



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

March 19, 2014

**Project# 1007871**

**14DRB-70066 EXT OF MAJOR PRELIMINARY PLAT**

MYERS, OLIVER & PRICE agent(s) for BISHOP'S COMPOUND, LLC request(s) the above action(s) for all or a portion of Lot(s) 2 & 3, **ALVARADO GARDENS (TBKA BISHOP'S COMPOUND SUBDIVISION)** zoned R-LT, located on CANDELARIA RD NW BETWEEN CALLE SAN YSIDRO, NW AND RIO GRANDE BLVD, NW containing approximately 1.3379 acre(s). (G-12)

At the March 19, 2014 Development Review Board meeting, the one-year extension of the preliminary plat was approved.

The conditions of final plat still apply.

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

A handwritten signature in black ink, appearing to read "Jack Cloud".

Jack Cloud, DRB Chair

Cc: MYERS, OLIVER & PRICE  
file



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

March 27, 2013

**Project# 1007871**

13DRB-70477 EXT OF MAJOR PRELIMINARY PLAT

MYERS, OLIVER & PRICE agent(s) for BISHOPS COMPOUND, LLC request(s) the above action(s) for all or a portion of Lot(s) 2 & 3, **ALVARADO GARDENS (TBKA BISHOP'S COMPOUND SUBDIVISION) Unit(s) 3**, zoned R-LT, located on CANDELARIA RD NW BETWEEN CALLE SAN YSIDRO NW AND RIO GRANDE BLVD NW containing approximately 1.3379 acre(s). (G-12)


At the March 27, 2013 Development Review Board meeting, the one-year extension of the preliminary plat was approved.

The conditions of final plat still apply.





Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

If you wish to appeal this decision, you must do so by April 11, 2013 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing. You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

  
Jack Cloud, DRB Chair

Cc: MYERS, OLIVER & PRICE  
Marilyn Maldonado  
file

13. **Project# 1001941**  
12DRB-70104 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL  G.P.S. LLC agent(s) for ADAM & ANA RODRIGUEZ request(s) the above action(s) for all or a portion of Lot(s) SOUTH 1/2 OF LOT 34, **ALVARADO GARDENS Unit(s) 1**, zoned RA-2, located on 2304 RIO GRANDE BLVD NW containing approximately 1.4646 acre(s). (G-13) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 3/28/12 THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS INDEFINITELY DEFERRED TO INCLUDE WATER AND SEWER EASEMENTS WITHIN ACCESS EASEMENT.**
14. **Project# 1002404**  
12DRB-70101 AMENDMENT TO  
PRELIMINARY PLAT  ISAACSON AND ARFMAN PA agent(s) for PETERSON INV-98TH/UNSER, LLC request(s) the above action(s) for all or a portion of Lot(s) 1-B-1, 1-B-2, 1-B-3, & 1-B-4, **LADERA INDUSTRIAL CENTER** zoned SU-1 LIGHT INDUSTRIAL, located on NE QUADRANT BETWEEN UNSER BLVD NW AND VISTA ORIENTE ST NW containing approximately 7.0919 acre(s). (H-9) **DEFERRED TO 4/11/12 AT THE AGENT'S REQUEST.**
15. **Project# 1007871**  
12DRB-70092 EXT OF MAJOR  
PRELIMINARY PLAT  JOHN A MYERS agent(s) for BISHOP'S COMPOUND, LLC request(s) the above action(s) for all or a portion of Lot(s) 2 & 3, **ALVARADO GARDENS (TBKA BISHOP'S COMPOUND SUBDIVISION) Unit(s) 3**, zoned R-LT, located on CANDELARIA RD NW BETWEEN CALLE SAN YSIDRO SW RIO GRANDE BLVD W containing approximately 13379 acre(s). (G-12) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**
16. **Project# 1008589**  
12DRB-70103 SIDEWALK VARIANCE  
 ESMAIL HAIDARI request(s) the above action(s) for all or a portion of Lot(s) 15, 16 AND PORTION OF 18, Block(s) 1, Tract(s) 2, **NORTH ALBUQUERQUE ACRES Unit(s) 3**, zoned R-D 7DU/AC, 5 DU/AC, located on WYOMING BLVD NE BETWEEN EAGLE ROCK NE AND MODESTO NE containing approximately 2.4 acre(s). (C-19) **DEFERRED TO 4/4/12 AT THE AGENT'S REQUEST.**
17. Approval of the Development Review Board Minutes for October 2011.
18. Other Matters: None.

ADJOURNED: 11:00.

PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO: 1007871

AGENDA ITEM NO: 15

SUBJECT:

PRELIMINARY PLAT - EXTENSION

ENGINEERING COMMENTS:

No objection to extension request.

RESOLUTION:

APPROVED \_\_; DENIED \_\_; DEFERRED \_\_; COMMENTS PROVIDED \_\_; WITHDRAWN \_\_

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED:

Kristal D. Metro  
Transportation Development

505-924-3991

DATE: MARCH 28, 2012

**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT**

**HYDROLOGY DEVELOPMENT SECTION  
DEVELOPMENT REVIEW BOARD MEMO**

**DRB PROJECT NO: 1007871**

**AGENDA ITEM NO: 15**

**SUBJECT:**

**ENGINEERING COMMENTS:**

Ext of Preliminary Plat

Hydrology has no objection.

**RESOLUTION/COMMENTS:**

**SIGNED:**

Curtis Cherne  
Hydrology Section  
City Engineer Designee  
AMAFCA Designee  
924-3986

**DATE: 3-28-12**



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

March 28, 2012

**Project# 1007871**

12DRB-70092 EXT OF MAJOR PRELIMINARY PLAT

JOHN A MYERS agent(s) for BISHOP'S COMPOUND, LLC request(s) the above action(s) for all or a portion of Lot(s) 2 & 3, **ALVARADO GARDENS (TBKA BISHOP'S COMPOUND SUBDIVISION) Unit(s) 3**, zoned R-LT, located on CANDELARIA RD NW BETWEEN CALLE SAN YSIDRO SW RIO GRANDE BLVD W containing approximately 13379 acre(s). (G-12)

At the March 28, 2012 Development Review Board meeting, the one-year extension of the preliminary plat was approved.

The conditions of final plat still apply.

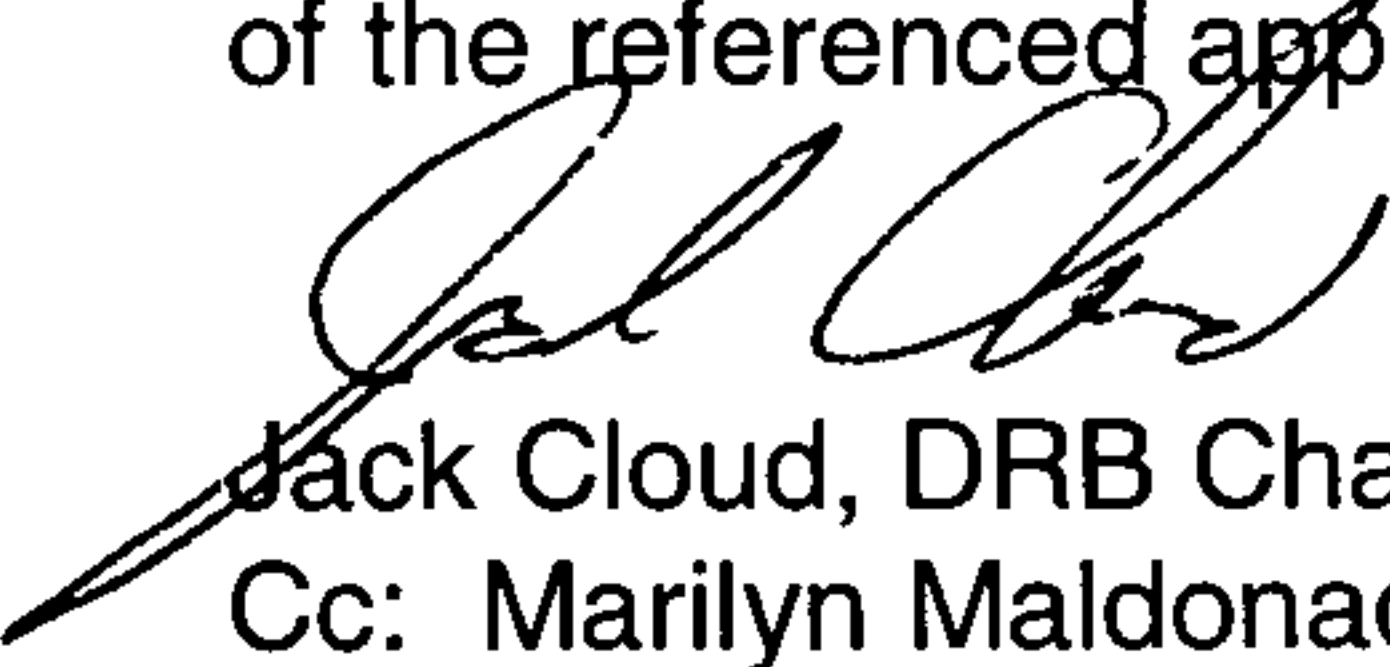
Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

If you wish to appeal this decision, you must do so by April 12, 2012, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

  
Jack Cloud, DRB Chair  
Cc: Marilyn Maldonado  
file



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

March 30, 2011

Project# 1007871  
11DRB-70058 EXT OF MAJOR PRELIMINARY PLAT

JOHN A. MYERS, MYERS, OLIVER & PRICE agent(s) for BISHOP'S COMPOUND, LLC request(s) the above action(s) for all or a portion of Lot(s) 2 & 3, **ALVARADO GARDENS (TBKA BISHOP'S COMPOUND) Unit(s) 3**, zoned R-LT, located on CANDELARIA RD NW BETWEEN CALLE SAN YSIDRO NW AND RIO GRANDE BLVD NW containing approximately 1.3379 acre(s). (G-12)

At the March 30, 2011 Development Review Board meeting, the one-year extension of the preliminary plat was approved. The approved Subdivision Design Variances shall still apply to the preliminary plat. The conditions of final plat still apply.

If you wish to appeal this decision, you must do so by April 14, 2011, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

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Jack Cloud, DRB Chair

Cc: John A. Myers, Myers, Oliver & Price – 1401 Central Ave. NW –  
Albuquerque, NM 87102

Cc: Bishop's Compound, LLC – 3009 Calle San Ysidro, NW – Albuquerque, NM  
87109

Marilyn Maldonado  
file

R:4/8/11

8383.00





## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

April 15, 2010

**Project# 1007871**

09DRB-70379 MAJOR - PRELIMINARY PLAT APPROVAL

09DRB-70380 SIDEWALK WAIVER

09DRB-70381 SUBDIVISION DESIGN VARIANCE FROM MIN DPM STDS

ISAACSON AND ARFMAN PA agent(s) for BISHOP'S COMPOUND, LLC request(s) the referenced/ above action(s) for all or a portion of Lot(s) 2 & 3, **ALVARADO GARDENS UNIT 3 [TBKA BISHOP'S COMPOUND]**, zoned R-LT, located on CANDELARIA RD NW between RIO GRANDE BLVD NW and CALLE SAN YSIDRO NW containing approximately 1.3379 acre(s). (G-12) [*Deferred from 1-6-10, - /27-10, 2-17-10, 3-10-10, 3-31-10*]

At the April 7, 2010 Development Review Board meeting, with the signing of the infrastructure list dated 4/7/10 and with an approved grading plan engineer stamp dated 3/26/10, the Preliminary Plat was approved. The grading plan was determined to be the least intrusive approach that was feasible without unreasonable cost. The sidewalk waiver was approved as shown on Exhibit C in the Planning file based on the limited number of dwelling units and the provision of paved access. The Subdivision Design Variance from minimum DPM standards for easement width was based on the waiver of sidewalks, and the materials variance for brick pavers was approved based on the design and test data provided.

If you wish to appeal this decision, you must do so by April 22, 2010, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Jack Cloud, AICP, DRB Chair

Cc: Isaacson & Arfman, P.A. – 128 Monroe St. NE – Albuquerque, NM 87108  
Bishop's Compound, LLC – 3009 Alle San Ysidro NW – Albuquerque, NM 87108  
Marilyn Maldonado/ File



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

March 30, 2011

Project# 1007871  
11DRB-70058 EXT OF MAJOR PRELIMINARY PLAT

JOHN A. MYERS, MYERS, OLIVER & PRICE agent(s) for BISHOP'S COMPOUND, LLC request(s) the above action(s) for all or a portion of Lot(s) 2 & 3, **ALVARADO GARDENS (TBKA BISHOP'S COMPOUND) Unit(s) 3**, zoned R-LT, located on CANDELARIA RD NW BETWEEN CALLE SAN YSIDRO NW AND RIO GRANDE BLVD NW containing approximately 1.3379 acre(s). (G-12)

At the March 30, 2011 Development Review Board meeting, the one-year extension of the preliminary plat was approved. The approved Subdivision Design Variances shall still apply to the preliminary plat. The conditions of final plat still apply.

If you wish to appeal this decision, you must do so by April 14, 2011, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

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Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

  
Jack Cloud, DRB Chair

Cc: John A. Myers, Myers, Oliver & Price – 1401 Central Ave. NW –  
Albuquerque, NM 87102

Cc: Bishop's Compound, LLC – 3009 Calle San Ysidro, NW – Albuquerque, NM  
87109

Marilyn Maldonado  
file

HEARING DATE: 3-30-11 (EFA)

# DRB PUBLIC HEARING SIGN IN SHEETS

PROJECT #: 1007871 AGENDA# 4 DATE: 3/10/10

1. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
2. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
3. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
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5. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
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12. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
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14. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
15. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
16. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
17. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_



CITY OF ALBUQUERQUE  
 PLANNING DEPARTMENT  
 DEVELOPMENT REVIEW BOARD

January 6, 2010

**Project# 1007871**

09DRB-70379 MAJOR - PRELIMINARY PLAT APPROVAL

09DRB-70380 SIDEWALK WAIVER

09DRB-70381 SUBDIVISION DESIGN VARIANCE FROM MIN DPM STDS

ISAACSON AND ARFMAN PA agent(s) for BISHOP'S COMPOUND, LLC request(s) the referenced/ above action(s) for all or a portion of Lot(s) 2 & 3, **ALVARADO GARDENS UNIT 3 [TBKA BISHOP'S COMPOUND]**, zoned R-LT, located on CANDELARIA RD NW between RIO GRANDE BLVD NW and CALLE SAN YSIDRO NW containing approximately 1.3379 acre(s). (G-12)

<p><b>AMAFCA</b>          No comment.</p>
<p><b>COG</b>          MRCOG staff have no comment on the application.</p>
<p><b>TRANSIT</b>  <b>Project # 1007871</b>  <b>09DRB-70379</b>          MAJOR- PRELIMINARY          PLAT APPROVAL.  <b>09DRB-70380</b>          SIDEWALK WAIVER.  <b>09DRB-70381</b>          SUBDIVISION DESIGN VARIANCE FROM MIN DPM STDS.          Adjacent and nearby routes          Route #36, 12<sup>th</sup> Street/ Rio Grande Route, passes near the site approximately 250' east from the northeast corner of the property.           Adjacent bus stops          Nearest bus stop is located approximately 330' northeast, from the northeast corner of the property, on Rio Grande for the southbound Route #36.           Site plan requirements          None           Large site TDM suggestions          None.           Other information          None.</p>
<p><b>ZONING ENFORCEMENT</b>          No comment.</p>
<p><b>NEIGHBORHOOD COORDINATION</b>          No comment.</p>
<p><b>APS</b>  <b>Alvarado Gardens Unit 3 (tbka Bishop's Compound)</b>, Lots 2 and 3, is located on Candelaria Rd NW between Rio Grande Blvd NW and Calle San Ysidro NW. The owner of the above property requests approval of a Major Preliminary Plat, Sidewalk Waiver, and Subdivision Design Variance,</p>

for a development that will consist of 3 single family units and 3 multi-family units. This will impact Griegos Elementary School, Garfield Middle School, and Valley High School. Griegos Elementary School is exceeding capacity; Garfield Middle School and Valley High School have excess capacity.

Loc No	School	2009-10 40th Day	2009-10 Capacity	Space Available
267	Griegos	354	322	-32
410	Garfield	374	456	82
560	Valley	1,623	2,200	577

To address overcrowding at schools, APS will explore various alternatives. A combination or all of the following options may be utilized to relieve overcrowded schools.

- Provide new capacity (long term solution)
  - Construct new schools or additions
  - Add portables
  - Use of non-classroom spaces for temporary classrooms
  - Lease facilities
  - Use other public facilities
- Improve facility efficiency (short term solution)
  - Schedule Changes
    - Double sessions
    - Multi-track year-round
  - Other
    - Float teachers (flex schedule)
- Shift students to Schools with Capacity (short term solution)
  - Boundary Adjustments / Busing
  - Grade reconfiguration
- Combination of above strategies

**All planned additions to existing educational facilities are contingent upon taxpayer approval**

**POLICE DEPARTMENT**

No comment.

**FIRE DEPARTMENT**

No comment.

**PNM ELECTRIC & GAS**

No comment.

**COMCAST**

No comment.

**QWEST**

Concerning the subject case number(s), Qwest has no adverse comments at this time provided all utility easement rights are maintained. Prior to any final plat approval, we will need a copy for review.

**ENVIRONMENTAL HEALTH**

No comment.

**M.R.G.C.D**

1. MRGCD Signature Line & Approval Note required prior to Final Plat.
2. MRGCD Signature required prior to Final Plat Approval.

**OPEN SPACE DIVISION**

No comment.

**CITY ENGINEER**

An approved grading plan is on file for Preliminary Plat approval.

**TRANSPORTATION DEVELOPMENT**

ISAACSON AND ARFMAN PA agent(s) for BISHOP'S COMPOUND, LLC request(s) the referenced/ above action(s) for all or a portion of Lot(s) 2 & 3, ALVARADO GARDENS UNIT 3

**[TBKA BISHOP'S COMPOUND]**, zoned R-LT, located on CANDELARIA RD NW between RIO GRANDE BLVD NW and CALLE SAN YSIDRO NW containing approximately 1.3379 acre(s). (G-12)

The design variance request is incomplete. Based on the information provided, variances would be required for roadway materials, turnaround design, and street width. Appropriate justification must be included for each request.

Provide an exhibit showing the location of sidewalk and defining the distance from face of curb to the property line. Right of way dedication may be required.

The documentation included with this request indicates that the proposed private street would be brick paved. This is not indicated as such within the infrastructure list. Additional information would be required prior to any design variance for roadway materials.

Table 23.2.2 of the *Development Process Manual* states "Construction and right-of-way standards shall be equal to or better than adopted City Standards for streets and sidewalks where there are more than 8 dwellings." Insufficient justification is provided for the design variance request. Consider utilizing infrequent or intermittent parking design. See Tables 23.2.1C and 23.2.1D of the *Development Process Manual*.

Clarify the width and location of the private access easement (defined in keyed note B). Define the beneficiaries of the proposed easement.

An appropriate turnaround (per City of Albuquerque Standard Specifications) must be provided.

The turnaround shown on the plat would require a design variance. Provide an exhibit demonstrating adequate turning radii is provided with this turnaround. Written approval from the Refuse Division and Fire Marshal is also required.

Additional information must be provided regarding lot 9 accessing Rio Grande Blvd. Please note that any curb cut for lot 9 must be at least 25 feet from the point of intersection of the two curblines extended. See Chapter 23, Section 6, Part A of the *Development Process Manual*.

#### **PARKS AND RECREATION**

No objection to the preliminary plat, defer to Transportation for the waiver requests.

#### **ABCWUA**

Verifying meter box suitability for location in the street prism as per utility layout.

No Easement "E" shown on plat. Defer sidewalk and roadway waiver to transportation.

#### **PLANNING DEPARTMENT**

The proposed Sidewalk Waiver and the variance from minimum standards for private street width could be appropriate for a North Valley character subdivision; however, in addition to a brick paved street, other referential subdivisions have maintained large old trees, sometimes with medians, as well as large plazas for turnarounds. These additional elements are needed to justify the requested variances.

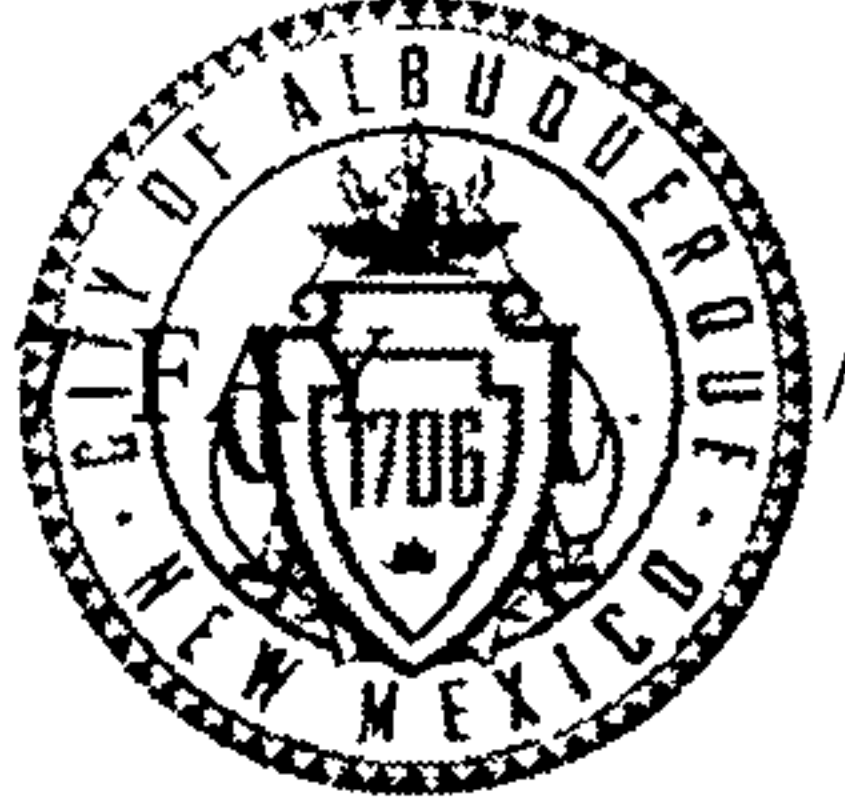
The exclusion of proposed Lot 9 from the proposed access easement does not provide for coordinated land development or convenient circulation in accordance with the Subdivision Ordinance. La Plaza Acequia and others have not had lots with direct access to Candelaria.

Setbacks need to be noted on the plat for each lot (incl. 20 ft min setback from garage doors) - the submitted 'Typical Lot Layout' does not provide a minimum 10 ft sideyard setback along the east side of proposed Lots 7 - 9 along Calle Obispo NW, nor does it provide a minimum 15 ft frontyard setback for proposed Lots 1 - 6.

Net Lot Area (gross lot area minus access easement area) needs to be noted on the plat for each lot.

Easements B., C., and D. need to be dimensioned; Easement E. is not located.

**IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING**



**DEVELOPMENT REVIEW BOARD**  
**Action Sheet**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

January 6, 2010 9:00 AM

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**CASES WHICH REQUIRE PUBLIC NOTIFICATION**  
**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project# 1008093**  
09DRB-70377 SUBDIVISION DESIGN  
VARIANCE FROM MIN STANDARDS  
PNM request(s) the referenced/ above action(s) for an **OVERHEAD ELECTRIC DISTRIBUTION LINE** located on ATRISCO DR NW, SCENIC DR NW, UNSER BLVD NW, AND URRACA ST NW, from Volcano Vista High School to La Cuentista Subdivision. (C-9, D-9, D-10) **DENIED.**
2. **Project# 1004353**  
09DRB-70383 MAJOR - 2YEAR  
EXTENSION OF SUBDIVISION  
IMPROVEMENTS AGREEMENT  
(2YR SIA)  
LONGFORD HOMES request(s) the referenced/ above action(s) for all **SANTA FE 2 AT THE TRAILS UNIT 2**, zoned R-D, located on the west side of OAKRIDGE ST NW between TREE LINE AVE NW and WOODMONT AVE NW containing approximately 17.0028 acre(s). (C-9) **DEFERRED TO 1/13/10 AT THE AGENT'S REQUEST.**
3. **Project# ~~1007871~~**  
09DRB-70379 MAJOR - PRELIMINARY  
PLAT APPROVAL  
09DRB-70380 SIDEWALK WAIVER  
09DRB-70381 SUBDIVISION DESIGN  
VARIANCE FROM MIN DPM STDS  
ISAACSON AND ARFMAN PA agent(s) for BISHOP'S COMPOUND, LLC request(s) the referenced/ above action(s) for all or a portion of Lot(s) 2 & 3, **ALVARADO GARDENS UNIT 3 [TBKA BISHOP'S COMPOUND]**, zoned R-LT, located on CANDELARIA RD NW between RIO GRANDE BLVD NW and CALLE SAN YSIDRO NW containing approximately 1.3379 acre(s). (G-12) **DEFERRED TO 1/27/10 AT THE AGENT'S REQUEST.**



# DRB PUBLIC HEARING SIGN IN SHEETS

PROJECT #: 1007871 AGENDA# 3 DATE: 1/6/10

1. Name: ROBERT RUTH Address: 3029 Rio Grande NH Zip: 87107
2. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
3. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
4. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
5. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
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11. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
12. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
13. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
14. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
15. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
16. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
17. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
PROPERTY OWNERSHIP LIST**

**Meeting Date:** January 6, 2010  
**Zone Atlas Page:** G-12  
**Notification Radius:** 100 Ft.

**Project#** 1007871  
**App#** 09DRB-70379  
09DRB-703780  
09DRB-70381

Cross Reference and Location: CANDELARIA RD NW BETWEEN CALLE SAN  
YSIDRO NW AND RIO GRANDE BLVD NW

**Applicant:** BISHOPS COMPOUND LLC  
3009 CALLE SAN YSIDRO NW  
ALBUQUERQUE, NM 87107

**Agent:** ISAACSON & ARTMAN PA  
128 MONROE ST NE  
ALBUQUERQUE, NM 87108

**Special Instructions:**

**Notice must be mailed from the  
City's 15 day's prior to the meeting.**

**Date Mailed:** DECEMBER 24, 2009  
**SIGNATURE:** *ERIN TREMLIN*

REC	UPC CODE	OWNER	OWNER ADDRESS	OWNER CITY	OWNER STATE	OWNER ZIP CODE	PROPERTY CLASS	TAX DISTRICT	LEGAL	ACRES
1	1013 0600 0130 9201 03	BOYKIN BILL B & GERDA W	3019 COLONNAD E CT NW	ALBUQUERQUE	NM	87107	R	A1A	* 3 THE COLONNADE - A REPL OF PORTIONS OF LTS 2 & 3 UNIT 3 ALVARADO GDNS CONT 4000 SQ FT M/L	0.0 89 58 92 2
2	1013 0600 0130 5201 04	ESTEP LYNN E	3015 COLONNAD E CT NW	ALBUQUERQUE	NM	87107	R	A1A	* 4 THE COLONNADE - A REPL OF PORTIONS OF LTS 2 & 3 UNIT 3 ALVARADO GDNS CONT 3600 SQ FT M/L	0.0 83 57 02 5
3	1012 0604 9728 9103 26	GRIEGO-RUTH F JUDITH	3029 RIO GRAND E BLVD NW	ALBUQUERQUE	NM	87111	R	A1A	LT A OF LTS A & B ALVARADO GARDENS UNIT 3 (BEING A REPL OF TR 1 & THE S 37.20 FT OF TR 2 ALVARADO GARDENS UNIT 3) CONT 0.7982 AC M/L OR 34,770 SF M/L	0.8 05 61 09 8
4	1013 0600 0130 1201 05	ELLIS JAMES & MARY VAN ATTA	3009 COLONNAD E CT NW	ALBUQUERQUE	NM	87107	R	A1A	* 5 THE COLONNADE - A REPL OF PORTIONS OF LTS 2 & 3 UNIT 3 ALVARADO GDNS CONT 3600 SQ FT M/L	0.0 86 76 58 7
5	1012 0604 6329 9103 90	HICKS BRUCE E & PATRICIA J	3305 CALLE CUERVO NW APT 715	ALBUQUERQUE	NM	87114	R	A1A	LT 6A CORRECTION PLAT OF LA PLAZA ACEQUIA I SUBDIVISION EAST ONE-HALF OF TRACT FOUR ALVARADO GARDENS UNIT NO. 3 CONT .2783 AC	0.2 80 96 41 7
6	1013 0600 0529 3201 08	MCKEE LLOYD W & VIRGINIA I	3000 COLONNAD E CT NW	ALBUQUERQUE	NM	87107	R	A1A	*8- A REPL OF LTS 7 & 8 OF THE COLONNADE ADDN CONT 3071 SQ FT	0.0 67 35 70 8
7	1013 0600 0131 8201 01	HAMBERGER SCOTT & MEGAN & ERIC HAMBERGER & JODI GRECO	2602 OLDWICK CT	RESTON	VA	20191	R	A1A	* 1 THE COLONNADE - A REPL OF PORTIONS OF LTS 2 & 3 UNIT 3 ALVARADO GDNS CONT 5200 SQ FT M/L	0.0 98 31 91 8
8	1013 0600 0233 1203 19	MARTINEZ HENRIETTA A	3107 CAMINO CEPILLO NW	ALBUQUERQUE	NM	87107	R	A1A	* D REPLAT OF LOTS 12-22 OF LOS ARTESANOS DEL NORTE CONT 0.069 AC M/L	0.0 68 36 74 2
9	1012 0605 0831 1103 30	BISHOP KEN L	2420 CANDELARIA NW	ALBUQUERQUE	NM	87107	R	A1A	ALVARADO GARDENS NO3 POR LOTS 2X3 CONT 1.30 AC	1.4 03 20 34 9
10	1013 0600 1429 9201 11	ANELLA MARY AND ERMAN TRUSTEE ANELLA RVT	3014 COLONNAD E CT NW	ALBUQUERQUE	NM	87107	R	A1A	*11A REPLAT OF LOTS 9, 10 & 11 OF THE COLONNADE ADDN CONT 5045 SQ FT	0.1 14 64 66 4
11	1013 0600 1432 9203 37	OWEN BARBARA E	3108 CAMINO CEPILLO NW	ALBUQUERQUE	NM	87107	R	A1A	* V REPLAT OF LOTS 12-22 OF LOS ARTESANOS DEL NORTE CONT 0.140 AC M/L	0.1 17 42 30 3
12	1012 0604	COOK GARY W & JERRI H	3019 CALLE SAN Y	ALBUQUERQUE	NM	87110	R	A1A	LT 1A PLAT OF LA PLAZA ACEQUIA II SUBDIVISION WESTERLY PORTION OF THE NORTHERLY 126 FT O	0.1 48

	9533 0103 31		SIDRO N W	UER QU E		7		M	F LOT 2 & THE WESTERLYPORTION OF LOT NO 3 O F ALVARADO GARDENS UNIT NO. 3	65 34 5
1 3	1013 0600 1430 4201 12	KIRK MARJORY H	3018 CO LONNAD E NW	ALB UQ UER QU E	N M	87 10 7	R	A1 A M	* 12 THE COLONNADE - A REPL OF PORTIONS OF LTS 2 & 3 UNIT 3ALVARA DO GDNS CONT 3600 SQ FT M/L	0.0 81 96 37 5
1 4	1012 0604 6431 4103 92	LINDSAY BYRON T & TANIA	3027 CAL LE SAN A NGEL N W	ALB UQ UER QU E	N M	87 10 7	R	A1 A M	LT 4A CORRECTION PLAT OF LA PLAZA ACEQUIA I SUBDIVISIONEAST ONE- HALF OF TRACT FOUR ALVARADO GARDENS UNIT NO. 3CONT .2229 AC	0.2 30 45 55
1 5	1012 0604 9230 1103 81	MCDOWELL ELLIOT T M JR SUCCESSO R TRUSTEE MCDO WELL TRUST	737 CAMI NO MIRA DA	SAN TA FE	N M	87 50 5	R	A1 A M	LT 5A PLAT OF LA PLAZA ACEQUIA II SUBDIVISION WESTERLYPORTION OF THE NORTHERLY 126 FT O F LOT 2 & THE WESTERLYPORTION OF LOT NO 3 O F ALVARADO GARDENS UNIT NO. 3	0.1 32 01 56 3
1 6	1013 0600 0232 7203 18	NUNNS PATRICK J & CAROLYN A	3105 CA MINO CE PILLO N W	ALB UQ UER QU E	N M	87 10 7	R	A1 A M	* C REPLAT OF LOTS 12- 22 OF LOS ARTESANOS DEL NORTE CONT 0.069 AC M/L	0.0 68 24 86 6
1 7	1013 0600 1232 2203 36	ROMANO JAMES & RUTH	3100 CA MINO CE PILLO N W	ALB UQ UER QU E	N M	87 10 7	R	A1 A M	* U REPLAT OF LOTS 12- 22 OF LOS ARTESANOS DEL NORTE CONT 0 099 AC M/L	0.0 91 73 97 4
1 8	1013 0600 0129 7201 06	JENKS ELIZABETH GLOVER RVT	3005 CO LONNAD E CT NW	ALB UQ UER QU E	N M	87 10 7	R	A1 A M	* 6 THE COLONNADE - A REPL OF PORTIONS OF LTS 2 & 3 UNIT 3 ALVARA DO GDNS CONT 5600 SQ FT M/L	0.1 46 67 24
1 9	1012 0604 9332 0103 79	HAMMOND HELEN O	3015 CAL LE SAN Y SIDRO N E	ALB UQ UER QU E	N M	87 10 7	R	A1 A M	LT 2A PLAT OF LA PLAZA ACEQUIA II SUBDIVISION WESTERLYPORTION OF THE NORTHERLY 126 FT O F LOT 2 & THE WESTERLYPORTION OF LOT NO 3 O F ALVARADO GARDENS UNIT NO. 3	0 1 24 50 13 9
2 0	1012 0604 8830 2103 82	ROWLEY JUDITH LY NN & PHILLIP S RO WLEY TRUSTEES R OWLEY TRUST	3005 CAL LE SAN Y SIDRO N W	ALB UQ UER QU E	N M	87 10 7	R	A1 A M	LT 4A PLAT OF LA PLAZA ACEQUIA II SUBDIVISION WESTERLYPORTION OF THE NORTHERLY 126 FT O F LOT 2 & THE WESTERLYPORTION OF LOT NO 3 O F ALVARADO GARDENS UNIT NO. 3	0.1 31 49 62 9
2 1	1013 0600 0329 4201 07	CEBULLA JOHN W	3001 CO LONNAD E CT NW	ALB UQ UER QU E	N M	87 10 7	R	A1 A M	*7- A REPL OF LTS 7 & 8 OF THE COLONNADE ADDN C ONT 4449 SQ FT	0.1 03 78 54 7
2 2	1012 0604 6532 0103 94	BUSCHING RICHAR D K & REBECCA L	3039 CAL LE SAN A NGEL N W	ALB UQ UER QU E	N M	87 10 7	R	A1 A M	LT 2A CORRECTION PLAT OF LA PLAZA ACEQUIA I SUBDIVISIONEAST ONE- HALF OF TRACT FOUR ALVARADO GARDENS UNIT NO. 3CONT 2087 AC	0 2 59 33 91 5
2 3	1012 0605 2428 3103 25	APODACA MICHAEL & ANNE	3025 RIO GRAND E BLVD NW	ALB UQ UER QU E	N M	87 10 7	R	A1 A M	LT B OF LTS A & B ALVARADO GARDENS UNIT 3 (BE ING A REPL OF TR 1 & THE S 37.20 FT OF TR 2 ALVA RADO GARDENS UNIT 3) CONT 0 4267 AC M/L OR 18 ,587 SF M/L	0.4 36 89 85 4
2 4	1012 0605 1634 2109 10	MAXWELL CHARLE S S & FELDMAN NIC OLE W	3104 CA MINO CA BALLETT E NW	ALB UQ UER QU E	N M	87 10 7	R	A1 A M	* 10 LOS ARTESANOS DEL NORTE ADDN BEING A R EPLAT OF LOTS 31& 32 ALVARADO GARDE	0.1 44 12 38 6
2 5	1013 0600 1832 1203	VALDEZ M JULIA & J ARAMILLO LOUISE	3102 CA MINO CE PILLO N W	ALB UQ UER QU E	N M	87 10 7	R	A1 A M	* T REPLAT OF LOTS 12- 22 OF LOS ARTESANOS DEL NORTE CONT 0.108 AC M/L	

	35			E								
26	1013 0600 0132 3203 17	SPANN CHARLES L & CAROL L	8101 WE LLSBUR G CT NW	ALB UQ UER QU E	N M	87 12 0	R	A1 A M	* B REPLAT OF LOTS 12- 22 OF LOS ARTESANOS DEL NORTE CONT 0.069 AC M/L	0.0 68 20 06 3		
27	1013 0600 0131 3201 02	HOFFMAN DONALD R & SANDRA D	3023 CO LONNAD E CT NW	ALB UQ UER QU E	N M	87 10 7	R	A1 A M	* 2 THE COLONNADE - A REPL OF PORTIONS OF LTS 2 & 3 UNIT 3 ALVARA DO GDNS CONT 4196 35 SQ FT M/	0.0 91 21 94 7		
28	1012 0604 9131 1103 80	KELLY JOHN J	PO BOX 31085	ALB UQ UER QU E	N M	87 19 0	R	A1 A M	LT 3A PLAT OF LA PLAZA ACEQUIA II SUBDIVISION WESTERLYPORTION OF THE NORTHERLY 126 FT O F LOT 2 & THE WESTERLYPORTION OF LOT NO 3 O F ALVARADO GARDENS UNIT NO. 3	0.1 90 87 97 9		
29	1012 0604 9627 7103 24	STREUBEL DAVID A & SCHAEFER DEBO RAH L	3023 RIO GRAND E BLVD NW	ALB UQ UER QU E	N M	87 10 7	R	A1 A M	LT 1-A PLAT OF LTS 1-A, 1-B & 1- C ALVARADO GARDENS UNIT 3 CONT 0.5838 AC +- / 25,430 SQ FT +-	0.6 18 80 44 1		
30	1012 0605 1227 6103 27	KOBAYASHI CALVIN & RENDER MARY F	3019 RIO GRAND E BLVD NW	ALB UQ UER QU E	N M	87 10 7	R	A1 A M	LT 1-B PLAT OF LTS 1-A, 1-B & 1- C ALVARADO GARDENS UNIT 3 CONT 0.3134 AC +- / 13,652 SQ FT +-	0.3 28 58 84 3		
31	1013 0600 1531 2201 14	TEAGUE JERRY L & CYNTHIA A TRUSTE ES TEAGUE RVT	3026 CO LONNAD E CT NW	ALB UQ UER QU E	N M	87 10 7	R	A1 A M	* 14 THE COLONNADE - A REPL OF PORTIONS OF LTS 2 & 3 UNIT 3ALVARA DO GDNS CONT 6000 SQ FT M/L	0.1 11 71 17 2		
32	1012 0605 1433 4109 11	WALTER GREGORY	3100 CA MINO CA BALLETE NW	ALB UQ UER QU E	N M	87 10 7	R	A1 A M	*011 LOS ARTESANOS DEL NORTE ADDN BEING A R EPLAT OF LOTS 31& 32 ALVARADO GARDE	0.1 83 97 81 4		
33	1012 0605 0034 0109 01	SPATES FAMILY TR UST JAMES J & BAR BARA L TRUSTEES	3101 CA MINO CA BALLETE NW	ALB UQ UER QU E	N M	87 10 7	R	A1 A M	* 01 LOS ARTESANOS DEL NORTE ADD BEING A RE PLAT OF LOTS 31 & 32 ALVARADO GARDEN	0.1 74 63 13 2		
34	1013 0600 1129 3201 10	CRIST EARL W JR & DORTHY C	3004 CO LONADE CT NW	ALB UQ UER QU E	N M	87 10 7	R	A1 A M	*9A REPLAT OF LOTS 9, 10 & 11 OF THE COLONADE ADDN CONT 8030 SQ FT	0.1 87 19 94 5		
35	1012 0605 3027 0103 28	ARMIJO PHILLIP D & TASHA M ZONSKI	2717 CH AMA NE	ALB UQ UER QU E	N M	87 11 0	R	A1 A M	LT 1-C PLAT OF LTS 1-A, 1-B & 1- C ALVARADO GARDENS UNIT 3 CONT 0.3061 AC +- / 13,334 SQ FT +-	0.3 26 88 58 7		
36	1013 0600 1430 8201 13	3302 LLC	3022 CO LONNAD E CT NW	ALB UQ UER QU E	N M	87 10 7	R	A1 A M	* 13 THE COLONNADE - A REPL OF PORTIONS OF LTS 2 & 3 UNIT 3ALVARA DO GDNS CONT 4141 SQ FT M/L	0.0 97 57 56 9		
37	1012 0605 0234 6109 02	SANCHEZ ELEANO R & WENDY LAURE N	1245 BEV ERLY ES TATE DR	BEV ERL Y HI LLS	C A	90 21 0	R	A1 A M	* 02 LOS ARTESANOS DEL NORTE ADDN BEING A R EPLAT OF LOTS 31& 32 ALVARADO GARDE	0.1 43 65 93 7		
38	1013 0600 0132 0203 16	JELSO SANDRA A	3101 CA MINO CE PILLO N W	ALB UQ UER QU E	N M	87 10 7	R	A1 A M	* A REPLAT OF LOTS 12- 22 OF LOS ARTESANOS DEL NORTE CONT 0 078 AC M/L	0.0 87 26 93 1		

OR CURRENT RESIDENT  
101206048830210382  
ROWLEY JUDITH LYNN & PHILLIP S  
ROWLEY TRUSTEES ROWLEY TRUST  
3005 CALLE SAN YSIDRO NW  
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT  
101206050034010901  
SPATES FAMILY TRUST JAMES J &  
BARBARA L TRUSTEES  
3101 CAMINO CABALLETE NW  
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT  
101306001832120335  
VALDEZ M JULIA & JARAMILLO  
LOUISE  
3102 CAMINO CEPILLO NW  
ALBUQUERQUE, NM 87107

Project# 1007871  
BISHOP & COMPOUND, LLC  
3009 CALLE SAN YSIDRO NW  
ALBUQUERQUE, NM 87107

Project# 1007871  
IGNACIO PEREZ JR  
Rio Grande Blvd NA  
2200 CAMINO DEL LOS ARTESANO NW  
ALBUQUERQUE, NM 87107

--- CURRENT RESIDENT  
101206050234610902  
SANCHEZ ELEANOR & WENDY  
LAUREN  
1245 BEVERLY ESTATE DR  
BEVERLY HILLS, CA 90210

OR CURRENT RESIDENT  
101206049627710324  
STREUBEL DAVID A & SCHAEFER  
DEBORAH L  
3023 RIO GRANDE BLVD NW  
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT  
101206051433410911  
WALTER GREGORY  
3100 CAMINO CABALLETE NW  
ALBUQUERQUE, NM 87107

Project# 1007871  
KIERA HOMANN  
Alvarado Gardens NA  
2929 TRELIS DR NW  
ALBUQUERQUE, NM 87107

Project# 1007871  
WINNIE KIMBROUGH 2327  
Rio Grande Blvd NA  
CAMPBELL RD NW  
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT  
101306000132320317  
SPANN CHARLES L & CAROL L  
8101 WELLSBURG CT NW  
ALBUQUERQUE, NM 87120

OR CURRENT RESIDENT  
101306001531220114  
TEAGUE JERRY L & CYNTHIA A  
TRUSTEES TEAGUE RVT  
3026 COLONNADE CT NW  
ALBUQUERQUE, NM 87107

Project# 1007871  
ISAACSON & ARTMAN, PA  
128 MONROE ST NE  
ALBUQUERQUE, NM 87108

Project# 1007871  
TALIA SLEDGE  
Alvarado Gardens NA  
2930 TRELIS DR NW  
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT  
101306001430820113  
3302 LLC  
3022 COLONNADE CT NW  
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT  
101206053027010328  
ARMIJO PHILLIP D & TASHA M  
ZONSKI  
2717 CHAMA NE  
ALBUQUERQUE, NM 87110

OR CURRENT RESIDENT  
101206046532010394  
BUSCHING RICHARD K & REBECCA L  
3039 CALLE SAN ANGEL NW  
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT  
101306001129320110  
CRIST EARL W JR & DORTHY C  
3004 COLONNADE CT NW  
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT  
101206049728910326  
GRIEGO-RUTH F JUDITH  
3029 RIO GRANDE BLVD NW  
ALBUQUERQUE, NM 87111

OR CURRENT RESIDENT  
101206046329910390  
HICKS BRUCE E & PATRICIA J  
3305 CALLE CUERVO NW APT 715  
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT  
101306000129720106  
JENKS ELIZABETH GLOVER RVT  
3005 COLONNADE CT NW  
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT  
101206051227610327  
KOBAYASHI CALVIN & RENDER  
MARY F  
3019 RIO GRANDE BLVD NW  
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT  
101206051634210910  
MAXWELL CHARLES S & FELDMAN  
NICOLE W  
3104 CAMINO CABALLETTE NW  
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT  
101306000232720318  
NUNNS PATRICK J & CAROLYN A  
3105 CAMINO CEPILLO NW  
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT  
101306001429920111  
ANELLA MARY ANDERMAN  
TRUSTEE ANELLA RVT  
3014 COLONNADE CT NW  
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT  
101206050831110330  
BISHOP KEN L  
2420 CANDELARIA NW  
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT  
101306000329420107  
CEBULLA JOHN W  
3001 COLONNADE CT NW  
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT  
101306000130120105  
ELLIS JAMES & MARY VAN ATTA  
3009 COLONNADE CT NW  
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT  
101306000131820101  
HAMBERGER SCOTT & MEGAN &  
ERIC HAMBERGER & JODI GRECO  
2602 OLDWICK CT  
RESTON, VA 20191

OR CURRENT RESIDENT  
101306000131320102  
HOFFMAN DONALD R & SANDRA D  
3023 COLONNADE CT NW  
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT  
101206049131110380  
KELLY JOHN J  
PO BOX 31085  
ALBUQUERQUE, NM 87190

OR CURRENT RESIDENT  
101206046431410392  
LINDSAY BYRON T & TANIA  
3027 CALLE SAN ANGEL NW  
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT  
101206049230110381  
MCDOWELL ELLIOTT M JR SUCCESSOR  
TRUSTEE MCDOWELL TRUST  
737 CAMINO MIRADA  
SANTA FE, NM 87505

OR CURRENT RESIDENT  
101306001432920337  
OWEN BARBARA E  
3108 CAMINO CEPILLO NW  
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT  
101206052428310325  
APODACA MICHAEL & ANNE  
3025 RIO GRANDE BLVD NW  
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT  
101306000130920103  
BOYKIN BILL B & GERDA W  
3019 COLONNADE CT NW  
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT  
101206049533010331  
COOK GARY W & JERI H  
3019 CALLE SAN YSIDRO NW  
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT  
101306000130520104  
ESTEP LYNN E  
3015 COLONNADE CT NW  
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT  
101206049332010379  
HAMMOND HELEN O  
3015 CALLE SAN YSIDRO NE  
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT  
101306000132020316  
JELSO SANDRA A  
3101 CAMINO CEPILLO NW  
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT  
101306001430420112  
KIRK MARJORY H  
3018 COLONNADE NW  
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT  
101306000233120319  
MARTINEZ HENRIETTA A  
3107 CAMINO CEPILLO NW  
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT  
101306000529320108  
MCKEE LLOYD W & VIRGINIA I  
3000 COLONNADE CT NW  
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT  
101306001232220336  
ROMANO JAMES & RUTH  
3100 CAMINO CEPILLO NW  
ALBUQUERQUE, NM 87107







CITY OF ALBUQUERQUE  
 PLANNING DEPARTMENT  
 DEVELOPMENT REVIEW BOARD

January 6, 2010

**Project# 1007871**  
 09DRB-70379 MAJOR - PRELIMINARY PLAT APPROVAL  
 09DRB-70380 SIDEWALK WAIVER  
 09DRB-70381 SUBDIVISION DESIGN VARIANCE FROM MIN DPM STDS

ISAACSON AND ARFMAN PA agent(s) for BISHOP'S COMPOUND, LLC request(s) the referenced/ above action(s) for all or a portion of Lot(s) 2 & 3, **ALVARADO GARDENS UNIT 3 [TBKA BISHOP'S COMPOUND]**, zoned R-LT, located on CANDELARIA RD NW between RIO GRANDE BLVD NW and CALLE SAN YSIDRO NW containing approximately 1.3379 acre(s). (G-12)

<p><b>AMAFCA</b>          No comment.</p>
<p><b>COG</b>          MRCOG staff have no comment on the application.</p>
<p><b>TRANSIT</b>  <b>Project # 1007871</b>  <b>09DRB-70379</b>          MAJOR- PRELIMINARY          PLAT APPROVAL.  <b>09DRB-70380</b>          SIDEWALK WAIVER.  <b>09DRB-70381</b>          SUBDIVISION DESIGN VARIANCE FROM MIN DPM STDS.          Adjacent and nearby routes          Route #36, 12<sup>th</sup> Street/ Rio Grande Route, passes near the site approximately 250' east from the northeast corner of the property.           Adjacent bus stops          Nearest bus stop is located approximately 330' northeast, from the northeast corner of the property, on Rio Grande for the southbound Route #36.           Site plan requirements          None           Large site TDM suggestions          None.           Other information          None.</p>
<p><b>ZONING ENFORCEMENT</b>          No comment.</p>
<p><b>NEIGHBORHOOD COORDINATION</b>          No comment.</p>
<p><b>APS</b>  <b>Alvarado Gardens Unit 3 (tbka Bishop's Compound)</b>, Lots 2 and 3, is located on Candelaria Rd NW between Rio Grande Blvd NW and Calle San Ysidro NW. The owner of the above property requests approval of a Major Preliminary Plat, Sidewalk Waiver, and Subdivision Design Variance.</p>

for a development that will consist of 5 single family units and 3 multi-family units. This will impact Griegos Elementary School, Garfield Middle School, and Valley High School. Griegos Elementary School is exceeding capacity; Garfield Middle School and Valley High School have excess capacity.

Loc No	School	2009-10 40th Day	2009-10 Capacity	Space Available
267	Griegos	354	322	-32
410	Garfield	374	456	82
560	Valley	1,623	2,200	577

To address overcrowding at schools, APS will explore various alternatives. A combination or all of the following options may be utilized to relieve overcrowded schools.

- Provide new capacity (long term solution)
  - Construct new schools or additions
  - Add portables
  - Use of non-classroom spaces for temporary classrooms
  - Lease facilities
  - Use other public facilities
- Improve facility efficiency (short term solution)
  - Schedule Changes
    - Double sessions
    - Multi-track year-round
  - Other
    - Float teachers (flex schedule)
- Shift students to Schools with Capacity (short term solution)
  - Boundary Adjustments / Busing
  - Grade reconfiguration
- Combination of above strategies

**All planned additions to existing educational facilities are contingent upon taxpayer approval**

**POLICE DEPARTMENT**

No comment.

**FIRE DEPARTMENT**

No comment.

**PNM ELECTRIC & GAS**

No comment.

**COMCAST**

No comment.

**QWEST**

Concerning the subject case number(s), Qwest has no adverse comments at this time provided all utility easement rights are maintained. Prior to any final plat approval, we will need a copy for review.

**ENVIRONMENTAL HEALTH**

No comment.

**M.R.G.C.D**

1. MRGCD Signature Line & Approval Note required prior to Final Plat.
2. MRGCD Signature required prior to Final Plat Approval.

**OPEN SPACE DIVISION**

No comment.

