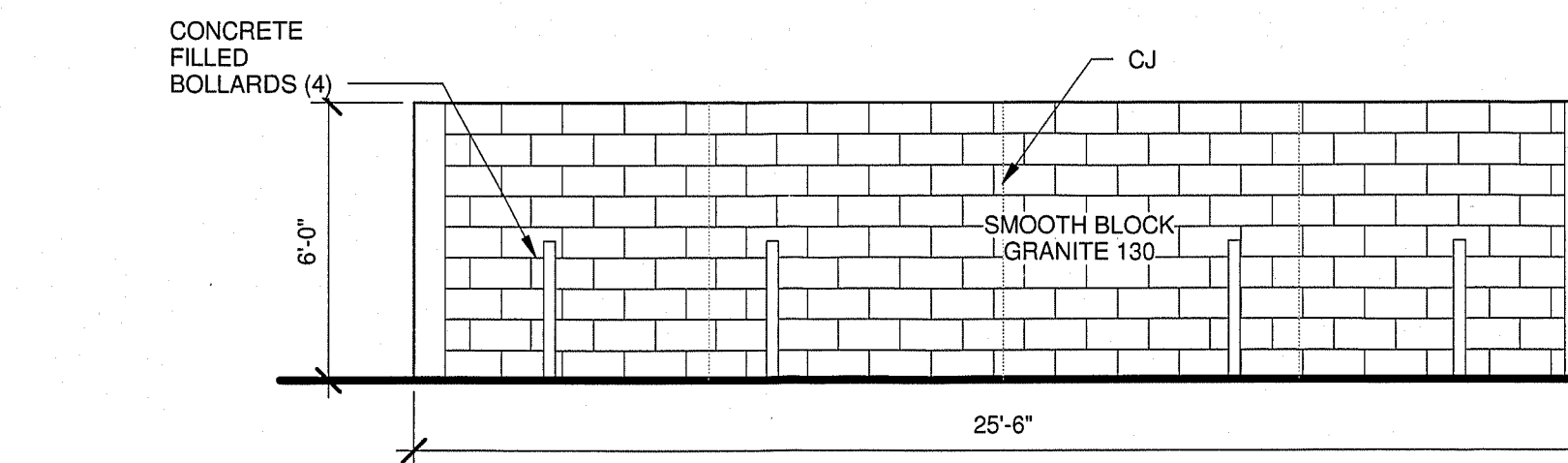


### BUILDING AND FENCE COLORS

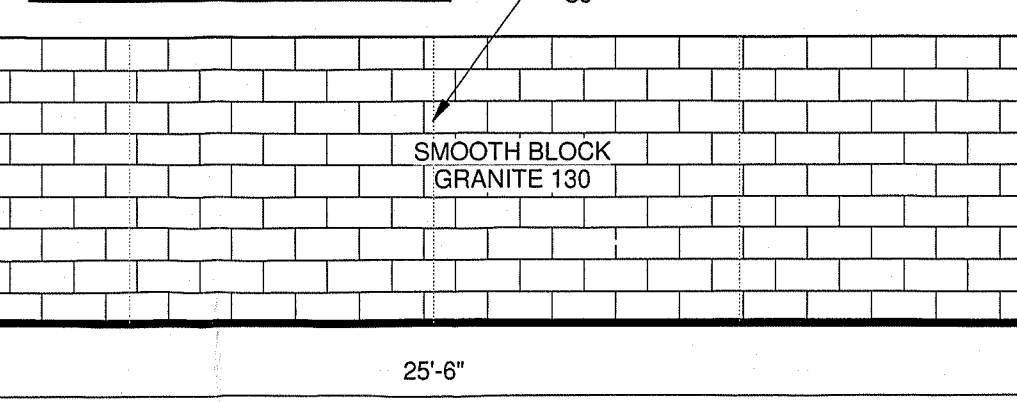
- ASPHALT SHINGLES: AUTUMN BROWN (AB) BROWNWOOD (BW)
- STUCCO COLORS: ALTERNATING BUILDINGS STUCCO (SA) EL REY BUCKSKIN STUCCO (SB) EL REY COTTONWOOD
- WOOD TRIM COLOR: WHITE (W)
- VINYL WINDOW W/ DIVIDERS COLOR: WHITE (W)
- ENTRY DOOR COLOR: WHITE (W)
- STUCCO TRIM: (AT WINDOWS) WHITE (W)

