



DEVELOPMENT REVIEW BOARD
Agenda

Plaza del Sol Building Basement Hearing Room

April 29, 2015

MEMBERS:

Jack Cloud..... DRB Chair
Racquel Michel (Alt.)..... Transportation Development
Kris Cadena (Alt.)..... ABCWUA
Rita Harmon (Alt.)..... City Engineer
Carol Dumont..... Parks & Recreation

Angela Gomez ~ Administrative Assistant

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project# 1007867**
15DRB-70114 MAJOR – SITE
DEVELOPMENT PLAN FOR
BUILDING PERMIT

BOHANNAN HUSTON INC agents for DAVITA HEALTHCARE PARTNERS, INC request the referenced/ above action for Tract B-1, **SANDIA ADDITION** zoned C-3, located on the west side of SAN MATEO BLVD NE between MCCLEOD RD NE and LINCOLN RD NE containing approximately 1.04 acres. (F-17) *[deferred from 4/8/15]* **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO WATER AUTHORITY AND TO PLANNING TO ADDRESS COMMENTS.**



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- Administrative Approval (DRT, URT, etc.)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations

D Street Name Change (Local & Collector)

L A APPEAL / PROTEST of...

- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Bohannon Huston, Inc. PHONE: 505-823-1000

ADDRESS: 7500 Jefferson St. FAX: 505-798-7988

CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: pwymr@bhinc.com

APPLICANT: Davita Healthcare Partners, Inc. PHONE: _____

ADDRESS: 2000 16th Street FAX: _____

CITY: Denver STATE CO ZIP 80202 E-MAIL: _____

Proprietary interest in site: Purchaser List all owners: Sandia Foundation

DESCRIPTION OF REQUEST: Site Development for Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tracts B-1 Block: _____ Unit: _____

Subdiv/Addn/TBKA: Sandia Addition

Existing Zoning: C-3 Proposed zoning: No Change MRGCD Map No _____

Zone Atlas page(s): F-17 UPC Code: 101706151033110243

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): Project # 1007867, 09EPC-40042, 09EPC-40043

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No

No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 1.04 +/-

LOCATION OF PROPERTY BY STREETS: On or Near: San Mateo Blvd.

Between: McCleod and Lincoln

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE Paul M. WYmer DATE 3/13/2015

(Print Name) Paul M. WYmer Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 11/2014

INTERNAL ROUTING

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

15DRB - 70114

Action

SBP

ADV

CMF

S.F.

Fees

\$ 385.00

\$ 75.00

\$ 20.00

\$ _____

\$ _____

Total

\$ 480.00

Hearing date April 8, 2015

Paul M. WYmer

3-13-15
Staff signature & Date

Project # 1007867

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)** **Maximum Size: 24" x 36"**
- ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Sign Posting Agreement
 - ___ Completed Site Plan for Subdivision Checklist
 - ___ 6 copies of the Infrastructure List, if relevant to the site plan
 - ___ TIS/AQIA Traffic Impact Study form with required signature
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- DRB hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)** **Maximum Size: 24" x 36"**
- N/A* 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB **SITE DEVELOPMENT PLAN FOR SUBDIVISION**
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist
 - N/A* 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Copy of Site Plan with Fire Marshal's stamp
 - ___ Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10)** **Maximum Size: 24" x 36"**
- ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - ___ DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Sign Posting Agreement
 - ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - ___ 6 copies of the Infrastructure List, if relevant to the site plan
 - ___ TIS/AQIA Traffic Impact Study form with required signature
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

PAUL M. WYMER
 Applicant name (print)
P. W. J. 3/13/15
 Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
ISDRB -70114

W. J. 3-13-15
 Planner signature / date
 Project # 1007867

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from March 24, 2015 To April 8, 2015

5. REMOVAL

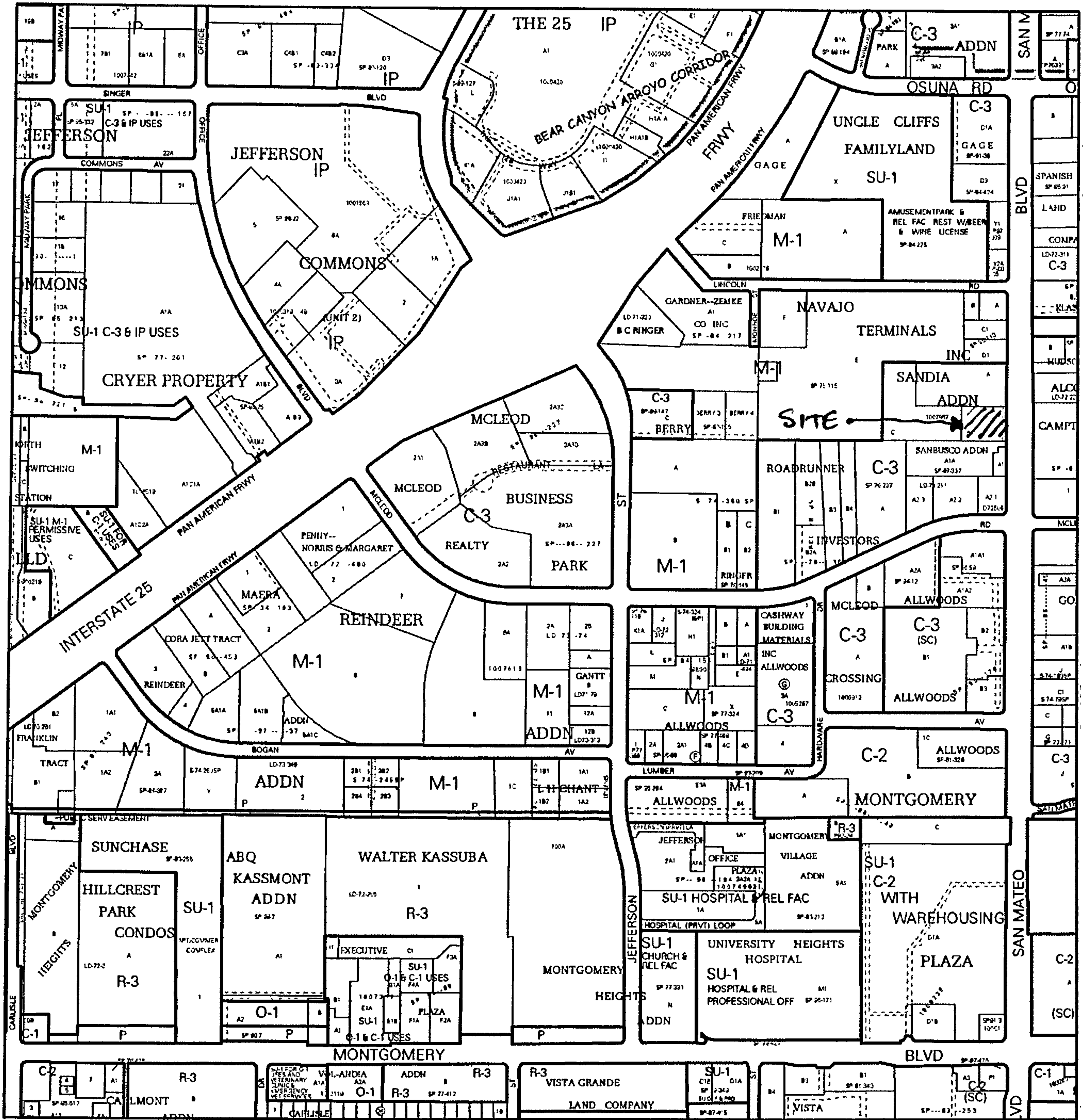
- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

[Signature] 3/13/15
(Applicant or Agent) (Date)

I issued 1 signs for this application, 3-13-15 [Signature]
(Date) (Staff Member)

DRB PROJECT NUMBER: 1007867



For more current information and details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 4/2/2012

Zone Atlas Page:
F-17-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

Note: Grey Shading Represents Area Outside of the City Limits

Scale: 0 750 1,500 Feet

March 13, 2015

www.bhinc.com

Mr. Jack Cloud
Development Review Board
City of Albuquerque
600 Second Street NM
Albuquerque, NM 87102

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

Re: DaVita Dialysis Center Project Narrative: 5207 San Mateo Blvd. NE; Tract B-1,
Sandia Addition, Site Development Plan for Building Permit

Dear Mr. Cloud,

This letter will serve to provide a general description of the proposed use and improvements for this site known as Tract B-1 as related to the request for a Site Development Plan for Building Permit and a recently approved Amended Site Development Plan for Subdivision. A brief history will also be provided outlining the previous approvals impacting the Sandia Addition Tracts that the subject Tract B-1 resides.

For this Site Development Plan for Building Permit (SDPBP) request, a DaVita Dialysis Center is proposed to be constructed on Tract B-1 of the Sandia Addition. This development is a medical outpatient facility with an 8,535 square ft. single story building. It will include 32 off-street parking stalls with 24 ft. wide drive aisles surrounding the building. Two access points for the site will be located to the northeast and southeast of the building with access being served by an approximately 28 ft. wide existing shared access drive. This shared access drive connects San Mateo Boulevard Northeast to the Sandia Addition Tracts and resides along the east perimeter of the Tract B-1 property line within an access easement. Tract B-1 is zoned C-3 and this proposed medical facility is designated as a permissive use for this zoning code.

In 2009, a Site Plan for Subdivision for the 5207 San Mateo (Former Rowlands Site) was approved by the Environmental Planning Commission. As part of the Site Plan for Subdivision and the related Plat for the Sandia Addition, this parcel of land was divided into three Tracts: Tract A, B and C with Tract A being developed into the Golden Corral Restaurant in 2009. On this Site Plan for Subdivision document it was estimated that Tract B would be developed into restaurant with drive up window and Tract C would be developed into an office warehouse use. The Site Development Plan for Subdivision (SDPS) was recently amended on March 3, 2015 to reflect an adjustment to the west property line of the Tract B site changing the listed property area from 1.30 acres to 1.0455 acres. The Re-Plat for this west property line adjustment was approved March 11, 2015 and renamed both Tract B and C to Tract B-1 and C-1 respectively. In addition to the west property line adjustment, the re-plat included three new easements designated on Tracts B-1 and C-1. One of the newly designated easements is a 20 ft. wide storm drainage easement that runs along the Tract C-1 south property line for the benefit Tract B-1. The second new easement is a 20 ft. wide private water and sanitary easement that extends across Tract B-1 for the benefit of Tract C-1. The third new easement is a 20 ft. wide private sanitary sewer easement along the east property line of Tract B-1 for the benefit of Tract C-1.

Engineering ▲

Spatial Data ▲

Advanced Technologies ▲

Mr. Jack Cloud
City of Albuquerque
March 13, 2015
Page 2

Although the proposed DaVita Dialysis Center use differs from the approved SDPS Tract B-1 designation as a future restaurant with drive up window, the project site improvements do conform to the approved SDPS Development Design Standards as well as the development standards set by the C-3 zoning ordinance. Project note 8 on Sheet 1 of 4 of the SDPS states that uses permissive in the C-3 zone will be allowed on the site. The approved SDPS also states that the development of Tract B-1 will require a Site Development Plan for Building Permit, delegated to the DRB for approval (Design Guideline, section 10), if the proposed use conforms to the SDPS design guidelines. Enclosed is the approved Amended SDPS for your review.

This submittal also includes all the checklist items and plans required for the Site Development Plan for Building Permit request. The included plans are the Site Plan, Site Plan Details, Landscape Plans, Conceptual Grading, and Drainage Plans, Utility Plan and the color renderings of the Building and Signage Elevations.

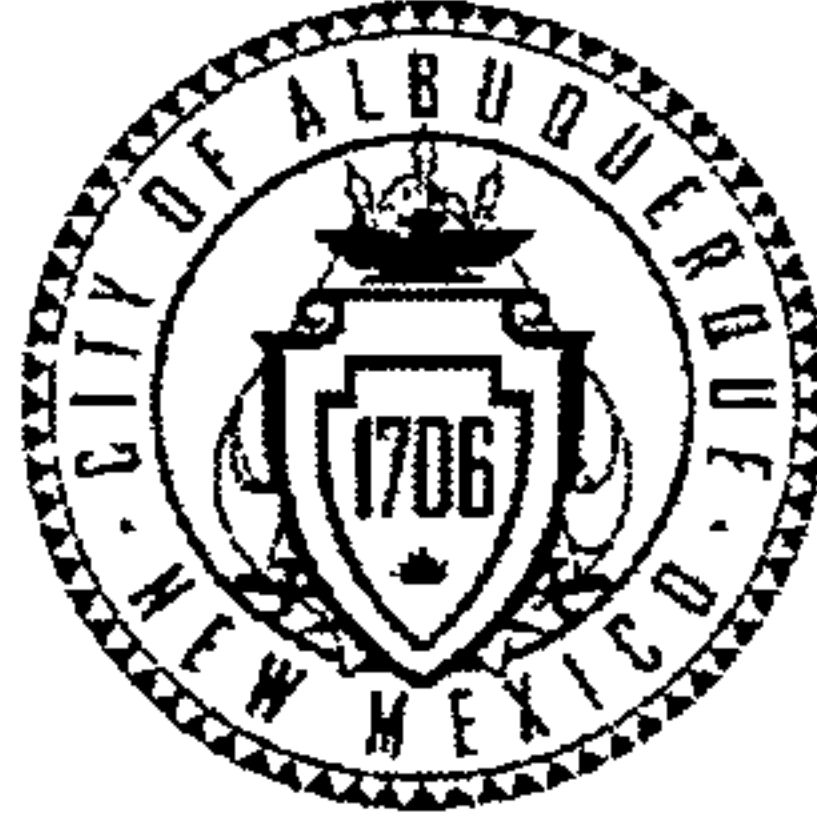
Please review the enclosed submittal and let me know if additional information is needed.

Sincerely,

A handwritten signature in black ink, appearing to read "P. Wymer", with a long horizontal flourish extending to the right.

Paul M. Wymer, AIA, AICP
Project Manager
Community Development and Planning

PMW/jcm



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

March 10, 2015

Paul Wymer
Bohannan Huston Inc.
7500 Jefferson NE/87109
Phone: 505-823-1000/Fax: 505-798-7988
E-mail: Pwymer@bhinc.com

Dear Paul:

Thank you for your inquiry of **March 10, 2015** requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* by your proposed project at **(DRB SUBMITTAL) TRACT B, SANDIA ADDITION, LOCATED ON SAN MATEO BOULEVARD NE, BETWEEN LINCOLN ROAD NE AND MCLEOD ROAD NE** zone map **F-17**.

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

DEL NORTE N.A. "R"

Mary White, 4913 Overland St. NE/87109 620-1353 (c)
Gretchen Kelley, 4213 Whisperwood Pl. NE/87109 254-7771 (c)

Please note that according to §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani I. Winklepleck

Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office.

LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NA/HOA FOR THIS PLANNING DEPARTMENT SUBMITTAL

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected neighborhood and/or homeowner associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describes the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-

The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.

Copies of Letters to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.

Copies of the certified receipts to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

Thank you for your cooperation on this matter.

(below this line for ONC use only)

Date of Inquiry: **03/10/15** Time Entered: **1:50 p.m.** ONC Rep. Initials: **siw**



SANDIA FOUNDATION
A HUGH AND HELEN WOODWARD CHARITY

February 24, 2015

Re: Replat of the Plat of Tract A, B, and C, Sandia Addition, Vacation of private easement(s), Amendment to Site Development Plan for Subdivision, and Site Development Plan for Building Permit Building Permit requests.

To whom it may concern,

I hereby authorize Bohannon Huston, Inc. staff to act as my agent in all matters associated with the subject requests associated with Tracts A, B, and C, Sandia Addition.

Sincerely,

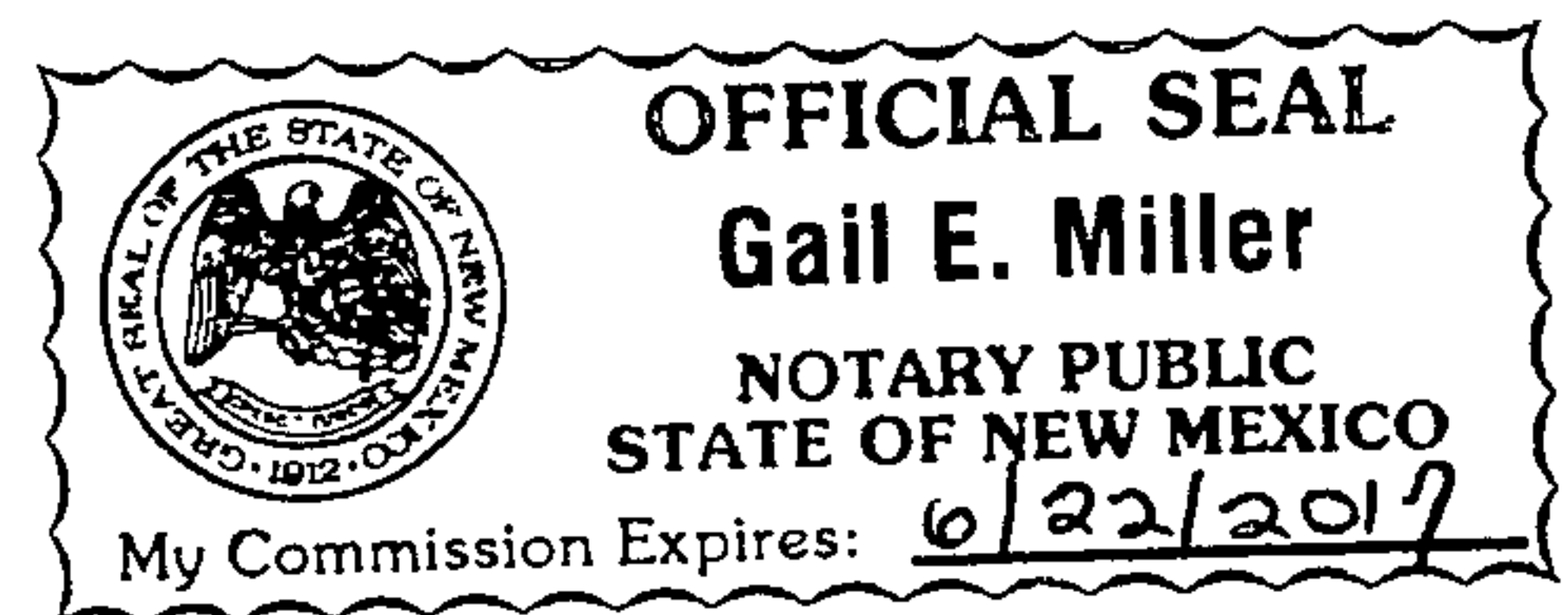
Robert M. Goodman
President and CEO

State of NM
County of Bernalillo

This instrument was acknowledged before me February 24, 2015
by Robert M. Goodman

My Commission Expires: 6/22/2017

Gail E. Miller





Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

March 13, 2015

Mary White
4913 Overland St. NE
Albuquerque, NM 87109

Re: Tract B-1, Sandia Addition, located at 5207 San Mateo Boulevard NE, between
Lincoln Road NE and McLeod Road NE.

Dear Ms. White:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Del Norte Neighborhood Association.

This letter is to advise you that Bohannon Huston, Inc., agent for DaVita Healthcare, is seeking approval for a Site Development Plan for Building Permit. The project consists of a medical outpatient facility with an 8,535 square foot single story building. The site is located at 5207 San Mateo Boulevard NE, between Lincoln Road NE and McLeod Road NE.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,

A handwritten signature in black ink, appearing to read "Paul M. Wymer".

Paul M. Wymer, A.I.A./A.I.C.P.
Senior Project Manager
Community Development & Planning

PMW/jcm

Engineering ▲

Spatial Data ▲

Advanced Technologies ▲

Bohannon Huston

Courtyard 1
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

Mary White
4913 Overland St. NE
Albuquerque, NM 87109

PS Form 3811, February 2004
Domestic Return Receipt
102505-02-M-1540

2. Article Number
(Transfer from service label)
7010 1870 0000 2738 8642

3. Service Type
 Certified Mail
 Express Mail
 Registered
 Return Receipt for Merchandise
 Insured Mail
 C.O.D.

4. Restricted Delivery? (Extra Fee)
 Yes

1. Article Addressed to:
 Mary White
 4913 Overland St. NE
 Albuquerque, NM 87109

D. Is delivery address different from item 1? Yes No
 If YES, enter delivery address below:

B. Received by (Printed Name)
 C. Date of Delivery

A. Signature Agent Addressee

SENDER: COMPLETE THIS SECTION

COMPLETE THIS SECTION ON DELIVERY

U.S. Postal Service
CERTIFIED MAIL[®] RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage \$	
Certified Fee	
Return Receipt Fee (Endorsement Required)	
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees \$	

Postmark Here

Sent To MARY WHITE
 Street, Apt. No., or PO Box No. 4913 OVERLAND ST. NE
 City, State ALBUQUERQUE NM 87109

7010 1870 0000 2738 8642
7010 1870 0000 2738 8642

PLACE STICKER AT TOP OF ENVELOPE TO THE RIGHT OF THE RETURN ADDRESS, FOLD AT DOTTED LINE

CERTIFIED MAIL[™]

PS Form 3800, August 2006[®] See Reverse for Instructions

Bohannon Huston

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

March 13, 2015

Gretchen Kelley
4213 Whisperwood Pl. NE
Albuquerque, NM 87109

Re: Tract B-1, Sandia Addition, located at 5207 San Mateo Boulevard NE, between
Lincoln Road NE and McLeod Road NE.

Dear Ms. White:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Del Norte Neighborhood Association.

This letter is to advise you that Bohannon Huston, Inc., agent for DaVita Healthcare, is seeking approval for a Site Development Plan for Building Permit. The project consists of a medical outpatient facility with an 8,535 square foot single story building. The site is located at 5207 San Mateo Boulevard NE, between Lincoln Road NE and McLeod Road NE.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Paul M. Wymer, A.I.A./A.I.C.P.
Senior Project Manager
Community Development & Planning

PMW/jcm

Engineering ▲

Spatial Data ▲

Advanced Technologies ▲

Bohannon Huston

Courtyard 1
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

Gretchen Kelley
4213 Whisperwood Pl. NE
Albuquerque, NM 87109

SENDER: COMPLETE THIS SECTION

1. Article Addressed to:
 Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
 Print your name and address on the reverse so that we can return the card to you.
 Attach this card to the back of the mailpiece, or on the front if space permits.

2. Article Number (Transfer from service label)
7010 1870 0000 2738 8635

3. Service Type
 Certified Mail
 Express Mail
 Registered
 Return Receipt for Merchandise
 Insured Mail
 C.O.D.

4. Restricted Delivery? (Extra Fee)
 Yes
 No

D. Is delivery address different from item 1? Yes No
 If YES, enter delivery address below:

B. Received by (Printed Name)
 C. Date of Delivery

A. Signature Agent Addressee

COMPLETE THIS SECTION ON DELIVERY

PS Form 3811, February 2004
102595-02-M-1540

*Gretchen Kelley
4213 Whisperwood Pl. NE
Albuquerque, NM 87109*

U.S. Postal Service
CERTIFIED MAIL™ RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage \$
 Certified Fee
 Return Receipt Fee (Endorsement Required)
 Restricted Delivery Fee (Endorsement Required)
 Total Postage & Fees \$

Postmark Here

Sent To *Gretchen Kelley*
 Street, Apt. No., *4213 Whisperwood Pl. NE*
 or PO Box No.
 City, State, Zip, *Albuquerque NM 87109*

PS Form 3800, August 2006 See Reverse for Instructions

7010 1870 0000 2738 8635
 7010 1870 0000 2738 8635

CERTIFIED MAIL™
 PLACE STICKER AT TOP OF ENVELOPE TO THE RIGHT OF THE RETURN ADDRESS. FOLD AT DOTTED LINE

7010 1870 0000 2738 8642

U.S. Postal Service
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Sent To MARY WHITE

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City, State, ZIP+4 ALBUQUERQUE NM 87109

PS Form 3800, August 2006 See Reverse for Instructions

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Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$	

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SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. More details and/or minor changes may be necessary as the project progresses through DRB and building permit reviews. Certification of completeness as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. I ACKNOWLEDGE THAT MORE DETAILS AND/OR MINOR CHANGES MAY BE NECESSARY AS THE PROJECT PROGRESSES THROUGH THE REVIEW PROCESSES. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OR DEFERRAL OF THE APPLICATION.


3/13/15

 Applicant or Agent Signature / Date

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36", or as pre-approved by Planning Staff

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing):

1. **Site Plan** (including easements with recording information)
2. **Landscaping Plan**
3. **Conceptual Grading and Drainage Plan** (a separate Grading Plan sheet is required for sites > 1 acre)
4. **Conceptual Utility Plan** (for sites less than one acre, Utility Plan may be shown on Site Plan)
5. **Building and Structure Elevations**
6. **Previously approved Development Plan** (if applicable)

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. Please refer to the City's DPM, Zoning Code and any applicable Sector Development Plan and Master Development Plan for specific design requirements for the elements listed below. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet & electronic copy (pdf) of Site Development Plan
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 – SITE PLAN

A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale:

1.0 acre or less	1" = 10'	Over 5 acres	1" = 50'
1.0 - 5.0 acres	1" = 20'	Over 20 acres	1" = 100'

 [other scales, if approved by staff]
- 3. Bar scale
- 4. North arrow
- 5. Vicinity map
- 6. Signature Block (for DRB site dev. plans)
- 7. Property lines (clearly identify)
- 8. Existing easements on the site and within 20 ft. of the site with recording information; proposed easements on the site
- 9. Phases of development including location and square footages of structures, circulation, parking and landscaping
- 10. Indicate existing structures and easements (with recording information) within 20 ft. of the site

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

B. Proposed Development

1. Structural

- 1. Location of existing & proposed structures on the site (distinguish between existing & proposed, include phasing)
- 2. Dimensions and square footage of each structure
- 3. Proposed use of each structure
- 4. Walls, fences, and screening: indicate height, length, color and materials
- 5. Loading facilities
- 6. Conceptual site lighting (indicate general location & maximum height)
- 7. Location of refuse container and enclosure
- 8. Site amenities including patios, benches, tables (indicating square footage of patios/ plazas)

2. Parking and Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: 25 provided: 32
Handicapped spaces (included in required total) required: 3 provided: 3
Motorcycle spaces (in addition to required total) required: NA provided:
- B. Bicycle parking & facilities (*Dialysis Facility, not required*).
 - 1. Bicycle racks, spaces required: provided:
 - 2. Bikeways and other bicycle facilities, if applicable
- C. Public Transit
 - 1. Bus facilities, including routes, bays and shelters existing or required
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location of proposed and existing public sidewalk; define distance from back of curb to sidewalk
- E. Vehicular Circulation (Refer to Chapter 23 of DPM for design requirements)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
 - 6. Existing and proposed street widths, right-of-way widths and curve radii
 - 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 8. Location of traffic signs and signals related to the functioning of the proposal
 - 9. Identify existing and proposed medians and median cuts

3. Phasing – This is required information if phasing of project is anticipated

- Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

SHEET #2 – LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff

- 1. Scale - must be same as scale on sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Statement of Landscaping Responsibility for Maintenance (Landscape Agreement will be required for landscape in public right-of-way prior to Building Permit)
- 7. Statement of compliance with Water Conservation Ordinance, see §6-1-1
- 8. Statement of compliance with §14-16-3-10, General Landscaping Regulations
- 9. Identify location and size (SF) of all landscaping areas, including:
 - A. Type, location and size of trees (common and/or botanical names)
 - B. Type and location of all ground cover material (organic/inorganic)
 - C. Existing vegetation, indicating whether it is to be preserved or removed
 - D. Ponding areas either for drainage or landscaping/recreational use
 - E. Turf area – only 20% of landscaped area can be high water-use turf
- 10. Landscape calculation table:
 - A. Required and Provided Landscape Area – square footage and percent
 - B. Required and Provided Trees (street, parking lot, screening, etc.)
- 11. Street Tree Plan as defined in the Street Tree Ordinance (see §6-6-2)
- 12. Verification of adequate sight distance
- 13. Provide a plant list of shrubs, grasses, and perennials

SHEET # 3 – CONCEPTUAL GRADING and DRAINAGE PLAN

The Conceptual Grading and Drainage Plan provides the Planning Commission and DRB with an understanding of site topography and how it relates to adjacent property. The City Engineer or her/his designee may waive or allow adjustments to the Conceptual Grading and Drainage Plan requirements for sites that are already developed or are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Building footprints
- 6. Location of Retaining walls

B. Grading Information

- 1. Provide a narrative description of existing site topography, proposed grading improvements, flood zone status, and topography within 20 feet of the site.
- 2. Show existing and proposed contours, retaining wall heights, approximate street (drive entrance/parking lot) slopes.
- 3. Identify whether ponding is required
- 4. Indicate Finished Floor Elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

- 5. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change.
- 6. In addition to the above, the following must be provided for DRB applications:
 - A. Conceptual onsite drainage system
 - B. For sites 5 acres or greater or for sites where drainage infrastructure is required, a Drainage Report is required.

