

3. **Project# 1004732**  
09DRB-70233 SKETCH PLAT REVIEW  
AND COMMENT

ISAACSON AND ARFMAN PA agent(s) for EVERGREEN HOMES LTD PA request(s) the above action(s) for all or a portion of Tract(s) A-1 & A-2, **LANDS OF DAVID MACIEL (TO BE KNOWN AS MONTOYA STREET TOWNHOUSES)** zoned R-LT, located on MONTOYA ST NW BETWEEN FLORAL RD NW AND SARITA AVE NW containing approximately .6728 acre(s). (H-2) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

4. **Project# 1007871**  
09DRB-70234 SKETCH PLAT REVIEW  
AND COMMENT

ISAACSON AND ARFMAN PA agent(s) for BISHOP COMPOUND, LLC request(s) the above action(s) for all or a portion of Lot(s) 2 & 3, **ELY ALVARADO GARDENS (TBKA CANDELARIA RD NW) Unit(s) 3**, zoned R-LT, located on CANDELARIA NW BETWEEN RIO GRANDE NW AND GLENWOOD NW containing approximately 1.3552 acre(s). (G-12) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

5. ~~**Project#-1007869**~~  
09DRB-70230 SKETCH PLAT REVIEW  
AND COMMENT

RICHARD WHITESIDE request(s) the above action(s) for all or a portion of Lot(s) 6, Block(s) 1, **SAN JACINTO** zoned SU-1 FOR APT COMPLEX, located on 9TH ST NW BETWEEN GRIEGOS NW AND SAN CLEMENTE NW (F-14) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

6. Other Matters: Project # 1000952 – Temporary Deferral of Sidewalk.

The temporary deferral of construction of sidewalks on the interior streets was approved as shown on exhibit 'C' in the planning file.

ADJOURNED: 9:25

**CITY OF ALBUQUERQUE**

**PLANNING DEPARTMENT**

**July 15, 2009**

**DRB Comments**

**ITEM # 5**

**PROJECT # 1007869**

**APPLICATION # 09-70230**

**RE: Alley adjacent to Lot 6, Block 1, San Jacinto  
Subdivision**

The City cannot vacate a 'portion' of an alley because it would leave an unsafe dead-end alley.

It is possible the entire alley could be vacated, but it would require a majority of adjacent owners to apply and ALL adjacent owners would have to agree – the vacated alley would have to be acquired from the City and platted into adjacent owners at the same time. This would be extremely unusual and difficult to accomplish.



---

Jack Cloud AICP, DRB Chairman  
924-3880/ jcloud@cabq.gov

← TO ZEUROS ST

16'

