

**INDIAN RIDGE PATIO HOMES  
FOR JOE AZAR**  
11,910 MENAUL BOULEVARD  
NORTHEAST  
ALBUQUERQUE, NEW MEXICO

PROJECT: 1007786  
DATE: 1-6-16  
APP: 15-70474  
(SBP)

PROJECT NUMBER: 1007786  
APPLICATION NUMBERS: 15EPC-40053  
15EPC-40054 15EPC-40059

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.  
DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
Utilities Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

11,910 MENAUL BLVD. N.E.



VICINITY MAP - ZA MAP H-22

1" = 500'

**SITE PLAN LEGEND**

- NEW CONCRETE SIDEWALK - NEW CONCRETE SITE WORK
- UNIT ENTRY LOCATION
- GARAGE DOOR LOCATION
- HOODED DUSK TO DAWN EXTERIOR WALL MOUNTED LIGHTING - SEE SPECIFICATION SHEET DRB-2
- SIDEWALK CULVERT - DWG #2235 - SEE GRADING & DRAINAGE PLAN
- 72" HIGH COLORED 8" CMU COURTYARD WALL
- 72" HIGH 8" COLORED CMU DECORATIVE STREET FRONTAGE WALL SEE - DETAIL 1/DRB-2
- 12" HIGH 8" COLORED SPLIT FACE CMU SIGNAGE PLANTER
- WHP WATER HARVESTING POND PER GRADING AND DRAINAGE PLAN

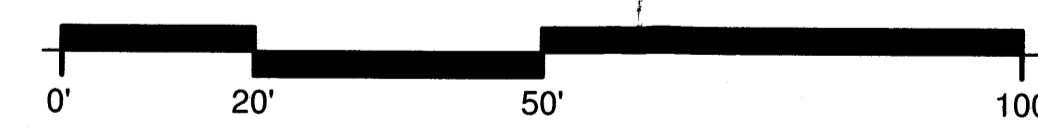
NOTE:  
NO UNFINISHED CMU SHALL BE ALLOWED FOR WALL MATERIAL. ALL WALL FINISHES SHALL BE EITHER SPLIT FACE OR COLORED.

NOTE:

PROVIDE WATER HARVESTING PONDS AT ALL REAR YARDS AS PER GRADING AND DRAINAGE PLAN - SEE DRB-3

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

Scale: 1" = 20'-0"



**SHEET LIST**

Sheet Number	Sheet Name
DRB-1	SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
DRB-2	SITE DEVELOPMENT PLAN INTRODUCTION & CODE SUMMARY
DRB-3	SITE DRAINAGE & GRADING PLAN
DRB-4	SITE UTILITY PLAN
DRB-5	SITE LANDSCAPE PLAN
DRB-6	ELEVATIONS & DETAILS
DRB-7	ELEVATIONS & DETAILS
DRB-8	SITE DEVELOPMENT PLAN FOR SUBDIVISION
DRB-9	SPS - DESIGN STD'S - STORAGE SHED ELEVATIONS

**Cinelli** / Roger Cinelli & Assoc.  
ARCHITECTS  
2418 Manuel Torres Lane N.W.,  
Albuquerque, New Mexico 87107  
(505) 243-8211

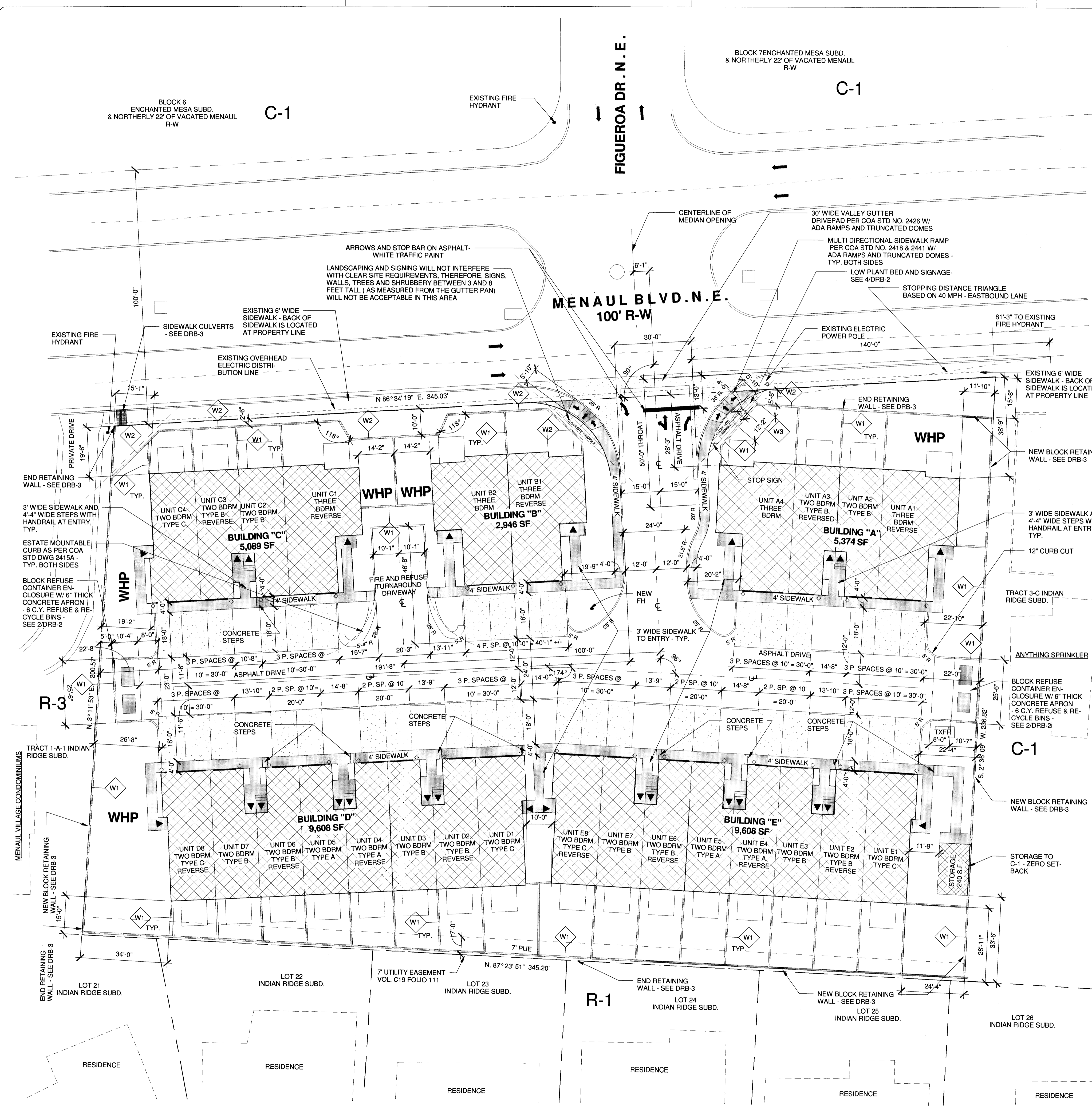
PROJECT TITLE:  
**INDIAN RIDGE PATIO HOMES FOR JOE AZAR**  
11,910 MENAUL BLVD. N.E.  
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE:  
**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

DATE: DEC. 15, 2015 PROJECT NO.: TIRY37  
DRAWING NO.:

**DRB-1**

12/15/15



FIGUEROA DR. N.E.

BLOCK 7 ENCHANTED MESA SUBD. & NORTHERLY 22' OF VACATED MENAUL R-W

C-1

C-1

MENAUL BLVD. N.E. 100' R-W

WHP

C-1

R-1

RESIDENCE

RESIDENCE

RESIDENCE

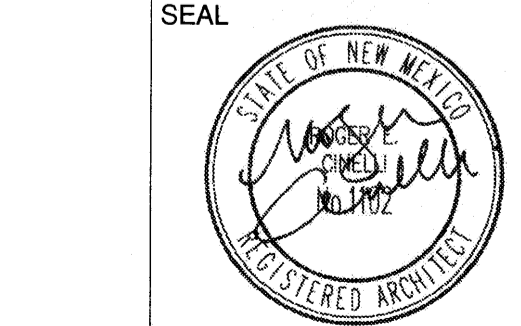
RESIDENCE

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RESIDENCE

RESIDENCE

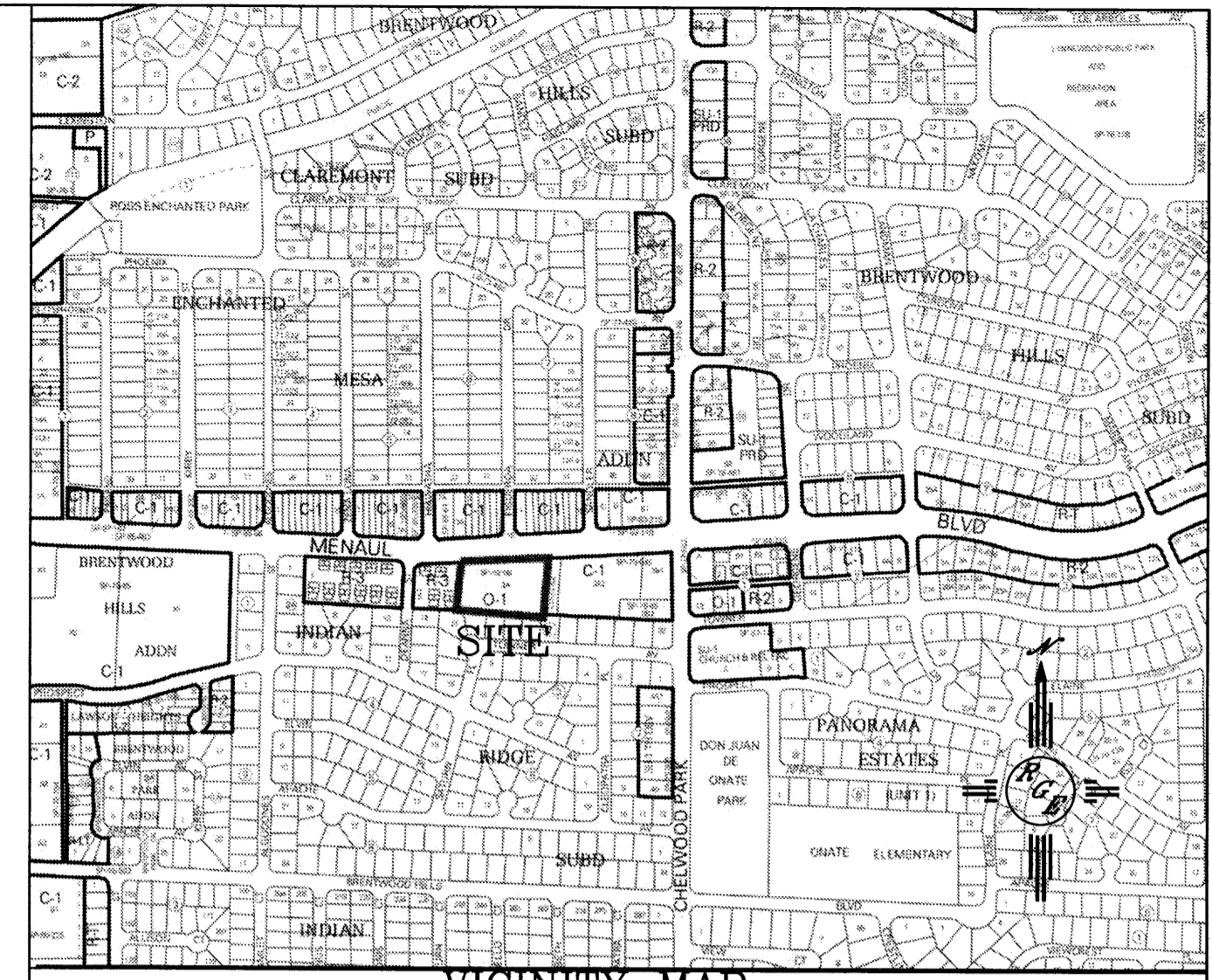
RESIDENCE



& NORTHERLY 22' OF VACATED MENAUL R-W

**EROSION CONTROL NOTES:**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



VICINITY MAP:



FIRM MAP: FM35001C0375H

**LEGAL DESCRIPTION:**

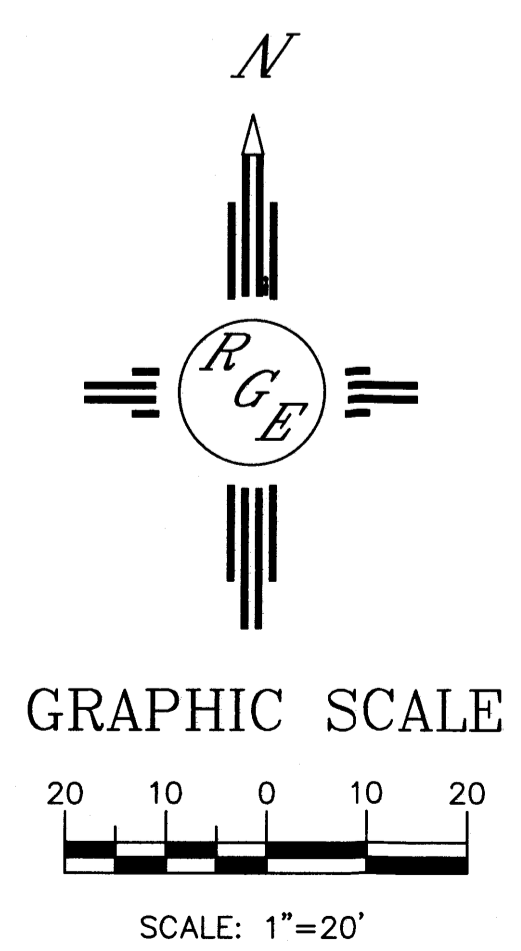
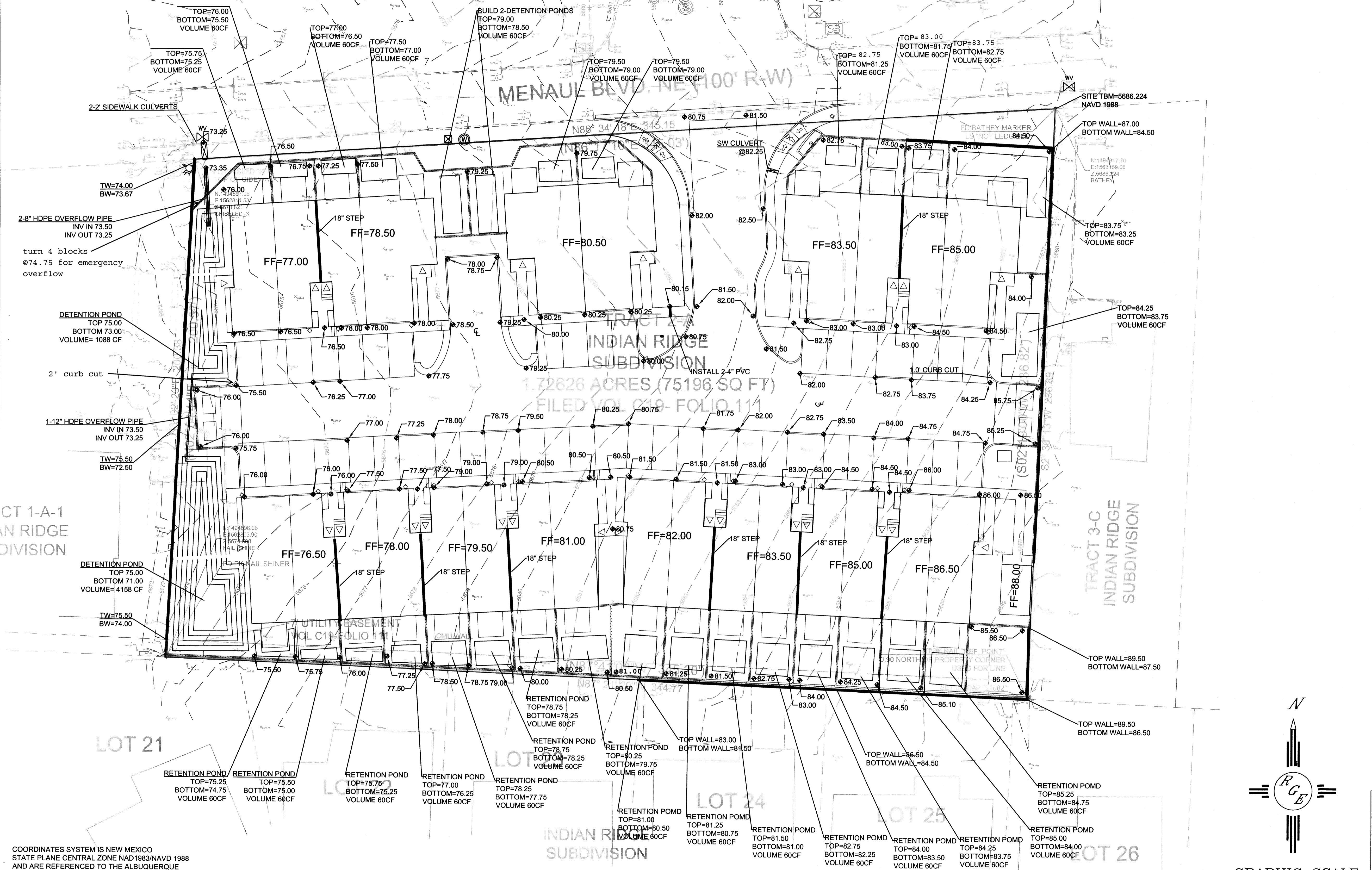
TRACT 2-A INDIAN RIDGE SUBDIVISION

**NOTES:**

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. TOPOGRAPHIC SURVEY INFORMATION SHOWN ON THIS PLAN WAS OBTAINED BY CONSTRUCTION SURVEY TECHNOLOGIES, DAVID P ACOSTA PLS 21082.
3. ALL REAR YARD SHALL HAVE ONE BLOCK TURNED FOR DRAINAGE.