### 1 STREET FRONTAGE WALL

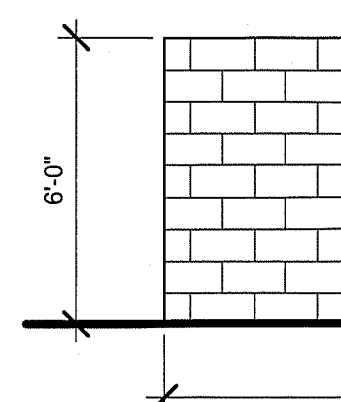
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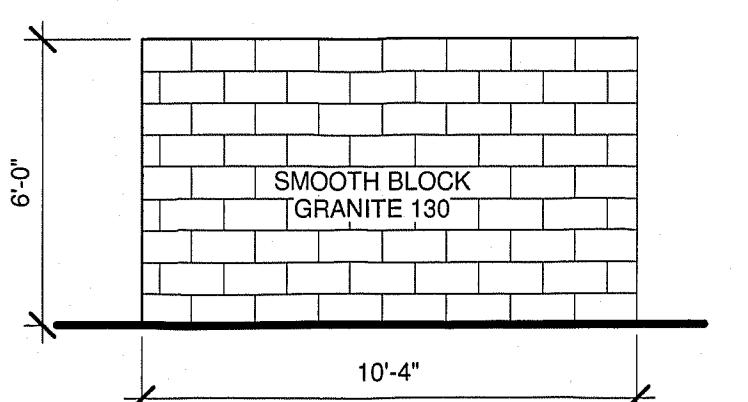
### EAST ELEVATION



### WEST ELEVATION

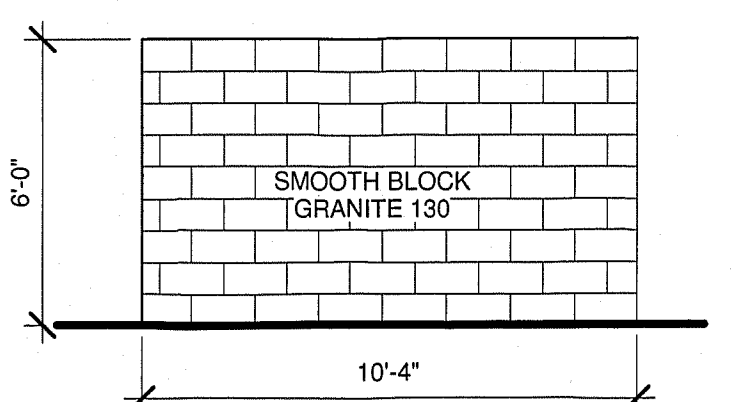


### NORTH AND SOUTH ELEVATION



### 2 REFUSE ENCLOSURE - WEST END (EAST SIMILAR)

Scale: 1/4" = 1'-0"



### INTRODUCTION

THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT SUBMITTAL SHALL SERVE AS THE OWNER'S SUBMITTAL FOR ZONE CHANGE TO THE PROPERTY LOCATED ON THE SOUTH SIDE OF MENAUL N.E. BETWEEN DEANNA STREET N.E. AND CHELWOOD PARK BLVD. N.E. - 11,910 MENAUL BLVD. N.E.

THE SUBJECT PROPERTY CONSISTS OF ONE (1) PARCEL THAT IS ZONED O-1. THE PROPERTY IS 1.72826 ACRES. THE PARCEL HAS NO EXISTING IMPROVEMENTS EXCEPT FOR A 6' WIDE CONCRETE SIDEWALK ALONG MENAUL. WE RESPECTFULLY SEEK A CHANGE OF ZONE TO SU-1 PLANNED RESIDENTIAL DEVELOPMENT.

THE PROPERTY IS UNDER CONTRACT BY MR. JOE AZAR OF AZAR PROPERTIES, L.L.C. MR. AZAR PLANS TO RENT THE UNITS AS THE INDIAN RIDGE PATIO HOMES. AN AUTHORIZATION LETTER FROM THE PROPERTY OWNER IS PART OF THE SUBMITTAL PACKAGE.

THE PROPOSAL FOR THE PROPERTY CONSISTS OF A TWENTY-SIX (26) UNIT TOWNHOUSE DEVELOPMENT. THIS EQUATES TO A 15 DWELLING UNITS PER ACRE. THE SUBJECT PROPERTY IS ADJACENT TO THE ENCHANTED PARK NEIGHBORHOOD'S (ENP) SOUTHERN BORDER. ENP HAS BEEN APPRISED OF THIS SUBMITTAL.

