

PROJECT BENCHMARK & VERTICAL DATUM

ALL CORNERS FOUND IN PLACE AND HELD WERE TAGGED WITH A BRASS DISK STAMPED "HUGG L.S. 9750" OR "HUGG L.S. 11808" UNLESS OTHERWISE INDICATED HEREON.

ALL CORNERS THAT WERE SET ARE EITHER A 5/8" REBAR WITH CAP STAMPED "HUGG L.S. 9750" OR "HUGG L.S. 11808" OR A CONCRETE NAIL WITH BRASS DISK STAMPED "HUGG L.S. 9750" OR "HUGG L.S. 11808" UNLESS OTHERWISE INDICATED HEREON.

VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "9-F18", ELEVATION = 5212.23 (NAVD 1988)

PROJECT BASIS OF BEARING

BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE -NAD83.

NOTES CONTINUED:

- AN EXISTING PRIVATE RECIPROCAL BLANKET PEDESTRIAN, PRIVATE PARKING, VEHICULAR ACCESS AND DRAINAGE EASEMENT GRANTED TO AND MAINTAINED BY TRACTS A, B, AND C AS THE SAME SHOWN AND DESIGNATED ON THE PLAT OF TRACTS A, B, AND C, SANDIA ADDITION FILED JULY 9, 2010 IN BOOK 0080 AS DOCUMENT NO. 2010068217.
- BICYCLE RACKS SHALL BE CONVENIENTLY LOCATED NEAR BUILDING ENTRANCES BUT NOT WITHIN PEDESTRIAN PATHWAYS OR LANDSCAPED AREAS.
- PER THE DESIGN STANDARDS OF THE SDP FOR SUBDIVISION, NO FREESTANDING SIGN IS ALLOWED ON TRACT B-1.
- SIGNAGE IS NOT ALLOWED TO CONTAIN MOVING PARTS, MAKE AUDIBLE SOUNDS, OR EXHIBIT BLINKING OR FLASHING LIGHTS (INCLUDING SEARCH LIGHTS USED FOR PROMOTIONAL EVENTS). PENNANTS, RIBBONS, STREAMERS, AND SPINNERS ARE PROHIBITED.
- SIGNS LOCATED ON ROCKS, TREES, OR OTHER NATURAL FEATURES ARE NOT PERMITTED.
- NO SIGN SHALL OVER HANG INTO THE PUBLIC RIGHT-OF-WAY OR EXTEND ABOVE THE BUILDING ROOF LINE.
- EACH BUSINESS SHALL INCORPORATE A NUMERICAL STREET ADDRESS SIGN, AS REQUIRED BY THE FIRE MARSHAL.
- THE CONTRAST BETWEEN SIGNAGE LETTERING AND THE BACKGROUND IT IS PLACED ON SHALL BE 70% MINIMUM.
- ILLUMINATION OF SIGNAGE IS PERMITTED WITH NEON LIGHTING BEING ALLOWED.
- ELECTRONIC DISPLAY PANELS, (ELECTRONIC BILLBOARDS, ELECTRONIC ADVERTISING SIGNS) ARE NOT PERMITTED.

**GOLDEN CORRAL RESTAURANT
TRACT A
SANDIA ADDITION
(07/09/10, 2010C-90)
ZONED C-3**

**PROPOSED
DAVITA
BUILDING
(8,535 SF)
TRACT B-1
SANDIA ADDITION
(7/09/10, 2010C-90)**

**UNDEVELOPED
TRACT C-1
SANDIA ADDITION
(7/09/10, 2010C-90)
ZONED C3**

NOTES:

- NO BIKE ROUTES OR PATHS EXIST ALONG FRONTAGE OF SAN MATEO BOULEVARD.
- PLOT PLAN SHALL COMPLY WITH THE SUBDIVISION DESIGN STANDARDS AND APPLICABLE ZONING REGULATIONS FOR 5207 SAN MATEO (FORMER ROWLANDS SITE).
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD SPECIFICATIONS OF CITY SITE OF ALBUQUERQUE.
- EMERGENCY AND SERVICE TRUCKS WILL MANEUVER AROUND BUILDING DRIVE AISLES IN A ONE-WAY TRAFFIC MOVEMENT.
- CARS/TRUCKS WILL MANEUVER AROUND BUILDING DRIVE AISLES IN A TWO-WAY TRAFFIC MOVEMENT.
- A WB-50 SERVICE TRUCK PATH MODEL IS SHOWN ON SHEET C1.3.
- UPON COMPLETION OF PAVING OPERATIONS THE CONTRACTOR SHALL INSTALL THE PAVEMENT STRIPES AND PAVEMENT MARKINGS AS SHOWN HEREON. ON SITE PARKING STALL STRIPES SHALL BE 4" WIDE AND WHITE IN COLOR. HANDICAP STALLS SHALL BE PAINTED AND SIGNED PER FEDERAL, STATE AND LOCAL REQUIREMENTS. SEE DETAIL SHEET 1.3.
- HANDICAP PARKING AREAS PROVIDED PER CITY STANDARDS AND SHALL COMPLY WITH REQUIREMENTS OF THE CURRENT, ADOPTED UNIFORM BUILDING CODE.
- UNLESS OTHERWISE NOTED, ALL RADII ON PARKING ISLANDS SHALL BE 3'.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS SERVICE AREA DIMENSIONS AND ELEVATIONS. REFERENCE M.E.P. FOR EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- THE DISPOSAL OF DEMOLISHED ITEMS SHALL COMPLY TO ALL STATE AND LOCAL REQUIREMENTS.
- MECHANICAL UNITS, DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE ZONING ORDINANCE.

**SITE CURRENT USE:
HME MEDICAL SUPPLY
TRACT A-1A
(10/02/87, C34-169)
ZONED C-3**

**SITE CURRENT USE:
HME MEDICAL SUPPLY
TRACT A-1B
SAN BUSCO ADDITION
(10/02/87, C34-169)
ZONED C-3**

- ALL SIGNAGE CONTINGENT UPON APPROVAL BY THE CITY OF ALBUQUERQUE.
- ALL SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH THE ZONING ORDINANCE.
- FIRE LANE STRIPING: "NO PARKING FIRE LANE" MARKING SHALL CONSIST OF A SIX (6) INCH WIDE RED STRIPE ALONG THE CURB ON ALL SIDES OF THE BUILDING. THE WORDS "NO PARKING FIRE LANE" SHALL BE MARKED ON THE STRIPES IN FOUR (4) INCH HIGH WHITE LETTERS AT 25-FT. MAXIMUM INTERVALS STRIPING AND LETTERS SHALL BE APPLIED ACCORDING TO THE CITY OF ALBUQUERQUE. FIRE LANE AND FIRE PROTECTION MUST BE APPROVED BY THE FIRE MARSHAL PRIOR TO BUILDING PERMIT BEING ISSUED. CONTRACTOR TO COORDINATE ALL FIRE LANE MARKINGS WITH THE ALBUQUERQUE FIRE MARSHAL.
- ALL DRIVEWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE AND NEW MEXICO DEPARTMENT OF TRANSPORTATION STANDARDS.
- ALL DIMENSIONS ARE MEASURED FROM FLOWLINE OF CURB, UNLESS NOTED OTHERWISE.
- ALL ACCESSIBLE RAMPS SHALL HAVE A MAXIMUM SLOPE OF 12:1.
- REFER TO PLAT FOR OFFICIAL EASEMENT LOCATIONS.
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS SITE TRIANGLE AREA.

- NOTES:
- NUMBER OF LIGHT FIXTURES ON POLE VARIES - SEE THIS SHEET FOR ACTUAL NUMBER OF FIXTURES ON EACH POLE.
 - ALL LIGHT FIXTURES SHALL BE FULLY SHIELDED HORIZONTALLY WITH NO LIGHT, LENS OR BULB PROTRUDING BELOW THE BOTTOM OF THE CUT-OFF FIXTURE. THE ILLUMINATING LIGHT SOURCE WILL NOT BE VISIBLE FROM THE SITE PERIMETER.
 - HIGH PRESSURE SODIUM LIGHTING SHALL BE PROHIBITED. ENERGY EFFICIENT LIGHTING IS ENCOURAGED, INCLUDING THE USE OF COMPACT FLUORESCENT BULBS.

LIGHT POLE DETAIL

NOT TO SCALE

PROJECT INFORMATION

ADDRESS:
5207 SAN MATEO BLVD.
ALBUQUERQUE, NM 87109
(FINAL ADDRESS ASSIGNMENT T.B.D.)

LEGAL DESCRIPTION:
TRACT LETTERED 'B' OF THE PLAT OF TRACTS A, B, & C, SANDIA ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, FEBRUARY 2010, AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAT FILED FOR RECORD ON JULY 9, 2010 AND RECORDED AS DOCUMENT NO. 2010068217 IN THE RECORDS OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO.

SITE ACREAGE:
FORMER TRACT B:
1.00 ACRES
PROPOSED TRACT B-1 AFTER PLAT ADJUSTMENT:
1.05 ACRES

PLANNING INFORMATION:
ZONE ATLAS PAGE F-17-Z
LAND USE ZONING IS C-3

PARKING SUMMARY:

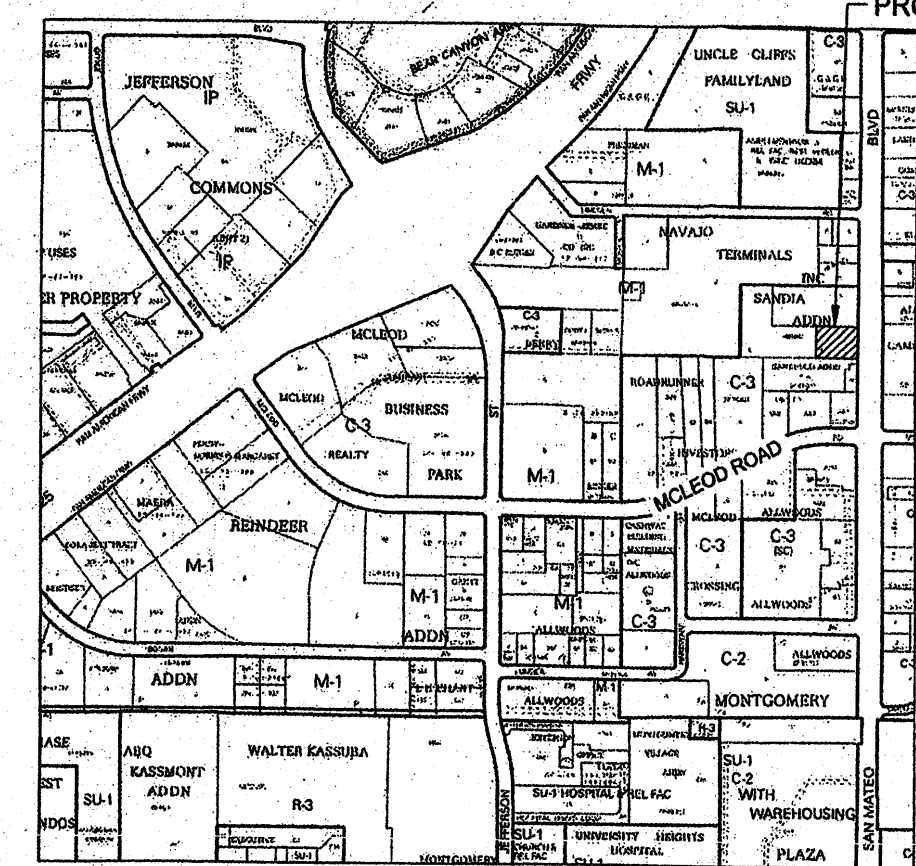
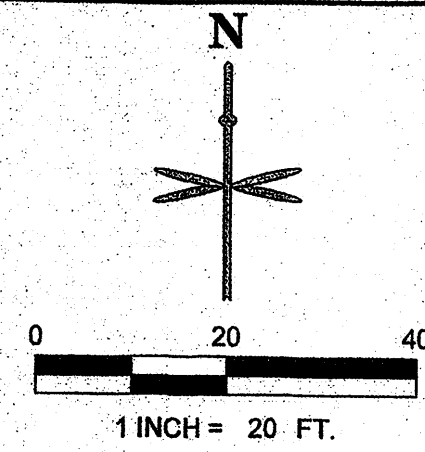
REQUIRED	
MEDICAL OFFICE (5 SPACES PER DOCTOR)	= 25
ADA SPACES (10% OF REQUIRED PARKING)	= 3
MOTORCYCLE PARKING SPACES (4'X8' MIN)	= 2
BICYCLE PARKING	= 2

PROVIDED

STANDARD SPACES	= 27
ADA HANDICAP STANDARD SPACES	= 1
ADA HANDICAP VAN ACCESSIBLE SPACES	= 2
TOTAL AUTOMOBILE SPACES	= 30
MOTORCYCLE PARKING SPACES 4.5'X18'	= 2
BICYCLE PARKING	= 2

SITE SCHEDULE

- PROPOSED 1" SAWCUT OFFSET FROM PROPOSED CURB/GUTTER AND VALLEY GUTTER.
- PROPOSED STANDARD 6" CURB AND GUTTER PER COA STANDARD DRAWING 2415A MODIFIED TO A 1" GUTTER PAN.
- PROPOSED 5" VALLEY GUTTER PER COA STANDARD DRAWING 2420 AND 2426 MODIFIED TO TIE INTO A 1" GUTTER PAN.
- HATCHED AREA TO REPRESENT LOADING AREA LOCATION FOR SITE PLAN REVIEW PURPOSES ONLY. NO ACTUAL STRIPING PROPOSED.
- PROPOSED 10'X1.5' SOLID WHITE STOP BAR.
- PROPOSED ADA RAMP. (SEE DETAIL ON SHEET 6.0).
- PROPOSED ADA STANDARD HANDICAP PARKING SIGN (SEE DETAIL SHEET C6.0).
- PROPOSED ADA HANDICAP VAN ACCESSIBLE SIGN (SEE DETAIL SHEET C6.0).
- PROPOSED TACTILE WARNING PANEL 2'X43". SEE DETAIL SHEET C6.0.
- SCREENED AREA DEFINES ADA COMPLIANT ZONE OF ACCESSIBILITY FROM BUILDING FRONT ENTRANCE TO HANDICAP PARKING STALLS. CROSS SLOPES NOT TO EXCEED 2% IN ALL DIRECTIONS.
- PROPOSED TRASH ENCLOSURE W/6' SCREEN WALL. REFER TO ARCHITECTURAL DETAIL SHEET A512.
- PROPOSED FIRE LANE STRIPING. SEE NOTE 15 ON THIS SHEET.
- EXISTING ELECTRICAL VAULT TO REMAIN. PROTECT IN PLACE.
- DELIVERY ACCESS RAMP. NOT INTENDED FOR ADA COMPLIANT ACCESS. SEE SHEET C6.1.
- EXISTING MONUMENT SIGN TO INCLUDE DAVITA SIGN PANEL. REFER TO ARCH. SIGNAGE PLANS FOR DETAIL.
- PROPOSED CONCRETE WALK. REFER TO SHEET C6.1 FOR DETAIL.
- PROPOSED SPLIT FACE MASONRY UNITS - COLOR AND MANUFACTURER TO BE APPROVED BY ARCHITECT. SEE GRADING PLAN AND HORIZONTAL CONTROL PLAN FOR DETAIL.
- PROPOSED FIRE LANE SIGN. REFER TO SHEET C6.0 CIVIL DETAILS FOR SIGN AND POST DETAIL.
- PROPOSED ADA RAMP (SEE DETAIL ON SHEET 6.0). CONTRACTOR TO REMOVE EXISTING RAMP AND LANDING TO EXTENTS SHOWN ON PLAN.
- PROPOSED PEDESTRIAN RAMPS FOR BUILDING WALK AREA. SEE DETAIL SHEET C6.1.
- PROPOSED MOTORCYCLE PARKING STALL (4.5'X18').
- PROPOSED 4'X5" BIKE RACK STAND. PROVIDES (2) BICYCLE SPACES PER RACK. (SEE DETAIL ON SHEET C6.1)



ZONE F-17 VICINITY MAP

LEGEND

- PROPOSED RETAINING WALL
- - - PROPOSED EASEMENT
- PROPERTY LINE
- PROPOSED BUILDING
- PROPOSED SIGN
- PARKING COUNTRY
- EXISTING CURB AND GUTTER
- PROPOSED 6" STANDARD CURB AND GUTTER
- ★ EXISTING SITE LIGHTING
- ★ PROPOSED SITE LIGHTING
- PROPOSED CONCRETE WALK (SEE DETAIL SHEET C6.0)
- PROPOSED INLET
- PROPOSED 4" SANITARY MANHOLE
- EXISTING SANITARY/STORM MANHOLE
- DENOTES TRAFFIC FLOW PATTERNS (NO ACTUAL STRIPING)
- FIRE LANE CURB PAINT

PROJECT NUMBER: F17-D095A

APPLICATION NUMBER: 1007867/15DRB-70115
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED 04/29/15, AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENT.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i> TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	04-29-15 DATE
<i>[Signature]</i> ABOJWA	05/15/15 DATE
<i>[Signature]</i> CITY ENGINEER	4-29-15 DATE
<i>[Signature]</i> CITY ENGINEER	4-29-15 DATE
<i>[Signature]</i> CITY ENGINEER	5-15-15 DATE
<i>[Signature]</i> CITY ENGINEER	5/15/15 DATE

- PROPOSED HEAVY DUTY ASPHALT PAVEMENT. SEE PAVEMENT SECTION THIS SHEET.
 - PROPOSED LIGHT DUTY ASPHALT PAVEMENT. SEE PAVEMENT SECTION THIS SHEET.
 - PROPOSED CROSS WALK WITH 6'X8" SOLID WHITE STRIPE BARS @ 5'-3" OFFSET.
 - 12" WIDE CHASE DRAIN WITH STEEL COVER. SEE COA DETAIL DRAWING 2236.
 - 2" WIDE CONCRETE DRAINAGE RUNDOWN. SEE DETAIL SHEET C6.1.
- PAVEMENT SECTIONS**
- TRASH ENCLOSURE PAD - HEAVY DUTY PAVEMENT
A=6" RIGID PORTLAND CEMENT CONCRETE PAVEMENT
10" TREATED SUBGRADE PER GEOTECHNICAL REPORT
- AUTOMOBILE PARKING AREAS - LIGHT DUTY PAVEMENT
A=4" ASPHALT CONCRETE PAVEMENT
10" TREATED SUBGRADE PER GEOTECHNICAL REPORT
- FIRE LANE AND SERVICE TRUCK ROUTE - HEAVY DUTY PAVEMENT
A=6" ASPHALT CONCRETE PAVEMENT
10" TREATED SUBGRADE PER GEOTECHNICAL REPORT
- NOTE:
PAVEMENT SECTION PER GEOTECHNICAL REPORT
PREPARED BY TERRACON CONSULTANTS INC.
PROJECT NUMBER 8614608
REFER TO GEOTECHNICAL REPORT.

PROJECT SITE

REVISION	DATE	BY	DESCRIPTION
1	03/16/2015	KLR	BIDS & BUILDING PERMIT PLAN CHECK
2	03/31/15	KLR	APPENDUM
3	04/20/15	RCY	DRB COMMENTS

Professional Engineer Seal: SANDIA M. O'CONNOR, 19861, 4/29/15

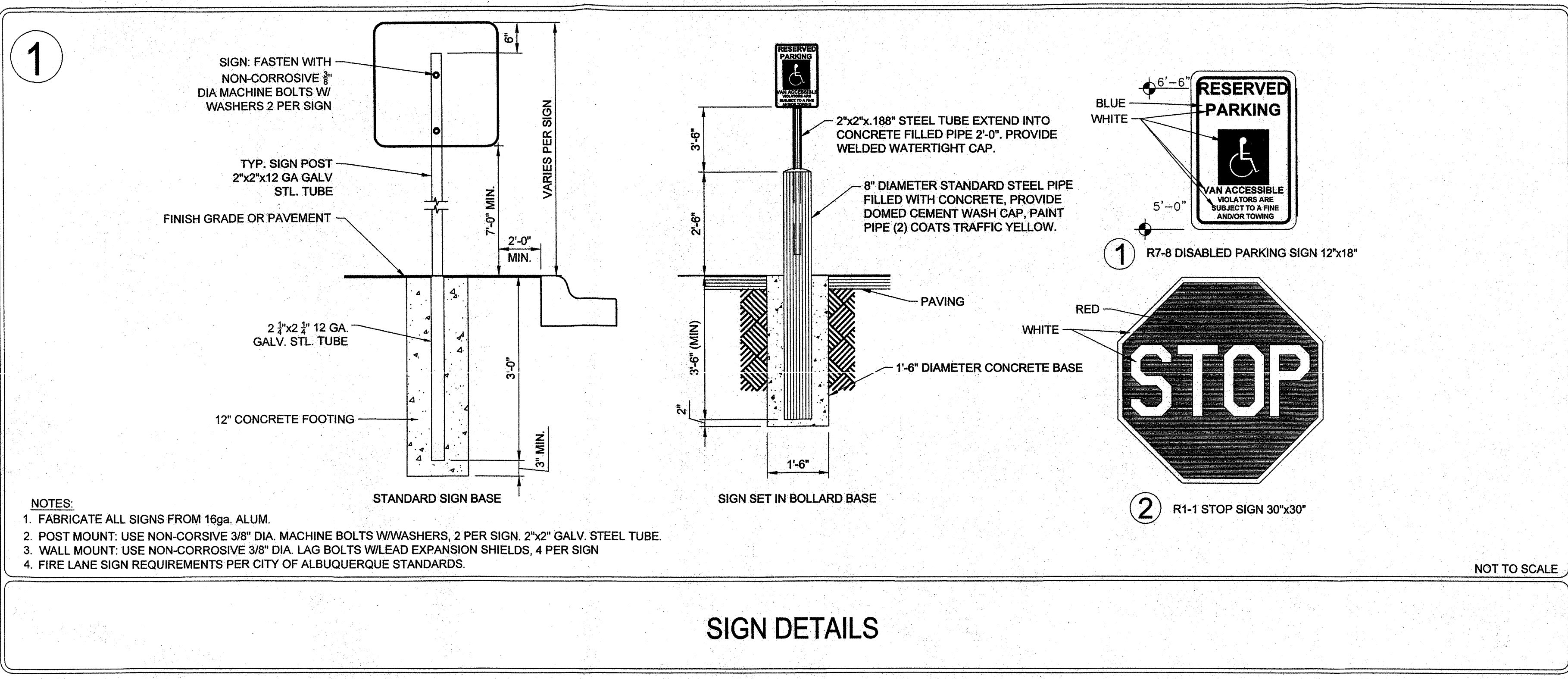
EES & ENGINEERING SOLUTIONS, INC.
818 17th Street, Denver, CO 80202
www.ees-us.com, 303-522-7997, FIRM NO. F-44751

