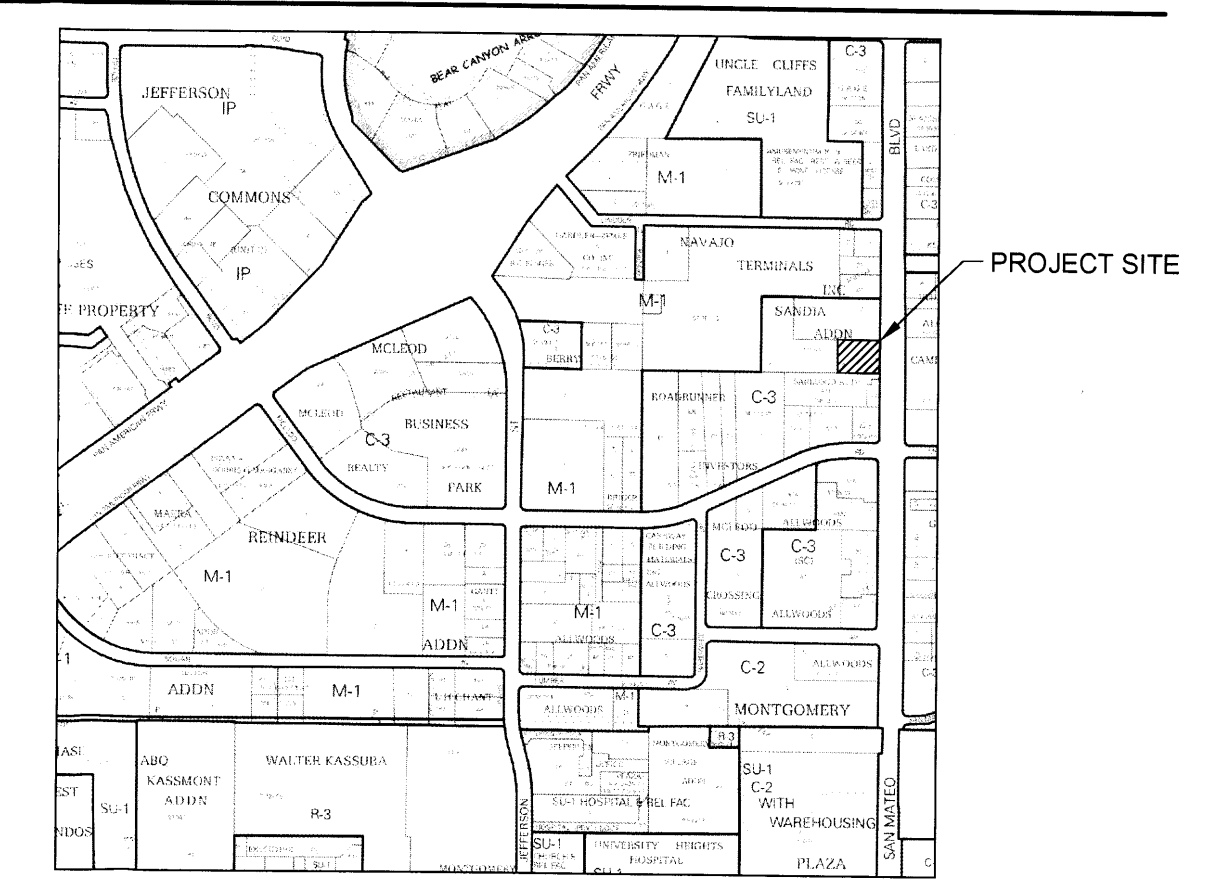
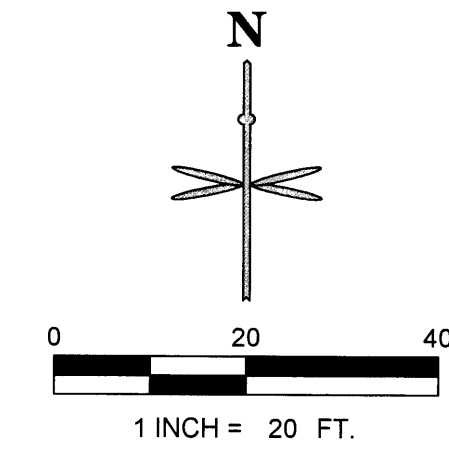
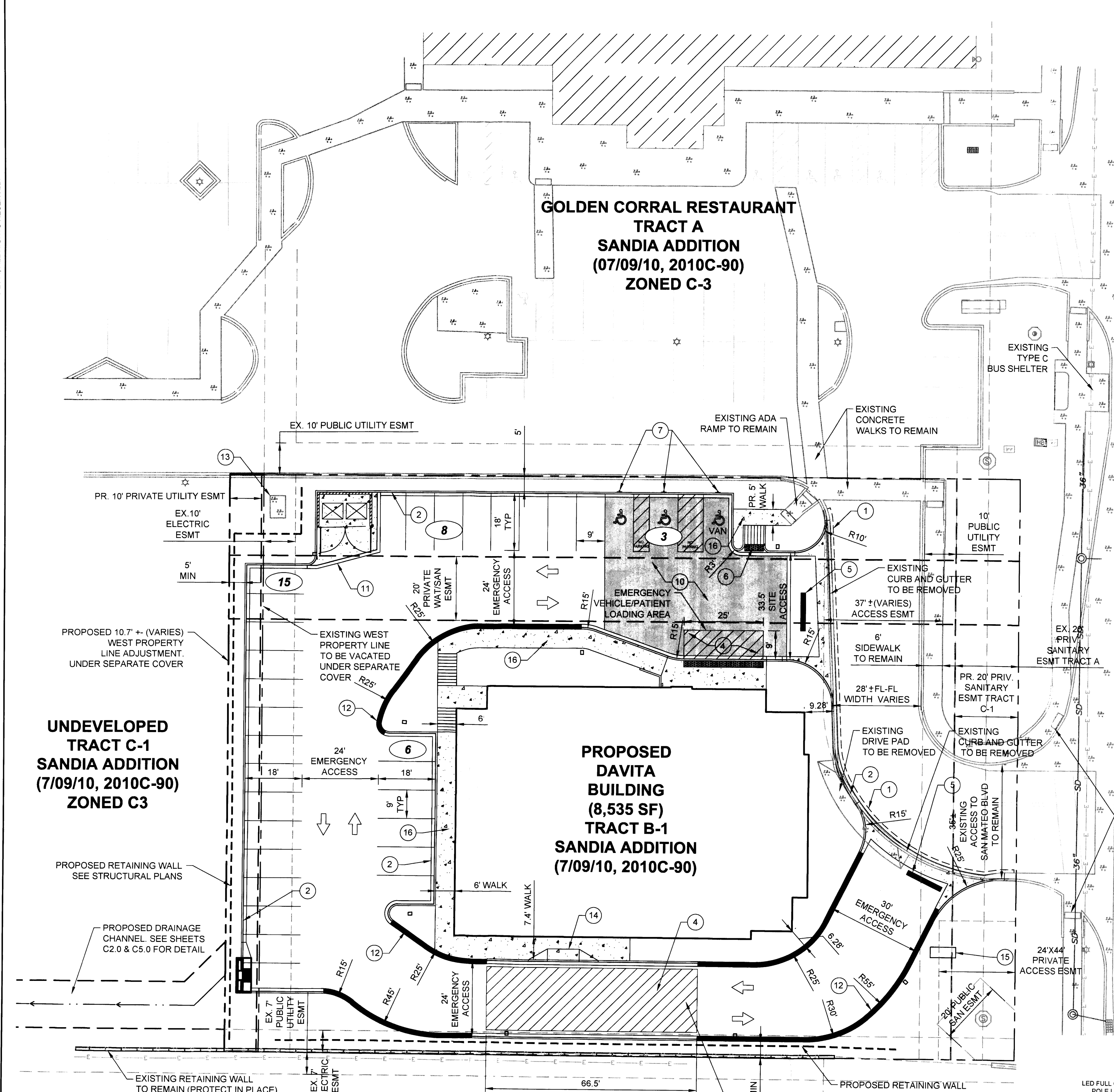


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P:\DAVITAMM, ALBUQUERQUE, 5207 SAN MATEO BLVD\09 CAD\01 OVERALL SITE PLANS\DWG



PROJECT INFORMATION

ADDRESS:
5207 SAN MATEO BLVD.
ALBUQUERQUE, NM 87109
(FINAL ADDRESS ASSIGNMENT T.B.D.)

LEGAL DESCRIPTION:
TRACT LETTERED 'B' OF THE PLAT OF TRACTS A, B, & C, SANDIA ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, FEBRUARY 2010, AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAT FILED FOR RECORD ON JULY 9, 2010 AND RECORDED AS DOCUMENT NO. 2010068217 IN THE RECORDS OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO.

SITE ACREAGE:
FORMER TRACT B: 1.00 ACRES
PROPOSED TRACT B-1 AFTER PLAT ADJUSTMENT: 1.05 ACRES

PLANNING INFORMATION:
ZONE ATLAS PAGE F-17-Z
LAND USE ZONING IS C-3

PARKING SUMMARY:

REQUIRED	
MEDICAL OFFICE (5 SPACES PER DOCTOR)	= 25
ADA SPACES (10% OF REQUIRED PARKING)	= 3
PROVIDED	
STANDARD SPACES	= 29
ADA HANDICAP STANDARD SPACES	= 1
ADA HANDICAP VAN ACCESSIBLE SPACES	= 2
TOTAL	= 32

PROJECT: 1007867
DATE: 4-8-15
APP: 15-7014
Submittal materials

- LEGEND**
- PROPOSED RETAINING WALL
 - - - - PROPOSED EASEMENT
 - PROPERTY LINE
 - PROPOSED BUILDING
 - PROPOSED SIGN
 - 9 ○ PARKING COUNT
 - EXISTING CURB AND GUTTER
 - PROPOSED 6" STANDARD CURB
 - EXISTING SITE LIGHTING
 - PROPOSED SITE LIGHTING
 - PROPOSED CONCRETE WALK (SEE DETAIL SHEET C6.0)
 - PROPOSED INLET
 - PROPOSED 4" SANITARY MANHOLE
 - EXISTING SANITARY/STORM MANHOLE
 - DENOTES TRAFFIC FLOW PATTERNS (NO ACTUAL STRIPING)
 - FIRE LANE CURB PAINT

PROJECT BENCHMARK & VERTICAL DATUM

ALL CORNERS FOUND IN PLACE AND HELD WERE TAGGED WITH A BRASS DISK STAMPED "HUGG L.S. 9750" OR "HUGG L.S. 11808" UNLESS OTHERWISE INDICATED HEREON.

ALL CORNERS THAT WERE SET ARE EITHER A 5/8" REBAR WITH CAP STAMPED "HUGG L.S. 9750" OR "HUGG L.S. 11808" OR A CONCRETE NAIL WITH BRASS DISK STAMPED "HUGG L.S. 9750" OR "HUGG L.S. 11808" UNLESS OTHERWISE INDICATED HEREON.

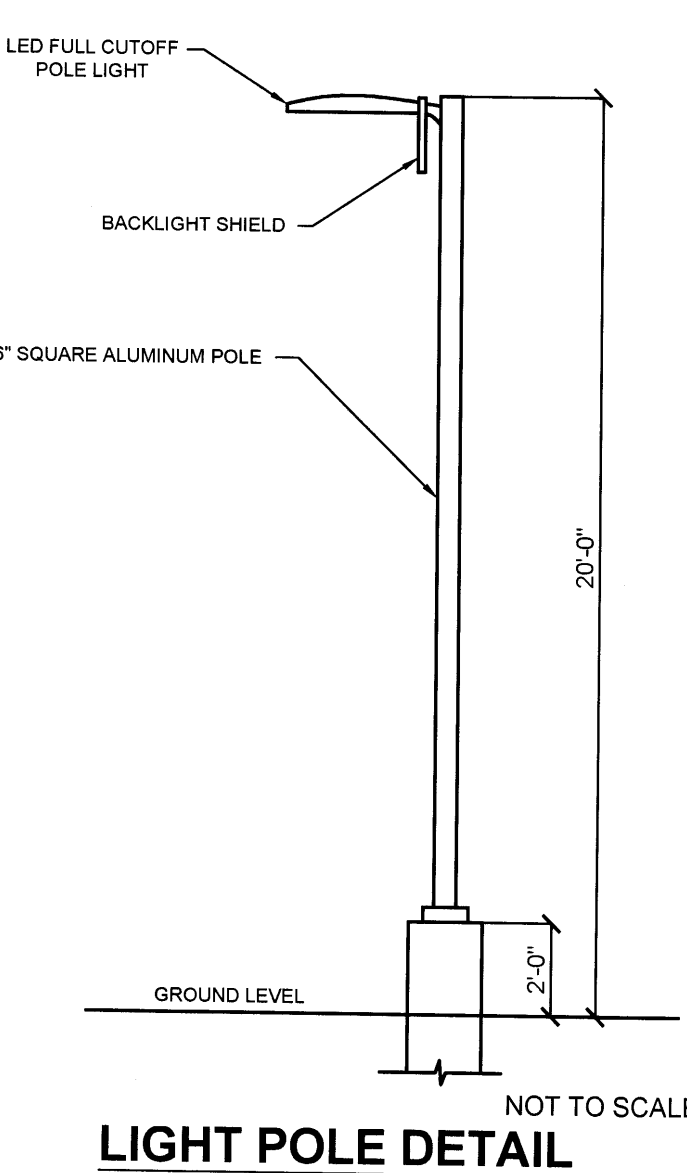
VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "9-F18", ELEVATION = 5212.23 (NAVD 1988)

PROJECT BASIS OF BEARING

BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE -NAD83.

SITE SCHEDULE

- 1 PROPOSED 1" SAWCUT OFFSET FROM PROPOSED CURB/GUTTER AND VALLEY GUTTER.
- 2 PROPOSED STANDARD 6" CURB AND GUTTER PER COA STANDARD DRAWING 2415A MODIFIED TO A 1" GUTTER PAN.
- 3 PROPOSED 5" VALLEY GUTTER PER COA STANDARD DRAWING 2420 AND 2426 MODIFIED TO TIE INTO A 1" GUTTER PAN.
- 4 HATCHED AREA TO REPRESENT LOADING AREA LOCATION FOR SITE PLAN REVIEW PURPOSES ONLY. NO ACTUAL STRIPING PROPOSED.
- 5 PROPOSED 10'X1.5' SOLID WHITE STOP BAR.
- 6 PROPOSED ADA RAMP. (SEE DETAIL ON SHEET 6.0).
- 7 PROPOSED ADA STANDARD HANDICAP PARKING SIGN (SEE DETAIL SHEET C6.0).
- 8 PROPOSED ADA HANDICAP VAN ACCESSIBLE SIGN (SEE DETAIL SHEET C6.0).
- 9 NOT USED
- 10 SCREENED AREA DEFINES ADA COMPLIANT ZONE OF ACCESSIBILITY FROM BUILDING FRONT ENTRANCE TO HANDICAP PARKING STALLS. CROSS SLOPES NOT TO EXCEED 2% IN ALL DIRECTIONS.
- 11 PROPOSED TRASH ENCLOSURE W/6' SCREEN WALL. REFER TO ARCHITECTURAL DETAILS.
- 12 PROPOSED FIRE LANE STRIPING. SEE NOTE 15 ON THIS SHEET.
- 13 EXISTING ELECTRICAL VAULT TO REMAIN. PROTECT IN PLACE.
- 14 DELIVERY ACCESS RAMP. NOT INTENDED FOR ADA COMPLIANT ACCESS. SEE SHEET C6.1.
- 15 PROPOSED MONUMENT SIGN WITH DIMENSION OF 5'-6" HEIGHT, 3'-4" DEPTH, AND 8'-0" LENGTH. REFER TO ARCH. SIGNAGE PLANS FOR DETAIL.
- 16 PROPOSED CONCRETE WALK. REFER TO SHEET C6.1 FOR DETAIL.



NOTES:

1. NO BIKE ROUTES OR PATHS EXIST ALONG FRONTAGE OF SAN MATEO BOULEVARD.
2. PLOT PLAN SHALL COMPLY WITH THE SUBDIVISION DESIGN STANDARDS AND APPLICABLE ZONING REGULATIONS FOR 5207 SAN MATEO (FORMER ROWLANDS SITE).
3. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD SPECIFICATIONS OF CITY SITE OF ALBUQUERQUE.
4. EMERGENCY AND SERVICE TRUCKS WILL MANEUVER AROUND BUILDING DRIVE AISLES IN A ONE-WAY TRAFFIC MOVEMENT.
5. CARS/TRUCKS WILL MANEUVER AROUND BUILDING DRIVE AISLES IN A TWO-WAY TRAFFIC MOVEMENT.
6. A WB-50 SERVICE TRUCK PATH MODEL IS SHOWN ON SHEET C1.3.
7. UPON COMPLETION OF PAVING OPERATIONS THE CONTRACTOR SHALL INSTALL THE PAVEMENT STRIPES AND PAVEMENT MARKINGS AS SHOWN HEREON. ON SITE PARKING STALL STRIPES SHALL BE 4" WIDE AND WHITE IN COLOR. HANDICAP STALLS SHALL BE PAINTED AND SIGNED PER FEDERAL, STATE AND LOCAL REQUIREMENTS. SEE DETAILSHEET 1.3.
8. HANDICAP PARKING AREAS PROVIDED PER CITY STANDARDS AND SHALL COMPLY WITH REQUIREMENTS OF THE CURRENT, ADOPTED UNIFORM BUILDING CODE.
9. UNLESS OTHERWISE NOTED, ALL RADII ON PARKING ISLANDS SHALL BE 3'.
10. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS SERVICE AREA DIMENSIONS AND ELEVATIONS. REFERENCE M.E.P. FOR EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
11. THE DISPOSAL OF DEMOLISHED ITEMS SHALL COMPLY TO ALL STATE AND LOCAL REQUIREMENTS.
12. MECHANICAL UNITS, DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE ZONING ORDINANCE.

SITE CURRENT USE:
HME MEDICAL SUPPLY
TRACT A-1A
(10/02/87, C34-169)
ZONED C-3

SITE CURRENT USE:
HME MEDICAL SUPPLY
TRACT A-1B
SAN BUSCO ADDITION
(10/02/87, C34-169)
ZONED C-3

13. ALL SIGNAGE CONTINGENT UPON APPROVAL BY THE CITY OF ALBUQUERQUE.
14. ALL SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH THE ZONING ORDINANCE.
15. FIRE LANE STRIPING: "NO PARKING FIRE LANE" MARKING SHALL CONSIST OF A SIX (6) INCH WIDE RED STRIPE ALONG THE CURB ON ALL SIDES OF THE BUILDING. THE WORDS "NO PARKING FIRE LANE" SHALL BE MARKED ON THE STRIPES IN FOUR (4) INCH HIGH WHITE LETTERS AT 25-FT. MAXIMUM INTERVALS STRIPING AND LETTERS SHALL BE APPLIED ACCORDING TO THE CITY OF ALBUQUERQUE. FIRE LANE AND FIRE PROTECTION MUST BE APPROVED BY THE FIRE MARSHALL PRIOR TO BUILDING PERMIT BEING ISSUED. CONTRACTOR TO COORDINATE ALL FIRE LANE MARKINGS WITH THE ALBUQUERQUE FIRE MARSHALL.
16. ALL DRIVEWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE AND NEW MEXICO DEPARTMENT OF TRANSPORTATION STANDARDS.
17. ALL DIMENSIONS ARE MEASURED FROM FLOWLINE OF CURB, UNLESS NOTED OTHERWISE.
18. ALL ACCESSIBLE RAMPS SHALL HAVE A MAXIMUM SLOPE OF 12:1.
19. REFER TO PLAT FOR OFFICIAL EASEMENT LOCATIONS.

DATE	
BY	
REVISION	
No.	