THE NEIGHBORING ZONING LENDS LEGITIMACY TO THIS ZONE CHANGE REQUEST. RESIDENTIAL ZONING AND USES PREDOMINATE TO THE SOUTH AND WEST OF THE SUBJECT PROPERTY. THE CHARACTERISTIC SINGLE FAMILY (R-1) RESIDENTIAL NEIGHBORHOOD IS BOUNDED ON THE EAST BY CHELWOOD PARK BLVD., AND ON THE WEST BY DEANNA STREET. AND ON THE NORTH BY THE SUBJECT PROPERTY'S SOUTHERN BOUNDARY. THE RESIDENTIAL ZONE THAT ABUTS THE SUBJECT PROPERTY'S WEST BOUNDARY CONSISTS OF FOUR (4) TWO STORY HOUSING UNITS IN A HIGH DENSITY (R-3) CONFIGURATION. THE DEVELOPMENT WAS ERCTED IN 1973. THE "MENAUL VILLAGE PRIVATE CONDOMINIUM COMMUNITY" IS ACCESSED VIA STILWELL PLACE STREET N.E. WHICH CONTINUES THROUGH THE DEVELOPMENT THEN TURNS NORTH AS A PRIVATE DRIVE THAT INTERSECTS WITH MENAUL BOULEVARD. THE SUBJECT PROPERTY LIES DIRECTLY EAST OF THE PRIVATE DRIVE. AN EXISTING SHORT RETAINING WALL WITH A FOUR (4) FOOT HIGH GRAPESTAKE FENCE IS LOCATED ON THE INTERMEDIATE PROPERTY LINE.

COMMERCIAL USES COMPRISE THE PROPERTY TO THE NORTH ACROSS MENAUL BOULEVARD. ADDITIONAL COMMERCIAL USES ABUT THE EASTERLY BOUNDARY OF THE SUBJECT PROPERTY. THESE PARCELS AREA ALL ZONED C-1. THE NEIGHBORHOOD COMMERCIAL (C-1) ZONE PERMITS R-3 NEIGHBORHOOD RESIDENTIAL USES. THE ZONING IS COMPATIBLE WITH THE REQUEST.

MENAUL BOULEVARD AT THE SUBJECT PROPERTY FRONTAGE IS DESCRIBED AS A 4LD TYPE MAJOR STREET. THE 100 FOOT WIDE (100') RIGHT OF WAY CONSISTS OF FOUR (4) LANES, WHICH ARE DIVIDED WITH A RAISED MEDIAN. THE MEDIAN IS DISTINGUISHED BY WELL MAINTAINED XERISCAPING. THE MEDIAN INTERSECTION OCCURS AT FIGUEROA DRIVE N.E. THE PROJECT PROPOSED RADIUS RETURN DRIVEWAY IS CLOSELY ALIGNED WITH THE FIGUEROA DRIVE INTERSECTION TO FACILITATE LEFT TURN ACCESS FOR WESTBOUND TRAFFIC. A PUBLIC BUS TRANSIT STOP ON THE SOUTH SIDE OF MENAUL IS SITUATED SIXTY FEET (60') WEST OF THE DEVELOPMENT.

A LANDSCAPED STRIP AND DECORATIVE SPLIT FACE WALL AT THE MENAUL FRONTAGE DISTINGUISHES THE DEVELOPMENT FROM THE STREET. LANDSCAPING SHALL COMPLY WITH MULTI FAMILY RESIDENTIAL USES. PROPOSED LANDSCAPING SHALL PROVIDE ADEQUATE SCREENING FOR SINGLE FAMILY DEVELOPMENTS. UNIT GARAGE DRIVEWAYS WILL BE SEPARATED BY LANDSCAPE AREAS WITH TREES. TREES SHALL REACH A 25' TO 35' SPREAD AT MATURITY.

ALL VEHICULAR ACCESS IS PROVIDED VIA THE MAIN DRIVEWAY ENTRANCE THENCE EAST-WEST PRIVATE LANES. THESE VEHICULAR/PEDESTRIAN LANES TERMINATE AT THE EAST AND WEST WHERE DUAL REFUSE/RECYCLE DUMPSTER ENCLOSURES ARE LOCATED. OFF STREET RESIDENT PARKING IS PROVIDED AT EACH GARAGE AND ITS ACCOMPANYING DRIVEWAY. TWO PARKING SPACES ARE ACCOMMODATED IN THIS WAY AT THE TWO BEDROOM TYPE "A" & "B" UNITS. FOUR PARKING SPACES ARE PROVIDED AT THE THREE BEDROOM UNIT AND THE TWO BEDROOM TWO CAR GARAGE TYPE "C" UNIT; TWO IN THE DRIVEWAY AND TWO IN THE GARAGE.

