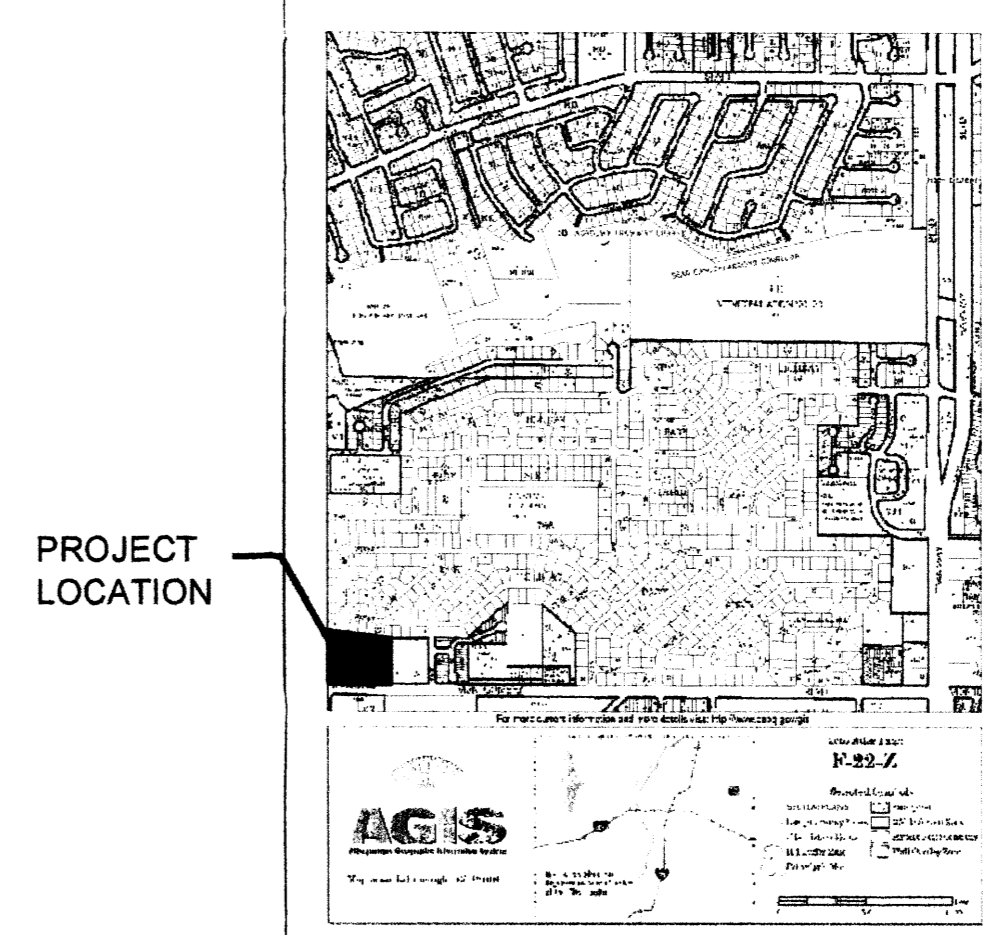
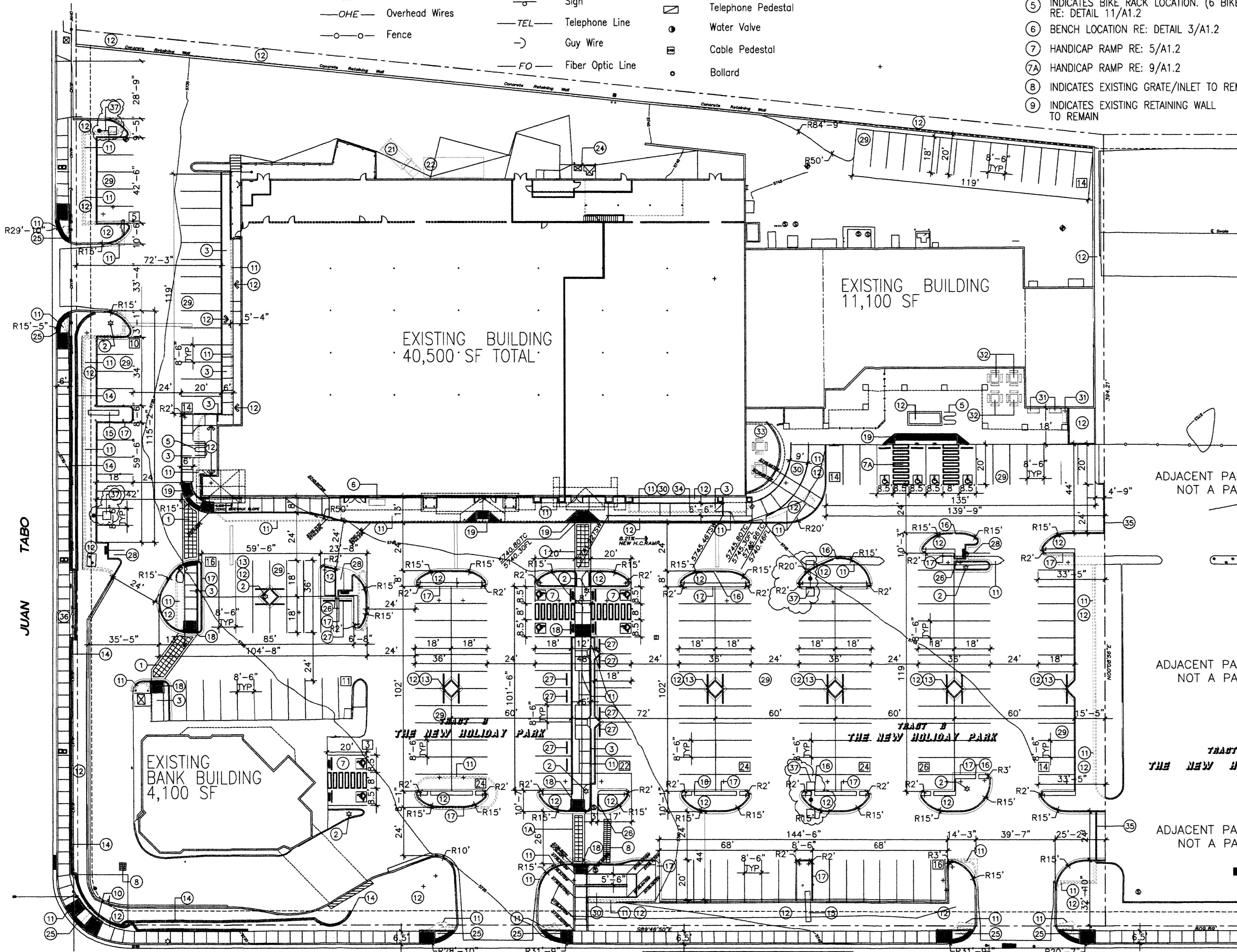


LEGEND

- | | | | | | | | |
|-------|------------------------|-------|------------------|------|-----------------------------------|---|---------------------------|
| ⊙ | Storm Drain Manhole | ⊙ | Gas Meter | ⊠ | Utility Box | — | Sign |
| ⊙ | Sanitary Sewer Manhole | —G— | Gas Line | —E— | Electric Line | — | Sanitary Sewer Cleanout |
| —SAS— | Sanitary Sewer Line | —W— | Water Line | —DU— | Dry Utilities (Cable, Tele., Gas) | — | Wall |
| —SD— | Storm Drain Line | ⊠ | Water Meter | ⊠ | Traffic Box | ⊙ | Light Pole |
| ⊠ | Storm Drain Inlet | ⊠ | Utility Pedestal | ⊠ | Utility Manhole | ⊠ | Traffic Signal Light Pole |
| ■ | Power Pole | — | Sign | ⊙ | Telephone Pedestal | ⊙ | Utility Valve |
| —OHE— | Overhead Wires | —TEL— | Telephone Line | ⊙ | Water Valve | | |
| — | Fence | — | Guy Wire | ⊠ | Cable Pedestal | | |
| | | —FO— | Fiber Optic Line | ⊙ | Ballard | | |

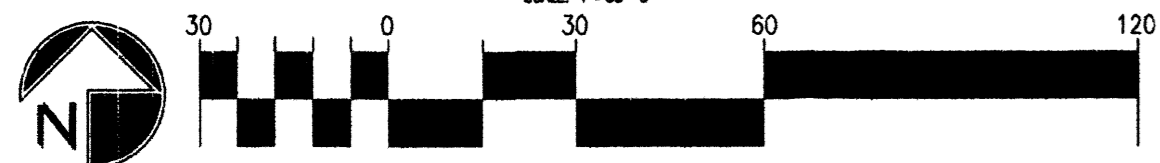
KEYED NOTE:

- ① 8" INTEGRALLY COLORED, AND TEXTURED CONC. PEDESTRIAN CROSSWALK RE: DETAIL 7/A1.1
- ② EXISTING LIGHT POLE LOCATION TO REMAIN
- ③ CONC. SIDEWALK RE: DET 11/A1.1 RE: SITE PLAN FOR JOINT LAYOUT
- ④ HANDICAP RAMP RE: 17/A1.1
- ⑤ INDICATES BIKE RACK LOCATION. (6 BIKE CAPACITY) RE: DETAIL 11/A1.2
- ⑥ BENCH LOCATION RE: DETAIL 3/A1.2
- ⑦ HANDICAP RAMP RE: 5/A1.2
- ⑧ HANDICAP RAMP RE: 9/A1.2
- ⑨ INDICATES EXISTING GRATE/INLET TO REMAIN
- ⑩ INDICATES EXISTING FIRE HYDRANT LOCATION
- ⑪ INDICATES EXISTING SITE IMPROVEMENT ELEMENT TO BE REMOVED/REPLACED AS INDICATED OR SHOWN NOTE: G.C SHALL OBTAIN REQUIRED OFFSITE PERMITS/BARRICADING/ ETC. PRIOR TO COMMENCEMENT OF ANY OFFSITE IMPROVEMENT WORK
- ⑫ LANDSCAPE AREA. G.C TO COORDINATE AND PROVIDE SLEEVING AS REQUIRED FOR LANDSCAPE IRRIGATION INSTALL RE: LANDSCAPE PLAN FOR PLANTING INFO
- ⑬ INDICATES 6' X 6' LANDSCAPE PLANTER AREA RE: 13/A1.1 G.C TO PROVIDE REQ. SLEEVING FOR EA. WELL LOCATION
- ⑭ INDICATES EXISTING RETAINING STRUCTURE TO REMAIN
- ⑮ INDICATES EXISTING SIGN TO REMAIN
- ⑯ INDICATES 1'-6" WIDE KNOTCH WITHIN NEW CURBING TO ACCEPT SURFACE FLOWS FROM ADJACENT PARKING LOCATION. NOTE: LANDSCAPED BED AREA W/ KNOTCH TO BE 2" BELOW BOTTOM OF KNOTCH ELEVATION TO ENSURE PROPER FLOW INTO BED AREA
- ⑰ END ISLAND RE: 4/A1.1
- ⑱ RAMP RE: 16/A1.1
- ⑲ RAMP RE: 15/A1.1
- ⑳ NOT USED
- ㉑ REFUSE ENCLOSURE BY OTHERS(RE: SUNFLOWER TENANT PLANS FOR INFO)
- ㉒ REFRIGERATION ENCLOSURE BY OTHERS (RE: SUNFLOWER TENANT PLANS FOR INFO)
- ㉓ NOT USED
- ㉔ PROPOSED TRANSFORMER LOCATION RE: ELEC PLANS FOR INFO
- ㉕ HANDICAP RAMP PER COA STD DWG #2426 W/ 1:12 MAX SLOPE NOTE: RAMP TO BE INSTALLED W/ TRUNCATED DOME STRIP AS REQUIRED UNDER CURRENT ACCESIBILITY STANDARDS
- ㉖ INDICATES 1'-0" WIDE (OR AS DIMENSIONED WITHIN SITE PLAN) KNOTCH WITHIN NEW CURBING TO MAINTAIN SURFACE FLOW ACROSS NEW PARKING ISLAND LOCATION.
- ㉗ WHEELSTOP RE: DET 8/A1.2
- ㉘ INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION RE: SITE PLAN FOR LOCATIONS. RE: DET. 7/A1.2 FOR SIGNAGE REQ.
- ㉙ PAINTED STRIPPING/SIGNING AS INDICATED WITHIN SITEPLAN
- ㉚ H.C RAMP AND RAILING RE: SITEPLAN FOR RAMP LOCATION
- ㉛ EXISTING BENCH LOCATION TO REMAIN
- ㉜ EXISTING FIXED OUTDOOR SEATING LOCATION TO REMAIN
- ㉝ EXISTING OUTDOOR PATIO TO REMAIN
- ㉞ RE: DETAIL 1-2/A1.3 FOR ENLARGED RAMP RAIL ELEVATION/PLAN
- ㉟ INDICATES 6" TEMPORARY ASPALT HEADER CURB
- ㊱ PROPOSED FUTURE OUTDOOR BUS STOP LOCATION
- ㊲ PROPOSED NEW LIGHT POLE LOC. RE: FOR DET. INFO



VICINITY MAP
TRACT B
THE NEW HOLIDAY PARK
filed January 15, 1970 in Volume D4, Folio 57

SITE PLAN FOR BUILDING PERMIT



PROJECT NUMBER: _____
APPLICATION NUMBER: _____

Is an Infrastructure List required? () YES () NO. If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date
DRB ARCHITECT ENGINEER	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

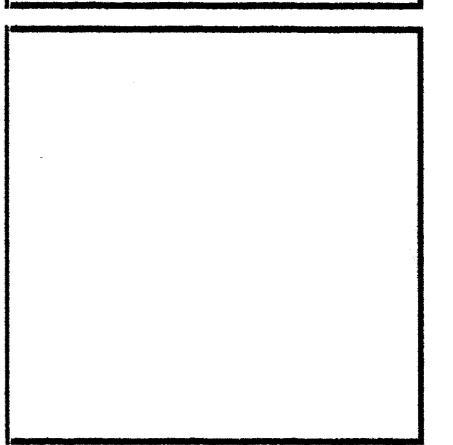
* Environmental Health, if necessary

0-15,000 SF RETAIL/ 200 = 75 CARS
35,706 SF RETAIL/ 250 = 143 CARS
4,949 SF FOOD (133 SEATS/ 4 = 33 CARS)
TOTAL REQUIRED= 251 CARS
10% TRANSIT CREDIT = -25 CARS
TOTAL REQUIRED W/ CREDIT= 226 CARS

SITE DATA TABLE	
LEGAL DESCRIPTION	RE: DESCRIPTION ABOVE
TOTAL ACREAGE:	216,132 SF OR 4.96 Acres±
EXISTING ZONING:	SU-1 /C-1 USES AND GROCERY W/ FULL LIQUOR OFF PREMISES
BUILDING SIZE:	55,700 SF TOTAL
FAR:	EXISTING FAR= 26%
EXISTING USES:	BANK/RETAIL/FOOD USES
TOTAL PARKING PROVIDED:	237 SPACES
TOTAL PARKING REQ (INCLUDING EMPLOYEE):	226 SPACES
HC PROVIDED:	10 H.C (INCLUDING 10 VAN ACCESSIBLE)
HC REQUIRED:	8 H.C SPACES
BIKE SPACES PROVIDED:	10 BIKE SPACES
BIKE SPACES REQUIRED:	10 BIKE SPACES
MOTORCYCLE SPACES PROVIDED:	6 SPACES
MOTORCYCLE SPACES REQUIRED:	5 SPACES

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			

MODULUS ARCHITECTS
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 338-1499 FAX (505) 338-1498
TOLL FREE 1-866-224-2161



PROJECT TITLE: SUNFLOWER-HEIGHTS PLAZA
N.E.C OF JUAN TABO AND MONTGOMERY ALBUQUERQUE, NEW MEXICO

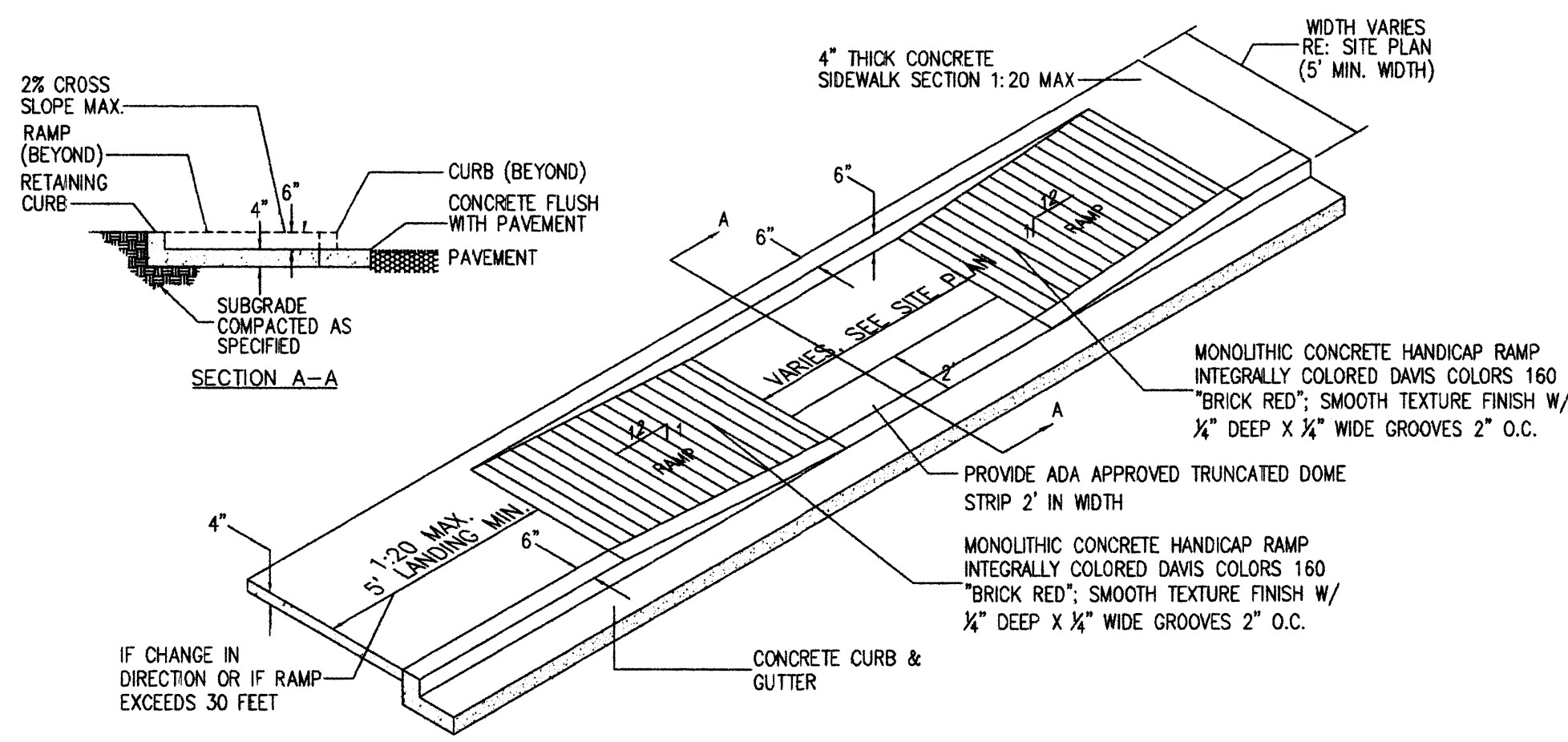
PROJECT NUMBER: _____
JOB NO.: _____
DRAWN BY: _____
STEPHEN DUNBAR, AIA
SUNFLOWER