Bldg 2

212'  
ALLEY

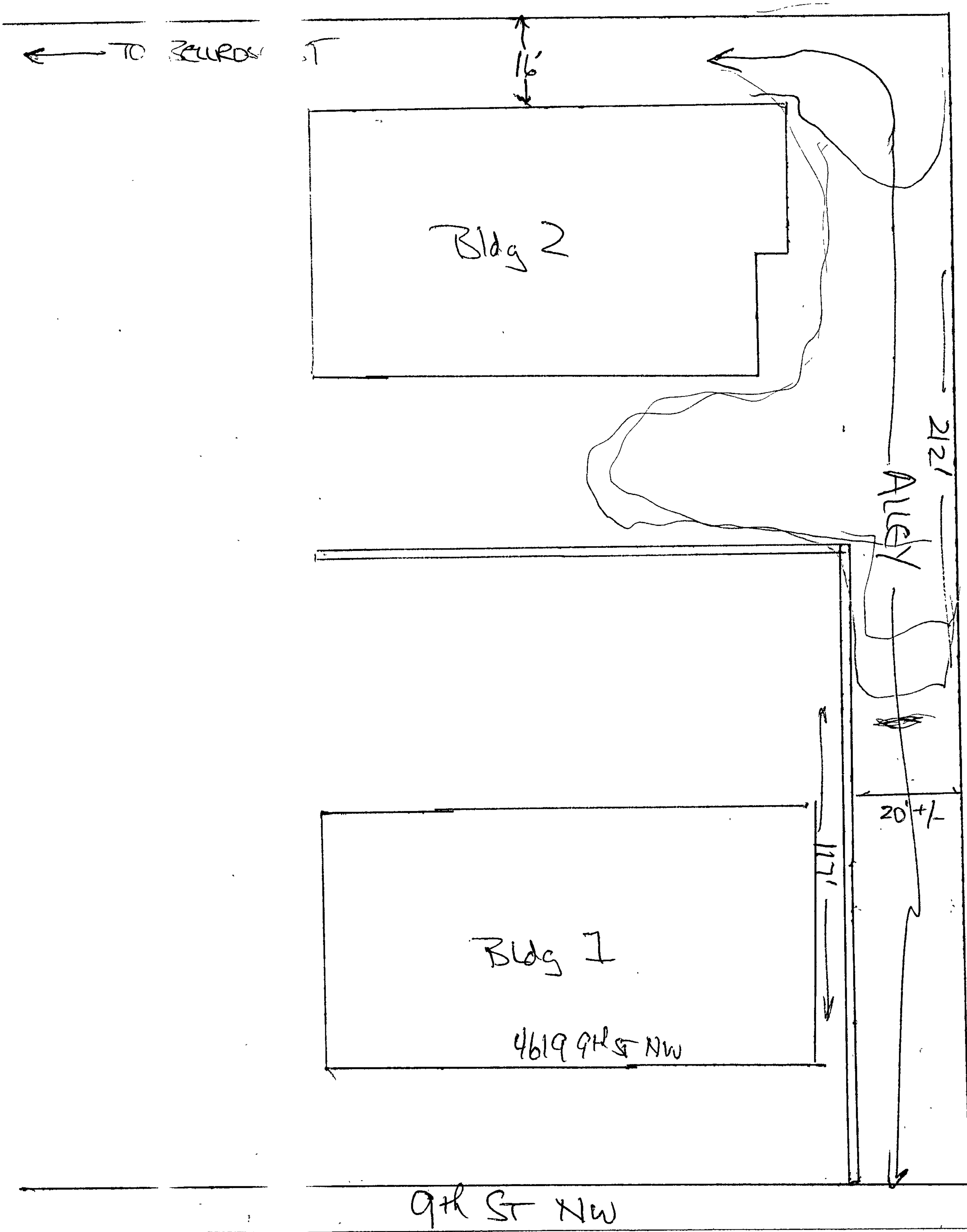
20'+/-

117'