SHEET #4 – UTILITY PLAN

If site is less than one acre, the Utility Plan may be shown on sheet #1

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- 1. Scale (minimum of 1/8" or as approved by Planning Staff)
- 2. Bar Scale
- 3. Detailed Building Elevations for each facade
 - a. Identify facade orientation (north, south, east, & west)
 - b. Facade dimensions including overall height and width of building and major building articulation elements such as doors and windows (to determine compliance with zoning or other regulations)
 - c. Materials and colors of principle building elements – façade, roof, windows, doors, etc.
 - d. 8½" x 11" color renderings or similar illustrations (2 for DRB and 10 for EPC)
- 4. Dimensions, colors and materials of Refuse Enclosure
- 5. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discuss submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements
- 7. Verification of adequate sight distance



EES

**Entitlement and Engineering
Solutions, Inc**

March 12, 2015

Mr. Jack Cloud
Design Review Board
City of Albuquerque
600 Second Street NM, 3rd Floor
Albuquerque, NM 87102

Re: DaVita Dialysis 5207 San Mateo Blvd. NE; Tract B-1 of the Sandia Addition, Site Development Plan for Building Permit: Grading Design Narrative

Dear Chairperson of the DRB:

This letter will provide a general description of the existing topography affecting the Tract B-1 site and the proposed grading design to serve the proposed DaVita Dialysis Center site improvements.

The DaVita Dialysis Facility project site is located on the west side of San Mateo Boulevard approximately 430 feet north of Mcleod Road in the Tract B-1 (formerly Tract B) of the Sandia Addition in the City of Albuquerque, Bernalillo County. It is located within the boundaries of the City Zone Map F-17. The site lies within the Flood Zone X and therefore is not designated as a flood prone area in accordance with the National Flood Insurance Program Rate Map No. 35001C0139 G, effective date 9-26-2008.

The site was previously used as a garden nursery but has since been cleared of all structures and overlot graded to follow the historic drainage patterns with topography that falls to the southwest. The site maintains minimal vegetation due to this grading disturbance and demolition. The eastern portion of Tract B is currently built out with an approximate 28' wide shared access drive for Tracts A, B-1 and C-1 and a finished 20' wide landscape buffer dividing this access drive from the San Mateo Boulevard ROW as was developed with the design and construction of the Golden Corral. The grade for the existing access drive falls to the northwest at a three percent slope and drains storm flows into the Golden Corral Site as was the design intent of the Golden Corral drainage design.

The south adjacent property Tract A-1A of the Sanbusco Addition is developed as an industrial use and is elevated above the south Tract B-1 perimeter grades with the use of a small 1-3 foot retaining wall that aligns the south property line (see conceptual drainage map). The grading for the Tract B-1 falls to the southwest with an average of 20% slopes, allowing for developed flows to drain along the north side of this retaining wall. This retaining wall appears to keep developed flow originating from Tract B-1 to remain within Tract B-1 as well as a portion of Tract C-1 as it drains westerly to the south detention pond located in Tract C-1. There appears to be no offsite drainage entering this site.

In 2013 two ponds were designed and constructed on the west side of Tract C-1 to the north and south. These ponds were designed and constructed in response to a failure of the berm along the west side of



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Solutions, Inc**

the existing channel along the Tract C perimeter. Both detention ponds were designed to detain the 100-year, 6-hour storm for the Sandia Addition Tracts A, B-1 and C -1 in the full developed condition.

For the proposed onsite grading design, the curb walks adjacent to the building and the drive aisles are proposed to slope away from the building with slopes of two percent or less in the front building entrance where ADA compliant access to the handicap parking stalls is required. The remaining drive aisles slope away from the building toward the curb at steeper slopes that range from two to almost six percent with the steepest slope located at the southwest corner of the parking area. All site curb and gutter directs storm drainage to the curb storm inlet located at the low point of the site in the southwest corner of the parking area. A 1-4 foot high retaining wall is proposed along the west and south perimeter of the Tract B-1 site to accommodate the proposed grades in the developed condition while maintaining the existing perimeter grades along the west and south property lines. The retaining wall is proposed approximately 1.5 feet away from the west property line and 2.5 feet away from the south property line. The proposed south retaining wall design will maintain the existing retaining wall condition with grades on the low side of this wall (Tract B-1 side) to remain intact with the developed condition of Tract B-1.

A rock lined channel is proposed to convey site drainage from Tract B-1 to the existing south detention pond on Tract C-1. Drainage for the site will outlet into this channel by a pipe extending from the proposed west retaining wall near the southwest corner of the site. This grading and drainage design conforms to the intent of the overall Tract C-1 detention pond design.

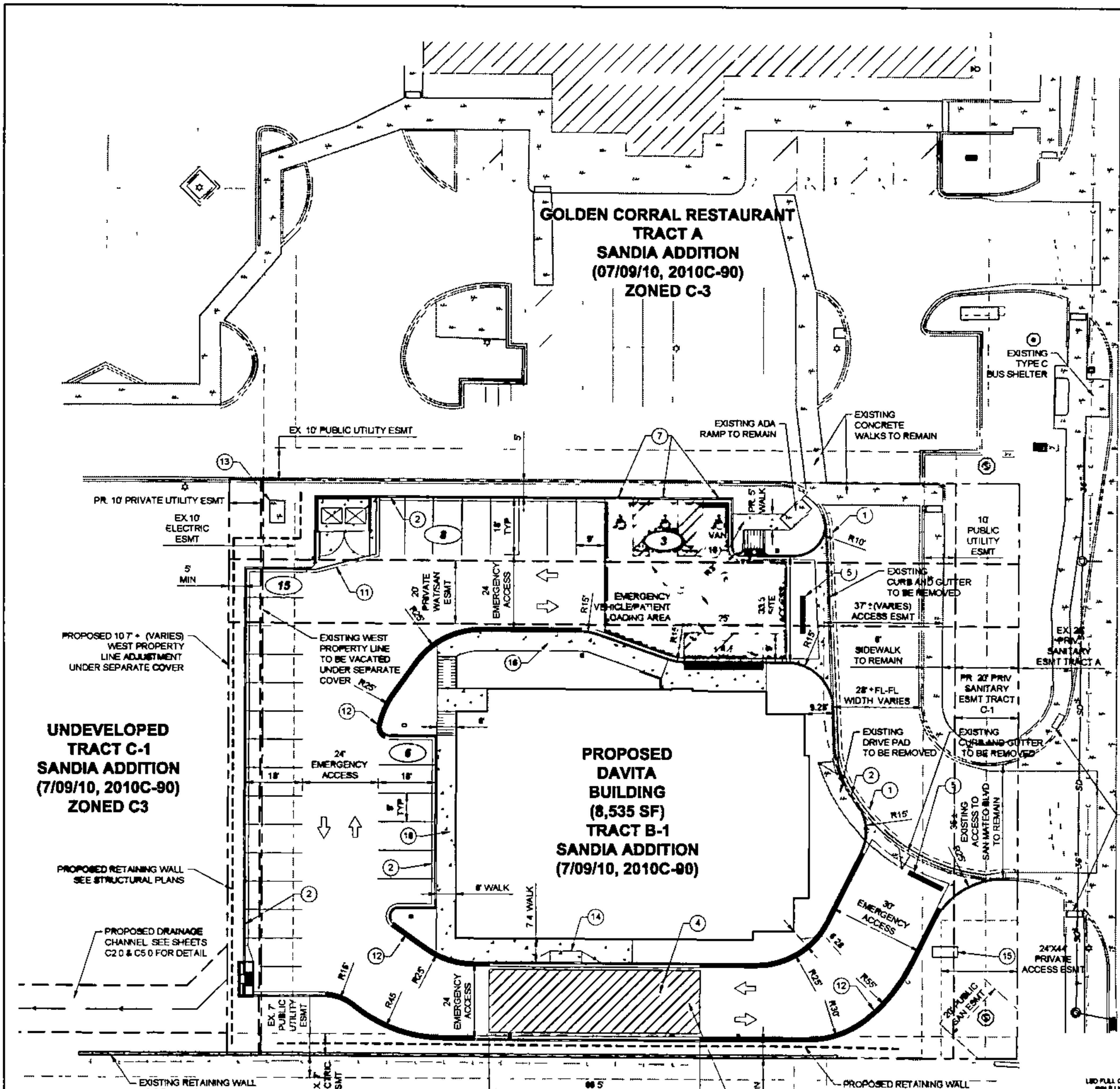
Sincerely,

Mary Kasal

Digitally signed by Mary Kasal
DN: cn=Mary Kasal, o.ou,
email=mary.kasal@ees.us.com,
c=US
Date: 2015.03.13 09:37:09 -0600

Mary E. Kasal, P.E.
Senior Project Manager

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PROJECT INFORMATION

ADDRESS:
5207 SAN MATEO BLVD
ALBUQUERQUE, NM 87109
(FINAL ADDRESS ASSIGNMENT T B D)

LEGAL DESCRIPTION
TRACT LETTERED 'B' OF THE PLAT OF TRACTS A, B, & C, SANDIA ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, FEBRUARY 2010, AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAT FILED FOR RECORD ON JULY 9, 2010 AND RECORDED AS DOCUMENT NO. 201008217 IN THE RECORDS OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO

SITE ACREAGE
FORMER TRACT B
1.00 ACRES
PROPOSED TRACT B-1 AFTER PLAT ADJUSTMENT
1.05 ACRES

PLANNING INFORMATION
ZONE ATLAS PAGE F-17-Z
LAND USE ZONING IS C-3

PARKING SUMMARY

REQUIRED	
MEDICAL OFFICE (5 SPACES PER DOCTOR)	= 25
ADA SPACES (10% OF REQUIRED PARKING)	= 3
PROVIDED	
STANDARD SPACES	= 29
ADA HANDICAP STANDARD SPACES	= 1
ADA HANDICAP VAN ACCESSIBLE SPACES	= 2
TOTAL	= 32

LEGEND

---	PROPOSED RETAINING WALL
- - - -	PROPOSED EASEMENT
---	PROPERTY LINE
---	PROPOSED BUILDING
---	PROPOSED SIGN
---	PARKING COUNT
---	EXISTING CURB AND GUTTER
---	PROPOSED 4" STANDARD CURB
---	EXISTING SITE LIGHTING
---	PROPOSED SITE LIGHTING
---	PROPOSED CONCRETE WALK (SEE DETAIL SHEET C1D)
---	PROPOSED INLET
---	PROPOSED 4" SANITARY MANHOLE
---	EXISTING SANITARY/TORM MANHOLE
---	DENOTED TRAFFIC FLOW PATTERNS (NO ACTUAL STRIPING)
---	FIRE LANE CURB PAINT

- SITE SCHEDULE**
- PROPOSED 1" SAWCUT OFFSET FROM PROPOSED CURB/GUTTER AND VALLEY GUTTER
 - PROPOSED STANDARD 8" CURB AND GUTTER PER COA STANDARD DRAWING 2415A MODIFIED TO A 1" GUTTER PAN
 - PROPOSED 5" VALLEY GUTTER PER COA STANDARD DRAWING 2420 AND 2426 MODIFIED TO THE INTO A 1" GUTTER PAN
 - HATCHED AREA TO REPRESENT LOADING AREA LOCATION FOR SITE PLAN REVIEW PURPOSES ONLY. NO ACTUAL STRIPING PROPOSED
 - PROPOSED 10x1 5" SOLID WHITE STOP BAR
 - PROPOSED ADA RAMP (SEE DETAIL ON SHEET C1D)
 - PROPOSED ADA STANDARD HANDICAP PARKING SIGN (SEE DETAIL SHEET C8D)
 - PROPOSED ADA HANDICAP VAN ACCESSIBLE SIGN (SEE DETAIL SHEET C8D)
 - NOT USED
 - SCREENED AREA DEFINES ADA COMPLIANT ZONE OF ACCESSIBILITY FROM BUILDING FRONT ENTRANCE TO HANDICAP PARKING STALLS. CROSS SLOPES NOT TO EXCEED 2% IN ALL DIRECTIONS
 - PROPOSED TRASH ENCLOSURE WITH SCREEN WALL. REFER TO ARCHITECTURAL DETAILS
 - PROPOSED FIRE LANE STRIPING. SEE NOTE 15 ON THIS SHEET
 - EXISTING ELECTRICAL VAULT TO REMAIN. PROTECT IN PLACE
 - DELIVERY ACCESS RAMP. NOT INTENDED FOR ADA COMPLIANT ACCESS. SEE SHEET C8 1
 - PROPOSED MONUMENT SIGN WITH DIMENSION OF 5'-4" HEIGHT, 3'-4" DEPTH AND 8'-0" LENGTH. REFER TO ARCH SIGNAGE PLANS FOR DETAIL
 - PROPOSED CONCRETE WALK. REFER TO SHEET C8 1 FOR DETAIL

PROJECT BENCHMARK & VERTICAL DATUM

ALL CORNERS FOUND IN PLACE AND HELD WERE TAGGED WITH A BRASS DISK STAMPED "HUGG L S 8750" OR "HUGG L S 11808" UNLESS OTHERWISE INDICATED HEREON

ALL CORNERS THAT WERE SET ARE EITHER A 5/8" REBAR WITH CAP STAMPED "HUGG L S 8750" OR "HUGG L S 11808" OR A CONCRETE NAIL WITH BRASS DISK STAMPED "HUGG L S 8750" OR "HUGG L S 11808" UNLESS OTHERWISE INDICATED HEREON

VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "9-F11", ELEVATION = 5212.23 (NAVD 1988)

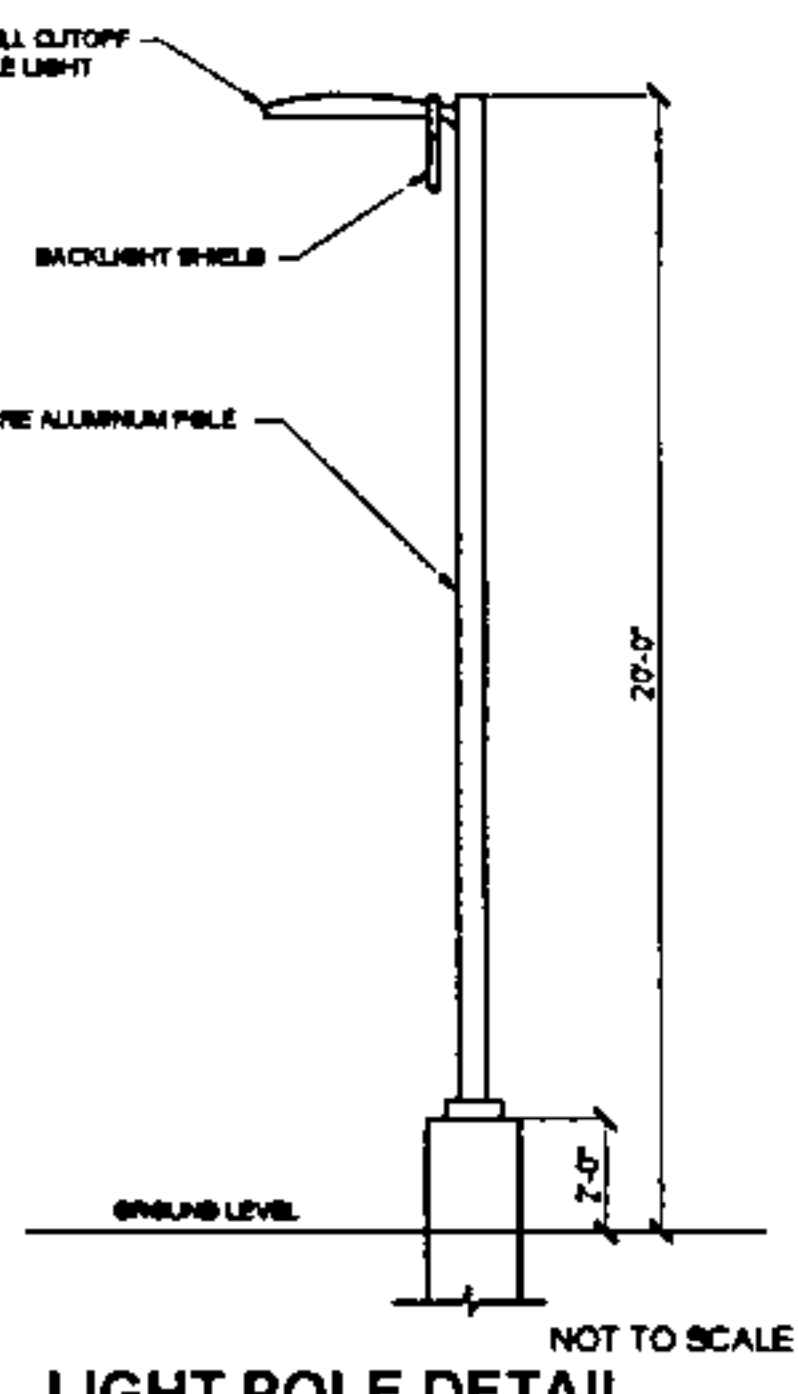
PROJECT BASIS OF BEARING

BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS CENTRAL ZONE NAD83

- NOTES**
- NO BIKE ROUTES OR PATHS EXIST ALONG FRONTAGE OF SAN MATEO BOULEVARD
 - PLOT PLAN SHALL COMPLY WITH THE BUILDING DESIGN STANDARDS AND APPLICABLE ZONING REGULATIONS FOR 5207 SAN MATEO (FORMER ROWLANDS SITE)
 - ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD SPECIFICATIONS OF CITY SITE OF ALBUQUERQUE.
 - EMERGENCY AND SERVICE TRUCKS WILL MANUEVER AROUND BUILDING DRIVE AISLES IN A ONE-WAY TRAFFIC MOVEMENT
 - CARS/TRUCKS WILL MANUEVER AROUND BUILDING DRIVE AISLES IN A TWO-WAY TRAFFIC MOVEMENT
 - A 100' SERVICE TRUCK PATH MODEL IS SHOWN ON SHEET C1 3
 - UPON COMPLETION OF PAVING OPERATIONS THE CONTRACTOR SHALL INSTALL THE PAVEMENT STRIPES AND PAVEMENT MARKINGS AS SHOWN HEREON. ON SITE PARKING STALL STRIPES SHALL BE 4" WIDE AND WHITE IN COLOR. HANDICAP STALLS SHALL BE PAINTED AND SIGNED PER FEDERAL, STATE AND LOCAL REQUIREMENTS. SEE DETAIL SHEET 1 3
 - HANDICAP PARKING AREAS PROVIDED PER CITY STANDARDS AND SHALL COMPLY WITH REQUIREMENTS OF THE CURRENT ADOPTED UNIFORM BUILDING CODE.
 - UNLESS OTHERWISE NOTED, ALL RADI ON PARKING ISLANDS SHALL BE 3'
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS SERVICE AREA DIMENSIONS AND ELEVATIONS. REFERENCE M.E.P. FOR EXACT BUILDING UTILITY ENTRANCE LOCATIONS
 - THE DISPOSAL OF DEMOLISHED ITEMS SHALL COMPLY TO ALL STATE AND LOCAL REQUIREMENTS
 - MECHANICAL UNITS DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE ZONING ORDINANCE.
 - ALL SIGNAGE CONTINGENT UPON APPROVAL BY THE CITY OF ALBUQUERQUE
 - ALL SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH THE ZONING ORDINANCE
 - FIRE LANE STRIPING "NO PARKING FIRE LANE" MARKINGS SHALL CONSIST OF A SIX (6) INCH WIDE RED STRIPE ALONG THE CURB ON ALL SIDES OF THE BUILDING. THE WORDS "NO PARKING FIRE LANE" SHALL BE MARKED ON THE STRIPES IN FOUR (4) INCH HIGH WHITE LETTERS AT 25-FT MAXIMUM INTERVALS STRIPING AND LETTERS SHALL BE APPLIED ACCORDING TO THE CITY OF ALBUQUERQUE FIRE LANE AND FIRE PROTECTION MUST BE APPROVED BY THE FIRE MARSHALL PRIOR TO BUILDING PERMIT BEING ISSUED. CONTRACTOR TO COORDINATE ALL FIRE LANE MARKINGS WITH THE ALBUQUERQUE FIRE MARSHALL
 - ALL DRIVEWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE AND NEW MEXICO DEPARTMENT OF TRANSPORTATION STANDARDS
 - ALL DIMENSIONS ARE MEASURED FROM FLOWLINE OF CURB, UNLESS NOTED OTHERWISE
 - ALL ACCESSIBLE RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1:2 1
 - REFER TO PLAT FOR OFFICIAL EASEMENT LOCATIONS

SITE CURRENT USE:
HME MEDICAL SUPPLY
TRACT A-1A
(10/02/87, C34-169)
ZONED C-3

SITE CURRENT USE:
HME MEDICAL SUPPLY
TRACT A-1B
SAN BUSCO ADDITION
(10/02/87, C34-169)
ZONED C-3



PROJECT NUMBER

APPLICATION NUMBER

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATES AND THE TERMS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO IF YES THEN A SET OF APPROVED DMC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENT

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

TRAFFIC ENGINEERING TRANSPORTATION DIVISION	DATE
ARCWA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (OPTIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
CRS CHAIRPERSON PLANNING DEPARTMENT	DATE
ENVIRONMENTAL HEALTH (IF NECESSARY)	DATE

DATE

BY

REVISION

PRELIMINARY NOT FOR CONSTRUCTION

EES ENTIREMENT SOLUTIONS INC. 5207 SAN MATEO BLVD. SUITE 100 ALBUQUERQUE, NM 87109 PHONE: 505-272-9977 FAX: 505-272-9977

Davita.