SHEET TITLE: SITE PLAN-BUILDING PERMIT

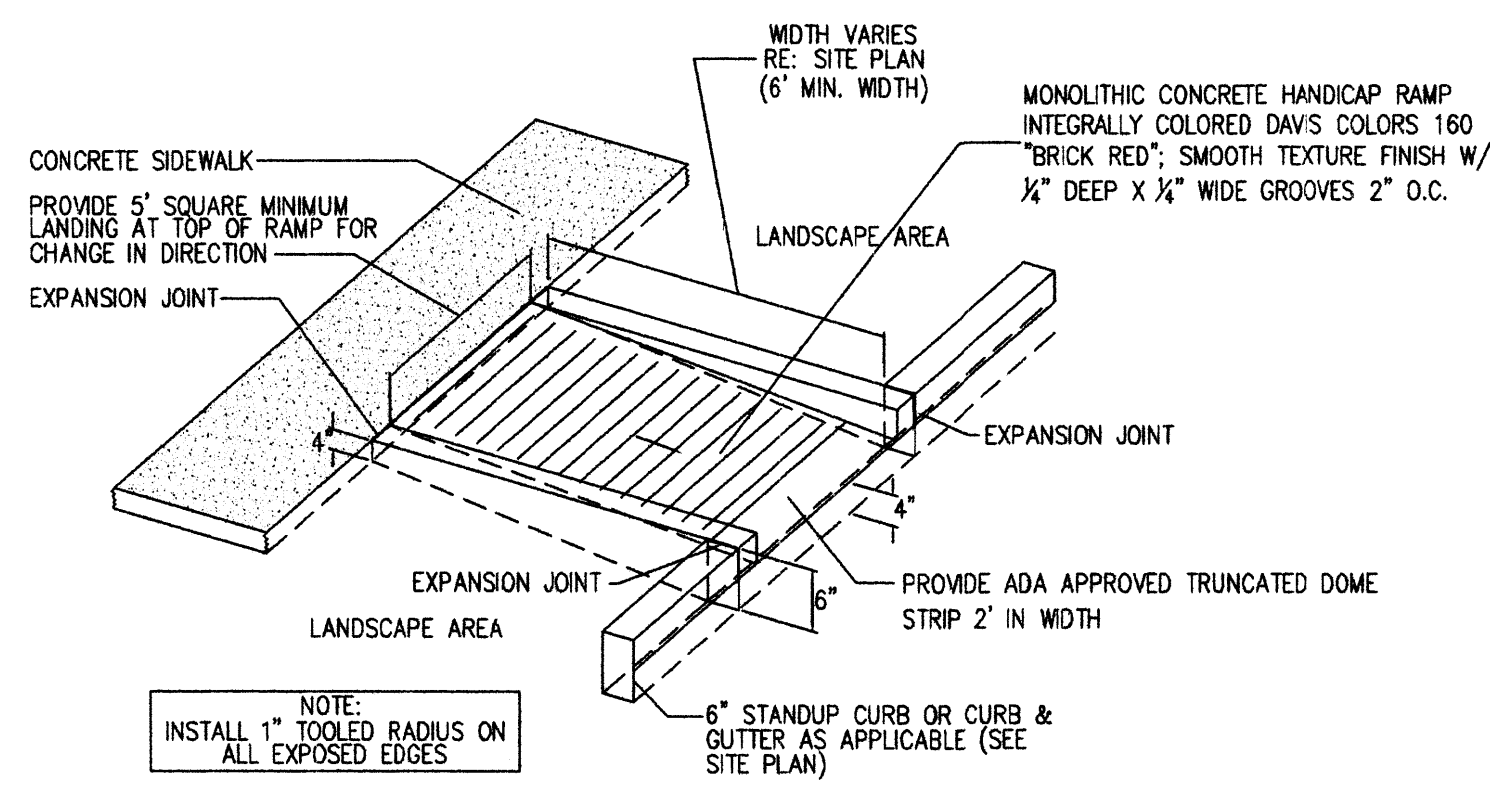
DATE: _____ sheet: _____

SCALE: AS NOTED

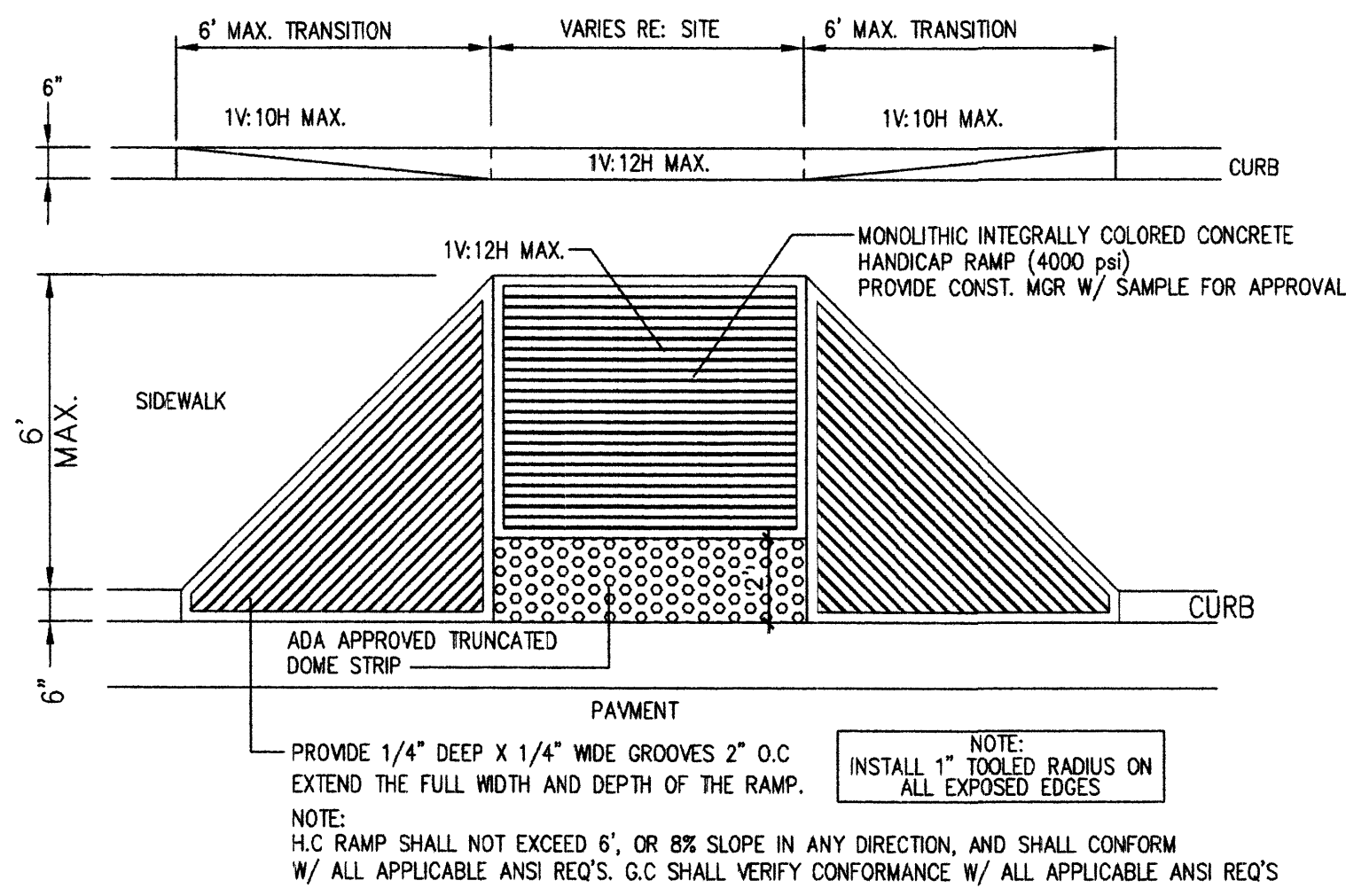
A1.0



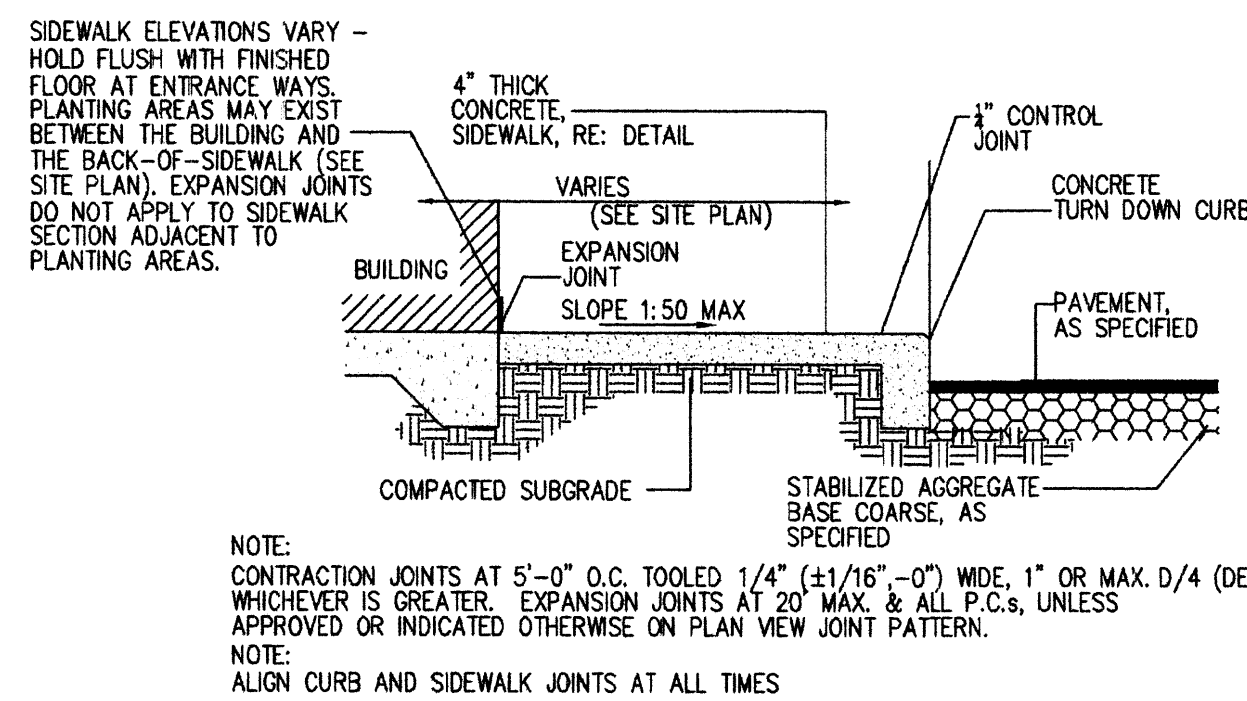
17 TAPERED H.C RAMP
Scale: N.T.S.



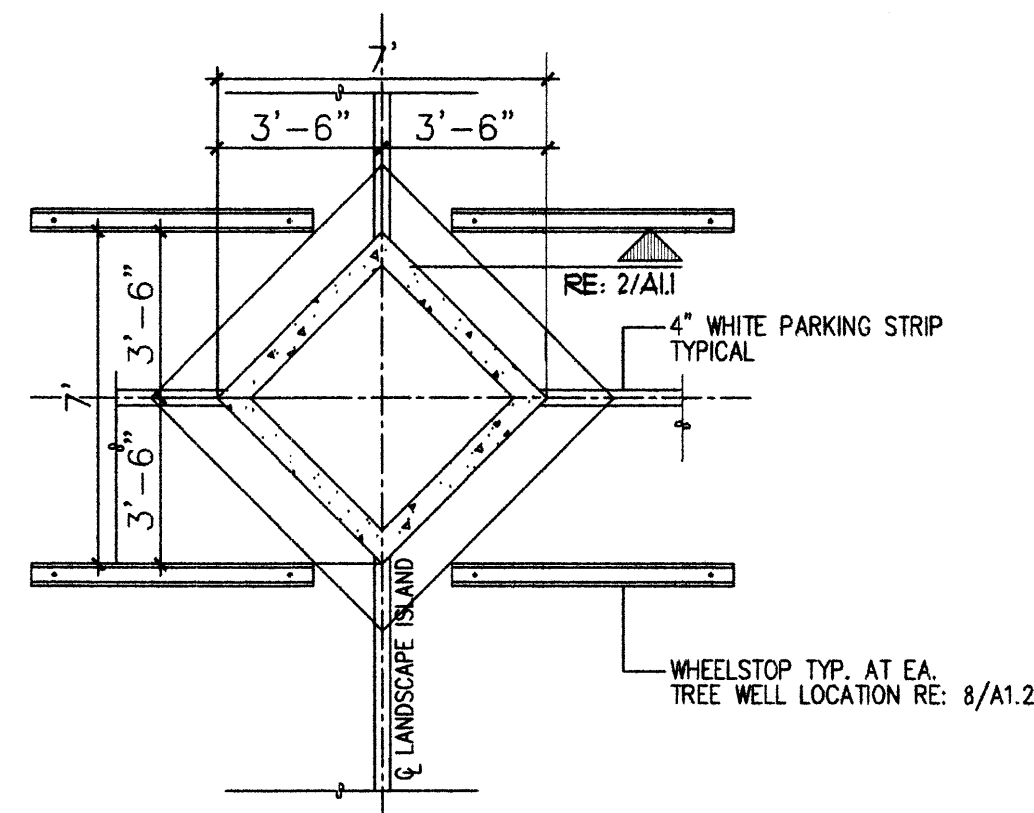
16 CURBED H.C RAMP
Scale: N.T.S.



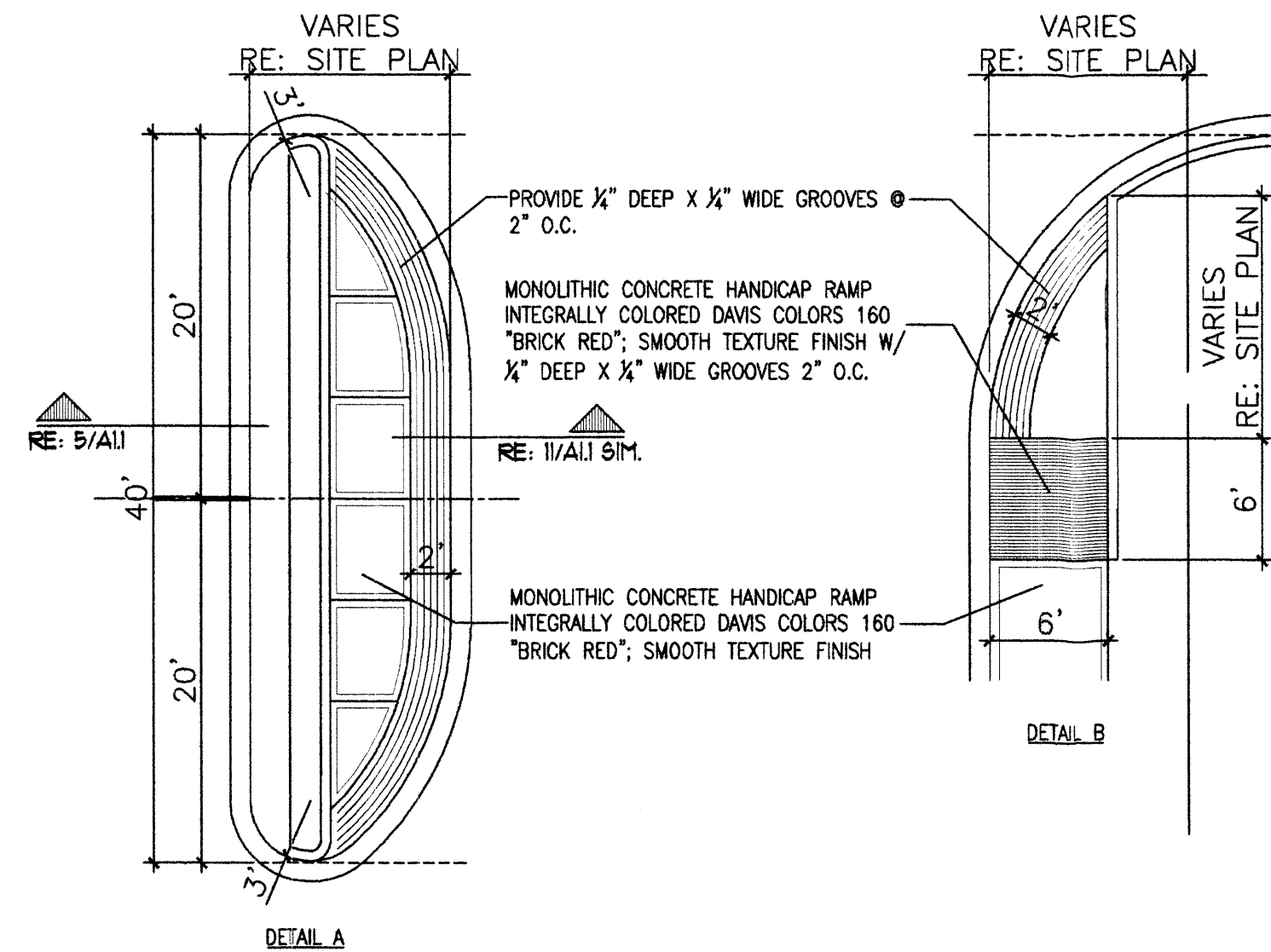
15 FLARED H.C RAMP
Scale: N.T.S.



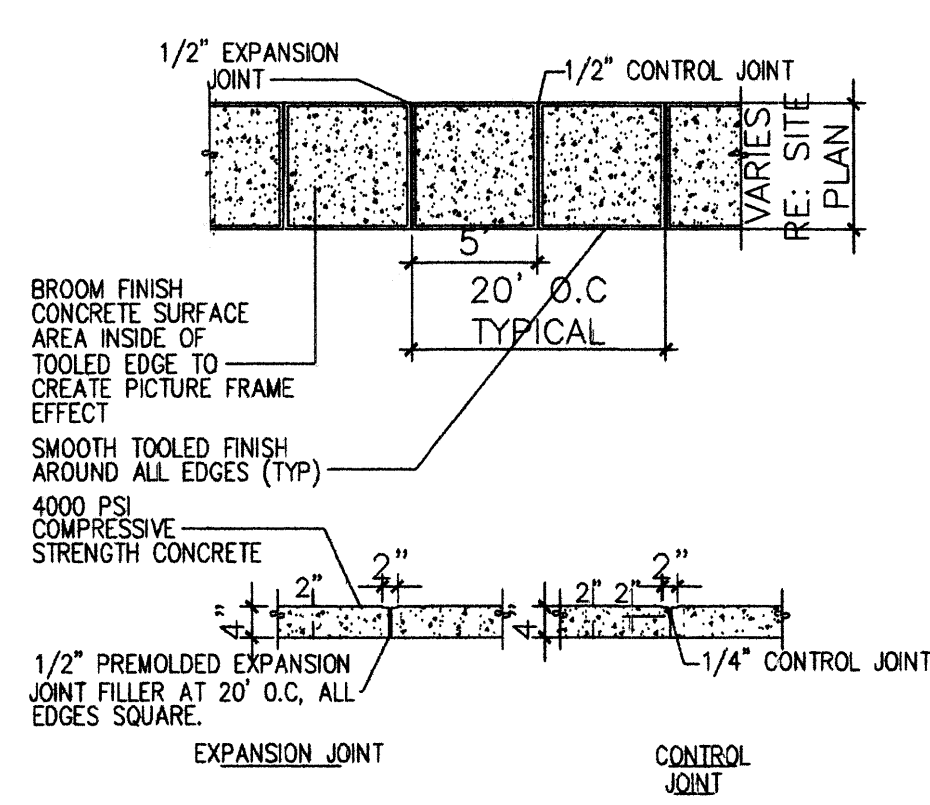
14 SIDEWALK W/ TURNDOWN CURB SECTION
Scale: N.T.S.



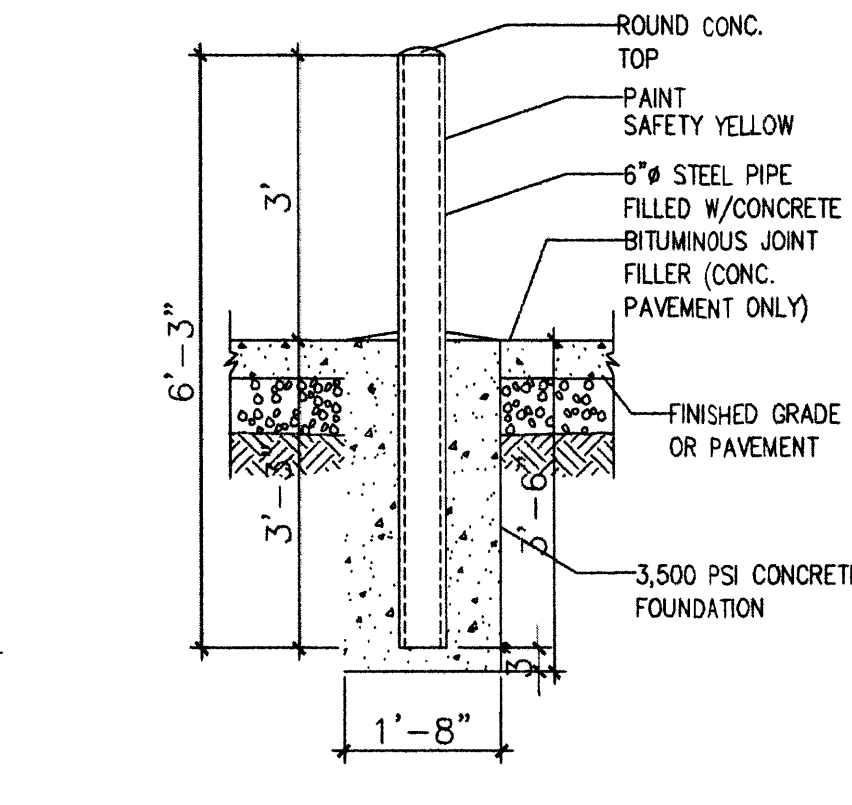
13 DIAMOND DETAIL
Scale: N.T.S.



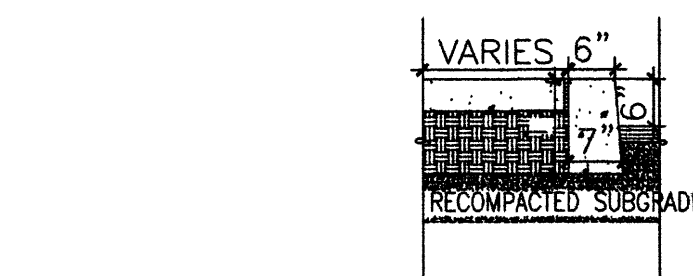
12 TYP. END ISLAND W/ WALK
Scale: N.T.S.



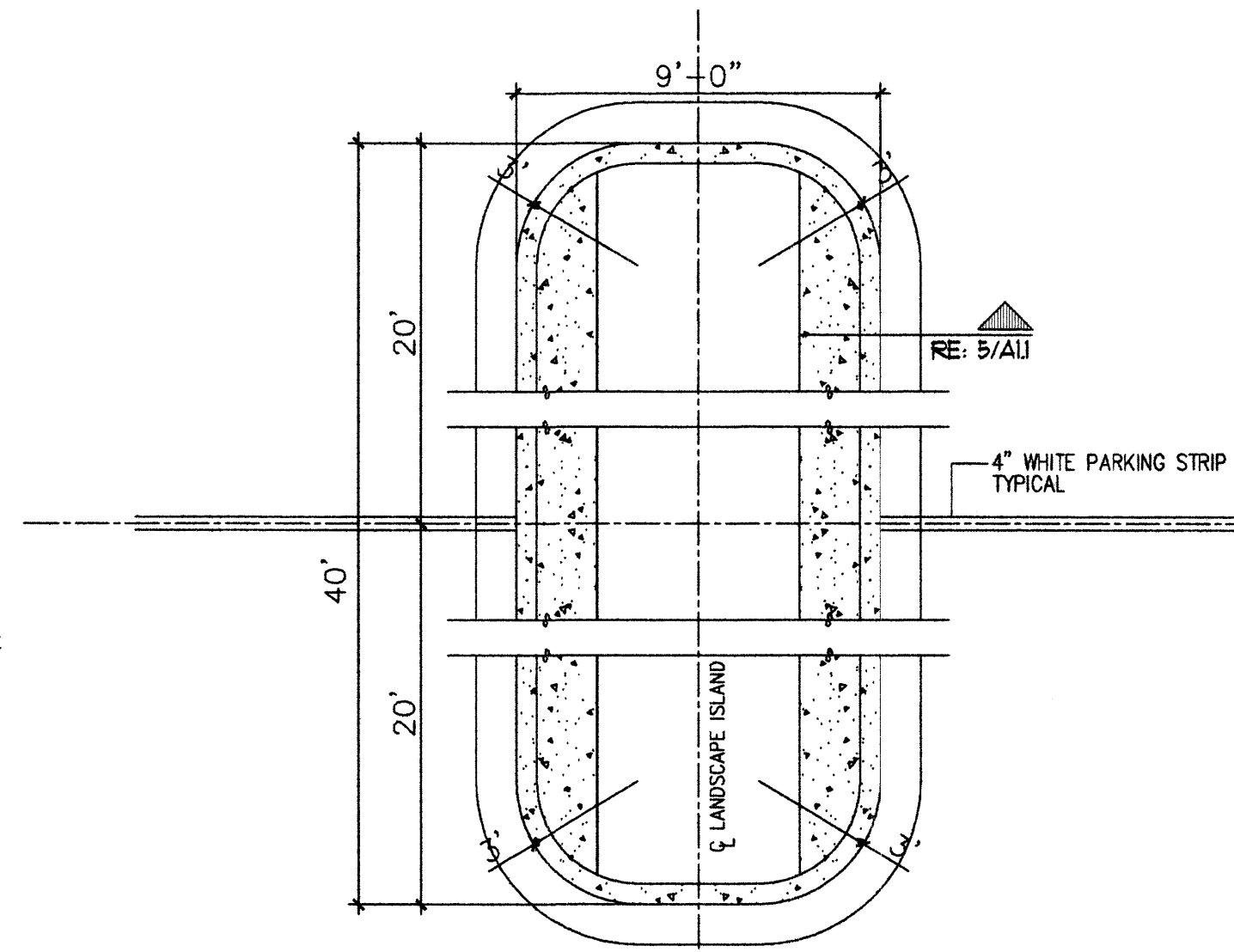
11 TYPICAL SIDEWALK
Scale: N.T.S.



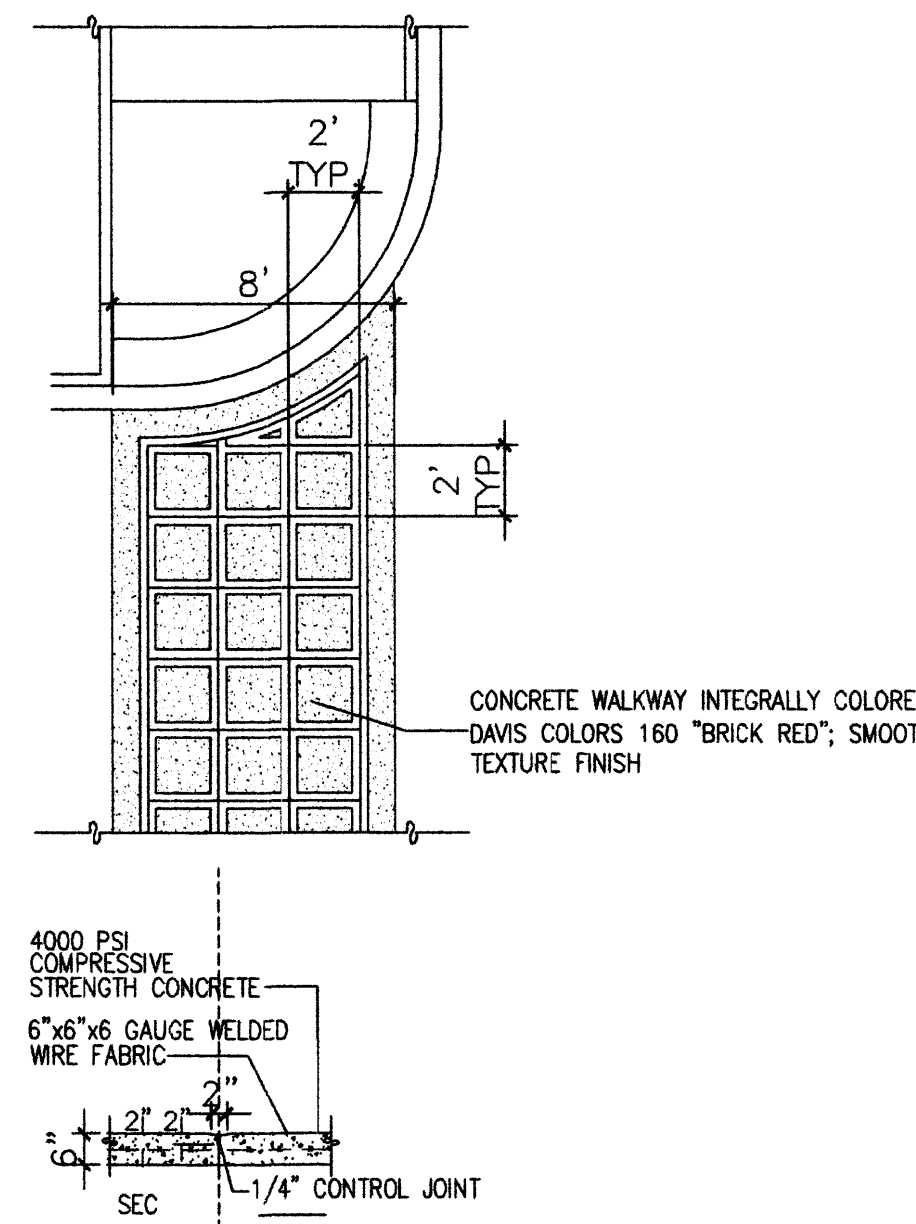
10 BOLLARD DETAIL
Scale: 1/2\"/>



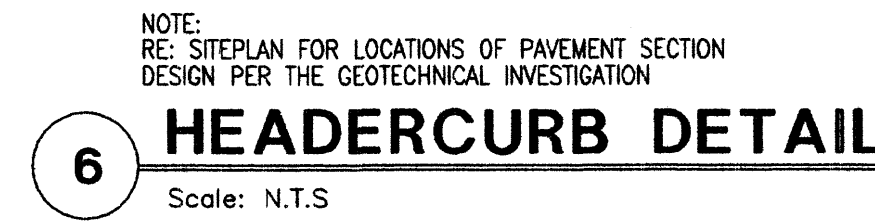
9 HEADER CURB W/ STEP OFF DETAIL
Scale: N.T.S.



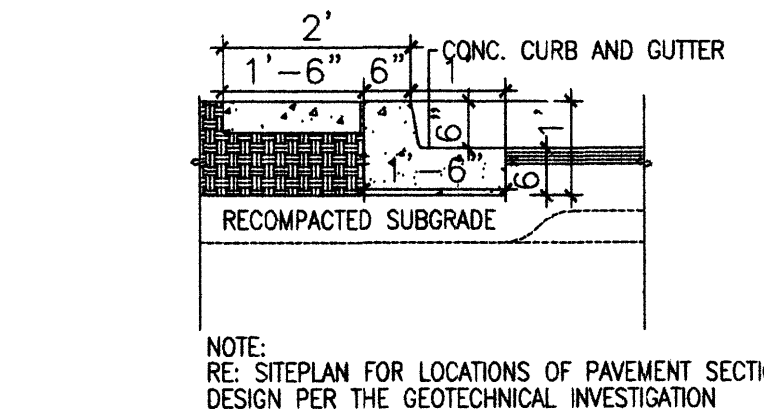
8 ISLAND DETAIL
Scale: N.T.S.