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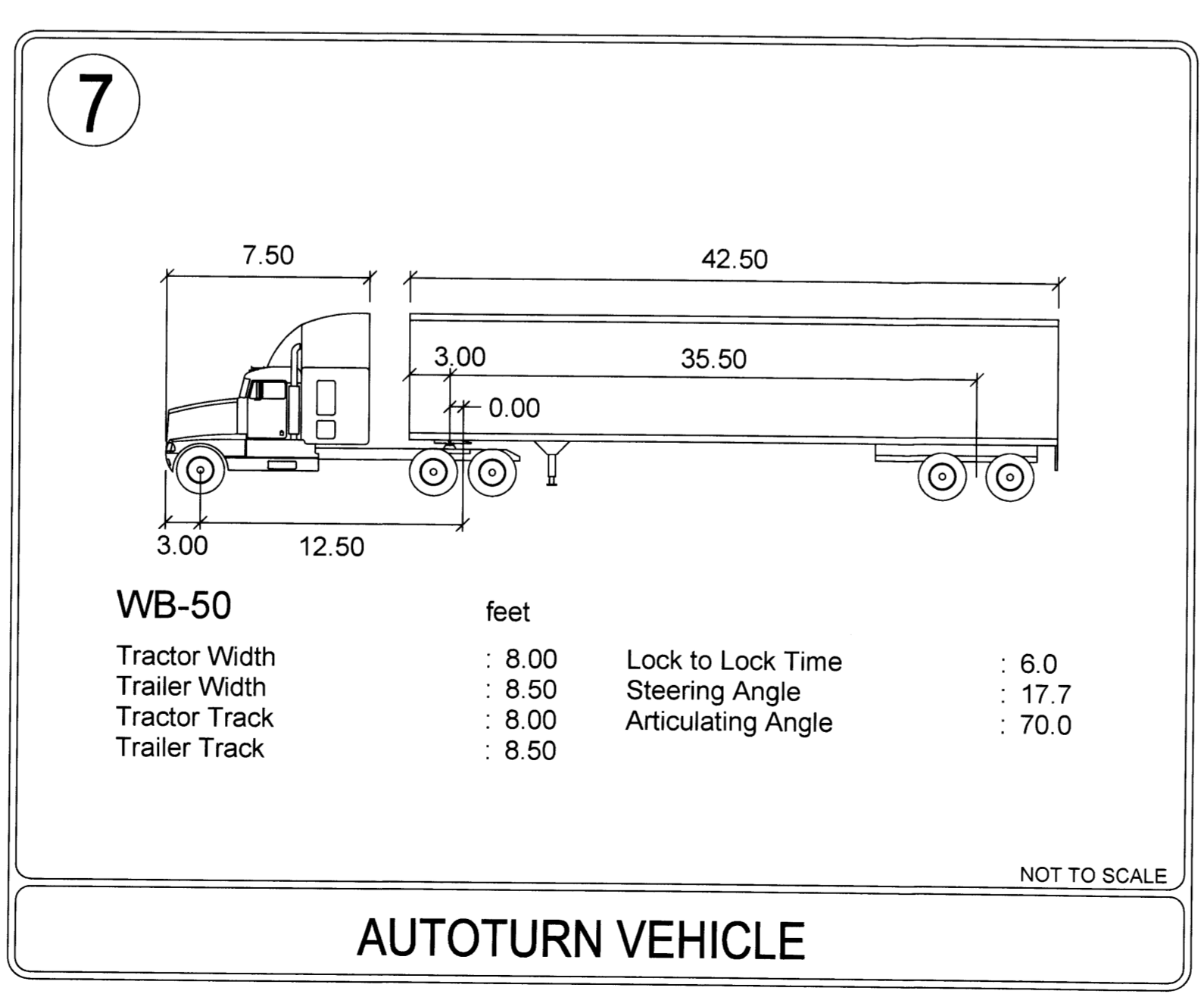
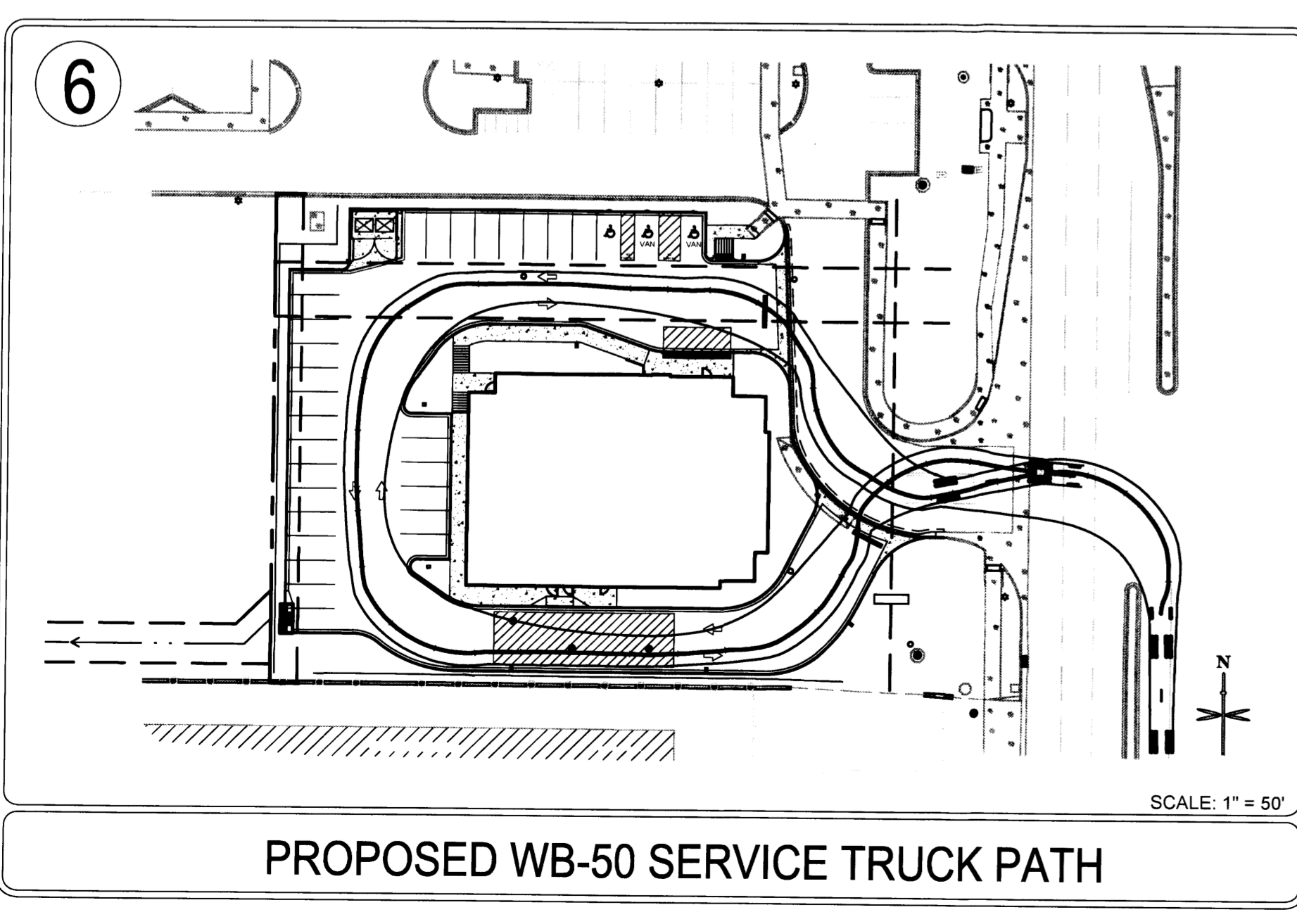
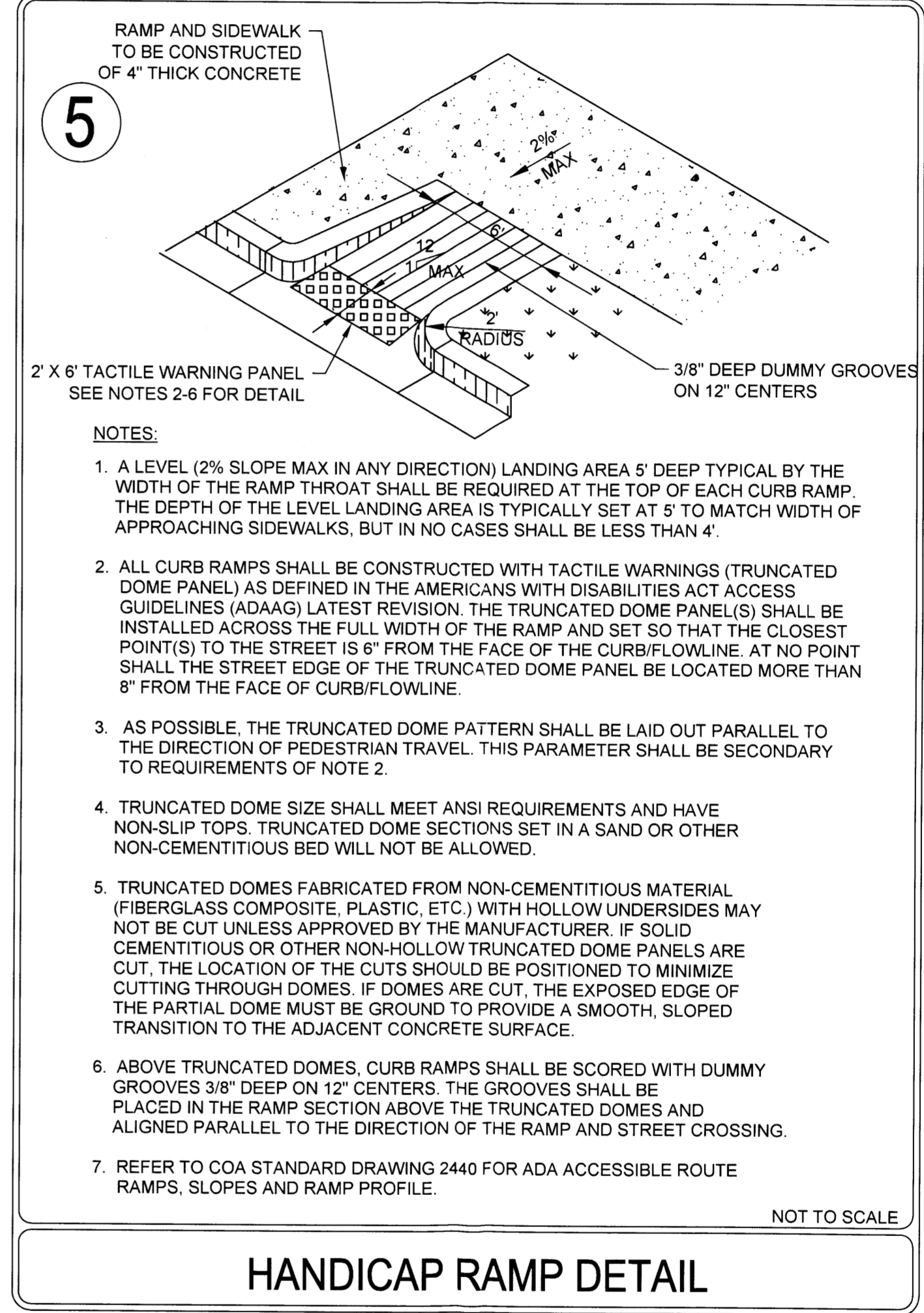
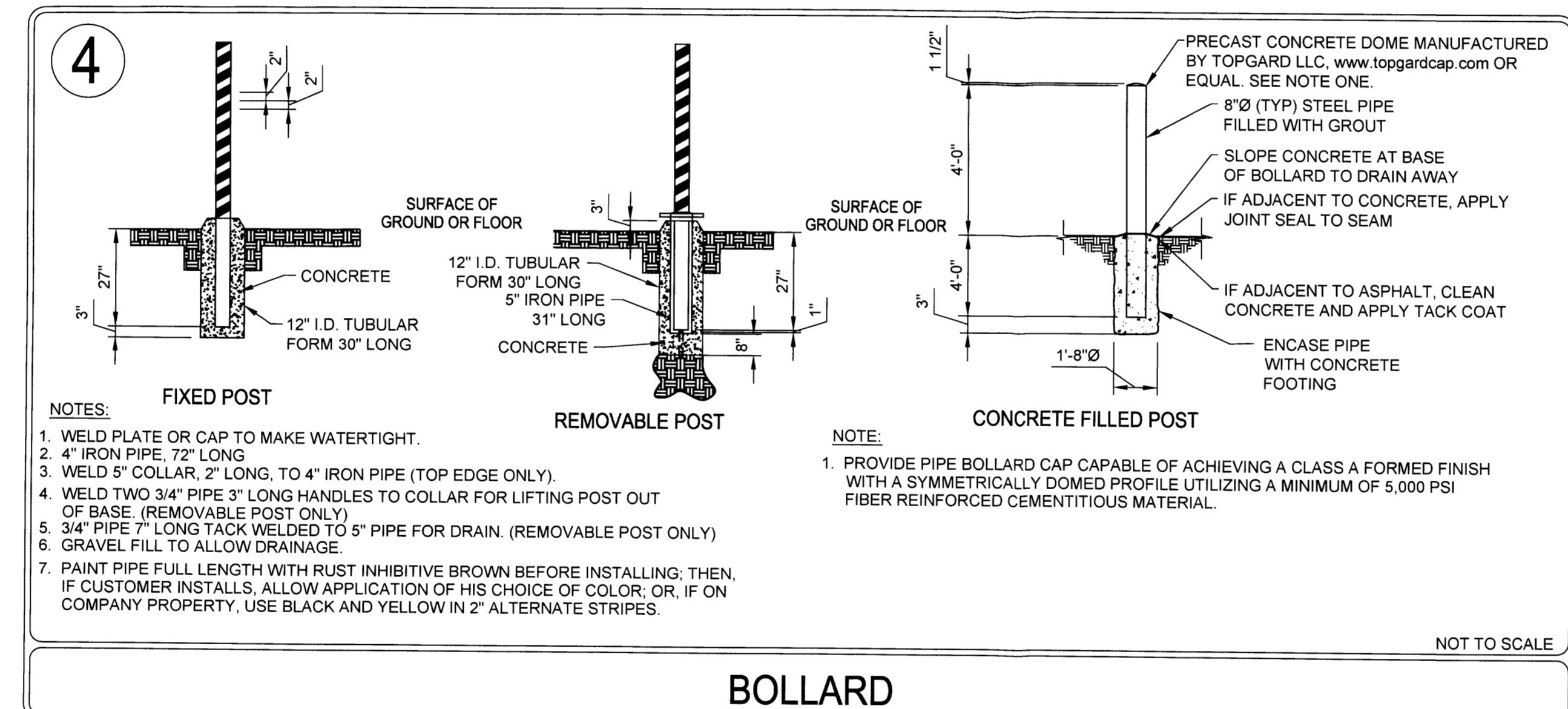
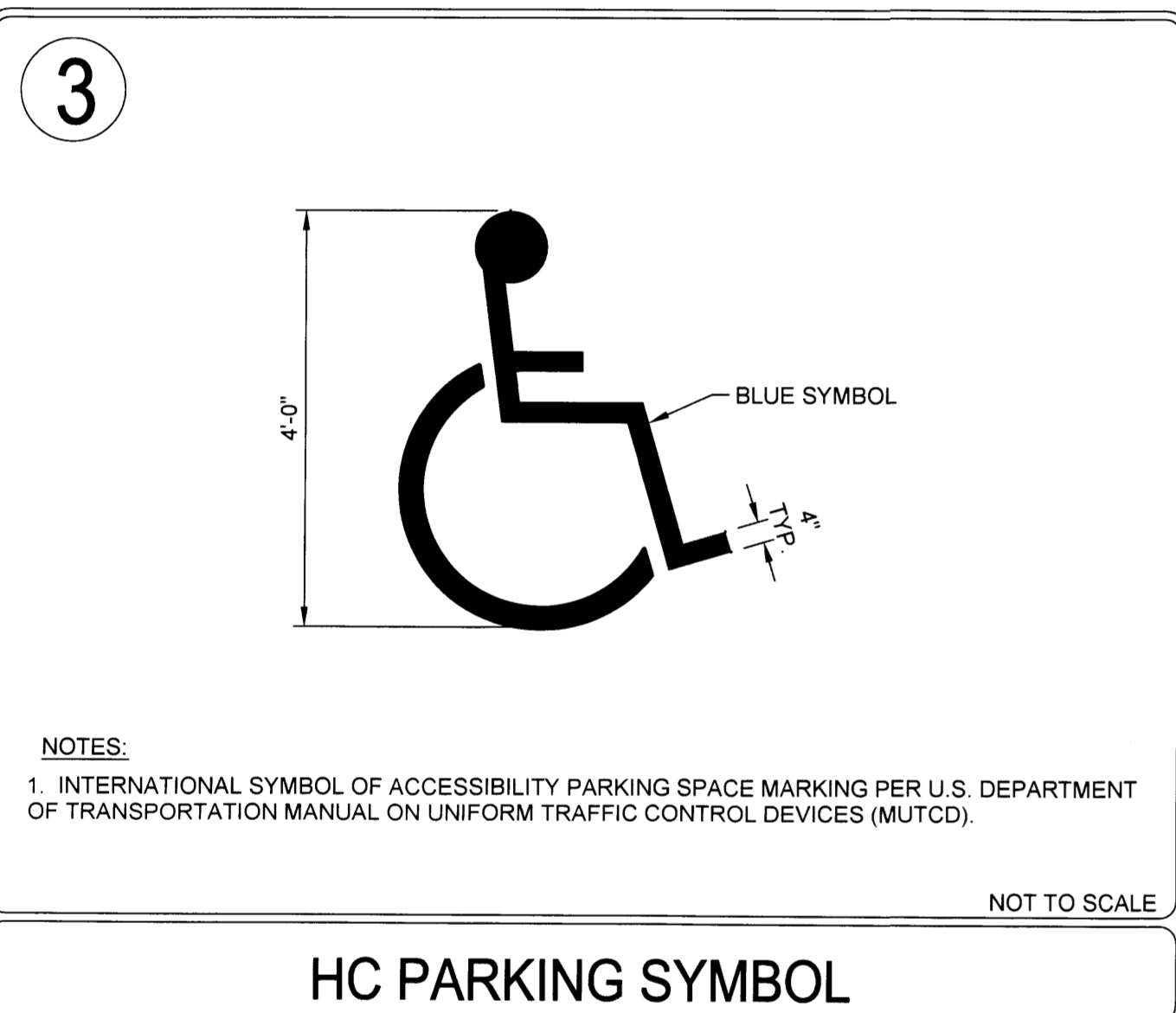
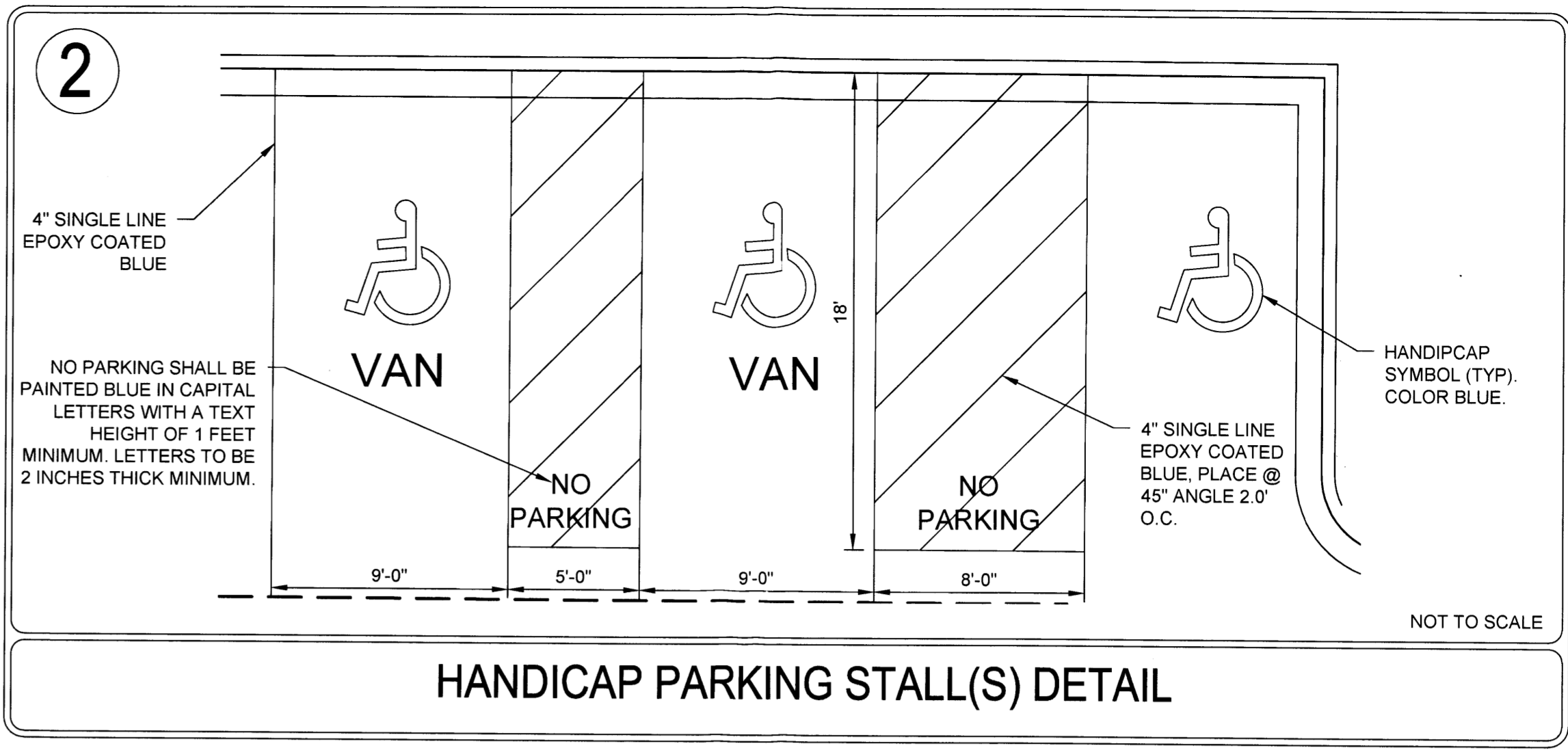
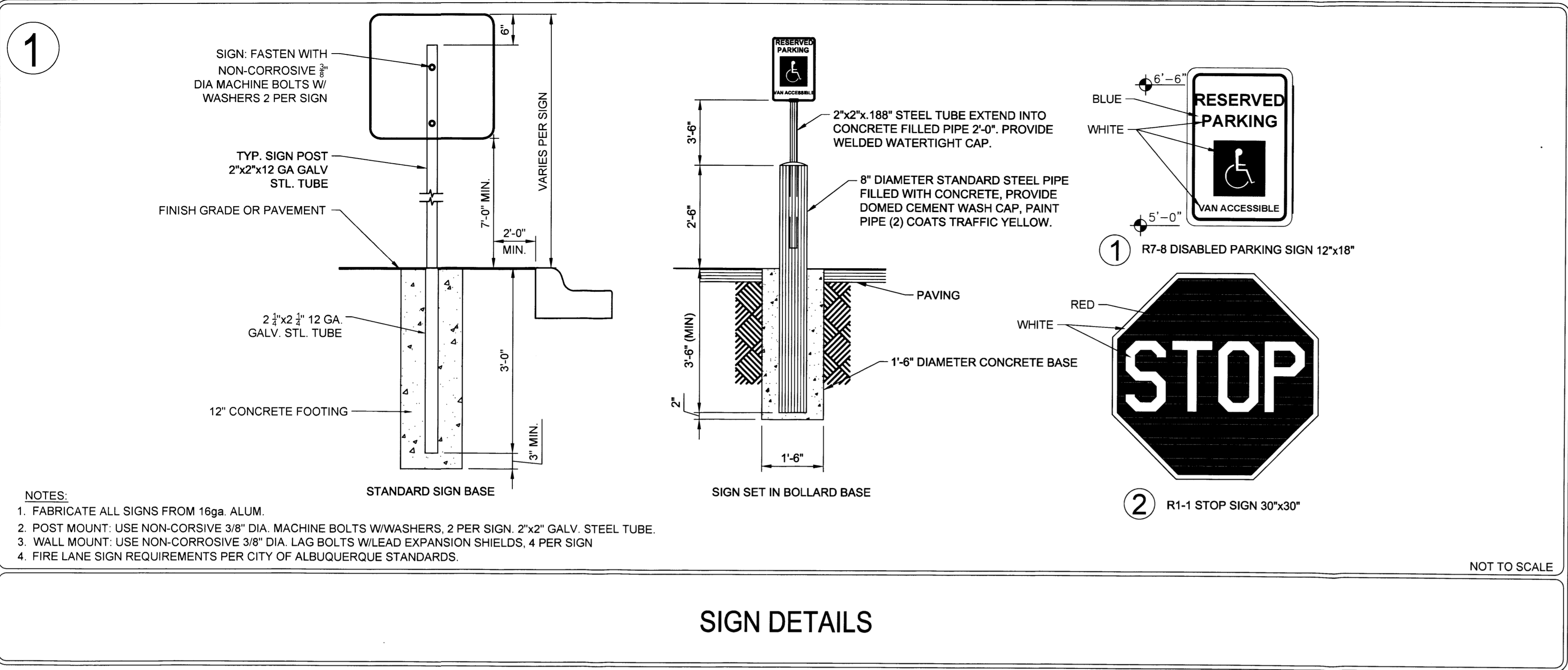
EES
ENGINEERING SOLUTIONS, INC.
518 17th Street
Suite 4575
Albuquerque, NM 87102
www.ees.com
303-572-7997 FIRM NO. F-14751

Davita

CIVIL CONSTRUCTION DOCUMENTS
DAVITA DIALYSIS CENTER - ALBUQUERQUE
5207 San Mateo Boulevard N.E.
OVERALL SITE PLAN

PROJECT NO: DAV003.01
DESIGNED BY: KLR
DRAWN BY: KR
DATE: 03/10/15

C1.0
SHEET 2 OF 11



DATE	
BY	
REVISION	
No.	

PRELIMINARY NOT FOR CONSTRUCTION

EES ENTERTAINMENT SOLUTIONS, Inc.
548 7TH STREET
SUITE 1275
ALBUQUERQUE, NM 87102
www.ees.us.com
303.572.7997 FIRM NO. F-14751

Davita

CIVIL CONSTRUCTION DOCUMENTS

DAVITA DIALYSIS CENTER - ALBUQUERQUE

5207 San Mateo Boulevard N.E.

CIVIL DETAILS

PROJECT NO.: DAV003.01

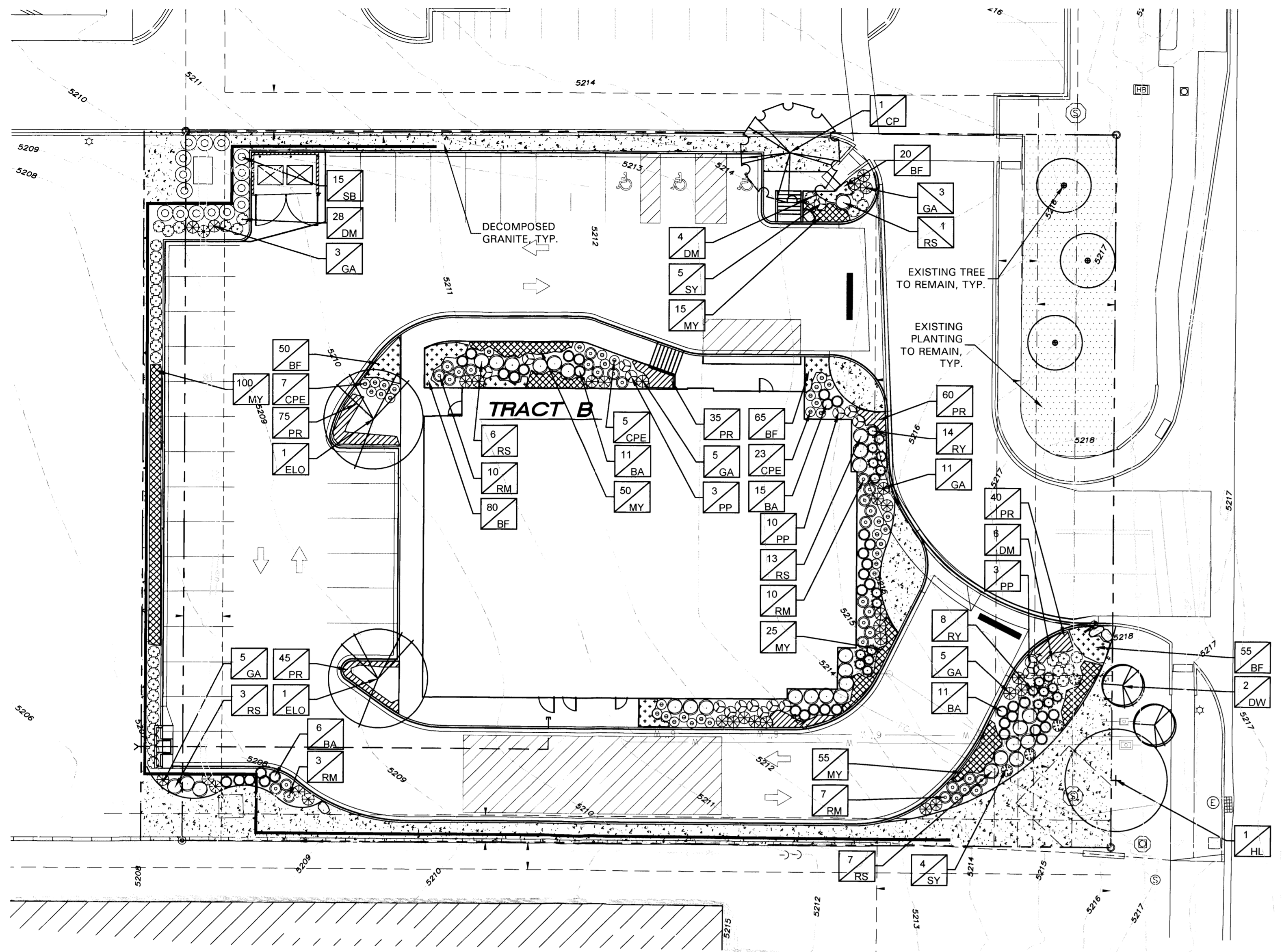
DESIGNED BY: KLR

DRAWN BY: KLR

DATE: 03/10/15

C6.0

SHEET 10 OF 11

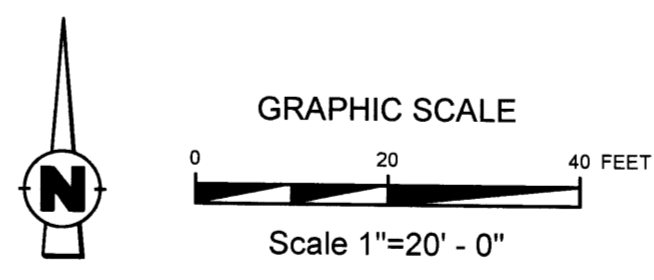


TRACT A-1A
SANBUSCO ADDITION

TRACT A-1B

SANBUSCO ADDITION

Albuquerque Control Survey Monument "9-F18"
New Mexico State Plane Coordinates
(Central Zone - NAD 83)
North= 1,504,368.591 feet
East= 1,539,870.657 feet
Elevation= 5212.228 feet (NAVD 1988)
Delta Alpha= +0011'56.74"
Ground To Grid Factor= 0.99966141



GENERAL PLANTING NOTES

1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN), BEFORE STARTING WORK. THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1 OF FINISH GRADE. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
2. THE LANDSCAPE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.
3. CONTRACTOR SHALL ENSURE THAT THE GRADE IN SOD AREAS SHALL BE 1" BELOW FINISH GRADE AFTER INSTALLING SOIL AMENDMENTS, AND 2" BELOW FINISH GRADE IN SHRUB AREAS AFTER INSTALLING SOIL AMENDMENTS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
4. INSTALL 5 OUNCE, WOVEN, NEEDLE-PUNCHED POLYPROPYLENE FABRIC UNDER ALL MULCHED AREAS AND INDIVIDUAL TREE RINGS.
5. INSTALL SHREDDED HARDWOOD MULCH TOPDRESSING IN ALL PLANTING BEDS (2" DEPTH) AND ALL TREE RINGS (3" DEPTH). DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE.
6. INSTALL 1/4" GREEN STEEL EDGING BETWEEN ALL PLANTING BEDS AND TURF AREAS, AND BETWEEN GROUNDCOVERS AND OTHER PLANTS (WHERE INDICATED ON THE PLAN).
7. HYDROMULCH ALL DISTURBED AREAS OUTSIDE OF PROPERTY LIMITS (UNLESS SHOWN AS SOD).
8. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
9. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
10. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE DESIGNER IN WRITING (VIA PROPER CHANNELS).
11. PLANTS MAY BE INSPECTED AND APPROVED OR REJECTED ON THE JOBSITE BY THE OWNER OR OWNER'S REPRESENTATIVE.
12. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETING OF PLANTS THAT HAVE SETTLED, MOVING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION. SHOULD RESEED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.
13. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - A. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - B. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
 - C. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESEED OR RESEED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
14. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

MULCHES

INSTALL SHREDDED HARDWOOD MULCH TOPDRESSING IN ALL PLANTING BEDS (3" DEPTH) AND ALL TREE RINGS (3" DEPTH). DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE. IN AREAS DENOTE AS "ROCK MULCH", INSTALL 4" DEPTH OF 1" WASHED RIVER ROCK OVER WOVEN LANDSCAPE FABRIC (ANY APPROVED). SUBMIT MULCH SAMPLES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO INSTALLATION.

LANDSCAPE TABULATIONS for Albuquerque, NM

Landscape Area Requirements	
1. 15% of the Net Lot Area shall be landscaped.	
Total Site Area: 45,540 s.f.	
Total Building Area: 8,535 s.f.	
REQUIRED	PROVIDED
5,551 (15%)	9,097 s.f. (24.6%)
Special Landscaping Standards	
1. One tree is required per 10 parking spaces	
2. No parking space may be more than 100' from a tree trunk.	
3. At least 75% of the required trees shall be deciduous canopy shade trees.	
4. All required landscape areas shall be covered with at least 75% vegetative material.	
Parking Spaces: 32	
REQUIRED	PROVIDED
3 trees, 1.5" cal.	3 trees, 2" cal.
4,163 s.f. landscape (75%)	4,181 s.f. landscape (75.3%)
Street Trees	
1. Street trees shall be deciduous and a minimum of 4 species. One of every three trees may be an accent tree. Tree spacing shall be approximately 30 feet apart.	
San Mateo Boulevard: 182.77 l.f.	
REQUIRED	PROVIDED
6 trees, 1.5" cal.	3 existing trees: 3 trees, 2" cal.

DEVELOPMENT DESIGN STANDARDS

1. A landscape buffer of no less than 12' shall be maintained between parking area and San Mateo Blvd.
 2. 75% of landscape areas over 36 s.f. shall be covered with living vegetative material consisting of xeriscape and native plants or native turf. The maximum allowable native turf is 30% of the required vegetative cover.
 3. One tree is required for every 30 l.f. of San Mateo Blvd. frontage.
 4. High water use turf is prohibited.
 5. Areas of the site disturbed and awaiting future development shall be stabilized to control erosion and dust in accordance with E.P.A. requirements. Native seed mix shall be the preferred method of such stabilization.
- San Mateo Boulevard: 182.77 l.f.
- | REQUIRED | PROVIDED |
|--------------------|---------------------------------------|
| 12' buffer | 12' buffer |
| 3 trees, 1.5" cal. | 3 existing trees:
3 trees, 2" cal. |

PLANT SCHEDULE

QTY	LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE	NOTES
TREES					
1	CP	Chinese Pistache	<i>Pistacia chinensis</i>	2" cal.	10-12' ht., 4' spread, matching
2	DW	Desert Willow	<i>Chilopsis linearis</i>	30 gal.	8' ht., 4' spread, multi trunk, 3 cane min.
2	ELO	Escarpment Live Oak	<i>Quercus fusiformis</i>	2" cal.	10-12' ht., 4' spread, matching
1	HL	Thornless Honeylocust	<i>Gleditsia triacanthos</i>	2" cal.	10-12' ht., 4' spread, matching
SHRUBS/GROUNDCOVER					
40	BA	Blue Avena Grass	<i>Helictotrichon sempervirens</i>	5 gal.	full, 24" spread, 36" o.c.
270	BF	Blue Fescue	<i>Festuca ovina glauca</i>	1 gal.	full, 12" o.c.
35	CPE	Cardinal Penstemon	<i>Penstemon cardinalis</i>	5 gal.	full, 30" o.c.
38	DM	Deer Muhly	<i>Muhlenbergia rigida</i>	5 gal.	full, 36" o.c.
32	GA	Gaura	<i>Gaura lindheimeri</i>	5 gal.	full, 24" spread, 36" o.c.
245	MY	Moonshine Yarrow	<i>Achillea x 'Moonshine'</i>	1 gal.	full, 18" o.c.
18	PP	Hardy Spineless Prickly Pear	<i>Opuntia caccanapa 'Ellisiana'</i>	5 gal.	full, 24" sprd, 36" o.c.
220	PR	Persian Rockcress	<i>Aethionema cordifolium</i>	1 gal.	full, 12" o.c.
30	RM	Tuscan Blue Rosemary	<i>Rosmarinus officinalis 'Tuscan Blue'</i>	5 gal.	full, 24" sprd, 36" o.c.
30	RS	Russian Sage	<i>Perovskia atriplicifolia</i>	7 gal.	full, 40" o.c.
22	RY	Red Yucca	<i>Hesperaloe parvifolia</i>	5 gal.	full, 24" sprd, 36" o.c.
15	SB	Scotch Broom	<i>Cytisus scoparius</i>	7 gal.	full, 30" sprd, 48" o.c.
4	SY	Softleaf Yucca	<i>Yucca recurvifolia</i>	5 gal.	full, 30" o.c.

Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. Trees shall have a strong central leader and be of matching specimens. All plant material shall meet or exceed remarks as indicated.

STATE OF NEW MEXICO
Landscape Architect
Amanda W. Richardson
506
LANDSCAPE ARCHITECT
2 25 15

EVERGREEN
DESIGN GROUP
Caldwells, UT
(800) 680-6630
1780 Heritage Center Dr., Suite 104
Wake Forest, NC 27887
www.landscapiconsultants.net

Davita®

CIVIL CONSTRUCTION DOCUMENTS
DAVITA DIALYSIS CENTER - ALBUQUERQUE
5207 SAN MATEO BOULEVARD
LANDSCAPE PLAN

PROJECT NO: DAV003.01
DESIGNED BY: AWR
DRAWN BY: AWR
DATE: 01/09/15

L1.1

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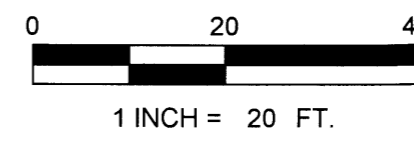
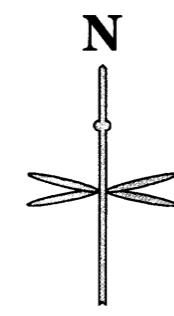
P:\DAVITAMM, ALBUQUERQUE-5207 SAN MATEO\8 CAD\2.0 GRADING AND PAVING PLAN\DWG

TRACT A SANDIA ADDITION
Filed July 9, 2010 in Plot Book 2010C, page 99

TRACT A SANDIA ADDITION
Filed July 9, 2010 in Plot Book 2010C, page 99

TRACT C SANDIA ADDITION
Filed July 9, 2010 in Plot Book 2010C, page 99

SAN MATEO BOULEVARD N.E.
(50-FT R.O.W.)



LEGEND

	PROPERTY LINE
	EASEMENT LINE
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	TOE OF SLOPE
	PROPOSED 6" CURB
	PROPOSED SPILL CURB
	PROPOSED STORM LINE
	PROPOSED WALL
	PROPOSED WATERPROOFING MEMBRANE
	SPOT ELEVATION
	PROPOSED FLOW LINE ELEVATION
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED GRADE AT TOP OF WALL
	PROPOSED GRADE AT BOTTOM OF WALL
	PROPOSED GRADE TO MATCH EXISTING
	PROPOSED GRADE AT EDGE OF CONCRETE
	PROPOSED GRADE AT TOP OF RAMP
	PROPOSED GRADE AT BOTTOM OF RAMP
	FLOW ARROW AND GRADE
	PROPOSED CURB INLET
	EXISTING SANITARY/STORM MANHOLE

GENERAL NOTES

1. REQUIREMENTS SHOWN ON THE SITE PLAN SHALL GOVERN. DRAWINGS AND SPECIFICATIONS SHOWING OTHERWISE NOTWITHSTANDING. CONTRACTOR TO POINT OUT ANY DISCREPANCIES TO THE OWNERS REPRESENTATIVE PRIOR TO BID.
2. NO WORK IS TO BEGIN UNTIL ALL PERMITS HAVE BEEN OBTAINED.
3. FINAL GRADES ARE SUBJECT TO MINOR CHANGE BY CONTRACTOR. NO GRADE CHANGES IN EXCESS OF 0.05' WITHOUT ENGINEER APPROVAL.
4. ANY FILL MATERIAL REQUIRED TO BRING THE SITE TO GRADE SHALL BE CLEAN FILL APPROVED BY GEOTECHNICAL ENGINEER. SEE "NOTES FOR SOIL PREPARATION", THIS SHEET.
5. ALL LANDSCAPING AREAS SHALL BE GRADED 0.10' WITH COMPANY APPROVED SOIL.
6. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MINIMIZING DEPOSITION OF ONSITE SEDIMENTS ONTO SURROUNDING PUBLIC STREETS DURING CONSTRUCTION.
7. SEE THE SITE SURVEY FOR SURVEY INFORMATION AND LEGAL DESCRIPTION.
8. GRADES SHOWN ARE FLOWLINE UNLESS OTHERWISE NOTED.
9. GUTTER GRADES SHALL BE A MINIMUM 1.0%.
10. ADA SIDEWALK AND PARKING STALLS SHALL COMPLY WITH 10-YEAR.
11. THE PROPOSED STORM SEWER IS DESIGNED FOR THE 100-YEAR STORM EVENT. IN THE EVENT THE INLET GRATE BECOMES COMPLETELY CLOGGED, RUNOFF WILL IN THE POND WITHIN THE PARKING AREA AT THE LOWEST POINT LOCATED IN THE SOUTHWEST CORNER OF THE SITE FOR A DEPTH OF 6" WHERE IT WILL OVERTOP THE CURB, AND SHEET FLOW DOWN THE LANDSCAPE AREA IN A WESTERLY DIRECTION AND OVER THE PROPOSED RETAINING WALL. STORM FLOW WILL BE INTERCEPTED IN THE PROPOSED CHANNEL AND CARRIED TO THE EXISTING SOUTH POND.