CIVIL CONSTRUCTION DOCUMENTS

PROJECT NO. DAV003 01

DAVITA DIALYSIS CENTER - ALBUQUERQUE

5207 San Mateo Boulevard N.E.

OVERALL SITE PLAN

DESIGNED BY: KLR

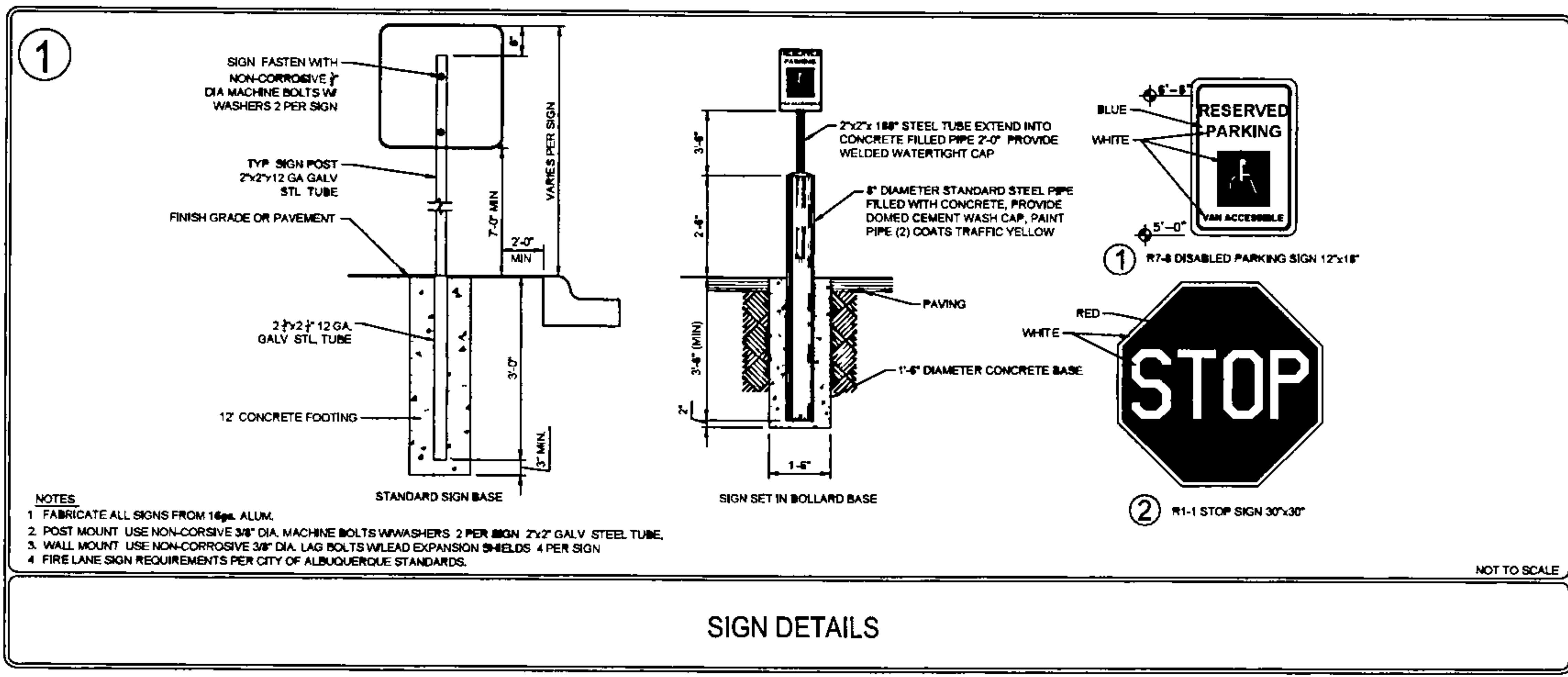
DRAWN BY: KLR

DATE: 02/10/18

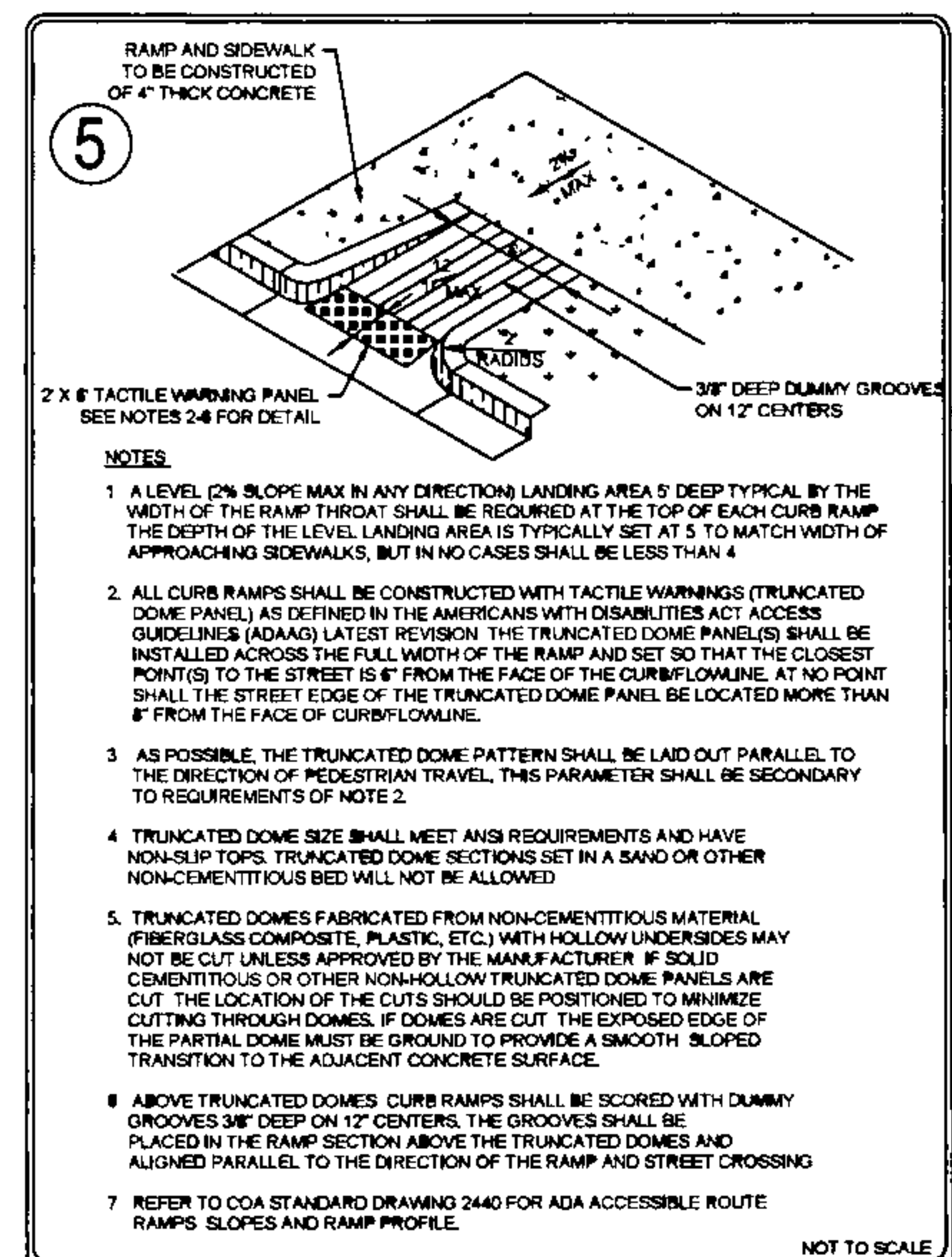
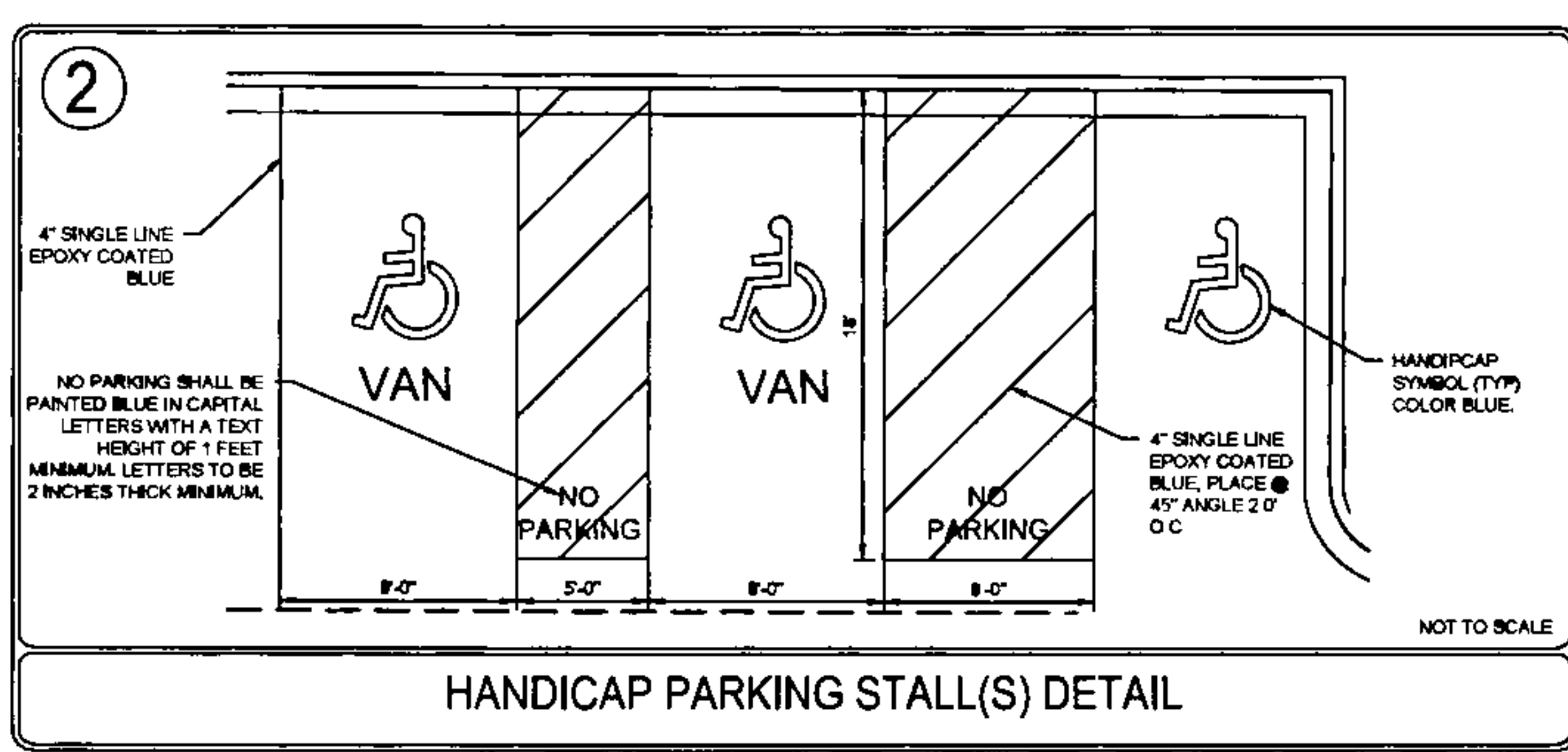
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SHEET 2 OF 11

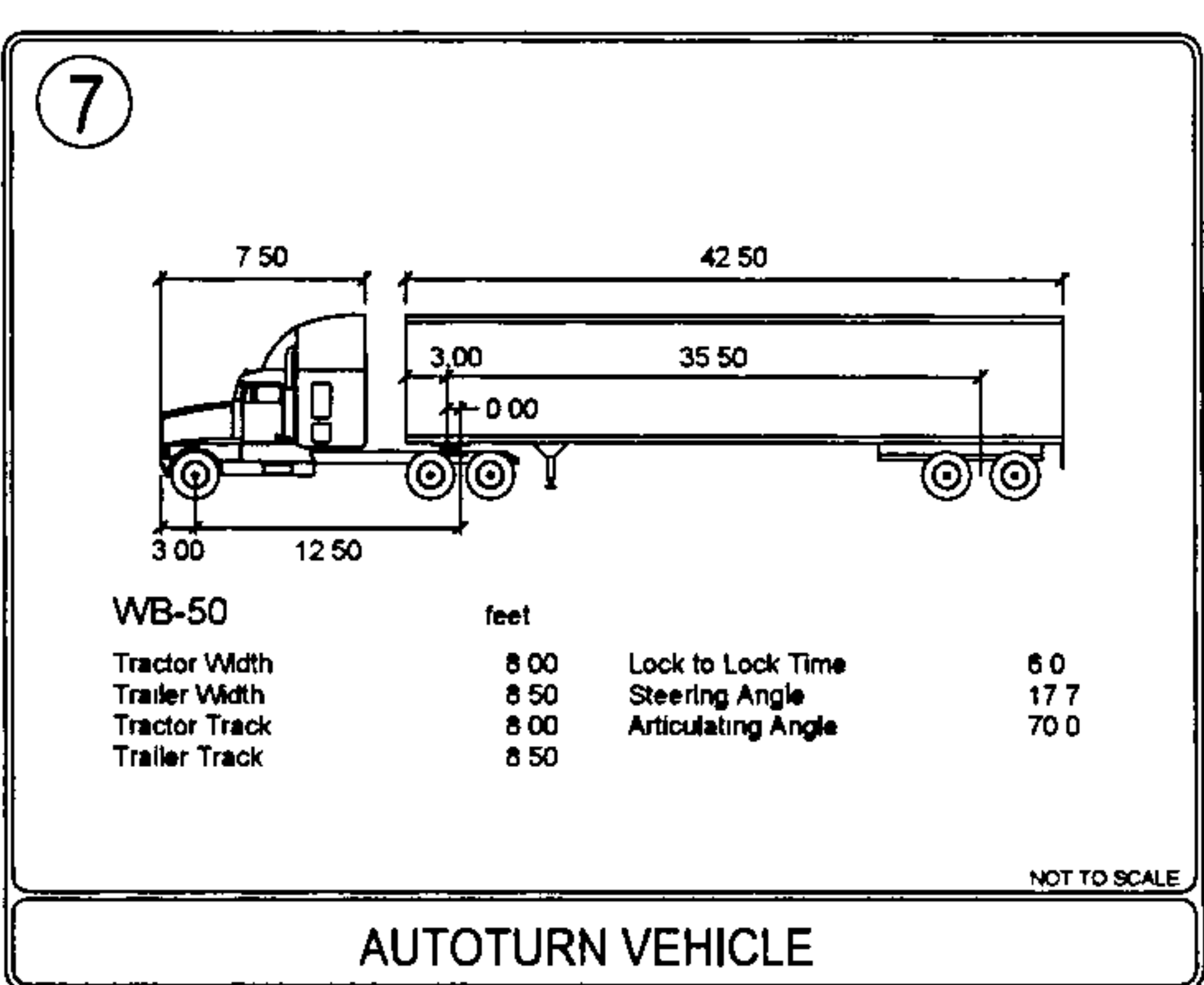
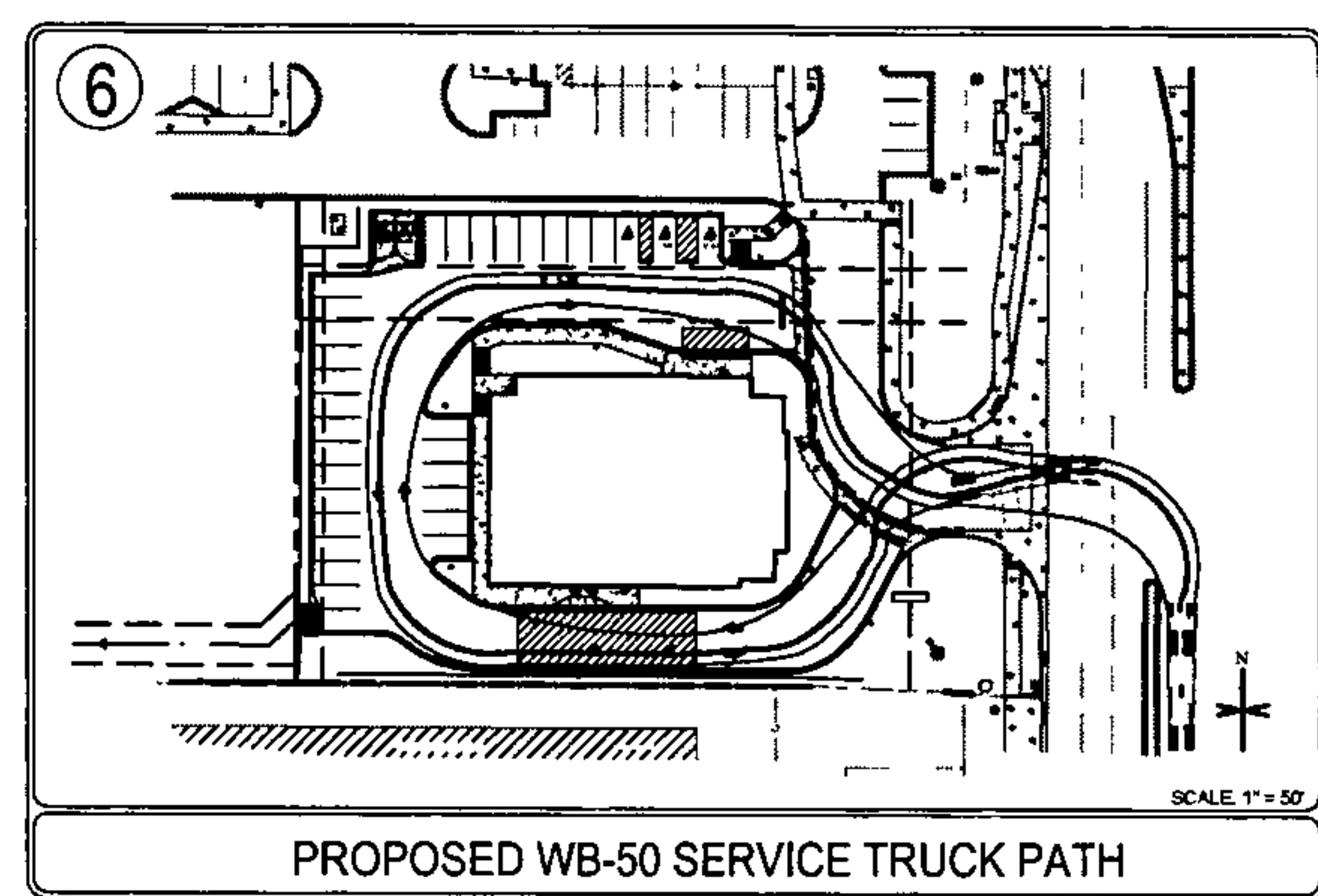
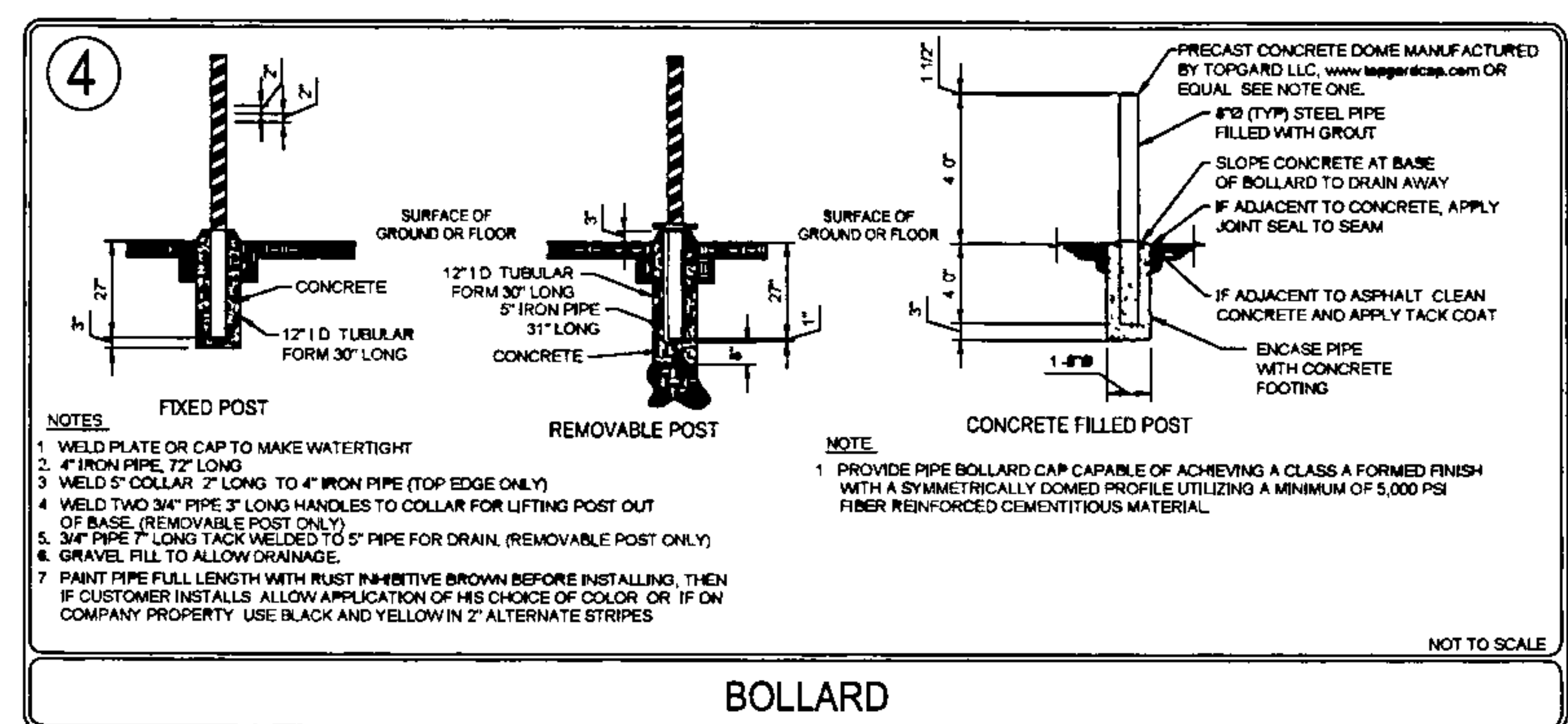
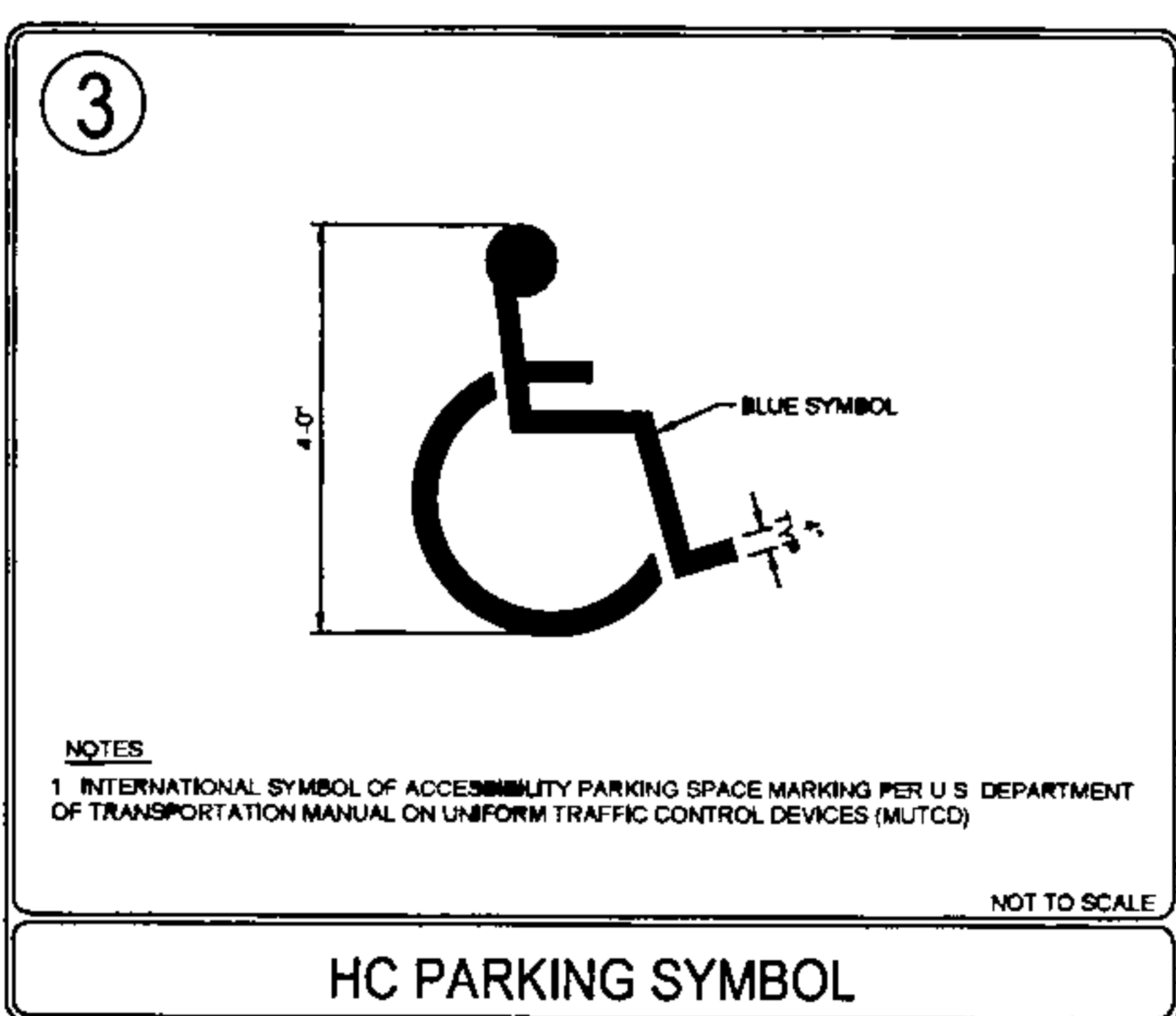
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SIGN DETAILS



HANDICAP RAMP DETAIL



DATE	
BY	
REVISION	
No	

PRELIMINARY NOT FOR CONSTRUCTION

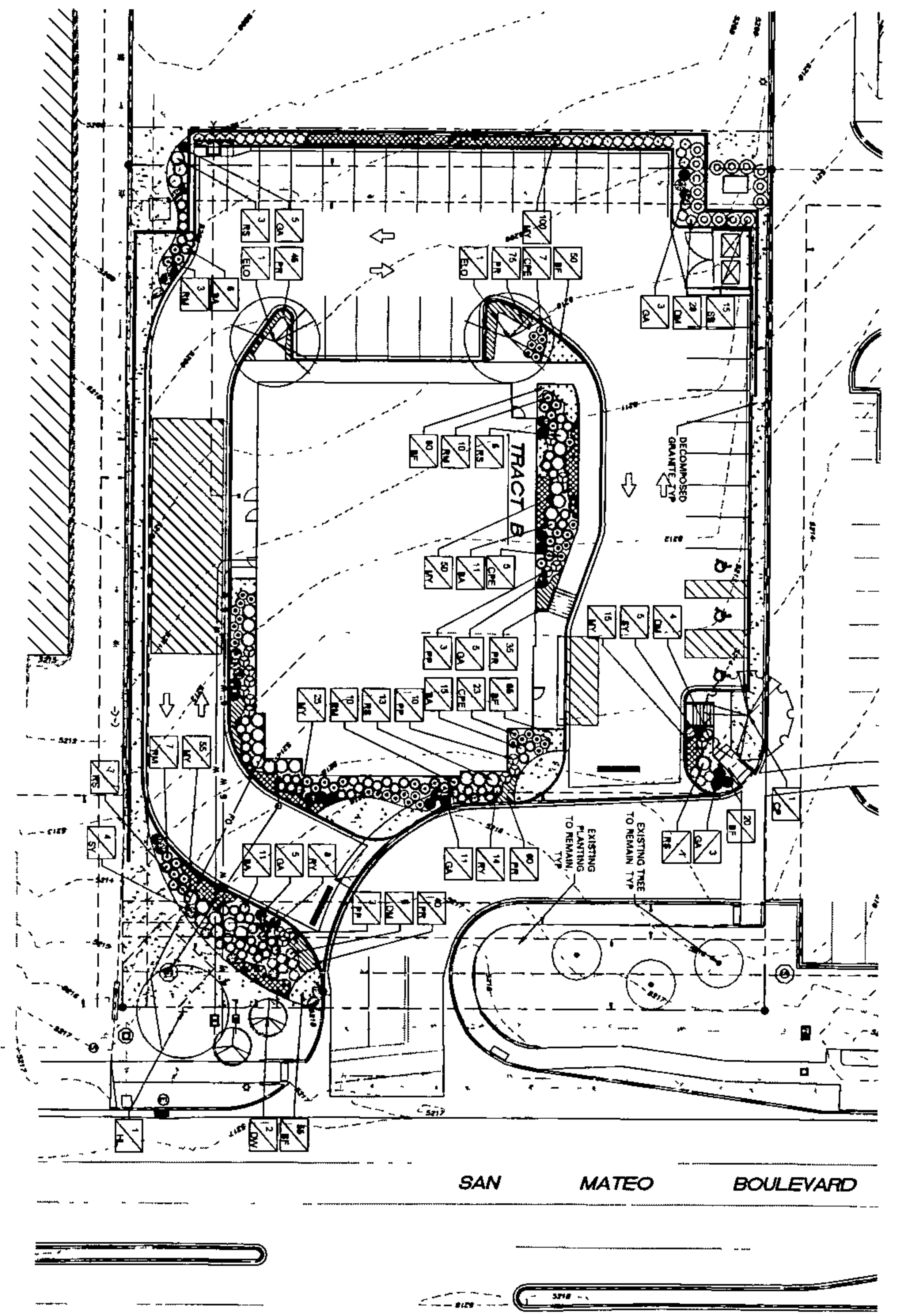
EES ENGINEERING SOLUTIONS, INC.
 11111 11th Street
 Suite 100
 Albuquerque, NM 87102
 505.252.1111
 FROM 10.0 FILED

Davita

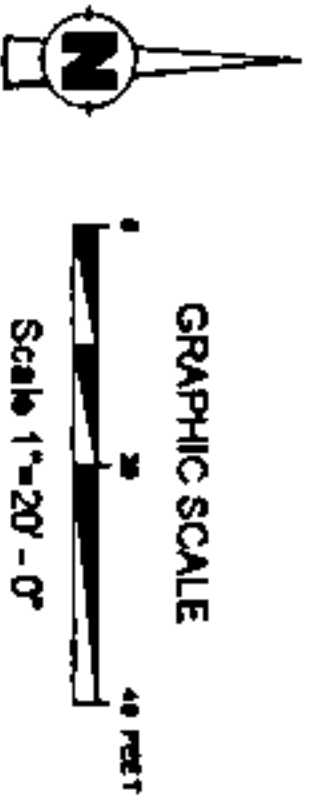
CIVIL CONSTRUCTION DOCUMENTS
 DAVITA DIALYSIS CENTER - ALBUQUERQUE
 5207 San Mateo Boulevard N.E.
 CIVIL DETAILS

PROJECT NO. DAV003.01
 DESIGNED BY: KLR
 DRAWN BY: KLR
 DATE: 03/10/15
C6.0
 SHEET 10 OF 11

P:\DWG\ALBUQUERQUE\2017\5441\WATER\CONCRETE\CIVIL\DETAILS.DWG



Sanbusco Center Building
 1527711
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 1527711



GENERAL PLANTING NOTES

- The general landscaping is to be installed in accordance with the approved site plan. All plantings shall be installed in the locations and quantities indicated on the plan. The contractor shall be responsible for the selection and procurement of all plants and materials. The contractor shall provide all necessary irrigation, mulching, and maintenance for the first year after installation.
- All plants shall be installed in the locations and quantities indicated on the plan. The contractor shall be responsible for the selection and procurement of all plants and materials. The contractor shall provide all necessary irrigation, mulching, and maintenance for the first year after installation.
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MULCHES

1. All mulches shall be installed in the locations and quantities indicated on the plan. The contractor shall be responsible for the selection and procurement of all mulches and materials. The contractor shall provide all necessary irrigation, mulching, and maintenance for the first year after installation.