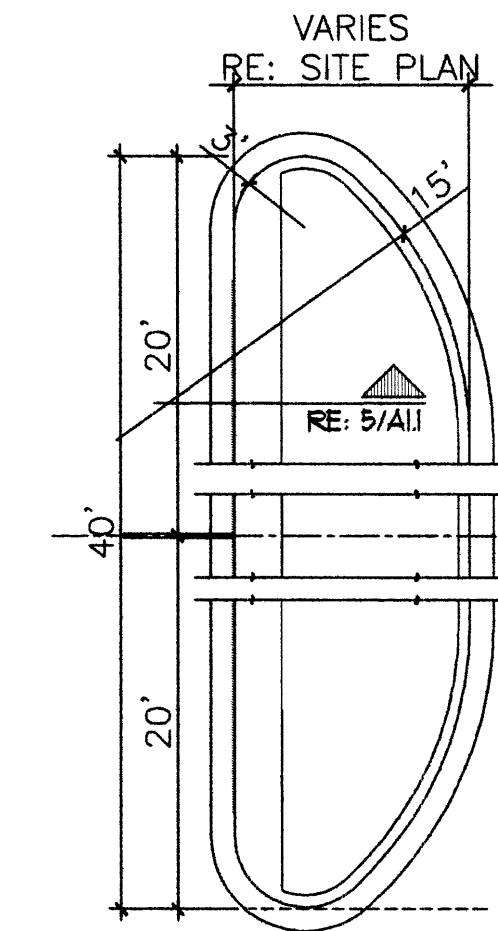
7 TYP. CONC. CROSSWALK
Scale: N.T.S.



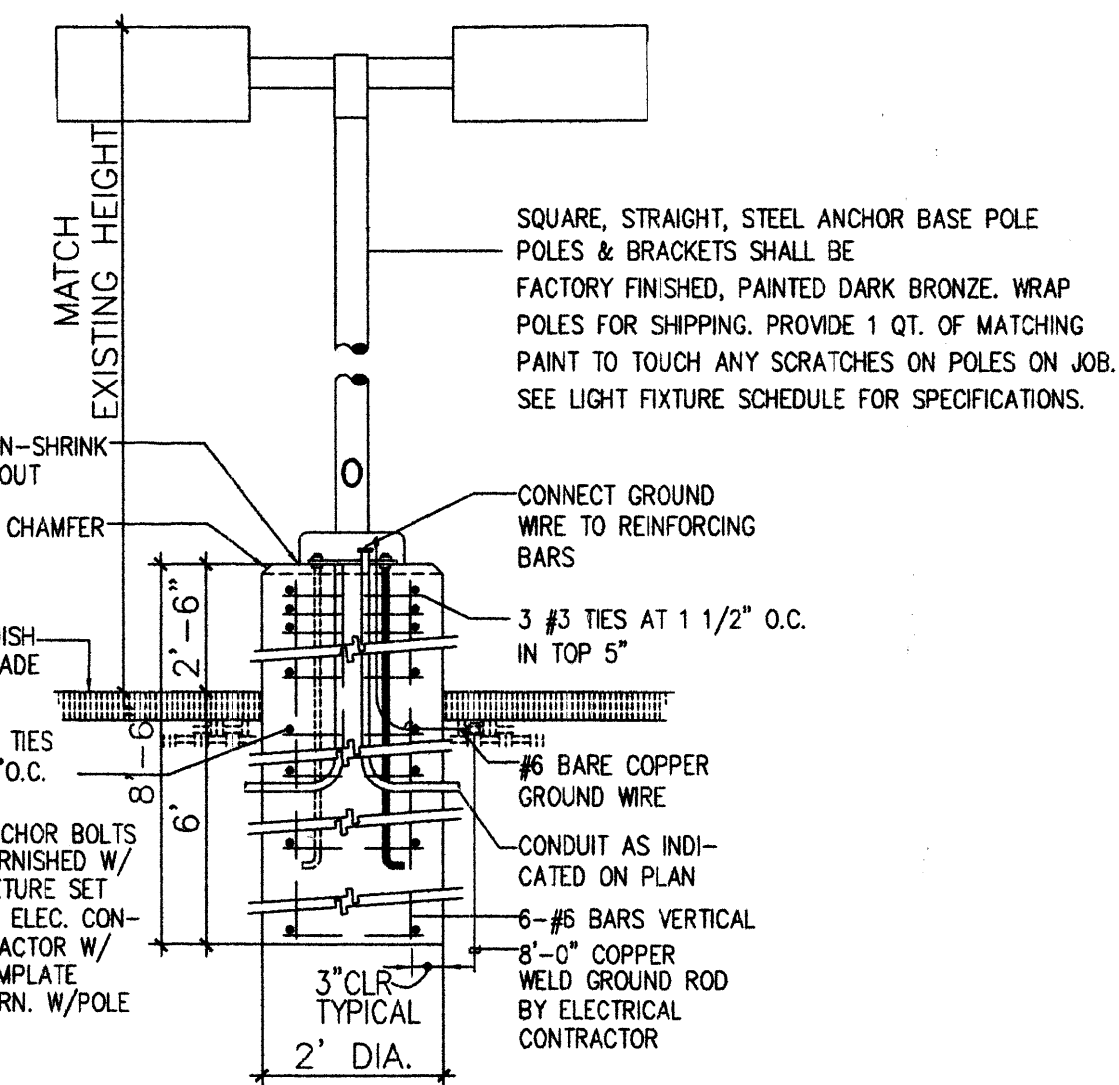
6 HEADERCURB DETAIL
Scale: N.T.S.



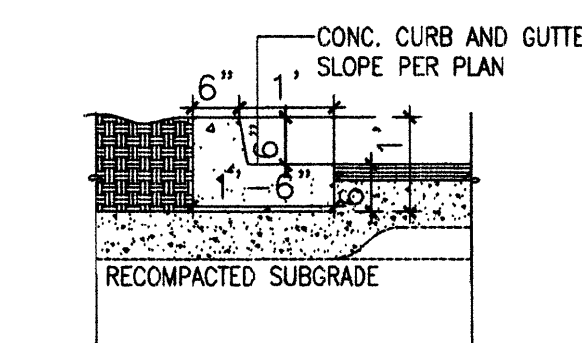
5 ISLAND CURB DETAIL
Scale: N.T.S.



4 END ISLAND DETAIL
Scale: N.T.S.



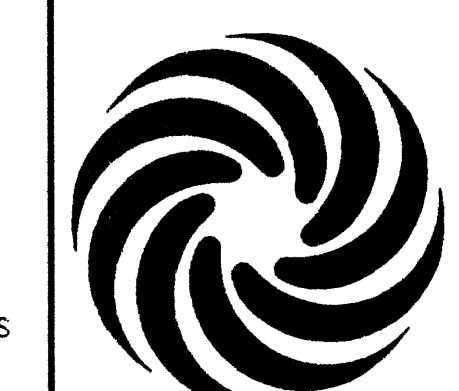
3 LIGHT POLE DETAIL
Scale: N.T.S.



2 TYP. CURB DETAIL
Scale: N.T.S.

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			

MODULUS ARCHITECTS
2325 SAN PEDRO N.E., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 338-1499 FAX (505) 338-1498
TOLL FREE 1-866-224-2161



PROJECT TITLE
SUNFLOWER-HEIGHTS
N.E.C. OF JUAN TABO AND MONTGOMERY
ALBUQUERQUE, NEW MEXICO

PROJECT NUMBER
STEPHEN DUNBAR, AIA
SUNFLOWER

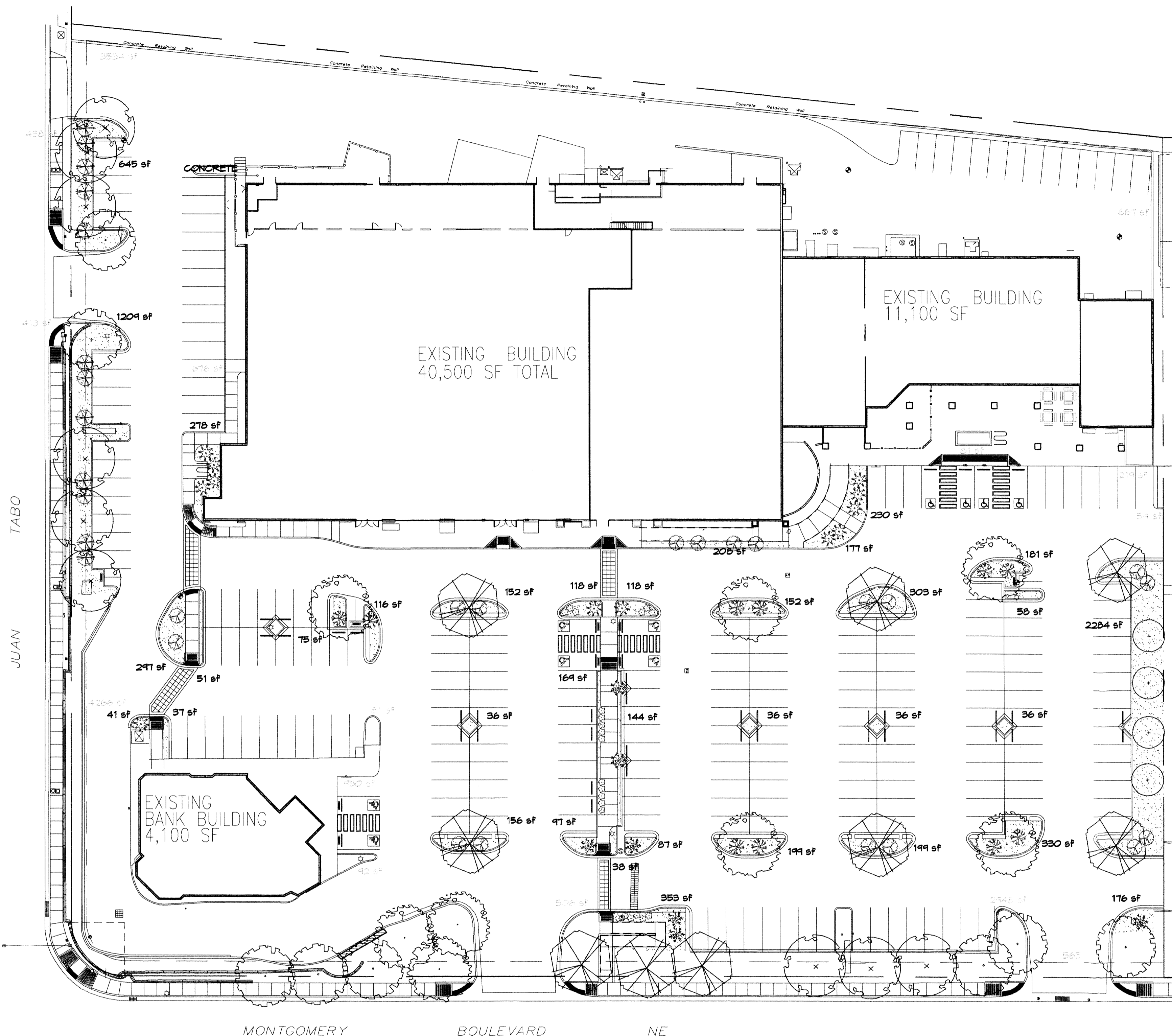
DRAWN BY
MSW

SHEET TITLE
SITE DETAILS

DATE
02/05/09

SCALE
AS NOTED

Sheet
A1.1



PLANT LEGEND

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

- AUTUMN BLAZE MAPLE** 4
Acer x Freemanii 'Autumn Blaze'
2" Cal., 12'-14' Inst./40' x 50' maturity
Water (M) Allergy (L) Osf
- BUR OAK** 9
Quercus macrocarpa
2" Cal., 12'-14' Inst./60' x 60' maturity
Water (M) Allergy (M) Osf
- AUTUMN PURPLE ASH** 8
Fraxinus americana
2" Cal., 12'-14' Inst./60' x 60' maturity
Water (M) Allergy (H) Osf
- HONEY LOCUST (TO MATCH EXISTING)** 8
Gleditsia triacanthos
2" Cal., 12'-14' Inst./60' x 60' maturity
Water (M+) Allergy (L) Osf

- SHRUBS/GROUNDCOVERS**
FIFTEEN GAL.
- NEW MEXICO OLIVE** 4
Forestiera neomexicana
5 Gal., 4'-10" Inst./15' x 15' maturity
Water (M) Allergy (L) 225sf
 - BUFFALO JUNIPER (TO MATCH EXISTING)** 12
Juniperus sabina 'Buffalo'
5 Gal., 24"-4' Inst./2' x 4' maturity
Water (L+) Allergy (L) 64sf
 - GREYLEAF COTONEASTER** 12
Cotoneaster glaucophyllus
5 Gal., 24"-4' Inst./2' x 4' maturity
Water (M) Allergy (L) 81sf
 - LADY BANKS ROSE** 7
Rosa banksiae
1 Gal., 24"-4' Inst./3' x 20' maturity
Water (M) Allergy (L) 400sf
Unstaked-groundcover
 - WINTER JASMINE** 10
Jasminum nudiflorum
1 Gal., 5'-15" Inst./4' x 12' maturity
Water (L+) Allergy (L) 144sf
 - HONEYSUCKLE** 18
Lonicera japonica 'Hallang'
1 Gal., 5'-15" Inst./3' x 12' maturity
Water (M) Allergy (L) 144sf
Unstaked-groundcover
 - POTENTILLA** 22
Potentilla fruticosa
1 Gal., 3'-15" Inst./3' x 3' maturity
Water (M+) Allergy (L) 9sf

- HARDSCAPES**
- CRUSHED GREY GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH**
 - EXISTING LANDSCAPING**
 - DENOTES EVERGREEN PLANT MATERIAL**

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	216126	square feet
TOTAL BUILDINGS AREA	56384	square feet
NET LOT AREA	159742	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	23961	square feet
TOTAL NEW BED PROVIDED	8822	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	6616	square feet
TOTAL GROUNDCOVER PROVIDED	8710 (98%)	square feet
EXISTING LANDSCAPE MINIMUM 75% LIVE GROUNDCOVER	15490	square feet
TOTAL SOD AREA (max. 20% of landscape allowed)	0	square feet
TOTAL LANDSCAPE PROVIDED	24226 (15%)	square feet

STREET TREE REQUIREMENTS - Minimum 2" Caliper

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: Montgomery Blvd. NE
Required # 17 Provided # 2 Existing and 15 New

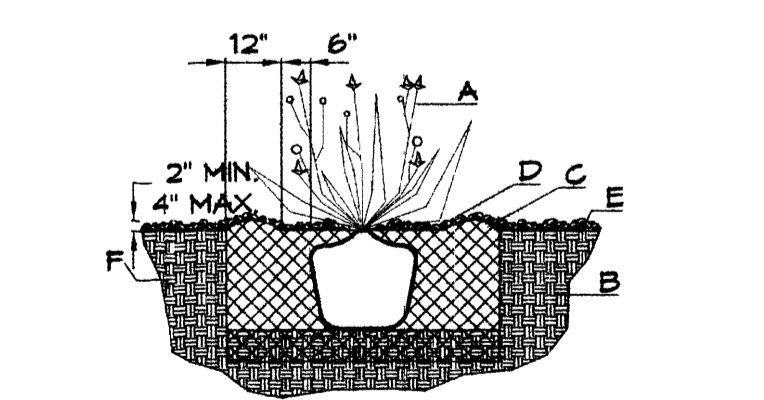
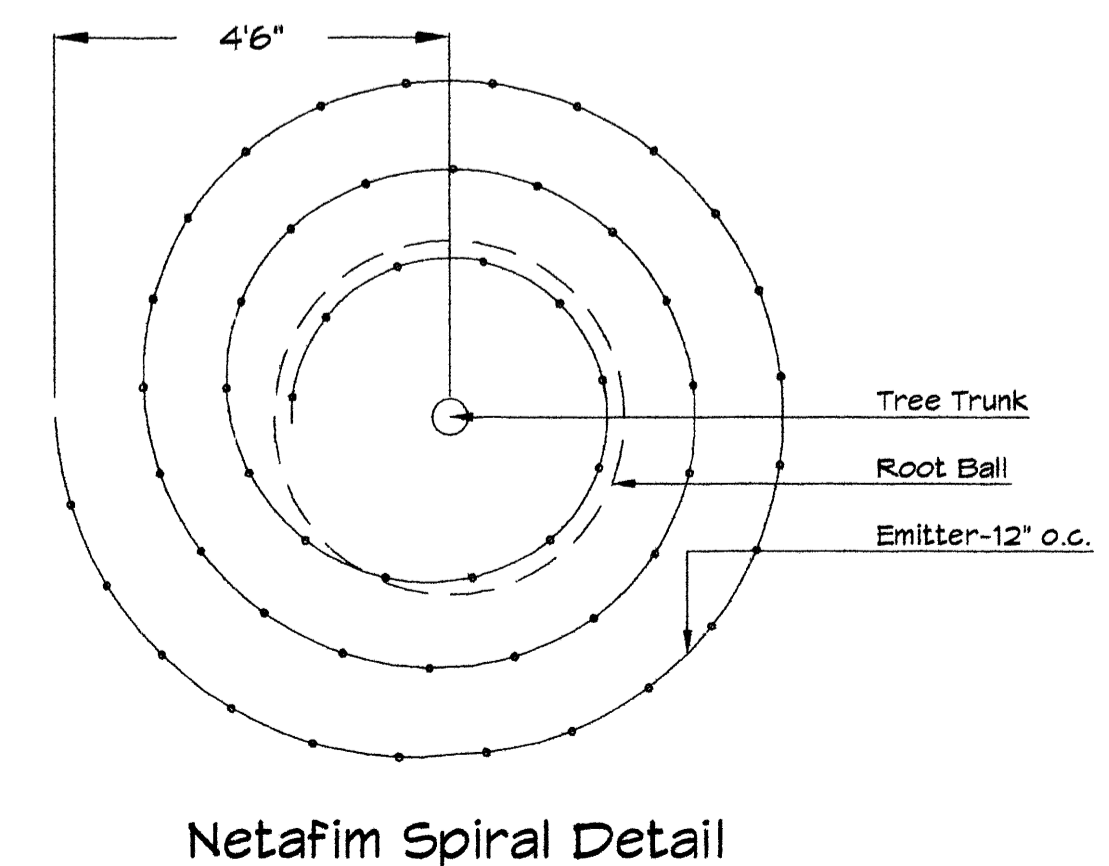
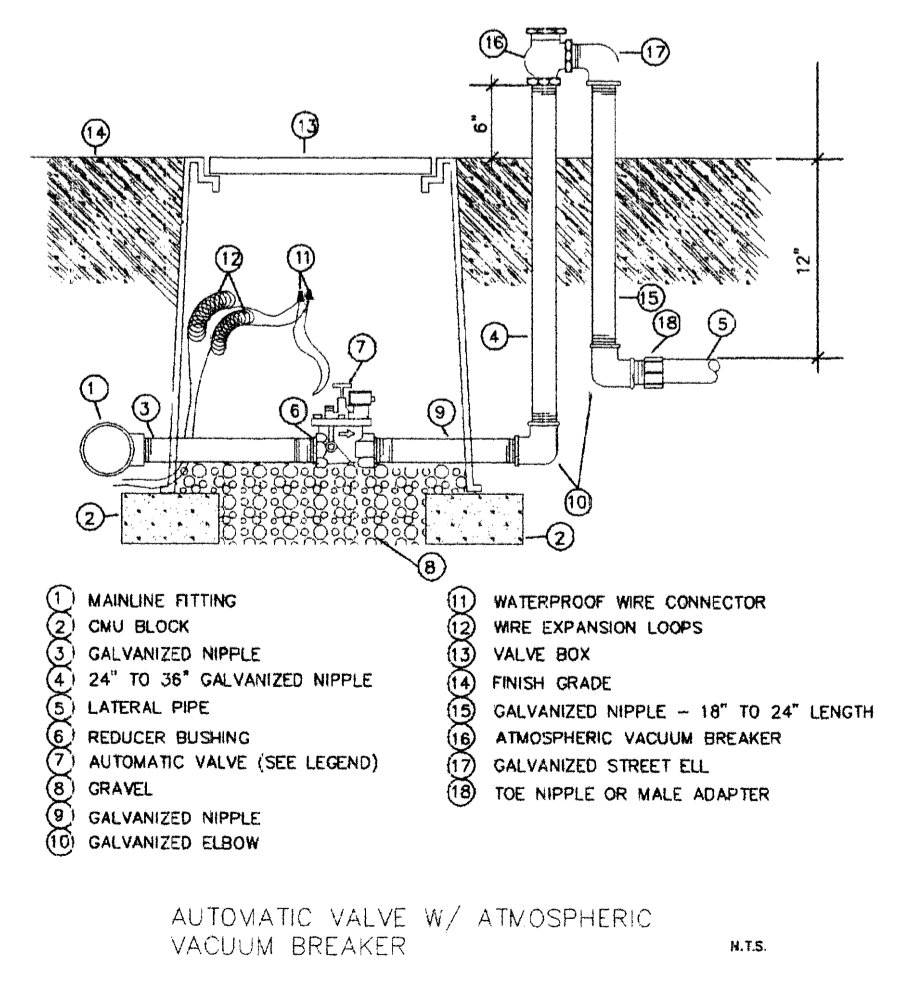
Name of Street: Juan Tabo NE
Required # 14 Provided # 6 Existing and 8 New

PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper

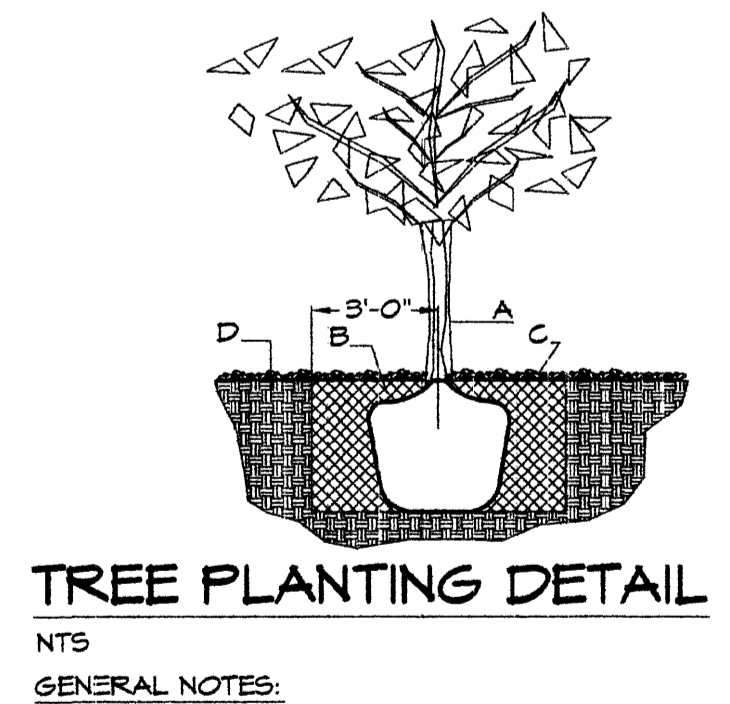
Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces
Required # 12 Provided # 1 Existing and 11 New

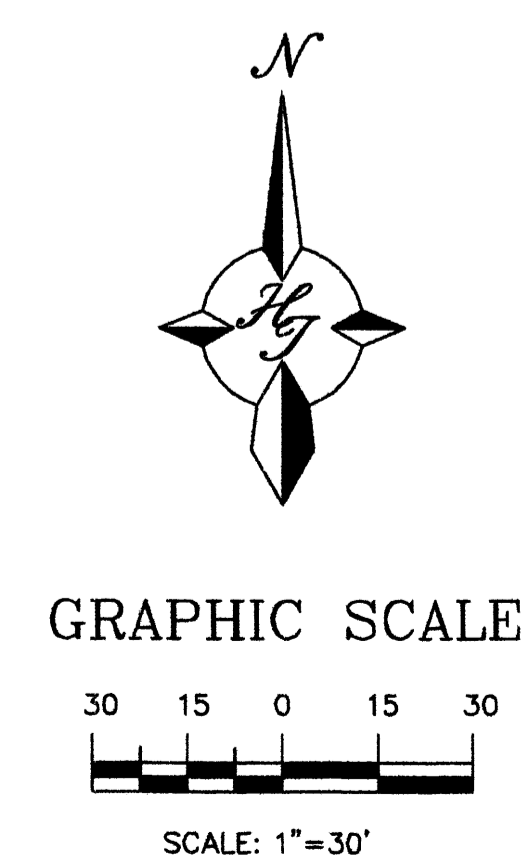
NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



SHRUB PLANTING DETAIL
NTS
GENERAL NOTES:
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
CONSTRUCTION NOTES:
A. SHRUB.
B. BACKFILL WITH EXISTING SOIL.
C. EARTH BERM AROUND WATER RETENTION BASIN.
D. 3" DEPTH OF GRAVEL MULCH.
E. FINISH GRADE.
F. UNDISTURBED SOIL.



TREE PLANTING DETAIL
NTS
GENERAL NOTES:
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
CONSTRUCTION NOTES:
A. TREE
B. BACKFILL WITH EXISTING SOIL.
C. 3" DEPTH OF GRAVEL MULCH.
D. UNDISTURBED SOIL.



