY OF ALBUQUERQUE

PLANNING DEPARTMENT  
URBAN DESIGN & DEVELOPMENT DIVISION  
600 2nd Street NW, 3rd Floor, 87102  
P.O. Box 1293, Albuquerque, NM 87103  
Office (505) 924-3860 Fax (505) 924-3339



## OFFICIAL NOTIFICATION OF DECISION

November 13, 2015

Joe A Zar III, CCIM  
8232 Louisiana Blvd. NE, Suite C  
Albuquerque, NM 87113

Project# 1007786  
15EPC-40053 Amendment to Zone Map (Establish  
Zoning/Zone Change)  
15EPC-40059 Site Development Plan for Subdivision  
15EPC-40054 Site Development Plan for Building Permit

### LEGAL DESCRIPTION:

For all or a portion of Tract 2A, Indian Ridge  
Subdivision, zoned O-1 to SU-1 PRD, located on Menaul  
Boulevard NE, Between Deanna Street NE and  
Chelwood Park NE, containing approximately 1.73  
acre(s). (H-22)

Staff Planner: Maggie Gould

PO Box 1293

On November 12, 2015, the Environmental Planning Commission (EPC) voted to APPROVE Project #1007786/15EPC-40053, an Amendment to Zone Map (Establish Zoning/Zone Change), 15EPC-40059, a Site Development Plan for Subdivision and 15EPC-40054, a Site Development Plan for Building Permit, based on the following findings and subject to the following conditions of approval:

### FINDINGS: 15 EPC-40053 – Zone Map Amendment

New Mexico 87103

www.cabq.gov

1. This is a request for a Zone Map Amendment from O-1 to SU-1 PRD for Tract 2A Indian Ridge Subdivision, located on Menaul Boulevard between Deanna Street and Chelwood Park NE and containing approximately 1.73 acres.
2. The applicant proposes to amend the zoning from O-1 to SU-1 PRD to allow the development of 26 townhomes units and associated infrastructure.
3. The Albuquerque/Bernalillo County Comprehensive Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
4. The proposed use is compatible with the surrounding development.
5. A Site Development Plan for Building Permit (15 EPC-40054) is heard concurrently with the request.
6. A Site Development Plan for Subdivision (15 EPC-40059) is heard concurrently with this request.

# CITY OF ALBUQUERQUE

## OFFICIAL NOTICE OF DECISION

Project #1007786

November 12, 2015

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7. The subject site is within the Established Urban Area of the Comprehensive Plan. The request is in general compliance with the following applicable goals and policies of the Comprehensive Plan:

A. Policy II.B.5.d: "The location, intensity and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural and recreational concern."

The subject site will be developed at a similar density and intensity as the site to the west and will contain uses that are allowed on and complimentary to the site to the east. The request will allow the development of residential uses adjacent to residential use (the housing to the south). The allowed height will be similar to the existing development to the west and the same as development to the east and will be lower than allowed possible allowed height in the O-1 zone so will not have a negative impact on views. The request furthers Policy II.B.5.d.

B. Policy II.B.5.e: "New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services where the integrity of existing neighborhoods can be ensured."

The subject site has access to a full range of urban services, including water, sewer, roads and electricity. The site takes access from Menaul Boulevard and will not disrupt the character of the single family area to the south and may add additional patrons for nearby business. The request furthers Policy II.B.5.e.

C. Policy II.B.5.h: "Higher density housing is most appropriate in the following situations:

- In designated Activity Centers.
- In areas with excellent access to the major street network.
- In areas where a mixed density pattern is already established by zoning or use, where it is compatible with existing land uses and where adequate infrastructure is or will be available.
- In areas now predominantly zoned single family, only where it comprises a complete block face and faces onto similar or higher density development, up to 10 dwelling units per acre.
- In areas where a transition is needed between single-family homes and much more intense development: densities will vary up to 30 dwelling units per net acre according to the intensity of development in adjacent areas."

The subject site has direct access to a major street that can accommodate vehicles and is a designated Enhanced Transit Corridor. The area has a mixed density pattern in that there is multi-family, single family and commercial development adjacent to the site and the subject site has access to existing adequate infrastructure. The requests further Policy II.B.5.h.