LANDSCAPE REGULATIONS FOR ALBUQUERQUE, NM

- 17% of the lot area shall be landscaped.
 - Tree Saw Area: 45 Sq Ft
 - Tree Building Area: 8,528 sq ft
 - REQUIRED: 8,087 sq ft (24.8%)
 - 8,831 (19%)
- SEEDLING DIMENSION STANDARDS**
- One tree is required per 10 parking spaces.
 - No parking spaces may be more than 100' from a tree trunk.
 - All trees 75% of the required trees shall be deciduous canopy shade trees.
 - All required landscape trees shall be covered with at least 75% vegetation material.
 - REQUIRED: 32
 - REQUIRED: 3 trees 1' x 1'
 - REQUIRED: 4,181 sq ft landscape (12.5%)
- Street Trees**
- Street trees shall be deciduous and a minimum of 4 species.
 - One of every three trees may be an accent tree. Tree spacing shall be approximately 30' tree spac.
 - San Mateo Boulevard: 152,7711
 - REQUIRED: 3 street trees
 - 3 trees 1' x 1' cdl

DEVELOPMENT DESIGN STANDARDS

1. A minimum layer of 2" shall be installed between parking area and San Mateo Blvd.
- 75% of landscape trees shall be covered with 75% vegetation material. The minimum landscape shall be 30% of the required vegetation cover.
- One tree is required for every 30'11" of San Mateo Blvd.
- High water use turf is prohibited.
- Areas of the site disturbed and existing lawn development shall be stabilized to prevent erosion and soil in accordance with EPA requirements. Native seed mix shall be the preferred method of such stabilization.
- San Mateo Boulevard: 152,7711
- REQUIRED: 12 trees
- REQUIRED: 3 trees 1' x 1'
- REQUIRED: 3 trees 2' cdl

PLANT SCHEDULE

QTY	LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE	NOTES
1	CP	Cherry Platanus	Platanus chinensis	2' cdl	10-12" H, 4' spread, matching
2	DW	Desert Willow	Quercus laevis	30' gal	8' H, 4' spread, multi-trunk, 3 cane min
2	ELD	Eschscholium Line Oak	Quercus laevis	2' cdl	10-12" H, 4' spread, matching
1	HL	Thornless Honeylocust	Gleditsia triacanthos	2' cdl	10-12" H, 4' spread, matching
SHRUBS/BUNDOVER					
40	BA	Blue Anna Grass	Habenaria salicifolia	5 gal	1/4" 24" spread, 30" x 4"
20	BF	Blue Fescue	Festuca ovina	1 gal	1/4" 12" c
36	CE	Center Penstemon	Penstemon cordula	5 gal	1/4" 30" c
31	QW	Gray Holly	Quercus agrifolia	5 gal	1/4" 30" spread, 30" x 4"
34	SV	Hamamelis Yellow	Hamamelis virginiana	1 gal	1/4" 18" c
18	PP	Heavy Spurred Peachy Pear	Chaenactis coronata	5 gal	1/4" 24" spread, 30" x 4"
20	PK	Persian Red Yucca	Yucca filamentosa	1 gal	1/4" 12" c
30	RA	Tussock Blue Yucca	Yucca filamentosa	1 gal	1/4" 12" c
30	RS	Nutsen Sage	Salvia nemorosa	7 gal	1/4" 24" spread, 30" x 4"
22	RY	Red Yucca	Yucca filamentosa	5 gal	1/4" 24" spread, 30" x 4"
15	SB	Scotch Broom	Cytisus scopula	7 gal	1/4" 30" spread, 40" x 6"
4	SY	Scholar Vicia	Vicia bicolorata	5 gal	1/4" 30" c

Plant file is on site in shed only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. Trees shall have a living central leader and be of matching specimens. All plant materials shall meet or exceed standards as indicated.

PLANTING SPECIFICATIONS

GENERAL

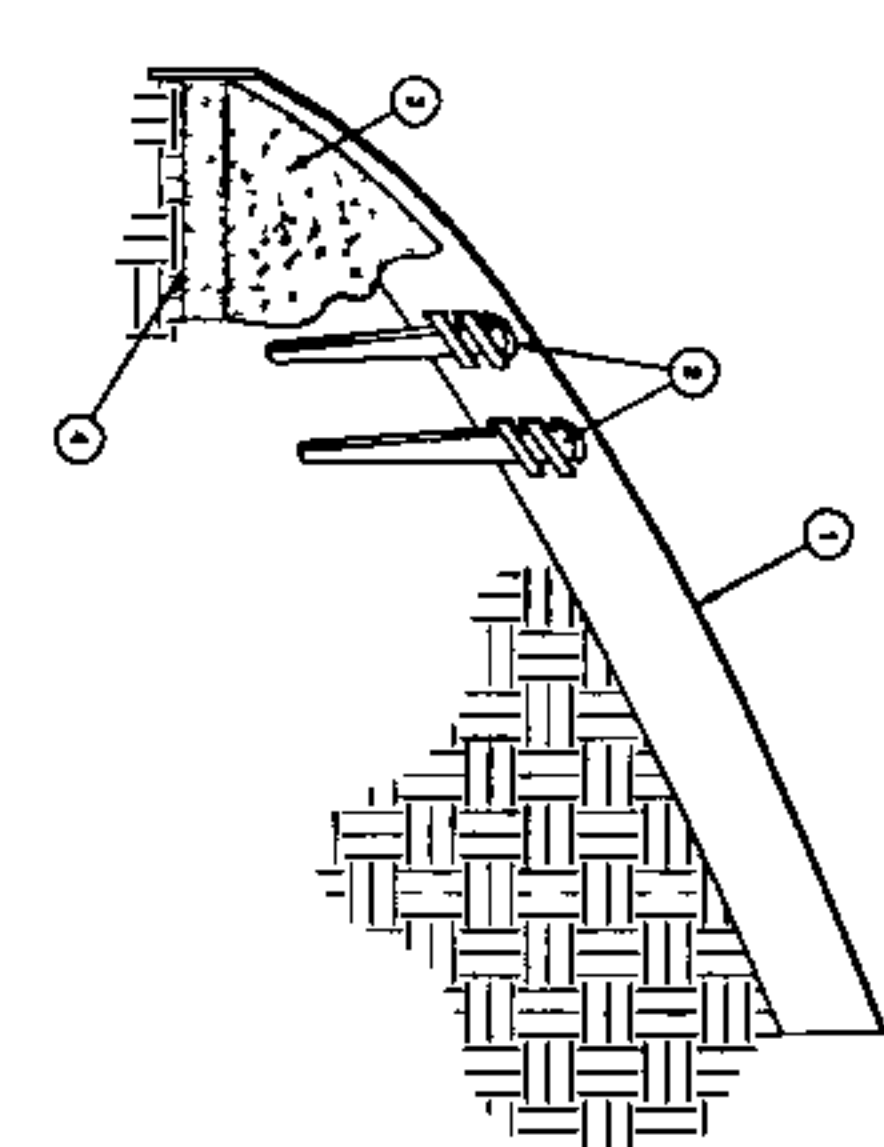
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PLANTING

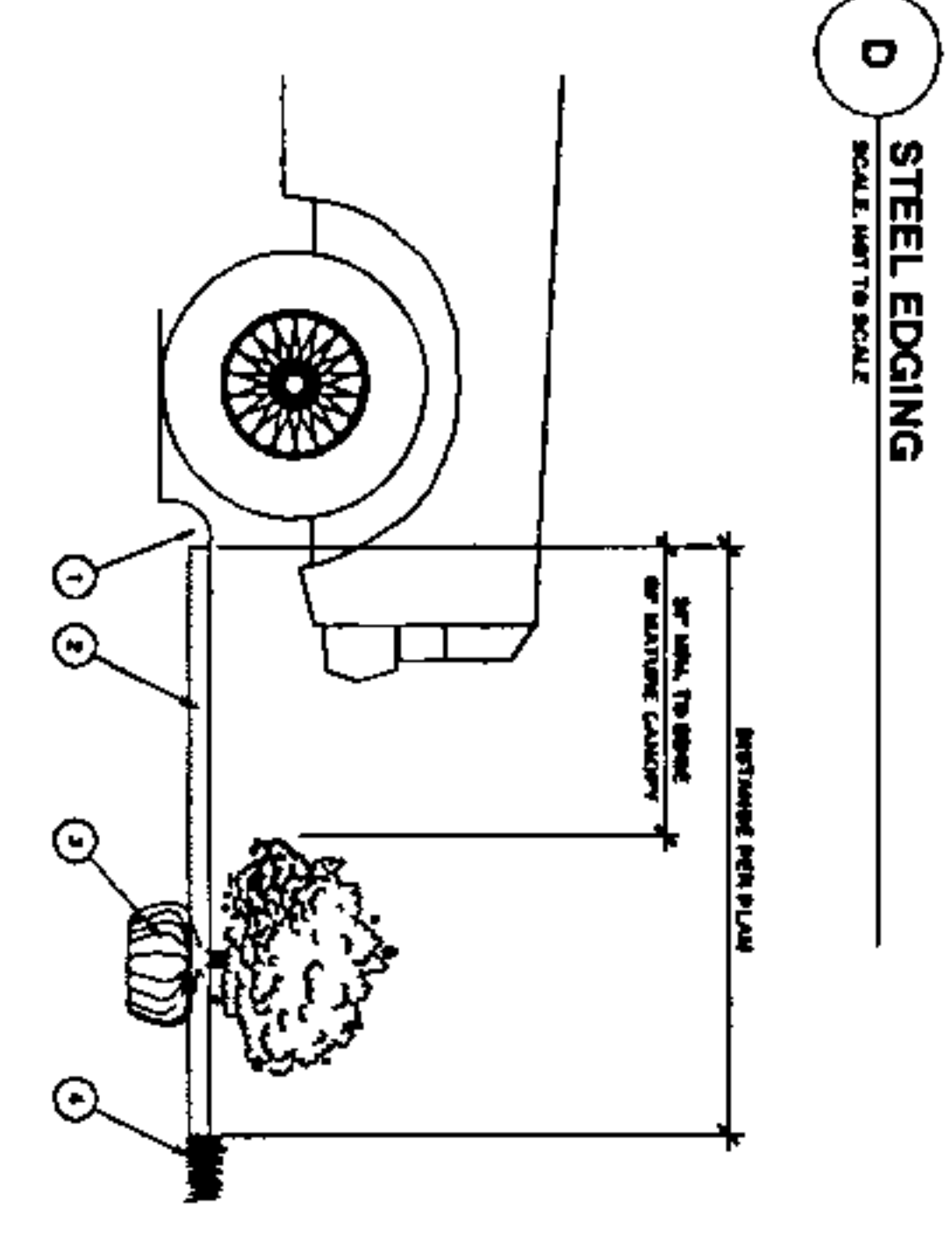
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PLANTING

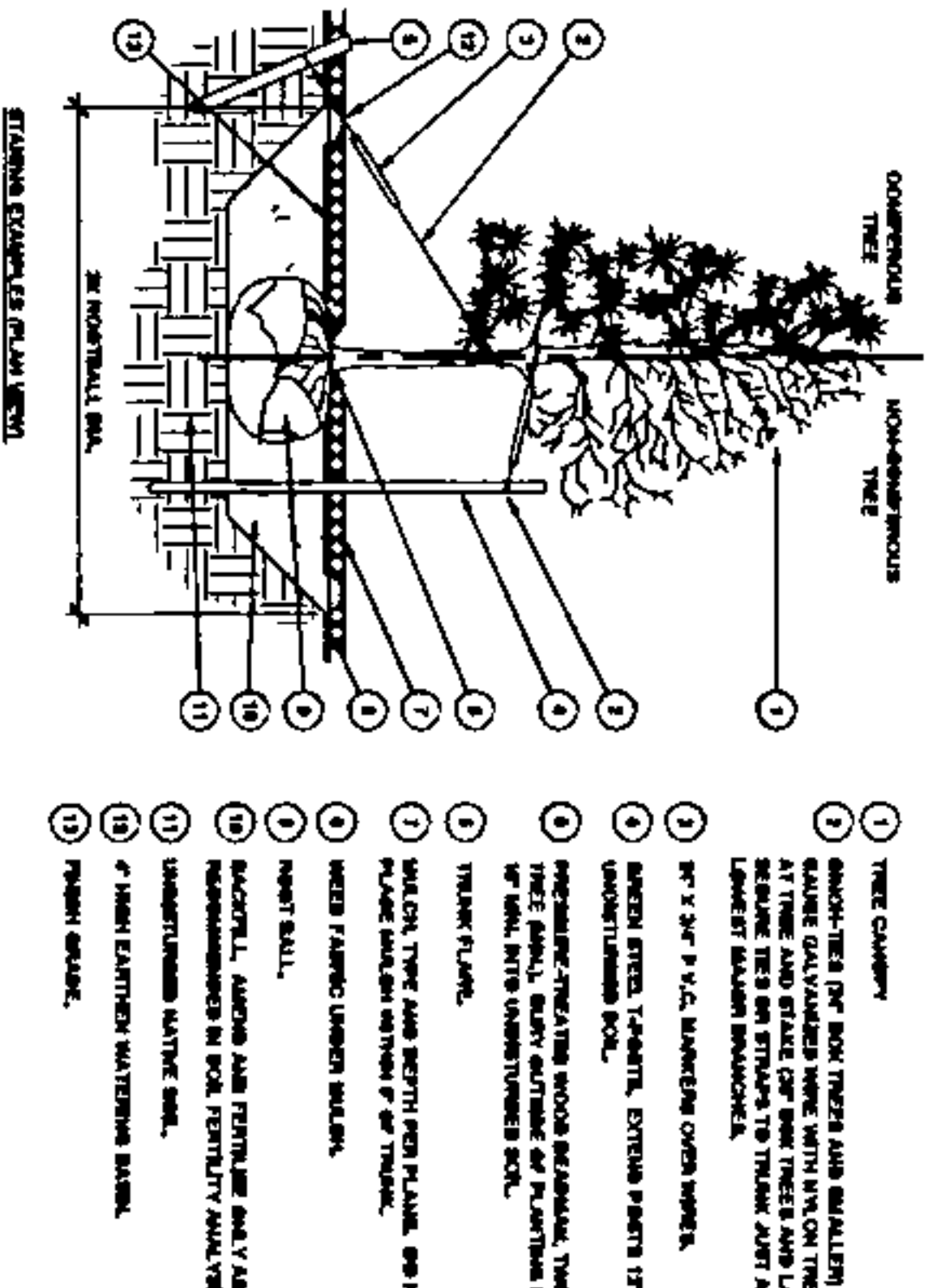
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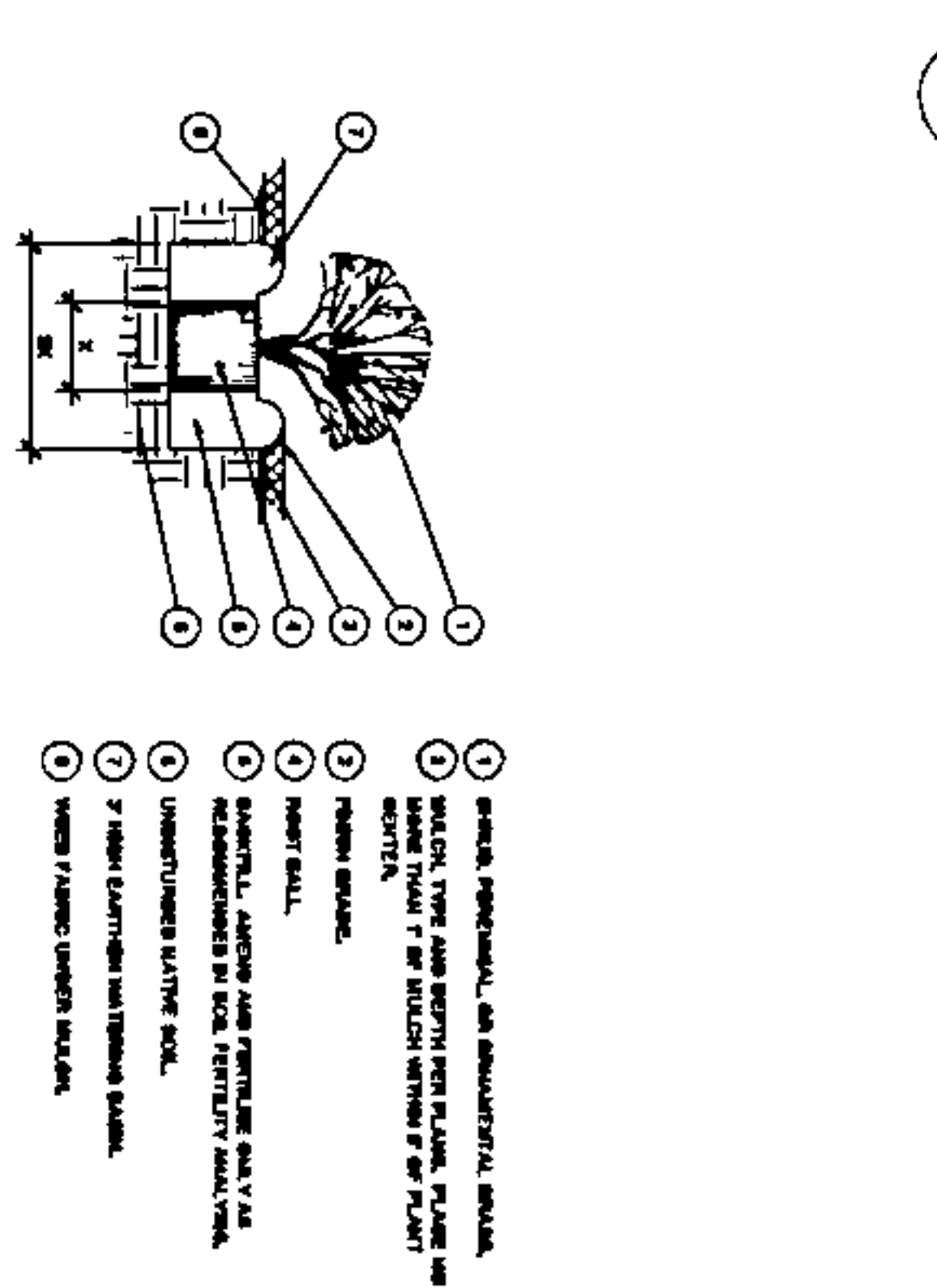
- D STEEL EDGING**
SCALE: NOT TO SCALE
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 2. TYPICAL STEEL STRIP
 3. SECTION, TYPE AND SPACING PER PLAN
 4. FINISH SLAB



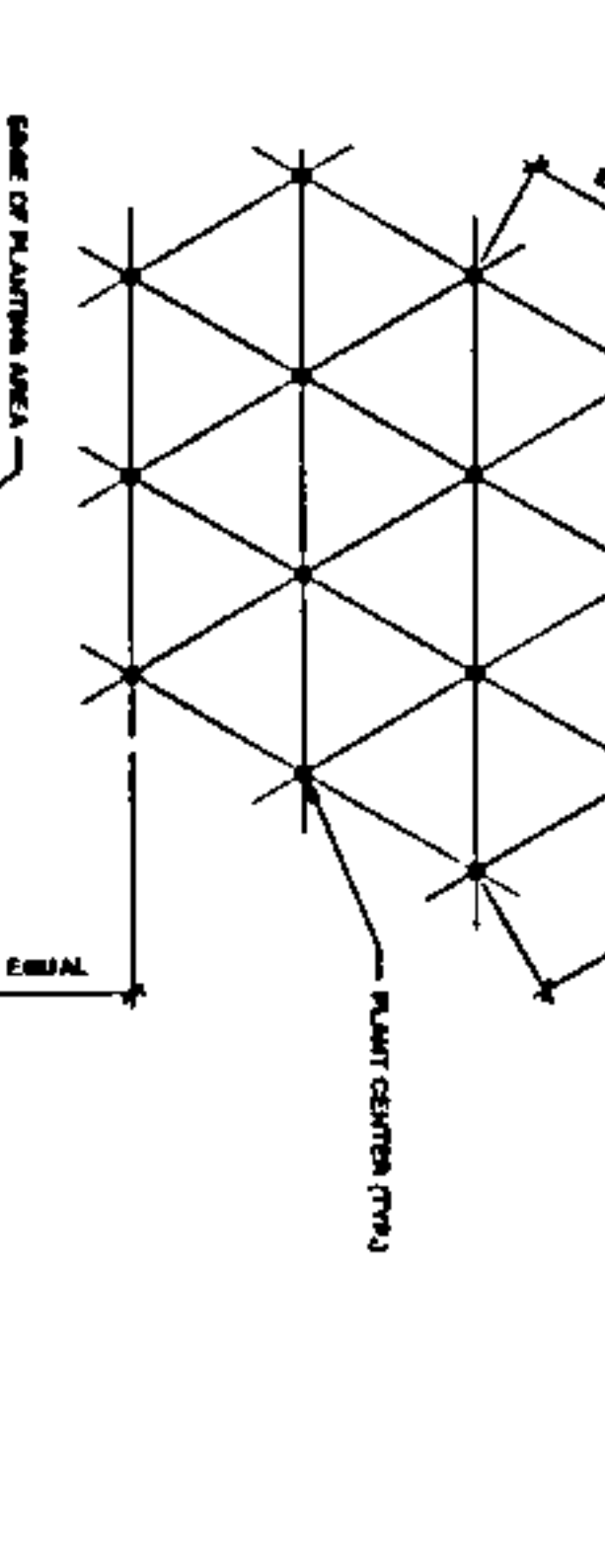
- E HEDGE PLANTING AT PARKING AREA**
SCALE: NOT TO SCALE
1. HEDGE
 2. PLANTING
 3. PLANT
 4. TYPE, SPACING AND SPACING PER PLAN



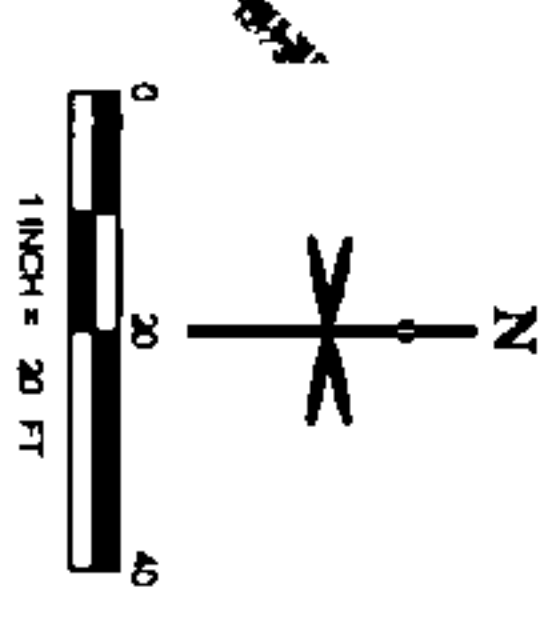
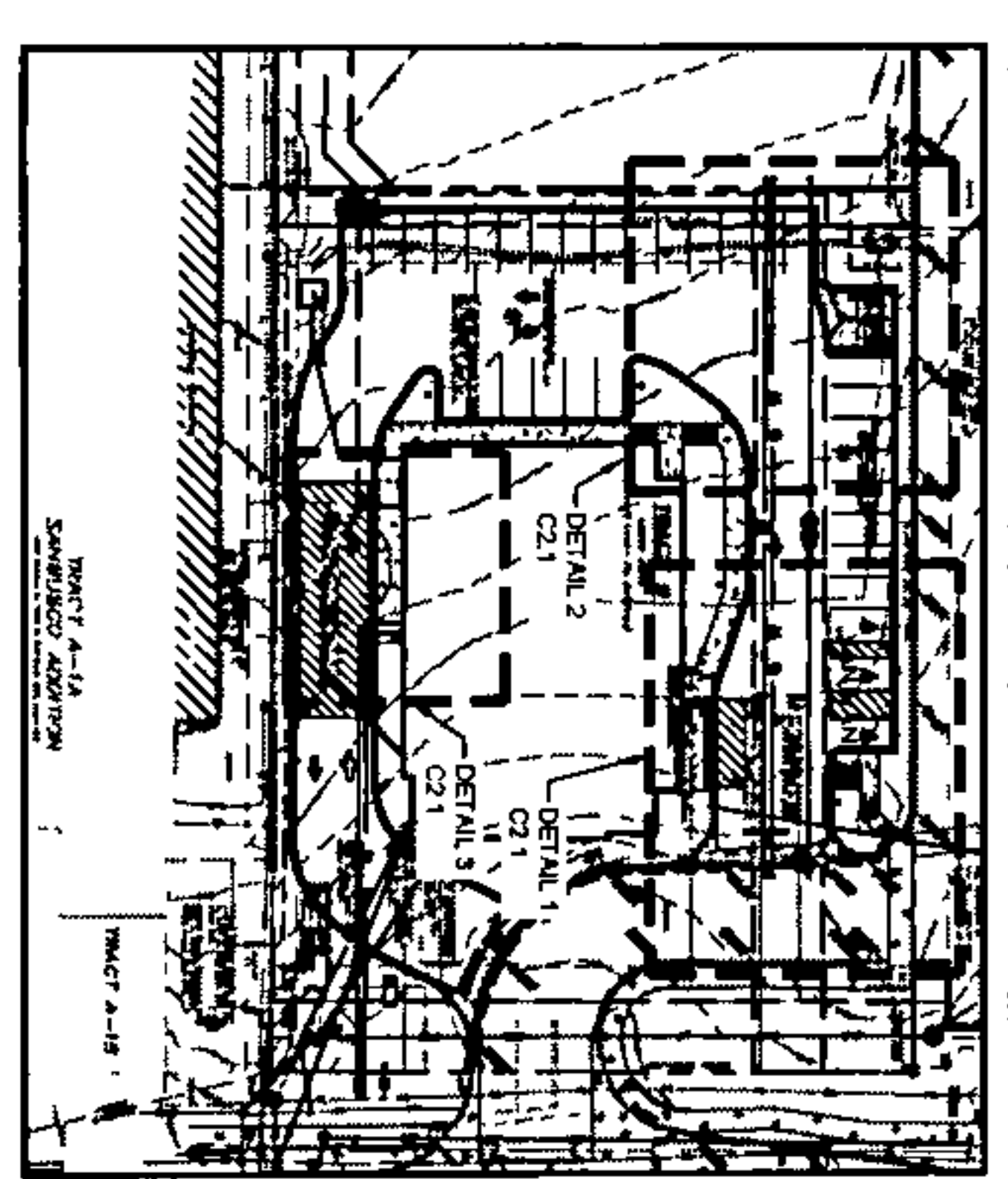
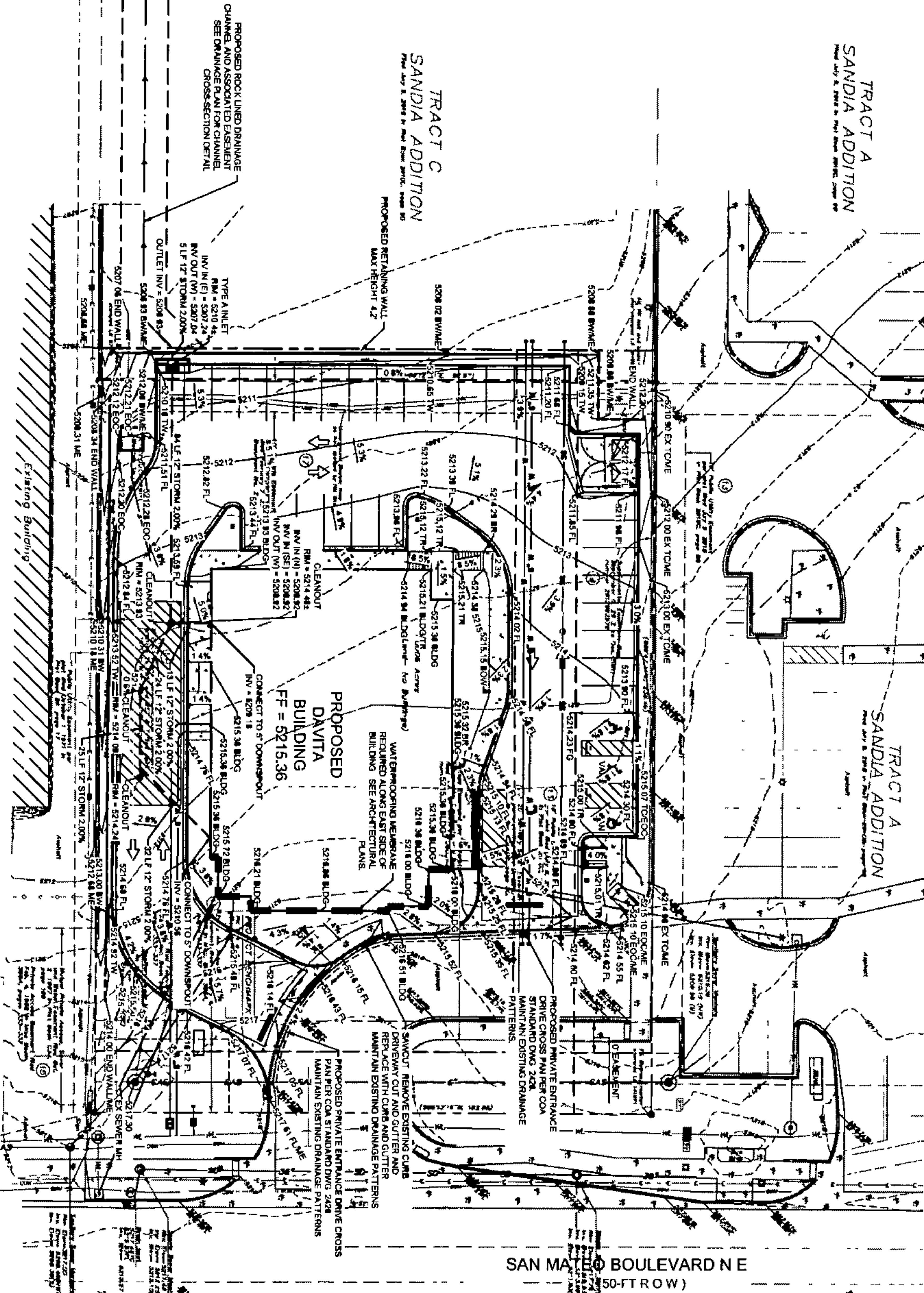
- A TREE PLANTING**
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 2. TREE TRUNK
 3. TREE ROOTS
 4. TREE SPACING
 5. TREE PLANTING
 6. TREE PLANTING
 7. TREE PLANTING
 8. TREE PLANTING
 9. TREE PLANTING
 10. TREE PLANTING
 11. TREE PLANTING
 12. TREE PLANTING