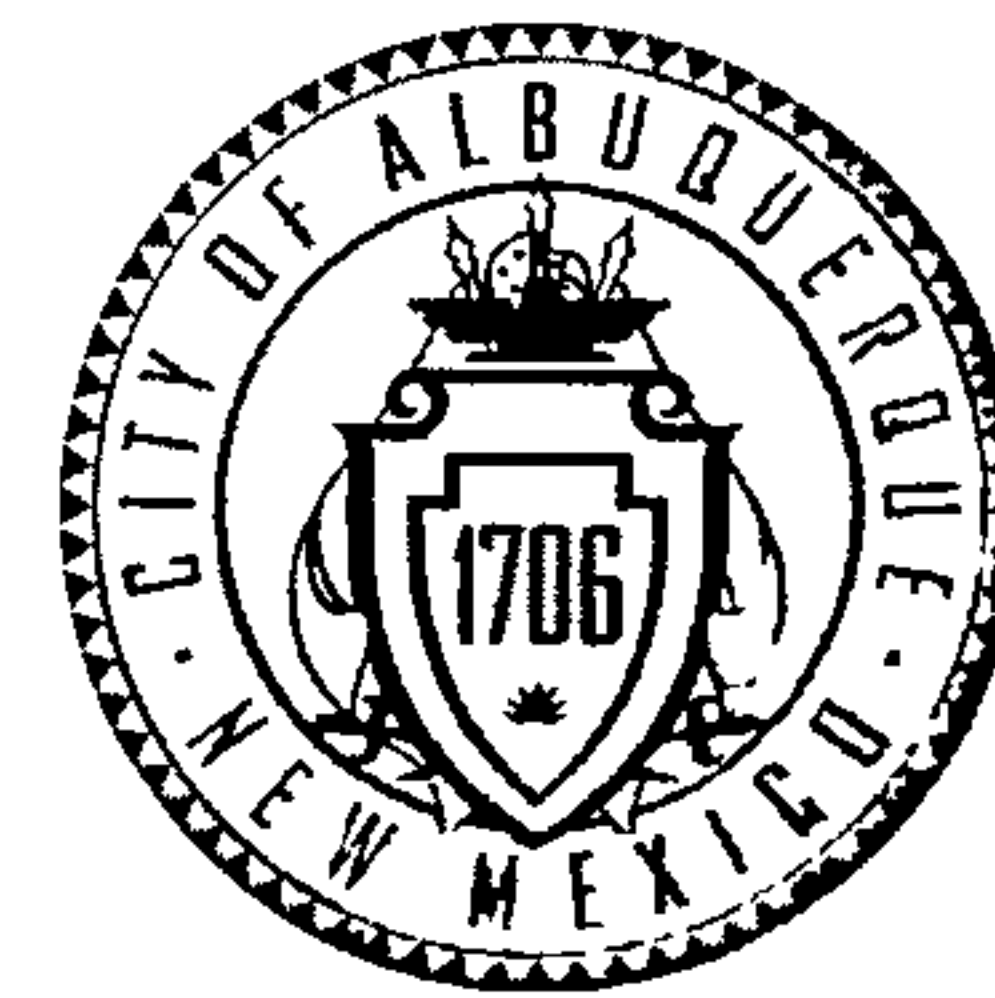
Bldg 1

4619 9th St NW

9th St NW



# CITY OF ALBUQUERQUE



## CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

### DEVELOPMENT REVIEW BOARD--SPEED MEMO

**DRB CASE NO/PROJECT NO: 1007869**

**AGENDA ITEM NO: 5**

**SUBJECT:**

Sketch Plat/Plan

**ACTION REQUESTED:**

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

PO Box 1293

**ENGINEERING COMMENTS:**

May need private drainage easement.

Albuquerque

NM 87103

**RESOLUTION:**

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED *discussed* X; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee  
924-3986

**DATE:** July 15, 2009



# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

<b>SUBDIVISION</b>	<b>S Z</b>	<b>ZONING &amp; PLANNING</b>
<input type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal
<input type="checkbox"/> Vacation	<b>V</b>	<input type="checkbox"/> EPC Submittal
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
<b>SITE DEVELOPMENT PLAN</b>	<b>P</b>	<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input type="checkbox"/> for Subdivision		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input type="checkbox"/> for Building Permit		<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> Administrative Amendment (AA)	<b>D</b>	<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> IP Master Development Plan	<b>L A</b>	<b>APPEAL / PROTEST of...</b>
<input type="checkbox"/> Cert. of Appropriateness (LUCC)		<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals
<b>STORM DRAINAGE (Form D)</b>		
<input type="checkbox"/> Storm Drainage Cost Allocation Plan		

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any) \_\_\_\_\_ PHONE: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ FAX: \_\_\_\_\_  
 CITY: \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_ E-MAIL: \_\_\_\_\_

APPLICANT: Richard Whiteside PHONE: 70-1150  
 ADDRESS: P. BOX 2189 FAX: (505) 565-0515  
 CITY: Los Lunas STATE Nm ZIP 87031 E-MAIL: \_\_\_\_\_

Proprietary interest in site: owner List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: to vacate alleyway