D. Policy II.D.4.c: "In order to add transit ridership where it will not destabilize adjacent neighborhoods, additional dwelling units are encouraged close to Major Transit and Enhanced Transit streets."

The subject site is located on an Enhanced Transit Corridor (Menaul Boulevard). The site takes access from Menaul Boulevard and does not route traffic through the existing single family residential area. Additionally, the density and use will be the

PO Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)



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same as the property to the west. The requests further Policy II.D.4.c.

- E. Policy II.C.6.f. states: "The City and County should remove obstacles to sound growth management and economic development throughout the community." The new zoning will allow new housing in an appropriate location that has access to services and will be consistent with the growth management goals of the City because it will allow the development of medium density housing along a transit corridor on the east side of the river. The request furthers Policy II.C.6.f.
8. The applicant has justified the zone change request pursuant to R-270-1980 as follows:
- A. The proposed zoning will allow development of townhouses governed by a site plan with allowed uses that are consistent with the adopted plans and policies as demonstrated in sections C and D of this justification. The proposed use, medium density housing, is not contrary to the health safety and general welfare of the City.
- B. the proposed uses are compatible with adjacent uses and will have not a destabilizing impact on the area. The additional residential development may help to support the existing business in the area.
- C. The applicant cites several comprehensive policies to support this request (Policy II.B.5.a, Policy II.B.5.d, Policy II.B.5.e., Policy II.B.5.h., Policy II.B.5.p., Policy II.D.4.c, Policy II.C.8.c( actually II.D.8.c), Policy II.C.6.f., Policy II.D.4.g.) Staff generally agrees that these policies are applicable, although Policy II.B.5.a is very vague and not usually cited by staff. Policy II.D.8.c is a Human Services policy and not relevant to this request. However staff agrees with the applicant's inclusion of data showing that office vacancies in the City of Albuquerque are fairly high. Policy II.D.4.g, regarding the provision of pedestrian opportunities is relevant in that the residents will have reasonable access through the development to the sidewalk and transit opportunities along Menaul Blvd.
- D. The request is consistent with the goals and policies of the Comprehensive Plan and the request will clearly facilitate these goals and goals and policies and therefor the request is more advantageous to the community as articulated in the Comprehensive Plan.
- E. The proposed use, medium density housing is compatible with the surrounding development because it will be of a similar density and intensity and will be designed to fit into the architectural style of the area.
- F. the subject site has access to existing infrastructure and proposed zoning will not require additional unprogrammed capital expenditures from the City.
- G. The applicant has provided justification in the form consistency with applicable goals and policies. While economics may be a factor in this case, it is not the determining factor.
- H. The location on a major transit corridor is relevant to this request because it is an area where the additional housing density is appropriate, but is not the sole justification for the request; the applicant has also provided justification in the form consistency with applicable goals and policies.
- I. The proposed zone will act as a transition from both the R-3 zoning to the west and the C-1 zoning to the east and the R-1 zoning to the south and the C-1 zoning. Although the O-1 could also act as a transition; the proposed zone is site plan controlled and the only

**OFFICIAL NOTICE OF DECISION**

**Project #1007786**

**November 12, 2015**

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use allowed will be the 26 townhome units. The proposed zoning will allow development that is similar to and compatible with the existing zoning in the area and will be consistent with intent of the prohibition on spot zone which is to ensure that non compatible uses are not developed near one another.

J. The request would not constitute a strip zone. The proposed uses are compatible with the surrounding uses. The intent of the prohibition on strip zones is to make sure that non-compatible uses are not mapped adjacent to one another. The allowed development could also function as transition and may serve to buffer the residential uses from the noise of Menaul Boulevard.

9. The proposed zoning will allow the development that may offer an alternative that may help to address the jobs to housing imbalance between the east and west sides of the City.
10. The data submitted by the applicant and additional research by staff show that that office market in Albuquerque has a high rate of vacancy.
11. The applicant notified the adjacent property owners via regular mail and the District 8 Coalition of Neighborhoods and the Enchanted Park Neighborhood via registered mail prior to submitting the request.
12. A facilitated meeting was offered to the neighborhoods and the adjacent property owners; the adjacent property owners were offered the facilitated meeting via regular mail. The facilitator did not receive any request for a meeting.
13. The City notified property owners within 100 feet of the subject site via regular mail; as of this writing staff has not received any public comment.