**CITY ENGINEER**

An approved grading plan is on file for Preliminary Plat approval.

**TRANSPORTATION DEVELOPMENT**

ISAACSON AND ARFMAN PA agent(s) for BISHOP'S COMPOUND, LLC request(s) the referenced/ above action(s) for all or a portion of Lot(s) 2 & 3, ALVARADO GARDENS UNIT 3

[TBKA BISHOP'S COMPOUND], zoned R-LT, located on CANDELARIA RD ... / between RIO GRANDE BLVD NW and CALLE SAN YSIDRO NW containing approximately 1.3379 acre(s). (G-12)

The design variance request is incomplete. Based on the information provided, variances would be required for roadway materials, turnaround design, and street width. Appropriate justification must be included for each request.

Provide an exhibit showing the location of sidewalk and defining the distance from face of curb to the property line. Right of way dedication may be required.

The documentation included with this request indicates that the proposed private street would be brick paved. This is not indicated as such within the infrastructure list. Additional information would be required prior to any design variance for roadway materials.

Table 23.2.2 of the *Development Process Manual* states "Construction and right-of-way standards shall be equal to or better than adopted City Standards for streets and sidewalks where there are more than 8 dwellings." Insufficient justification is provided for the design variance request. Consider utilizing infrequent or intermittent parking design. See Tables 23.2.1C and 23.2.1D of the *Development Process Manual*.

Clarify the width and location of the private access easement (defined in keyed note B). Define the beneficiaries of the proposed easement.

An appropriate turnaround (per City of Albuquerque Standard Specifications) must be provided.

The turnaround shown on the plat would require a design variance. Provide an exhibit demonstrating adequate turning radii is provided with this turnaround. Written approval from the Refuse Division and Fire Marshal is also required.

Additional information must be provided regarding lot 9 accessing Rio Grande Blvd. Please note that any curb cut for lot 9 must be at least 25 feet from the point of intersection of the two curblines extended. See Chapter 23, Section 6, Part A of the *Development Process Manual*.

#### **PARKS AND RECREATION**

No objection to the preliminary plat, defer to Transportation for the waiver requests.

#### **ABCWUA**

Verifying meter box suitability for location in the street prism as per utility layout.

No Easement "E" shown on plat. Defer sidewalk and roadway waiver to transportation.

#### **PLANNING DEPARTMENT**

The proposed Sidewalk Waiver and the variance from minimum standards for private street width could be appropriate for a North Valley character subdivision; however, in addition to a brick paved street, other referential subdivisions have maintained large old trees, sometimes with medians, as well as large plazas for turnarounds. These additional elements are needed to justify the requested variances.

The exclusion of proposed Lot 9 from the proposed access easement does not provide for coordinated land development or convenient circulation in accordance with the Subdivision Ordinance. La Plaza Acequia and others have not had lots with direct access to Candelaria. Setbacks need to be noted on the plat for each lot (incl. 20 ft min setback from garage doors) - the submitted 'Typical Lot Layout' does not provide a minimum 10 ft sideyard setback along the east side of proposed Lots 7 - 9 along Calle Obispo NW, nor does it provide a minimum 15 ft frontyard setback for proposed Lots 1 - 6.

Net Lot Area (gross lot area minus access easement area) needs to be noted on the plat for each lot.

Easements B., C., and D. need to be dimensioned; Easement E. is not located.

**IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING**

HEARINGS DATE 1-6-10 (PP, SW, SDV)

3. **Project# 1004732**  
09DRB-70233 SKETCH PLAT REVIEW  
AND COMMENT

ISAACSON AND ARFMAN PA agent(s) for EVERGREEN HOMES LTD PA request(s) the above action(s) for all or a portion of Tract(s) A-1 & A-2, **LANDS OF DAVID MACIEL (TO BE KNOWN AS MONTOYA STREET TOWNHOUSES)** zoned R-LT, located on MONTOYA ST NW BETWEEN FLORAL RD NW AND SARITA AVE NW containing approximately .6728 acre(s). (H-2) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

4. **Project# 1007871**  
09DRB-70234 SKETCH PLAT REVIEW  
AND COMMENT

ISAACSON AND ARFMAN PA agent(s) for BISHOP COMPOUND, LLC request(s) the above action(s) for all or a portion of Lot(s) 2 & 3, **ELY ALVARADO GARDENS (TBKA CANDELARIA RD NW) Unit(s) 3**, zoned R-LT, located on CANDELARIA NW BETWEEN RIO GRANDE NW AND GLENWOOD NW containing approximately 1.3552 acre(s). (G-12) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

5. **Project# 1007869**  
09DRB-70230 SKETCH PLAT REVIEW  
AND COMMENT

RICHARD WHITESIDE request(s) the above action(s) for all or a portion of Lot(s) 6, Block(s) 1, **SAN JACINTO** zoned SU-1 FOR APT COMPLEX, located on 9TH ST NW BETWEEN GRIEGOS NW AND SAN CLEMENTE NW (F-14) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

6. Other Matters: Project # 1000952 – Temporary Deferral of Sidewalk.

The temporary deferral of construction of sidewalks on the interior streets was approved as shown on exhibit 'C' in the planning file.

ADJOURNED: 9:25

**CITY OF ALBUQUERQUE**

**PLANNING DEPARTMENT**

**July 15, 2009**

**DRB Comments**

**ITEM # 4**

**PROJECT # 1007871**

**APPLICATION # 09-70234**

**RE: Lots 2 & 3, Alvarado Gardens Unit 3**

The exclusion of proposed Lot 9 from the proposed access easement does not appear to provide for coordinated land development or convenient circulation in accordance with the Subdivision Ordinance. More than 8 dwellings require Public Street Right of Way and Construction standards by EPC Resolution, unless a Subdivision Design Variance is granted. Even if the number of dwellings were reduced to 8, a 38 foot access easement would be required.

Gross and Net Lot Area (lot area minus access easement area) need to be noted; minimum Net Lot Area for a townhouse dwelling is 3,200 sq ft.

Garage location needs to be noted (20 ft minimum setback from easement).



---

Jack Cloud AICP, DRB Chairman

924-3880/ jcloud@cabq.gov

# CITY OF ALBUQUERQUE



## CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

### DEVELOPMENT REVIEW BOARD--SPEED MEMO

**DRB CASE NO/PROJECT NO: 1007871**

**AGENDA ITEM NO: 4**

**SUBJECT:**

Sketch Plat/Plan

**ACTION REQUESTED:**

REV/CMT:(x) APP:() SIGN-OFF:() EXTN:() AMEND:()

PO Box 1293

**ENGINEERING COMMENTS:**

Albuquerque

An approved drainage report is required for Preliminary Plat approval.  
An approved infrastructure list is required for Preliminary Plat approval.

NM 87103

**RESOLUTION:**

*discussed*

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED X; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee  
924-3986

**DATE:** July 15, 2009

Current DRC  
Project Number: \_\_\_\_\_

FIGURE 12

Date Submitted: 03-29-10

Date Site Plan Approved: \_\_\_\_\_

Date Preliminary Plat Approved: 04-07-10

Date Preliminary Plat Expires: 04-07-11

DRB Project No.: 1007871

DRB Application No.: \_\_\_\_\_

**ORIGINAL**

**INFRASTRUCTURE LIST**  
(Rev 9-20-05)  
**EXHIBIT "A"**  
**TO SUBDIVISION IMPROVEMENTS AGREEMENT**  
**DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**Bishop's Compound**

**PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**A portion of Lots 2 and 3, Alvarado Gardens, Unit 3**

**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		24' E-E	5" Concrete Paving	Calle Obispo	Candelaria Rd	25' south	/	/	/
		24' E-E	Brick Paving--See attached (Private)	Calle Obispo (24' / 60' access easement)	Candelaria Rd	South end of property & West end of plaza	/	/	/
		6300+/- cy	Imported fill material	Onsite			/	/	/
		8"	Sanitary Sewer	Calle Obispo (22' WL & SAS easement)	Candelaria Rd	South end of street	/	/	/
		6"	Waterline	Calle Obispo (22' WL & SAS easement)	Candelaria Rd	South end of street	/	/	/
		6"	Waterline (connection to existing 6" WL)	Calle Obispo plaza (24' WL easement)	Calle Obispo	West end of plaza tie in to exst 6" WL	/	/	/
		18"	CMU Garden Retaining Wall (6"-9" retaining)	North Property Line	NE property corner	~65' west	/	/	/
		18"	CMU Retaining Wall (0.9'-2.4' retaining)	South Property Line	SE property corner	SW property corner	/	/	/
		2' dia.	Percolation pits	Back yards Lots 1-6			/	/	/
							/	/	/



The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature      Date							City User Dept. Signature      Date		

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

1. Grading and Drainage Certification required per DPM (prior to release of financial guarantees) to include private retaining walls as defined on the approved grading plan.
2. All water to include fire hydrants, valves, and appurtenances per DPM.
3. Residential lighting per DPM.
4. Perimeter walls per DRB.
5. All water meters shall have traffic-rated lid & covers per COA Std Dwg #2369
6. \_\_\_\_\_
7. \_\_\_\_\_

**AGENT / OWNER**

Åsa Nilsson-Weber  
NAME (print)

Isaacson & Arfman, P.A.  
FIRM

Åsa Nilsson-Weber 3-29-10  
SIGNATURE - date

**DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

Joh Chai 4/7/10  
DRB CHAIR - date

M S D S 04/07/10  
TRANSPORTATION DEVELOPMENT - date

Allan Peter 04/07/10  
UTILITY DEVELOPMENT - date

Bradley L. Bingham 4/7/10  
CITY ENGINEER - date

Christina Sandoval 4/7/10  
PARKS & GENERAL RECREATION - date

\_\_\_\_\_  
AMAFCA - date

\_\_\_\_\_  
- date

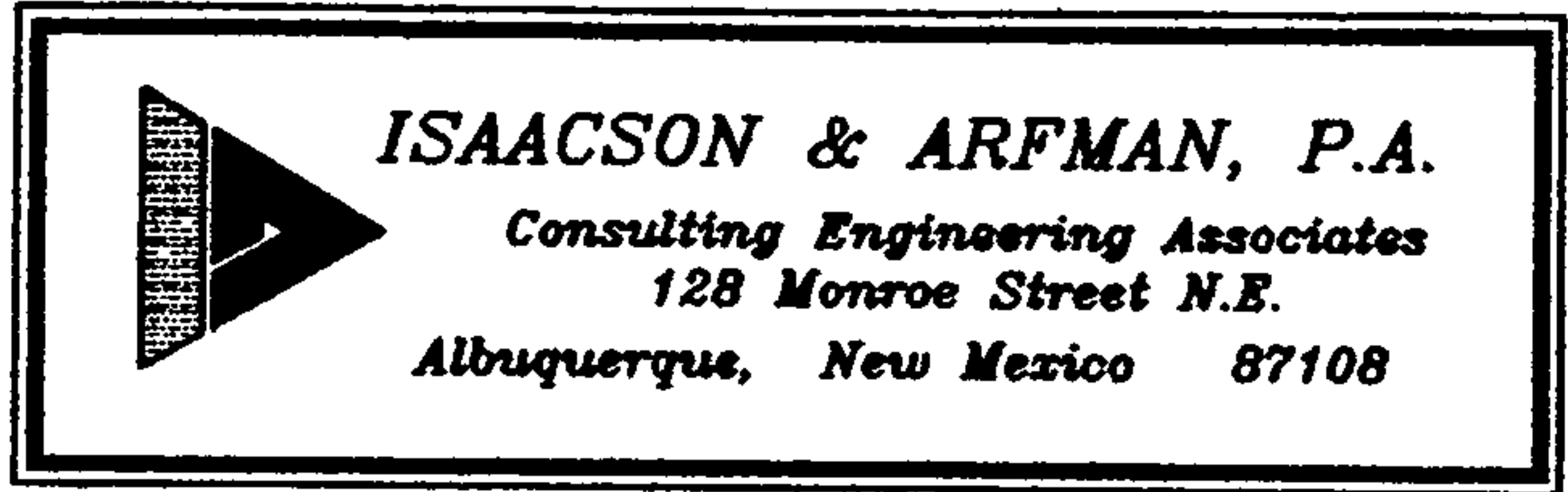
\_\_\_\_\_  
- date

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



# Letter of Transmittal



To: City of Albuquerque

Date: 1-29-10

Job No. 1728

Attn: \_\_\_\_\_

Reference: Bishop's Compound DRB #1007871

We transmit to you 1 copy(ies) of the following:

- |                                     |                           |                          |                |
|-------------------------------------|---------------------------|--------------------------|----------------|
| <input type="checkbox"/>            | _____ Plats               | <input type="checkbox"/> | Specifications |
| <input type="checkbox"/>            | _____ Plans               | <input type="checkbox"/> | Submittals     |
| <input type="checkbox"/>            | _____ Disks               | <input type="checkbox"/> | Shop Drawings  |
| <input type="checkbox"/>            | _____ Report              | <input type="checkbox"/> | Copy of Letter |
| <input checked="" type="checkbox"/> | <u>check for \$220.00</u> |                          |                |
| <input type="checkbox"/>            | _____                     |                          |                |

This information is transmitted:

- |                          |                            |                          |                          |
|--------------------------|----------------------------|--------------------------|--------------------------|
| <input type="checkbox"/> | As per your request        | <input type="checkbox"/> | For your files           |
| <input type="checkbox"/> | For your review & approval | <input type="checkbox"/> | For your use             |
| <input type="checkbox"/> | For your information       | <input type="checkbox"/> | Please review & return   |
| <input type="checkbox"/> | For your attention         | <input type="checkbox"/> | For return to your files |
| <input type="checkbox"/> | For your signature         | <input type="checkbox"/> | Please advise            |

For deferral on DRB hearing on 1/6/10  
 and deferral on " " on 1/27/10

Remarks: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

By: \_\_\_\_\_

Copies to: \_\_\_\_\_

**City of Albuquerque Planning Department**  
**One Stop Shop – Development and Building Services**

03/16/2011 Issued By: E08375 103307

**STANDARD APPLICATION, Paper Plans Required**

**Permit Number: 2011 070 058** **Category Code 910**

**Application Number:** 11DRB-70058, Ext Of Major Preliminary Plat

**Address:**

**Location Description:** CANDELARIA RD NW BETWEEN CALLE SAN YSIDRO NW AND RIO GRANDE BLVD NW

**Project Number:** 1007871

**Applicant**  
BISHOP'S COMPOUND, LLC

3009 CALLE SAN YSIDRO, NW  
ALBUQUERQUE NM 87109  
235-5084

**Agent / Contact**  
John A. Myers, Myers, Oliver & Price

1401 Central Ave Nw  
Albuquerque NM 87102  
247-9080

**Application Fees**

441018/4943000	APN Fee	
441032/3418000	Conflict Mgmt Fee	\$20.00
441006/4958000	DRB Actions	\$50.00
<b>TOTAL:</b>		<b>\$70.00</b>

City Of Albuquerque  
Treasury Division

3/16/2011 1:09PM LOC: AN:XX  
 WSH# 007 TRANS# 0017  
 RECEIPT# 00142089-00142089  
 PERMIT# 2011070058 TRSC05  
 Trans Amt \$70.00  
 Conflict Manag. Fee \$20.00  
 DRB Actions \$50.00  
 CA \$70.00  
 CHANGE \$0.00

Thank You

**City of Albuquerque Planning Department**  
**One Stop Shop – Development and Building Services**

01/29/2010 Issued By: E08375 63358

**Permit Number: 2009 070 379** **Category Code 910**

**Application Number:** 09DRB-70379, Major - Preliminary Plat Approval

**Address:**

**Location Description:** CANDELARIA RD NW BETWEEN CALLE SAN YSIDRO NW AND RIO GRANDE BLVD NW

**Project Number:** 1007871

**Applicant**

Bishop'S Compound, Llc

3009 Calle San Ysidro Nw  
Albuquerque NM 87107  
268-8828

**Agent / Contact**

Isaacson And Arfman Pa  
Jenny Donart  
128 Monroe St Ne  
Albuquerque NM 87108

iamengrs@swcp.com

**Application Fees**

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	
441006/4983000	(2) deferral fees	\$220.00
<b>TOTAL:</b>		<b>\$220.00</b>

City Of Albuquerque  
Treasury Division

1/29/2010 2:09PM LOC: ANNX  
WS# 008 TRASH# 0029  
RECEIPT# 00114944-00114944  
PERMIT# 2009070379 TRSLJS  
Trans Amt \$220.00  
DRB Actions \$220.00  
CK \$220.00  
CHANGE \$0.00

Thank You

**City of Albuquerque Planning Department**  
**One Stop Shop – Development and Building Services**

12/11/2009 Issued By: E08375 63358

**Permit Number: 2009 070 379** **Category Code 910**

**Application Number:** 09DRB-70379, Major - Preliminary Plat Approval

**Address:**

**Location Description:** CANDELARIA RD NW BETWEEN CALLE SAN YSIDRO NW AND RIO GRANDE BLVD NW

**Project Number:** 1007871

**Applicant**

Bishop'S Compound, Llc

3009 Calle San Ysidro Nw  
Albuquerque NM 87107  
268-8828

**Agent / Contact**

Isaacson And Artman Pa  
Jenny Donart  
128 Monroe St Ne  
Albuquerque NM 87108

iamengrs@swcp.com

**Application Fees**

441018/4971000	Public Notification	\$75.00
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4963000	DRB Actions	\$935.00
<b>TOTAL:</b>		<b>\$1030.00</b>

City Of Albuquerque  
Treasury Division

12/11/2009 10:58AM LOC: ANNX  
WS# 007 TRNS# 0016  
RECEIPT# 00124644-00124644  
PERMIT# 2009070379 TRSCYG  
Trans Ant \$1,030.00  
APN Fee \$75.00  
Conflict Manag. Fee \$20.00  
DRB Actions \$935.00  
CK \$1,030.00  
CHANGE \$0.00

Thank You

# City of Albuquerque Planning Department

## DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

### DEVELOPMENT REVIEW BOARD

03/08/2012 Issued By: E08375 138791

Category Code **910**  
**2012 070 092**

**Application Number:** 12DRB-70092, Ext Of Major Preliminary Plat

**Address:**

**Location Description:** CANDELARIA RD NW BETWEEN CALLE SAN YSIDRO SW RIO GRANDE BLVD NW

**Project Number:** 1007871

#### Applicant

BISHOP'S COMPOUND, LLC

3009 CALLE SAN YSIDRO NW  
ALBUQUERQUE NM 87109  
235-5084

#### Agent / Contact

JOHN A MYERS  
JOHN A MYERS  
1401 CENTRAL AVE NW  
ALBUQUERQUE NM 87104

JMYERS@MOPLAW.COM

#### Application Fees

441018/4943000	APN Fee	
441032/3416000	Conflict Mgmt Fee	<b>\$20.00</b>
441006/4958000	DRB Actions	<b>\$50.00</b>
<b>TOTAL:</b>		<b>\$70.00</b>

City Of Albuquerque  
Treasury Division

3/8/2012 12:29PM LOC: ANX  
WB# 007 TR#15# 0014  
RECEIPT# 00155240-00155240  
PERMIT# 2012070092 TRSLD#  
Trans Amt \$70.00  
Conflict Manag. Fee \$20.00  
DRB Actions \$50.00  
CK \$70.00  
CHANGE \$0.00

Thank You



Supplemental Form (SF)

<input checked="" type="checkbox"/> <b>SUBDIVISION</b>	<b>S</b>	<b>Z</b>	<b>ZONING &amp; PLANNING</b>
<input type="checkbox"/> Major subdivision action	<input type="checkbox"/>	<input type="checkbox"/>	Annexation
<input type="checkbox"/> Minor subdivision action	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/> Vacation	<b>V</b>	<input type="checkbox"/>	Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
<input type="checkbox"/> Variance (Non-Zoning)	<input type="checkbox"/>	<input type="checkbox"/>	
<b>SITE DEVELOPMENT PLAN</b>	<b>P</b>	<input type="checkbox"/>	Adoption of Rank 2 or 3 Plan or similar
<input type="checkbox"/> for Subdivision	<input type="checkbox"/>	<input type="checkbox"/>	Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
<input type="checkbox"/> for Building Permit	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/> Administrative Amendment/Approval (AA)	<b>D</b>	<input type="checkbox"/>	Street Name Change (Local & Collector)
<input type="checkbox"/> IP Master Development Plan	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	<b>L A</b>	<input type="checkbox"/>	<b>APPEAL / PROTEST of...</b>
<b>STORM DRAINAGE (Form D)</b>	<input type="checkbox"/>	<input type="checkbox"/>	Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other
<input type="checkbox"/> Storm Drainage Cost Allocation Plan			

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): J. Matt Myers, Myers, Oliver & Price PHONE: 247-9080  
 ADDRESS: 1401 Central Avenue, NW FAX: 247-9109  
 CITY: Albuquerque STATE NM ZIP 87104 E-MAIL: mmyers,@moplaw.com

APPLICANT: Bishop's Compound, LLC PHONE: 235-5084  
 ADDRESS: 3009 Calle San Ysidro, NW FAX: 848-1889  
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: johnkellynm@gmail.com

Proprietary interest in site: Owner List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: Extension of Preliminary Plat

Is the applicant seeking incentives pursuant to the Family Housing Development Program? \_\_\_ Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Lots 2 and 3 Block: \_\_\_\_\_ Unit: 3  
 Subdiv/Addn/TBKA: Alvarado Gardens (TBKA Bishop's Compound Subdivision)  
 Existing Zoning: R-LT Proposed zoning: Same MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): G-12 UPC Code: 10120605831110330

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc.): 09-DRB-70234; 09-DRB-70379; 09DRB-70380; 09DRB-70381; 11-DRB-70058; 12DRB-70092I Project No. 1007371

**CASE INFORMATION:**

13DRB-70477  
 Within city limits?  Yes Within 1000FT of a landfill?  No  
 No. of existing lots: 2 No. of proposed lots: 9 Total site area (acres): 1.3379  
 LOCATION OF PROPERTY BY STREETS: On or Near: Candelaria Road, NW  
 Between: Calle San Ysidro, NW and Rio Grande Blvd., NW

Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: \_\_\_\_\_

SIGNATURE J. Matt Myers DATE Feb. 3/5/2014  
 (Print Name) J. Matt Myers Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Revised: 4/2012

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>14DRB - 70066</u>	<u>EPP</u>	___	<u>\$ 50.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	___	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	___	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	___	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	___	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	___	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	___	Total
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	___	<u>\$ 70.00</u>

Hearing date March 19, 2014

[Signature] 3-6-14  
 Staff signature & Date

Project # 1007871



**FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING**

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

**SKETCH PLAT REVIEW AND COMMENT (DRB22)** Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

**EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)** Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Copy of DRB approved infrastructure list
  - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
  - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.**

**MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

**MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** Your attendance is required.

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

**AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** Your attendance is required.

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
  - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Rishers Compound, LLC  
 Applicant name (print)  
[Signature] 3/15/14  
 Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
14DRB - 700106

[Signature] 3-6-14  
 Planner signature / date  
 Project # 1007371

BISHOP'S COMPOUND, LLC  
3009 Calle San Ysidro, NW  
Albuquerque, New Mexico, 87107  
Telephone: 505-235-5084

February 20, 2014

**Hand Delivered**

City of Albuquerque  
Planning Department  
600 Second Street, NW  
Suite 200  
Albuquerque, New Mexico 87103

Re: Bishop's Compound/Project No. 1007871  
09DRB-70379 Major – Preliminary Plat Approval  
09DRB-70380 Sidewalk Waiver  
09DRB-70381 Subdivision Design Variance From Min. DPM Stds.  
11DRB-70058 Plat Extension  
12DRB-70092 Plat Extension  
13DRB-70477 Plat Extension

Ladies and Gentlemen:

The undersigned is the owner of the above referenced Property, the subject of a preliminary plat approval request in Project No. 1007871. Myers, Oliver & Price, P.C. (J. Matt Myers) is hereby authorized to act as the agent in its application to the Development Review Board to extend the preliminary plat for an additional year. Myers, Oliver & Price is further authorized to remain as its agent through any appeals process.

BISHOP'S COMPOUND, LLC

By: \_\_\_\_\_

  
John Kelly, Managing Member

## REASONS FOR REQUEST

Applicant is the owner/developer of Lots 2 and 3, Alvarado Gardens, Unit 3, to be known as the Bishop's Compound Subdivision. On April 15, 2010, the Development Review Board approved the applicant's preliminary plat as City Project No. 100787. Since the initial approval, the DRB has granted three (3) one (1) year extensions to file the plat, pursuant to the Notices of Decisions attached to this request.

The applicant requests that the preliminary plat approval be extended for another year. Section 14-14-3-4(E) provides that the Development Review Board may grant an extension based on the findings that the extension is not detrimental to the public interest and that the preliminary plat, as approved, is not in significant conflict with current city and county policies.

The Applicant requests an extension of the preliminary plat for the following reasons:

1. No other development will be adversely affected as the infrastructure to be constructed serves only the proposed subdivision;
2. The extension will not be injurious to the public safety, health or welfare, or to adjacent property, to the neighborhood or to community;
3. The preliminary plat as approved, is not in significant conflict with city and county policies.



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

April 15, 2010

**Project# 1007871**

09DRB-70379 MAJOR - PRELIMINARY PLAT APPROVAL

09DRB-70380 SIDEWALK WAIVER

09DRB-70381 SUBDIVISION DESIGN VARIANCE FROM MIN DPM STDS

ISAACSON AND ARFMAN PA agent(s) for BISHOP'S COMPOUND, LLC request(s) the referenced/ above action(s) for all or a portion of Lot(s) 2 & 3, **ALVARADO GARDENS UNIT 3 [TBKA BISHOP'S COMPOUND]**, zoned R-LT, located on CANDELARIA RD NW between RIO GRANDE BLVD NW and CALLE SAN YSIDRO NW containing approximately 1.3379 acre(s). (G-12) [*Deferred from 1-6-10, - /27-10, 2-17-10, 3-10-10, 3-31-10*]

At the April 7, 2010 Development Review Board meeting, with the signing of the infrastructure list dated 4/7/10 and with an approved grading plan engineer stamp dated 3/26/10, the Preliminary Plat was approved. The grading plan was determined to be the least intrusive approach that was feasible without unreasonable cost. The sidewalk waiver was approved as shown on Exhibit C in the Planning file based on the limited number of dwelling units and the provision of paved access. The Subdivision Design Variance from minimum DPM standards for easement width was based on the waiver of sidewalks, and the materials variance for brick pavers was approved based on the design and test data provided.

If you wish to appeal this decision, you must do so by April 22, 2010, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Jack Cloud, AICP, DRB Chair

Cc: Isaacson & Arfman, P.A. – 128 Monroe St. NE – Albuquerque, NM 87108  
Bishop's Compound, LLC – 3009 Alle San Ysidro NW – Albuquerque, NM 87108  
Marilyn Maldonado/ File



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

March 30, 2011

Project# 1007871  
11DRB-70058 EXT OF MAJOR PRELIMINARY PLAT

JOHN A. MYERS, MYERS, OLIVER & PRICE agent(s) for BISHOP'S COMPOUND, LLC request(s) the above action(s) for all or a portion of Lot(s) 2 & 3, **ALVARADO GARDENS (TBKA BISHOP'S COMPOUND) Unit(s) 3**, zoned R-LT, located on CANDELARIA RD NW BETWEEN CALLE SAN YSIDRO NW AND RIO GRANDE BLVD NW containing approximately 1.3379 acre(s). (G-12)

At the March 30, 2011 Development Review Board meeting, the one-year extension of the preliminary plat was approved. The approved Subdivision Design Variances shall still apply to the preliminary plat. The conditions of final plat still apply.

If you wish to appeal this decision, you must do so by April 14, 2011, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

  
Jack Cloud, DRB Chair

Cc: John A. Myers, Myers, Oliver & Price – 1401 Central Ave. NW –  
Albuquerque, NM 87102

Cc: Bishop's Compound, LLC – 3009 Calle San Ysidro, NW – Albuquerque, NM  
87109

Marilyn Maldonado  
file

R:4/8/11



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

March 28, 2012

**Project# 1007871**  
12DRB-70092 EXT OF MAJOR PRELIMINARY PLAT

JOHN A MYERS agent(s) for BISHOP'S COMPOUND, LLC request(s) the above action(s) for all or a portion of Lot(s) 2 & 3, **ALVARADO GARDENS (TBKA BISHOP'S COMPOUND SUBDIVISION) Unit(s) 3**, zoned R-LT, located on CANDELARIA RD NW BETWEEN CALLE SAN YSIDRO SW RIO GRANDE BLVD W containing approximately 13379 acre(s). (G-12)

At the March 28, 2012 Development Review Board meeting, the one-year extension of the preliminary plat was approved.

The conditions of final plat still apply.

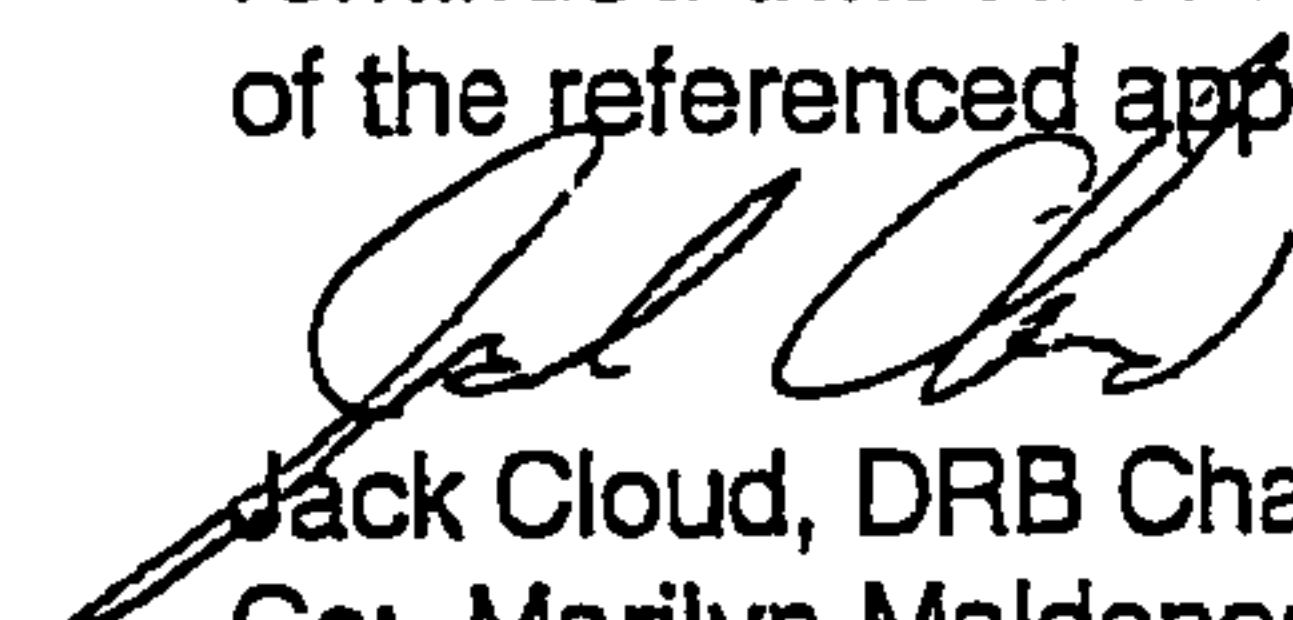
Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

If you wish to appeal this decision, you must do so by April 12, 2012, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

  
Jack Cloud, DRB Chair  
Cc: Marilyn Maldonado  
file



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

March 27, 2013

**Project# 1007371**  
13DRB-70477 EXT OF MAJOR PRELIMINARY PLAT

MYERS, OLIVER & PRICE agent(s) for BISHOPS COMPOUND, LLC request(s) the above action(s) for all or a portion of Lot(s) 2 & 3, **ALVARADO GARDENS (TBKA BISHOP'S COMPOUND SUBDIVISION) Unit(s) 3**, zoned R-LT, located on CANDELARIA RD NW BETWEEN CALLE SAN YSIDRO NW AND RIO GRANDE BLVD NW containing approximately 1.3379 acre(s). (G-12)

At the March 27, 2013 Development Review Board meeting, the one-year extension of the preliminary plat was approved.

The conditions of final plat still apply.

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

If you wish to appeal this decision, you must do so by April 11, 2013 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing. You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

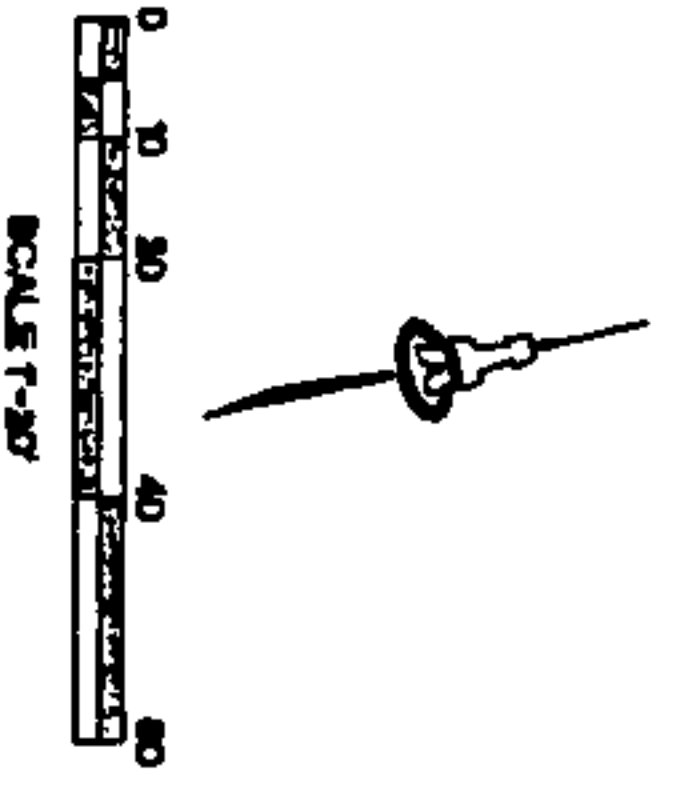
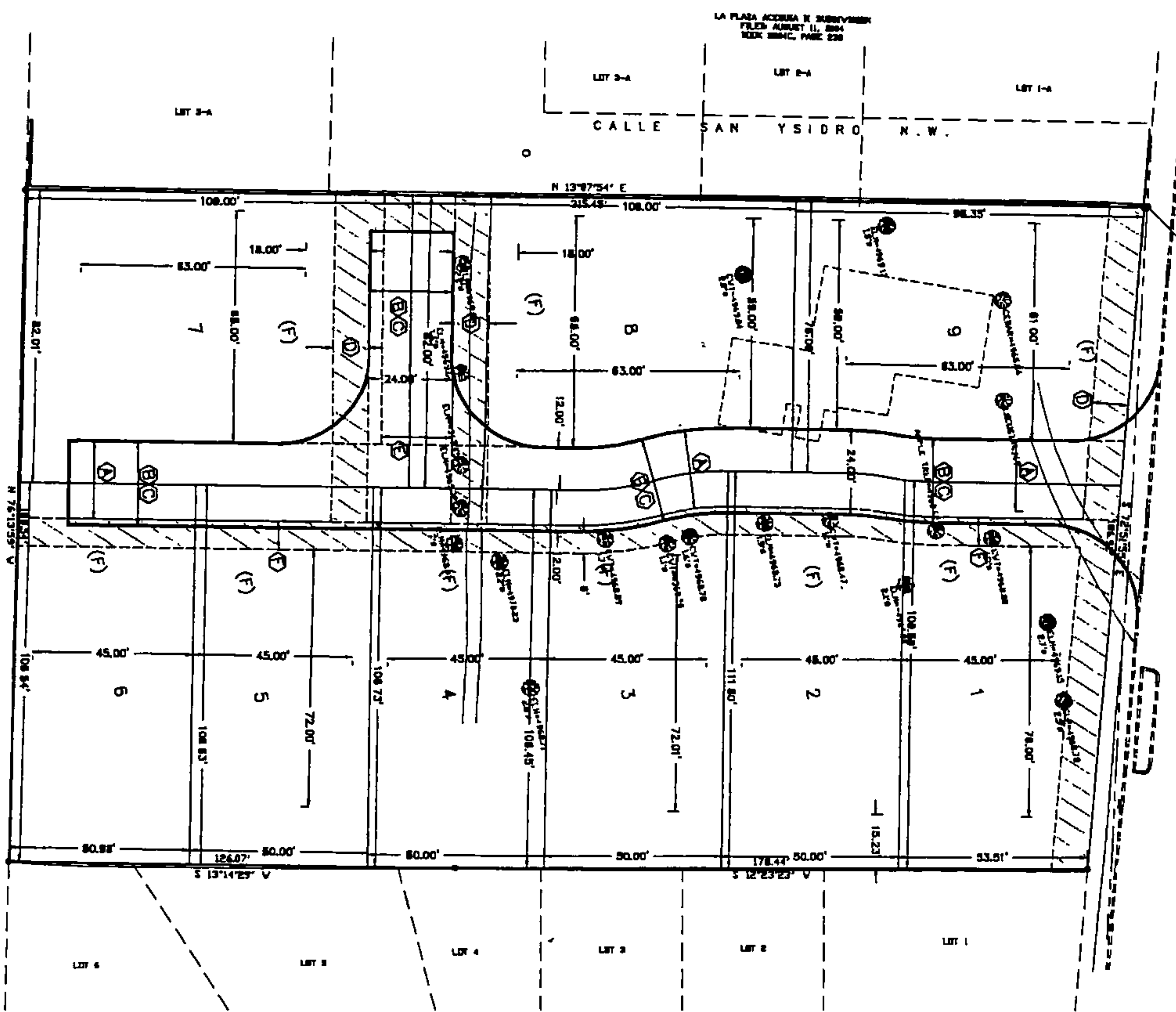
  
Jack Cloud, DRB Chair

Cc: MYERS, OLIVER & PRICE  
Marilyn Maldonado  
file



- EASEMENTS:**
- A. 20' PUBLIC WATER AND SANITARY SEWER EASEMENT GRANTED TO ASCOPIA BY FINAL PLAT.
  - B. PRIVATE ACCESS EASEMENT GRANTED BY FINAL PLAT TO BE MAINTAINED BY THE HOA.
  - C. PRIVATE DRAINAGE EASEMENT GRANTED BY FINAL PLAT TO BE MAINTAINED BY HOA.
  - D. 10' PUBLIC UTILITY EASEMENT GRANTED BY FINAL PLAT.
  - E. 20' PUBLIC WATER EASEMENT GRANTED TO ASCOPIA BY FINAL PLAT.
  - F. 8' PUBLIC UTILITY EASEMENT GRANTED BY FINAL PLAT.

- LEGEND:**
- (F) FRONT OF LOTS
  - ..... LOTLINE TO BE VACATED



ALVARADO GARDENS UNIT 3  
FILED MARCH 7, 1979  
BOOK 002, PAGE 79

SHEET 1 OF 1

PRELIMINARY  
FLAT PLAN  
**BISHOPS COMPOUND**  
SUBDIVISION  
BEING A REPLAT OF  
LOTS 2 AND 3  
ALVARADO GARDENS UNIT 3  
WITH THE X GRANT  
PROJECTED SECTION X, T.13N, R.10E, N.M.P.M.  
CITY OF ALBUQUENQUE  
BENAVILLO COUNTY, NEW MEXICO  
NOVEMBER 2009

**LEGAL DESCRIPTION**  
A PORTION OF LOT 2 ALVARADO GARDENS UNIT 3 TOGETHER WITH A PORTION OF LOT 3 ALVARADO GARDENS UNIT 3

**ASCB BENCHMARK**  
ELEVATION: X

**SITE DATA**

- 1. TOTAL LAND AREA - 1.2322 ACRES.
- 2. NUMBER OF SPLITTING FRACMENTS IS 2.
- 3. NUMBER OF SPLITTED RESIDENTIAL LOTS IS 9.
- 4. CURRENT ZONING IS R-1.
- 5. CITY OF ALBUQUENQUE WATER AND SANITARY SEWER SERVICES TO THIS DEVELOPMENT MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUENQUE.

**NOTES**

- 1. UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THIS PLAN WILL BE MARKED BY A NO. 5 IRON REBAR WITH PLASTIC CAP STAMPED "PLS 5".
- 2. ALL STREET CENTERLINE POINTS SHOWN THIS PLAN WILL BE MAINTAINED, AS A MINIMUM, FROM THE CENTERLINE.
- 3. BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- 4. BASIS OF BENCHMARKS WILL BE NAD83 GRID BENCHMARK.
- 5. DISTANCES WILL BE GIVEN IN METERS.
- 6. POINTS OF TANGENT STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

APPROVED FOR MONUMENTATION  
AND STREET NAMING

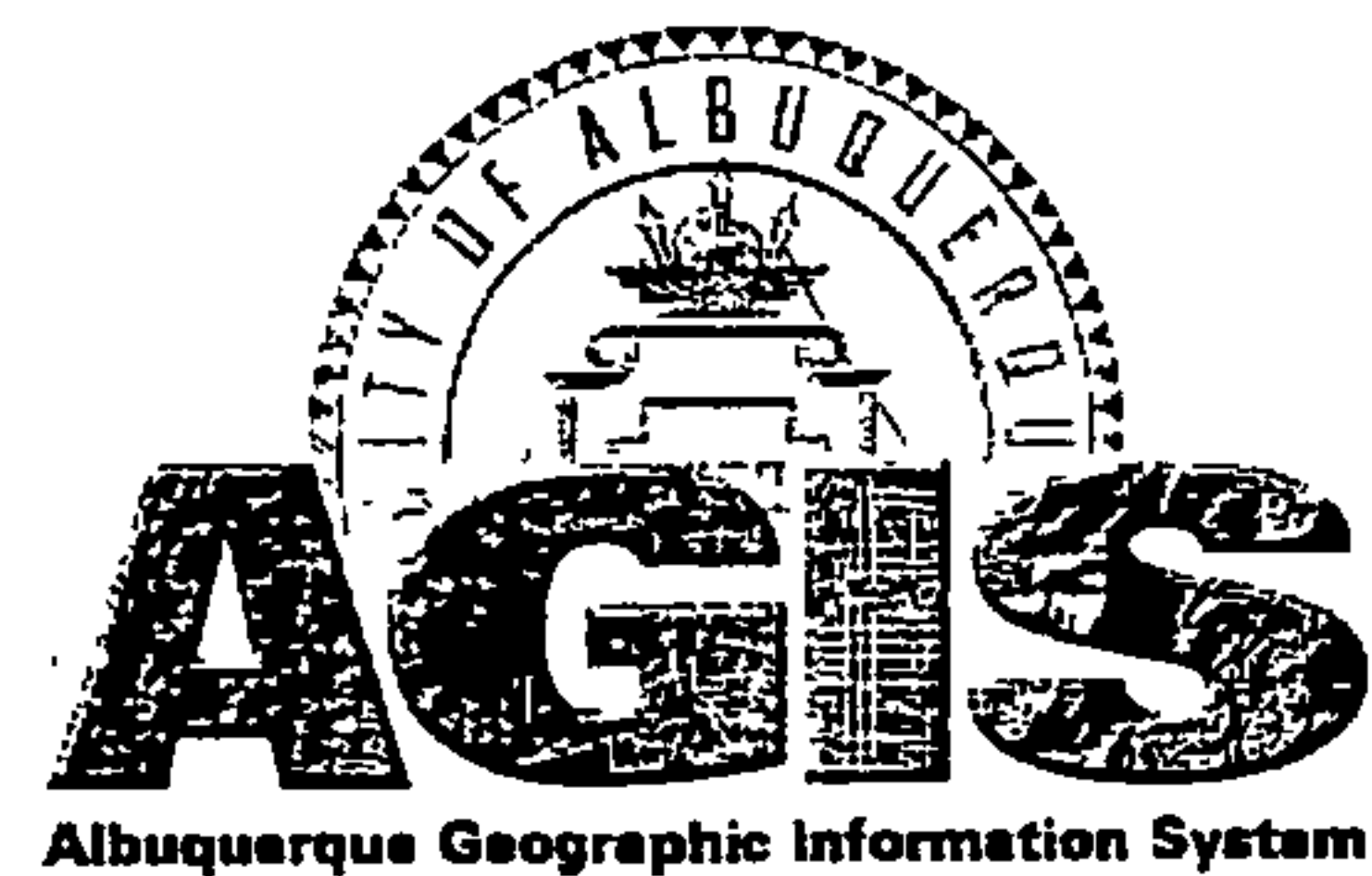
CITY SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_  
OWNER/BUILDER \_\_\_\_\_ DATE \_\_\_\_\_  
BISHOP COMPOUND LLC \_\_\_\_\_ DATE \_\_\_\_\_  
JOHN KELLY, MANAGING MEMBER

**ISAACSON & ARMAN, P.A.**  
Consulting Engineering Associates  
128 Moore Street N.E.  
Albuquerque, New Mexico 87108  
Tel: 505-248-8828 Fax: 505-248-8532  
www.isaacson.com

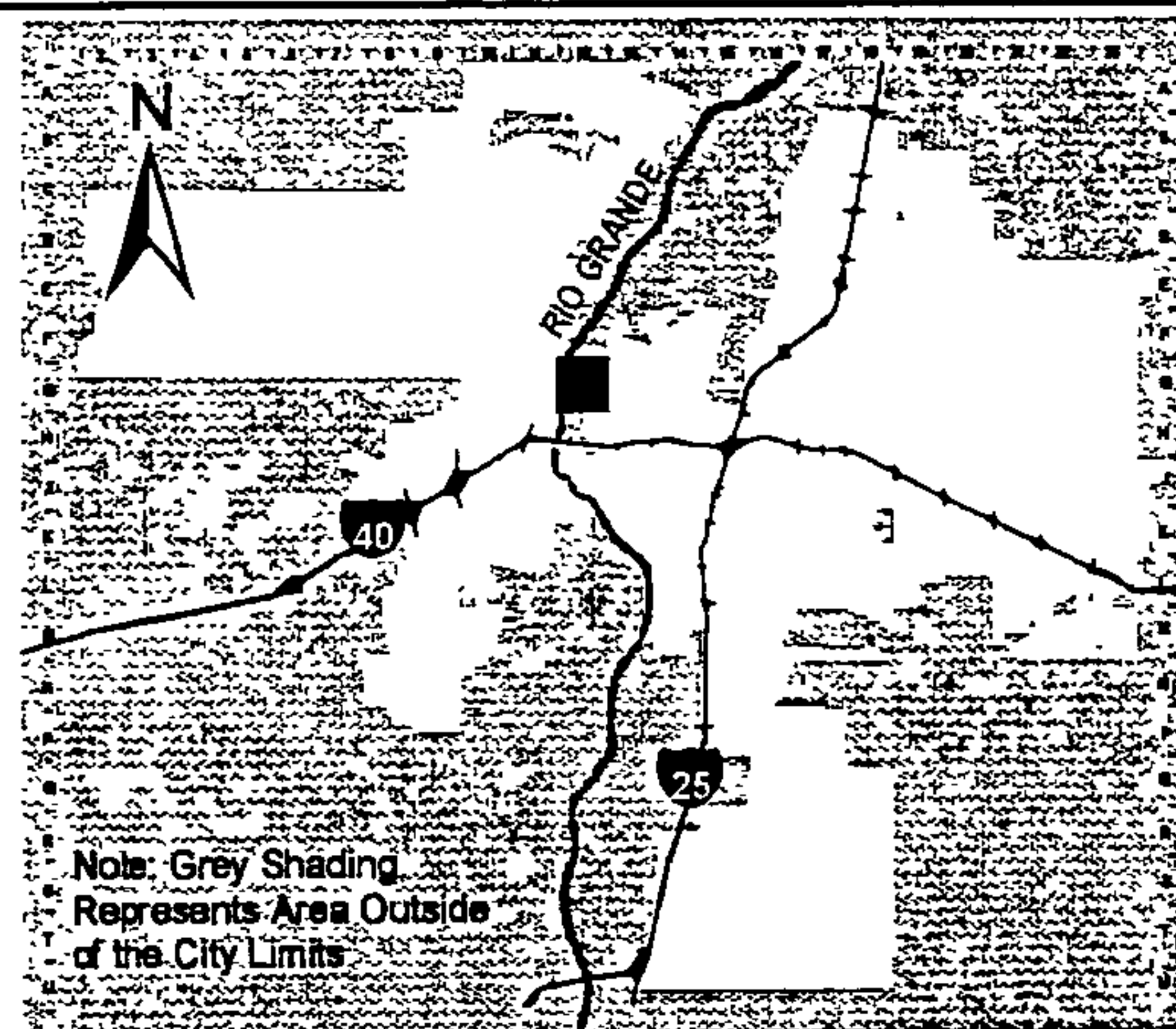




For more current information and details visit: <http://www.cabq.gov/gis>



Map amended through: 1/10/2013



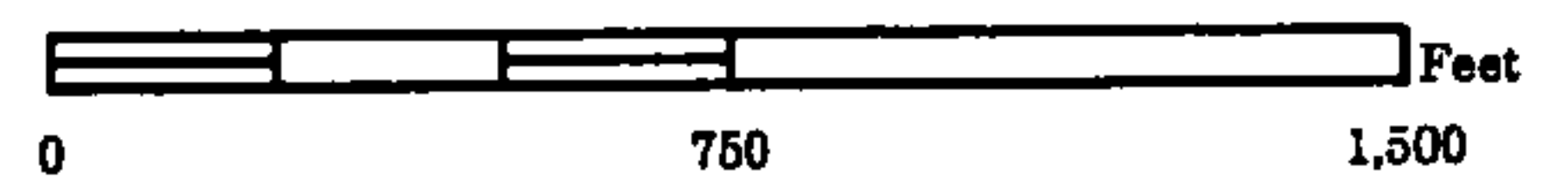
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:

**G-12-Z**

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



Current DRG  
Project Number: \_\_\_\_\_

FIGURE 12

Date Submitted: 03-29-10

**ORIGINAL**

**INFRASTRUCTURE LIST**

(Rev. 9-20-05)

**EXHIBIT "A"**

Date Site Plan Approved: \_\_\_\_\_

Date Preliminary Plat Approved: 04-07-10

Date Preliminary Plat Expires: 04-07-11

DRB Project No.: 1007871

DRB Application No.: \_\_\_\_\_

**TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**Bishop's Compound  
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**A portion of Lots 2 and 3, Alvarado Gardens, Unit 3  
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRG Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRG Chair may include those items in the listing and related financial guarantee. Likewise, if the DRG Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRG Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnat Engineer
		24' E-E	5" Concrete Paving	Calle Obispo	Candelaria Rd	25' south	/	/	/
		24' E-E	Brick Paving-See attached (Private)	Calle Obispo (24' / 60' access easement)	Candelaria Rd	South end of property & West end of plaza	/	/	/
		6300+/- cy	Imported fill material	Onsite			/	/	/
		8"	Sanitary Sewer	Calle Obispo (22' WL & SAS easement)	Candelaria Rd	South end of street	/	/	/
		8"	Waterline	Calle Obispo (22' WL & SAS easement)	Candelaria Rd	South end of street	/	/	/
		8"	Waterline (connection to existing 8" WL)	Calle Obispo plaza (24' WL easement)	Calle Obispo	West end of plaza tie in to exist 6" WL	/	/	/
		18"	CMU Garden Retaining Wall (6'-8' retaining)	North Property Line	NE property corner	-65' west	/	/	/
		18"	CMU Retaining Wall (0.9'-2.4' retaining)	South Property Line	SE property corner	SW property corner	/	/	/
		2' dia.	Percolation pits	Back yards Lots 1-8			/	/	/
							/	/	/

The items listed below are on the CIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Const Engineer

If the site is located in a floodplain, then the financial guarantees will not be released until the LOMR is approved by FEMA. Street lights per City requirements.

