

TRACT E
 NAVAJO TERMINAL, INC
 Filed May 15, 1975, Volume D6, Folio 150

TRACT E
 NAVAJO TERMINAL, INC
 Filed May 15, 1975, Volume D6, Folio 150

TRACT A
 SANDIA ADDITION
 Filed July 9, 2010
 in Plat Book
 2010C, page 90

TRACT A
 SANDIA ADDITION
 Filed July 9, 2010
 in Plat Book
 2010C, page 90

PROPOSED BLDG.
 23,560 SF

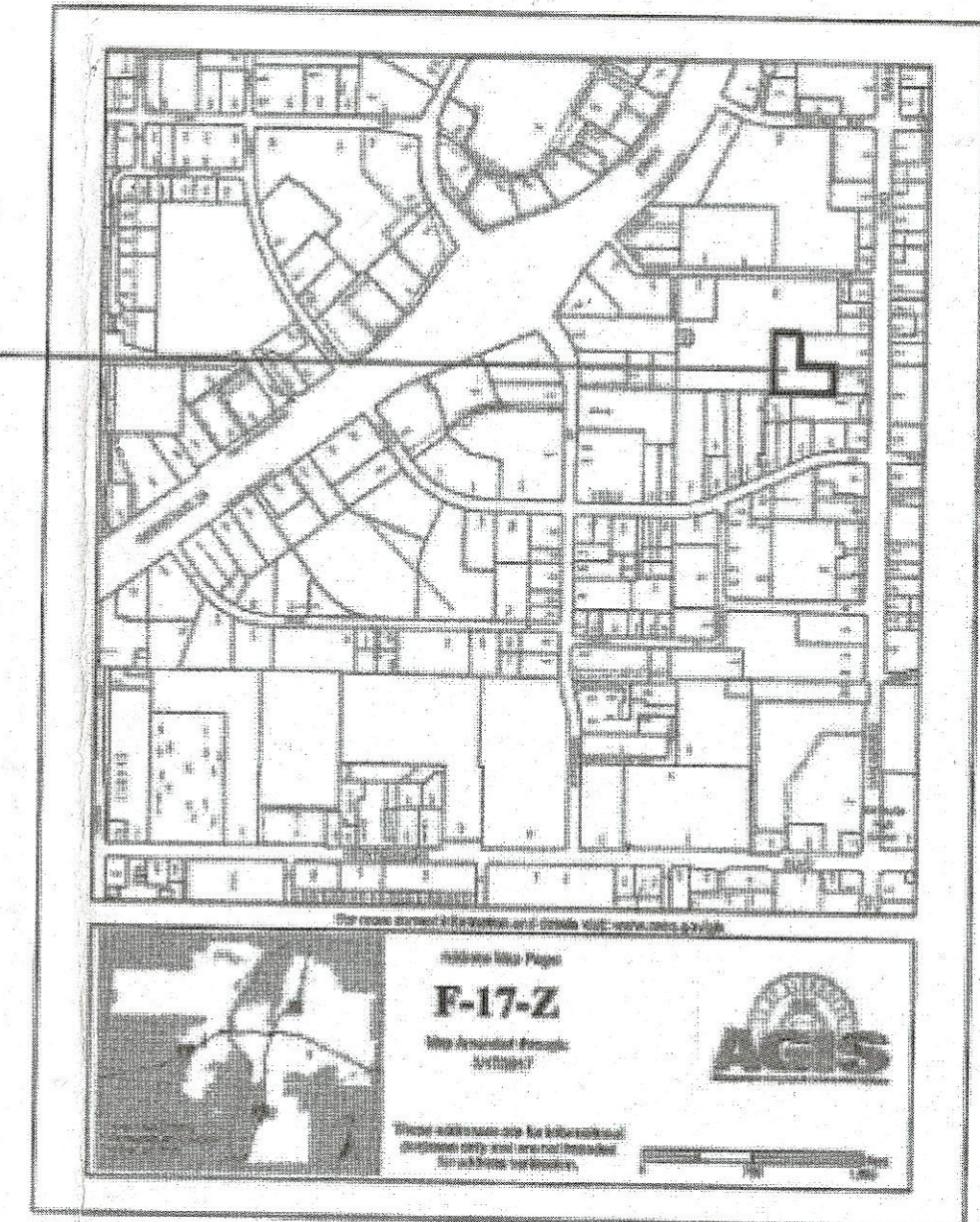
TRACT C - 1
 SANDIA ADDITION
 26,442 Ac.

EXISTING BUILDING
 NOT A PART OF SUBMITTAL
 TRACT B-1
 SANDIA ADDITION
 Filed May 27, 2015, Plat
 Book 2015C, Page 59.

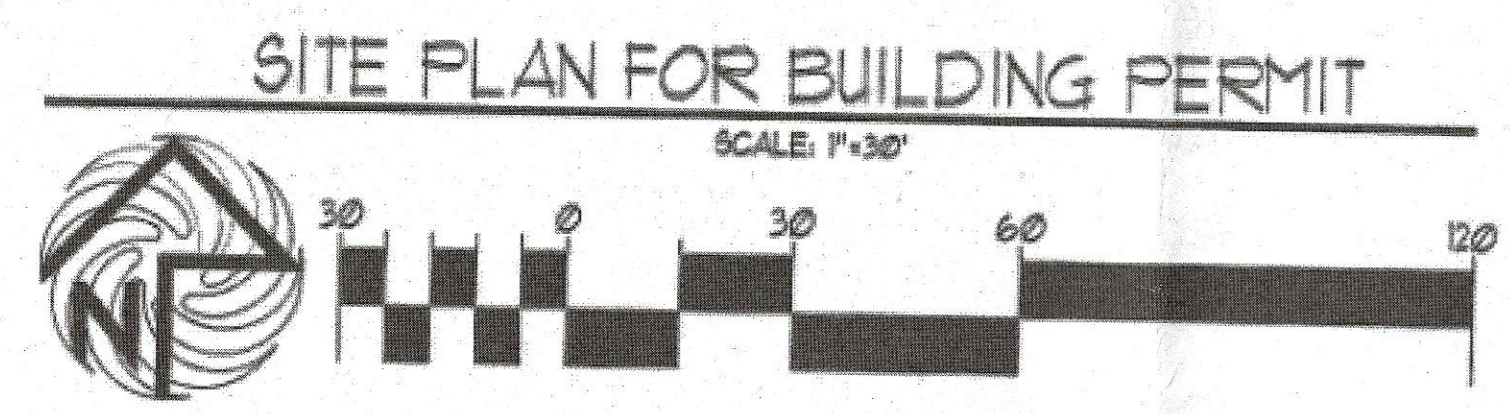
TRACT A
 LANDS OF ROADRUNNER INVESTORS
 Filed June 16, 1975, Volume B11, Folio 114

TRACT A-1A
 SANBUSCO ADDITION
 Filed October 2, 1981 in Plat Book C34, page 169

SAN MATEO BOULEVARD N.E.



- KEYNOTE:
- 1 8' OR AS INDICATED WITHIN SITE PLAN PEDESTRIAN CROSSWALK RE: DETAIL 6/A11
 - 2 LIGHT POLE LOCATION RE: DETAIL 3/A11
 - 3 CONC. SIDEWALK ADJACENT BLDG RE: DET 6/A11 RE: SITE PLAN FOR JOINT LAYOUT
 - 4 CONC. SIDEWALK RE: DET 1/A11 RE: SITE PLAN FOR JOINT LAYOUT
 - 5 INDICATES BIKE RACK LOCATION (5 BIKE CAPACITY) RE: DETAIL 13/A12
 - 6 BENCH LOCATION RE: DETAIL 10/A12
 - 7 HANDICAP RAMP RE: 15/A11
 - 8 HANDICAP RAMP RE: 16/A11
 - 9 HANDICAP RAMP RE: 5/A11
 - 10 HANDICAP RAMP RE: 11/A11
 - 11 INDICATES LANDSCAPE PLANTING AREA G.C TO PROVIDE/COORDINATE REQ. SLEEVING FOR EA WELL LOCATION
 - 12 DRIVE AISLE PAINT DETAIL RE: DET 9/A12
 - 13 6" HIGH CONC. ISLAND RE: SITE GRADING PLAN FOR INFO
 - 14 REFUSE ENCLOSURE RE: DET 4/A13
 - 15 HC PARKING STALL RE: DET 2/A12
 - 16 HC PARKING STALL RE: DET 3/A12
 - 17 WHEELSTOP RE: DET 4/A12
 - 18 INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION RE: SITE PLAN FOR LOCATIONS. RE: DET. 1/A12
 - 19 PAINTED STRIPPING/SIGNING AS INDICATED ON SITE PLAN ALL STANDARD PARKING STALL STRIPPING SHALL BE WHITE
 - 20 EXISTING SIDEWALK TO REMAIN
 - 21 NOT USED
 - 22 BOLLARD PAINTED SAFETY YELLOW RE: DET. 1/A13
 - 23 RETENTION PONDING AREA-CIVIL FOR DETAILS
 - 24 EXISTING CURB AND GUTTER TO REMAIN



SITE DATA TABLE	
LEGAL DESCRIPTION	TRACT C-1 SANDIA ADDITION SITUATE WITHIN THE ELANA GALLEGOS GRANT IN PROJECTED SECTION 35 TOWNSHIP 11 NORTH RANGE 3 EAST NEW MEXICO PRINCIPAL MERIDIAN CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO
PROPOSED USES:	FAMILY ENTERTAINMENT
EXISTING ZONING:	C-1
BUILDING SIZE:	23,560 SF
TOTAL PARKING REQ:	1 SPACE PER 3 OCCUPANTS 292 OCCUPANTS/ 3 = 97 REQ. SPACES
TOTAL PARKING PROVIDED:	125 SPACES PROVIDED
HC PROVIDED:	4 SPACES REQ
HC REQUIRED:	4 SPACES PROV.
BIKE SPACES PROVIDED:	6 SPACES REQ
BIKE SPACES REQUIRED:	6 SPACES PROV.
MOTORCYCLE SPACES PROVIDED:	8 SPACES REQ
MOTORCYCLE SPACES REQUIRED:	4 SPACES PROV.