ALL PROPOSED TOWNHOUSES ARE TWO STORY WITH SINGLE STORY FEATURES. ALL VEHICULAR LANE FACADES ARE SINGLE STORY, THEN STEP UP TO A TWO STORY FACADE. ADDITIONALLY, THE THREE BEDROOM TOWNHOUSES, LOCATED ALONG DRIVEWAY ENTRANCE PRESENT A SINGLE STORY ELEVATION. THUS, A MORE GRADUAL BUILDING ELEVATION TRANSITION IS ACHIEVED FROM THE PASSERBY VIEW.

THE PROTOTYPICAL TOWNHOUSE UNIT PHOTO IS ATTACHED. THE TENTH AND CANDELARIA NW PROJECT PROVIDES AN ACCURATE PHOTOGRAPHIC RENDERING FOR REFERENCE.

### DESIGN CRITERIA

CODES: 2009 IRC, 2009UMC, 2009 UPC, 2014NEC

PROJECT LOCATION: SOUTH SIDE OF MENAUL BETWEEN CHELWOOD PARK BLVD. AND DEANNA STREET 11,910 MENAUL BLVD N.E., ALBUQUERQUE, NM

ZONE ATLAS MAP: H-22

LEGAL DESCRIPTION: TRACT 2-A INDIAN RIDGE SUBDIVISION.

UPC: 102205920526634222

TOTAL ACRES: 1.727 ACRES

EXISTING ZONING: O-1

LAND USE CLASSIFICATION: 3000

PROPOSED USES: RESIDENTIAL DWELLINGS

MAXIMUM HEIGHT: 25'-10" COMPLIES

PROPOSED ZONING: SU-1 FOR PLANNED RESIDENTIAL DEVELOPMENT - MAXIMUM 26 DWELLING UNITS

CONSTRUCTION TYPE: TYPE VB NON SPRINKLERED

SEISMIC ZONE: D

MAXIMUM TOTAL DWELLING UNITS: 26 UNITS - 15 DUS PER ACRE

REQUIRED PARKING: TOWNHOUSE UNITS- 26 UNITS X 2.0 PARKING SPACES = 52 PARKING SPACES

PROPOSED PARKING: OFF STREET PARKING = 72 PARKING SPACES (INCLUDING GARAGE SPACES) COMPLIES

USABLE OPEN SPACE: 26 UNITS X 550 = 14,300 SF UOS PROVIDED = 30,683 SF COMPLIES

LANDSCAPE CALCULATION: SEE SHEET DRB-5

UNIT AREAS: TWO BEDROOM/ 2 1/2 BATH TYPE "A" UNITS:

FLOOR AREA (EA. UNIT):	517
LOWER LEVEL HEATED	871
UPPER LEVEL HEATED	1188 SF
TOTAL HEATED	2059 SF

GARAGE	264 SF
TOTAL AREA	1452 SF

FLOOR AREA (EA. UNIT):	517
LOWER LEVEL HEATED	871
UPPER LEVEL HEATED	1188 SF
TOTAL HEATED	2059 SF

GARAGE	264 SF
TOTAL AREA	1452 SF

FLOOR AREA (EA. UNIT):	517
LOWER LEVEL HEATED	871
UPPER LEVEL HEATED	1188 SF
TOTAL HEATED	2059 SF

GARAGE	264 SF
TOTAL AREA	1452 SF

TWO BEDROOM/ 2 1/2 BATH TYPE "B" UNITS:	
FLOOR AREA (EA. UNIT):	617
LOWER LEVEL HEATED	837
UPPER LEVEL HEATED	1214 SF
TOTAL HEATED	2051 SF

GARAGE	264 SF
TOTAL AREA	1478 SF

TWO BEDROOM/ 2 1/2 BATH TYPE "C" UNITS:	
FLOOR AREA (EA. UNIT):	517
LOWER LEVEL HEATED	871
UPPER LEVEL HEATED	1188 SF
TOTAL HEATED	2059 SF

GARAGE	382 SF
TOTAL AREA	1570 SF

THREE BEDROOM/ 2 BATH UNITS:	
FLOOR AREA (EA. UNIT):	786
LOWER LEVEL HEATED	987
UPPER LEVEL HEATED	1473 SF
TOTAL HEATED	2460 SF

GARAGE	424 SF
TOTAL AREA	1897 SF

BUILDING "A"	(2) TWO BEDROOM TYPE "B" UNITS + (2) THREE BEDROOM UNITS
2 X 1214 =	2428 SF
2 X 1473 =	2946 SF
TOTAL HEATED AREA =	5374 SF HEATED