- Grading and Drainage Certification required per DPM (prior to release of financial guarantees) to include private retaining walls as defined on the approved grading plan.
- All water to include fire hydrants, valves, and appurtenances per DPM.
- Residential lighting per DPM.
- Perimeter walls per DRB.
- All water meters shall have traffic-rated lid & covers per COA Sid Dwg #2389
- 
- 

AGENT / OWNER

Asa Nilsson-Weber  
NAME (print)

Isaacson & Artman, P.A.  
FIRM

*Asa Nilsson-Weber*  
SIGNATURE - date 3-29-10

*Allen Peter*  
TRANSPORTATION DEVELOPMENT - date 04/07/10  
*Bradley D. Bingham*  
UTILITY DEVELOPMENT - date 4/17/10  
CITY ENGINEER - date

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

*Pat Boyd*  
DRB CHAIR - date 4/5/10

*Allen Peter*  
TRANSPORTATION DEVELOPMENT - date 04/07/10

*Bradley D. Bingham*  
UTILITY DEVELOPMENT - date 4/17/10

*Maureen Anderson*  
PARKS & GENERAL RECREATION - date 4/7/10

AMAFCA - date

- date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRG CHAIR	USER DEPARTMENT	AGENT / OWNER

March 19. 2014

(EFF)

# City of Albuquerque Planning Department

## DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

### DEVELOPMENT REVIEW BOARD

03/12/2013 Issued By: BLDAVM 183335

Category Code **910**  
**2013 070 477**

**Application Number:** 13DRB-70477, Ext Of Major Preliminary Plat

**Address:**

**Location Description:** CANDELARIA RD NW BETWEEN CALLE SAN YSIDRO NW AND RIO GRANDE BLVD NW

**Project Number:** 1007371

#### Applicant

BISHOPS COMPOUND, LLC

3009 CALLE SAN YSIDRO NW  
ALBUQUERQUE NM 87109  
235-5084

#### Agent / Contact

J MATT MYERS, MYERS, OLIVER & PRICE

1401 CENTRAL AVE NW  
ALBUQUERQUE NM 87104  
247-9080

#### Application Fees

APN Fee

Conflict Mgmt Fee \$20.00

DRB Actions \$50.00

**TOTAL: \$70.00**

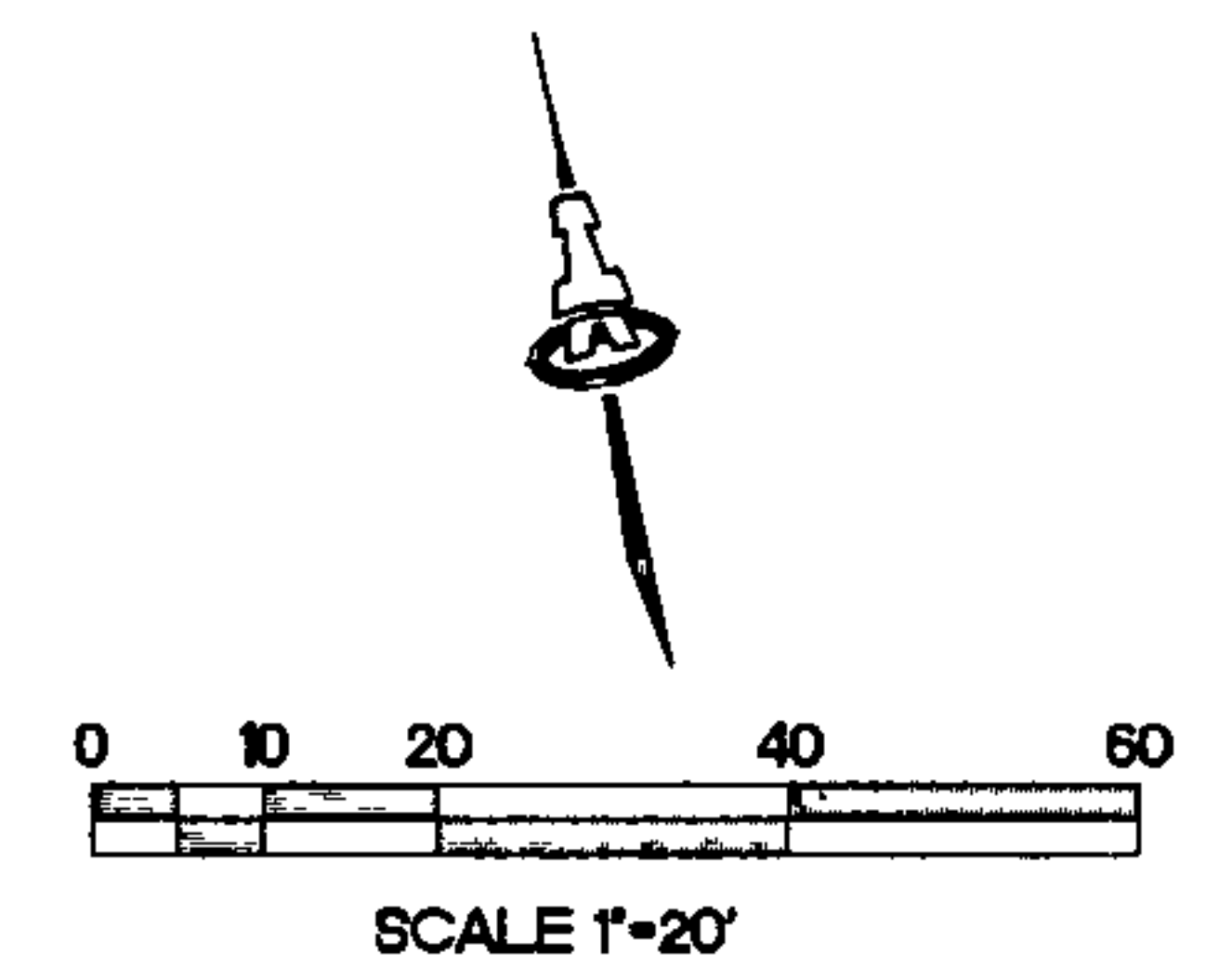
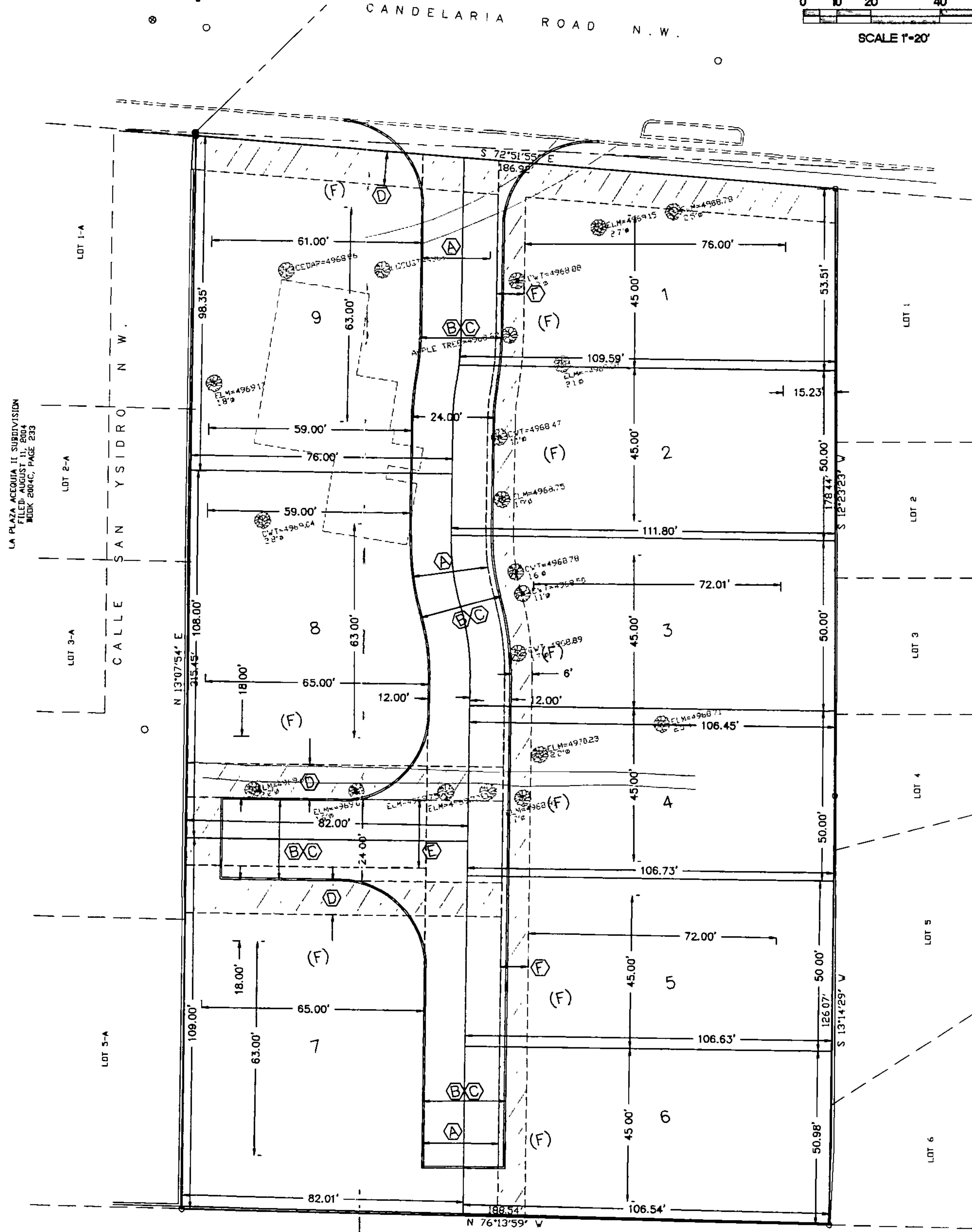
City of Albuquerque Treasury  
Date: 3/12/2013 Office: ANNEX  
Stat ID: W5000008 Cashier: TRSSIV  
Batch: 1601 Trans #: 22  
Permit: 2013070477  
Receipt Num 00106716  
0901 Payment Totl: \$70.00  
0903 Conflict Mgmts. Fee  
DRB Actions  
Check Tendered :  
\$20.00  
\$50.00  
\$70.00

M:\CAD FILES\1700-1799\1728\dwg\1728 V-PLIM.dwg, 1/16/2009 10:45:25 AM, thor



#1007871  
13DRB-70477  
(EPP)

1"=750'±  
G-12-Z



PRELIMINARY  
PLAT FOR  
**BISHOPS COMPOUND  
SUBDIVISION**  
BEING A REPLAT OF  
LOTS 2 AND 3  
ALVARADO GARDENS UNIT 3  
WITH THE X GRANT  
PROJECTED SECTION X, T. X N, R. X E, NMPM,  
CITY OF ALBUQUERQUE  
BERNALLILLO COUNTY, NEW MEXICO  
NOVEMBER 2009

**LEGAL DESCRIPTION**  
A PORTION OF LOT 2 ALVARADO GARDENS UNIT 3 TOGETHER WITH A  
PORTION OF LOT 3 ALVARADO GARDENS UNIT 3

**ACS BENCHMARK**  
X  
X  
X  
ELEVATION: X

**SITE DATA**  
1. TOTAL LAND AREA = 1.3352 ACRES  
2. NUMBER OF EXISTING TRACTS IS 2  
3. NUMBER OF PROPOSED RESIDENTIAL LOTS IS 9  
4. CURRENT ZONING R-LT  
5. CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICES  
TO THIS DEVELOPMENT MUST BE VERIFIED AND COORDINATED  
WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE

**NOTES**  
1. UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN  
THUS ● WILL BE MARKED BY A NO. 5 IRON REBAR WITH  
PLASTIC CAP STAMPED "PLS #"  
2. ALL STREET CENTERLINE POINTS SHOWN THUS Δ WILL BE  
MARKED BY A 4" ALUMINUM DISK STAMPED "CENTERLINE  
MONUMENT, PLS #"  
3. BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE  
COORDINATE SYSTEM AS SHOWN  
4. BASIS OF BEARINGS WILL BE NMSP GRID BEARINGS.  
5. DISTANCES WILL BE GROUND DISTANCES.  
6. MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE,  
POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER  
ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

**LEGEND:**  
(F) FRONT OF LOTS  
..... LOTLINE TO BE VACATED

**EASEMENTS:**  
A. 22' PUBLIC WATER AND SANITARY SEWER EASEMENT GRANTED TO  
ABCWUA BY FINAL PLAT  
B. PRIVATE ACCESS EASEMENT GRANTED BY FINAL PLAT, TO BE  
MAINTAINED BY THE HOA  
C. PRIVATE DRAINAGE EASEMENT GRANTED BY FINAL PLAT, TO BE  
MAINTAINED BY HOA  
D. 10' PUBLIC UTILITY EASEMENT GRANTED BY FINAL PLAT  
E. 20' PUBLIC WATER EASEMENT GRANTED TO ABCWUA BY FINAL  
PLAT.  
F. 8' PUBLIC UTILITY EASEMENT GRANTED BY FINAL PLAT

**APPROVED FOR MONUMENTATION  
AND STREET NAMES**

CITY SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_

**OWNERSHIP**

BISHOP COMPOUND, LLC \_\_\_\_\_ DATE \_\_\_\_\_  
JOHN KELLY, MANAGING MEMBER

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street, N.E.  
Albuquerque, New Mexico 87108  
Ph 505-263-8828 Fax 505-268-2632  
1728 V-PLIM.dwg Nov 16, 2009

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

### SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

### SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

### STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

### Supplemental Form (SF)

#### S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)

#### L A APPEAL / PROTEST of...

- Decision by DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

### APPLICATION INFORMATION:

Professional/Agent (if any): J. Matt Myers, Myers, Oliver & Price PHONE: 247-9080  
 ADDRESS: 1401 Central Avenue, NW FAX: 247-9109  
 CITY: Albuquerque STATE NM ZIP 87104 E-MAIL: mmyers,@noplaw.com

APPLICANT: Bishop's Compound, LLC PHONE: 235-5084  
 ADDRESS: 3009 Calle San Ysidro, NW FAX: 848-1889  
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: johnkellynm@comcast.net  
 Proprietary interest in site: Owner List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: Extension of Preliminary Plat

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

### SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lots 2 and 3 Block: \_\_\_\_\_ Unit: 3  
 Subdiv/Addn/TBKA: Alvarado Gardens (TBKA Bishop's Compound Subdivision)  
 Existing Zoning: R-LT Proposed zoning: Same MRGCD Map No. \_\_\_\_\_  
 Zone Atlas page(s): G-12 UPC Code: 10120605831110330

### CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 09-DRB-70234; 09-DRB-70379; 09DRB-70380; 09DRB-70381; 11-DRB-70058; 12DRB-700921 Project No. 1007371

### CASE INFORMATION:

Within city limits?  Yes Within 1000FT of a landfill?  No  
 No. of existing lots: 2 No. of proposed lots: 9 Total site area (acres): 1.3379

LOCATION OF PROPERTY BY STREETS. On or Near: Candelaria Road, NW  
 Between: Calle San Ysidro, NW and Rio Grande Blvd., NW

Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: \_\_\_\_\_

SIGNATURE: J. Matt Myers DATE: March 11, 2013  
 (Print Name) J. Matt Myers Applicant:  Agent:

### FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

#### Application case numbers

13DRB.70427

#### Action

EPP  
CMF

#### S.F.

#### Fees

\$50.00

\$20.00

\$

\$

\$

Total \$70.00

Hearing date March 27, 2013

[Signature] 3-12-13 Staff signature & Date

Project # 1007371

Revised: 4/2012

**FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING**

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** Your attendance is required.
- \_\_\_ Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - \_\_\_ Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ List any original and/or related file numbers on the cover application

- EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)** Your attendance is required.
- required.
- Preliminary Plat reduced to 8.5" x 11"
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Copy of DRB approved infrastructure list
  - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
  - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.

- MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** Your attendance is required.
- \_\_\_ Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - \_\_\_ Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
  - \_\_\_ Design elevations & cross sections of perimeter walls **3 copies**
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
  - \_\_\_ Copy of recorded SIA
  - \_\_\_ Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
  - \_\_\_ List any original and/or related file numbers on the cover application
  - \_\_\_ DXF file and hard copy of final plat data for AGIS is required.

- MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** Your attendance is required.
- \_\_\_ 5 Acres or more: Certificate of No Effect or Approval
  - \_\_\_ Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
  - \_\_\_ Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
  - \_\_\_ Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
  - \_\_\_ Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
  - \_\_\_ Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
  - \_\_\_ Fee (see schedule)
  - \_\_\_ List any original and/or related file numbers on the cover application
  - \_\_\_ Infrastructure list if required (**verify with DRB Engineer**)
  - \_\_\_ DXF file and hard copy of final plat data for AGIS is required.

- AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** Your attendance is required.
- PLEASE NOTE There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- \_\_\_ Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - \_\_\_ Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
  - \_\_\_ List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Rishons Compound, LLC  
 Applicant name (print)  
[Signature] 03/11/13  
 Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
 13DRB - 10477

[Signature] 3-12-13  
 Planner signature / date  
 Project # 1007511



BISHOP'S COMPOUND, LLC  
3009 Calle San Ysidro, NW  
Albuquerque, New Mexico, 87107  
Telephone: 505-235-5084

March 11, 2013

**Hand Delivered**

City of Albuquerque  
Planning Department  
600 Second Street, NW  
Suite 200  
Albuquerque, New Mexico 87103

Re: Bishop's Compound/Project No. 1007871  
09DRB-70379 Major – Preliminary Plat Approval  
09DRB-70380 Sidewalk Waiver  
09DRB-70381 Subdivision Design Variance From Min. DPM Stds.  
11DRB-70058 Plat Extension  
12DRB-70092 Plat Extension

Ladies and Gentlemen:

The undersigned is the owner of the above referenced Property, the subject of a preliminary plat approval request in Project No. 1007871. Myers, Oliver & Price, P.C. (John A. Myers or J. Matt Myers) is hereby authorized to act as the agent in its application to the Development Review Board to extend the preliminary plat for an additional year. Myers, Oliver & Price is further authorized to remain as its agent through any appeals process, if any.

BISHOP'S COMPOUND, LLC

By: \_\_\_\_\_

  
John Kelly, Managing Member



For more current information and details visit: <http://www.cabq.gov/gis>

**AGIS**  
Albuquerque Geographic Information System

Map amended through: 1/10/2013

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**G-12-Z**

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0                      750                      1,500 Feet

## REASONS FOR REQUEST

Applicant is the owner/developer of Lots 2 and 3, Alvarado Gardens, Unit 3, to be known as the Bishop's Compound Subdivision. On April 15, 2010, the Development Review Board approved the applicant's preliminary plat in City Project No. 1007871, and granted a one year extension to file the plat pursuant to the Notice of Decision dated March 30, 2011. The City granted another one year extension of the preliminary plat at the DRB March 28, 2012 meeting pursuant to the Notice of Decision dated March 28, 2012, a copy of which is attached to this request.

The applicant requests that the preliminary plat approval be extended for one year. Section 14-14-3-4(E) provides that the Development Review Board may grant an extension based on the findings that the extension is not detrimental to the public interest and that the preliminary plat, as approved, is not in significant conflict with current city and county policies.

The Applicant requests an extension of the preliminary plat for the following reasons:

1. No other development will be adversely affected as the infrastructure to be constructed services only the proposed subdivision;
2. The extension will not be injurious to the public safety, health or welfare, or to adjacent property, to the neighborhood or to community;
3. The preliminary plat as approved, is not in significant conflict with city and county policies.

Current DRC  
Project Number: \_\_\_\_\_

FIGURE 12

Date Submitted: 03-29-10

**ORIGINAL**

**INFRASTRUCTURE LIST**

(Rev. 9-20-05)

**EXHIBIT "A"**

Date Site Plan Approved: \_\_\_\_\_

Date Preliminary Plat Approved: 04-07-10

Date Preliminary Plat Expires: 04-07-11

DRB Project No.: 1007871

DRB Application No.: \_\_\_\_\_

**TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Bishop's Compound

**PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

A portion of Lots 2 and 3, Alvarado Gardens, Unit 3

**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantees. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		24' E-E	5" Concrete Paving	Calle Obispo	Candelaria Rd	25' south	/	/	/
		24' E-E	Brick Paving-See attached (Private)	Calle Obispo (24' / 60' access easement)	Candelaria Rd	South end of property & West end of plaza	/	/	/
		6300 +/- cy	Imported fill material	Onsite			/	/	/
		8"	Sanitary Sewer	Calle Obispo (22' WL & SAS easement)	Candelaria Rd	South end of street	/	/	/
		6"	Waterline	Calle Obispo (22' WL & SAS easement)	Candelaria Rd	South end of street	/	/	/
		8"	Waterline (connection to existing 6" WL)	Calle Obispo plaza (24' WL easement)	Calle Obispo	West end of plaza tile in to exst 6" WL	/	/	/
		18"	CMU Garden Retaining Wall (6'-9" retaining)	North Property Line	NE property corner	-85' west	/	/	/
		18"	CMU Retaining Wall (0.9'-2.4' retaining)	South Property Line	SE property corner	SW property corner	/	/	/
		2' dia.	Percolation pits	Back yards Lots 1-6			/	/	/
							/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Const Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature      Date							City User Dept. Signature      Date		

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

1. Grading and Drainage Certification required per DPM (prior to release of financial guarantees) to include private retaining walls as defined on the approved grading plan.
2. All water to include fire hydrants, valves, and appurtenances per DPM.
3. Residential lighting per DPM.
4. Perimeter walls per DRB.
5. All water meters shall have traffic-rated lid & covers per COA Std Dwg #2369
6. \_\_\_\_\_
7. \_\_\_\_\_

AGENT / OWNER

Asa Nilsson-Weber  
NAME (print)

Isaacson & Arfman, P.A.  
FIRM

Asa Nilsson-Weber 3-29-10  
SIGNATURE - date

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Pat Choi 4/7/10  
DRB CHAIR - date

MCS 04/07/10  
TRANSPORTATION DEVELOPMENT - date

Allan Peta 04/07/10  
UTILITY DEVELOPMENT - date

Bradley D. Benjamin 4/7/10  
CITY ENGINEER - date

Christina Sandoval 4/7/10  
PARKS & GENERAL RECREATION - date

\_\_\_\_\_  
AMAFA - date

\_\_\_\_\_  
- date

\_\_\_\_\_  
- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

March 28, 2012

**Project# 1007871**  
12DRB-70092 EXT OF MAJOR PRELIMINARY PLAT

JOHN A MYERS agent(s) for BISHOP'S COMPOUND, LLC request(s) the above action(s) for all or a portion of Lot(s) 2 & 3, **ALVARADO GARDENS (TBKA BISHOP'S COMPOUND SUBDIVISION) Unit(s) 3**, zoned R-LT, located on CANDELARIA RD NW BETWEEN CALLE SAN YSIDRO SW RIO GRANDE BLVD W containing approximately 13379 acre(s). (G-12)

At the March 28, 2012 Development Review Board meeting, the one-year extension of the preliminary plat was approved.

The conditions of final plat still apply.

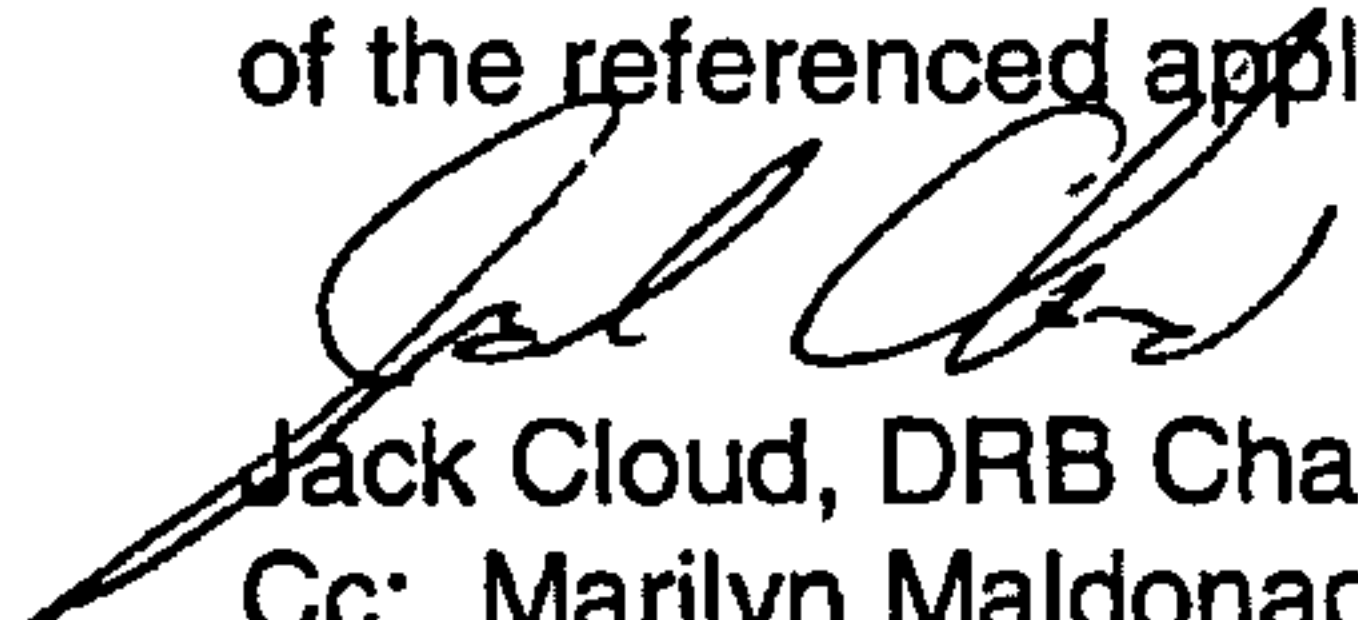
Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

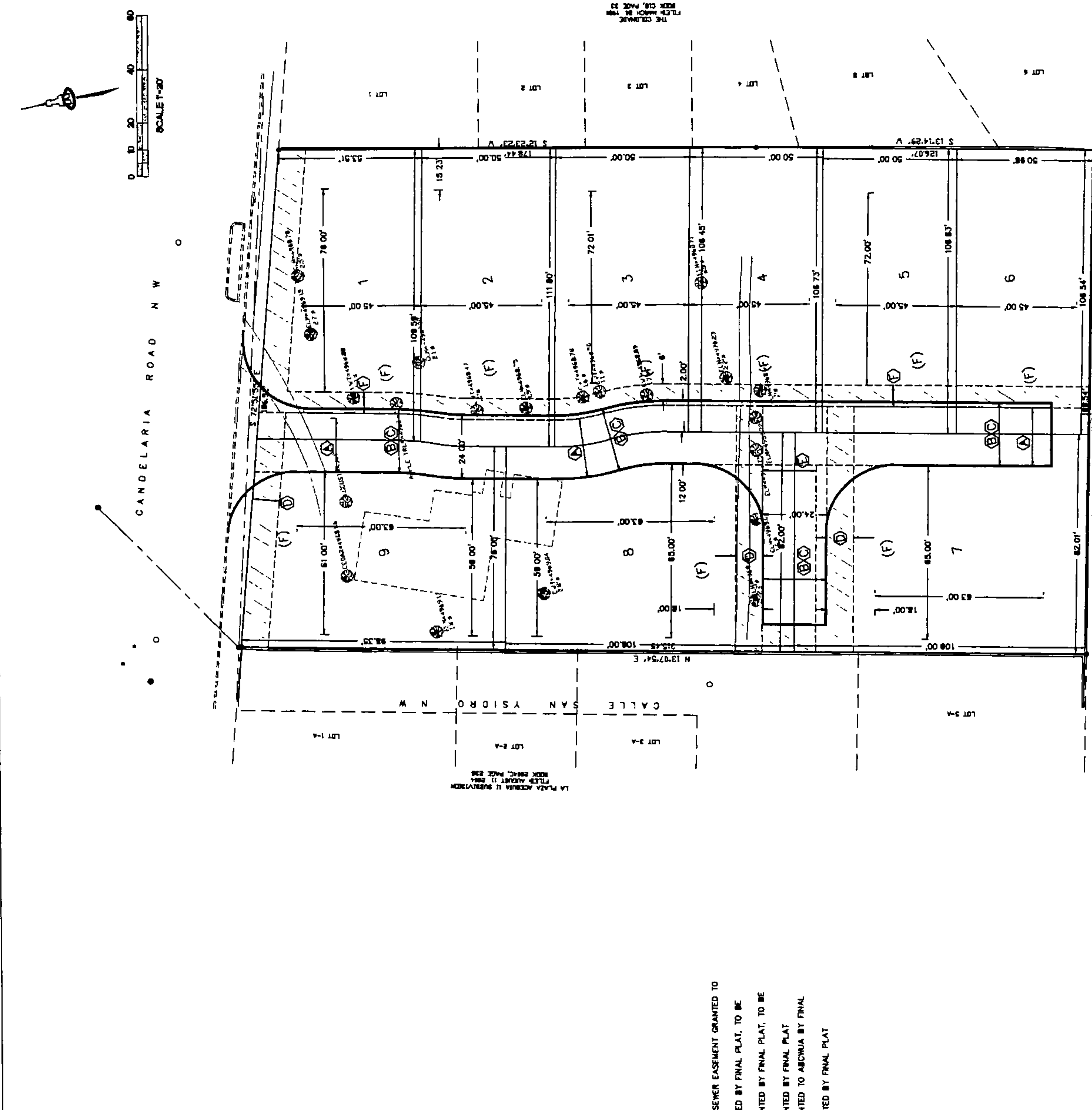
If you wish to appeal this decision, you must do so by April 12, 2012, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

  
Jack Cloud, DRB Chair  
Cc: Marilyn Maldonado  
file



PRELIMINARY  
PLAT FOR  
**BISHOP'S COMPOUND  
SUBDIVISION**  
BEING A REPLAT OF  
LOTS 2 AND 3  
ALVARADO GARDENS UNIT 3  
WITH THE X GRANT  
PROJECTED SECTION X, T. 1 N. R. 1 E. N. 1/4, N. 1/4  
CITY OF ALBUQUERQUE  
BENALLO COUNTY, NEW MEXICO  
NOVEMBER 2009

**LEGAL DESCRIPTION**  
A PORTION OF LOT 2 ALVARADO GARDENS UNIT 3 TOGETHER WITH A  
PORTION OF LOT 3 ALVARADO GARDENS UNIT 3

**ACSB BENCHMARK**  
X X  
ELEVATION X  
**SITE DATA**  
1 TOTAL LAND AREA = 1.5352 ACRES  
2 EXISTING TRACT ACRES  
3 NUMBER OF PROPOSED RESIDENTIAL LOTS IS 9  
4 CURRENT ZONING R-LT  
5 CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICES  
TO THIS DEVELOPMENT MUST BE VERIFIED AND COORDINATED  
WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE

**NOTES**  
1 UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN  
THIS PLAT WILL BE MARKED BY A NO. 5 IRON REBAR WITH  
PLASTIC CAP STAMPED PLS # SHOWN THIS PLAT WILL BE  
ALL STREET CENTERLINE MARKERS SHOWN THIS PLAT WILL BE  
ALUMINUM DISK STAMPED "CENTERLINE  
MONUMENT PLS #  
3 BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE  
COORDINATE SYSTEM AS SHOWN  
4 BASIS OF BEARINGS WILL BE NAD 83 GRID BEARINGS  
5 BEARINGS WILL BE OFFSET AT ALL POINTS OF CURVATURE  
6 MARKERS WILL BE OFFSET AT ALL POINTS OF CURVATURE  
7 POINTS OF TANGENCY STREET INTERSECTIONS AND ALL OTHER  
ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION

**APPROVED FOR MONUMENTATION  
AND STREET NAMES**

CITY SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_

OWNER/BENEFITICARY \_\_\_\_\_ DATE \_\_\_\_\_

BISHOP COMPOUND, LLC  
JOHN KELLY, MANAGING MEMBER

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street, N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-263-6228 Fax. 505-263-7632  
www.iaa.com

March 27. 2013

1111



BISHOP'S COMPOUND, LLC  
3009 Calle San Ysidro, NW  
Albuquerque, New Mexico, 87107  
Telephone: 505-235-5084

March 6, 2012

**Hand Delivered**

City of Albuquerque  
Planning Department  
600 Second Street, NW  
Suite 200  
Albuquerque, New Mexico 87103

Re: Bishop's Compound/Project No. 1007871  
09DRB-70379 Major – Preliminary Plat Approval  
09DRB-70380 Sidewalk Waiver  
09DRB-70381 Subdivision Design Variance From Min. DPM Stds.  
11DRB-70058 Plat Extension

Ladies and Gentlemen:

The undersigned is the owner of the above referenced Property, the subject of a preliminary plat approval request in Project No. 1007871. Myers, Oliver & Price, P.C. (John A. Myers) is hereby authorized to act as the agent in its application to the Development Review Board to extend the preliminary plat for an additional year. Myers, Oliver & Price is further authorized to remain as its agent through any appeals process, if any.

BISHOP'S COMPOUND, LLC

By: \_\_\_\_\_

  
John Kelly, Managing Member



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

March 30, 2011

Project# 1007871  
11DRB-70058 EXT OF MAJOR PRELIMINARY PLAT

JOHN A. MYERS, MYERS, OLIVER & PRICE agent(s) for BISHOP'S COMPOUND, LLC request(s) the above action(s) for all or a portion of Lot(s) 2 & 3, **ALVARADO GARDENS (TBKA BISHOP'S COMPOUND) Unit(s) 3**, zoned R-LT, located on CANDELARIA RD NW BETWEEN CALLE SAN YSIDRO NW AND RIO GRANDE BLVD NW containing approximately 1.3379 acre(s). (G-12)

At the March 30, 2011 Development Review Board meeting, the one-year extension of the preliminary plat was approved. The approved Subdivision Design Variances shall still apply to the preliminary plat. The conditions of final plat still apply.

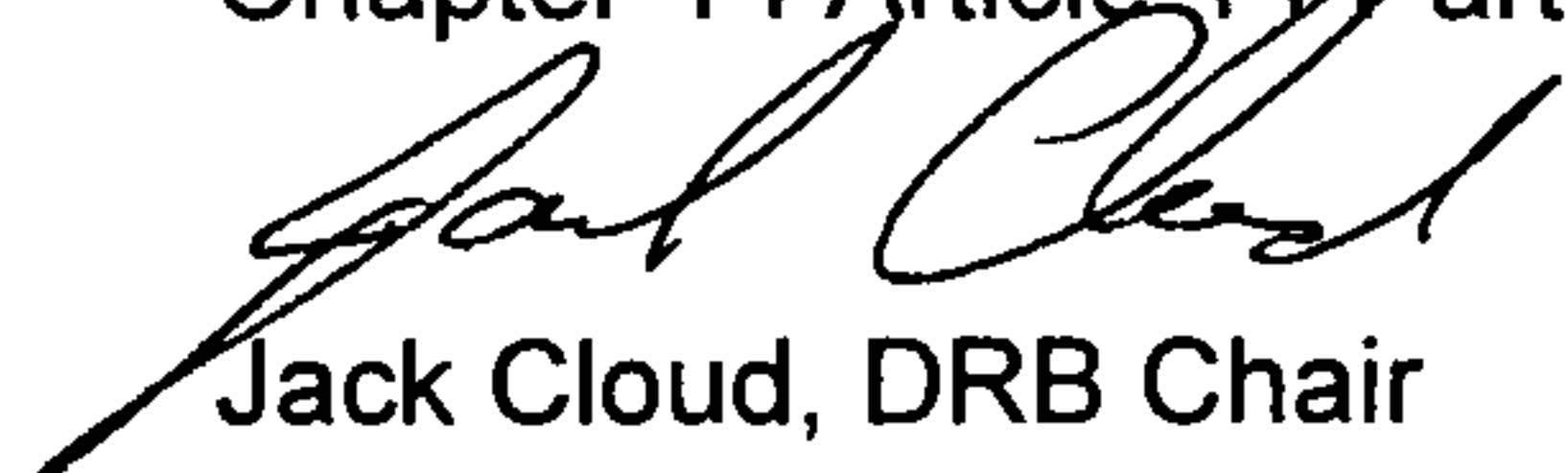
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Jack Cloud, DRB Chair

Cc: John A. Myers, Myers, Oliver & Price – 1401 Central Ave. NW –  
Albuquerque, NM 87102

Cc: Bishop's Compound, LLC – 3009 Calle San Ysidro, NW – Albuquerque, NM  
87109

Marilyn Maldonado  
file



Supplemental Form (SF)

**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
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- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plan boundaries)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)

**L A APPEAL / PROTEST of...**

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Board of Appeals

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**APPLICATION INFORMATION:**

Professional/Agent (if any): John A. Myers, Myers, Oliver & Price PHONE: 247-9080  
 ADDRESS: 1401 Central Avenue, NW FAX: 247-9109  
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**CASE HISTORY:**

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**CASE INFORMATION:**

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 Between: Calle San Ysidro, NW and Rio Grande Blvd., NW

Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: \_\_\_\_\_

SIGNATURE \_\_\_\_\_ DATE March 2012  
 (Print Name) John A. Myers Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Revised: 6/2011

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>12DRB-70092</u>	<u>EPP</u>	_____	\$ _____
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	\$ <u>20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
				Total
				\$ _____

Hearing date March 28, 2012

[Signature]  
 Staff signature & Date 3-8-12

Project # 1007871

**FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING**

A **Bulk Land Variance** requires application on FORM-V in addition to application for subdivision on FORM-S.

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Your attendance is required.**
  - Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - List any original and/or related file numbers on the cover application

- EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)** **Your attendance is required.**
  - Preliminary Plat reduced to 8.5" x 11"
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Copy of DRB approved infrastructure list
  - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
  - List any original and/or related file numbers on the cover application

**Extension of preliminary plat approval expires after one year.**

- MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** **Your attendance is required.**
  - Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
  - Design elevations & cross sections of perimeter walls **3 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
  - Copy of recorded SIA
  - Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
  - List any original and/or related file numbers on the cover application
  - DXF file and hard copy of final plat data for AGIS is required.

- MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** **Your attendance is required.**
  - 5 Acres or more: Certificate of No Effect or Approval
  - Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
  - Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
  - Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
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  - Letter briefly describing, explaining, and justifying the request
  - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
  - Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
  - Infrastructure list if required (**verify with DRB Engineer**)
  - DXF file and hard copy of final plat data for AGIS is required.

- AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** **Your attendance is required.**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

  - Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
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  - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
  - List any original and/or related file numbers on the cover application

**Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Bishops Compound, LLC  
 Applicant name (print)  
 By: John A. Myers,  
 Applicant signature / date



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
2DRB - - - - - 200912  
 \_\_\_\_\_  
 \_\_\_\_\_

Form revised **October 2007**  
3-8-12  
 \_\_\_\_\_  
 Planner signature / date  
 Project # 1007871

## REASONS FOR REQUEST

Applicant is the owner/developer of Lots 2 and 3, Alvarado Gardens, Unit 3, to be known as the Bishop's Compound Subdivision. On April 15, 2010, the Development Review Board approved the applicant's preliminary plat in City Project No. 1007871, and ~~on March 30, 2011, granted a one year extension to file the plat. A copy of the Notice of Decision dated March 30, 2011, is attached to this request.~~

The applicant requests that the preliminary plat approval be extended for one year. Section 14-14-3-4(E) provides that the Development Review Board may grant an extension based on the findings that the extension is not detrimental to the public interest and that the preliminary plat, as approved, is not in significant conflict with current city and county policies.

The Applicant requests an extension of the preliminary plat for the following reasons:

1. No other development will be adversely affected as the infrastructure to be constructed services only the proposed subdivision;
2. The extension will not be injurious to the public safety, health or welfare, or to adjacent property, to the neighborhood or to community;
3. The preliminary plat as approved, is not in significant conflict with city and county policies.



For more current information and more details visit: <http://www.cabq.gov/gis>

Albuquerque Geographic Information System

Map amended through: 1/24/2011

Zone Atlas Page:  
**G-12-Z**

Selected Symbols

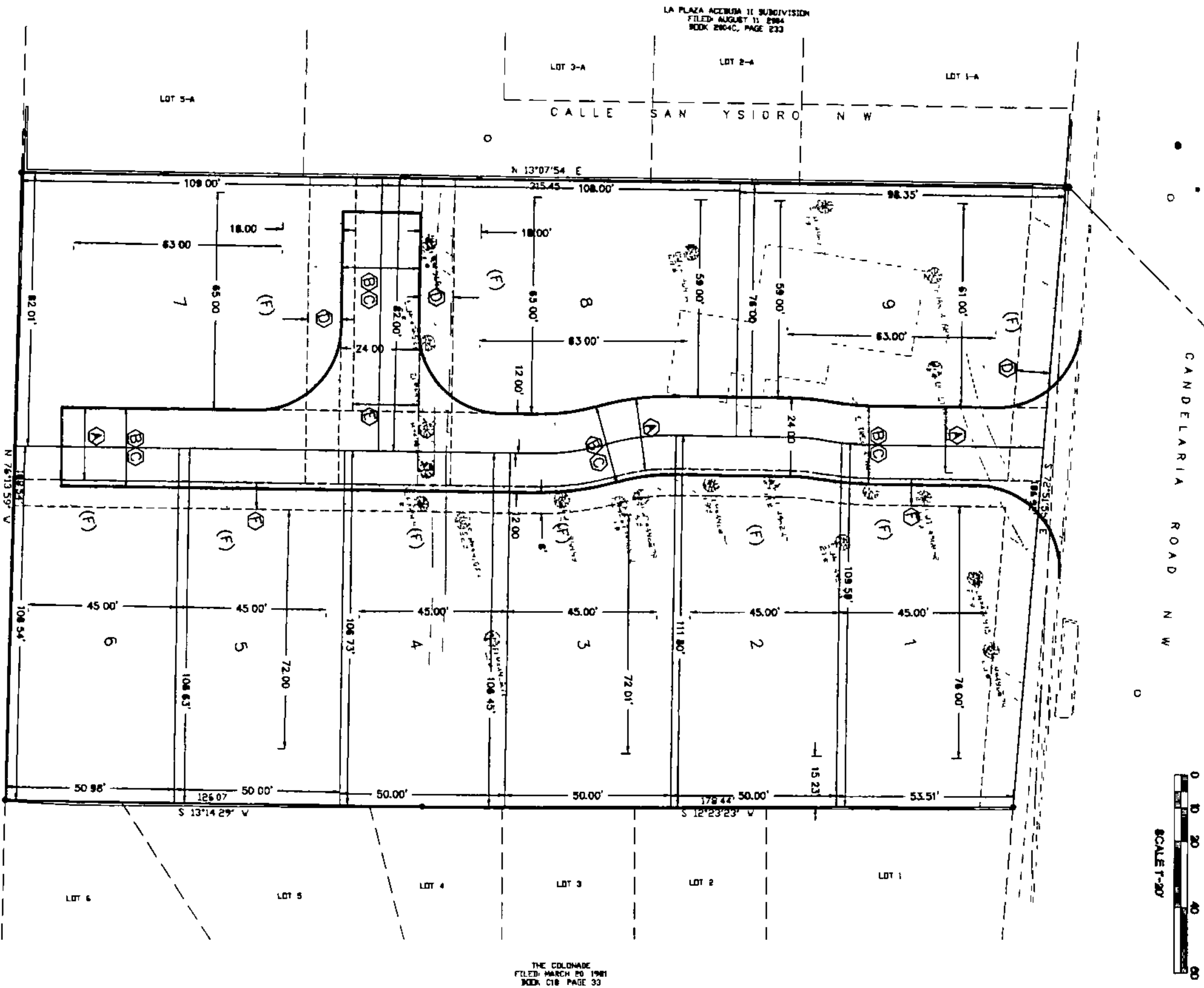
	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0                      750                      1,500 Feet



- EASEMENTS:**
- A 22' PUBLIC WATER AND SANITARY SEWER EASEMENT GRANTED TO ABOQUA BY FINAL PLAT
  - B PRIVATE ACCESS EASEMENT GRANTED BY FINAL PLAT TO BE MAINTAINED BY THE HOA
  - C PRIVATE GRASS EASEMENT GRANTED BY FINAL PLAT TO BE MAINTAINED BY HOA
  - D 10' PUBLIC UTILITY EASEMENT GRANTED BY FINAL PLAT
  - E 20' PUBLIC WATER EASEMENT GRANTED TO ABOQUA BY FINAL PLAT
  - F 6' PUBLIC UTILITY EASEMENT GRANTED BY FINAL PLAT

- LEGEND**
- (F) FRONT OF LOTS
  - LOTLINE TO BE VACATED



SHEET 1 OF 1

PRELIMINARY  
 PLAT FOR  
**BISHOPS COMPOUND  
 SUBDIVISION**  
 BEING A REPLAT OF  
 LOTS 2 AND 3  
 ALVARADO GARDENS UNIT 3  
 WITH THE X GRANT  
 PROJECTED SECTION X, T. 1 N. R. 1 E. N.M.P.M.  
 CITY OF ALBUQUERQUE  
 BERNILLO COUNTY, NEW MEXICO  
 NOVEMBER 2008

**LEGAL DESCRIPTION**  
 A PORTION OF LOT 2 ALVARADO GARDENS UNIT 3 TOGETHER WITH A  
 PORTION OF LOT 3 ALVARADO GARDENS UNIT 3

**ACB BENCHMARK**  
 X  
 ELEVATION X

**SITE DATA**  
 1 TOTAL LAND AREA - 1.443 ACRES  
 2 NUMBER OF EXISTING TRACTS 157  
 3 NUMBER OF PROPOSED RESIDENTIAL LOTS IS 9  
 4 CURRENT ZONING R-1-L  
 5 CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICES  
 THIS DESIGN WAS DEVELOPED AND COMPARED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE

**NOTES**  
 1 UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN  
 SHALL BE MARKED BY A 1/2" DIA. 3" HIGH RED BRASS  
 PLASTIC CAP STAMPED THIS BY A NO. 3 FROM REBAR WITH  
 ALL STREET CENTERLINE POINTS SHOWN THIS Δ WILL BE  
 MARKED BY A 4" ALUMINUM DISK STAMPED CENTERLINE  
 MONUMENT WILL BE TIED TO THE NEW MEXICO STATE PLANE  
 MONUMENT BY 2 1/2" DIA. 3" HIGH RED BRASS CAPS  
 4 BASIS FOR BEARINGS AND DISTANCES WILL BE GROUND DISTANCES  
 5 DISTANCES WILL BE OFFSET AT ALL POINTS OF CURVATURE  
 6 POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER  
 ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION

**APPROVED FOR MONUMENTATION  
 AND STREET NAMES**

CITY SUPERVISOR \_\_\_\_\_ DATE \_\_\_\_\_

OWNER/REP. \_\_\_\_\_ DATE \_\_\_\_\_

BISHOP COMPOUND, LLC  
 JOHN KELLY, MANAGING MEMBER

**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 128 Monroe Street NE  
 Albuquerque, New Mexico 87108  
 P: 505-263-8529 F: 505-263-2832  
 www.isaacson.com

Current DRC  
Project Number: \_\_\_\_\_

FIGURE 12

Date Submitted: 03-29-10

ORIGINAL

**INFRASTRUCTURE LIST**

(Rev. 9-20-05)

**EXHIBIT "A"**

**TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Date Site Plan Approved: \_\_\_\_\_  
Date Preliminary Plat Approved: 04-07-10  
Date Preliminary Plat Expires: 04-07-11  
DRB Project No.: 1007871  
DRB Application No.: \_\_\_\_\_

Bishop's Compound

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

A portion of Lots 2 and 3, Alvarado Gardens, Unit 3

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the Infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Const Engineer
		24' E-E	5" Concrete Paving	Calle Obispo	Candelaria Rd	25' south	/	/	/
		24' E-E	Brick Paving—See attached (Private)	Calle Obispo (24' / 60' access easement)	Candelaria Rd	South end of property & West end of plaza	/	/	/
		6300+/- cy	Imported fill material	Onsite			/	/	/
		8"	Sanitary Sewer	Calle Obispo (22' WL & SAS easement)	Candelaria Rd	South end of street	/	/	/
		6"	Waterline	Calle Obispo (22' WL & SAS easement)	Candelaria Rd	South end of street	/	/	/
		8"	Waterline (connection to existing 8" WL)	Calle Obispo plaza (24' WL easement)	Calle Obispo	West end of plaza tie in to exst 6" WL	/	/	/
		18"	CMU Garden Retaining Wall (6"-9" retaining)	North Property Line	NE property corner	-85' west	/	/	/
		18"	CMU Retaining Wall (0.9'-2.4' retaining)	South Property Line	SE property corner	SW property corner	/	/	/
		2' dia.	Percolation pits	Back yards Lots 1-6			/	/	/
							/	/	/



The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature      Date							City User Dept. Signature      Date		

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

1. Grading and Drainage Certification required per DPM (prior to release of financial guarantees) to include private retaining walls as defined on the approved grading plan.
2. All water to include fire hydrants, valves, and appurtenances per DPM.
3. Residential lighting per DPM.
4. Perimeter walls per DRB.
5. All water meters shall have traffic-rated lid & covers per COA Std Dwg #2369
6. \_\_\_\_\_
7. \_\_\_\_\_

**AGENT / OWNER**

Asa Nilsson-Weber  
NAME (print)

Isaacson & Arfman, P.A.  
FIRM

Asa Nilsson-Weber 3-29-10  
SIGNATURE - date

**DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

Pat Choi 4/7/10  
DRB CHAIR - date

MS 04/07/10  
TRANSPORTATION DEVELOPMENT - date

Allan Peter 04/07/10  
UTILITY DEVELOPMENT - date

Bradley D. Benjamin 4/7/10  
CITY ENGINEER - date

Christina Sandoval 4/7/10  
PARKS & GENERAL RECREATION - date

\_\_\_\_\_  
AMAFCA - date

\_\_\_\_\_  
- date

\_\_\_\_\_  
- date

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



Supplemental form

<b>SUBDIVISION</b>	<b>S</b>	<b>Z</b>	<b>ZONING &amp; PLANNING</b>
<input checked="" type="checkbox"/> Major Subdivision action			Annexation
<input type="checkbox"/> Minor Subdivision action			County Submittal
<input type="checkbox"/> Vacation	<b>V</b>		EPC Submittal
<input type="checkbox"/> Variance (Non-Zoning)			Zone Map Amendment (Establish or Change Zoning)
<b>SITE DEVELOPMENT PLAN</b>	<b>P</b>		Sector Plan (Phase I, II, III)
<input type="checkbox"/> for Subdivision			Amendment to Sector, Area, Facility or Comprehensive Plan
<input type="checkbox"/> for Building Permit			Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> Administrative Amendment (AA)			Street Name Change (Local & Collector)
<input type="checkbox"/> IP Master Development Plan			
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	<b>L</b>	<b>A</b>	<b>APPEAL / PROTEST of...</b>
<b>STORM DRAINAGE</b>	<b>D</b>		Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals
<input type="checkbox"/> Storm Drainage Cost Allocation Plan			

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

Professional/Agent (if any): John A. Myers, Myers, Oliver & Price PHONE: 247-9080  
 ADDRESS: 1401 Central Avenue, NW FAX: 247-9109  
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: jmyers@moplaw.com

APPLICANT: Bishop's Compound, LLC PHONE: 235-5084  
 ADDRESS: 3009 Calle San Ysidro, NW FAX: 848-1889  
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: johnkellynm@comcast.net

Proprietary Interest in site: Owner List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: Extension for Preliminary Plat

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Lots 2 & 3 Block: \_\_\_\_\_ Unit: 3  
 Subdiv/Addn/TBKA: Alvarado Gardens (TBKA Bishop's Compound Subdivision)  
 Existing Zoning: R-LT Proposed zoning: Same  
 Zone Atlas page(s): G-12 UPC Code: 101206050831110330 MRGCD Map No \_\_\_\_\_

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc.): 09-DRB-70234  
09DRB-70379; 09DRB-70380; 09DRB-70381; Project No. 1007871

**CASE INFORMATION:**

Within city limits?  Yes  No Within 1000FT of a landfill?  Yes  No  
 No. of existing lots: 2 No. of proposed lots: 9 Total area of site (acres): 1.3379  
 LOCATION OF PROPERTY BY STREETS: On or Near: Candelaria Road, NW  
 Between: Calle San Ysidro, NW and Rio Grande Blvd., NW

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_

SIGNATURE \_\_\_\_\_ DATE: March 16, 2011  
 (Print) John A. Myers Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #'s are assigned
- AGIS copy has been sent
- Case history #'s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>DRB11-70058</u>	<u>EPP</u>	_____	<u>\$ 50.00</u>
_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>March 30, 2011</u>			Total <u>\$ 70.00</u>

[Signature] 3-16-11  
 Planner signature / date

Project # 1007871

**FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING**

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  - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

John A. Myers, Agent  
Applicant name (print)

\_\_\_\_\_  
Applicant signature / date

Form revised October 2007



[Signature] 3-16-11  
Planner signature / date

- |  |                          |
|--|--------------------------|
| <input type="checkbox"/> Checklists complete | Application case numbers |
| <input type="checkbox"/> Fees collected      | _____                    |
| <input type="checkbox"/> Case #s assigned    | _____                    |
| <input type="checkbox"/> Related #s listed   | _____                    |

Project # 1007871

BISHOP'S COMPOUND, LLC  
3009 Calle San Ysidro, NW  
Albuquerque, New Mexico, 87107  
Telephone: 505-235-5084

March 16, 2011

**Hand Delivered**

City of Albuquerque  
Planning Department  
600 Second Street, NW  
Suite 200  
Albuquerque, New Mexico 87103

Re: Bishop's Compound/Project No. 1007871  
09DRB-70379 Major – Preliminary Plat Approval  
09DRB-70380 Sidewalk Waiver  
09DRB-70381 Subdivision Design Variance From Min. DPM Stds.