PROJECT NUMBER: 1007861

APPLICATION NUMBER:

Is an Infrastructure List required? () YES () NO If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

DRG SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Reginald M. M... 5/24/17 Date
 Traffic Engineering, Transportation Division

Mark... 01-03-17 Date
 DRG ARCHITECT ENGINEER

Sam... 5/24/17 Date
 Parks and Recreation Department
 City Engineer

Environmental Health Department _____ Date

Solid Waste Management _____ Date

DRG Chairperson, Planning Department _____ Date 2/3/17

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

MODULUS ARCHITECTS

100 SUN AVE. N.W. SUITE 305
 ALBUQUERQUE, NEW MEXICO 87109
 PHONE (505) 338-1499 FAX (505) 338-1498

PROJECT TITLE: COOL SPRING

SAN MATEO BLVD ALBUQUERQUE, NEW MEXICO

PROJECT NUMBER: 1007861

CLIENT: STEPHEN DUNBAR, AIA

DATE: 4/1/2017

SCALE: AS SHOWN

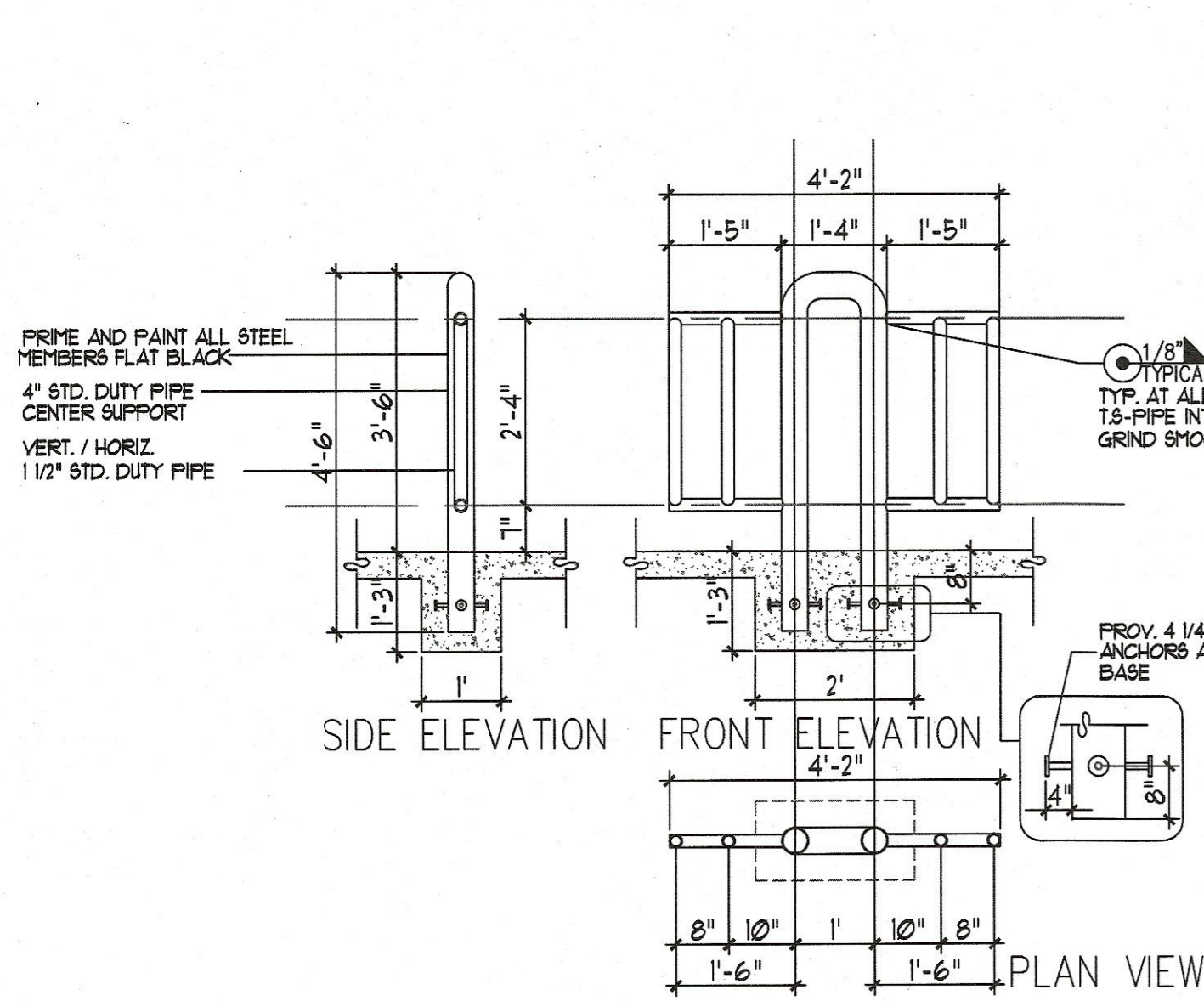
REVISION: BP-1

DRAWN BY: S

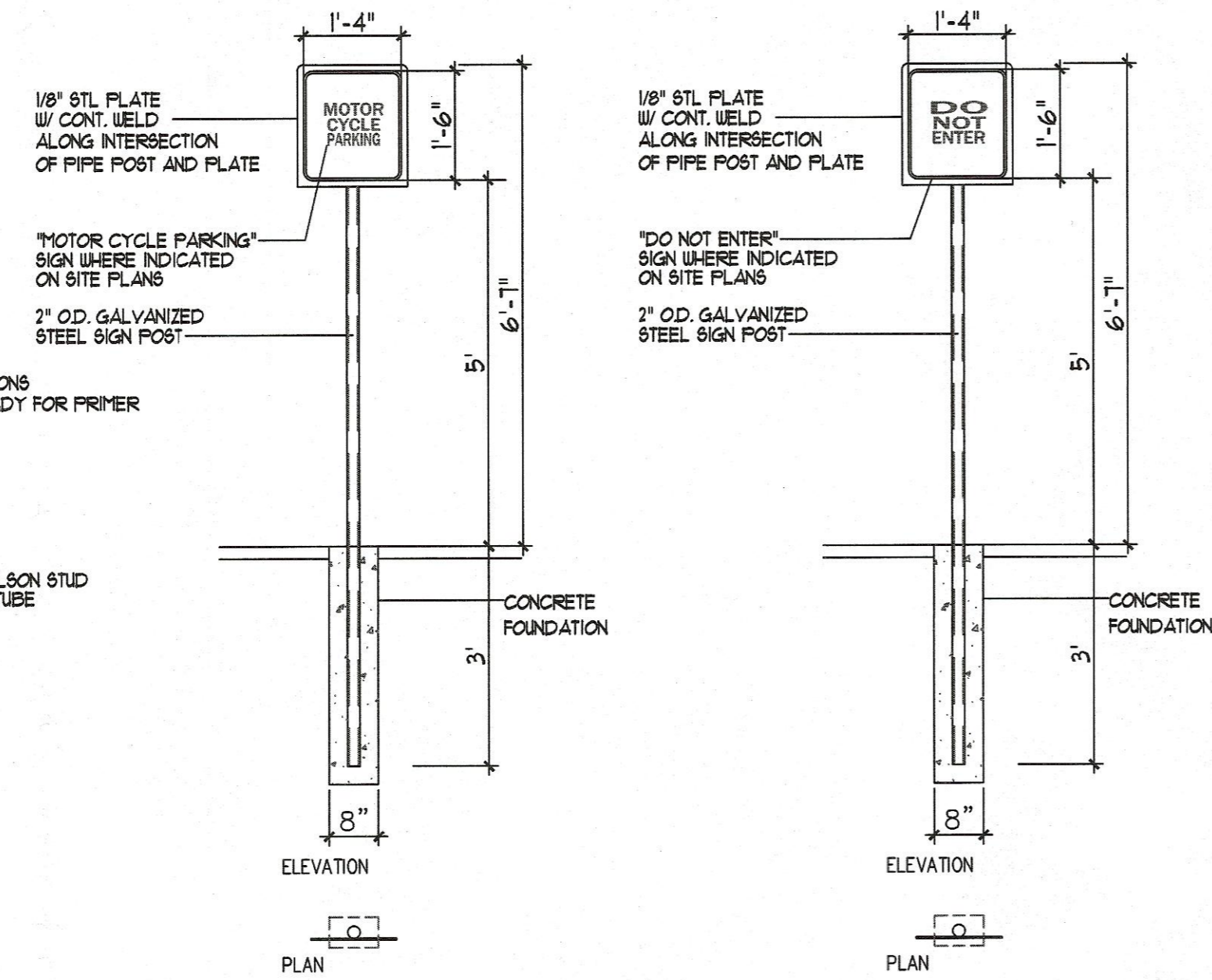
JOB NO. C-SPRING

SHEET TITLE: SITE PLAN FOR BUILDING PERMIT

14-16-3-18 (d) 3 - employee amenities

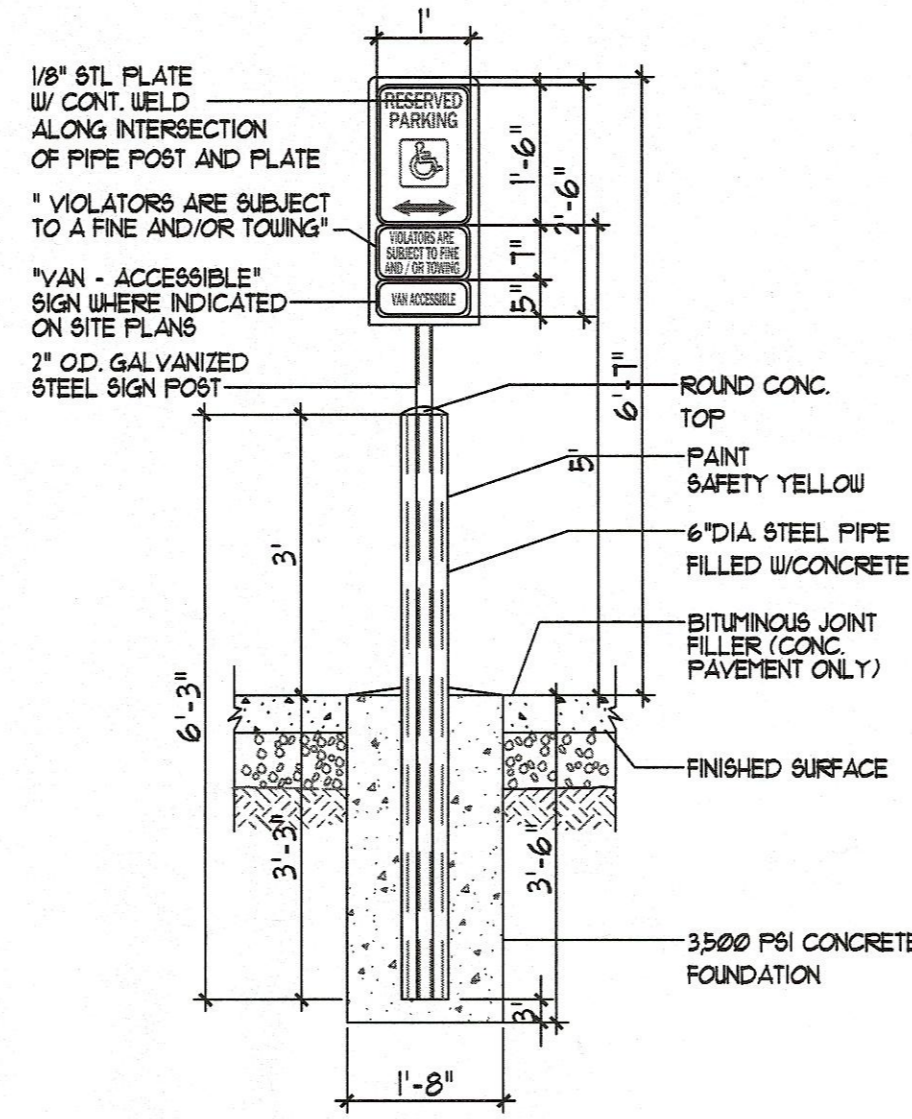


13 BIKE RACK
NTS

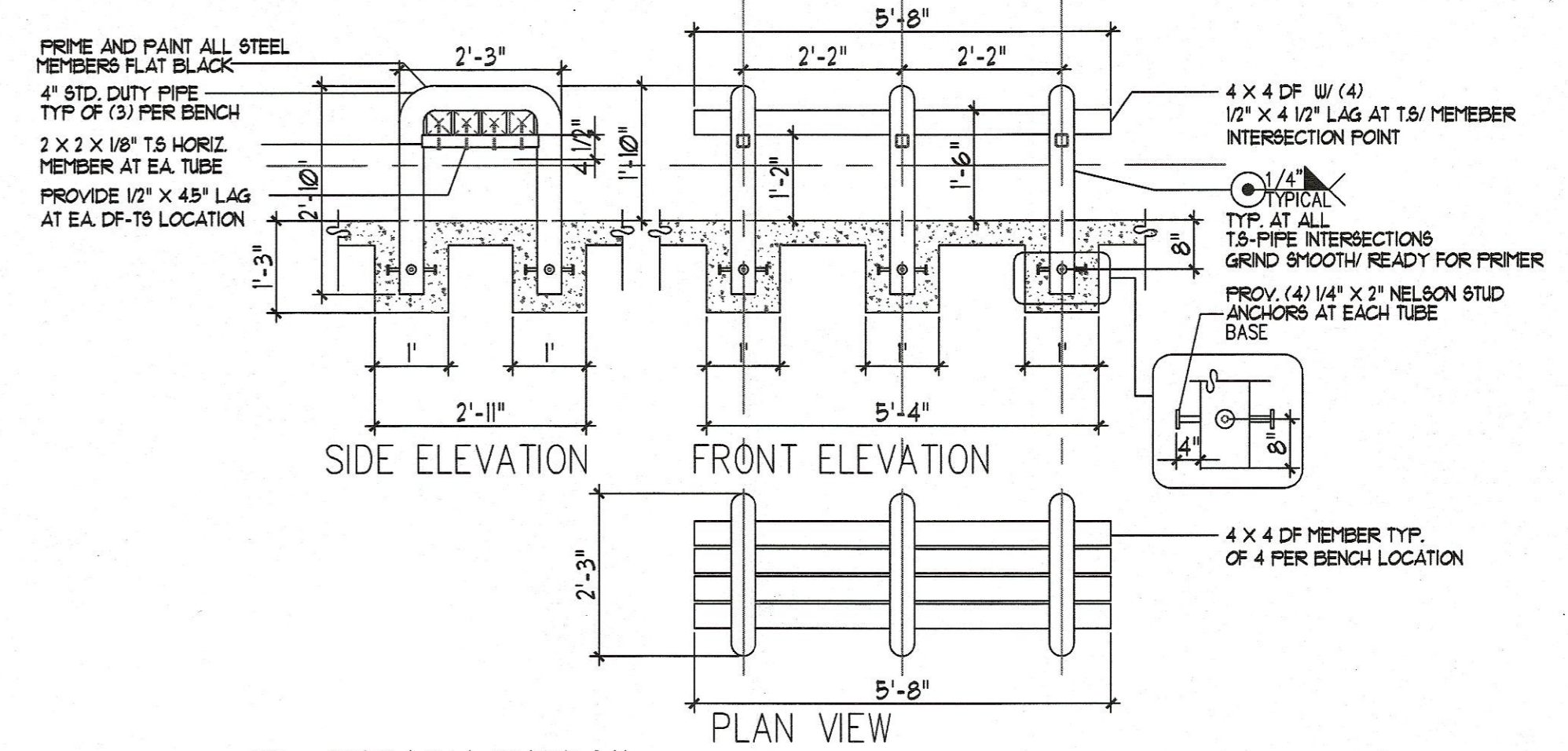


12 MISC. SIGNAGE
NTS

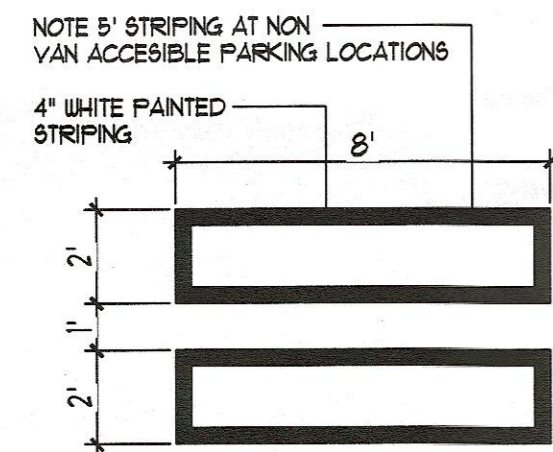
12A MISC. SIGNAGE
NTS



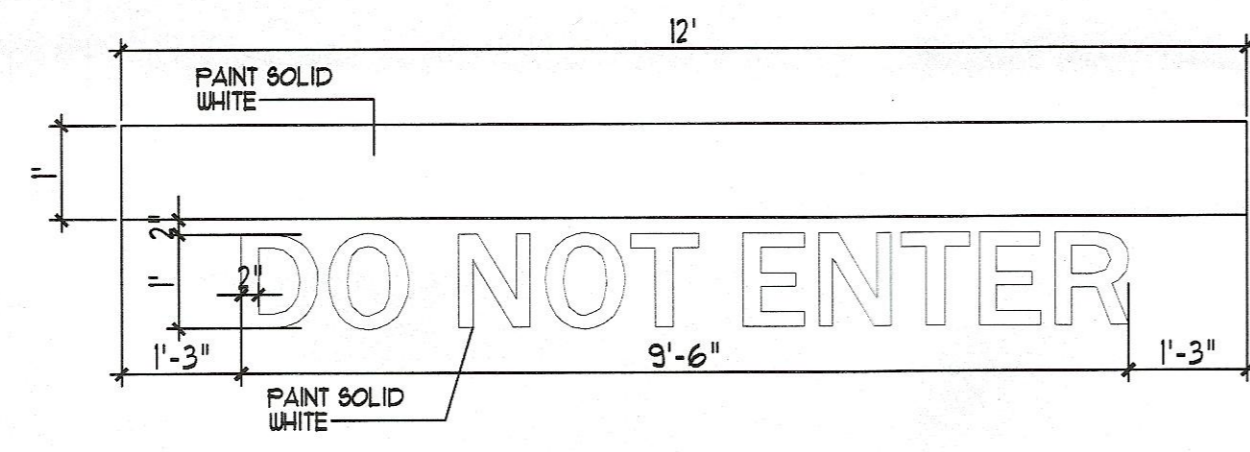
11 HC SIGNAGE
NTS



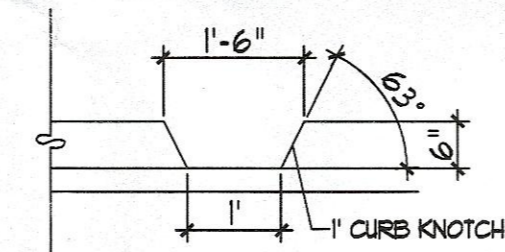
10 BENCH DETAIL