2 X 264 =	528 SF
2 X 424 =	848 SF
TOTAL GARAGE AREA =	1376 SF GARAGE

BUILDING "B"	(2) THREE BEDROOM UNIT
1473 X 2 =	2946 SF HEATED
424 X 2 =	848 SF GARAGE

BUILDING "C"	(2) TWO BEDROOM TYPE "B" UNITS + (1) TWO BEDROOM TYPE "C" UNIT + (1) THREE BEDROOM UNIT
2 X 1214 =	2428 SF
1 X 1188 =	1188 SF
1 X 1473 =	1473 SF
TOTAL HEATED AREA =	5089 SF HEATED

2 X 264 =	528 SF
1 X 382 =	382 SF
1 X 424 =	424 SF
TOTAL GARAGE AREA =	1334 SF GARAGE

BUILDING "D"	(2) TWO BEDROOM TYPE "A" UNITS + (4) TWO BEDROOM TYPE "B" UNITS + (2) TWO BEDROOM TYPE "C" UNITS
2 X 1188 =	2376 SF
4 X 1214 =	4856 SF
2 X 1188 =	2376 SF
TOTAL HEATED AREA =	9608 SF HEATED

2 X 264 =	528 SF
4 X 264 =	1056 SF
2 X 382 =	764 SF
TOTAL GARAGE AREA =	1820 SF GARAGE

BUILDING "E"	(2) TWO BEDROOM TYPE "A" UNITS + (4) TWO BEDROOM TYPE "B" UNITS + (2) TWO BEDROOM TYPE "C" UNITS
2 X 1188 =	2376 SF
4 X 1214 =	4856 SF
2 X 1188 =	2376 SF
TOTAL HEATED AREA =	9608 SF HEATED

2 X 264 =	528 SF
4 X 264 =	1056 SF
2 X 382 =	764 SF
TOTAL GARAGE AREA =	1820 SF GARAGE

BUILDING "A"	(2) TWO BEDROOM TYPE "B" UNITS + (2) THREE BEDROOM UNITS
2 X 1214 =	2428 SF
2 X 1473 =	2946 SF
TOTAL HEATED AREA =	5374 SF HEATED

2 X 264 =	528 SF
2 X 424 =	848 SF
TOTAL GARAGE AREA =	1376 SF GARAGE

BUILDING "B"	(2) THREE BEDROOM UNIT
1473 X 2 =	2946 SF HEATED
424 X 2 =	848 SF GARAGE

BUILDING "C"	(2) TWO BEDROOM TYPE "B" UNITS + (1) TWO BEDROOM TYPE "C" UNIT + (1) THREE BEDROOM UNIT
2 X 1214 =	2428 SF
1 X 1188 =	1188 SF
1 X 1473 =	1473 SF
TOTAL HEATED AREA =	5089 SF HEATED

2 X 264 =	528 SF
1 X 382 =	382 SF
1 X 424 =	424 SF
TOTAL GARAGE AREA =	1334 SF GARAGE

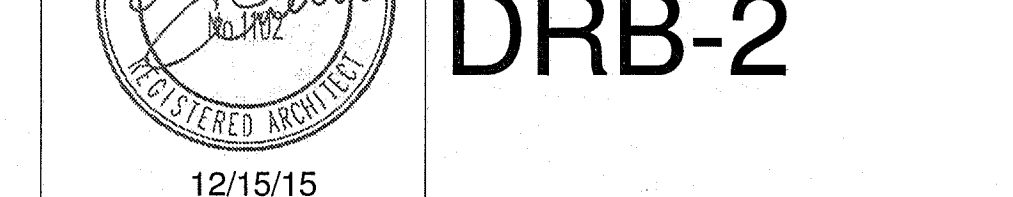
**Cinelli** / Roger Cinelli & Assoc.  
ARCHITECTS  
2418 Manuel Torres Lane N.W.  
Albuquerque, New Mexico 87107  
(505) 243-8211