- B SHRUB AND PERENNIAL PLANTING**
SCALE: NOT TO SCALE
1. SHRUB
 2. PLANTING
 3. PLANT
 4. TYPE, SPACING AND SPACING PER PLAN



- C PLANT SPACING**
SCALE: NOT TO SCALE
1. PLANT SPACING
 2. PLANT SPACING
 3. PLANT SPACING
 4. PLANT SPACING



LEGEND

	PROPERTY LINE
	EASEMENT LINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	TOP OF SLOPE
	PROPOSED F.C. CONTOUR
	PROPOSED S.F. CONTOUR
	PROPOSED STORM LINE
	PROPOSED WALL
	PROPOSED WATERPROOFING MEMBRANE
	SPOT ELEVATION
	PROPOSED FLOW LINE ELEVATION
	PROPOSED TOP OF DAM ELEVATION
	PROPOSED GRADE AT TOP OF WALL
	PROPOSED GRADE AT BOTTOM OF WALL
	PROPOSED GRADE TO MATCH EXISTING
	PROPOSED GRADE AT EDGE OF CONCRETE
	PROPOSED GRADE AT TOP OF RAMP
	PROPOSED GRADE AT BOTTOM OF RAMP
	FLOW ARROW AND GRADE
	PROPOSED CURB INLET
	EXISTING SANITARY/STORM MANHOLE

GENERAL NOTES

1. REQUIREMENTS SHOWN ON THE SITE PLAN SHALL GOVERN. DRAWINGS AND CUT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BID.
2. NO WORK IS TO BE DONE UNTIL ALL PERMITS HAVE BEEN OBTAINED.
3. FINAL GRADES ARE SUBJECT TO CHANGE BY CONTRACTOR. NO GRADE CHANGES IN EXCESS OF ONE FOOT WITHOUT ENGINEER APPROVAL.
4. ANY ALL UTILITIES REQUIRED TO BRING THE SITE TO GRADE SHALL BE CLEAN UP AND APPROVED BY GEOTECHNICAL ENGINEER. SEE NOTES FOR SOIL PREPARATION THIS SHEET.
5. ALL LANDSCAPING AREAS SHALL BE GRADED 0.10' WITH COMPANY APPROVED SOIL.
6. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING DEPOSITION OF ORIENTED STRIPS ONTO SURROUNDING PUBLIC STREETS DURING CONSTRUCTION.
7. SEE THE SITE SURVEY FOR SURVEY INFORMATION AND LEGAL DESCRIPTION.
8. GRADES SHOWN ARE FLOWLINE UNLESS OTHERWISE NOTED.
9. GUTTER GRADES SHALL BE A MINIMUM 1.0%.
10. ADA SIDEWALK AND PAVING SHALL COMPLY WITH 118V.04.
11. THE PROPOSED STORM SEWER IS DESIGNED FOR THE 10-YEAR STORM EVENT. IN THE EVENT THE INLET GATE BECOMES COMPLETELY CLOGGED, INFLOW WILL POOL WITHIN THE PAVING AREA AT THE LOWEST POINT LOCATED IN THE SOUTHWEST CORNER OF THE SITE FOR A DEPTH OF 6" WHERE IT WILL OVERTOP THE CURB AND SHEET FLOW DOWN THE LANDSCAPE AREA IN A WESTERLY DIRECTION. THE INFLOW SHALL BE COLLECTED BY THE STORM SEWER AND DISCHARGED INTO THE PROPOSED CHANNEL AND CARRIED TO THE EXISTING SOUTH POUD.

SOIL PREPARATION NOTE

SOIL PREPARATION FOR NONLANDSCAPE AREAS SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS:
 GEOTECHNICAL ENGINEER: TERRACON CONSULTANTS, INC.
 PROJECT NO. 08150041, DATED JANUARY 8TH 2015.
 THE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONTRACTING INFORMATION. REFER TO GEOTECHNICAL NOTES FOR SPECIFIC SOIL PREPARATION AT SITE STRUCTURES. REFER TO THE LANDSCAPE PLANS FOR SPECIFIC PLANNING AREA SOIL AMENDMENT PROCEDURES.

PROJECT BENCHMARK & VERTICAL DATUM

ALL CONCRETS FOUND IN PLACE AND HELD WERE TAGGED WITH A BRASS DISK STAMPED 74000 L.S. 87/07 OR 74000 L.S. 11/08 UNLESS OTHERWISE INDICATED HERETO.
 ALL CONCRETS THAT WERE SET ARE EITHER A 5" REBAR WITH CAP STAMPED 74000 L.S. 87/07 OR 74000 L.S. 11/08 OR A CONCRETE WALL WITH BRASS DISK STAMPED 74000 L.S. 87/07 OR 74000 L.S. 11/08 UNLESS OTHERWISE INDICATED HERETO.
 VERTICAL DATUMS IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "F" 8, ELEVATION = 5212.2 (MVD 1988).

PROJECT BASIS OF BEARING

BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS. CENTRAL ZONE. NAD83.

LEGAL DESCRIPTION

TRACT LETTING "C" OF THE PLAT OF TRACTS A, B, & C SANDIA ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, FEBRUARY 2010, AS THE SAME IS SHOWN AND DESCRIBED ON SAID PLAT FILED FOR RECORD ON JULY 9, 2010, AND RECORDED AS DOCUMENT 2010002877 IN THE RECORDS OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO.

No	REVISION	BY	DATE

PRELIMINARY NOT FOR CONSTRUCTION

EES ENTITLEMENT & ENGINEERING SOLUTIONS, INC.
 10000 N. ALBUQUERQUE BLVD. SUITE 100
 ALBUQUERQUE, NM 87113
 TEL: 505-263-1100 FAX: 505-263-1101
 WWW.EES-ENT.COM
 FIRM NO. F 14751

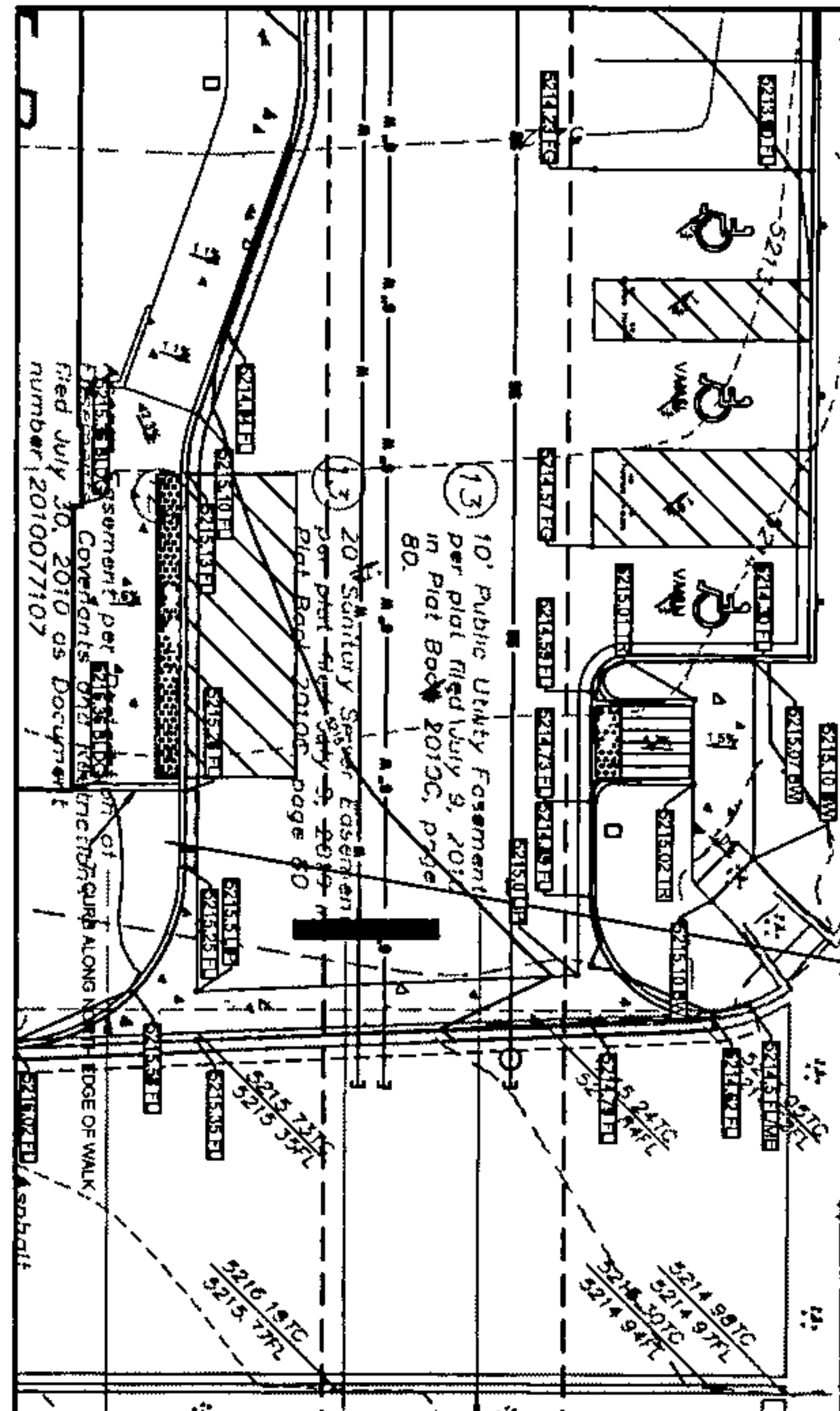
CIVIL CONSTRUCTION DOCUMENTS

DAVITA DIALYSIS CENTER - ALBUQUERQUE

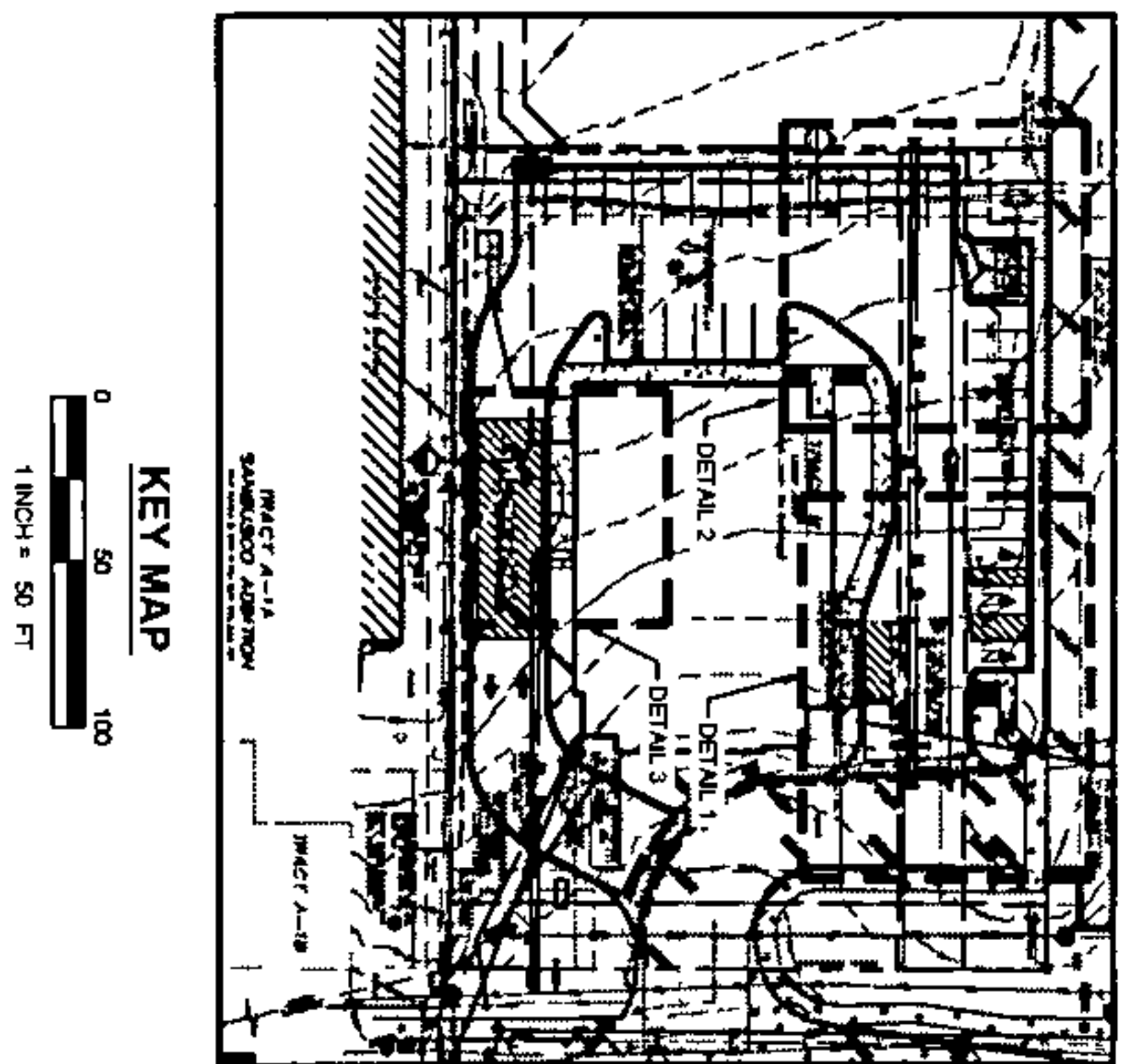
5307 San Mateo Boulevard N.E.

CONCEPTUAL GRADING PLAN

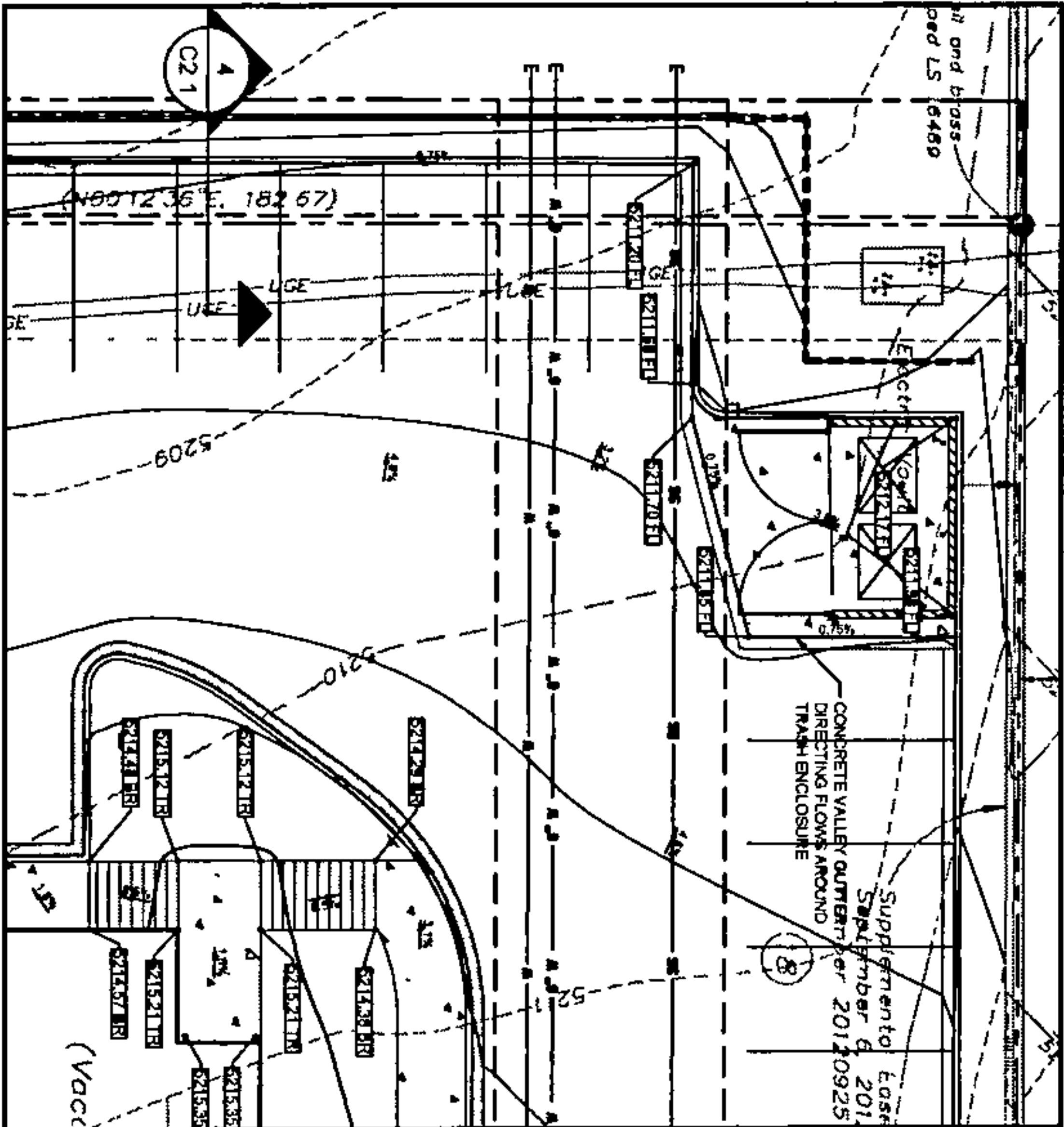
PROJECT NO. DAV023.01
 DESIGNED BY: KEM
 DRAWN BY: KEM
 DATE: 03/10/15
C2.0
 SHEET 4 OF 11