Ladies and Gentlemen:

The undersigned is the owner of the above referenced Property, the subject of a preliminary plat approval request in Project No. 1007871. Myers, Oliver & Price, P.C. (John A. Myers) is hereby authorized to act as the agent in its application to the Development Review Board to extend the preliminary plat for an additional year. Myers, Oliver & Price is further authorized to remain as its agent through any appeals process, if any.

BISHOP'S COMPOUND, LLC

By: \_\_\_\_\_

  
John Kelly, Managing Member

**PRELIMINARY PLAT OF  
BISHOP'S COMPOUND SUBDIVISION**  
BEING A REPLAT OF  
**A PORTION OF LOTS 2 AND 3  
ALVARADO GARDENS, UNIT 3**

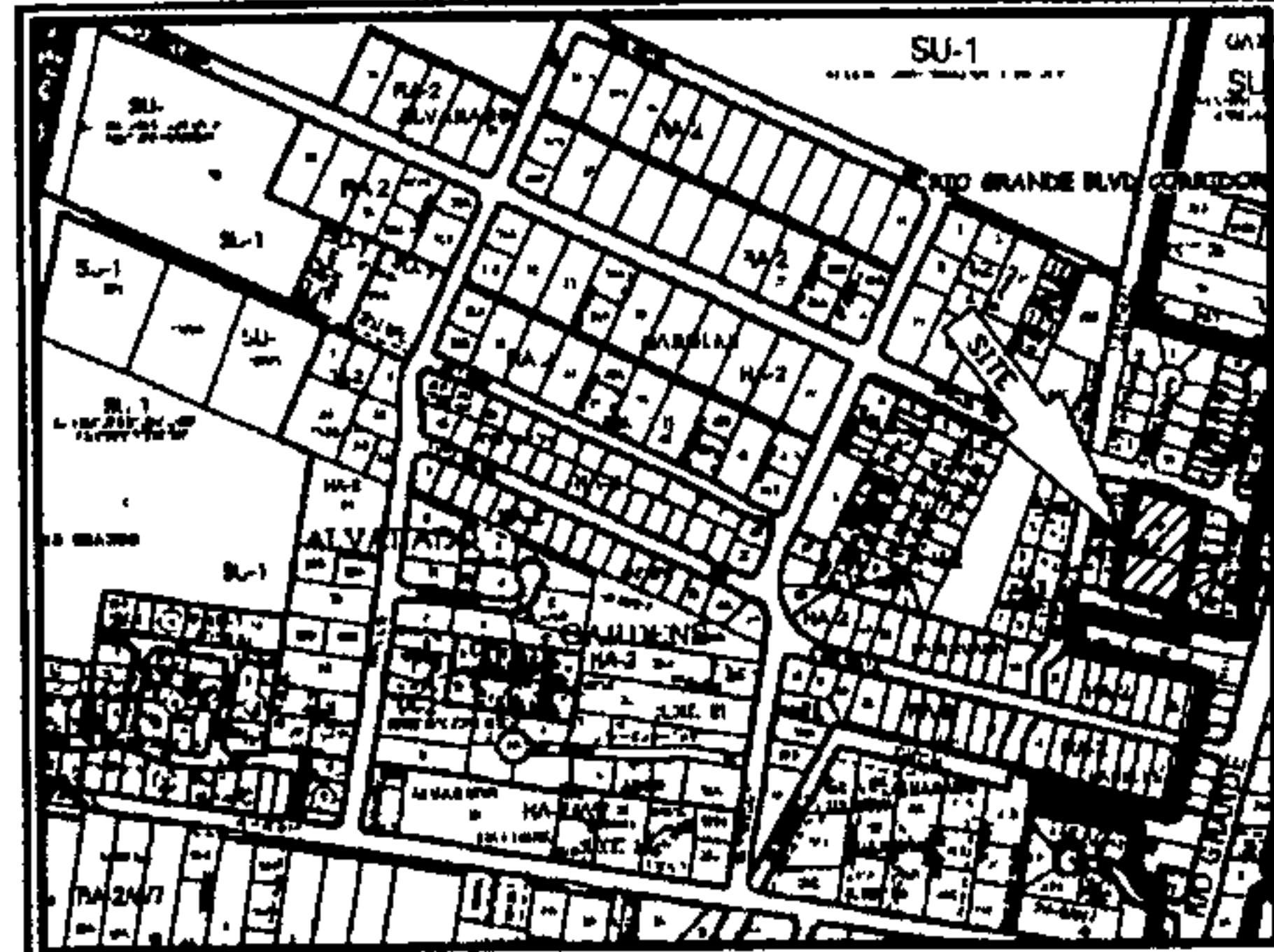
WITHIN  
TOWN OF ALBUQUERQUE GRANT  
SECTION 1, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
MARCH 2010

APPROVALS:  
*[Signature]*  
CITY SURVEYOR

12-10-09  
DATE

OWNERSHIP:  
*[Signature]*  
BISHOP'S COMPOUND LLC JOHN KELLY, MANAGING MEMBER

12/10/09  
DATE



VICINITY MAP No. G-12

**LEGAL DESCRIPTION**  
A CERTAIN TRACT OF LAND WITHIN THE TOWN OF ALBUQUERQUE GRANT, PROJECTED SECTION 1, TOWNSHIP 10 NORTH, RANGE 2 EAST N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING DESIGNATED AS PORTIONS OF LOTS NUMBERED TWO (2) AND THREE (3) OF ALVARADO GARDENS NO. 3 AN ADDITION IN BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 20, 1937, IN VOLUME D1, FOLIO 107. SAID TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEGINNING AT THE NORTHEAST CORNER OF SAID TRACT, SAID POINT ALSO BEING THE NORTHWEST CORNER OF LOT ONE (1) OF "THE COLONADE", FILED ON MARCH 20, 1981, IN VOLUME C18, FOLIO 33; AND FROM WHENCE THE A.G.S. CONTROL STATION "6-G13AR", HAVING NEW MEXICO STATE PLANE COORDINATES OF X=1,515,743.949 AND Y=1,500,719.134 (NAD 83) BEARS S 79°38'21" E, 2379.78 FEET DISTANT;  
THENCE S 12°23'23" W, 178.44 FEET ALONG THE EAST BOUNDARY OF SAID TRACT OF THE WEST BOUNDARY OF "THE COLONADE" TO AN ANGLE POINT;  
THENCE S 13°14'29" W, 126.07 FEET ALONG THE EAST BOUNDARY OF SAID TRACT AND THE WEST BOUNDARY OF "THE COLONADE" TO THE SOUTHEAST CORNER OF SAID TRACT, SAID POINT ALSO BEING THE SOUTHWEST CORNER OF LOT 6 OF "THE COLONADE";  
THENCE N 78°13'59" W, 188.54 FEET ALONG THE SOUTH BOUNDARY OF SAID TRACT AND THE NORTH BOUNDARY OF LOT A, ALVARADO GARDENS UNIT 3, FILED MARCH 7, 1995, IN BOOK 95C, PAGE 78, TO THE SOUTHWEST CORNER OF SAID TRACT, SAID POINT ALSO BEING THE SOUTHEAST CORNER OF LOT 5-A, "LA PLAZA ACEQUIA II SUBDIVISION", FILED ON AUGUST 11, 2004, IN BOOK 2004C, PAGE 233;  
THENCE N 13°07'54" E, 186.92 FEET ALONG THE NORTH BOUNDARY OF SAID TRACT AND THE SOUTH RIGHT OF WAY LINE OF CANDELARIA ROAD N.W. TO THE POINT OF BEGINNING. SAID TRACT CONTAINING 1.3379 ACRES MORE OR LESS

**ACS BENCHMARK**  
CITY OF ALBUQUERQUE STATION NO. 3-G12  
ELEVATION: 4985.946

**FLOOD NOTE**  
THE PROPERTY SHOWN HEREON IS LOCATED IN ZONE X, AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1.0% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR DRAINAGE AREAS OF LESS THAN 1 SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE 1.0% ANNUAL CHANCE FLOOD, ACCORDING TO THE FLOOD INSURANCE RATE MAPS OF BERNALILLO COUNTY, NEW MEXICO, PANEL NO. 35001C0118G & 35001C0331G, EFFECTIVE DATE SEPTEMBER 26, 2008.

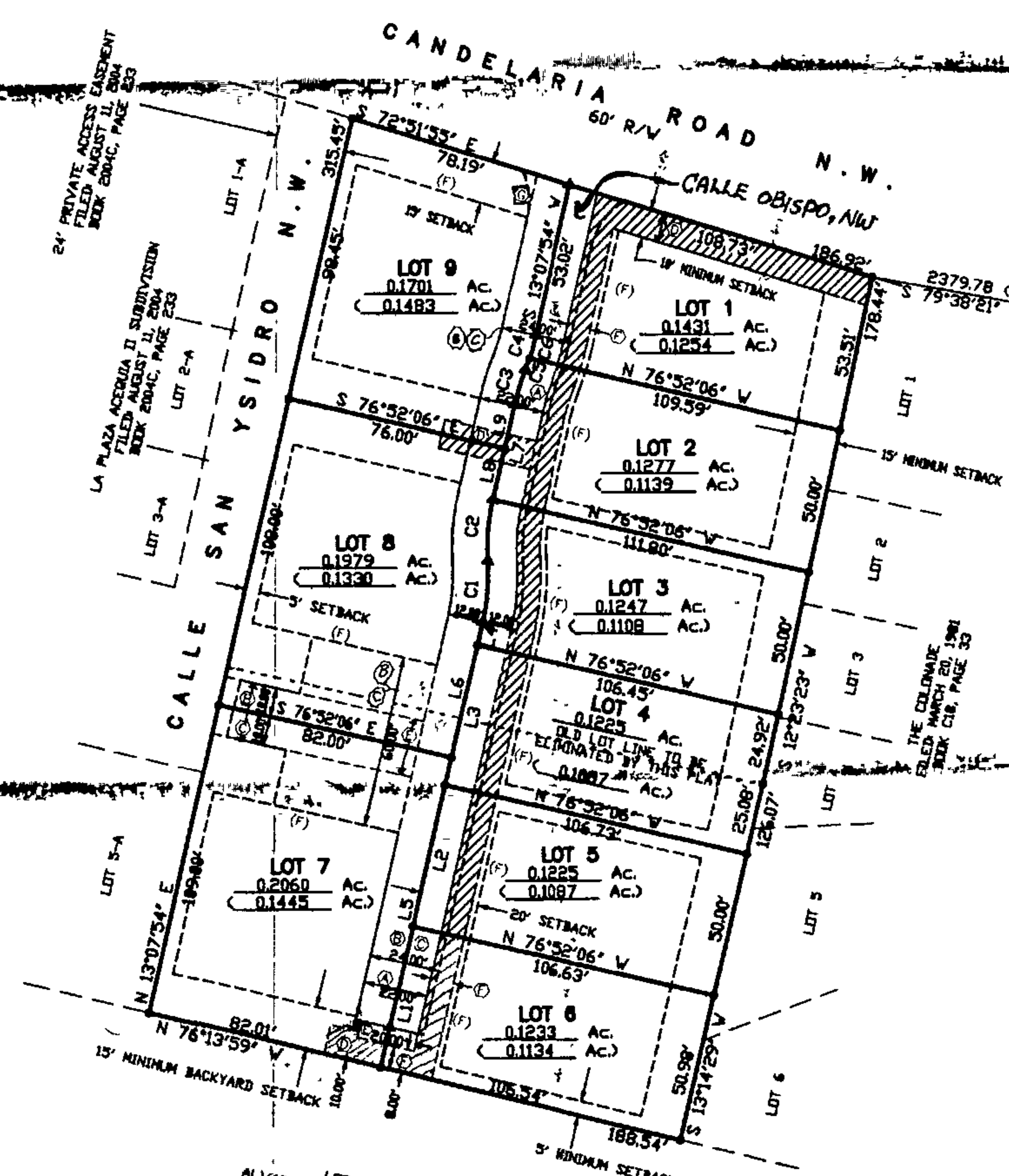
**SITE DATA**  
1. TOTAL LAND AREA = 1.3379 ACRES.  
2. NUMBER OF EXISTING TRACTS IS 2.  
3. NUMBER OF PROPOSED RESIDENTIAL LOTS IS 9.  
4. CURRENT ZONING: R-LT.  
5. CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICES TO THIS DEVELOPMENT MUST BE VERIFIED AND COORDINATED WITH ABCWUA.

**NOTES**  
1. UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS ● WILL BE MARKED BY A NO. 4 IRON REBAR WITH PLASTIC CAP STAMPED "HARRIS PLS #11463".  
2. ALL STREET CENTERLINE POINTS SHOWN THUS ▲ WILL BE MARKED BY A 4" ALUMINUM DISK STAMPED "CENTERLINE MONUMENT, "HARRIS PLS #11463".  
3. BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.  
4. BASIS OF BEARINGS ARE NAD83 GRID BEARINGS.  
5. DISTANCES ARE GROUND DISTANCES.  
6. MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION. LOT AREAS LISTED IN PARENTHESES ARE NET AREAS (GROSS AREA MINUS ACCESS EASEMENT AREA).

**EASEMENTS:**  
A. 22' PUBLIC WATER AND SANITARY SEWER EASEMENT GRANTED TO ABCWUA BY FINAL PLAT.  
B. PRIVATE ACCESS EASEMENT FOR PRIVATE VEHICULAR AND PEDESTRIAN ACCESS AND PUBLIC EMERGENCY AND REFUSE VEHICLE ACCESS GRANTED BY FINAL PLAT, TO BE MAINTAINED BY THE HOA PER THE BISHOP'S COMPOUND'S CC&R'S.  
C. PRIVATE DRAINAGE EASEMENT GRANTED BY FINAL PLAT, TO BE MAINTAINED BY HOA PER THE BISHOP'S COMPOUND'S CC&R'S.  
D. 10' PUBLIC UTILITY EASEMENT GRANTED BY FINAL PLAT.  
E. 20' PUBLIC WATER EASEMENT GRANTED TO ABCWUA BY FINAL PLAT.  
F. 8' PUBLIC UTILITY EASEMENT GRANTED BY FINAL PLAT.  
G. 6'x5' PUBLIC WATER METER EASEMENT GRANTED TO ABCWUA BY FINAL PLAT

**SUBDIVISION NOTES:**  
LOTS 1-6 SHALL BE TOWNHOMES AND LOTS 7-9 SHALL BE SINGLE-DETACHED HOMES. NO LOTS SHALL HAVE GARAGES FRONTING CANDELARIA ROAD.

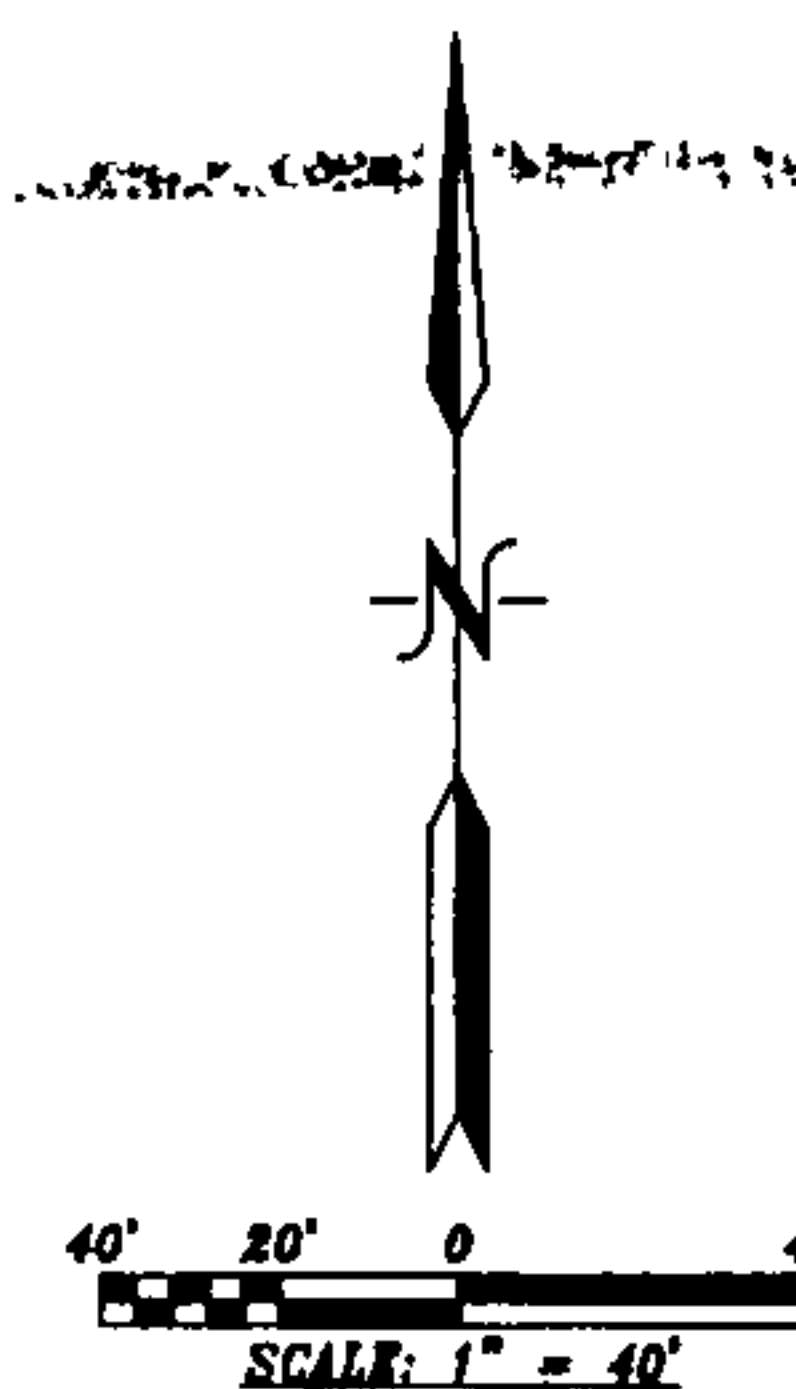
**LEGEND**  
— PROPERTY LINE  
— ADJOINING PROPERTY LINE  
▲ CENTERLINE MONUMENT  
(F) FRONT OF LOTS



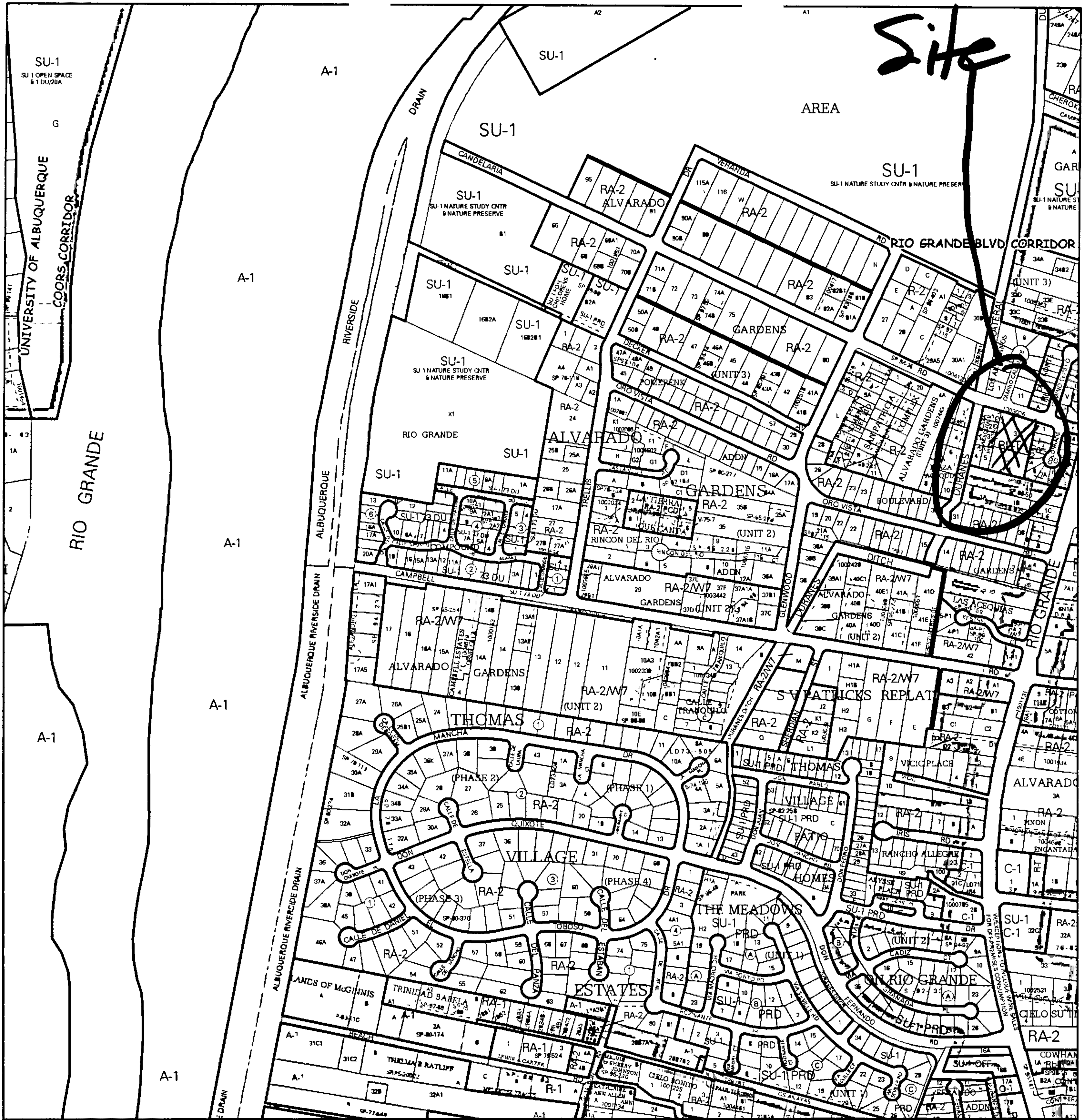
NUMBER	DIRECTION	DISTANCE
L1	N 13°07'54" E	49.80'
L2	N 13°07'54" E	50.00'
L3	N 13°07'54" E	50.00'
L4	N 13°07'54" E	8.00'
L5	N 13°07'54" E	109.91'
L6	N 13°07'54" E	47.89'
L7	S 13°07'54" W	33.67'
L8	N 13°07'54" E	18.11'
L9	N 13°07'54" E	15.56'

ACS STATION "6-G13AR"  
X=1,515,743.949  
Y=1,500,719.134  
GRD TO GRID=0.999684045  
Δc = -00° 14' 23.80"  
CENTRAL ZONE, NAD 1983

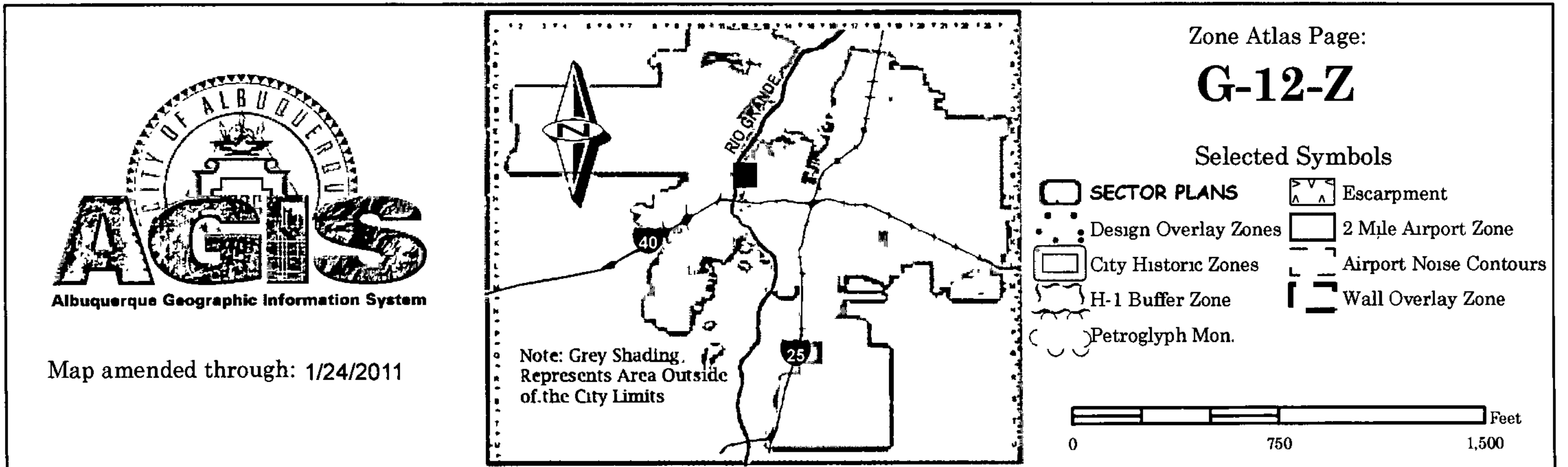
NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	16°15'37"	N 05°00'05" E	75.00	21.28	21.21
C2	16°15'37"	S 05°00'05" W	75.00	21.28	21.21
C3	09°22'00"	S 17°48'54" W	75.00	12.26	12.25
C4	09°22'00"	N 17°48'54" E	75.00	12.26	12.25
C5	03°10'48"	N 20°54'30" E	75.00	4.16	4.16
C6	06°11'13"	N 16°13'30" E	75.00	8.10	8.09



RE 08-0677.DWG (DECEMBER, 2009)



For more current information and more details visit: <http://www.cabq.gov/gis>



## REASONS FOR REQUEST

Applicant is the owner/developer of Lots 2 and 3, Alvarado Gardens, Unit 3, to be known as the Bishop's Compound Subdivision. On April 15, 2010, the Development Review Board approved the applicant's preliminary plat in City Project No. 1007871.

The applicant requests that the preliminary plat approval be extended for one year. Section 14-14-3-4(E) provides that the Development Review Board may grant an extension based on the findings that the extension is not detrimental to the public interest and that the preliminary plat, as approved, is not in significant conflict with current city and county policies.

The Applicant requests an extension of the preliminary plat for the following reasons:

1. No other development will be adversely affected as the infrastructure to be constructed services only the proposed subdivision;
2. The extension will not be injurious to the public safety, health or welfare, or to adjacent property, to the neighborhood or to community;
3. The preliminary plat as approved, is not in significant conflict with city and county policies.

Current DRC  
Project Number: \_\_\_\_\_

FIGURE 12

Date Submitted: 03-29-10

ORIGINAL

**INFRASTRUCTURE LIST**

(Rev 9-20-05)

**EXHIBIT "A"**

**TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Date Site Plan Approved: \_\_\_\_\_

Date Preliminary Plat Approved: 04-07-10

Date Preliminary Plat Expires: 04-07-11

DRB Project No.: 1007871

DRB Application No.: \_\_\_\_\_

**Bishop's Compound**

**PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**A portion of Lots 2 and 3, Alvarado Gardens, Unit 3  
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		24' E-E	5" Concrete Paving	Calle Obispo	Candelaria Rd	25' south	/	/	/
		24' E-E	Brck Paving--See attached (Private)	Calle Obispo (24' / 60' access easement)	Candelaria Rd	South end of property & West end of plaza	/	/	/
		6300+/- cy	Imported fill material	Onsite			/	/	/
		8"	Sanitary Sewer	Calle Obispo (22' WL & SAS easement)	Candelaria Rd	South end of street	/	/	/
		6"	Waterline	Calle Obispo (22' WL & SAS easement)	Candelaria Rd	South end of street	/	/	/
		9"	Waterline (connection to existing 6" WL)	Calle Obispo plaza (24' WL easement)	Calle Obispo	West end of plaza tie in to exst 6" WL	/	/	/
		18"	CMU Garden Retaining Wall (6'-9' retaining)	North Property Line	NE property corner	-65' west	/	/	/
		18"	CMU Retaining Wall (0.9'-2.4' retaining)	South Property Line	SE property corner	SW property corner	/	/	/
		2' dia.	Percolation pits	Back yards Lots 1-6			/	/	/
							/	/	/



The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature      Date							City User Dept. Signature      Date		

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

1. Grading and Drainage Certification required per DPM (prior to release of financial guarantees) to include private retaining walls as defined on the approved grading plan.
2. All water to include fire hydrants, valves, and appurtenances per DPM.
3. Residential lighting per DPM.
4. Perimeter walls per DRB.
5. All water meters shall have traffic-rated lid & covers per COA Std Dwg #2369
6. \_\_\_\_\_
7. \_\_\_\_\_

**AGENT / OWNER**

Asa Nilsson-Weber  
NAME (print)

Isaacson & Arfman, P.A.  
FIRM

Asa Nilsson-Weber 3-29-10  
SIGNATURE - date

**DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

John Choi 4/7/10  
DRB CHAIR - date

Michael S. 04/07/10  
TRANSPORTATION DEVELOPMENT - date

Allan Peter 04/07/10  
UTILITY DEVELOPMENT - date

Bradley L. Bingham 4/7/10  
CITY ENGINEER - date

Christina Senioral 4/7/10  
PARKS & GENERAL RECREATION - date

\_\_\_\_\_  
AMAFCA - date

\_\_\_\_\_  
- date

\_\_\_\_\_  
- date

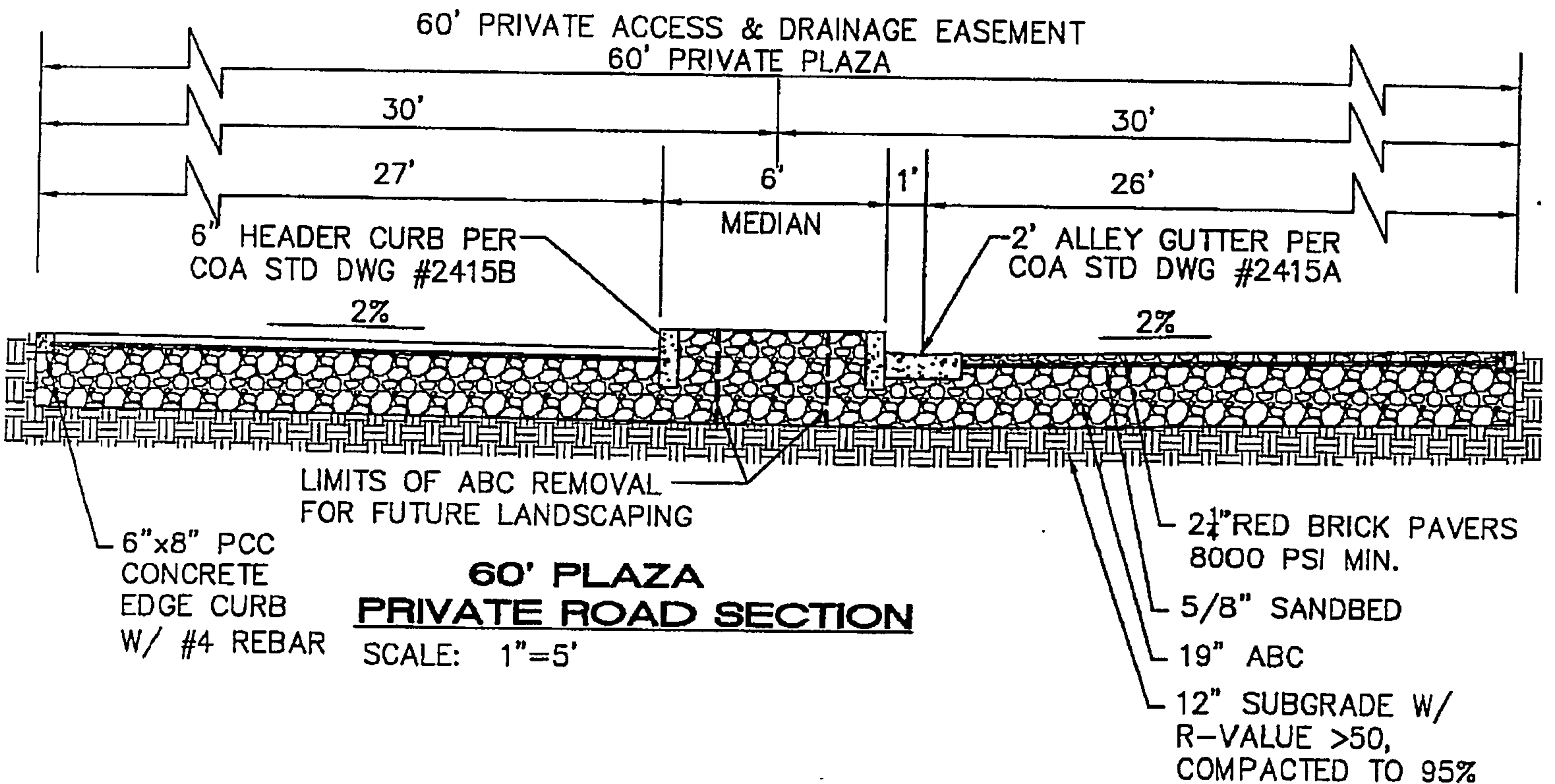
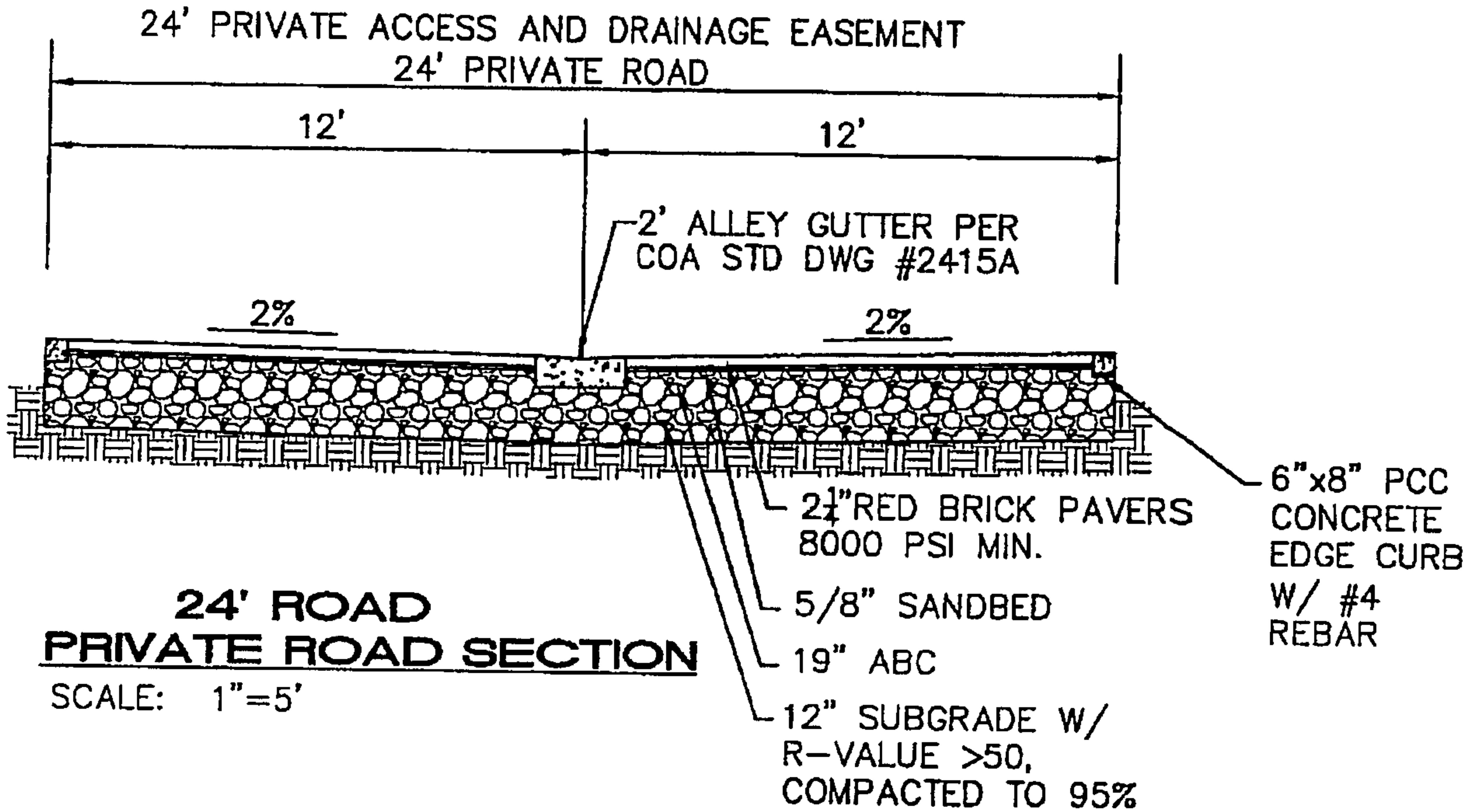
**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

**B/ HOP'S COMPOUND  
DRB #1007871  
PAVING SECTION**

PER MODIFIED COA STD DWG #2412

BRICK SHALL CONFORM TO  
ASTM C902 PER COA STD  
SPEC. SECTION 108.6.1





## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

April 15, 2010

**Project# 1007871**

09DRB-70379 MAJOR - PRELIMINARY PLAT APPROVAL

09DRB-70380 SIDEWALK WAIVER

09DRB-70381 SUBDIVISION DESIGN VARIANCE FROM MIN DPM STDS

ISAACSON AND ARFMAN PA agent(s) for BISHOP'S COMPOUND, LLC request(s) the referenced/ above action(s) for all or a portion of Lot(s) 2 & 3, **ALVARADO GARDENS UNIT 3 [TBKA BISHOP'S COMPOUND]**, zoned R-LT, located on CANDELARIA RD NW between RIO GRANDE BLVD NW and CALLE SAN YSIDRO NW containing approximately 1.3379 acre(s). (G-12) [*Deferred from 1-6-10, -/27-10, 2-17-10, 3-10-10, 3-31-10*]

At the April 7, 2010 Development Review Board meeting, with the signing of the infrastructure list dated 4/7/10 and with an approved grading plan engineer stamp dated 3/26/10, the Preliminary Plat was approved. The grading plan was determined to be the least intrusive approach that was feasible without unreasonable cost. The sidewalk waiver was approved as shown on Exhibit C in the Planning file based on the limited number of dwelling units and the provision of paved access. The Subdivision Design Variance from minimum DPM standards for easement width was based on the waiver of sidewalks, and the materials variance for brick pavers was approved based on the design and test data provided.

If you wish to appeal this decision, you must do so by April 22, 2010, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Jack Cloud, AICP, DRB Chair

Cc: Isaacson & Arfman, P.A. – 128 Monroe St. NE – Albuquerque, NM 87108  
Bishop's Compound, LLC – 3009 Alle San Ysidro NW – Albuquerque, NM 87108  
Marilyn Maldonado/ File



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

April 15, 2010

**Project# 1007871**

09DRB-70379 MAJOR - PRELIMINARY PLAT APPROVAL

09DRB-70380 SIDEWALK WAIVER

09DRB-70381 SUBDIVISION DESIGN VARIANCE FROM MIN DPM STDS

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Bishop's Compound, LLC – 3009 Alle San Ysidro NW – Albuquerque, NM 87108  
Marilyn Maldonado/ File

**Cloud, Jack W.**

---

**From:** Cloud, Jack W.  
**Sent:** Wednesday, April 07, 2010 8:31 AM  
**To:** Bingham, Brad L.  
**Subject:** RE: Project 1007871

Brad -  
 sorry I forgot to bring this up yesterday -  
 could you have some Findings ready this morning

---

**From:** Cloud, Jack W.  
**Sent:** Tuesday, January 26, 2010 11:45 AM  
**To:** Bingham, Brad L.  
**Subject:** RE: Project 1007871

Brad -  
 here is the Section of the Subdivision Ordinance I mentioned yesterday (kind of an odd place for it, under Dedications) -  
 if you can, in case we are appealed, it would be good to turn your email below into Findings that address what I've underlined  
 (for example, this is a minimum grade change, that it is not extensive fill (< 3 ft) and alternatives are not feasible because....,  
 less intrusive grading approaches will not work because....,etc.)  
 Tx - Jack

#### **§ 14-14-2-4 DEDICATIONS.**

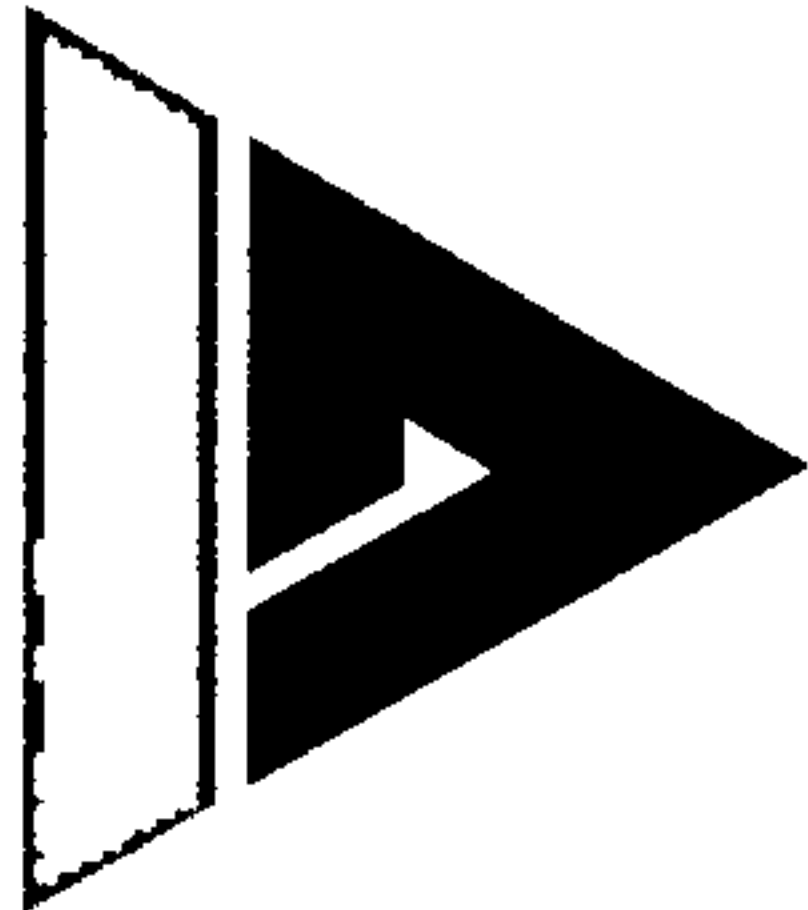
(E) Grades set for new subdivisions must blend the plat's development into the adjacent environment with a minimum of sudden grade change. Extensive fill which raises the grade for proposed lots at the edge of a new subdivision above the grade of nearby property should be avoided wherever it is feasible without unreasonable cost. Significant cuts near the edges of proposed new subdivisions to lower the grade within the plat are to be avoided wherever there are reasonable alternatives. Where needed for a subdivision, grade changes are usually best done within the interior of the subdivision. City staff appropriately goes beyond mere approval or disapproval of a developer-proposed grading plan and identifies less intrusive grading approaches consistent with the policy/standard of this section. It is recognized that infill development on steeper slopes may require compromise with the ideal grades, as viewed by neighboring development.

---

**From:** Bingham, Brad L.  
**Sent:** Friday, January 22, 2010 11:55 AM  
**To:** Cloud, Jack W.  
**Cc:** 'Rjruth@aol.com'  
**Subject:** RE: Project 1007871

Mr. Ruth, we are aware of the storm drain in front of Colonade. It is a 15" diameter pipe and extends to Rio Grande (15") and then southward. It was brought up at first by the the design engineer but, after careful consideration, it was determined that the most prudent way of draining this subdivision is to surface drain the property into Candelaria and use the capacity of the street as well as the pipe. Having the sole means of drainage be a small pipe isn't prudent. Yes, this causes the developer to bring in imported dirt but it is better

4/7/2010



# Isaacson & Arfman, P.A.

Consulting Engineering Associates

*Thomas O. Isaacson, PE & LS · Fred C. Arfman, PE · Åsa Nilsson-Weber, PE*

March 29, 2010

Mr. Jack Cloud  
DRB Chair  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87102

**RE: DRB Submittal for Bishop's Compound  
Project #1007871  
Zone Atlas: G-12**

Dear Mr. Cloud:

Isaacson & Arfman, P.A., as agents for Bishop's Compound, LLC, is submitting a revised preliminary plat, infrastructure list and grading plan to reflect the changes requested by DRB at the hearing on January 6, 2010. Since this hearing, we have submitted the following requested supplemental information:

1. Landscape exhibit and Perspective view of the plaza area.
2. Revised Variance Justification.
3. Revised variance exhibit, including paving section with Structural Number calculations.
4. Geotechnical Report, including Addendums 1 and 2, with pavement section recommendations.
5. Specification for brick pavers to be used on the project.
6. Turnaround exhibit approved by Fire Marshal and Solid Waste Department.
7. Original plat.

With this information, we would like to request approval for Preliminary Plat, sidewalk waiver, and design variance at the hearing on March 31, 2010.

If you have questions regarding this submittal or need additional information, please call me at 268-8828. Thank you.

Sincerely,  
**ISAACSON & ARFMAN**

Åsa Nilsson-Weber

Attachments

Calle Obispo NW is a private roadway (the "Roadway"). The Roadway will not be owned nor maintained by the City, it will be owned and maintained by the incorporated associations of owners of lots (the "Association") within the Bishop's Compound Subdivision (the "Subdivision"). Pursuant to the Restrictions of Bishop's Compound Subdivision filed for record in the Bernalillo County, New Mexico real estate records on \_\_\_\_\_, 2010 as Document No. \_\_\_\_\_ all owners of lots within the Subdivision shall be members of the Association and shall be obligated to pay assessments to the Association to pay the cost of common areas and facilities, including the Roadway. The City is a third party beneficiary of the obligation of the lot owners to pay assessments for maintenance of the Roadway and the Association's obligations to maintain the Roadway and these provisions cannot be modified, amended, or terminated without the prior written consent of the City.

**Bishop's Compound**  
**Project #1007871**  
**3/19/10**

**DESIGN VARIANCE AND SIDEWALK WAIVER REQUEST**

We are requesting a design variance for the items shown in the table below.

	<u>Proposed:</u>	<u>DPM Standards:</u>
<b>Street Classification</b>	Private Way (9 lots)	Private Access Local (8+ lots) Private Way (8 lots or less)
<b>Street Width / Curb</b>	24' E-E / no curb	24' for Private Way / no curb
<b>Easement Width</b>	24'	32' for Private Way
<b>Paving Section</b>	6"x8" conc. edge, 2 1/4" brick <sup>1)</sup> , 5/8" sand, 19" ABC, 12" subgrade (modified Std Dwg #2412) Inverted crown and alley gutter	Gravel for Private Way
<b>Sidewalks</b>	None	4' sidewalk one side for Private Way
<b>Turnaround</b>	Plaza w/ medians	Hammerhead per Std Dwg 2512

- 1) Brick proposed is Boral Paver meeting ASTM C902-09 specifications (per requirements of COA Std. Specifications 108.6.1)



**JUSTIFICATION FOR SIDEWALK WAIVER AND DESIGN VARIANCE REQUEST:**

Bishop Compound's private way—Calle Obispo—is not a pass-through street, and will only carry traffic serving 9 internal lots. The number of average weekday trips (AWDT) generated for this development is as follows:

6 Townhomes @ 6 trips/day/home = 36 AWDT

3 Detached Homes @ 10 trips/day/home = 30 AWDT

Total = 66 AWDT

The trips generated on this development are less than for an 8-lot detached home subdivision (80 AWDT) for which the road is classified as a private way.

Calle Obispo will be 24-foot wide and paved with brick pavers, which aesthetically is more pleasing than a gravel road. The turn-around will be a brick-paved plaza with medians. Existing trees will be salvaged, and there will be additional landscaping at the end of the street and in the medians at the plaza.

Each home have driveways to handle guest parking. This project is intended as a “sister community” to La Plaza Acequia II Subdivision adjacent to the west. The street in La Plaza Acequia II Subdivision is also a 24-foot wide, brick-paved road with no internal sidewalks, and this subdivision also has a brick-paved plaza with landscaped medians. Handicap access will be provided via the road and plaza which meet ADA requirements since the cross slope of the road is 2%. The proposed paving section for Bishop's Compound is thicker than what was installed in La Plaza Acequia II Subdivision (19” of base course vs. 6”), and the brick pattern will be stronger (herringbone pattern) than in La Plaza Acequia II (running bond pattern). Since there have been no road maintenance issues at the adjacent subdivisions over the 4-year lifespan, the proposed paving section should be more than adequate. The Homeowners' Association shall maintain the roads, which is a cost-saving to the City.

The “North Valley Character Study & Design Overlay Zone” is a study of the character of the North Valley neighborhoods, and encourages building new narrow residential streets and private ways to emulate the overall characteristics of this area. Though the zoning of this site (R-LT) is not included in this study, we are requesting a design variance to allow for the narrower street widths recommended in the study.



Showroom Locator  
Enter Zip Code



HOME - Boral Pavers - ASTM Specifications

## ASTM SPECIFICATIONS

### ASTM C902-09: Pedestrian and Light Traffic Paving Brick

All Boral® Clay Pavers meet or exceed the requirements under ASTM Standard C902: Pedestrian and Light Traffic Paving Brick, Class SX Type I.