SOIL PREPARATION NOTE

SOIL PREPARATION FOR NON-LANDSCAPE AREAS SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS:

GEOTECHNICAL ENGINEER: TERRACON CONSULTANTS, INC.
PROJECT NO.: 66145088, DATED JANUARY 9TH 2015

THE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FOR SPECIFIC SOIL PREPARATION AT SITE STRUCTURES. REFER TO THE LANDSCAPE PLANS FOR SPECIFIC PLANTING AREA SOIL AMENDMENT PROCEDURES.

PROJECT BENCHMARK & VERTICAL DATUM

ALL CORNERS FOUND IN PLACE AND HELD WERE TAGGED WITH A BRASS DISK STAMPED "HUGG L.S. 9750" OR "HUGG L.S. 11808" UNLESS OTHERWISE INDICATED HEREON.

ALL CORNERS THAT WERE SET ARE EITHER A 5/8" REBAR WITH CAP STAMPED "HUGG L.S. 9750" OR "HUGG L.S. 11808" OR A CONCRETE NAIL WITH BRASS DISK STAMPED "HUGG L.S. 9750" OR "HUGG L.S. 11808" UNLESS OTHERWISE INDICATED HEREON.

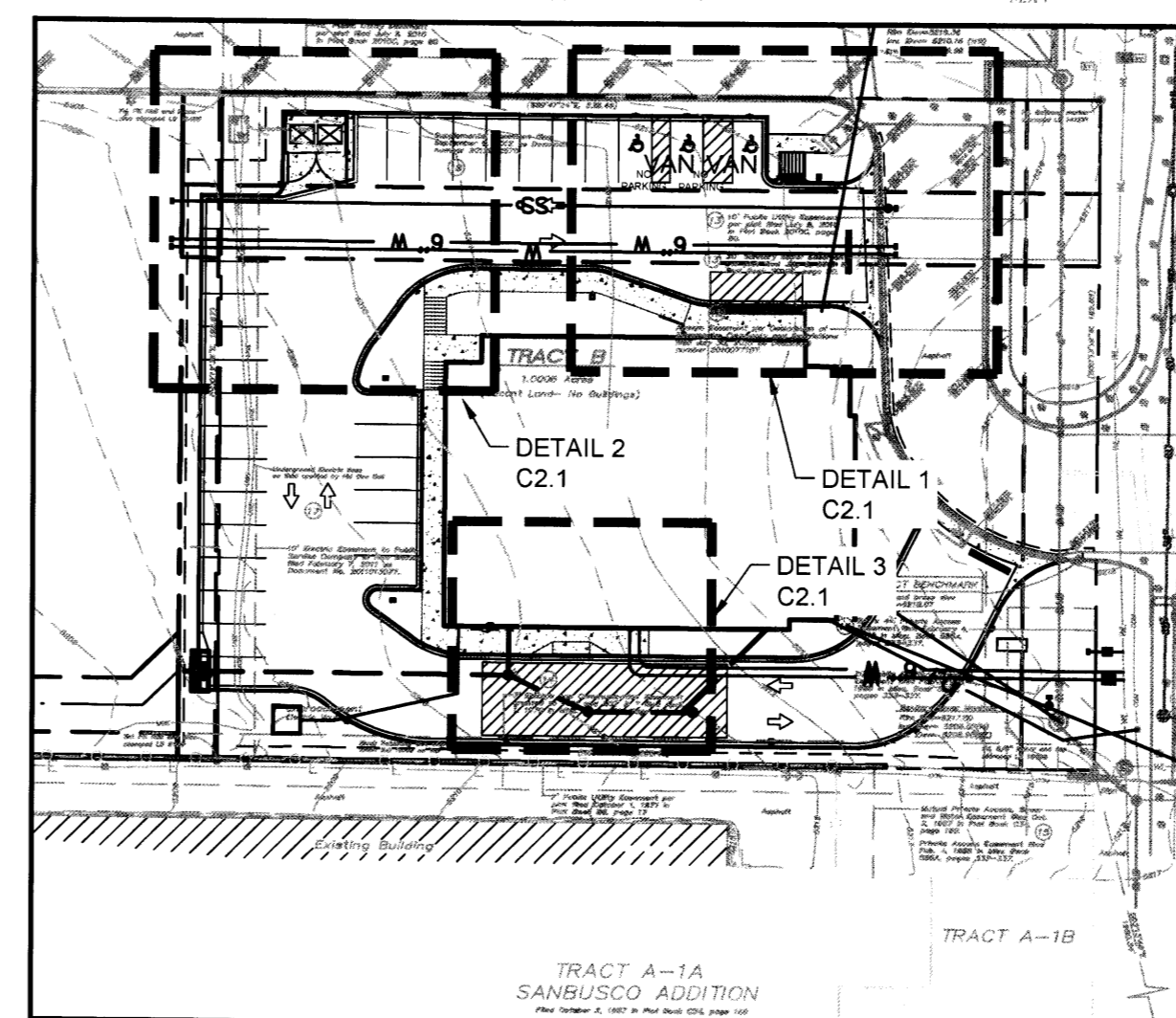
VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "9-F18", ELEVATION = 5212.23 (NAVD 1988)

PROJECT BASIS OF BEARING

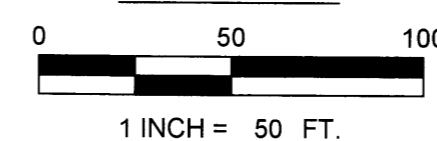
BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE -NAD83.

LEGAL DESCRIPTION

TRACT LETTERED "B" OF THE PLAT OF TRACTS A, B, & C, SANDIA ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, FEBRUARY 2010, AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAT FILED FOR RECORD ON JULY 9, 2010 AND RECORDED AS DOCUMENT #2010068217 IN THE RECORDS OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO



KEY MAP



NO.	REVISION	BY	DATE

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NOT FOR
CONSTRUCTION

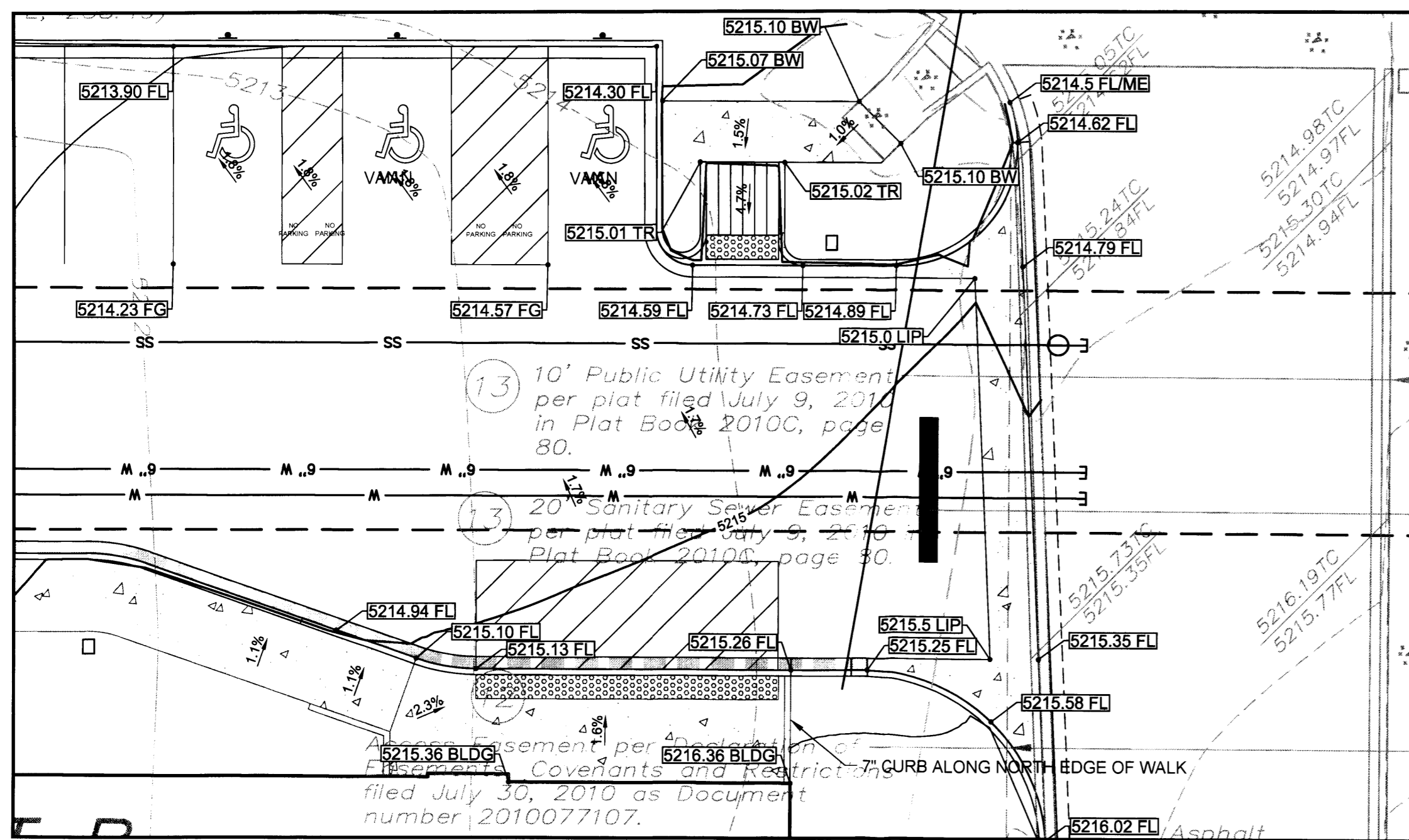
EES
ENGINEERING & ENVIRONMENTAL SOLUTIONS, INC.
303-572-7997
FIRM NO. F-4751

Davita

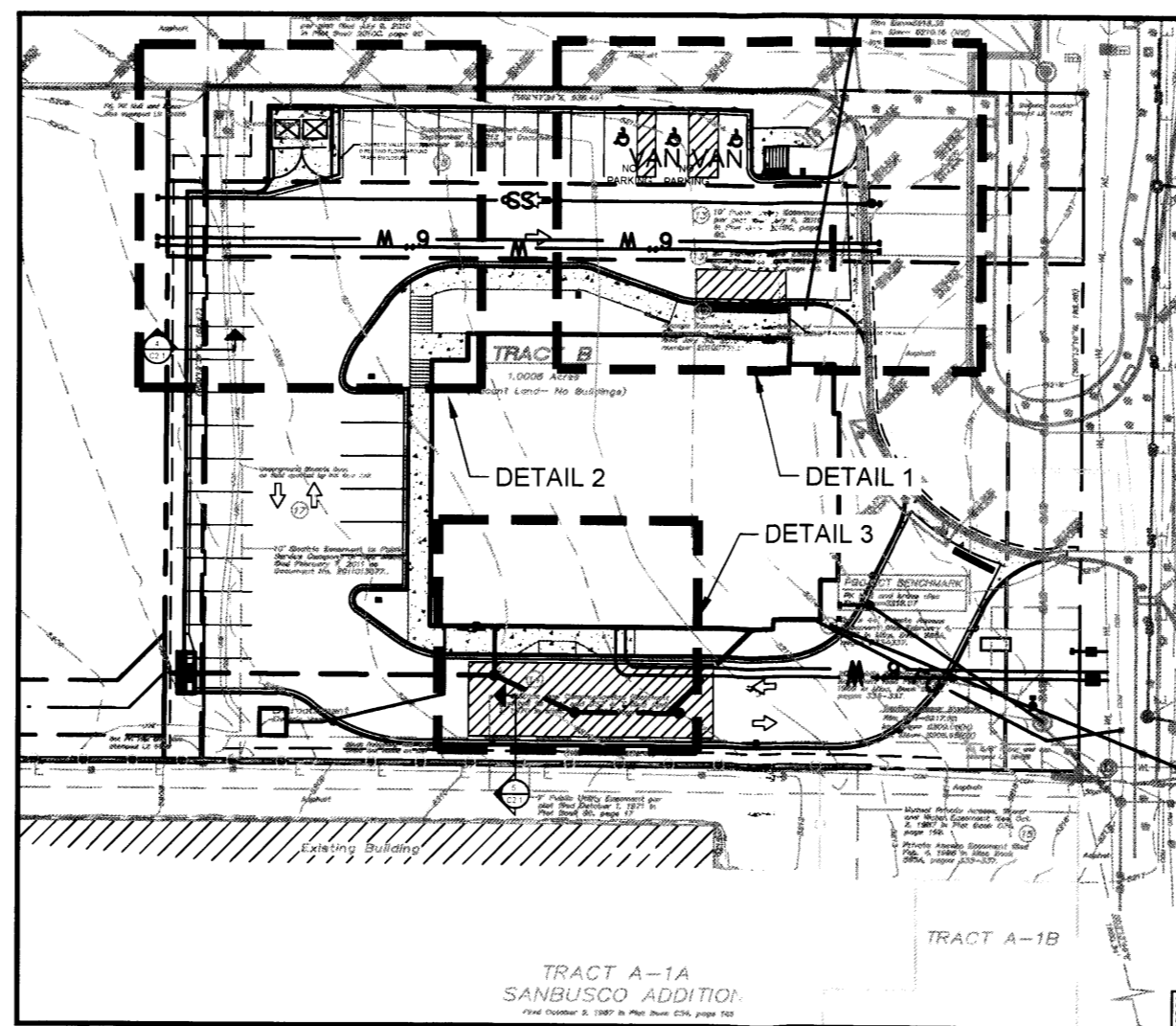
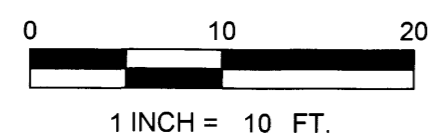
CIVIL CONSTRUCTION DOCUMENTS
DAVITA DIALYSIS CENTER - ALBUQUERQUE
5207 San Mateo Boulevard N.E.
CONCEPTUAL GRADING PLAN

PROJECT NO.: DAV003.01
DESIGNED BY: JR
DRAWN BY: KLR
DATE: 03/10/15
C2.0
SHEET 4 OF 11

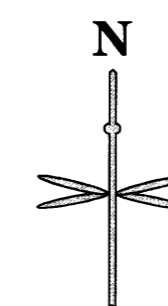
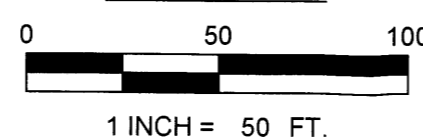
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DETAIL 1

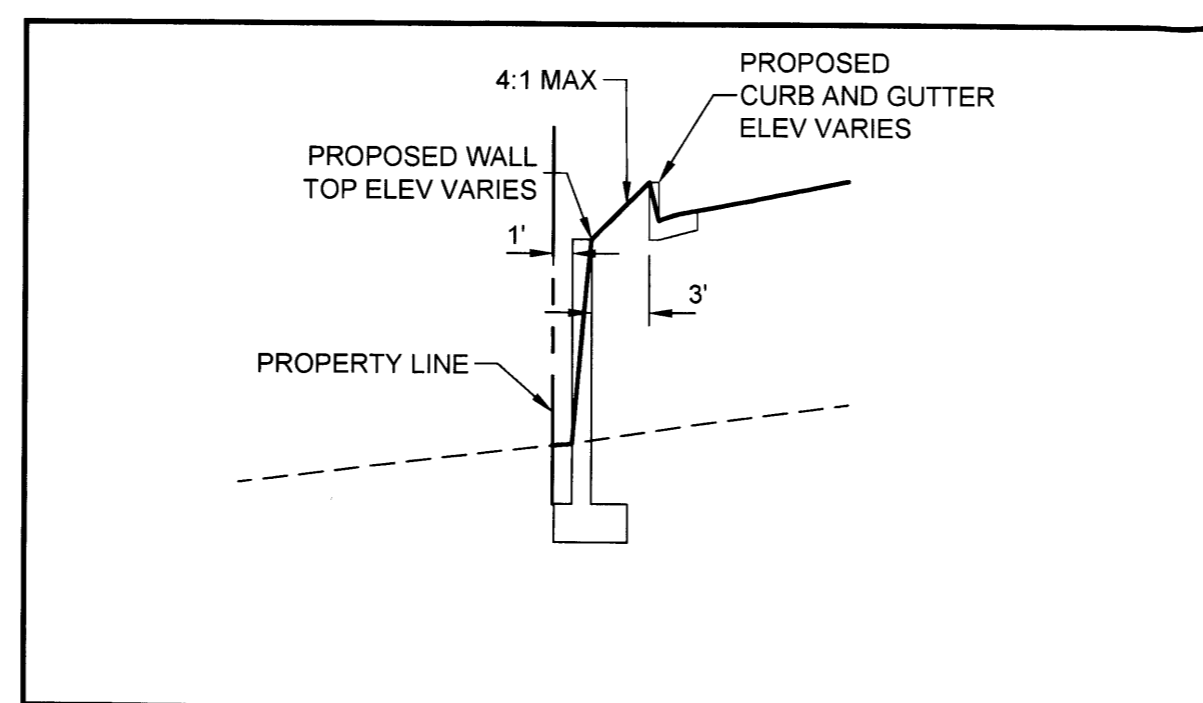


KEY MAP

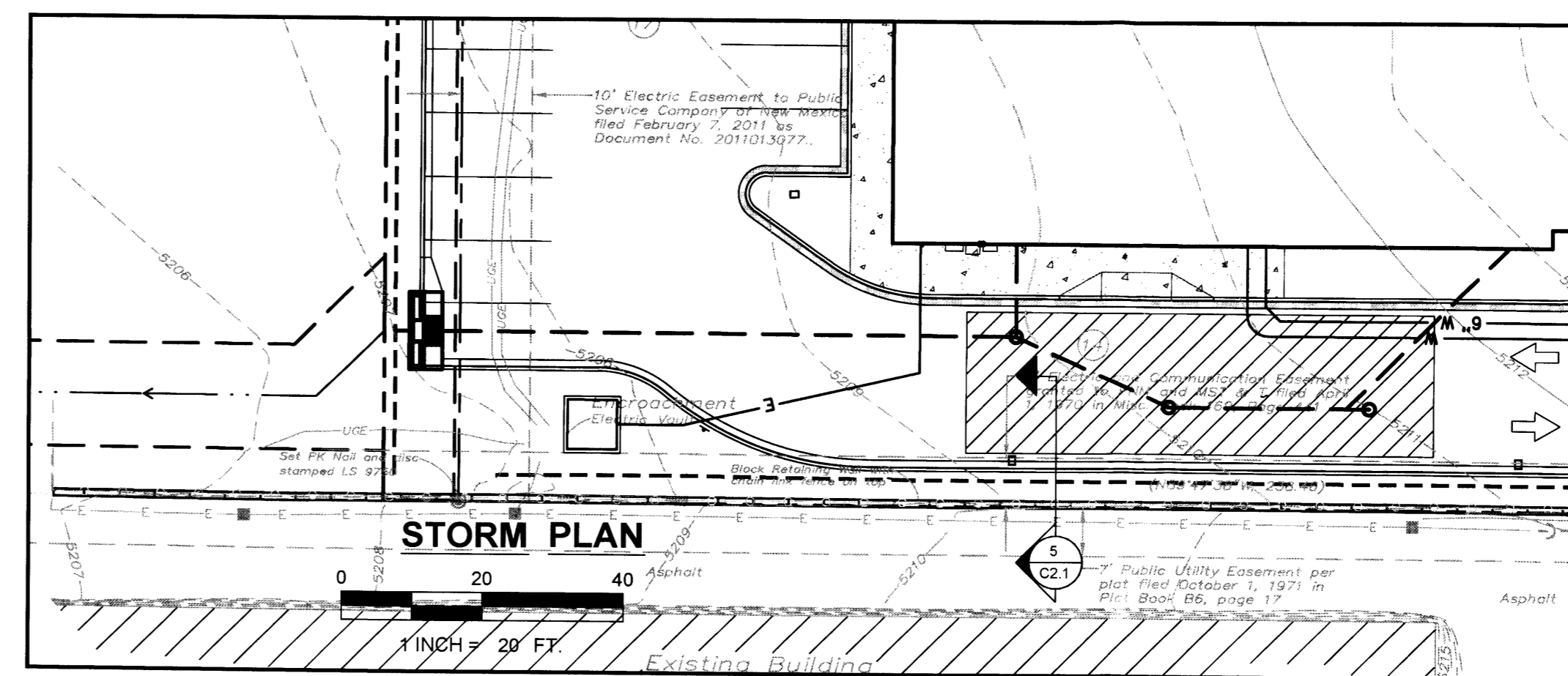
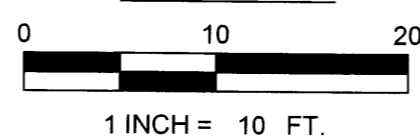


LEGEND

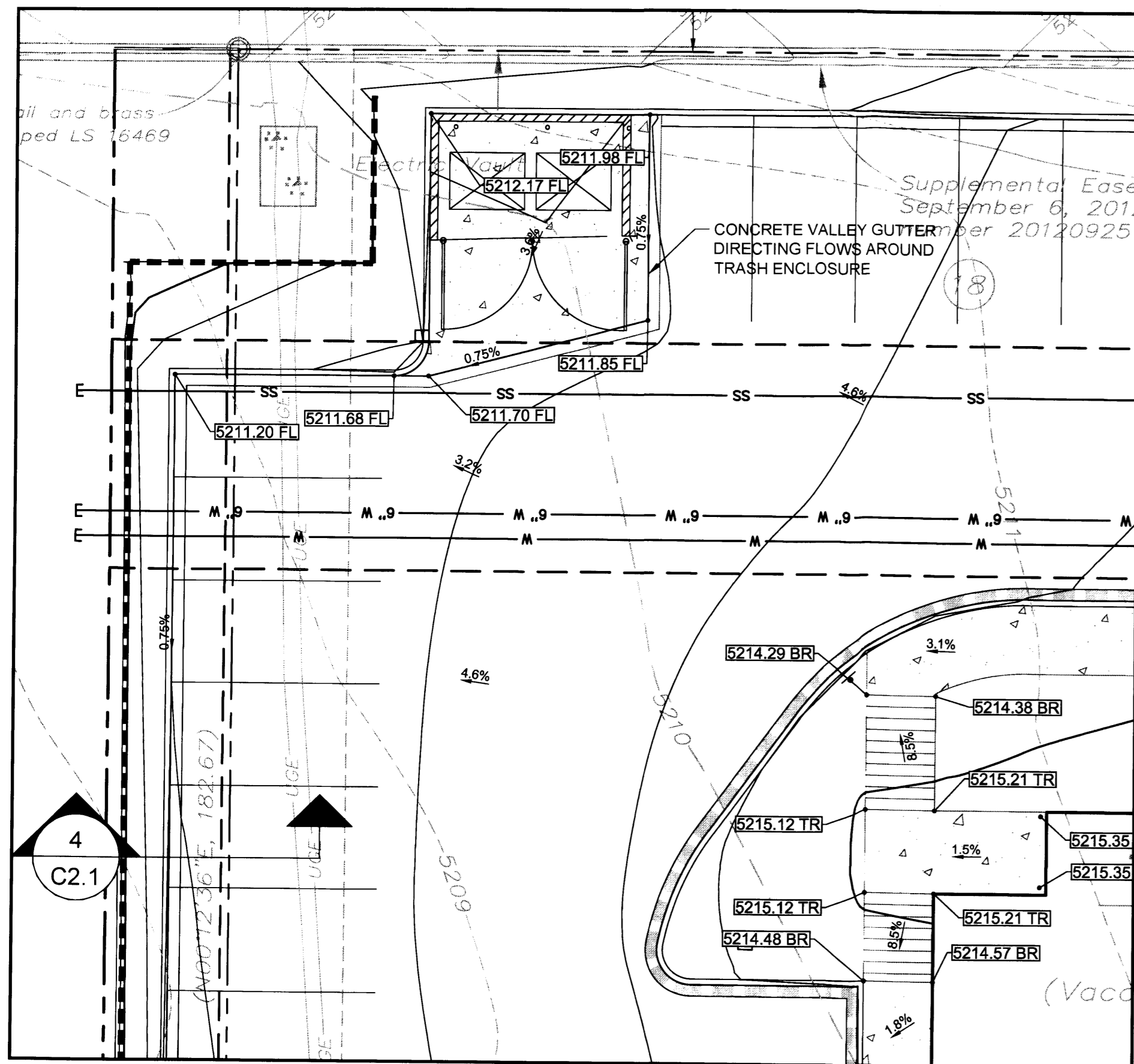
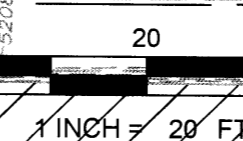
- PROPERTY LINE
- - - EASEMENT LINE
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- TOE OF SLOPE
- PROPOSED DRY CURB AND GUTTER
- PROPOSED STORM LINE
- 717.78 SPOT ELEVATION
- 717.78 FL PROPOSED FLOW LINE ELEVATION
- 717.78 TC PROPOSED TOP OF CURB ELEVATION
- 717.78 EOC PROPOSED GRADE AT EDGE OF CONCRETE
- 5.1% FLOW ARROW AND GRADE