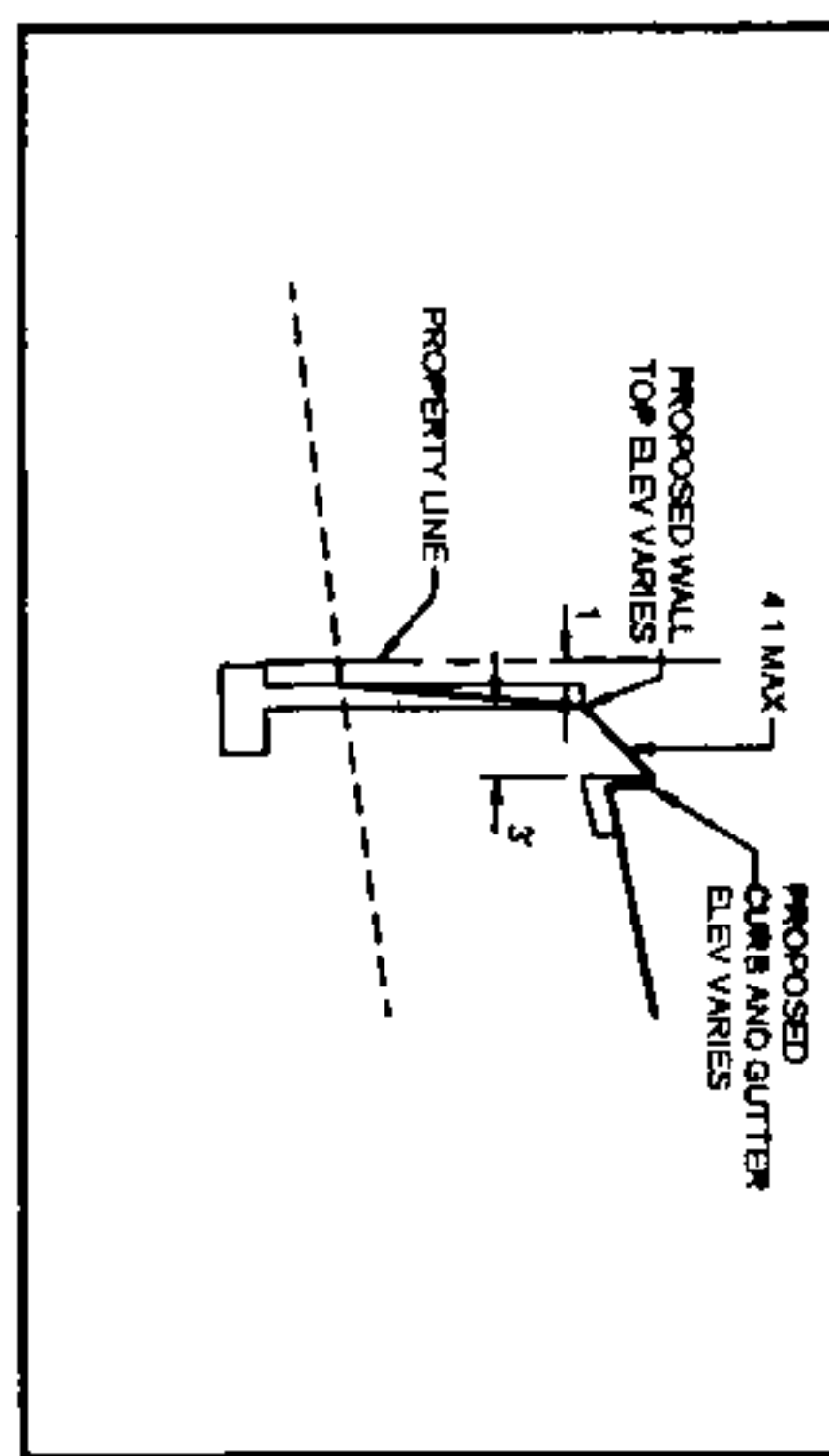
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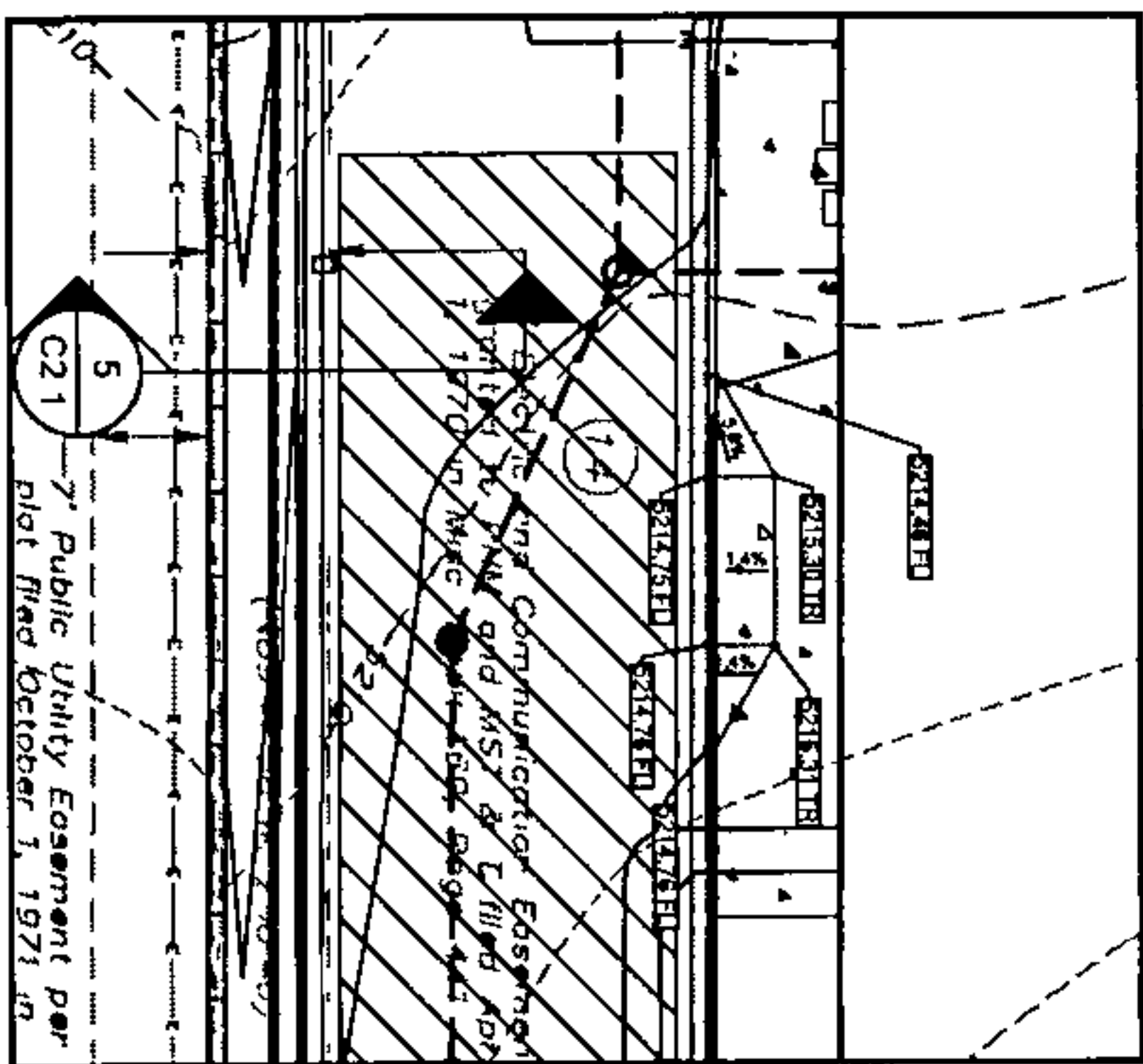
KEY MAP
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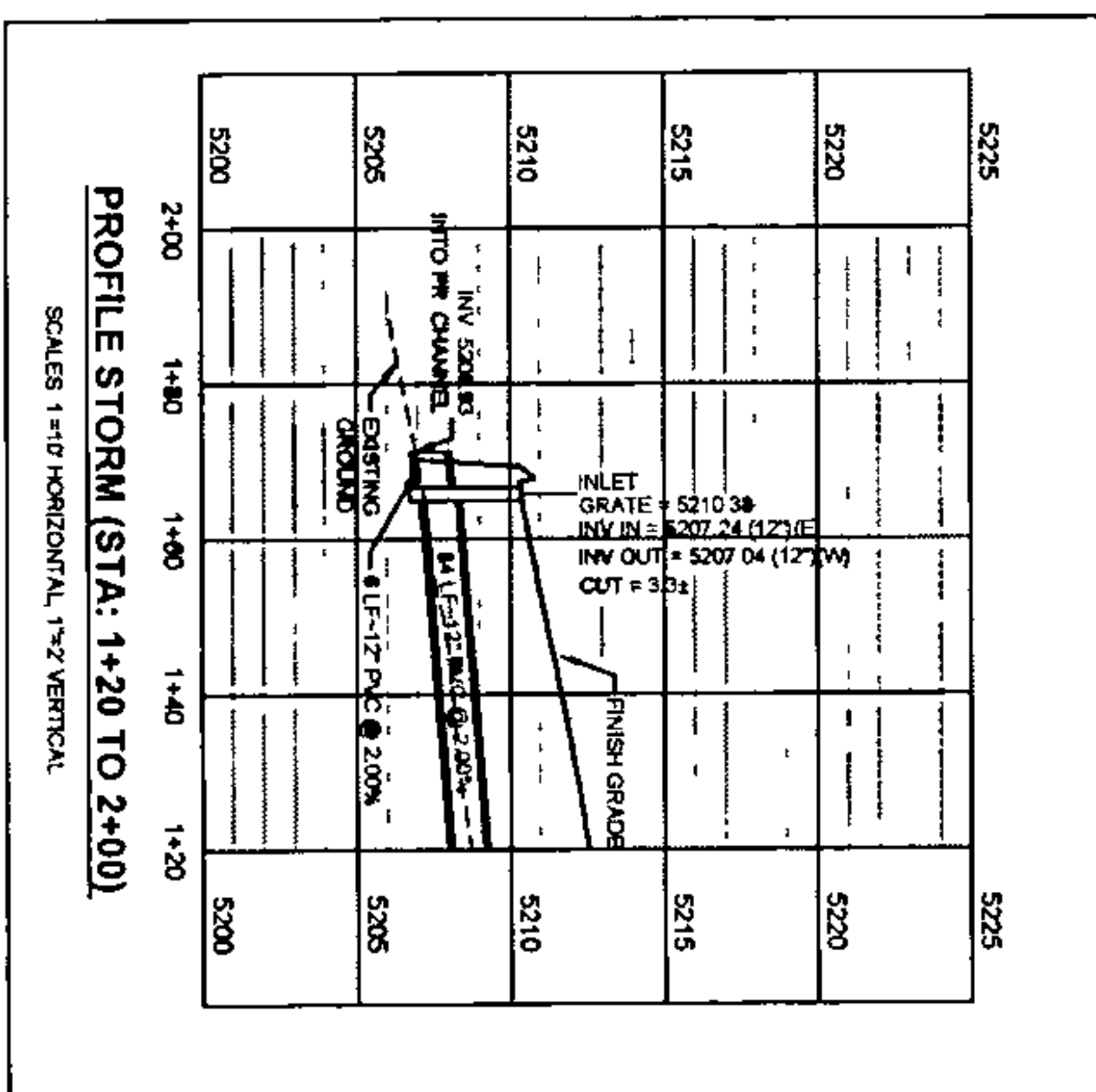
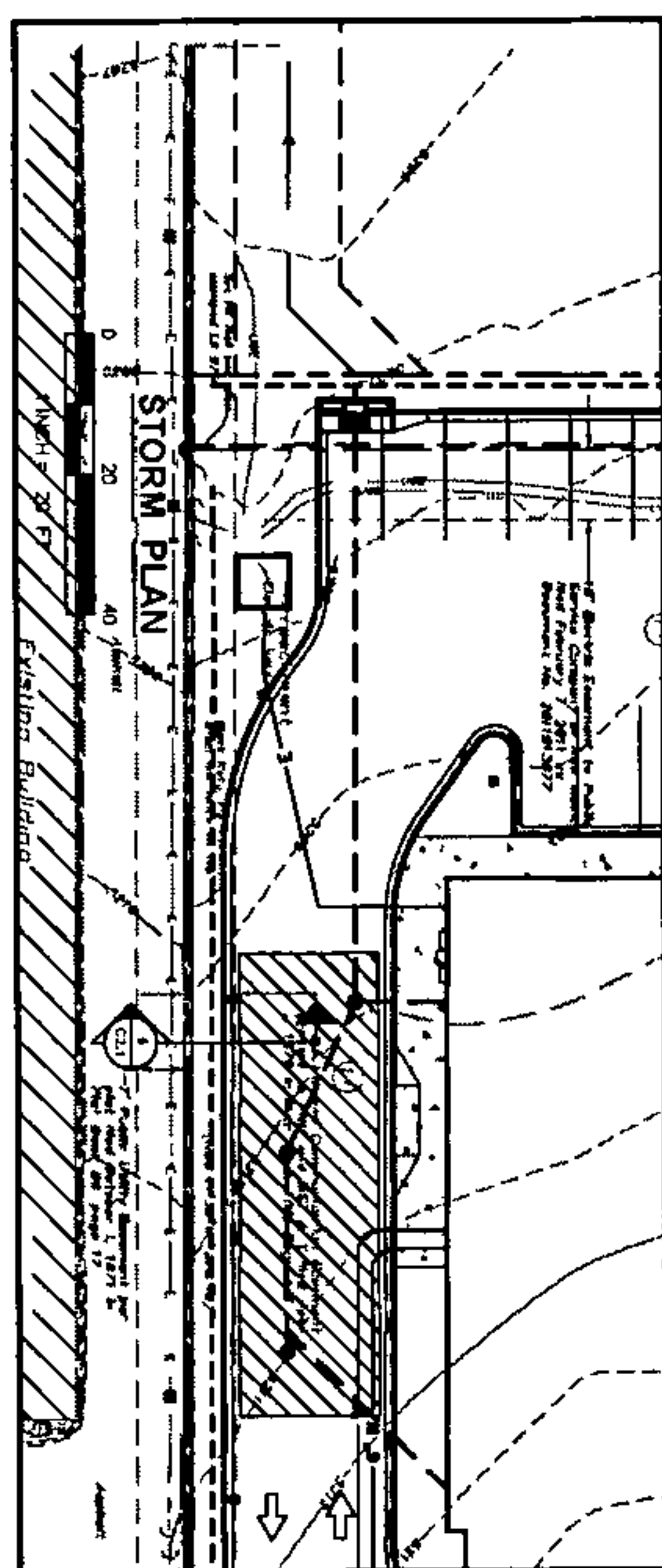
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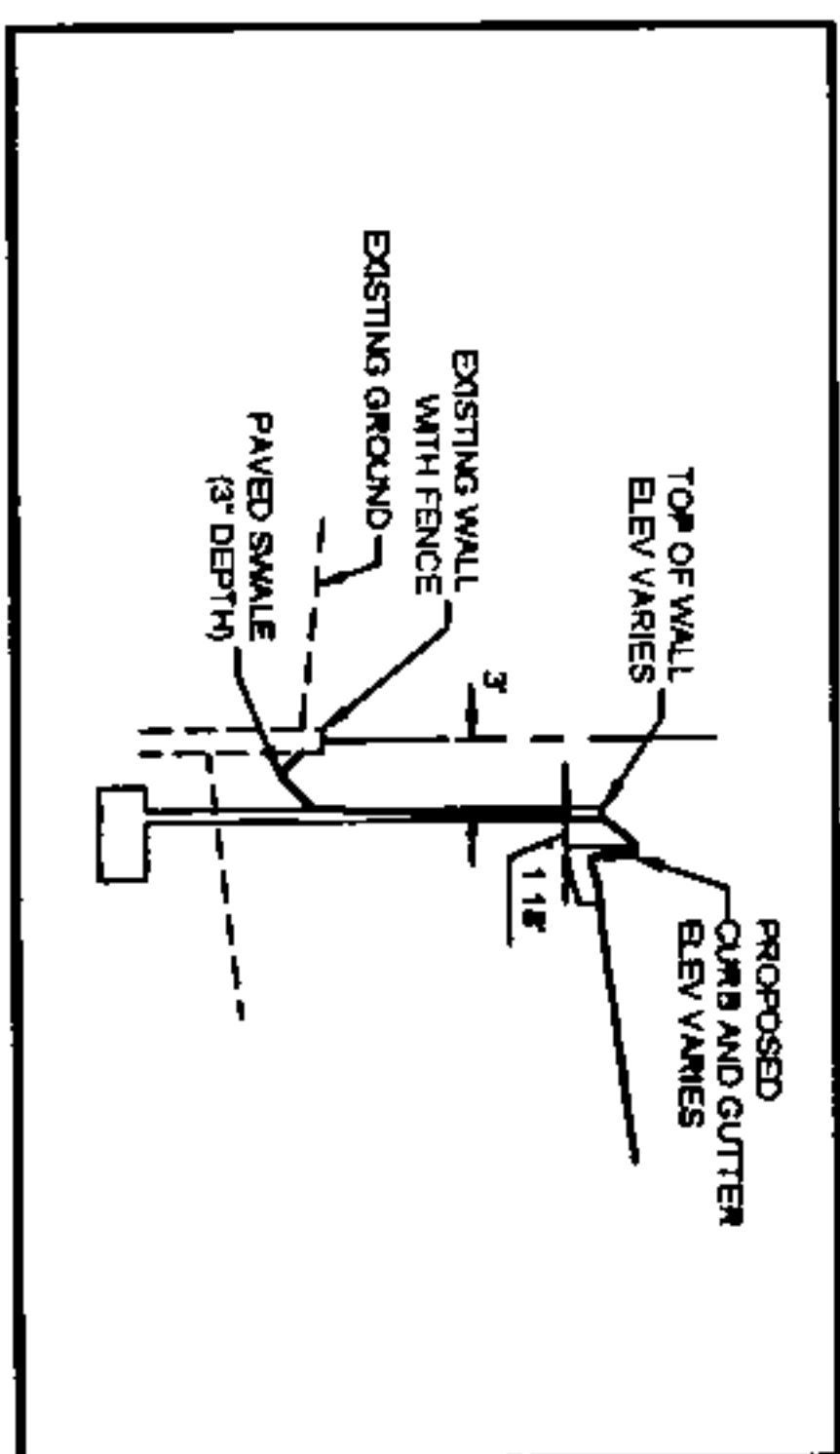
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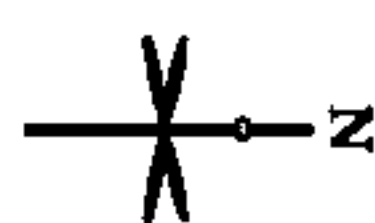
DETAIL 3
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1 INCH = 10 FT



PROFILE STORM (STA: 1+20 TO 2+00)
SCALES 1"=10' HORIZONTAL, 1"=2' VERTICAL



DETAIL 5
0 10 20
1 INCH = 10 FT



LEGEND

- PROPERTY LINE
- EASEMENT LINE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- TOE OF SLOPE
- PROPOSED CURB AND GUTTER
- PROPOSED STORM LINE
- SPOT ELEVATION
- PROPOSED FLOW LINE ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED GRADE AT EDGE OF CONCRETE
- FLOW ARROW AND GRADE

CIVIL CONSTRUCTION DOCUMENTS

DAVITA DIALYSIS CENTER - ALBUQUERQUE

5207 San Mateo Boulevard NE

CONCEPTUAL GRADING ENLARGEMENT AND STORM PROFILE PLAN

PROJECT NO: 040003.01
DESIGNED BY: VLB
DRAWN BY: GAV/VAE
DATE: 03/10/14

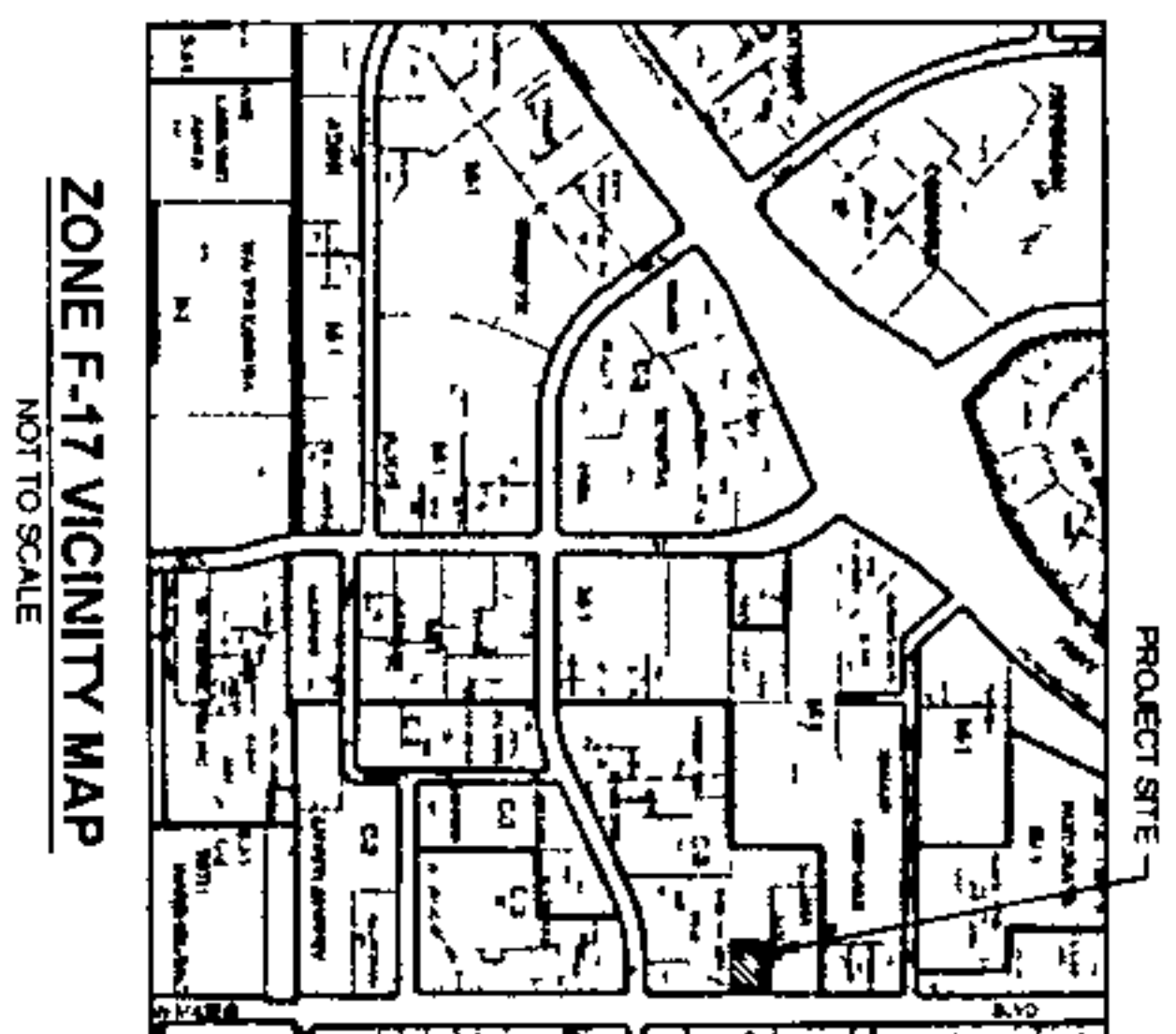
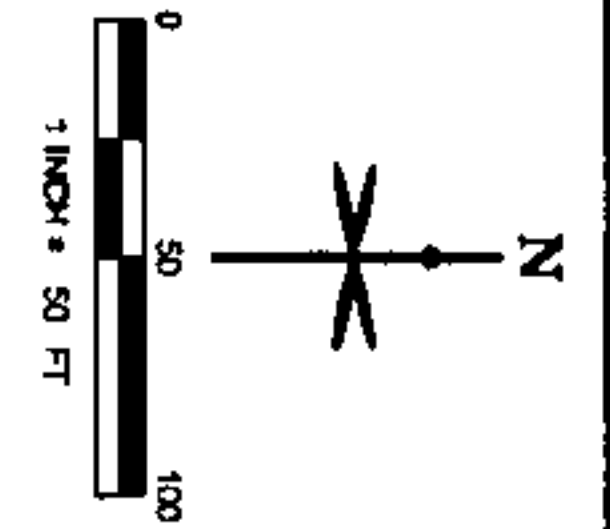
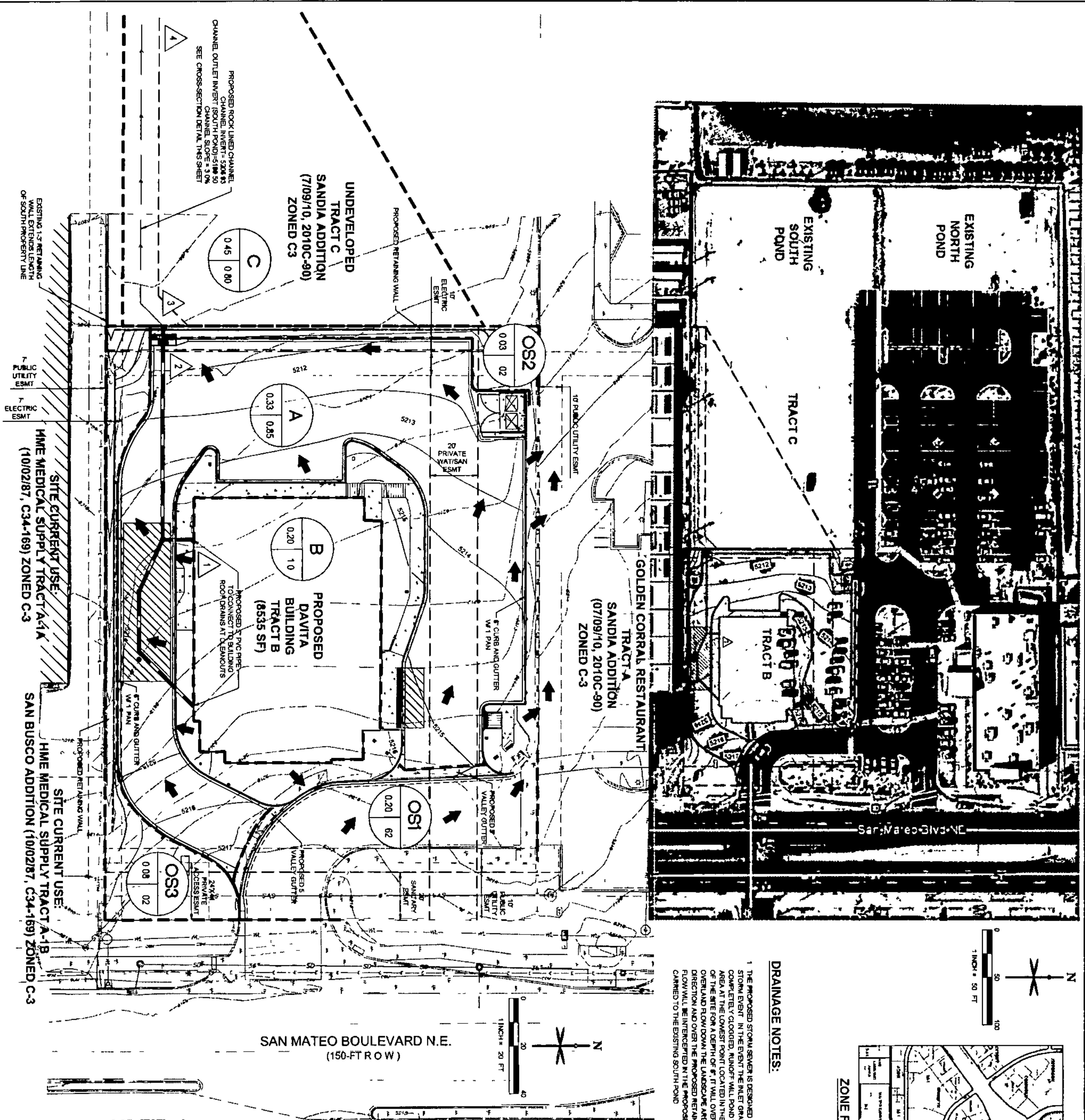
C2.1
SHEET 5 OF 11

SEES
ENTITLEMENT & ENGINEERING SOLUTIONS, LLC

1515 17th Street
Suite 1572
Denver, CO 80202
www.sees-llc.com
303-733-9977 FIRM NO. F-14751

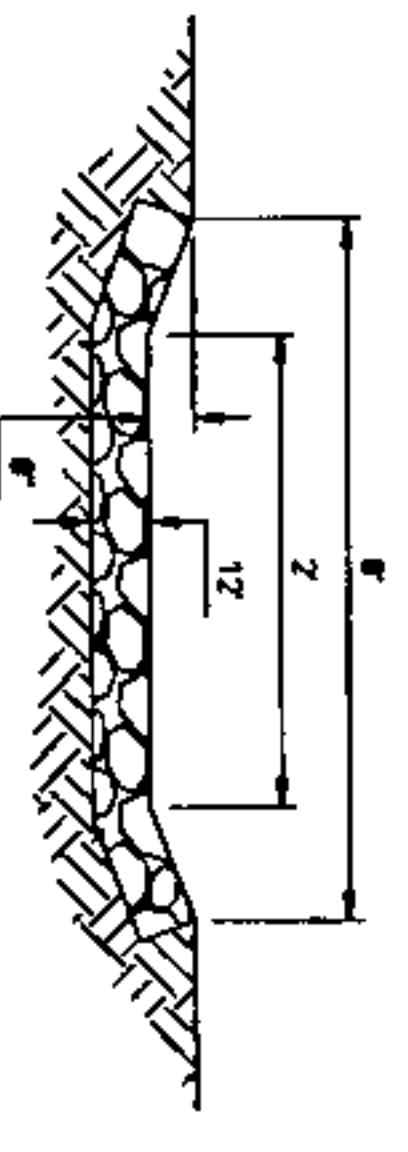
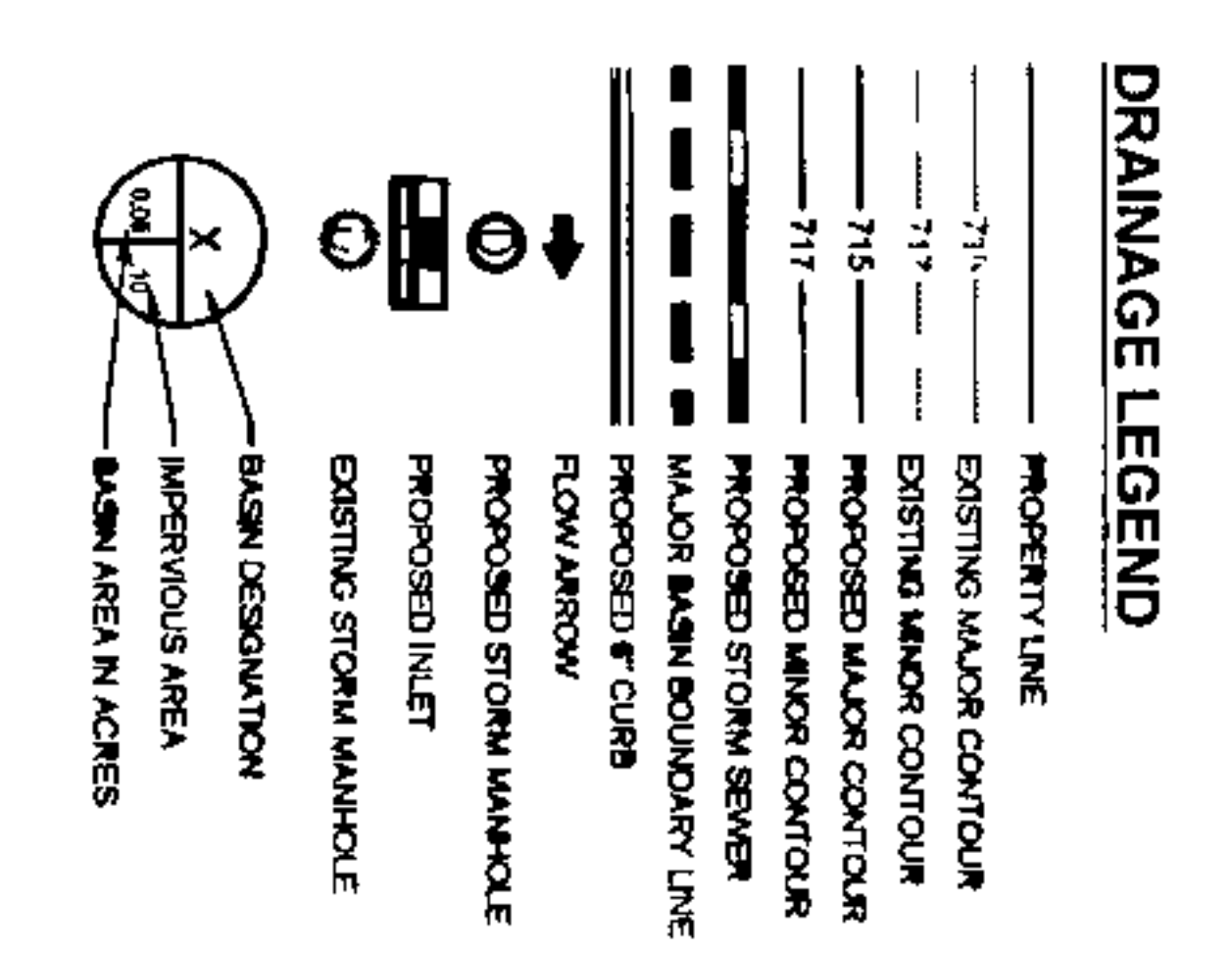
PRELIMINARY NOT FOR CONSTRUCTION

No	REVISION	BY	DATE



DRAINAGE NOTES:

1. THE PROPOSED STORM SEWER IS DESIGNED FOR THE 100-YEAR STORM EVENT. IN THE EVENT THE RILEY GRADE BECOMES COMPLETELY CLOSED, RUNOFF WILL FLOW WITH THE PARKING GARAGE AND THE CONCRETE DRIVE AND INTO THE CURB AND GUTTER AND OVER THE PROPOSED REMAINING WALL IN A WESTERN DIRECTION AND OVER THE PROPOSED REMAINING WALL, STORM FLOW WILL BE INTERCEPTED IN THE PROPOSED CHANNEL, AND CARRIED TO THE EXISTING SOUTH POND.



PROJECT BENCHMARK & VERTICAL DATUM

ALL CORNERS FOUND IN PLACE AND HAD BEEN TAGGED WITH A BRASS DISK STAMPED 7400 U.S. 8797 OR 7400 U.S. 1188 UNLESS OTHERWISE INDICATED HEREON.

ALL CORNERS THAT WERE SET ARE STAMPED WITH A 5/8" BRASS WITH CAP STAMPED 7400 U.S. 8797 OR 7400 U.S. 1188 OR A CONCRETE NAIL WITH BRASS DISK STAMPED 7400 U.S. 8797 OR 7400 U.S. 1188 UNLESS OTHERWISE INDICATED HEREON.