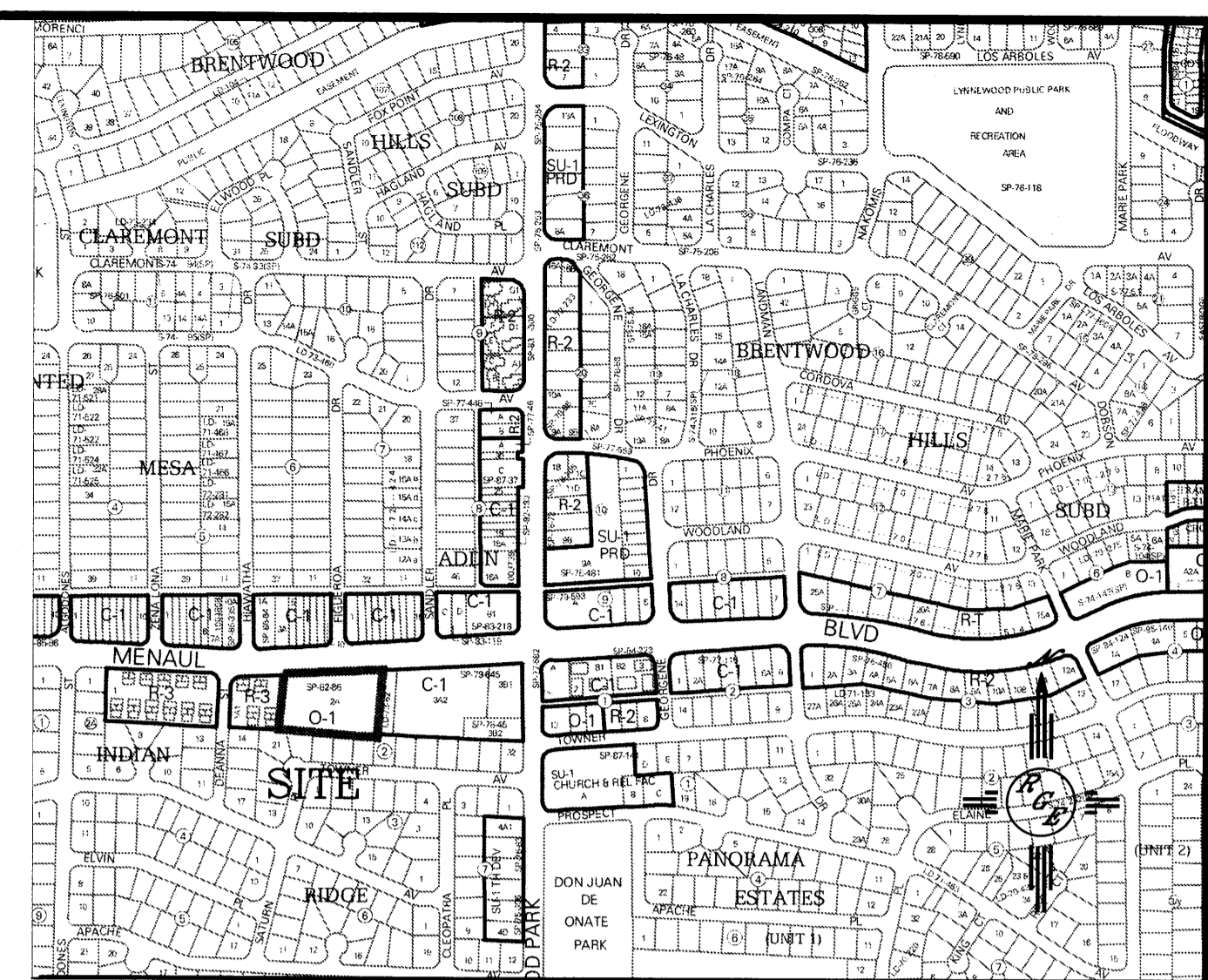
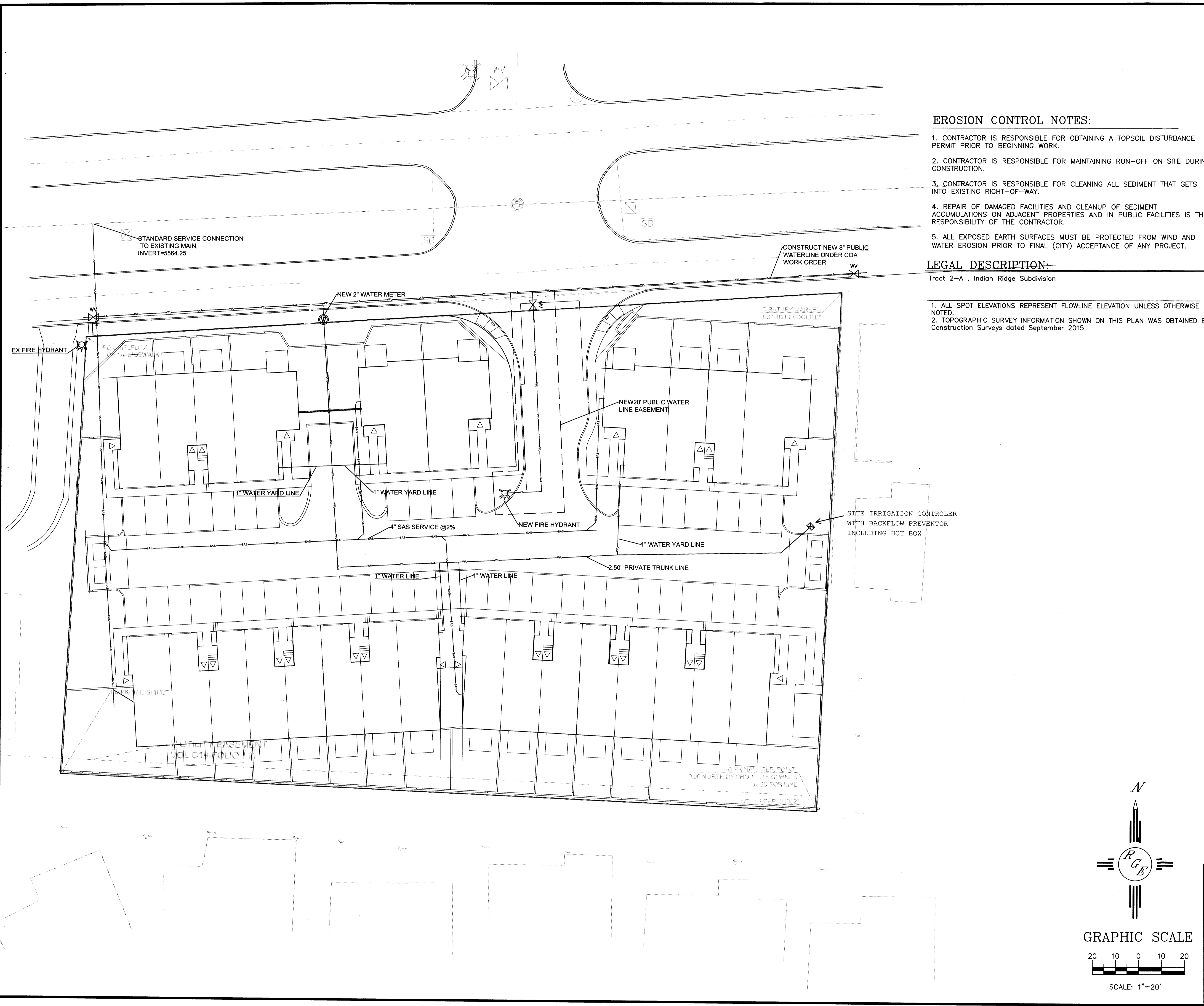
**LEGEND**

- 5411 --- EXISTING CONTOUR
- 5410 --- EXISTING INDEX CONTOUR
- 5411 --- PROPOSED CONTOUR
- 5410 --- PROPOSED INDEX CONTOUR
- PROPOSED ELEVATION



COORDINATES SYSTEM IS NEW MEXICO STATE PLANE CENTRAL ZONE NAD1983/NAVD 1988 AND ARE REFERENCED TO THE ALBUQUERQUE GEODETIC REFERENCE SYSTEM AS DETERMINED BY GPS OBSERVATIONS OBTAINED USING THE ALBUQUERQUE REAL TIME GNSS NETWORK (ARTGN). DISTANCES ARE GROUND. THESE VALUES WERE PROVIDED BY CONSTRUCTION SURVEY TECHNOLOGIES NMPLS 21082

	TRACT 2-A INDIAN RIDGE SUBDIVISION	DRAWN BY JDG
	GRADING AND DRAINAGE PLAN	DATE 11-16-2015
11/15/15		SHEET # DRB 03
DAVID SOULE P.E. #14522	1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	JOB #



**EROSION CONTROL NOTES:**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

**LEGAL DESCRIPTION:**

Tract 2-A, Indian Ridge Subdivision

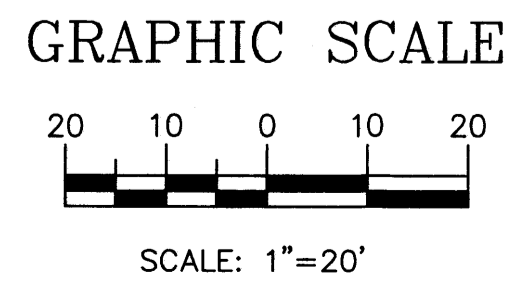
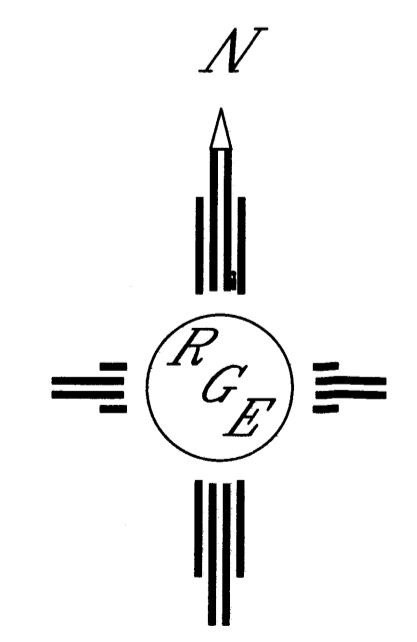
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. TOPOGRAPHIC SURVEY INFORMATION SHOWN ON THIS PLAN WAS OBTAINED BY Construction Surveys dated September 2015

**LEGEND**

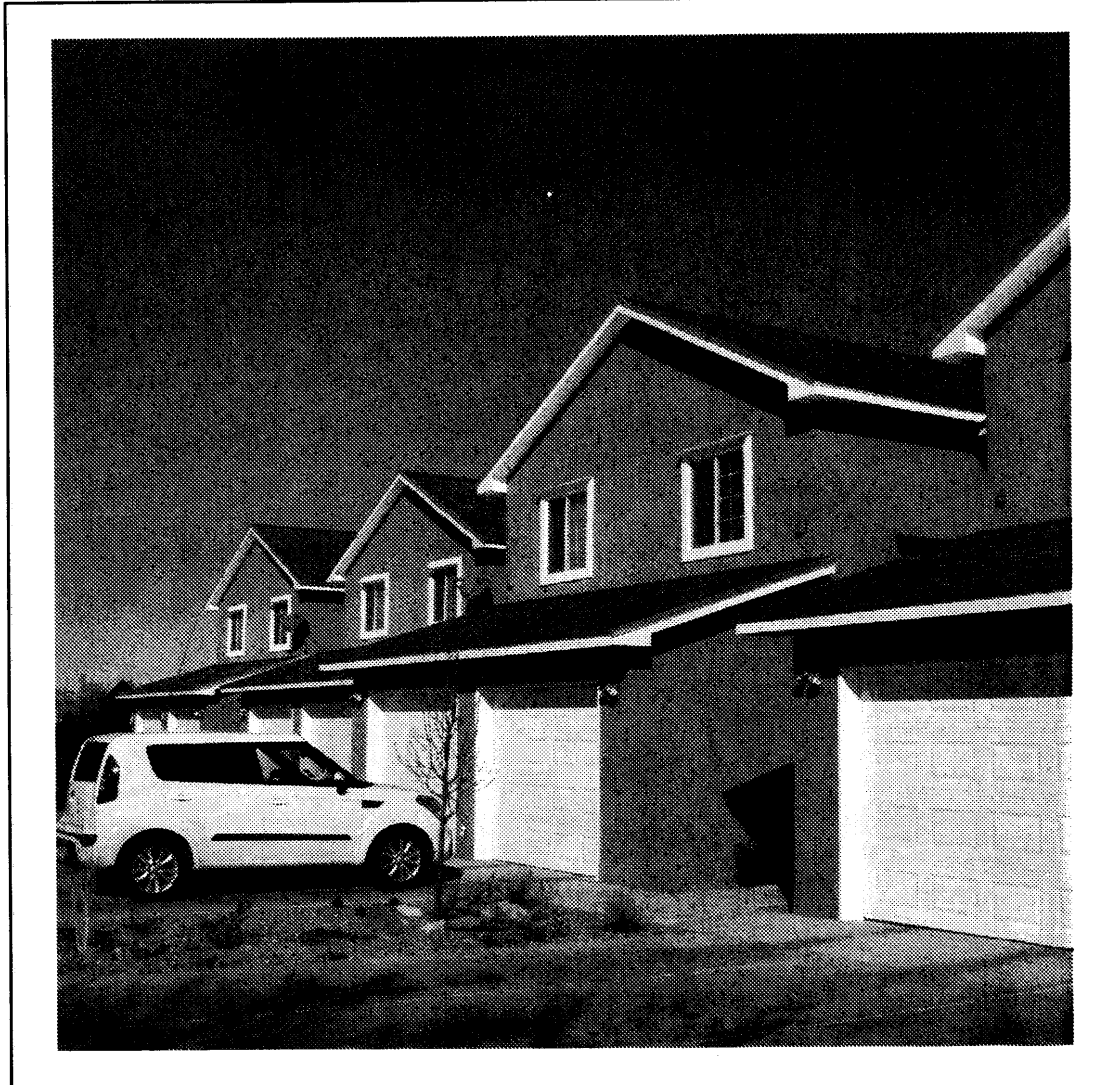
- 5411 --- EXISTING CONTOUR
- 5410 --- EXISTING INDEX CONTOUR
- 5411 --- PROPOSED CONTOUR
- 5410 --- PROPOSED INDEX CONTOUR
- PROPOSED FLOWLINE
- WL --- PROPOSED WATERLINE
- SAS --- PROPOSED SANITARY LINE
- GAS --- PROPOSED GAS LINE
- UE --- PROPOSED UNDERGROUND ELECTRIC LINE

**NOTICE TO CONTRACTORS**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN PUBLIC RIGHT OF WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NM ONE CALL LINE LOCATING SERVICE, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTION. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TOWN OF BERNALILLO STANDARDS.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
9. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
10. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE MEMBERS OF THE ONE-CALL NOTIFICATION CENTER; IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
11. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES THAT HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
12. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
13. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
14. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
15. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.
16. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.6450 SUBPART P.
17. ALL IMPACTED STRIPING SHALL BE REPLACED BY CONTRACTOR.

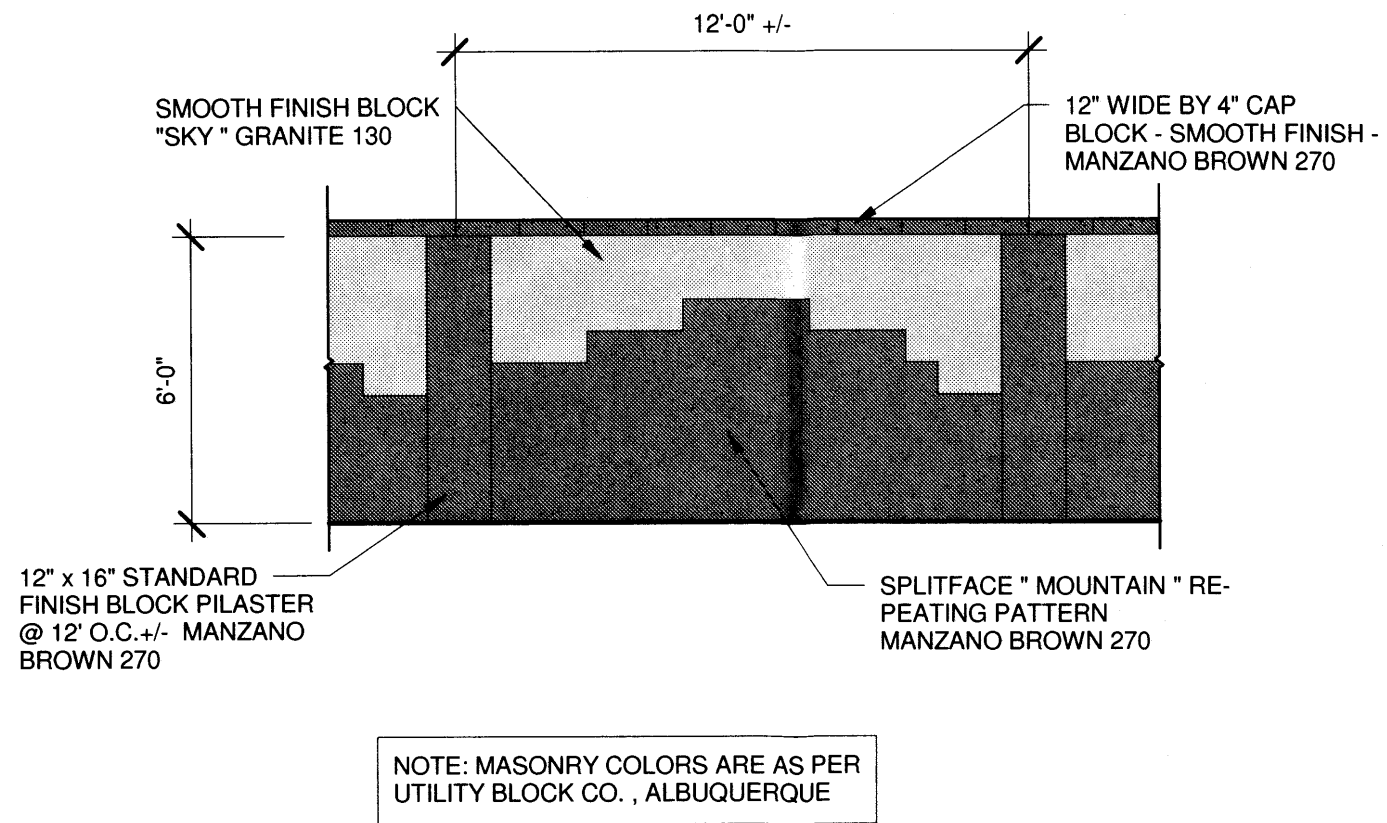


ENGINEER'S SEAL 	TRACT 2-A INDIAN RIDGE SUBDIVISION	DRAWN BY JDG
	MASTER UTILITY PLAN	DATE 09-27-2015
	Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	SHEET # DRB 04
	DAVID SOULE P.E. #14522	JOB #



### BUILDING AND FENCE COLORS

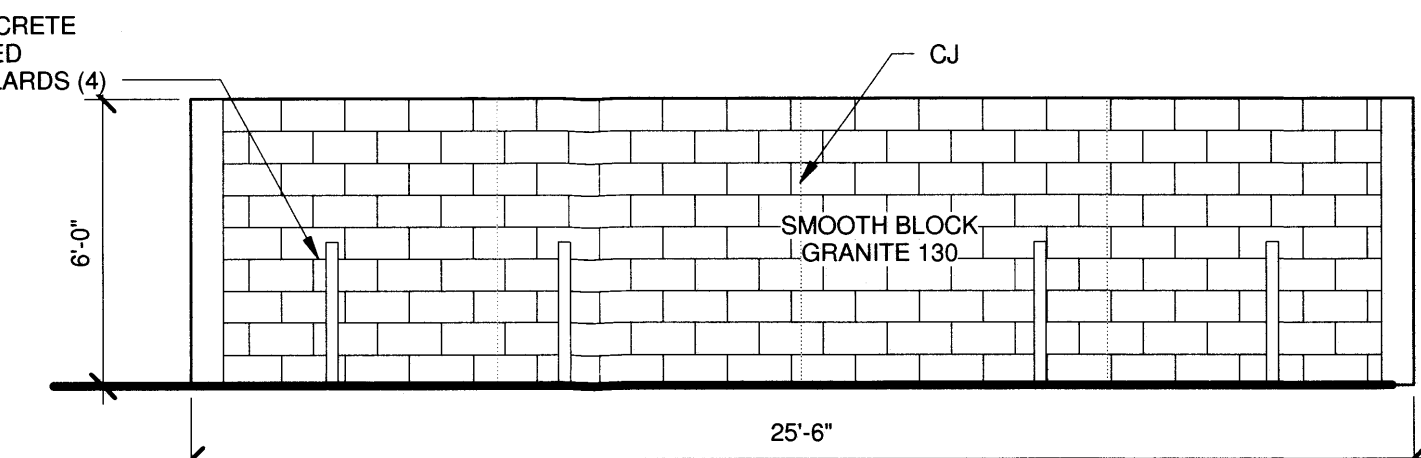
- ASPHALT SHINGLES: AUTUMN BROWN (AB) BROWNWOOD (BW)
- STUCCO COLORS: ALTERNATING BUILDINGS STUCCO (SA) EL REY BUCKSKIN STUCCO (SB) EL REY COTTONWOOD
- WOOD TRIM COLOR: WHITE (W)
- VINYL WINDOW W/ DIVIDERS COLOR: WHITE (W)
- ENTRY DOOR COLOR: WHITE (W)
- STUCCO TRIM: (AT WINDOWS) WHITE (W)