The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cm@hilltoplandscaping.com

COA COMMENTS/ DAWGNO SIZE & TREE VARIETY	cmj	1-12-10
CLIENT COMMENTS	cmj	11-17-09
COMMENTS/SITE REVISION	RMC	6-29-09

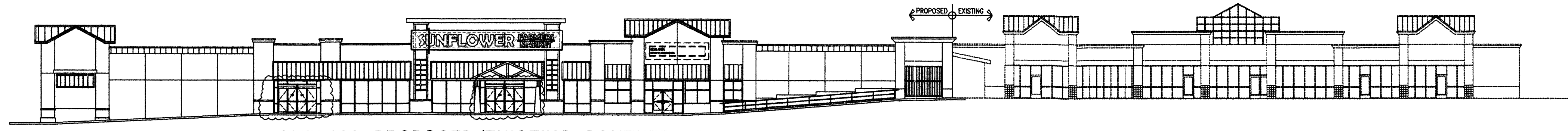
SUNFLOWERS - HEIGHTS PLAZA
N.E.C. OF JUAN TABO AND MONTGOMERY
ALBUQUERQUE, NEW MEXICO

STEPHEN DUNBAR, AIA
SUNFLOWER
RMC

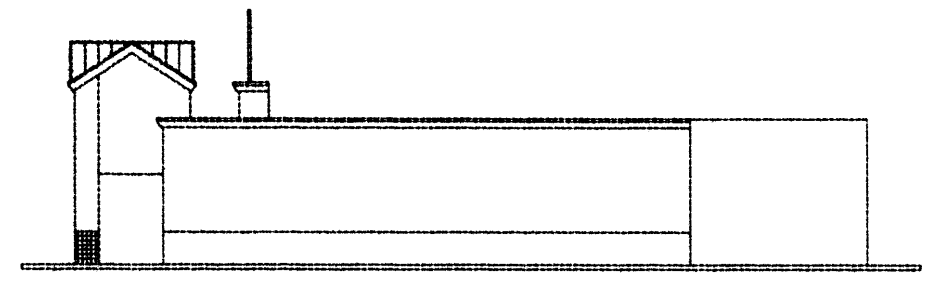
LANDSCAPE PLAN

11/2/10

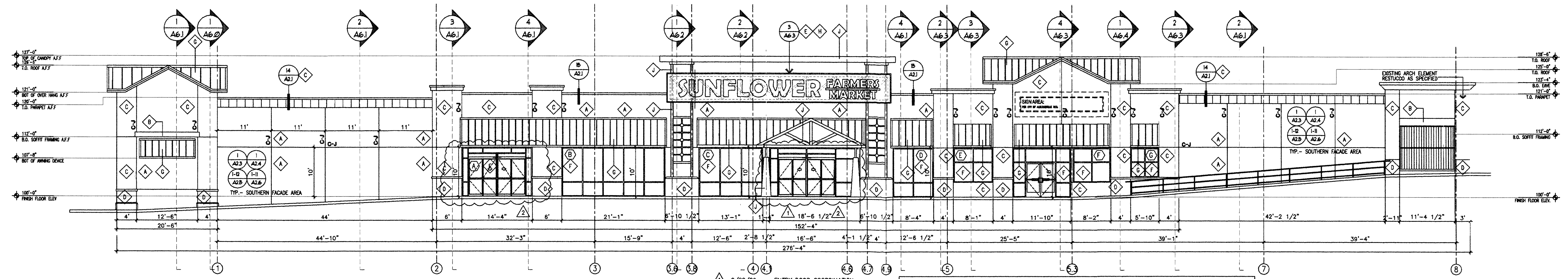
1"=30'



1 OVERALL PROPOSED/EXISTING SOUTHERN ELEVATION
SCALE: N.T.S.



1A EXISTING SHOPS EASTERN ELEVATION
SCALE: N.T.S.

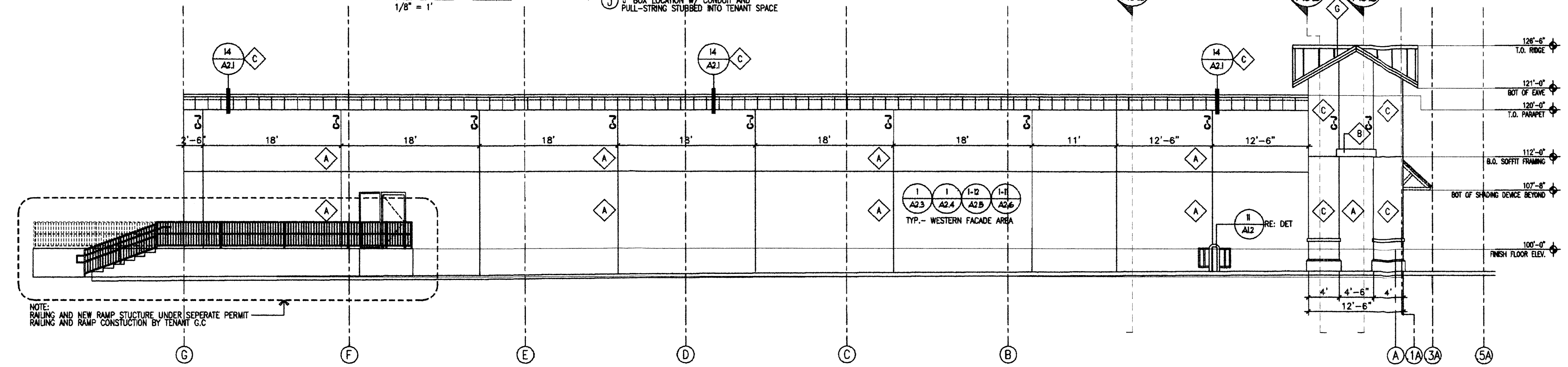


2 SOUTHERN ELEVATION
SCALE: 3/32" = 1'-0"

NOTE: ALL BUILDING MOUNTED SIGNAGE IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR.
1" BOX LOCATION W/ CONDUIT AND FULL-STRING STUBBED INTO TENANT SPACE.

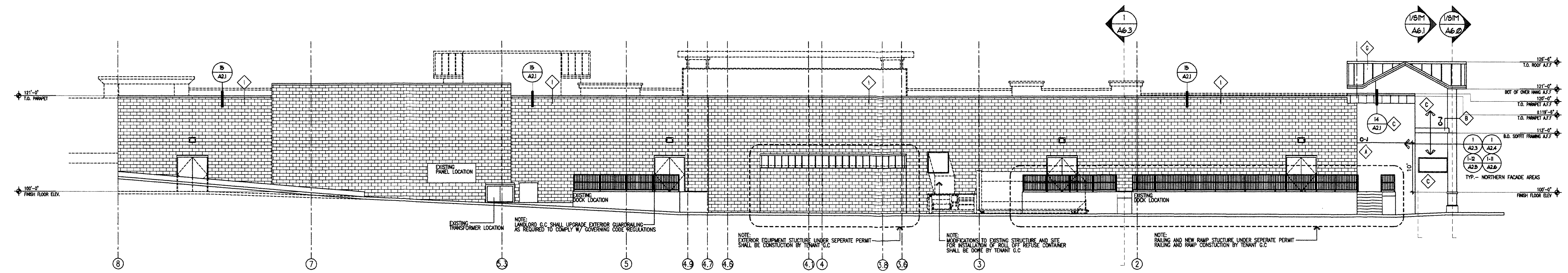
SOUTHERN FACADE ALLOWABLE SIGNAGE AREA:
6100 SF FACADE AREA / 0% = 388 SQUARE FEET OF ALLOWABLE SIGNAGE AREA
PROPOSED SIGN AREA = #K276 SF) AND = 2 (GO SF) = 388 SF

Keyed Color / Material Schedule	
A	STO-POWER COAT STUCCO SYSTEM STO COLOR COAT TO MATCH SHERWIN WILLIAMS COLOR RICE GRAN SW 6155 (LIGHT TAN)
B	STO-POWER COAT STUCCO SYSTEM STO COLOR COAT TO MATCH SHERWIN WILLIAMS COLOR ANATOLIAN GRAY SW 7051 (LIGHT GRAY)
C	STO-POWER COAT STUCCO SYSTEM STO COLOR COAT TO MATCH SHERWIN WILLIAMS COLOR GURKIN TAN SW 6151 (DARK BROWN)
D	STO-POWER COAT STUCCO SYSTEM STO COLOR COAT TO MATCH SHERWIN WILLIAMS COLOR SPICY RUE SW 6342 (DARK RED)
E	CANOPY METAL PAINT FINISH COLOR SHERWIN WILLIAMS ANATOLIAN GRAY SW 7051 (LIGHT GRAY)
F	ALUMINUM STOREFRONT SYSTEM CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM (KAWNEER TR-FAB 451 OR EQUAL)
G	METAL STANDING SEAM ROOFING STANDING SEAM PANEL W/ 18" O.C. RIB COLOR TO MATCH EXISTING ADJACENT PANEL
H	METAL MANT "MIN RIB" LOW PROFILE PANEL FINISH: 500 FINISH / PROVIDE ARCH W/ STANDARD COLOR CHART FOR SELECTION PRIOR TO INSTALL
I	PAINTED BLOCK SHERWIN WILLIAMS COLOR RICE GRAN SW 6155 (LIGHT TAN)
J	CANOPY METAL PAINT FINISH COLOR SHERWIN WILLIAMS SPICY RUE SW 6342 (DARK RED)



3 WESTERN ELEVATION
SCALE: 3/32" = 1'-0"

NOTE: ALL BUILDING MOUNTED SIGNAGE IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR.
1" BOX LOCATION W/ CONDUIT AND FULL-STRING STUBBED INTO TENANT SPACE.

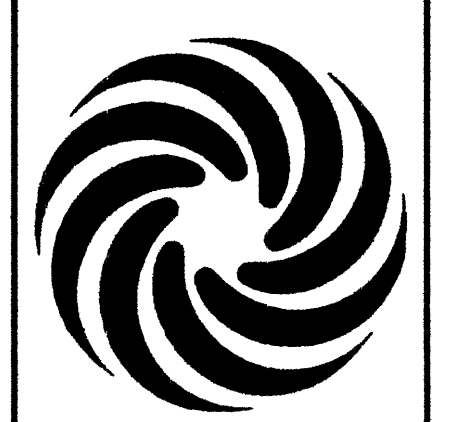


4 NORTHERN ELEVATION
SCALE: 3/32" = 1'-0"

NOTE: ALL BUILDING MOUNTED SIGNAGE IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR.
1" BOX LOCATION W/ CONDUIT AND FULL-STRING STUBBED INTO TENANT SPACE.

REV	DATE	BY	REVISION
1			
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MODULUS ARCHITECTS
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 338-1499 FAX (505) 338-1498
TOLL FREE 1-866-224-2161



PROJECT TITLE
SUNFLOWER-HEIGHTS
N.E.C. OF JUAN TABO AND MONTGOMERY
ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER
STEPHEN DUNBAR, AIA

JOB NO.
SUNFLOWER

DRAWN BY
MSW

SHEET TITLE
ELEVATIONS

DATE
02/05/09

SCALE
AS NOTED

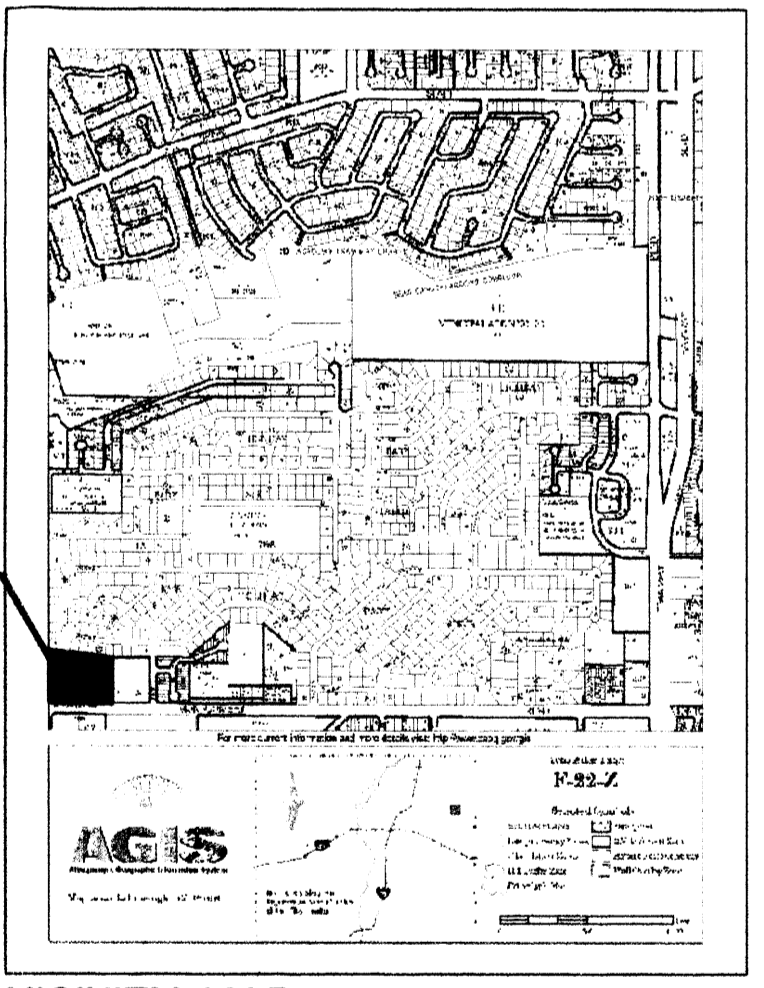
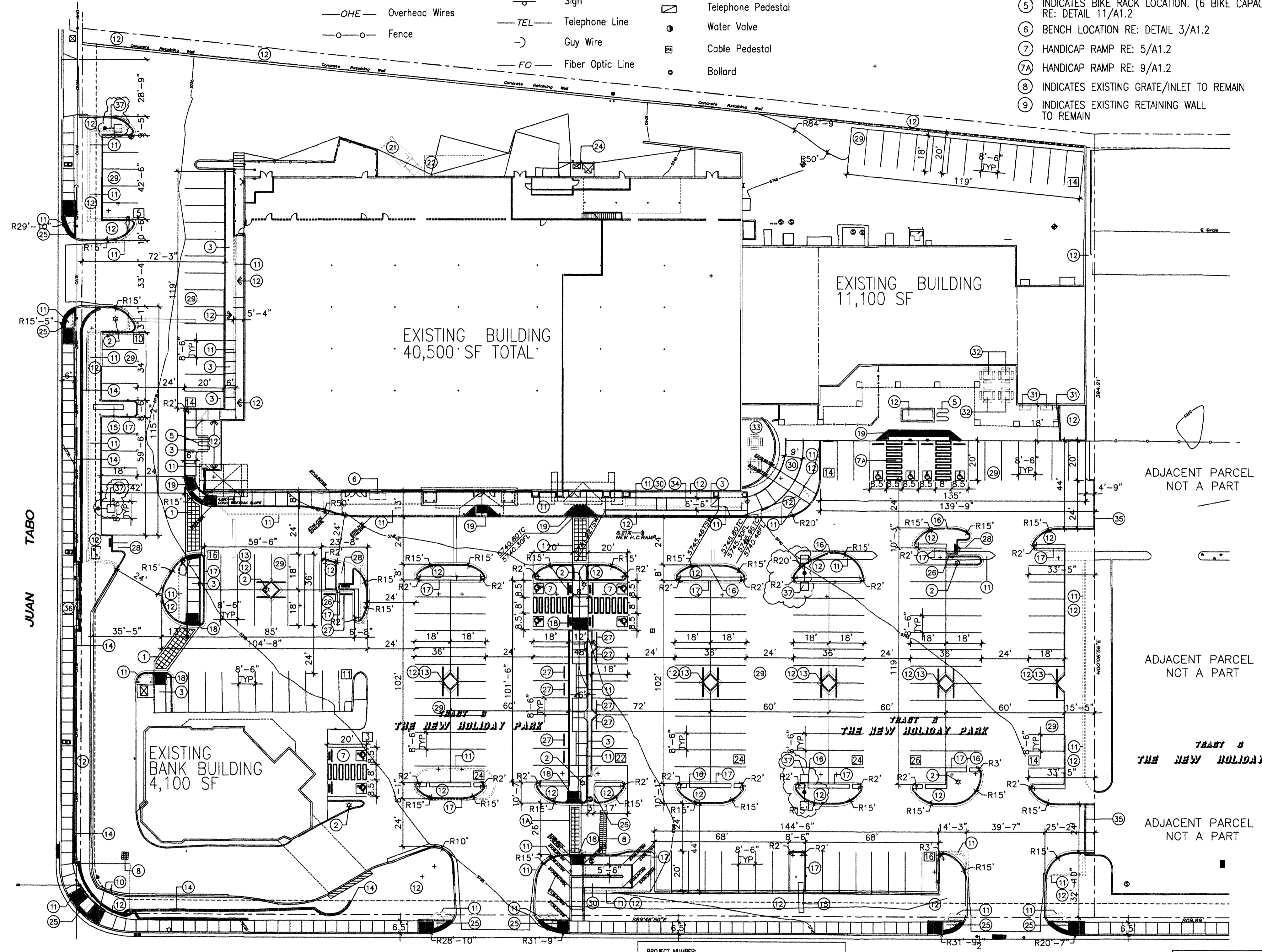
SHEET NO.
A4.0

LEGEND

- | | | | | | | | |
|-------|------------------------|-------|------------------|------|-----------------------------------|---|---------------------------|
| ⊙ | Storm Drain Manhole | ⊠ | Gas Meter | ⊠ | Utility Box | — | Sign |
| ⊙ | Sanitary Sewer Manhole | — | Gas Line | — | Electric Line | • | Sanitary Sewer Cleanout |
| —SAS— | Sanitary Sewer Line | —W— | Water Line | —DU— | Dry Utilities (Cable, Tele., Gas) | — | Wall |
| —SD— | Storm Drain Line | ⊠ | Water Meter | ⊠ | Traffic Box | ⊙ | Light Pole |
| ⊠ | Storm Drain Inlet | ⊠ | Utility Pedestal | ⊠ | Utility Manhole | ⊠ | Traffic Signal Light Pole |
| ■ | Power Pole | — | Sign | ⊠ | Telephone Pedestal | ⊙ | Utility Valve |
| —OHE— | Overhead Wires | —TEL— | Telephone Line | • | Water Valve | | |
| — | Fence | — | Guy Wire | ⊠ | Cable Pedestal | | |
| | | —FO— | Fiber Optic Line | • | Bollard | | |

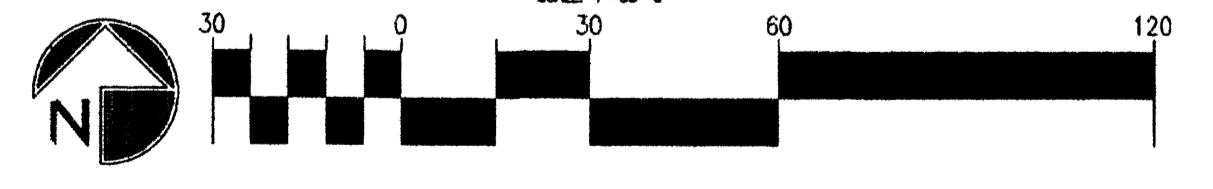
KEYED NOTE:

- 1 8" INTEGRALLY COLORED, AND TEXTURED CONC. PEDESTRIAN CROSSWALK RE: DETAIL 7/A1.1
- 1A 6" INTEGRALLY COLORED, AND TEXTURED CONC. PEDESTRIAN CROSSWALK RE: DETAIL 7/A1.1
- 2 EXISTING LIGHT POLE LOCATION TO REMAIN
- 3 CONC. SIDEWALK RE: DET 11/A1.1 RE: SITE PLAN FOR JOINT LAYOUT
- 4 HANDICAP RAMP RE: 17/A1.1
- 5 INDICATES BIKE RACK LOCATION. (6 BIKE CAPACITY) RE: DETAIL 11/A1.2
- 6 BENCH LOCATION RE: DETAIL 3/A1.2
- 7 HANDICAP RAMP RE: 5/A1.2
- 7A HANDICAP RAMP RE: 9/A1.2
- 8 INDICATES EXISTING GRATE/INLET TO REMAIN
- 9 INDICATES EXISTING RETAINING WALL TO REMAIN
- 10 INDICATES EXISTING FIRE HYDRANT LOCATION
- 11 INDICATES EXISTING SITE IMPROVEMENT ELEMENT TO BE REMOVED/REPLACED AS INDICATED OR SHOWN NOTE: G.C SHALL OBTAIN REQUIRED OFFSITE PERMITS/BARRICADING/ ETC. PRIOR TO COMMENCEMENT OF ANY OFFSITE IMPROVEMENT WORK
- 12 LANDSCAPE AREA. G.C TO COORDINATE AND PROVIDE SLEEVING AS REQUIRED FOR LANDSCAPE IRRIGATION INSTALL RE: LANDSCAPE PLAN FOR PLANTING INFO
- 13 INDICATES 6' X 6' LANDSCAPE PLANTER AREA RE: 13/A1.1 G.C TO PROVIDE REQ. SLEEVING FOR EA. WELL LOCATION
- 14 INDICATES EXISTING RETAINING STRUCTURE TO REMAIN
- 15 INDICATES EXISTING SIGN TO REMAIN
- 16 INDICATES 1'-6" WIDE KNOTCH WITHIN NEW CURBING TO ACCEPT SURFACE FLOWS FROM ADJACENT PARKING LOCATION. NOTE: LANDSCAPED BED AREA W/ KNOTCH TO BE 2" BELOW BOTTOM OF KNOTCH ELEVATION TO ENSURE PROPER FLOW INTO BED AREA
- 17 END ISLAND RE: 4/A1.1
- 18 RAMP RE: 16/A1.1
- 19 RAMP RE: 15/A1.1
- 20 NOT USED
- 21 REFUSE ENCLOSURE BY OTHERS(RE: SUNFLOWER TENANT PLANS FOR INFO)
- 22 REFRIGERATION ENCLOSURE BY OTHERS (RE: SUNFLOWER TENANT PLANS FOR INFO)
- 23 NOT USED
- 24 PROPOSED TRANSFORMER LOCATION RE: ELEC PLANS FOR INFO
- 25 HANDICAP RAMP PER COA STD DWG #2426 W/ 1:12 MAX SLOPE NOTE: RAMP TO BE INSTALLED W/ TRUNCATED DOME STRIP AS REQUIRED UNDER CURRENT ACCESSIBILITY STANDARDS
- 26 INDICATES 1'-0" WIDE (OR AS DIMENSIONED WITHIN SITE PLAN) KNOTCH WITHIN NEW CURBING TO MAINTAIN SURFACE FLOW ACROSS NEW PARKING ISLAND LOCATION.
- 27 WHEELSTOP RE: DET 8/A1.2
- 28 INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION RE: SITE PLAN FOR LOCATIONS. RE: DET. 7/A1.2 FOR SIGNAGE REQ.
- 29 PAINTED STRIPPING/SIGNING AS INDICATED WITHIN SITEPLAN
- 30 H.C RAMP AND RAILING RE: SITEPLAN FOR RAMP LOCATION
- 31 EXISTING BENCH LOCATION TO REMAIN
- 32 EXISTING FIXED OUTDOOR SEATING LOCATION TO REMAIN
- 33 EXISTING OUTDOOR PATIO TO REMAIN
- 34 RE: DETAIL 1-2/A1.3 FOR ENLARGED RAMP RAIL ELEVATION/PLAN
- 35 INDICATES 6" TEMPORARY ASPALT HEADER CURB
- 36 PROPOSED FUTURE OUTDOOR BUS STOP LOCATION
- 37 PROPOSED NEW LIGHT POLE LOC. RE: FOR DET. INFO



VICINITY MAP
TRACT B
THE NEW HOLIDAY PARK
filed January 15, 1970 in Volume D4, Folio 57

SITE PLAN FOR BUILDING PERMIT



PROJECT NUMBER: _____
APPLICATION NUMBER: _____

Is an Infrastructure List required? () YES () NO If yes, then a set of approved DDC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

DBP SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date
DBP ARCHITECT ENGINEER	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DBP Chairperson, Planning Department	Date

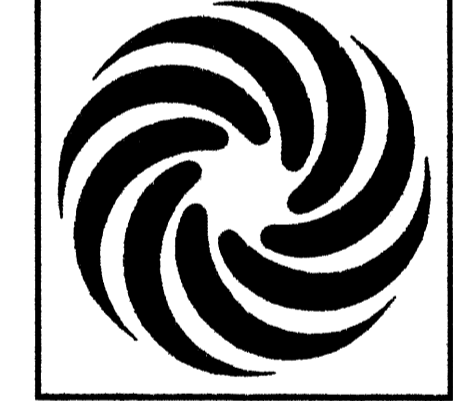
* Environmental Health, if necessary

0-15,000 SF RETAIL/ 200 = 75 CARS
35,706 SF RETAIL/ 250 = 143 CARS
4,949 SF FOOD (133 SEATS/ 4 = 33 CARS)
TOTAL REQUIRED= 251 CARS
10% TRANSIT CREDIT = -25 CARS
TOTAL REQUIRED W/ CREDIT= 226 CARS