City of Albuquerque: CIVIL CONSTRUCTION DOCUMENT APPROVED

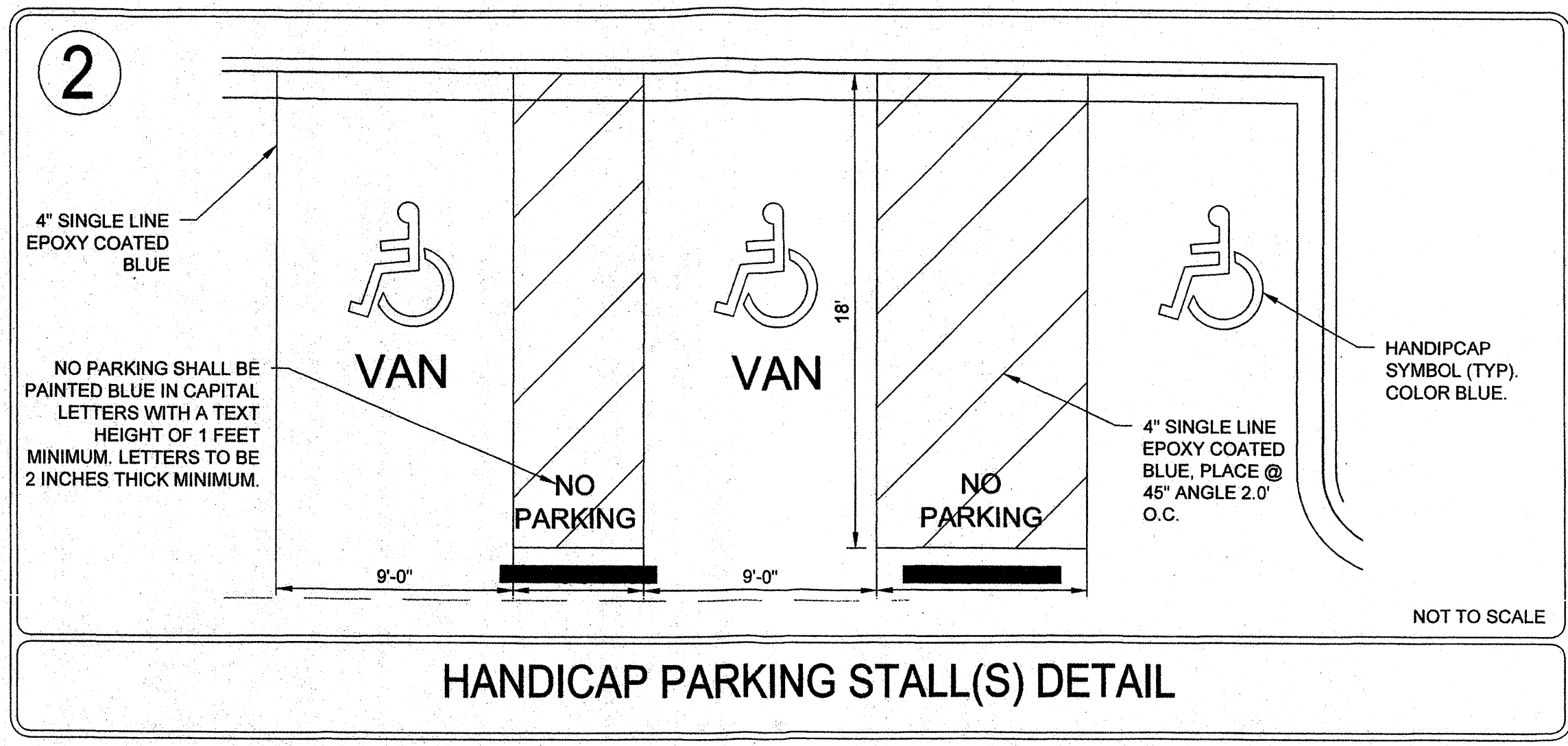
Del Norte Dialysis Center: APPROVED

Overall Site Plan: 5207 San Mateo Boulevard N.E., SHEET 2 OF 12

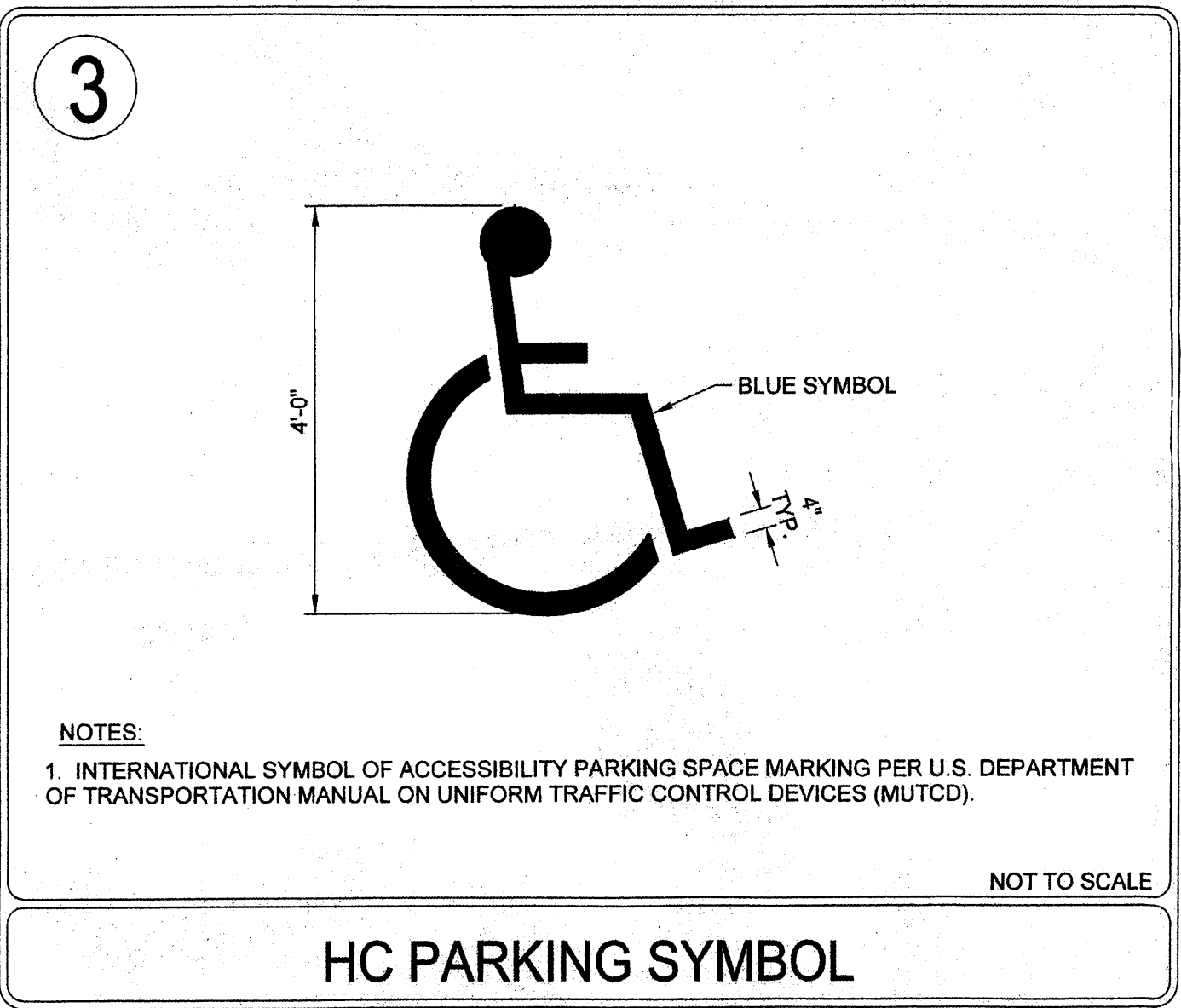
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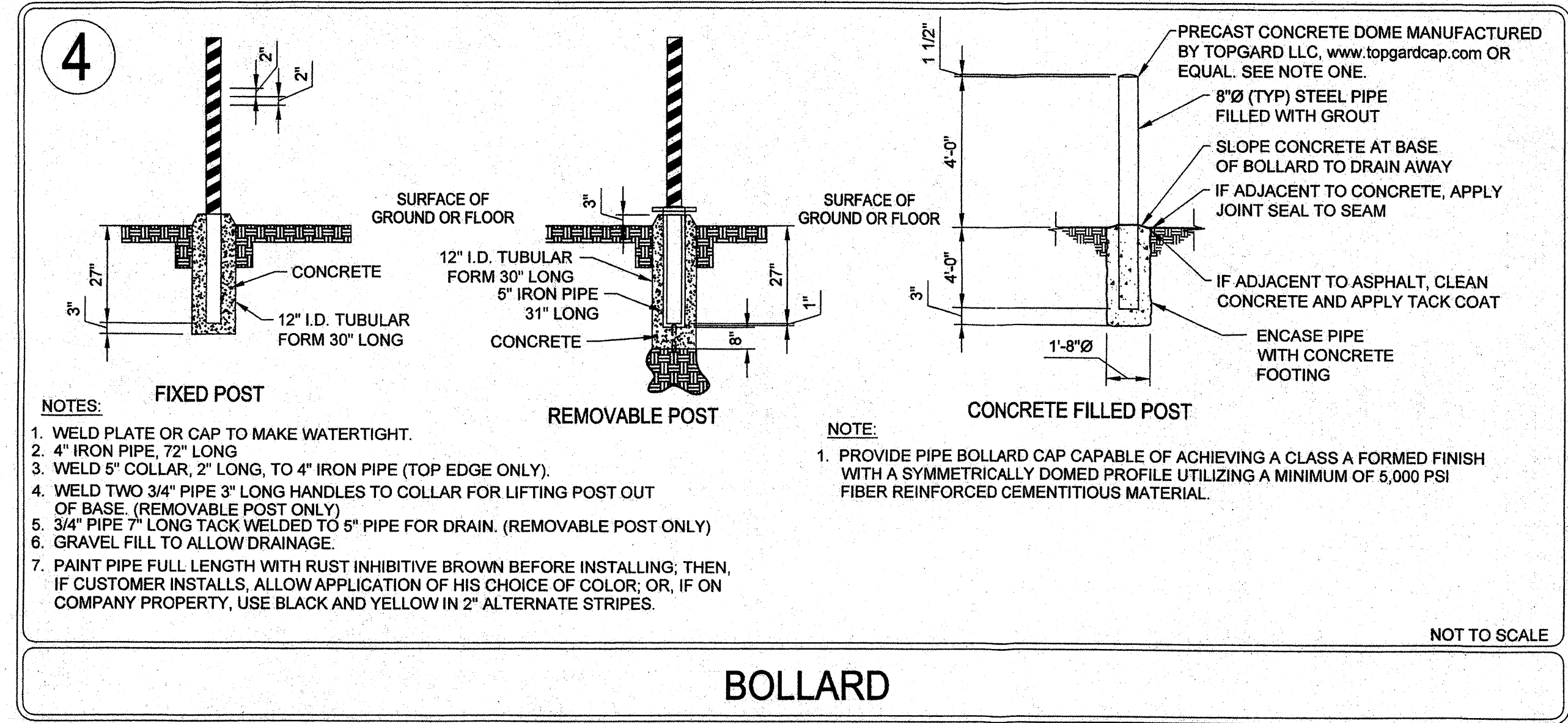
SIGN DETAILS



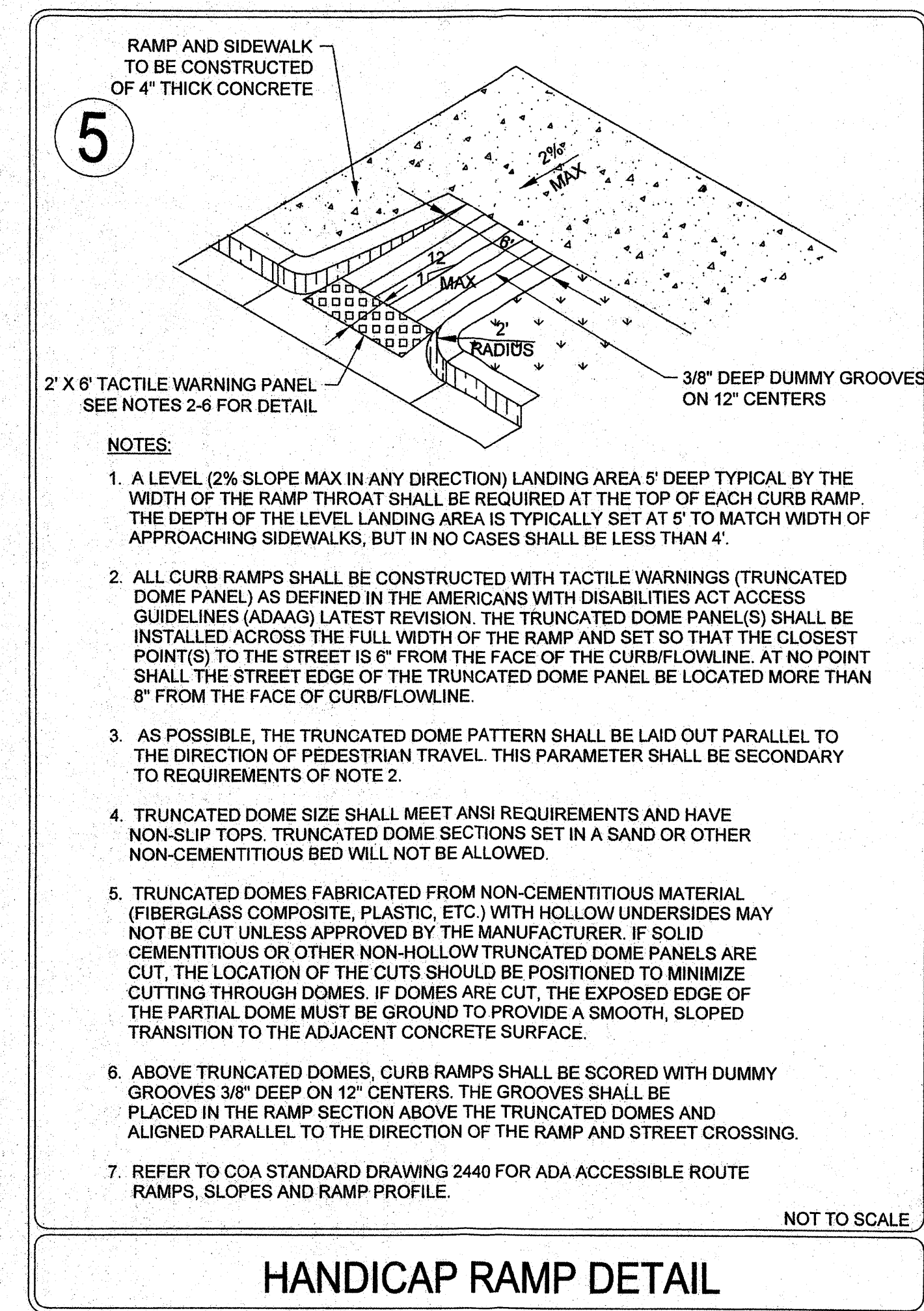
HANDICAP PARKING STALL(S) DETAIL



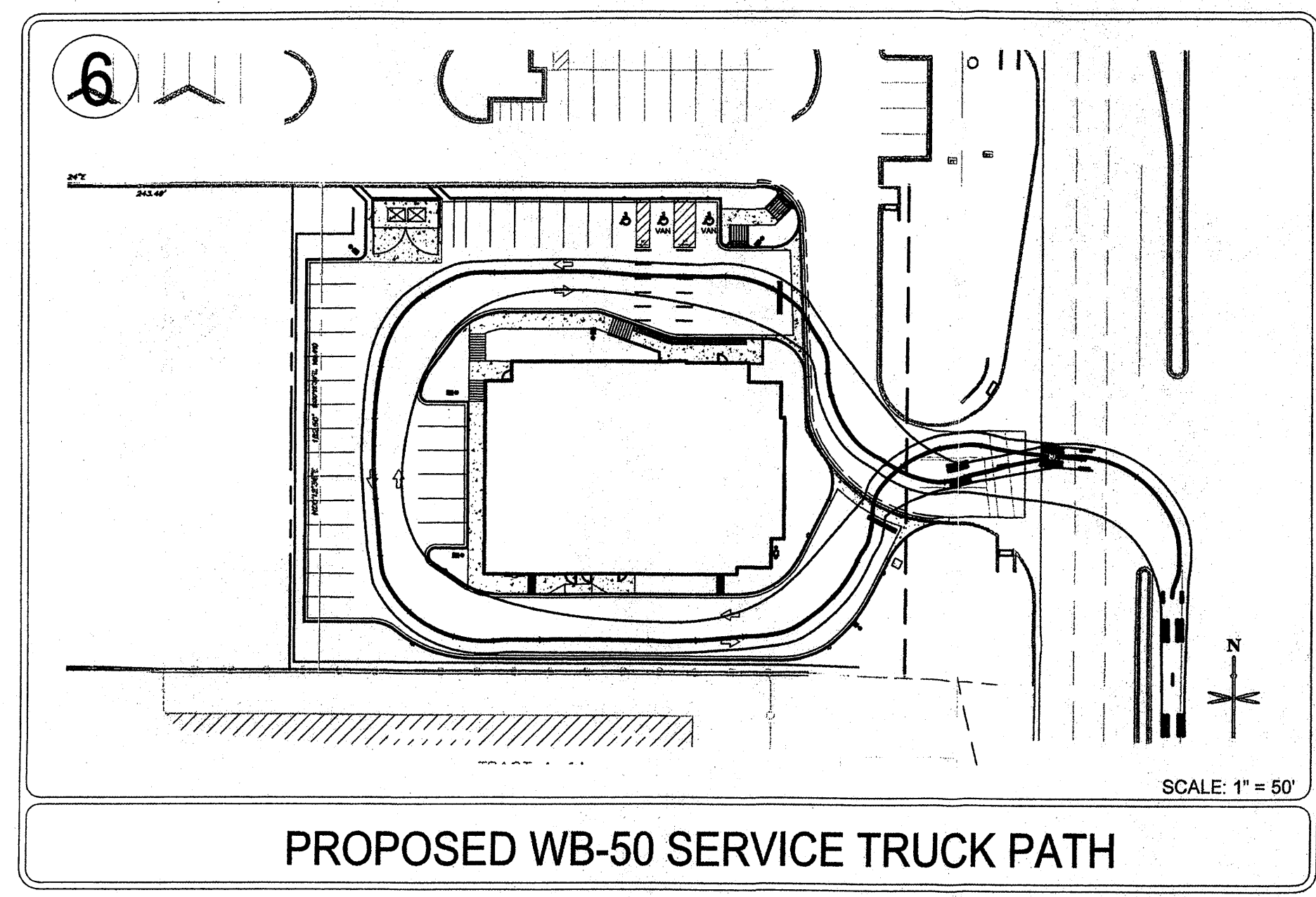
HC PARKING SYMBOL



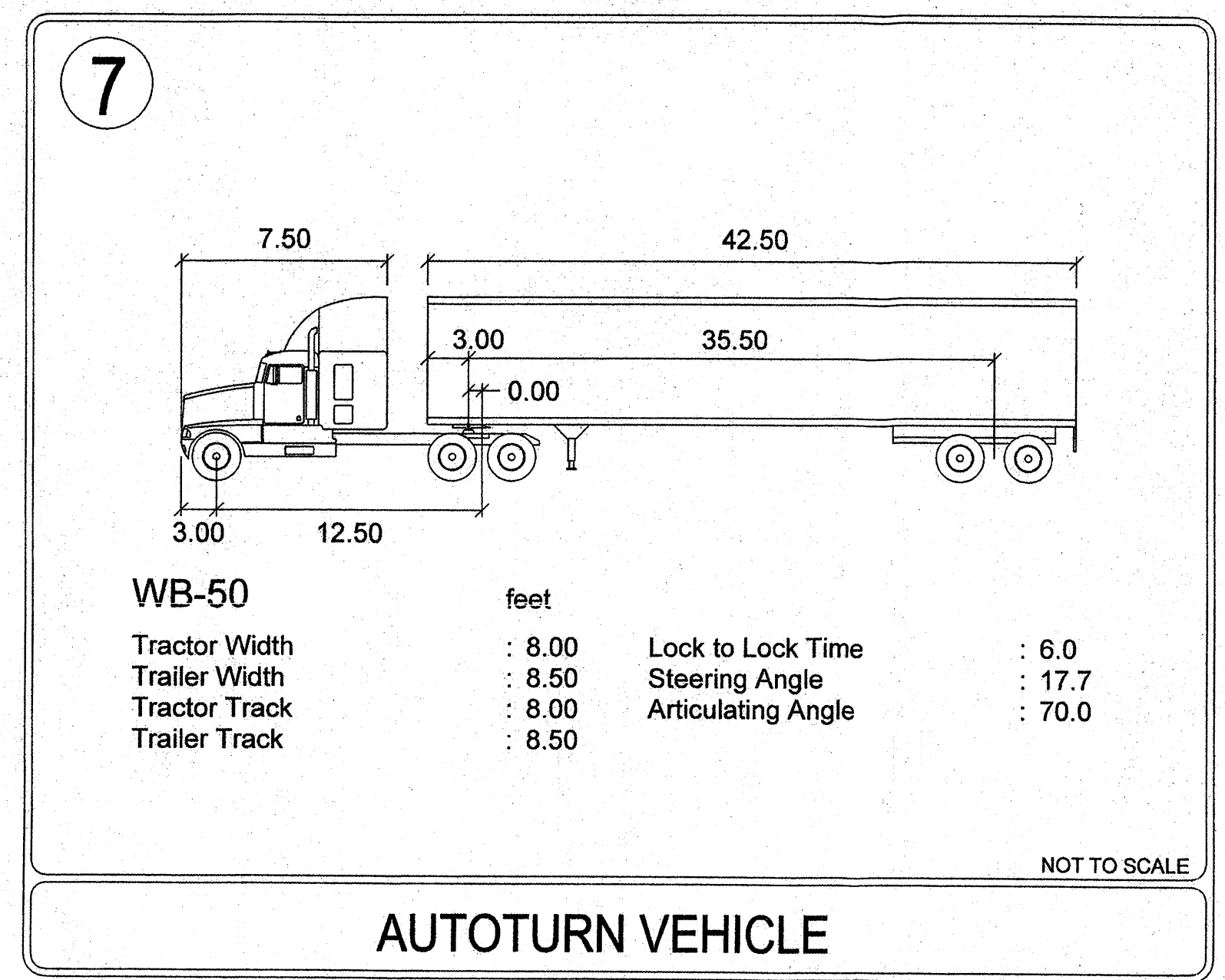
BOLLARD



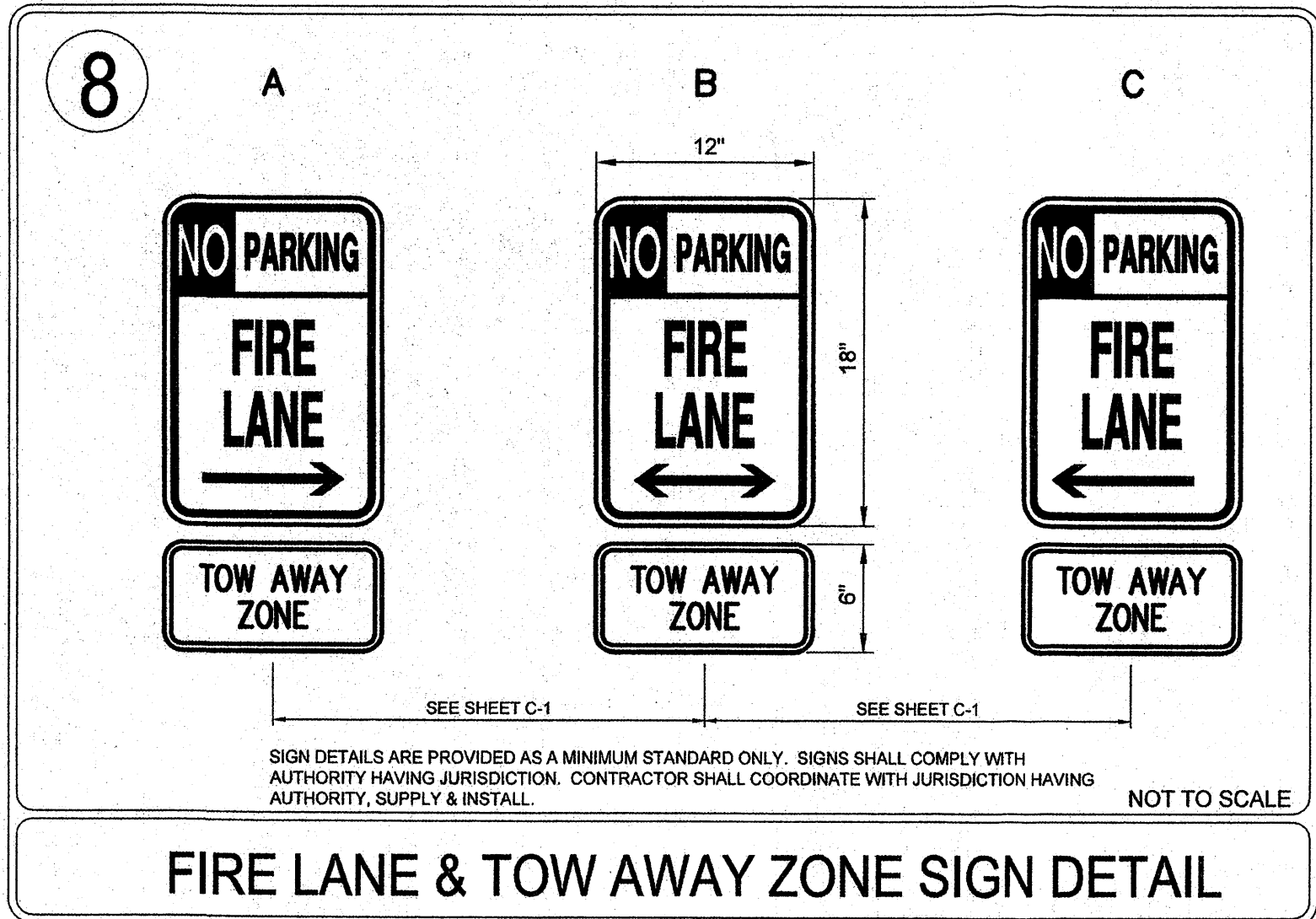
HANDICAP RAMP DETAIL



PROPOSED WB-50 SERVICE TRUCK PATH



AUTOTURN VEHICLE



FIRE LANE & TOW AWAY ZONE SIGN DETAIL

P:\D\VT\NM, ALBUQUERQUE, 5207 SAN MATEO CAD\CS6.0\CIVIL DETAILS.DWG

DATE	06/16/2015
BY	RCY
REVISION	BIDS & BUILDING PERMIT PLAN CHECK
No.	2
DRB COMMENTS	

PROFESSIONAL ENGINEER
 EES ENGINEERING & CONSULTANTS, INC.
 5207 San Mateo Boulevard N.E.
 Denver, CO 80208
 303-752-7997
 FIRM NO. E-17151

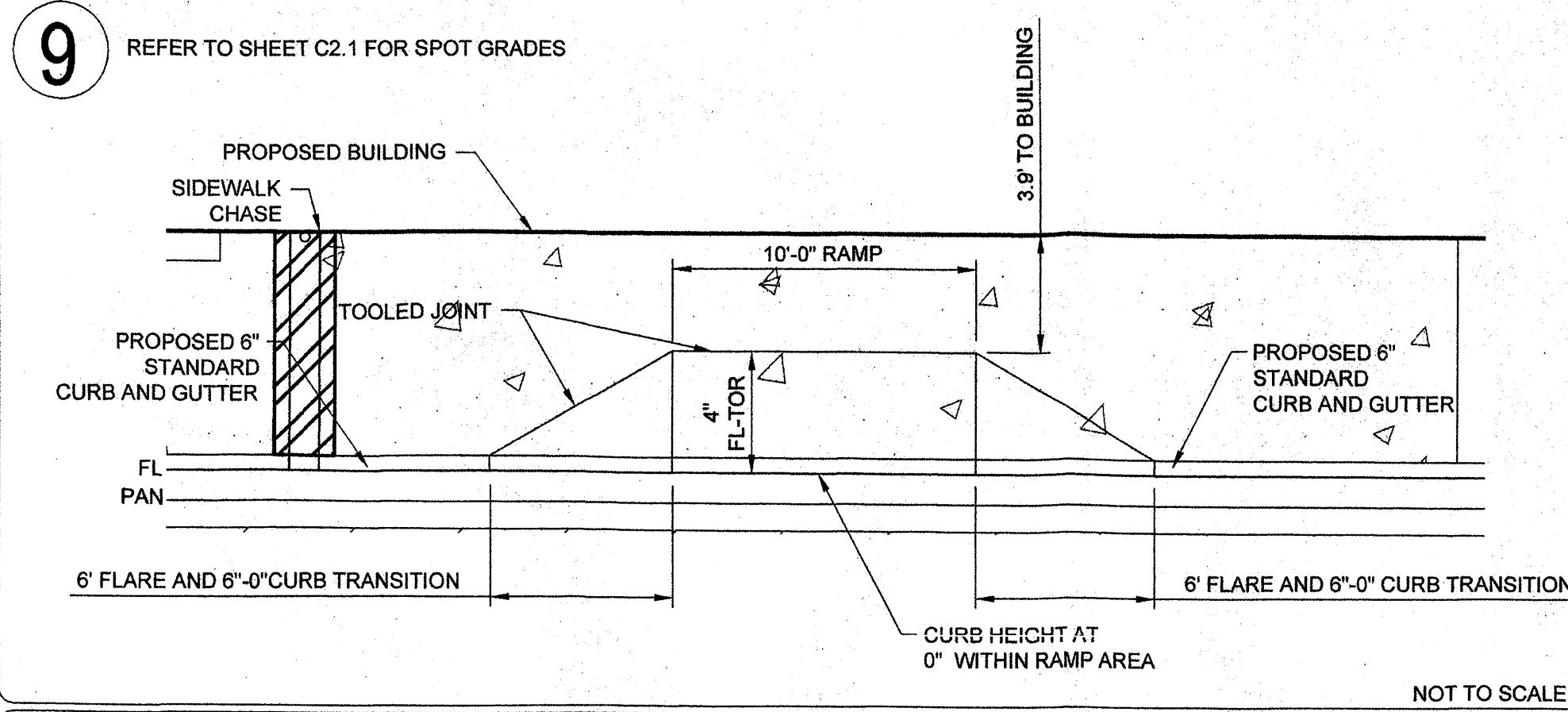
DaVita.