NTS



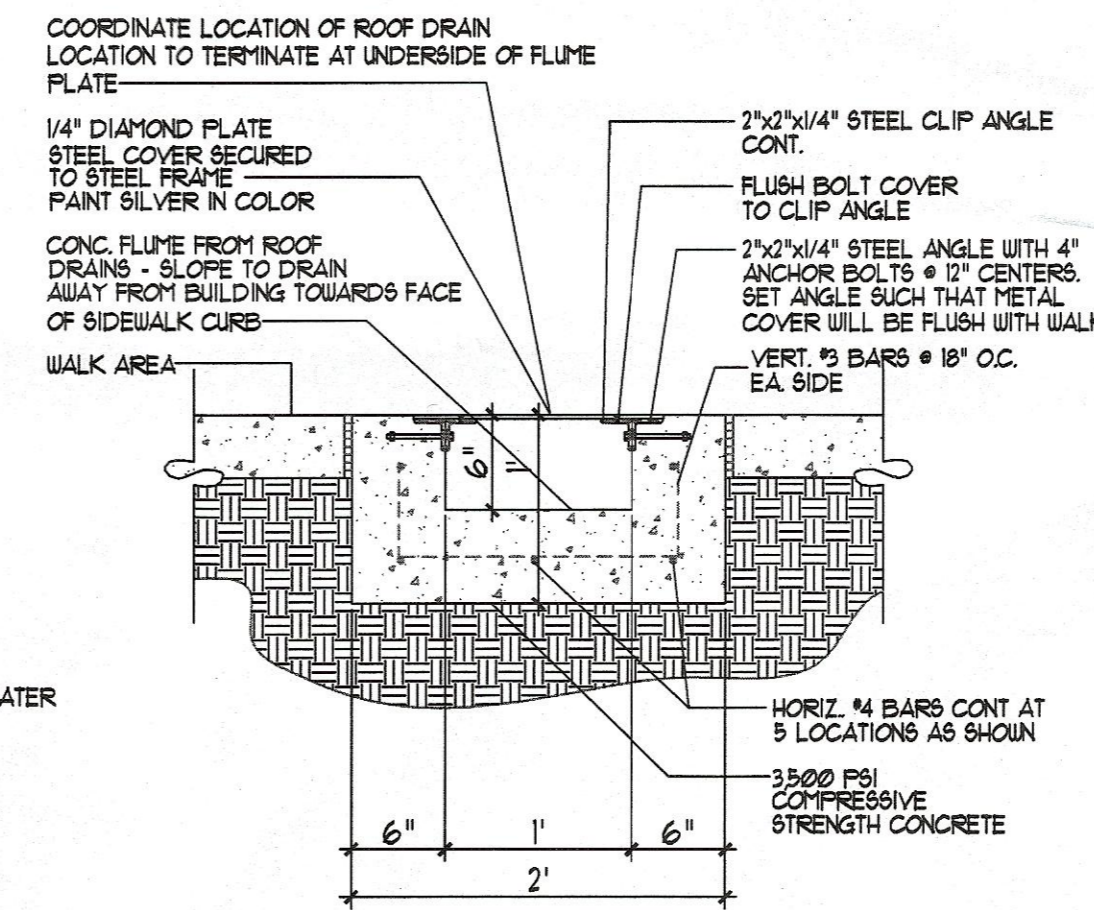
9 HC PARKING-WALK PAINT DETAIL
NTS



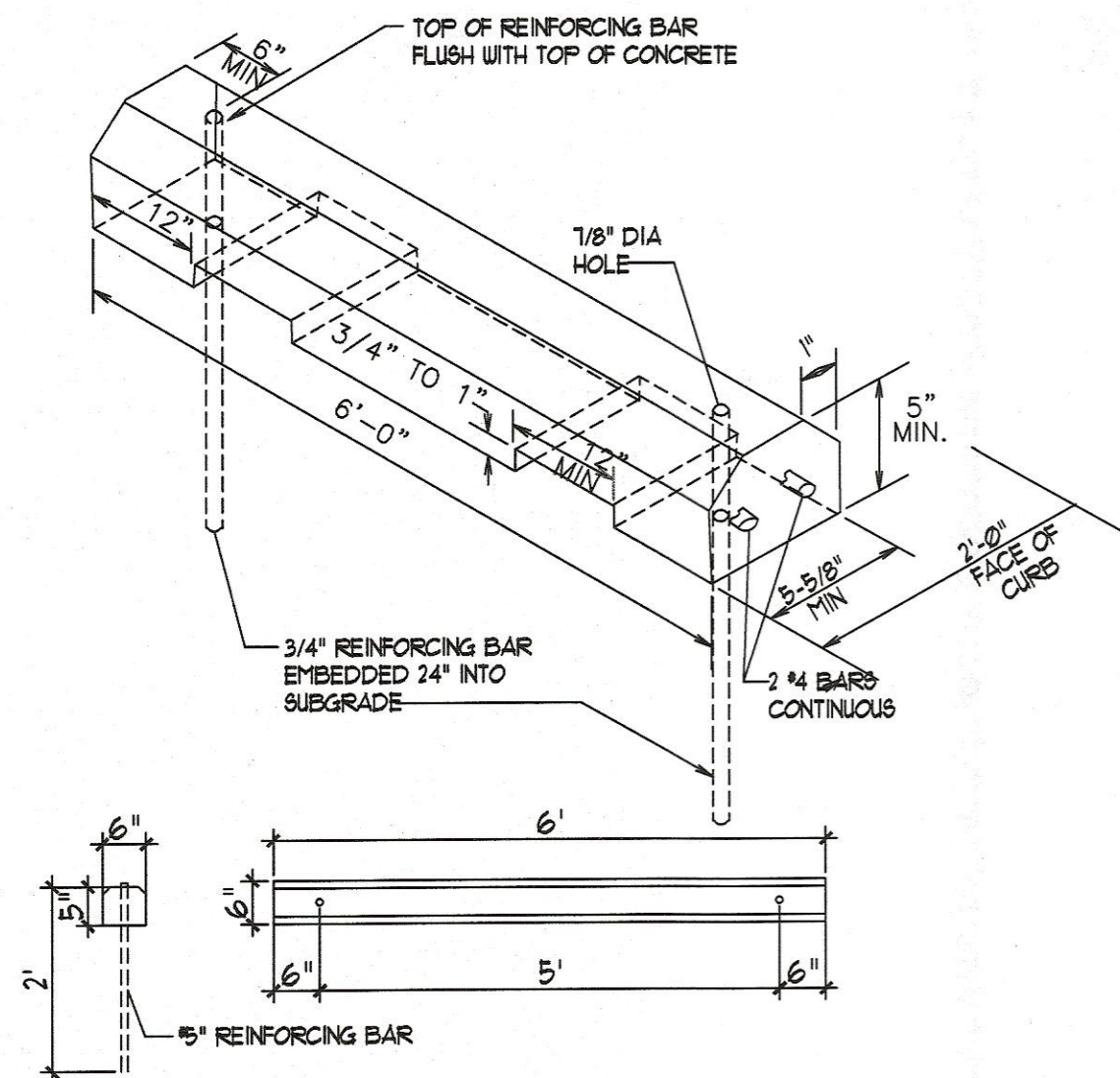
8 SITE DIRECTIONAL PAINT DETAIL
NTS



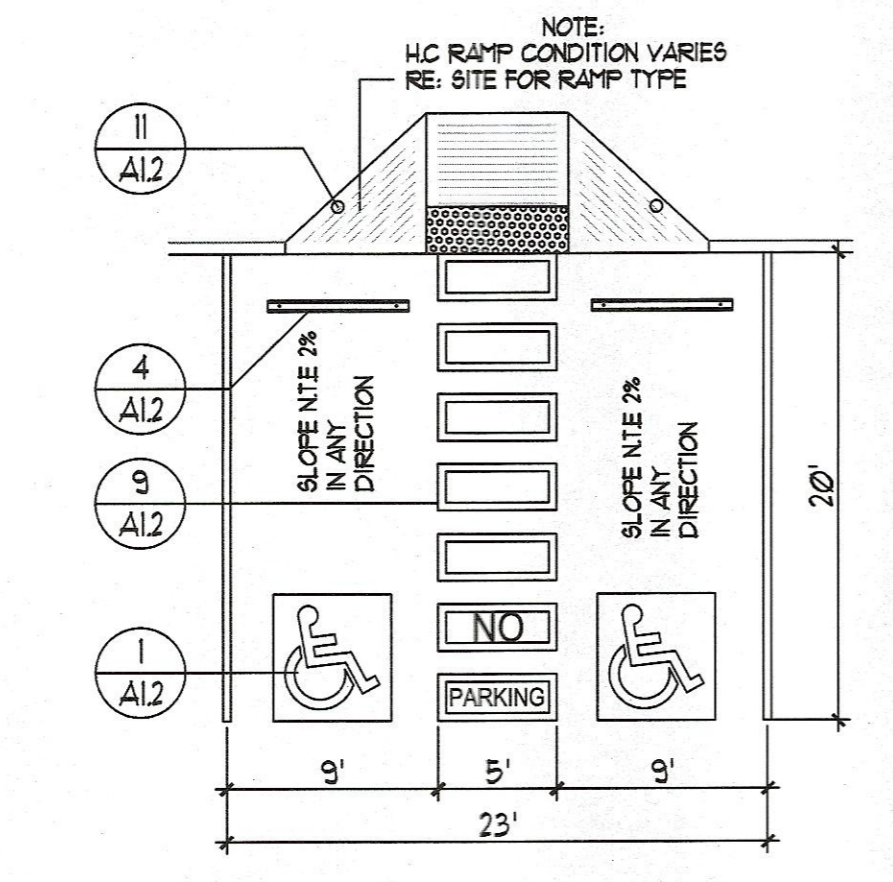
7 CURB NOTCH
NTS



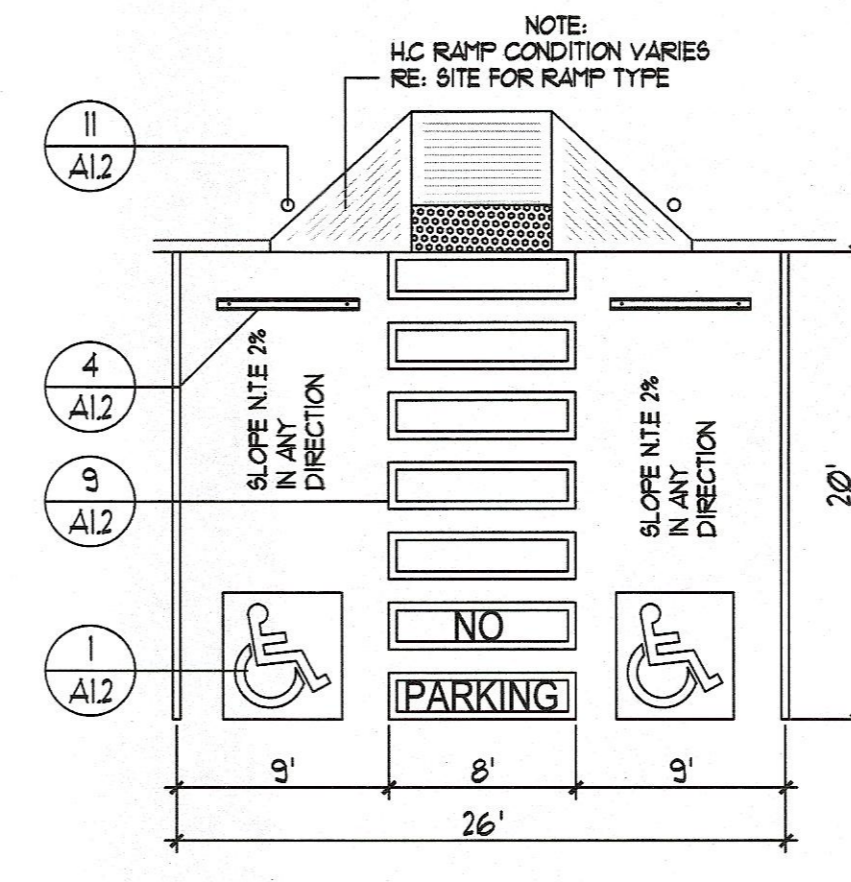
6 CONCRETE FLUME DETAIL
NTS



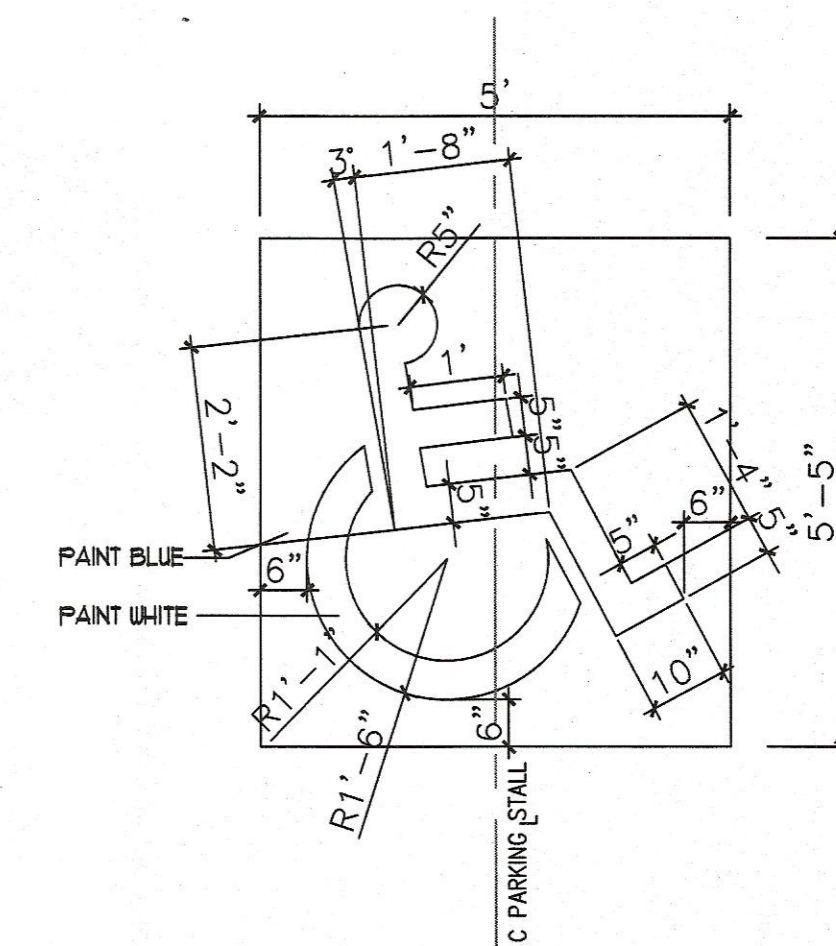
4 WHEEL STOP
NTS



3 HC PARKING PLAN DETAIL
NTS



2 HC PARKING PLAN DETAIL (VAN ACCESSIBLE)
NTS



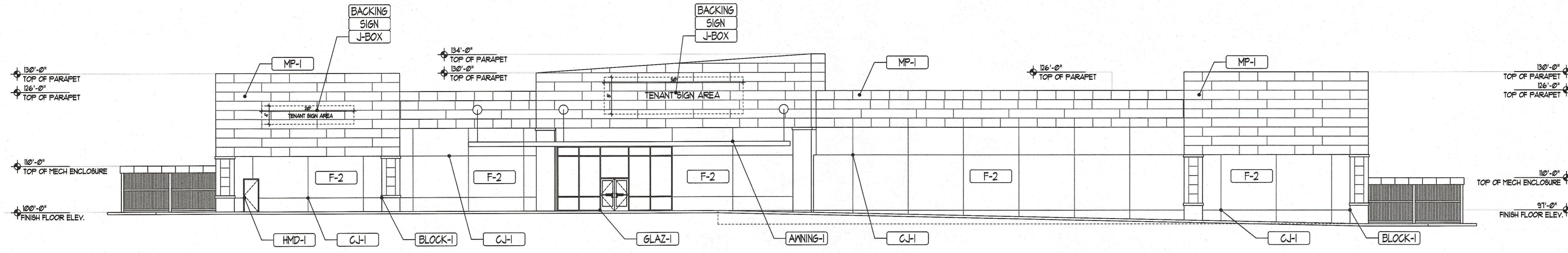
1 HC SIGNAGE
NTS

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

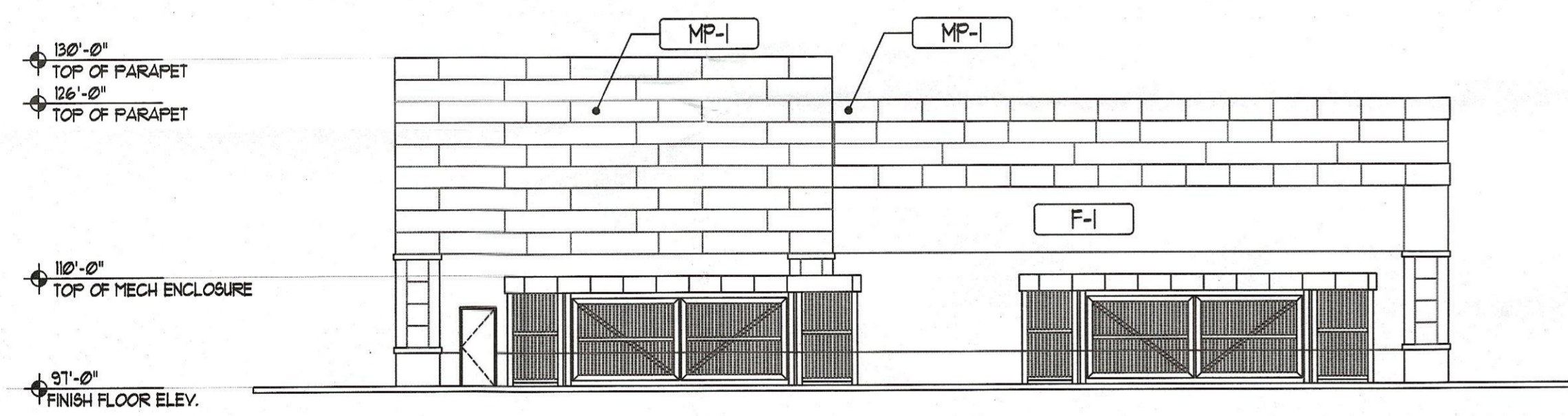
MODULUS ARCHITECTS
100 SUN AVE. N.W. SUITE 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498