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes  No

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. LOT 6 Block: 1 Unit: \_\_\_\_\_  
 Subdiv/Addn/TBKA: SAN JACINTO SUBDIVISION  
 Existing Zoning: SU-1 for APT COMPLEX Proposed zoning: \_\_\_\_\_ MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): F14 UPC Code: 1014 061 264 014 30507

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_, V\_, S\_, etc.): \_\_\_\_\_

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? no  
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): \_\_\_\_\_  
 LOCATION OF PROPERTY BY STREETS: On or Near: 4609 9th ST NW  
 Between: GRIEGOS NW and SAN CLEMENTE NW  
 Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_

SIGNATURE: RICHARD WHITESIDE DATE: 7/6/09  
 (Print) \_\_\_\_\_ Applicant:  Agent:

Form revised 4/07

**FOR OFFICIAL USE ONLY**

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>09DRB 70230</u>	<u>SK</u>	<u>5(3)</u>	<u>\$ 0</u>
<input type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
	Hearing date <u>07/15/09</u>			Total <u>\$ 0</u>

Sandy Handley 07/06/09  
 Planner signature /date

Project # 1007869

**FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING**

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

**SKETCH PLAT REVIEW AND COMMENT (DRB22)**

**Your attendance is required.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

**EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)**

**Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Copy of DRB approved infrastructure list
- Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
- List any original and/or related file numbers on the cover application

**Extension of preliminary plat approval expires after one year.**

**MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)**

**Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

**MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)**

**Your attendance is required.**

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

**AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)**

**Your attendance is required.**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- List any original and/or related file numbers on the cover application

**Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Richard Whiteside  
Applicant name (print)  
7/2/09  
Applicant signature / date



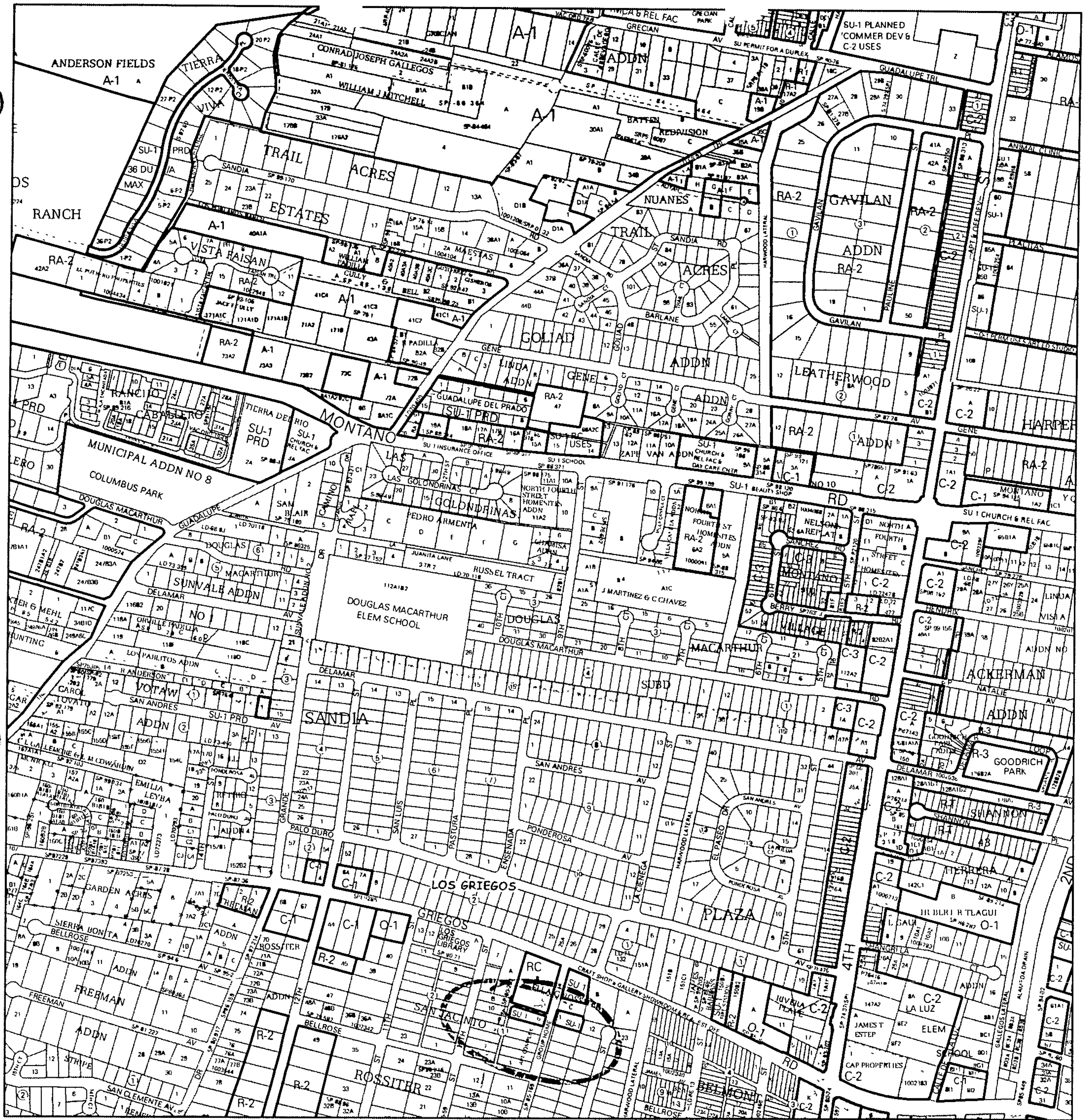
Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