CIVIL CONSTRUCTION DOCUMENTS
 DEL NORTE DIALYSIS CENTER
 5207 San Mateo Boulevard N.E.
 CIVIL DETAILS

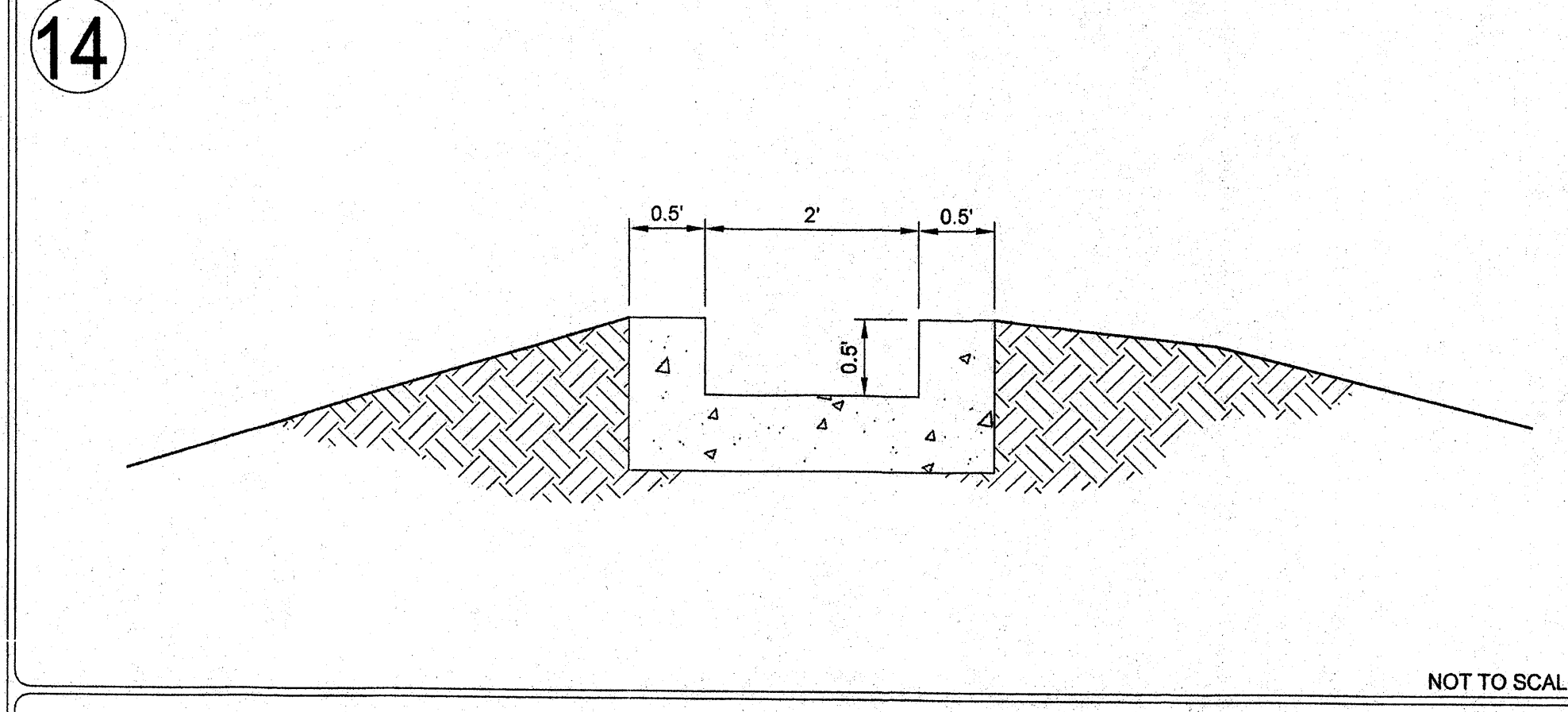
PROJECT NO.: DAV003.01
 DESIGNED BY: KLR
 DRAWN BY: KLR
 DATE: 03/10/15

C6.0
 SHEET 10 OF 12

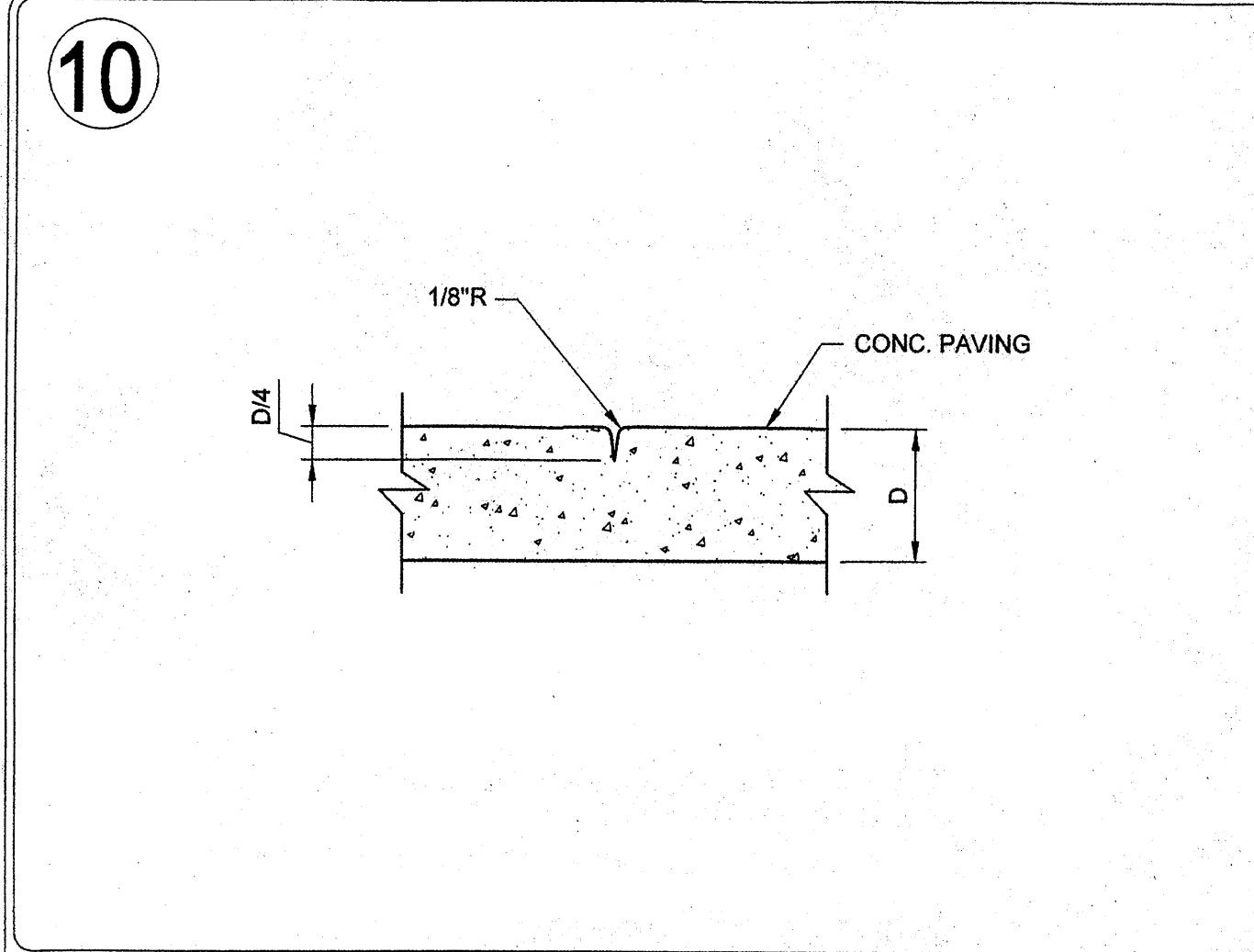
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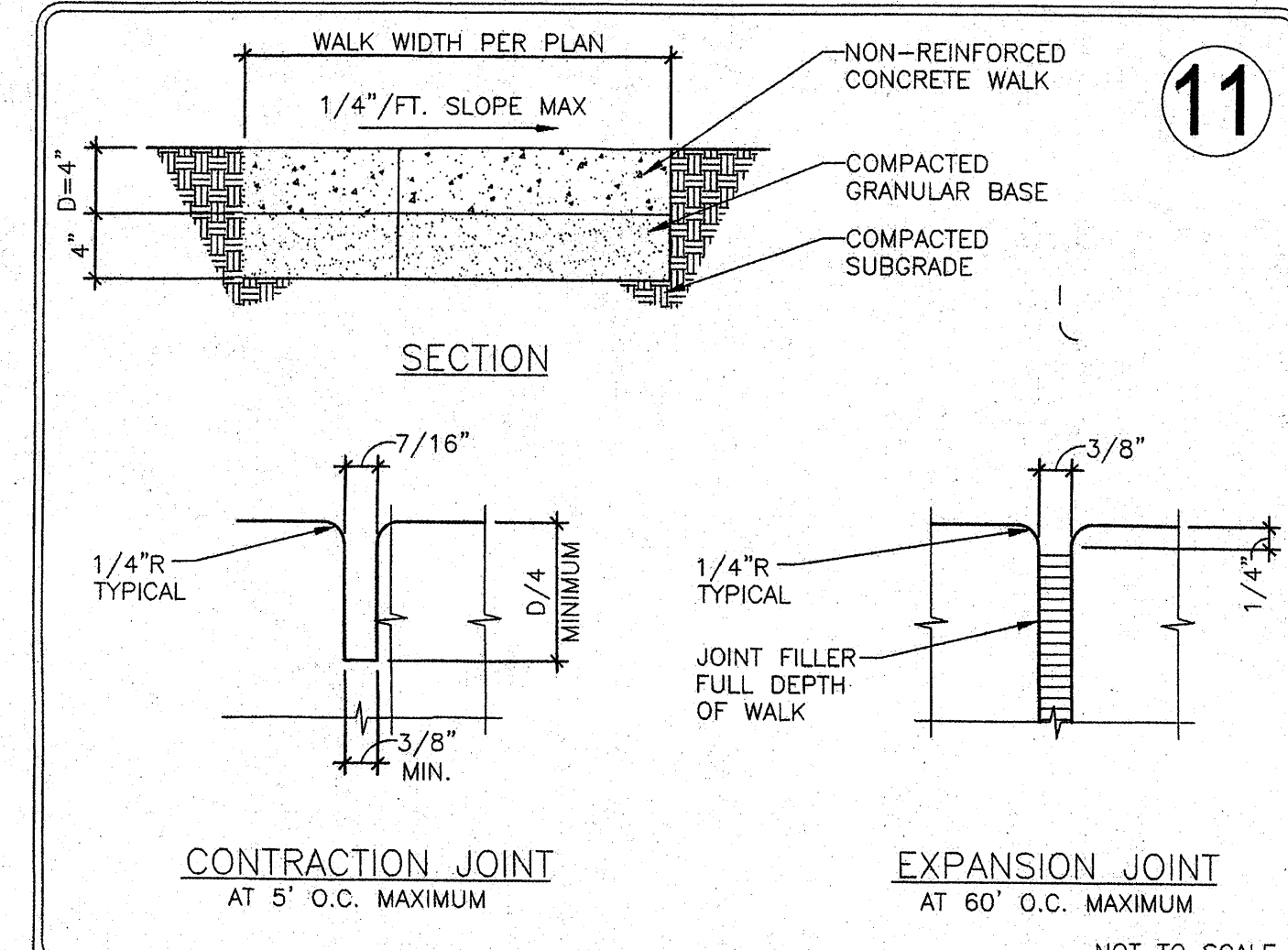
DELIVERY ACCESS RAMP DETAIL
NOT INTENDED FOR ADA COMPLIANCE



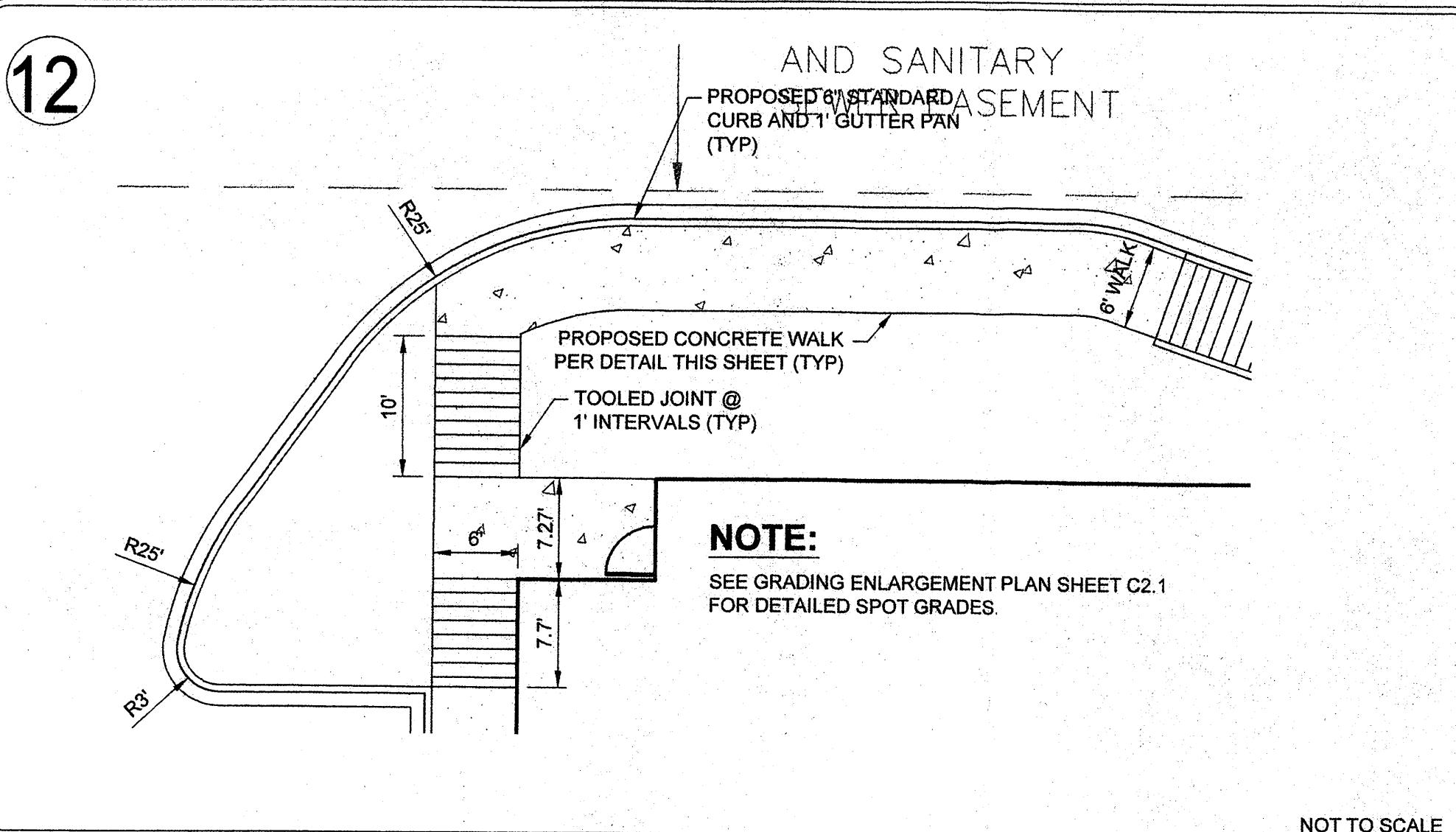
CONCRETE RUNDOWN DETAIL
NOT TO SCALE



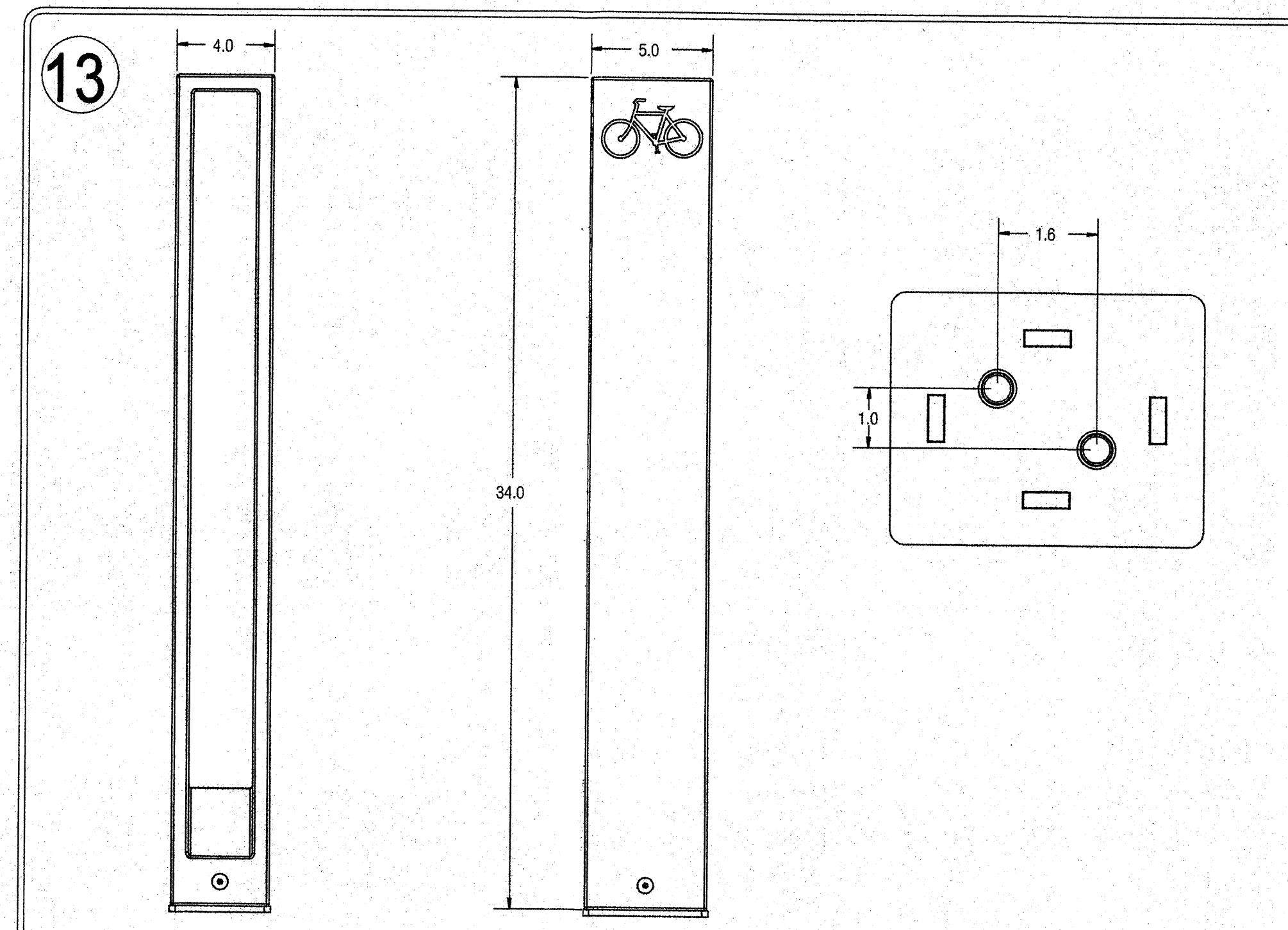
TOOL JOINT - TYP. "TJ" JOINT DETAIL



CONCRETE WALK & JOINT DETAILS
NOT TO SCALE



BUILDING WALK RAMPS DETAIL
NOT INTENDED FOR ADA COMPLIANCE



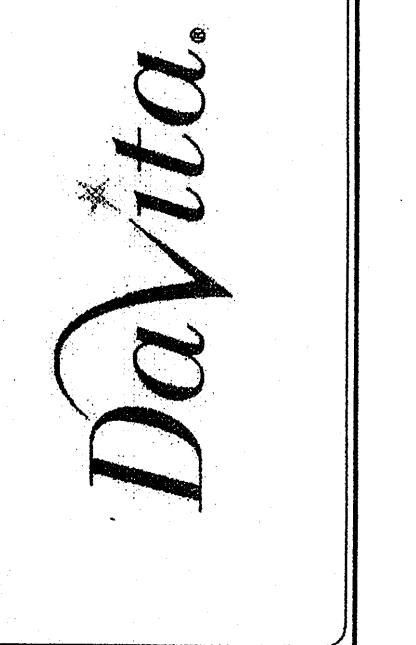
BIKE RACK DETAIL
NOT INTENDED FOR ADA COMPLIANCE

STANDARD JOINTING NOTES *

1. CONCRETE AND JOINTING STANDARDS: CONCRETE PAVING SHALL FOLLOW THE GUIDE FOR THE DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS, ACI 330R-08 (OR LATEST EDITION). WORK IN THE PUBLIC RIGHT-OF-WAY SHALL FOLLOW JURISDICTIONAL STANDARDS AND/OR ACI 318, WHICHEVER IS MORE STRINGENT. IF THERE IS A DISCREPANCY BETWEEN PLANS, NOTES AND SPECIFICATIONS, THE MORE STRINGENT REQUIREMENT WILL ALWAYS APPLY. THE CONTRACTOR SHALL SUBMIT MIX DESIGNS TO GEOTECHNICAL AND CIVIL ENGINEER FOR REVIEW PRIOR TO PAVING.
2. JOINT SPACING: CONCRETE SHALL BE JOINTED IN RELATIVELY SQUARE PANELS AND SHOULD HAVE THE LENGTH NO GREATER THAN 20% OF THE WIDTH. MAXIMUM SPACING BETWEEN JOINTS SHALL BE 30 TIMES THE SLAB THICKNESS UP TO A MAXIMUM OF 15'. EVEN JOINT SPACING IS PREFERABLE FOR VISUAL CONSISTENCY. CONTRACTOR SHOULD AVOID JOINTING TO SHARP ANGLES AND TRY TO PLACE JOINTS PERPENDICULAR TO RADIIUSES OR ANGLED AREAS.
3. JOINT DEPTH: JOINTS SHALL BE CUT AT LEAST $\frac{1}{3}$ THE THICKNESS OF THE SLAB THICKNESS OR 1", WHICHEVER DISTANCE IS GREATER.
4. JOINT TYPES: ISOLATION JOINTS SHALL BE USED TO SEPARATE CONCRETE SLABS FROM STRUCTURES (I.E. BUILDINGS) OR FIXED OBJECTS (PLEASE REFER TO STRUCTURAL PLANS FOR PAVING AT BUILDING DOOR OPENINGS). CONCRETE AREAS ADJACENT TO BUILDING OR DOCK WALLS OR THAT ARE DIFFICULT TO SAW CUT SHALL BE TOOL JOINTED USING A GROOVING TOOL OR BY INSERTING A PREMOLDED FILLER STRIP. IN OPEN CONCRETE PAVED AREAS, CONCRETE MAY BE SAW CUT ONCE THE CONCRETE HAS HARDENED ENOUGH TO SUPPORT THE SAWS AND AVOID RAVELING, TYPICALLY WITHIN 4 HOURS (HOT WEATHER) TO 12 HOURS (COLD WEATHER), BUT NOT GREATER THAN 24 HOURS AFTER THE POUR. CONTRACTOR SHALL USE KEYED CONSTRUCTION JOINT TO PROVIDE CLEAN INTERFACE BETWEEN AREAS OF CONCRETE POURED AT DIFFERENT TIMES.
5. JOINT SEALING: ISOLATION JOINTS BETWEEN BUILDING WALLS AND SIDEWALKS SHALL BE CLEANED WITH COMPRESSED AIR TO REMOVE FOREIGN MATERIAL AND SEALED WITH AN ELASTOMERIC SEALER TO MINIMIZE WATER INFILTRATION PER ACI 504R. OTHER JOINTS SHALL ONLY BE SEALED IF GEOTECHNICAL OR CIVIL ENGINEER DETERMINES THAT SUBGRADE PERFORMANCE WARRANTS JOINT SEALING. REFERENCE STRUCTURAL DRAWINGS FOR DETAILS FOR PAVEMENT SURROUNDING BUILDING.

