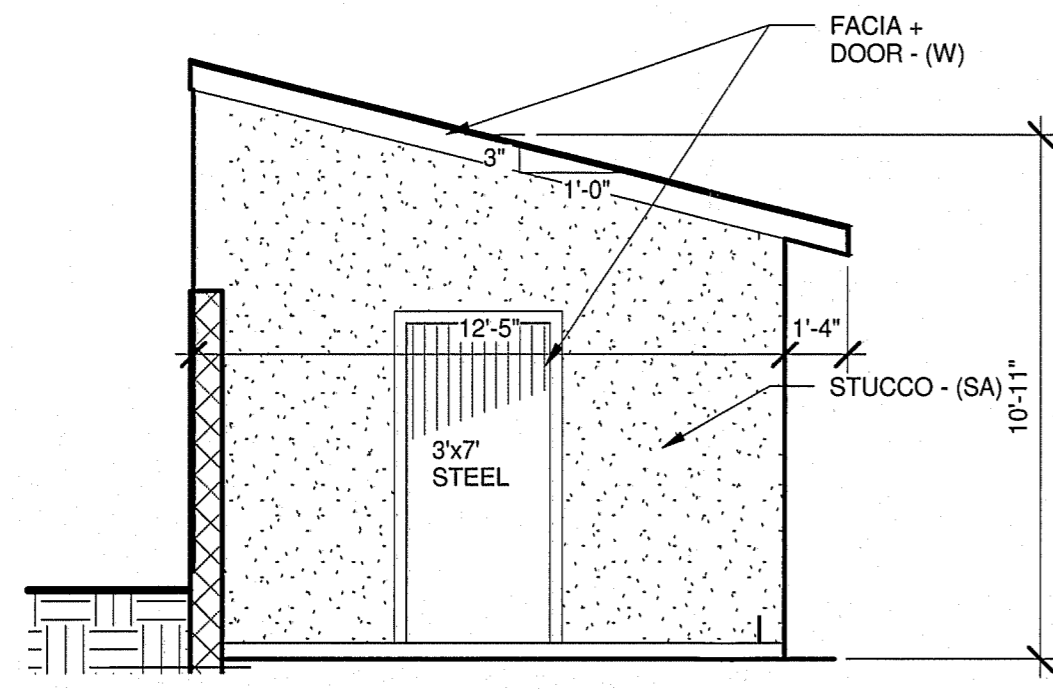
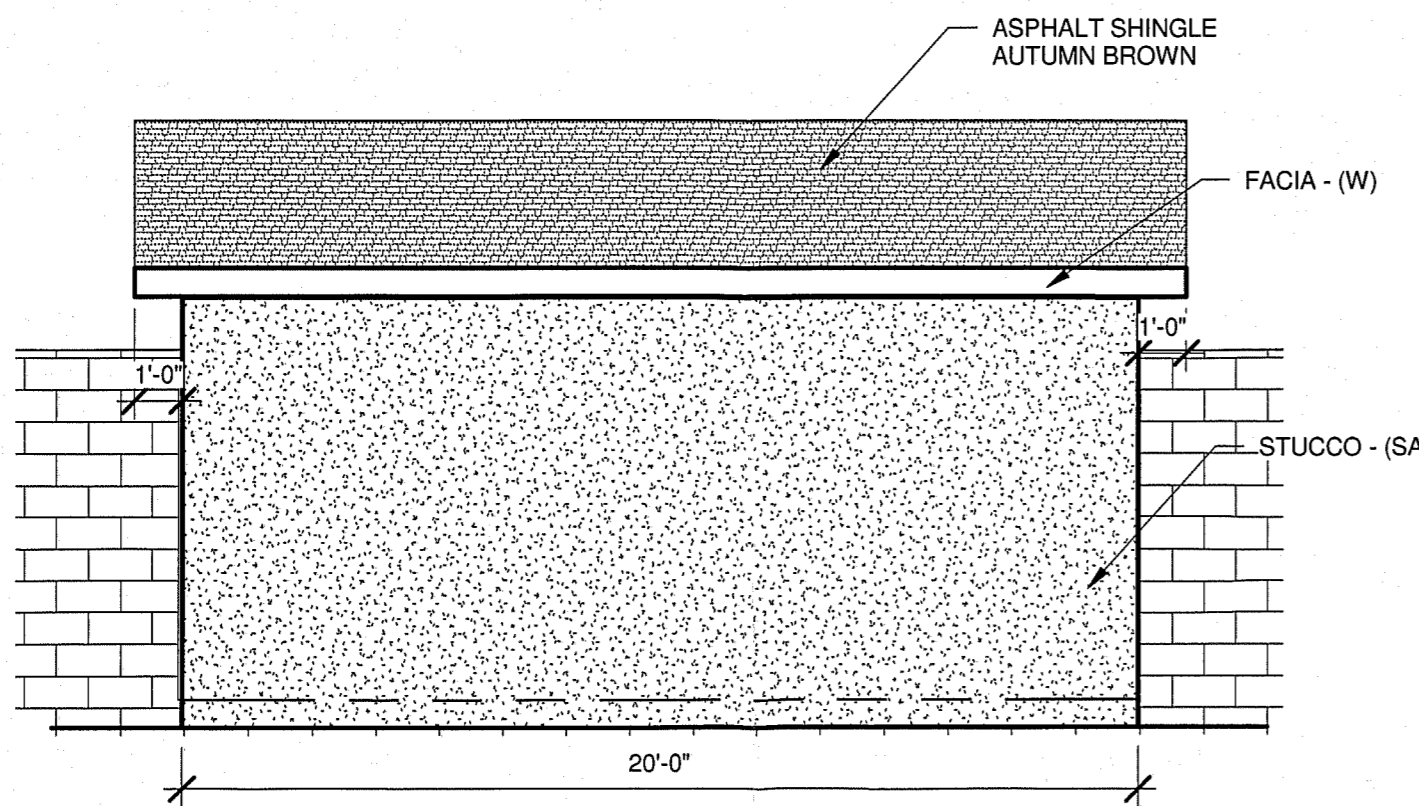