- **COMPRESSIVE STRENGTH:** The standard requires an average compressive strength of at least 8,000 psi. Boral® pavers range between 13,000 and 21,000 psi depending on the body composition.
- **ABSORPTION:** The standard requires an average cold water absorption no higher than 8.0%. Boral® pavers range between 3.7% and 7.0% depending on the body composition.
- **ABRASION INDEX:** The standard requires an average abrasion index no higher than 0.11. Boral® pavers range between 0.01 and 0.05 depending on the body composition.
- **SATURATION COEFFICIENT (C/B):** The standard requires an average water saturation coefficient no higher than 0.78. Boral® pavers range between 0.53 and 0.76 depending on the body composition.

### ASTM C1272-07: Heavy Vehicular Paving Brick

Boral® 2 3/4" thick heavy vehicular pavers meet or exceed the requirements under ASTM standard C1272, Type F, Application PX. Following are the differences between C902-09 and C1272-07:

- **COMPRESSIVE STRENGTH:** The HV standard requires an average compressive strength of at least 10,000 psi. Current production Boral® HV pavers are over 13,000 psi. These compressive strengths are relatively low due to the units being produced on the extrusion equipment at Plant 011. This should not be considered a negative feature when compared to the actual breaking load of the units.
- **BREAKING LOAD:** The HV standard requires an average minimum breaking load of 475 pounds. Boral® HV pavers are rated over 1,600 pounds. Breaking load signifies the maximum stress required to break the paver in half when subjected to three-point loading.
- **ABSORPTION:** The HV standard requires an average cold water absorption no higher than 6.0%. Boral® HV pavers range between 4.5% and 5.5% depending on the body composition.

All of the 2 1/4" thick pavers, except the Parquet Tan, Peachtree Avenue, Red and Burgundy, also meet the specification requirements for heavy vehicular applications using a rigid base instead of a sand setting bed. They would be specified ASTM C1272, Type R, Application PX.

All of the Antique edge finish products comply with Application PA (not Application PX) for Maximum Permissible Extent of Chippage from Edges and Corners.

Boral Bricks



Boral Pavers



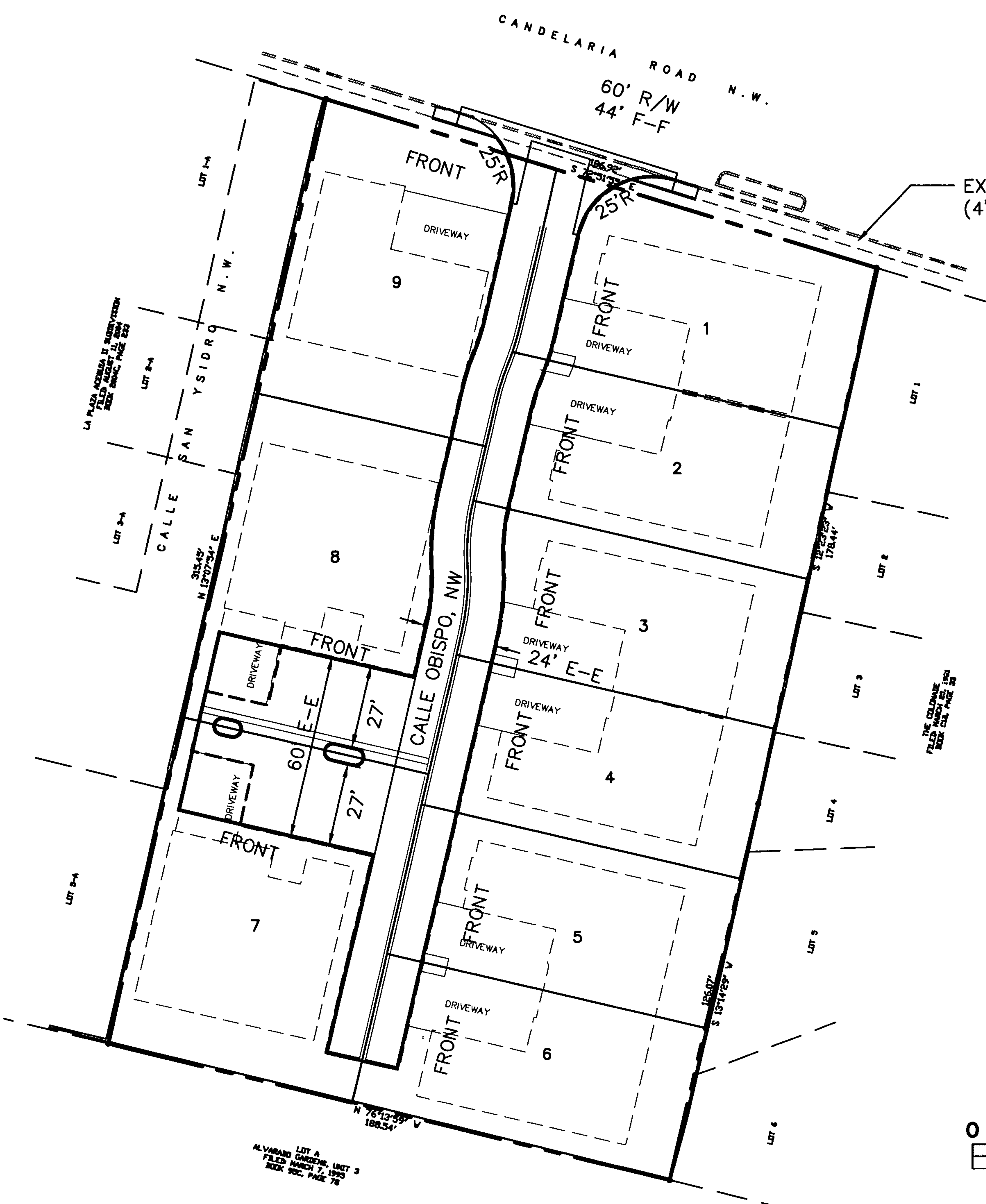
New at Boral



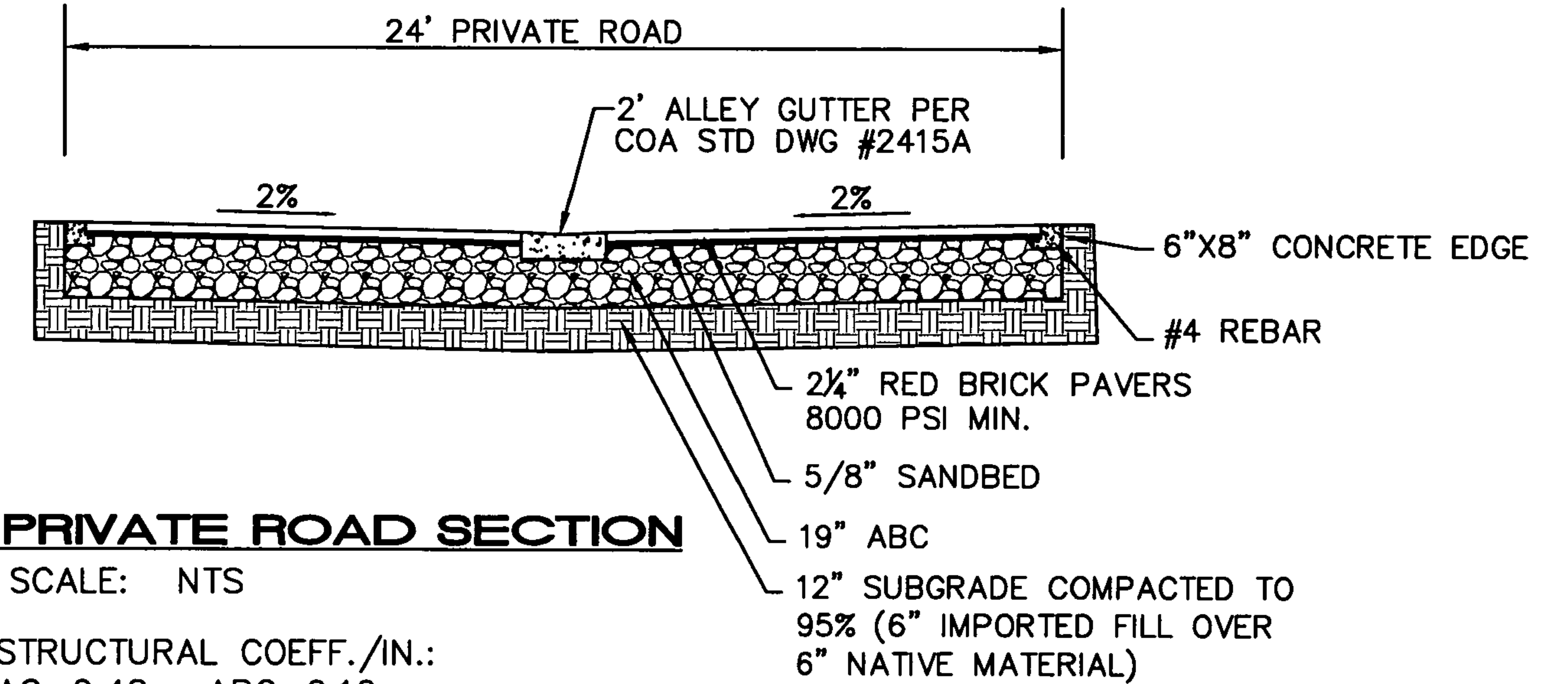
- Home
- Company Info
- Sustainability
- Photo Gallery
- Product Catalog
- Boral Pavers
- Showroom Locator
- Media Exchange
- Important Links
- Pro Services
- Site Search

**REQUEST FOR DESIGN VARIANCE**

ROAD CLASSIFICATION: PRIVATE ACCESS WAY  
 SIDEWALKS: NONE  
 TURNAROUND: AS SHOWN AND APPROVED BY SOLID WASTE AND FIRE MARSHAL  
 ROADWAY SECTION: BRICK PAVING PER SECTION THIS SHEET-- MODIFIED COA STD DWG #2412.



EXISTING 4' SDWK  
 (4' FC-EDGE OF SDWK)



**PRIVATE ROAD SECTION**

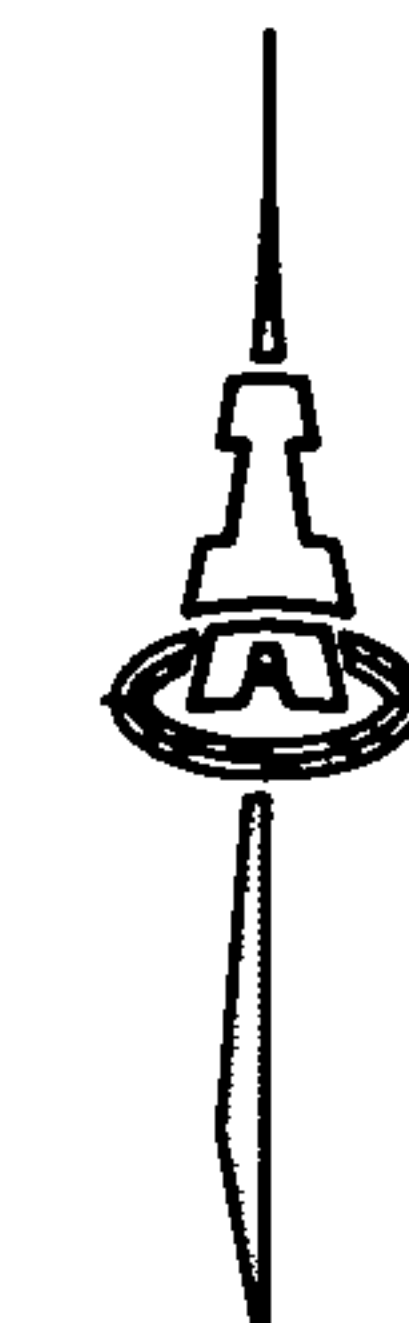
SCALE: NTS

STRUCTURAL COEFF./IN.:  
 AC=0.42 ; ABC=0.10

STRUCTURAL NUMBER:  
 19\*0.10 = 1.90

ORIGINAL PAVING SECTION PER  
 GEO-TEST, INC. REPORT DATED  
 10/29/09:  
 3" AC OVER 6" ABC

STRUCTURAL NUMBER:  
 3\*0.42 + 6\*0.10 = 1.86



SCALE 1"=40'

**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
 Ph: 505-268-8828 Fax: 505-268-2632  
 1728 C-701-VARIANCE.dwg Mar 19, 2010

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**BISHOP'S COMPOUND**

PROJECT # 1007871

**DESIGN VARIANCE EXHIBIT**

Date:	No. Revision:	Date:	Job No.
.			1728
Drawn By:			<b>PAGE</b>
Ckd By:			<b>SH. OF</b>

ALVARADO LIT A GARDENS, UNIT 3  
 FILED MARCH 7, 1995  
 BOOK 555, PAGE 78

BISHOP'S COMPOUND  
PROJECT #1007871

TURNAROUND EXHIBIT  
SU-30

1" = 20'

CITY OF ALBUQUERQUE  
"SOLID WASTE"  
MANAGEMENT DEPARTMENT  
APPROVED

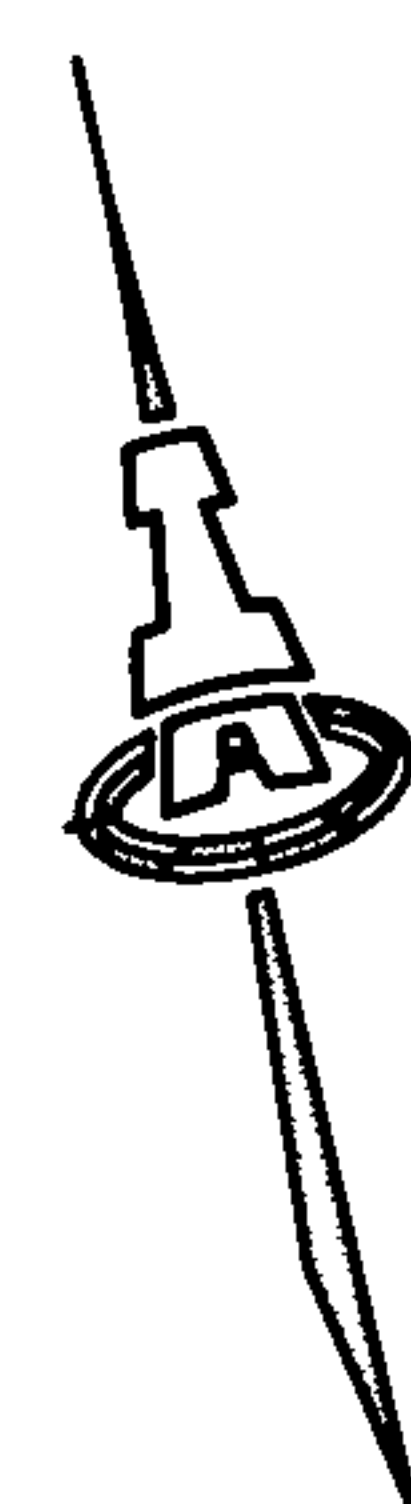
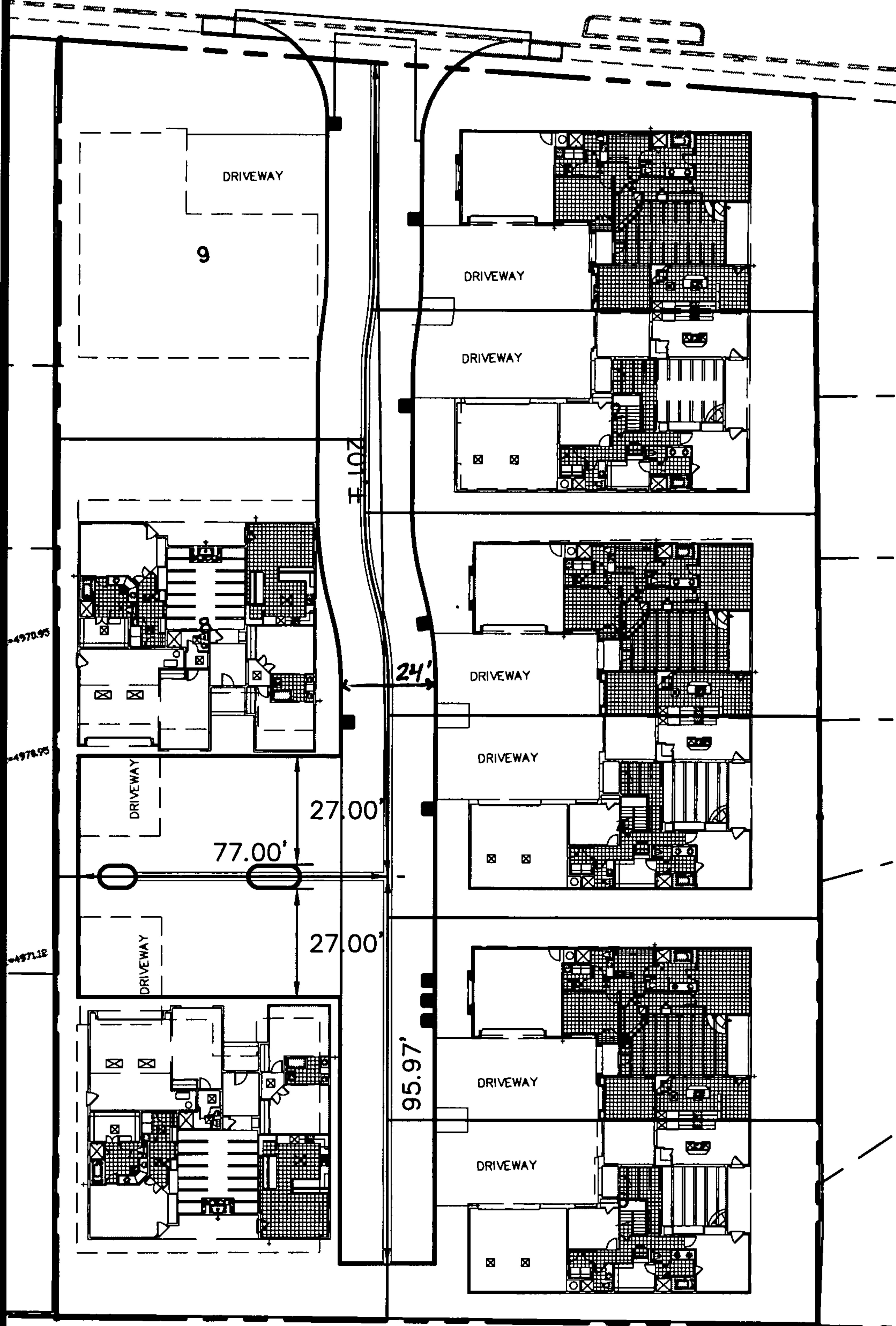
*J. White* 2-25-10

ADRIAN GARCIA  
CITY ENGINEER  
APPROVED  
*[Signature]*  
CITY ENGINEER

21-30



CANDELARIA RD NW



SCALE:  
1"=40'

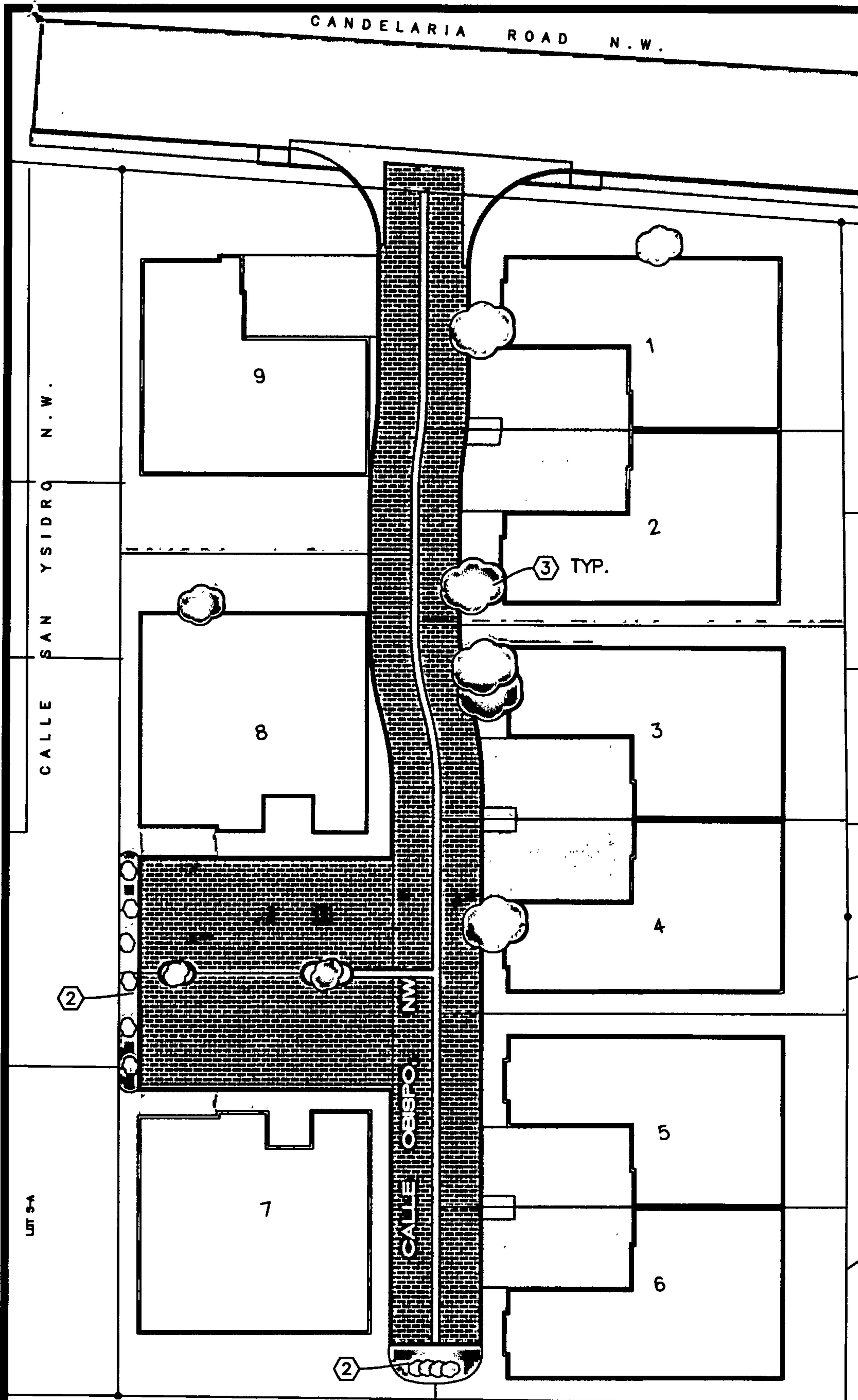
### SOLID WASTE PICK UP & TURN AROUND EXHIBIT



**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
Albuquerque, New Mexico  
1728 C-701-SOLID WASTE.dwg 05.2010

PROJECT BISHOPS COMPOUND  
JOB NO. 1728 BY FCA DATE 01/22/10

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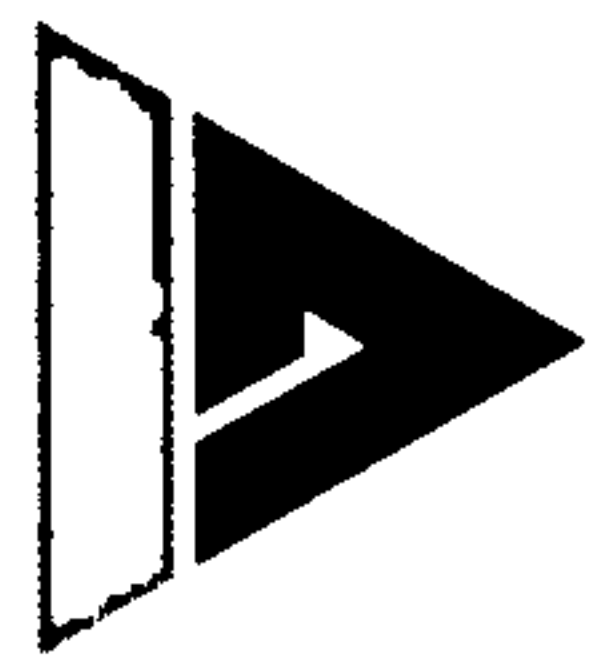


- KEYED NOTES:**
1. NOT USED.
  2. PROPOSED LANDSCAPING TO BE MAINTAINED BY THE HOA.
  3. EXISTING TREE INTENDED TO REMAIN.



SCALE:  
1"=40'

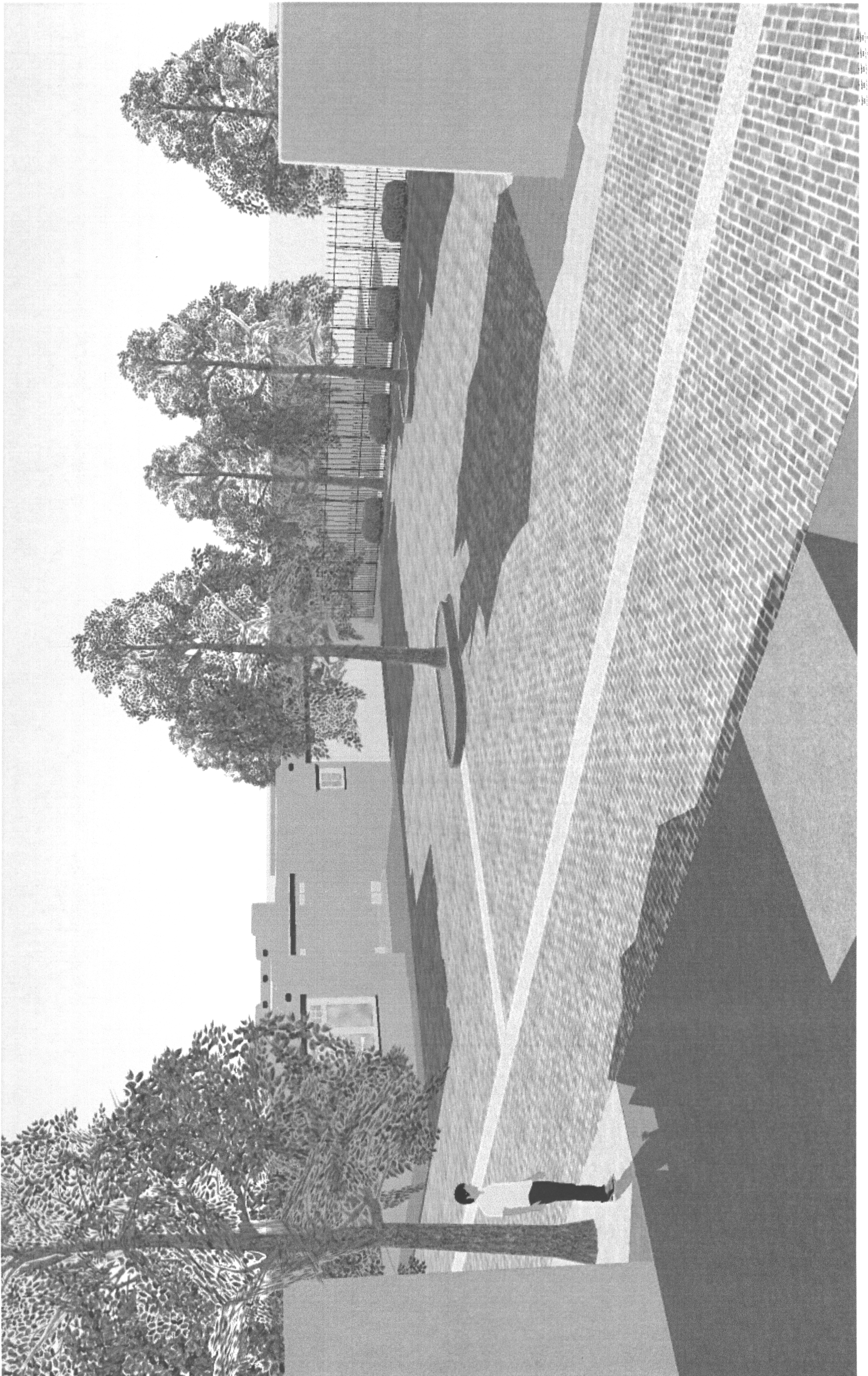
**SITE LAYOUT EXHIBIT - A**



**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 Albuquerque, New Mexico  
 1728 C-701-LANDSCAPE EXHIBIT A.dwg

PROJECT BISHOPS COMPOUND

JOB NO. 1728 BY ANW DATE 03/19/10



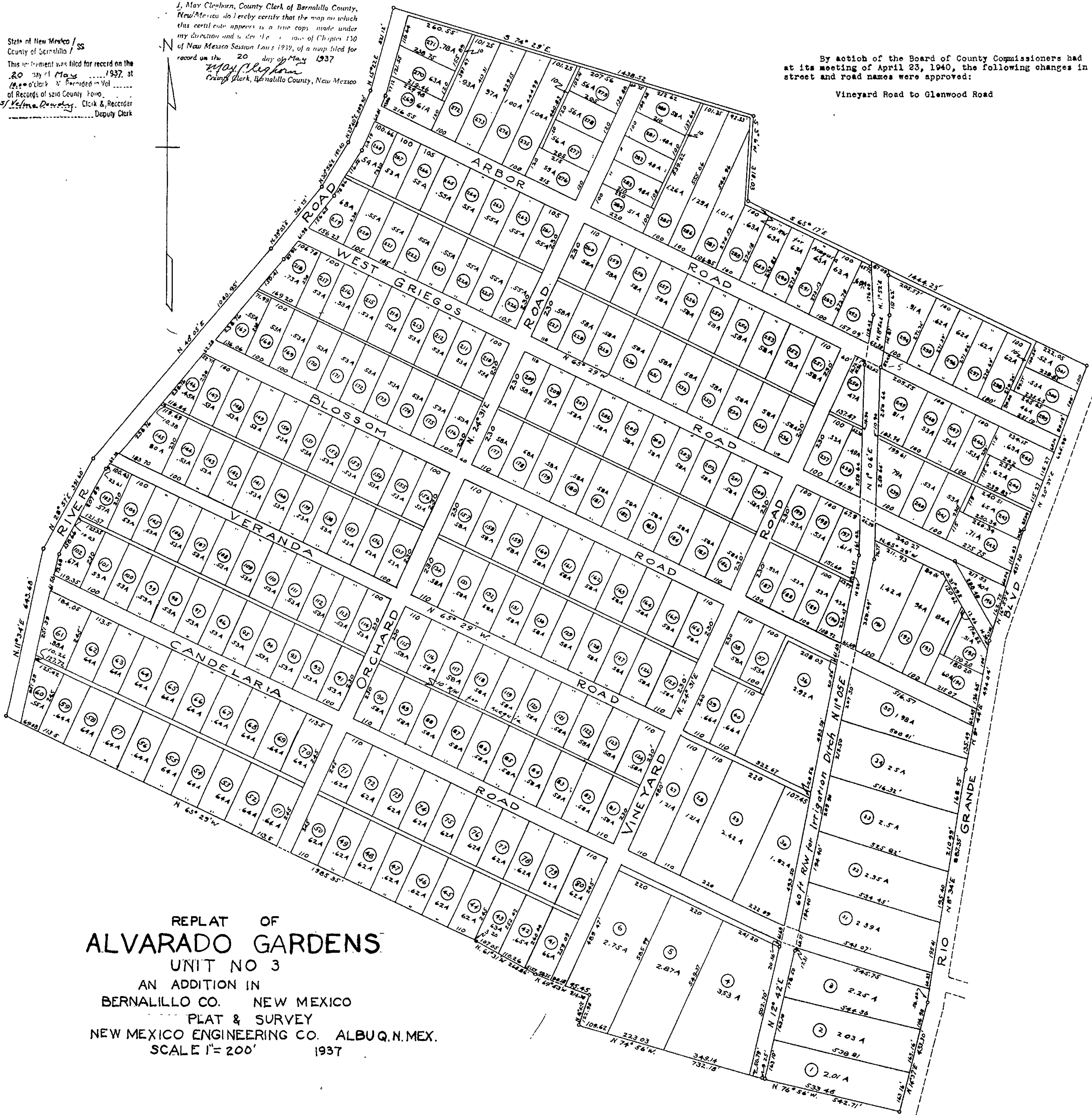
85634

DI-107

State of New Mexico / ss  
County of Bernalillo / ss  
This instrument was filed for record on the  
20 day of May 1937 at  
12:00 o'clock P.M. in Vol. \_\_\_\_\_  
of Records of said County. I am,  
S/ K. M. Downing, Clerk & Recorder  
Deputy Clerk

I, Max Cleburn, County Clerk of Bernalillo County,  
New Mexico do hereby certify that the map on which  
this certificate appears is a true copy made under  
my direction and in the presence of Charles E. D  
of New Mexico Session Laws 1937, of a map filed for  
record on the 20 day of May 1937  
Max Cleburn  
County Clerk, Bernalillo County, New Mexico

By action of the Board of County Commissioners had  
at its meeting of April 23, 1940, the following changes in  
street and road names were approved:  
Vineyard Road to Glenwood Road



REPLAT OF  
ALVARADO GARDENS  
UNIT NO 3  
AN ADDITION IN  
BERNALILLO CO. NEW MEXICO  
PLAT & SURVEY  
NEW MEXICO ENGINEERING CO. ALBUQ. N. MEX.  
SCALE 1" = 200' 1937

The above and foregoing replat of all the "Alvarado Gardens Unit No. 3" addition as the same is shown and described on the original plat of said addition filed in the office of the County Clerk of Bernalillo County, State of New Mexico, on the 6th day of August, 1935 is made and is to be filed of record with the free consent and in accordance with the desire of the undersigned owners and proprietors thereof.

Attest: S/ Robert Sturtevant  
Secretary

The Alvarado Development Company  
S/ M.G. Putnam  
M.G. Putnam, President

STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO ) ss

On this 6 day of May, 1937 before me appeared M.G. Putnam, to me personally known, who, being by me duly sworn, did say that he is President of The Alvarado Development Company, a corporation organized under the laws of the State of New Mexico, and that the seal affixed to the foregoing instrument is the corporate seal of said corporation, and that said instrument was signed and sealed in behalf of said corporation by authority of its Board of Directors, and the said M.G. Putnam acknowledged said instrument to be the free act and deed of said corporation.

My commission expires May 17, 1937

S/ Mabel Browning  
Notary Public, Bernalillo County, New Mexico

I, Edmund Ross, County Surveyor, Bernalillo County, New Mexico, do hereby certify that I have examined the above and foregoing plat of a REPLAT of The ALVARADO GARDENS UNIT No. 3 addition and that the same has been approved by me. Given under my hand this 7th day of May, 1937.

S/ Edmund Ross  
County Surveyor, Bernalillo County, New Mexico.

DI-107

DI-107



**Bishop's Compound**  
**Project #1007871**  
**2/5/09**

**DESIGN VARIANCE AND SIDEWALK WAIVER REQUEST**

We are requesting a design variance for the items shown in the table below.

Proposed:

DPM Standards:

**Street Classification** Private Way (9 lots)

Private Access Local (8+ lots)  
 Private Way (8 lots or less)

**Street Width / Curb** 24' E-E / no curb

27' <sup>1)</sup>-25' F-F <sup>2)</sup> for Access Local / mtbl curb  
 24' for Private Way / no curb

**Easement Width** 24'

44' <sup>1)</sup>-46' <sup>2)</sup> for Access Local  
 32' for Private Way

**Paving Section**

6" conc. edge, 2 1/4" brick <sup>3)</sup>,  
 1" sand, 6' ABC, 24" subgrade  
 (modified Std Dwg #2412)  
 Inverted crown and alley gutter

3" AC over 12" subgrade for Access Local  
 Gravel for Private Way

*Analysis*  
*flex strength*  
*shear strength*  
**Sidewalks**

None

4' sidewalk both sides for Access Local  
 4' sidewalk one side for Private Way

**Turnaround** Plaza w/ median

Hammerhead per Std Dwg 2512

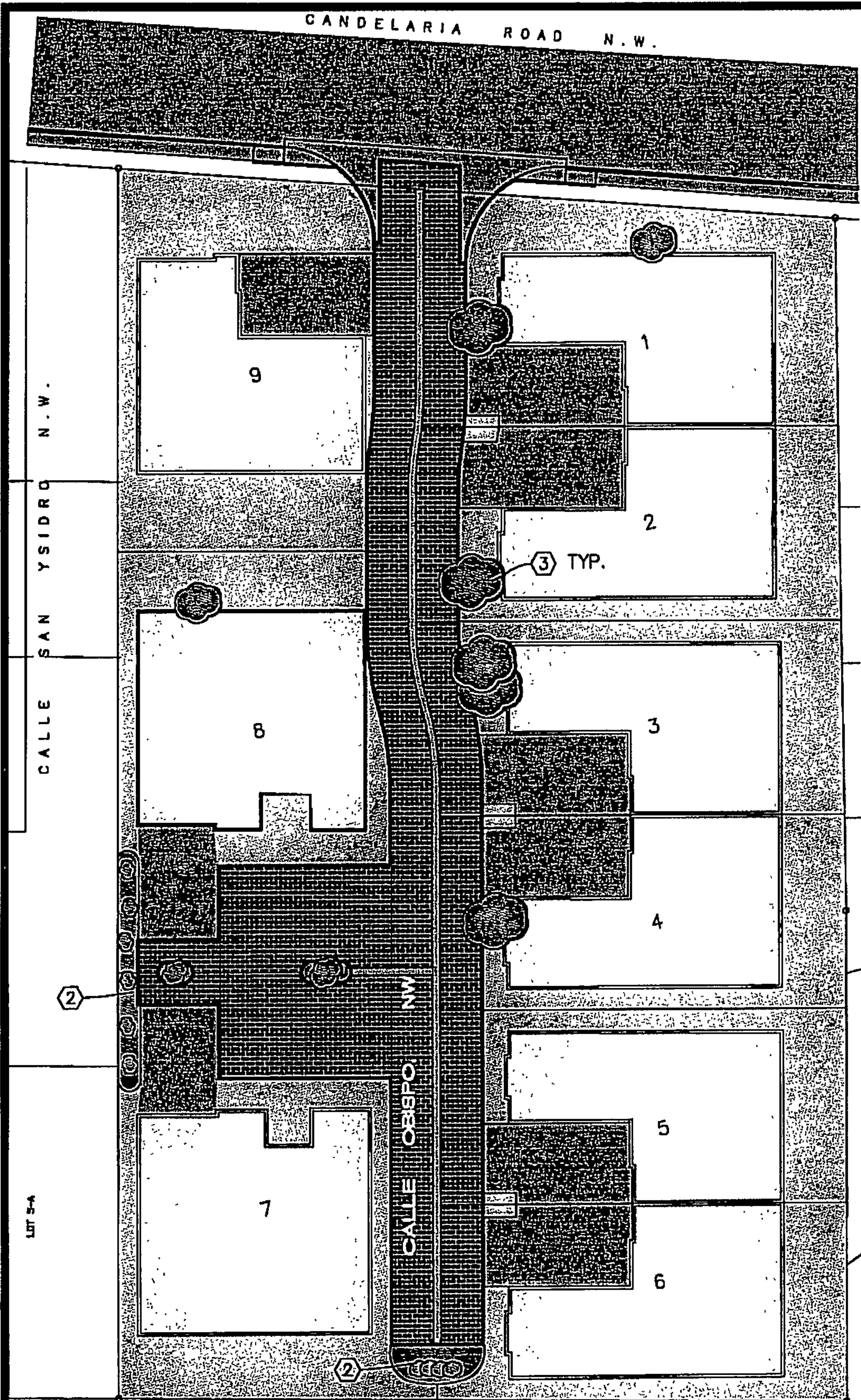
- Solid Waste
- Fire Dept

- 1) Lots fronting on both sides (adjacent to lots 9 & 1)
- 2) Lots fronting on one side only (remaining street length)
- 3) Brick proposed is Boral Paver meeting ASTM C902-09 specifications (per requirements of COA Std. Specifications 108.6.1)

*Plaza Acquia - upgrade from gravel, but less than spec*

*1003026 '04-'05 / As Built? DRG?*  
*1002851*

*Geo-Test*

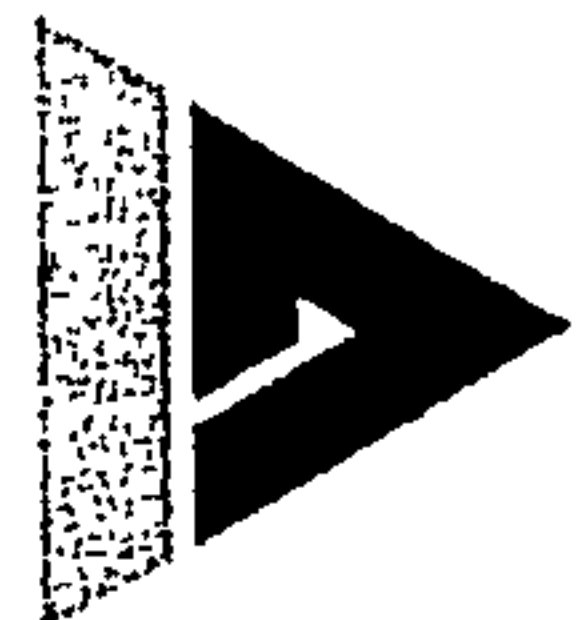


- KEYED NOTES:
1. NOT USED.
  2. PROPOSED LANDSCAPING TO BE MAINTAINED BY THE HOA.
  3. EXISTING TREE INTENDED TO REMAIN.



SCALE:  
1"=40'

SITE LAYOUT EXHIBIT - A



ISAACSON & ARFMAN, P.A.  
Consulting Engineering Associates  
Albuquerque, New Mexico  
1728 C-701-LANDSCAPE ARCHITECTURE

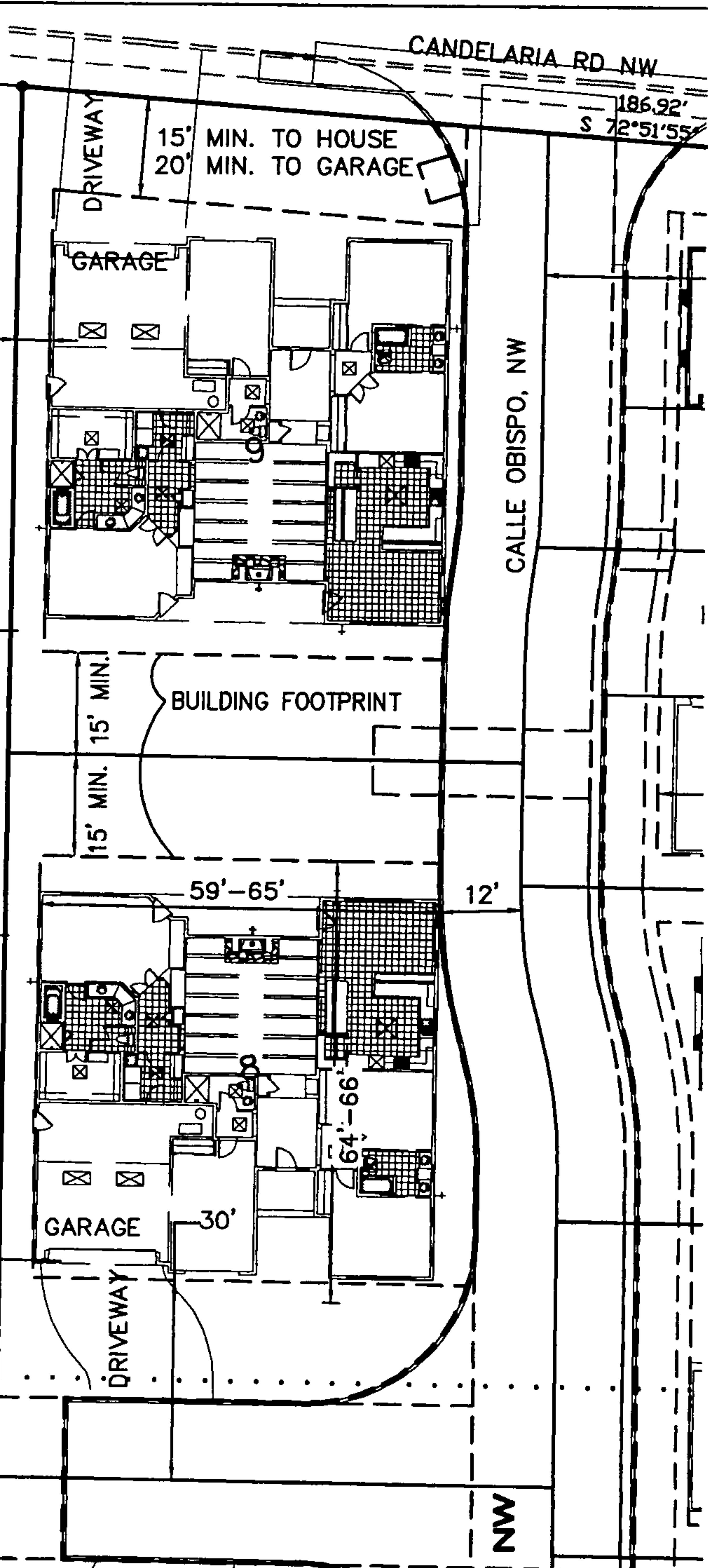
PROJECT BISHOPS COMPOUND

JOB NO. 1728 BY ANW DATE 01/4/10

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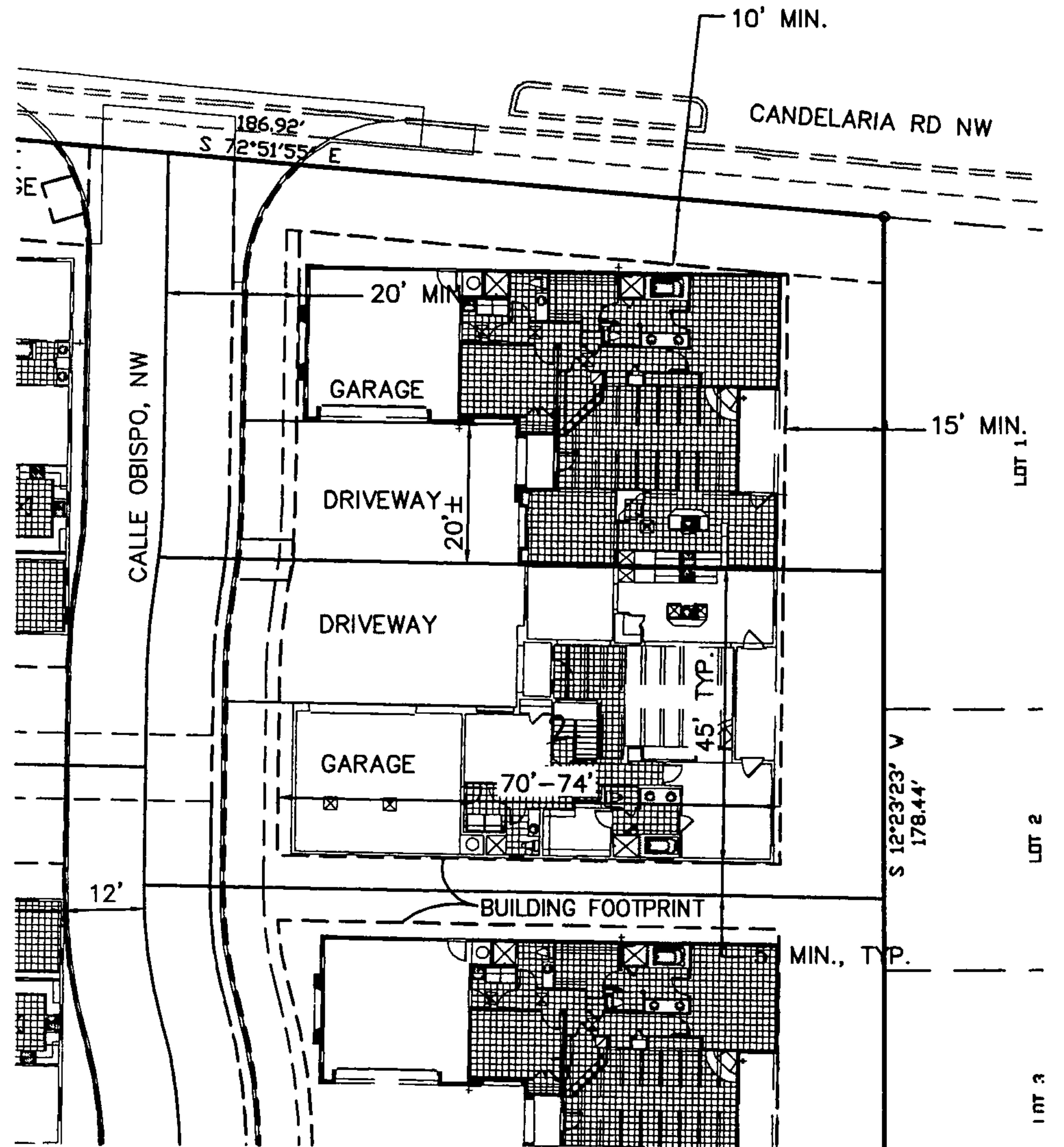
CALLE SAN YSIDRO N.W.  
24' PRIVATE ACCESS

315.45'  
N 13°07'54" E



**TYPICAL LOT LAYOUT LOTS 7-9, SINGLE DETACHED**  
1"=30'

# BISHOP'S COMPOUND PROJECT #1007871 TYPICAL LOT LAYOUT EXHIBIT



**TYPICAL LOT LAYOUT--LOTS 1-6, TOWNHOMES**  
1"=30'

NOTE: FLOOR PLANS SHOWN ARE SCHEMATIC--  
FINAL FLOOR PLANS MAY VARY.