SITE DATA TABLE	
LEGAL DESCRIPTION	RE: DESCRIPTION ABOVE
TOTAL ACREAGE:	216,132 SF OR 4.96 Acres±
EXISTING ZONING:	SU-1 /C-1 USES AND GROCERY W/ FULL LIQUOR OFF PREMISES
BUILDING SIZE:	55,700 SF TOTAL
FAR:	EXISTING FAR= 26%
EXISTING USES:	BANK/RETAIL/FOOD USES
TOTAL PARKING PROVIDED:	237 SPACES
TOTAL PARKING REQ (INCLUDING EMPLOYEE):	226 SPACES
H.C PROVIDED:	10 H.C (INCLUDING 10 VAN ACCESSIBLE)
H.C REQUIRED:	8 H.C SPACES
BIKE SPACES PROVIDED:	10 BIKE SPACES
BIKE SPACES REQUIRED:	10 BIKE SPACES
MOTORCYCLE SPACES PROVIDED:	6 SPACES
MOTORCYCLE SPACES REQUIRED:	5 SPACES

REV	DATE	BY	REVISION
1			
2			
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MODULUS ARCHITECTS
2825 SAN PEDRO N.E. SUITE 2-B
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PHONE (505) 338-1499 FAX (505) 336-1498
TOLL FREE 1-866-224-2161

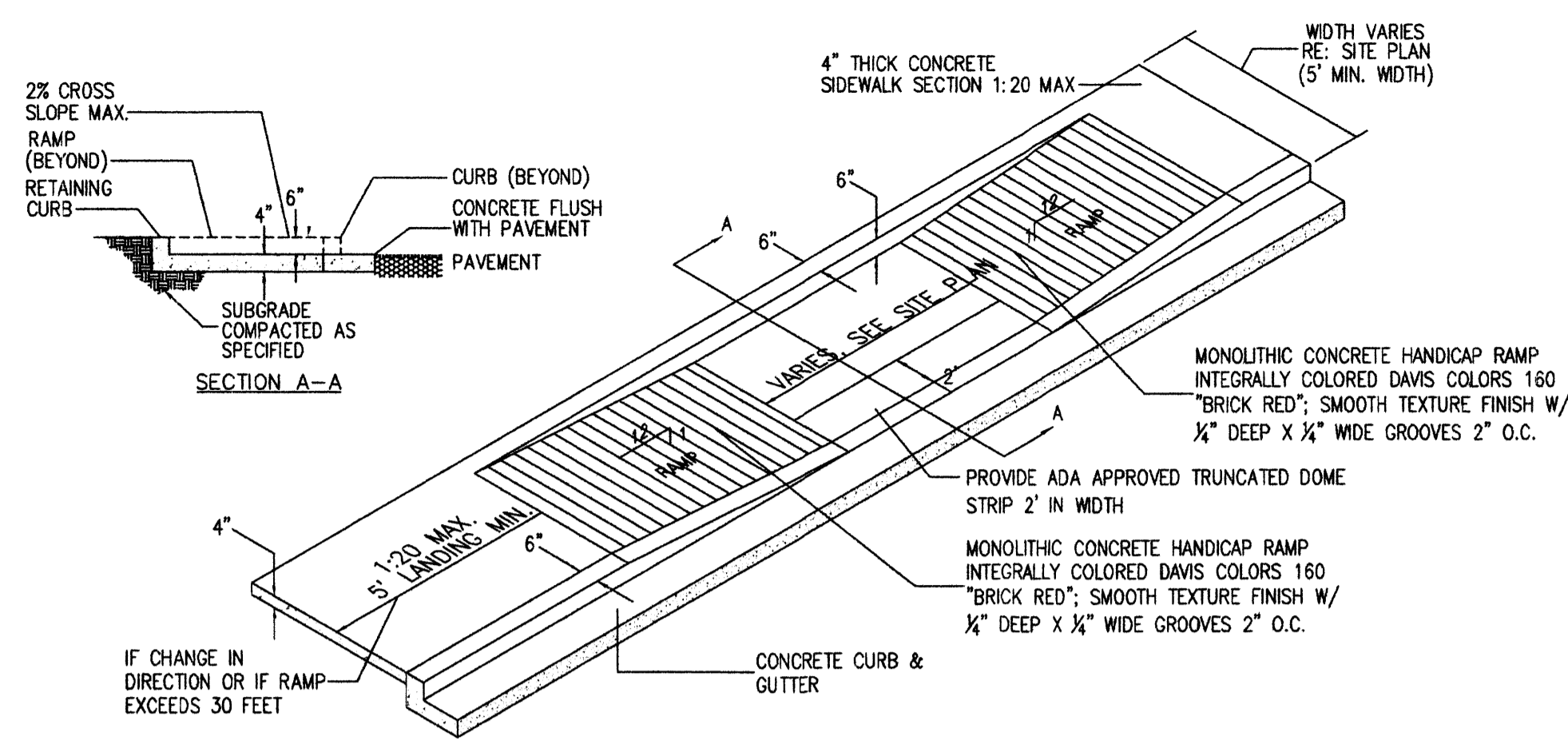


PROJECT TITLE: **SUNFLOWER HEIGHTS PLAZA**
N.E.C. OF JUAN TABO AND MONTGOMERY
ALBUQUERQUE, NEW MEXICO

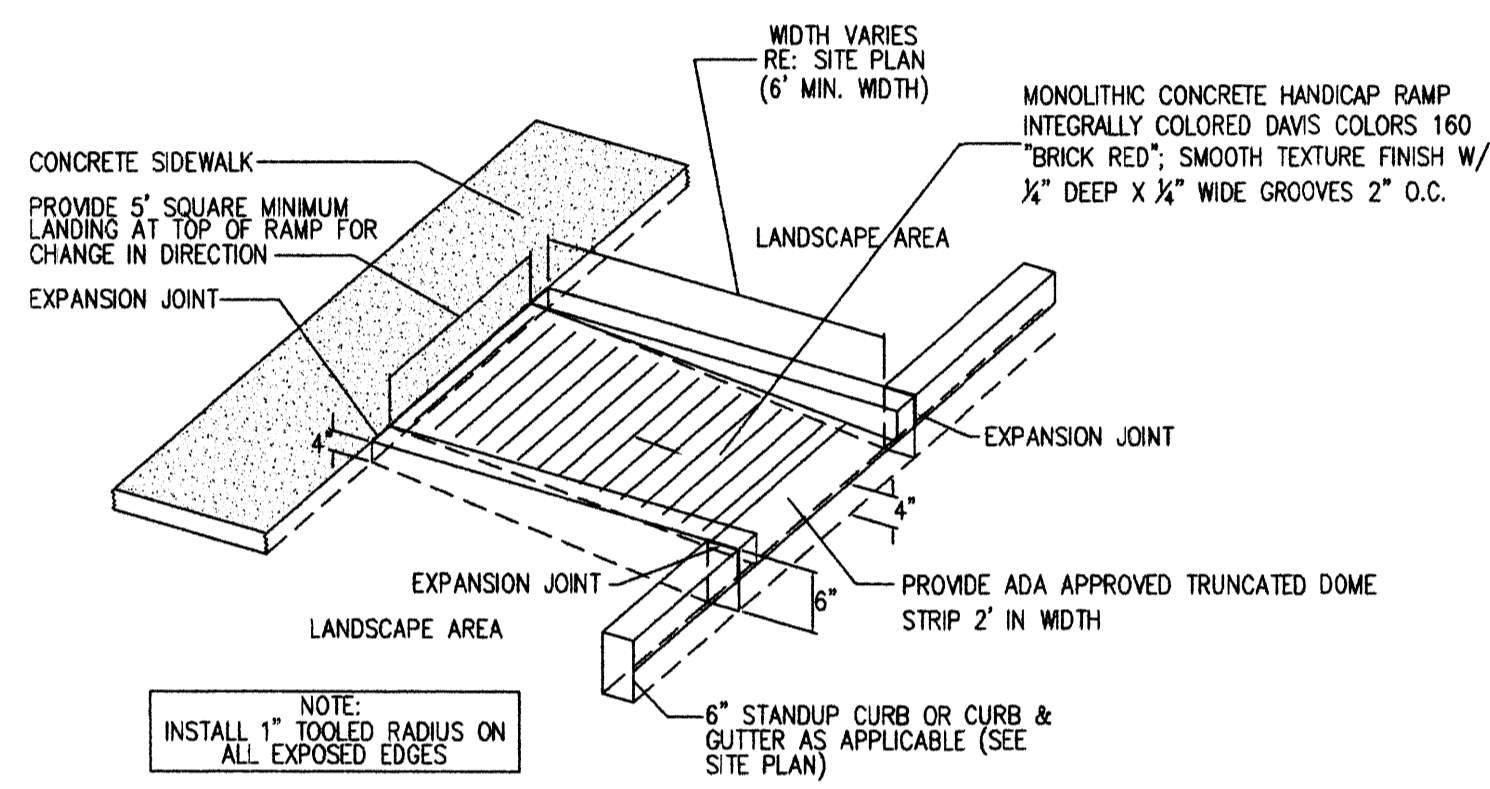
PROJECT NUMBER: _____ JOB NO.: _____ DRAWN BY: _____
STEPHEN DUNBAR, AIA SUNFLOWER MSW

SHEET TITLE: **SITE PLAN-BUILDING PERMIT**

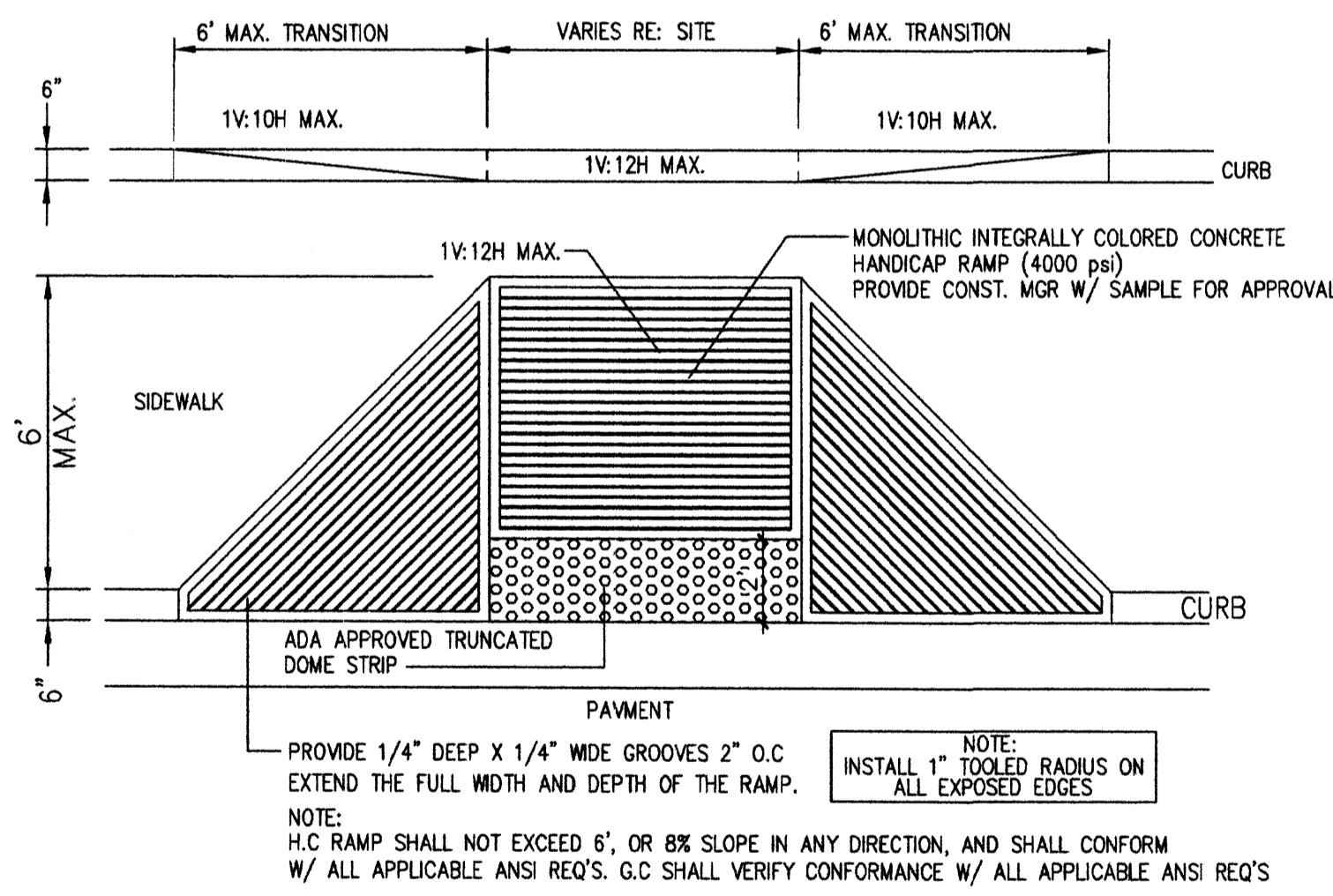
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SCALE	A1.0
AS NOTED	



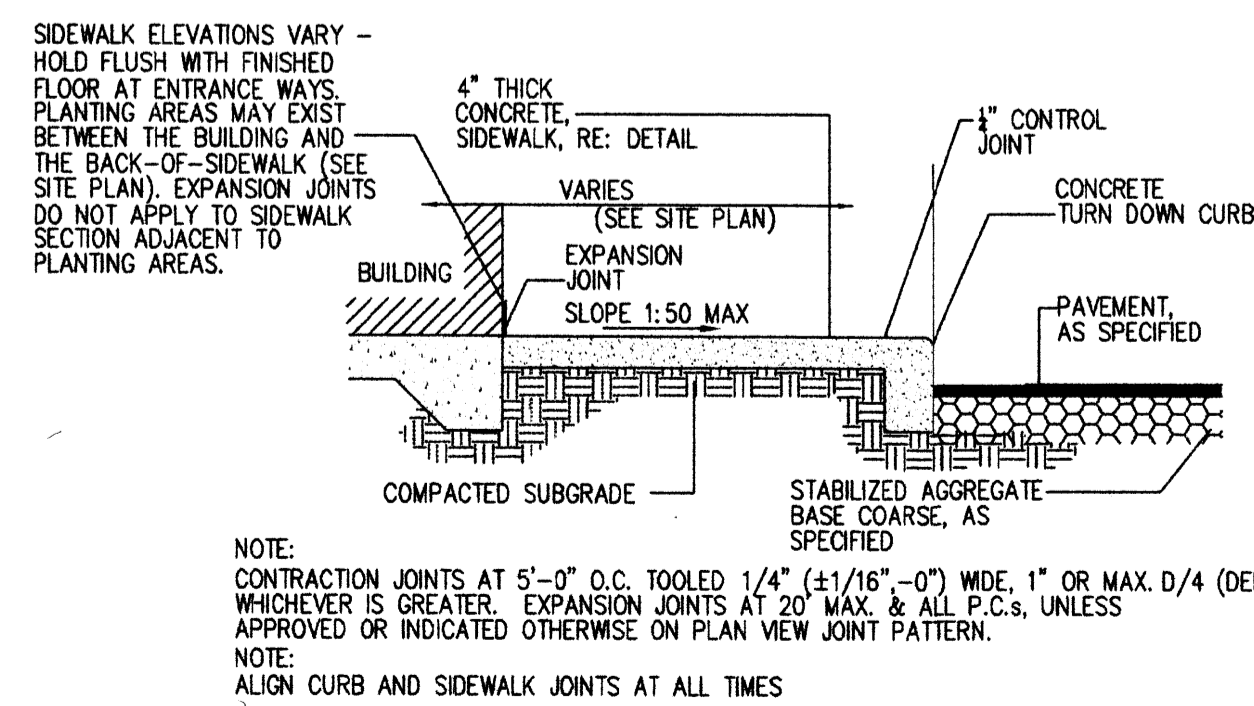
17 TAPERED H.C RAMP
Scale: N.T.S.



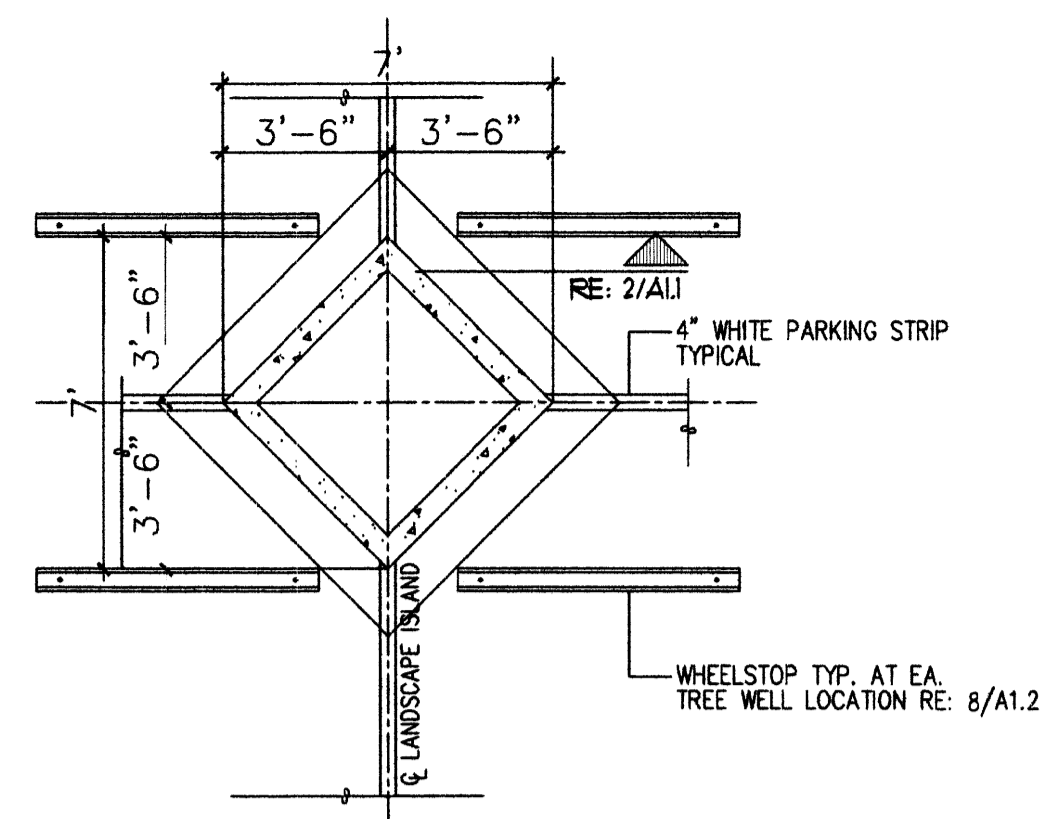
16 CURBED H.C RAMP
Scale: N.T.S.



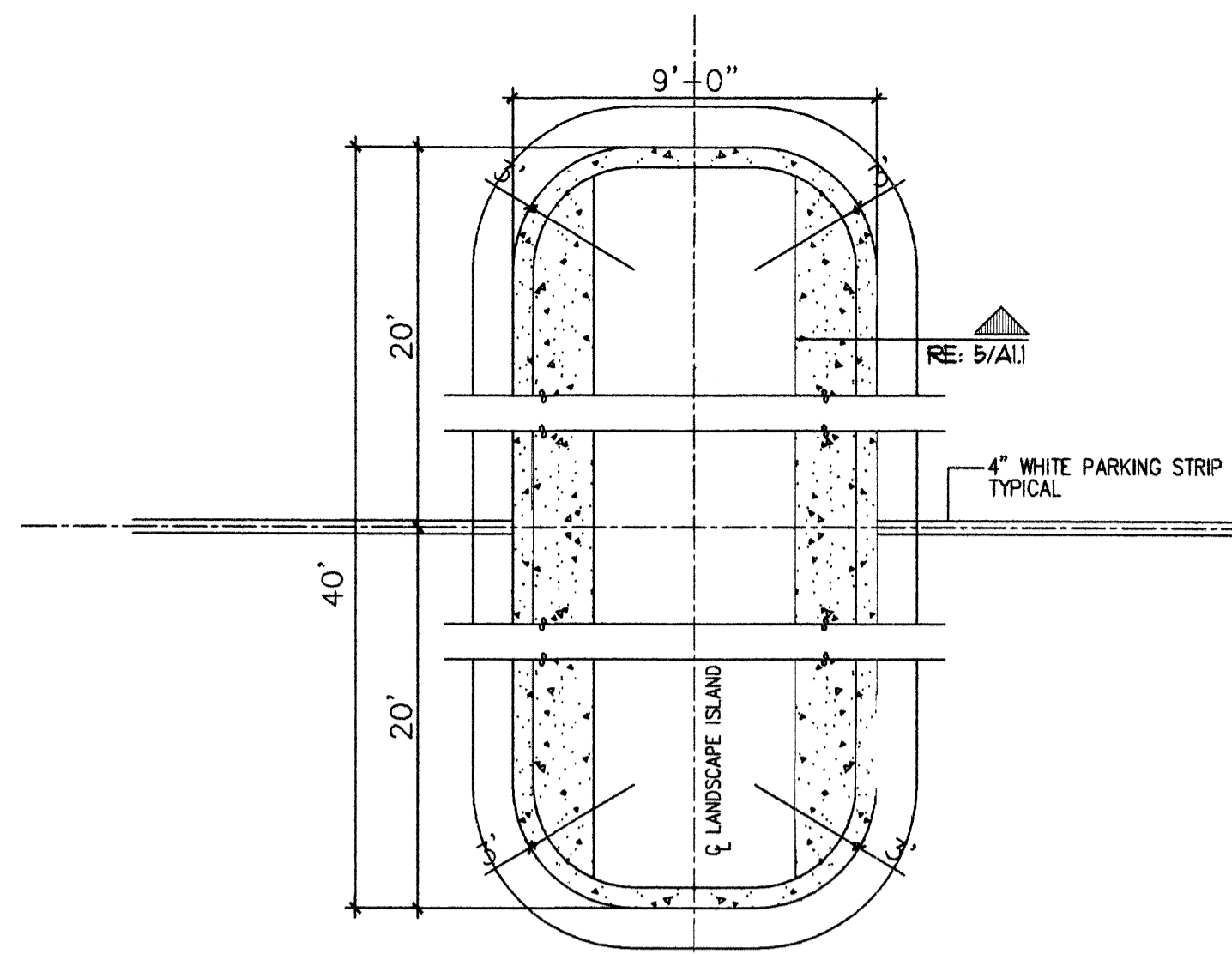
15 FLARED H.C RAMP
Scale: N.T.S.



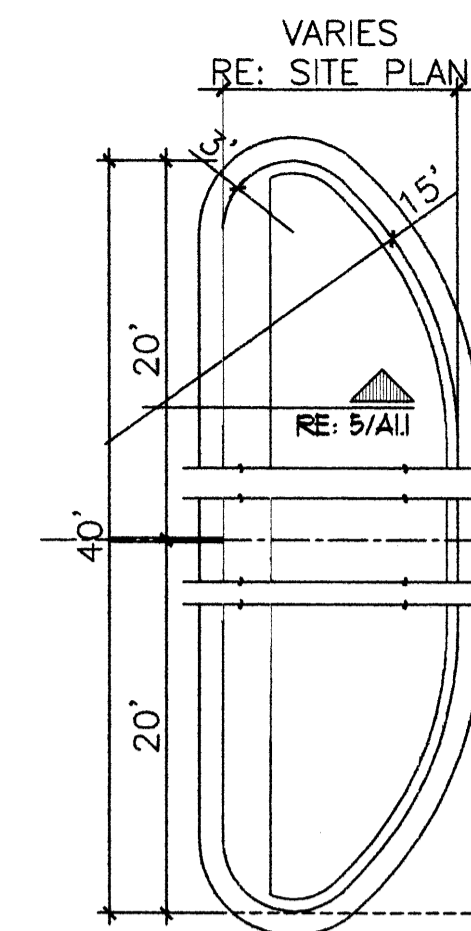
14 SIDEWALK W/ TURNDOWN CURB SECTION
Scale: N.T.S.