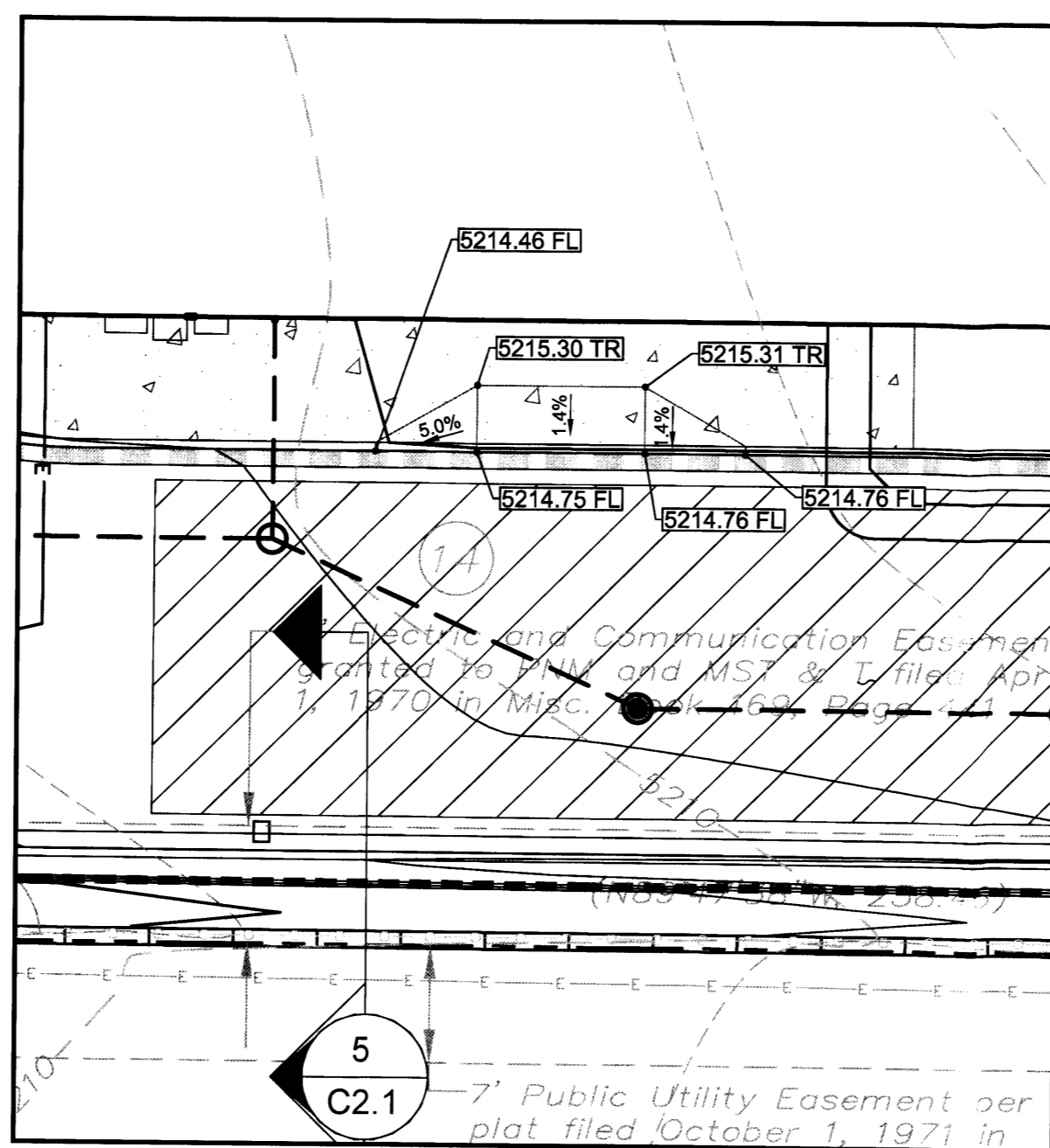
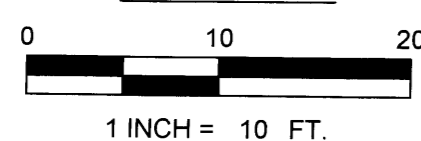
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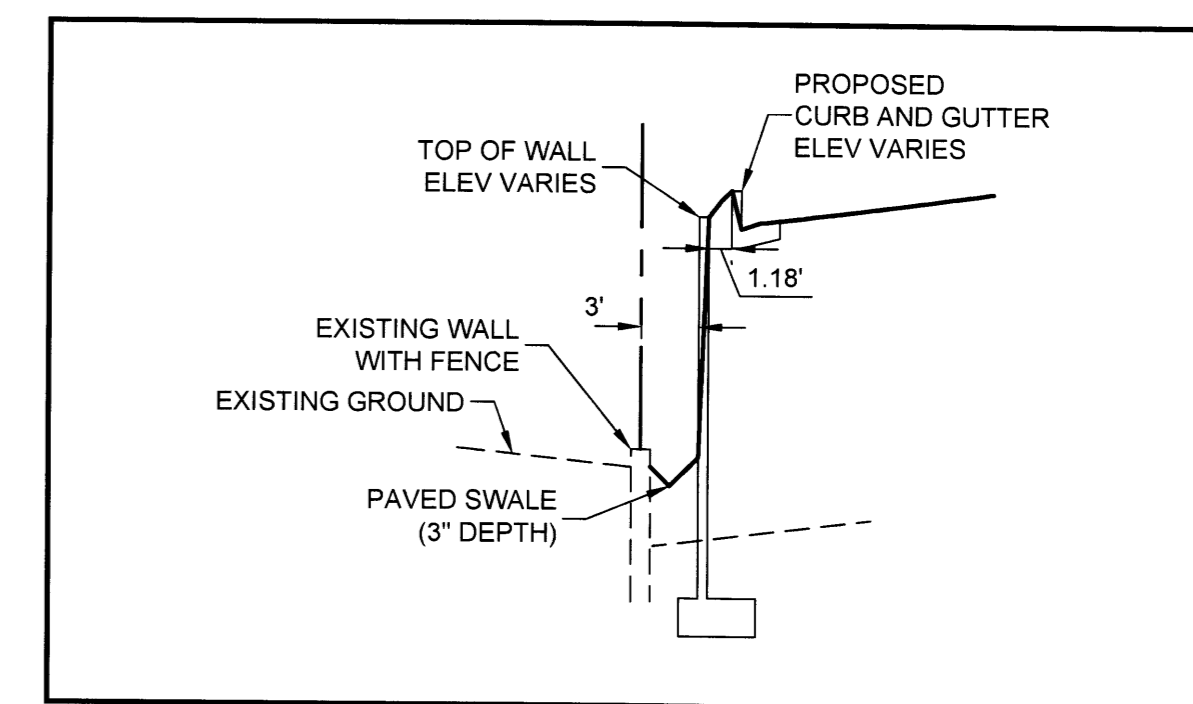
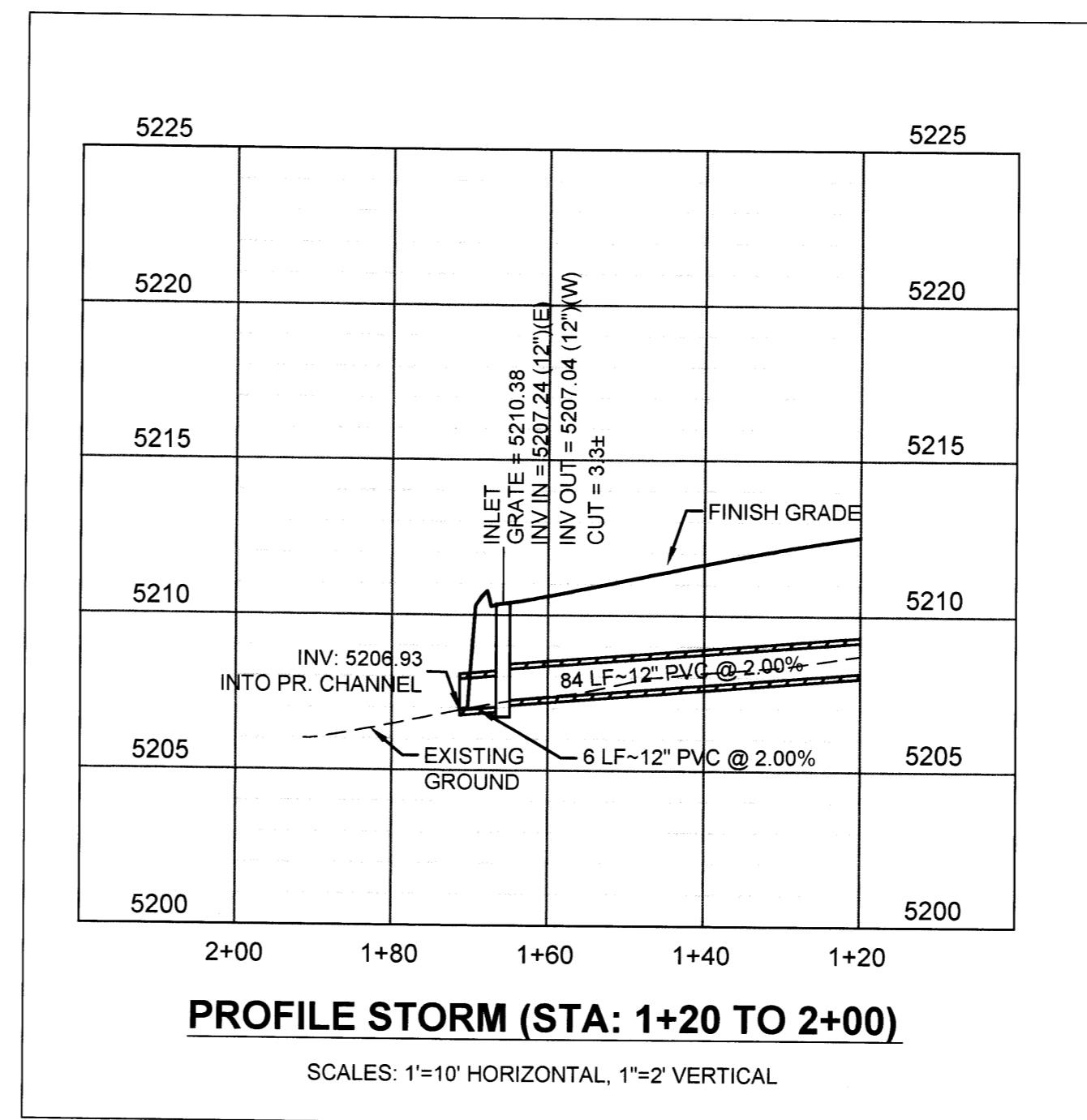
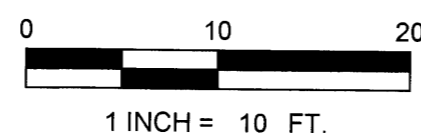
STORM PLAN



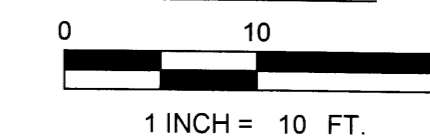
DETAIL 2



DETAIL 3



DETAIL 5



No.	REVISION	BY	DATE

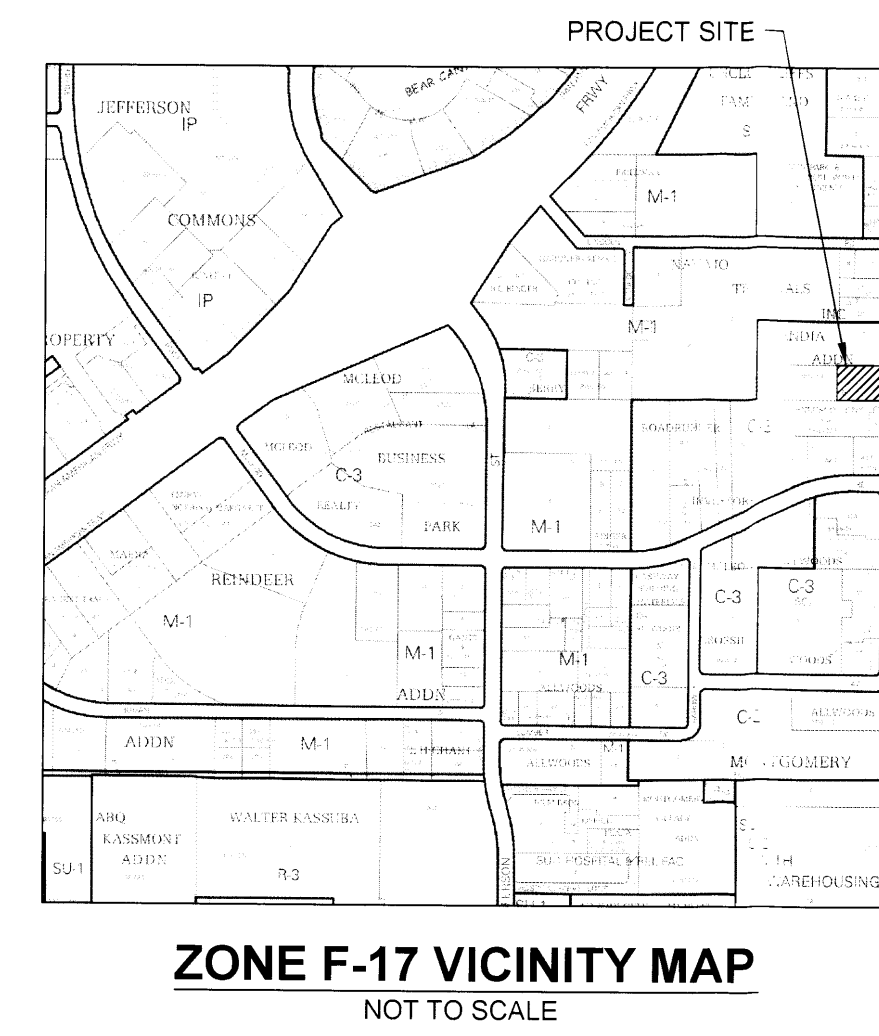
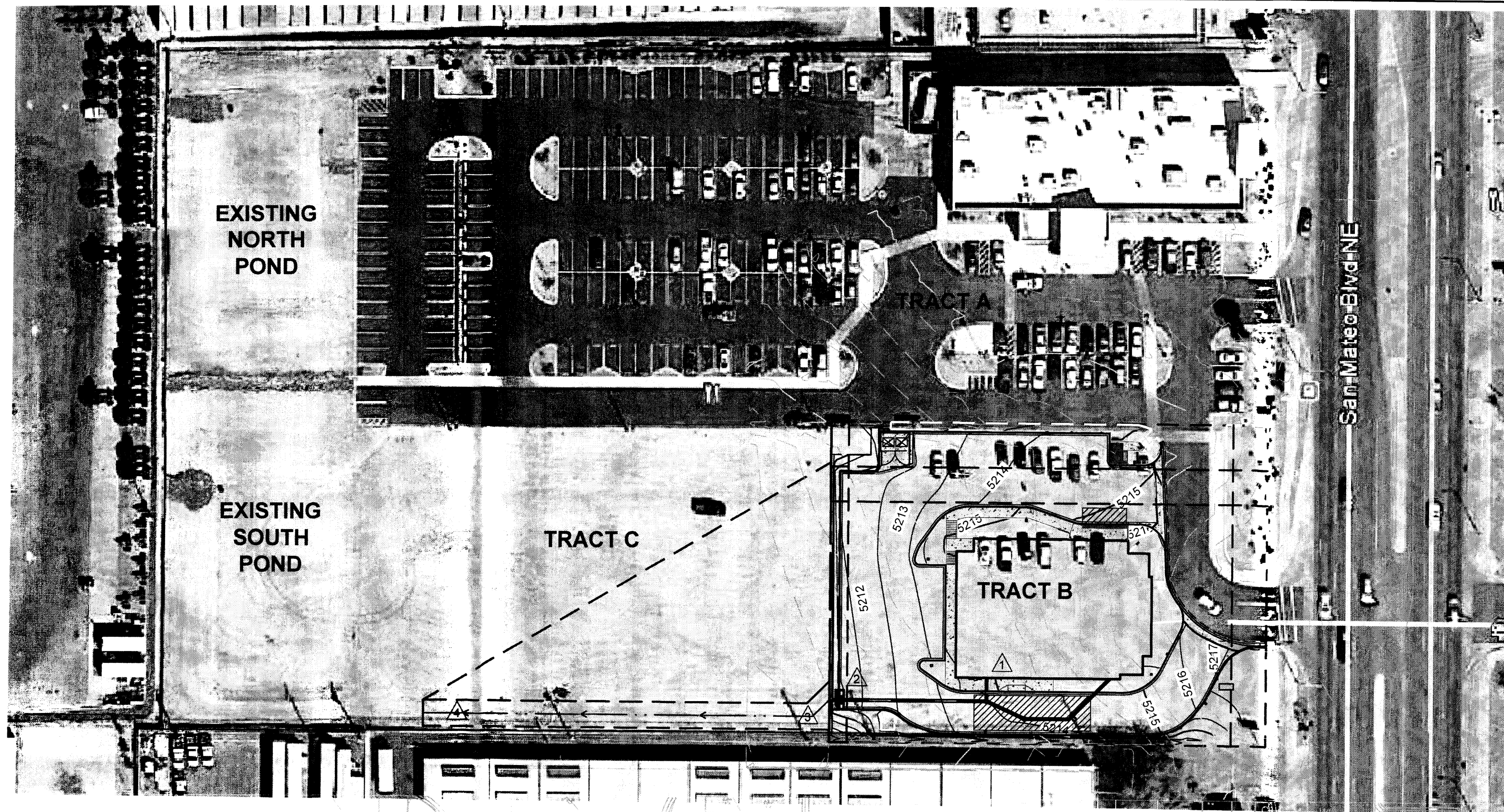
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EES
ENGINEERING SOLUTIONS, INC.
1575 S. W. 10th Street
Denver, CO 80202
303.572.7997
FIRM NO. E-4751

Davita

CIVIL CONSTRUCTION DOCUMENTS
DAVITA DIALYSIS CENTER - ALBUQUERQUE
5207 San Mateo Boulevard N.E.
CONCEPTUAL GRADING ENLARGEMENT AND STORM PROFILE PLAN

PROJECT NO: DAV003.01
DESIGNED BY: JR
DRAWN BY: KLR
DATE: 03/10/15
C2.1
SHEET 5 OF 11



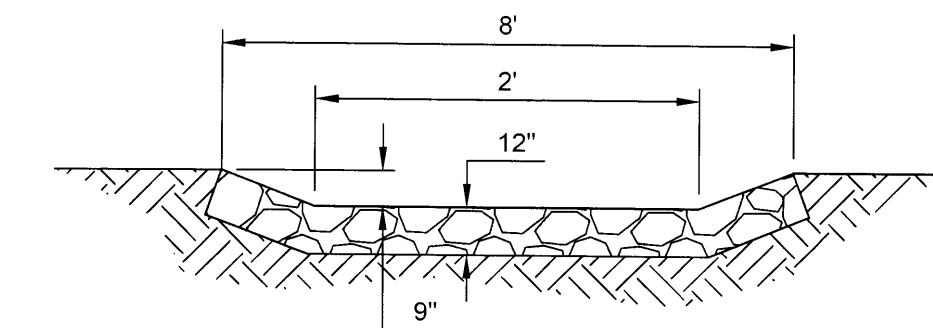
ZONE F-17 VICINITY MAP
NOT TO SCALE

DRAINAGE LEGEND

- PROPERTY LINE
- - - EXISTING MAJOR CONTOUR
- - - EXISTING MINOR CONTOUR
- 715 — PROPOSED MAJOR CONTOUR
- 717 — PROPOSED MINOR CONTOUR
- PROPOSED STORM SEWER
- MAJOR BASIN BOUNDARY LINE
- PROPOSED 6" CURB
- FLOW ARROW
- ⊕ PROPOSED STORM MANHOLE
- ⊕ PROPOSED INLET
- ⊕ EXISTING STORM MANHOLE
- ⊕ BASIN DESIGNATION
- ⊕ IMPERVIOUS AREA
- ⊕ BASIN AREA IN ACRES

DRAINAGE NOTES:

1. THE PROPOSED STORM SEWER IS DESIGNED FOR THE 100-YEAR STORM EVENT. IN THE EVENT THE INLET GRATE BECOMES COMPLETELY CLOGGED, RUNOFF WILL POND WITHIN THE PARKING AREA AT THE LOWEST POINT LOCATED IN THE SOUTHWEST CORNER OF THE SITE FOR A DEPTH OF 6". IT WILL OVERTOP THE CURB, AND OVERLAND FLOW DOWN THE LANDSCAPE AREA IN A WESTERLY DIRECTION AND OVER THE PROPOSED RETAINING WALL. STORM FLOW WILL BE INTERCEPTED IN THE PROPOSED CHANNEL AND CARRIED TO THE EXISTING SOUTH POND.



SECTION A-A
ROCK-LINED CHANNEL SECTION
N.T.S.

- FRACTURED FACE ROCK (F.F. ROCK) EROSION PROTECTION TO BE 12" DEPTH 4'-0" x 8'-0" (6" AVG. DIA.) ANGULAR FACE ROCK PLACED OVER GEOTEX 501 NON-WOVEN GEOTEXTILE (O.E.)

PROJECT BENCHMARK & VERTICAL DATUM

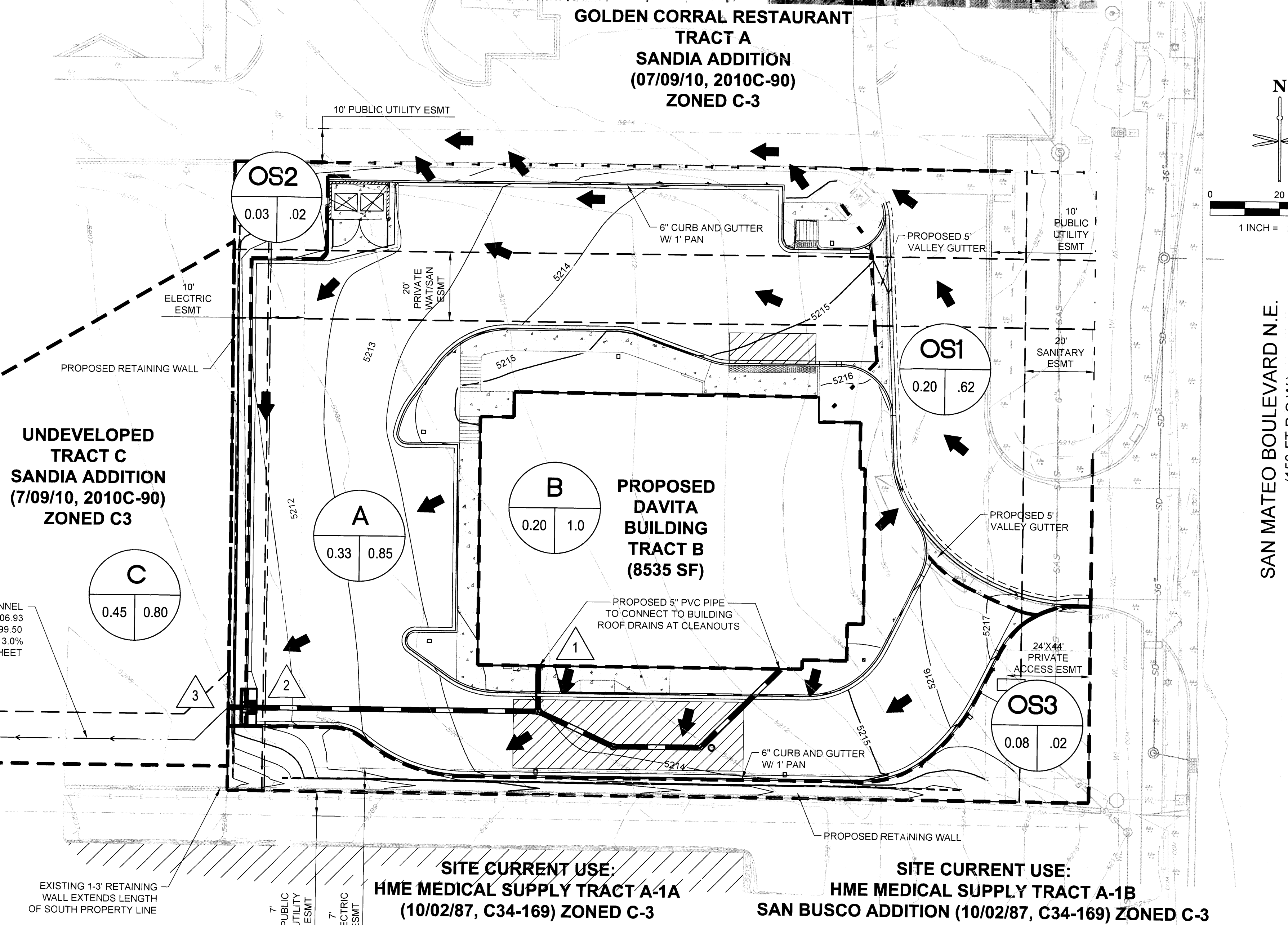
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VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "9-F18", ELEVATION = 5212.23 (NAVD 1988)

PROJECT BASIS OF BEARING

BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE -NAD83.

TABLE 1: BASIN SUMMARY RUNOFF TABLE
SITE ANALYSIS

BASIN	DESIGN POINT	CONTRIBUTING BASIN ACREAGE	10-YR Qpeak (CFS)	100-YR Qpeak (CFS)
A	2	0.33	0.95	1.46
B	1	0.20	0.62	0.92
OS1	-	0.20	0.51	0.82
OS2	BASIN C	0.03	0.06	0.11
OS3	3	0.08	0.14	0.26
C	4	0.45	1.26	1.94



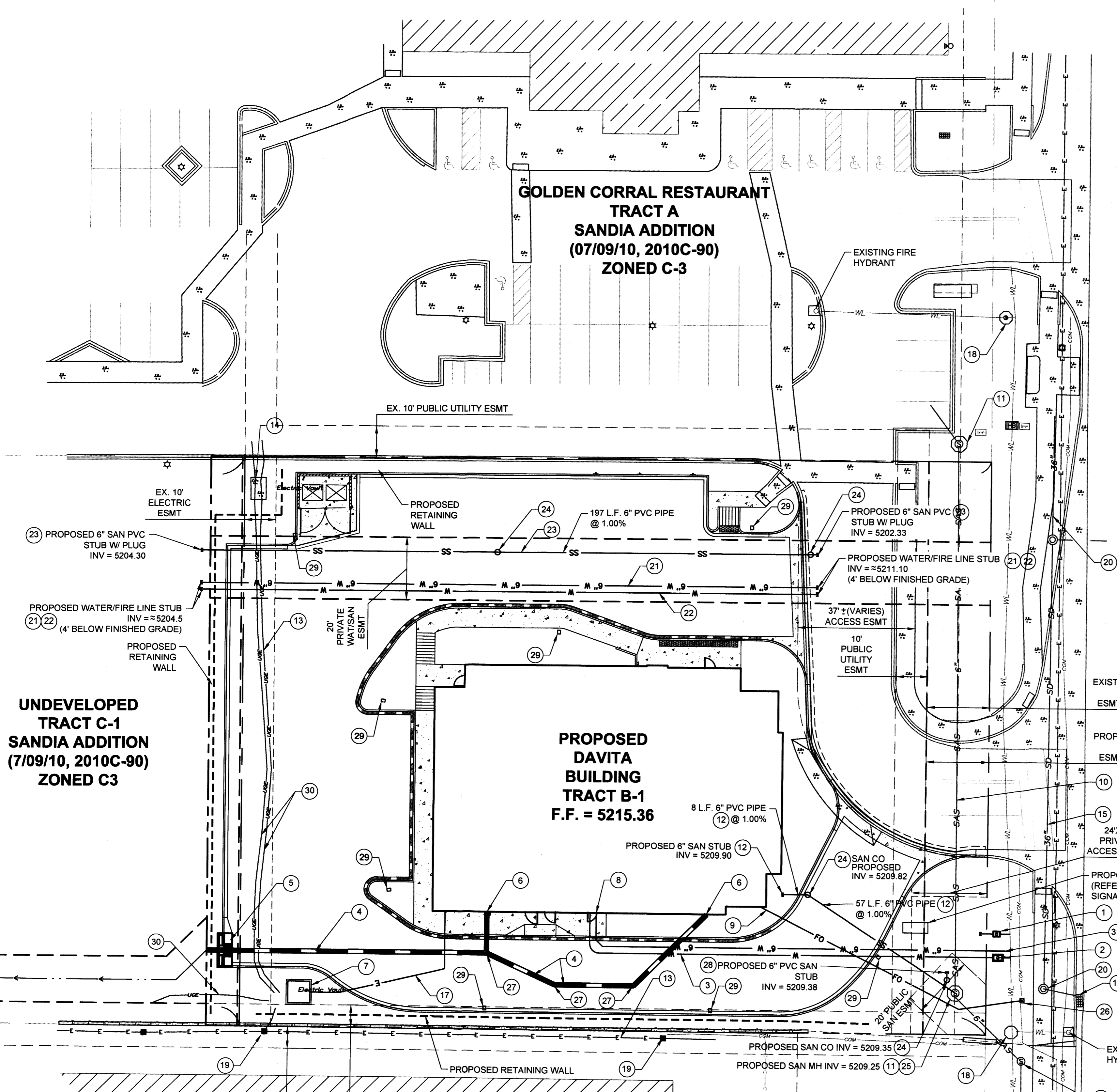
SAN MATEO BOULEVARD N.E.
(150-FT R.O.W.)

SITE CURRENT USE:
HME MEDICAL SUPPLY TRACT A-1A (10/02/87, C34-169) ZONED C-3
HME MEDICAL SUPPLY TRACT A-1B SAN BUSCO ADDITION (10/02/87, C34-169) ZONED C-3

DATE	
BY	
REVISION	
No.	
PRELIMINARY NOT FOR CONSTRUCTION	
 EES & ENGINEERING SOLUTIONS, Inc. 1500 17th Street Denver, CO 80202 303.732.7907 FIRM NO. F-14751	
Davita	
CIVIL CONSTRUCTION DOCUMENTS DAVITA DIALYSIS CENTER - ALBUQUERQUE 5207 San Mateo Boulevard N.E. CONCEPTUAL DRAINAGE AREA PLAN	
PROJECT NO:	DAV003.01
DESIGNED BY:	KLR
DRAWN BY:	KLR
DATE:	03/10/15
C5.0	
SHEET 9 OF 11	

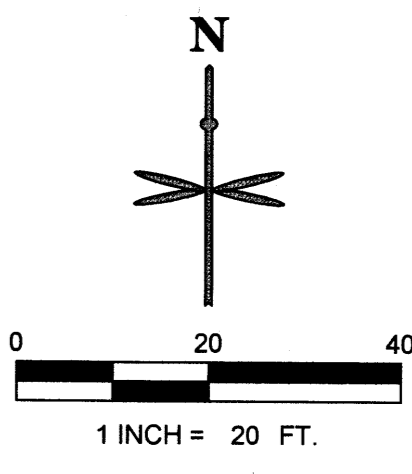
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P:\DVT\ANNI ALBUQUERQUE 5207 SAN MATEO\08 CAD\C4.0 UTILITY PLAN.DWG



LEGEND

---	PROPOSED RETAINING WALL
---	PROPERTY LINE
---	EASEMENT LINE
SS	PROPOSED SANITARY SEWER
W	PROPOSED WATER LINE
G	PROPOSED GAS LINE
E	PROPOSED ELECTRICAL LINE
T	PROPOSED TELEPHONE LINE
ST	PROPOSED STORM LINE
SS	EXISTING SANITARY SEWER
W	EXISTING WATER LINE
G	EXISTING GAS LINE
E	EXISTING TELEPHONE LINE
T	EXISTING ELECTRICAL LINE
ST	EXISTING STORM LINE
⊙	EXISTING FIRE HYDRANT
⊙	PROPOSED SITE LIGHTING
⊙	EXISTING PARKING LIGHTING
⊙	PROPOSED INLET
⊙	EXISTING SANITARY/STORM MANHOLE



NOTES

- UTILITY SERVICE INSTALLATION AND MATERIALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE SPECIFICATIONS.
- ALL SEWER SERVICE PIPE SHALL BE POLYVINYL CHLORIDE GRAVITY PIPE (PVC) SDR 35, MINIMUM BURY DEPTH PER CITY OF ALBUQUERQUE REQUIREMENTS.
- CONTRACTOR TO FIELD VERIFY LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION, WHETHER SHOWN ON THE PLANS OR NOT. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- AT PROPOSED UTILITY CROSSINGS, CONTRACTOR IS TO VERIFY THE REQUIRED GRADES AND CLEARANCES PRIOR TO COMMENCING CONSTRUCTION. ANY REQUIRED CHANGES ARE TO BE COORDINATED DIRECTLY WITH ENGINEER.
- PIPE LENGTHS ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR.
- UTILITY BURY DEPTH SHALL CONFORM TO CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS.
- REFER TO CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS AND CONSTRUCTION SPECIFICATIONS FOR SANITARY, WATER AND STORM SEWER TRENCHING BACKFILL REQUIREMENTS.
- VERIFY LOCATION, ELEVATION AND SIZE OF UTILITY CONNECTIONS INTO BUILDING WITH MECHANICAL PLANS PRIOR TO CONSTRUCTION.
- WATER SERVICE LINES SHALL HAVE A COVER NOT LESS THAN 4" AND SHALL CONFORM TO COA STANDARD SPECIFICATIONS.
- PROPOSED STORM SEWER PIPE IS PRIVATE.
- ALL EXISTING UTILITIES TO REMAIN UNLESS OTHERWISE NOTED. PROTECT IN PLACE FROM DAMAGE.
- WATER, FIRE, AND IRRIGATION METER AND BACKFLOW PREVENTERS SHALL BE IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATION.
- ALL PROPOSED UTILITIES LOCATED IN PROXIMITY TO OR UNDER THE PROPOSED WEST AND SOUTH PERIMETER RETAINING WALL SHALL BE INSTALLED PRIOR TO WALL CONSTRUCTION. CONTRACTOR TO ENSURE NO CONFLICTS BETWEEN UTILITIES AND WALL DESIGN EXIST PRIOR TO CONSTRUCTION.