PROJECT TITLE: INDIAN RIDGE PATIO HOMES FOR JOE AZAR  
11,910 MENAUL BLVD. N.E. ALBUQUERQUE, NEW MEXICO

DRAWING TITLE: SITE DEVELOPMENT PLAN INTRODUCTION & CODE SUMMARY

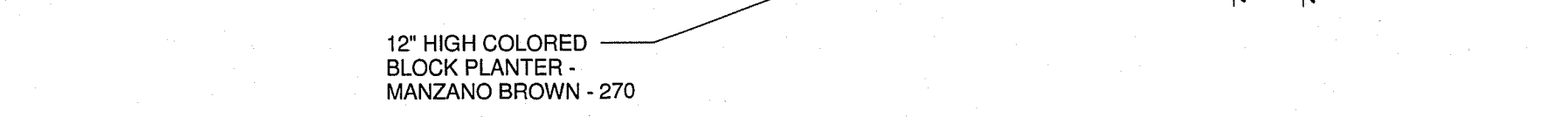
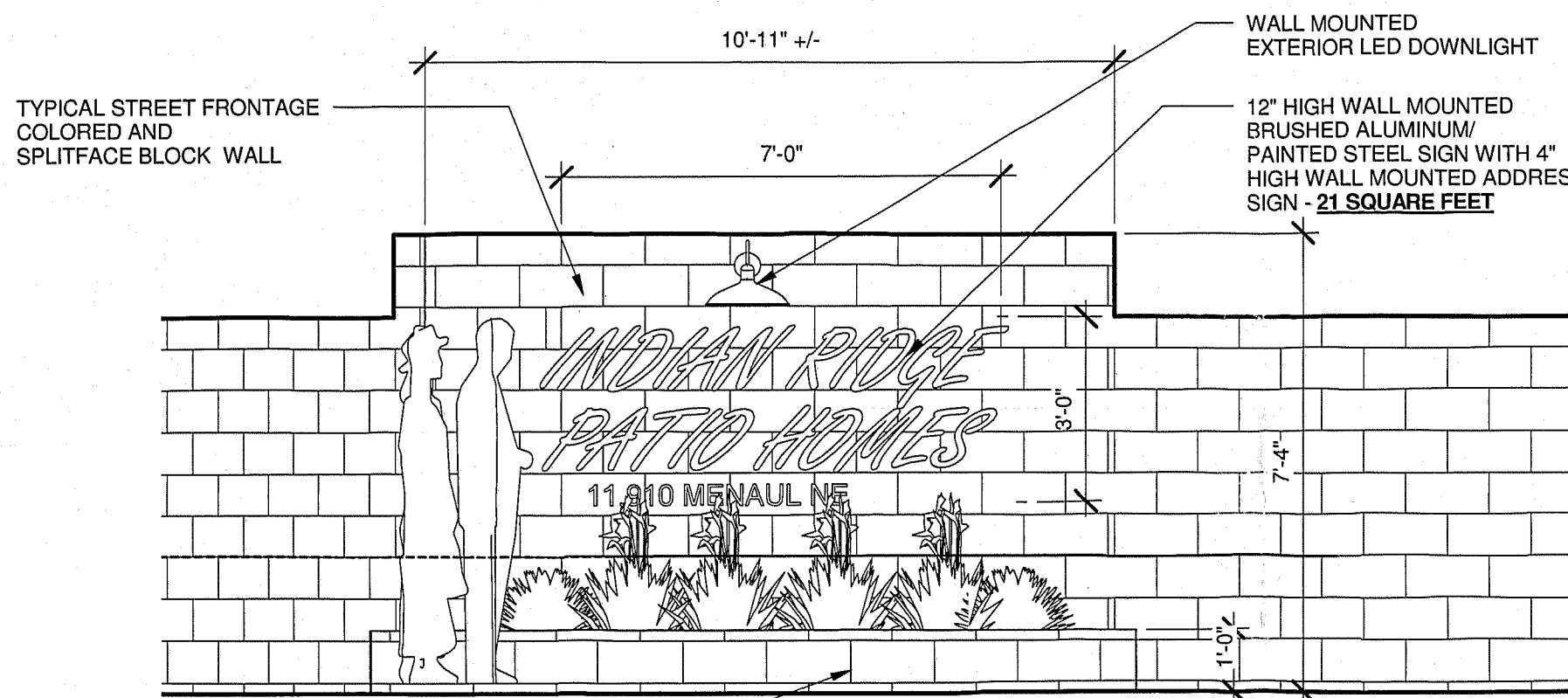
DATE: DEC. 15, 2015 PROJECT NO.: TIRY37