① " " " " II cre large plaza 0' sd  
5 lots

2 @ sketch  
turned all Callaria - 10 lots 24' st.  
now not ① La Plaza Acequia / Calle San Angel  
- large (50' + 100') plazas / 10 lots  
adjacent lateral R-2 (R-T) 5' sd  
large trees

---

② San Patricia Complex  
20 lots - 1 story  
- large trees R-2 (R-T)  
min front setbacks 15'/20'  
38' street w/trees

---

③ Sombra del Rio  
16 lots R-2 (R-T)

④ The Collonade R-T any J\*

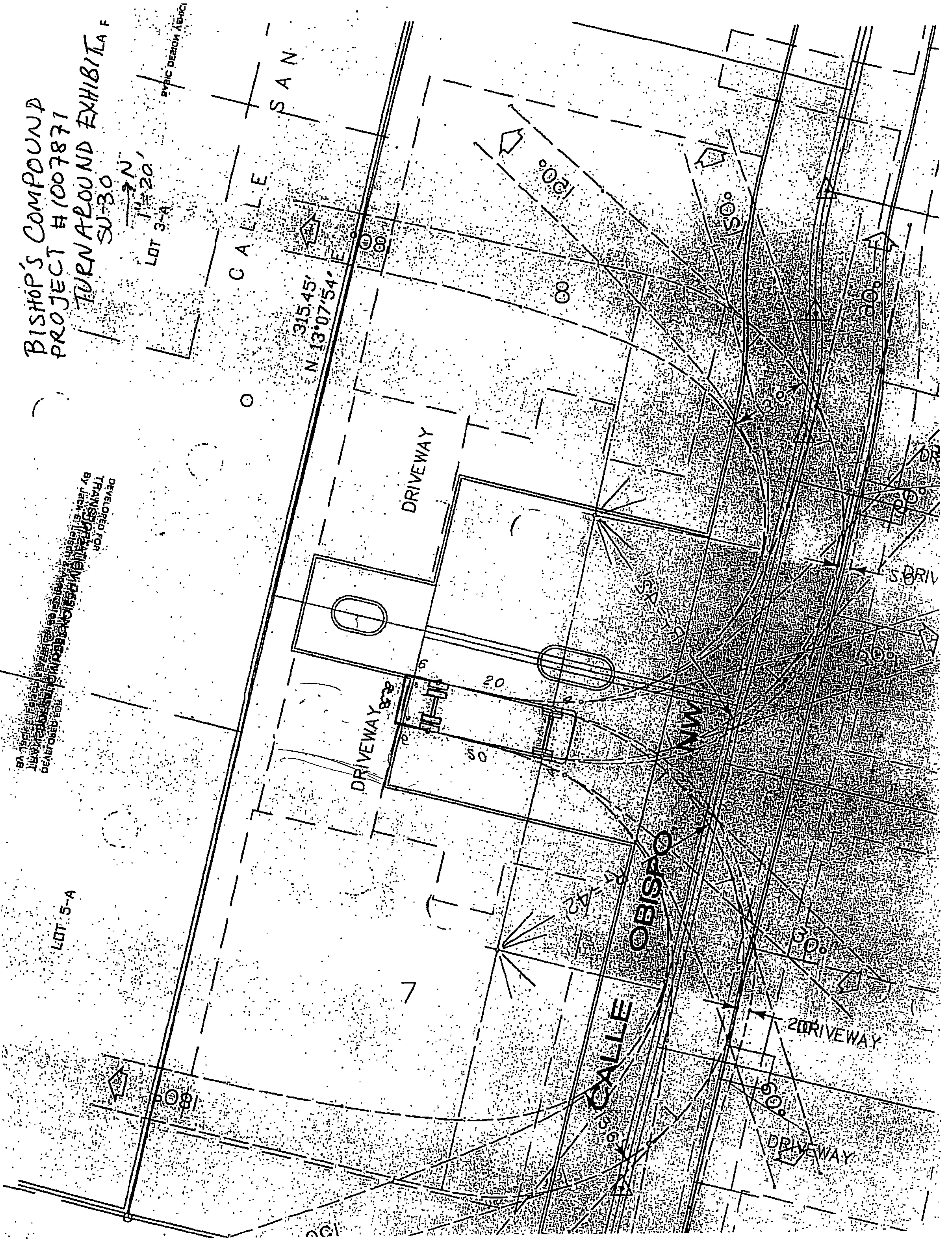
BISHOP'S COMPOUND  
PROJECT #1007871  
TURN AROUND EXHIBIT A F  
SU-30

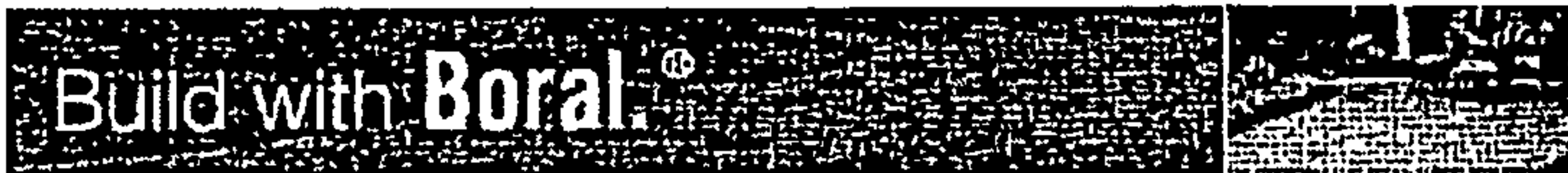
LOT 3-A  
14' x 20'

EVAPORATION TANK

DEVELOPED FOR  
TRANSITION  
BY JACK S. LEISCH

LOT 5-A





Showroom Locator  
Enter Zip Code



HOME - Boral Pavers - ASTM Specifications

## ASTM SPECIFICATIONS

### ASTM C902-09: Pedestrian and Light Traffic Paving Brick

All Boral® Clay Pavers meet or exceed the requirements under ASTM Standard C902: Pedestrian and Light Traffic Paving Brick, Class SX Type I.

- **COMPRESSIVE STRENGTH:** The standard requires an average compressive strength of at least 8,000 psi. Boral® pavers range between 13,000 and 21,000 psi depending on the body composition.
- **ABSORPTION:** The standard requires an average cold water absorption no higher than 8.0%. Boral® pavers range between 3.7% and 7.0% depending on the body composition.
- **ABRASION INDEX:** The standard requires an average abrasion index no higher than 0.11. Boral® pavers range between 0.01 and 0.05 depending on the body composition.
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### ASTM C1272-07: Heavy Vehicular Paving Brick

Boral® 2 3/4" thick heavy vehicular pavers meet or exceed the requirements under ASTM standard C1272, Type F, Application PX. Following are the differences between C902-09 and C1272-07:

- **COMPRESSIVE STRENGTH:** The HV standard requires an average compressive strength of at least 10,000 psi. Current production Boral® HV pavers are over 13,000 psi. These compressive strengths are relatively low due to the units being produced on the extrusion equipment at Plant 011. This should not be considered a negative feature when compared to the actual breaking load of the units.
- **BREAKING LOAD:** The HV standard requires an average minimum breaking load of 475 pounds. Boral® HV pavers are rated over 1,600 pounds. Breaking load signifies the maximum stress required to break the paver in half when subjected to three-point loading.
- **ABSORPTION:** The HV standard requires an average cold water absorption no higher than 6.0%. Boral® HV pavers range between 4.5% and 5.5% depending on the body composition.

All of the 2 1/4" thick pavers, except the Parquet Tan, Peachtree Avenue, Red and Burgundy, also meet the specification requirements for heavy vehicular applications using a rigid base instead of a sand setting bed. They would be specified ASTM C1272, Type R, Application PX.

All of the Antique edge finish products comply with Application PA (not Application PX) for Maximum Permissible Extent of Chippage from Edges and Corners.

#### Boral Bricks



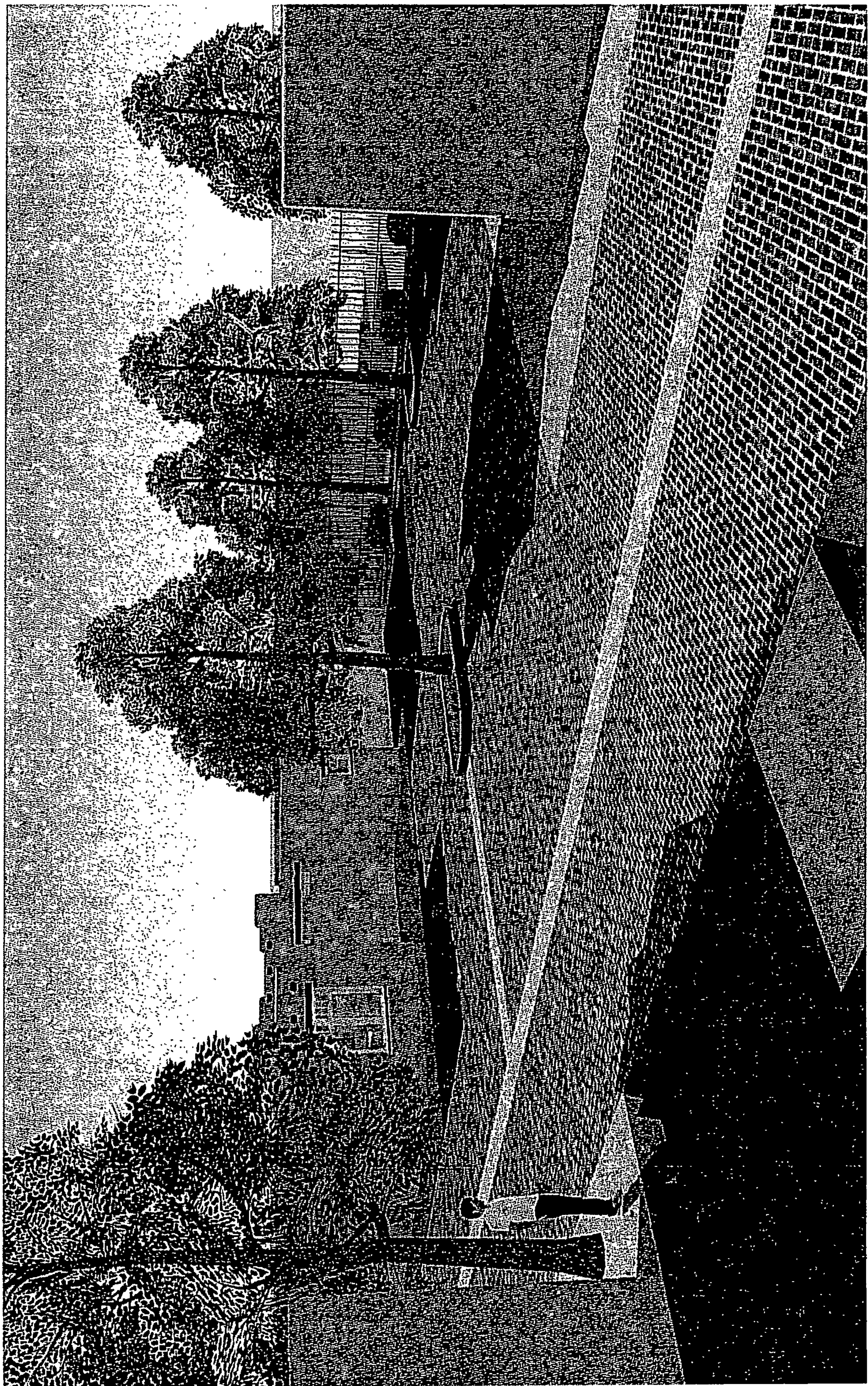
#### Boral Pavers

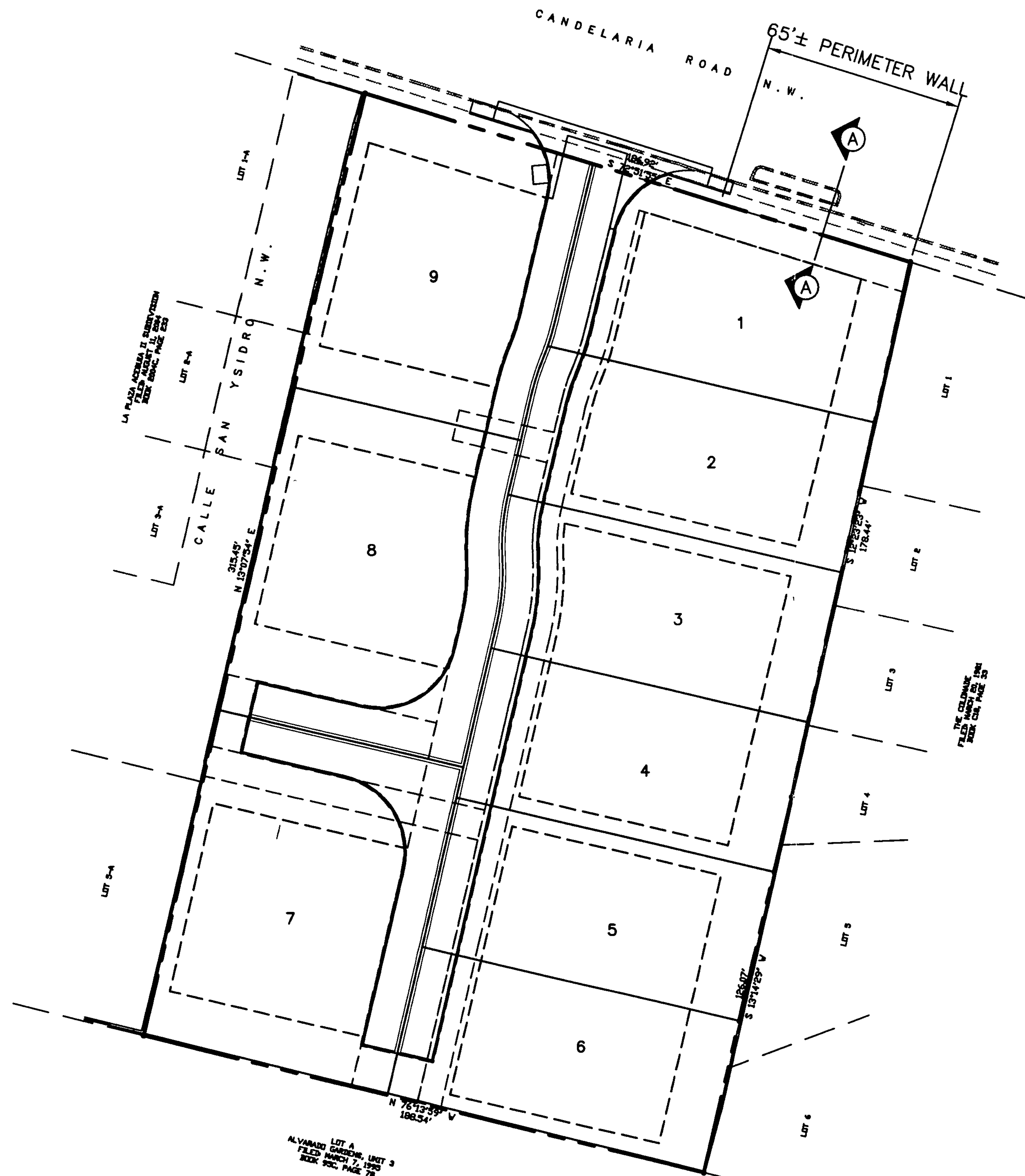


#### New at Boral



- Home
- Company Info
- Sustainability
- Photo Gallery
- Product Catalog
- Boral Pavers
- Showroom Locator
- Media Exchange
- Important Links
- Pro Services
- Site Search





SCALE 1"=40'

**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
 Ph. 505-268-8828 Fax. 505-268-2632  
 1728 C-701-PERIM WALL.dwg Dec 10,2009

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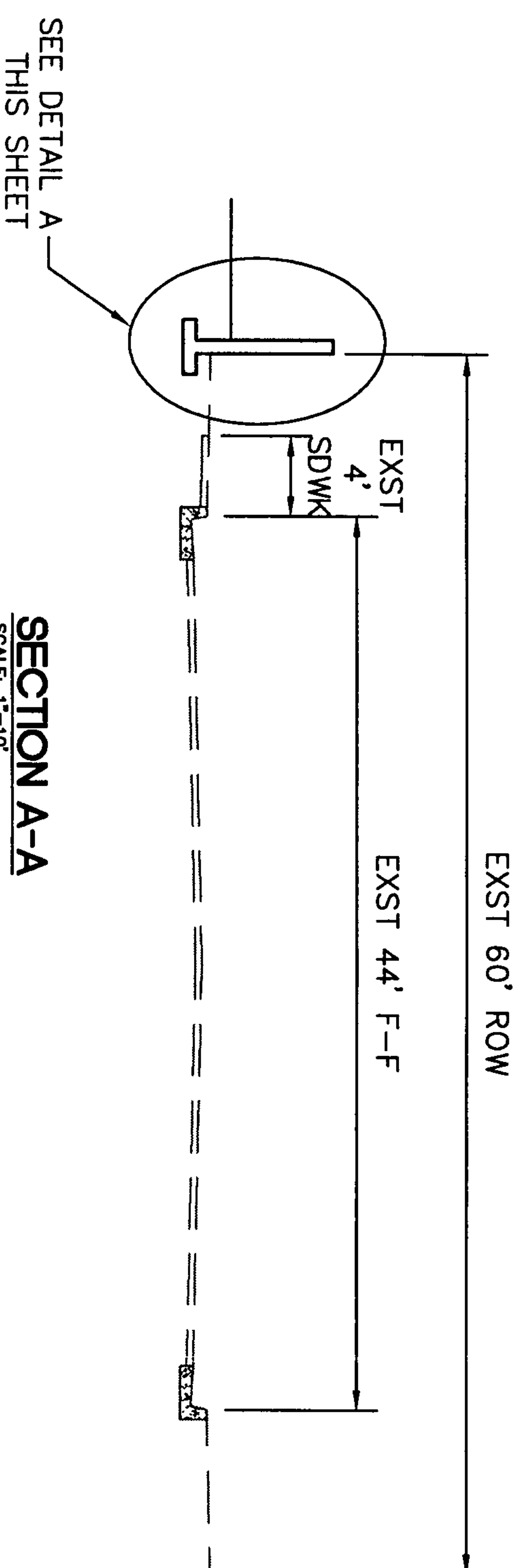
**BISHOP'S COMPOUND**

PROJECT # 1007871

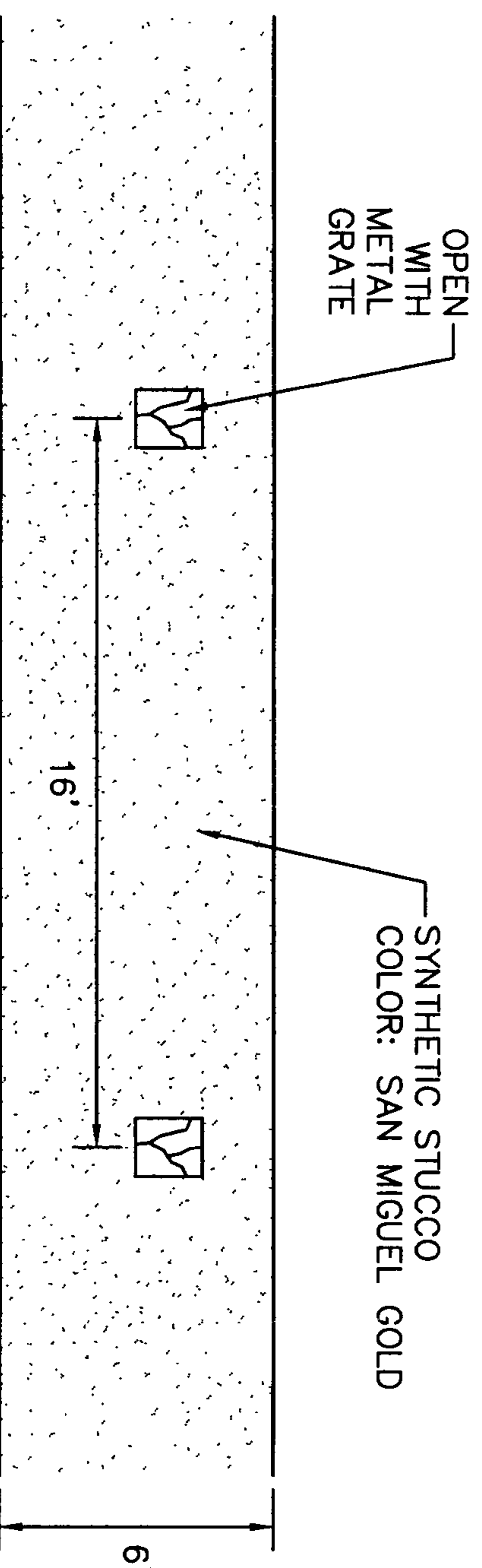
**PERIMETER WALL PLAN**

Date:	No.	Revision	Date	Job No.
Drawn By:				<b>PAGE</b>
Ckd By:				
				<b>SH.1 OF 2</b>

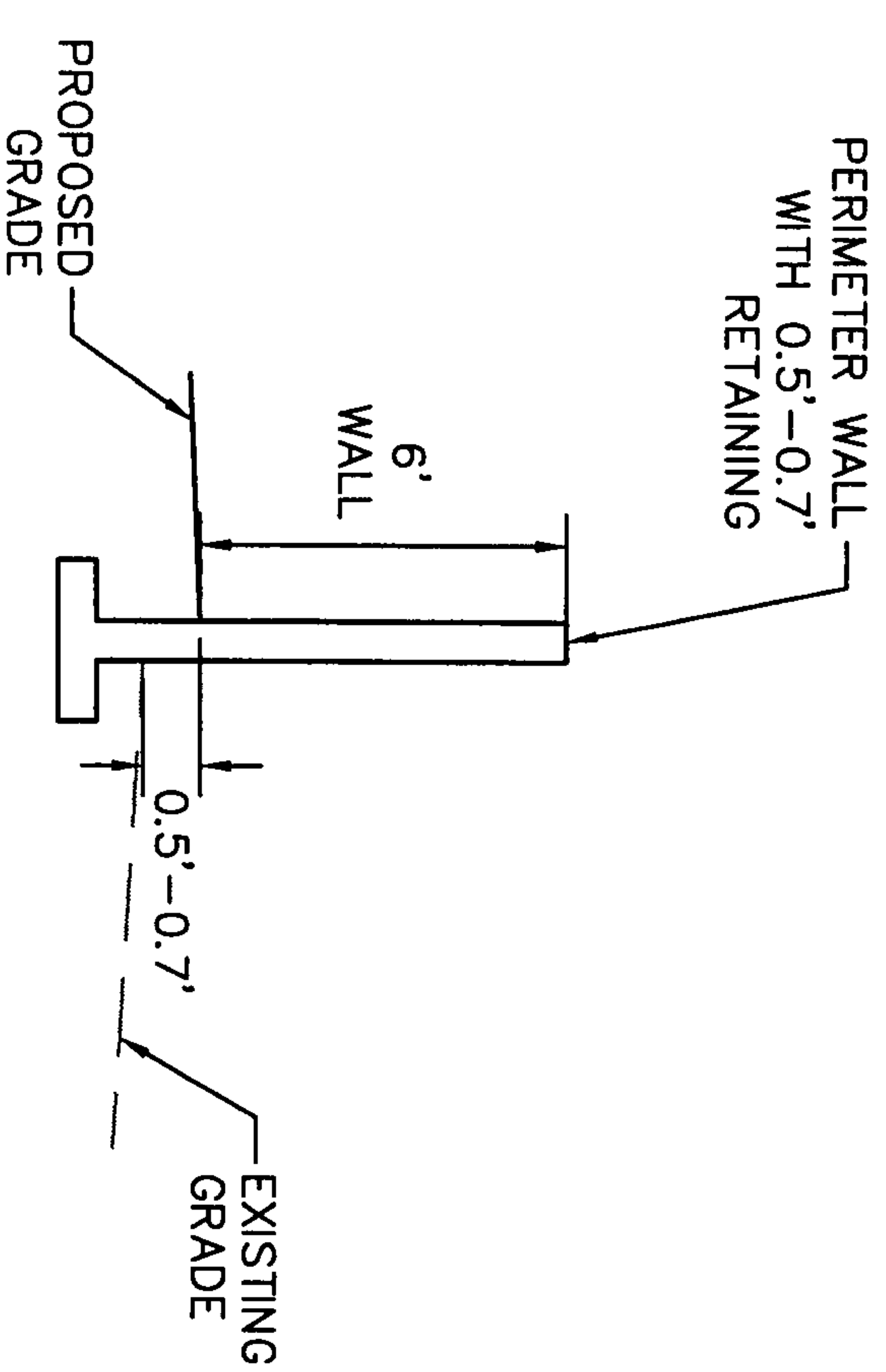




**SECTION A-A**  
SCALE: 1"=10'



**PERIMETER WALL ELEVATION**  
SCALE: 1"=5'



**DETAIL A**  
SCALE: 1"=5'

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128<sup>1/2</sup> Monroe Street N.E.  
Albuquerque, New Mexico 87108  
PH: 505-268-8828 Fax: 505-268-2632  
1728 C-701-PERIM WALL.dwg Dec 08, 2009

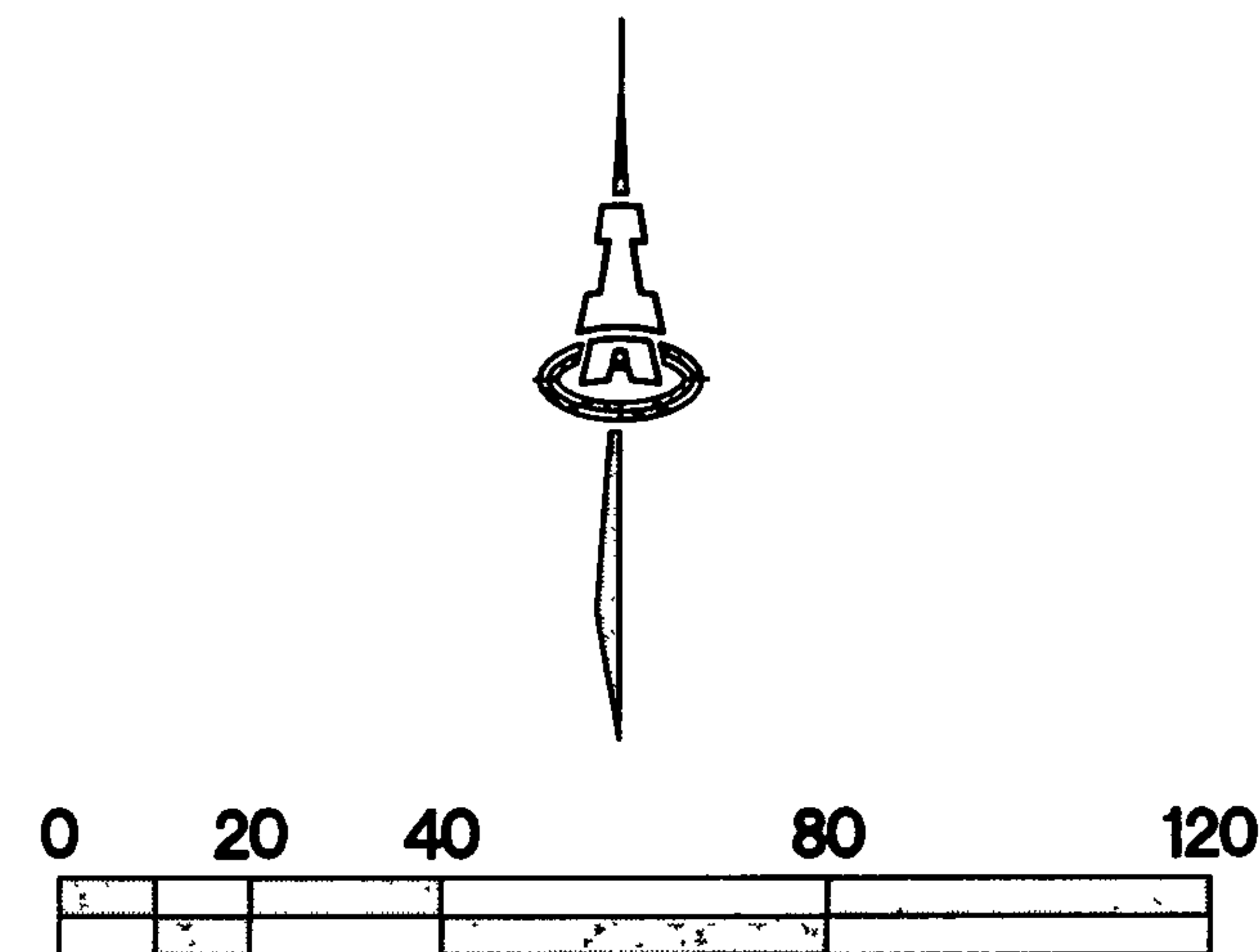
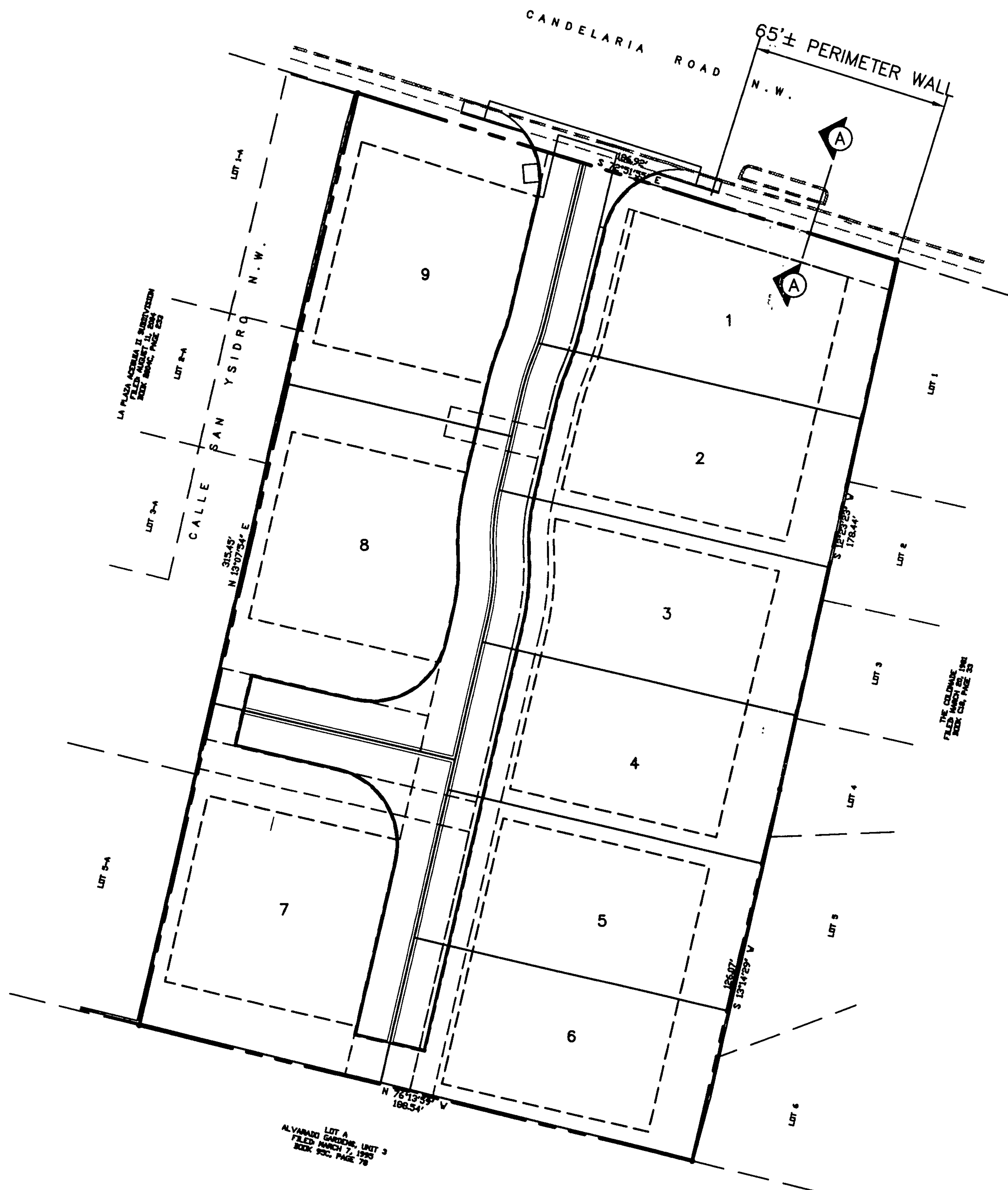
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**BISHOPS COMPOUND**

PROJECT # 1007871

**PERIMETER WALL SECTION + ELEVATION**

Date:	No. Revisions	Date	Job No.
Drawn By:			<b>PAGE</b>
Ckd By:			
			<b>SH.2 OF 2</b>



SCALE 1"=40'

**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
 PH. 505-268-8828 Fax. 505-268-2632  
 1728 C-701-PERIM WALL.dwg Dec 10,2009

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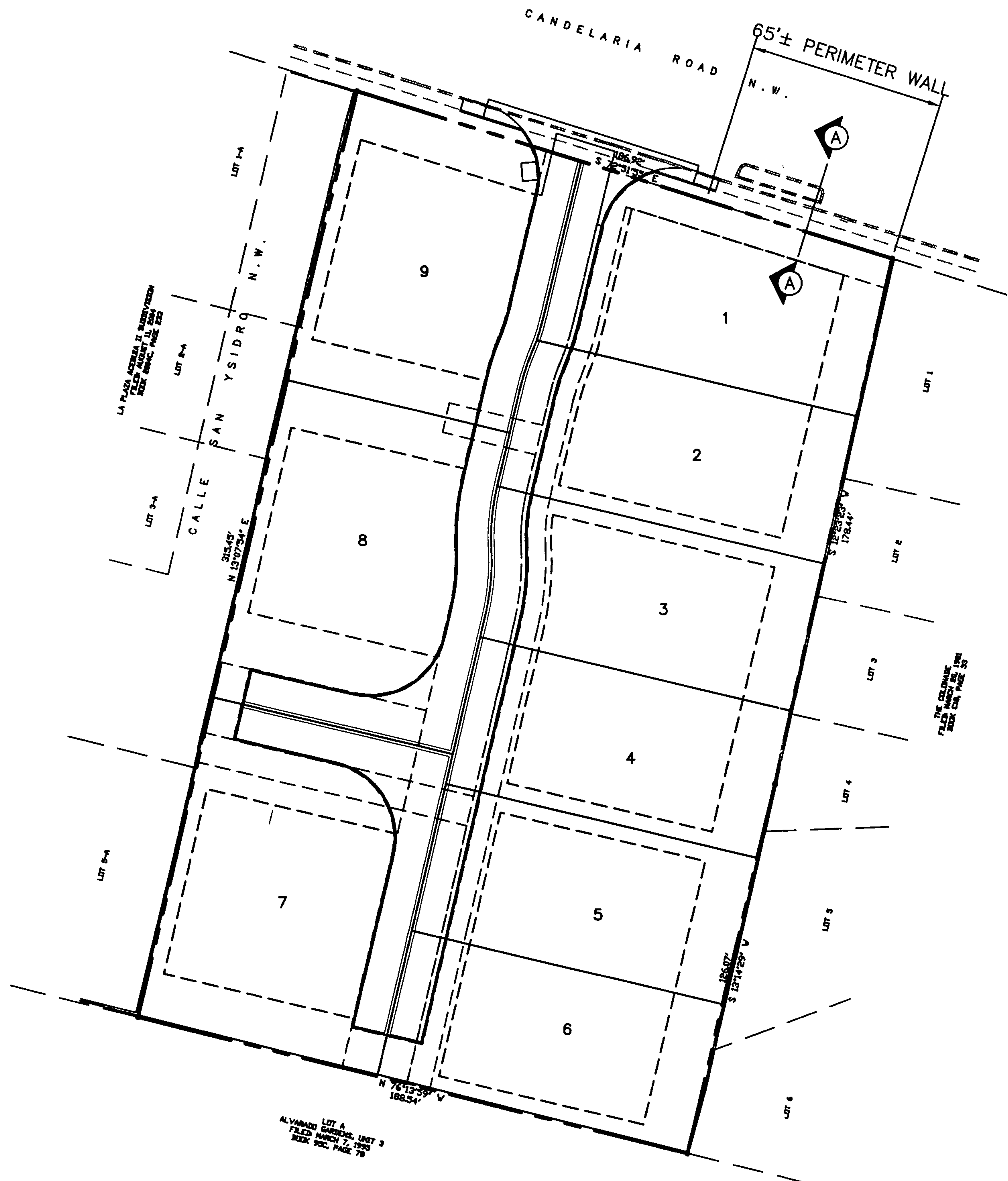
**BISHOP'S COMPOUND**

PROJECT # 1007871

**PERIMETER WALL PLAN**

Date:	No.	Revision:	Date:	Job No.
Drawn By:				<b>PAGE</b>
Ckd By:				
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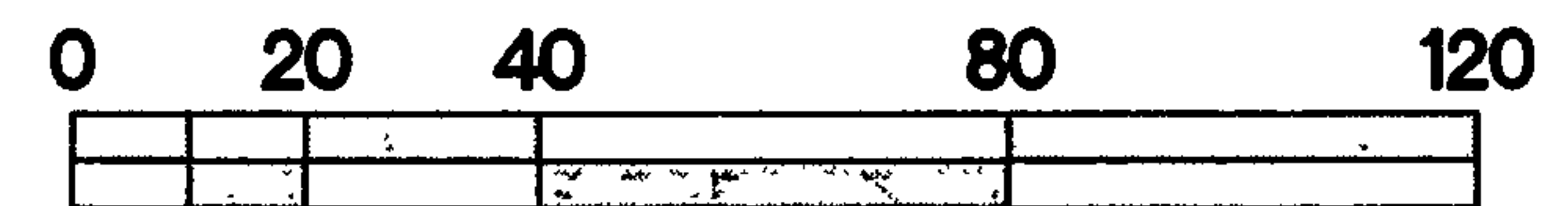
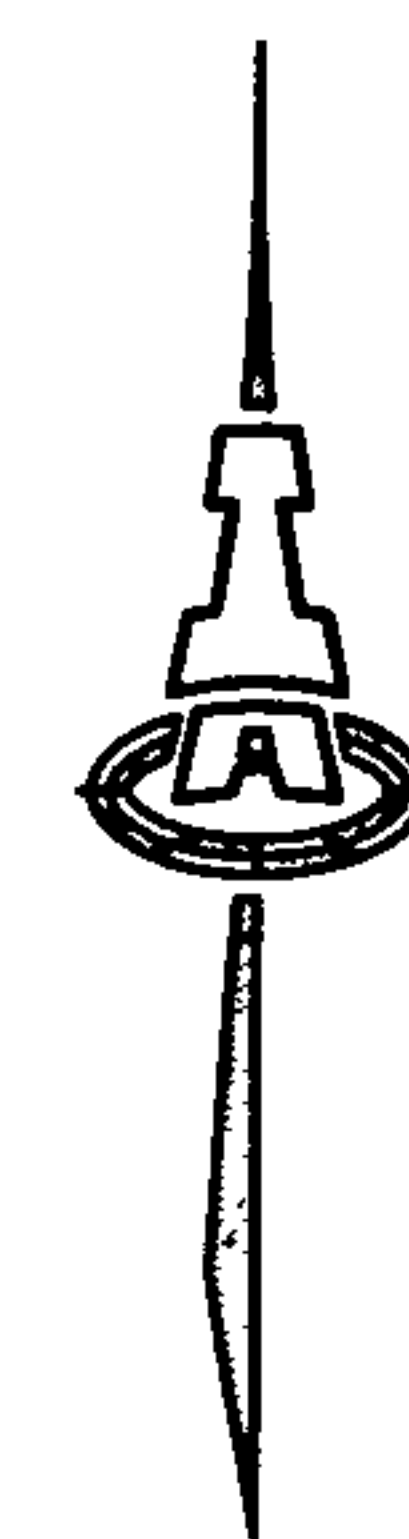




LA PLAZA ANTONIO J. SUAREZ-CORON  
 FILED MARCH 11, 1994  
 BOOK 988C, PAGE 228

THE COLONIAL  
 FILED MARCH 11, 1994  
 BOOK 988C, PAGE 229

LOT A  
 ALVARADO GARDENS, UNIT 3  
 FILED MARCH 7, 1993  
 BOOK 982, PAGE 78



SCALE 1"=40'

**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
 Ph. 505-268-8828 Fax. 505-268-2632  
 1728 C-701-PERIM WALL.dwg Dec 10, 2009

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**BISHOP'S COMPOUND**  
 PROJECT # 1007871

**PERIMETER WALL PLAN**

Date:	No.	Revision:	Date:	Job No.
Drawn By:				<b>PAGE</b>
Ckd By:				
				<b>sh. 1 of 2</b>



**INFRASTRUCTURE LIST**

(Rev. 9-20-05)

**EXHIBIT "A"**

**TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**Bishop's Compound**

**PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**A portion of Lots 2 and 3, Alvarado Gardens, Unit 3**

**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed	Constructed Under	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
DRC #	DRC #								
<input type="text"/>	<input type="text"/>	24' E-E	Residential Paving (Private)	Calle Obispo (24' access easement)	Candelaria Rd	South end of property	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>	8"	Sanitary Sewer	Calle Obispo (22' WL & SAS easement)	Candelaria Rd	South end of street	/	/	/
<input type="text"/>	<input type="text"/>	6"	Waterline	Calle Obispo (22' WL & SAS easement)	Candelaria Rd	South end of street	/	/	/
<input type="text"/>	<input type="text"/>	6"	Waterline (connection to existing 6" WL)	Calle Obispo stub street (24' WL easement)	Calle Obispo	West end of stub street--tie in to exst 6" WL	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature      Date							City User Dept. Signature      Date		

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

1. Grading and Drainage Certification required per DPM (prior to release of financial guarantees) to include private retaining walls as defined on the approved grading plan.
2. All water to include fire hydrants, valves, and appurtenances per DPM.
3. Residential lighting per DPM.
4. Perimeter walls per DRB.
5. \_\_\_\_\_
6. \_\_\_\_\_

**AGENT / OWNER**

**DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

Åsa Nilsson-Weber  
NAME (print)


\_\_\_\_\_  
DRB CHAIR - date

\_\_\_\_\_  
PARKS & GENERAL RECREATION - date

Isaacson & Arfman, P.A.  
FIRM

\_\_\_\_\_  
TRANSPORTATION DEVELOPMENT - date

\_\_\_\_\_  
AMAFCA - date

  
SIGNATURE - date

\_\_\_\_\_  
UTILITY DEVELOPMENT - date

\_\_\_\_\_  
- date

\_\_\_\_\_  
CITY ENGINEER - date

\_\_\_\_\_  
- date

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO: 1007871

AGENDA ITEM NO: 2

SUBJECT:

PRELIMINARY PLAT  
SIDEWALK WAIVER  
SUBDIVISION DESIGN VARIANCE

ENGINEERING COMMENTS:

The design variance request is incomplete. Based on the information provided, variances would be required for roadway materials, turnaround design, and street width. Appropriate justification must be included for each request.

Provide an exhibit showing the location of sidewalk and defining the distance from face of curb to the property line. Right of way dedication may be required.

The documentation included with this request indicates that the proposed private street would be brick paved. This is not indicated as such within the infrastructure list. Additional information would be required prior to any design variance for roadway materials.

Table 23.2.2 of the *Development Process Manual* states “Construction and right-of-way standards shall be equal to or better than adopted City Standards for streets and sidewalks where there are more than 8 dwellings.” Insufficient justification is provided for the design variance request. Consider utilizing infrequent or intermittent parking design. See Tables 23.2.1C and 23.2.1D of the *Development Process Manual*.

Clarify the width and location of the private access easement (defined in keyed note B). Define the beneficiaries of the proposed easement.

An appropriate turnaround (per City of Albuquerque Standard Specifications) must be provided. The turnaround shown on the plat would require a design variance. Provide an exhibit demonstrating adequate turning radii is provided with this turnaround. Written approval from the Refuse Division and Fire Marshal is also required.

Additional information must be provided regarding lot 9 accessing Rio Grande Blvd. Please note that any curb cut for lot 9 must be at least 25 feet from the point of intersection of the two curblines extended. See Chapter 23, Section 6, Part A of the *Development Process Manual*.

RESOLUTION:

APPROVED \_\_\_; DENIED \_\_\_; DEFERRED \_\_\_; COMMENTS PROVIDED \_\_\_; WITHDRAWN \_\_\_

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED:

Kristal D. Metro  
Transportation Development

505-924-3991

DATE: JANUARY 27, 2010



# DRB PUBLIC HEARING SIGN IN SHEETS

PROJECT #: 1007871 AGENDA# 2 DATE: 1/27/10

1. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
2. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
3. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
4. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
5. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
6. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
7. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
8. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
9. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
10. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
11. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
12. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
13. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
14. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
15. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
16. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
17. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

NORTH VANEY ROAD WIDTHS w/ TREES  
(10 HOUSES)  
LA PUZZA AREA

12'-0"



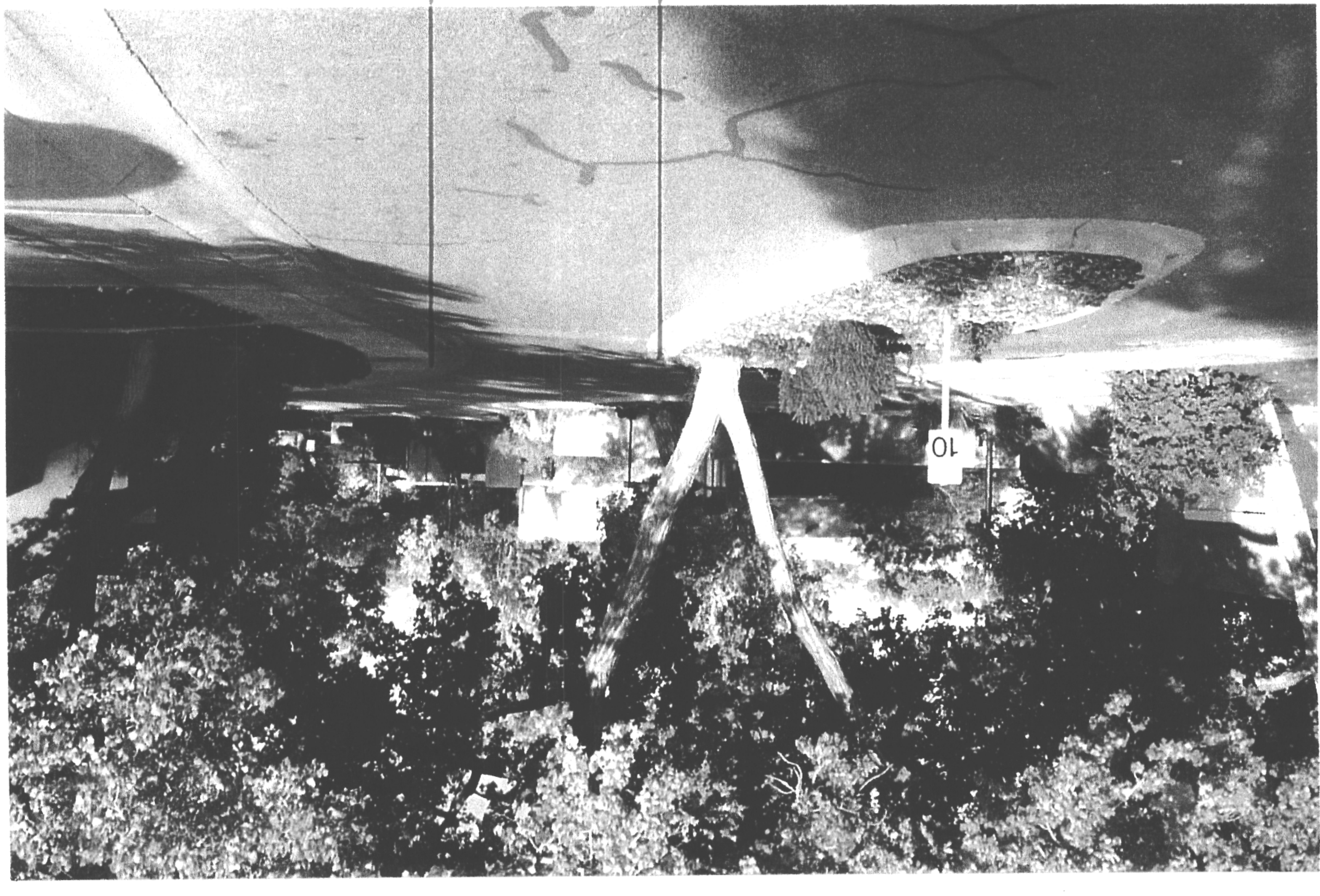
20  
CABE SAN PATRICIO  
(32 HOUSES)

12'-6"



RIO GRANDE COMPOUND  
(48 HOUSES)

10'-4"





## DRB CASE ACTION LOG *(Preliminary/Final)*

This sheet ***must*** accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

DRB Application No.: 09DRB-70379

Project # 1007871

Project Name: *Alvarado Gardens Unit 3 TBKA Bishops Compound*

Agent: *Isaacson & Arfman PA*

Phone No.:

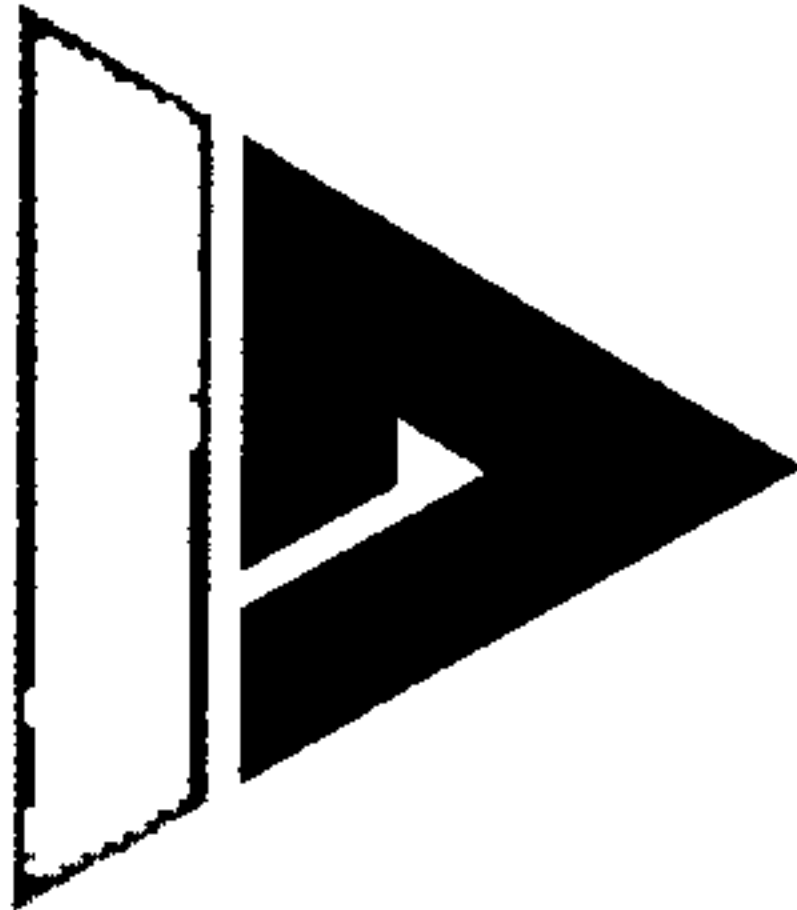
\*\*Your request was approved on \_\_\_\_\_ by the DRB with delegation of signature(s) to the following departments.\*\*

### OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED:

- TRANSPORTATION:** \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
- ABCWUA:** \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
- CITY ENGINEER / AMAFCA:** \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
- PARKS / CIP:** \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
- PLANNING (Last to sign):** \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Planning must record this plat. Please submit the following items:**

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). **RECORDED DATE:** \_\_\_\_\_
- Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**



# Isaacson & Arfman, P.A.

Consulting Engineering Associates

*Thomas O. Isaacson, PE & LS · Fred C. Arfman, PE · Ása Nilsson-Weber, PE*

January 19, 2010

Mr. Matthew Conrad  
Division Manager  
Code Enforcement  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87102

**RE: Bishop's Compound  
Project #1007871/ Zone Atlas G12**

Dear Mr. Conrad:

Isaacson & Arfman, P.A., as agents for Bishop's Compound, LLC, would like to request a meeting with you and Jack Cloud regarding this proposed nine dwelling-unit residential subdivision in the North Valley south of Candelaria Road and west of Rio Grande Blvd. There are three duplex townhomes and three single detached homes proposed along a private drive. Please see attached Exhibit 'A' for the proposed layout of the site.

At the DRB hearing for preliminary plat, Jack Cloud had comments regarding the setback requirements, and we would like to verify how City Zoning interprets building setbacks for the referenced subdivision. The units were designed with the setbacks being to the property line rather than to the edge of the street (easement line). Many existing developments in this North Valley area have been approved with setbacks measured to the property line rather than the edge of the private drive. Please see the attached examples of existing subdivisions where setbacks are to the property line.

Per Jack Cloud's suggestion, we would like to set up a meeting with you and Jack Cloud on Friday, January 22 or Monday, January 25 to discuss these setback issues. Please call me at 268-8828 or email me at [asaw@iacivil.com](mailto:asaw@iacivil.com) and let me know what time will work for you. Thank you.