NO.	REVISION	DATE
2	DRB COMMENTS	04/20/15
	BIDS & BUILDING PERMIT PLAN CHECK	03/16/2015

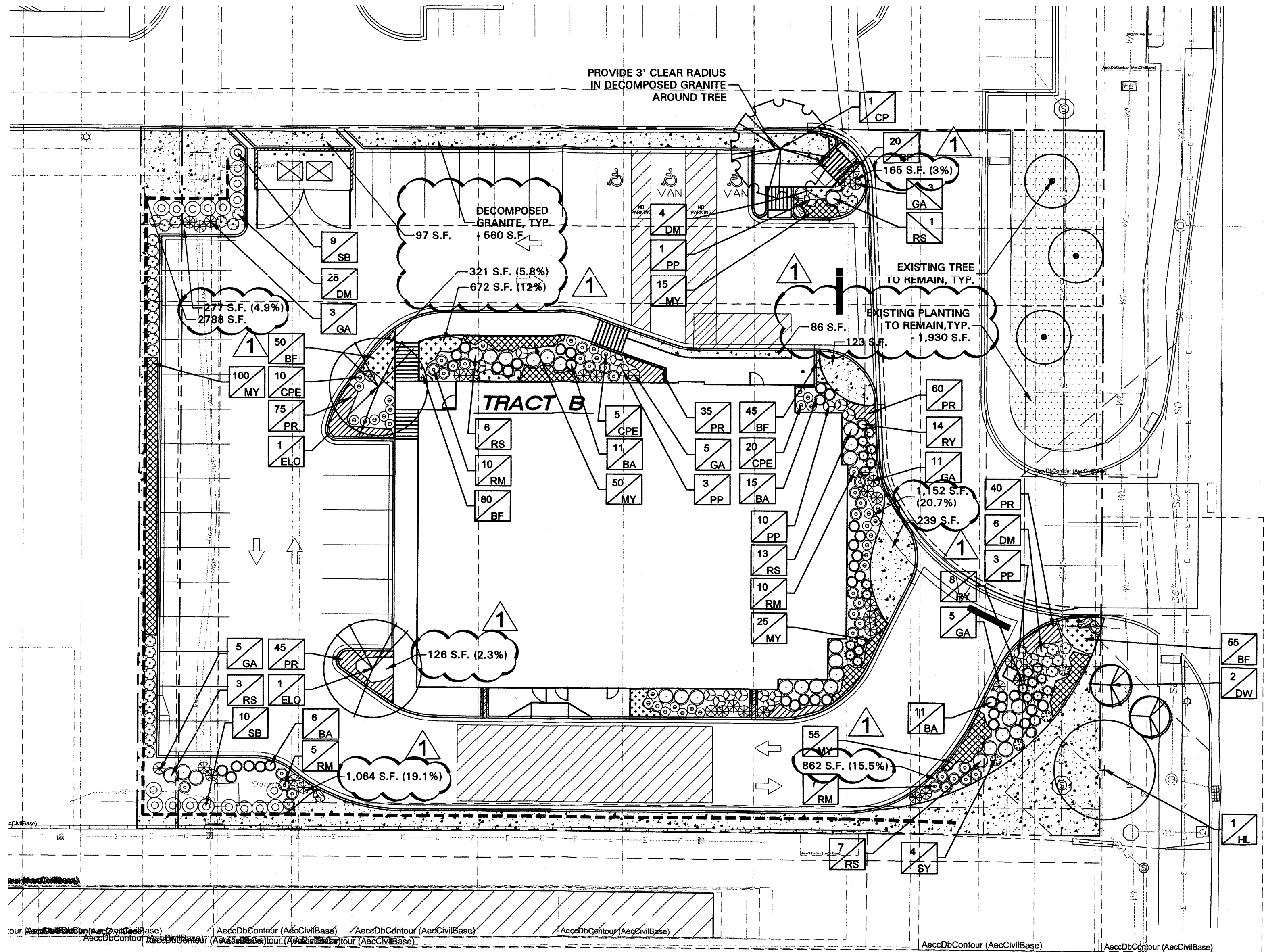
EES
ENTITLEMENT & ENGINEERING SOLUTIONS, Inc.
345 7th Street
Denver, CO 80202
303.572.7377
FIRM NO. F-14751



CIVIL CONSTRUCTION DOCUMENTS
DEL NORTE DIALYSIS CENTER
5207 San Mateo Boulevard N.E.
CIVIL DETAILS

PROJECT NO: DAV003.01
DESIGNED BY: JR
DRAWN BY: KR
DATE: 03/10/15

P:\DAVTAMM, ALBUQUERQUE-5207 SAN MATEO08 CAD/CIO CIVIL DETAILS.DWG

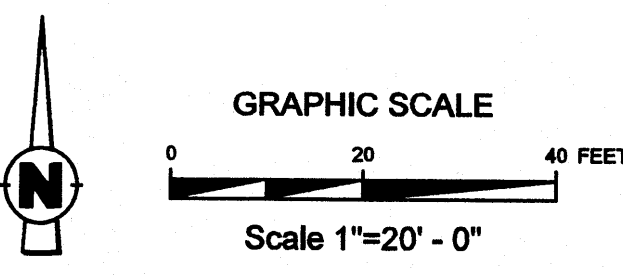


TRACT A-1A
SANBUSCO ADDITION

TRACT A-1B

SANBUSCO ADDITION

Albuquerque Control Survey Monument "9-F18"
New Mexico State Plane Coordinates
(Central Zone - NAD 83)
North = 1,504,356.581 feet
East = 1,530,870.687 feet
Elevation = 5218.228 feet (NAVD 1988)
Datum Alpha = -0011'36.7"
Ground To Grid Factor = 0.999866141



GENERAL PLANTING NOTES

1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN), BEFORE STARTING WORK. THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/- 1/4" OF FINISH GRADE. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
2. THE LANDSCAPE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.
3. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS.
4. INSTALL 6 OUNCE, WOVEN, NEEDLE-PUNCHED POLYPROPYLENE FABRIC UNDER ALL MULCHED AREAS AND INDIVIDUAL TREE RINGS.
5. INSTALL SHREDDED HARDWOOD MULCH TOPDRESSING IN ALL PLANTING BEDS (2" DEPTH) AND ALL TREE RINGS (2" DEPTH). DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE.
6. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E. MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
7. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
8. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
9. PLANTS MAY BE INSPECTED AND APPROVED OR REJECTED ON THE JOBSITE BY THE OWNER OR OWNER'S REPRESENTATIVE.
10. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
11. SHOULD AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AT NO ADDITIONAL COST TO THE OWNER.
12. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - A. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH WITH PROPER SEASONAL DORMANCY. ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - B. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
13. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

MULCHES

INSTALL ROCK MULCH, AT A 4" DEPTH OF 1" WASHED RIVER ROCK OVER WOVEN LANDSCAPE FABRIC (ANY APPROVED). DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE. SUBMIT MULCH SAMPLES TO LANDSCAPE ARCHITECT AND/OR OWNER FOR APPROVAL PRIOR TO INSTALLATION.

LANDSCAPE TABULATIONS FOR Albuquerque, NM
Landscape Area Requirements

1. 15% of the Net Lot Area shall be landscaped.

Total Site Area: 45,540 s.f.
Total Building Area: 8,535 s.f.

REQUIRED	PROVIDED
5,551 (15%)	9,097 s.f. (24.6%)

Special Landscaping Standards

1. One tree is required per 10 parking spaces
2. No parking space may be more than 100' from a tree trunk.
3. At least 75% of the required trees shall be deciduous canopy shade trees.
4. All required landscape areas shall be covered with at least 75% vegetative material.

Parking Spaces: 32

REQUIRED	PROVIDED
3 trees, 1.5" cal.	3 trees, 2" cal.
4,163 s.f. landscape (75%)	4,639 s.f. landscape (83.3%)

Street Trees

1. Street trees shall be deciduous and a minimum of 4 species. One of every three trees may be an accent tree. Tree spacing shall be approximately 30 feet apart.
- San Mateo Boulevard: 182.77 l.f.
- | | |
|--------------------|------------------------------------|
| REQUIRED | PROVIDED |
| 6 trees, 1.5" cal. | 3 existing trees; 3 trees, 2" cal. |

DEVELOPMENT DESIGN STANDARDS

1. A landscape buffer of no less than 12' shall be maintained between parking area and San Mateo Blvd.
2. 75% of landscape areas over 36 s.f. shall be covered with living vegetative material consisting of xeriscape and native plants or native turf. The maximum allowable native turf is 30% of the required vegetative cover.
3. One tree is required for every 30 l.f. of San Mateo Blvd. frontage.
4. High water use turf is prohibited.
5. Areas of the site disturbed and awaiting future development shall be stabilized to control erosion and dust in accordance with E.P.A. requirements. Native seed mix shall be the preferred method of such stabilization.
6. Per the design standards of the SDP for subdivision, all trees are capable of reaching a mature height of 20'.

San Mateo Boulevard: 182.77 l.f.

REQUIRED	PROVIDED
12' buffer	12' buffer
3 existing trees;	3 existing trees;
6 trees, 1.5" cal.	3 trees, 2" cal.

PLANT SCHEDULE

QTY	LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE	NOTES
1	CP	TREES Chinese Pistache	<i>Pistacia chinensis</i>	2" cal.	10-12' ht., 4' spread, matching (at time of planting)
2	DW	Desert Willow	<i>Chilopsis linearis</i>	30 gal.	8' ht., 4' spread, multi trunk, 3 cane min. (at time of planting)
2	ELO	Escarpment Live Oak	<i>Quercus fusiformis</i>	2" cal.	10-12' ht., 4' spread, matching (at time of planting)
1	HL	Thomless Honeylocust	<i>Gleditsia triacanthos</i>	2" cal.	10-12' ht., 4' spread, matching (at time of planting)
40	BA	SHRUBS/GROUNDCOVER Blue Avena Grass	<i>Helictotrichon sempervirens</i>	5 gal.	full, 24" spread, 36" o.c.
250	BF	Blue Fescue	<i>Festuca ovina glauca</i>	1 gal.	full, 12" o.c.
35	CPE	Cardinal Penstemon	<i>Penstemon cardinalis</i>	5 gal.	full, 30" o.c.
38	DM	Deer Muhly	<i>Muhlenbergia rigida</i>	5 gal.	full, 36" o.c.
32	GA	Gaura	<i>Gaura lindheimeri</i>	5 gal.	full, 24" spread, 36" o.c.
245	MY	Moonshine Yarrow	<i>Achillea x 'Moonshine'</i>	1 gal.	full, 18" o.c.
18	PP	Hardy Spineless Prickly Pear	<i>Opuntia cacanapa 'Ellisiana'</i>	5 gal.	full, 24" sprd, 36" o.c.
220	PR	Persian Rockcress	<i>Aethionema cordifolium</i>	1 gal.	full, 12" o.c.
32	RM	Tuscan Blue Rosemary	<i>Rosmarinus officinalis 'Tuscan Blue'</i>	5 gal.	full, 24" sprd, 36" o.c.
30	RS	Russian Sage	<i>Perovskia atriplicifolia</i>	7 gal.	full, 40" o.c.
22	RY	Red Yucca	<i>Hesperaloe parvifolia</i>	5 gal.	full, 24" sprd, 36" o.c.
19	SB	Scotch Broom	<i>Cytisus scoparius</i>	7 gal.	full, 30" sprd, 48" o.c.
4	SY	Softleaf Yucca	<i>Yucca recurvifolia</i>	5 gal.	full, 30" o.c.
		Decomposed Granite			Decomposed granite over weed barrier fabric

Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums at the time of planting. Trees shall have a strong central leader and be of matching specimens. All plant material shall meet or exceed remarks as indicated.

CITY NOTES

THIS PLAN IS IN COMPLIANCE WITH THE WATER CONSERVATION ORDINANCE, 9-1-1.
THIS PLAN IS IN COMPLIANCE WITH 14-16-2-10 GENERAL LANDSCAPING REGULATIONS FOR THE CITY OF ALBUQUERQUE, NEW MEXICO.
OWNER AGREES TO MAINTAIN THE LANDSCAPE IN THE PUBLIC RIGHT-OF-WAY PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
PER THE DESIGN STANDARDS OF THE SDP FOR SUBDIVISION, ALL TREES ARE CAPABLE OF REACHING A MATURE HEIGHT OF 20'.

CIVIL CONSTRUCTION DOCUMENTS

DEL NORTE DIALYSIS CENTER - ALBUQUERQUE

5207 SAN MATEO BOULEVARD

LANDSCAPE PLAN

PROJECT NO: 003.01
DESIGNED BY: AWR
DRAWN BY: AWR
DATE: 01/09/15

1 REVISED PER CITY COMMENTS

AR 4/9/15

STATE OF NEW MEXICO
Armando W. Richardson
506
LANDSCAPE ARCHITECT
3.16.15

EVERGREEN DESIGN GROUP
Celebrating 19 Years
(800) 686-6230
1780 Heritage Center Dr., Suite 104
Wake Forest, NC 27587
www.landscapenow.com

L1.1

PRIVATE PLANTING SPECIFICATIONS

GENERAL

A. SCOPE OF WORK

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
2. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

B. QUALIFICATIONS OF LANDSCAPE CONTRACTOR

1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE STATE DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE STATE DEPARTMENT OF AGRICULTURE OR THE STATE STRUCTURAL PEST CONTROL BOARD.

MATERIALS / PRODUCTS

A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.

B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:

1. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED, FIBROUS ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCKLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
2. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
3. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL.
4. MULCH: BARK MULCH SHALL BE FRESH, SHREDDED MIXTURE OF 1/2" - 3/4" PIECES OF WOOD, CAMBRIUM AND BARK NUGGETS FROM CONIFEROUS TREES, AS AVAILABLE FROM WESTERN AGRICULTURAL PRODUCTS COMPANY OR APPROVED EQUAL, UNLESS SHOWN ON THE PLANS OR SPECIFIED OTHERWISE, AFTER COMPLETION OF PLANTING OPERATIONS, A 4 INCH THICK LAYER OF MULCH SHALL BE APPLIED TO ALL PLANTING BEDS.

C. TREE STAKING AND CUTTING

D. WEED FABRIC: A DUNE, WOVEN, NEEDLE-PUNCHED FABRIC, SUCH AS DEWITT PROS LANDSCAPE FABRIC (OR APPROVED EQUAL), TREE STAKING AND CUTTING.

E. STAKES: 6" LONG GREEN METAL T-POSTS.

F. GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.100 INCH DIAMETER.

G. STRAP CHAINING GUARDS: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.

H. TREE STAKES SHALL BE REMOVED ONE YEAR AFTER INSTALLATION.

METHODS

A. SOIL PREPARATION

1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1 OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
2. SOIL TESTING:
 - a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, PH, ORGANIC MATTER ADDITION RATIO (OAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL.
 - b. CONTRACTOR SHALL ALSO SUBMIT THE PROJECTS PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
 - c. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
4. **FOR BIDDING PURPOSES ONLY,** THE SOIL PREPARATION SHALL CONSIST OF SOIL AS SPECIFIED PREVIOUSLY:
 - a. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 6" OF SOIL (IF NECESSARY) BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - ii. 12-12-12 FERTILIZER - 10 LBS. PER CU. YD.
 - iii. AGRICULTURAL GYPSUM - 10 LBS. PER CU. YD.
 - iv. IRON SULPHATE - 2 LBS. PER CU. YD.
5. CONTRACTOR SHALL ENSURE THAT THE MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS.
6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

B. GENERAL PLANTING

1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
2. TRENCING NEAR EXISTING TREES
 - a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2' AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1' FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HIGHT (A/B) ABOVE THE AVERAGE GRADE AT THE TRUNK.
 - b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
 - c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2' AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2' AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
 - d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.
3. TREE PLANTING
 1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL, LESS TWO INCHES.
 2. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
 3. FOR CONTAINER TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT TEAR ROOTS OUT FROM THE ROOTBALL.
 4. THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKES SHALL BE REMOVED AFTER ONE YEAR OF INSTALLATION. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
 - a. 16 - 30 GAL TREES - TWO STAKES PER TREE
 - b. 45 - 100 GAL TREES - THREE STAKES PER TREE
 - c. MULTI-TRUNK TREES - THREE STAKES PER TREE MINIMUM, POSITIONED AS NEEDED TO STABILIZE THE TREE

D. SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING

1. DID THE PLANTING HOLES TWICE AS WIDE AND 2' LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
2. INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
3. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.

E. CLEAN UP

1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
2. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.

F. INSPECTION AND ACCEPTANCE

1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN ACCEPTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

G. WARRANTY PERIOD, PLANT GUARANTEES AND REPLACEMENTS

1. ALL PLANT MATERIALS SHALL BE GUARANTEED TO BE IN A LIVE, HEALTHY, AND NORMAL-GROWING CONDITION FOLLOWING THE DATE OF ACCEPTANCE BY THE ENGINEER THROUGH 12 MONTHS (90 DAYS FOR ANNUAL PLANTS) OR ONE GROWING SEASON WHICHEVER COMES FIRST. A GROWING SEASON SHALL BE DEFINED AS MAY 15 THROUGH SEPTEMBER 15. SUCH PLANT MATERIALS THAT ARE DEAD OR IN AN UNHEALTHY, IMPAIRED GROWTH CONDITION, SHALL BE REPLACED BY THE CONTRACTOR AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER. ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.

H. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.

CITY PLANTING SPECIFICATIONS

GENERAL

A. SCOPE OF WORK

1. WORK UNDER THIS SECTION CONSISTS OF THE PLANTING OF TREES, SHRUBS, AND GROUNDCOVERS, INCLUDING THE FURNISHING OF ALL LABOR, EQUIPMENT, AND MATERIALS AND PERFORMING ALL WORK IN CONNECTION THEREWITH IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS, OR AS AUTHORIZED BY THE LANDSCAPE ARCHITECT.
2. THE SCIENTIFIC AND COMMON NAMES USED FOR THE PLANTS CALLED FOR ON THE DRAWINGS ARE GENERALLY IN CONFORMITY WITH THE APPROVED NAMES GIVEN IN STANDARDIZED PLANT NAMES, 1962 EDITION PUBLISHED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE. THE NAMES OF VARIETIES NOT INCLUDED THEREIN ARE GENERALLY IN CONFORMITY WITH THE NAMES ACCEPTED IN THE NURSERY TRADE.

B. REFERENCES:

1. U.S.A. STANDARD FOR NURSERY STOCK, PUBLISHED BY COMMITTEE ON HORTICULTURAL STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
2. STANDARDIZED PLANT NAMES, PUBLISHED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE.

MATERIALS / PRODUCTS

A. A COMPLETE LIST OF PLANTS, INCLUDING A SCHEDULE OF QUANTITIES, SIZES AND OTHER REQUIREMENTS IS SHOWN ON THE PLANS. IN THE EVENT THAT DISCREPANCIES OCCUR BETWEEN QUANTITIES OF PLANTS INDICATED IN THE SCHEDULE OF PLANTS AND THE PLANTING PLAN, THE PLANT QUANTITIES INDICATED ON THE PLANTING PLAN SHALL GOVERN.

B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:

1. PLANT MATERIAL SUBSTITUTIONS SHALL NOT BE MADE WITHOUT THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT. THE USE OF MATERIALS DIFFERING IN KIND, QUALITY, OR SIZE FROM THAT SPECIFIED WILL BE ALLOWED ONLY AFTER THE ENGINEER IS CONVINCED THAT ALL MEANS OF OBTAINING THE SPECIFIED MATERIALS HAVE BEEN EXHAUSTED. AT THE TIME BIDS ARE SUBMITTED, THE CONTRACTOR IS ASSUMED TO HAVE LOCATED THE MATERIALS NECESSARY TO COMPLETE THE JOB AS SPECIFIED.
2. PLANT MATERIAL QUALITY, SIZE, AND CONDITION SHALL BE IN ACCORDANCE WITH U.S.A. STANDARD FOR NURSERY STOCK, LATEST EDITION, AS PUBLISHED BY THE COMMITTEE ON HORTICULTURAL STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. THE PLANS AND THE FOLLOWING REQUIREMENTS: ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY. ALL PLANTS SHALL HAVE NORMAL, WELL DEVELOPED BRANCHES AND VIGOROUS ROOT SYSTEMS. THEY SHALL BE SOUND, HEALTHY, VIGOROUS, FREE FROM DEFECTS, DISFIGURING KNOTS, ABRASIONS OF THE BARK, SUNSCALD INJURY, PLANT DISFORMS OF INFECTIONS, AND OTHER DEFECTS. ALL TREES SHALL HAVE A SINGLE TRUNK THAT IS STRAIGHT AND FREE OF "DOG-LEGS," "CROOKS," "Y-CROTCHES," OR OTHER DISFIGURING SHAPES. THE CENTRAL LEADER OF ALL TREES SHALL NOT HAVE BEEN PRUNED. TREES WITH DOUBLE LEADERS ARE NOT ACCEPTABLE.
3. UNLESS OTHERWISE NOTED ON THE PLANS OR APPROVED BY ENGINEER, ALL PLANTS SHALL BE NURSERY GROWN AND SHALL BE TAGGED BY SPECIES AND VARIETY.
4. CONTAINER GROWN PLANT MATERIAL SHALL HAVE BEEN ESTABLISHED IN ITS DELIVERY CONTAINER FOR NOT LESS THAN SIX MONTHS, BUT FOR NOT MORE THAN TWO YEARS. ANY ROOT SOUND MATERIAL WILL NOT BE ACCEPTED.
5. BALLED AND BURLAPPED MATERIAL SHALL HAVE A SOLID BALL OF EARTH OF MINIMUM SPECIFIED SIZE AND HELD IN PLACE SECURELY BY BURLAP AND A STOUT TWINE OR ROPE. BROKEN OR LOOSE BALLS WILL BE REJECTED.
6. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
7. UNLESS SPECIFICALLY NOTED ON THE PLANS, ALL TREES SHALL HAVE A SINGLE TRUNK THAT IS STRAIGHT AND FREE OF "DOG-LEGS," "CROOKS," "Y-CROTCHES," OR OTHER DISFIGURING SHAPES. THE CENTRAL LEADER OF ALL TREES SHALL NOT HAVE BEEN PRUNED. TREES WITH DOUBLE LEADERS ARE NOT ACCEPTABLE.
8. THE COMPLETE PLANTING SOIL MIXTURE SHALL HAVE THE FOLLOWING CHARACTERISTICS: CALCIUM TO MAGNESIUM RATIOS SHALL NOT EXCEED 20 PARTS CALCIUM TO ONE PART MAGNESIUM. POTASSIUM (POTASSIUM) (K) SHALL BE PRESENT AT A RATE OF AT LEAST 200 PARTS PER MILLION OF EXCHANGEABLE POTASSIUM. SALINITY (SODIUM) (Na) SHOULD NOT EXCEED 2 MILLI/MOLEC LITRE NITROGEN (NH4-N) SHALL BE PRESENT AT A RATE OF AT LEAST 30 PARTS PER MILLION. PHOSPHORUS (P) AS MEASURED BY THE MILLON PHOSPHORUS AS MEASURED BY THE MILLON PHOSPHORUS METHOD SHALL BE AT GREATER THAN 20 PARTS PER MILLION. PH OF THE PLANTING SOIL MIXTURE SHALL BE BETWEEN 6.5 AND 7.5. UNLESS OTHERWISE NOTED BY WEIGHT (BY SIMPLE COMBUSTION) SHALL BE MORE THAN 90% AVAILABLE MOISTURE CAPACITY IN THE ONE THIRD TO 1/4 INCH RANGE SHALL BE GREATER THAN 6%. TOISE OR TOTAL KJEDAN/NITROGEN SHALL BE 200 PPM OR GREATER. NH4 SHALL BE 25 PPM OR LESS.
9. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST THE ABOVE CHARACTERISTICS AND WAIVE ALL IRREGULARITIES.
10. ALL PLANT MATERIAL SHALL HAVE A UNIFORM SHAPE AROUND ITS COMPLETE CIRCUMFERENCE. PLANT MATERIAL WITH IRREGULAR BRANCHING PATTERNS OR WITH BRANCHING PATTERNS MORE HIGHLY DEVELOPED ON ONE SIDE THAN ON OTHER SIDES SHALL NOT BE ACCEPTABLE.
11. THE LANDSCAPE ARCHITECT/OWNER OR OWNERS REPRESENTATIVE SHALL BE THE JUDGE OF THE QUALITY AND ACCEPTABILITY OF ALL PLANT MATERIALS. ALL REJECTED MATERIAL SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND REPLACED WITH ACCEPTABLE MATERIAL AT NO ADDITIONAL COST TO OWNER.

C. SPECIFICATION FOR COMPLETE PLANTING BACKFILL MIXTURE SHALL BE A PREMIXED, HOMOGENEOUS SOIL. IT WILL CONSIST OF SAND AND ORGANIC MATTER AND MEET PERFORMANCE CHARACTERISTICS OUTLINED BELOW.

SIEVE SIZE	% PASSING
3/8"	100%
#4	95-99%
#10	85-95%
#15	75-90%
#30	55-75%
#60	35-50%
#100	1-25%

ORGANIC MATTER, 40% BY VOLUME OF COMPOST MATERIAL SPECIFIED AS FOLLOWS:

COMPOST, OR MULCH, SHALL BE A COMBINATION ORGANIC CARBON SOURCES SUCH AS STRAW, HAY, BARK, SANDWICH OR WOOD SHAVINGS AND NITROGEN SOURCES SUCH AS MANURE, BLOOD MEAL, OR CHEMICAL FERTILIZERS. NITROGEN SOURCES MUST BE ADDED PRIOR TO COMPOSTING. IT IS RECOMMENDED THIS MIXTURE BE AEROBICALLY COMPOSTED AT TEMPERATURES BETWEEN 120° AND 140° F FOR 30 TO 60 DAYS. WEED SEEDS ARE TO BE DESTROYED DURING COMPOSTING AND UREA AND AMMONIA FORM NITROGEN RATIO SHALL BE AS LISTED BELOW. FINISHED COMPOST IS TO BE SCREENED TO PROVIDE LESS THAN 2% REMAINING ON A 1/2" SCREEN. CARBON TO NITROGEN RATIO OF ORGANIC MATTER SHALL BE LESS THAN 80 PARTS CARBON TO ONE PART NITROGEN.