DRAWING NO. DRB-2



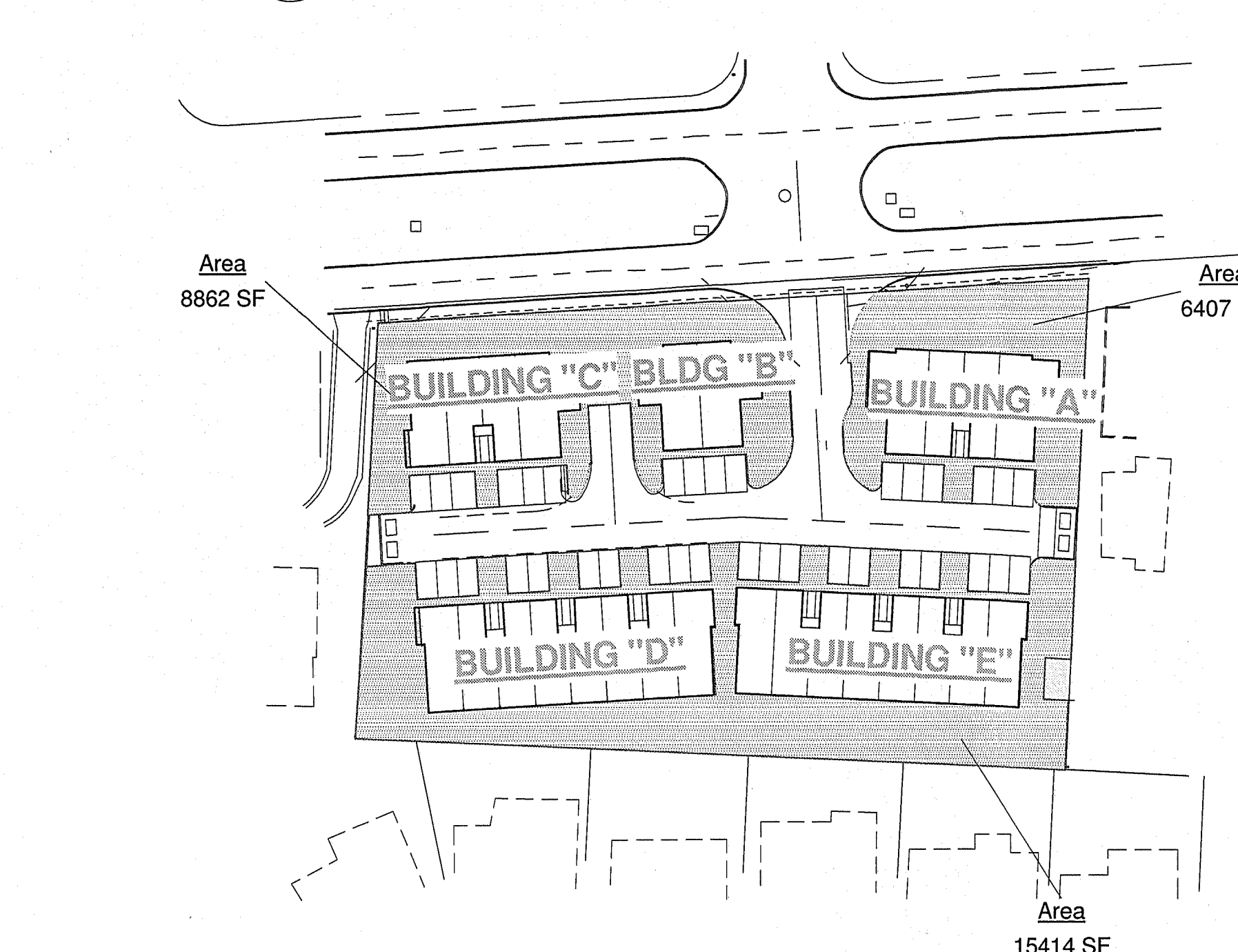
12/15/15

### 5 PERSPECTIVE - 10TH & CANDELARIA PROTOTYPE NOT TO SCALE



### 4 PROJECT SIGN ELEVATION

Scale: 3/8" = 1'-0"



### 3 USABLE OPEN SPACE 11,910 MENAUL BLVD. N.E.

Scale: 1/64" = 1'-0"