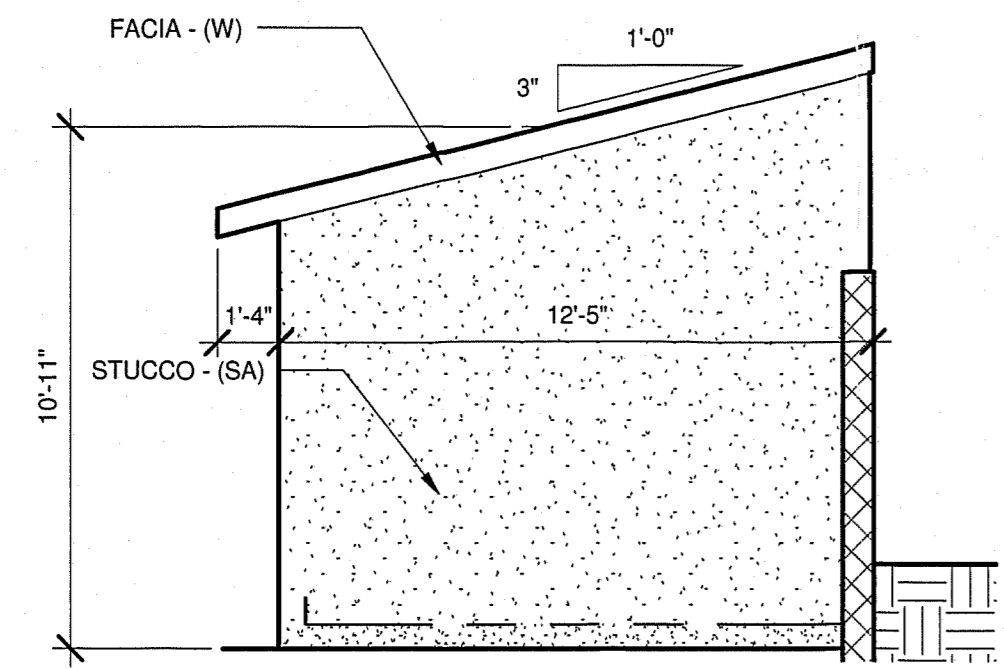
SITE DEVELOPMENT FOR SUBDIVISION - DESIGN STANDARDS



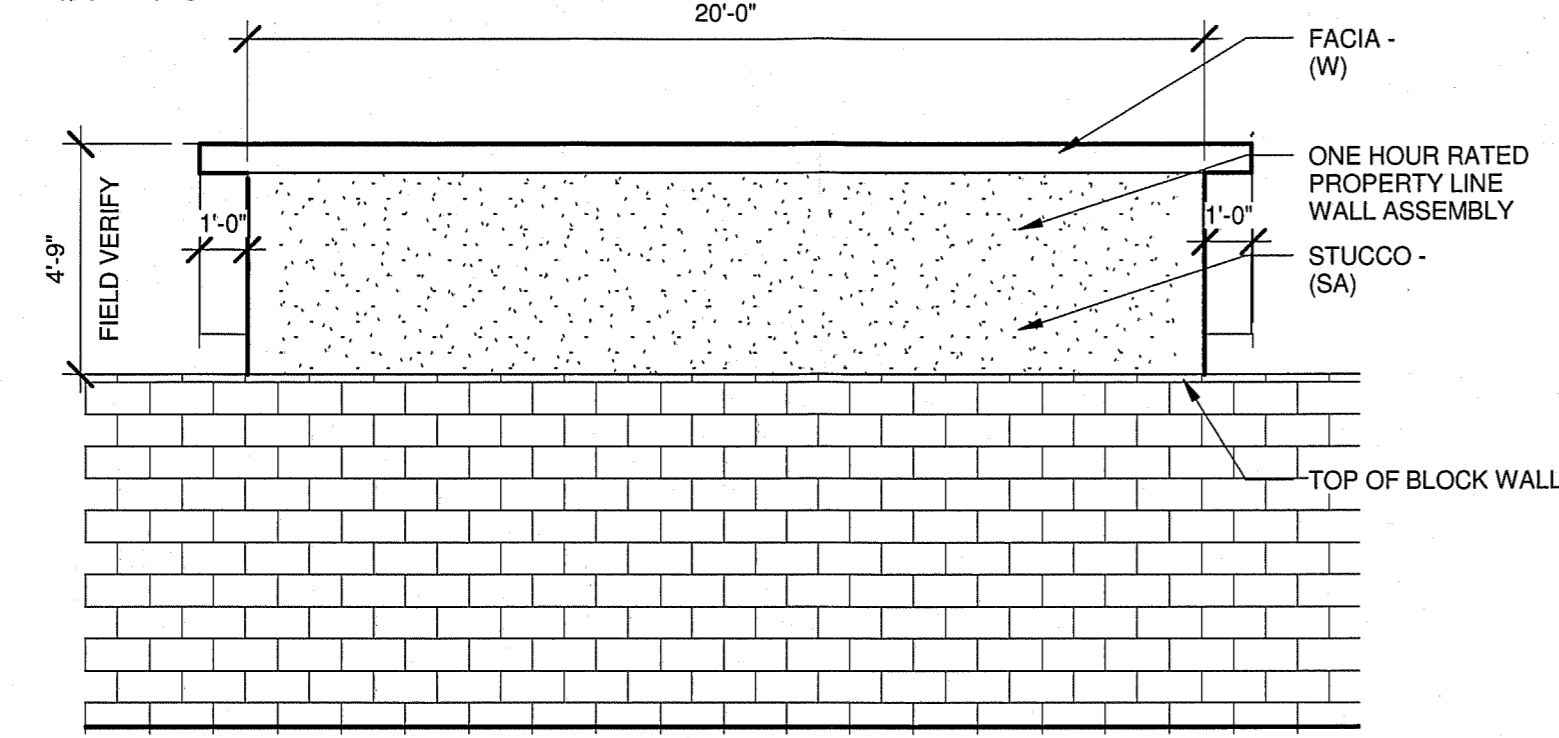
7 NORTH ELEVATION
Scale: 1/4" = 1'-0"



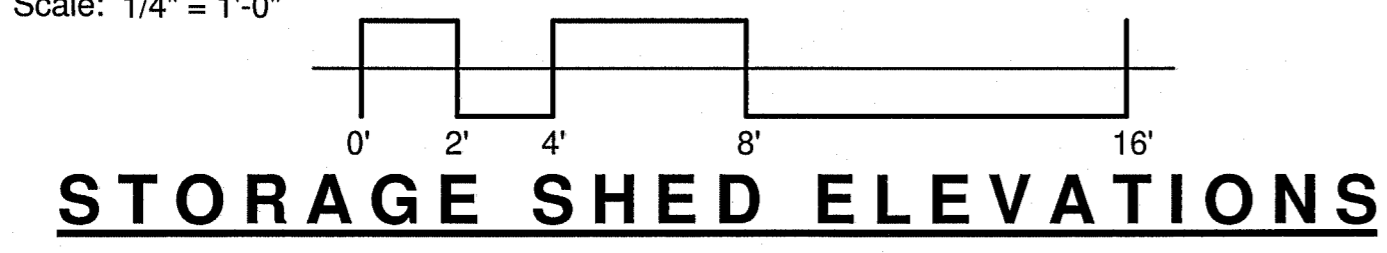
6 WEST ELEVATION
Scale: 1/4" = 1'-0"



5 SOUTH ELEVATION
Scale: 1/4" = 1'-0"



4 EAST ELEVATION
Scale: 1/4" = 1'-0"



STORAGE SHED ELEVATIONS

INTRODUCTION

DEVELOPMENT SHALL COMPLY WITH THE GENERAL REGULATIONS OF THE ZONING CODE.