D. THE PLANTING SOIL MIXTURE SHALL BE TESTED BY THE CONTRACTOR AT AN APPROVED SOIL TESTING LABORATORY. TEST RESULTS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER PRIOR TO DELIVERY OF THE PLANTING SOIL MIXTURE. TEST RESULTS SHALL LIST THE AS TESTED QUALITIES OF THE ABOVE CHARACTERISTICS AND ANY RECOMMENDATIONS THE TESTING LAB HAS. THE OWNER WILL ALSO TEST THE PLANTS PLANTED OR INSTALLED TO VERIFY THE MIXTURE MATCHES THE LISTED CHARACTERISTICS AND THE SUBMITTED SOIL REPORT.

METHODS

A. SOIL PREPARATION

1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1 OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
2. SOIL TESTING:
 - a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL.
 - b. CONTRACTOR SHALL ALSO SUBMIT THE PROJECTS PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
 - c. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
4. **FOR BIDDING PURPOSES ONLY,** THE SOIL PREPARATION SHALL CONSIST OF SOIL AS SPECIFIED PREVIOUSLY:
 - a. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 6" OF SOIL (IF NECESSARY) BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - ii. 12-12-12 FERTILIZER - 10 LBS. PER CU. YD.
 - iii. AGRICULTURAL GYPSUM - 10 LBS. PER CU. YD.
 - iv. IRON SULPHATE - 2 LBS. PER CU. YD.
5. CONTRACTOR SHALL ENSURE THAT THE MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS.
6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

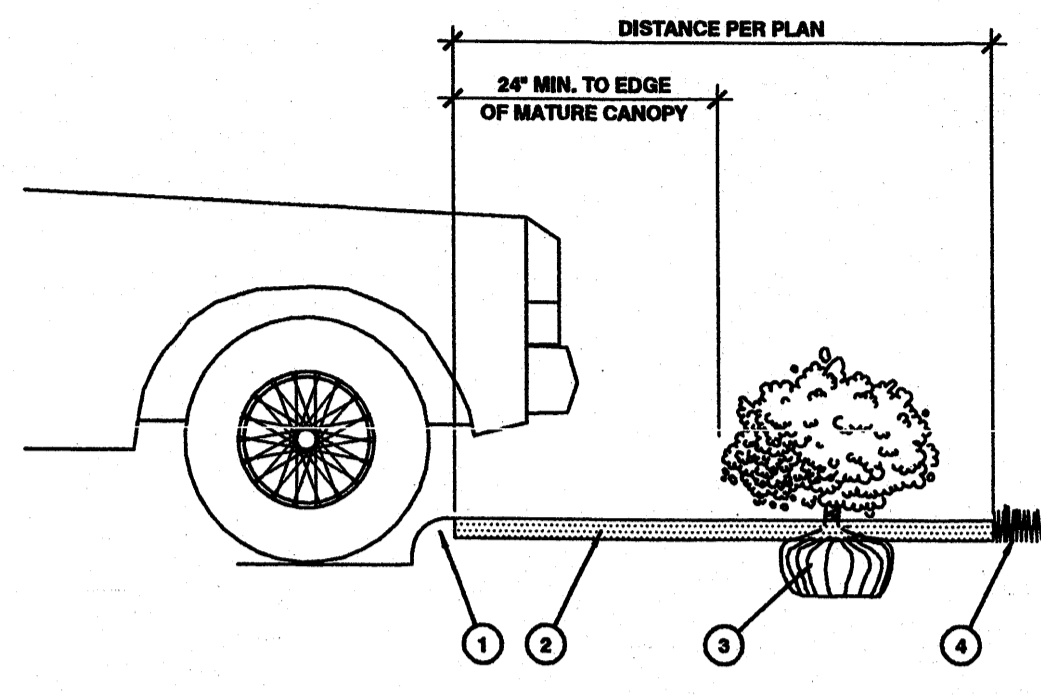
B. TREE PLANTING

1. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS FLUSH WITH FINISH GRADE.
2. BACKFILL FOR PLANTING PITS SHALL CONSIST OF THE PLANTING SOIL MIXTURE AS SPECIFIED IN THESE SPECIFICATIONS. THE PLANT SHALL BE POSITIONED IN THE HOLE AND BACKFILLED NO MORE THAN HALF WAY UP THE ROOT BALL. THE BACKFILLING SHALL BE COMPLETED, AND MATERIAL TAMPED, WHEN PIT IS NEARLY FILLED, WATER THOROUGHLY AND ALLOW WATER TO SOAK AWAY. IF SETTLING OF THE BACKFILL OCCURS AFTER WATERING, ADD MORE BACKFILL TO BRING TO FINISH GRADE.

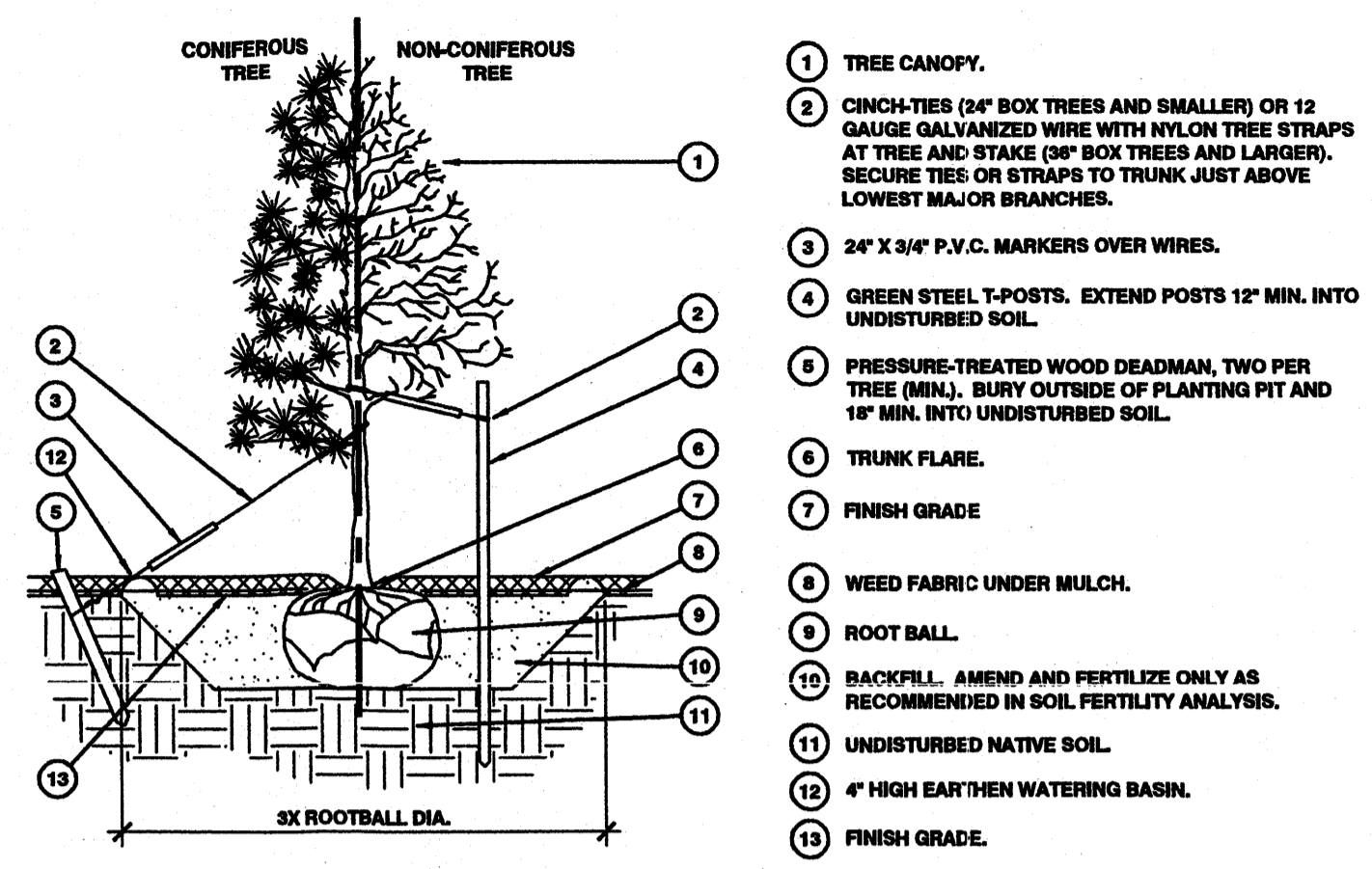
C. ALL PLANTING AND BACKFILLING SHALL BE PERFORMED IN ACCORDANCE WITH ACCEPTED NURSERY PRACTICE, THE PLANS, AND THE FOLLOWING REQUIRE ALL PLANTING PITS AND PLANTING BEDS AS SHOWN ON THE PLANS. SET ALL PLANTS PLUMB AND STRAIGHT UNLESS OTHERWISE INDICATED ON PLANS AND IN THE CENTER OF PIT SUCH THAT THE TOP ROOT BALL SITS FLUSH WITH FINISH GRADE. NO FILLING WILL BE PERMITTED AROUND TRUNKS OR STEMS

D. LANDSCAPE MAINTENANCE

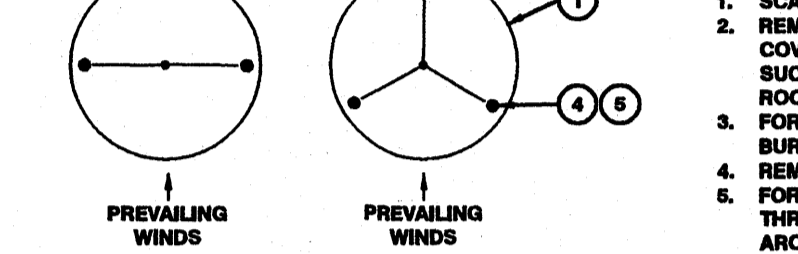
1. MAINTENANCE AND PROTECTING OF TREES, SHRUBS, AND GROUNDCOVER SHALL BEGIN IMMEDIATELY FOLLOWING THE LAST OPERATION OF INSTALLATION FOR EACH PLANT AND SHALL CONTINUE THROUGH THE DURATION OF THE MAINTENANCE PERIOD SPECIFIED. IF THE PROJECT DOES NOT INCLUDE TURF, THE TREES, SHRUBS AND GROUNDCOVER SHALL BE MAINTAINED FOR A PERIOD OF 90 DAYS AFTER SUBSTANTIAL COMPLETION. MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR PROPER PRUNING, WATERING, WEEDING, CULTIVATING, REMOVAL OF DEAD MATERIAL AND DEBRIS, RESETTING OF TREES TO UPRIGHT POSITIONS, RESTORATION OF EARTH BASINS, AND SUCH OTHER OPERATIONS AS MAY BE NECESSARY FOR THE HEALTH OF THE PLANTED STOCK AND THE GENERAL APPEARANCE OF THE LANDSCAPED AREAS. PROTECTION SHALL INCLUDE CARE OF THE PLANTED STOCK FROM DAMAGES RESULTING FROM TRESPASS, EROSION (INCLUDING WATERING), WEATHER, WANDALISM, DISEASE AND THE LIKE. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULED ADJUSTMENTS BY SEASON TO MAINTAIN WATER CONSERVATION.
2. THE CONTRACTOR SHALL NOT PRUNE ANY PLANT MATERIAL EXCEPT UNDER THE SPECIFIC DIRECTION OF THE LANDSCAPE ARCHITECT/OWNER OR OWNERS REPRESENTATIVE
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF WATER DURING THE INSTALLATION AND MAINTENANCE OF PLANT MATERIAL UNTIL FINAL ACCEPTANCE
4. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.



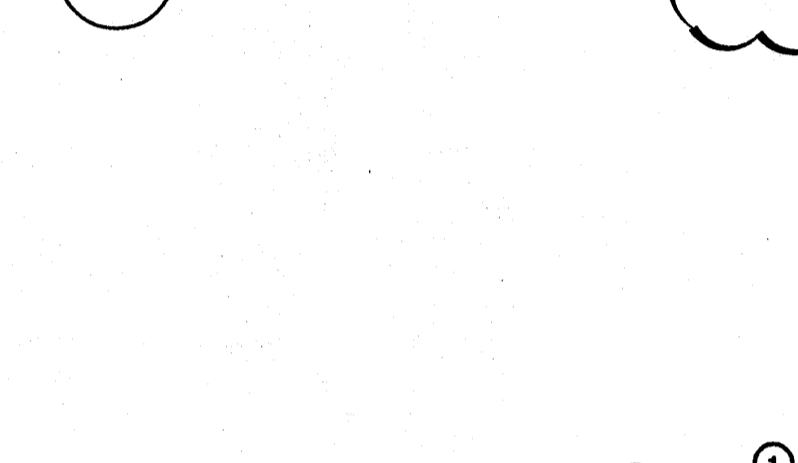
D. HEDGE PLANTING AT PARKING AREA
SCALE: NOT TO SCALE



A. TREE PLANTING
SCALE: NOT TO SCALE



B. SHRUB AND PERENNIAL PLANTING
SCALE: NTS



C. PLANT SPACING
SCALE: NTS

4/9/15

REVISED PER CITY COMMENTS

1

CIVIL CONSTRUCTION DOCUMENTS

DEL NORTE DIALYSIS CENTER - ALBUQUERQUE

5207 SAN MATEO BOULEVARD

LANDSCAPE SPECIFICATIONS AND DETAILS

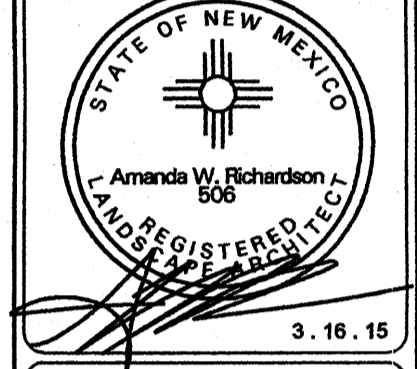
PROJECT NO: 003.01

DESIGNED BY: AWR

DRAWN BY: AWR

DATE: 01/09/15

L1.2

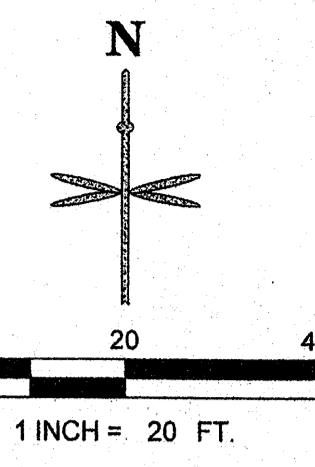


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P:\DWG\N.M. ALBUQUERQUE - 5207 SAN MATEO (C) GRADING AND PAVING PLANDWG

TRACT A SANDIA ADDITION

Filed July 9, 2010 in Plat Book 2010C, page 80



LEGEND

	PROPERTY LINE
	EASEMENT LINE
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	TOE OF SLOPE
	PROPOSED 6" CURB
	PROPOSED SPILL CURB
	PROPOSED STORM LINE
	PROPOSED WALL
	PROPOSED WATERPROOFING MEMBRANE
	SPOT ELEVATION
	PROPOSED FLOW LINE ELEVATION
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED GRADE AT TOP OF WALL
	PROPOSED GRADE AT BOTTOM OF WALL
	PROPOSED GRADE TO MATCH EXISTING
	PROPOSED GRADE AT EDGE OF CONCRETE
	PROPOSED GRADE AT TOP OF RAMP
	PROPOSED GRADE AT BOTTOM OF RAMP
	5.1% FLOW ARROW AND GRADE
	PROPOSED CURB INLET
	EXISTING SANITARY/STORM MANHOLE

GENERAL NOTES

- REQUIREMENTS SHOWN ON THE SITE PLAN SHALL GOVERN. DRAWINGS AND SPECIFICATIONS SHOWING OTHERWISE NOTWITHSTANDING. CONTRACTOR TO POINT OUT ANY DISCREPANCIES TO THE OWNERS REPRESENTATIVE PRIOR TO BID.
- NO WORK IS TO BEGIN UNTIL ALL PERMITS HAVE BEEN OBTAINED.
- FINAL GRADES ARE SUBJECT TO MINOR CHANGE BY CONTRACTOR. NO GRADE CHANGES IN EXCESS OF 0.05' WITHOUT ENGINEER APPROVAL.
- ANY FILL MATERIAL REQUIRED TO BRING THE SITE TO GRADE SHALL BE CLEAN FILL APPROVED BY GEOTECHNICAL ENGINEER. SEE "NOTES FOR SOIL PREPARATION", THIS SHEET.
- ALL LANDSCAPING AREAS SHALL BE GRADED 0.10' WITH COMPANY APPROVED SOIL.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MINIMIZING DEPOSITION OF ONSITE SEDIMENTS ONTO SURROUNDING PUBLIC STREETS DURING CONSTRUCTION.
- SEE THE SITE SURVEY FOR SURVEY INFORMATION AND LEGAL DESCRIPTION.
- GRADES SHOWN ARE FLOWLINE UNLESS OTHERWISE NOTED.
- GUTTER GRADES SHALL BE A MINIMUM 0.6%.
- ADA SIDEWALK AND PARKING STALLS SHALL COMPLY WITH CITY OF ALBUQUERQUE STANDARDS AND SPECIFICATIONS.
- THE PROPOSED STORM DRAINAGE IS DESIGNED FOR THE 100-YEAR STORM EVENT. IN THE EVENT THE CURB OPENINGS BECOME COMPLETELY CLOGGED, RUNOFF WILL POND WITHIN THE PARKING AREA AT THE LOWEST POINT LOCATED IN THE NORTHWEST CORNER OF THE SITE FOR A DEPTH OF 6". WHERE IT WILL OVERTOP THE CURB, AND SHEET FLOW DOWN THE LANDSCAPE AREA IN A NORTHERLY DIRECTION AND OVER THE EXISTING CURB AND GUTTER ALONG THE SOUTH EDGE OF THE ADJACENT SHARED ACCESS ROAD. STORM FLOW WILL CONTINUE IN THE EXISTING CURB AND GUTTER, AND BE CARRIED TO THE NORTH POND. THIS POND HAS BEEN REGRADED TO ACCOMMODATE ONSITE FLOWS REQUIRED FOR DETENTION AND FIRST FLUSH VOLUMES. REFER TO DRAINAGE REPORT UNDER SEPARATE COVER.
- REFER TO C1.0 (OVERALL SITE PLAN) FOR SPECIFIC WALL MATERIAL AND TYPE.
- REFER TO C1.1 FOR WALL HORIZONTAL CONTROL AND SPECIFIC RETAINING WALL DETAIL REQUIREMENTS.
- REFER TO C2.2 FOR NORTH POND GRADING PLAN.

SOIL PREPARATION NOTE

SOIL PREPARATION FOR NON-LANDSCAPE AREAS SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS:

GEOTECHNICAL ENGINEER: TERRACON CONSULTANTS, INC.
PROJECT NO.: 68145088, DATED JANUARY 9TH 2015

THE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FOR SPECIFIC SOIL PREPARATION AT SITE STRUCTURES. REFER TO THE LANDSCAPE PLANS FOR SPECIFIC PLANTING AREA SOIL AMENDMENT PROCEDURES.

PROJECT BENCHMARK & VERTICAL DATUM

ALL CORNERS FOUND IN PLACE AND HELD WERE TAGGED WITH A BRASS DISK STAMPED "HUGG L.S. 9750" OR "HUGG L.S. 11808" UNLESS OTHERWISE INDICATED HEREON.

ALL CORNERS THAT WERE SET ARE EITHER A 5/8" REBAR WITH CAP STAMPED "HUGG L.S. 9750" OR "HUGG L.S. 11808" OR A CONCRETE NAIL WITH BRASS DISK STAMPED "HUGG L.S. 9750" OR "HUGG L.S. 11808" UNLESS OTHERWISE INDICATED HEREON.

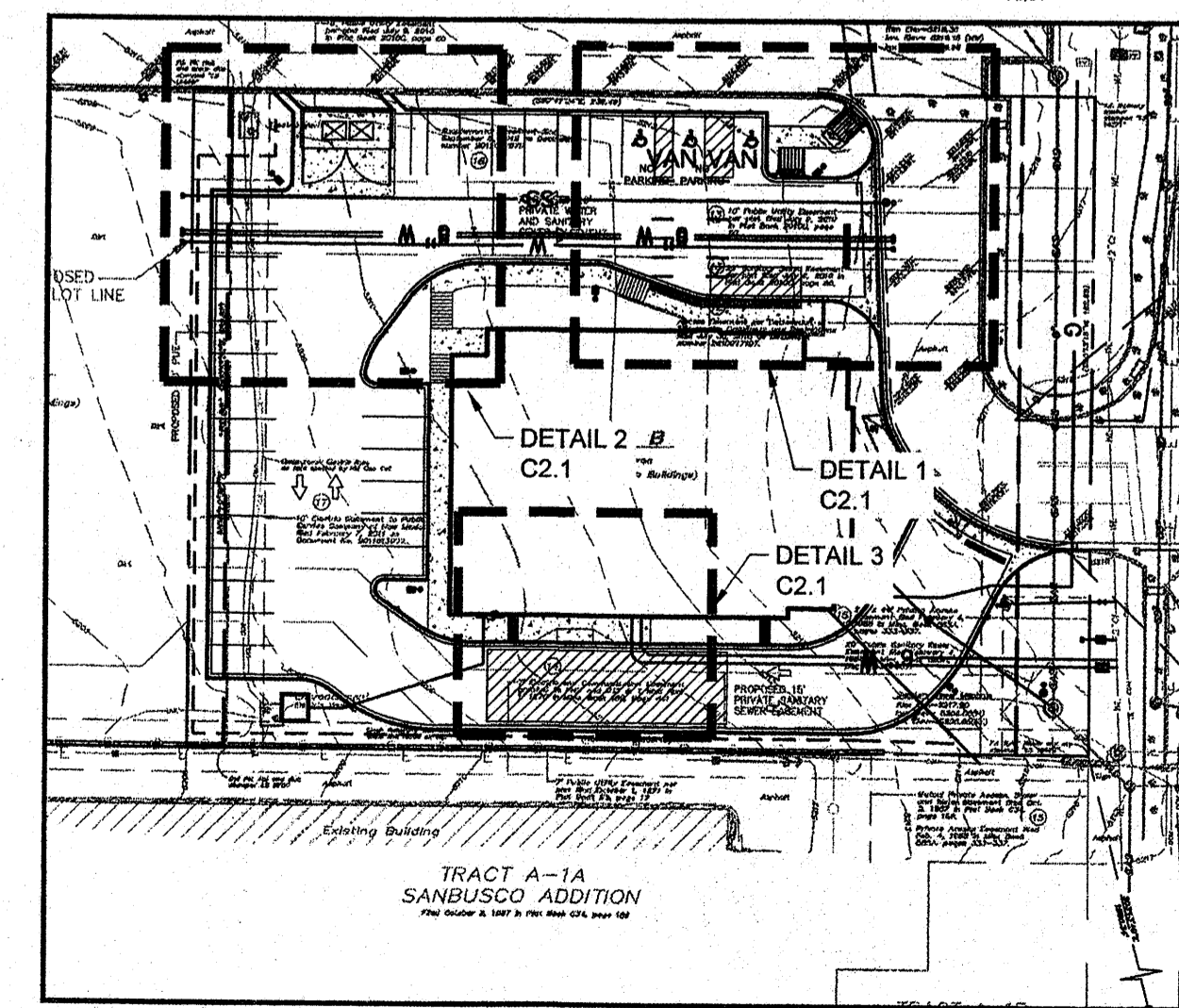
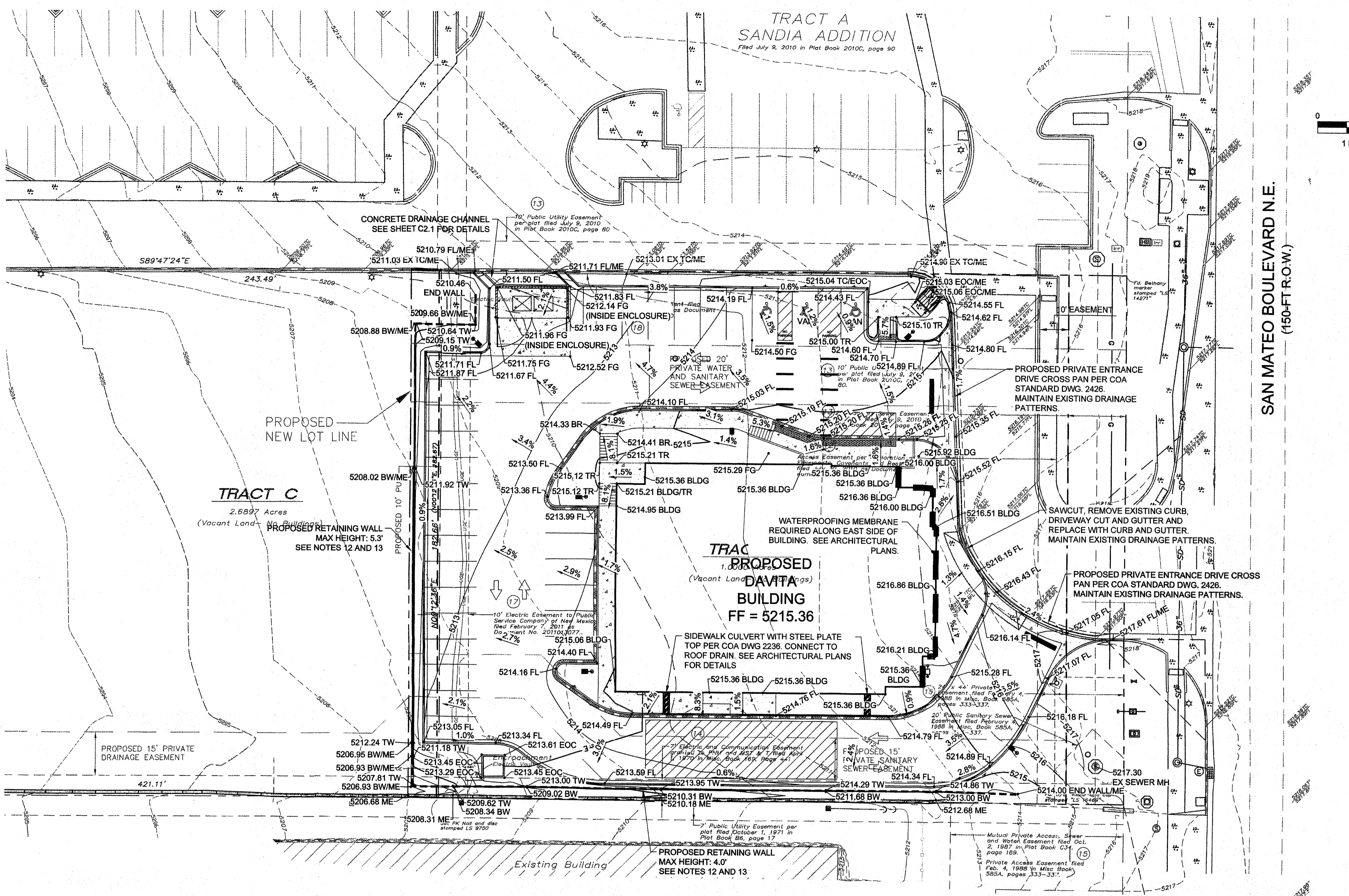
VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "9-F18", ELEVATION = 5212.23 (NAVD 1988)