NOTE: MASONRY COLORS ARE AS PER UTILITY BLOCK CO., ALBUQUERQUE

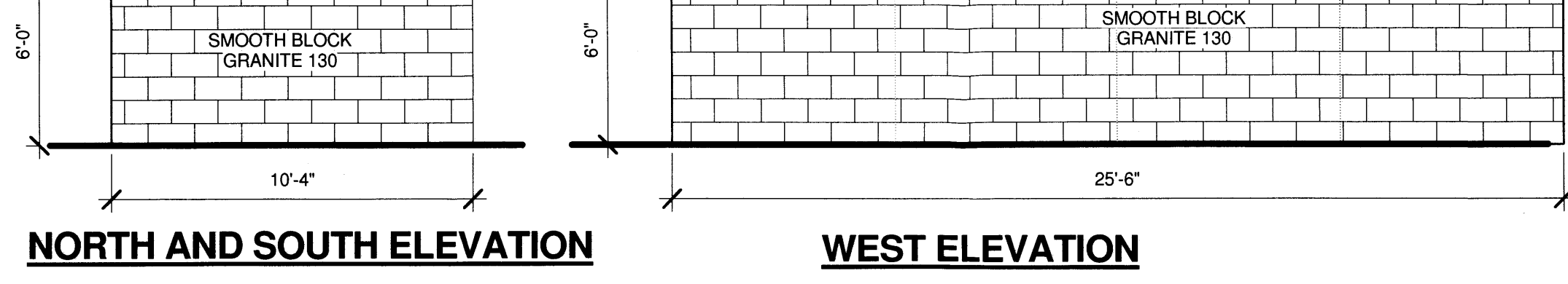
### 1 STREET FRONTAGE WALL

Scale: 1/4" = 1'-0"



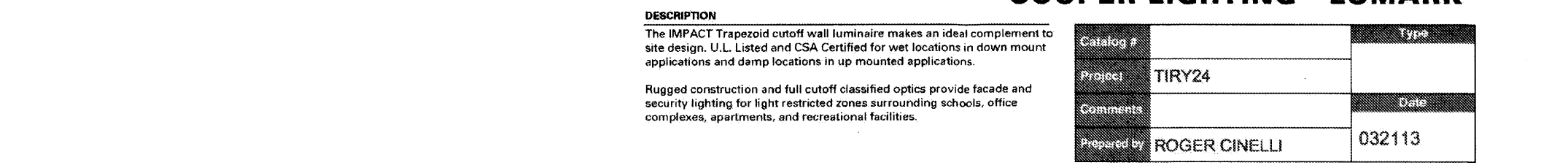
### 2 REFUSE ENCLOSURE - WEST END (EAST SIMILAR)

Scale: 1/4" = 1'-0"



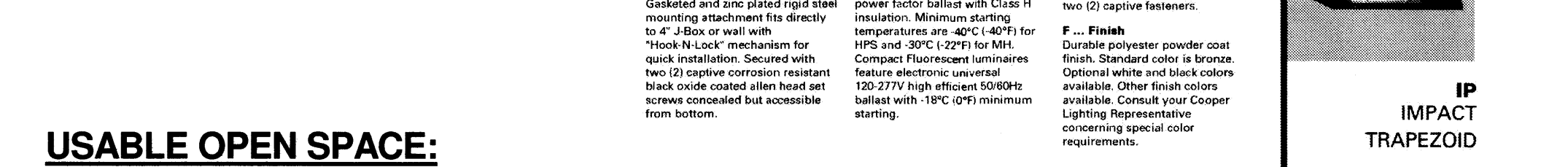
### 4 PROJECT SIGN ELEVATION

Scale: 3/8" = 1'-0"



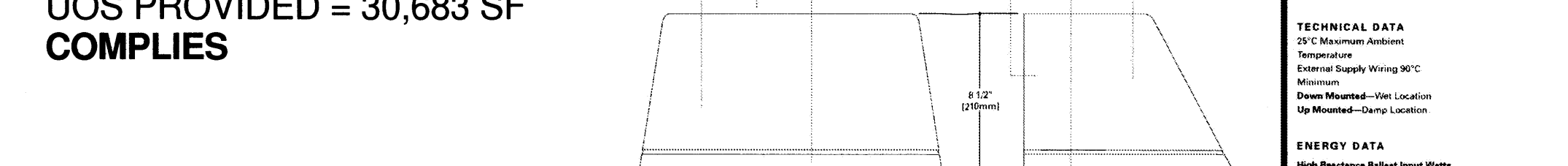
### 5 PERSPECTIVE - 10TH & CANDELARIA PROTOTYPE

NOT TO SCALE



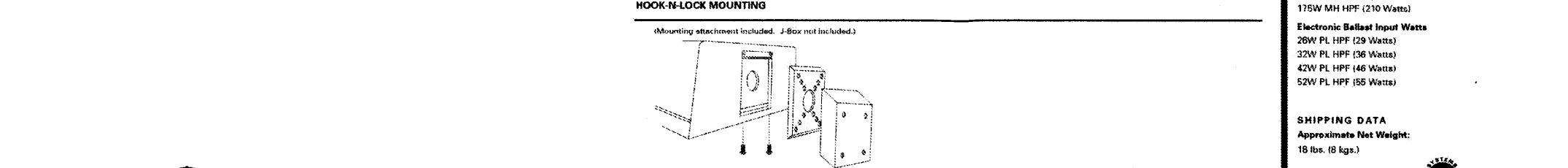
### 4 PROJECT SIGN ELEVATION

Scale: 3/8" = 1'-0"



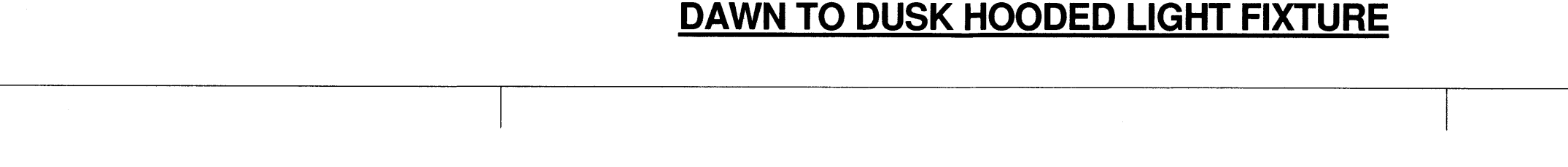
### 4 PROJECT SIGN ELEVATION

Scale: 3/8" = 1'-0"



### 3 USABLE OPEN SPACE 11,910 MENAUL BLVD. N.E.

Scale: 1/64" = 1'-0"



## INTRODUCTION

THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT SUBMITTAL SHALL SERVE AS THE OWNER'S SUBMITTAL FOR ZONE CHANGE TO THE PROPERTY LOCATED ON THE SOUTH SIDE OF MENAUL N.E. BETWEEN DEANNA STREET N.E. AND CHELWOOD PARK BLVD. N.E. - 11,910 MENAUL BLVD. N.E.

THE SUBJECT PROPERTY CONSISTS OF ONE (1) PARCEL THAT IS ZONED O-1. THE PROPERTY IS 1.72626 ACRES. THE PARCEL HAS NO EXISTING IMPROVEMENTS EXCEPT FOR A 6' WIDE CONCRETE SIDEWALK ALONG MENAUL. WE RESPECTFULLY SEEK A CHANGE OF ZONE TO SU-1/PLANNED RESIDENTIAL DEVELOPMENT.

THE PROPERTY IS UNDER CONTRACT BY MR. JOE AZAR OF AZAR PROPERTIES, L.L.C. MR. AZAR PLANS TO RENT THE UNITS AS THE INDIAN RIDGE PATIO HOMES. AN AUTHORIZATION LETTER FROM THE PROPERTY OWNER IS PART OF THE SUBMITTAL PACKAGE.

THE PROPOSAL FOR THE PROPERTY CONSISTS OF A TWENTY-SIX (26) UNIT TOWNHOUSE DEVELOPMENT. THIS EQUATES TO A 15 DWELLING UNITS PER ACRE. THE SUBJECT PROPERTY IS ADJACENT TO THE ENCHANTED PARK NEIGHBORHOOD'S (ENP) SOUTHERN BORDER. ENP HAS BEEN APPRISED OF THIS SUBMITTAL.

THE NEIGHBORING ZONING LENDS LEGITIMACY TO THIS ZONE CHANGE REQUEST. RESIDENTIAL ZONING AND USES PREDOMINATE TO THE SOUTH AND WEST OF THE SUBJECT PROPERTY. THE CHARACTERISTIC SINGLE FAMILY (R-1) RESIDENTIAL NEIGHBORHOOD IS BOUNDED ON THE EAST BY CHELWOOD PARK BLVD., AND ON THE WEST BY DEANNA STREET, AND ON THE NORTH BY THE SUBJECT PROPERTY'S SOUTHERN BOUNDARY. THE RESIDENTIAL ZONE THAT ABUTS THE SUBJECT PROPERTY'S WEST BOUNDARY CONSISTS OF FOUR (4) TWO STORY HOUSING UNITS IN A HIGH DENSITY (R-3) CONFIGURATION. THE DEVELOPMENT WAS ERRECTED IN 1973. THE "MENAUL VILLAGE PRIVATE CONDOMINIUM COMMUNITY" IS ACCESSED VIA STILLWELL PLACE STREET N.E. WHICH CONTINUES THROUGH THE DEVELOPMENT THEN TURNS NORTH AS A PRIVATE DRIVE THAT INTERSECTS WITH MENAUL BOULEVARD. THE SUBJECT PROPERTY LIES DIRECTLY EAST OF THE PRIVATE DRIVE. AN EXISTING SHORT RETAINING WALL WITH A FOUR (4) FOOT HIGH GRAPESTAKE FENCE IS LOCATED ON THE INTERMEDIATE PROPERTY LINE.

COMMERCIAL USES COMPRISE THE PROPERTY TO THE NORTH ACROSS MENAUL BOULEVARD. ADDITIONAL COMMERCIAL USES ABUT THE EASTERLY BOUNDARY OF THE SUBJECT PROPERTY. THESE PARCELS ARE ALL ZONED C-1. THE NEIGHBORHOOD COMMERCIAL (C-1) ZONE PERMITS R-3 NEIGHBORHOOD RESIDENTIAL USES. THE ZONING IS COMPATIBLE WITH THE REQUEST.

MENAUL BOULEVARD AT THE SUBJECT PROPERTY FRONTAGE IS DESCRIBED AS A 4LD TYPE MAJOR STREET. THE 100 FOOT WIDE (100') RIGHT OF WAY CONSISTS OF FOUR (4) LANES, WHICH ARE DIVIDED WITH A RAISED MEDIAN. THE MEDIAN IS DISTINGUISHED BY WELL MAINTAINED LANDSCAPING. THE MEDIAN INTERSECTION OCCURS AT FIGUEROA DRIVE N.E. THE PROJECT PROPOSED RADIUS RETURN DRIVEWAY IS CLOSELY ALIGNED WITH THE FIGUEROA DRIVE INTERSECTION TO FACILITATE LEFT TURN ACCESS FOR WESTBOUND TRAFFIC. A PUBLIC BUS TRANSIT STOP ON THE SOUTH SIDE OF MENAUL IS SITUATED SIXTY FEET (60') WEST OF THE DEVELOPMENT.

A LANDSCAPED STRIP AND DECORATIVE SPLIT FACE WALL AT THE MENAUL FRONTAGE DISTINGUISHES THE DEVELOPMENT FROM THE STREET. LANDSCAPING SHALL COMPLY WITH MULTI FAMILY RESIDENTIAL USES. PROPOSED LANDSCAPING SHALL PROVIDE ADEQUATE SCREENING FOR SINGLE FAMILY DEVELOPMENTS. UNIT GARAGE DRIVEWAYS WILL BE SEPARATED BY LANDSCAPE AREAS WITH TREES. TREES SHALL REACH A 25' TO 35' SPREAD AT MATURITY.

ALL VEHICULAR ACCESS IS PROVIDED VIA THE MAIN DRIVEWAY ENTRANCE THENCE EAST-WEST PRIVATE LANES. THESE VEHICULAR/PEDESTRIAN LANES TERMINATE AT THE EAST AND WEST WHERE DUAL REFUSE/RECYCLE DUMPSTER ENCLOSURES ARE LOCATED. OFF STREET RESIDENT PARKING IS PROVIDED AT EACH GARAGE AND ITS ACCOMPANYING DRIVEWAY. TWO PARKING SPACES ARE ACCOMMODATED IN THIS WAY AT THE TWO BEDROOM TYPE "A" & "B" UNITS. FOUR PARKING SPACES ARE PROVIDED FOR AT THE THREE BEDROOM UNIT AND THE TWO BEDROOM TWO CAR GARAGE TYPE "C" UNIT; TWO IN THE DRIVEWAY AND TWO IN THE GARAGE.

ALL PROPOSED TOWNHOUSES ARE TWO STORY WITH SINGLE STORY FEATURES. ALL VEHICULAR LANE FACADES ARE SINGLE STORY. THEN STEP UP TO A TWO STORY FACADE. ADDITIONALLY, THE THREE BEDROOM TOWNHOUSES, LOCATED ALONG DRIVEWAY ENTRANCE PRESENT A SINGLE STORY ELEVATION. THUS, A MORE GRADUAL BUILDING ELEVATION TRANSITION IS ACHIEVED FROM THE PASSERBY VIEW.

THE PROTOTYPICAL TOWNHOUSE UNIT PHOTO IS ATTACHED. THE TENTH AND CANDELARIA NW PROJECT PROVIDES AN ACCURATE PHOTOGRAPHIC RENDERING FOR REFERENCE.

## DESIGN CRITERIA

CODES: 2009 IRC, 2009 UMC, 2009 UPC, 2014 NEC

**PROJECT LOCATION:** SOUTH SIDE OF MENAUL BETWEEN CHELWOOD PARK BLVD. AND DEANNA STREET 11,910 MENAUL BLVD N.E., ALBUQUERQUE, NM

**ZONE ATLAS MAP:** H-22

**LEGAL DESCRIPTION:** TRACT 2-A INDIAN RIDGE SUBDIVISION.

**UPC:** 102205920526634222

**TOTAL ACREAGE:** 1.727 ACRES

**EXISTING ZONING:** O-1

**LAND USE CLASSIFICATION:** 3000

**PROPOSED USES:** RESIDENTIAL DWELLINGS

**MAXIMUM HEIGHT:** 25'-10" COMPLIES

**PROPOSED ZONING:** SU-1 FOR PLANNED RESIDENTIAL DEVELOPMENT - MAXIMUM 26 DWELLING UNITS

**CONSTRUCTION TYPE:** TYPE VB NON SPRINKLERED

**SEISMIC ZONE:** D

**MAXIMUM TOTAL DWELLING UNITS:** 26 UNITS - 15 DU'S PER ACRE

**REQUIRED PARKING:** TOWNHOUSE UNITS - 26 UNITS X 2.0 PARKING SPACES = 52 PARKING SPACES

**PROPOSED PARKING:** OFF STREET PARKING = 72 PARKING SPACES (INCLUDING GARAGE SPACES) COMPLIES

**USABLE OPEN SPACE:** REQUIRED OPEN SPACE: 26 UNITS X 550 = 14,300 SF UOS PROVIDED = 30,683 SF COMPLIES

**LANDSCAPE CALCULATION:** SEE SHEET DRB-5

**UNIT AREAS:**

TWO BEDROOM / 2 1/2 BATH TYPE "A" UNITS:

FLOOR AREA (EA. UNIT):	517
LOWER LEVEL HEATED	671
UPPER LEVEL HEATED	1188 SF
TOTAL HEATED	1859 SF
GARAGE	264 SF
TOTAL AREA	1452 SF

TWO BEDROOM / 2 1/2 BATH TYPE "B" UNITS:

FLOOR AREA (EA. UNIT):	617
LOWER LEVEL HEATED	697
UPPER LEVEL HEATED	1214 SF
TOTAL HEATED	1911 SF
GARAGE	264 SF
TOTAL AREA	1478 SF

TWO BEDROOM / 2 1/2 BATH TYPE "C" UNITS:

FLOOR AREA (EA. UNIT):	517
LOWER LEVEL HEATED	671
UPPER LEVEL HEATED	1188 SF
TOTAL HEATED	1859 SF
GARAGE	382 SF
TOTAL AREA	1570 SF

THREE BEDROOM / 2 BATH UNITS:

FLOOR AREA (EA. UNIT):	786
LOWER LEVEL HEATED	867
UPPER LEVEL HEATED	1473 SF
TOTAL HEATED	2340 SF
GARAGE	424 SF
TOTAL AREA	1897 SF

**BUILDING AREAS:**

**BUILDING "A":** (2) TWO BEDROOM TYPE "B" UNITS + (2) THREE BEDROOM UNITS

2 X 1214 =	2428 SF
2 X 1473 =	2946 SF
5374 SF HEATED	
2 X 264 =	528 SF
2 X 424 =	848 SF
1376 SF GARAGE	

**BUILDING "B":** (2) THREE BEDROOM UNIT

1473 X 2 =	2946 SF HEATED
424 X 2 =	848 SF GARAGE

**BUILDING "C":** (2) TWO BEDROOM TYPE "B" UNITS + (1) TWO BEDROOM TYPE "C" UNIT + (1) THREE BEDROOM UNIT

2 X 1214 =	2428 SF
1 X 1188 =	1188 SF
1 X 1473 =	1473 SF
5089 SF HEATED	
2 X 264 =	528 SF
1 X 382 =	382 SF
1 X 424 =	424 SF
1334 SF GARAGE	

**BUILDING "D":** (2) TWO BEDROOM TYPE "A" UNITS + (4) TWO BEDROOM TYPE "B" UNITS + (2) TWO BEDROOM TYPE "C" UNITS

2 X 1188 =	2376 SF
4 X 1214 =	4856 SF
2 X 1188 =	2376 SF
9608 SF HEATED	

**BUILDING "E":** (2) TWO BEDROOM TYPE "A" UNITS + (4) TWO BEDROOM TYPE "B" UNITS + (2) TWO BEDROOM TYPE "C" UNITS

2 X 1188 =	2376 SF
4 X 1214 =	4856 SF
2 X 1188 =	2376 SF
9608 SF HEATED	

**PROJECT BUILDING AREAS:**

BUILDING "A" =	5374 SF
BUILDING "B" =	2946 SF
BUILDING "C" =	5089 SF
BUILDING "D" =	9608 SF
BUILDING "E" =	9608 SF
TOTAL HEATED AREA =	32,625 SQUARE FEET

BUILDING "A" =	1376 SF
BUILDING "B" =	848 SF
BUILDING "C" =	1334 SF
BUILDING "D" =	1820 SF
BUILDING "E" =	1820 SF
TOTAL GARAGE AREA =	7202 SQUARE FEET

**STORAGE BUILDING = 240 SQUARE FEET**

**TOTAL PROJECT AREA = 40,067 SQUARE FEET**

**Cinelli / Roger Cinelli & Assoc.**  
2418 Manuel Torres Lane N.W.  
Albuquerque, New Mexico 87107  
(505) 243-8211

**PROJECT TITLE:** INDIAN RIDGE PATIO HOMES FOR JOE AZAR  
11,910 MENAUL BLVD. N.E.  
ALBUQUERQUE, NEW MEXICO

**DRAWING TITLE:** SITE DEVELOPMENT PLAN INTRODUCTION & CODE SUMMARY

DATE	PROJECT NO.
DEC. 15, 2015	TIRY37
DRAWING NO.	