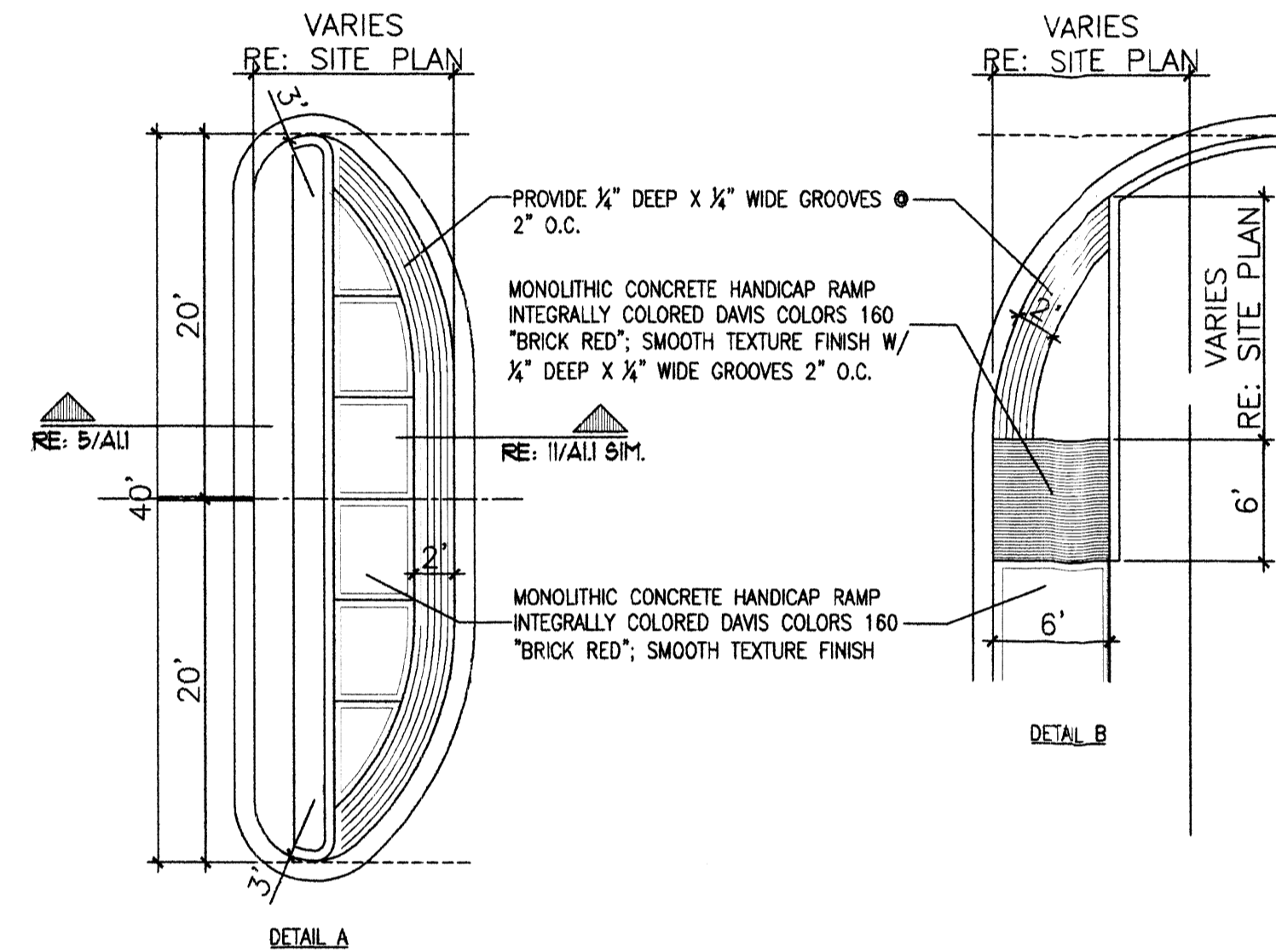
13 DIAMOND DETAIL
Scale: N.T.S.



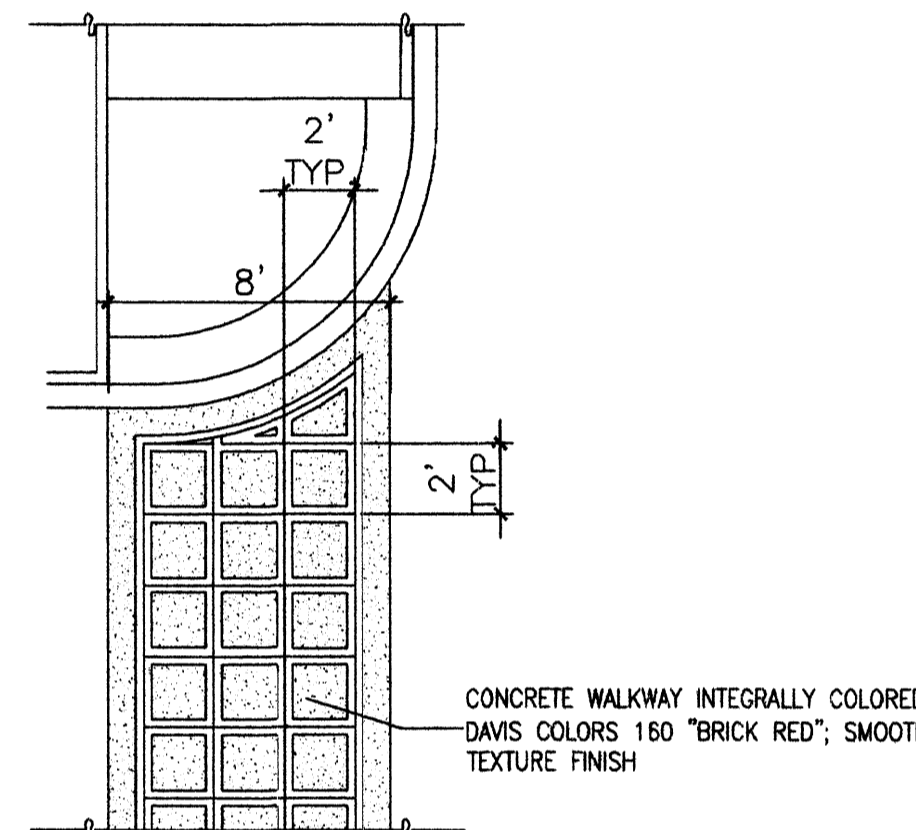
8 ISLAND DETAIL
Scale: N.T.S.



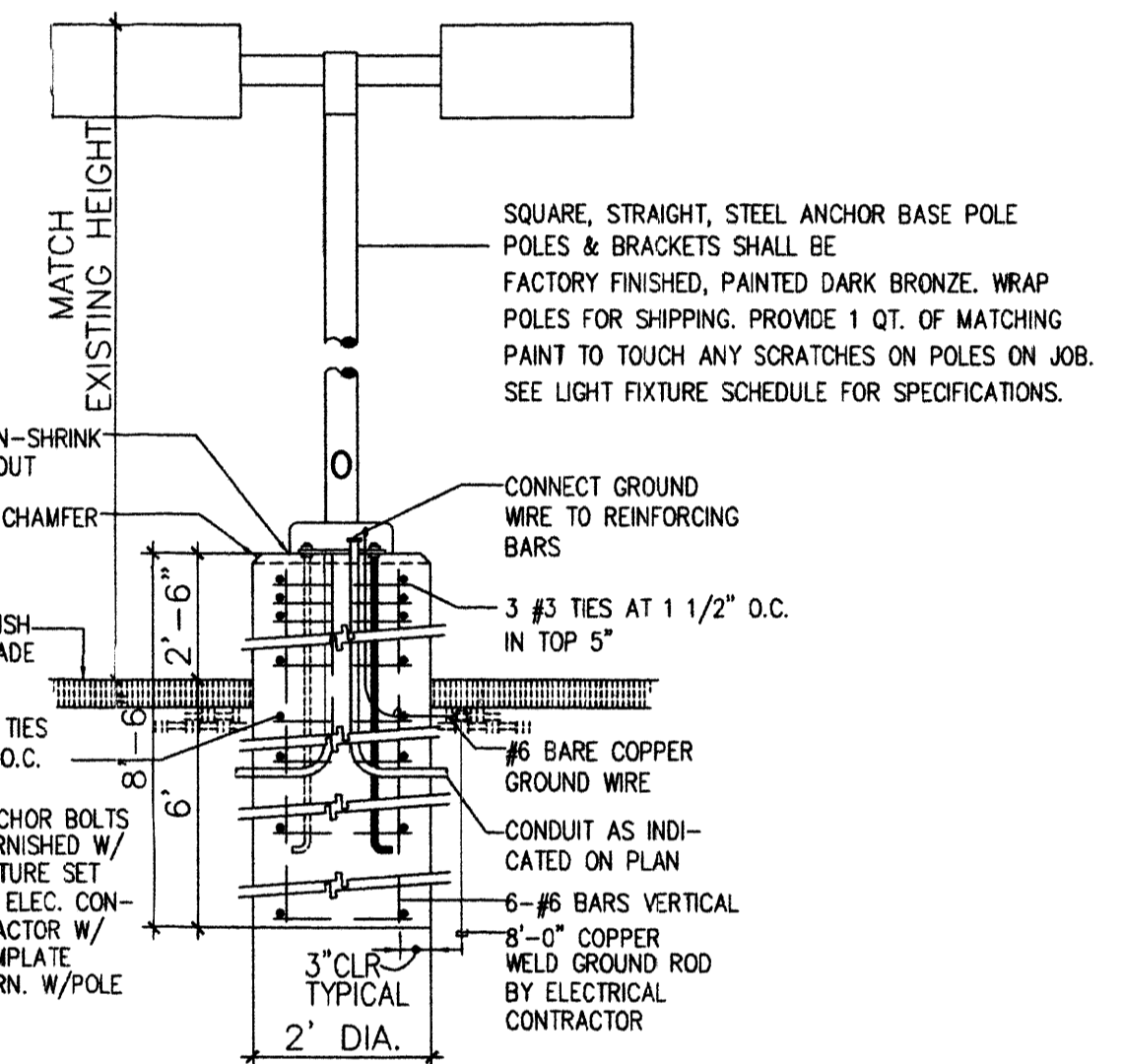
4 END ISLAND DETAIL
Scale: N.T.S.



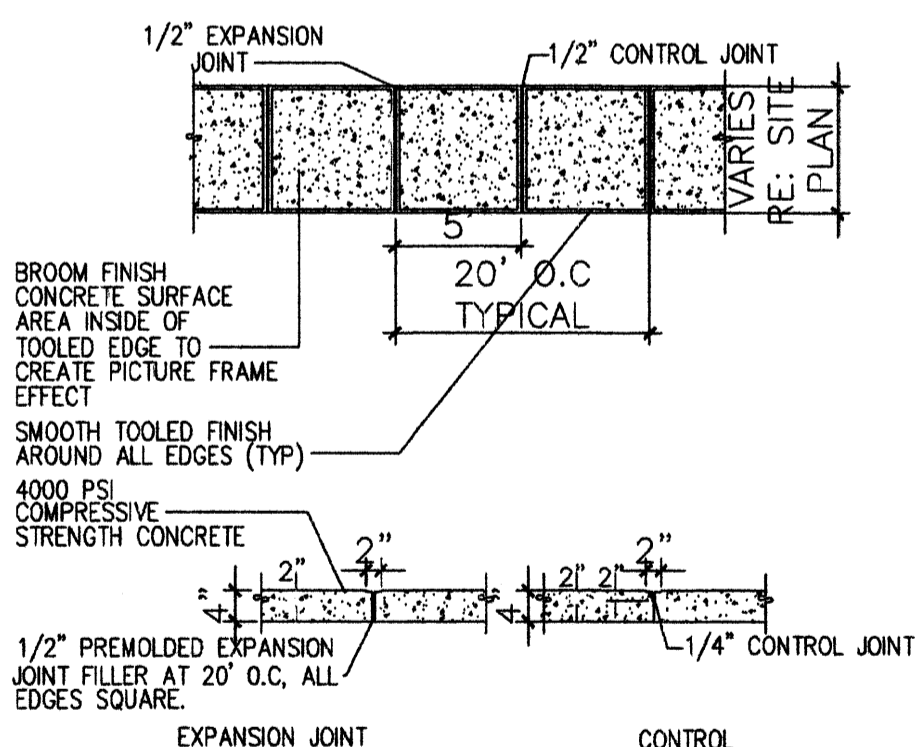
12 TYP. END ISLAND W/ WALK
Scale: N.T.S.



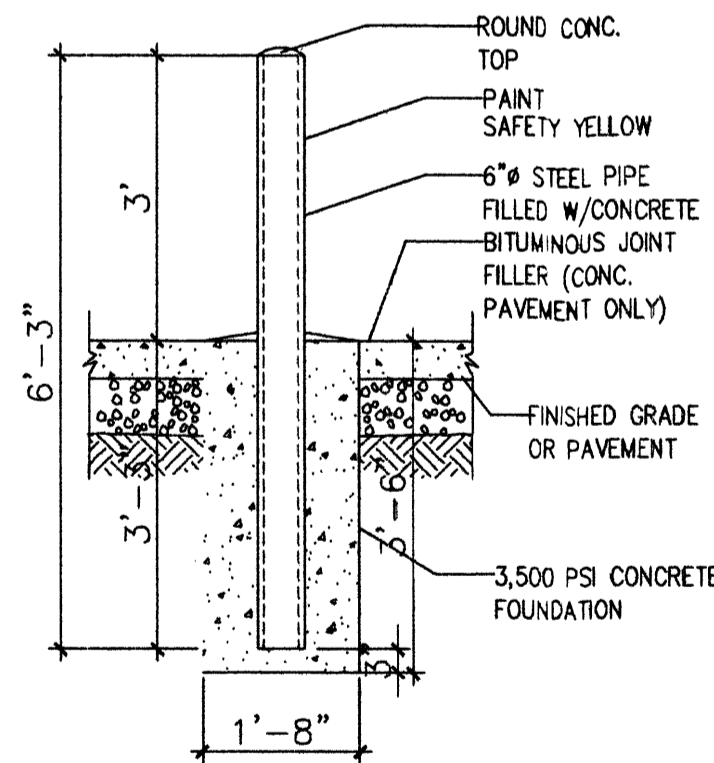
7 TYP. CONC. CROSSWALK
Scale: N.T.S.



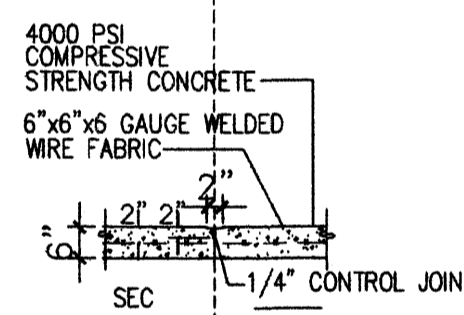
3 LIGHT POLE DETAIL
Scale: N.T.S.



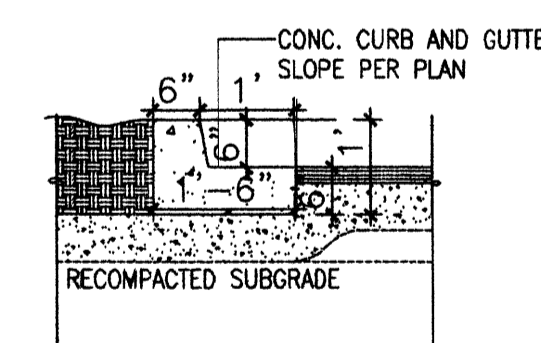
11 TYPICAL SIDEWALK
Scale: N.T.S.



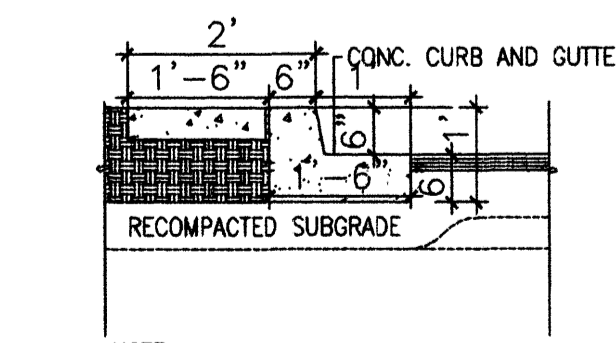
10 BOLLARD DETAIL
Scale: 1/2\"/>



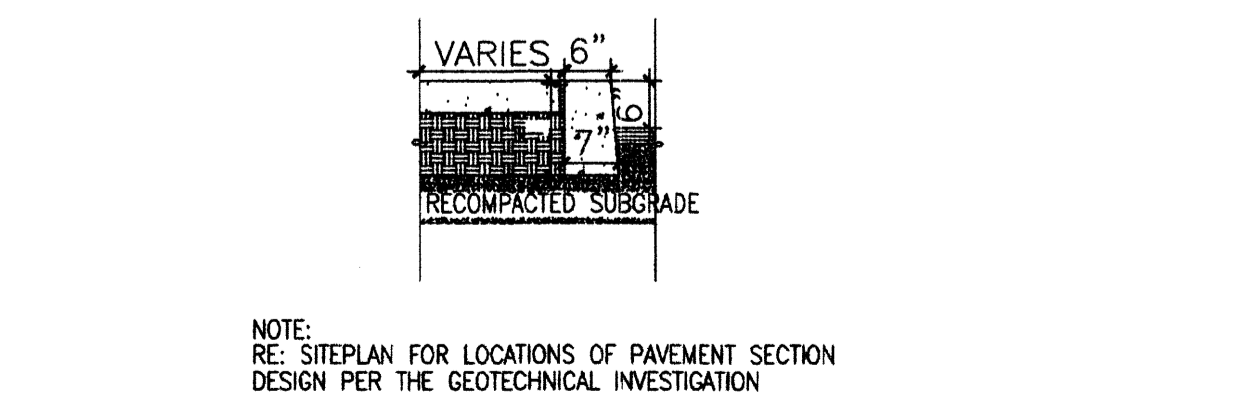
6 HEADERCURB DETAIL
Scale: N.T.S.



2 TYP. CURB DETAIL
Scale: N.T.S.



5 ISLAND CURB DETAIL
Scale: N.T.S.



9 HEADER CURB W/ STEP OFF DETAIL
Scale: N.T.S.

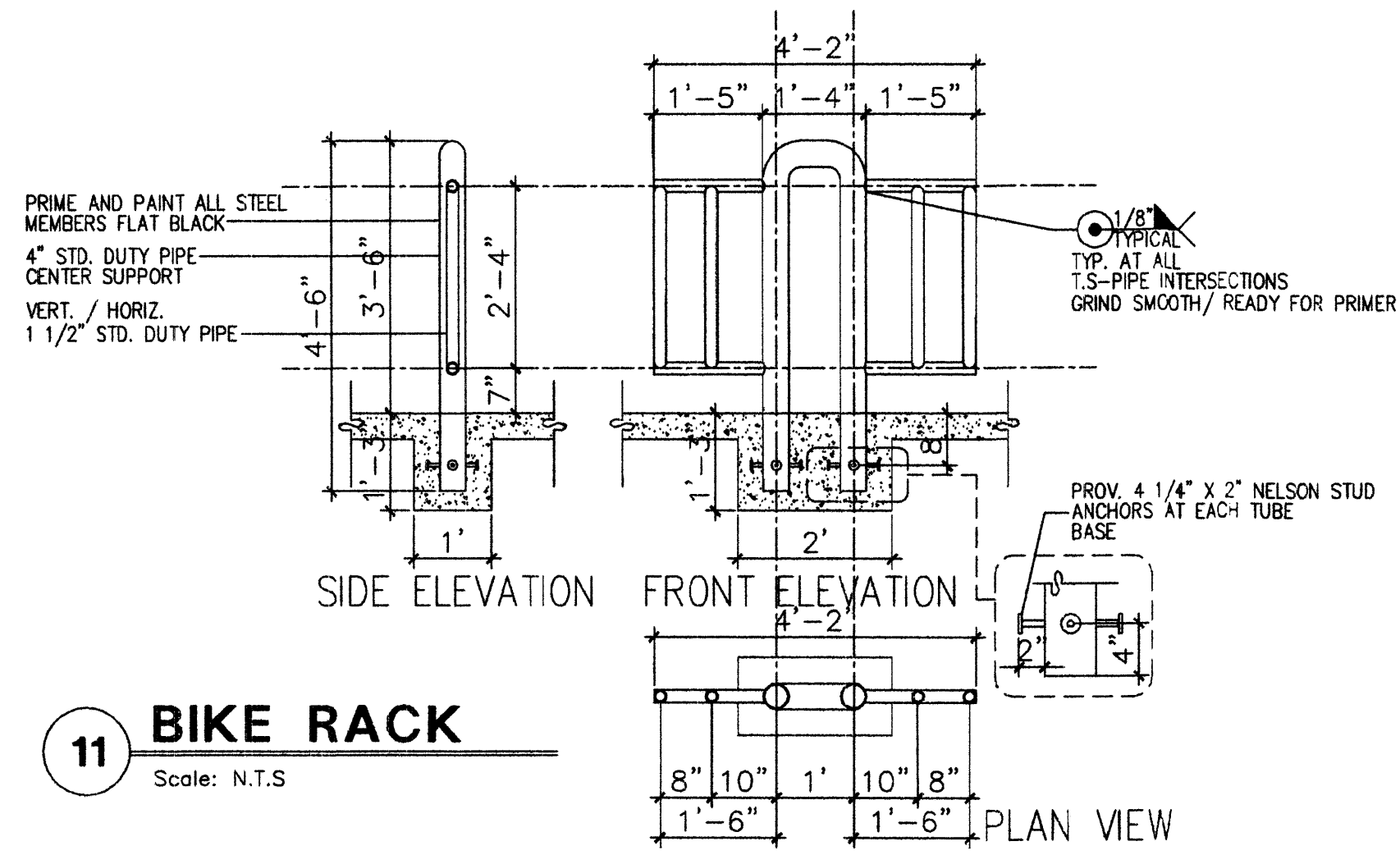
REV	DATE	BY	REVISION
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MODULUS ARCHITECTS
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 338-1499 FAX (505) 338-1498
TOLL FREE 1-866-224-2161

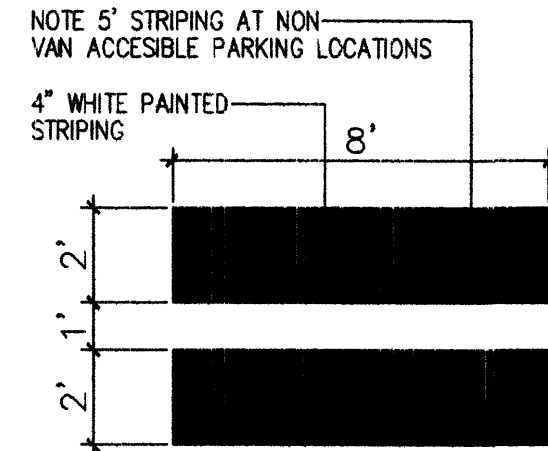


PROJECT TITLE	SUNFLOWER HEIGHTS N.E.C. OF JUAN TABO AND MONTGOMERY ALBUQUERQUE, NEW MEXICO
PROJECT MANAGER	STEPHEN DUNBAR, AIA
JOB NO.	SUNFLOWER
DRAWN BY	MSW
SHEET TITLE	SITE DETAILS

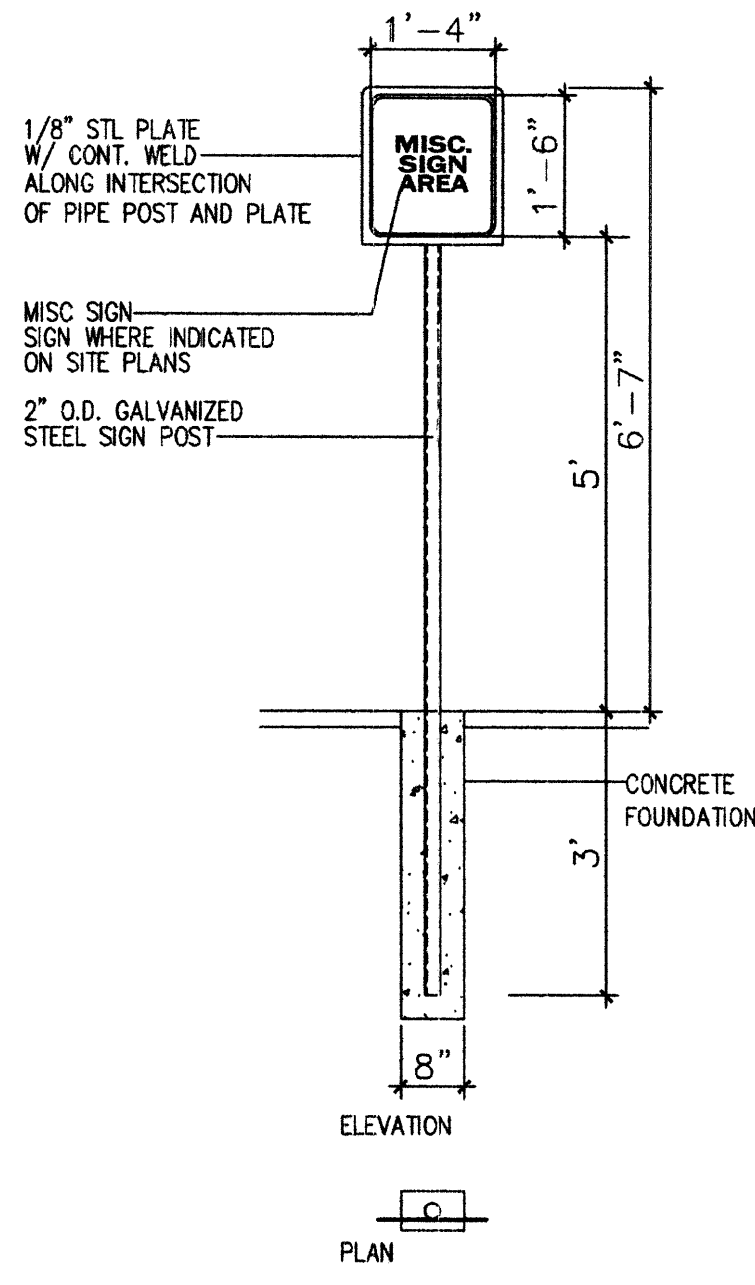
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SCALE	AS NOTED
SHEET NO.	A1.1