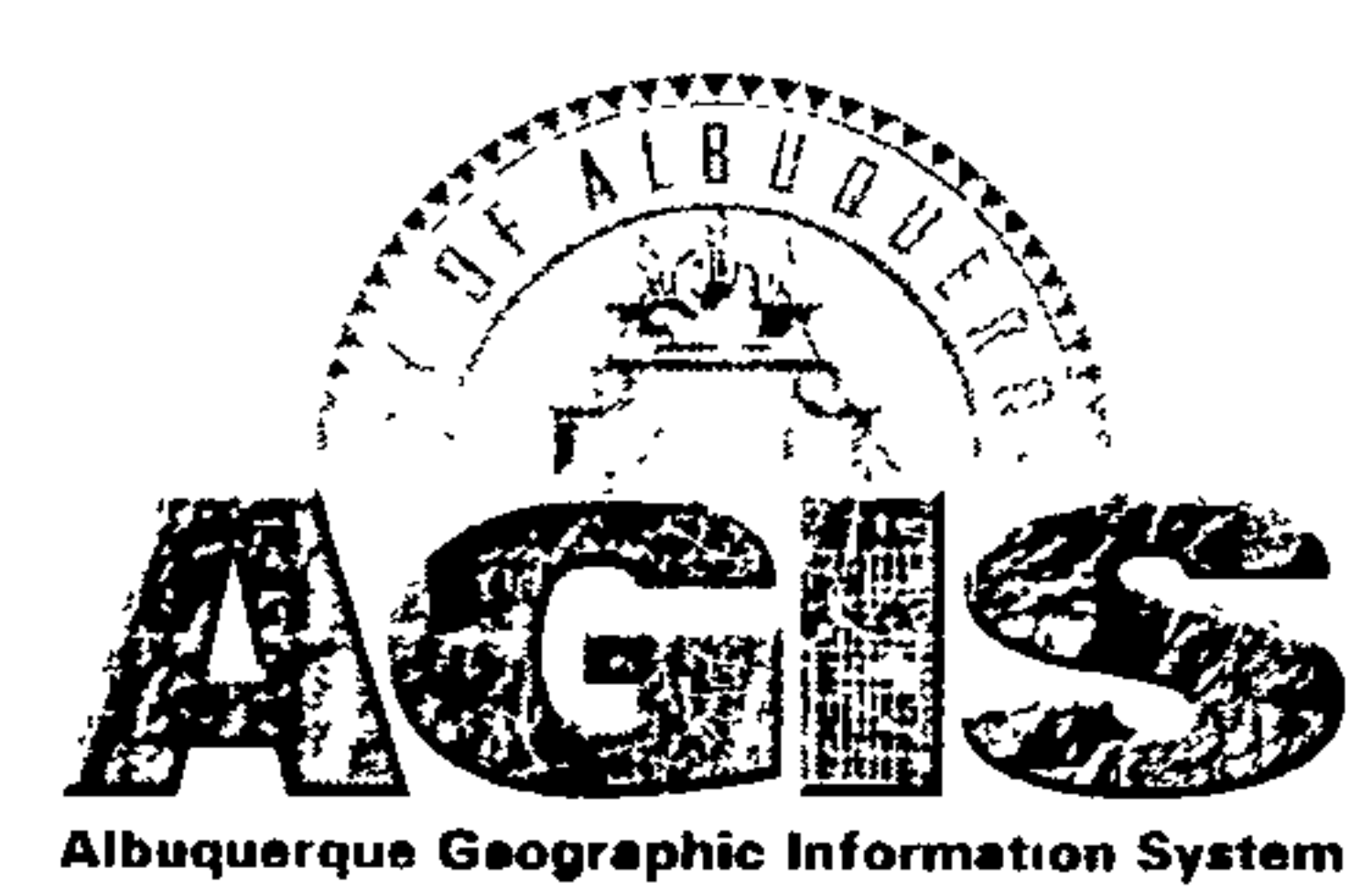
Application case numbers  
09DRB - 70230