**CONDITIONS:**

1. The zone map amendment does not become effective until the accompanying site development plan is approved by the DRB, pursuant to §14-16-4-1(C)(16) of the Zoning Code. If such requirement is not met within six months after the date of EPC approval, the zone map amendment is void. The Planning Director may extend this time limit up to an additional six months upon request by the applicant.

**FINDINGS: 15EPC-40059- Site Development Plan for Subdivision**

1. This is a request for a Site Development Plan for Subdivision on Tract 2A of the Indian Ridge Subdivision, located on Menaul Boulevard between Deanna Street and Chelwood Park NE and containing approximately 1.73 acres
2. A Zone Map Amendment (zone change) (15EPC- 40053) is heard concurrently with this request.
3. A Site Development Plan for Building Permit (15 EPC-40054) is heard concurrently with the request.

**OFFICIAL NOTICE OF DECISION**

**Project #1007786**

**November 12, 2015**

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4. The applicant plans to retain the single lot for the site and not replat the site into individual lots.
5. The Albuquerque/Bernalillo County Comprehensive Plan, and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. The subject site is within the Established Urban Area of the Comprehensive Plan. The request is in general compliance with the following applicable goals and policies of the Comprehensive Plan:
  - A. Policy II.B.5.d: "The location, intensity and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural and recreational concern."  
The subject site will be developed at a similar density and intensity as the site to the west and will contain uses that are allowed on and complimentary to the site to the east. The request will allow the development of residential uses adjacent to residential use( the housing to the south). The allowed height will be similar to the existing development to the west and the same as development to the east and will be lower than allowed possible allowed height in the O-1 zone so will not have a negative impact on views. The request furthers Policy II.B.5.d.
  - B. Policy II.B.5.e.: "New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services where the integrity of existing neighborhoods can be ensured."  
The subject site has access to a full range of urban services, including water, sewer, roads and electricity. The site takes access from Menaul Boulevard and will not disrupt the character of the single family area to the south and may add additional patrons for nearby business. The request furthers Policy II.B.5.e.
  - C. Policy II.B.5.h: "Higher density housing is most appropriate in the following situations:
    - In designated Activity Centers.
    - In areas with excellent access to the major street network.
    - In areas where a mixed density pattern is already established by zoning or use, where it is compatible with existing land uses and where adequate infrastructure is or will be available.
    - In areas now predominantly zoned single family, only where it comprises a complete block face and faces onto similar or higher density development, up to 10 dwelling units per acre.
    - In areas where a transition is needed between single-family homes and much more intense development: densities will vary up to 30 dwelling units per net acre according to the intensity of development in adjacent areas."

The subject site has direct access to a major street that can accommodate vehicles and is a designated Enhanced Transit Corridor. The area has a mixed density pattern in that there is multi-family, single family and commercial development adjacent to the site and the subject site has access to existing adequate infrastructure. The requests further Policy II.B.5.h.

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**November 12, 2015**

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- D. Policy II.D.4.c: "In order to add transit ridership where it will not destabilize adjacent neighborhoods, additional dwelling units are encouraged close to Major Transit and Enhanced Transit streets."**

The subject site is located on an Enhanced Transit Corridor ( Menaul Boulevard). The site takes access from Menaul Boulevard and does not route traffic through the existing single family residential area. Additionally, the density and use will be the same as the property to the west. The requests further Policy II.D.4.c.

- E. Policy II.C.6.f. states: "The City and County should remove obstacles to sound growth management and economic development throughout the community."**

The new zoning will allow new housing in an appropriate location that has access to services and will be consistent with the growth management goals of the City because it will allow the development of medium density housing along a transit corridor on the east side of the river. The request furthers Policy II.C.6.f.