PROJECT BASIS OF BEARING

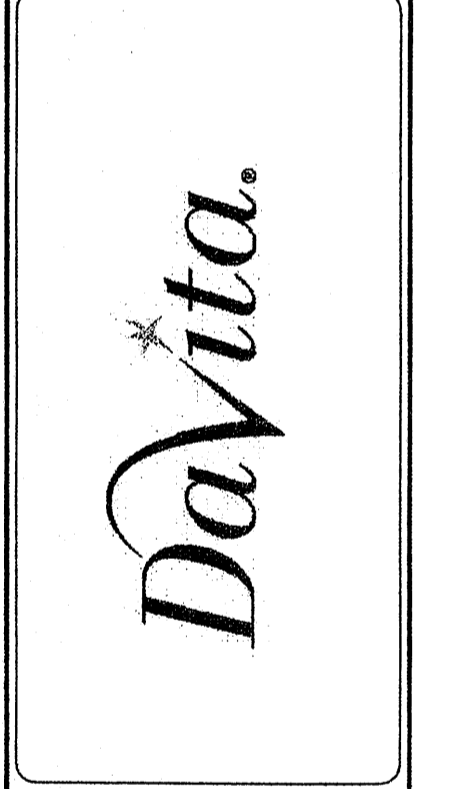
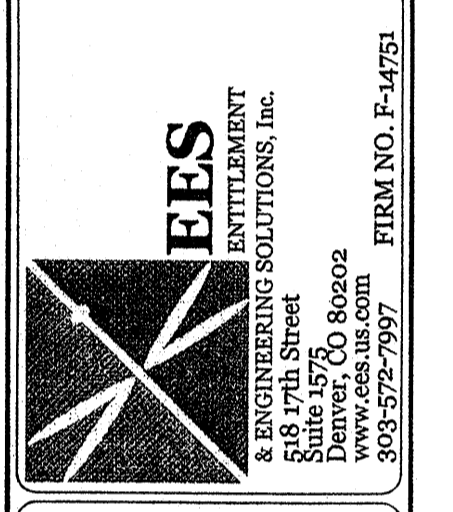
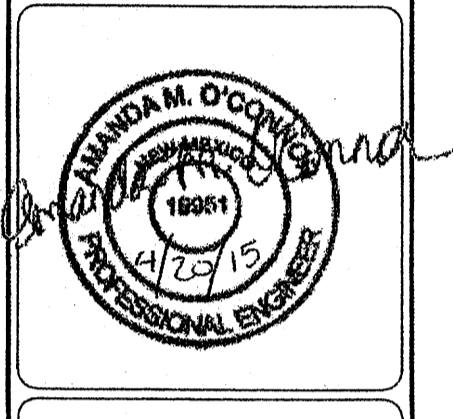
BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE -NAD83.

LEGAL DESCRIPTION

TRACT LETTERED "B" OF THE PLAT OF TRACTS A, B, & C, SANDIA ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, FEBRUARY 2010, AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAT FILED FOR RECORD ON JULY 9, 2010 AND RECORDED AS DOCUMENT #2010068217 IN THE RECORDS OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO



NO.	REVISION	BY	DATE
1	BIDS & BUILDING PERMIT PLAN CHECK		03/16/2015
2	HYDROLOGY & DRB COMMENTS		04/20/2015



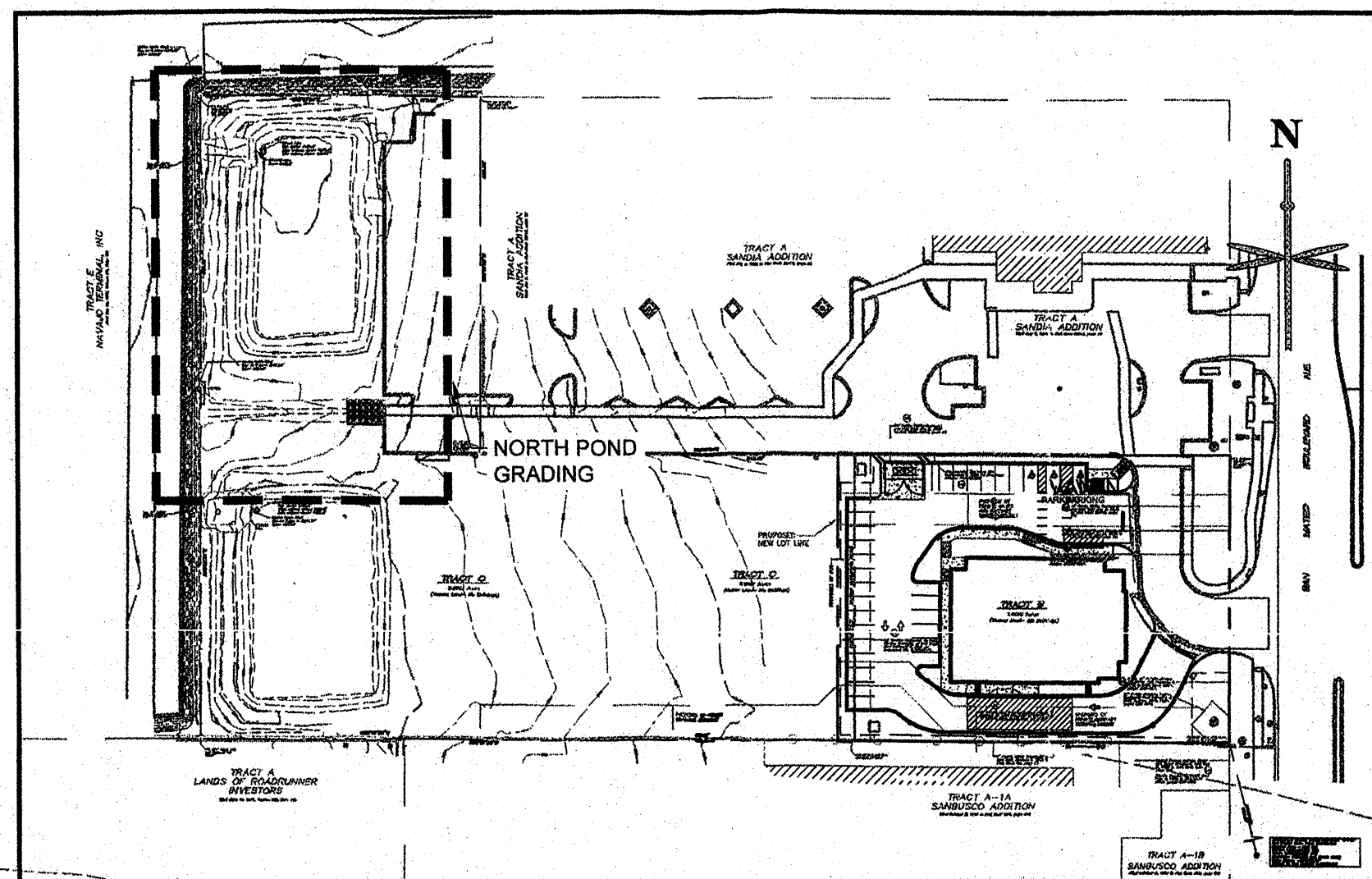
CIVIL CONSTRUCTION DOCUMENTS
DEL NORTE DIALYSIS CENTER
 5207 San Mateo Boulevard N.E.
CONCEPTUAL GRADING PLAN

PROJECT NO.: DAV003.01
 DESIGNED BY: JRR
 DRAWN BY: KLR
 DATE: 03/10/15

C2.0
 SHEET 4 OF 12

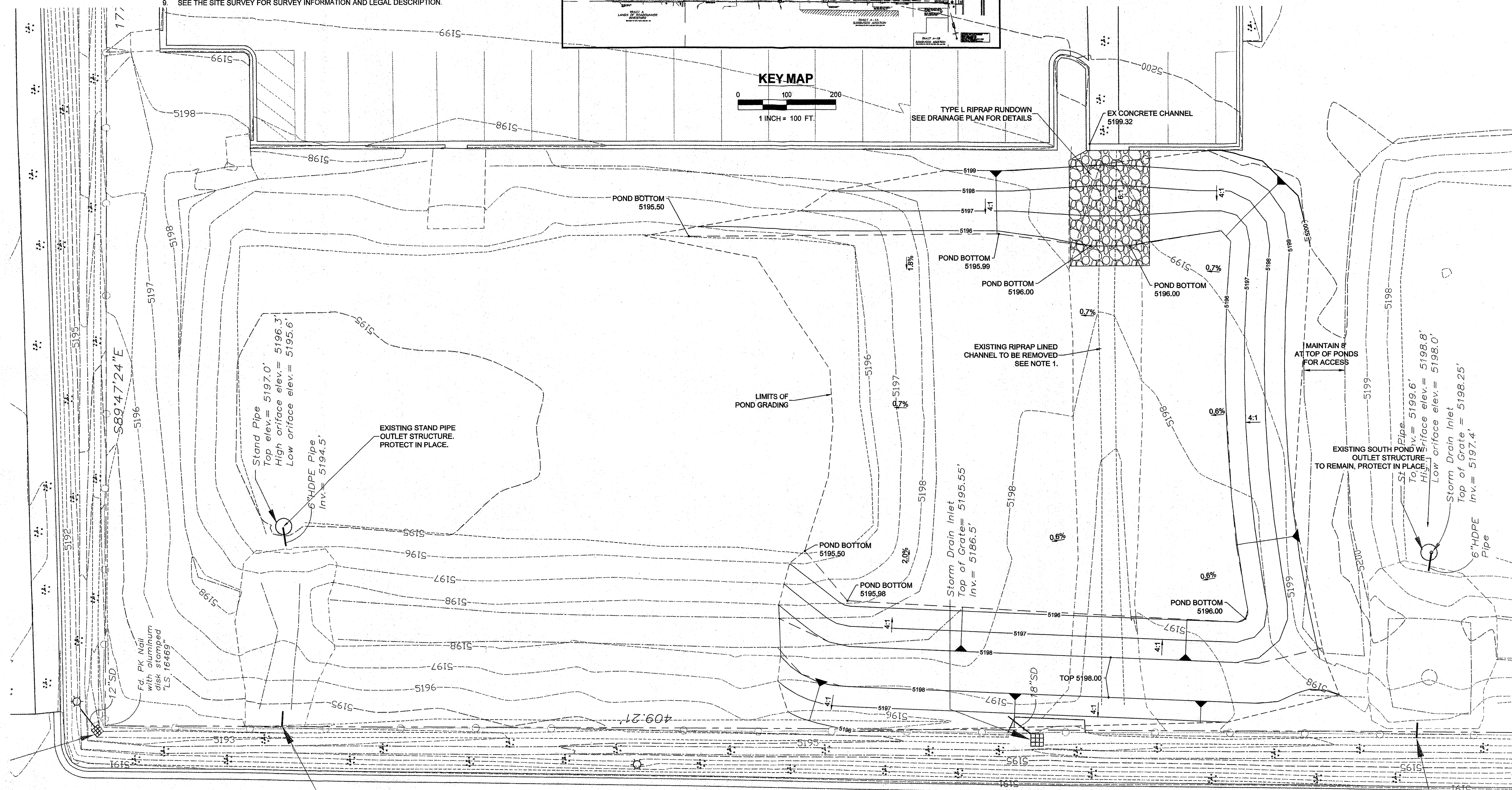
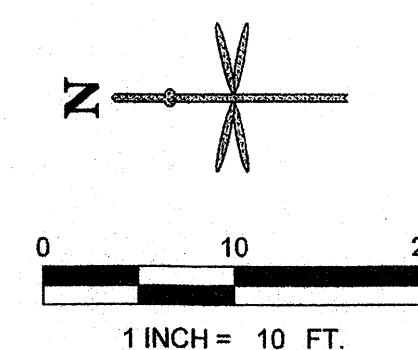
GENERAL NOTES

- EXISTING RIPRAP CHANNEL TO BE REMOVED TO ACCOMMODATE POND EXPANSION. IF SALVAGEABLE, EXISTING RIPRAP FROM CHANNEL TO BE REUSED WHERE RIPRAP IS REQUIRED PER THE PLAN.
- REFER TO DRAINAGE PLAN FOR SPECIFIC POND DESIGN.
- POND OUTLET STRUCTURE TO REMAIN IN PLACE AND PROTECTED FROM DAMAGE OR SEDIMENTATION DURING CONSTRUCTION. REFER TO EROSION CONTROL PLANS FOR EROSION CONTROL DETAILS.
- REQUIREMENTS SHOWN ON THE SITE PLAN SHALL GOVERN, DRAWINGS AND SPECIFICATIONS SHOWING OTHERWISE NOTWITHSTANDING. CONTRACTOR TO POINT OUT ANY DISCREPANCIES TO THE OWNERS REPRESENTATIVE PRIOR TO BID.
- NO WORK IS TO BEGIN UNTIL ALL PERMITS HAVE BEEN OBTAINED.
- FINAL GRADES ARE SUBJECT TO MINOR CHANGE BY CONTRACTOR. NO GRADE CHANGES IN EXCESS OF 0.05' WITHOUT ENGINEER APPROVAL.
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- SEE THE SITE SURVEY FOR SURVEY INFORMATION AND LEGAL DESCRIPTION.



LEGEND

- PROPERTY LINE
- EASEMENT LINE
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- TOE/TOP OF SLOPE
- GRADING LIMITS
- PROPOSED DRY CURB AND GUTTER
- PROPOSED STORM LINE
- SPOT ELEVATION
- PROPOSED FLOW LINE ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED GRADE AT EDGE OF CONCRETE
- FLOW ARROW AND GRADE