Sandy Harvilly 07/06/09  
Planner signature / date  
Project # 1007869

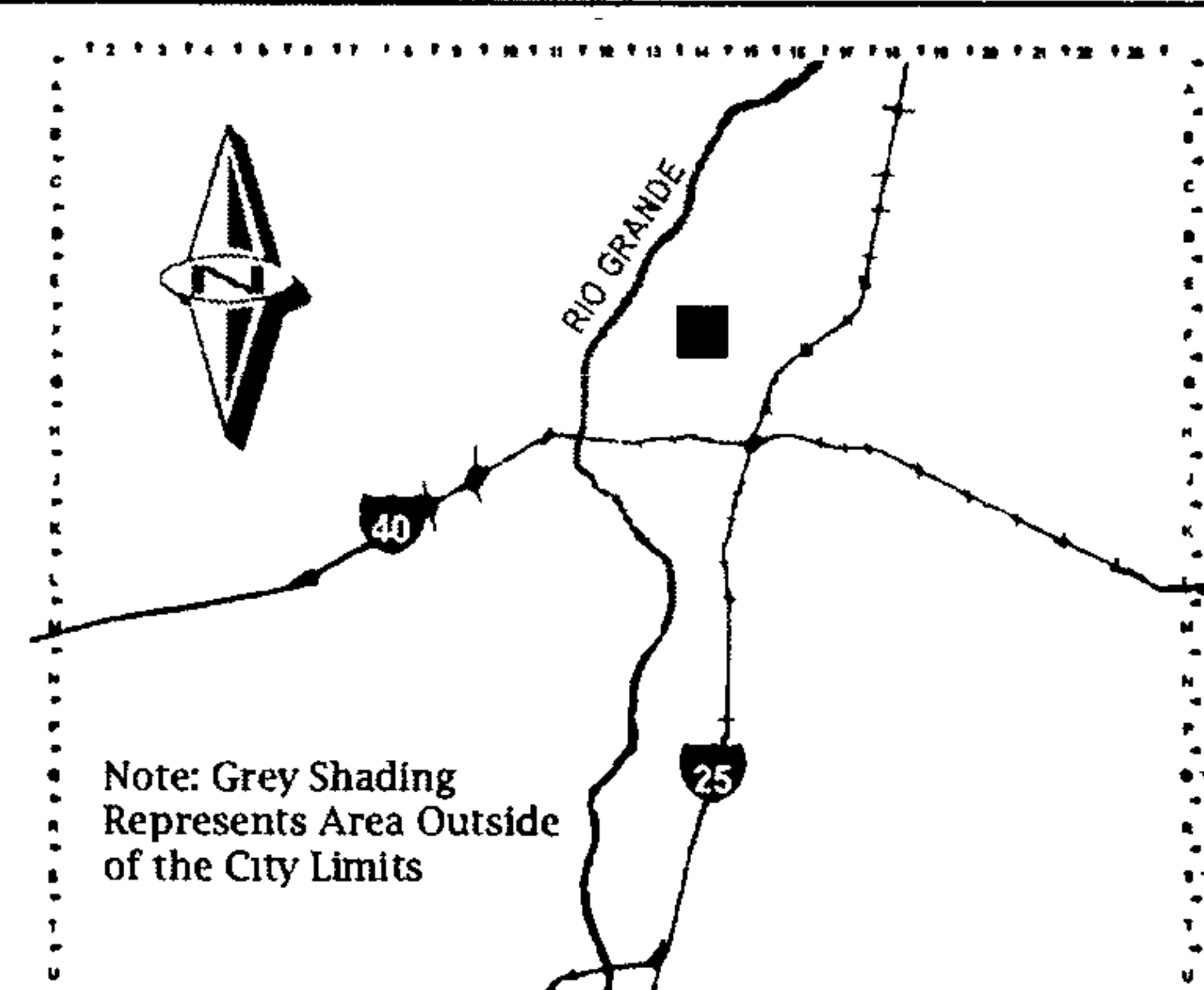




For more current information and more details visit: <http://www.cabq.gov/gis>




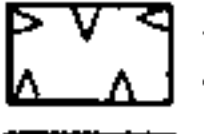

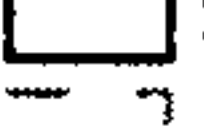
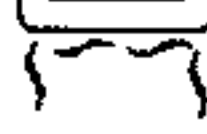
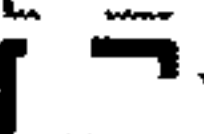



Map amended through: 6/5/2009



Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**F-14-Z**

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon		

0 750 1,500 Feet



July 3, 2009

To Whom It May Concern:

This request is for the vacation of the east-west section of the alley located at 4619 9<sup>th</sup> St NW, Albuquerque.

The reason for the request is that the alley attracts people who drive through looking to commit criminal activity. I have owned the property for a number of years and it was apparent at the outset of my ownership that there was a problem with people driving through and stealing items off of the property. There was, early on, an incident involving gunfire in the alley very near my rear building.

Some of my tenants came to me and we agreed that it would be best if they began parking their cars in the alley so as to restrict traffic. From that point on we have had very little problems with criminal activity. There are no apparent rights of way or reasons for any public vehicles to use this portion of the alley. The commercial business on the north side of the alley has also had problems with people attempting to enter their property from the alleyway.

Just recently, the City of Albuquerque sent someone out to issue citations to my tenants for parking in the alley. I received absolutely no notice beforehand that this was to take place.

Needless to say, the six families living there, as well as myself, are hopeful that the alley can be vacated so that we can continue to prevent the area from attracting people who are looking to cause trouble and commit criminal activities. I have maintained the alley for years by keeping it clean and weed free for the benefit of my tenants as well as my neighbors.

Thank you for your consideration.