**DRB-2**

12/15/15

### COOPER LIGHTING - LUMARK®

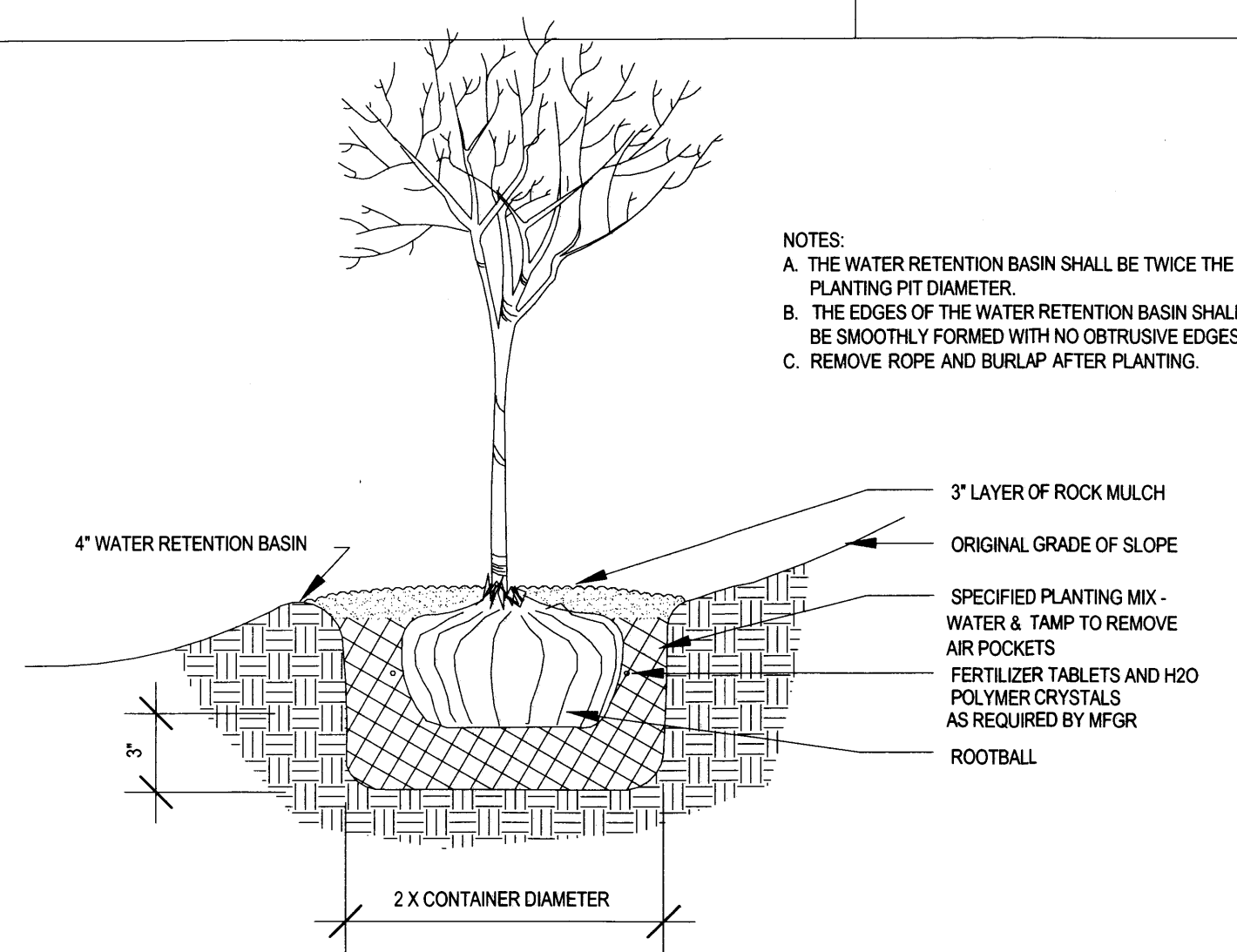
<b>DESCRIPTION:</b>	The IMPACT Trapeze cutoff wall luminaire makes an ideal complement to site design. U.L. Listed and CSA Certified for wet locations in down mount applications and damp locations in up mounted applications. Rugged construction and full cutoff classified optics provide facade and security lighting for light restricted zones surrounding schools, office complexes, apartments, and recreational facilities.
<b>Project:</b>	TIRY24
<b>Comments:</b>	
<b>Requested by:</b>	ROGER CINELLI
<b>Date:</b>	03/21/13

**DESCRIPTION:**  
The IMPACT Trapeze cutoff wall luminaire makes an ideal complement to site design. U.L. Listed and CSA Certified for wet locations in down mount applications and damp locations in up mounted applications. Rugged construction and full cutoff classified optics provide facade and security lighting for light restricted zones surrounding schools, office complexes, apartments, and recreational facilities.

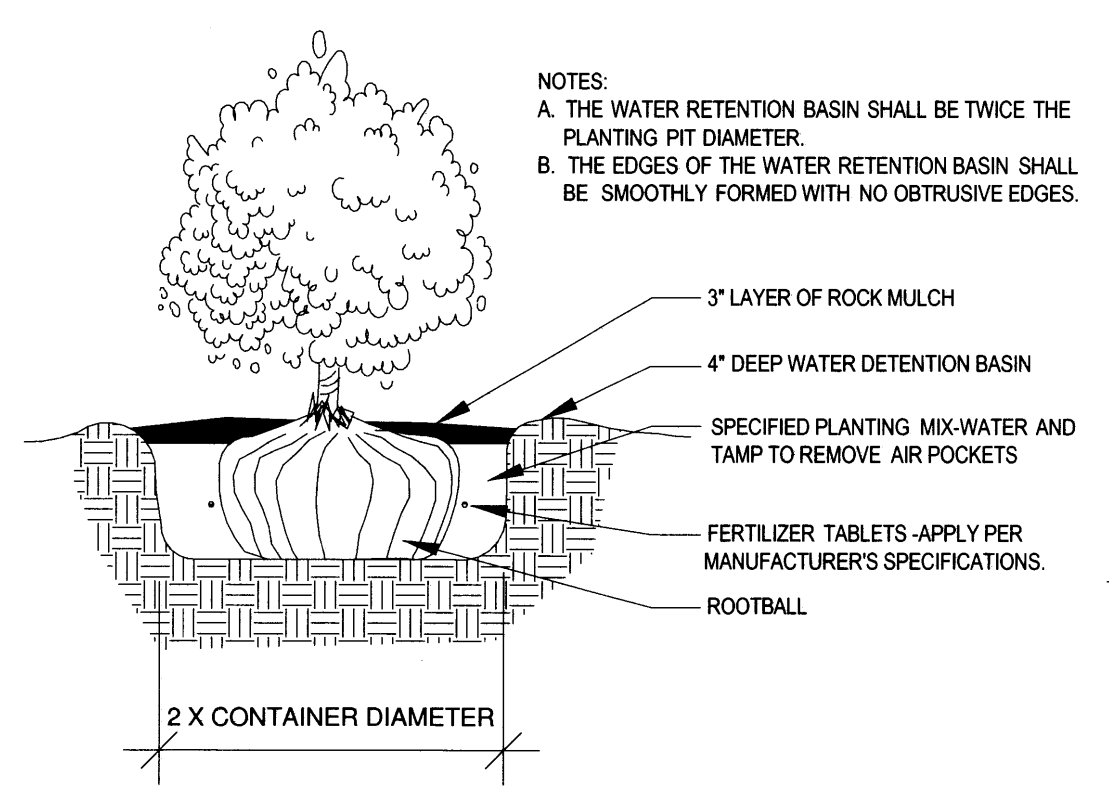
**SPECIFICATION FEATURES:**

- A... Housing:** The housing is a two piece design of die-cast aluminum for precise control of tolerances and repeatability.
- B... Mounting:** Galvanized and zinc plated rigid steel mounting attachment fits directly to 4" x 4" or wall width "Hook N Lock" mechanism for quick installation. Secured with two (2) captive corrosion resistant black oxide coated allen head set screws concealed but accessible from bottom.
- C... Optical Modules:** All optical modules utilize high performance 95% reflective sheet. Type II optical module is standard.
- D... Ballast:** HID luminaires supplied with high power factor ballast with Class H insulation. Minimum starting temperature is 40°C (104°F) for MH and 30°C (86°F) for MH. Compact fluorescent luminaires feature electronic universal ballast with 18°C (64°F) minimum starting.
- E... Door:** Die-cast door features, 1/8" heat and impact resistant clear tempered glass lens mounted with internal plated steel clips and sealed with EPDM gasketing. Hinged door secured in place via two (2) captive ballasts.
- F... Finish:** Durable polyester powder coat finish. Standard color is bronze. Optional white and black colors available. Other finish colors available. Consult your Cooper Lighting Representative concerning special color requirements.

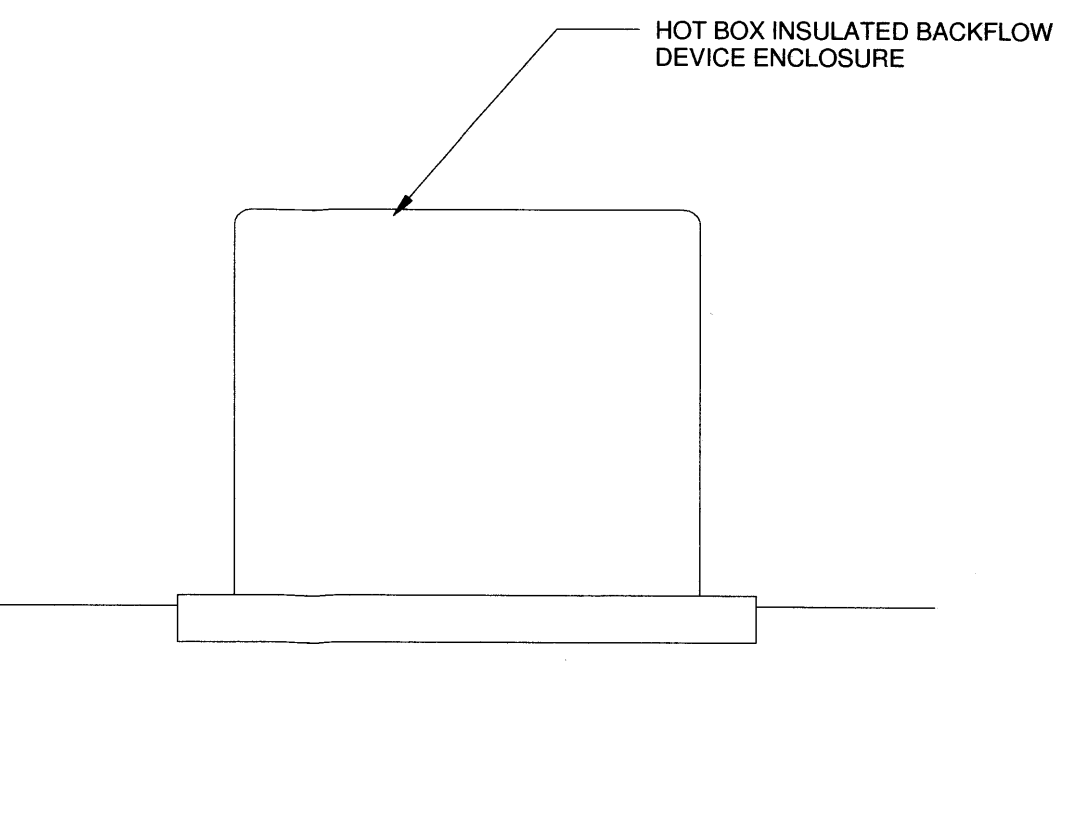
### DAWN TO DUSK HOODED LIGHT FIXTURE



**2 TREE PLANTING WELL**  
Scale: 1 1/2" = 1'-0"



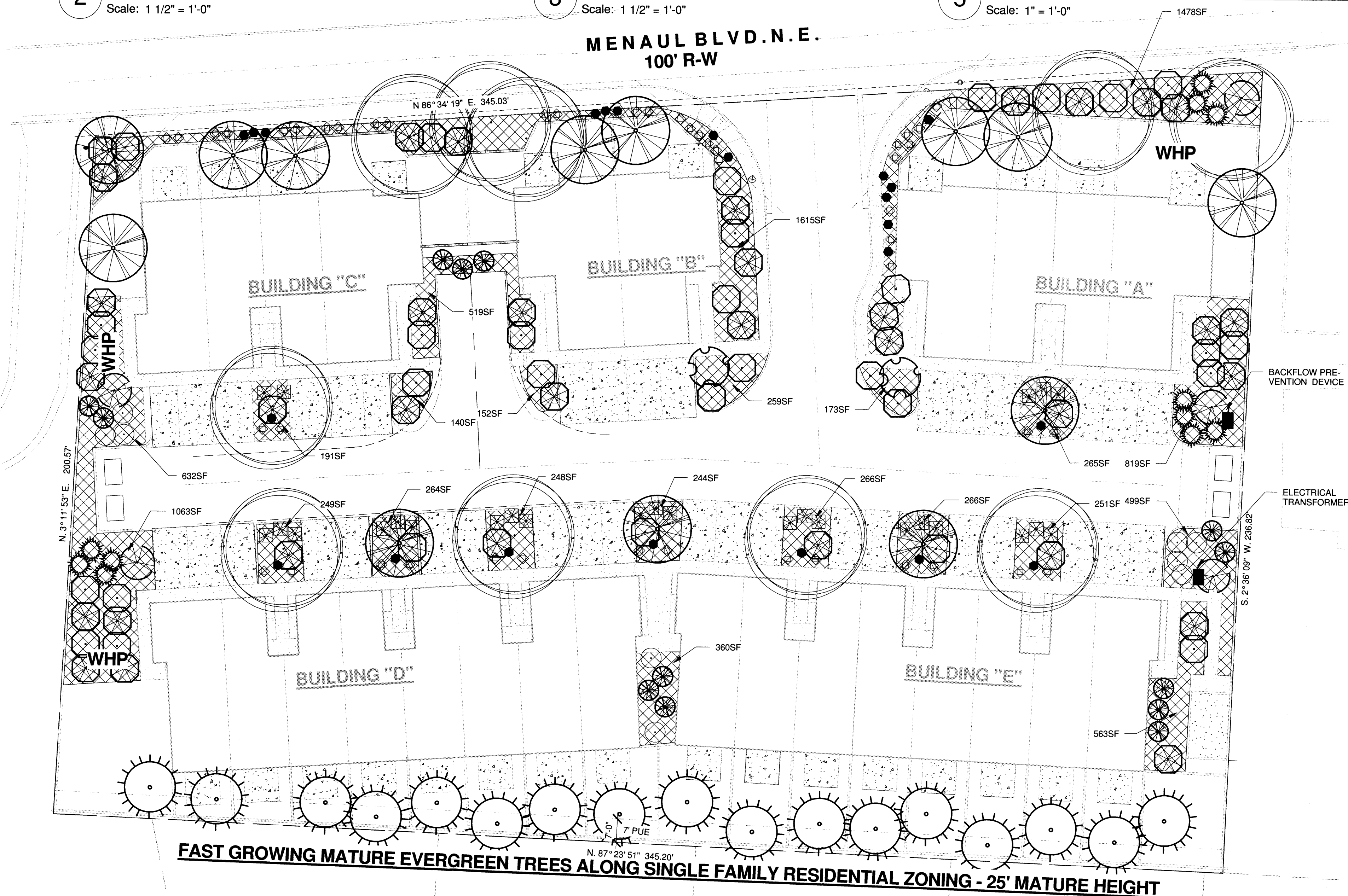
**3 SHRUB PLANTING DETAIL**  
Scale: 1 1/2" = 1'-0"



**5 BACKFLOW PREVENTION DETAIL**  
Scale: 1" = 1'-0"

**PLANTING SCHEDULE**

SYMBOL	COMMON NAME	BOTANICAL NAME	MATURE SIZE	COUNT	AREA
<b>TREES</b>					
	PURPLE LEAF PLUM (M)	Prunus Cerasifera, 2" cal.	20' tall x 20' spread	13	
	CLEVELAND FLOWERING PEAR(M)	Pyrus Velutina, 2" cal.	30' tall x 25' spread	10	
	LEYLANDI CYPRESS (M)	Cupressocyparis leylandii, 2" cal	25' tall x 15' spread	17	
				<b>TOTAL TREES</b>	<b>40 &gt; 26 COMPLIES</b>
<b>SHRUBS</b>					
	GREY LEAF COTONEASTER (M)	Cotoneaster Buxifolius, 1 Gal.	3' tall X 5' spread	11	275
	INDIAN HAWTHORN (M)	Raphiolepis Indica, 1 Gal.	3' tall x 4' spread	9	144
	SILVER QUEEN EUONYMUS (L)	Euonymus japonicus 1 Gal.	12' tall x 6' spread	12	432
	SILVERBERRY (M)	Elaeagnus Pungens 1 Gal.	10' tall x 10' spread	5	500
	LYNWOOD GOLD FORSYTHIA (M)	Forsythia X Intermedia 'Lynbrook Gold' 1 Gal.	12' tall x 12' spread	2	288
	BLUE RUG JUNIPER (L)	Juniperus Horizontalis 'Witoni' 1 Gal.	1' tall x 8' spread	39	2112
	SEA GREEN JUNIPER (L)	Juniperus Chinensis 'Sea Green Juniper' 1 Gal.	4'-6" tall x 6'-8" spread	39	1452
	LAVENDER (L)	Lavandula Angustifolia 'Munstead Lavender' 1 Gal.	18" tall x 2' spread	29	116
	COREOPSIS (M)	Coreopsis Lanceolata 'Double Sunburst' 1 Gal.	18" tall x 2' spread	23	92
	SALVIA (L)	Salvia Leucantha 'Mexican Bush Sage' 1 Gal.	48" tall x 4' spread	26	416
				<b>SHRUB GROUND COVER TOTAL AREAS</b>	<b>5827 SF</b>
					<b>5827 &gt; 5772 COMPLIES</b>



**1 SITE LANDSCAPE PLAN**  
Scale: 1" = 20'-0"

**LANDSCAPING CALCULATIONS & NOTES**

**LANDSCAPE CALCULATION:**  
 LOT: 1.727A X 43560 = 75,228 SF  
 BUILDINGS: 23,920 SF  
 NET LOT AREA 51,308 SF  
 REQUIRED LANDSCAPING: 51,308 X 15% = 7696 SF  
 LANDSCAPING PROVIDED: 10,156 SF **COMPLIES**  
 REQUIRED 75% VEGETATIVE GROUND COVER = 75 X 7696 SF = 5772 SF  
 VEGETATIVE GROUND COVER PROVIDED: 5827 SF **COMPLIES**

PLANT WATERING SHALL BE PROVIDED BY A DRIP IRRIGATION SYSTEM. CONTROLLERS SHALL BE PROVIDED IN THE NUMBER AND SPACING REQUIRED BY ZONE SPECIFICATION AND LOCATION. CONTROLLERS SHALL BE INSTALLED ON OWNERS HOUSE ELECTRICAL PANELS.

ALL LANDSCAPING SHALL BE MAINTAINED AND REPLACED, IF NECESSARY, BY THE OWNER.

LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.

PROVIDE WATER HARVESTING PONDS AT ALL REAR YARDS AS PER GRADING AND DRAINAGE PLAN - SEE DRB-3

THE PROJECT SHALL COMPLY WITH THE "WATER CONSERVATION AND WATER WASTE ORDINANCE" - ARTICLE 6-1-1-1.