Sincerely,

**ISAACSON & ARFMAN**

Ása Nilsson-Weber, PE

Attachments

cc: Jack Cloud

## POLICY

### **Zoning Regulations Applicable To a Premises Abutting an Access Easement**

**A premises which has access only by an easement shall conform to all provisions of the zone in which it is located and as found in the Comprehensive City Zoning Code, ROA 1994.**

**An access easement is characterized as a street, a thoroughfare primarily devoted to vehicular use.**

**For the purpose of establishing the front yard of the premises adjacent to an access easement, the premise face abutting the access easement will normally be considered the front. Premises having access by multiple easements shall determine the front by concurring with the front access easement in use by existing adjacent properties.**

**Certain premises require extraordinary consideration and application of standards in order to build for allowed use, due to the unusual or atypical relative configuration of lot subdivision. Where subdivision has created lots with a lot width greater than lot depth, and application of standard front and rear setback regulations will then result in a building footprint less than typical of that allowed by a conventional lot configuration for the zone category, the Zoning Enforcement Officer may declare an appropriate side lot line to be the front, and the access easement to be the street side. Such declaration will be recorded by the owner as a property restriction with the office of Bernalillo County Clerk prior to issuance of building permit, with a copy of the approved site plan and any attached documentation from the Zoning Enforcement Officer.**

**This policy offers an administrative remedy other than public hearing for assuring that properties are developable by allowing the Zoning Enforcement Officer to recognize the extraordinary lot configuration and to provide immediate relief through the construction plan submittal process. The policy is consistent with Section 14-16-3-4(D), Nonconforming Lot Size, and with stated City of Albuquerque policies encouraging infill.**

**This policy expands and modifies the declaratory ruling dated July 23, 1979.**

**See also the policy "Zoning Regulations Applicable To Setback at Street".**

**Robert E. Romero  
Zoning Enforcement Manager  
March 23, 2000**

**Ellen Concini  
Zoning Enforcement Manager  
September 22, 2003**

**POLICY**

**Zoning Regulations Applicable To Setback at Street**

“Setback” means “the shortest distance between a structure and a lot line or future street line”, (Section 14-16-1-5(B), Definitions).

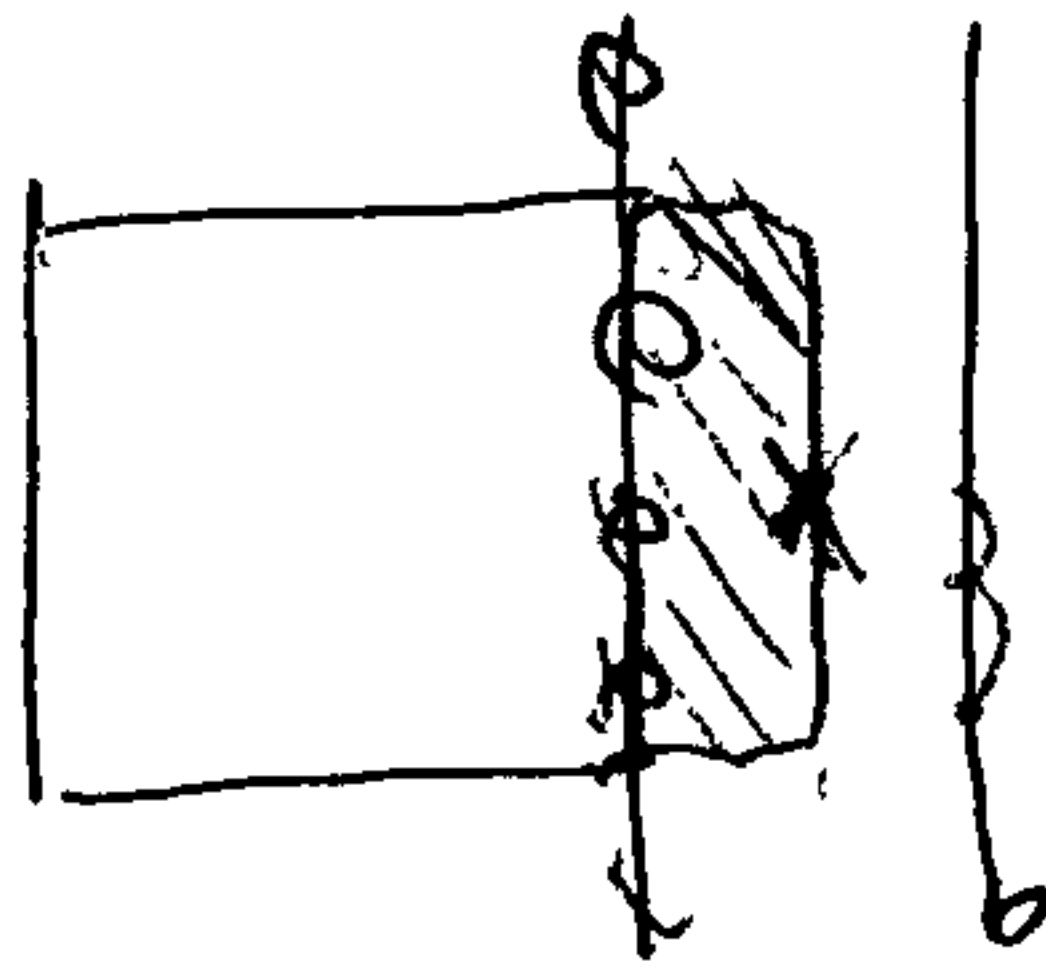
The phrase “future street line” clarifies that the setback at a public street is measured from the right-of-way line that is the corresponding lot line, anticipating improvements including widening within the public property.

For properties abutting private streets, setback is measured from lot line, except that a structure shall not be permitted within the private street right-of-way. Where a site development plan assesses a setback requirement, that standard shall apply.

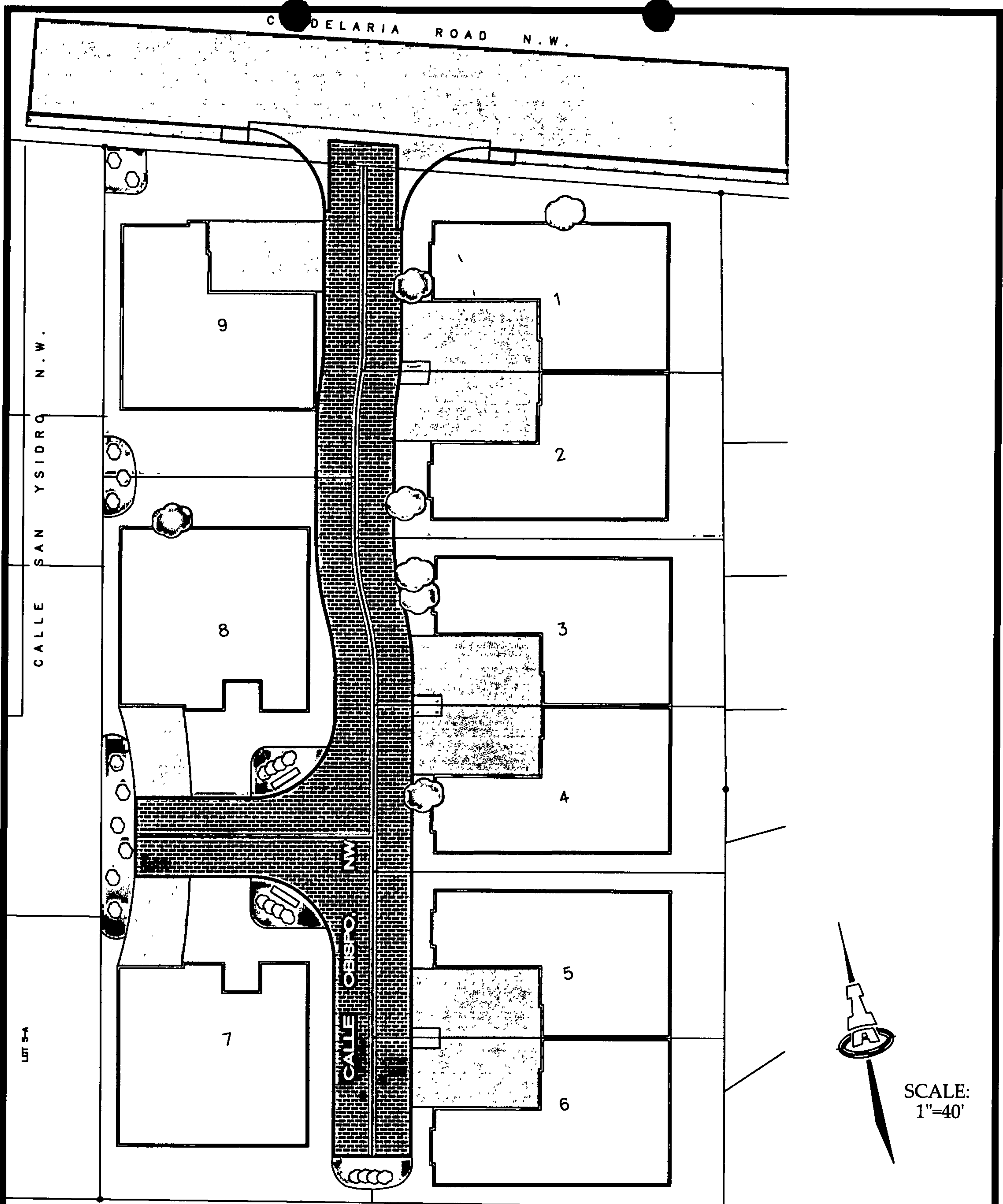
Refer to the following definitions, Section 14-16-5-1(B): “Lot”; “Lot, Corner”; “Lot Line, Front”; “Setback”; “Street”; and “Street Frontage”.

See also the policy “Zoning Regulations Applicable To a Premises Abutting an Access Easement”.

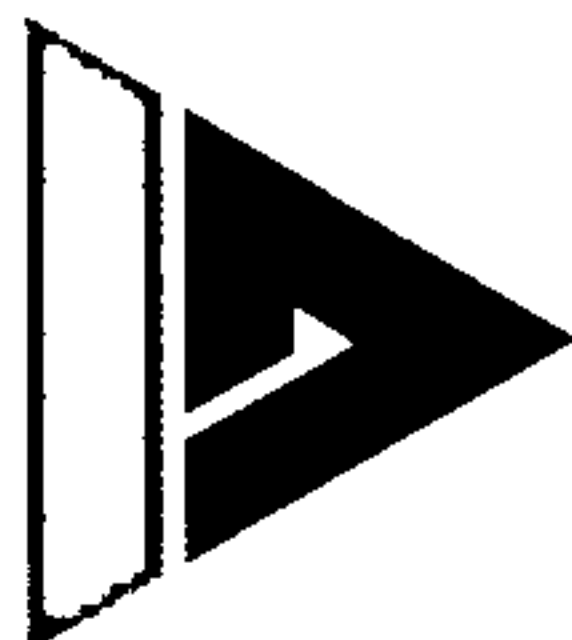
Ellen Concini  
Zoning Enforcement Manager  
September 22, 2003



M:\CAD FILES\1700-1799\1728\dwg\1728 C-701-LANDSCAPE EXHIBIT A.dwg, 1/19/2010 9:44:19 AM, thor



SITE LAYOUT EXHIBIT - A



**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 Albuquerque, New Mexico  
1728 C-701-LANDSCAPE EXHIBIT A.dwg

PROJECT BISHOPS COMPOUND

JOB NO. 1728 BY ANW DATE 01/13/10

This zoning analysis highlights 3 recent developments similar to the project site for adherence to relevant zoning language and interpretation.

Subdivisions and conditions:

La Plaza Acequia I & II

Drive easements in required front and side yard setbacks

Veranda Compounds

Drive easements in required front and side yard setbacks

Acequia Escondida

Drive easements in required front yard setbacks

Zoning Definitions used:

**YARD, FRONT.** That part of a lot between the front lot line and the front facades of the principal building on the lot, and extended to both side lot lines.

**SETBACK.** The shortest distance between a structure and a lot line or future street line.

**FUTURE STREET LINE.** A line running more or less parallel to the centerline of certain existing or proposed streets as established by ordinance for the purpose of delineating the future widths of public right-of-way.

**PUBLIC RIGHT-OF-WAY.** The total area of land deeded, reserved by plat, or otherwise acquired by the city, the county, or the state, primarily for the use of the public for the movement of people, goods, and vehicles.

**STREET.** That portion of a public right-of-way or private way or thoroughfare which is primarily devoted to vehicular use. Such right-of-way or thoroughfare normally shall provide access to abutting property.

**LOT LINE, FRONT.** A legal boundary of a lot bordering on a street. For the purpose of determining yard requirements on a corner lot, any one side bordering on a street may be considered the front. On a double frontage interior lot where the lots on both sides are committed to one street as the front lot line, the lot between shall use the same front lot line.





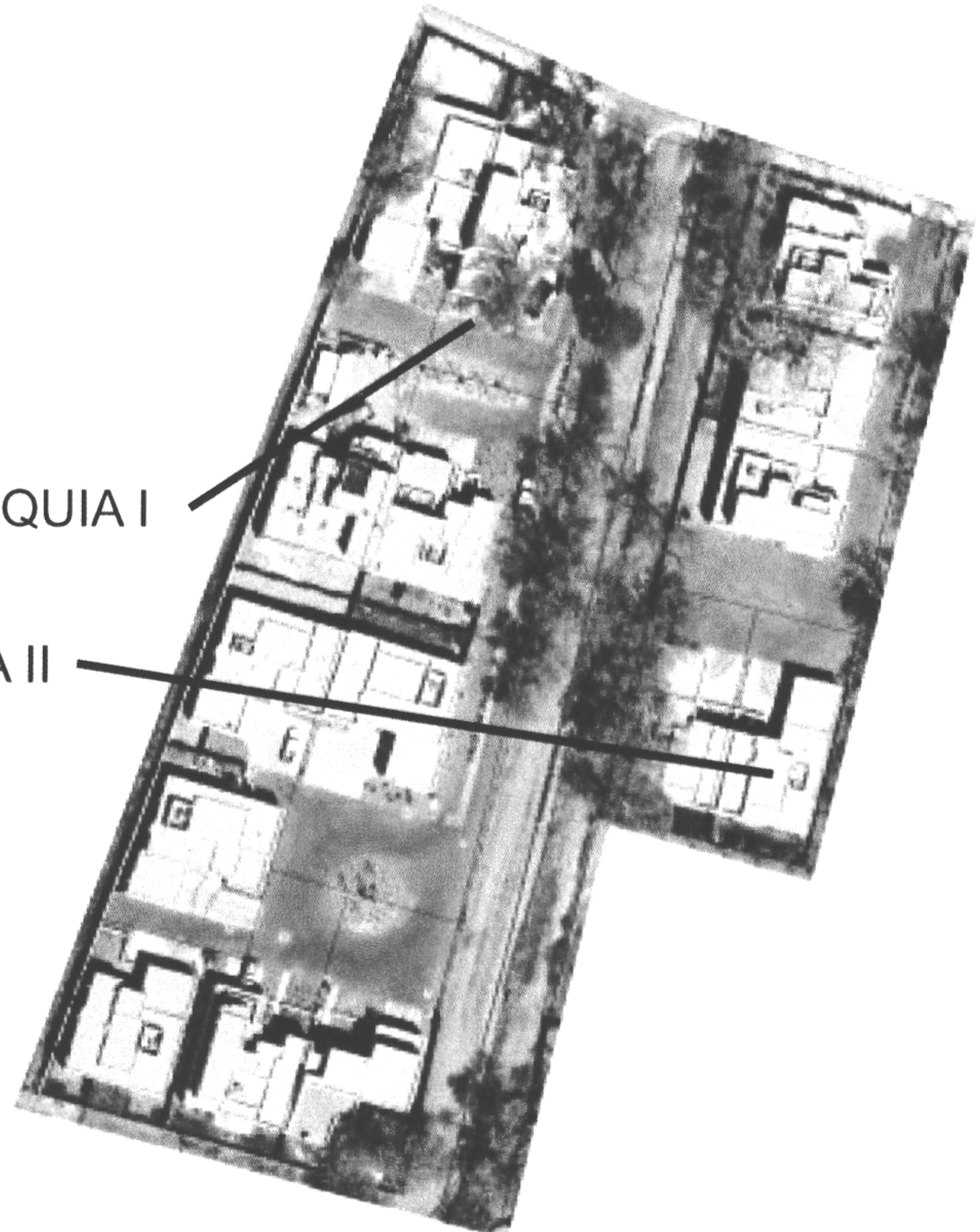
La Plaza Acequia I & II

Zone R-LT

14 homes on shared private drive(s)

LOT 2, LA PLAZA ACEQUIA I

LOT 4, LA PLAZA ACEQUIA II



§ 14-16-2-8 R-LT RESIDENTIAL ZONE.

(E) Setback.

(1) There shall be a front yard setback of not less than 15 feet, except driveways shall not be less than 20 feet long.

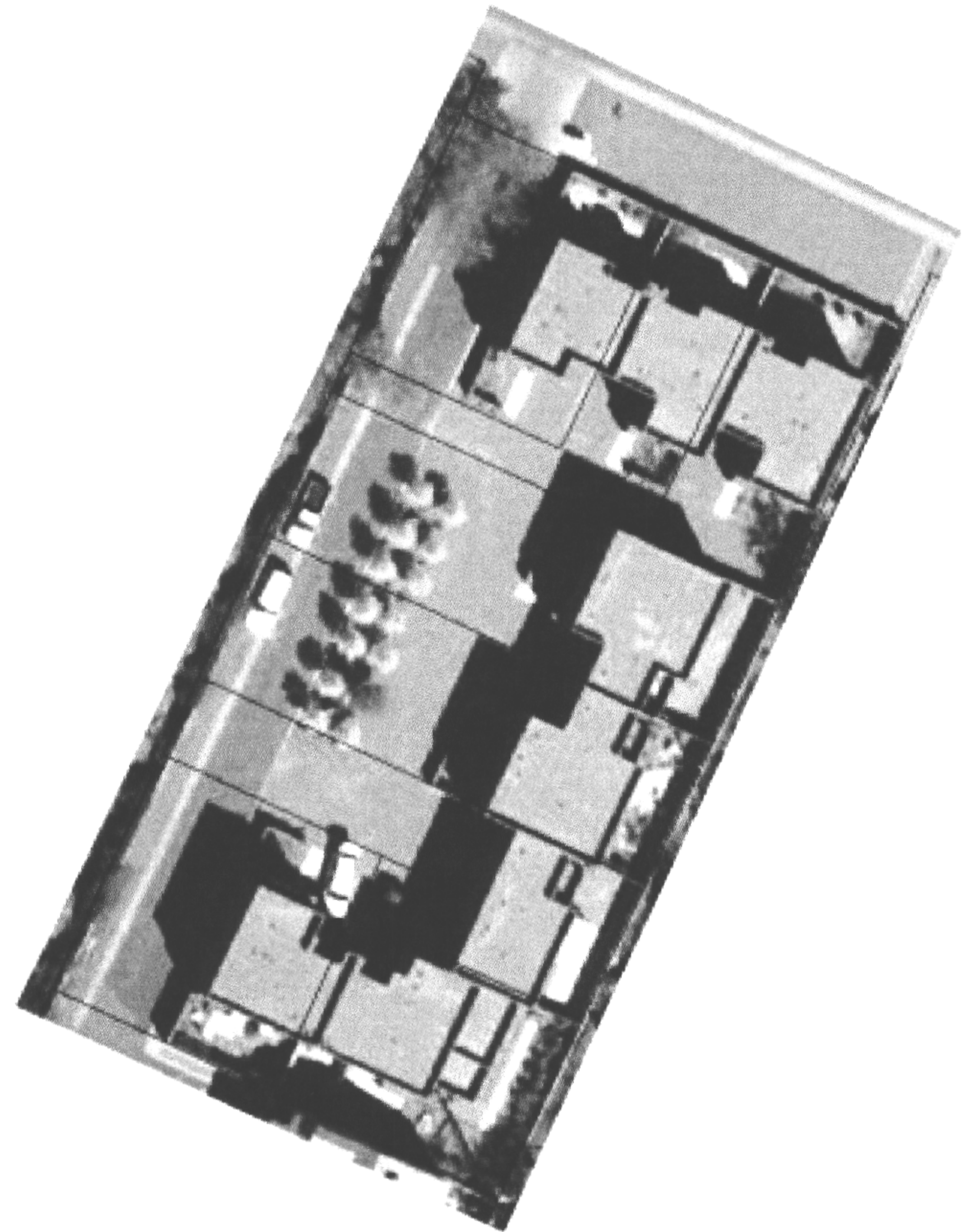


11111111

Veranda Compound

Zone R-2

8 homes on shared private drive(s)



§ 14-16-2-11 R-2 RESIDENTIAL ZONE.

(E) Setback.

(1) There shall be a front-yard setback of not less than 15 feet, except driveways shall not be less than 20 feet long.



Acequia Escondida

Zone R-1

7 homes on shared private drive(s)

LOT 1, ACEQUIA ESCONDIDA



§ 14-16-2-6 R-1 RESIDENTIAL ZONE.

(E) Setback. The following regulations apply, except as provided in § 14-16-3-3:

(1) There shall be a front yard setback of not less than 20 feet.

# VERANDA COMPOUNDS



VERANDA ROAD



*Acquia walking and horse unit*

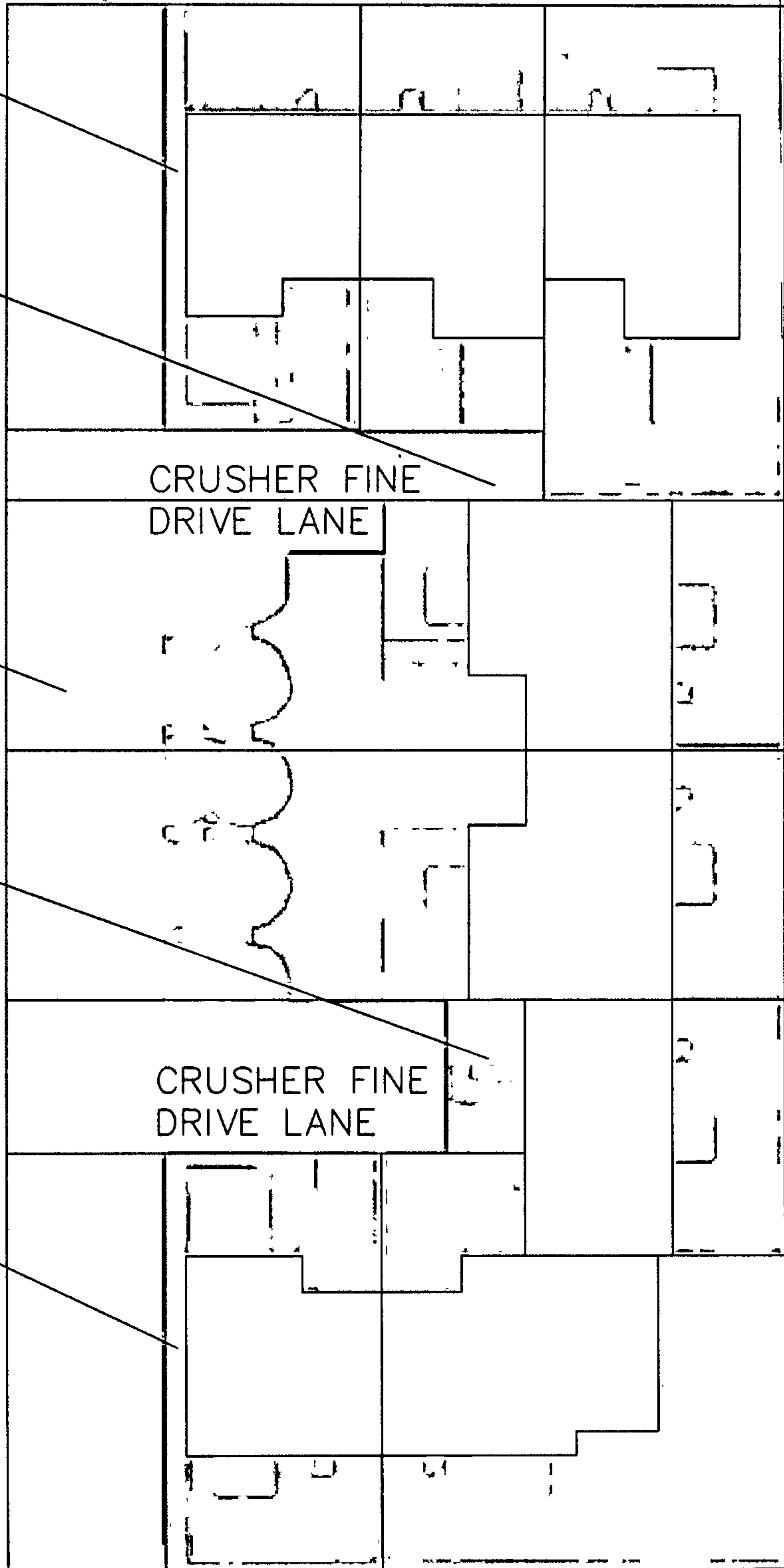
APPROX. 30" SIDE SETBACK TO STREET

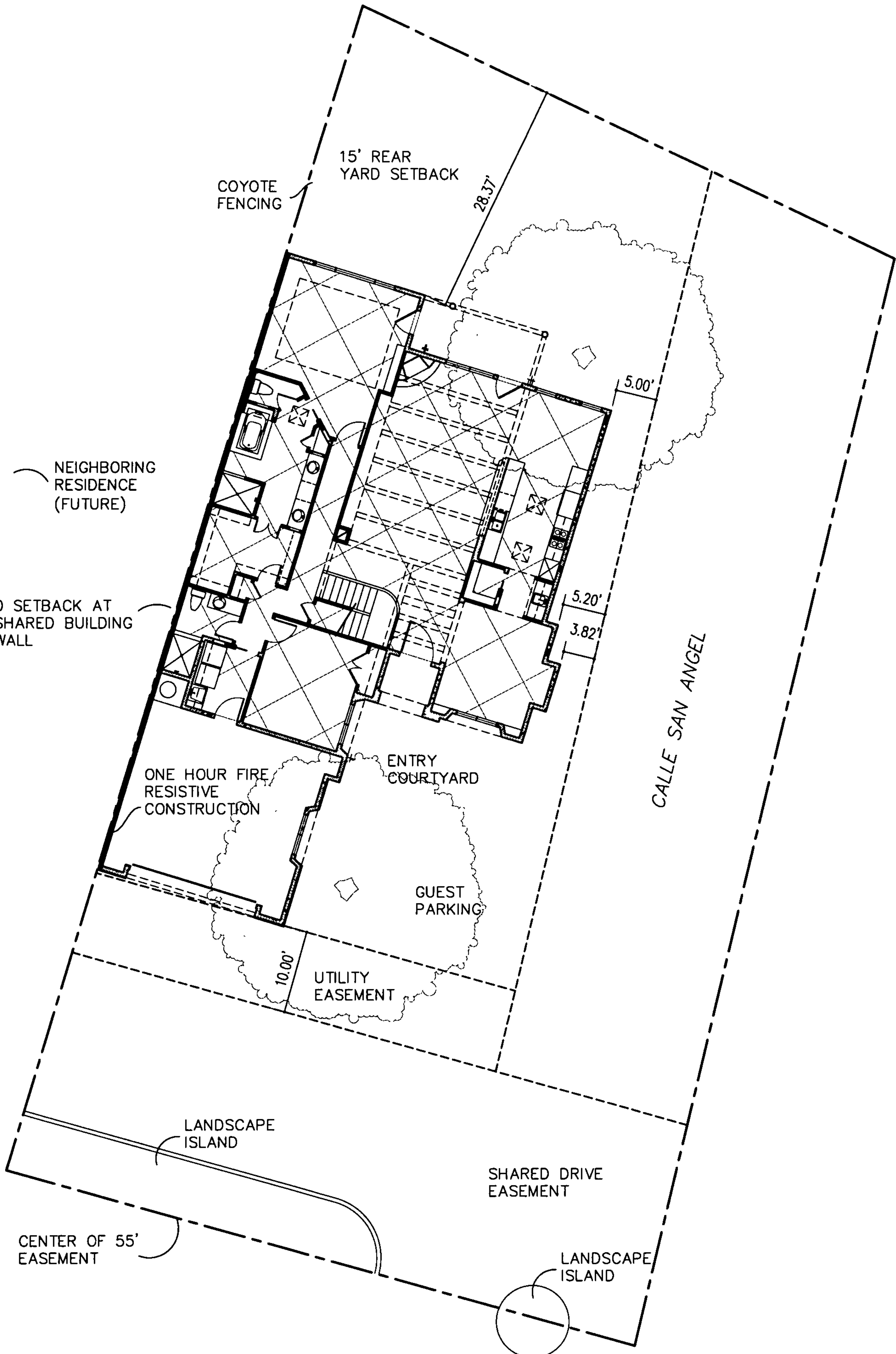
APPROX. NO SIDE SETBACK TO STREET

PAVED DRIVE LANE

APPROX. 12' FRONT SETBACK TO STREET

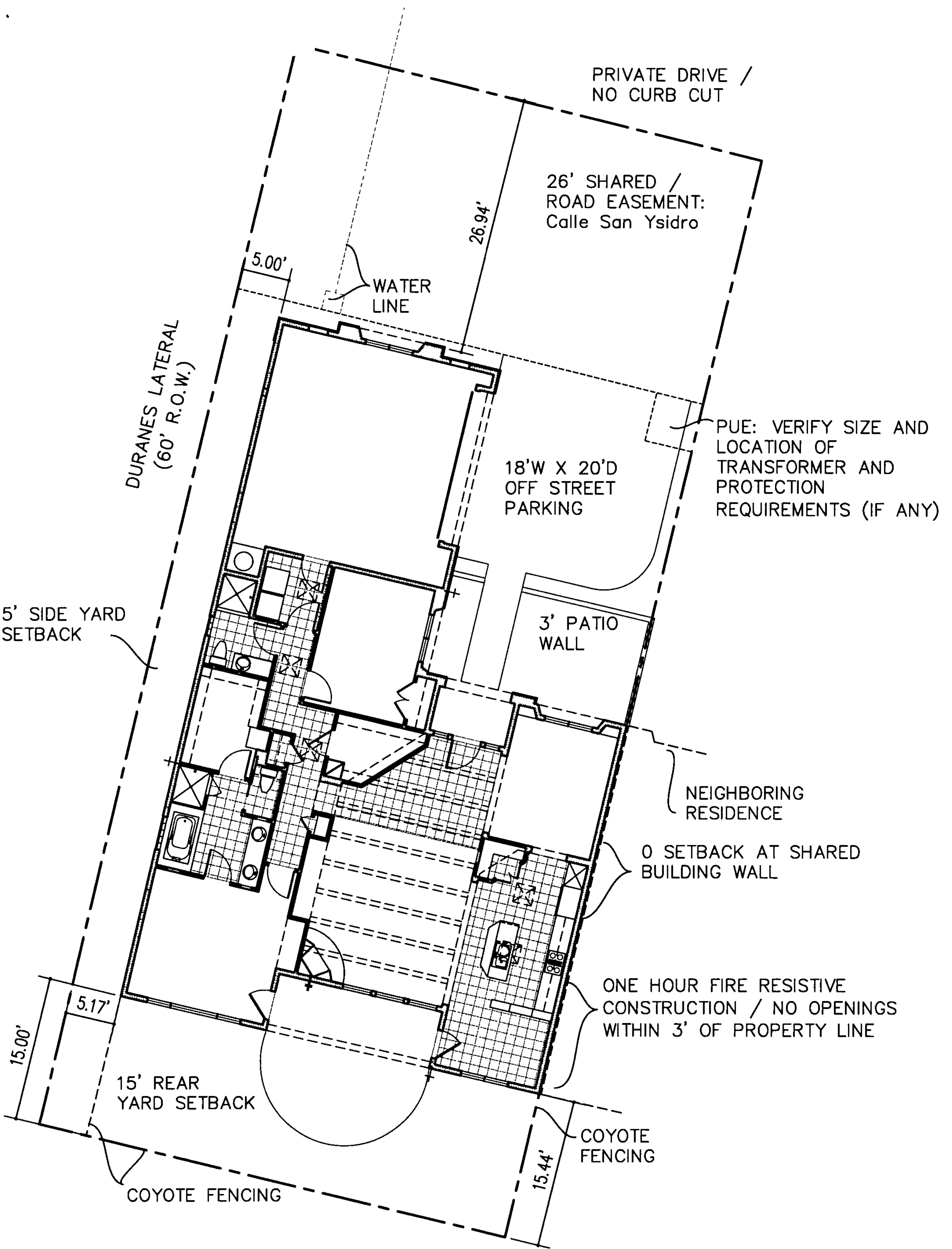
APPROX. 30" SIDE SETBACK TO STREET





**SITE PLAN / 1ST FLOOR PLAN**

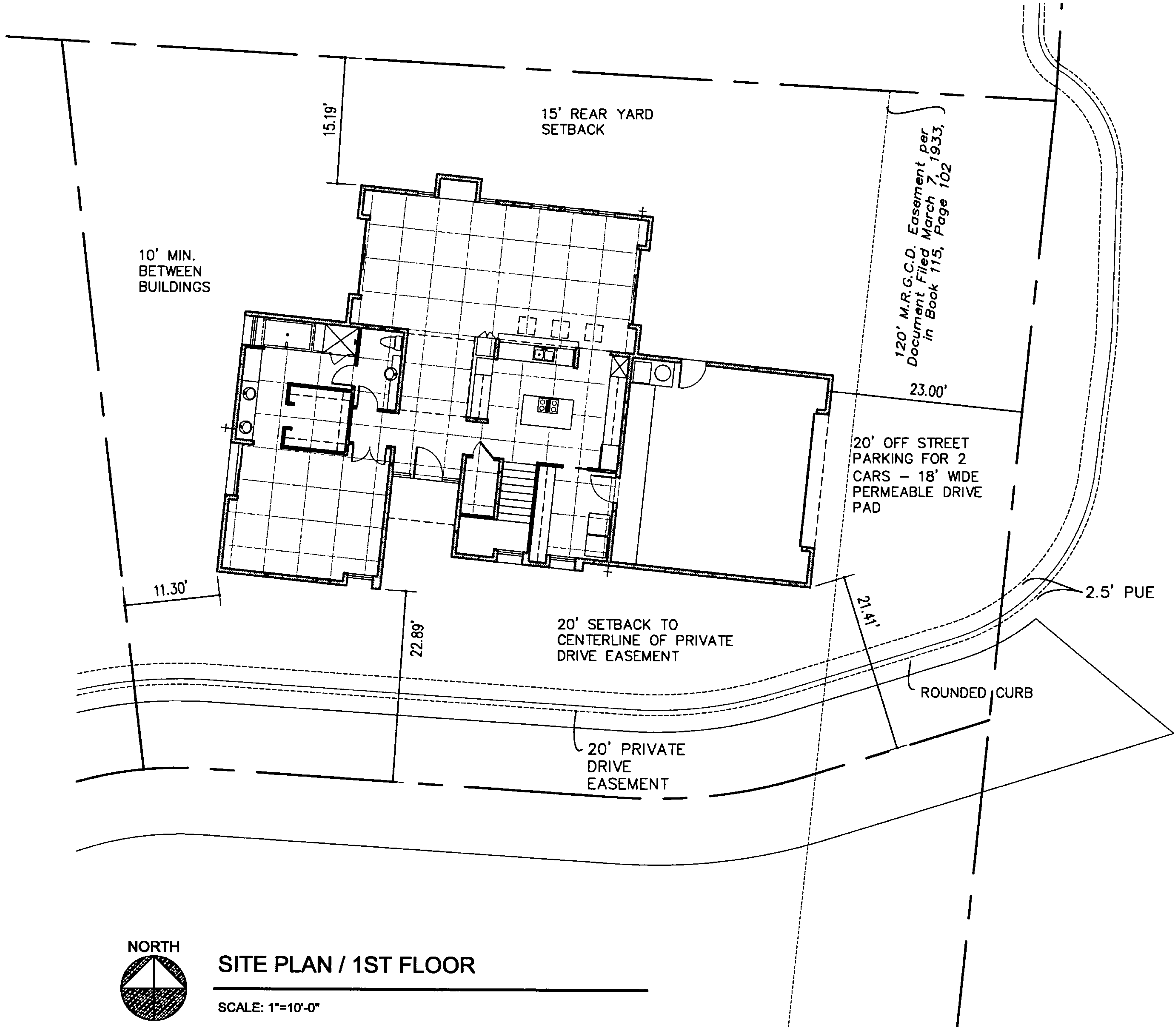
SCALE: 1"=10'-0"



**SITE PLAN / REDUCED FLOOR PLAN**

SCALE: 1"=10'-0"





# SITE PLAN / 1ST FLOOR

SCALE: 1"=10'-0"





Supplemental form

**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): Isaacson + Artman, P.A. PHONE: 268-8828  
 ADDRESS: 128 Monroe St. NE FAX: 268-2632  
 CITY: Albuquerque STATE NM ZIP 87108 E-MAIL: asaw@iacivil.com

APPLICANT: Bishop's Compound, LLC PHONE: 235-5084  
 ADDRESS: 3009 Calle San Ysidro NW FAX: 848-  
 CITY: Albuquerque STATE NM ZIP 87107 E-MAIL: johnkellynm@comcast.net  
 Proprietary interest in site: Owner List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: Major Subdivision Preliminary Plat; Sidewalk Variance; + Sidewalk Waiver Approval

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Lots 2 + 3 Block: \_\_\_\_\_ Unit: 3  
 Subdiv/Addn/TBKA: Alvarado Gardens (tbka Bishop's Compound Subdivision)  
 Existing Zoning: R-LT Proposed zoning: Same MRGCD Map No NA  
 Zone Atlas page(s): G-12 UPC Code: 10120605083110330

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.):  
09DRB-70234

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? No  
 No. of existing lots: 2 No. of proposed lots: 9 Total area of site (acres): 1.3379  
 LOCATION OF PROPERTY BY STREETS: On or Near: Candelaria Rd. NW  
 Between: Calle San Ysidro NW and Rio Grande Blvd. NW  
 Check-off if project was previously reviewed by Sketch Plat/Plan  or Pre-application Review Team . Date of review: 7/15/09

SIGNATURE Asa Nilsson-Weber DATE 12-11-09  
 (Print) Asa Nilsson-Weber Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
09DRB - 70379	PP		\$ 985.00
09DRB - 70380	<del>SW</del>		\$ 0
09DRB - 70381	SDV		\$ 0
	CMF		\$ 20.00
	ADV		\$ 75.00
			Total
			\$ 1030.00

Hearing date January 6 2010

[Signature] 12-11-09  
 Planner signature / date

Project # 1007871

**FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING**

A **Bulk Land Variance** requires application on FORM-V in addition to application for subdivision on FORM-S.

**MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)**

- NA** 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Proposed Infrastructure List
- Signed Preliminary Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- NA** **Signed** Pre-Annexation Agreement if Annexation required.
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

**Preliminary plat approval expires after one year.**  
**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

**MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if applicable
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers are listed on the cover application

**Amended preliminary plat approval expires after one year.**  
**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

**MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT EXTENSION (DRB09)**

**(Temporary sidewalk deferral extension use FORM-V)**

- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. \_\_\_\_\_
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. \_\_\_\_\_
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers on the cover application
- Fee (see schedule)

**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Asa Nilsson-Weber  
 Applicant name (print)  
Asa Nilsson-Weber 12-11-09  
 Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
04DRB - 70379  
 \_\_\_\_\_  
 \_\_\_\_\_

[Signature] 12.11.09  
 Planner signature / date  
 Project # 1007871

**FORM V: SUBDIVISION VARIANCES & VACATIONS**

- BULK LAND VARIANCE (DRB04)** **(PUBLIC HEARING CASE)**  
 \_\_\_ Application for Minor Plat on FORM S-3, including those submittal requirements. **24 copies**  
 \_\_\_ Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.  
 \_\_\_ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)  
 \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts  
 \_\_\_ Sign Posting Agreement  
 \_\_\_ Fee (see schedule)  
 \_\_\_ List any original and/or related file numbers on the cover application  
**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- VACATION OF PUBLIC EASEMENT (DRB27)**  
 **VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**  
 \_\_\_ The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**  
 (Not required for City owned public right-of-way.)  
 \_\_\_ Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**  
 \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined  
 \_\_\_ Letter briefly describing, explaining, and justifying the request  
 \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts  
 \_\_\_ Sign Posting Agreement  
 \_\_\_ Fee (see schedule)  
 \_\_\_ List any original and/or related file numbers on the cover application  
 Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.  
**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- ~~**SIDEWALK VARIANCE (DRB20)**~~  
 **SIDEWALK WAIVER (DRB21)**  
 ✓ Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**  
 ✓ Zone Atlas map with the entire property(ies) clearly outlined  
 ✓ Letter briefly describing, explaining, and justifying the variance or waiver  
 ✓ List any original and/or related file numbers on the cover application  
**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**  
 ✓ Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**  
 ✓ Zone Atlas map with the entire property(ies) clearly outlined  
 ✓ Letter briefly describing, explaining, and justifying the variance  
 ✓ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts  
 ✓ Sign Posting Agreement  
 ✓ Fee (see schedule)  
 ✓ List any original and/or related file numbers on the cover application  
**DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**  
 **EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)**  
 \_\_\_ Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**  
 \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined  
 \_\_\_ Letter briefly describing, explaining, and justifying the deferral or extension  
 \_\_\_ List any original and/or related file numbers on the cover application  
**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- VACATION OF PRIVATE EASEMENT (DRB26)**  
 **VACATION OF RECORDED PLAT (DRB29)**  
 \_\_\_ The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**  
 \_\_\_ Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**  
 \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined  
 \_\_\_ Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**  
 \_\_\_ Letter of authorization from the grantors and the beneficiaries (private easement only)  
 \_\_\_ Fee (see schedule)  
 \_\_\_ List any original and/or related file numbers on the cover application  
 Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.  
**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Asa Nilsson-Weber  
 Applicant name (print)  
Asa Nilsson-Weber 12-11-09  
 Applicant signature / date



Form revised 4/07

- Checklists complete  
 Fees collected  
 Case #s assigned  
 Related #s listed

Application case numbers  
 09DRB - 70380  
 09DRB - 70381

Val (12-11-09)  
 Planner signature / date  
 Project # 1007871

# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

#### 1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

#### 2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

#### 3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

#### 4. TIME

Signs must be posted from December 22, 2009 To January 6, 2010

#### 5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Ruth Lozano  
(Applicant or Agent)

12/11/09  
(Date)

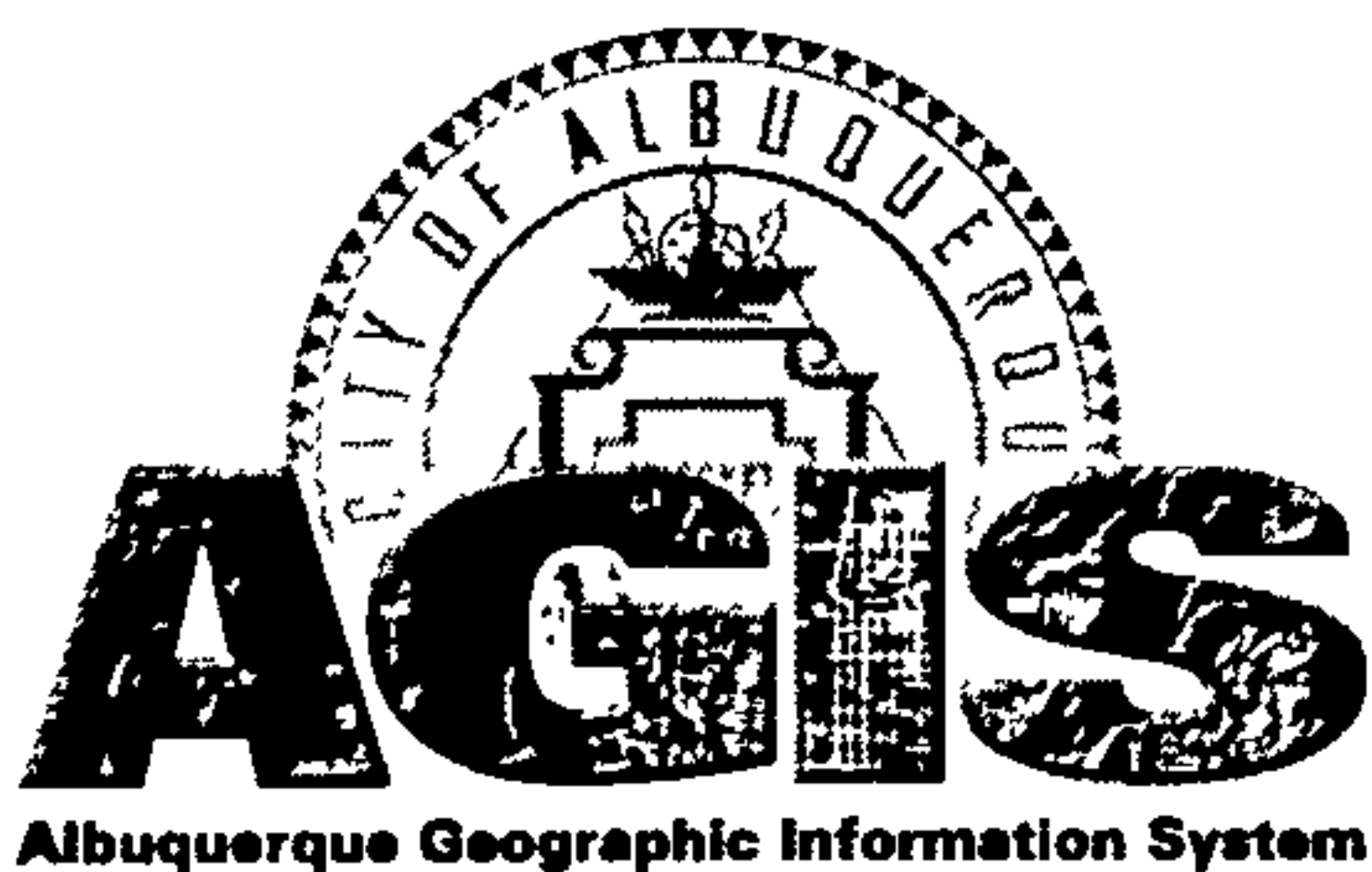
I issued 1 signs for this application, 12-11-09  
(Date)

[Signature]  
(Staff Member)

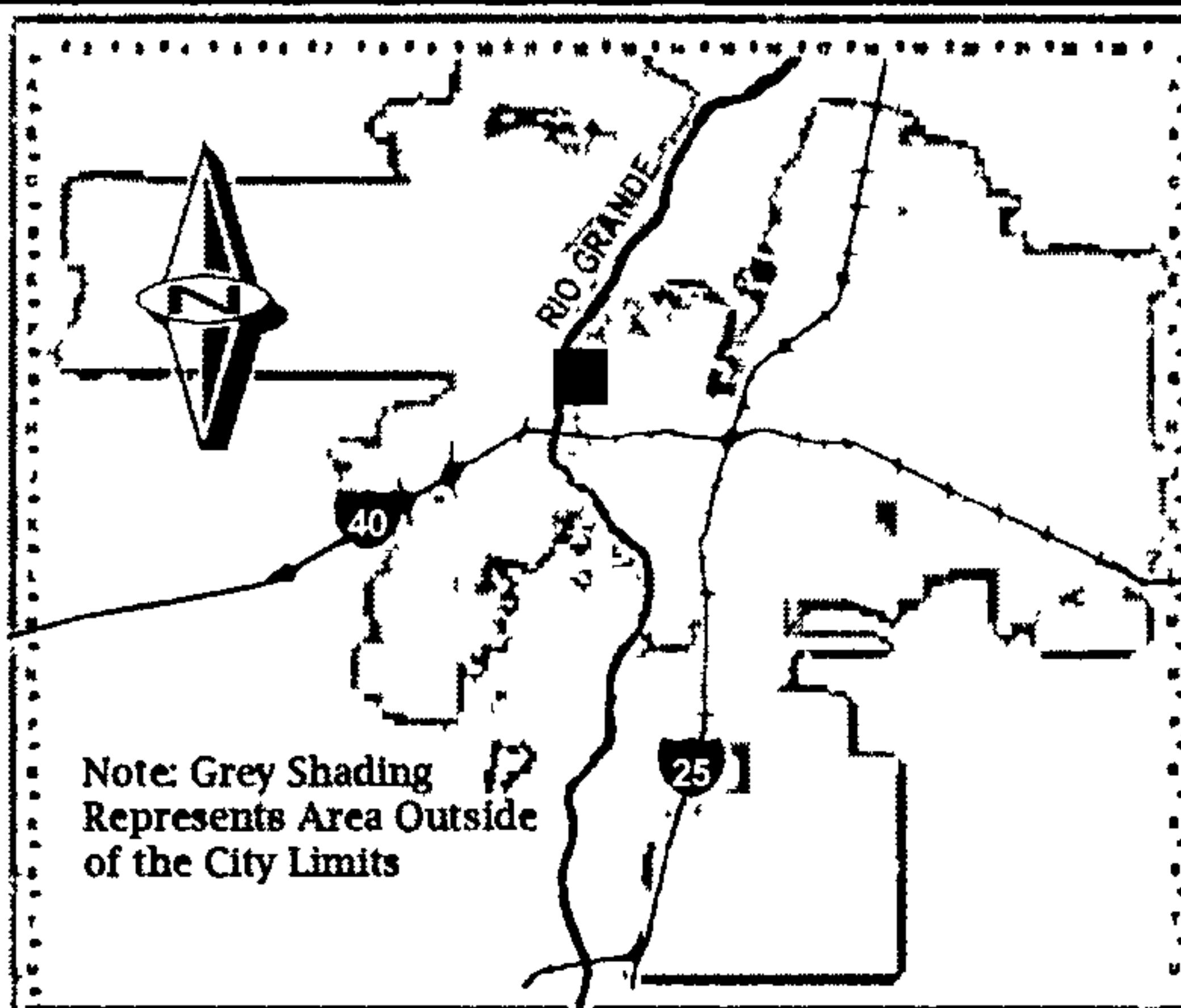
DRB PROJECT NUMBER: 1007871



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 3/10/2009



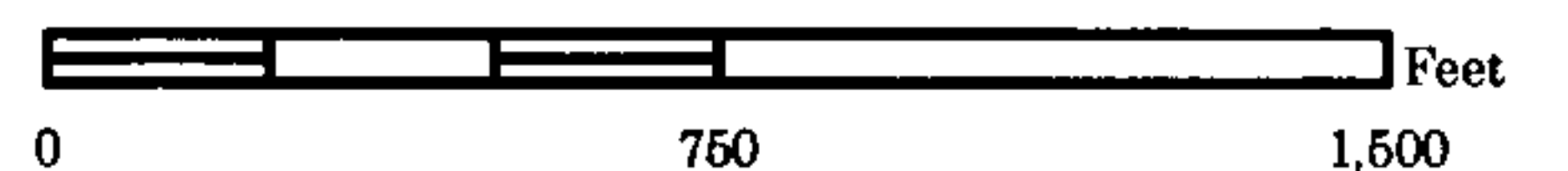
Note: Grey Shading Represents Area Outside of the City Limits

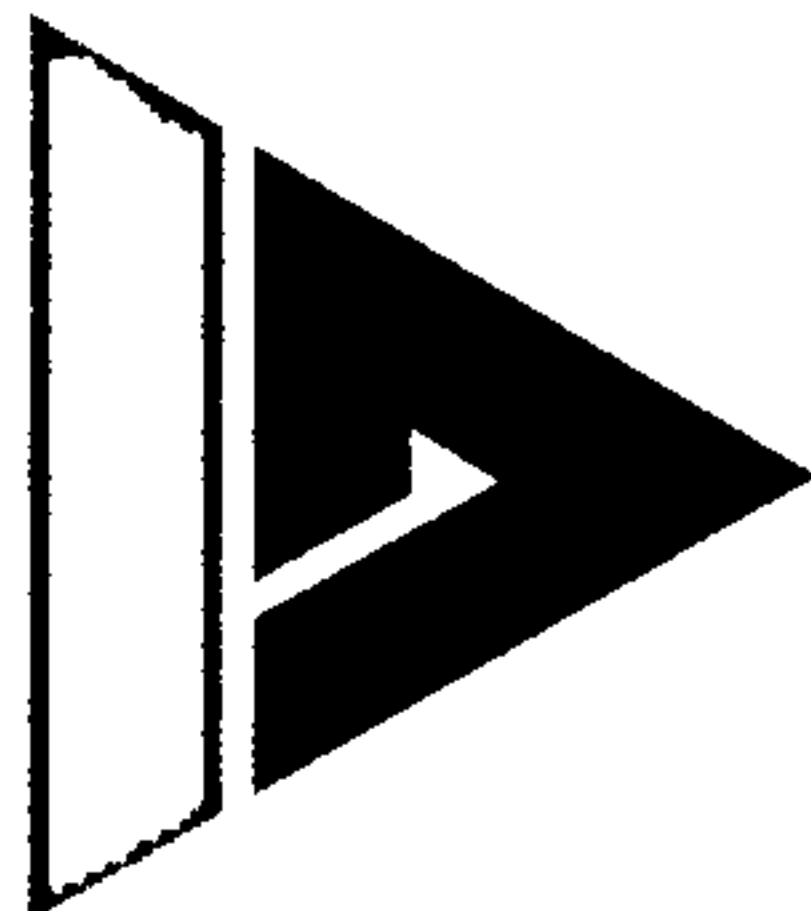
Zone Atlas Page:

**G-12-Z**

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone





# Isaacson & Arfman, P.A.

Consulting Engineering Associates

*Thomas O. Isaacson, PE & LS · Fred C. Artman, PE · Åsa Nilsson-Weber, PE*

December 11, 2009

Mr. Jack Cloud  
DRB Chair  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87102

**RE: DRB Submittal for Bishop's Compound  
Project #1007871  
Zone Atlas: G-12**

Dear Mr. Cloud:

Isaacson & Arfman, P.A., as agents for Bishop's Compound, LLC, is submitting a request for Preliminary Plat approval, sidewalk waiver, and design variance for private for Bishop's Compound, a 9 dwelling-unit residential subdivision in the North Valley.