VERTICAL DATUMS BASED UPON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "4-11" ELEVATION = 5712.23 (NAD 83)

BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS CENTRAL ZONE NAD83

PROJECT BASIS OF BEARING

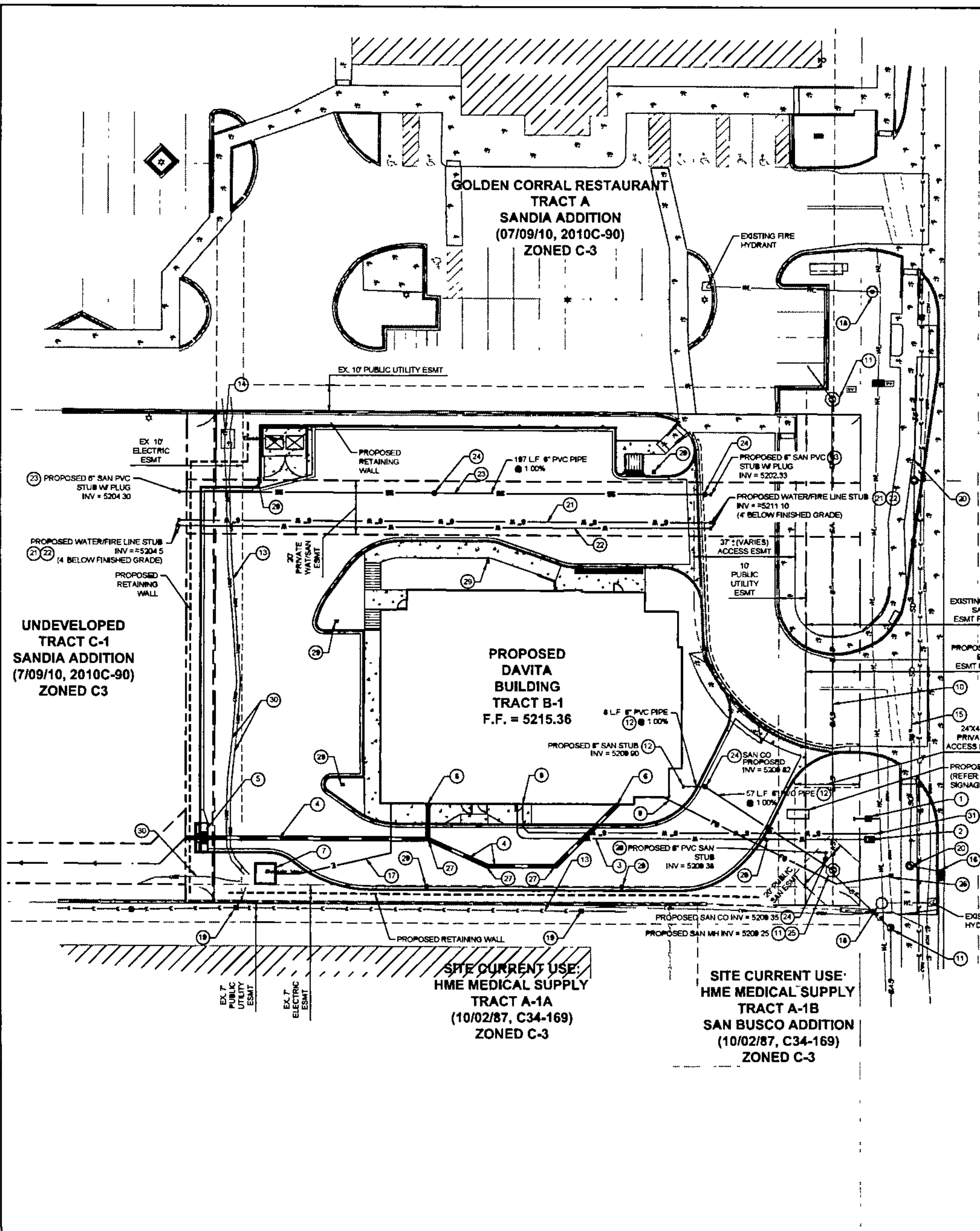
TABLE 1: BASIN SUMMARY RUNOFF TABLE

SITE ANALYSIS			
BASIN	DESIGN POINT	COUNTY-WIDE BASIN AVERAGE	100-YR Qpeak (CF/S)
A	2	0.25	1.48
B	1	0.20	0.82
OS1	0	0.20	0.82
OS2	0	0.00	0.11
OS3	3	0.08	0.14
C	4	0.45	1.84

CIVIL CONSTRUCTION DOCUMENTS		DAVITA DIALYSIS CENTER - ALBUQUERQUE		5207 San Mateo Boulevard N.E.		CONCEPTUAL DRAINAGE AREA PLAN							
PROJECT NO.	DAV003.01	DESIGNED BY	K.R.	CHECKED BY	K.R.	DATE	09/10/15						
C5.0		SHEET 9 OF 11											
<p>PRELIMINARY NOT FOR CONSTRUCTION</p>		<table border="1"> <tr> <th>No</th> <th>REVISION</th> <th>BY</th> <th>DATE</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>		No	REVISION	BY	DATE					<p>FIRM NO F-14751</p>	
No	REVISION	BY	DATE										

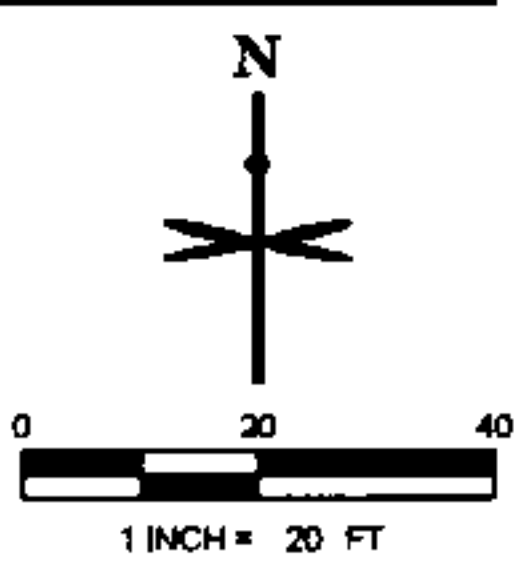
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P:\DAVITA\ALBUQUERQUE\5207 SAN MATEO BOULEVARD & UTILITY PLAN.DWG



LEGEND

- PROPOSED RETAINING WALL
- PROPERTY LINE
- EASEMENT LINE
- PROPOSED SANITARY SEWER
- PROPOSED WATER LINE
- PROPOSED GAS LINE
- PROPOSED ELECTRICAL LINE
- PROPOSED TELEPHONE LINE
- PROPOSED STORM LINE
- EXISTING SANITARY SEWER
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING TELEPHONE LINE
- EXISTING ELECTRICAL LINE
- EXISTING STORM LINE
- EXISTING FIRE HYDRANT
- PROPOSED SITE LIGHTING
- EXISTING PARKING LIGHTING
- PROPOSED INLET
- EXISTING SANITARY/STORM MANHOLE



NOTES

1. UTILITY SERVICE INSTALLATION AND MATERIALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE SPECIFICATIONS.
2. ALL SEWER SERVICE PIPE SHALL BE POLYVINYL CHLORIDE GRAVITY PIPE (PVC) SDR 35 MINIMUM BURY DEPTH PER CITY OF ALBUQUERQUE REQUIREMENTS.
3. CONTRACTOR TO FIELD VERIFY LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. WHETHER SHOWN ON THE PLANS OR NOT. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
4. AT PROPOSED UTILITY CROSSINGS, CONTRACTOR IS TO VERIFY THE REQUIRED GRADES AND CLEARANCES PRIOR TO COMMENCING CONSTRUCTION. ANY REQUIRED CHANGES ARE TO BE COORDINATED DIRECTLY WITH ENGINEER.
5. PIPE LENGTHS ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR.
6. UTILITY BURY DEPTH SHALL CONFORM TO CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS.
7. REFER TO CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS AND CONSTRUCTION SPECIFICATIONS FOR SANITARY WATER AND STORM SEWER TRENCHING BACKFILL REQUIREMENTS.
8. VERIFY LOCATION, ELEVATION AND SIZE OF UTILITY CONNECTIONS INTO BUILDING WITH MECHANICAL PLANS PRIOR TO CONSTRUCTION.
9. WATER SERVICE LINES SHALL HAVE A COVER NOT LESS THAN 4" AND SHALL CONFORM TO COA STANDARD SPECIFICATIONS.
10. PROPOSED STORM SEWER PIPE IS PRIVATE.
11. ALL EXISTING UTILITIES TO REMAIN UNLESS OTHERWISE NOTED. PROTECT IN PLACE FROM DAMAGE.
12. WATER, FIRE, AND IRRIGATION METER AND BACKFLOW PREVENTERS SHALL BE IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATION.
13. ALL PROPOSED UTILITIES LOCATED IN PROXIMITY TO OR UNDER THE PROPOSED WEST AND SOUTH PERIMETER RETAINING WALL SHALL BE INSTALLED PRIOR TO WALL CONSTRUCTION. CONTRACTOR TO ENSURE NO CONFLICTS BETWEEN UTILITIES AND WALL DESIGN EXIST PRIOR TO CONSTRUCTION.

PROJECT BENCHMARK & VERTICAL DATUM

ALL CORNERS FOUND IN PLACE AND HELD WERE TAGGED WITH A BRASS DISK STAMPED "HUGG L.S. 0750" OR "HUGG L.S. 1180" UNLESS OTHERWISE INDICATED HEREON.

ALL CORNERS THAT WERE SET ARE EITHER A 5/8" REBAR WITH CAP STAMPED "HUGG L.S. 0750" OR "HUGG L.S. 1180" OR A CONCRETE WALL WITH BRASS DISK STAMPED "HUGG L.S. 0750" OR "HUGG L.S. 1180" UNLESS OTHERWISE INDICATED HEREON.

VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "S-F18", ELEVATION = 5212.23 (NAVD 1988).

PROJECT BASIS OF BEARING

BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS CENTRAL ZONE NAD83.

LEGAL DESCRIPTION

TRACT LETTERED "B" OF THE PLAT OF TRACTS A, B & C SANDIA ADDITION ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, FEBRUARY 2010, AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAT FILED FOR RECORD ON JULY 9, 2010 AND RECORDED AS DOCUMENT #201008217 IN THE RECORDS OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO.

UTILITY SCHEDULE

1. PROPOSED 1" METER BOX, COVER AND LID PER COA STANDARD DRAWING 2364 AND 2362 FOR 1" IRRIGATION SERVICE, TAP EXISTING 12" MAIN PER COA STANDARD SPECIFICATIONS (SEE IRRIGATION PLANS FOR CONTINUED LAYOUT).
2. PROPOSED 2" METER BOX, COVER AND LID PER COA STANDARD DRAWING 2367 AND 2363 TAP EXISTING 12" MAIN PER COA STANDARD SPECIFICATIONS.
3. PROPOSED 13/16" OF 2" TYPE K COPPER DOMESTIC WATER LINE.
4. PROPOSED 12" PVC STORM SEWER LINE. SEE SHEET C2.0 PLAN FOR INVERTS.
5. PROPOSED TYPE A STORM INLET PER COA STANDARD DRAWING 2201 AND 2202 SEE SHEET C2.0.
6. PROPOSED 5" PVC STORM PIPE FOR ROOF DRAIN CONNECTION AT BUILDING CLEANOUTS. SEE GRADING PLAN FOR INVERTS. REFER TO PLUMBING PLANS.
7. PROPOSED TRANSFORMER AND PAD PER PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) SPECIFICATIONS. REFER TO ELECTRICAL PLANS FOR DETAIL AND DESIGN.
8. PROPOSED TELECOMMUNICATIONS SERVICE LINE TO BUILDING REFER TO ELECTRICAL PLANS UNDER SEPARATE COVER.
9. EXISTING 8" SANITARY. PROTECT IN PLACE.
10. EXISTING SANITARY MANHOLE. PROTECT IN PLACE.
11. PROPOSED 6" PVC SANITARY SERVICE EXTENDING FROM EXISTING MANHOLE STUBBED TO 5' FROM BUILDING. REFER TO PLUMBING PLANS.
12. EXISTING ELECTRICAL TO REMAIN. PROTECT IN PLACE.
13. EXISTING ELECTRICAL VAULT. PROTECT IN PLACE.
14. EXISTING STORM SEWER.
15. EXISTING STORM INLET.
16. PROPOSED ELECTRICAL SERVICE TO BUILDING PER PNM STANDARDS. LOCATION SHOWN IS APPROXIMATE. REFER TO ELECTRICAL PLANS FOR DETAIL AND DESIGN.
17. EXISTING VALVE BOX FOR HYDRANT CONNECTION. PROTECT IN PLACE.
18. EXISTING UTILITY POLE. PROTECT IN PLACE.
19. EXISTING STORM MANHOLE. PROTECT IN PLACE.
20. PROPOSED 6" DIP FIRE LINE FOR TRACT C-1 FUTURE DEVELOPMENT. LINE STUBBED AND PLUGGED ON BOTH ENDS PER PLAN. PIPE PLUGGED ENDS TO INCLUDE ELECTRONIC LOCATION MARKER DEVICE PER COA STANDARD SECTION 170. DEVELOPER OF TRACT C-1 TO CONTINUE FIRE LINE AS NEEDED. SEE PLAN FOR INVERTS. MAINTAIN 4' BURY DEPTH MIN.
21. PROPOSED 4" PVC SLEEVE FOR DOMESTIC WATERLINE FOR TRACT C-1 FUTURE DEVELOPMENT. SEE PLANS FOR INVERTS. MAINTAIN 4' BURY DEPTHS. TO BE STUBBED AND PLUGGED ON BOTH ENDS PER PLAN. PIPE PLUGGED ENDS TO INCLUDE ELECTRONIC LOCATION MARKER DEVICE PER COA STANDARD SECTION 170. DEVELOPER OF TRACT C-1 TO INSTALL AND CONNECT DOMESTIC WATER LINE AS NEEDED.
22. PROPOSED 6" PVC SANITARY LINE TO BE STUBBED AND PLUGGED ON BOTH ENDS PER PLAN. PIPE PLUGGED ENDS TO INCLUDE ELECTRONIC LOCATION MARKER DEVICE PER COA STANDARD SECTION 170. DEVELOPER OF TRACT C-1 TO CONTINUE SANITARY LINE CONNECTIONS AS NEEDED.
23. PROPOSED HS-20 RATED 6" SANITARY SEWER CLEANOUT.
24. CONNECT 6" SANITARY SERVICE TO EXISTING MANHOLE PER COA STANDARD SPECIFICATIONS. SEE PLAN FOR INVERTS.
25. CONNECT TELECOMMUNICATIONS SERVICE TO EXISTING PEDESTAL PER QUASICABLE ONE STANDARDS.
26. PROPOSED HS-20 RATED 12" STORM CLEANOUTS. SEE SHEET C2.0.
27. PROPOSED 6" PVC SANITARY STUB W/ PLUG FOR FUTURE TRACT C-1 DEVELOPMENT. PIPE STUB TO INCLUDE ELECTRONIC LOCATION MARKER DEVICE PER COA STANDARD SECTION 170. CONNECTION TO STUB WILL REQUIRE LIFT STATION TO BE INSTALLED BY DEVELOPER OF TRACT C-1.
28. PROPOSED LIGHT POLE. REFER TO ELECTRICAL AND PHOTOMETRIC PLANS FOR DETAIL.
29. EXISTING ELECTRICAL LINES MAY REQUIRE VERTICAL ADJUSTMENT TO 3' BELOW PROPOSED FINISHED GRADES PER PNM REQUIREMENTS. CONTRACTOR TO COORDINATE WITH PNM.
30. PROPOSED 6" DIP FIRE SUPPRESSION LINE CONNECTION TO EXISTING 12" MAIN PER COA STANDARD SPECIFICATIONS.

NO.	REVISION	DATE	BY	DESCRIPTION

PRELIMINARY NOT FOR CONSTRUCTION



CIVIL CONSTRUCTION DOCUMENTS

DAVITA DIALYSIS CENTER - ALBUQUERQUE

5207 San Mateo Boulevard NE

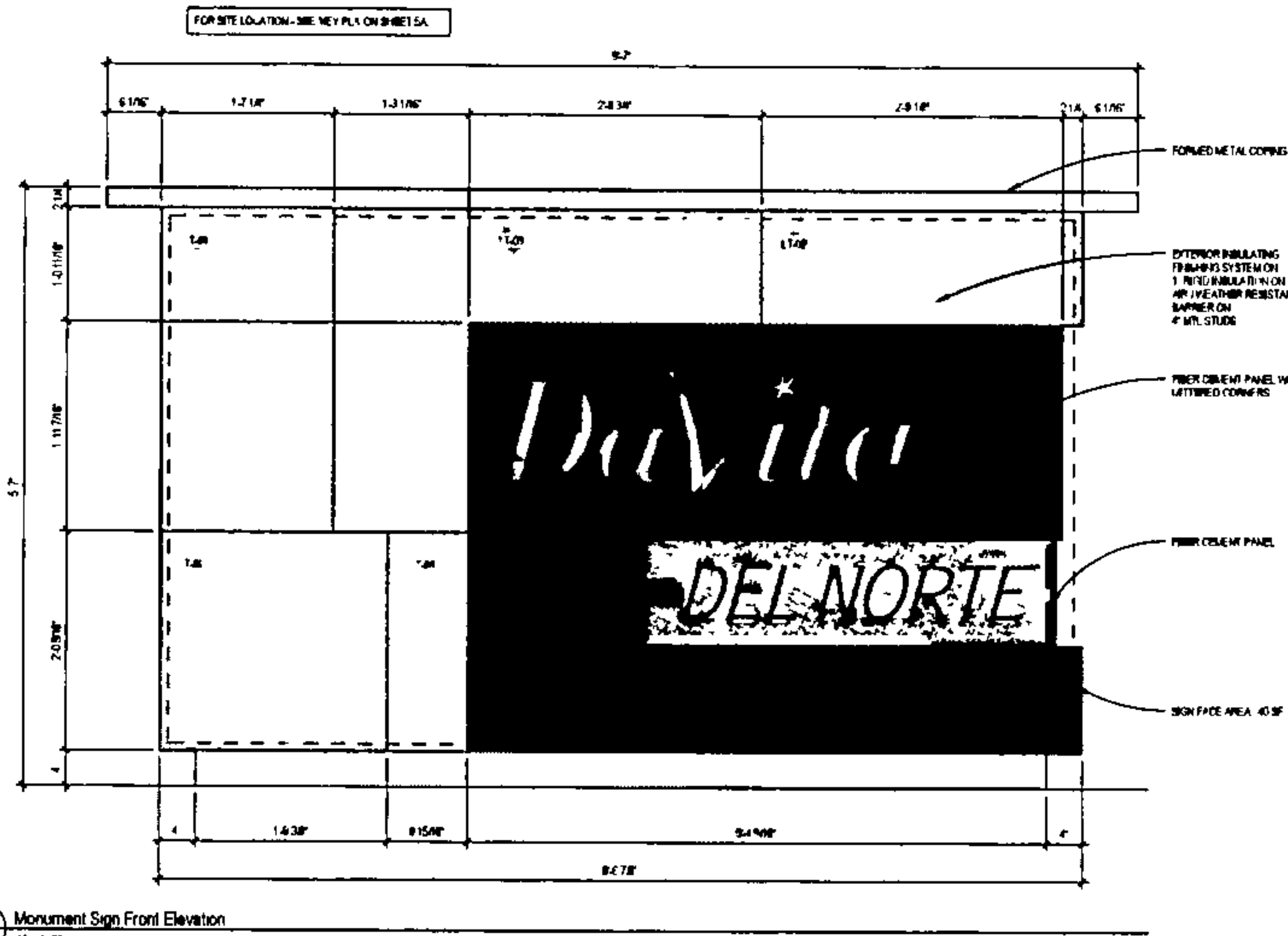
UTILITY PLAN

PROJECT NO.	DAV03.01
DESIGNED BY	KLR
DRAWN BY	KLR
DATE	03/10/15

C4.0
SHEET 8 OF 11

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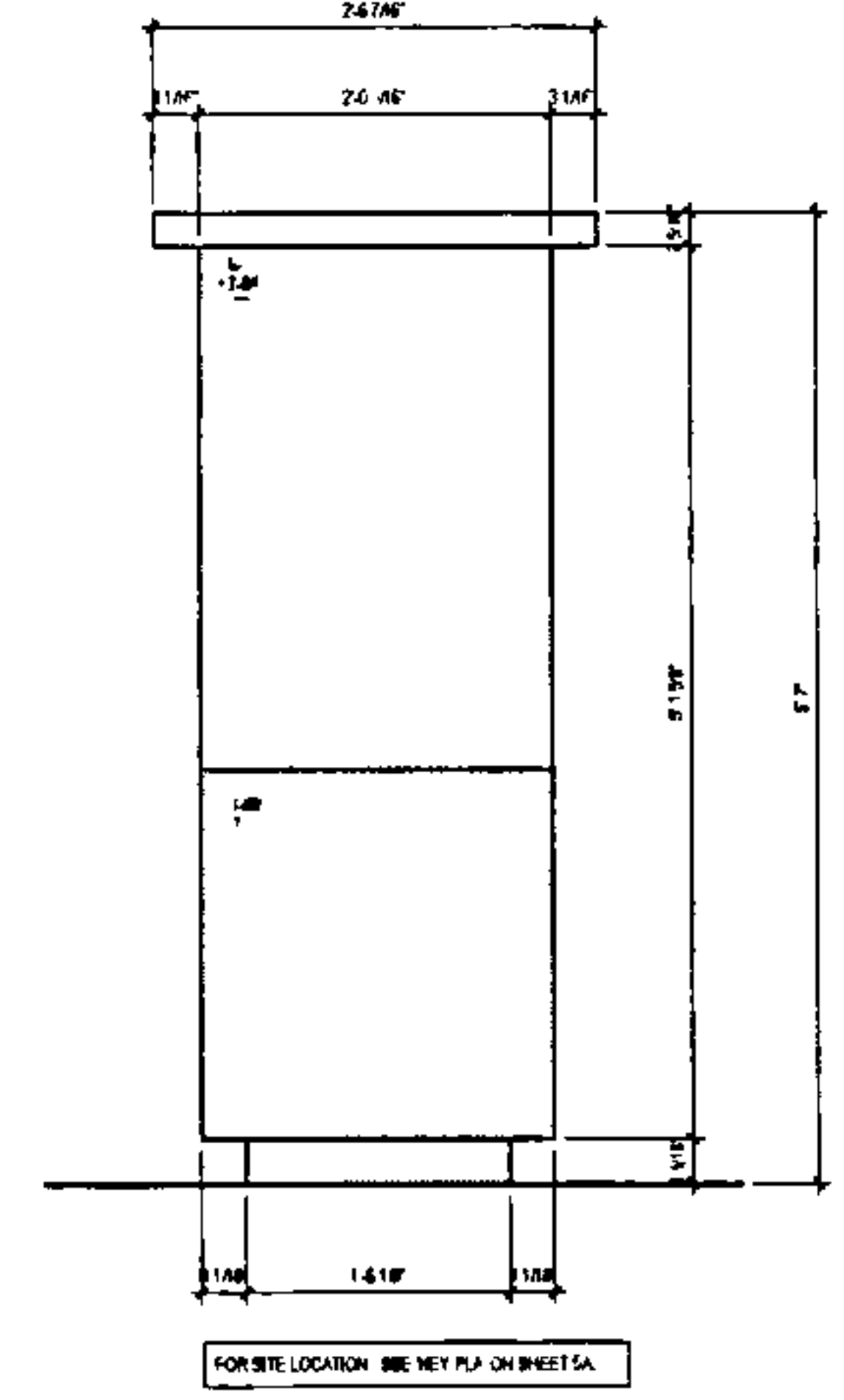
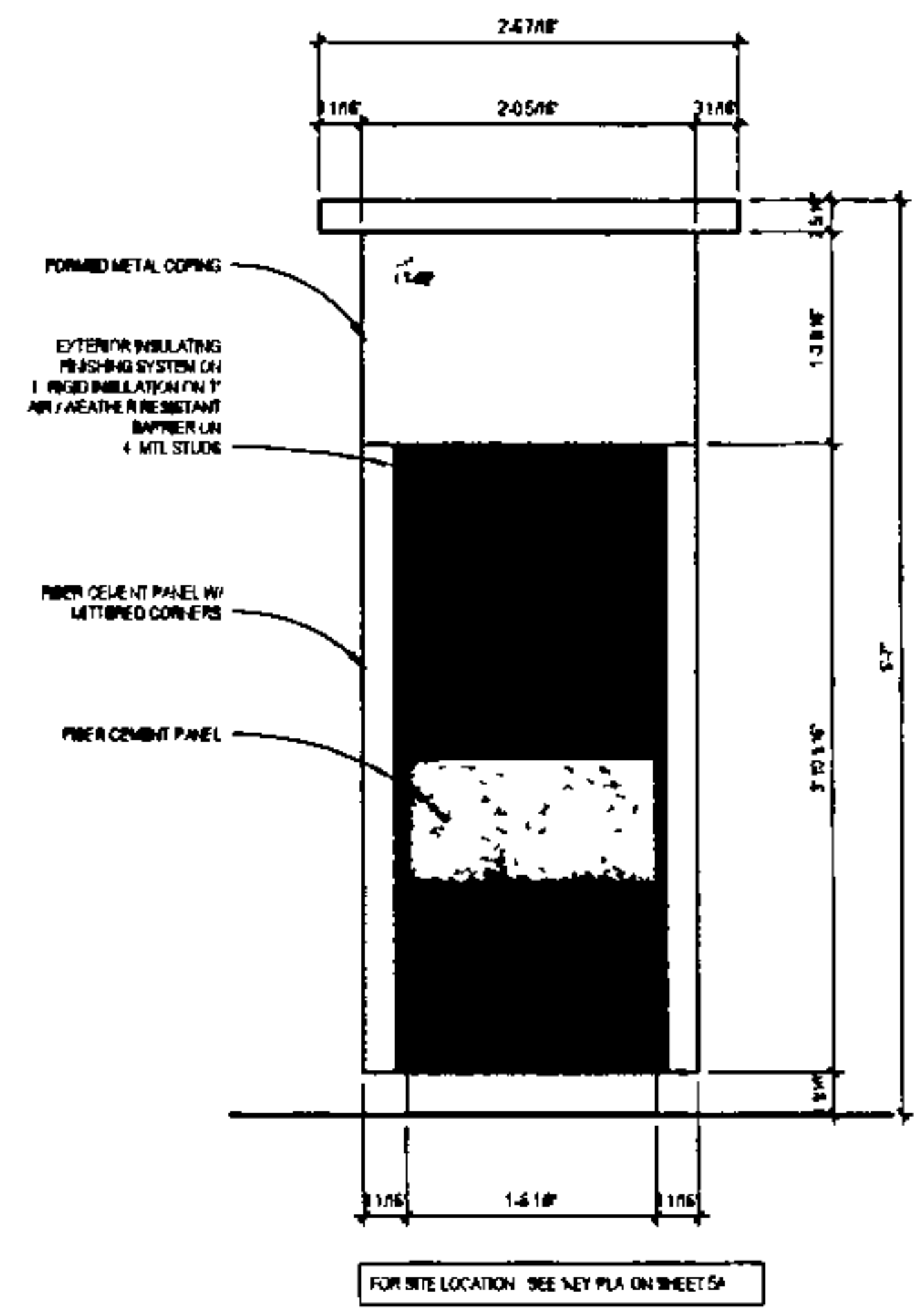
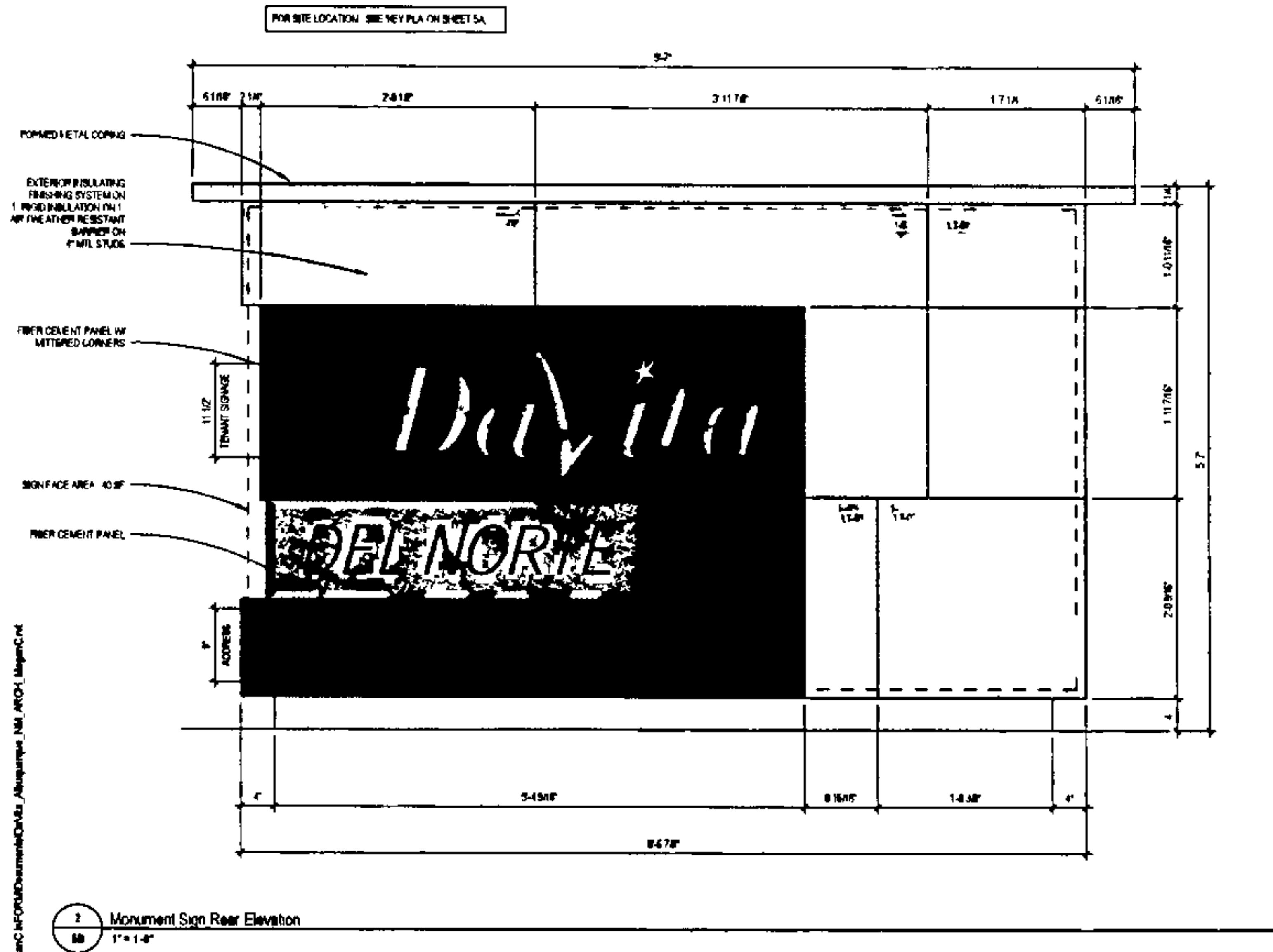
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SIGN FACE AREA MONUMENT SIGN 40 SF & BUILDING FACADE 30 SF = 110 SF TOTAL