- 7. The applicant notified the adjacent property owners via regular mail and the District 8 Coalition of Neighborhoods and the Enchanted Park Neighborhood via registered mail prior to submitting the request.**
- 8. A facilitated meeting was offered to the neighborhoods and the adjacent property owners; the adjacent property owners were offered the facilitated meeting via regular mail. The facilitator did not receive any request for a meeting.**
- 9. The City notified property owners within 100 feet of the subject site via regular mail; as of this writing staff has not received any public comment.**

**CONDITIONS:**

- 1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.**
- 2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.**
- 3. The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.**

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1. This is a request for a Site Development Plan for Building Permit on Tract 2A of the Indian Ridge Subdivision, located on Menaul Boulevard between Deanna Street and Chelwood Park NE and containing approximately 1.73 acres
2. A Zone Map Amendment (zone change) (15EPC- 40053) is heard concurrently with this request.
3. A Site Development Plan for Subdivision (15 EPC-40059) is heard concurrently with this request.
4. The applicant plans to retain the single lot for the site and not replat the site into individual lots.
5. The Albuquerque/Bernalillo County Comprehensive Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. The subject site is within the Established Urban Area of the Comprehensive Plan. The request is in general compliance with the following applicable goals and policies of the Comprehensive Plan:
  - F. Policy II.B.5.d: "The location, intensity and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural and recreational concern."

The subject site will be developed at a similar density and intensity as the site to the west and will contain uses that are allowed on and complimentary to the site to the east. The request will allow the development of residential uses adjacent to residential use( the housing to the south). The allowed height will be similar to the existing development to the west and the same as development to the east and will be lower than allowed possible allowed height in the O-1 zone so will not have a negative impact on views. The request furthers Policy II.B.5.d.
  - G. Policy II.B.5.e: "New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services where the integrity of existing neighborhoods can be ensured."

The subject site has access to a full range of urban services, including water, sewer, roads and electricity. The site takes access from Menaul Boulevard and will not disrupt the character of the single family area to the south and may add additional patrons for nearby business. The request furthers Policy II.B.5.e.
  - H. Policy II.B.5.h: "Higher density housing is most appropriate in the following situations:
    - In designated Activity Centers.
    - In areas with excellent access to the major street network.
    - In areas where a mixed density pattern is already established by zoning or use, where it is compatible with existing land uses and where adequate infrastructure is or will be available.
    - In areas now predominantly zoned single family, only where it comprises a complete block face and faces onto similar or higher density development, up to 10 dwelling units per acre.

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- In areas now predominantly zoned single family, only where it comprises a complete block face and faces onto similar or higher density development, up to 10 dwelling units per acre.
- In areas where a transition is needed between single-family homes and much more intense development: densities will vary up to 30 dwelling units per net acre according to the intensity of development in adjacent areas."

The subject site has direct access to a major street that can accommodate vehicles and is a designated Enhanced Transit Corridor. The area has a mixed density pattern in that there is multi-family, single family and commercial development adjacent to the site and the subject site has access to existing adequate infrastructure. The requests further Policy II.B.5.h.

- I. Policy II.D.4.c: "In order to add transit ridership where it will not destabilize adjacent neighborhoods, additional dwelling units are encouraged close to Major Transit and Enhanced Transit streets."  
The subject site is located on an Enhanced Transit Corridor ( Menaul Boulevard). The site takes access from Menaul Boulevard and does not route traffic through the existing single family residential area. Additionally, the density and use will be the same as the property to the west. The requests further Policy II.D.4.c.
- J. Policy II.C.6.f. states: "The City and County should remove obstacles to sound growth management and economic development throughout the community."  
The new zoning will allow new housing in an appropriate location that has access to services and will be consistent with the growth management goals of the City because it will allow the development of medium density housing along a transit corridor on the east side of the river. The request furthers Policy II.C.6.f.

7. The applicant notified the adjacent property owners via regular mail and the District 8 Coalition of Neighborhoods and the Enchanted Park Neighborhood via registered mail prior to submitting the request.
8. A facilitated meeting was offered to the neighborhoods and the adjacent property owners; the adjacent property owners were offered the facilitated meeting via regular mail. The facilitator did not receive any request for a meeting.
9. The City notified property owners within 100 feet of the subject site via regular mail; as of this writing staff has not received any public comment.