1. SITE DESIGN

A. OVERALL LAYOUT OF SITE AND BUILDINGS, RELATIONSHIP TO ADJACENT SITE

THE SUBJECT SITE IS A SINGLE PARCEL WHICH IS ADJACENT TO MENAUL BLVD. A 30' WIDE TWO WAY DRIVEWAY WITH A RIGHT TURN LANE PROVIDES VEHICULAR ACCESS TO THE DEVELOPMENT. A 24' WIDE PRIVATE ROADWAY RUNS BOTH EAST AND WEST TO PROVIDE ACCESS TO THE TOWNHOUSE BUILDING DRIVEWAYS. A 20' WIDE FIRETRUCK AND REFUSE TRUCK TURNAROUND IS LOCATED WEST OF THE MAIN ENTRY DRIVE. 4' WIDE NORTH TO SOUTH PEDESTRIAN WALKWAYS CONNECT TO THE MENAUL BOULEVARD PUBLIC SIDEWALK. 4' WIDE WALKWAYS ALSO PROVIDE PEDESTRIAN CIRCULATION BETWEEN UNITS. EVERY TOWNHOUSE UNIT PROVIDES A PRIVATE COURTYARD. THE STEPPED BUILDING FACADE OF THE THREE BEDROOM UNITS ON BOTH SIDES OF THE ENTRY DRIVE SCALE THE BUILDING'S MASSING DOWN TO THE PEDESTRIAN WALKWAY. MENAUL VILLAGE CONDOMINIUMS, ZONED R-3, LIES TO THE WEST. THE PUEBLO STYLE DEVELOPMENT IS COMPRISED OF TWO STORY UNITS WITH GARAGES BENEATH THE LIVING AREAS. PREDOMINANTLY, R-1 SINGLE FAMILY RESIDENCES LIE TO THE SOUTH OF THE SUBJECT PROPERTY. THE REAR YARDS OF FIVE RESIDENCES THAT FRONT ON TOWNER STREET DIRECTLY ABUT THE SOUTHERN PROPERTY LINE. THE ADJACENT RESIDENCES CONSIST OF LOW SLOPE SHINGLE AND METAL PANEL ROOFS. MASONRY VENEER EXTERIOR WALLS PREDOMINATE; MASONRY WAS A POPULAR EXTERIOR TREATMENT GIVEN THE AGE OF THE NEIGHBORHOOD. TWO OF THE RESIDENCES HAVE TWO STORY FEATURES. THE COMMERCIAL DEVELOPMENT, ANYTHING SPRINKLERS, ABUTS THE EASTERLY EDGE OF THE SUBJECT PROPERTY; THE ZONING IS C-1.

B. BUILDING PLACEMENT, ORIENTATION, SETBACKS

THE PROPOSED TOWNHOUSE BUILDINGS, "A", "B", "C", "D" AND "E", SHALL BE ARRAYED ALONG AN EAST-WEST VEHICULAR ASPHALT ROADWAY. THE TOWNHOUSE BUILDINGS SHALL BE SITUATED WITH THEIR FRONT ENTRIES AND DRIVEWAYS FACING THE ROADWAY. PRIVATE WALLED COURTYARDS SHALL ABUT MENAUL BOULEVARD TO THE NORTH AND THE REAR PROPERTY LINE TO THE SOUTH. SETBACKS FROM MENAUL BOULEVARD SHALL VARY WITH A MINIMUM OF 19'-6". THE MINIMUM FRONT YARD SETBACK IS 15'. THE EASTERLY SETBACK SHALL VARY WITH A MINIMUM OF 11'-10". THE WESTERLY SETBACK VARIES WITH A MINIMUM OF 15'-1". THE REQUIRED MINIMUM SIDE YARD SETBACK IS 5'. THE SOUTH PROPERTY SETBACK SHALL ALSO VARY, FROM 28'-11" AT THE SOUTHEAST TO 15' AT THE SOUTHWEST CORNER. THE REAR YARD MINIMUM SETBACK REQUIREMENT IS 15'. THE UNHEATED STORAGE BUILDING THAT ABUTS C-1 ZONING IN THE SOUTHEAST CORNER IS ZERO-CLEARANCE FROM THE PROPERTY LINE. BUILDING MASSING AT THE PROJECT ENTRY DRIVEWAY AND EAST-WEST ROADWAYS IS DESIGNED AS A LOWER ROOF SLOPE THAT GRADUALLY STEPS UP, OR SLOPES UP, TO THE TWO STORY PORTION. THIS REFLECTS THE DESIGN TENDENCIES OF THE EXISTING RESIDENTIAL DEVELOPMENTS THAT LIES TO THE SOUTH. THE EXISTING FABRIC OF THE SURROUNDING RESIDENTIAL CITY BLOCKS IS REFLECTED IN THE ONE/TWO STORY CONFIGURATION WITH SHINGLE ROOF DESIGN.