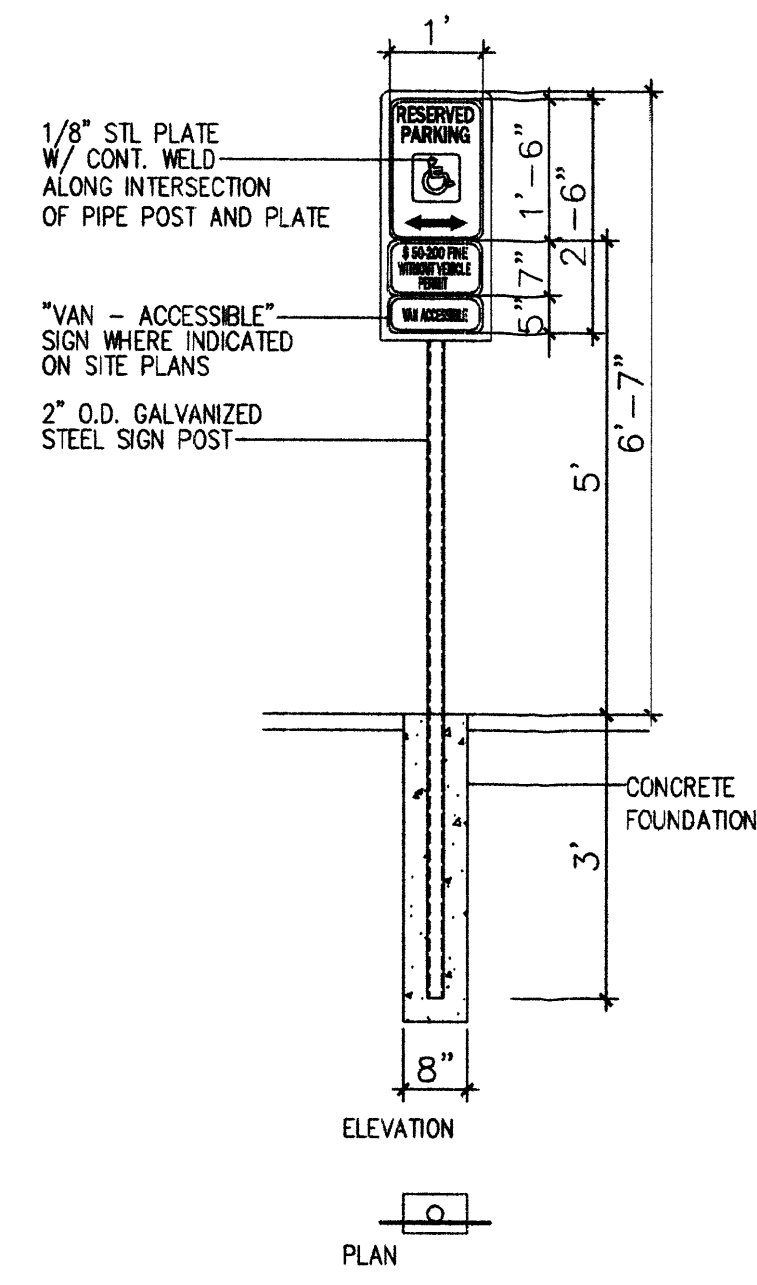
11 BIKE RACK
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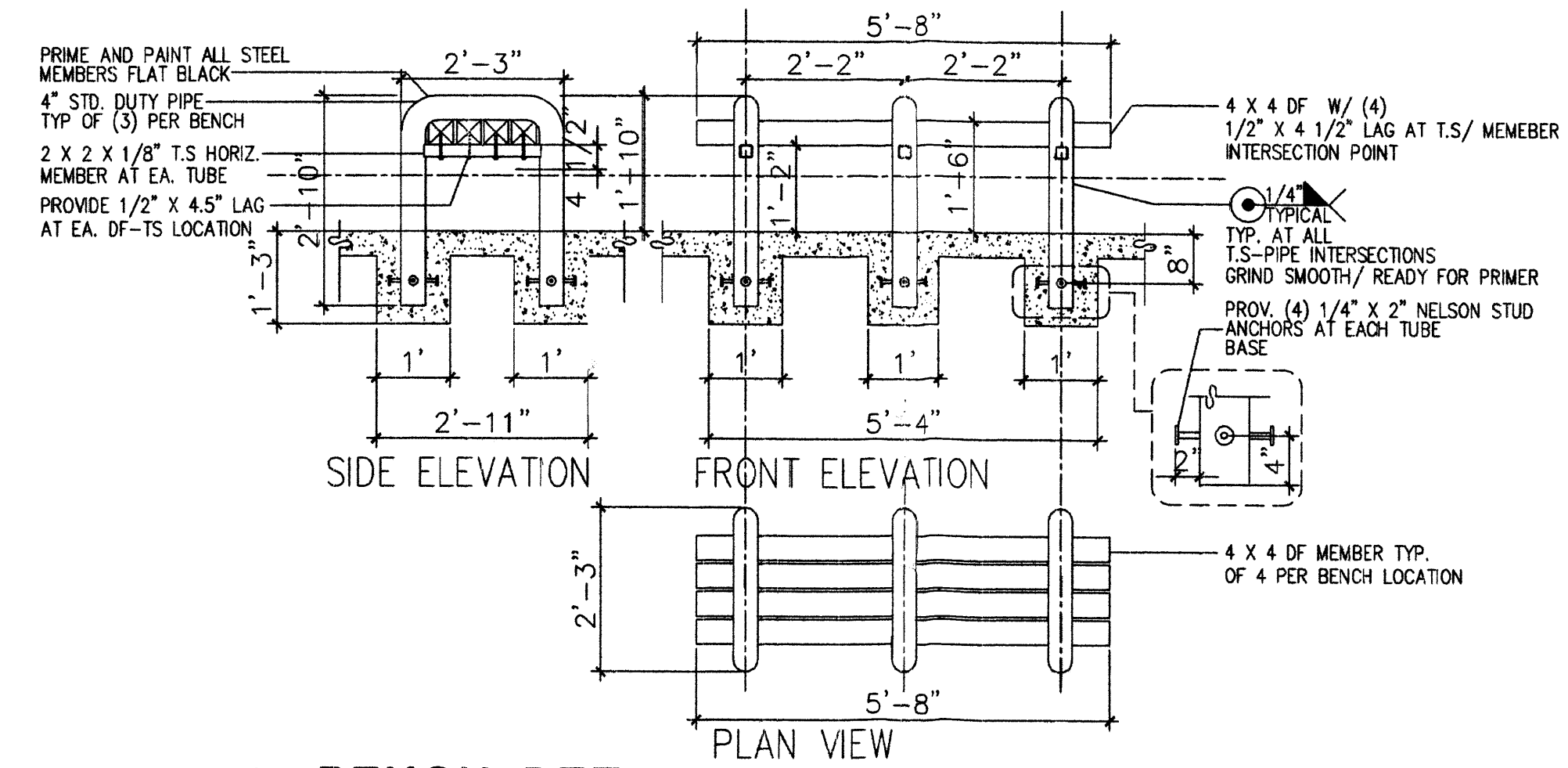
10 H.C. PARKING-WALK PAINT DETAIL
Scale: N.T.S



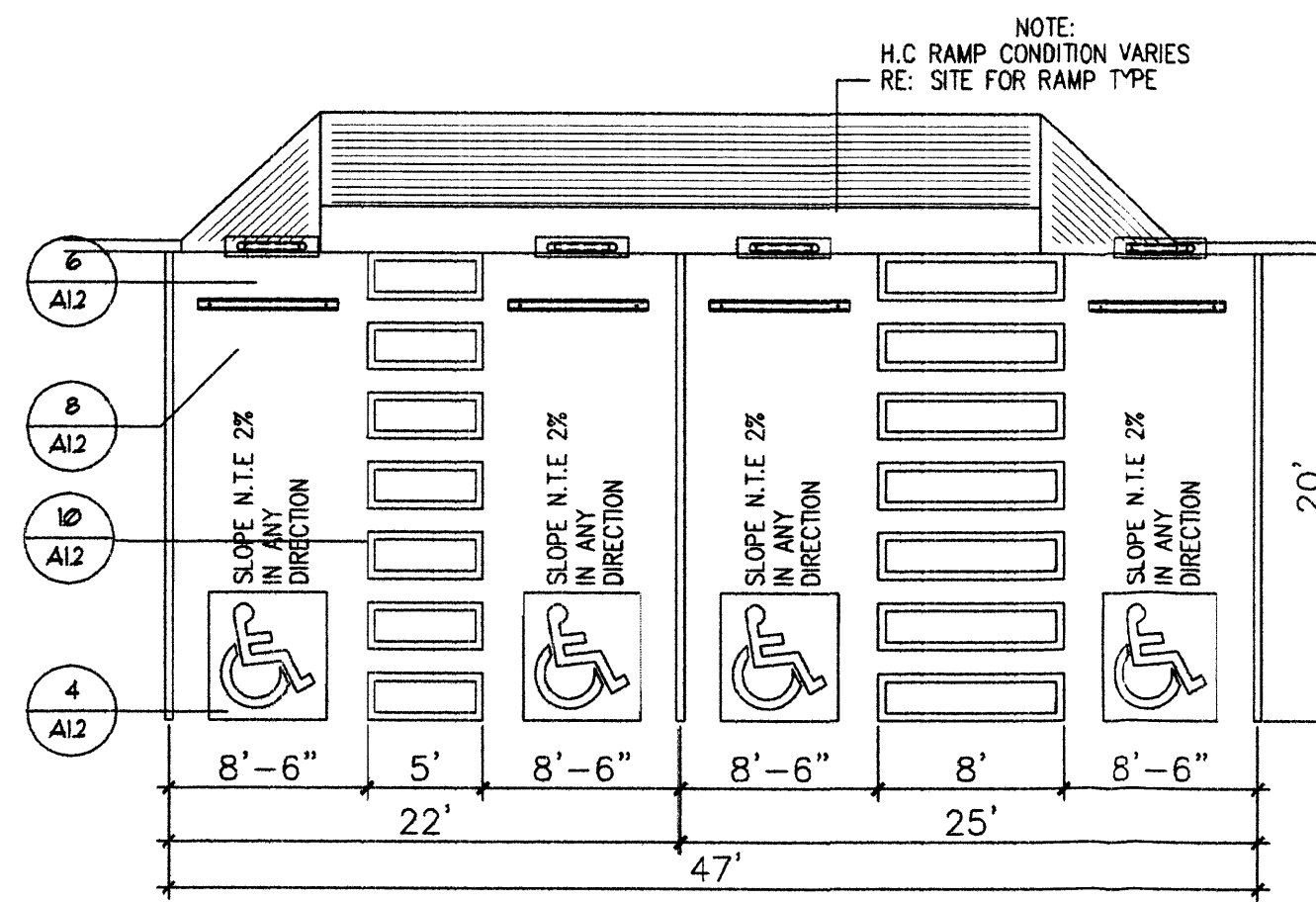
7 MISC. SIGNAGE
Scale: N.T.S



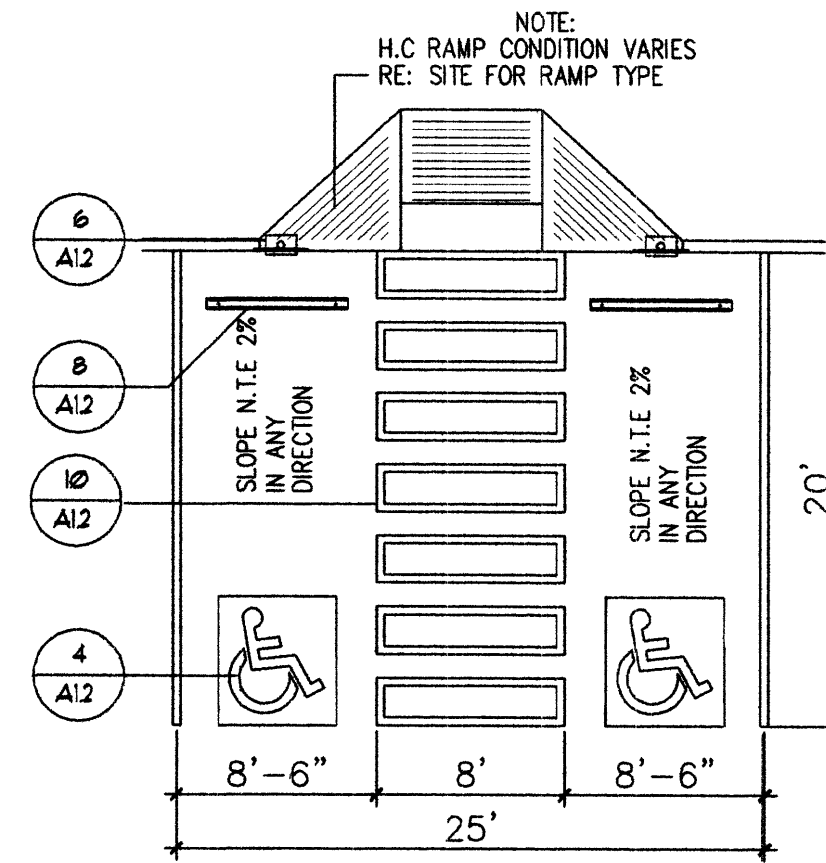
6 H.C. SIGNAGE
Scale: N.T.S



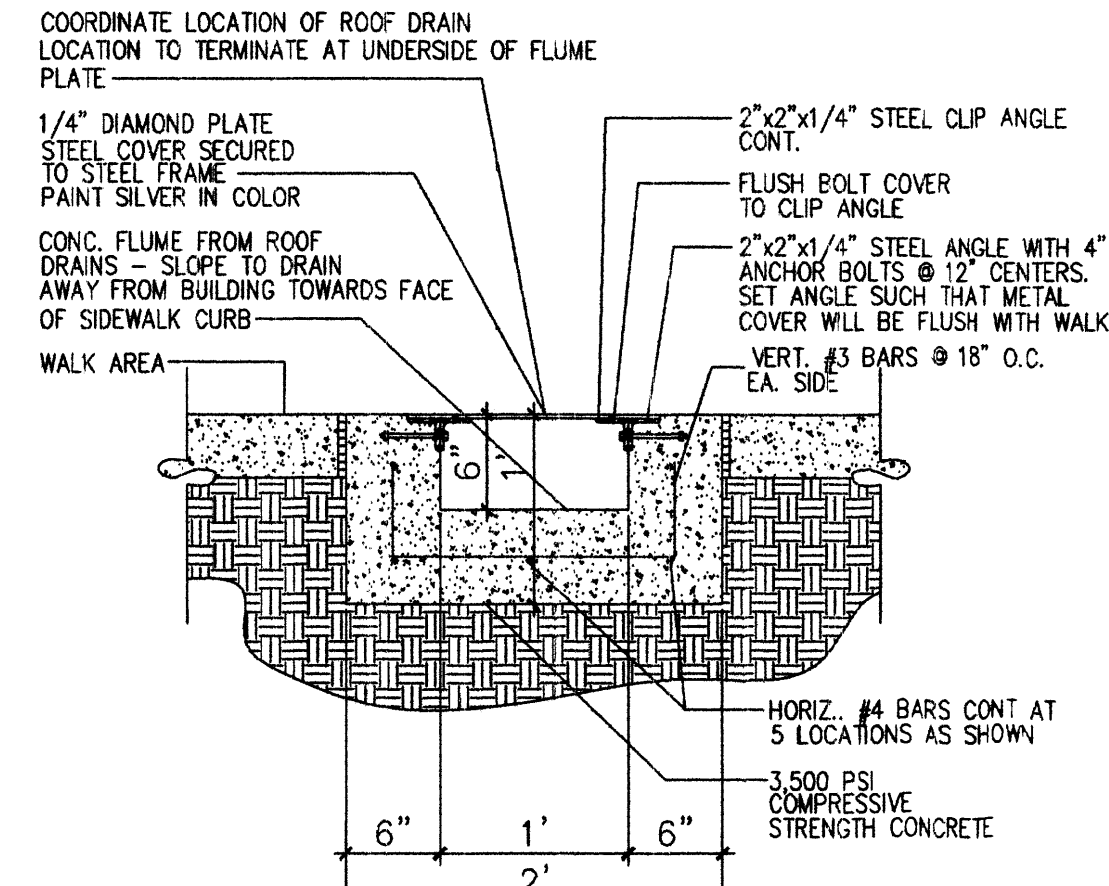
3 BENCH DET.
Scale: N.T.S



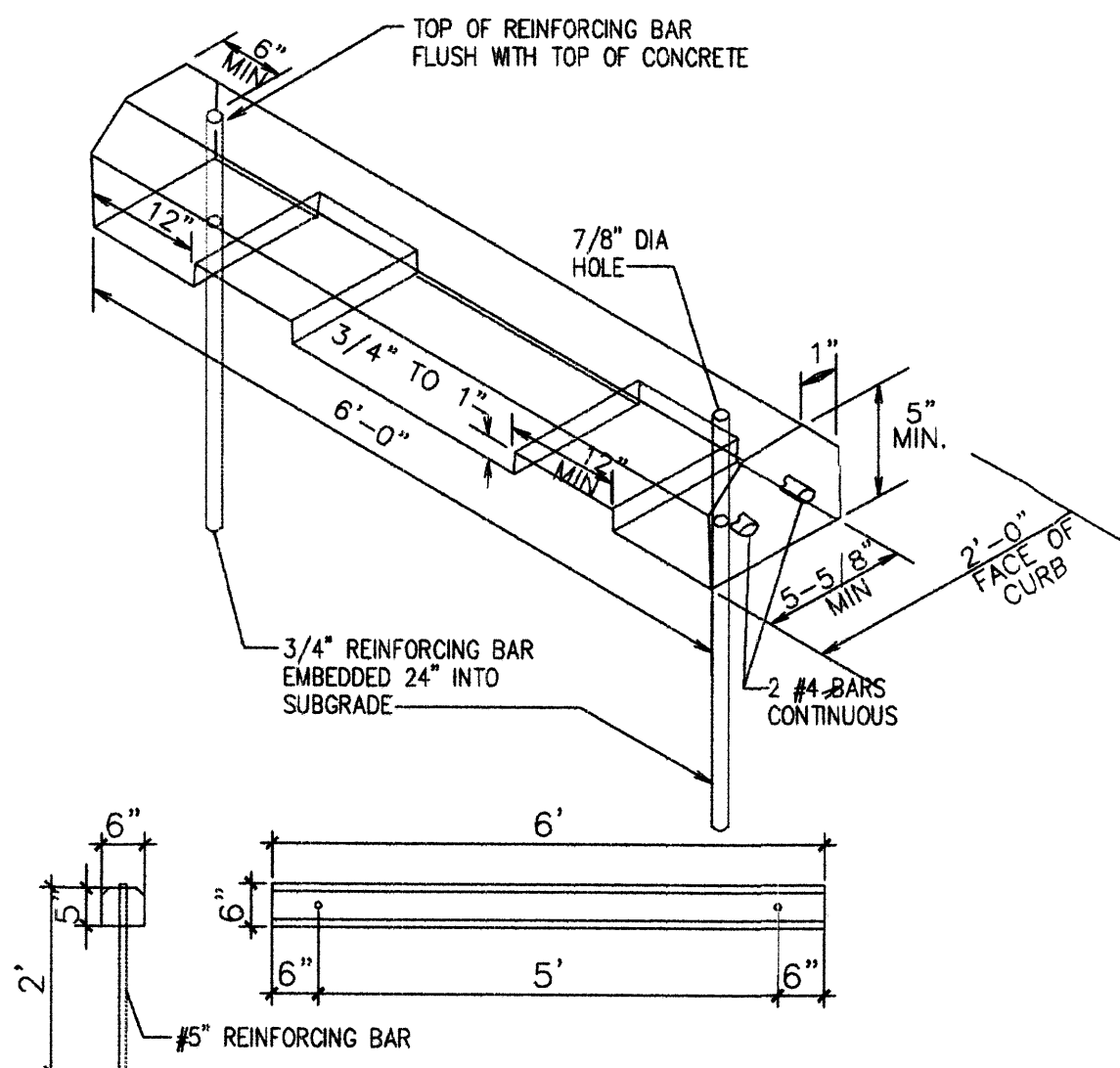
9 H.C. PARKING (DUAL CONFIGURATION)
Scale: N.T.S



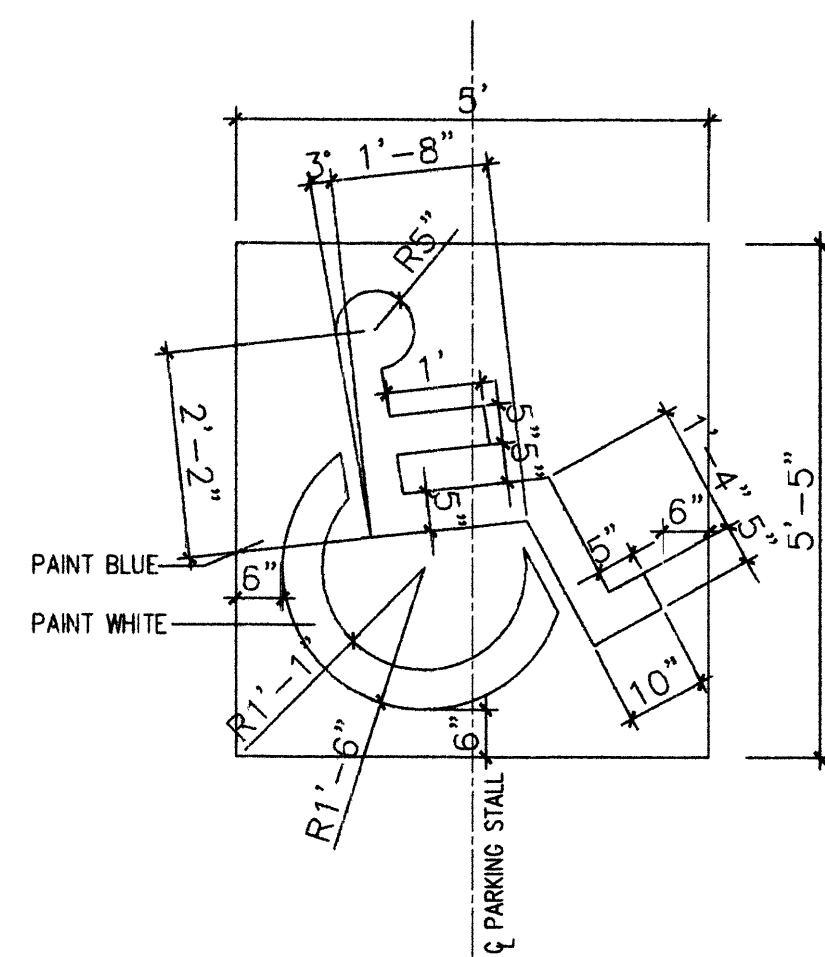
5 H.C. PARKING (VAN ACCESSIBLE ONLY)
Scale: N.T.S



2 CONC. FLUME DETAIL
Scale: N.T.S



8 H.C. WHEELSTOP
Scale: 1/2"=1'-0"



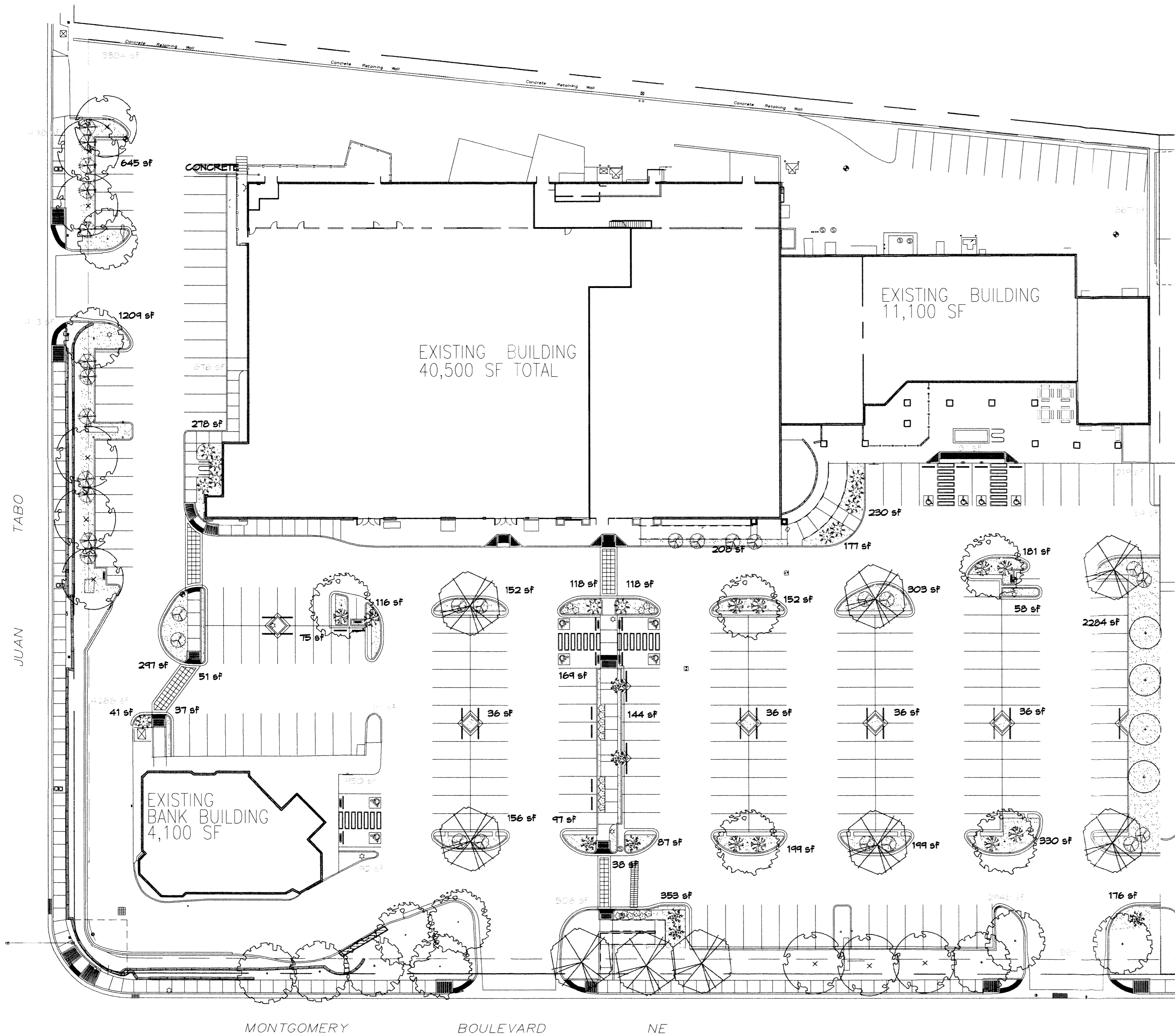
4 H.C. SIGNAGE
Scale: 1/2"=1'-0"