UTILITY SCHEDULE

- PROPOSED 1" METER BOX, COVER AND LID PER COA STANDARD DRAWING 2368 AND 2362 FOR 1" IRRIGATION SERVICE. TAP EXISTING 12" MAIN PER COA STANDARD SPECIFICATIONS. (SEE IRRIGATION PLANS FOR CONTINUED LAYOUT)
- PROPOSED 2" METER BOX, COVER AND LID PER COA STANDARD DRAWING 2367 AND 2363. TAP EXISTING 12" MAIN PER COA STANDARD SPECIFICATIONS.
- PROPOSED 139' OF 2" TYPE K COPPER DOMESTIC WATER LINE.
- PROPOSED 12" PVC STORM SEWER LINE. SEE SHEET C2.0 PLAN FOR INVERTS.
- PROPOSED TYPE A STORM INLET PER COA STANDARD DRAWING 2201 AND 2202. SEE SHEET C2.0.
- PROPOSED 5" PVC STORM PIPE FOR ROOF DRAIN CONNECTION AT BUILDING CLEANOUTS. SEE GRADING PLAN FOR INVERTS. REFER TO PLUMBING PLANS
- PROPOSED TRANSFORMER AND PAD PER PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) SPECIFICATIONS. REFER TO ELECTRICAL PLANS FOR DETAIL AND DESIGN.
- 6" DIP FIRE SUPPRESSION LINE. REFER TO PLUMBING PLANS.
- PROPOSED TELECOMMUNICATIONS SERVICE LINE TO BUILDING. REFER TO ELECTRICAL PLANS UNDER SEPARATE COVER.
- EXISTING 8" SANITARY. PROTECT IN PLACE.
- EXISTING SANITARY MANHOLE. PROTECT IN PLACE.
- PROPOSED 6" PVC SANITARY SERVICE EXTENDING FROM EXISTING MANHOLE STUBBED TO 5' FROM BUILDING. REFER TO PLUMBING PLANS.
- EXISTING ELECTRICAL TO REMAIN. PROTECT IN PLACE.
- EXISTING ELECTRICAL VAULT. PROTECT IN PLACE.
- EXISTING STORM SEWER.
- EXISTING STORM INLET.
- PROPOSED ELECTRICAL SERVICE TO BUILDING PER PNM STANDARDS. LOCATION SHOWN IS APPROXIMATE. REFER TO ELECTRICAL PLANS FOR DETAIL AND DESIGN.
- EXISTING VALVE BOX FOR HYDRANT CONNECTION. PROTECT IN PLACE.
- EXISTING UTILITY POLE. PROTECT IN PLACE.
- EXISTING STORM MANHOLE. PROTECT IN PLACE.
- PROPOSED 6" DIP FIRE LINE FOR TRACT C-1 FUTURE DEVELOPMENT. LINE STUBBED AND PLUGGED ON BOTH ENDS PER PLAN. PIPE PLUGGED ENDS TO INCLUDE ELECTRONIC LOCATION MARKER DEVICE PER COA STANDARD SECTION 170. DEVELOPER OF TRACT C-1 TO CONTINUE FIRE LINE AS NEEDED. SEE PLAN FOR INVERTS. MAINTAIN 4' BURY DEPTH MIN.
- PROPOSED 4" PVC SLEEVE FOR DOMESTIC WATERLINE FOR TRACT C-1 FUTURE DEVELOPMENT. SEE PLANS FOR INVERTS. MAINTAIN 4' BURY DEPTHS. TO BE STUBBED AND PLUGGED ON BOTH ENDS PER PLAN. PIPE PLUGGED ENDS TO INCLUDE ELECTRONIC LOCATION MARKER DEVICE PER COA STANDARD SECTION 170. DEVELOPER OF TRACT C-1 TO INSTALL AND CONNECT DOMESTIC WATER LINE AS NEEDED.
- PROPOSED 6" PVC SANITARY LINE TO BE STUBBED AND PLUGGED ON BOTH ENDS PER PLAN. PIPE PLUGGED ENDS TO INCLUDE ELECTRONIC LOCATION MARKER DEVICE PER COA STANDARD SECTION 170. DEVELOPER OF TRACT C-1 TO CONTINUE SANITARY LINE CONNECTIONS AS NEEDED.
- PROPOSED HS-20 RATED 6" SANITARY SEWER CLEANOUT.
- CONNECT 6" SANITARY SERVICE TO EXISTING MANHOLE PER COA STANDARD SPECIFICATIONS. SEE PLAN FOR INVERTS.
- CONNECT TELECOMMUNICATIONS SERVICE TO EXISTING PEDESTAL PER QWEST/CABLE ONE STANDARDS.
- PROPOSED HS-20 RATED 12" STORM CLEANOUTS. SEE SHEET C2.0.
- PROPOSED 6" PVC SANITARY STUB W/ PLUG FOR FUTURE TRACT C-1 DEVELOPMENT. PIPE STUB TO INCLUDE ELECTRONIC LOCATION MARKER DEVICE PER COA STANDARD SECTION 170. CONNECTION TO STUB WALL REQUIRE LIFT STATION TO BE INSTALLED BY DEVELOPER OF TRACT C-1.
- PROPOSED LIGHT POLE. REFER TO ELECTRICAL AND PHOTOMETRIC PLANS FOR DETAIL.
- EXISTING ELECTRIC LINES MAY REQUIRE VERTICAL ADJUSTMENT TO 3' BELOW PROPOSED FINISHED GRADES PER PNM REQUIREMENTS. CONTRACTOR TO COORDINATE WITH PNM.
- PROPOSED 6" DIP FINE SUPPRESSION LINE CONNECTION TO EXISTING 12" MAIN PER COA STANDARD SPECIFICATIONS.

PROJECT BENCHMARK & VERTICAL DATUM

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LEGAL DESCRIPTION

TRACT LETTERED "B" OF THE PLAT OF TRACTS A, B, & C, SANDIA ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, FEBRUARY 2010, AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAT FILED FOR RECORD ON JULY 9, 2010 AND RECORDED AS DOCUMENT #2010068217 IN THE RECORDS OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO

DATE	03/10/15
BY	
REVISION	
No.	

**PRELIMINARY
NOT FOR
CONSTRUCTION**

EES
ENGINEERING SOLUTIONS, INC.
548 1/2 Street
Suite 1575
Albuquerque, NM 87102
www.ees.us.com
505-772-7997

FIRM NO. F-14751

Davita.

CIVIL CONSTRUCTION DOCUMENTS

DAVITA DIALYSIS CENTER - ALBUQUERQUE

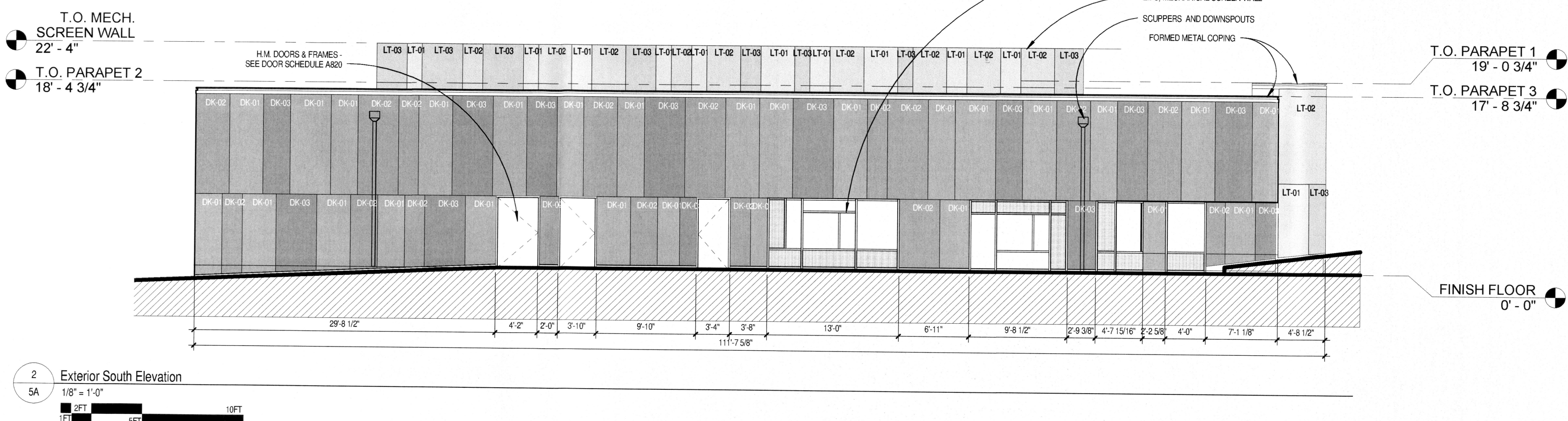
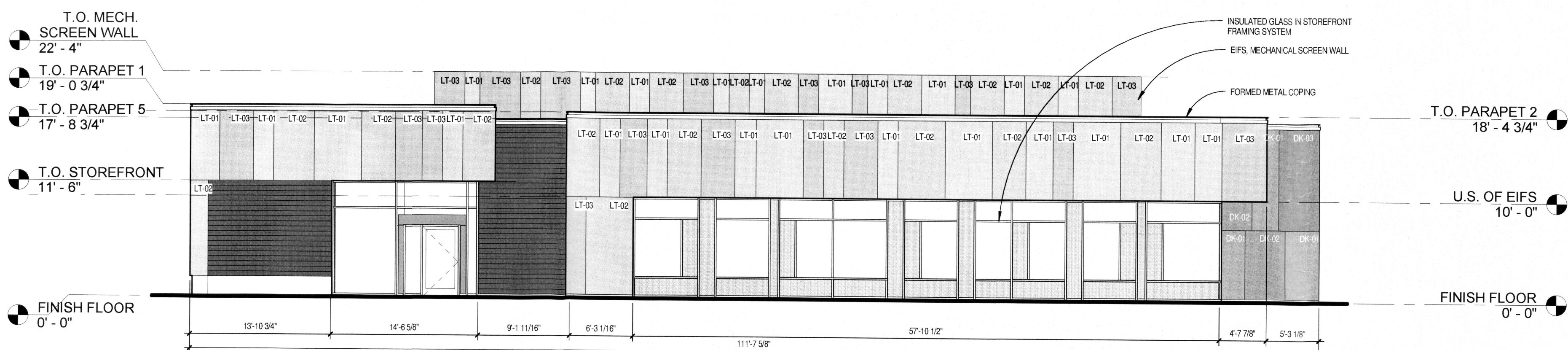
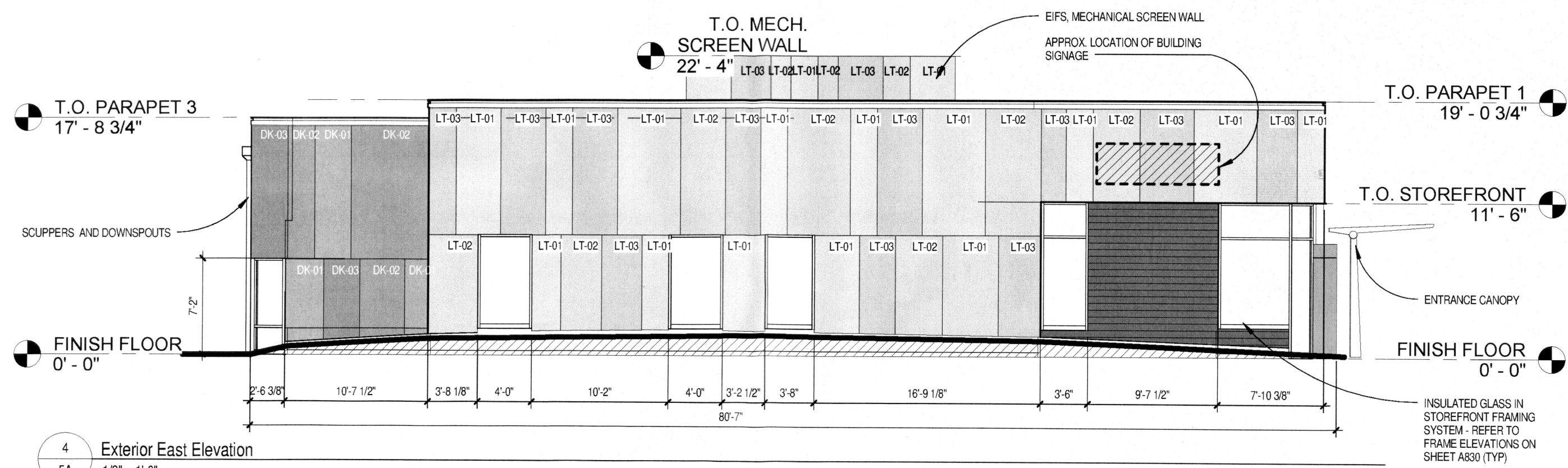
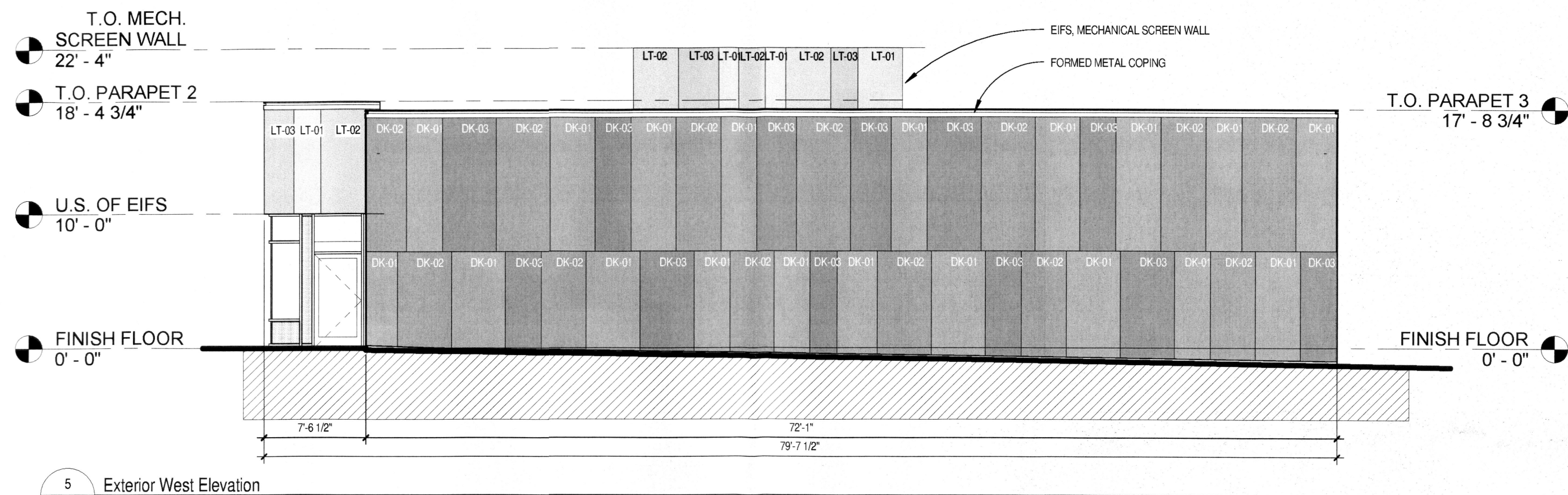
5207 San Mateo Boulevard N.E.

UTILITY PLAN

PROJECT NO.	DAV003.01
DESIGNED BY	KLR
DRAWN BY	KLR
DATE	03/10/15

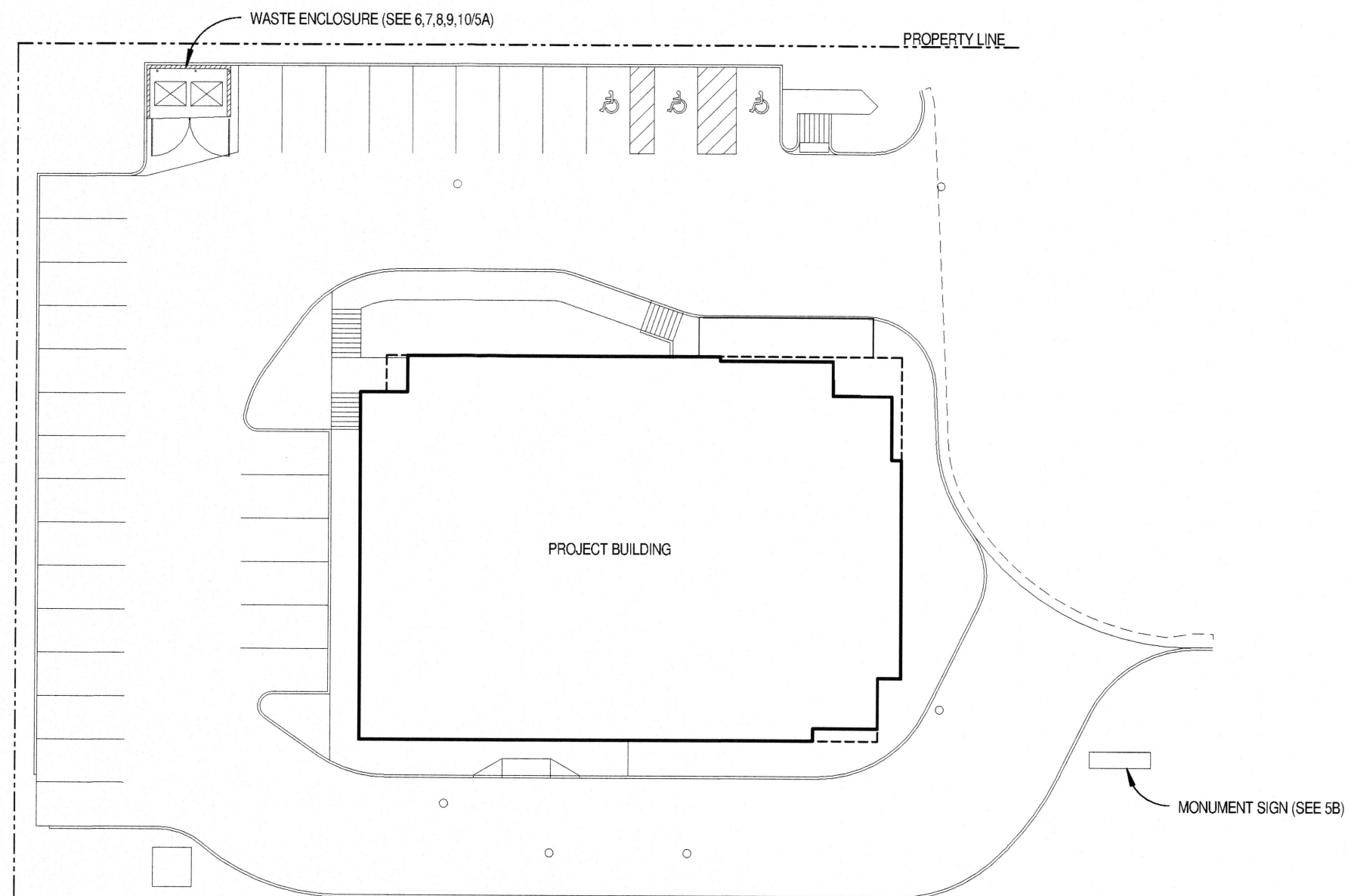
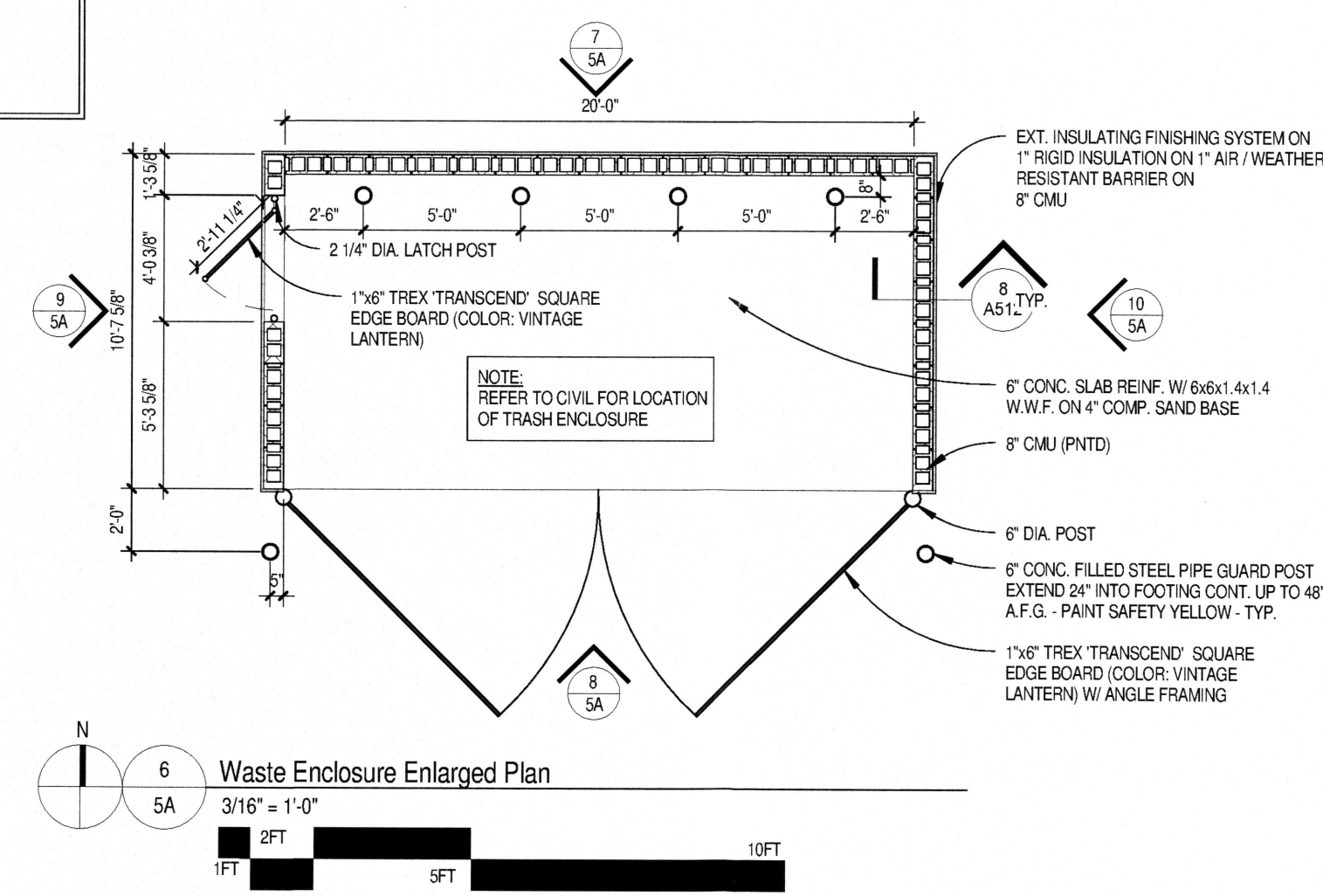
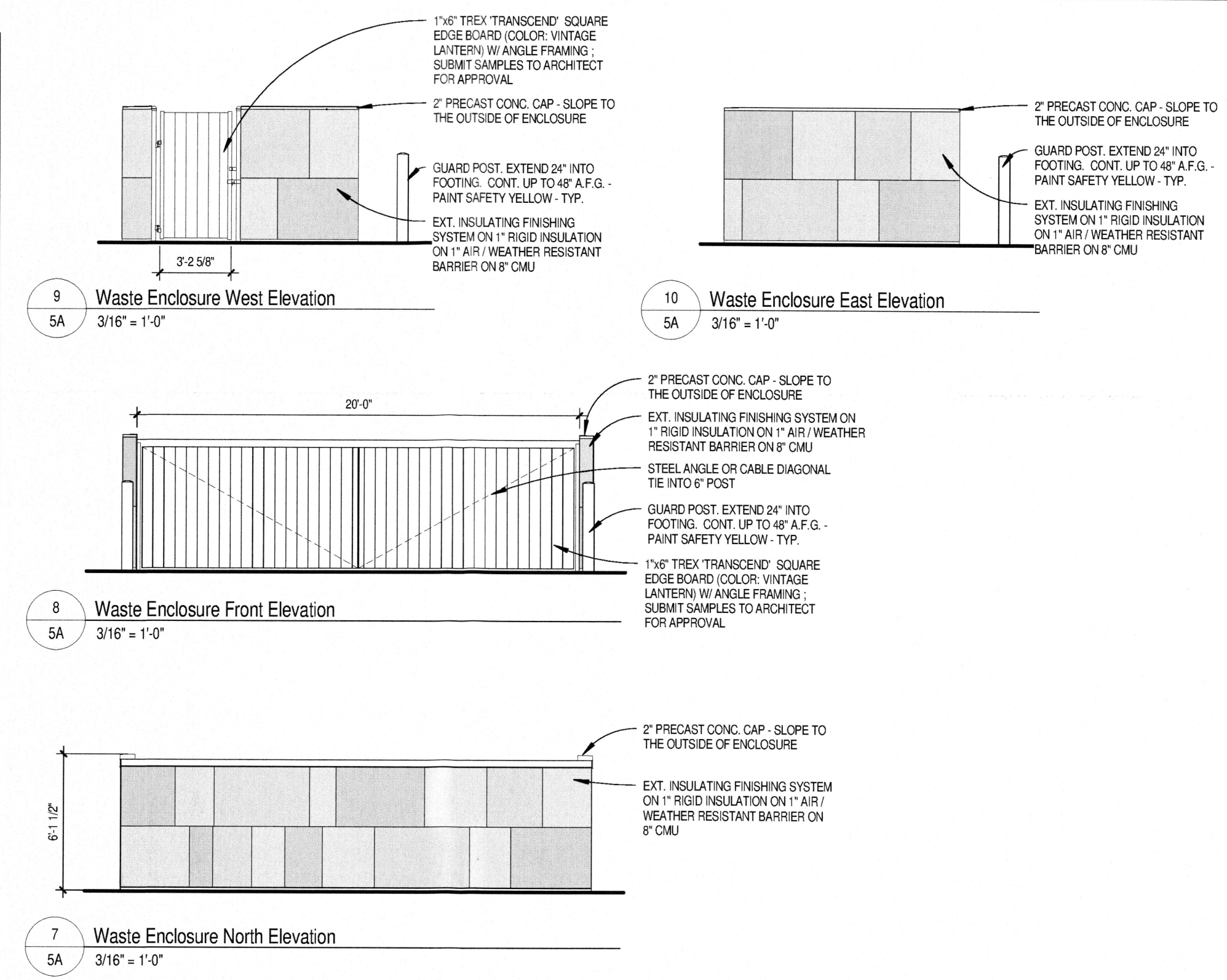
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SHEET 8 OF 11

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EXTERIOR BUILDING MATERIALS PRODUCT SCHEDULE			
MATERIAL	DESCRIPTION / REMARKS	MANUFACTURER	FINISH
EIFS	STO THERM-EXT	STO	LT-01: STO LIMESTONE 2088 LT-02: STO LIMESTONE 9360 LT-03: STO LIMESTONE 9340 DK-01: STO LIMESTONE SW61521 DK-02: STO LIMESTONE SW61522 DK-03: STO LIMESTONE SW7034
FIBER CEMENT PANEL	NICHHA VINTAGE WOOD & ILLUMINATION	NICHHA	FCP-1: VINTAGE WOOD BARK FCP-2: ILLUMINATIONS 'DAVITA BLUE' PANTONE PMS 301
STOREFRONT FRAME SYSTEM	TRIFAB VERSA GLAZE 451T, SHEARBLOCK ALUM. STOREFRONT GLAZING SYSTEM W/ THERMAL BREAK, CENTER SET GLAZED VERSION	KAWNEER	CLEAR ANODIZED
INSULATED GLASS	1" CLEAR INSULATED LOW-E GLASS WITH THE FOLLOWING MINIMUM CRITERIA: • SHADING COEFFICIENT > 0.81 • U" VALUE = 0.33 OR LESS • SOLAR HEAT GAIN COEFFICIENT (SHGC) = 0.40 OR LESS • VISIBLE LIGHT TRANS. = .65 OR MORE • LOW-E COATING ON #2 & #3 SURFACES GLASS TYPE • 1A: NON-TEMPERED, CLEAR • 1B: TEMPERED, CLEAR • 2A: NON-TEMPERED, FROSTED • 2B: TEMPERED, FROSTED * REFER TO SPECIFICATION SECTION 088000 FOR GLASS TYPE SPECIFICATIONS		
FORMED METAL COPING	ALUMINUM BREAK METAL COPING, FLASHING & COUNTERFLASHING W/ DRIP EDGE		CLEAR ANODIZED
METAL SURFACE FLASHING	ALUMINUM BREAK METAL FLASHING		CLEAR ANODIZED

EIFS COLOR LEGEND	
FRONT	BACK
LT-01: STO LIMESTONE 2088 LT-02: STO LIMESTONE 9360 LT-03: STO LIMESTONE 9340	DK-01: STO LIMESTONE SW61521 DK-02: STO LIMESTONE SW61522 DK-03: STO LIMESTONE SW7034