C. PEDESTRIAN AND VEHICULAR CONNECTIVITY (INTERNAL & EXTERNAL)

AS FOR EXTERNAL PEDESTRIAN CONNECTIVITY, THE 6' WIDE SIDEWALK ALONG MENAUL BOULEVARD IS INTERSECTED BY THE ENTRY VEHICULAR DRIVE AND 4' WIDE SIDEWALKS ON BOTH SIDES OF THE DRIVEWAY. THIS AFFORDS UNIMPEDED PEDESTRIAN ACCESS INTO AND OUT OF THE DEVELOPMENT. INTERNAL TO THE SITE, SIDEWALKS CONNECT EACH TOWNHOUSE WITH ITS NEIGHBOR. THE DUAL REFUSE/RECYCLE BIN ENCLOSURES AT THE EAST AND WEST END OF THE DEVELOPMENT PROVIDE FOR CONVENIENT PEDESTRIAN ACCESS FROM ANY TOWNHOUSE.

D. PARKING LOCATION AND DESIGN

OFF STREET RESIDENT PARKING IS PROVIDED AT EACH GARAGE AND ITS ACCOMPANYING DRIVEWAY. TWO PARKING SPACES ARE ACCOMMODATED IN THIS WAY AT THE TWO BEDROOM UNITS. FOUR PARKING SPACES ARE ACCOMMODATED AT THE TWO BEDROOM/TWO CAR UNITS, TWO IN THE GARAGE AND TWO IN THE DRIVEWAY. FOUR PARKING SPACES ARE PROVIDED FOR AT THE THREE BEDROOM UNIT; TWO IN THE DRIVEWAY AND TWO IN THE GARAGE. TREES AND SHRUBS INTERSPERSED WITH THE PARKING PROVIDES FOR SHADING OF AUTOMOBILES AND FURTHER PROMOTES THE RESIDENTIAL CHARACTER OF THE VEHICULAR LANES.

E. PUBLIC OUTDOOR SPACES

THE PEDESTRIAN WALKWAY ALONG THE SOUTH SIDE OF MENAUL BOULEVARD LEADS TO TRANSIT BUS STOP IN FRONT OF THE MENAUL VILLAGE CONDOMINIUMS. THE BUS STOP LIES DIRECTLY WEST OF THE PRIVATE DRIVE THAT SERVES THE CONDOMINIUMS.

F. DUMPSTER AND SERVICE AREA LOCATIONS AND SCREENING

REFUSE/RECYCLE BIN ENCLOSURES ARE LOCATED AT EACH END OF THE SITE. THEY ARE ACCESSED VIA 4' INTERNAL PEDESTRIAN WALKWAYS. THEY ARE ENCLOSED ON THREE SIDES BY A 6' HIGH COLORED CMU WALL.

G. LOCATION, HEIGHT, DESIGN AND PURPOSE OF ALL WALLS AND WALL OPENINGS

ALL WALLS AND FENCES ARE SUBJECT TO SECTION 14-16-3-19 OF THE ZONING ORDINANCE. ALL WALLS SHALL BE 6'-0" IN HEIGHT; THEY SHALL BE EITHER COLORED SMOOTH BLOCK OR SPLITFACE COLORED BLOCK. THEY SHALL PROVIDE PRIVACY FOR THE RESIDENTIAL REAR COURTYARDS. WALLS ALONG MENAUL SHALL BE A DECORATIVE COMBINATION OF SMOOTH AND SPLITFACE COLORED BLOCK IN A SOUTHWESTERN MOTIF.