REV	DATE	BY	REVISION
6			
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MODULUS ARCHITECTS
2325 SAN PEDRO N.E. SUITE 2-B
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PROJECT TITLE	SUNFLOWER HEIGHTS N.E.C. OF JUAN TABO AND MONTGOMERY ALBUQUERQUE, NEW MEXICO	JOB NO.	SUNFLOWER	DRAWN BY:	MSW
PROJECT MANAGER	STEPHEN DUNBAR, AIA	SHEET TITLE	SITE DETAILS		
DATE:	02/05/09	SHEET NO.	A1.2		
SCALE:	AS NOTED				



PLANT LEGEND

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

- AUTUMN BLAZE MAPLE 9
Acer x Freemanii 'Autumn Blaze'
2" Cal., 12-14" Inst./40' x 50' maturity
Water (M) Allergy (L) Osf
- BUR OAK 9
Quercus macrocarpa
2" Cal., 12-14" Inst./60' x 60' maturity
Water (M) Allergy (M) Osf
- AUTUMN PURPLE ASH 8
Fraxinus americana
2" Cal., 12-14" Inst./60' x 60' maturity
Water (M) Allergy (H) Osf
- HONEY LOCUST (TO MATCH EXISTING) 8
Gleditsia triacanthos
2" Cal., 12-14" Inst./60' x 60' maturity
Water (M+) Allergy (L) Osf
- SHRUBS/GROUNDCOVERS**
- FIFTEEN GAL.**
- NEW MEXICO OLIVE 4
Forsythia neomexicana
5 Gal., 4'-10" Inst./15' x 15' maturity
Water (M) Allergy (L) 225sf
- * BUFFALO JUNIPER (TO MATCH EXISTING) 12
Juniperus sabina 'Buffalo'
5 Gal., 24"-4' Inst./2' x 8' maturity
Water (L+) Allergy (L) 64sf
- * GREYLEAF COTONEASTER 12
Cotoneaster glaucophyllus
5 Gal., 24"-4' Inst./2' x 9' maturity
Water (M) Allergy (L) 81sf
- * LADY BANK'S ROSE 7
Rosa banksiae
1 Gal., 24"-4' Inst./3' x 20' maturity
Water (M) Allergy (L) 400sf
Unstaked groundcover
- WINTER JASMINE 10
Jasminum nudiflorum
1 Gal., 6'-15" Inst./4' x 12' maturity
Water (L+) Allergy (L) 144sf
- * HONEYSUCKLE 18
Lonicera japonica 'Halliana'
1 Gal., 6'-15" Inst./3' x 12' maturity
Water (M) Allergy (L) 144sf
Unstaked groundcover
- POTENTILLA 22
Potentilla fruticosa
1 Gal., 3'-15" Inst./3' x 3' maturity
Water (M+) Allergy (L) 9sf
- HARDSCAPES**
- CRUSHED GREY GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
- EXISTING LANDSCAPING
- * DENOTES EVERGREEN PLANT MATERIAL

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubblers systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for Irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	216126	square feet
TOTAL BUILDINGS AREA	56384	square feet
NET LOT AREA	159742	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	23961	square feet
TOTAL NEW BED PROVIDED	8822	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	6616	square feet
TOTAL GROUNDCOVER PROVIDED	8710 (98%)	square feet
EXISTING LANDSCAPE	15490	square feet
MINIMUM 75% LIVE GROUNDCOVER		
TOTAL SOD AREA	0	square feet
(max. 20% of landscape allowed)		
TOTAL LANDSCAPE PROVIDED	24228 (15%)	square feet

STREET TREE REQUIREMENTS - Minimum 2" Caliper
Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

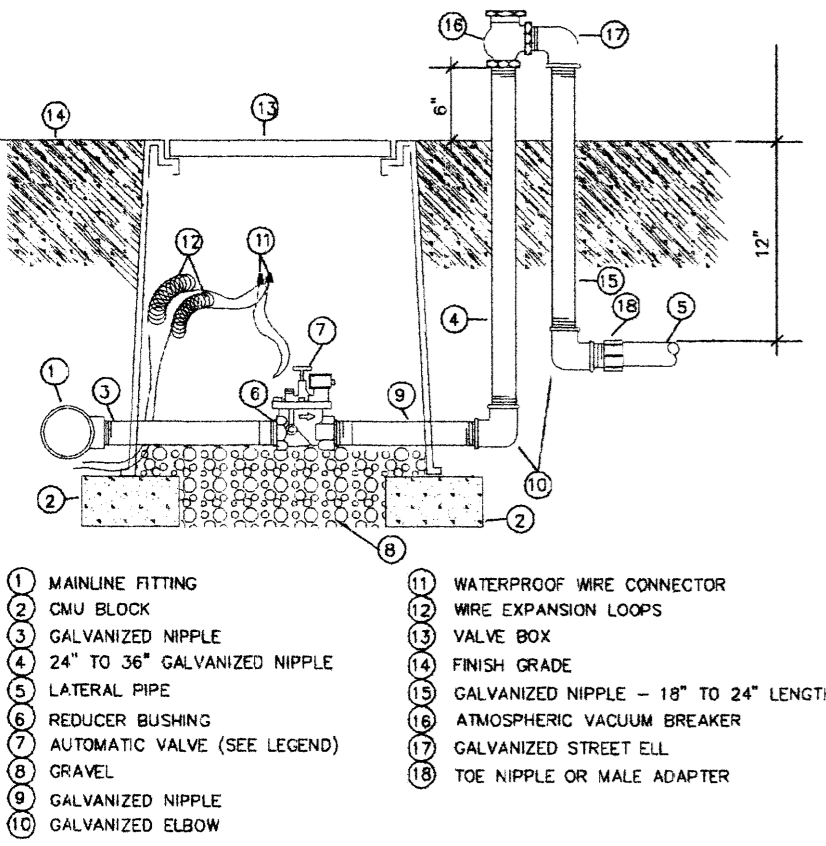
Name of Street: Montgomery Blvd. NE
Required # 11 Provided # 2 Existing and 15 New

Name of Street: Juan Tabo NE
Required # 14 Provided # 6 Existing and 8 New

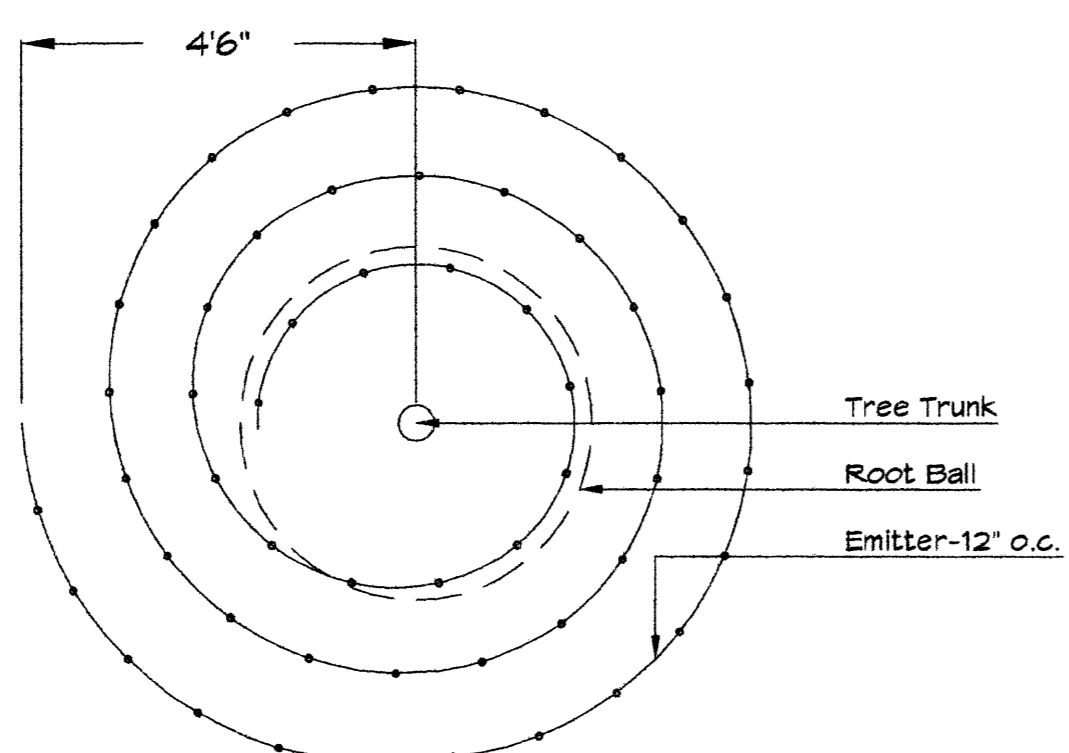
PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper
Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces
Required # 12 Provided # 1 Existing and 11 New

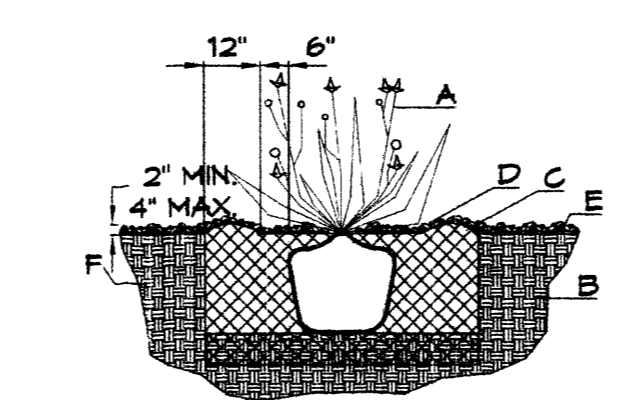
NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 5:1. If the grades are greater than what was originally designed, we will request an in-field change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



ALTOOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER



Netafim Spiral Detail



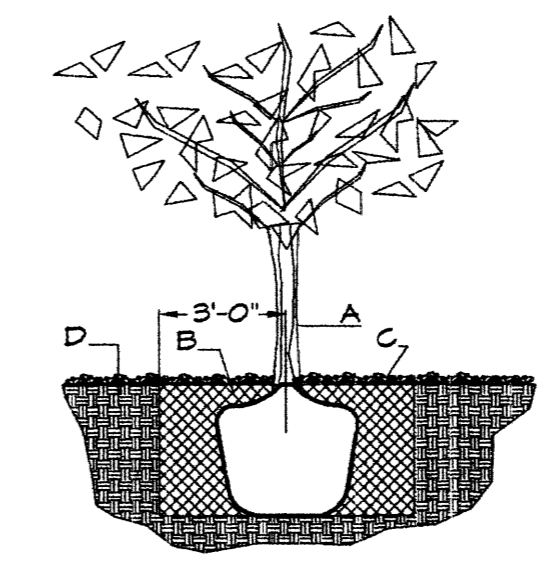
SHRUB PLANTING DETAIL

NTS

GENERAL NOTES:
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

CONSTRUCTION NOTES:

- A. SHRUB.
- B. BACKFILL WITH EXISTING SOIL.
- C. EARTH BERM AROUND WATER RETENTION BASIN.
- D. 3" DEPTH OF GRAVEL MULCH.
- E. FINISH GRADE.
- F. UNDISTURBED SOIL.



TREE PLANTING DETAIL

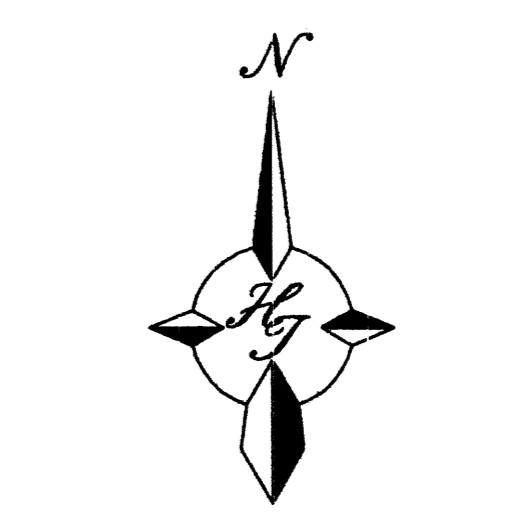
NTS

GENERAL NOTES:

1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:

- A. TREE
- B. BACKFILL WITH EXISTING SOIL.
- C. 3" DEPTH OF GRAVEL MULCH.
- D. UNDISTURBED SOIL.



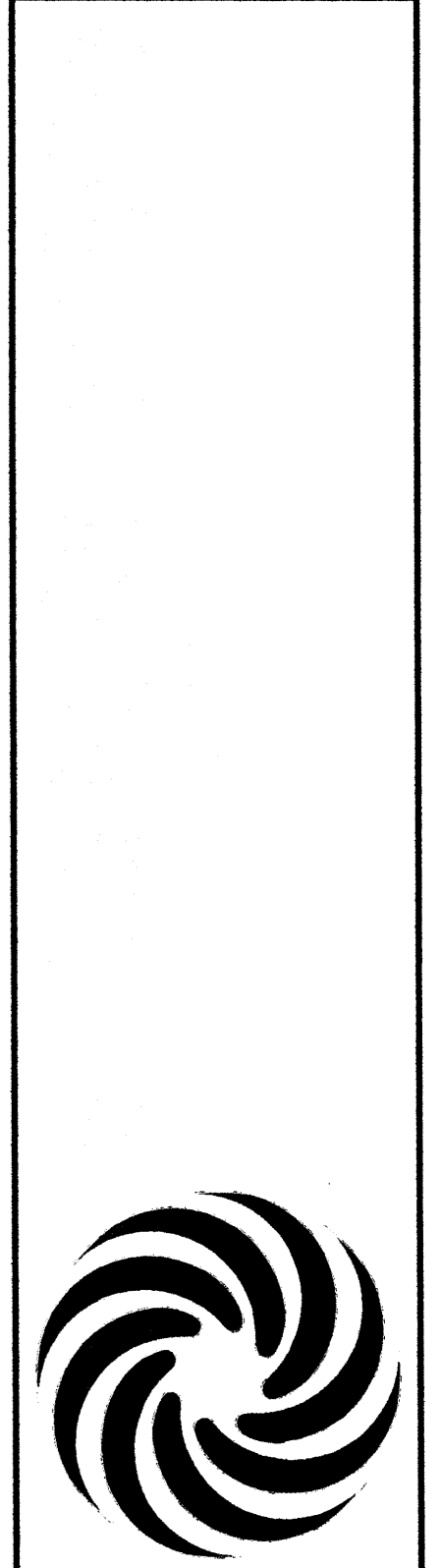
GRAPHIC SCALE

SCALE: 1"=30'



The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com

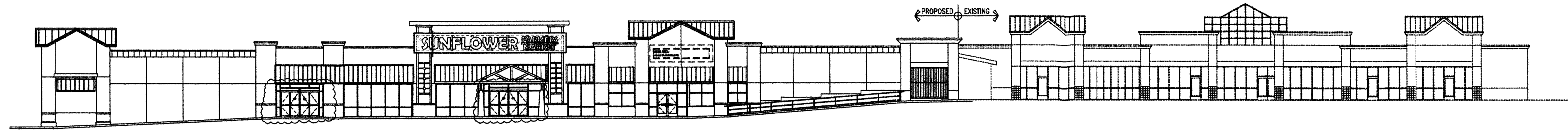
NO.	DATE	BY	REVISION
1	1-12-10	cmj	COA COMMENTS/ DIMOND SIZE & TREE VARIETY
2	11-17-09	cmj	CLIENT COMMENTS
3	6-29-09	RMC	COMMENTS/SITE REVISION



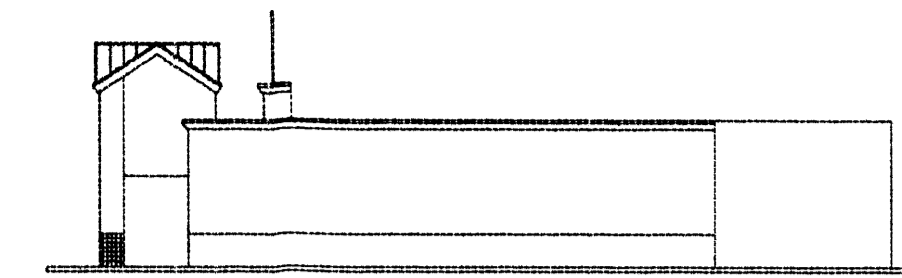
1 / 12 / 10

SUNFLOWERS - HEIGHTS PLAZA
N.E.C. OF JUAN TABO AND MONTGOMERY
ALBUQUERQUE, NEW MEXICO
STEPHEN DUNBAR, AIA SUNFLOWER
RMC
LANDSCAPE PLAN

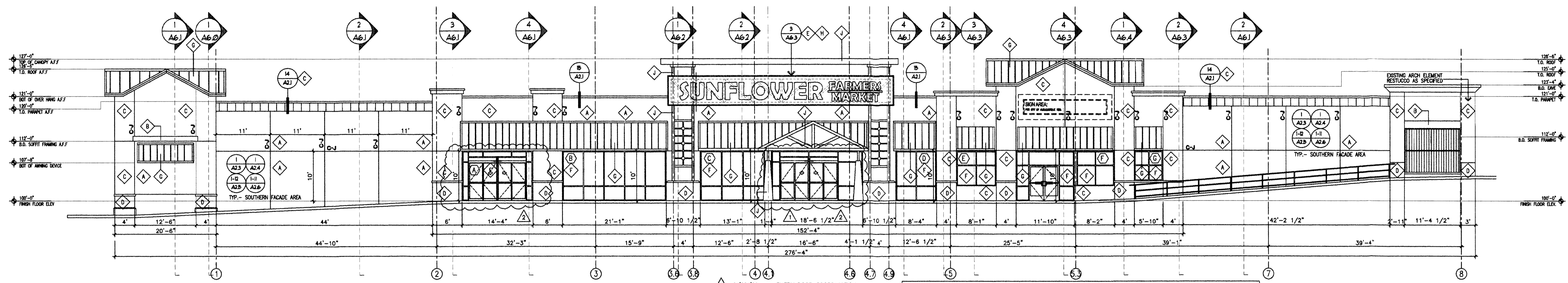
1"=30'



1 OVERALL PROPOSED/EXISTING SOUTHERN ELEVATION
SCALE: N.T.S.



1A EXISTING SHOPS EASTERN ELEVATION
SCALE: N.T.S.

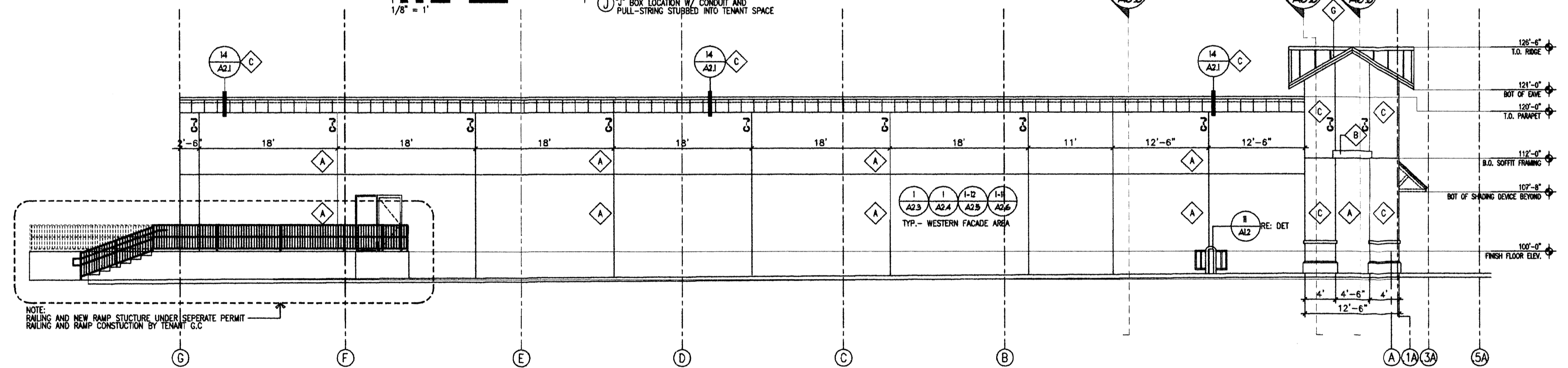


2 SOUTHERN ELEVATION
SCALE: 3/32" = 1'-0"

NOTE: ALL BUILDING MOUNTED SIGNAGE IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR.
1" BOX LOCATION W/ CONDUIT AND FULL-STRING STUBBED INTO TENANT SPACE.

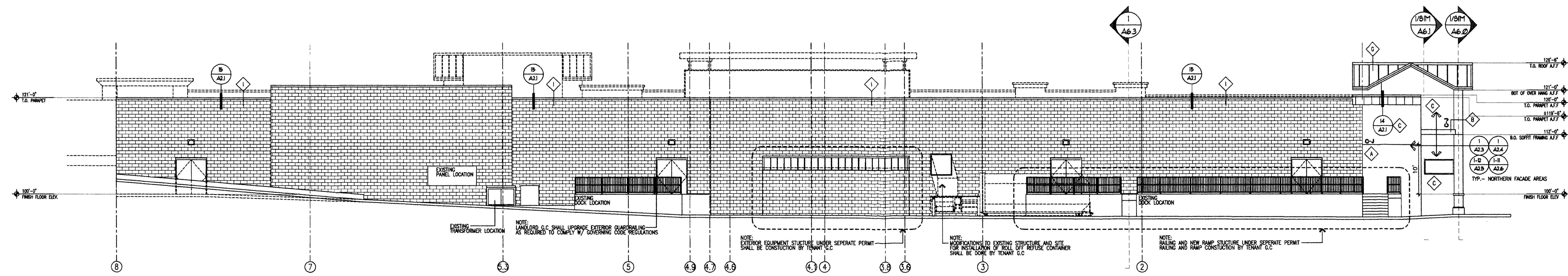
SOUTHERN FACADE ALLOWABLE SIGNAGE AREA:
6100 SF FACADE AREA / 5% = 306 SQUARE FEET OF ALLOWABLE SIGNAGE AREA
PROPOSED SIGN AREA = 1276 SF AND = 2 (60 SF) = 366 SF

Keyed Color / Material Schedule	
A	STO-POWER COAT STUCCO SYSTEM STO COLOR COAT TO MATCH SHERWIN WILLIAMS COLOR RICE GRAY SW 6155 (LIGHT TAN)
B	STO-POWER COAT STUCCO SYSTEM STO COLOR COAT TO MATCH SHERWIN WILLIAMS COLOR ANALYTICAL GRAY SW 7051 (LIGHT GRAY)
C	STO-POWER COAT STUCCO SYSTEM STO COLOR COAT TO MATCH SHERWIN WILLIAMS COLOR QUINER TAN SW 6151 (DARK BROWN)
D	STO-POWER COAT STUCCO SYSTEM STO COLOR COAT TO MATCH SHERWIN WILLIAMS COLOR SPOXY HUE SW 6342 (DARK RED)
E	CANOPY METAL PAINT FINISH COLOR SHERWIN WILLIAMS ANALYTICAL GRAY SW 7051 (LIGHT GRAY)
F	ALUMINUM STOREFRONT ROOFING SYSTEM CLEAR ANODIZED ALUMINUM ROOFING SYSTEM (MINIEMER TR-FAB 451 OR EQUAL)
G	METAL STANDING SEAM ROOFING STANDING SEAM PANEL W/ 18" O.C RISB COLOR TO MATCH EXISTING ADJACENT PANEL
H	METAL MANT "MIN RISB" LOW PROFILE PANEL KYNAR 500 FINISH / PROVIDE ARCH W/ STANDARD COLOR CHART FOR SELECTION PRIOR TO INSTALL
I	PAINTED BLOCK SHERWIN WILLIAMS RICE GRAY SW 6155 (LIGHT TAN)
J	CANOPY METAL PAINT FINISH COLOR SHERWIN WILLIAMS SPOXY HUE SW 6342 (DARK RED)



3 WESTERN ELEVATION
SCALE: 3/32" = 1'-0"

NOTE: ALL BUILDING MOUNTED SIGNAGE IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR.
1" BOX LOCATION W/ CONDUIT AND FULL-STRING STUBBED INTO TENANT SPACE.



4 NORTHERN ELEVATION
SCALE: 3/32" = 1'-0"

NOTE: ALL BUILDING MOUNTED SIGNAGE IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR.
1" BOX LOCATION W/ CONDUIT AND FULL-STRING STUBBED INTO TENANT SPACE.

REV	DATE	BY	REVISION

MODULUS ARCHITECTS
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 338-1499 FAX (505) 338-1498
TOLL FREE 1-866-224-2161



PROJECT TITLE: **SUNFLOWER HEIGHTS**
N.E.C. OF JUAN TABO AND MONTGOMERY
ALBUQUERQUE, NEW MEXICO
PROJECT NUMBER: **STEPHEN DUNBAR, AIA SUNFLOWER**
JOB NO.: **MSW**
DRAWN BY: **MSW**
SHEET TITLE: **ELEVATIONS**

DATE: **02/05/09**
SCALE: **A4.0**
AS NOTED