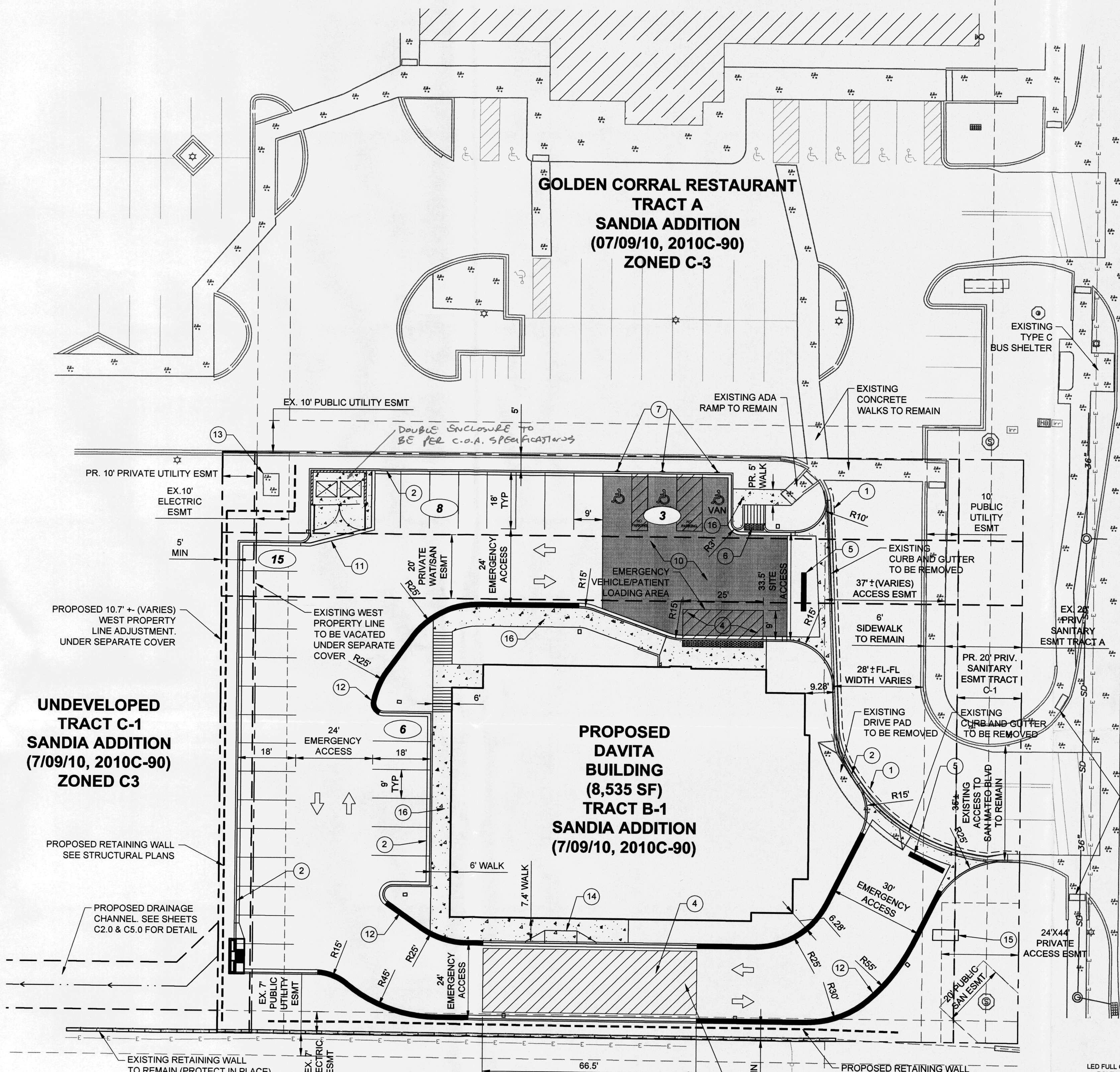


PROJECT TITLE: 5A
 PROJECT # 2014.2185.00
 SHEET NO. 5A
 OWNER: Genesis KC Development, LLC
 c/o Davita Healthcare Partners, Inc.
 2000 16th Street
 Denver, CO 80202
 PROJECT: Davita Inc. DIALYSIS CENTER Del Norte Albuquerque (Shell)
 5207 San Mateo Avenue
 Albuquerque, NM 87112
 Facility No. 11224
 ISSUED: _____
 DATE: _____
 CHECKED: _____
 DATE: _____
 CONSULTANTS: _____
 DATE: _____

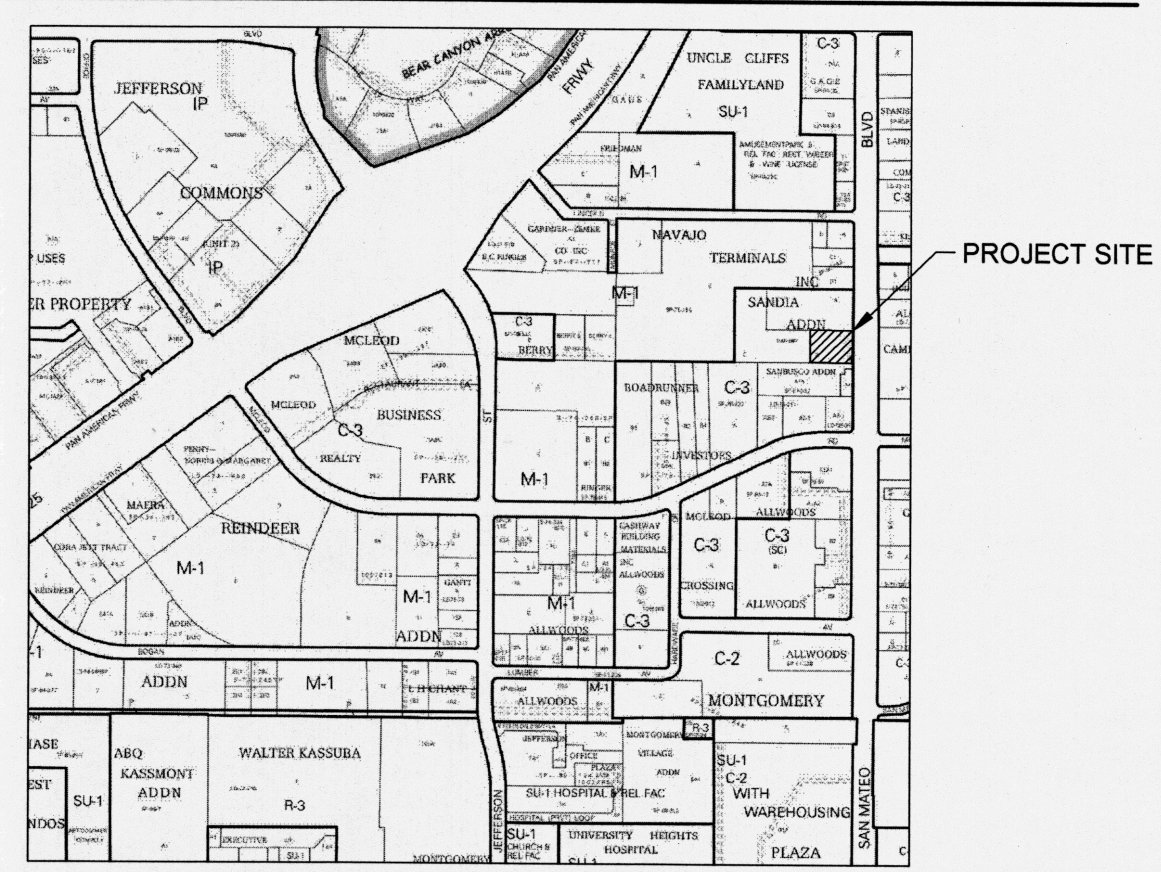
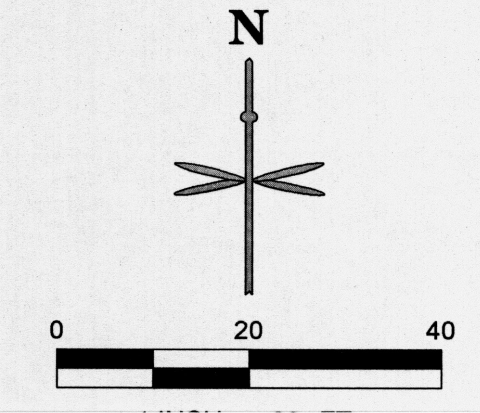
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P:\DAVITA\NM ALBUQUERQUE 5207 SAN MATEO BLVD CAD\CI COVERALL SITE PLAN.DWG



PROJECT: 1007867
 DATE: 4-8-15
 APP: 15-70114 (S22)



PROJECT INFORMATION

ADDRESS:
 5207 SAN MATEO BLVD.
 ALBUQUERQUE, NM 87109
 (FINAL ADDRESS ASSIGNMENT T.B.D)

LEGAL DESCRIPTION:
 TRACT LETTERED 'B' OF THE PLAT OF TRACTS A, B, & C, SANDIA ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, FEBRUARY 2010, AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAT FILED FOR RECORD ON JULY 9, 2010 AND RECORDED AS DOCUMENT NO. 2010068217 IN THE RECORDS OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO.

SITE ACREAGE:
 FORMER TRACT B: 1.00 ACRES
 PROPOSED TRACT B-1 AFTER PLAT ADJUSTMENT: 1.05 ACRES

PLANNING INFORMATION:
 ZONE ATLAS PAGE F-17-Z
 LAND USE ZONING IS C-3

PARKING SUMMARY:

REQUIRED	
MEDICAL OFFICE (5 SPACES PER DOCTOR)	= 25
ADA SPACES (10% OF REQUIRED PARKING)	= 3
PROVIDED	
STANDARD SPACES	= 29
ADA HANDICAP STANDARD SPACES	= 1
ADA HANDICAP VAN ACCESSIBLE SPACES	= 2
TOTAL	= 32

LEGEND

- PROPOSED RETAINING WALL
- - - PROPOSED EASEMENT
- PROPERTY LINE
- PROPOSED BUILDING
- PROPOSED SIGN
- 9 ○ PARKING COUNT
- EXISTING CURB AND GUTTER
- PROPOSED 6" STANDARD CURB
- ☆ EXISTING SITE LIGHTING
- ☆ PROPOSED SITE LIGHTING
- PROPOSED CONCRETE WALK (SEE DETAIL SHEET C6.0)
- PROPOSED INLET
- PROPOSED 4" SANITARY MANHOLE
- EXISTING SANITARY/STORM MANHOLE
- ← DENOTES TRAFFIC FLOW PATTERNS (NO ACTUAL STRIPING)
- FIRE LANE CURB PAINT

PROJECT BENCHMARK & VERTICAL DATUM

ALL CORNERS FOUND IN PLACE AND HELD WERE TAGGED WITH A BRASS DISK STAMPED "HUGG L.S. 9750" OR "HUGG L.S. 11808" UNLESS OTHERWISE INDICATED HEREON.

ALL CORNERS THAT WERE SET ARE EITHER A 5/8" REBAR WITH CAP STAMPED "HUGG L.S. 9750" OR "HUGG L.S. 11808" OR A CONCRETE NAIL WITH BRASS DISK STAMPED "HUGG L.S. 9750" OR "HUGG L.S. 11808" UNLESS OTHERWISE INDICATED HEREON.

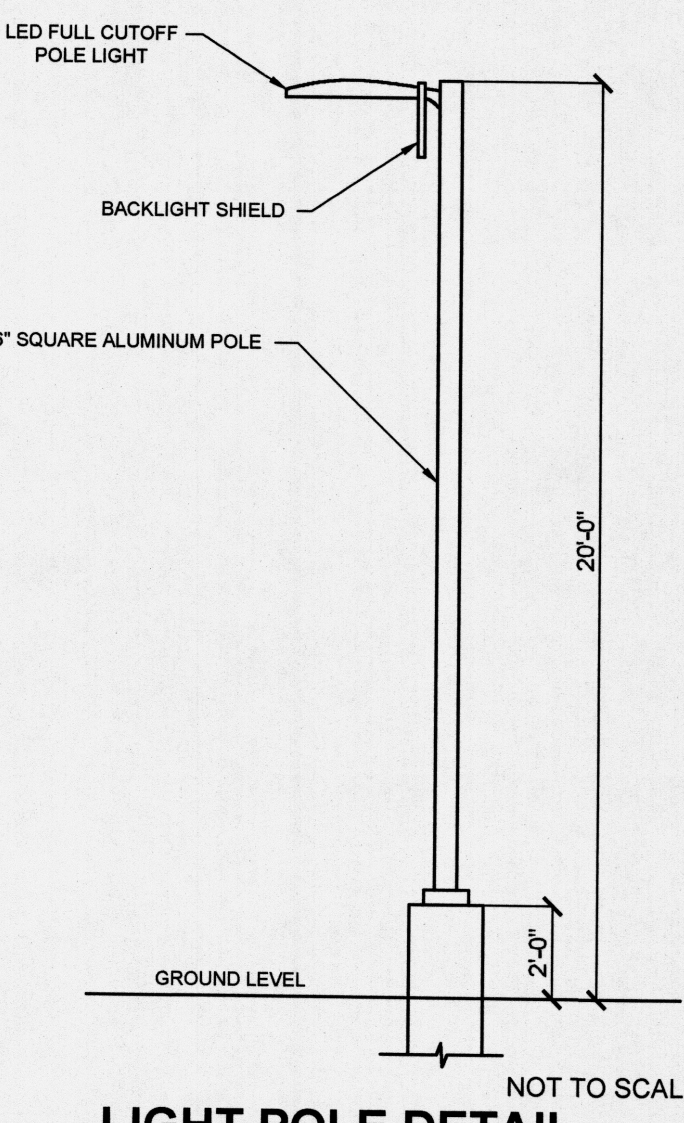
VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "9-F18", ELEVATION = 5212.23 (NAVD 1988)

PROJECT BASIS OF BEARING

BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE -NAD83.

SITE SCHEDULE

- 1 PROPOSED 1' SAWCUT OFFSET FROM PROPOSED CURB/GUTTER AND VALLEY GUTTER.
- 2 PROPOSED STANDARD 6" CURB AND GUTTER PER COA STANDARD DRAWING 2415A MODIFIED TO A 1' GUTTER PAN.
- 3 PROPOSED 5" VALLEY GUTTER PER COA STANDARD DRAWING 2420 AND 2426 MODIFIED TO TIE INTO A 1' GUTTER PAN.
- 4 HATCHED AREA TO REPRESENT LOADING AREA LOCATION FOR SITE PLAN REVIEW PURPOSES ONLY. NO ACTUAL STRIPING PROPOSED.
- 5 PROPOSED 10'X1.5' SOLID WHITE STOP BAR.
- 6 PROPOSED ADA RAMP. (SEE DETAIL ON SHEET 6.0).
- 7 PROPOSED ADA STANDARD HANDICAP PARKING SIGN (SEE DETAIL SHEET C6.0).
- 8 PROPOSED ADA HANDICAP VAN ACCESSIBLE SIGN (SEE DETAIL SHEET C6.0).
- 9 NOT USED
- 10 SCREENED AREA DEFINES ADA COMPLIANT ZONE OF ACCESSIBILITY FROM BUILDING FRONT ENTRANCE TO HANDICAP PARKING STALLS. CROSS SLOPES NOT TO EXCEED 2% IN ALL DIRECTIONS.
- 11 PROPOSED TRASH ENCLOSURE W/6' SCREEN WALL. REFER TO ARCHITECTURAL DETAILS.
- 12 PROPOSED FIRE LANE STRIPING. SEE NOTE 15 ON THIS SHEET.
- 13 EXISTING ELECTRICAL VAULT TO REMAIN. PROTECT IN PLACE.
- 14 DELIVERY ACCESS RAMP. NOT INTENDED FOR ADA COMPLIANT ACCESS. SEE SHEET C6.1.
- 15 PROPOSED MONUMENT SIGN WITH DIMENSION OF 5'-6" HEIGHT, 3'-4" DEPTH, AND 8'-0" LENGTH. REFER TO ARCH. SIGNAGE PLANS FOR DETAIL.
- 16 PROPOSED CONCRETE WALK. REFER TO SHEET C6.1 FOR DETAIL.



NOTES:

1. NO BIKE ROUTES OR PATHS EXIST ALONG FRONTAGE OF SAN MATEO BOULEVARD.
2. PLOT PLAN SHALL COMPLY WITH THE SUBDIVISION DESIGN STANDARDS AND APPLICABLE ZONING REGULATIONS FOR 5207 SAN MATEO (FORMER ROWLANDS SITE).
3. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD SPECIFICATIONS OF CITY SITE OF ALBUQUERQUE.
4. EMERGENCY AND SERVICE TRUCKS WILL MANUEVER AROUND BUILDING DRIVE AISLES IN A ONE-WAY TRAFFIC MOVEMENT.
5. CARS/TRUCKS WILL MANUEVER AROUND BUILDING DRIVE AISLES IN A TWO-WAY TRAFFIC MOVEMENT.
6. A WB-50 SERVICE TRUCK PATH MODEL IS SHOWN ON SHEET C1.3.
7. UPON COMPLETION OF PAVING OPERATIONS THE CONTRACTOR SHALL INSTALL THE PAVEMENT STRIPES AND PAVEMENT MARKINGS AS SHOWN HEREON. ON SITE PARKING STALL STRIPES SHALL BE 4" WIDE AND WHITE IN COLOR. HANDICAP STALLS SHALL BE PAINTED AND SIGNED PER FEDERAL, STATE AND LOCAL REQUIREMENTS. SEE DETAIL SHEET 1.3.
8. HANDICAP PARKING AREAS PROVIDED PER CITY STANDARDS AND SHALL COMPLY WITH REQUIREMENTS OF THE CURRENT, ADOPTED UNIFORM BUILDING CODE.
9. UNLESS OTHERWISE NOTED, ALL RADII ON PARKING ISLANDS SHALL BE 3'.
10. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS SERVICE AREA DIMENSIONS AND ELEVATIONS. REFERENCE M.E.P. FOR EXISTING BUILDING UTILITY ENTRANCE LOCATIONS.
11. THE DISPOSAL OF DEMOLISHED ITEMS SHALL COMPLY TO ALL STATE AND LOCAL REQUIREMENTS.
12. MECHANICAL UNITS, DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE ZONING ORDINANCE.

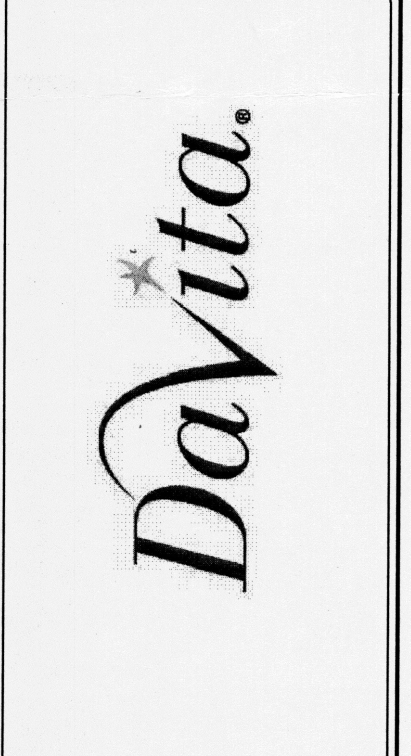
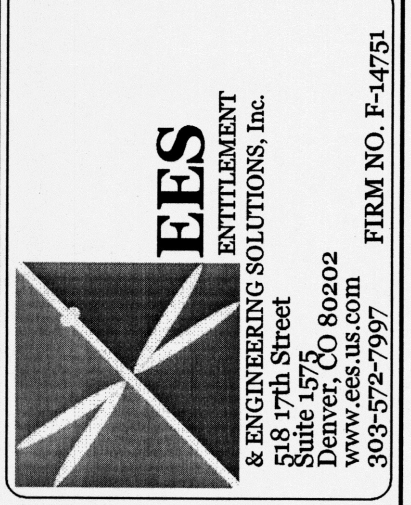
SITE CURRENT USE:
HME MEDICAL SUPPLY
TRACT A-1A
(10/02/87, C34-169)
ZONED C-3

SITE CURRENT USE:
HME MEDICAL SUPPLY
TRACT A-1B
SAN BUSCO ADDITION
(10/02/87, C34-169)
ZONED C-3

13. ALL SIGNAGE CONTINGENT UPON APPROVAL BY THE CITY OF ALBUQUERQUE.
14. ALL SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH THE ZONING ORDINANCE.
15. FIRE LANE STRIPING: "NO PARKING FIRE LANE" MARKING SHALL CONSIST OF A SIX (6) INCH WIDE RED STRIPE ALONG THE CURB ON ALL SIDES OF THE BUILDING. THE WORDS "NO PARKING FIRE LANE" SHALL BE MARKED ON THE STRIPES IN FOUR (4) INCH HIGH WHITE LETTERS AT 25-FT. MAXIMUM INTERVALS STRIPING AND LETTERS SHALL BE APPLIED ACCORDING TO THE CITY OF ALBUQUERQUE. FIRE LANE AND FIRE PROTECTION MUST BE APPROVED BY THE FIRE MARSHALL PRIOR TO BUILDING PERMIT BEING ISSUED. CONTRACTOR TO COORDINATE ALL FIRE LANE MARKINGS WITH THE ALBUQUERQUE FIRE MARSHALL.
16. ALL DRIVEWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE AND NEW MEXICO DEPARTMENT OF TRANSPORTATION STANDARDS.
17. ALL DIMENSIONS ARE MEASURED FROM FLOWLINE OF CURB, UNLESS NOTED OTHERWISE.
18. ALL ACCESSIBLE RAMPS SHALL HAVE A MAXIMUM SLOPE OF 12:1.
19. REFER TO PLAT FOR OFFICIAL EASEMENT LOCATIONS.

DATE	
BY	
REVISION	
No.	

PRELIMINARY NOT FOR CONSTRUCTION



CIVIL CONSTRUCTION DOCUMENTS
DAVITA DIALYSIS CENTER - ALBUQUERQUE
OVERALL SITE PLAN

PROJECT NO.: DAV003.01
 DESIGNED BY: KLR
 DRAWN BY: KR
 DATE: 03/10/15

PROJECT NUMBER:

APPLICATION NUMBER:

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENT.

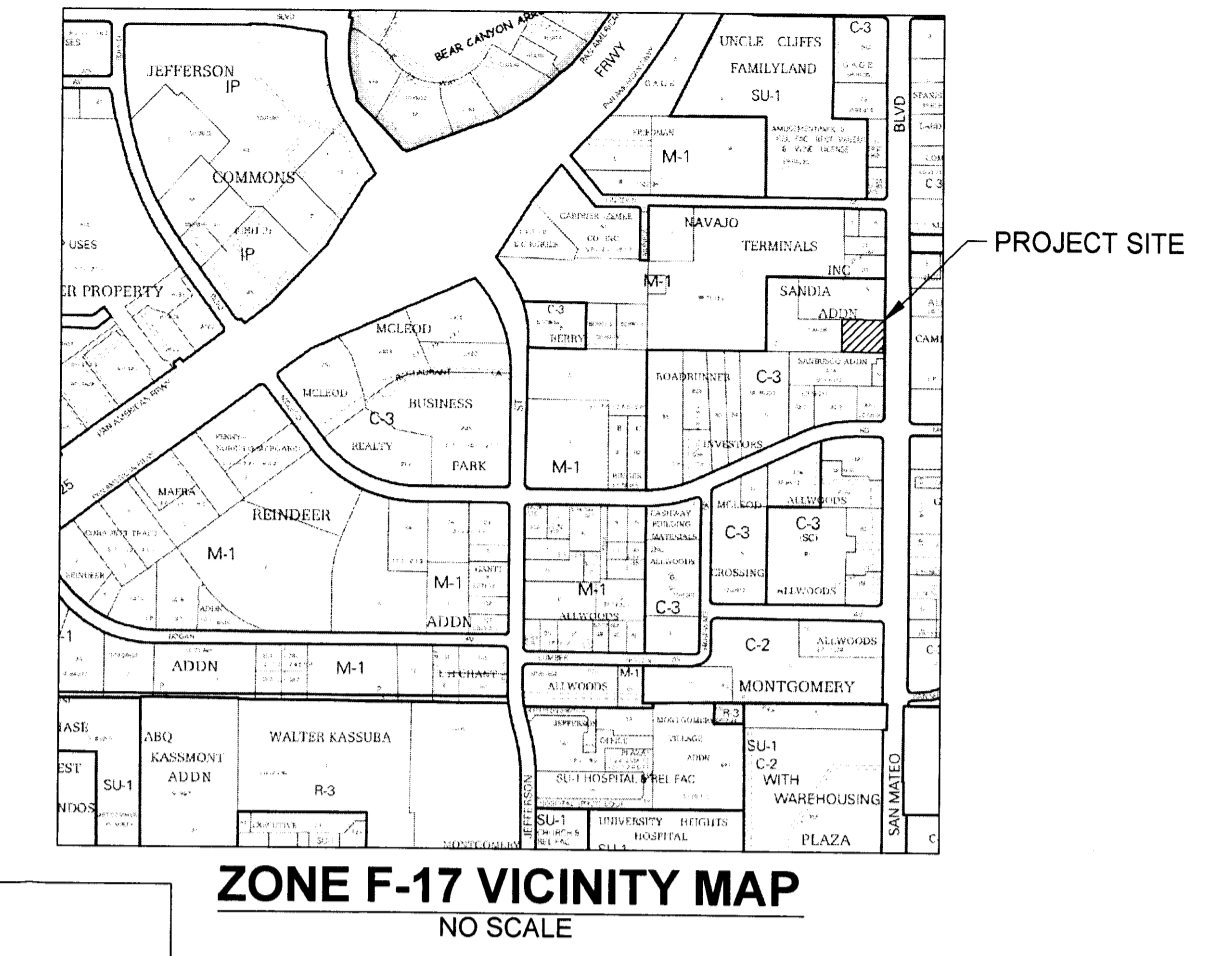
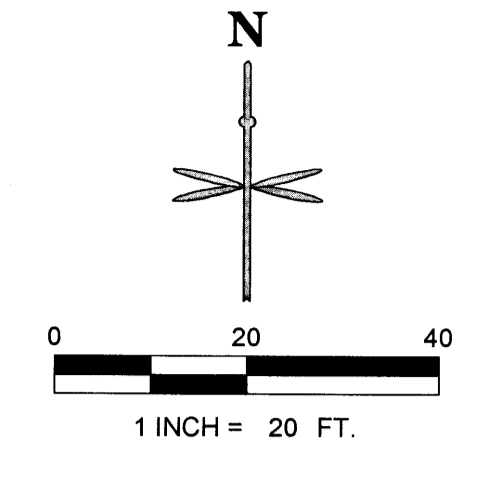
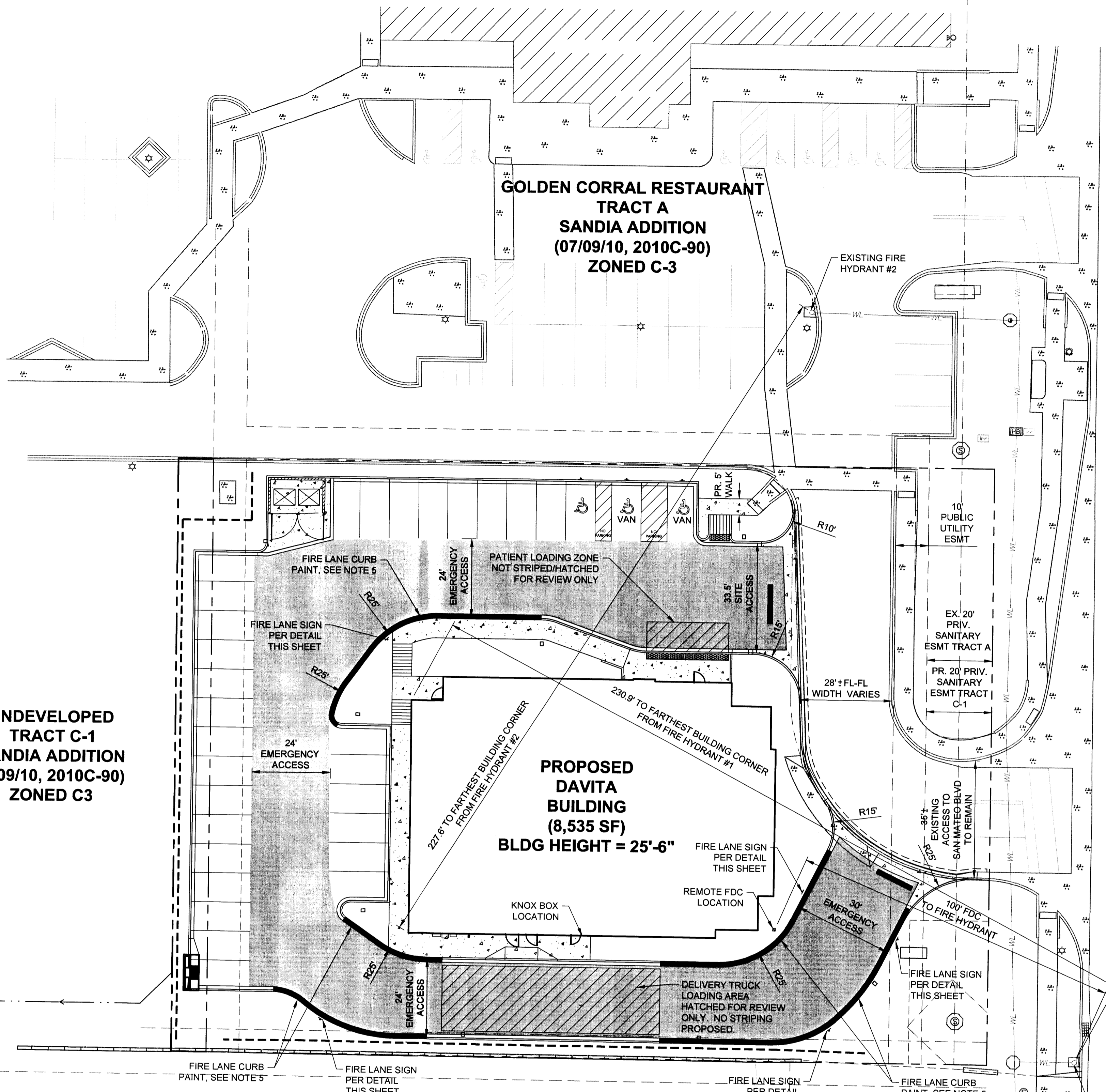
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
ABCWUA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

* ENVIRONMENTAL HEALTH, IF NECESSARY

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P: DAVITAMA, ALBUQUERQUE - 5207 SAN MATEO BLVD. CAD/FLO FIRE ONE SITE PLANNING



PROJECT INFORMATION

ADDRESS:
5207 SAN MATEO BLVD.
ALBUQUERQUE, NM 87109
(FINAL ADDRESS ASSIGNMENT T.B.D.)

LEGAL DESCRIPTION:
TRACT LETTERED 'B' OF THE PLAT OF TRACTS A, B, & C, SANDIA ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, FEBRUARY 2010, AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAT FILED FOR RECORD ON JULY 9, 2010 AND RECORDED AS DOCUMENT NO. 2010068217 IN THE RECORDS OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO.

SITE ACREAGE:
FORMER TRACT B: 1.00 ACRES
PROPOSED TRACT B-1 AFTER PLAT ADJUSTMENT: 1.05 ACRES

PLANNING INFORMATION:
ZONE ATLAS PAGE F-17-Z
LAND USE ZONING IS C-3

PARKING SUMMARY:

REQUIRED	
MEDICAL OFFICE (5 SPACES PER DOCTOR)	= 25
ADA SPACES (10% OF REQUIRED PARKING)	= 3
PROVIDED	
STANDARD SPACES	= 29
ADA HANDICAP STANDARD SPACES	= 1
ADA HANDICAP VAN ACCESSIBLE SPACES	= 2
TOTAL	= 32

LEGEND

- PROPOSED RETAINING WALL
- - - PROPOSED EASEMENT
- PROPERTY LINE
- PROPOSED BUILDING
- PROPOSED SIGN
- 9 ○ PARKING COURT
- EXISTING CURB AND GUTTER
- PROPOSED 6" STANDARD CURB
- ☆ EXISTING SITE LIGHTING
- ☆ PROPOSED SITE LIGHTING
- PROPOSED FIRE ACCESS AND SERVICE TRUCK ROUTE
- PROPOSED INLET
- PROPOSED 4" SANITARY MANHOLE
- EXISTING SANITARY/STORM MANHOLE
- ← DENOTES TRAFFIC FLOW PATTERNS (NO ACTUAL STRIPING)
- FIRE LANE CURB PAINT (SEE NOTE 5)

PROJECT BENCHMARK & VERTICAL DATUM

ALL CORNERS FOUND IN PLACE AND HELD WERE TAGGED WITH A BRASS DISK STAMPED "HUGG L.S. 9750" OR "HUGG L.S. 11808" UNLESS OTHERWISE INDICATED HEREON.