THE PROJECT SHALL COMPLY WITH THE CITY OF ALBUQUERQUE ZONING ORDINANCE - 14-16-3-10 GENERAL LANDSCAPE REGULATIONS

**HATCH LEGEND**

- 4" CONCRETE SIDEWALK, DRIVEWAY AND PATIO SLABS
- 4" DEPTH OF 3/4" SANTA ANA TAN DECORATIVE GRAVEL ON 6 MIL VISQUEEN

**WHP**

WATER HARVESTING POND PER GRADING AND DRAINAGE PLAN

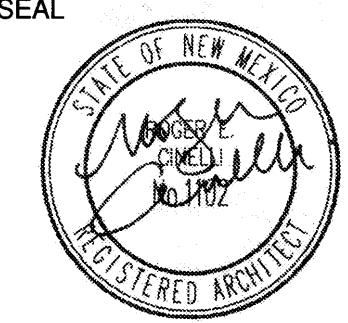
**NOTE:** GRAVEL AREAS @ UNIT ENTRY ALCOVES ARE NOT INCLUDED IN PROPOSED LANDSCAPE AREAS

**Cinelli** / Roger Cinelli & Assoc.  
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PROJECT TITLE: **INDIAN RIDGE PATIO HOMES FOR JOE AZAR**  
11,910 MENAUL BLVD. N.E.  
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE: **SITE LANDSCAPE PLAN**

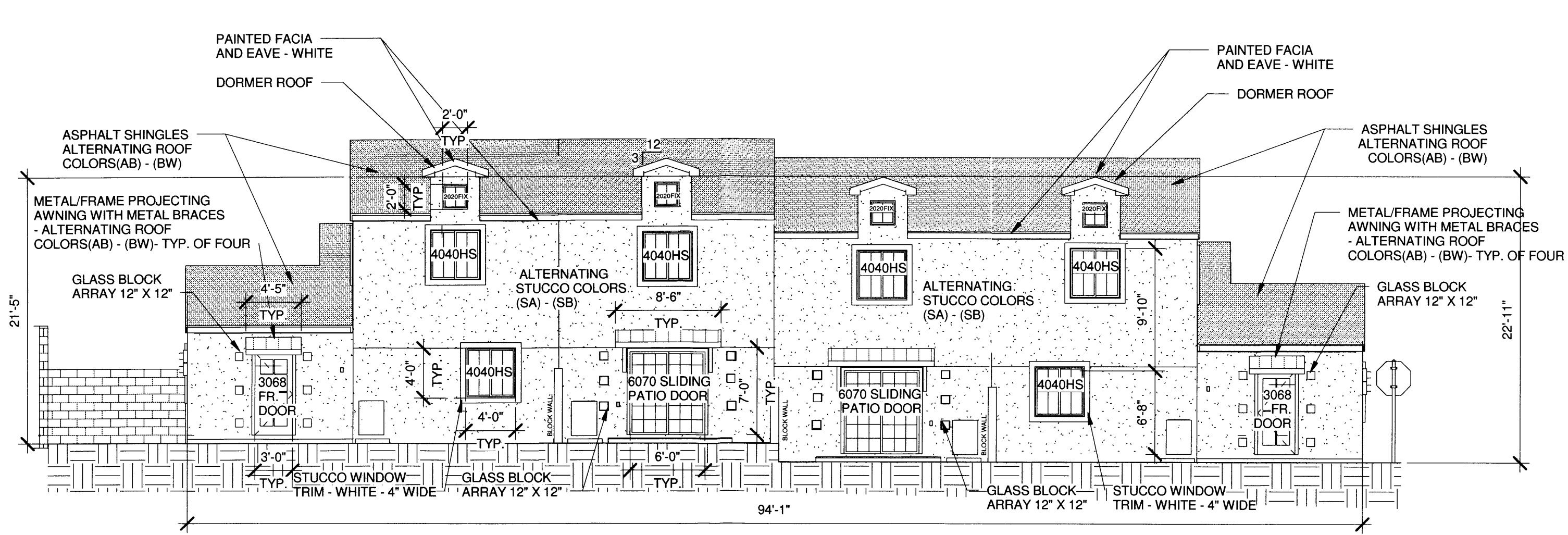
SEAL DATE DEC. 15, 2015 PROJECT NO. TIRY37



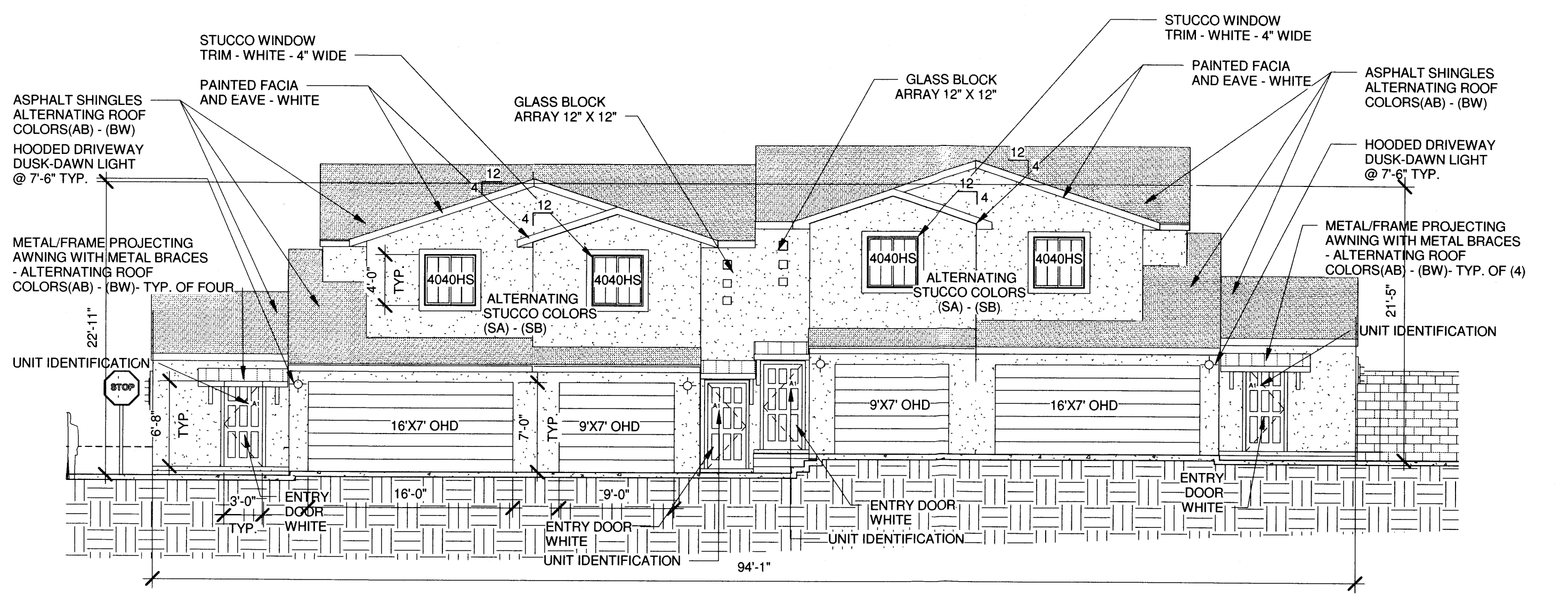
DRAWING NO.

**DRB-5**

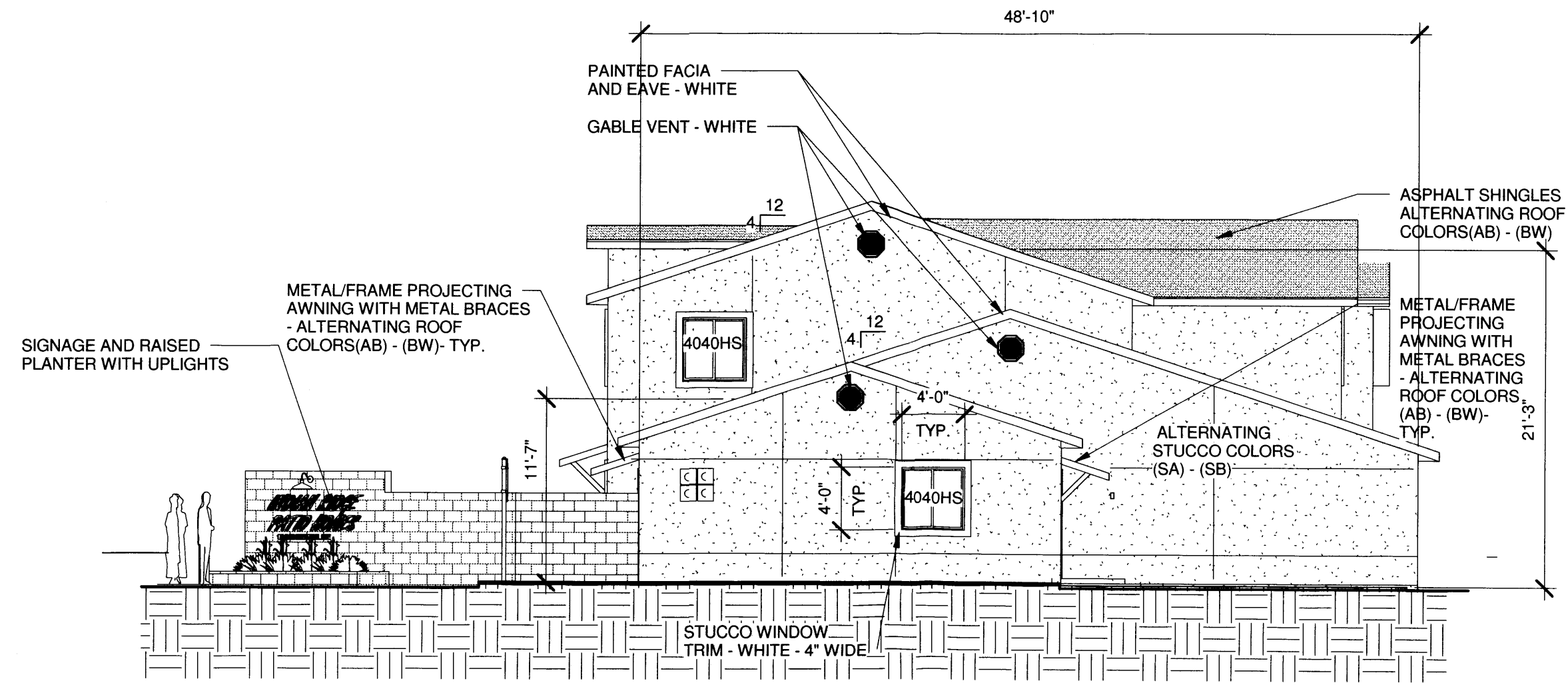
12/15/15



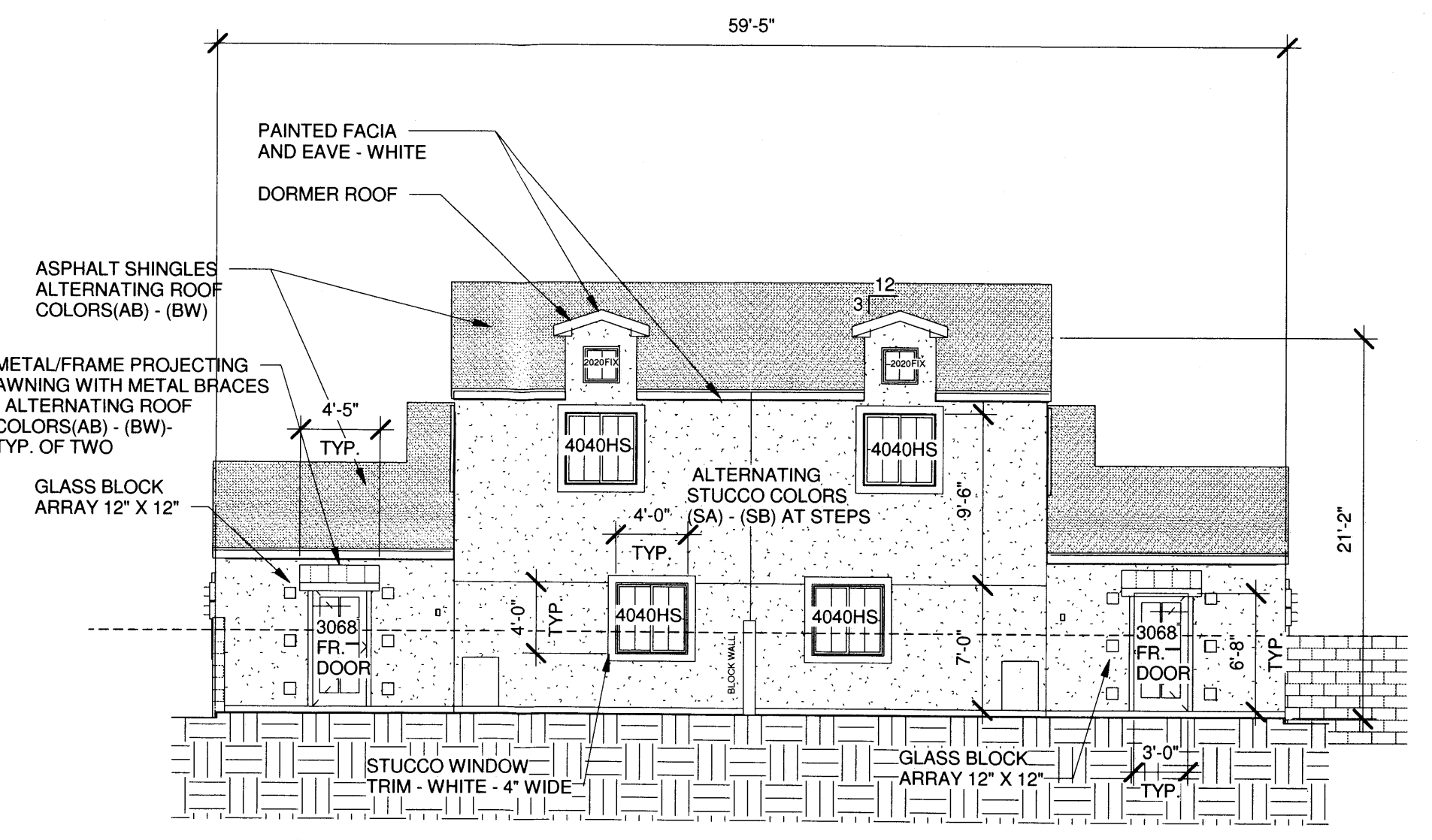
**1 BUILDING "A" - NORTH ELEVATION**  
Scale: 1/8" = 1'-0"



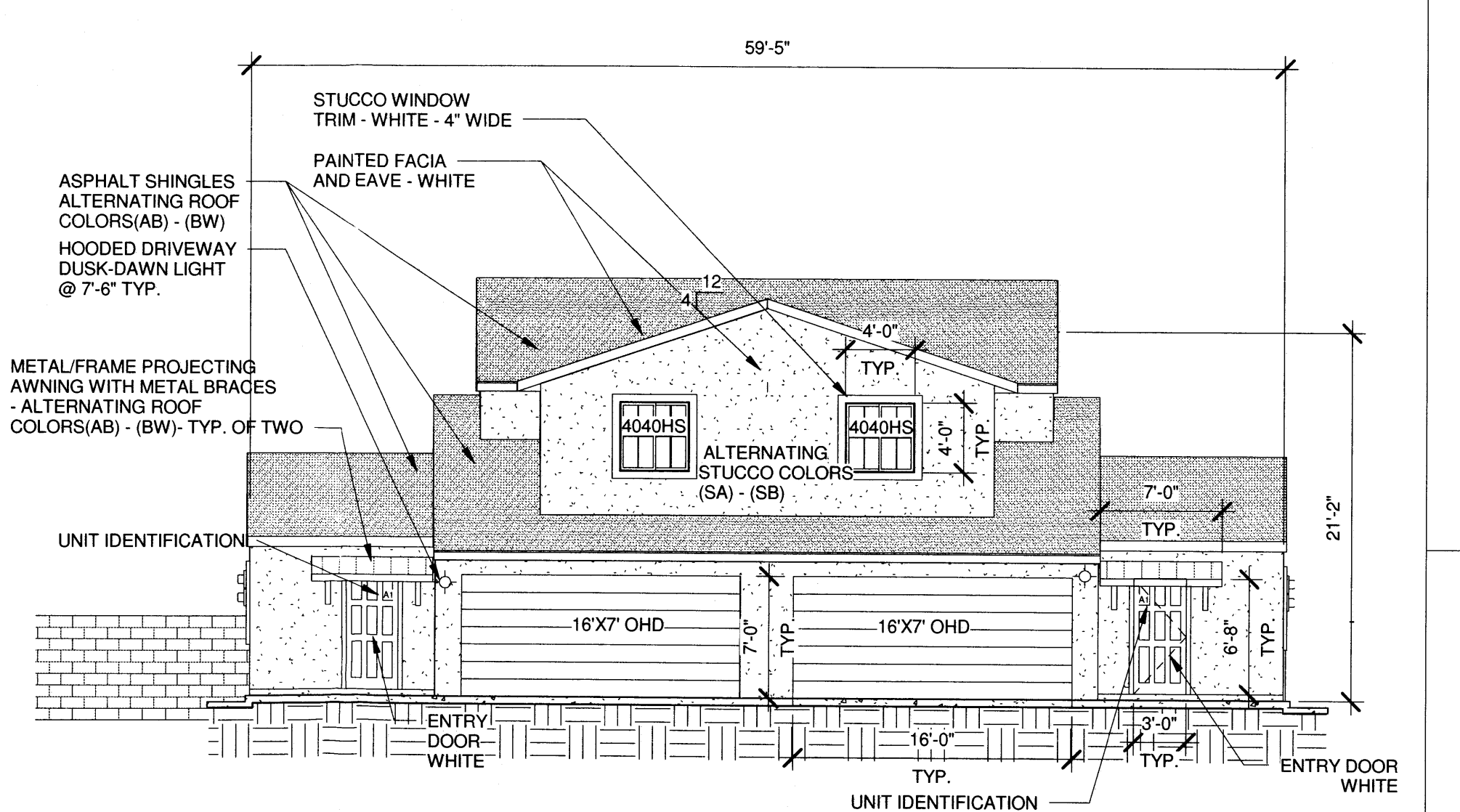
**2 BUILDING "A" - SOUTH ELEVATION**  
Scale: 1/8" = 1'-0"



**3 BUILDING "A" - WEST ELEVATION ( BUILDING "B" WEST ELEVATION SIMILAR)**  
Scale: 1/8" = 1'-0" BUILDING "A", "B" AND "C" EAST ELEVATION (REVERSED)

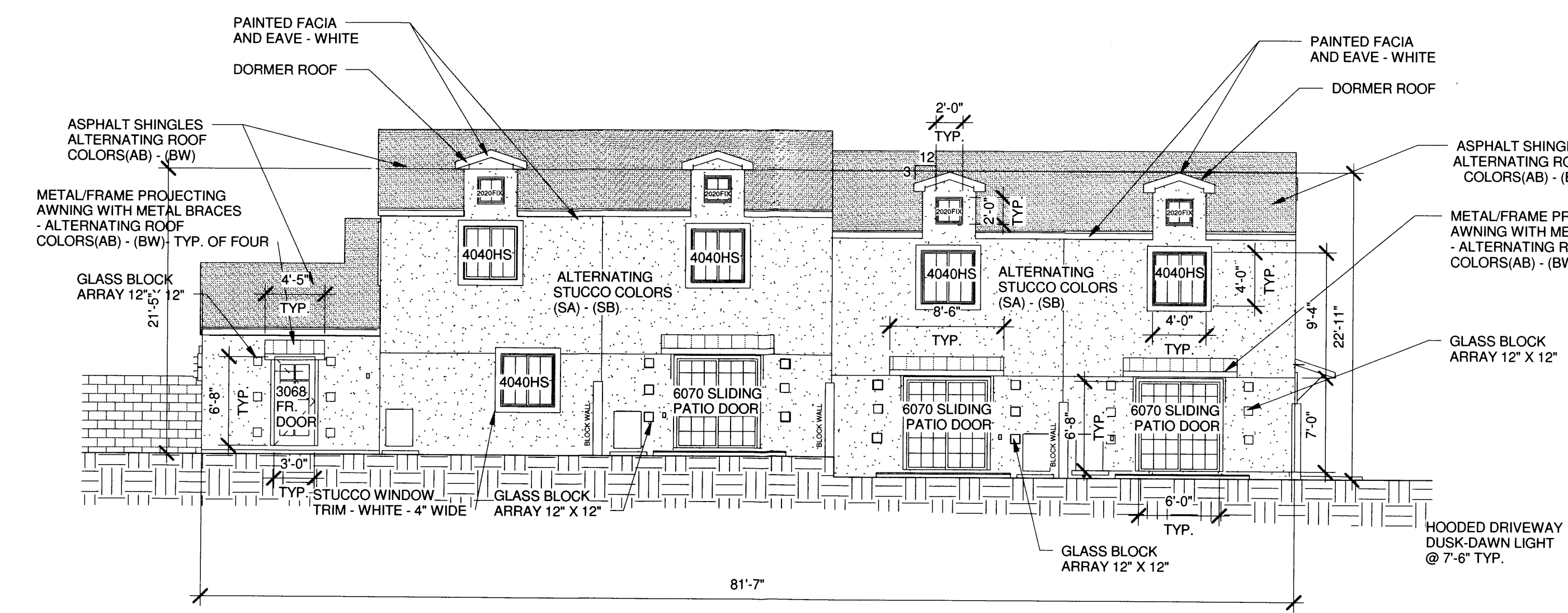
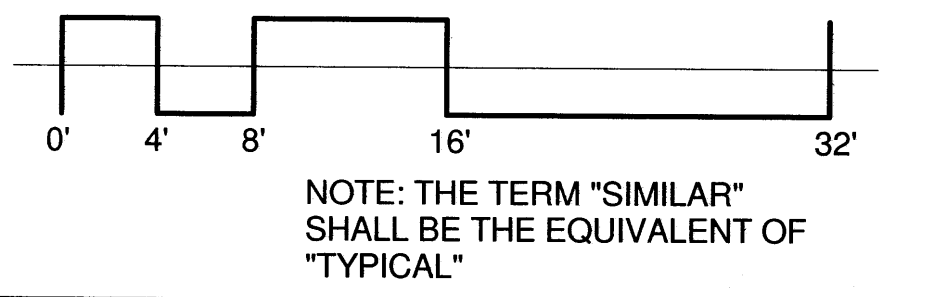