**CONDITIONS:**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

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2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The applicant shall coordinate with PNM regarding the PNM comments; the landscaping plan can be altered to provide a shorter tree where needed accommodate PNM's concerns.
4. No unfinished CMU will be allowed for wall material, finished or split face block will be allowed as shown in the attached color samples.
5. Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB).

**APPEAL:** If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **NOVEMBER 30, 2015**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15<sup>th</sup> day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-4-4 of the Zoning Code. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

**ZONE MAP AMENDMENTS:** Pursuant to Zoning Code Section 14-16-4-1(C)(16), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

**SITE DEVELOPMENT PLANS:** Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing through the Planning Director that the Planning Commission extend the plan's life an additional five years. Additional design details will be required as a project proceeds through the Development Review Board and through the plan check of Building Permit submittals for construction. Planning staff may consider minor, reasonable changes that are consistent with an approved Site Development Plan so long as they can be shown to be in conformance with the

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original, approved intent.

**DEFERRAL FEES:** Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee per case.

Sincerely,



**Suzanne Lubar  
Planning Director**

**SL/MG**

**cc: Joe Azar III, CCIM, 8232 Louisiana Blvd. NE, Suite C, Albuquerque, NM 87113  
DAC Enterprises, Inc., 1521 Edith Blvd NE, ABQ, NM 87102-1611  
Gary Beyer, Enchanted Park NA, 11620 Morenci Av. NE, ABQ, NM 87112  
Ed Plunkett, Enchanted Park NA, 2408 Hiawatha Dr. NE, ABQ, NM 87112  
Don Couchman, Dist. 8 Coalition of NA's, 6441 Concordia NE, ABQ, NM 87111  
Janet Butts, Dist. 8 Coalition of NA's, 9200 Galaxia Way NE, ABQ, NM 87111**



**David Soule**

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**From:** Roger Cinelli [rcinelli@q.com]  
**Sent:** Tuesday, November 24, 2015 2:16 PM  
**To:** Joe Azar; atiryaki@comcast.net; jason@FANDBUILDERS.COM; 'David Soule'  
**Cc:** 'CenturyLink Customer'; Doug Crandall  
**Subject:** FW: EPC Project #1007786

Gentlemen,  
See PNM approval and remittance to Maggie below...done!

Roger

---

**From:** Moyer, Laurie [mailto:Laurie.Moyer@pnm.com]  
**Sent:** Tuesday, November 24, 2015 1:58 PM  
**To:** Maggie Gould (mgould@cabq.gov)  
**Cc:** Roger Cinelli; Moyer, Laurie  
**Subject:** EPC Project #1007786

Maggie,  
PNM has reviewed the revised site plan and landscape plan regarding EPC Project #1007786 and find that they have adequately addressed PNM's comments.

Laurie

*Laurie W. Moyer  
PNM  
Public Participation and Regulatory Relations  
System Engineering  
Aztec Building A  
2401 Aztec NE  
Albuquerque, New Mexico 87107  
505-241-2792  
505-241-2363 fax*

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**From:** Roger Cinelli [mailto:rcinelli@q.com]  
**Sent:** Monday, November 23, 2015 7:36 PM  
**To:** Culpepper, Elizabeth; Moyer, Laurie  
**Subject:** [External]

112415

Ms. Culpepper and Ms. Moyer,

**PROJECT #1007786 ZONE CHANGE, SDP FOR BP AND SDP FOR SUBD.**

I am the architect for the referenced project.

Please find a copy of your comments and our response attached. Sheet DRB-1

12/17/2015

is the SDP for BP and now indicates the distribution line and power pole location.

Sheet DRB-5; the LANDSCAPE PLAN; indicates that the trees in the NE and NW corner are a different tree species that do not exceed allowable heights.

If you approve the changes attached please issue an email to that effect and this office can forward to Ms. Gould.

We look forward to your responses and we will proceed to DRB process at receipt of Notification of Decision.

We are available to meet if there are any other concerns. Please inform.