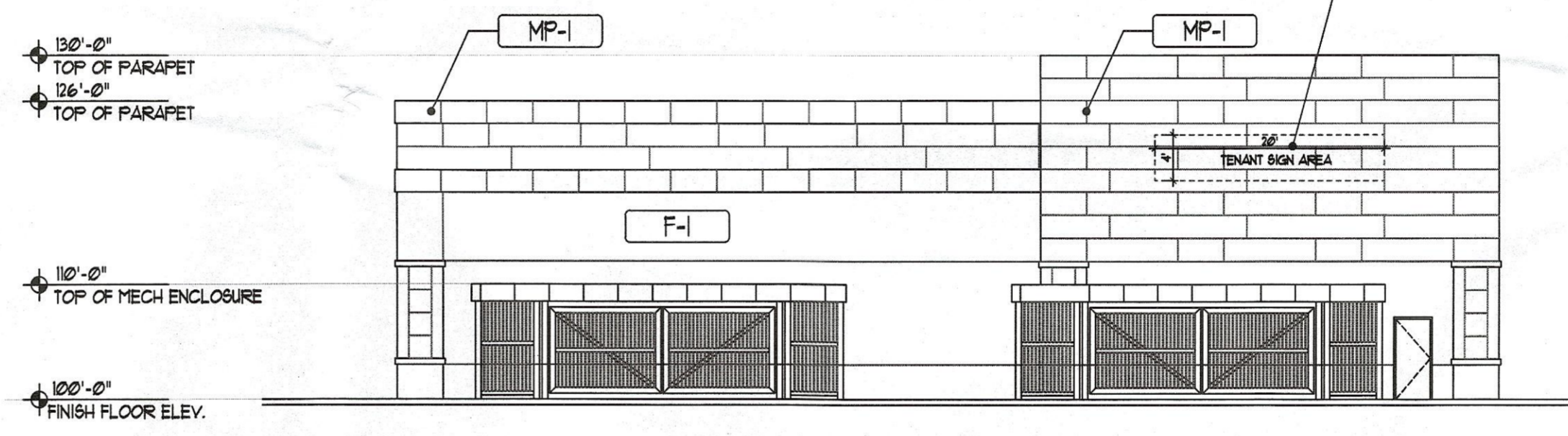
PROJECT TITLE	COOL SPRINGZ SAN MATEO BLVD NE ALBUQUERQUE
PROJECT MANAGER	STEPHEN DINBAR, AIA
JOB NO.	COOL-SPRINGZ
DRAWN BY:	S-MAN
SHEET TITLE	SITE DETAILS
DATE:	4/13/2011
SCALE:	AS SHOWN
REBAR SCALE	A12



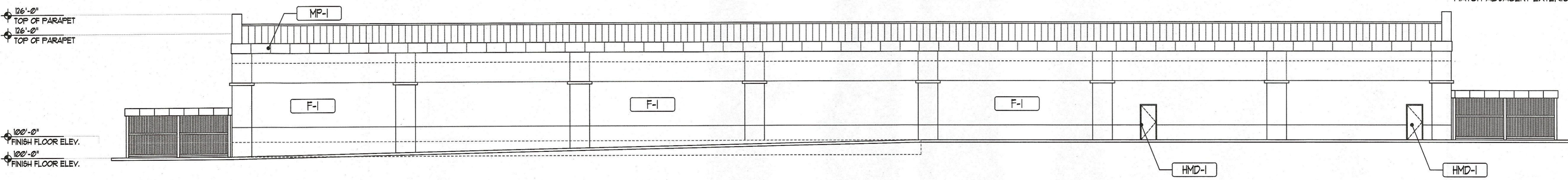
1 NORTHERN ELEVATION
3/32" = 1'



2 EASTERN ELEVATION
3/32" = 1'



3 WESTERN ELEVATION
3/32" = 1'



4 SOUTHERN ELEVATION
3/32" = 1'

EXTERIOR MATERIALS	
CURB-1	6" X 6" CONC. CURB
F-1	EXTERIOR STUCCO SYSTEM (2 COAT STO OR EQUAL) COLOR = LIGHT TAN
F-2	EXTERIOR STUCCO SYSTEM (2 COAT STO OR EQUAL) COLOR = LIGHT BLUE
COPING-1	KYNAR 500 PREFINISHED 24 GA. METAL COPING COLOR = MATCH ADJACENT STUCCO COLOR
PAINT-1	EXTERIOR PAINT/DECORATIVE ELEMENTS/AWNING STEEL/STAIRS AND RAILINGS) COLOR = FLAT BLACK
AWNING-1	EXTERIOR STEEL AWNING
GLAZ-1	ALUMINUM STOREFRONT SYSTEM, SILVER KAWNEER TRI-FAB 451T THERMALLY BROKEN SILVER ANNO. W/ 1" INSULATED LOW "E" GLAZING UNITS
SIGN-1	INDIVIDUAL LETTER SIGNAGE W/ INTERNAL ILLUMINATION PROVIDE 5/8" FIRE RETARDANT FLY. BACKING AT SIGN AREA
BACKING	5/8" FIRE RETARDANT TREATED PLYWOOD SIGN BACKING SUBSTRATE LOCATION
J-BOX	EXTERIOR SURFACE MOUNT "J" BOX LOCATION AS INDICATED PROVIDE TYP. COVER PLATE. ROUTE 1-1/2" CONDUIT FROM J-BOX LOCATION TO TENANT'S PANEL LOCATION
LIGHT-1	EXTERIOR DECORATIVE WALL SCONCE LIGHT FIXTURE, RE: ELECTRICAL DRAWINGS FOR INFO
LIGHT-2	EXTERIOR WALL PACK LIGHT FIXTURE, RE: ELECTRICAL DRAWINGS FOR INFO
HMD-1	EXTERIOR HOLLOW METAL DOOR AND FRAME, COLOR: PAINT TO MATCH ADJACENT STUCCO
C-J-1	1/4" STUCCO CONTROL JOINT
MP-1	EXTERIOR METAL PANEL SYSTEM 24" PANEL WIDTH, COLOR: MULTI COLOR
MP-2	EXTERIOR METAL PANEL SYSTEM 3' PANEL WIDTH, COLOR: MULTI COLOR
BLOCK-1	EXTERIOR SPLIT FACED CMU WAINSCOT - PAINTED FINISH

NOTE: ALL EXTERIOR MOUNTED GEAR SHALL BE PAINTED TO MATCH ADJACENT EXTERIOR FINISH COLOR.