H. LOCATION, HEIGHT AND DESIGN AND PURPOSE OF LIGHTING

LIGHTING SHALL COMPLY WITH THE NIGHT SKY ORDINANCE AND ALL REQUIREMENTS IN SECTION 14-16-3-9 OF THE ZONING ORDINANCE. DUSK-TO-DAWN DRIVEWAY LIGHTING SHALL BE MOUNTED AT 7'-6" HEIGHT AND ILLUMINATE THE 4' PEDESTRIAN WALKWAY. LIGHTING SHALL NOT SHINE INTO ANY ADJACENT PROPERTIES.

I. SCREENING/BUFFERING TECHNIQUES

SIDEWALKS, LANDSCAPE STRIPS AND STREET TREES SCREEN RESIDENCES FROM ADJACENT STREETS WHILE CREATING PEDESTRIAN AMENITIES WITHIN THE URBAN FABRIC OF THE DEVELOPMENT.

J. "GREEN" FEATURES

WATER HARVESTING PONDS SHALL STORE DRAINAGE ON SITE BEFORE DEPOSITING OUTFLOWS INTO THE STREET.

2. STREET REALM

A. TRANSIT, BICYCLE, PEDESTRIAN AMENITIES

THE SITE IS ACCESSIBLE TO MAJOR TRANSIT ROUTE ON MENAUL BOULEVARD, A FOUR LANE MAJOR STREET. CITY OF ALBUQUERQUE "ABO RIDE" BUS STOP IS LOCATED ADJACENT TO THE MENAUL VILLAGE CONDOMINIUMS ON THE SOUTH SIDE OF MENAUL BOULEVARD. THE NORTH-SOUTH BIKE LANE ON CHELWOOD PARK BOULEVARD LIES TWO BLOCKS TO THE EAST.

B. LANDSCAPE BUFFERS, SIDEWALKS IN THE PUBLIC RIGHT OF WAY

SIDEWALKS, LANDSCAPE STRIPS AND STREET TREES SCREEN RESIDENCES FROM ADJACENT STREETS WHILE CREATING PEDESTRIAN AMENITIES WITHIN THE URBAN FABRIC OF THE DEVELOPMENT. STREET TREE TYPES AND LOCATIONS SHALL BE AS SPECIFIED IN THE LANDSCAPE SECTION OF THESE DESIGN REQUIREMENTS.

3. LANDSCAPING

LANDSCAPING SHALL COMPLY WITH THE DESIGN REQUIREMENTS OF THE CITY OF ALBUQUERQUE GENERAL LANDSCAPING REGULATIONS 14-16-3-10 AND THIS SECTION. LANDSCAPING IS A KEY ELEMENT OF THE DESIGN. IT IS INTEGRAL TO THE GOAL OF PROVIDING PLACES THAT PROMOTE COMMUNITY AND ENRICH THE LIVES OF THE AREA RESIDENTS. THE LANDSCAPE NETWORK CONSISTS OF:

STREETSCAPE STREET TREES, AND LANDSCAPING IN AND AROUND UNIT DRIVEWAYS. TREES ALONG THE EAST-WEST PEDESTRIAN WALKWAYS. AT MINIMUM, ONE TREE IS PROVIDED PER TOWNHOUSE UNIT.

THE DOMINANT LANDSCAPE FEATURE IS A CANOPY OF TREES AT MATURITY. DECIDUOUS STREET AND PARKING TREES PROVIDE PASSIVE SOLAR MITIGATION OF PAVED SURFACES. THEY ALSO BALANCE THE DENSITY OF THE HOUSING UNITS AND CREATE HUMAN SCALE. THE TREE SPECIES SHALL BE VARIED TO AVOID MONOCULTURE.

SUGGESTED PLANT SPECIES AS SHOWN ARE NOT MANDATORY, HOWEVER, ANY SUBSTITUTIONS WILL BE LIMITED TO MEDIUM OR LOW WATER USE SPECIES. PLANT SPECIES SHOULD REFLECT THE CHARACTER AND SCALE OF THE SURROUNDING NEIGHBORHOOD.

FAST GROWING EVERGREEN TREES SHALL POPULATE THE REAR YARDS THAT FACE THE ADJACENT RESIDENTIAL REAR YARDS AT THE SOUTH PROPERTY LINE.