**4 BUILDING "B" - NORTH ELEVATION**  
Scale: 1/8" = 1'-0"

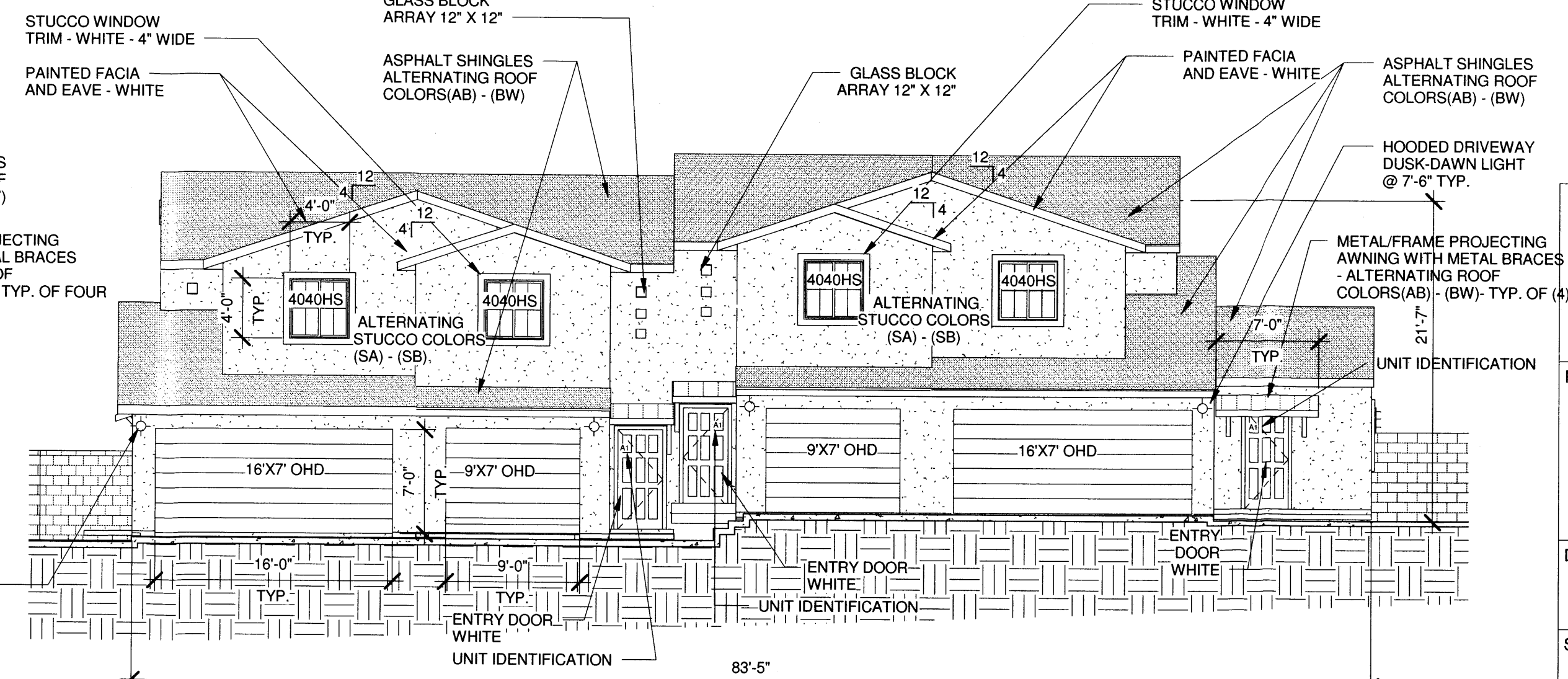


**5 BUILDING "B" - SOUTH ELEVATION**  
Scale: 1/8" = 1'-0"

# EXTERIOR ELEVATIONS



**6 BUILDING "C" - NORTH ELEVATION**  
Scale: 1/8" = 1'-0"

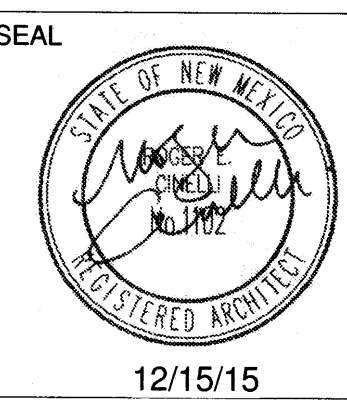


**7 BUILDING "C" - SOUTH ELEVATION**  
Scale: 1/8" = 1'-0"

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PROJECT TITLE:  
**INDIAN RIDGE PATIO HOMES  
FOR JOE AZAR**  
11,910 MENAUL BLVD. N.E.  
ALBUQUERQUE, NEW MEXICO

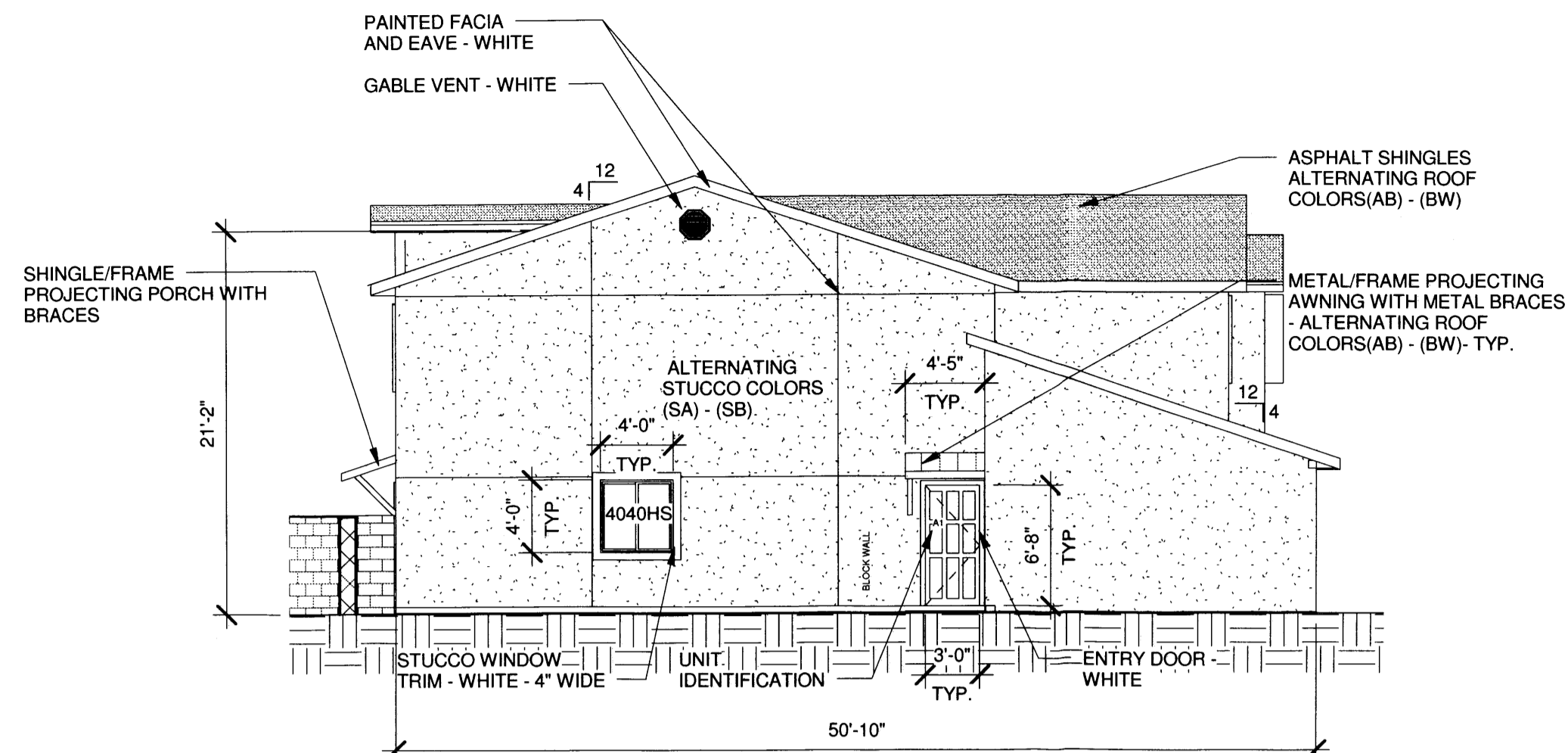
DRAWING TITLE:  
**ELEVATIONS & DETAILS**



DATE: DEC. 15, 2015  
PROJECT NO.: TIRY37  
DRAWING NO.:

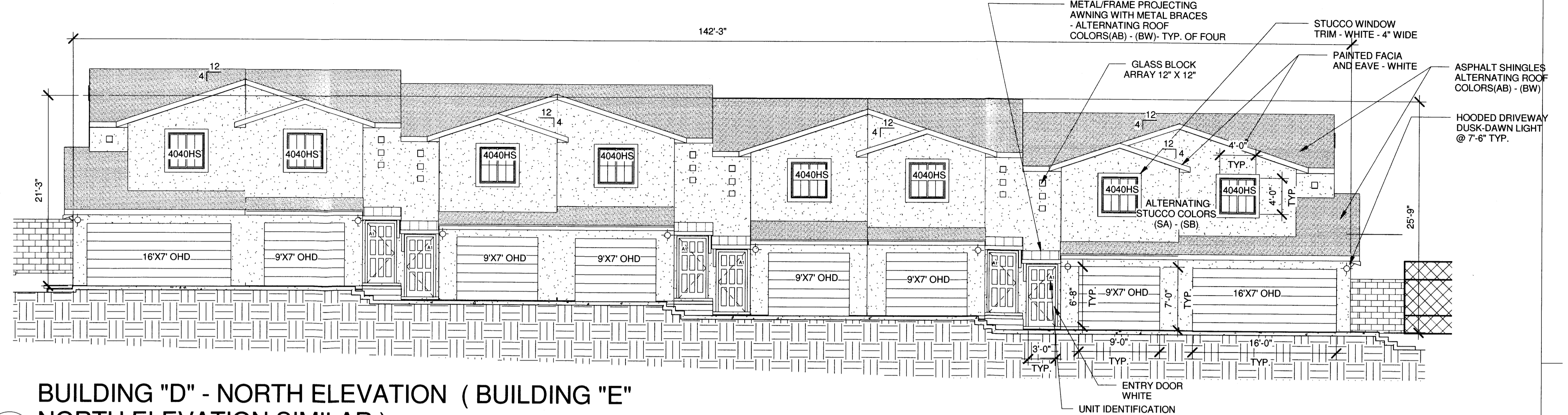
**DRB-6**

12/15/15



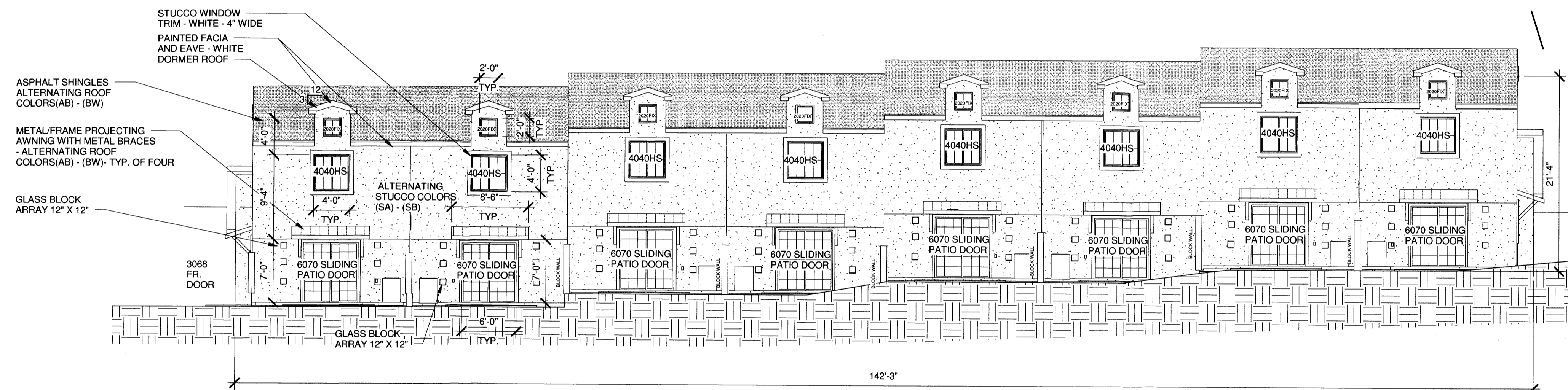
**BUILDING "C" - WEST ELEVATION ( BUILDING "D" & "E" EAST ELEVATION SIMILAR)**

Scale: 1/8" = 1'-0"



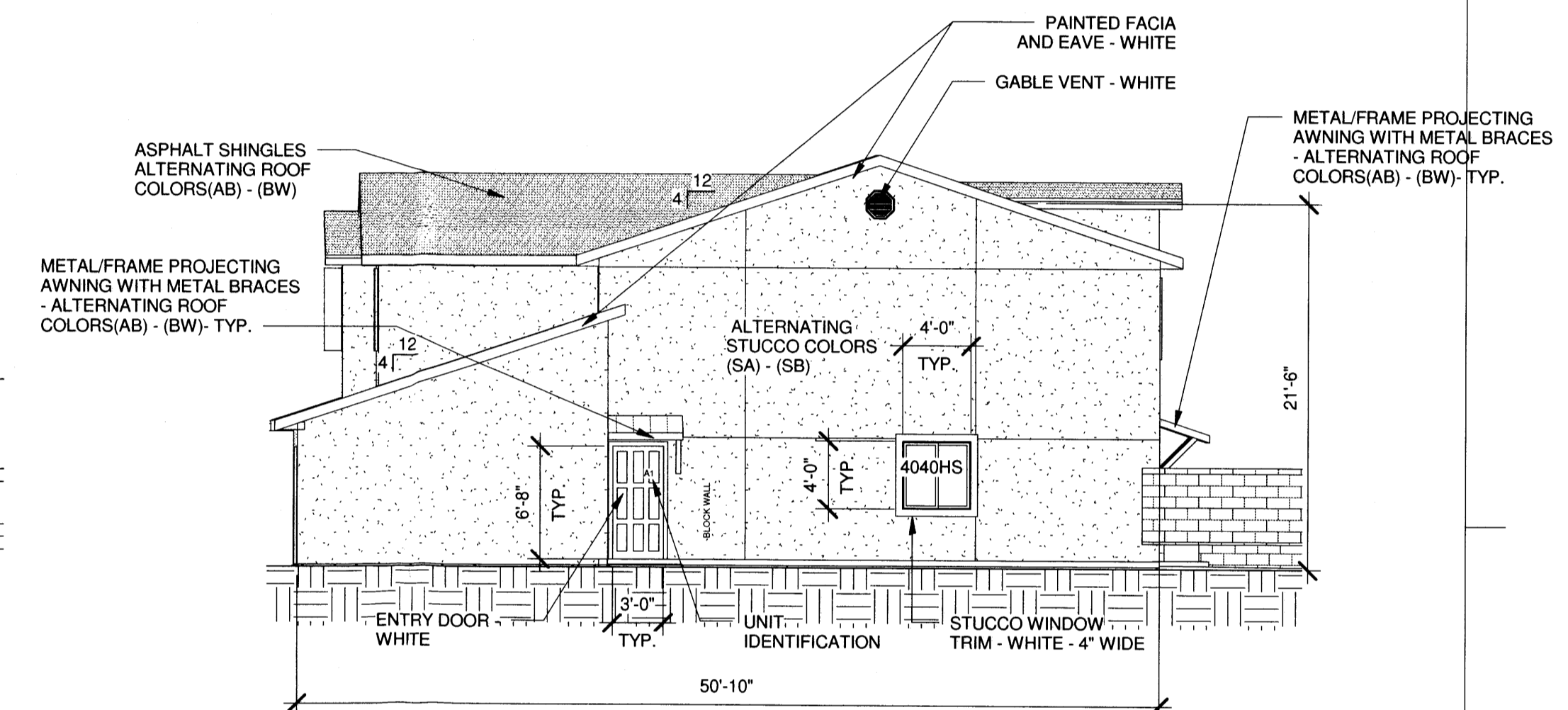
**BUILDING "D" - NORTH ELEVATION ( BUILDING "E" NORTH ELEVATION SIMILAR)**

Scale: 1/8" = 1'-0"



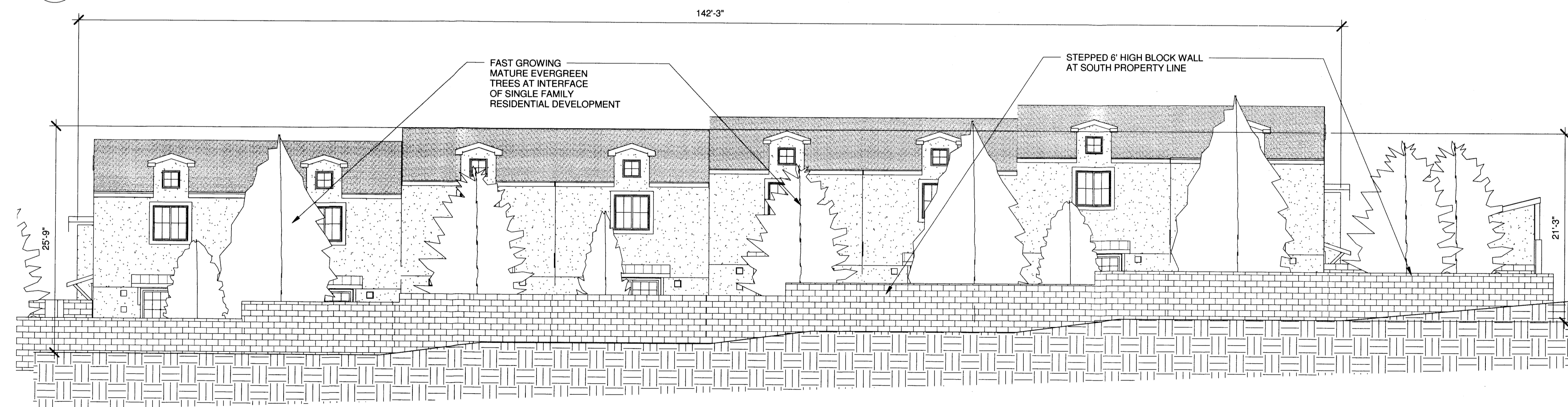
**BUILDING "D" - SOUTH ELEVATION ( BUILDING "E" SOUTH ELEVATION SIMILAR)**

Scale: 1/8" = 1'-0"



**BUILDING "D" WEST ELEVATION ( BUILDING "E" WEST ELEVATION SIMILAR)**

Scale: 1/8" = 1'-0"

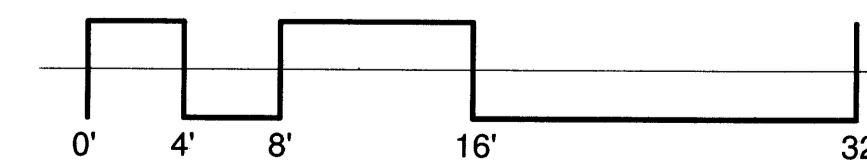


**BUILDING "E" - SOUTH ELEVATION WITH MATURE TREES AND PROPERTY LINE FENCE ( BUILDING "D" SOUTH ELEVATION WITH FENCE AND TREES SIMILAR)**

Scale: 1/8" = 1'-0"

NOTE: THE TERM "SIMILAR" SHALL BE THE EQUIVALENT OF "TYPICAL"

# EXTERIOR ELEVATIONS



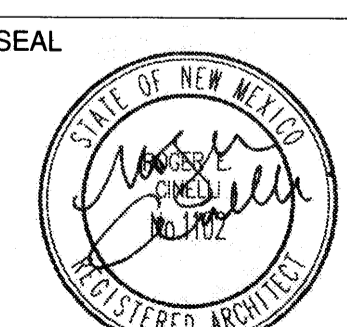
**Cinelli** / Roger Cinelli & Assoc.  
2418 Manuel Torres Lane N.W.  
Albuquerque, New Mexico 87107  
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PROJECT TITLE: INDIAN RIDGE PATIO HOMES FOR JOE AZAR  
11,910 MENAUL BLVD. N.E.  
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE: ELEVATIONS & DETAILS

DATE: DEC. 15, 2015 PROJECT NO. TIRY37

DRAWING NO.