NO.	REVISION	BY	DATE
1	BIDS AND BUILDING PERMIT PLAN CHECK	AMO	03/16/15
2	HYDROLOGY & DRB COMMENTS	AMO	04/20/15

CIVIL CONSTRUCTION DOCUMENTS

DEL NORTE DIALYSIS CENTER

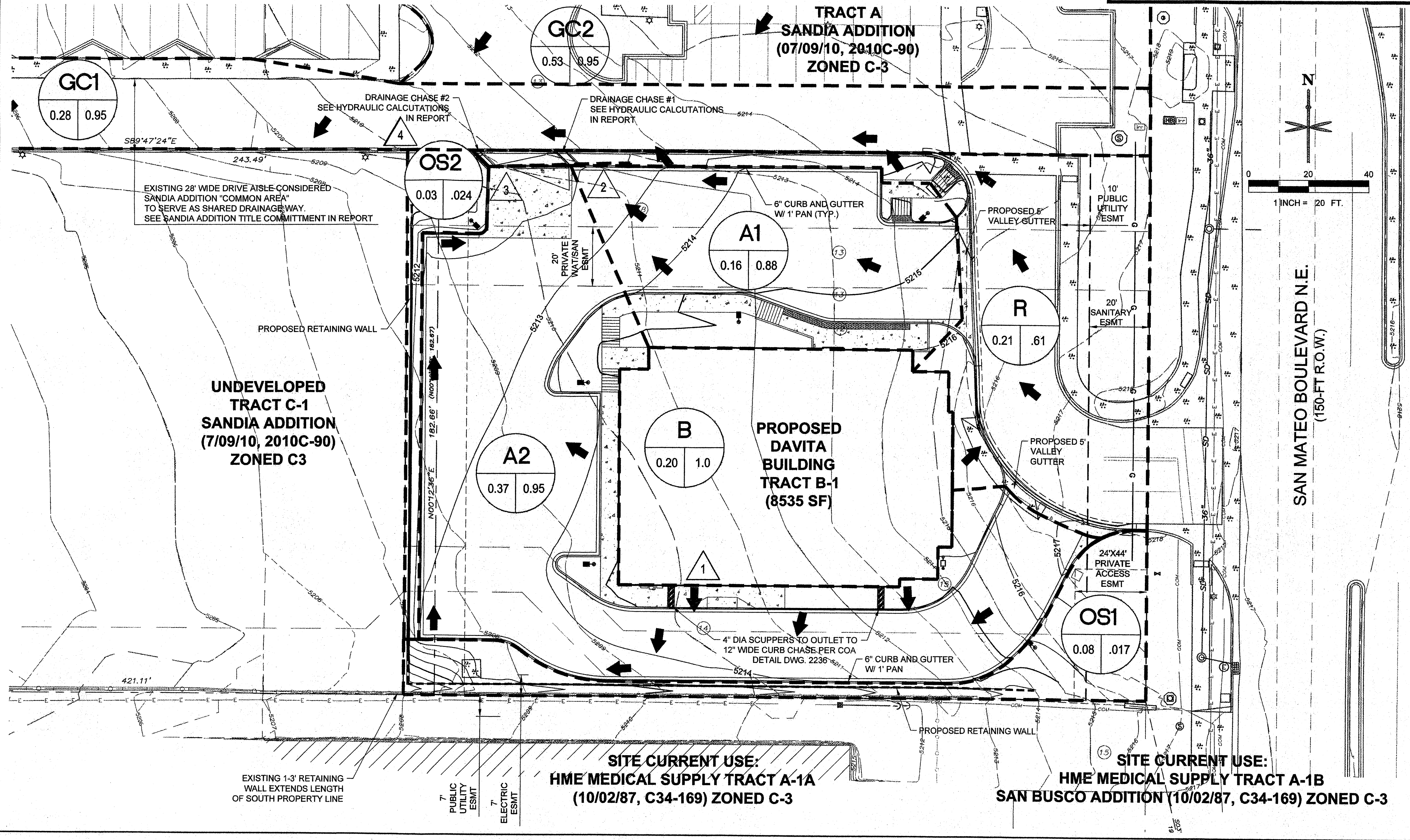
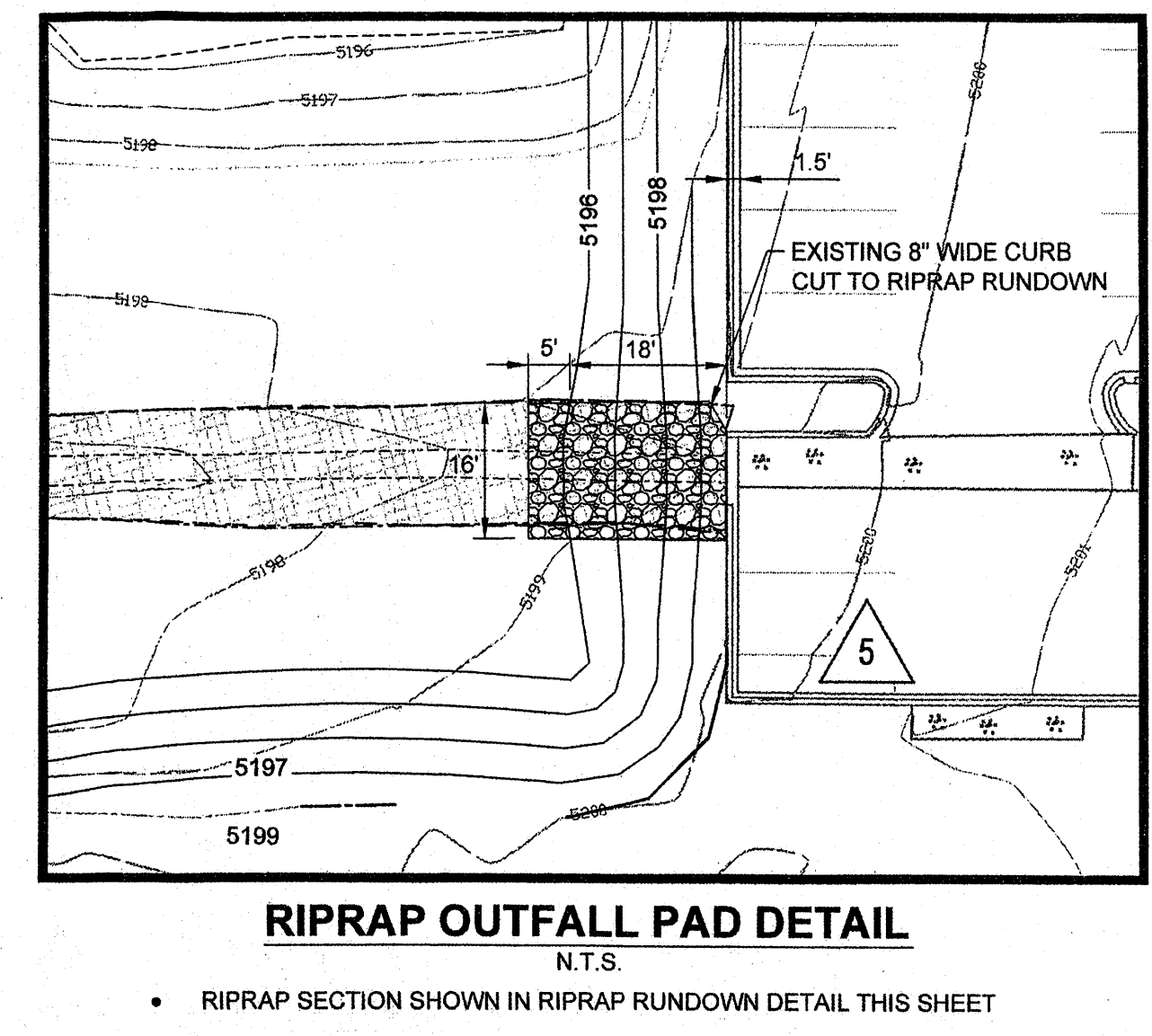
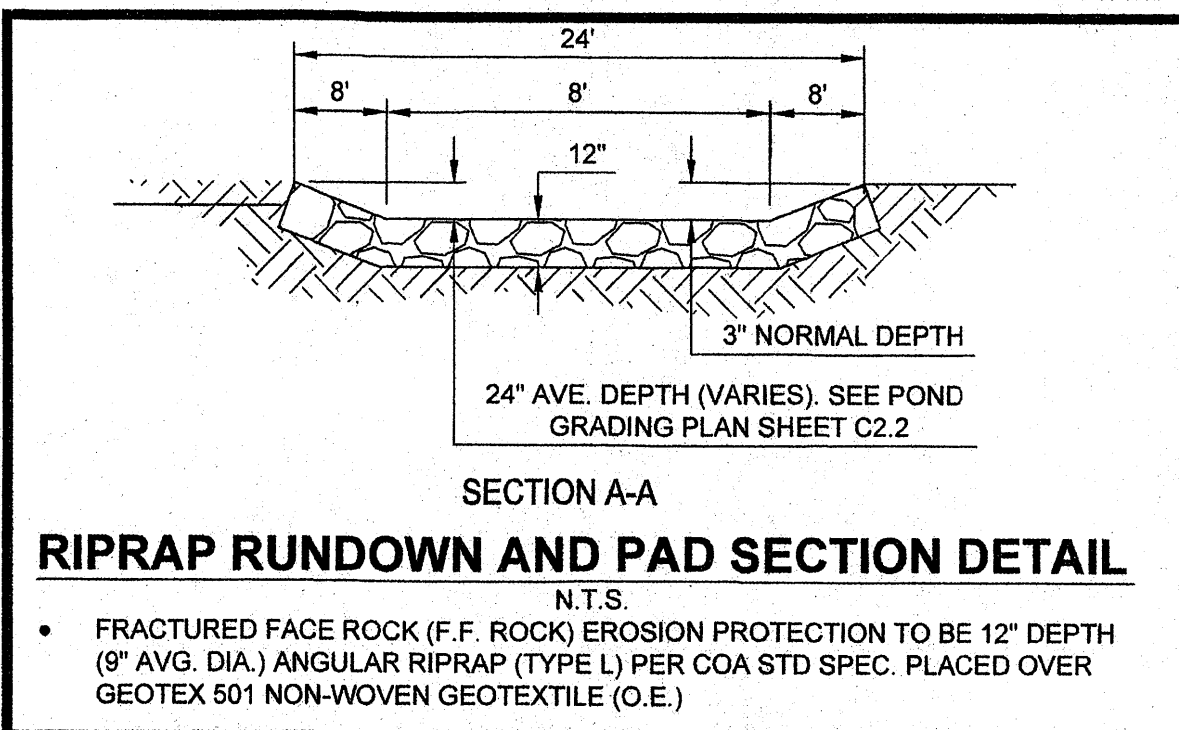
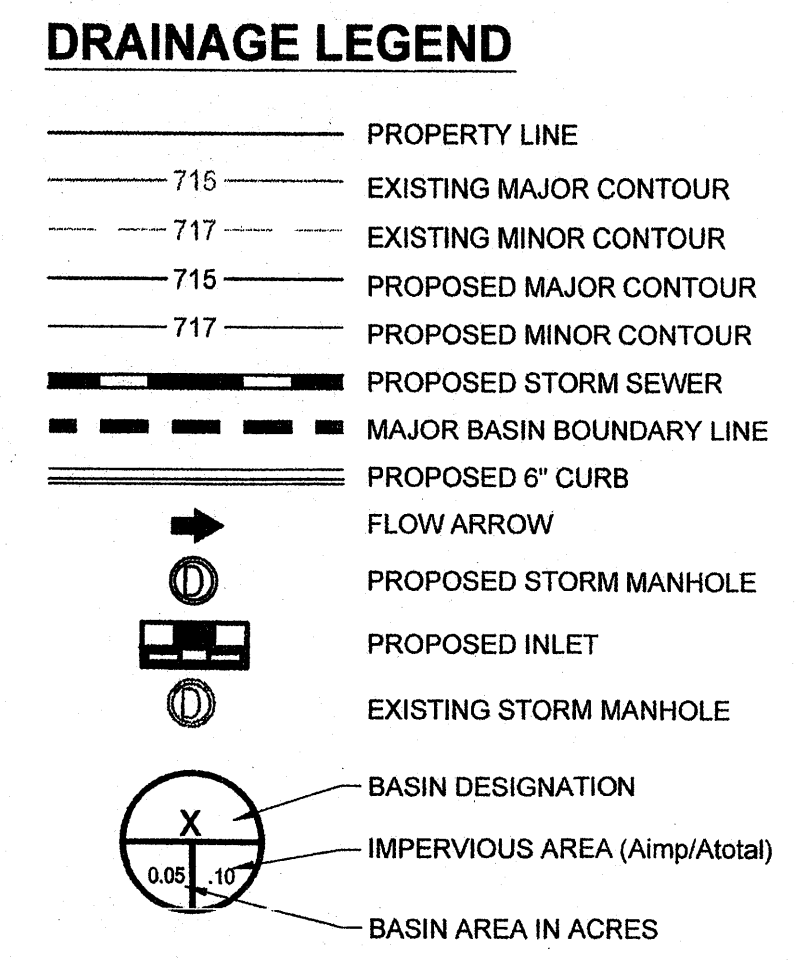
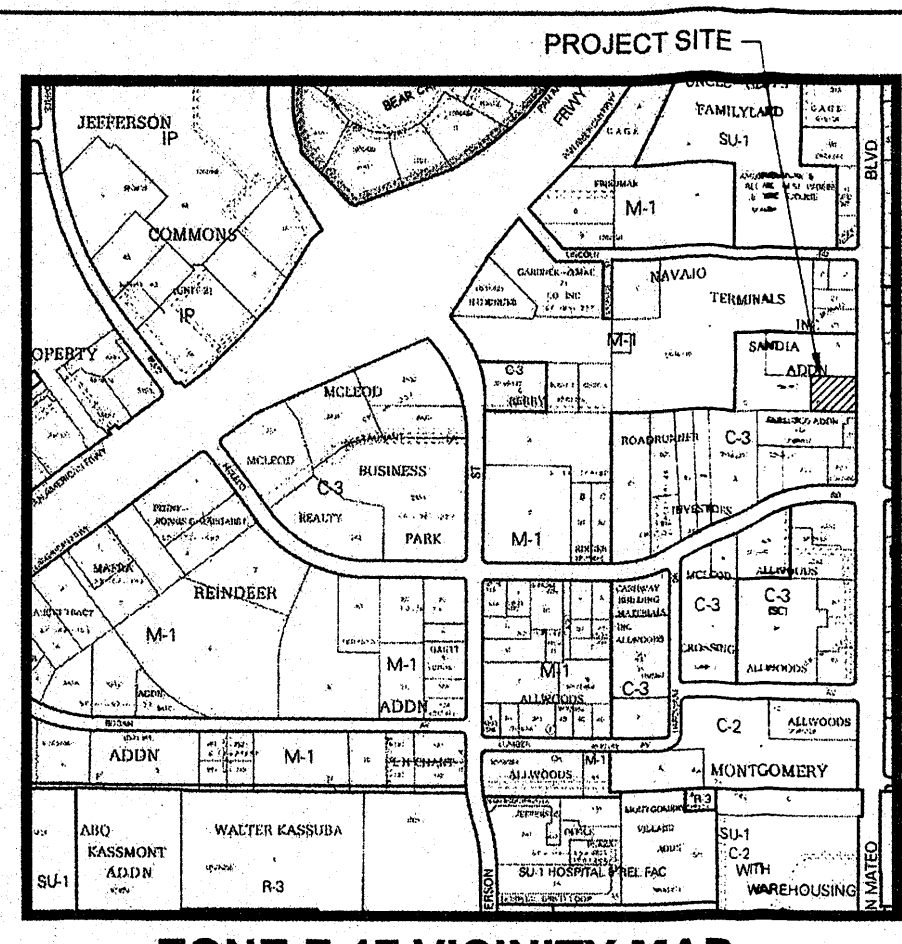
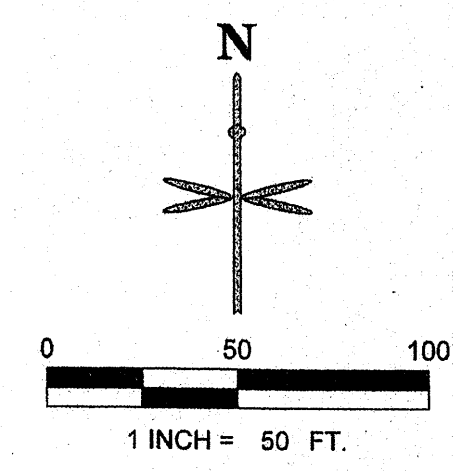
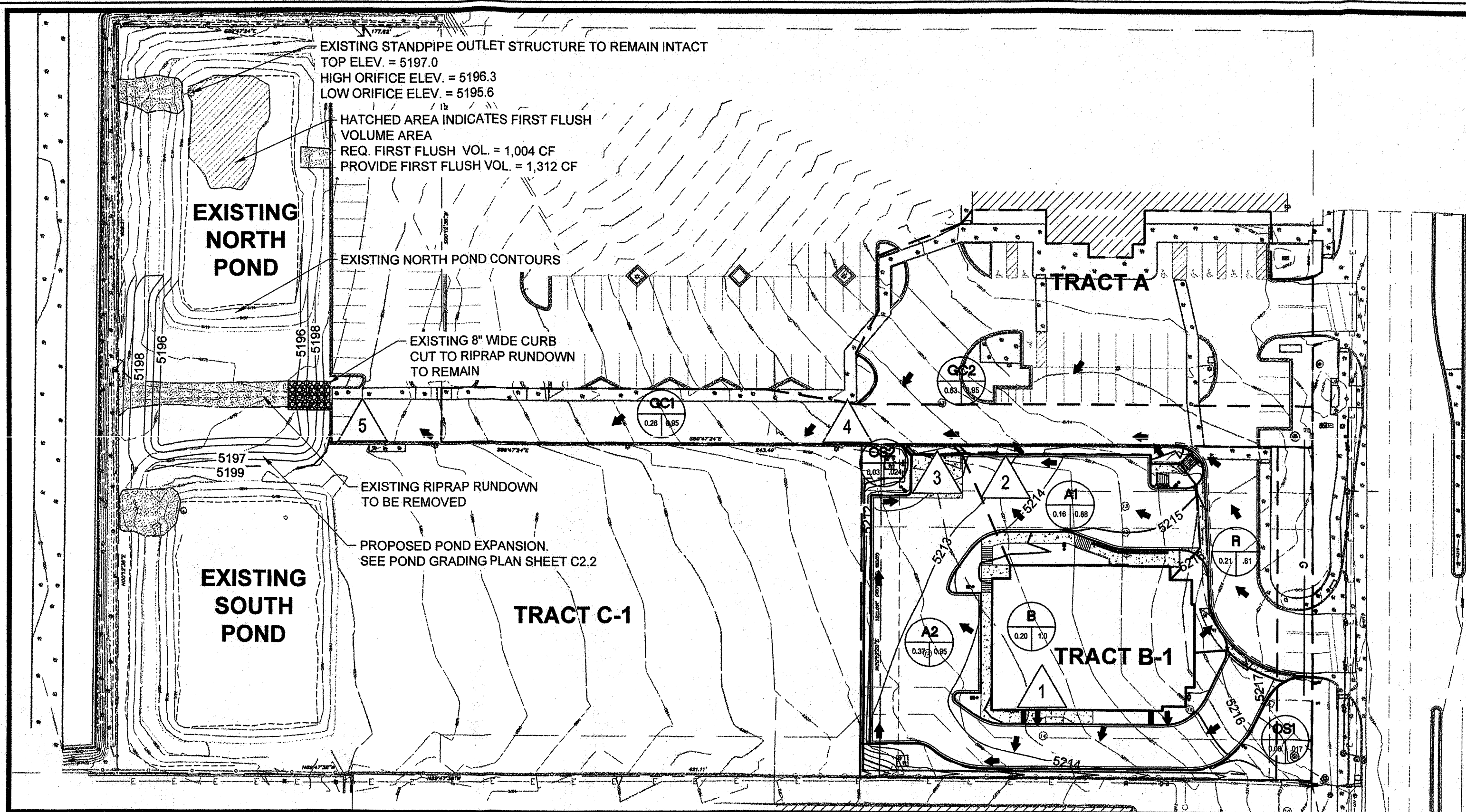
5207 San Mateo Boulevard N.E.

CONCEPTUAL POND GRADING PLAN

PROJECT NO: DAV003.01
 DESIGNED BY: JRR
 DRAWN BY: KR
 DATE: 03/10/15

C2.2
 SHEET 6 OF 12

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DRAINAGE NOTES:

1. IN THE UNLIKELY CASE THAT THE EXISTING CURB CUT DRAINING ALL TRIBUTARY FLOWS FROM THE GOLDEN CORRAL BASINS GC1 AND GC2 AND THE DEL NORTE DIALYSIS SITE TO THE EXPANDED NORTH POND BECOMES BLOCKED (FLOW LINE ELEVATION OF 5199.3), THIS AREA WILL POND TO A MAXIMUM DEPTH OF 6 INCHES (TOP OF CURB ELEVATION OF 5199.8). THE ACCUMULATED FLOW WILL OVERTOP THE CURB AND FLOW DOWN THE PROPOSED RIPRAP PAD DIRECTING FLOWS TO THE POND.

PROJECT BENCHMARK & VERTICAL DATUM

ALL CORNERS FOUND IN PLACE AND HELD WERE TAGGED WITH A BRASS DISK STAMPED "HUGG L.S. 9750" OR "HUGG L.S. 11808" UNLESS OTHERWISE INDICATED HEREON.

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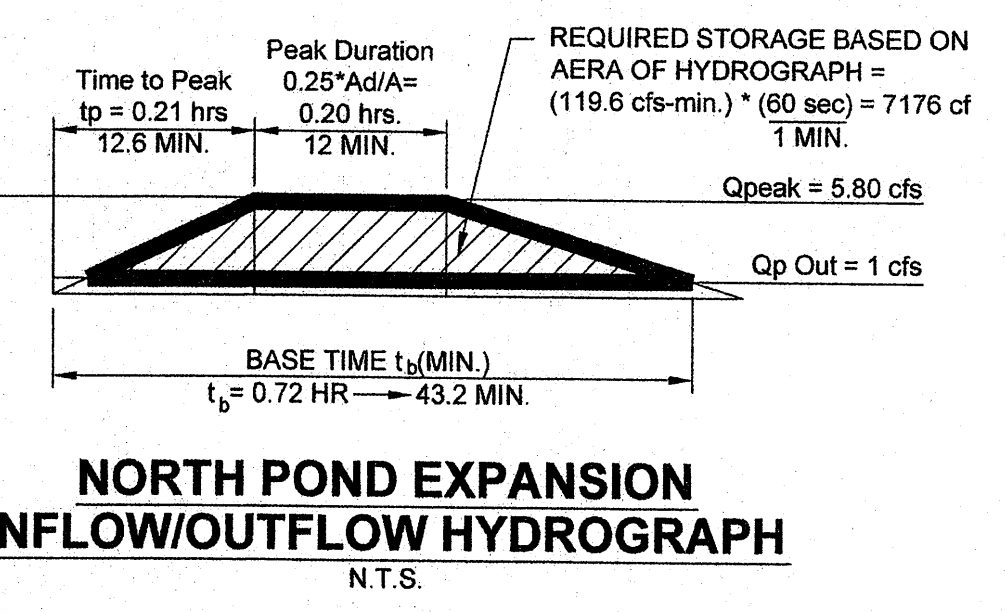
VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "9-F18", ELEVATION = 5212.23 (NAVD 1988)

PROJECT BASIS OF BEARING

BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE -NAD83.

TABLE 1: BASIN SUMMARY RUNOFF TABLE SITE ANALYSIS

BASIN	CONTRIBUTING BASIN ACREAGE	10-YR Qpeak (CFS)	100-YR Qpeak (CFS)	DESIGN POINT	DESIGN POINT COMM. FLOW 100-YR (cfs)
A1	0.16	0.46	0.70	2	0.70
A2	0.37	1.12	1.69	3	2.61
B	0.20	0.62	0.92	1	0.92
OS1	0.08	0.14	0.26	TO TRACT C-1	0.26
OS2	0.03	0.06	0.10	TO TRACT C-1	0.10
R	0.21	0.52	0.82	4	6.59
GC1	0.28	0.86	1.29	5	7.88
GC2	0.53	1.63	2.45	4	6.59



DATE: 03/16/2015
BY: [Signature]
REVISION: 04/20/2015

No. 1 BIDS & BUILDING PERMIT PLAN CHECK
2 HYDROLOGY AND DRB COMMENTS

AMANDA M. O'CONNOR
PROFESSIONAL ENGINEER

EES ENTITLEMENTS, Inc. & ENGINEERING SOLUTIONS, Inc.
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Denver, CO 80202
Suite 120 Street
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DaVita

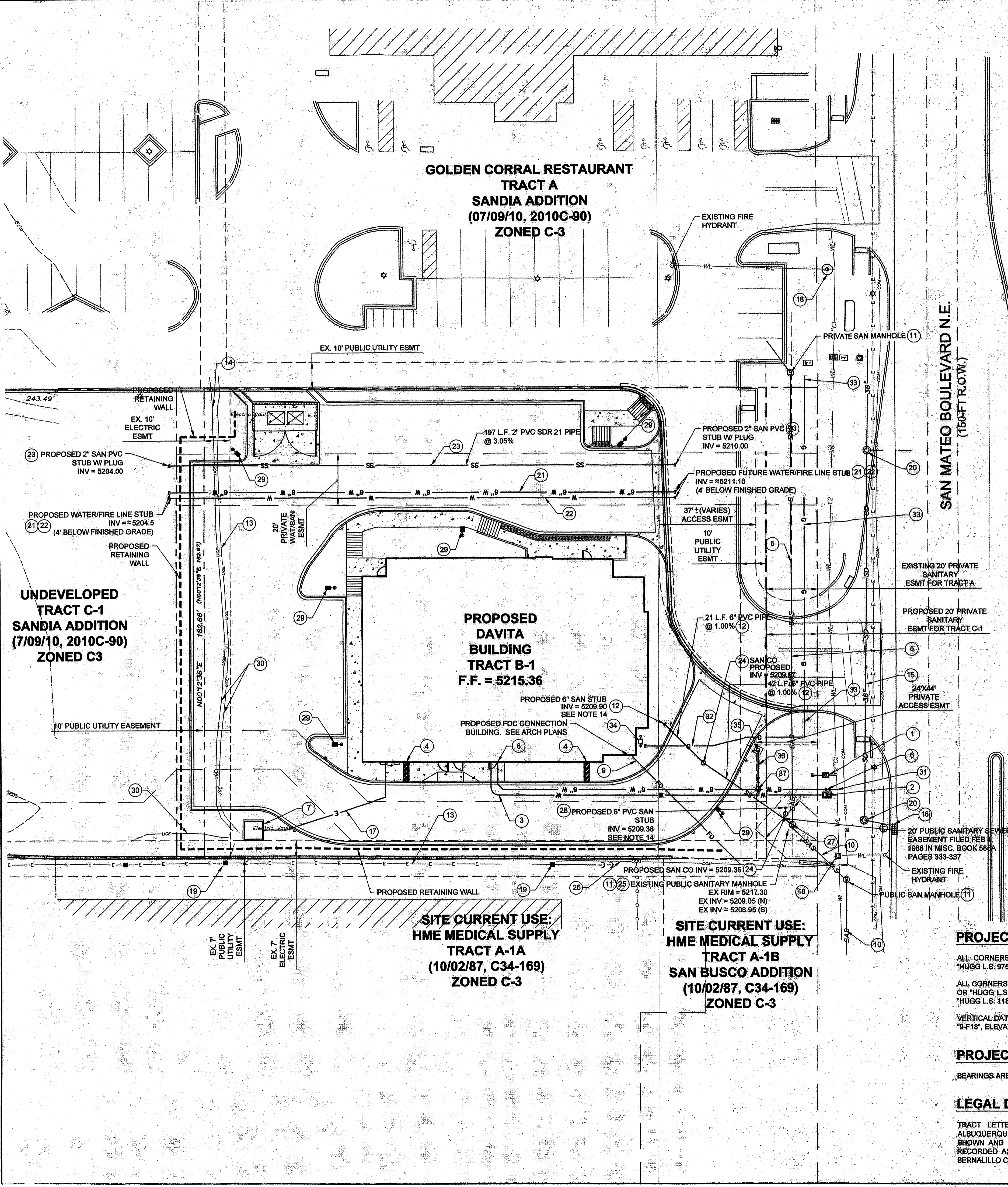
CIVIL CONSTRUCTION DOCUMENTS
DEL NORTE DIALYSIS CENTER
5207 San Mateo Boulevard N.E.
CONCEPTUAL DRAINAGE AREA PLAN

PROJECT NO: DAV003.01
DESIGNED BY: KLR
DRAWN BY: KLR
DATE: 03/10/15

C5.0
SHEET 9 OF 12

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P:\BENTON\ALBUQUERQUE-2007 SAN MATEO\CD\CD\UTILITY PLANS.DWG



LEGEND

- PROPOSED RETAINING WALL
- PROPERTY LINE
- EASEMENT LINE
- PROPOSED SANITARY SEWER
- PROPOSED WATER LINE
- PROPOSED GAS LINE
- PROPOSED ELECTRICAL LINE
- PROPOSED TELEPHONE LINE
- PROPOSED STORM LINE
- EXISTING SANITARY SEWER
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING TELEPHONE LINE
- EXISTING ELECTRICAL LINE
- EXISTING STORM LINE
- EXISTING FIRE HYDRANT
- PROPOSED SITE LIGHTING
- EXISTING PARKING LIGHTING
- PROPOSED INLET
- EXISTING SANITARY/STORM MANHOLE

NOTES

1. UTILITY SERVICE INSTALLATION AND MATERIALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE SPECIFICATIONS.
2. ALL SEWER SERVICE PIPE SHALL BE POLYVINYL CHLORIDE GRAVITY PIPE (PVC) SDR 35, MINIMUM BURY DEPTH PER CITY OF ALBUQUERQUE REQUIREMENTS.
3. CONTRACTOR TO FIELD VERIFY LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION, WHETHER SHOWN ON THE PLANS OR NOT. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
4. AT PROPOSED UTILITY CROSSINGS, CONTRACTOR IS TO VERIFY THE REQUIRED GRADES AND CLEARANCES PRIOR TO COMMENCING CONSTRUCTION. ANY REQUIRED CHANGES ARE TO BE COORDINATED DIRECTLY WITH ENGINEER.
5. PIPE LENGTHS ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR.
6. UTILITY BURY DEPTH SHALL CONFORM TO CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS.
7. REFER TO CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS AND CONSTRUCTION SPECIFICATIONS FOR SANITARY, WATER AND STORM SEWER TRENCHING BACKFILL REQUIREMENTS.
8. VERIFY LOCATION, ELEVATION AND SIZE OF UTILITY CONNECTIONS INTO BUILDING WITH MECHANICAL PLANS PRIOR TO CONSTRUCTION.
9. WATER SERVICE LINES SHALL HAVE A COVER NOT LESS THAN 4" AND SHALL CONFORM TO COA STANDARD SPECIFICATIONS.
10. PROPOSED STORM SEWER PIPE IS PRIVATE.
11. ALL EXISTING UTILITIES TO REMAIN UNLESS OTHERWISE NOTED. PROTECT IN PLACE FROM DAMAGE.
12. WATER, FIRE, AND IRRIGATION METER AND BACKFLOW PREVENTERS SHALL BE IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATION.
13. ALL PROPOSED UTILITIES LOCATED IN PROXIMITY TO OR UNDER THE PROPOSED WEST AND SOUTH PERIMETER RETAINING WALL SHALL BE INSTALLED PRIOR TO WALL CONSTRUCTION. CONTRACTOR TO ENSURE NO CONFLICTS BETWEEN UTILITIES AND WALL DESIGN EXIST PRIOR TO CONSTRUCTION.
14. THE FUTURE DEVELOPER OF TRACT C-1 WILL BE REQUIRED TO INSTALL A GRINDER PUMP TO MAKE THE SANITARY CONNECTION TO THE PROVIDED STUB AT THE EXISTING SANITARY MANHOLE LOCATION. THE CURRENT GRADES FOR TRACT C-1 DO NOT ALLOW FOR A GRAVITY FLOW CONNECTION TO THE EXISTING SANITARY SYSTEM IN SAN MATEO BLVD. NE.
15. THE INSTANTANEOUS FIRE FLOW REQUIRED FOR BUILDING TYPE II-B (NON-COMBUSTIBLE CONSTRUCTION) IS 1,330 GPM.

PROJECT BENCHMARK & VERTICAL DATUM

ALL CORNERS FOUND IN PLACE AND HELD WERE TAGGED WITH A BRASS DISK STAMPED "HUGG L.S. 9750" OR "HUGG L.S. 11808" UNLESS OTHERWISE INDICATED HEREON.

ALL CORNERS THAT WERE SET ARE EITHER A 5/8" REBAR WITH CAP STAMPED "HUGG L.S. 9750" OR "HUGG L.S. 11808" OR A CONCRETE NAIL WITH BRASS DISK STAMPED "HUGG L.S. 9750" OR "HUGG L.S. 11808" UNLESS OTHERWISE INDICATED HEREON.

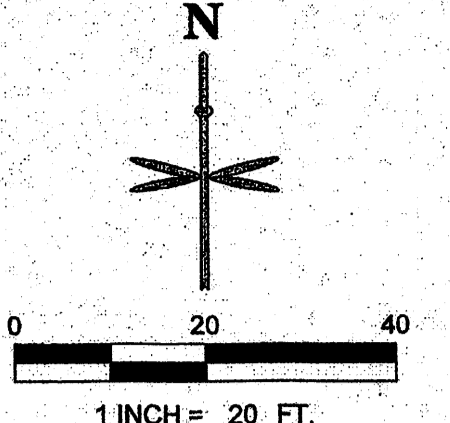
VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "9-F18", ELEVATION = 5212.23 (NAVD 1988)

PROJECT BASIS OF BEARING

BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE -NAD83.