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

MODULUS ARCHITECTS
 100 SUN AVE. N.W. SUITE 305
 ALBUQUERQUE, NEW MEXICO 87109
 PHONE (505) 338-1499 FAX (505) 338-1498

PROJECT TITLE: COOL SPRINGZ
 SAN MATEO BLVD NW
 ALBUQUERQUE

JOB NO.: COOL SPRINGZ
 PROJECT MANAGER: AIA ALBUQUERQUE

DRAWN BY: S-MAN
 SHEET TITLE: EXTERIOR ELEVATIONS

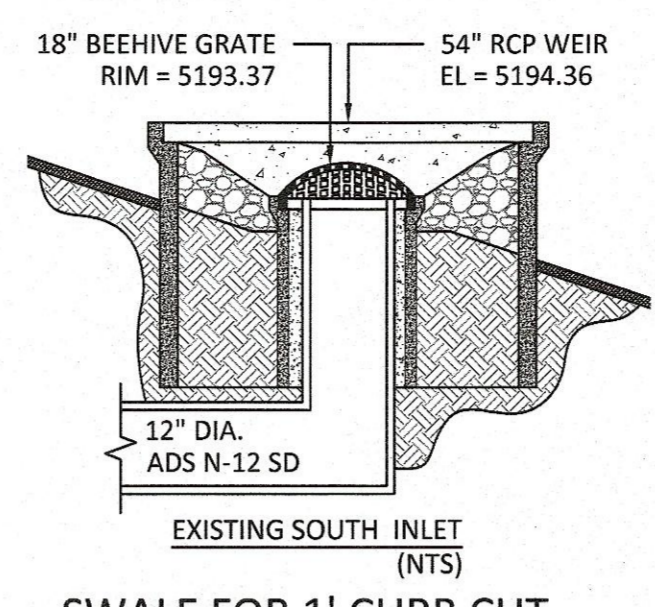
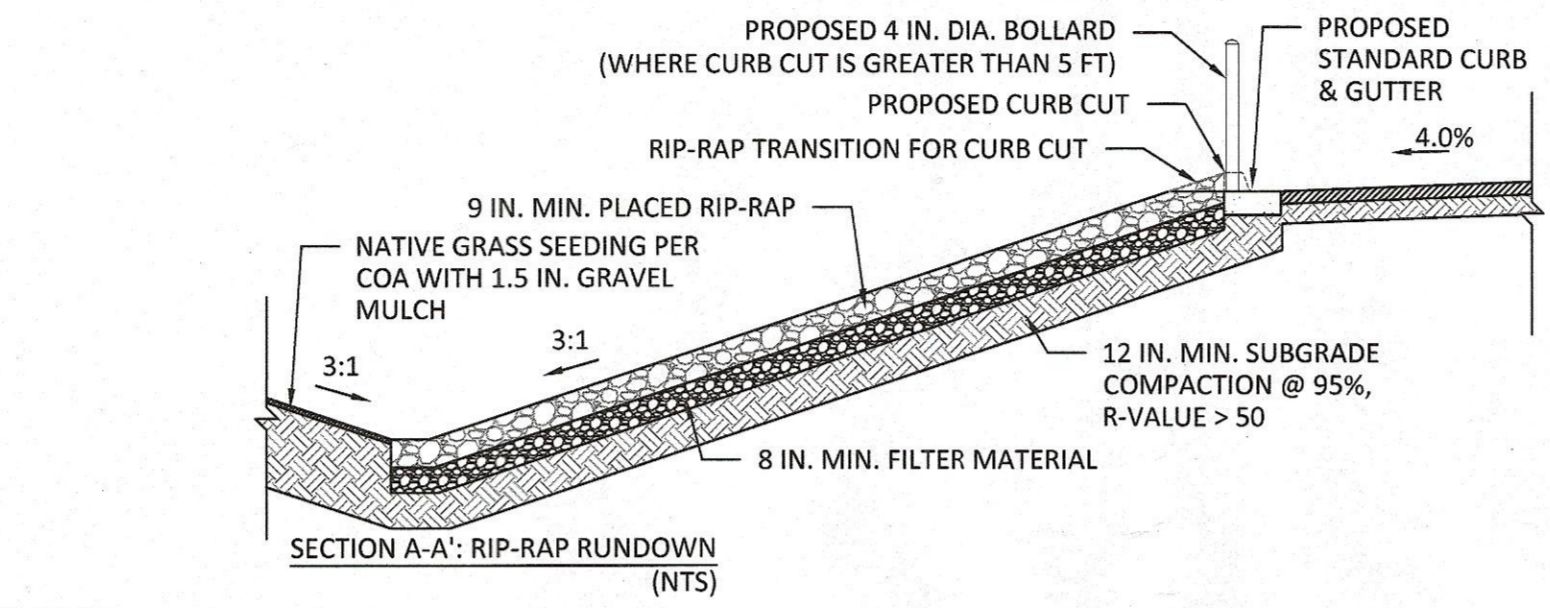
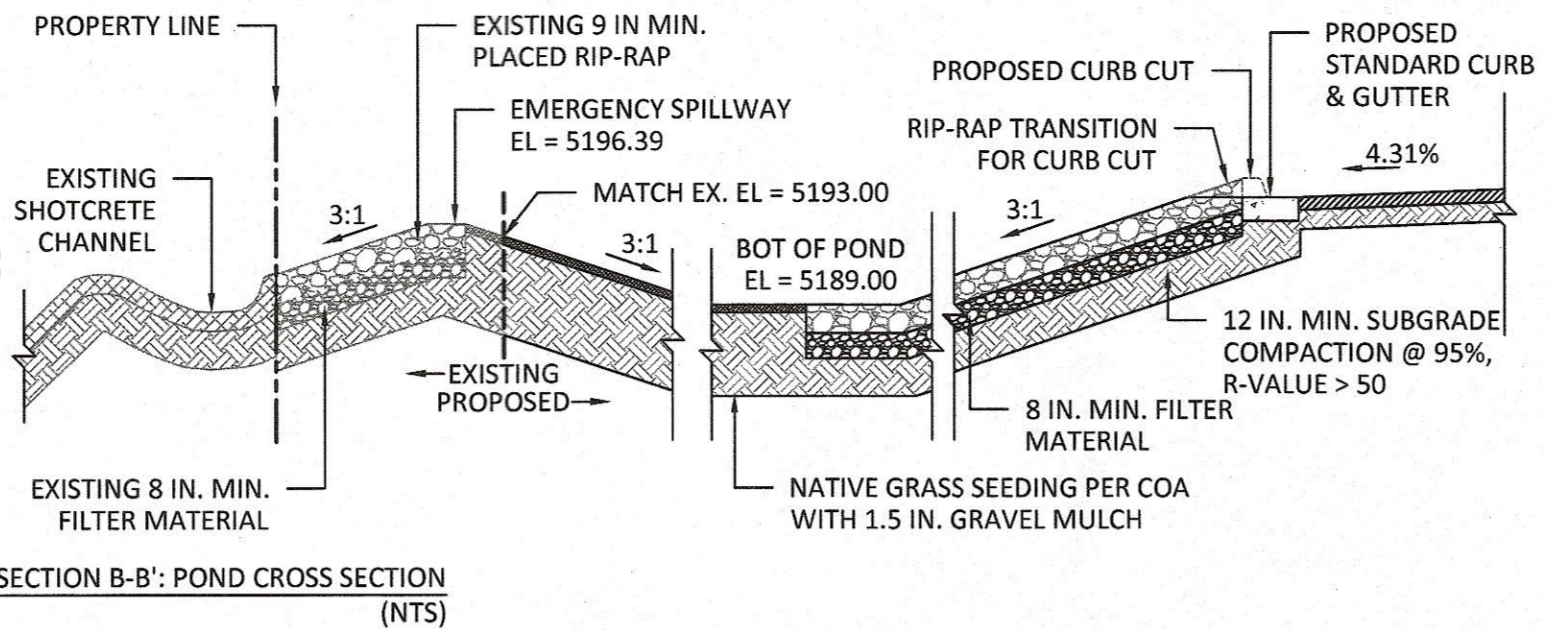
DATE: 4/14/2011
 SCALE: 3/32" = 1'-0"
 SHEET: A4.0

Capacity of Drive Aisle Swale (North of Building)

Triangular Channel Input	
Depth	0.45 ft
Slope	0.037 ft/ft
Manning's n	0.017
Base Width	0 ft
Right Side Slope	50:1
Left Side Slope	50:1
Output	
Flow	63.0 cfs
Flow Area	10.1 sf
Velocity	6.22 fps
Velocity Head	0.601 ft
Top Width	45.0 ft
Froude Number	2.31
Critical Depth	0.829 ft
Critical Slope	0.00619 ft/ft

Capacity of Drive Aisle Swale (South of Building)

Irregular Section Input	
WSElev	0.5 ft
Slope	0.0287 ft/ft
Sta	0 0.5 1 28
Elev	0 0.017 0
Output	
Flow	38.2 cfs
Flow Area	6.50 sf
Velocity	5.87 fps
Velocity Head	0.536 ft
Top Width	26.0 ft
Froude Number	2.07
Critical Depth	0.656 ft
Critical Slope	ft/ft



SWALE FOR 1' CURB CUT

Trapezoidal Channel Input	
Depth	0.5 ft
Slope	0.333 ft/ft
Manning's n	0.035
Base Width	1 ft
Right Side Slope	3:1
Left Side Slope	3:1
Output	
Flow	13.7 cfs
Flow Area	1.25 sf
Velocity	11.0 fps
Velocity Head	1.88 ft
Top Width	4.00 ft
Froude Number	3.46
Critical Depth	0.903 ft
Critical Slope	0.0235 ft/ft

SWALE FOR 10' CURB CUT

Trapezoidal Channel Input	
Depth	0.5 ft
Slope	0.333 ft/ft
Manning's n	0.035
Base Width	10 ft
Right Side Slope	3:1
Left Side Slope	3:1
Output	
Flow	81.1 cfs
Flow Area	5.75 sf
Velocity	14.1 fps
Velocity Head	3.09 ft
Top Width	13.0 ft
Froude Number	3.74
Critical Depth	1.127 ft
Critical Slope	0.0190 ft/ft

LEGEND

- PROPERTY LINE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED 6" C&G
- SUBBASIN BOUNDARY
- FLOW ARROW INTO POND
- PROPOSED FLOW LINE ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED TOP OF ASPHALT ELEVATION
- EXISTING ELEVATION
- PROPOSED BUILDING ELEVATION
- FLOW ARROW AND SLOPE

GENERAL NOTES:

- THE POND IS SUBJECT TO THE EXISTING PRIVATE RECIPROCAL BLANKET DRAINAGE EASEMENT GRANTED TO AND MAINTAINED BY TRACTS A, B AND C AS SHOWN AND DESIGNATED ON THE PLAT OF TRACTS A, B & C SANDIA ADDITION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 9, 2010 IN BOOK 2101C, PAGE 0080 AS DOCUMENT NO. 2010068217.
- 15' PRIVATE DRAINAGE EASEMENT GRANTED WITH THE FILING OF PLAT OF TRACTS B-1 & C-1 SANDIA ADDITION TO REMAIN.

VICINITY MAP: F-17-Z

FIRM: FM35001C0139G

REVISION

NO.	DATE	BY	DESCRIPTION

DESIGNED: RLB
DRAWN: JAL
CHECKED: HFW
DATE: 05/11/2017

PROFESSIONAL ENGINEER

NEW MEXICO
16633
L. FLOYD
PROFESSIONAL ENGINEER

LEGAL DESCRIPTION:

TRACT C-1
SANDIA ADDITION
ALBUQUERQUE, BERNALILLO
COUNTY, NEW MEXICO

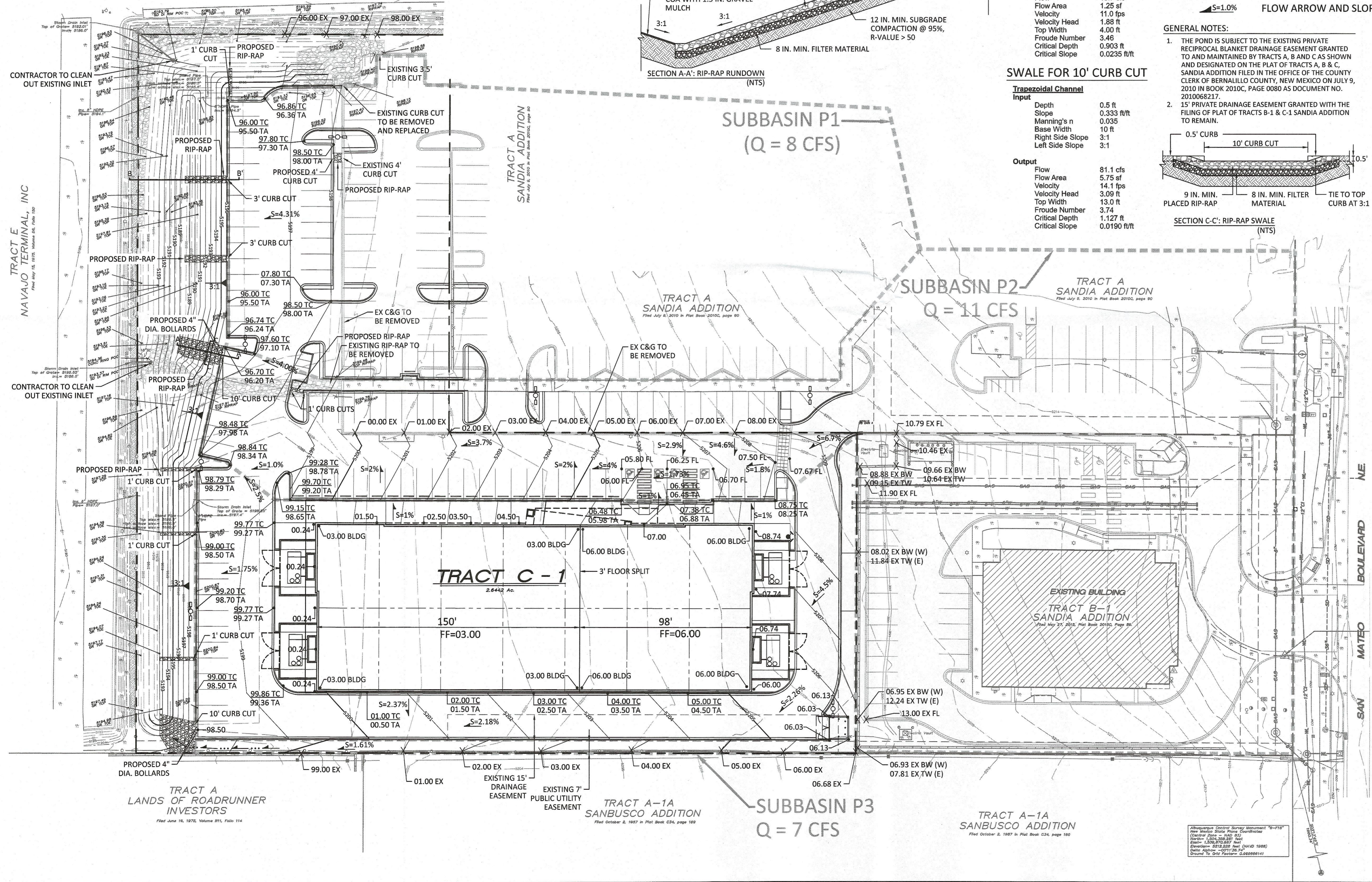
COOL SPRINGZ TRAMPOLINE PARK GRADING AND DRAINAGE PLAN

GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.