REQUIREMENTS:

a. THE FRONT PROPERTY LINE LIES DIRECTLY ON THE SOUTHERN EDGE OF THE 6' WIDE SIDEWALK. THE STREETSCAPE ALONG MENAUL BOULEVARD SHALL CONSIST OF TREE GROUPS IN ALCOVE PLANTING AREAS BETWEEN THE SIDEWALK AND COURTYARD WALLS. THESE TREES SHALL HAVE A HIGH BRANCHING CANOPY TO ALLOW CLEAR SPACE FOR PEDESTRIANS AND REDUCE POTENTIAL FOR DAMAGE FROM PASSING VEHICLES. UNDERSTORY PLANTINGS SHALL BE LIMITED TO ALLOW CLEAR PEDESTRIAN CIRCULATION.

b. THE CLEAR SITE TRIANGLE REQUIREMENT SHALL BE IMPOSED ON THE ENTRY DRIVEWAY/MENAUL BOULEVARD INTERSECTION. PROVIDE A CLEAR SITE RADIUS AT THE INTERSECTION OF A DRIVEWAYS AND THE PUBLIC SIDEWALK. SHRUBS IN THE CLEAR SITE TRIANGLE AND CLEAR SITE RADIUS SHALL NOT EXCEED THREE FEET IN HEIGHT ABOVE THE GUTTER FLOWLINE. UNDERSTORY BRANCHES FROM TREES SHALL NOT HANG LOWER THAN 7'.

WATER CONSERVATION TECHNIQUES:

THE LANDSCAPING SHALL COMPLY WITH THE WATER CONSERVATION, LANDSCAPE, POLLEN CONTROL AND WASTE WATER ORDINANCES.

4. BUILDING DESIGN

A. CONTEXT

THE PROPOSED DEVELOPMENT SITS IN AN AREA OF DIVERSE ZONING CATEGORIES. VARIED COMMERCIAL DEVELOPMENT, C-1, LIES TO THE NORTH ACROSS MENAUL BOULEVARD AND TO THE EAST. TO THE WEST OPPOSITE A PRIVATE DRIVE LIES THE CONDOMINIUM PROJECT, ZONED R-3, SEE PREVIOUS REFERENCES. THE PREDOMINANT USE, WHICH LIES TO THE SOUTH IS SINGLE FAMILY USES - R-1.

B. ARCHITECTURAL THEME OR STYLE

THE PROPOSED BUILDING DESIGN IS A PITCHED SHINGLE ROOF/FRAME-STUCCO DESIGN. IT FITS IN WITH THE PREDOMINANT BUILDING STYLES DISPLAYED BY THE RESIDENCES IN THE AREA. COMPLEMENTARY STUCCO COLORS APPLIED TO ALTERNATING BUILDINGS ADD VARIETY AND FURTHER THE NEIGHBORHOOD "LOOK".

C. BUILDING HEIGHT, SCALE, MASSING, MATERIALS COLORS AND ARTICULATION

EVEN THOUGH THE BUILDINGS ARE STEPPED, BUILDING HEIGHTS MEASURED FROM THE LOWEST GRADE TO THE MIDPOINT OF THE ROOF SLOPE AT THE OPPOSITE END OF THE BUILDING DO NOT EXCEED 25'-10". THE STANDARD ZONING REQUIREMENT IS 25'. THE ONE STORY PORTION OF THE THREE BEDROOM UNIT DOES NOT EXCEED 12' FROM ADJACENT GRADE TO MIP POINT OF ROOF SLOPE. THE DEVELOPMENT IS ORGANIZED TO EMPHASIZE AN URBAN BUILDING MASSING RESPONSE TO THE SITE. THE BUILDING ARE PLACED WITH THEIR FRONT FACADES FACING EACH OTHER AND PRIVATE LANES. RATHER THAN TOWER OVER THE LANDSCAPE, THE BUILDINGS ARE ENHANCED WITH SINGLE STORY FEATURES THAT SCALE DOWN TO THE STREET/LANE LEVEL. THE BUILDINGS ARE STEPPED DOWN THE SLOPED TERRAIN. COMPLEMENTARY STUCCO COLORS APPLIED TO ALTERNATING BUILDINGS AND INTEGRAL COLORED BLOCK WALLS ADD VARIETY AND FURTHER THE NEIGHBORHOOD "LOOK".

ALL OF THE EXTERIOR BUILDING WALLS AND MOST OF THE COURTYARD WALLS INCLUDE A PALETTE OF EARTH-TONED STUCCO OR BLOCK. ADDITIONALLY, ROOF STYLES VARY FROM SIMPLE SHED TO LOW SLOPE GABLE.