ALL CORNERS THAT WERE SET ARE EITHER A 5/8" REBAR WITH CAP STAMPED "HUGG L.S. 9750" OR "HUGG L.S. 11808" OR A CONCRETE NAIL WITH BRASS DISK STAMPED "HUGG L.S. 9750" OR "HUGG L.S. 11808" UNLESS OTHERWISE INDICATED HEREON.

VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "9-F18", ELEVATION = 5212.23 (NAVD 1988)

PROJECT BASIS OF BEARING

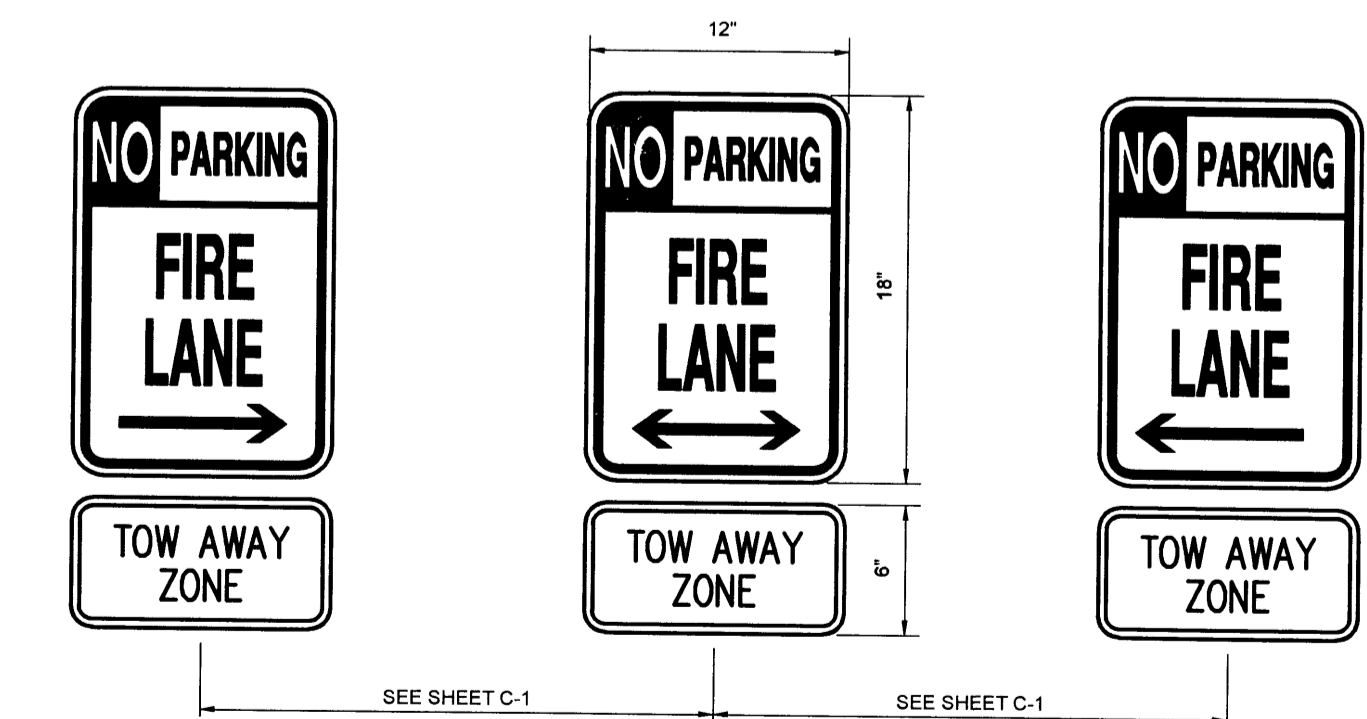
BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE -NAD83.

SITE CURRENT USE:
HME MEDICAL SUPPLY TRACT A-1A (10/02/87, C34-169) ZONED C-3

SITE CURRENT USE:
HME MEDICAL SUPPLY TRACT A-1B SAN BUSCO ADDITION (10/02/87, C34-169) ZONED C-3

NOTES:

- EMERGENCY AND SERVICE TRUCKS WILL MANEUVER AROUND BUILDING DRIVE AISLES IN A ONE-WAY TRAFFIC MOVEMENT.
- CARS/TRUCKS WILL MANEUVER AROUND BUILDING DRIVE AISLES IN A TWO-WAY TRAFFIC MOVEMENT.
- ALL SIGNAGE CONTINGENT UPON APPROVAL BY THE CITY OF ALBUQUERQUE.
- ALL SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH THE ZONING ORDINANCE.
- FIRE LANE PAINT: "NO PARKING FIRE LANE" MARKING SHALL CONSIST OF A SIX (6) INCH WIDE RED STRIPE ALONG THE CURB ON ALL SIDES OF THE BUILDING. THE WORDS "NO PARKING FIRE LANE" SHALL BE MARKED ON THE STRIPES IN FOUR (4) INCH HIGH WHITE LETTERS AT 25-FT. MAXIMUM INTERVALS STRIPING AND LETTERS SHALL BE APPLIED ACCORDING TO THE CITY OF ALBUQUERQUE. FIRE LANE AND FIRE PROTECTION MUST BE APPROVED BY THE FIRE MARSHALL PRIOR TO BUILDING PERMIT BEING ISSUED. CONTRACTOR TO COORDINATE ALL FIRE LANE MARKINGS WITH THE ALBUQUERQUE FIRE MARSHALL.



SIGN DETAILS ARE PROVIDED AS A MINIMUM STANDARD ONLY. SIGNS SHALL COMPLY WITH AUTHORITY HAVING JURISDICTION. CONTRACTOR SHALL COORDINATE WITH JURISDICTION AUTHORITY, SUPPLY & INSTALL.

DATE	
BY	
REVISION	
No.	

PRELIMINARY NOT FOR CONSTRUCTION

EES
ENGINEERING & ENVIRONMENTAL SOLUTIONS, INC.
518 17th Street
Denver, CO 80202
www.ees-us.com
303.572.7397
FIRM NO. E-14751



CIVIL CONSTRUCTION DOCUMENTS
DAVITA DIALYSIS CENTER - ALBUQUERQUE
5207 San Mateo Boulevard N.E.
FIRE ONE SITE PLAN

PROJECT NO: DAV003.01
DESIGNED BY: KLR
DRAWN BY: KR
DATE: 03/10/15

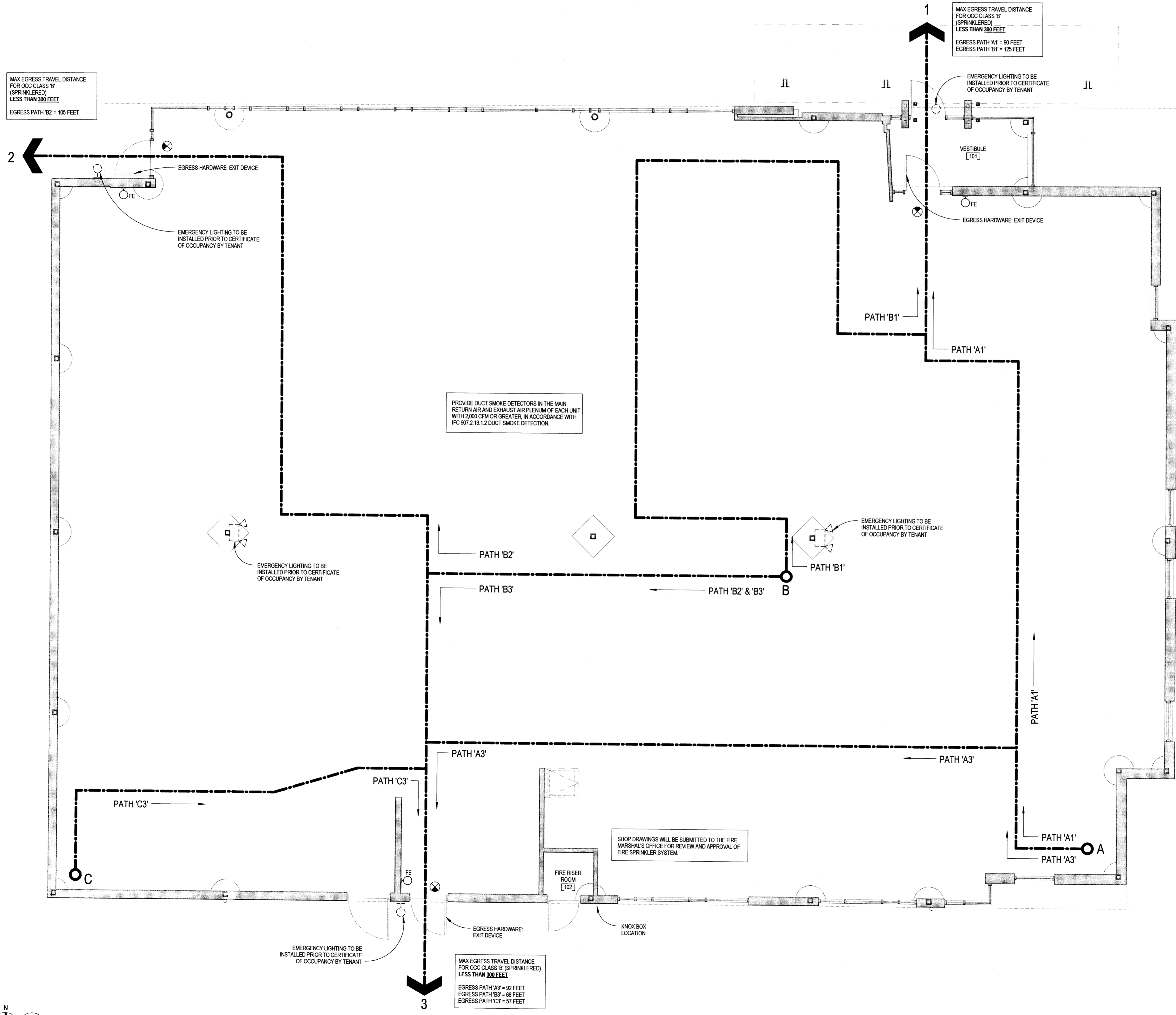
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SHEET 1 OF 1

PROJECT: 03/10/15
DATE: 03/10/15
APP: KR

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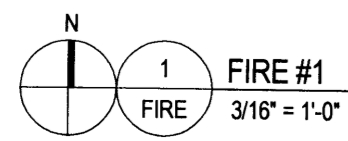


CODE DATA	
BUILDING ADDRESS	5207 SAN MATEO BLVD ALBUQUERQUE, NM 87102
CONSTRUCTION TYPE	2 B (B) BUSINESS
OCCUPANT LOAD	86
SPRINKLER	YES
SQUARE FOOTAGE	6,535 SF

LEGEND

- EGRESS PATH
- FURTHEST POINT FROM EGRESS
- FIRE EXTINGUISHER
- EXIT LIGHTING/SIGNAGE - TO BE INSTALLED PRIOR TO CERTIFICATE OF OCCUPANCY BY TENANT
- EMERGENCY LIGHTING - TO BE INSTALLED PRIOR TO CERTIFICATE OF OCCUPANCY BY TENANT

FIRE EXTINGUISHER SCHEDULE		
FIRE EXTINGUISHER	MFR. OR EQUAL	QTY
FE HOOK	J.L. INDUSTRIES FIRE EXTINGUISHER BRACKET J HOOK FOR COSMC OR GALAXY 10 & SENTINEL 5	3
J.L. 3A-ABC EXTINGUISHER	J.L. INDUSTRIES COSMC 2-12LB TO 10LB MODELS	3



CONTRACTORS

ISSUED FOR PERMIT

DATE

PROJECT: **DAVITA INC. DIALYSIS CENTER**
Del Norte Albuquerque (Shell)
5207 San Mateo Blvd NE
Albuquerque, NM 87102
Facility No. 11224

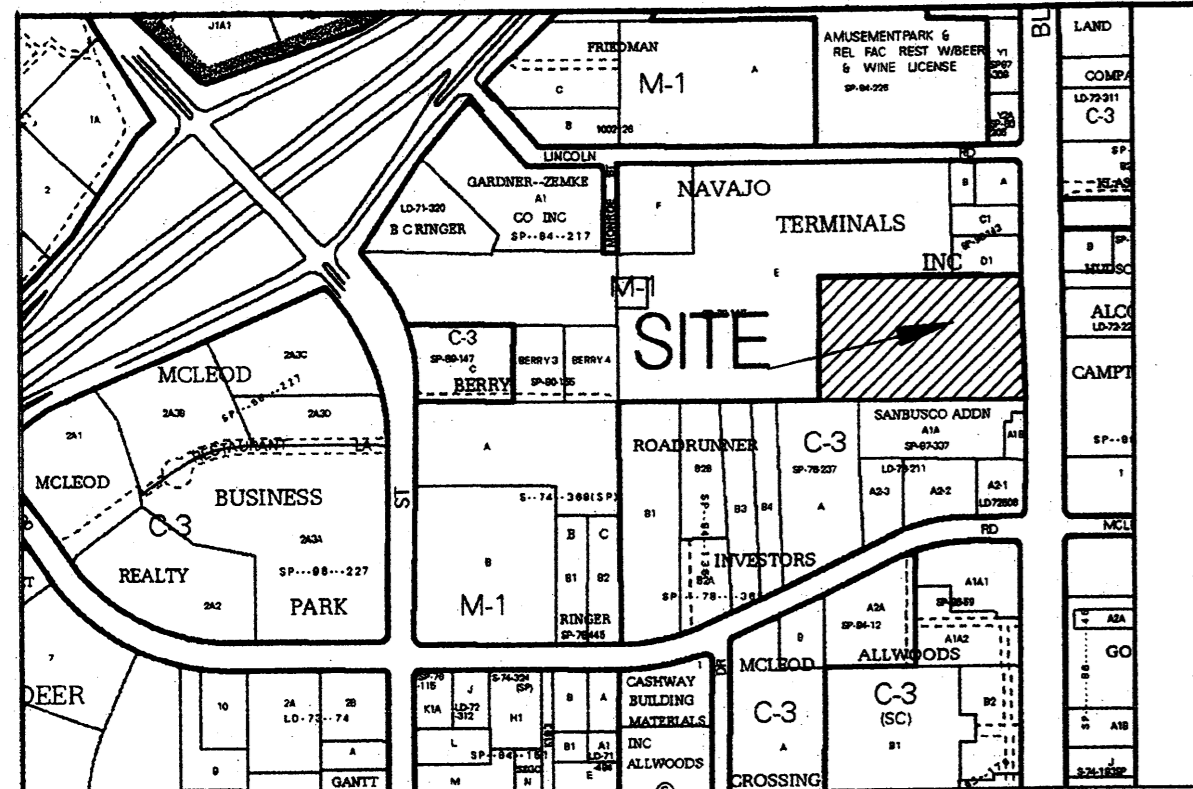
OWNER: **Genesis KC Development, LLC**
c/o Davita Healthcare Partners, Inc.
2000 16th Street
Denver, CO 80202

SHEET TITLE: **FIRE 2**

PROJECT # 2014.2185.00

FIRE

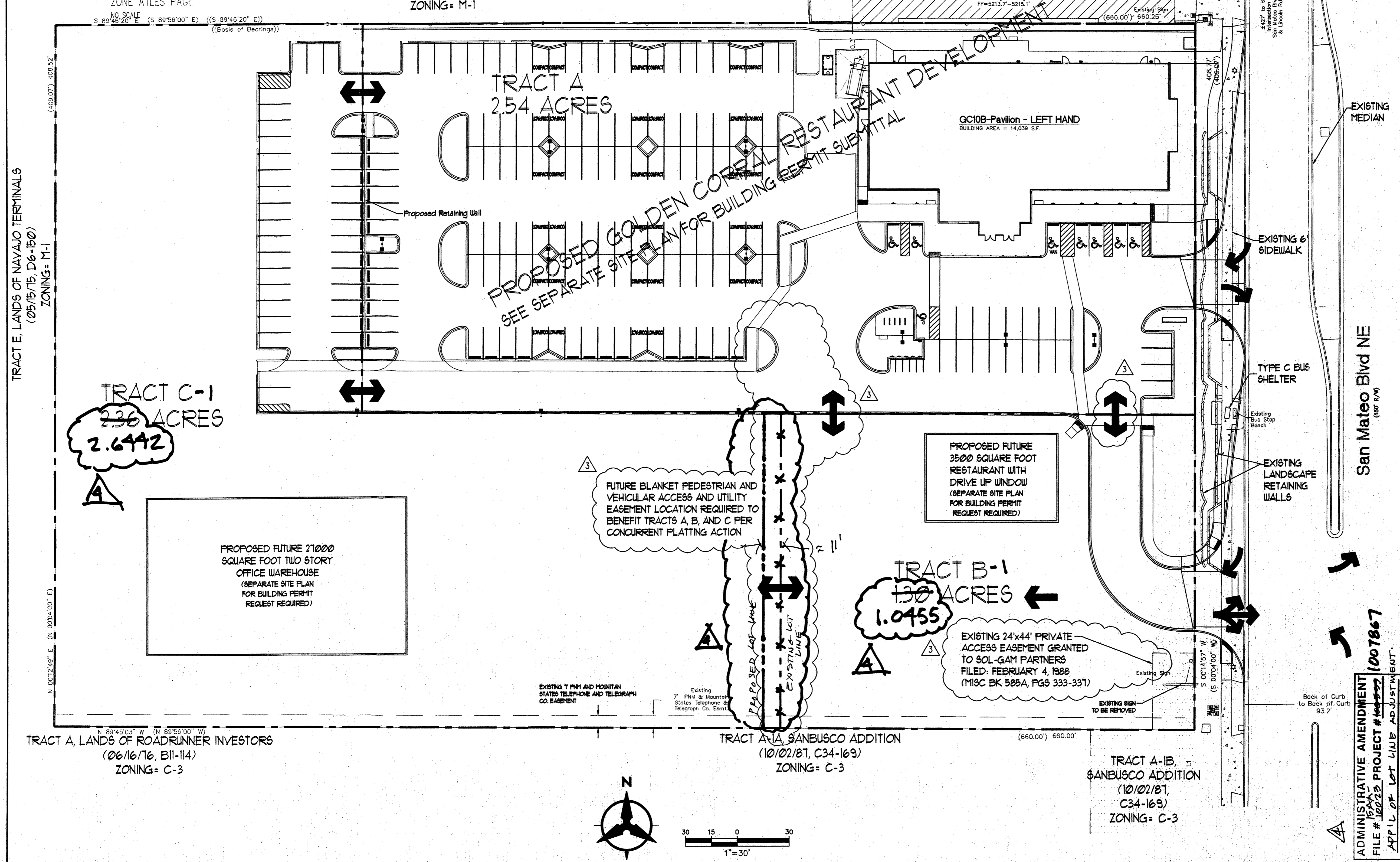
PROJECT: 1007867
 DATE: 4-8-15
 APP: 15-7014
 Submittal Materials



TRACT E, LANDS OF NAVAJO TERMINALS
 (05/15/15, D6-150)
 ZONING= M-1

TRACT D-1, LANDS OF NAVAJO TERMINALS
 (07/23/98, 98C-220)
 ZONING= M-1

ACS Monument "NM_367_1"
 NAD 1983 CENTRAL ZONE
 X=1539844.305
 Y=1508250.871
 Z=5213.212 (NAVD 1988)
 G-G=0.999666098
 Mapping Angle=-0.1137.16"



- TRACT A WILL BE DEVELOPED AS A PART OF THIS REQUEST, IN CONJUNCTION WITH A RELATED SITE PLAN FOR BUILDING PERMIT REQUEST
- TRACTS B AND C WILL BE DEVELOPED AT A FUTURE DATE, IN ACCORDANCE WITH THE DEVELOPMENT DESIGN STANDARDS WHICH ARE A PART OF THIS SUBMITTAL. APPROVAL WILL BE BY THE DEVELOPMENT REVIEW BOARD, IF THE PROPOSED DEVELOPMENT CONFORMS TO THESE GUIDELINES
- EXISTING ZONING OF THE PARCEL IS C-3 (9C). NO CHANGE IS PROPOSED
- PEDESTRIAN AND VEHICULAR ACCESS WILL BE FROM SAN MATEO BLVD. NO OTHER ACCESS WILL BE PERMITTED TO/ FROM ADJOINING PROPERTIES, EXCEPT AS GRANTED BY EXISTING ACCESS AGREEMENTS.
- BUILDING HEIGHTS (AND SETBACKS) SHALL BE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE FOR C-3 ZONED PROPERTIES. F.A.R. SHALL BE UP TO 0.5 WHICH IS THE MINIMUM TARGET FOR ENHANCED TRANSIT CORRIDORS.
- PERMISSIVE AND CONDITIONAL USES FOR PROPERTIES ZONED C-3 (9C) SHALL BE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE
- DEVELOPMENT ON THIS SITE SHALL CONFORM TO THE DEVELOPMENT DESIGN STANDARDS (SHEET 2 OF 4) AND THE CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE FOR C-3 (9C) ZONED PROPERTIES AND GENERAL ZONING REGULATIONS, WHATEVER IS MORE RESTRICTIVE
- THIS REQUEST DEFICTS POTENTIAL FUTURE USES FOR TRACTS B AND C. OTHER USES WHICH ARE PERMISSIVE IN C-3 (9C) ZONES SHALL BE ALLOWED EXCEPT AS DESCRIBED IN PARAGRAPH 2-D OF THE DEVELOPMENT DESIGN STANDARDS (SHEET 2 OF 4). USES WHICH ARE CONDITIONAL REQUIRE THE APPROVAL.
- EXISTING STRUCTURES, RETAINING WALLS, CURBS AND GUTTER, ETC. TO BE REMOVED AS NECESSARY TO ACCOMMODATE NEW PROJECTS.

APPLICATION NUMBER: 02EPC-40042	PROJECT NUMBER: 1007867
04/14/10	04/14/10
04/14/10	04/14/10
4/14/10	4/14/10
6-07-10	6-07-10

PLAN INDEX	
SHEET 1	SITE PLAN FOR SUBDIVISION
SHEET 2	DEVELOPMENT DESIGN STANDARDS
SHEET 3	CONCEPTUAL UTILITY PLAN
SHEET 4	CONCEPTUAL GRADING AND DRAINAGE PLAN

EXISTING LEGAL DESCRIPTION: A TRACT IN THE E1/2 SE1/4 NE1/4 SEC35 T11NR3E CONT 6.2AC (5207 SAN MATEO BLVD. NE)
 EXISTING TOTAL SITE ACREAGE: 6.20 ±
 SAN MATEO FRONTAGE LENGTH: 408.77 FT

SHEET 1 OF 4

SITE PLAN FOR SUBDIVISION

5207 San Mateo
 (Former Rowlands Site)

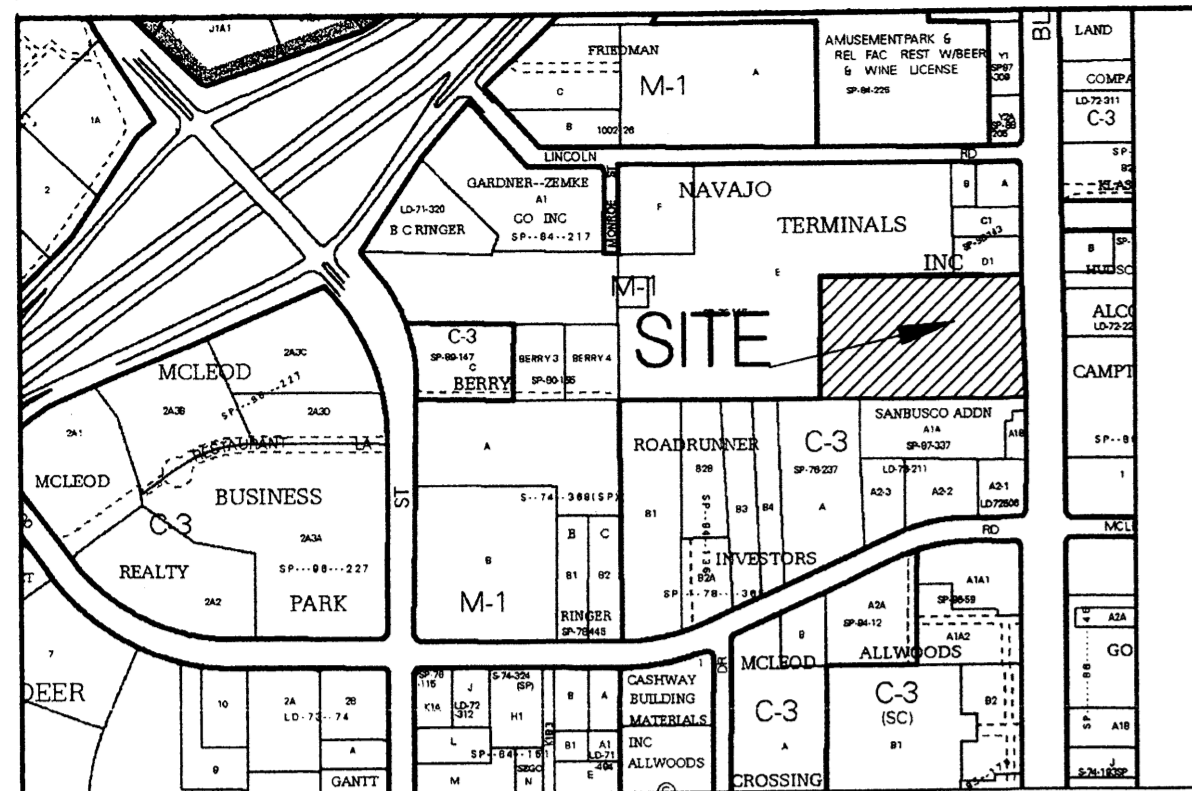
Revisions	DATE
8/31/09 REVISIONS	
12/09 EPC CONDITIONS	
4/10 EPC & TRANS COMMENTS	
2/15 ADMIN. AMENDMENT- LOT LINE SHIFT	

Bohannon & Huston

1007867

APPROVED BY: [Signature]

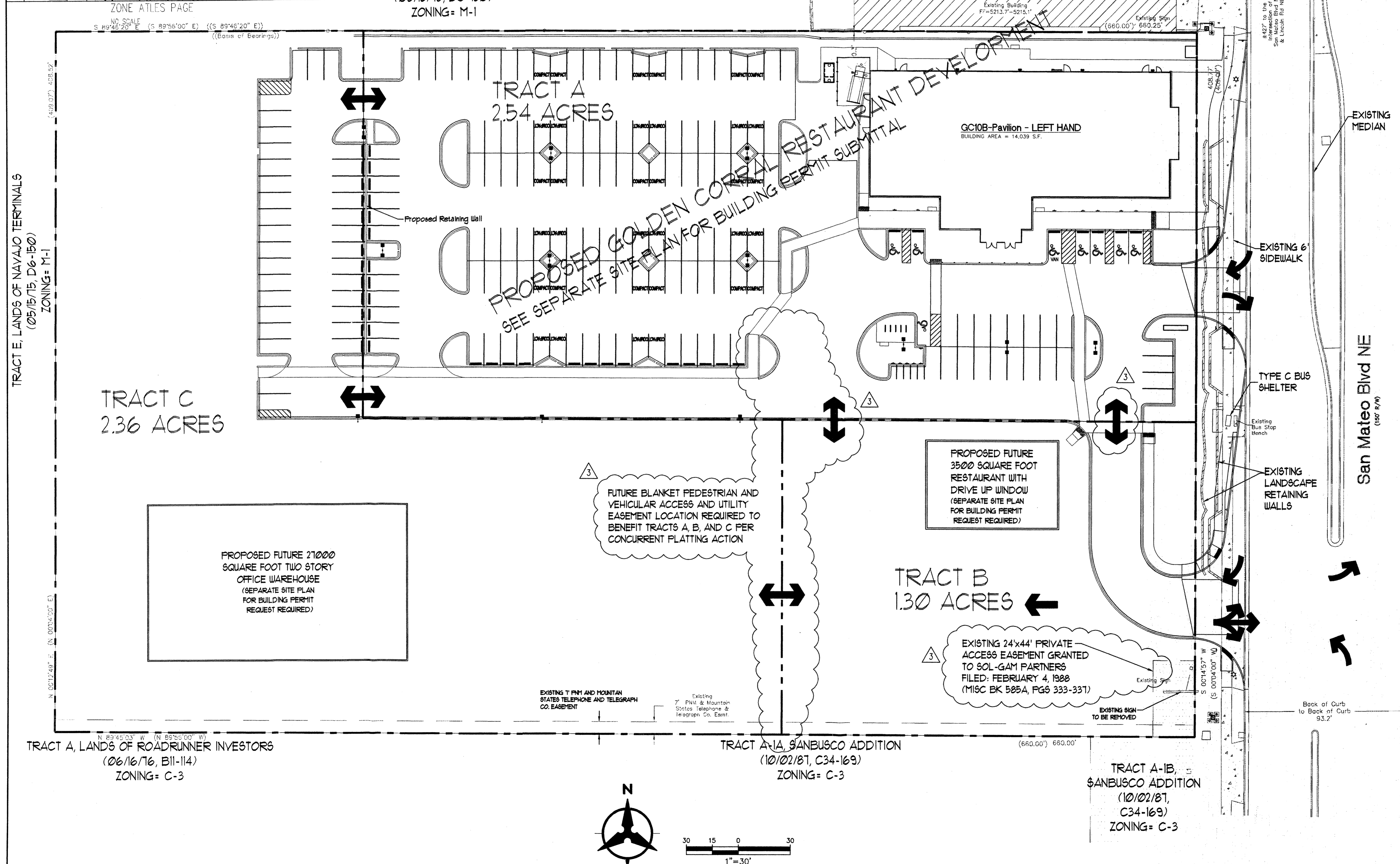
DATE: 4-8-15



TRACT E, LANDS OF NAVAJO TERMINALS
(05/15/15, D6-150)
ZONING= M-1

TRACT D-1, LANDS OF NAVAJO TERMINALS
(07/23/98, 98C-220)
ZONING= M-1

ACS Monument "NM_367_1"
NAD 1983 CENTRAL ZONE
X=1538849.309
Y=1508250.871
Z=5213.212 (NAVD 1988)
G=0.99966098
Mapping Angle=-0.113716"



- PROJECT NOTES**
- TRACT A WILL BE DEVELOPED AS A PART OF THIS REQUEST, IN CONJUNCTION WITH A RELATED SITE PLAN FOR BUILDING PERMIT REQUEST
 - TRACTS B AND C WILL BE DEVELOPED AT A FUTURE DATE, IN ACCORDANCE WITH THE DEVELOPMENT DESIGN STANDARDS WHICH ARE A PART OF THIS SUBMITTAL. APPROVAL WILL BE BY THE DEVELOPMENT REVIEW BOARD, IF THE PROPOSED DEVELOPMENT CONFORMS TO THESE GUIDELINES
 - EXISTING ZONING OF THE PARCEL IS C-3 (SC). NO CHANGE IS PROPOSED
 - PEDESTRIAN AND VEHICULAR ACCESS WILL BE FROM SAN MATEO BLVD. NO OTHER ACCESS WILL BE PERMITTED TO FROM ADJOINING PROPERTIES, EXCEPT AS GRANTED BY EXISTING ACCESS AGREEMENTS.
 - BUILDING HEIGHTS (AND SETBACKS) SHALL BE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE FOR C-3 ZONED PROPERTIES (FAR SHALL BE UP TO 05 WHICH IS THE MINIMUM TARGET FOR ENHANCED TRANSIT CORRIDORS.
 - PERMISSIVE AND CONDITIONAL USES FOR PROPERTIES ZONED C-3 (SC) SHALL BE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE
 - DEVELOPMENT ON THIS SITE SHALL CONFORM TO THE DEVELOPMENT DESIGN STANDARDS (SHEET 2 OF 4) AND THE CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE FOR C-3 (SC) ZONED PROPERTIES AND GENERAL ZONING REGULATIONS, WHATEVER IS MORE RESTRICTIVE
 - THIS REQUEST DEPICTS POTENTIAL FUTURE USES FOR TRACTS B AND C. OTHER USES WHICH ARE PERMISSIVE IN C-3 (SC) ZONES SHALL BE ALLOWED EXCEPT AS DESCRIBED IN PARAGRAPH 2-D OF THE DEVELOPMENT DESIGN STANDARDS (SHEET 2 OF 4). USES WHICH ARE CONDITIONAL REQUIRE THE APPROVAL.
 - EXISTING STRUCTURES, RETAINING WALLS, CURB AND GUTTER, ETC. TO BE REMOVED AS NECESSARY TO ACCOMMODATE NEW PROJECTS

APPLICATION NUMBER: 03EPC-40042 PROJECT NUMBER: 1001861

Traffic Engineering, Transportation Division	04/14/10
Utilities Development	04/14/10
Christina Sandoval Parks and Recreation Department	4/14/10
Bradley J. Bingham City Engineer	4/14/10
Bill Bole DRB Chairperson, Planning Department	6-07-10

PLAN INDEX

SHEET 1	SITE PLAN FOR SUBDIVISION
SHEET 2	DEVELOPMENT DESIGN STANDARDS
SHEET 3	CONCEPTUAL UTILITY PLAN
SHEET 4	CONCEPTUAL GRADING AND DRAINAGE PLAN

EXISTING LEGAL DESCRIPTION: A TRACT IN THE E1/2 SE1/4 NE1/4 SEC35 T11N3R3E CONT 6.2AC (5207 SAN MATEO BLVD. NE)
EXISTING TOTAL SITE ACREAGE: 6.20 ±
SAN MATEO FRONTAGE LENGTH: 408.77 FT

SHEET 1 OF 4

SITE PLAN FOR SUBDIVISION

5207 San Mateo
(Former Rowlands Site)

Revisions

1	8/31/09 REVISIONS
2	12/09 EPC CONDITIONS
3	4/10 EPC & TRANS COMMENTS

Bohannon & Huston

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DEVELOPMENT DESIGN STANDARDS

The purpose of these Design Standards is to provide a framework to assist developers and designers to understand the Owner's goals and objectives to create a high quality commercial center. These standards address the issues of landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for development. These standards are to be used as supplement to the City of Albuquerque Zone Code and other pertinent city ordinances.