SHEET NUMBER:

C-1



Background
Tract C-1 contains approximately 2.64 acres within the Plat of Tracts B-1 & C-1, Sandia Addition (a replat of Tracts B & C Sandia Addition). This site is located west of San Mateo Blvd. north of McLeod Rd. and south of Lincoln Rd. The site slopes to the west at approximately 3%. Referencing the "Drainage Report for Tracts A, B-1, and C-1 Sandia Addition" completed by Floyd Development Services in July 2015 (F17D095B), the site receives offsite runoff from the developed sites (A and B-1) adjacent to the east. See the drainage report for additional background information.

Methodology
The referenced drainage report provides all analysis and calculations for the development of Tract C-1. The development criteria including land treatment types and impervious areas are followed to ensure the calculations from the drainage report are accurate with the proposed development of Tract C-1 and any required water quality volumes are identical or greater than the drainage report requirements.

Existing Conditions
The existing pond was designed to retain 3718 cubic feet for water quality treatment. Two outlets allow water to discharge downstream through 12-inch diameter pipes. The first flush volumes for Tract B-1 and C-1 (assumed proposed conditions) are held with the current ponds, and detention ponding is provided to limit the maximum discharge to 10 cfs. The assumed impervious area for Tract C-1 is 75%. Additional details for the tract can be seen in the drainage report. There is an emergency spillway that discharges into a soil cement channel in case storms greater than the 100-year occur.

Proposed Conditions
The proposed site follows the assumptions set up by the drainage report. 75% of the site is treatment type "D", and the remaining portions are proposed to be landscaped. This allows the existing pond to continue operating as intended without having to be adjusted. The proposed drainage concepts are outlined below:

Subbasin P1: Per the drainage report, this basin incorporates a portion of Tract A as well as approximately 0.47 acres of Tract C-1. This basin runs along the north section of the property to the existing sidewalk that runs east-west approximately at the center of the property. The developed peak flow generated by this basin is 8 cfs for the 100-year storm. This flow rate is rounded up to the nearest whole number to be conservative. The flows are conveyed mostly via sheet flow across the existing parking lot to the pond on the northwest side of the property. Several curb cuts are proposed to allow runoff to bypass the parking islands. See plan and curb cut calculations on this sheet for additional information.

Subbasin P2: This subbasin incorporates the offsite flow rates coming from the developed Tract B-1 and a portion of the developed Tract A. The 100-year flow rates generated by these tracts are 4.5 cfs and 3.9 cfs, respectively. In addition, Tract C-1 generates 2.1 cfs for this portion of the property. Adding the flow rates, a total of 11 cfs is generated from in this subbasin. The flows are conveyed through the access road on the north side of the proposed building. See the road capacity analysis on this sheet for additional information. These flows continue west and through the proposed curb cuts into the pond.

Subbasin P3: This basin includes the building roof drainage and the rest of the property south of the proposed access location. The subbasin area is approximately 1.3 acres. The 100-year flowrate generated by this subbasin is 7 cfs. The road south of the building is super-elevated and will convey flows through the southern gutter of the road, transporting water away from the building. Eight 1' curb cuts are proposed along the southern curb and gutter of this road to allow water to discharge into the proposed landscape swale that runs along the south property line adjacent to the existing wall. The swale has a capacity of 10.4 cfs. These calculations can be seen on this sheet. Additional curb cuts are proposed at the west end of this road to allow runoff to discharge into the pond. Should the curb cuts fail or exceed capacity, the runoff will be conveyed to the north along the curb and gutter into an additional 1' curb cut.

Pond: It is proposed to pull the existing pond's east-side slopes further east to abut the proposed curb for the parking lot. This makes the pond bottom wider. In addition, it is proposed to make the pond deeper for additional retention volume. The additional volume added by these modifications is approximately 0.515 acre-feet. Overall, the pond volume is proposed to increase from the existing 0.501 acre-feet as stated in the drainage report to 1.016 acre-feet.

The existing midway rundown with rip-rap that channels runoff into the pond is to be removed. Where there are any added curb cuts to convey runoff into the pond, 9" rip-rap over 8" filter material shall be provided.

Summary
The proposed Tract C-1 site improvements follow the drainage requirements set forth by the drainage report mentioned previously. No variance from the criteria is necessary. All grading and drainage improvements are shown to adequately convey the developed peak flows for the 100-year storm without adverse effects to existing infrastructure.

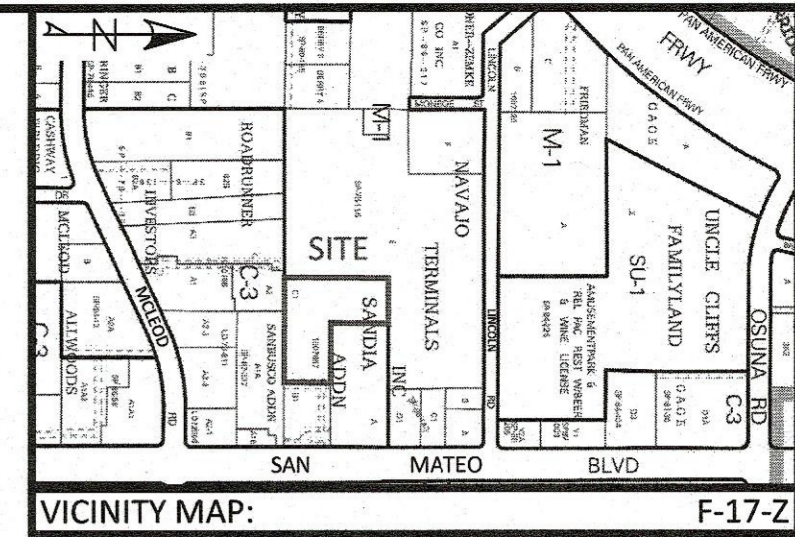
RIP-RAP NOTES:
RIP-RAP SHALL BE OVER 8" FILTER MATERIAL AND CONSIST OF 9" RIP-RAP AND CRUSHED ROCK MEETING THE FOLLOWING GRADATION OR ENGINEER-APPROVED EQUIVALENT.

MAX DIMENSION	% SMALLER
12"	100
9"	50-60
6"	35-45
10"	10

FILTER MATERIAL SHALL CONSIST OF CRUSHED BASALT ROCK MEETING THE FOLLOWING GRADATION OR ENGINEER-APPROVED EQUIVALENT.

U.S. STANDARD SIEVE SIZE	PASSING BY WEIGHT
1"	100
3"	45-65
#4	25-45
#10	0-20
#200	0-5

FILTER MATERIAL SHALL BE PLACED UNDER THE RIP-RAP CHANNEL AND COMPACTED INTO SURFACE VOIDS OF THE RIP-RAP. THE SUBGRADES SHALL BE PROCESSED TO A 12" MIN. DEPTH AND COMPACTED TO 95% MIN. RELATIVE DENSITY PER ASTM D 1557. THE FILTER MATERIAL SHALL BE TAMPED AND SHAPED TO FORM A SMOOTH, EVEN, AND FIRM FOUNDATION FOR THE OVERLAYING RIP-RAP. THE CONTRACTOR'S OPERATIONS AND METHODS OF PLACING SHALL PREVENT SEGREGATION OF THE MATERIALS. THE FILTER MATERIAL SHALL BE PLACED AND TAMPED IN THE VOIDS OF THE RIP-RAP.