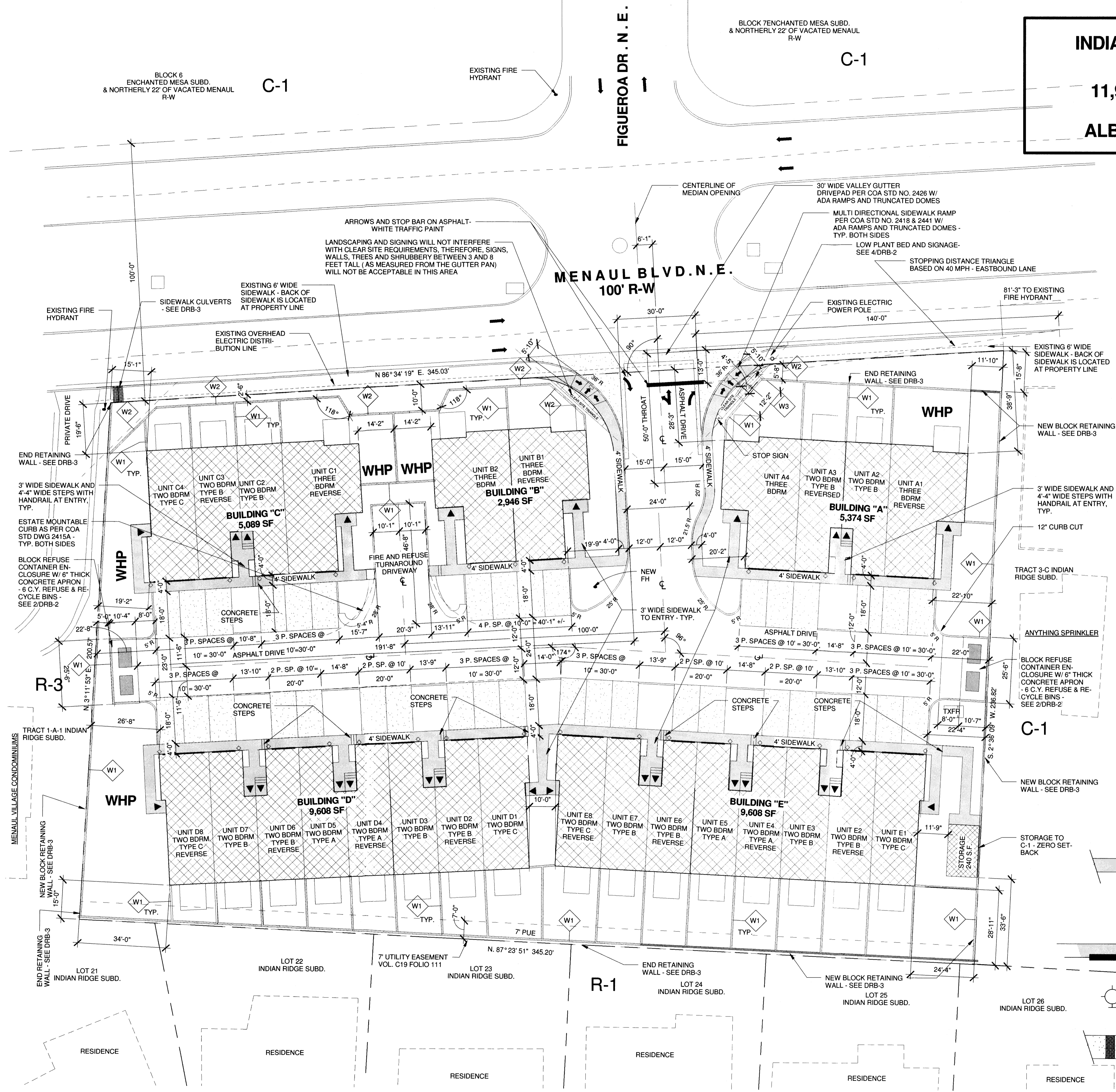
**DRB-7**

12/15/15

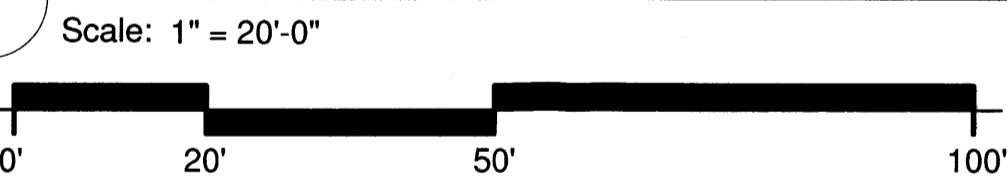
**INDIAN RIDGE PATIO HOMES  
FOR JOE AZAR**  
11,910 MENAUL BOULEVARD  
NORTHEAST  
ALBUQUERQUE, NEW MEXICO



**VICINITY MAP - ZA MAP H-22**  
1" = 500'



**SITE DEVELOPMENT PLAN  
FOR SUBDIVISION**



**SITE PLAN LEGEND**

- NEW CONCRETE SIDEWALK - NEW CONCRETE SITE WORK
- UNIT ENTRY LOCATION
- GARAGE DOOR LOCATION
- HOODED DUSK TO DAWN EXTERIOR WALL MOUNTED LIGHTING - SEE SPECIFICATION SHEET DRB-2
- SIDEWALK CULVERT - DWG #238 - SEE GRADING & DRAINAGE PLAN
- 72" HIGH COLORED 8" CMU COURTYARD WALL
- 72" HIGH 8" COLORED CMU DECORATIVE STREET FRONTAGE WALL - SEE - DETAIL 1/DRB-2
- 12" HIGH 8" COLORED SPLIT FACE CMU SIGNAGE PLANTER
- WHP WATER HARVESTING POND PER GRADING AND DRAINAGE PLAN

**PROJECT NUMBER:** \_\_\_\_\_  
**APPLICATION NUMBERS:** \_\_\_\_\_

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

Traffic Engineer, Transportation Division	Date
Utilities Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

**Cinelli** / Roger Cinelli & Assoc.  
ARCHITECTS  
2418 Manuel Torres Lane N.W.  
Albuquerque, New Mexico 87107  
(505) 243-8211

**PROJECT TITLE:**  
INDIAN RIDGE PATIO HOMES  
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ALBUQUERQUE, NEW MEXICO

**DRAWING TITLE:**  
SITE DEVELOPMENT PLAN FOR  
SUBDIVISION

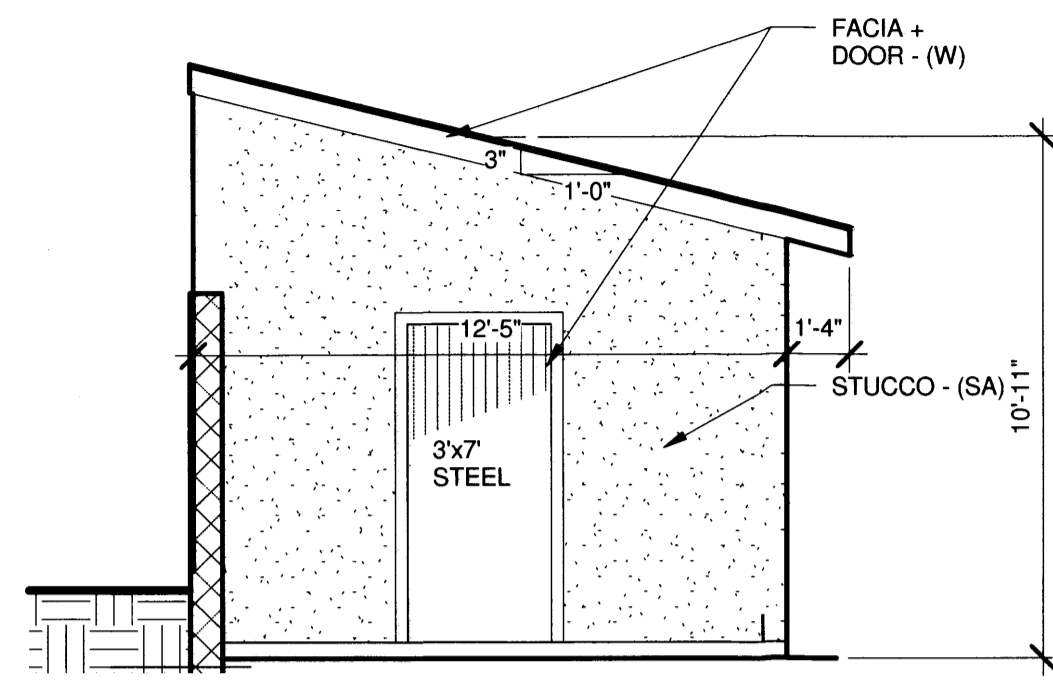
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PROJECT NO.: TIRY37



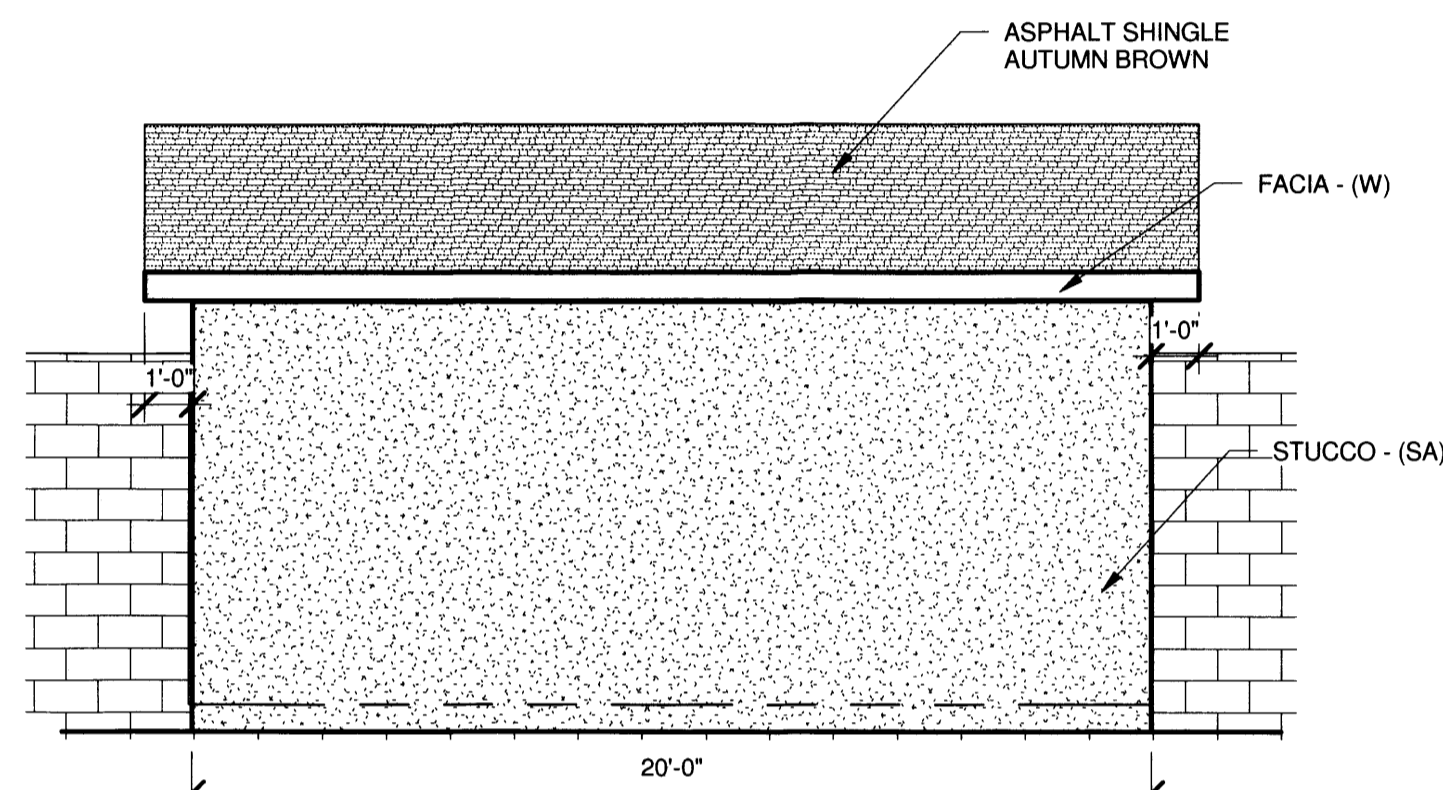
**DRB-8**



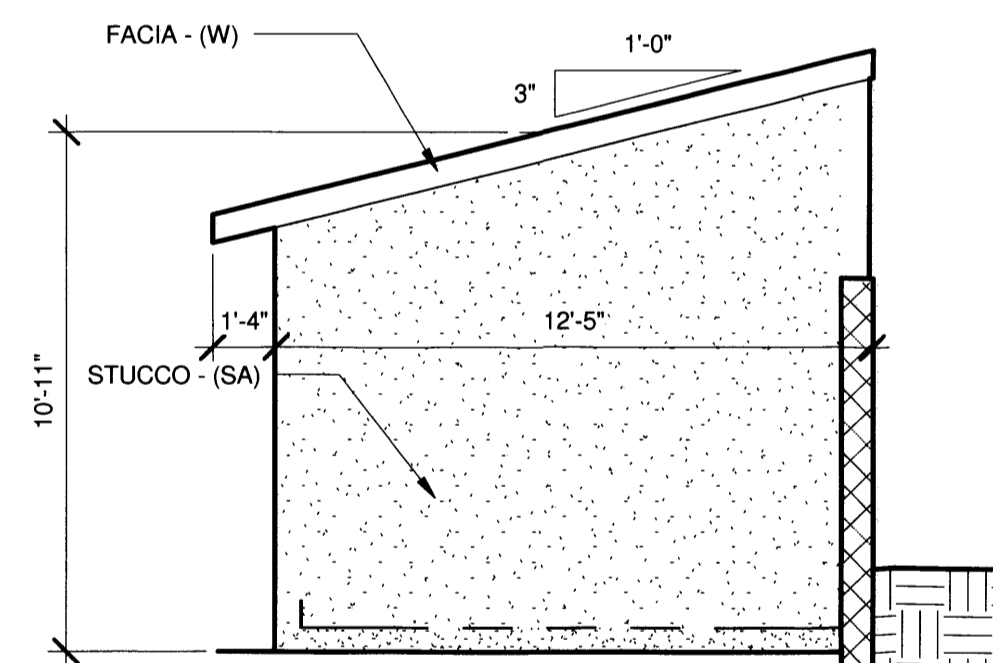
# SITE DEVELOPMENT FOR SUBDIVISION - DESIGN STANDARDS



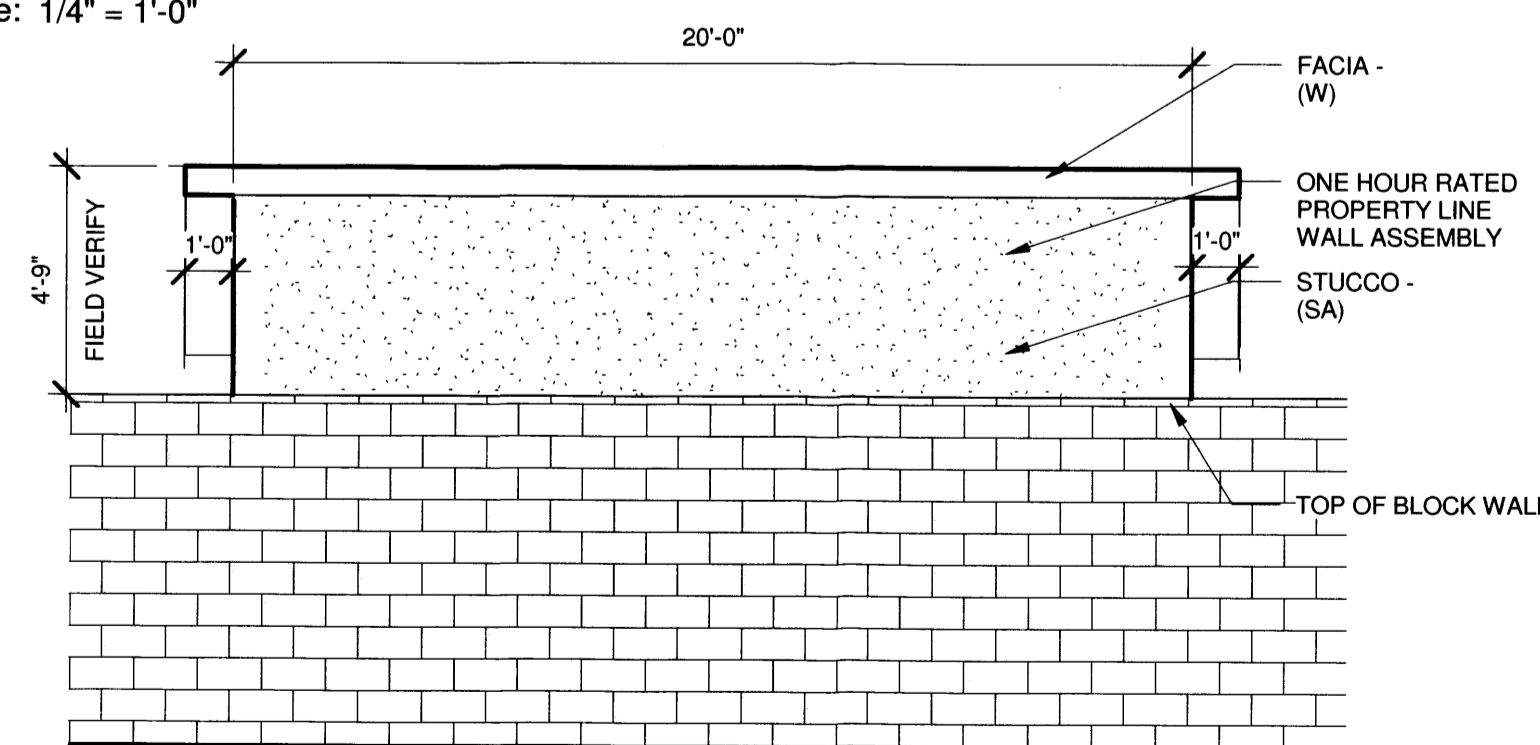
**7 NORTH ELEVATION**  
Scale: 1/4" = 1'-0"



**6 WEST ELEVATION**  
Scale: 1/4" = 1'-0"



**5 SOUTH ELEVATION**  
Scale: 1/4" = 1'-0"



**4 EAST ELEVATION**  
Scale: 1/4" = 1'-0"

## STORAGE SHED ELEVATIONS

### INTRODUCTION

DEVELOPMENT SHALL COMPLY WITH THE GENERAL REGULATIONS OF THE ZONING CODE.

### 1. SITE DESIGN

#### A. OVERALL LAYOUT OF SITE AND BUILDINGS, RELATIONSHIP TO ADJACENT SITE

THE SUBJECT SITE IS A SINGLE PARCEL WHICH IS ADJACENT TO MENAUL BLVD. A 30' WIDE TWO WAY DRIVEWAY WITH A RIGHT TURN LANE PROVIDES VEHICULAR ACCESS TO THE DEVELOPMENT. A 24' WIDE PRIVATE ROADWAY RUNS BOTH EAST AND WEST TO PROVIDE ACCESS TO THE TOWNHOUSE BUILDING DRIVEWAYS. A 20' WIDE FIRETRUCK AND REFUSE TRUCK TURNAROUND IS LOCATED WEST OF THE MAIN ENTRY DRIVE. 4' WIDE NORTH TO SOUTH PEDESTRIAN WALKWAYS CONNECT TO THE MENAUL BOULEVARD PUBLIC SIDEWALK. 4' WIDE WALKWAYS ALSO PROVIDE PEDESTRIAN CIRCULATION BETWEEN UNITS. EVERY TOWNHOUSE UNIT PROVIDES A PRIVATE COURTYARD. THE STEPPED BUILDING FACADE OF THE THREE BEDROOM UNITS ON BOTH SIDES OF THE ENTRY DRIVE SCALE THE BUILDING'S MASSING DOWN TO THE PEDESTRIAN WALKWAY. MENAUL VILLAGE CONDOMINIUMS, ZONED R-3, LIES TO THE WEST. THE PUEBLO STYLE DEVELOPMENT IS COMPRISED OF TWO STORY UNITS WITH GARAGES BENEATH THE LIVING AREAS. PREDOMINANTLY, R-1 SINGLE FAMILY RESIDENCES LIE TO THE SOUTH OF THE SUBJECT PROPERTY; THE REAR YARDS OF FIVE RESIDENCES THAT FRONT ON TOWNER STREET DIRECTLY ABUT THE SOUTHERN PROPERTY LINE. THE ADJACENT RESIDENCES CONSIST OF LOW SLOPE SHINGLE AND METAL PANEL ROOFS. MASONRY VENEER EXTERIOR WALLS PREDOMINATE; MASONRY WAS A POPULAR EXTERIOR TREATMENT GIVEN THE AGE OF THE NEIGHBORHOOD. TWO OF THE RESIDENCES HAVE TWO STORY FEATURES. THE COMMERCIAL DEVELOPMENT, ANYTHING SPRINKLERS, ABUTS THE EASTERLY EDGE OF THE SUBJECT PROPERTY; THE ZONING IS C-1.