D. SITE TOPOGRAPHY AND BUILDING DESIGN

THE SITE IS SLOPED. THE GRADE FALL FROM THE EAST END OF THE SITE TO THE WEST END IS 15 FEET. ACCOMMODATING THE SLOPE POSED A CHALLENGE WHOSE SOLUTION RESULTS IN A STEPPED BUILDING CONFIGURATION. WITH THE EXCEPTION OF BUILDING "B", EVERY OTHER UNIT IN THE BUILDINGS IS STEPPED 18' FROM ITS NEIGHBOR. THE RESULTING DESIGN SOLUTION ADDS AN ELEMENT OF VARIETY THAT IS ENHANCED BY ALTERNATING BUILDING STUCCO AND ROOF SHINGLE COLORS.

5. SIGNAGE

A. STANDARDS FOR WALL MOUNTED SIGNS; LOCATION OF SIGNS; MAXIMUM NUMBER OF SIGNS

A COURTYARD WALL MOUNTED ILLUMINATED SIGN SHALL WELCOME RESIDENTS. LOCATED AT THE SOUTHEAST CORNER OF THE INTERSECTION OF MENAUL AND THE ENTRY DRIVE, THE SIGNAGE IS 21 SQUARE FEET IN SIZE; 25 SQUARE FEET IS THE MAXIMUM ALLOWABLE BY CODE. THE ILLUMINATION WILL CONFORM WITH THE NIGHT SKY ORDINANCE AND WILL NOT SHINE INTO ADJACENT PROPERTIES. ALL SIGNAGE SHALL CONFORM TO THE SIGNAGE REGULATIONS FOUND IN THE CITY OF ALBUQUERQUE ZONE CODE. EACH UNIT SHALL BE NUMBERED. ADDRESS SIGNAGE SHALL FACE MENAUL BOULEVARD N.E.

5. APPROVAL PROCESS

THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT MAY BE SLIGHTLY MODIFIED OR ADJUSTED, IF NECESSARY, TO ASSURE CONSISTENCY WITHIN THE DEVELOPMENT AND TO ALLOW FLEXIBILITY FOR THE DEVELOPER TO POSITIVELY REFINE THE DEVELOPMENT TO MITIGATE DESIGN CHALLENGES AND ENHANCE DESIGN OPPORTUNITIES. MODIFICATION PROCEDURES AND THE SUBSEQUENT APPROVAL PROCESS SHALL BE AS SPECIFIED FOR PROPERTIES IN THE SU-1 ZONING DESIGNATION OF THE CITY OF ALBUQUERQUE ZONING CODE.

SUBDIVISION DATA

PROJECT LOCATION: SOUTH SIDE OF MENAUL BETWEEN CHELWOOD PARK BLVD. AND DEANNA STREET 11,910 MENAUL BLVD N.E., ALBUQUERQUE, NM
ZONE ATLAS MAP: H-22
GROSS ACREAGE: 1.727
NO. OF LOTS: 1
EXISTING ZONING: C-1
PROPOSED ZONING: SU-1 FOR PRD
DATE OF SURVEY: MARCH 26, 1982
MAXIMUM 26 UNITS

LEGAL DESCRIPTION

LEGAL DESCRIPTION: TRACT 2-A INDIAN RIDGE SUBDIVISION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DECEMBER, 1981, BEING A REPLAT OF TRACTS 1-A AND 2, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 26, 1982, IN PLAT BOOD C19, PAGE 111.

BUILDING DATA

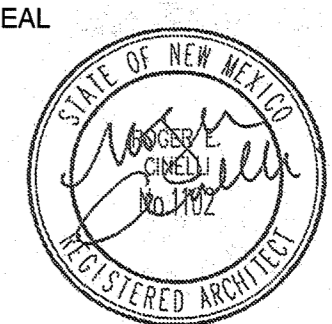
MAXIMUM BUILDING HEIGHT: 25.83 FEET
MINIMUM BUILDING SETBACK:
MENAUL BOULEVARD.....19.5 FEET
EAST PROPERTY LINE.....11.83 FEET
WEST PROPERTY LINE.....15.08 FEET
SOUTH PROPERTY LINE.....15.0 FEET
MAXIMUM DWELLING UNITS: 26 UNITS

Cinelli / Roger Cinelli & Assoc.
ARCHITECTS
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

PROJECT TITLE: INDIAN RIDGE PATIO HOMES FOR JOE AZAR
11,910 MENAUL BLVD. N.E.
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE: SPS - DESIGN STD'S - STORAGE SHED ELEVATIONS

SEAL DATE DEC. 15, 2015 PROJECT NO. TIRY37
DRAWING NO.



DRB-9

12/15/15