LEGAL DESCRIPTION

TRACT LETTERED "B" OF THE PLAT OF TRACTS A, B, & C, SANDIA ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, FEBRUARY 2010, AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAT FILED FOR RECORD ON JULY 9, 2010 AND RECORDED AS DOCUMENT #2010088217 IN THE RECORDS OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO



UTILITY SCHEDULE

1. PROPOSED 1" METER BOX, COVER AND LID PER COA STANDARD DRAWING 2388 AND 2362 FOR 1" IRRIGATION SERVICE. TAP EXISTING 12" MAIN PER COA STANDARD SPECIFICATIONS. (SEE IRRIGATION PLANS FOR CONTINUED LAYOUT)
2. PROPOSED 2" METER BOX, COVER AND LID PER COA STANDARD DRAWING 2367 AND 2363. TAP EXISTING 12" MAIN PER COA STANDARD SPECIFICATIONS.
3. PROPOSED 139' OF 2" TYPE K COPPER DOMESTIC WATER LINE.
4. 4" DIAM. BUILDING SCUPPER TO OUTLET TO 12" WIDE CURB CHASE. REFER TO ARCH PLANS FOR EXACT LOCATION AND DESIGN. SEE OVERALL SITE PLAN FOR CURB CHASE REFERENCE.
5. EXISTING 8" PRIVATE SANITARY. PROTECT IN PLACE.
6. PROPOSED 6" GATE VALVE (FOR ISOLATION) PER COA STANDARDS AND SPECS FOR 6" DIP FIRE LINE.
7. PROPOSED TRANSFORMER AND PAD PER PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) SPECIFICATIONS. REFER TO ELECTRICAL PLANS FOR DETAIL AND DESIGN.
8. 139 LF 6" DIP FIRE SUPPRESSION LINE. REFER TO PLUMBING PLANS.
9. PROPOSED TELECOMMUNICATIONS SERVICE LINE TO BUILDING. REFER TO ELECTRICAL PLANS UNDER SEPARATE COVER.
10. EXISTING 8" PUBLIC SANITARY. PROTECT IN PLACE.
11. EXISTING SANITARY MANHOLE. SEE CALLOUT FOR PUBLIC OR PRIVATE. PROTECT IN PLACE.
12. PROPOSED 6" PVC SANITARY SERVICE EXTENDING FROM EXISTING MANHOLE STUBBED TO 6" FROM BUILDING. REFER TO PLUMBING PLANS.
13. EXISTING ELECTRICAL TO REMAIN. PROTECT IN PLACE.
14. EXISTING ELECTRICAL VAULT. PROTECT IN PLACE.
15. EXISTING STORM SEWER.
16. EXISTING STORM INLET.
17. PROPOSED ELECTRICAL SERVICE TO BUILDING PER PNM STANDARDS. LOCATION SHOWN IS APPROXIMATE. REFER TO ELECTRICAL PLANS FOR DETAIL AND DESIGN.
18. EXISTING VALVE BOX FOR HYDRANT CONNECTION. PROTECT IN PLACE.
19. EXISTING UTILITY POLE. PROTECT IN PLACE.
20. EXISTING STORM MANHOLE. PROTECT IN PLACE.
21. PROPOSED 6" DIP FIRE LINE FOR FUTURE FIRE LINE SERVICE TO BUILDING AND FUTURE FIRE HYDRANT (PRIVATE) FOR TRACT C-1 DEVELOPMENT. LINE STUBBED AND PLUGGED ON BOTH ENDS PER PLAN. PIPE PLUGGED ENDS TO INCLUDE ELECTRONIC LOCATION MARKER DEVICE PER COA STANDARD SECTION 170. DEVELOPER OF TRACT C-1 TO CONTINUE FIRE LINE AS NEEDED. SEE PLAN FOR INVERTS. MAINTAIN 4" BURY DEPTH MIN.
22. PROPOSED 6" PVC SLEEVE FOR FUTURE DOMESTIC WATERLINE AND IRRIGATION SERVICE LINES FOR TRACT C-1 FUTURE DEVELOPMENT. SEE PLANS FOR INVERTS. MAINTAIN 4" BURY DEPTHS. TO BE STUBBED AND PLUGGED ON BOTH ENDS PER PLAN. PIPE PLUGGED ENDS TO INCLUDE ELECTRONIC LOCATION MARKER DEVICE PER COA STANDARD SECTION 170. DEVELOPER OF TRACT C-1 TO INSTALL AND CONNECT DOMESTIC WATER LINE AS NEEDED.
23. PROPOSED 2" PVC SDR 21 GASKETED SANITARY FORCEMAIN TO BE STUBBED AND PLUGGED ON BOTH ENDS PER PLAN. PIPE PLUGGED ENDS TO INCLUDE ELECTRONIC LOCATION MARKER DEVICE PER COA STANDARD SECTION 170. DEVELOPER OF TRACT C-1 TO CONTINUE SANITARY LINE CONNECTIONS AS NEEDED. FORCEMAIN PIPE INSTALL TO COMPLY WITH COA SPECIFICATIONS.
24. PROPOSED HS-20 RATED 6" SANITARY SEWER CLEANOUT.
25. CONNECT 6" SANITARY SERVICE TO EXISTING MANHOLE PER COA STANDARD SPECIFICATIONS. SEE PLAN FOR INVERTS.
26. CONNECT TELECOMMUNICATIONS SERVICE TO EXISTING COMMUNICATIONS PER QWEST/CABLE ONE STANDARDS.
27. PROPOSED 6" TEE OFF 6" PVC SANITARY SERVICE LINE FOR TRACT C-1 PIPE STUB. SEE KEYNOTE 28.
28. PROPOSED 6" PVC SANITARY STUB W/ PLUG FOR FUTURE TRACT C-1 DEVELOPMENT. PIPE STUB TO INCLUDE ELECTRONIC LOCATION MARKER DEVICE PER COA STANDARD SECTION 170. CONNECTION TO STUB WILL REQUIRE LIFT STATION TO BE INSTALLED BY DEVELOPER OF TRACT C-1.
29. PROPOSED LIGHT POLE. REFER TO ELECTRICAL AND PHOTOMETRIC PLANS FOR DETAIL.
30. EXISTING ELECTRICAL LINES MAY REQUIRE VERTICAL ADJUSTMENT TO 3" BELOW PROPOSED FINISHED GRADES PER PNM REQUIREMENTS. CONTRACTOR TO COORDINATE WITH PNM.
31. PROPOSED 6" DIP FIRE SUPPRESSION LINE CONNECTION TO EXISTING 12" MAIN PER COA STANDARD SPECIFICATIONS.
32. PROPOSED GAS SERVICE LINE TO BUILDING. CONNECTION TO MAIN AND SERVICE LINE LOCATION SHOWN IS ESTIMATED. CONTRACTOR TO COORDINATE WITH NEW MEXICO GAS COMPANY FOR DESIGN AND INSTALLATION. REFER TO PLUMBING PLANS FOR BUILDING CONNECTION.
33. PROPOSED GAS MAIN EXTENSION TO SITE. CONTRACTOR TO COORDINATE WITH NEW MEXICO GAS COMPANY FOR DESIGN.
34. PROPOSED GAS METER LOCATION ON BUILDING. REFER TO PLUMBING PLANS FOR EXACT LOCATION AND INSTALLATION DETAIL.
35. PROPOSED (PRIVATE) FIRE HYDRANT ASSEMBLY WITH ISOLATION VALVE PER COA STANDARD DWG 2340. HYDRANT TO INCLUDE 3' X 3' CONCRETE PAD.
36. 15 LF OF 6" DIP LINE TO FIRE HYDRANT. INSTALL PER COA STANDARD SPECIFICATIONS.
37. PROPOSED FIRE HYDRANT 6"x6"x6" TEE (PRIVATE CONNECTION) WITH RESTRAINTS PER COA DETAIL 2320. TEE PER COA SPECS SECTION 130 AND 801 AND ALL APPLICABLE COA SPEC SECTIONS.

DATE	03/10/15
BY	KLR
REVISION	
No.	
1	BIDS & BUILDING PERMIT PLAN CHECK
2	ADDENDUM
3	DRB RESPONSE
4	BUILDING PERMIT COMM. RESPONSE
5	FINAL DRB RESPONSE/ADDENDUM C

EES
ENGINEERING SOLUTIONS, INC.
ENTIREMENT
10000 Santa Fe Street
Denver, CO 80231
903-772-7927

DaVita.

CIVIL CONSTRUCTION DOCUMENTS

DEL NORTE DIALYSIS CENTER

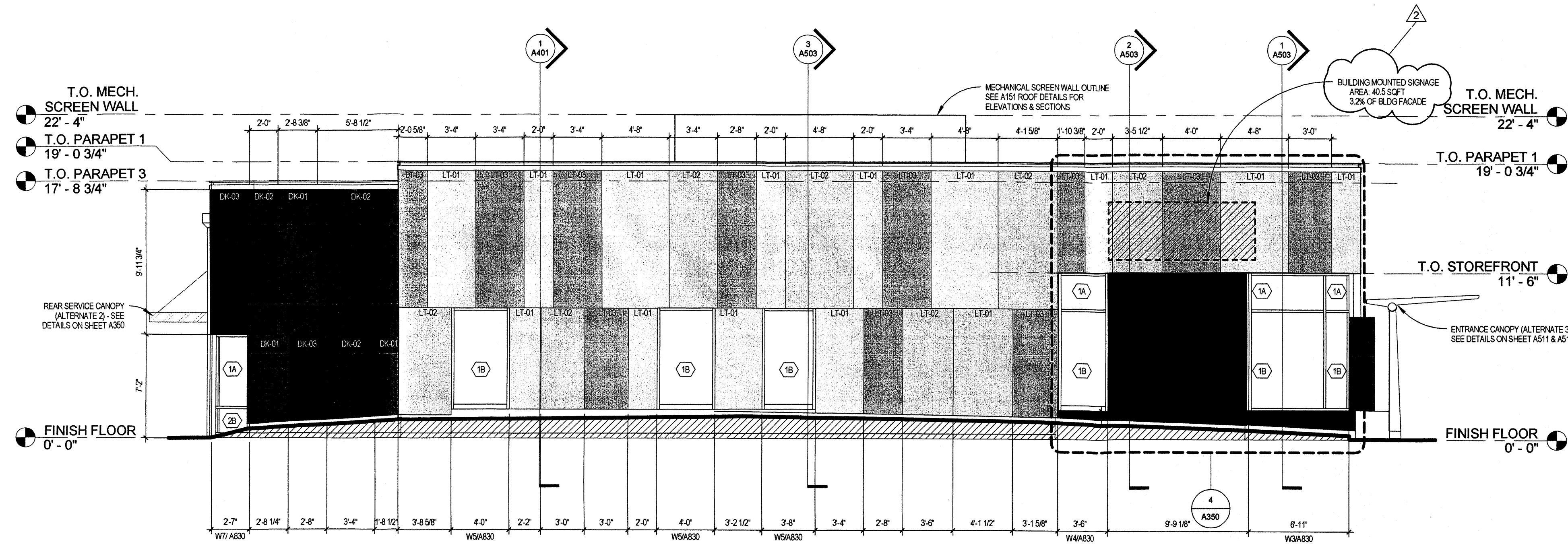
6207 San Mateo Boulevard N.E.

UTILITY PLAN

PROJECT NO: DAV003.01
DESIGNED BY: KLR
DRAWN BY: KLR
DATE: 03/10/15

C4.0

SHEET 8 OF 12



2 Exterior Elevation - East
A301 3/16" = 1'-0"

EXTERIOR BUILDING MATERIALS PRODUCT SCHEDULE			
MATERIAL	DESCRIPTION / REMARKS	MANUFACTURER	FINISH
EIFS	STOTHERM NEXT	STO	LT-01: STO LIMESTONE 93440 LT-02: STO LIMESTONE VT151622 LT-03: STO LIMESTONE VT151623 DK-01: STO LIMESTONE VT151624 DK-02: STO LIMESTONE SW152 DK-03: STO LIMESTONE VT151625
FIBER CEMENT PANEL	NICHHA VINTAGE WOOD & ILLUMINATION	NICHHA	FCP-1: VINTAGE WOOD BARK FCP-2: ILLUMINATIONS "NAVITABLE" PANTONE PMS 301
STOREFRONT FRAME SYSTEM	FG-3000 STOREFRONT GLAZING SYSTEM W/ THERMAL BREAK - SEAR BLOCK ASSEMBLY, CENTER SET GLAZED VERSION	OLDCASTLE	CLEAR ANODIZED
INSULATED GLASS	1" CLEAR INSULATED LOW-E GLASS WITH THE FOLLOWING MINIMUM CRITERIA: • SHADING COEFFICIENT > 0.81 • U-F VALUE = 0.35 OR LESS • SOLAR HEAT GAIN COEFFICIENT (SHGC) = 0.40 OR LESS • VISIBLE LIGHT TRANS. = 65 OR MORE • LOW-E COATING ON #2 & #3 SURFACES GLASS TYPE: • 1A: NON-TEMPERED, CLEAR • 1B: TEMPERED, CLEAR • 2A: NON-TEMPERED, FROSTED • 2B: TEMPERED, FROSTED * REFER TO SPECIFICATION SECTION 088000 FOR GLASS TYPE SPECIFICATIONS		
FORMED METAL COPING	ALUMINUM BREAK METAL COPING, FLASHING & COUNTERFLASHING W/ DRIP EDGE		CLEAR ANODIZED
METAL SURFACE FLASHING	ALUMINUM BREAK METAL FLASHING		CLEAR ANODIZED

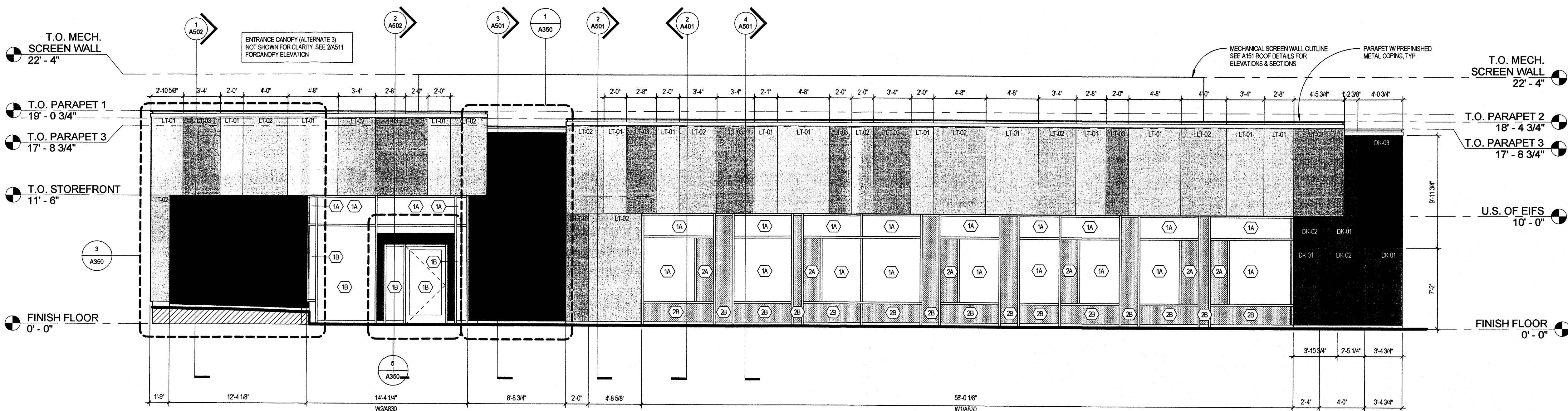
REFER TO A830 FOR EXTERIOR WINDOW FRAME ELEVATIONS & DOORS

AT LEAST ONE OF THE EARTHTONE HUES OF THE FIRST BUILDING DEVELOPED ON THE SITE SHALL BE UTILIZED ON OTHER STRUCTURES. SHADES OF THIS SAME HUE ARE ACCEPTABLE. (DEVELOPMENT DESIGN STANDARDS 5-G)

DaVita Del Norte:
STO Exterior Insulation and Finish System - Limestone finish in 93440 Moondust
STO Exterior Insulation and Finish System - Limestone finish in SW6152 Superior Bronze

Gold Corral Buffet & Grill:
James Hardie - Vertical Hardie Panel in "Woodstock Brown"
James Hardie - Horizontal Hardie Lap Siding in "Navajo Beige"

NOTE: Each earth tone are not exact color match due to difference in material and surface finish.



1 Exterior Elevation - North
A301 3/16" = 1'-0"

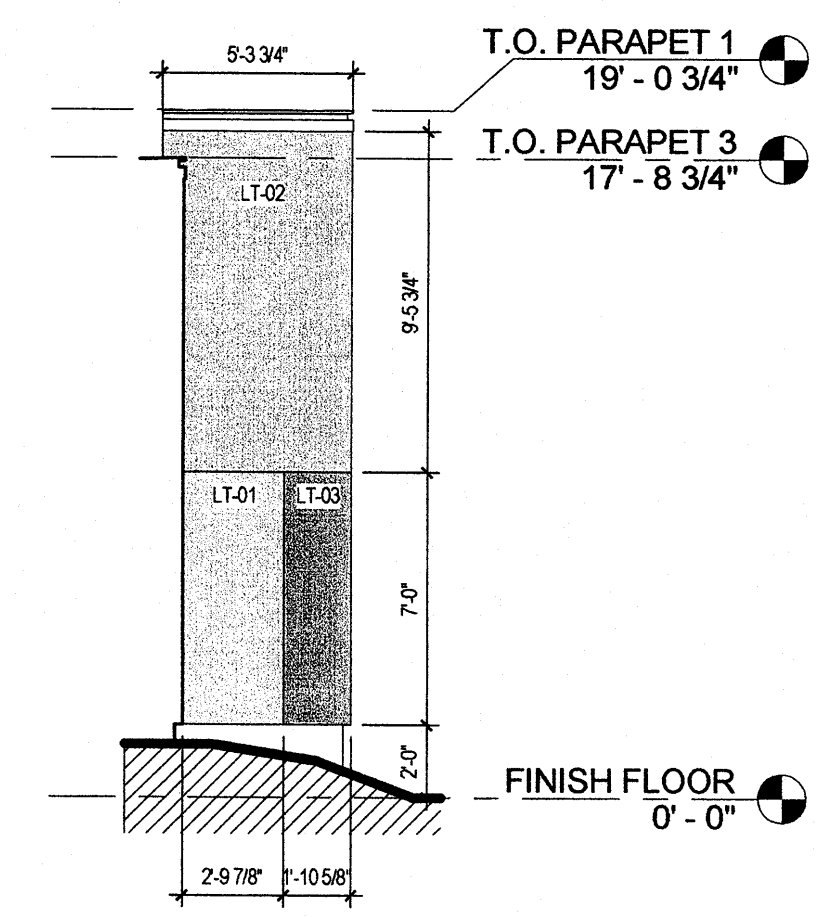
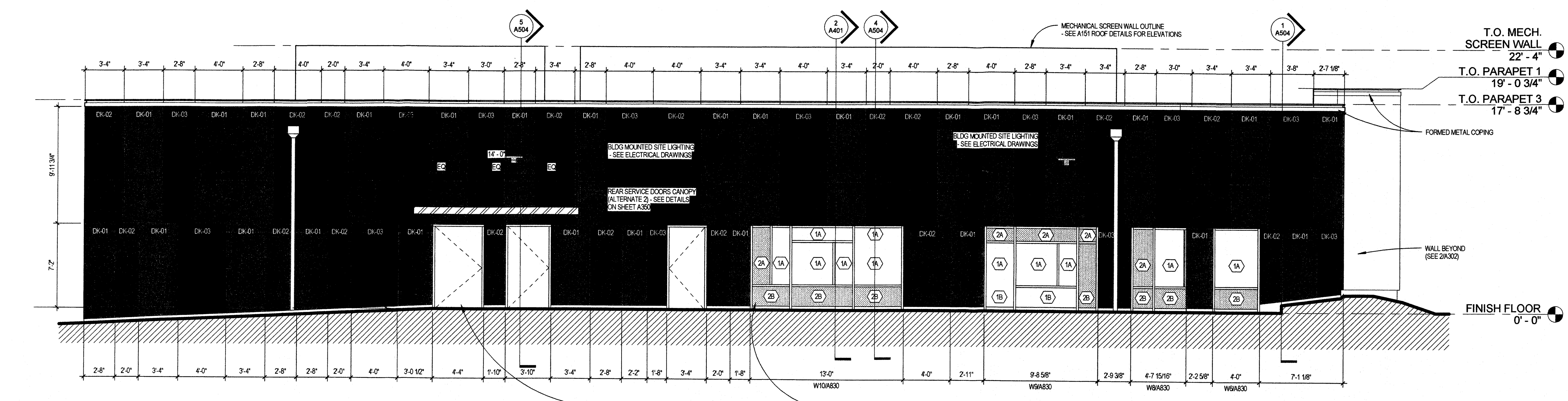
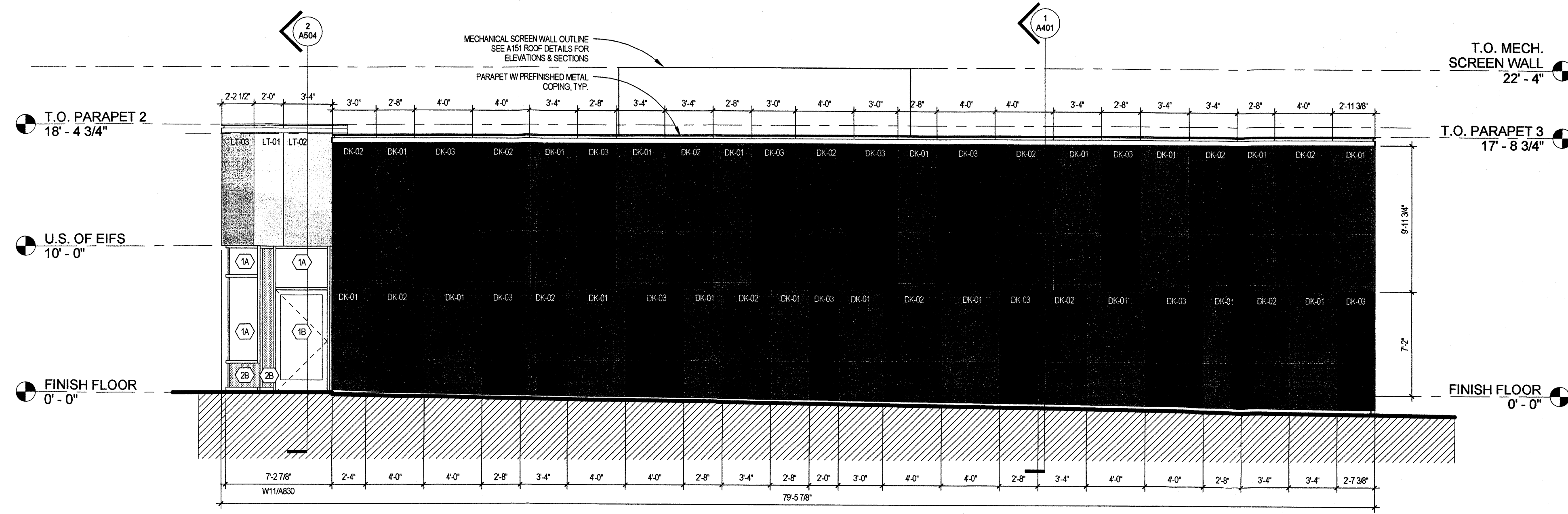
DATE	REVISION	BY	CHK
03/18/2015	1	MMIC	MMIC
04/20/2015	2	MMIC	MMIC
03/31/2015	3	MMIC	MMIC

ISSUED FOR	ISSUED
1. BIDS & BUILDING PERMIT PLAN CHECK	
2. DRB RESPONSE	
A. ADDENDUM	

OWNER: Genesis KC Development, LLC
c/o Davita Healthcare Partners, Inc.
2000 16th Street
Denver, CO 80202

PROJECT: DAVITA INC. DIALYSIS CENTER
Del Norte Albuquerque (Shell)
507 San Mateo Blvd NE
Albuquerque, NM 87109
Facility No. 11224

SHEET TITLE: Exterior Building Elevations



MATERIAL	DESCRIPTION / REMARKS	MANUFACTURER	FINISH
EIFS	STO THERMNEXT	STO	LT-01: STO LIMESTONE 93440 LT-02: STO LIMESTONE VT 151622 LT-03: STO LIMESTONE VT 151623 DK-01: STO LIMESTONE VT 151624 DK-02: STO LIMESTONE SW1622 DK-03: STO LIMESTONE VT 151626
FIBER CEMENT PANEL	NICHHA VINTAGE WOOD & ILLUMINATION	NICHHA	POP-1: VINTAGE WOOD BARK POP-2: ILLUMINATIONS DAVITA BLUE PANTONE PMS 301
STOREFRONT FRAME SYSTEM	FG-3000, STOREFRONT GLAZING SYSTEM W/ THERMAL BREAK, SEAR BLOCK ASSEMBLY, CENTER SET GLAZED VERSION	OLDCASTLE	CLEAR ANODIZED
INSULATED GLASS	1" CLEAR INSULATED, LOW-E GLASS WITH THE FOLLOWING MINIMUM CRITERIA: • SHADING COEFFICIENT = 0.81 • U-VALUE = 0.6 OR LESS • SOLAR HEAT GAIN COEFFICIENT (SHGC) = 0.40 OR LESS • VISIBLE LIGHT TRANS. = 65 OR MORE • LOW-E COATING ON #2 & #3 SURFACES GLASS TYPE: • 1A: NON-TEMPERED, CLEAR • 1B: TEMPERED, CLEAR • 2A: NON-TEMPERED, FROSTED • 2B: TEMPERED, FROSTED *REFER TO SPECIFICATION SECTION 08800 FOR GLASS TYPE SPECIFICATIONS		
FORMED METAL COPING	ALUMINUM BREAK METAL COPING, FLASHING & COUNTERFLASHING W/ DRIP EDGE		CLEAR ANODIZED
METAL SURFACE FLASHING	ALUMINUM BREAK METAL FLASHING		CLEAR ANODIZED

REFER TO A830 FOR EXTERIOR WINDOW FRAME ELEVATIONS & DOORS

AT LEAST ONE OF THE EARTHTONE HUES OF THE FIRST BUILDING DEVELOPED ON THE SITE SHALL BE UTILIZED ON OTHER STRUCTURES. SHADES OF THIS SAME HUE ARE ACCEPTABLE. (DEVELOPMENT DESIGN STANDARDS 5-G)

DaVita Del Norte:
 STO Exterior Insulation and Finish System - Limestone finish in 93440 Moondust
 STO Exterior Insulation and Finish System - Limestone finish in SW6152 Superior Bronze

Gold Corral Buffet & Grill:
 James Hardie - Vertical Hardie Panel in "Woodstock Brown"
 James Hardie - Horizontal Hardie Lap Siding in "Navajo Beige"

NOTE: Each earth tone are not exact color match due to difference in material and surface finish.

CONTRACT

REVISIONS

NO.	DATE	DESCRIPTION
1	03.16.2015	IFB/RFI/IMC
2	04.20.2015	IMC
3	05.31.2015	IMC

OWNER
 Genesis KC Development, LLC
 c/o Davita Healthcare Partners, Inc.
 2000 16th Street
 Denver, CO 80202

PROJECT
 DAVITA INC.
 DIALYSIS CENTER
 Del Norte Albuquerque (Shell)
 5207 San Mateo Blvd NE
 Albuquerque, NM 87109
 Facility No. 11224

SHEET TITLE
 Exterior Building Elevations

STAMP

PROJECT # 2014.2185.00
A302