#### B. BUILDING PLACEMENT, ORIENTATION, SETBACKS

THE PROPOSED TOWNHOUSE BUILDINGS, "A", "B", "C", "D" AND "E", SHALL BE ARRAYED ALONG AN EAST-WEST VEHICULAR ASPHALT ROADWAY. THE TOWNHOUSE BUILDINGS SHALL BE SITUATED WITH THEIR FRONT ENTRIES AND DRIVEWAYS FACING THE ROADWAY. PRIVATE WALLED COURTYARDS SHALL ABUT MENAUL BOULEVARD TO THE NORTH AND THE REAR PROPERTY LINE TO THE SOUTH. SETBACKS FROM MENAUL BOULEVARD SHALL VARY WITH A MINIMUM OF 19'-6". THE MINIMUM FRONT YARD SETBACK IS 15'. THE EASTERLY SETBACK SHALL VARY WITH A MINIMUM OF 11'-10". THE WESTERLY SETBACK VARIES WITH A MINIMUM OF 15'-11". THE REQUIRED MINIMUM SIDE YARD SETBACK IS 5'. THE SOUTH PROPERTY SETBACK SHALL ALSO VARY, FROM 28'-11" AT THE SOUTHWEST TO 15' AT THE SOUTHWEST CORNER. THE REAR YARD MINIMUM SETBACK REQUIREMENT IS 15'. THE UNHEATED STORAGE BUILDING THAT ABUTS C-1 ZONING IN THE SOUTHEAST CORNER IS ZERO-CLEARANCE FROM THE PROPERTY LINE. BUILDING MASSING AT THE PROJECT ENTRY DRIVEWAY AND EAST-WEST ROADWAY IS DESIGNED AS A LOWER ROOF SLOPE THAT GRADUALLY STEPS UP, OR SLOPES UP, TO THE TWO STORY PORTION. THIS REFLECTS THE DESIGN TENDENCIES OF THE EXISTING RESIDENTIAL DEVELOPMENTS THAT LIES TO THE SOUTH. THE EXISTING FABRIC OF THE SURROUNDING RESIDENTIAL CITY BLOCKS IS REFLECTED IN THE ONE/TWO STORY CONFIGURATION WITH SHINGLE ROOF DESIGN.

#### C. PEDESTRIAN AND VEHICULAR CONNECTIVITY (INTERNAL & EXTERNAL)

AS FOR EXTERNAL PEDESTRIAN CONNECTIVITY, THE 6' WIDE SIDEWALK ALONG MENAUL BOULEVARD IS INTERSECTED BY THE ENTRY VEHICULAR DRIVE AND 4' WIDE SIDEWALKS ON BOTH SIDES OF THE DRIVEWAY. THIS AFFORDS UNIMPEDED PEDESTRIAN ACCESS INTO AND OUT OF THE DEVELOPMENT. INTERNAL TO THE SITE, SIDEWALKS CONNECT EACH TOWNHOUSE WITH ITS NEIGHBOR. THE DUAL REFUSE/RECYCLE BIN ENCLOSURES AT THE EAST AND WEST END OF THE DEVELOPMENT PROVIDE FOR CONVENIENT PEDESTRIAN ACCESS FROM ANY TOWNHOUSE.

#### D. PARKING LOCATION AND DESIGN

OFF STREET RESIDENT PARKING IS PROVIDED AT EACH GARAGE AND ITS ACCOMPANYING DRIVEWAY. TWO PARKING SPACES ARE ACCOMMODATED IN THE TWO BEDROOM UNITS. FOUR PARKING SPACES ARE ACCOMMODATED AT THE TWO BEDROOM/TWO CAR UNITS, TWO IN THE GARAGE AND TWO IN THE DRIVEWAY. FOUR PARKING SPACES ARE PROVIDED FOR AT THE THREE BEDROOM UNIT; TWO IN THE DRIVEWAY AND TWO IN THE GARAGE. TREES AND SHRUBS INTERSPERSED WITH THE PARKING PROVIDES FOR SHADING OF AUTOMOBILES AND FURTHER PROMOTES THE RESIDENTIAL CHARACTER OF THE VEHICULAR LANES.

#### E. PUBLIC OUTDOOR SPACES

THE PEDESTRIAN WALKWAY ALONG THE SOUTH SIDE OF MENAUL BOULEVARD LEADS TO TRANSIT BUS STOP IN FRONT OF THE MENAUL VILLAGE CONDOMINIUMS. THE BUS STOP LIES DIRECTLY WEST OF THE PRIVATE DRIVE THAT SERVES THE CONDOMINIUMS.

#### F. DUMPSTER AND SERVICE AREA LOCATIONS AND SCREENING

REFUSE/RECYCLE BIN ENCLOSURES ARE LOCATED AT EACH END OF THE SITE. THEY ARE ACCESSED VIA 4' INTERNAL PEDESTRIAN WALKWAYS. THEY ARE ENCLOSED ON THREE SIDES BY A 6' HIGH COLORED CMU WALL.

#### G. LOCATION, HEIGHT, DESIGN AND PURPOSE OF ALL WALLS AND WALL OPENINGS

ALL WALLS AND FENCES ARE SUBJECT TO SECTION 14-16-3-19 OF THE ZONING ORDINANCE. ALL WALLS SHALL BE 6'-0" IN HEIGHT; THEY SHALL BE EITHER COLORED SMOOTH BLOCK OR SPLITFACE COLORED BLOCK. THEY SHALL PROVIDE PRIVACY FOR THE RESIDENTIAL REAR COURTYARDS. WALLS ALONG MENAUL SHALL BE A DECORATIVE COMBINATION OF SMOOTH AND SPLITFACE COLORED BLOCK IN A SOUTHWESTERN MOTIF.

#### H. LOCATION, HEIGHT AND DESIGN AND PURPOSE OF LIGHTING

LIGHTING SHALL COMPLY WITH THE NIGHT SKY ORDINANCE AND ALL REQUIREMENTS IN SECTION 14-16-3-9 OF THE ZONING ORDINANCE. DUSK-TO-DAWN DRIVEWAY LIGHTING SHALL BE MOUNTED AT 7'-6" HEIGHT AND ILLUMINATE THE 4' PEDESTRIAN WALKWAY. LIGHTING SHALL NOT SHINE INTO ANY ADJACENT PROPERTIES.

#### I. SCREENING/BUFFERING TECHNIQUES

SIDEWALKS, LANDSCAPE STRIPS AND STREET TREES SCREEN RESIDENCES FROM ADJACENT STREETS WHILE CREATING PEDESTRIAN AMENITIES WITHIN THE URBAN FABRIC OF THE DEVELOPMENT.

#### J. "GREEN" FEATURES

WATER HARVESTING PONDS SHALL STORE DRAINAGE ON SITE BEFORE DEPOSITING OUTFLOWS INTO THE STREET.

### 2. STREET REALM

#### A. TRANSIT, BICYCLE, PEDESTRIAN AMENITIES

THE SITE IS ACCESSIBLE TO MAJOR TRANSIT ROUTE ON MENAUL BOULEVARD. A FOUR LANE MAJOR STREET, CITY OF ALBUQUERQUE "ABO RIDE" BUS STOP IS LOCATED ADJACENT TO THE MENAUL VILLAGE CONDOMINIUMS ON THE SOUTH SIDE OF MENAUL BOULEVARD. THE NORTH-SOUTH BIKE LANE ON CHELWOOD PARK BOULEVARD LIES TWO BLOCKS TO THE EAST.

#### B. LANDSCAPE BUFFERS, SIDEWALKS IN THE PUBLIC RIGHT OF WAY

SIDEWALKS, LANDSCAPE STRIPS AND STREET TREES SCREEN RESIDENCES FROM ADJACENT STREETS WHILE CREATING PEDESTRIAN AMENITIES WITHIN THE URBAN FABRIC OF THE DEVELOPMENT. STREET TREE TYPES AND LOCATIONS SHALL BE AS SPECIFIED IN THE LANDSCAPE SECTION OF THESE DESIGN REQUIREMENTS.

### 3. LANDSCAPING

LANDSCAPING SHALL COMPLY WITH THE DESIGN REQUIREMENTS OF THE CITY OF ALBUQUERQUE GENERAL LANDSCAPING REGULATIONS 14-16-3-10 AND THIS SECTION. LANDSCAPING IS A KEY ELEMENT OF THE DESIGN. IT IS INTEGRAL TO THE GOAL OF PROVIDING PLACES THAT PROMOTE COMMUNITY AND ENRICH THE LIVES OF THE AREA RESIDENTS. THE LANDSCAPE NETWORK CONSISTS OF:

STREETSCAPE STREET TREES, AND LANDSCAPING IN AND AROUND UNIT DRIVEWAYS. TREES ALONG THE EAST-WEST PEDESTRIAN WALKWAYS. AT MINIMUM, ONE TREE IS PROVIDED PER TOWNHOUSE UNIT.

THE DOMINANT LANDSCAPE FEATURE IS A CANOPY OF TREES AT MATURITY. DECIDUOUS STREET AND PARKING TREES PROVIDE PASSIVE SOLAR MITIGATION OF PAVED SURFACES. THEY ALSO BALANCE THE DENSITY OF THE HOUSING UNITS AND CREATE HUMAN SCALE. THE TREE SPECIES SHALL BE VARIED TO AVOID MONOCULTURE.

SUGGESTED PLANT SPECIES AS SHOWN ARE NOT MANDATORY, HOWEVER, ANY SUBSTITUTIONS WILL BE LIMITED TO MEDIUM OR LOW WATER USE SPECIES. PLANT SPECIES SHOULD REFLECT THE CHARACTER AND SCALE OF THE SURROUNDING NEIGHBORHOOD.

FAST GROWING EVERGREEN TREES SHALL POPULATE THE REAR YARDS THAT FACE THE ADJACENT RESIDENTIAL REAR YARDS AT THE SOUTH PROPERTY LINE.

#### REQUIREMENTS:

a. THE FRONT PROPERTY LINE LIES DIRECTLY ON THE SOUTHERN EDGE OF THE 6' WIDE SIDEWALK. THE STREETSCAPE ALONG MENAUL BOULEVARD SHALL CONSIST OF TREE GROUP IN ALCOVE PLANTING AREAS BETWEEN THE SIDEWALK AND COURTYARD WALLS. THESE TREES SHALL HAVE A HIGH BRANCHING CANOPY TO ALLOW CLEAR SPACE FOR PEDESTRIANS AND REDUCE POTENTIAL FOR DAMAGE FROM PASSING VEHICLES. UNDERSTORY PLANTINGS SHALL BE LIMITED TO ALLOW CLEAR PEDESTRIAN CIRCULATION.

b. THE CLEAR SITE TRIANGLE REQUIREMENT SHALL BE IMPOSED ON THE ENTRY DRIVEWAY/MENAUL BOULEVARD INTERSECTION. PROVIDE A CLEAR SITE RADIUS AT THE INTERSECTION OF A DRIVEWAYS AND THE PUBLIC SIDEWALK. SHRUBS IN THE CLEAR SITE TRIANGLE AND CLEAR SITE RADIUS SHALL NOT EXCEED THREE FEET IN HEIGHT ABOVE THE GUTTER FLOWLINE. UNDERSTORY BRANCHES FROM TREES SHALL NOT HANG LOWER THAN 7'.

#### WATER CONSERVATION TECHNIQUES:

THE LANDSCAPING SHALL COMPLY WITH THE WATER CONSERVATION, LANDSCAPE, POLLEN CONTROL AND WASTE WATER ORDINANCES.

### 4. BUILDING DESIGN

#### A. CONTEXT

THE PROPOSED DEVELOPMENT SITS IN AN AREA OF DIVERSE ZONING CATEGORIES. VARIED COMMERCIAL DEVELOPMENT, C-1, LIES TO THE NORTH ACROSS MENAUL BOULEVARD AND TO THE EAST. TO THE WEST OPPOSITE A PRIVATE DRIVE LIES THE CONDOMINIUM PROJECT, ZONED R-3. SEE PREVIOUS REFERENCES. THE PREDOMINANT USE, WHICH LIES TO THE SOUTH IS SINGLE FAMILY USES - R-1.

#### B. ARCHITECTURAL THEME OR STYLE

THE PROPOSED BUILDING DESIGN IS A PITCHED SHINGLE ROOF/FRAME-STUCCO DESIGN. IT FITS IN WITH THE PREDOMINANT BUILDING STYLES DISPLAYED BY THE RESIDENCES IN THE AREA. COMPLEMENTARY STUCCO COLORS APPLIED TO ALTERNATING BUILDINGS ADD VARIETY AND FURTHER THE NEIGHBORHOOD "LOOK".

#### C. BUILDING HEIGHT, SCALE, MASSING, MATERIALS COLORS AND ARTICULATION

EVEN THOUGH THE BUILDINGS ARE STEPPED, BUILDING HEIGHTS MEASURED FROM THE LOWEST GRADE TO THE MIDPOINT OF THE ROOF SLOPE AT THE OPPOSITE END OF THE BUILDING DO NOT EXCEED 25'-10". THE STANDARD ZONING REQUIREMENT IS 28'. THE ONE STORY PORTION OF THE THREE BEDROOM UNIT DOES NOT EXCEED 12' FROM ADJACENT GRADE TO MIP POINT OF ROOF SLOPE. THE DEVELOPMENT IS ORGANIZED TO EMPHASIZE AN URBAN BUILDING MASSING RESPONSE TO THE SITE. THE BUILDING ARE PLACED WITH THEIR FRONT FACADES FACING EACH OTHER AND PRIVATE LANES. RATHER THAN TOWER OVER THE LANDSCAPE, THE BUILDINGS ARE ENHANCED WITH SINGLE STORY FEATURES THAT SCALE DOWN TO THE STREET LANE LEVEL. THE BUILDINGS ARE STEPPED DOWN THE SLOPED TERRAIN. COMPLEMENTARY STUCCO COLORS APPLIED TO ALTERNATING BUILDINGS AND INTEGRAL COLORED BLOCK WALLS ADD VARIETY AND FURTHER THE NEIGHBORHOOD "LOOK".

ALL OF THE EXTERIOR BUILDING WALLS AND MOST OF THE COURTYARD WALLS INCLUDE A PALETTE OF EARTH-TONED STUCCO OR BLOCK. ADDITIONALLY, ROOF STYLES VARY FROM SIMPLE SHED TO LOW SLOPE GABLE.

#### D. SITE TOPOGRAPHY AND BUILDING DESIGN

THE SITE IS SLOPED. THE GRADE FALL FROM THE EAST END OF THE SITE TO THE WEST END IS 15 FEET. ACCOMMODATING THE SLOPE POSED A CHALLENGE WHOSE SOLUTION RESULTS IN A STEPPED BUILDING CONFIGURATION. WITH THE EXCEPTION OF BUILDING "B", EVERY OTHER UNIT IN THE BUILDINGS IS STEPPED 18' FROM ITS NEIGHBOR. THE RESULTING DESIGN SOLUTION ADDS AN ELEMENT OF VARIETY THAT IS ENHANCED BY ALTERNATING BUILDING STUCCO AND ROOF SHINGLE COLORS.

### 5. SIGNAGE

#### A. STANDARDS FOR WALL MOUNTED SIGNS; LOCATION OF SIGNS; MAXIMUM NUMBER OF SIGNS

A COURTYARD WALL MOUNTED ILLUMINATED SIGN SHALL WELCOME RESIDENTS. LOCATED AT THE SOUTHEAST CORNER OF THE INTERSECTION OF MENAUL AND THE ENTRY DRIVE, THE SIGNAGE IS 21 SQUARE FEET IN SIZE; 25 SQUARE FEET IS THE MAXIMUM ALLOWABLE BY CODE. THE ILLUMINATION WILL CONFORM WITH THE NIGHT SKY ORDINANCE AND WILL NOT SHINE INTO ADJACENT PROPERTIES. ALL SIGNAGE SHALL CONFORM TO THE SIGNAGE REGULATIONS FOUND IN THE CITY OF ALBUQUERQUE ZONE CODE. EACH UNIT SHALL BE NUMBERED. ADDRESS SIGNAGE SHALL FACE MENAUL BOULEVARD N.E.

#### 5. APPROVAL PROCESS

THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT MAY BE SLIGHTLY MODIFIED OR ADJUSTED, IF NECESSARY, TO ASSURE CONSISTENCY WITHIN THE DEVELOPMENT AND TO ALLOW FLEXIBILITY FOR THE DEVELOPER TO POSITIVELY REFINE THE DEVELOPMENT TO MITIGATE DESIGN CHALLENGES AND ENHANCE DESIGN OPPORTUNITIES. MODIFICATION PROCEDURES AND THE SUBSEQUENT APPROVAL PROCESS SHALL BE AS SPECIFIED FOR PROPERTIES IN THE SU-1 ZONING DESIGNATION OF THE CITY OF ALBUQUERQUE ZONING CODE.

### SUBDIVISION DATA

PROJECT LOCATION: SOUTH SIDE OF MENAUL BETWEEN CHELWOOD PARK BLVD. AND DEANNA STREET 11,910 MENAUL BLVD N.E., ALBUQUERQUE, NM

ZONE ATLAS MAP: .....H-22  
GROSS ACREAGE: .....1.727  
NO. OF LOTS: .....1  
EXISTING ZONING: .....C-1  
PROPOSED ZONING: .....SU-1 FOR PRD  
MAXIMUM 26 UNITS  
DATE OF SURVEY: .....MARCH 26, 1982

### LEGAL DESCRIPTION

LEGAL DESCRIPTION: TRACT 2 A INDIAN RIDGE SUBDIVISION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DECEMBER, 1981, BEING A REPLAT OF TRACTS 1-A AND 2, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 26, 1982, IN PLAT BOOK C19, PAGE 111.

### BUILDING DATA

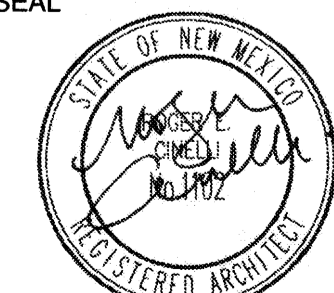
MAXIMUM BUILDING HEIGHT: .....25.83 FEET  
MINIMUM BUILDING SETBACK:  
MENAUL BOULEVARD.....19.5 FEET  
EAST PROPERTY LINE.....11.83 FEET  
WEST PROPERTY LINE.....15.08 FEET  
SOUTH PROPERTY LINE.....15.0 FEET  
MAXIMUM DWELLING UNITS: .....26 UNITS

**Cinelli** / Roger Cinelli & Assoc.  
2418 Manuel Torres Lane N.W.  
Albuquerque, New Mexico 87107  
ARCHITECTS (505) 243-8211

PROJECT TITLE: INDIAN RIDGE PATIO HOMES FOR JOE AZAR  
11,910 MENAUL BLVD. N.E.  
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE: SPS - DESIGN STD'S - STORAGE SHED ELEVATIONS

SEAL DATE PROJECT NO.  
DEC. 15, 2015 TIRY37



DRAWING NO.  
**DRB-9**

12/15/15