Regards,

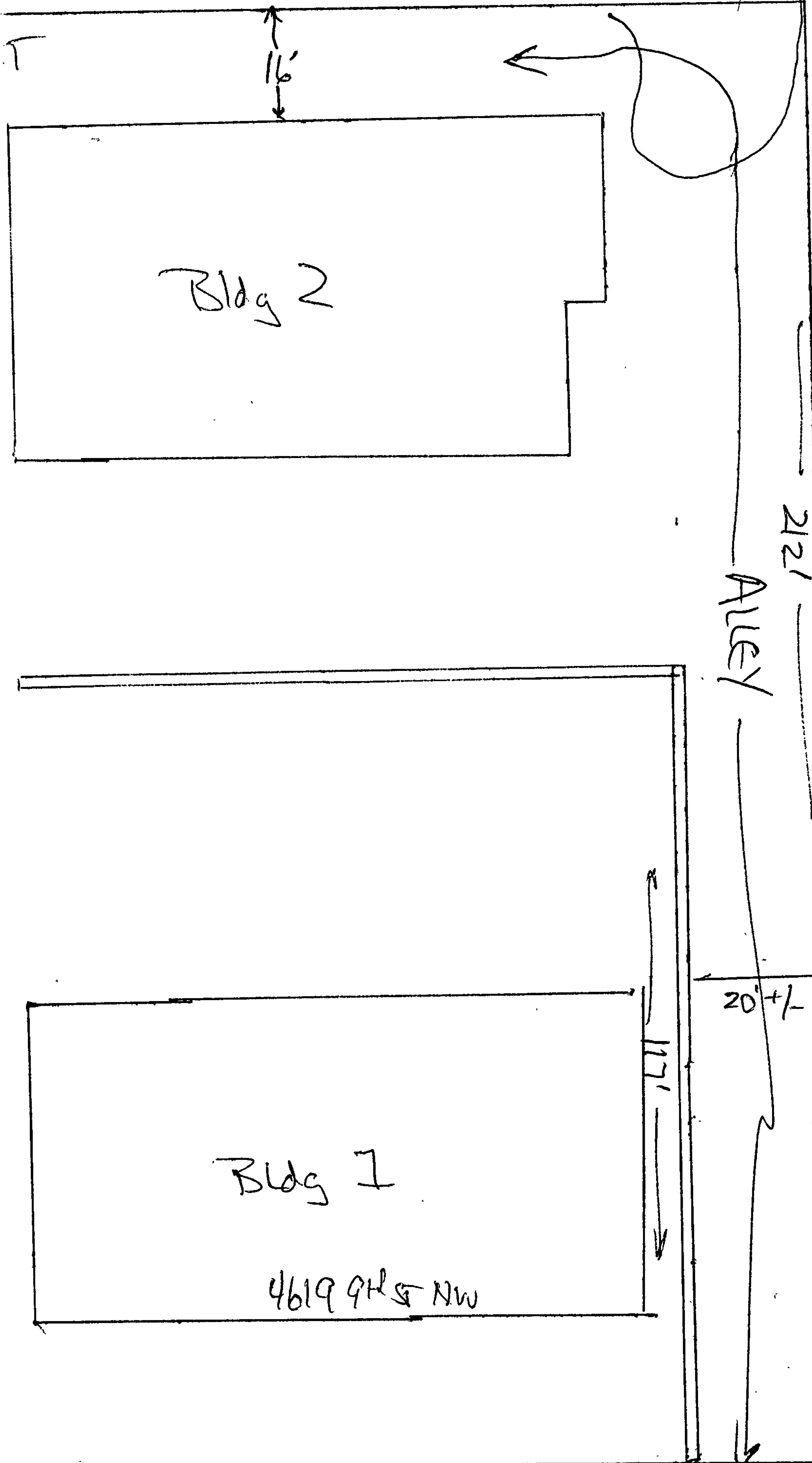


Richard Whiteside

General Partner for BARN Properties  
PO Box 2189, Los Lunas, NM 87031  
(505) 720-1450



← TO CURB



212'  
ALLEY

20' +/-

9th St NW