### USABLE OPEN SPACE:

REQUIRED OPEN SPACE:  
26 UNITS X 550 = 14,300 SF  
UOS PROVIDED = 30,683 SF  
COMPLIES

### COOPER LIGHTING - LUMARK®

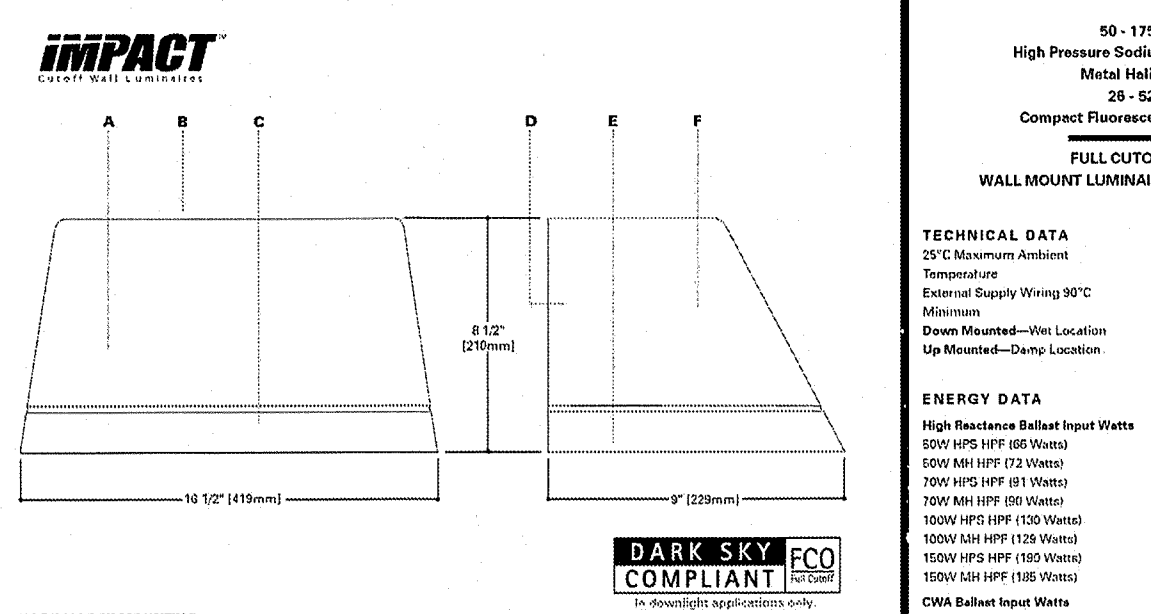
Category #	Type
Project:	TIRY24
Comments:	
Prepared by:	ROGER CINELLI
Date:	03/21/13

DESCRIPTION: The IMPACT Trapezoid cutoff wall luminaire makes an ideal complement to site design. U.L. Listed and CSA Certified for wet locations in down mount applications and damp locations in up mount applications.

Rugged construction and full cutoff dissimilar optics provide facade and security lighting for light restricted zones surrounding schools, office complexes, apartments, and recreational facilities.

SPECIFICATION FEATURES:

- A. Housing:** The housing is a two-piece design of die-cast aluminum for precise control of tolerance and repeatability.
- B. Mounting:** Galvanized and zinc plated rigid steel mounting attachment fits directly to 4" x 4" flats or wall with "Hook N Lock" mechanism for quick installation. Secured with two (2) captive corrosion resistant black oxide coated allen head set screws concealed but accessible from bottom.
- C. Optical Modules:** All optical modules utilize high performance 95% reflective sheet. Type I optical module is standard.
- D. Ballast:** HD luminaires supplied with high power factor ballast with Class II insulation. Minimum starting temperatures are -40°C (-40°F) for HPS and -30°C (-22°F) for MH. Compact Fluorescent luminaires feature electronic universal 120-277V high efficiency ballast with -18°C (0°F) minimum starting.
- E. Door:** Die-cast door features, 1/8" heat and impact resistant clear tempered glass lens mounted with internal slotted steel clips and sealed with EPDM gasketing. Hinged door secured in place via two (2) captive fasteners.
- F. Finish:** Durable polyester powder coat finish. Standard color is bronze. Optional white and black colors available. Other finish colors available. Consult your Cooper Lighting Representative concerning special color requirements.



TECHNICAL DATA  
50 - 135W High Pressure Sodium Metal Halide 28 - 82W Compact Fluorescent  
FULL CUTOFF WALL MOUNT LUMINAIRE

ENERGY DATA  
High Pressure Sodium Input Watts  
50W (HPS) (84 Watts)  
50W (MH) (72 Watts)  
28W (CFL) (84 Watts)  
28W (CFL) (84 Watts)  
135W (HPS) (128 Watts)  
135W (MH) (128 Watts)  
82W (CFL) (100 Watts)  
82W (CFL) (100 Watts)  
135W (HPS) (145 Watts)  
135W (MH) (145 Watts)

Electronic Ballast Input Watts  
280 W (HPS) (28 Watts)  
230 W (MH) (28 Watts)  
42W (CFL) (48 Watts)  
42W (CFL) (48 Watts)  
50W (CFL) (68 Watts)

DIFFUSED DATA  
Approximate Foot Candle: 15 f.c. @ 8 ft.

Specifications and Dimensions subject to change without notice.

DAWN TO DUSK HOODED LIGHT FIXTURE