REVISION	
DESIGNED	RLB
DRAWN	JS
CHECKED	HWF
DATE	5-11-17

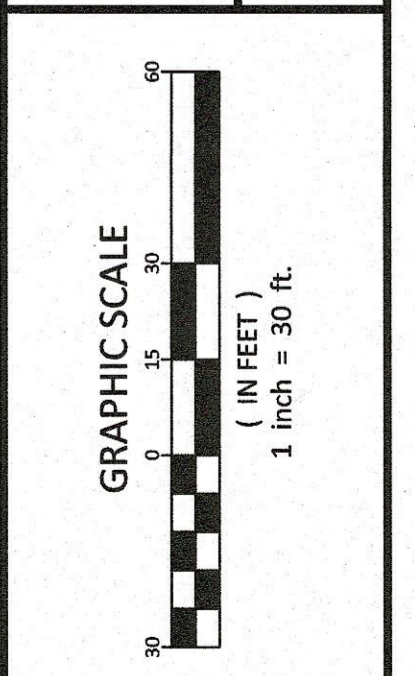
RESPEC
WATER & NATURAL RESOURCES

5971 JEFFERSON ST NE
SUITE 101
ALBUQUERQUE, NM 87109
PHONE: 505.566.4187



LEGAL DESCRIPTION:
TRACT C-1
SANDIA ADDITION
ALBUQUERQUE, BERNAILLO
COUNTY, NEW MEXICO

**COOL SPRINGZ
TRAMPOLINE PARK
UTILITY PLAN**

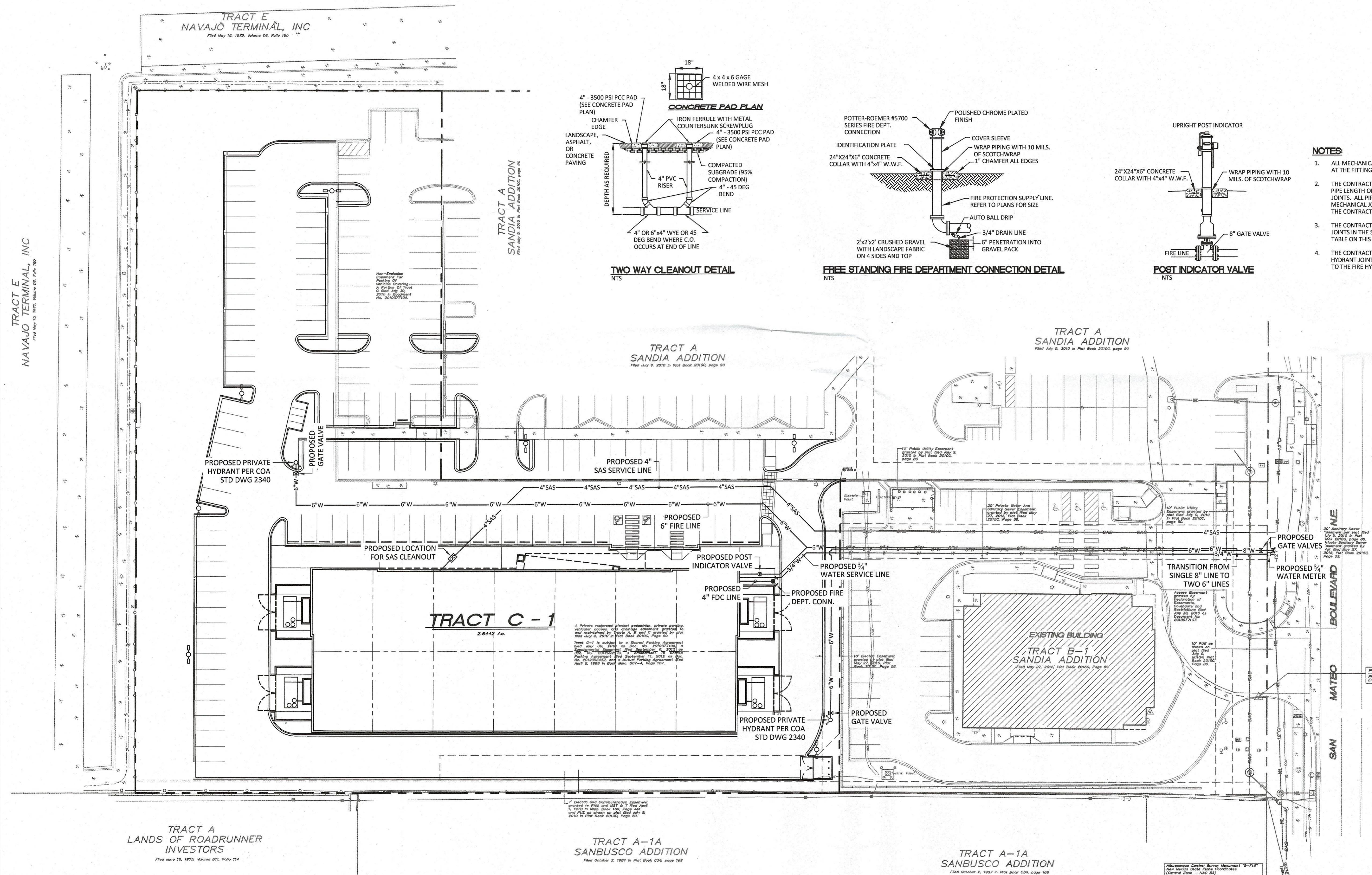
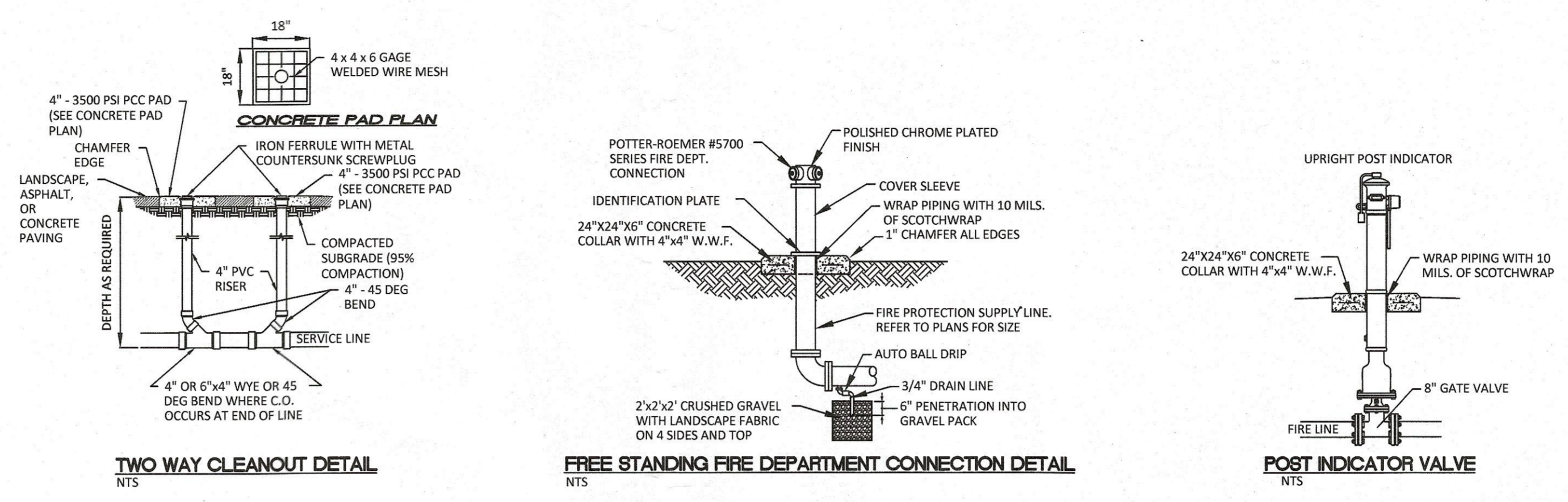


SHEET NUMBER:
C-2

FIRE ONE PLAN NOTES:

1. TYPE RPBA BACKFLOW PREVENTERS FOR THE DOMESTIC WATER AND FIRE LINES SHALL BE PROVIDED INTERNAL TO THE PROPOSED BUILDING PER COA STANDARD DWG 2358. THE BACKFLOW PREVENTERS SHALL BE THE SAME SIZE AS THE TAP/CONNECTION AT THE MAIN LINE.

- NOTES:**
1. ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTING.
 2. THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
 3. THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE TABLE ON THIS SHEET.
 4. THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.



TRACT E
NAVAJO TERMINAL, INC
Filed May 15, 1975, Volume 04, Page 150

TRACT E
NAVAJO TERMINAL, INC
Filed May 15, 1975, Volume 04, Page 150

TRACT A
SANDIA ADDITION
Filed July 8, 2010 in Plat Book 2010C, page 90

TRACT A
SANDIA ADDITION
Filed July 8, 2010 in Plat Book 2010C, page 90

TRACT A
SANDIA ADDITION
Filed July 8, 2010 in Plat Book 2010C, page 90

TRACT C-1
2.6442 Ac.

EXISTING BUILDING
TRACT B-1
SANDIA ADDITION
Filed May 25, 2015 in Plat Book 2015C, page 61

TRACT A
LANDS OF ROADRUNNER
INVESTORS
Filed June 15, 1975, Volume 01, Page 114

TRACT A-1A
SANBUSCO ADDITION
Filed October 2, 1987 in Plat Book C24, page 100

TRACT A-1A
SANBUSCO ADDITION
Filed October 2, 1987 in Plat Book C24, page 100

Approved by the City of Albuquerque
City Engineer
Date: 5/11/17
City Engineer: [Signature]

TRACT E
NAVAJO TERMINAL, INC
Filed May 15, 1915, Volume D6, Folio 150

TRACT E
NAVAJO TERMINAL, INC
Filed May 15, 1915, Volume D6, Folio 150

TRACT A
LANDS OF ROADRUNNER INVESTORS
Filed June 16, 1975, Volume B11, Folio 114

TRACT A
SANDIA ADDITION
Filed July 9, 2010
in Plat Book
2010C, page 30

TRACT A
SANDIA ADDITION
Filed July 9, 2010
in Plat Book
2010C, page 30

PROPOSED BLDG.
25,500 SF
TRACT C - 1
2.6442 Ac.

EXISTING BUILDING
TRACT B-1
SANDIA ADDITION
Filed May 27, 2015, Plat
Book 2015C, Page 59.

TRACT A-1A
SANBUSCO ADDITION
Filed October 2, 1981 in Plat Book C34, page 169

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1/2" GPH Drip Emitters and Shrubs to receive (2) 1/2" GPH Drip Emitters. Drip and Bubblers systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season. Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

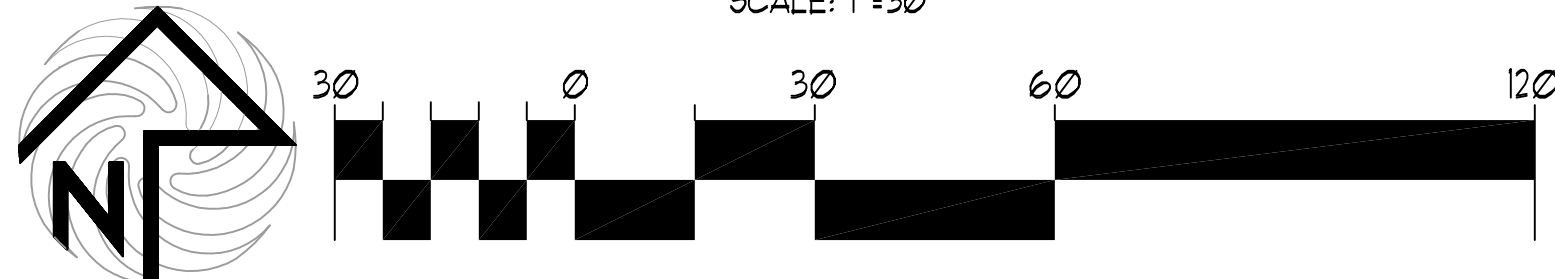
Irrigation maintenance shall be the responsibility of the Property Owner.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	18280
TOTAL BUILDING AREA (sf)	8099
TOTAL LOT AREA (sf)	10041
LANDSCAPE REQUIREMENT	1/4" 3"
TOTAL LANDSCAPE REQUIRED (sq ft)	5201
TOTAL ON-SITE LANDSCAPE PROVIDED	74900
TOTAL LIVE GRASSCOVER REQUIRED	4006
TOTAL LIVE GRASSCOVER PROVIDED	10325

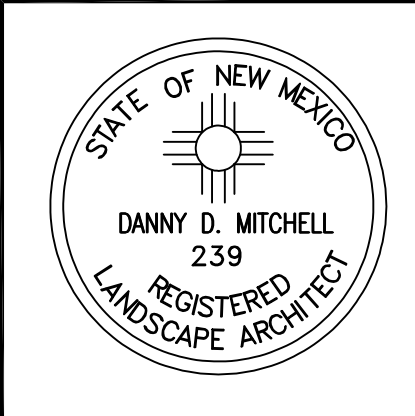
LANDSCAPE LEGEND

QTY	SIZE	COMMON/BOTANICAL	H2O USE
Trees			
13	2" cal	Chinese Pistache <i>Pistacia chinensis</i>	M+
6	2" cal	Honey Locust <i>Gleditsia triacanthos</i>	M
9	6-8'	Austrian Pine <i>Pinus nigra</i>	M
4	15 Gal	Crape Myrtle <i>Lagerstroemia indica</i>	M
4	4 - 6'	Palm Yucca <i>Yucca faxoniana</i>	M
16	15 Gal	Oklahoma Redbud <i>Cercis reniformis</i>	M
8	15 Gal	Desert Willow <i>Chilopsis linearis</i>	20x25 625 300 L
Shrubs & Groundcovers			
5	5 Gal	Spanish Broom <i>Caryopteris x clandonensis</i>	10x10 100 1100 M
18	5 Gal	India Hawthorne <i>Raphiolepis indica</i>	3x5 25 450 M
22	5 Gal	Feather Reed Grass <i>Calamagrostis arudinacea</i>	2.5x2 4 88 M
6	5 Gal	Cur-leaf Mountain Mahogany <i>Cercocarpus ledifolius</i>	15x15 225 1350 L+
6	5 Gal	Butterfly Bush <i>Buddleia davidii</i>	5x5 25 150 M
36	5 Gal	Buffalo Juniper <i>Juniperus sabina 'Buffalo'</i>	1x12 144 5184 M
23	5 Gal	Cherry Sage <i>Salvia greggii</i>	2x3 9 207 M
32	5 Gal	Blue Mist <i>Caryopteris x clandonensis</i>	3x3 9 288 M
31	5 Gal	Fern Bush <i>Chamaebatiaria millefolium</i>	5x6 36 1116 L
6	5 Gal	Apache Plume <i>Fallugia paradoxa</i>	6x1 49 294 L
2	5 Gal	Chamae <i>Chrysothamnus nauseosus</i>	49 98 L 10325
36	2-3cf	Boulders	To be placed at contractor discretion
24500		Landscape Gravel / Filter Fabric 3/4" Crushed Gray	
200		Oversize Cobble 2-4" Santa Ana Tan	



Landscape Plan
SCALE: 1"=30'

MODULUS ARCHITECTS
100 SUN AVE. N.W. SUITE 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE
COOL SPRING
SAN MATEO BLVD
ALBUQUERQUE, NEW MEXICO

JOB NO.
C-SPRING

PROJECT MANAGER
STEPHEN DUNBAR, AIA

DRAWN BY:
S

SHEET TITLE
Landscape Plan

DATE: XX/XX/XX
SCALE: 1"=30'
RE:SCALE

The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			