Zoning And Land Use ²/₃

The existing zoning on the site is C-3 (SC). Drive-up or drive-thru liquor sales are not permitted. One drive-up service window shall be permitted on the 6.2 acre site and such window, if any, shall be restricted by section 14-16-3-18(D)(5) of the zoning code. Reference paragraph 2-D for a list of uses which are not permitted and under the conditions they are not.

Setbacks, F.A.R., and Building Height

Requirements ²/₃

Structures shall conform to C-3 (SC) zoning regulations regarding setbacks and building heights. FAR for the site shall be up to 0.5, which is the minimum target for enhanced transit corridors.

1. ²/₃ Site Design Standards

Because the site is located on a principal arterial (San Mateo Blvd) and in an established area of the city, access to it can be achieved by many modes. Accordingly, site design shall recognize that visitors will be arriving by foot, bicycle, and mass transit, in addition to the automobile. Conflicts between these modes shall be minimized which will result in a more desirable visitor experience and encourage people to utilize alternative modes of transportation. As such it is the Owner's desire to have the individual tracts associated with each building, within the subdivision, linked to their respective parking areas, and to each other.

- 1-A ²/₃ All development shall comply at minimum with Article 14-16-3-18 of the Zoning Code (general building and site design regulations for nonresidential uses).
- 1-B ²/₃ Drive up service windows and service areas shall be oriented away from primary pedestrian facilities and public ROW.
- 1-C End users for tracts B and C are not yet defined. As such, it is the intent of these standards to retain flexibility for these tracts while also creating a unified and attractive development.
- 1-D ²/₃ Tract C will be developed with a use that is not reliant on visibility from San Mateo Blvd.
- 1-E ²/₃ These standards have been written to recognize that the design of projects on individual tracts may consist of many building use types that can be developed on this site. The first use is proposed to include a family style sit down restaurant. While other uses may differ, the design standards have been written to insure an aesthetic, quality and pedestrian friendly finished development.

2. ²/₃ Parking and Circulation Standards

Parking and circulation (vehicular and pedestrian) within the development shall be designed to meet the site objectives listed below. Large parking fields that are not divided by landscape islands or pedestrian walkways are not permitted.

- 2-A ²/₃ The provided off-street parking for the overall site shall be in accordance with Section 14-16-3-1 of the Zoning Code. Total parking on the site shall not exceed the minimum required parking plus 10%, if the site development plan for building permit for the restaurant on Tract A is not approved (1007867, 09EPC-40043).
- 2-B ²/₃ Cross access and cross parking between parcels is required.
- 2-C Based on an existing contractual agreement with Golden Corral, the following parking intensive uses will not be permitted on tracts B and C, if the site plan for building permit for Golden Corral is approved: taverns, bars, cocktail lounges, automobile sales, trailer sales, recreational vehicle sales, telephone call centers, theatres, gymnasiums, and health clubs.
- 2-D All parking facilities adjacent to San Mateo Blvd. shall be screened. See 6-A.

3. ²/₃ Pedestrian Circulation and Bicycle Standards

To encourage and enhance the pedestrian activity, sidewalks are required as an integral element of each parcel. Pedestrian cross access between parcels is required.

- 3-A ²/₃ Pedestrian connections from parking areas to building entrances shall be clearly visible and their surfaces shall be constructed of textured, colored concrete or thermoplastic when crossing drive aisles, driveways and internal streets.

- 3-B Pedestrian paths shall be designed to be accessible to the disabled to the extent required by the American's with Disabilities Act.

- 3-C Pedestrian access and circulation shall provide direct connections from sidewalks (both internal and public sidewalks on San Mateo Blvd) to building entrances that minimize pedestrian/vehicular conflicts.

- 3-D ²/₃ All internal streets and driveways are required to have sidewalks running parallel on at least one of its sides (not applicable to parking drive aisles).

- 3-E Pedestrian crossings shall match the width of the adjoining walkway and be designated by textured, colored concrete or thermoplastic pavement markings.

- 3-F Bicycle racks shall be conveniently located near building entrances but not within pedestrian pathways or landscaped areas.

- 3-G ²/₃ Pedestrian features must meet at a minimum the requirements for Pedestrian Connections pursuant to Off-Street Parking regulations of the Zoning Code (Section 14-16-3-1) and General Building and Site Design Regulations (Section 14-16-3-18 (C) (1-3)) for all tracts within the proposed development.

4. ²/₃ Landscaping Standards

Development of an overall landscape concept shall establish a framework that will unify each of the individual tracts within the development. The landscape design shall place an emphasis on street-side exposure. Water harvesting techniques and xeric plants are encouraged. Landscaping shall comply with the Zoning Code.

- 4-A ²/₃ Where provided between parcels, buffer areas shall include primarily evergreen trees and shrubs. Buffering shall also be provided around the perimeter of the site pursuant to the zoning code landscape regulations applicable to apartment and non-residential development requirements (Section 14-16-3-10 (E) (3)). Trees are not permitted within 10 feet of public sewer or water lines and are discouraged within dry utility easements.

- 4-B A landscape buffer of no less than 12 feet shall be maintained between a parking area and San Mateo Blvd. This buffer is in addition to any landscape within the right-of-way.

- 4-C ²/₃ Street trees and on-site trees shall be capable of reaching a mature height of a least twenty feet, unless they are below power lines. Parking area trees shall be deciduous and canopy-forming.

- 4-D 75% of landscaped areas over 36 square feet in size shall be covered with living vegetative material consisting of xeric and native plants or native turf. The maximum allowable native turf is 30% of the required living vegetative material.

- 4-E One tree is required for each thirty linear feet of San Mateo Blvd. frontage on average. In accordance with the street tree ordinance if clustered, trees shall be planted within not more than a fifty-foot gap between groupings. Locations shall be coordinated with existing and proposed utilities, taper lanes, and driveways.

- 4-F ²/₃ Xeric principles shall be applied to all landscape areas including the use of drought tolerant plant materials and the implementation of water harvesting techniques.

- 4-G ²/₃ High-water-use turf shall be prohibited, except as part of a turf blend mix which does not contain more than 15% high-water-use turf.

- 4-H ²/₃ Away from buildings, landscaped beds shall directly receive runoff from paving by installing curb openings and depressing the landscaped beds.

- 4-I ²/₃ All planting areas not covered with turf shall have a ground topping of crushed rock, river rock, organic mulch or similar materials, which extends completely under the plant material. All plant material shall be maintained by the owner in a living, attractive condition. All areas shall be maintained free of weeds.

- 4-J ²/₃ Trees and shrubs shall be irrigated by an automated drip system. Turf areas can be irrigated with spray heads and arranged with uniform coverage without runoff onto hardscaped areas. All irrigation shall be in compliance with the City Water Conservation Landscaping and Water Waste Ordinance. Irrigation components shall be checked periodically to ensure maximum efficiency.

- 4-K ²/₃ Areas of the site disturbed and awaiting future development shall be stabilized to control erosion and dust in accordance with E.P.A. requirements. Native seed mix shall be the preferred method of such stabilization.

5. Architectural Standards

The architectural objective is to create a site that is visually coordinated through the use of architectural materials, colors, roofing, style, and scale. Stucco, EIFS, split face or masonry textured block shall be used as the primary surface treatment. Metal siding is not allowed as a primary surface but is allowed as an accent feature.

Additionally, all buildings shall conform to the following requirements:

- 5-A ²/₃ Building design and construction shall be used to create a structure with attractive sides of high quality, rather than placing all emphasis on the front elevation of the structure and neglecting or downgrading the aesthetic appeal of the side and rear elevations. Building design shall comply, at minimum with Paragraph D of Section 14-16-3-18 of the Zoning Code.

- 5-B ²/₃ Finished building materials must be applied to all exterior sides of buildings and structures.

- 5-C ²/₃ Any accessory buildings, canopies or other enclosures, whether or not they are attached to the main building, shall consist of similar design elements that are architecturally compatible with the main building.

- 5-D ²/₃ Entries to structures shall exhibit an aesthetically pleasing appearance while being architecturally tied into the overall mass and composition of the building.

- 5-E ²/₃ ATM's and drive-up service windows shall be architecturally compatible with the main building.

- 5-F ²/₃ Energy efficient building design shall be encouraged. Building orientation, quantity and type of windows, use of awnings or other shading device, use of energy efficient appliances and mechanical equipment, building envelope energy efficiency, etc. are ways to achieve a more energy efficient building and all are encouraged in this development.

- 5-G ²/₃ The first building developed on the site shall be utilized as a basis for future building colors. At least one of the earthtone hues of that building shall be utilized on other structures. Shades of this same hue are acceptable.

6. ²/₃ Screening Walls and Fencing Standards

The effective use of screen devices for parking lots, loading areas, refuse collection, and delivery/storage areas is essential to limit their adverse visual impact. The standards established in the landscape and setback sections will provide the main element to screening objectionable views and activities. Walls and fences will also serve a major screening and architectural function. The following are standards to ensure effective screening of negative site elements:

- 6-A ²/₃ All parking areas shall be screened from San Mateo Blvd. with a combination of evergreen plant materials, walls, and / or earthen berms. Such screening shall have a height of not less than 30 inches, as measured from the elevation of the existing sidewalk on San Mateo Blvd.

- 6-B Screen walls for parking facilities shall include wall openings to facilitate pedestrian circulation.

- 6-C All refuse containers shall be screened with a minimum 6-foot tall masonry enclosure, in accordance with City of Albuquerque Solid Waste Department requirements.

- 6-D The design and materials for refuse collection enclosures shall be compatible with the architectural theme of the building using compatible materials and colors. All refuse enclosures shall be gated.

- 6-E Refuse collection areas shall not be allowed between San Mateo Blvd. and the building front.

- 6-F The use of chain-link fencing, wood, barbed or concertina wire shall not be allowed, except where existing chain-link perimeter fencing separates the subject property from the adjoining properties.

- 6-G ²/₃ Loading, delivery and storage areas shall be screened from public areas on the site by evergreen plant materials, walls, or fences.

- 6-H Walls and fences shall conform at minimum to section 14-16-3-13 of the zoning code.

7. Lighting Standards

In order to enhance the safety, security and visual aesthetics of this development, careful consideration must be given to lighting design and features. To insure a quality development it is important to consider the daytime appearance of lighting fixtures. A design objective of the site lighting system must be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection.

- 7-A The maximum height of lighting poles (measured from top to grade) shall be 27 feet.

- 7-B Placement of fixtures and standards shall conform to state and local safety and illumination requirements.

- 7-C All site lighting shall be consistent from parcel to parcel.

- 7-D All light fixtures shall be fully shielded horizontally with no light, lens, or bulb protruding below the bottom of the cut-off fixture so that fugitive light will not escape beyond the property line, and the illuminating light source will not be visible from the site perimeter.

- 7-E High pressure sodium lighting shall be prohibited. Energy efficient lighting is encouraged, including the use of compact fluorescent bulbs.

8. Signage Standards

The signage standards have been developed to regulate the quantity, size, location, type, and quality of sign elements within the development. A properly implemented signage standard will serve to direct and inform employees and visitors, provide circulation requirements and restrictions, provide for public safety, and complement the visual character of the development. The following are general standards for signage design and placement.

- 8-A Any signage within the site for businesses on tracts A, B, or C shall not be considered off-premise.

- 8-B ²/₃ Signs shall conform to the requirements of C-3 (SC) zoning, the City of Albuquerque general sign regulations (14-16-3-5) and area lighting regulations (14-16-3-9).

- 8-C ²/₃ Requirements for free standing signs:
 - Maximum sign height = 26'
 - Maximum sign area = 150 square feet for all development on this site
 - No off Premise sign is allowed
 - Maximum free standing sign = 1 for this development area
 - The location of multi-tenant signage shall be limited to the free standing sign
 - Tenant signage shall be limited to 1 per business and 2 per tract, minimum letter size shall be 9 inches
 - The free standing sign shall be a monument sign
 - The sign shall include a numeric address with a minimum number size of 9 inches

- 8-D ²/₃ Building mounted signs shall be limited to canopy and wall signs. Canopy signs shall be limited to one per entrance, with a maximum sign face area of 4 square feet each. Wall signs shall be limited to facades visible from San Mateo Blvd. or from public areas within the site. Wall signs shall be limited to 1 sign per fifty feet of building facade length. Total sign face area shall not exceed 12% of the building facade area.

- 8-E ²/₃ All elements of a sign shall be maintained in a visually appealing manner.

- 8-F ²/₃ Signage is not allowed to contain moving parts, make audible sounds, or exhibit blinking or flashing lights (including searchlights used for promotional events). Pennants, ribbons, streamers, and spinners are prohibited.

- 8-G Signs located on rocks, trees, or other natural features are not permitted.

- 8-H No sign shall over hang into the public right-of-way or extend above the building roof line.

- 8-I Each Business shall incorporate a numerical street address sign, as required by the Fire Marshal.

- 8-J The contrast between signage lettering and the background it is placed on shall be 10% minimum.

- 8-K ²/₃ Illumination of signage is permitted with Neon Lighting being allowed.

- 8-L ²/₃ Electronic display panels, (electronic billboards, electronic advertising signs) are not permitted.

9. Mechanical Equipment Standards

To mitigate the negative visual image presented by some utility equipment, and to ensure the overall aesthetic quality of the development, the following standards shall apply:

- 9-A ²/₃ All rooftop and ground-mounted equipment shall be screened from the public view and from the view of tracts within the site.

- 9-B ²/₃ The top of all rooftop equipment shall be below the top of parapet or screened from view by materials similar to the building's materials.

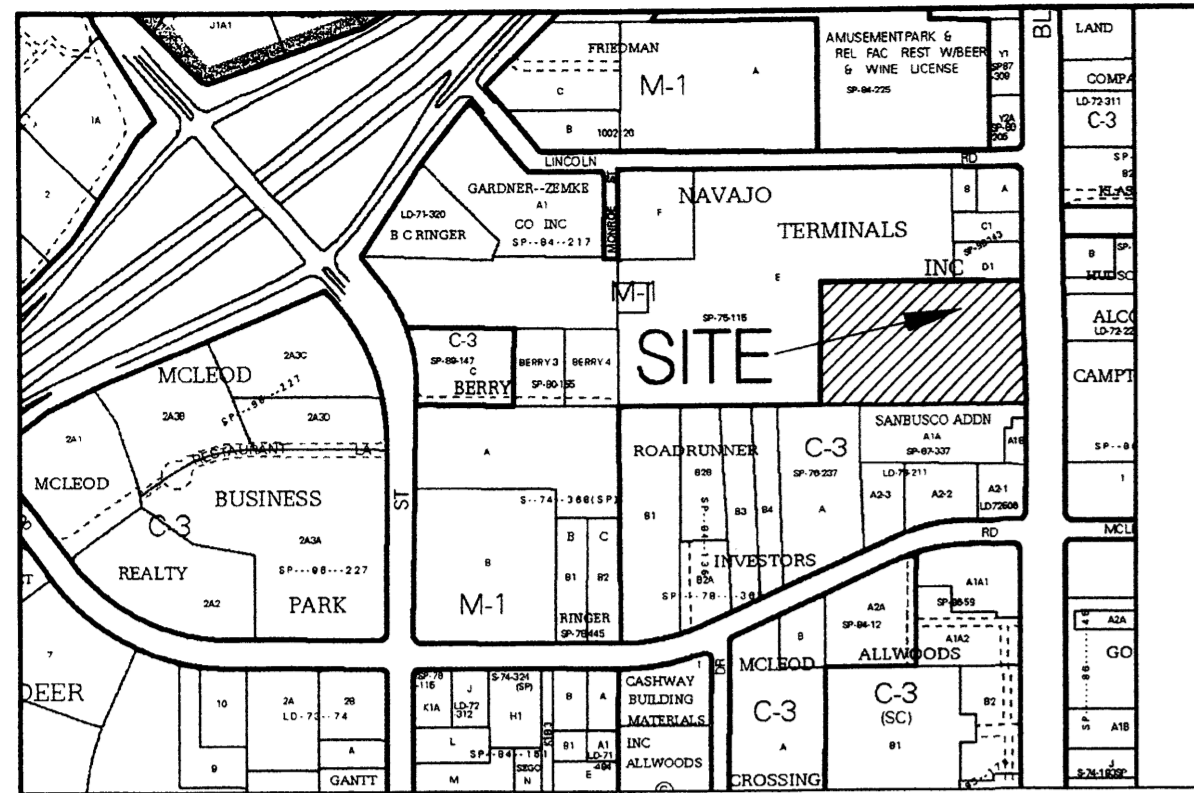
- 9-C ²/₃ Screen walls or evergreen plant materials shall conceal all ground mounted mechanical equipment with the top of equipment below the top of the screening material.

- 9-D ²/₃ Screening of equipment shall be designed to allow for access to utility facilities. Clearance of 10' shall be provided in front of the door of all ground-mounted utilities and 5'-6" at other sides for safe operation, maintenance, and repair purposes.

10. Proposed Approval Process

Site Development plans for building permit for tracts B and C shall be delegated to the Development Review Board for review and approval.

DEVELOPMENT DESIGN STANDARDS	
5207 San Mateo (Former Rowlands Site)	
Revisions	
² / ₃	8-31-09 Revisions
² / ₃	12-09 EPC Conditions
² / ₃	5-4-10 EPC Conditions
Bohannon & Huston	
Court yard 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335	
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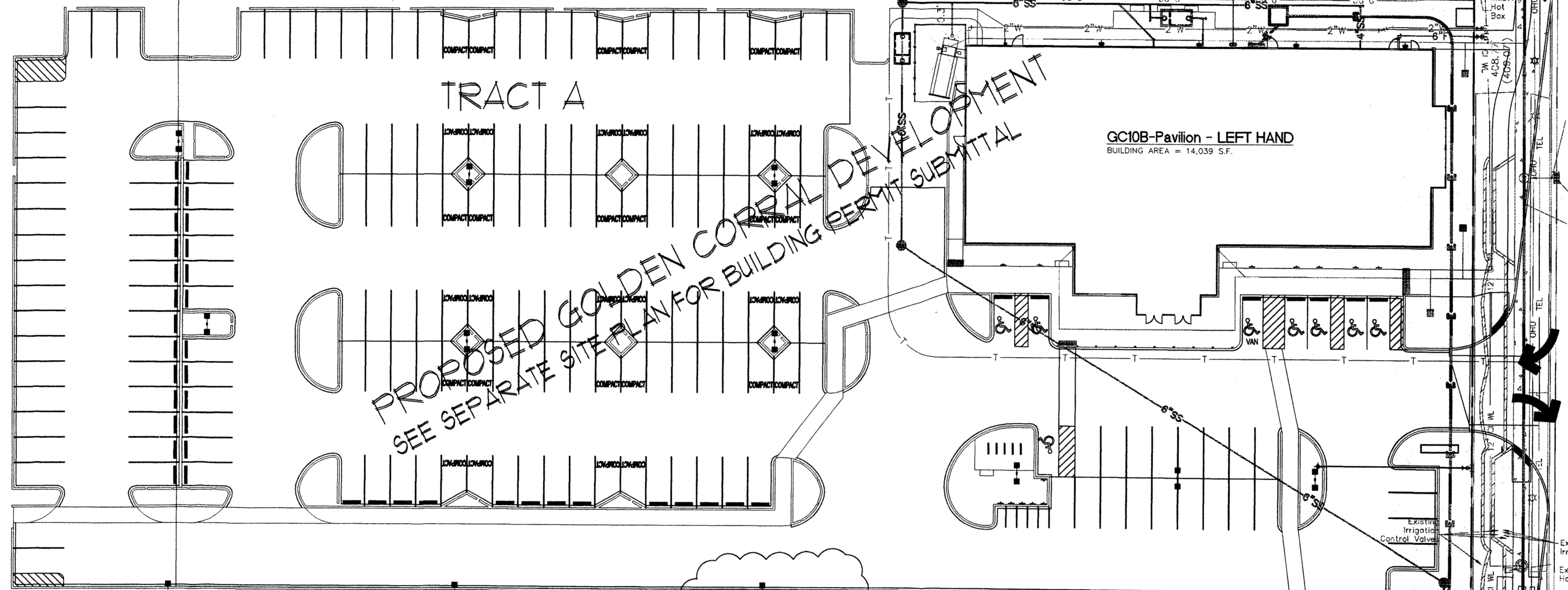
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ZONING= M-1

TRACT D-I, LANDS OF NAVAJO TERMINALS
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ACS Monument "NM_367_1"
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Z=5213.212 (NAVD 1988)
G=0.999666098
Mapping Angle=-0°11'37.18"

ZONE ATLAS PAGE
NO SCALE
S 89°45'20" E (S 89°56'00" E) ((S 89°48'20" E))
(Basis of Bearings)

TRACT E, LANDS OF NAVAJO TERMINALS
(05/15/15, D6-150)
ZONING= M-1



TRACT C
PROPOSED FUTURE 21000
SQUARE FOOT TWO STORY
OFFICE WAREHOUSE
(SEPARATE SITE PLAN
FOR BUILDING PERMIT
REQUEST REQUIRED)

Note: Sewer service for future office warehouse will require a private onsite grinder pump or package lift station and force main which will tie to the public line in San Mateo.

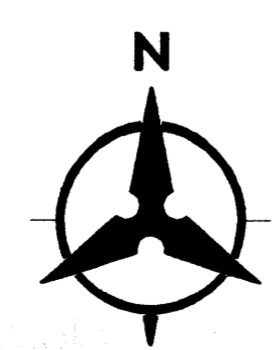
FUTURE BLANKET PEDESTRIAN AND VEHICULAR ACCESS AND UTILITY EASEMENT LOCATION REQUIRED TO BENEFIT TRACTS A, B, AND C PER CONCURRENT PLATTING ACTION

PROPOSED FUTURE 3500 SQUARE FOOT RESTAURANT WITH DRIVE UP WINDOW (SEPARATE SITE PLAN FOR BUILDING PERMIT REQUEST REQUIRED)

TRACT A, LANDS OF ROADRUNNER INVESTORS
(06/16/16, B11-114)
ZONING= C-3

TRACT A-IA, SANBUCCO ADDITION
(10/02/87, C34-169)
ZONING= C-3

TRACT A-IB, SANBUCCO ADDITION
(10/02/87, C34-169)
ZONING= C-3



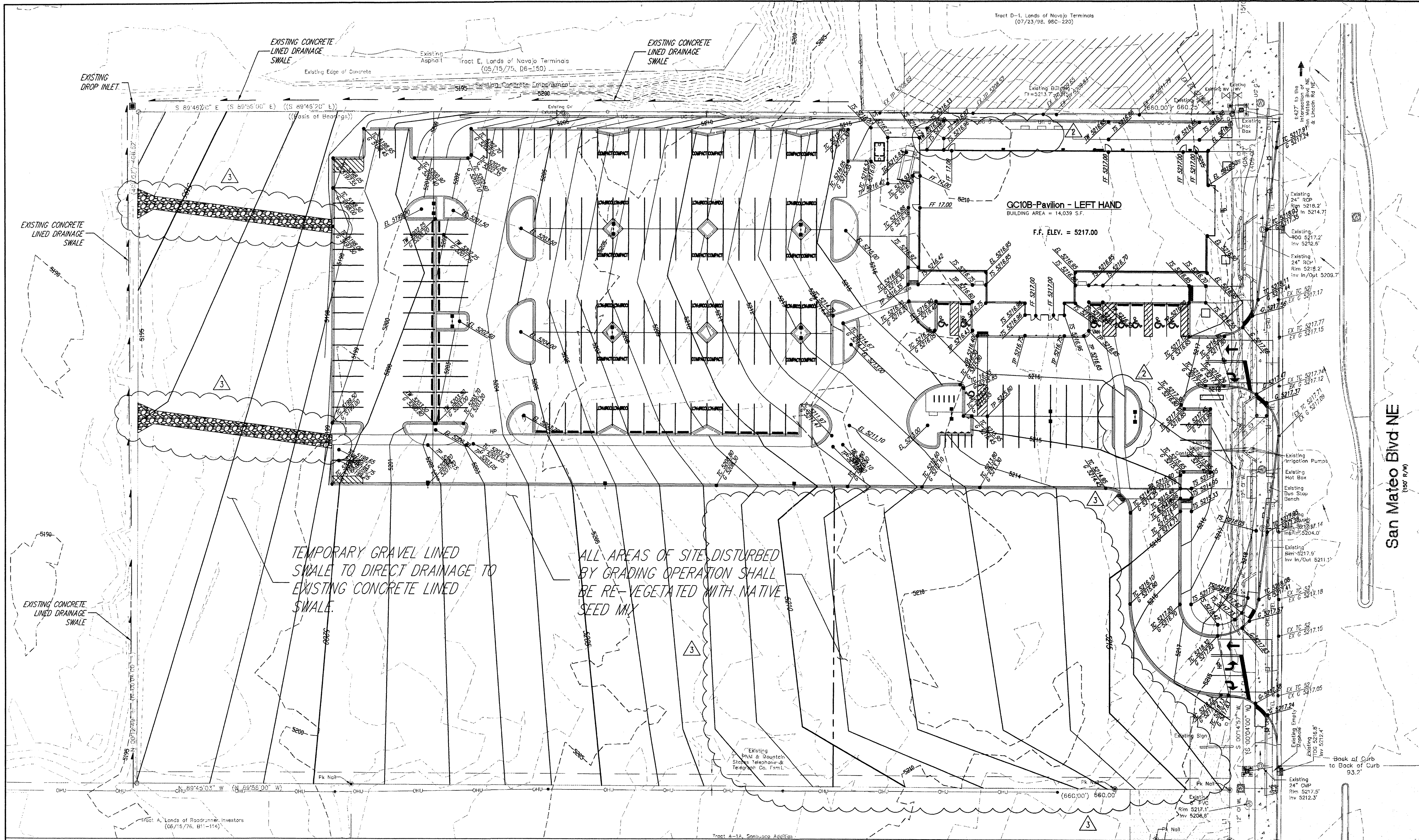
CONCEPTUAL UTILITY PLAN
1"=30'

San Mateo Blvd NE
(100' R/W)

SHEET 3 OF 4

CONCEPTUAL UTILITY PLAN	
5207 San Mateo (Former Rowlands Site)	
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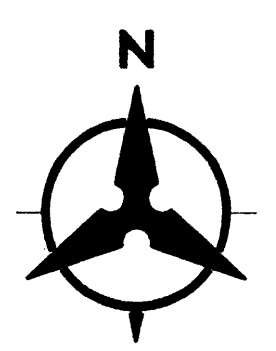
San Mateo Blvd NE
(100' R/W)

SHEET 4 OF 4

CONCEPTUAL GRADING AND
DRAINAGE PLAN
5207 San Mateo
(Former Rowlands Site)

Revisions	
2	12/09 EPC CONDITIONS
3	4/10 EPC & TRANS COMMENTS

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CONCEPTUAL GRADING PLAN