Thank you,

**Roger Cinelli**  
**Roger Cinelli & Associates Inc.**  
**2418 Manuel Torres Ln NW**  
**Albuquerque, New Mexico 87107**  
**Cel 505-243-8211**  
**Fax 505-243-8196**

December 17, 2015

Jack Cloud  
Chairman  
Development Review Board  
City of Albuquerque  
600 2<sup>nd</sup> street NW  
Albuquerque, NM 87102

**RE: 11910 Menaul NE  
Final sign-off for EPC approved Site Plan for  
Subdivision and Building Permit  
Project #1007786**

Dear Mr. Cloud:

Rio Grande Engineering requests DRB approval on the attached site plan for subdivision and building permit. This project was approved for a zone map amendment, site plan for subdivision and site plan for building permit by the Environmental Planning Commission on November 12, 2015. The plans were approved with conditions. This letter will summarize the condition and explain how the plans were revised to address the conditions.

**Zone Map Amendment**

1. This zone map amendment does not become effective until the accompanying site development plan is approved by the DRB

**We are submitting the enclosed site plan for subdivision and building permit for approval by the DRB**

**Site Plan for Subdivision**

1. The EPC delegates final sign-off authority of this site plan to the DRB. The DRB is responsible for assuring that all EPC conditions have been satisfied and that other applicable city requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each condition.

**This letter satisfies this condition. The changes to the plan are as follows:**

1. Overhead power line called out as per PNM – DRB-1
2. Overhead power line pole called out as per PNM – DRB-1
3. Trees at NW and NE corner have been changed as per PNM - DRB-5
4. The courtyard walls for the two Westerly end units have been relocated to exclude WHP as per D&G – DRB-1
5. A note stipulating that no unfinished CMU walls will be constructed as per Condition 4, pg 9 – DRB-1

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to assure all conditions have been met.

**Prior to submittal, we have meet with the case planner and obtained her initials on the site plan.**

3. The site plan shall comply with the general regulations of the zoning code, the subdivision ordinance and all other applicable design regulations, except as specifically approved by the EPC.

**We submit that this site plan meets all of these regulations**

### **Site Plan for Building permit**

1. The EPC delegates final sign-off authority of this site plan to the DRB. The DRB is responsible for assuring that all EPC conditions have been satisfied and that other applicable city requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each condition.

**This letter satisfies this condition. The changes to the plan are as follows:**

6. **Overhead power line called out as per PNM – DRB-1**
7. **Overhead power line pole called out as per PNM – DRB-1**
8. **Trees at NW and NE corner have been changed as per PNM - DRB-5**
9. **The courtyard walls for the two Westerly end units have been relocated to exclude WHP as per D&G – DRB-1**
10. **A note stipulating that no unfinished CMU walls will be constructed as per Condition 4, pg 9 – DRB-1**

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to assure all conditions have been met.

**Prior to submittal, we have meet with the case planner and obtained her initials on the site plan**

3. The applicant shall coordinate with PNM regarding the PNM comments.

**We have meet with PNM and labeled the PNM lines and poles. We have changed the tree types to accommodate PNM. A copy of there approval email is enclosed.**

4. No unfinished CMU Shall be allowed for wall material, finished or split face block will be shown as shown in the attached color samples

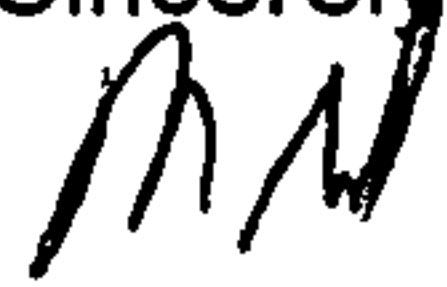
**We have added this note to DRB1.**

5. developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site as required by the DRB

**We have placed the identified permanent improvements on an infrastructure list to satisfy this condition**

Should you have any questions regarding this matter, please do not hesitate to call me.

Sincerely,



David Soule, PE  
RIO GRANDE ENGINEERING  
PO Box 93924  
ALBUQUERQUE, NM 87199  
321-9099

Enclosures

PROJECT #  
1007786

January 6, 2016

SBF  
SPS