ARTICLE	DESCRIPTION / REMARKS	MANUFACTURER	FINISH
EIFS	EIFS FINISH	EIFS	L101 STO Limestone Trim L142 STO Limestone Stud L143 STO Limestone Stud D101 STO Limestone Window D142 STO Limestone Window D143 STO Limestone Window
FIBER CEMENT PANEL	MID-RANGE VINTAGE WOOD & ILLUMINATION	HOH4	FCP1 VINTAGE WOOD FCP2 ILLUMINATION DRAFT BLUE PART ONE PAGE 24
FORMED METAL COPING	ALUMINUM METAL COPING FINISHING & COUNTERFLASHING W/ COPING EDGE		CLEAR ANODIZED
METAL SURFACE FINISHING	ALUMINUM METAL FINISHING		CLEAR ANODIZED
LIGHTING	IN-GROUND MOUNTED TYPE FIXTURE		

EIFS COLOR LEGEND	
FRONT	BACK
L101 STO Limestone Trim L142 STO Limestone Stud L143 STO Limestone Stud	D101 STO Limestone Window D142 STO Limestone Window D143 STO Limestone Window



NO.	REVISION	DATE	BY	CHKD.

PROJECT: Genesis KC Development, LLC
in Davita Healthcare Partners, Inc.
2960 14th Street
Denver, CO 80202

PROJECT: DAVITA INC. DIALYSIS CENTER
Del Norte Albuquerque (Shell)
5307 Del Norte Blvd NE
Albuquerque, NM 87112
Phone: 505.772.1124

5B

PRE-APPLICATION REVIEW TEAM (PRT) MEETING

Paul Wagner

PA# 15- 039

Date: 3-10-15 (tues)

Time: 3:45pm

1. AGENCY REPRESENTATIVES PRESENT AT MEETING

- Planning: [] Kym Dicome [x] Catalina Lehner
Others:
Transportation: [x] Jeanne Wolfenbarger [x] Other: Gary Sandoval
Code Enforcement: [] Ben McIntosh [x] Other: Vince Montano
Fire Marshall's office [] Antonio Chinchilla [x] Other: Eric Gonzales
Others:

2. TYPE OF APPLICATION ANTICIPATED / APPROVAL AUTHORITY

- [] Zone Map Amendment [] EPC Approval [] City Council Approval
[] Sector Dev. Plan Amendment [] EPC Approval [] City Council Approval
[] Site Dev. Plan for Subdivision [] EPC Approval [] DRB Approval [] Admin Approval
[x] Site Dev. Plan for Bldg Permit [] EPC Approval [x] DRB Approval [] Admin Approval
[] Other

3. SUMMARY OF PRT DISCUSSION:

Current Zoning: C-3
Applicable Plans: Comprehensive Plan
Applicable Design Regulations: Design Standards in Site Devel Plan for Subdivision
Other Applicable Regulations:
Previously approved site plans/project #: 1E07867
Proposed Use/Zone: dialysis center
Requirements for application: (R-270-1980, Notification, as-built drawings, TIS, Check Lists, Other)

Handouts Given:

- [] Zone Map Amendment Process [] R-270-1980 [] AA Process [] EPC Schedule [x] Fire checklists (2)

Further input needed: (Sketch Plat Review @ DRB, DRT, ZEO, ONC, pre-application facilitated meeting, other)

Additional Notes:

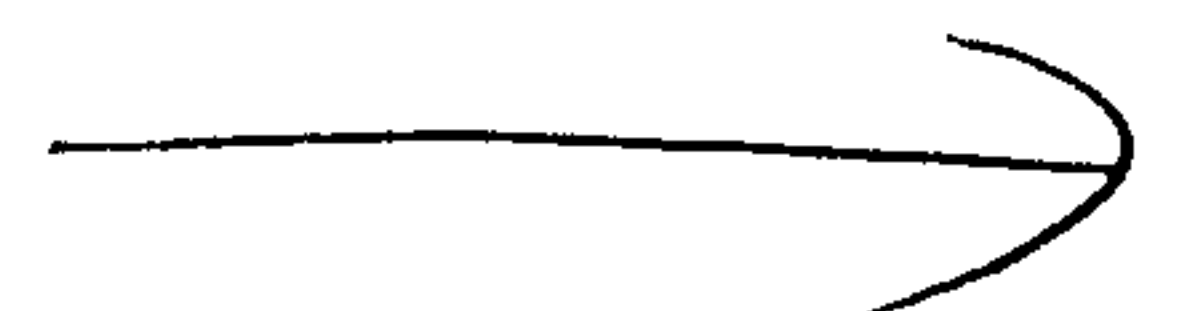
-subject site is approx. 1.3 acres + vacant
-applicant proposes a dialysis center
-design standards- see note 8, allows uses besides the orig envisioned restaurant w Drive up, as allowed in C-3.

4. SIGN & DATE TO VERIFY ATTENDANCE & RECEIPT OF THIS SUMMARY.

Catalina Lehner 3-10-15
PRT CHAIR

[Signature] 3-10-15
APPLICANT OR AGENT

***Please Note: PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY: THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL. Statements regarding Zoning are not Certificates of Zoning. Additional research may be necessary to determine the exact type of application and/or process needed. It is possible that factors unknown at this time and/or thought of as minor could become significant as the case progresses.



- dialign's center allowed in C-3 - OK
- process - see Sheet 2, #10 goes to DRB
- meet the design standards at DRB, which will use the standards as a checklist
- shared parking agreement on ^{larger} site
- Q. transportation layout - seems OK
- drainage ponds established - working w-hydrology
- use site devel plan for building permit checklist
- hydrants must be on same side of San Mateo Blvd
- get info to Fire - need sign-off before going to DRB.
- 2 fire pages - submit in E plan
- add elevations to the site devel plan set
- public hearing at DRB.
- if amend site development plan for subdivision, must go to EPC.
- may need another fire hydrant.



City of Albuquerque
Planning Department
Current Planning Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: May 28, 2010

**AMENDED OFFICIAL NOTIFICATION OF
DECISION**

FILE: Project # 1007867
09EPC-40042 SITE DEVELOPMENT -
SUBDIVISION
09EPC-40043 SITE DEVELOPMENT -
BUILDG PRMT

Sandia Foundation
6211 San Mateo Blvd. NE
Suite 100
Albuquerque, NM 87109

LEGAL DESCRIPTION: BOHANNAN
HUSTON INC, agents for SANDIA
FOUNDATION, request the above actions for all
or a portion of a tract in the E ½ SE ¼ NE ¼ Sec
35 T11N R3E zoned C-3 (SC) located on SAN
MATEO BLVD NE BETWEEN MCLEOD RD
NE AND LINCOLN RD NE containing
approximately 6.2 acres. (F-17) Carol Toffaleti,
Staff Planner

On September 17, 2009 the Environmental Planning Commission voted to **APPROVE** Project 1007867 / 09EPC-40042, a site development plan for subdivision, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. The request is a site development plan for subdivision for an unplatted site of 6.2 acres zoned C-3 (SC) located on San Mateo Blvd. between McLeod Rd. and Lincoln Rd., described as "a tract in the E1/2 SE1/4 NE1/4 Sec. 35 T11N R3E". The applicant proposes to split the site into three lots and sell them to other parties: Tract A has 2.54 acres, Tract B 1.30 acres, and Tract C 2.36 acres. The proposal includes design standards. The site will be developed in two or three phases.
2. The request is accompanied by a site development plan for building permit for a sit-down restaurant on proposed Tract A (09EPC-40043) and associated parking and access improvements on proposed Tracts B and C. Potential uses on Tracts B and C are a restaurant with a drive-up service window and an office/warehouse, but any uses allowed in the C-3 (SC) zone may be proposed in future. The applicant is requesting delegation of future site development plans for building permit for Tracts B and C to the DRB.

3. The applicant submitted a Traffic Impact Study (TIS), dated July 1, 2009, which has been verified by Transportation Development Services, and a Certificate of No Effect as required by the Archeological Ordinance.
4. The subject site is in the Established Urban Area of the Comprehensive Plan and on a designated Enhanced Transit Corridor.
5. The Albuquerque/Bernalillo County Comprehensive Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. The request furthers, or is consistent, with the following applicable goals and policies of the Comprehensive Plan:
 - a. The proposed and potential employment and service uses complement residential areas and are sited to minimize adverse effects of noise, lighting, pollution and traffic on residential environments (Policy I.B.5.i)
 - b. The project is adjacent to an arterial and follows recommendations in the TIS that will minimize harmful effects of traffic (Policy II.B.5.k)
 - c. The request facilitates the redevelopment of a sizable vacant property in an established commercial area (Policy II.B.5.o)
 - d. The subdivision standards require measures to control erosion and dust on Tracts B and C, until such time as they are developed. (Policy II.C.8.d)
 - e. The commercial subdivision is accessible by different modes of travel, including walking and transit (Transportation and Transit Goal).
 - f. The spacing frequency of driveways on a principal arterial complies with Policy II.D.4.d.
 - g. The subdivision design standards require safe and pleasant pedestrian travel through parking areas (Policy II.D.4.g).
 - h. By splitting a site zoned for heavy commercial uses into three tracts, the SDP for subdivision allows for more diversified economic activity (Economic Development Goal).
 - i. The subdivision design standards call for xeric and native plants, and rainwater harvesting measures to supplement irrigation. (Water Management Goal, Policy II.D.2.b).
 - j. The architectural design standards include energy management measures (Policy II.D.3.a).
7. The request partially furthers the following applicable goals and policies of the Comprehensive Plan:

- a. The subdivision design standards are comprehensive, but standards for pedestrian cross-access, architecture and signage need strengthening to ensure a cohesive development and a quality visual environment (Established Urban Area goal, Policies II.B.5.1, II.B.5.m)
 - b. The signage standards provide some guidance, but are not comprehensive enough to ensure that signage in the Enhanced Transit Corridor will be attractive and useful (Policy II.C.9.e)
 - c. The site development plan and design standards meet the intent of the applicable policy objectives for Street Design, Transit Service and Development Form adjacent to Enhanced Transit Corridors, with the exception of parking provision and building entrances from the street (Policy II.D.4.a)
8. Changes to the subdivision design standards are recommended to make them clearer and more fully compliant with City regulations and the intent of City planning policies.
 9. The site may initially be split into two lots, i.e. Tract A for the restaurant development proposed in 09EPC-40034, and the remainder of the site. A future split of the remainder of the site into two lots, Tracts B and C, would be delegated to the DRB.
 10. Property-owners within 100', the District 4 Coalition of Neighborhood Associations (NAs) and the Del Norte NA were notified of the proposal. No comments have been received and there is no known opposition to the request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT and NMDOT

Conditions of approval for the proposed Site Development Plan for Subdivision and Site Development Plan for Building Permit shall include:

- a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).

- b. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
 - c. Provide appropriate cross-access agreements for Tracts A, B and C.
 - d. Concurrent platting action required at DRB.
 - e. Site plan shall comply and be designed per DPM Standards.
4. Applicant must request a Water & Sanitary Sewer Availability Statement prior to submittal to the DRB for Site Plan sign off.
 5. Sheet 1:
 - a. Project Note 5: Reword last sentence "FAR for the site shall be up to 0.5, which is the minimum target for Enhanced Transit Corridors."
 - b. Project Note 7: At end, insert "and general zoning regulations, whichever are more restrictive".
 - c. Update the base map for the development on tract A per the accompanying site development plan for building permit.
 6. Throughout the design standards, the term "site" shall refer to the 6.2 acre site and the term "parcel" or "tract" shall refer to lots created by the subdivision. Typographical errors shall be corrected. Standards shall be renumbered pursuant to any changes required in other conditions of approval.
 7. Zoning and Land Use: the number of drive-up service windows on the site shall be limited to one.
 8. Setbacks and building heights: the title shall include "FAR" and the text shall include "FAR for the site shall be up to 0.5, which is the minimum target for Enhanced Transit Cooridors."
 9. Site Objectives:
 - a. The title shall be changed to "Site Design Standards".
 - b. The last sentence in the introduction shall be deleted.
 - c. 1-A - Replace "sites" with "development". Correct the zoning reference (article 14 not 12).
 - d. 1-B - Shall apply to service functions as well as drive-up service window(s).
 - e. 1-D - Delete the last phrase.
 - f. 1-E - Fill in missing words and reword for clarity.
 10. Parking and circulation standards
 - a. Delete the last sentence in the introduction.

- b. 2-A – Replace “minimum required” with “provided”. Delete the second sentence. Add a new sentence: “Total parking on the site shall not exceed the minimum required parking plus 10%, if the site development plan for building permit for the restaurant on tract A is not approved (1007867, 09EPC-40043).
- c. 2-B - Replace “desirable and encouraged” with “required”.
- d. 2-B – Insert “and cross-parking” after “cross access”.

11. Pedestrian circulation and bicycle standards

- a. The introduction shall clarify that pedestrian cross-access is required.
- b. In 3-A and 3-D, insert "internal" before "streets".
- c. 3-G shall refer to pedestrian features, not just sidewalks, in the general building and site design regulations of the Zoning Code, i.e. 14-16-3-18 (C) (1 – 3). Delete the phrase “to the extent feasible ... site conditions” and all the bullet points.

12. Landscaping standards

- a. Introduction – Insert "and xeric plants" after “Water harvesting techniques”.
- b. 4-A - Buffers shall also be located around the perimeter of the site. Delete the second sentence. In the third sentence, “over” shall be replaced with “within 10 ft of public...”
- c. 4-C shall begin with "Street and...".
- d. Delete 4-F and 4-G.
- e. 4-L - Use the full title of the ordinance, i.e. Water Conservation Landscaping and Water Waste Ordinance.
- f. Standard 4-M shall identify native seed mix as the preferred method to stabilize disturbed areas awaiting future development.

13. Architectural standards:

- a. Delete 5-A.
- b. 5-B shall be reworded to include the sentence “Building design shall comply at minimum with 14-16-3-18 (D) of the Zoning Code”.
- c. In 5-H, replace the first instance of "shades" with "hues".

14. Screening walls and fencing standards

- a. Insert a comma after "Screening" in the title of the section.
- b. Introduction - Delete the sentence beginning "Site orientation...". Reword the rest of the paragraph to improve clarity and eliminate duplication.
- c. 6-A - Insert "evergreen" before "plant materials".

- d. 6-G - Replace the text beginning "oriented away..." with "screened from public areas on the site by evergreen plant materials, walls or fences".

15. Signage standards:

- a. 8-B shall include "area lighting regulations".
- b. 8-C - Shall include the following bullet points:
 - i. "The location of multiple-tenant signage shall be limited to the free-standing sign."
 - ii. "Tenant signage shall be limited to 1 per business and 2 per tract. Minimum letter size shall be 9 inches."
 - iii. "The free-standing sign shall be a monument sign."
 - iv. "The sign shall include a numeric address with a minimum number size of 9 inches."
- c. 8-E shall include "Building-mounted signs shall be limited to canopy and wall signs. Canopy signs shall be limited to one per entrance, with a maximum sign face area of 4 sf each. Wall signs shall be limited to facades visible from San Mateo Blvd. or from public areas within the site." The maximum sign face area of wall signs shall be changed to 12% of facade area. Move 8-E immediately after 8-C.
- d. 8-F - Pennants, ribbons, streamers and spinners shall also be prohibited.
- e. 8-K - Replace "encouraged" with "allowed".
- f. 8-L – Replace with "Electronic display panels (electronic billboards, electronic advertising signs) are not permitted."

16. Mechanical Equipment Standards:

- a. 9-A and 9-B - Move "by materials similar to the building's materials" from 9-A to the end of 9-B.
- b. 9-C – Insert "evergreen" before "plant materials".
- c. New 9-D – Screening of equipment shall be designed to allow for access to utility facilities. Clearance of 10 ft shall be provided surrounding all ground-mounted utilities for safe operation, maintenance and repair purposes.

17. Utility plan:

- a. Update the base map and correct the name of the restaurant development.
- b. Show the two existing public utility easements in tract B near the public ROW.

18. Grading & Drainage plan:

- a. Include spot elevations for the existing contours.
- b. The location of the outfall at the southwest corner of the shared parking area shall match the location shown on the grading & drainage plan for the development on tract A (09EPC-40043).

On September 17, 2009 the Environmental Planning Commission voted to **APPROVE** Project 1007867 / 09EPC-40043, a site development plan for building permit, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. The request is a site development plan for building permit for proposed Tract A, a parcel of approximately 2.54 acres, and for associated parking and access improvements on proposed Tracts B and C, within an unplatted tract zoned C-3 (SC), located on San Mateo Blvd. between McLeod Rd. and Lincoln Rd.. The applicant is selling the parcel to a national restaurant chain, that proposes to develop a family-style restaurant of approximately 14,040 sf with seating for 500 people, which they will own and operate.
2. The request is accompanied by a site development plan for subdivision (09EPC-0042) with design standards.
3. The project is covered by a Traffic Impact Study (TIS) for the proposed subdivision, dated July 1, 2009, which has been verified by Transportation Development Services.
4. The subject site is in the Established Urban Area of the Comprehensive Plan and on a designated Enhanced Transit Corridor.
5. The Albuquerque/Bernalillo County Comprehensive Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. The request furthers, or is consistent, with the following applicable goals and policies of the Comprehensive Plan:
 - a. The proposal facilitates redevelopment of vacant premises that are contiguous to public infrastructure and accommodates sufficient parking within the site not to harm surrounding businesses (Policy II.B.5.e)
 - b. The proposed employment use complements residential areas and is sited to minimize adverse effects of noise, lighting, pollution and traffic on residential environments. The visual impact of the parking is reduced because the site slopes away from the street and is screened by landscaping. (Policy II.B.5.i)
 - c. The project is adjacent to an arterial and follows recommendations in the TIS that will minimize harmful effects of traffic (Policy II.B.5.k)
 - d. The request facilitates the redevelopment of part of a vacant property in an established commercial area (Policy II.B.5.o)

- e. The proposed restaurant, an employment as well as a retail use, is accessible by different modes of travel, including walking and transit (Transportation and Transit Goal).
 - f. The spacing frequency of driveways on a principal arterial is appropriate, per Policy II.D.4.d.
 - g. The proposed restaurant is part of a national chain (an outside firm) which will own and operate the business (Policy II.D.6.b)
 - h. The plant palette includes several species native to the southwest and the landscape plan creates a pleasing visual environment along the street frontage (Policy II.C.8.d)
7. The proposal partially furthers the following applicable goals and policies of the Comprehensive Plan:
- a. Pedestrian connections are provided to the bus stop and to other tracts, a bus shelter is provided and the building is setback from the street for landscaping only. The parking exceeds the reduction encouraged on sites adjacent to Enhanced Transit Corridors, but the amount has been justified for this type of restaurant, based on parking demand at existing restaurants in the city operated by the same company and on parking generation figures published by the Institute of Transportation Engineers, 3rd Edition. (Policy II.D.4.a)
 - b. Pedestrian opportunities are integrated into the development, except that there is only one walkway through the main parking area and it is not sufficiently shaded to provide pleasant conditions for pedestrians (Policy II.D.4.g)
 - c. The development will provide employment opportunities in an accessible location and at different salary levels, though not in a wide range of skills (Policy II.D.6.a)
8. The request conflicts with Policy II.C.9.e because the design of the multi-tenant free-standing sign is not attractive, particularly for a site adjacent to an Enhanced Transit Corridor. Changes are recommended in conditions of approval.
9. Property-owners within 100', the District 4 Coalition of Neighborhood Associations (NAs) and the Del Norte NA were notified of the proposal. No comments have been received and there is no known opposition to the request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.

3. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT and NMDOT

Conditions of approval for the proposed Site Development Plan for Subdivision and Site Development Plan for Building Permit shall include:

- a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).
- b. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
- c. Provide appropriate cross-access agreements for Tracts A, B and C.
- d. Concurrent platting action required at DRB.
- e. Site plan shall comply and be designed per DPM Standards.

4. Applicant must request a Water & Sanitary Sewer Availability Statement prior to submittal to the DRB for Site Plan sign off.

5. The trash compactor shall comply with the Solid Waste Management Ordinance.

6. Parking:

- a. The compact spaces shall be called out on the site plan.
- b. The parking area shall be redesigned to:
 - i) enlarge the end island at the intersection of the access drives to accommodate a more direct walkway to the south and additional landscaping.
 - ii) add shade trees along the sidewalk at the southern edge of the main parking area, to comply with 14-16-3-1 (H)(1).

7. Lighting:

- a. Note on sheet 1 and the elevations that the area and building-mounted light fixtures shall be full cut-off or fully shielded.
- b. Eliminate the lightpole next to the free-standing sign and relocate the lightpole west of it to the enlarged landscaped end island.

8. Landscape plan:

- a. The coverage figures for Spanish Broom and Russian Sage shall correspond to their height and spread.
- b. In the calculations, the total lot area shall be limited to the area of tract A. The square footage of the landscaped beds in the southern part of the ROW and on tract B shall be separate figures.
- c. Street trees shall be planted a minimum of 10 ft from the 12" water line in the public ROW and a minimum of 3 ft from the relocated gas line.
- d. Sheet L-2 shall include the entire area to be irrigated, including its western edge.
- e. In landscaped beds with a tree and a radius of less than 9', replace "netafim" spiral irrigation with 3 bubblers.
- f. Six small trees shall be planted along the south façade of the building.

9. Public Outdoor Space/Employee Gathering Area:

- a. Provide benches with seating for a minimum of 7 persons.
- b. The gathering space for employees shall be a minimum of 300 sf, include seating and shade per zoning regulations, and be located at least 50' from the trash compactor.

10. Utilities:

- a. Include a proposed 20' easement for the 12" waterline in the San Mateo ROW.
- b. PNM: The developer shall contact PNM's New Service Delivery Department if modifications to the existing electric service are necessary. It is the applicant's obligation to determine if existing utility easements cross the property and to abide by any conditions or terms of those easements. The site plan utility sheet shall identify any existing and proposed public utility easements.
- c. Screening of equipment shall be designed to allow for access to utility facilities. Provide adequate clearance of 10 ft surrounding all ground-mounted utilities for safe operation, maintenance and repair purposes.

11. Architecture:

- a. The elevations shall be shown and dimensioned per the scale of 1/8"=1'.
- b. The height of the square element at the northwest corner of the building shall be called out.

- c. In the south elevation, the awning over the window on San Mateo and above the front entrance shall be colored off-white. Color F in the schedule shall be changed to off-white.
- d. Add a note stating that screening of mechanical equipment, and lighting and signage will comply with the subdivision design standards and zoning regulations, whichever are more restrictive.
- e. Awnings shall be added to the windows on the west façades of a material and color compatible with the architecture of the building.

12. Signage:

- a. Label the existing free-standing sign at the southeast corner of Tract B "to be removed".
- b. Change the free-standing sign to a monument sign.
- c. Provide the percentage of façade area for each wall sign.

APPEAL: IF YOU WISH TO APPEAL A FINAL DECISION, YOU MUST DO SO BY OCTOBER 2, 2009 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC.

AMENDED OFFICIAL NOTICE OF DECISION
MAY 28, 2010
PROJECT 1007867
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Sincerely,

CMarone

for Deborah Stover
Planning Director

DS/CT

cc: Bohannan Huston Inc., 7500 Jefferson St. NE, Albuquerque, NM 87109
Madeline Edgar, Del Norte N.A., 4609 Sherwood NE, Albuquerque, NM 87109
Bill DeBenedictis, Del Norte N.A., 4820 Vista Del Oso Ct. NE, Albuquerque, NM 87109
Amy Whitling, District 4 Coalition of N.A.'s, P.O. Box 91343, Albuquerque, NM 87199
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Ken Maestas, 414 Silver SW, Albuquerque, NM 87102

PROJECT #

1007867

APRIL 8. 2015

SRB