This subdivision is Portions of Lots 2 & 3, Alvarado Gardens, Unit 3. The site is located south of Candelaria Road, west of Rio Grande Blvd. A sketch plat for this development was heard at DRB on July 15, 2009. There will be 6 townhomes (3 duplexes) and 3 single-detached units.

We are requesting waiver of the sidewalks within the subdivision as shown on the Sidewalk Waiver Exhibit. Attached is a justification for the waiver request.

This submittal also includes a request for a design variance of the private road as shown on the Design Variance Exhibit. The justification for the design variance request is attached. Also attached is the perimeter wall plan.

If you have questions regarding this submittal, please call me at 268-8828.

Sincerely,  
**ISAACSON & ARFMAN**

Åsa Nilsson-Weber

Attachments

**Bishop's Compound**

**Project #1007871**

**12/11/09**

**JUSTIFICATION FOR SIDEWALK WAIVER REQUEST:**

This project is intended as a "sister community" to La Plaza Acequia II Subdivision adjacent to the west. La Plaza Acequia II is a quiet, brick paved neighborhood, with no internal sidewalks. Bishop's Compound would like to recreate the ambiance of La Plaza Acequia II and many other North Valley communities referenced in the "North Valley Character Study & Design Overlay Zone".

**Bishop's Compound**

**Project #1007871**

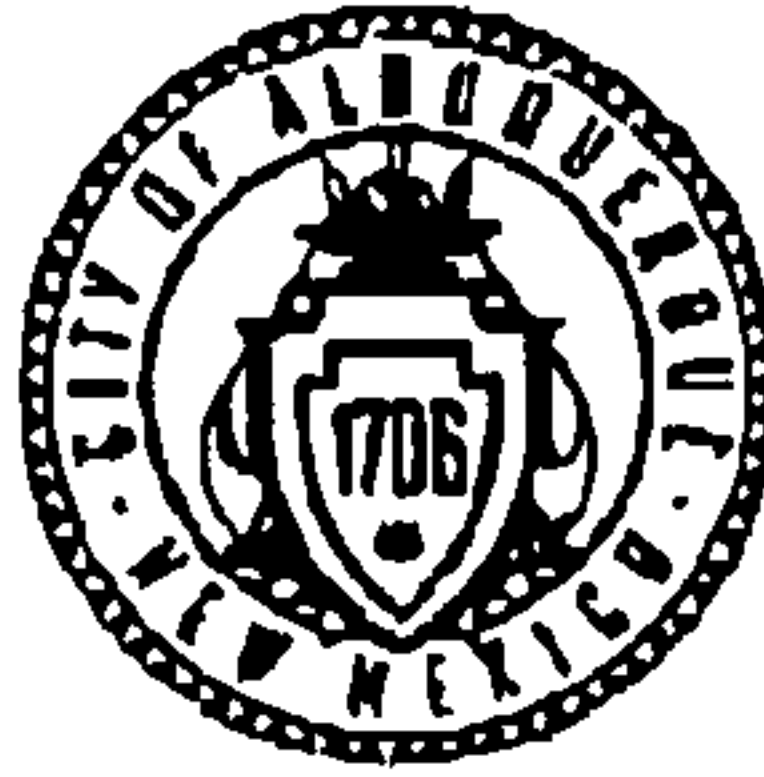
**12/11/09**

**JUSTIFICATION FOR DESIGN VARIANCE REQUEST:**

Bishop Compound's private way—Calle Obispo—is not a pass-through street, and will only carry traffic serving 8 internal lots—Lot 9 will be fronting Candelaria Rd. Calle Obispo will be 24-foot wide and paved with brick pavers, which encourages a plaza atmosphere. Each home have driveways to handle guest parking. This project is intended as a “sister community” to La Plaza Acequia II Subdivision adjacent to the west. The street in La Plaza Acequia II Subdivision is also a 24-foot wide, brick-paved road.

The “North Valley Character Study & Design Overlay Zone” is a study of the character of the North Valley neighborhoods, and encourages building new narrow residential streets and privateways to emulate the overall characteristics of this area. Though the zoning of this site (R-LT) is not included in this study, we are requesting a design variance to allow for the narrower street widths recommended in the study.





*City of Albuquerque*  
P.O. Box 1293, Albuquerque, NM 87103

**PLEASE NOTE:** The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

December 7, 2009

Ruth Lozano  
Isaacson and Arfman, P.A.  
128 Monroe St. NE/87108  
Phone: (505) 268-8828/Fax: (505) 268-2632

Dear Ruth:

Thank you for your inquiry of **December 7, 2009** requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **(DRB SUBMITTAL) - A PORTION OF LOT 2, ALVARADO GARDENS, UNIT 3 TOGETHER WITH A PORTION OF LOT 3, ALVARADO GARDENS, UNIT 3, LOCATED ON CANDELARIA ROAD NW BETWEEN CALLE SAN YSIDRO NW AND RIO GRANDE BOULEVARD NW** zone map **G-12**.

Our records indicate that the **ALL Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

**ALVARADO GARDENS N.A. "R"**

Kiera Homann, 2929 Trellis Dr. NW/87107 350-4166 (h)  
Talia Sledge, 2930 Trellis Dr. NW/87107 344-9484 (h)

**RIO GRANDE BLVD. N.A. "R"**

Ignacio Perez Jr., 2200 Camino De Los Artesanos NW/87107  
345-4614 (h) 565-1614 (w) 710-5731 (c)  
Winnie Kimbrough, 2327 Campbell Rd. NW/87104 344-1363 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov) or by fax at (505) 924-3913.

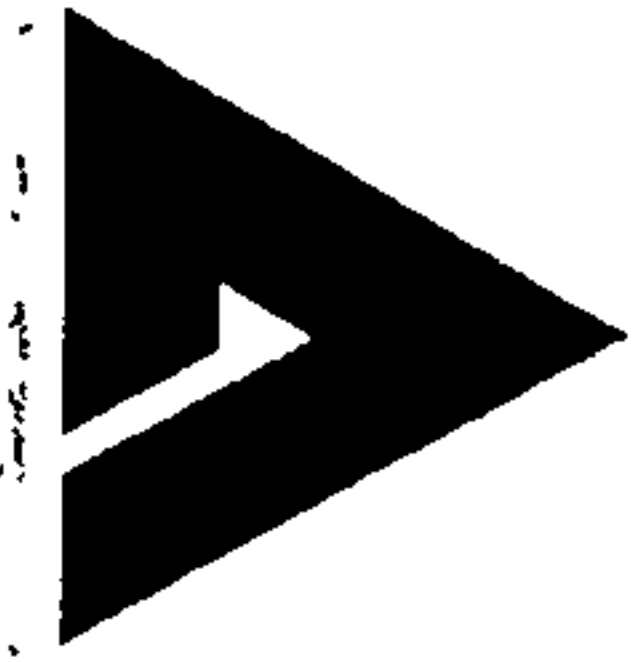
Sincerely,

*Stephani J. Winklepleck*

Neighborhood Liaison  
OFFICE OF NEIGHBORHOOD COORDINATION  
Planning Department

**LETTERS MUST BE SENT TO BOTH  
CONTACTS OF EACH  
NEIGHBORHOOD AND/OR HOMEOWNER  
ASSOCIATION.**

planningrnaform(11/2007)



# Isaacson & Arfman, P.A.

Consulting Engineering Associates

Thomas O. Isaacson, PE & LS Fred C. Arfman, PE Asa Nilsson-Weber, PE

December 10, 2009

CERTIFIED MAIL - 7005 1160 0001 1329 7795

Ms. Kiera Homann  
Alvarado Gardens Neighborhood Association  
2929 Trellis Dr. NW  
Albuquerque, NM 87107

**RE: Bishop's Compound Subdivision  
(Existing Legal: Lots 2 & 3, Alvarado Gardens, Unit 3)**

Dear Ms. Homann:

As the consulting engineers for the above referenced site (see attached zone map), we are writing this letter to inform the Alvarado Gardens Neighborhood Association that we are requesting preliminary plat approval from the City of Albuquerque for a 9-lot residential subdivision. There will be 6 townhomes and 3 single-detached homes. We are also requesting a waiver of sidewalks and a design variance for the interior street width.

The subdivision development package will be submitted to the City of Albuquerque Development Review Board this week.

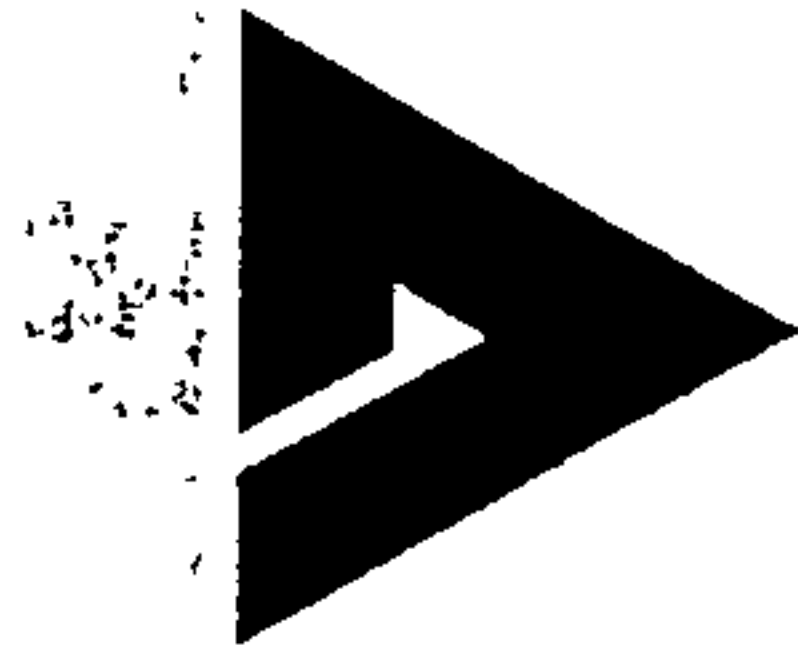
Please call our office at 268-8828 if additional information is desired on this action.

Sincerely,  
ISAACSON & ARFMAN, P.A.

Asa Nilsson-Weber, PE  
ANW/rtl  
Attachment

7005 1160 0001 1329 7795

<b>U.S. Postal Service™</b>		
<b>CERTIFIED MAIL™ RECEIPT</b> <i>(Domestic Mail Only; No Insurance Coverage Provided)</i>		
For delivery information visit our website at <a href="http://www.usps.com">www.usps.com</a>		
<b>OFFICIAL USE</b>		
ALBUQUERQUE, NM 87107		
Postage	\$ 0.44	12/11/2009
Certified Fee	\$2.80	
Return Receipt Fee (Endorsement Required)	\$2.30	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
<b>Total Postage &amp; Fees</b>	<b>\$ 5.54</b>	
Sent To	Kiera Homann	
Street, Apt. No.; or PO Box No.	Alvarado Gardens NA 2929 Trellis Dr. NW	
City, State, ZIP+4	Albuquerque, NM 87107	
PS Form 3800, June 2002 See Reverse for Instructions		



# Isaacson & Arfman, P.A.

Consulting Engineering Associates

Thomas O. Isaacson, PE & LS Fred C. Arfman, PE Asa Nilsson-Weber, PE

December 10, 2009

CERTIFIED MAIL - 7005 1160 0001 1329 7801

Ms. Talia Sledge  
Alvarado Gardens Neighborhood Association  
2930 Trellis Dr. NW  
Albuquerque, NM 87107

**RE: Bishops Compound Subdivision  
(Existing Legal: Lots 2 & 3, Alvarado Gardens, Unit 3)**

Dear Ms. Sledge:

As the consulting engineers for the above referenced site (see attached zone map), we are writing this letter to inform the Alvarado Gardens Neighborhood Association that we are requesting preliminary plat approval from the City of Albuquerque for a 9-lot residential subdivision. There will be 6 townhomes and 3 single-detached homes. We are also requesting a waiver of sidewalks and a design variance for the interior street width.

The subdivision development package will be submitted to the City of Albuquerque Development Review Board this week.

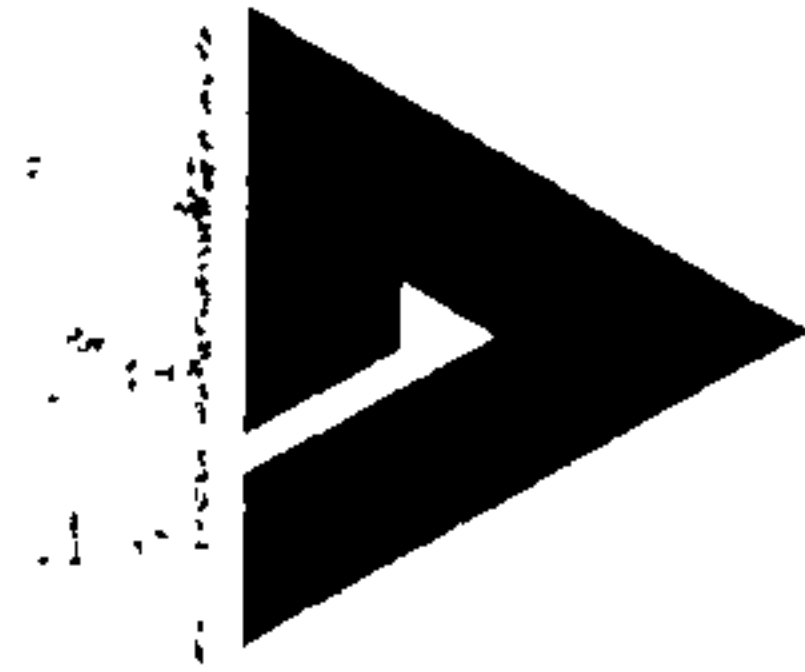
Please call our office at 268-8828 if additional information is desired on this action.

Sincerely,  
ISAACSON & ARFMAN, P.A.

Asa Nilsson-Weber, PE  
ANW/rtl  
Attachment

7005 1160 0001 1329 7801

<b>U.S. Postal Service™</b>		
<b>CERTIFIED MAIL™ RECEIPT</b>		
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For delivery information visit our website at <a href="http://www.usps.com">www.usps.com</a>		
<b>OFFICIAL USE</b>		
ALBUQUERQUE, NM 87107		
Postage	\$ 0.44	0108 03 Postmark Here 12/11/2009
Certified Fee	\$2.80	
Return Receipt Fee (Endorsement Required)	\$2.30	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.54	
Sent To	Talia Sledge	
Street, Apt. No., or PO Box No.	Alvarado Gardens NA	
City, State, ZIP+4	2930 Trellis Dr. NW Albuquerque, NM 87107	
PS Form 3800, June 2002 See Reverse for Instructions		



# Isaacson & Arfman, P.A.

Consulting Engineering Associates

Thomas O. Isaacson, PE & LS Fred C. Arfman, PE Asa Nilsson-Weber, PE

December 10, 2009

CERTIFIED MAIL - 7005 1160 0001 1329 7825

Ms. Winnie Kimbrough  
Rio Grande Blvd. Neighborhood Association  
2327 Campbell Road NW  
Albuquerque, NM 87104

**RE: Bishops Compound Subdivision  
(Existing Legal: Lots 2 & 3, Alvarado Gardens, Unit 3)**

Dear Ms. Kimbrough:

As the consulting engineers for the above referenced site (see attached zone map), we are writing this letter to inform the Rio Grande Blvd. Neighborhood Association that we are requesting preliminary plat approval from the City of Albuquerque for a 9-lot residential subdivision. There will be 6 townhomes and 3 single-detached homes. We are also requesting a waiver of sidewalks and a design variance for the interior street width.

The subdivision development package will be submitted to the City of Albuquerque Development Review Board this week.

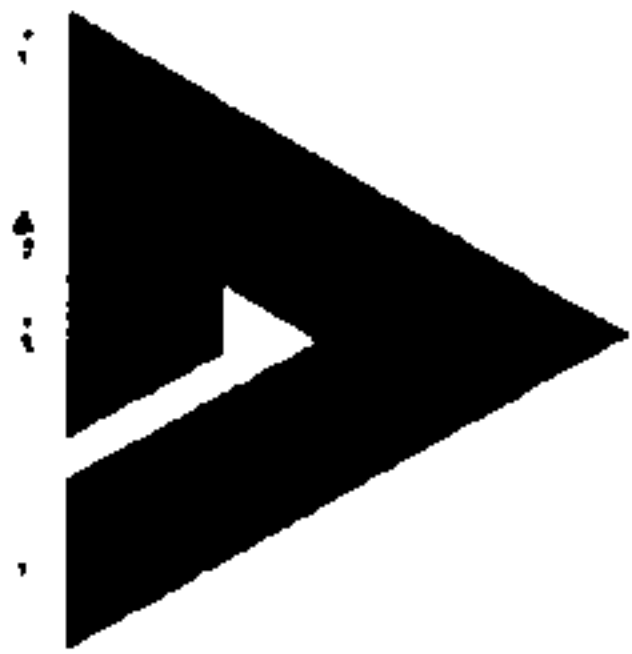
Please call our office at 268-8828 if additional information is desired on this action.

Sincerely,  
ISAACSON & ARFMAN, P.A.

Asa Nilsson-Weber, PE  
ANW/rtl  
Attachment

7005 1160 0001 1329 7825

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Restricted Delivery Fee (Endorsement Required)	\$0.00
<b>Total Postage &amp; Fees</b>	<b>\$ 5.54</b>
Sent To	Winnie Kimbrough
Street, Apt. No., or PO Box No.	Rio Grande Blvd. NA
City, State, ZIP+4	2327 Campbell Road NW Albuquerque, NM 87104
PS Form 3800, June 2002 See Reverse for Instructions	



# Isaacson & Arfman, P.A.

Consulting Engineering Associates

Thomas O. Isaacson, PE & LS · Fred C. Arfman, PE · Ása Nilsson-Weber, PE

December 10, 2009

CERTIFIED MAIL - 7005 1160 0001 1329 7818

Mr. Ignacio Perez, Jr.  
Rio Grande Blvd. Neighborhood Association  
2200 Camino De Los Artesanos NW  
Albuquerque, NM 87107

**RE: Bishops Compound Subdivision  
(Existing Legal: Lots 2 & 3, Alvarado Gardens, Unit 3)**

Dear Mr. Perez:

As the consulting engineers for the above referenced site (see attached zone map), we are writing this letter to inform the Rio Grande Blvd. Neighborhood Association that we are requesting preliminary plat approval from the City of Albuquerque for a 9-lot residential subdivision. There will be 6 townhomes and 3 single-detached homes. We are also requesting a waiver of sidewalks and a design variance for the interior street width.

The subdivision development package will be submitted to the City of Albuquerque Development Review Board this week.

Please call our office at 268-8828 if additional information is desired on this action.

Sincerely,

**ISAACSON & ARFMAN, P.A.**

Asa Nilsson-Weber, PE  
ANW/rtl  
Attachment

7005 1160 0001 1329 7818

<b>U.S. Postal Service™</b>								
<b>CERTIFIED MAIL™ RECEIPT</b> <i>(Domestic Mail Only; No Insurance Coverage Provided)</i>								
For delivery information visit our website at <a href="http://www.usps.com">www.usps.com</a>								
<b>OFFICIAL USE</b>								
Postage	\$ 0.44							
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Restricted Delivery Fee (Endorsement Required)	\$0.00							
<b>Total Postage &amp; Fees</b>	<b>\$ 5.54</b>							
<table border="1"> <tr> <td>Sent To</td> <td>Ignacio Perez, Jr.</td> </tr> <tr> <td>Street, Apt. No. or PO Box No.</td> <td>Rio Grande Blvd. NA 2200 Camino De Los Artesanos NW</td> </tr> <tr> <td>City, State, ZIP</td> <td>Albuquerque, NM 87107</td> </tr> </table>			Sent To	Ignacio Perez, Jr.	Street, Apt. No. or PO Box No.	Rio Grande Blvd. NA 2200 Camino De Los Artesanos NW	City, State, ZIP	Albuquerque, NM 87107
Sent To	Ignacio Perez, Jr.							
Street, Apt. No. or PO Box No.	Rio Grande Blvd. NA 2200 Camino De Los Artesanos NW							
City, State, ZIP	Albuquerque, NM 87107							
PS Form 3800, June 2002 See Reverse for Instructions								

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT: Bishop's Compound, LLC DATE OF REQUEST: 12/11/09 ZONE ATLAS PAGE(S): G-12

CURRENT:

ZONING R-LT

LEGAL DESCRIPTION:

LOT OR TRACT # 2+3 Unit BLOCK # 3 SUBDIVISION NAME Alvarado Gardens

PARCEL SIZE (AC/SQ. FT.) 1.3352

REQUESTED CITY ACTION(S):

- ANNEXATION [ ] SECTOR PLAN [ ] SITE DEVELOPMENT PLAN:
COMP. PLAN [ ] ZONE CHANGE [ ] A) SUBDIVISION [x] BUILDING PERMIT [ ]
AMENDMENT [ ] CONDITIONAL USE [ ] B) BUILD'G PURPOSES [ ] ACCESS PERMIT [ ]
C) AMENDMENT [ ] OTHER [ ]

PROPOSED DEVELOPMENT:

GENERAL DESCRIPTION OF ACTION: 1

- NO CONSTRUCTION/DEVELOPMENT [ ] # OF UNITS: 9
NEW CONSTRUCTION [x] BUILDING SIZE: (sq. ft.)
EXPANSION OF EXISTING DEVELOPMENT [ ]

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE [Signature] DATE 12-11-09
(TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH)

Planning Department, Development & Building Services Division, Transportation Development Section -
2nd Floor West, 600 2nd St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [ ] NO [x] BORDERLINE [ ]

THRESHOLDS MET? YES [ ] NO [x] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED [ ]

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

[Signature] DATE 12-11-09
TRAFFIC ENGINEER DATE

Air Quality Impact Analysis (AQIA) May Be Required:

Section 14-16-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. An AQIA is not required, if a TIS is not required by the City or an associated TIS shows all signalized intersections functioning at Level of Service (LOS) C or better. An AQIA will only be required for a Sector Development Plan or Sector Development Plan Amendment if it meets AQIA thresholds in the Zoning Code.

AIR QUALITY IMPACT ANALYSIS (AQIA) REQUIRED: YES [ ] NO [x]

Contact an Air Quality Planner at 768-2660 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. Any subsequent changes to the development proposal identified above may require an update or new AQIA.

[Signature] DATE 12-11-09
APPLICANT DATE

Required TIS and/or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / / -FINALIZED / / TRAFFIC ENGINEER DATE

**FORM DRWS: DRAINAGE REPORT / WATER & SEWER AVAILABILITY**

THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR MAJOR SUBDIVISIONS AND SITE DEVELOPMENT PLANS.

PROJECT NAME: Bishop's Compound Subdivision

AGIS MAP # G-12

LEGAL DESCRIPTION: Lots 2 + 3, Unit 3  
Alvarado Gardens

     DRAINAGE REPORT

A drainage report, as per the Drainage Ordinance, was submitted to the City of Albuquerque Public Works Department, Hydrology Division (2nd floor Plaza del Sol) on 12/11/09 [date].

0  
Olga Wilson-Weber 12-11-09  
Applicant (Agent) for ISAACSON + Artman, P.A. Date

\_\_\_\_\_  
Hydrology Division representative Date

     WATER AND SEWER AVAILABILITY STATEMENT

A Water and Sewer Availability Statement for this project was requested from the City of Albuquerque Utilities Development Division (2nd floor Plaza del Sol) on 7/30/09 [date].

Olga Wilson-Weber 12-11-09  
Applicant (Agent) for ISAACSON + Artman, P.A. Date

[Signature] 11 Dec 09  
Utilities Division representative Date

DRB- \_\_\_\_\_ - \_\_\_\_\_

DRAINAGE AND TRANSPORTATION INFORMATION SHEET  
(Rev. 12/05)

PROJECT TITLE: Bishop's Compound ZONE MAP/DRG. FILE # 6-12  
DRB#: 1007871 EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Portions of Lots 2&3 Alvarado Gardens, Unit 3  
CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: ISAACSON & ARFMAN, PA  
ADDRESS: 128 MONROE NE  
CITY, STATE: ALBUQUERQUE, NM

CONTACT: Ase Nilsson-Weber  
PHONE: 268-8828  
ZIP CODE: 87108

OWNER: Bishop's Compound LLC  
ADDRESS: 500 4th St NW, Ste 1000  
CITY, STATE: Albug. NM 87102

CONTACT: John Kelly  
PHONE: 848-1867  
ZIP CODE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

SURVEYOR: Harris Surveying, Inc.  
ADDRESS: 2412-D Monroest NE  
CITY, STATE: Albug. NM 87110

CONTACT: Anthony Harris  
PHONE: 889-8056  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERT (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT
- ENGINEER/ARCHITECT CERT (TCL)
- ENGINEER/ARCHITECT CERT (DRB S.P.)
- ENGINEER/ARCHITECT CERT (AA)
- OTHER (SPECIFY)

CHECK TYPE OF APPROVAL SOUGHT:

- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM)
- CERTIFICATE OF OCCUPANCY (TEMP)
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- YES
- NO
- COPY PROVIDED

SUBMITTED BY: Ase Nilsson-Weber DATE: 12/11/2009  
Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



August 20, 2009

**Chair**

Trudy Jones  
City of Albuquerque  
Councilor, District 8

**Vice Chair**

Alan B. Armijo  
County of Bernalillo  
Commissioner, District 1

Martin J. Chavez  
City of Albuquerque  
Mayor

Art De La Cruz  
County of Bernalillo  
Commissioner, District 2

Rey Garduño  
City of Albuquerque  
Councilor, District 6

Ken Sanchez  
City of Albuquerque  
Councilor, District 1

Maggie Hart Stebbins  
County of Bernalillo  
Commissioner, District 3

*Ex-Officio Member*  
Pablo R. Rael  
Village of Los Ranchos  
Board Trustee

*Executive Director*  
Mark S. Sanchez

*Website*  
[www.abcwua.org](http://www.abcwua.org)

Genny Donart  
Isaacsón & Arfman, P.A.  
128 Monroe St. NE  
Albuquerque NM 87108

**RE: Water and Sanitary Sewer Availability Statement #90710  
Alvarado Gardens Unit 3-Lots Ely Portion of 3, Nely Portion of 2  
Zone Atlas Map: G-12**

Dear Ms. Donart:

**Project Information:** The lot for which the availability request was made is ±1.4 acres. The site is located west of the Candelaria and Rio Grande intersection on the south side of Candelaria, within the city limits. The site is currently zoned R-LT and lies in the 1E pressure zone within the Freeway trunk. The request for service availability indicates a replat of the existing two lots to create 9 new lots. Presumably, new development of the sites will be single family dwellings.

**Existing Conditions:** Water infrastructure in the area consists of a 6 inch line in Candelaria (Project # 03-20-60) and a 6 inch line within Calle San Ysidro, immediately to the west (Project #26-7271.82-05).

Sanitary sewer infrastructure in the area includes a 10 inch line in Candelaria (Project #26-3502-93) and an 8 inch line in Calle San Ysidro (Project #26-7271.82-05).

**Service:** Currently the site has two service accounts, one with water and sewer service (account #4705039560) and the other with just sewer service (account #7696579560).

New metered water service is available contingent upon both compliance with the Fire Marshal's fire flow requirements and the construction of new public lines. The new lines must loop from the 6 inch line in Candelaria to the 6 inch line in Calle San Ysidro. Service may then be taken from the new line. Service will not be sold without adequate fire protection. Water service will only be sold in conjunction with sewer service.

Sewer service to the purposed development is available contingent upon construction of a new public line. The new line must end in a manhole and outfall to the 10 inch line in Candelaria. Service may then be taken from the new line.

**Fire Protection:** Current mapping indicates there are no accessible hydrants, for the new lots. The installation of new public hydrants will be required. All new required hydrants as well as their exact locations must be determined through the County Fire Marshal's Office and verified through the Utility Development Office prior to sale of service.

**Easements:** Water Authority public water and sanitary sewer easements are also required for all lines that are to be constructed outside of any dedicated Rights-of-Way. The minimum easement width for public water and sanitary sewer lines shall be 25 feet

in width and 20 feet for a single line. Acceptable easements must be documented on the final site plan and/or plat prior to approval.

**Design and Construction** of all required improvements will be at the developer/property owner's expense and must be coordinated through the City of Albuquerque and Water Authority Design Review Process. Designs must be done by a New Mexico Registered Professional Engineer. Construction of all public improvements must be by a licensed, bonded, public utility contractor.

**Costs and Fees:** In addition to installation and construction costs, new sanitary sewer and metered water services will be subject to Utility Expansion Charges (UEC) payable at the time of service application. All charges and rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized. Credit will be given for any previous accounts on this property.

**Water Use:** All new development shall be required to meet the standard water usage of 180 gallons per household per day which is equivalent to 75 gallons per capita per day. Indoor water use shall consist of 70% of total use with outdoor limited to 30%. Where available, outdoor water usage shall utilize reclaimed water. All new commercial developments shall be subject to the requirements for water usage and water conservation requirements as defined by the Water Authority, particularly the Water Waste Ordinance, Water Conservation Large Users Ordinance and Water Conservation Water by Request Ordinance.

**Closure:** This statement of availability will remain in effect for a period of one year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Utility Department as soon as possible.

Please feel free to contact the Utility Development Office at (505) 924-3987, or by fax at (505) 924-3864 if you have questions regarding the information presented herein or need additional information.

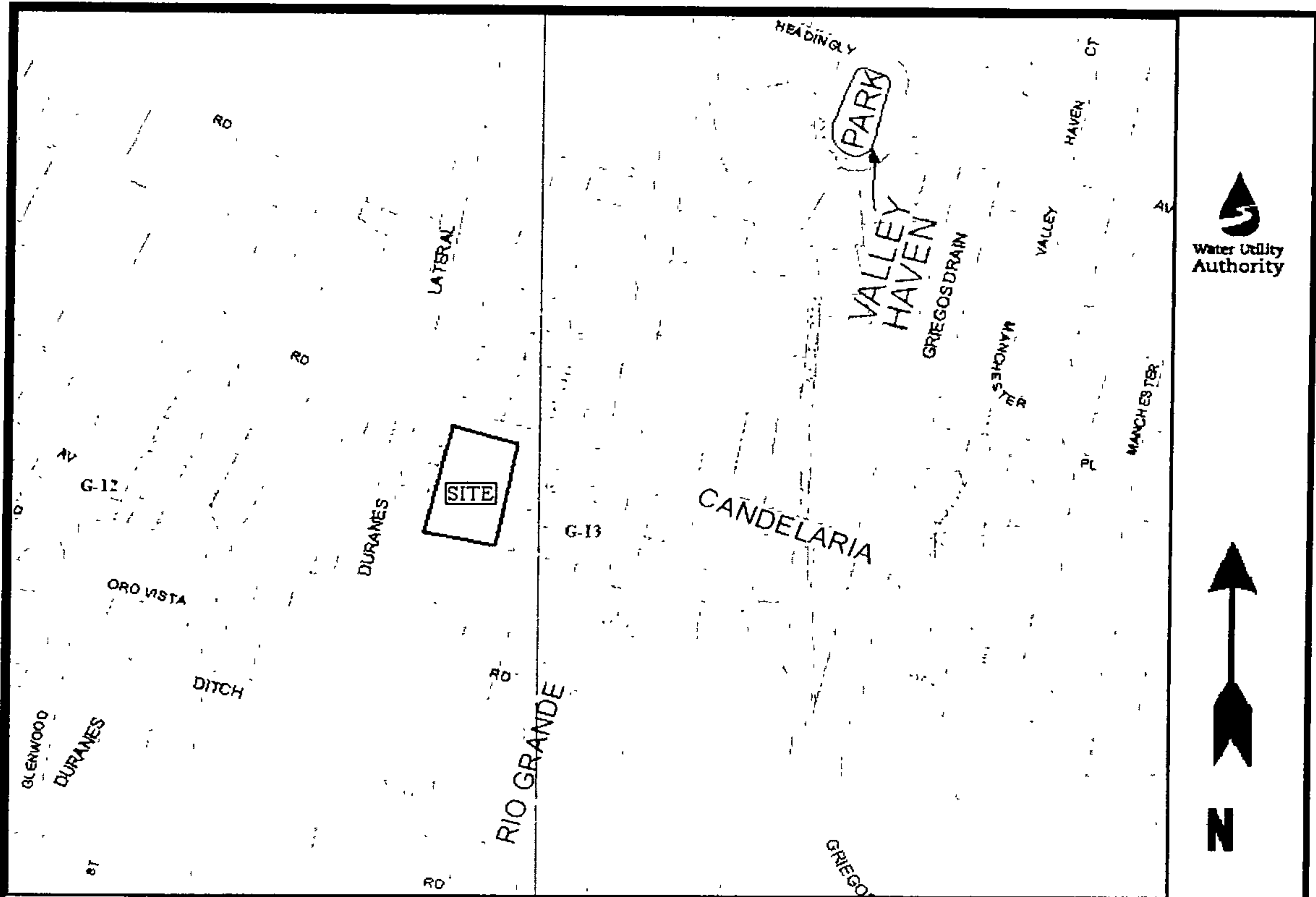
Sincerely,



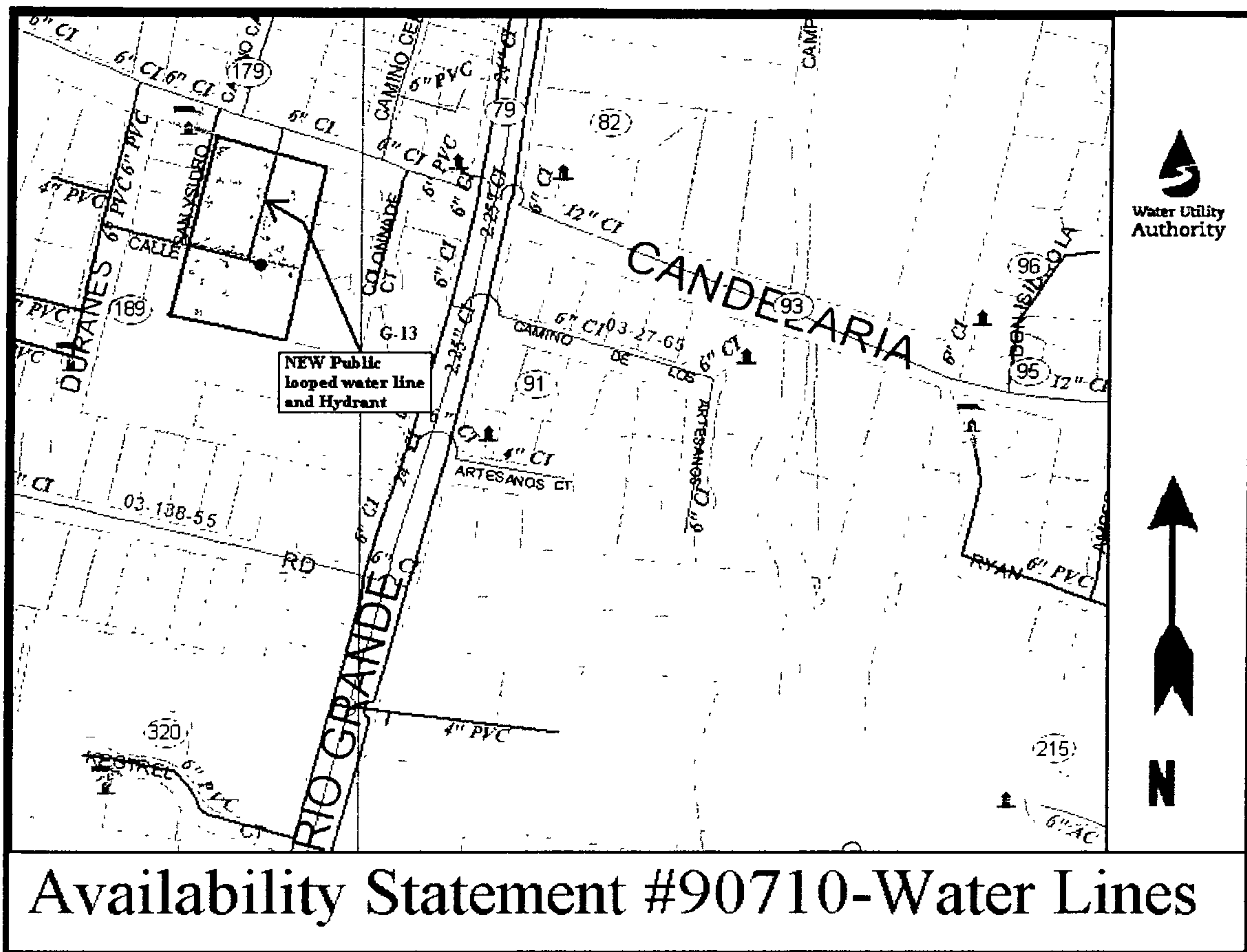
Mark S. Sanchez  
Executive Director

Encl: Site and Infrastructure Maps (3)

C: f/ Availability G-12  
f/ DBR 1007871



Availability Statement #90710-Site Map



# Availability Statement #90710-Water Lines



EXHIBIT A

PRELIMINARY  
PRE-DEVELOPMENT FACILITIES FEE AGREEMENT

THIS AGREEMENT is made by and between the Albuquerque Municipal School District No. 12, Bernalillo and Sandoval Counties, New Mexico (“Albuquerque Public Schools” or “APS”), a public school district organized and existing pursuant to the laws of New Mexico, and Bishop’s Compound, LLC (“Developer”) effective as of this \_\_\_\_\_ day of \_\_\_\_\_, 2009, and pertains to the subdivision commonly known as Bishop’s Compound Subdivision, and more particularly described as Lots 2 & 3, Unit 3, Alvarado Gardens

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(the “Subdivision”.) The following individual lots comprise the subdivision:

*[List lots by street address; Lots which will be used for multi-family residences should be marked “multifamily- \_\_\_ units” with the number of units filled in.]*

Nine Lots – Forthcoming

*Lots 1-6          Townhome units (duplexes)*

*Lots 7-9          Single-detached units*

WHEREAS, the City of Albuquerque requires that APS approve the plat(s) for any new subdivision; and

WHEREAS, Developer is proposing the development of a new residential subdivision, and requires APS approval of the plat for said subdivision; and

WHEREAS, Developer is the owner of the real estate being subdivided and platted; and

WHEREAS, Developer is required by the Albuquerque Subdivision Ordinance to provide appropriate infrastructure and improvements as a condition of developing a subdivision; and

WHEREAS, as a condition of approving such plat APS requires the provision of appropriate infrastructure and facilities or the payment of a facilities fee for each new residence to be constructed to help defray the cost of school construction, expansion, or maintenance; and

WHEREAS, APS has determined that the amount of the facilities fee is reasonably related to the impact the subdivision will have on the operation of the area schools.

THEREFORE, in consideration of the mutual promises contained herein, APS and Developer agree as follows:

1. Developer agrees to pay to APS a facilities fee for each dwelling unit to be constructed in the Subdivision.

2. The amount of the fee shall be:
  - If the building permit is issued on or after January 1, 2007, the fee shall be \$1875 per dwelling unit.
  - If the building permit is issued on or after July 1, 2008, the fee shall be \$2425 per dwelling unit.
  - If the permit is issued on or after January 1, 2010, the fee shall be \$2975 per dwelling unit.

The fee for each dwelling unit in multi-family residential structures shall be sixty percent (60 %) of the fee for a single family home. "Multi-family residential structure" means any type of residential property other than single-family houses (one single family, detached dwelling unit per lot).

3. Developer agrees that the fee shall be paid to APS at or before the issuance of any building permit for any lot or other parcel of property subject to this agreement.

4. Developer may satisfy all or part of its obligations under this contract by transferring improved or unimproved property to APS, provided that APS must agree to the transfer and to the value placed on the transferred property. APS, upon accepting such transfer, shall credit Developer with an amount equal to the agreed value, and the developer may designate the lot(s) to which such amount(s) shall be applied in satisfaction of its obligations hereunder.

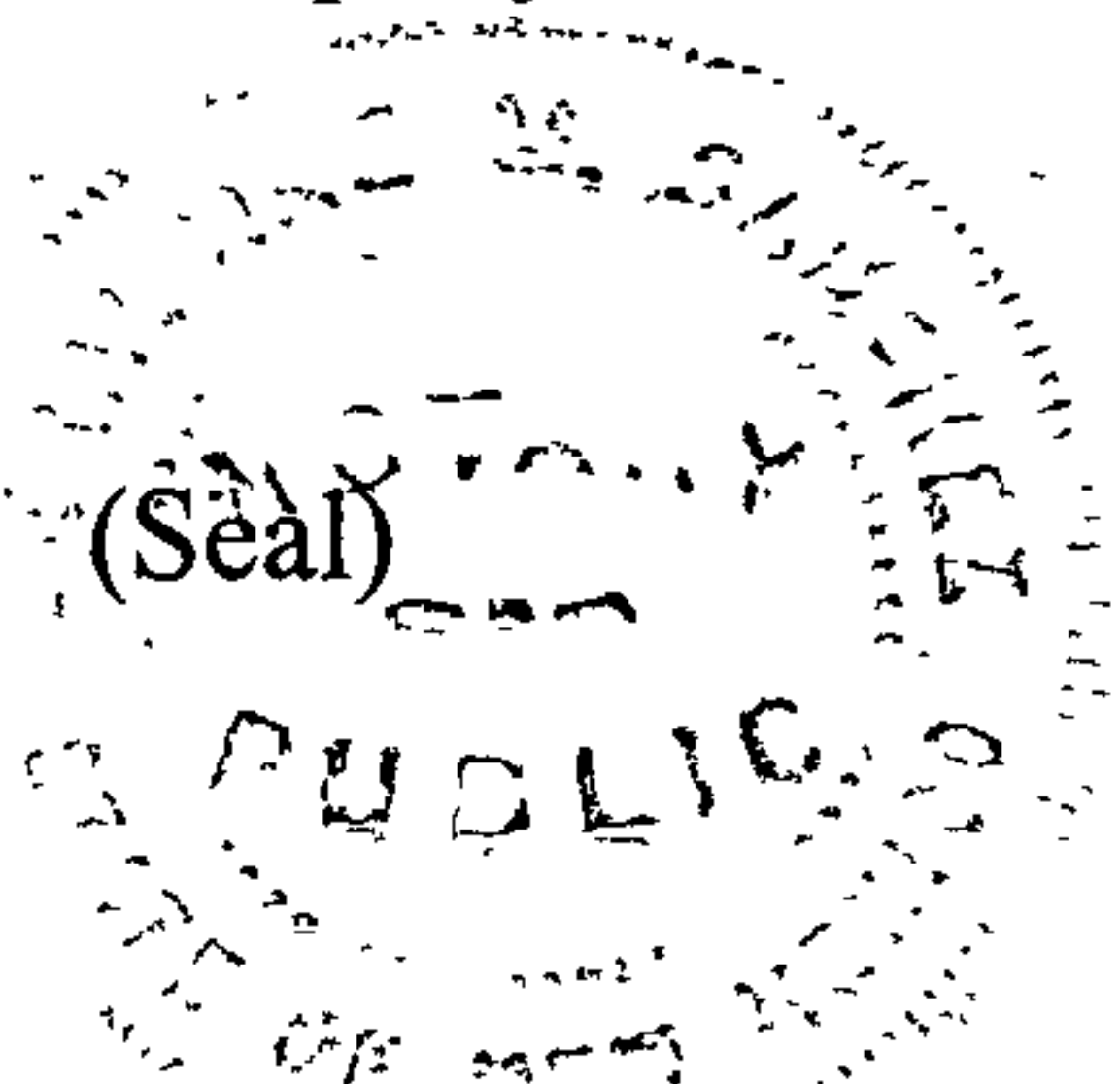
5. This contract may be recorded in the office of the County Clerk of Bernalillo and/or Sandoval County, and shall serve as notice of the Developer's obligation to pay facilities fees. Developer shall include on the plat of the Subdivision a statement that "The property on this plat is subject to a Pre-Development Facilities Fee Agreement with the Albuquerque Public Schools, recorded at [recording data]."

6. APS, through its Facilities Fee Administrator, will provide a Payment Acknowledgement in the form attached hereto to the Developer reflecting receipt of the facilities fee (or equivalent compensation as described in paragraph 4 above), which form may be given to the City to show satisfaction of the fee obligation and satisfy that condition for receiving building permits. Developer may record that Payment Acknowledgment in the real estate records of Bernalillo or Sandoval County, but APS shall not be responsible for paying any recording fees nor shall APS be responsible for recording any such documents with the office of the County Clerk or any other office.

John J. Kelly  
Signature  
John J. Kelly, Managing Member  
Name (typed or printed) and title  
Bishop's Compound, LLC  
Developer

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO

This instrument was acknowledged before me on December 9, 2009, by John J. Kelly as Managing Member of Bishop's Compound, LLC, a limited liability company.



Geraldine M. Sandy  
Notary Public

My commission expires: August 30, 2010

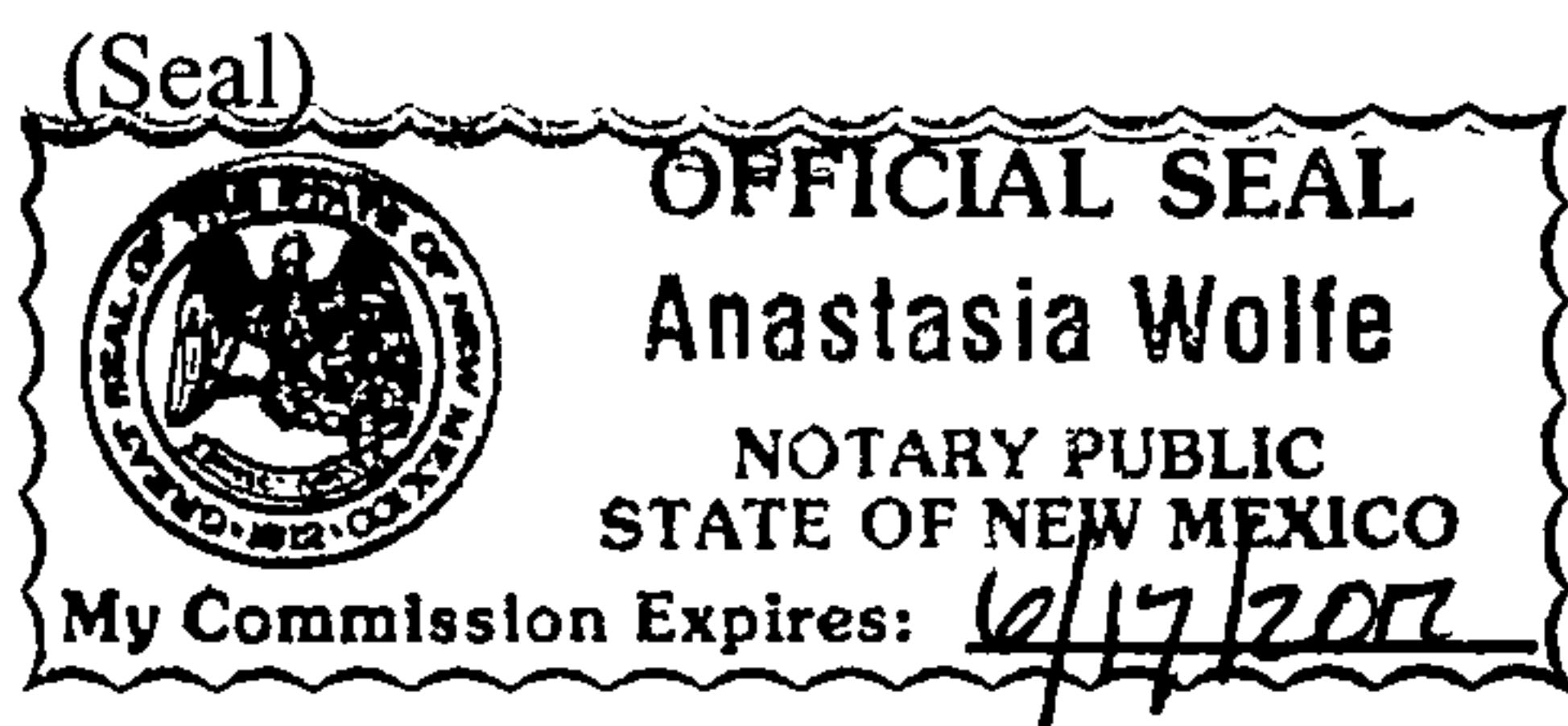
ALBUQUERQUE PUBLIC SCHOOLS

By: April Winters  
Signature

April Winters, Facilities Fee Planner  
Name (typed or printed) and title

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO

This instrument was acknowledged before me on December 10, by April Winters as Facilities Fee Planner of the Albuquerque Municipal School District No. 12, Bernalillo and Sandoval Counties, a school district organized and existing under the laws of the State of New Mexico.



Anastasia Wolfe  
Notary Public  
My commission expires: 6/17/2012







Supplemental form

**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

Professional/Agent (if any): ISAACSON & ARFMAN, P.A. PHONE: 268-8828  
 ADDRESS: 128 Monroe St NE FAX: 268-2632  
 CITY: Albuquerque STATE NM ZIP 87108 E-MAIL: freda@iacivil.com

APPLICANT: BISHOP COMPOUND, LLC PHONE: (505) 235-5084  
 ADDRESS: 3009 CALLE SAN PEDRO FAX: 848-1889  
 CITY: ABQ STATE NM ZIP 87107 E-MAIL: johnkellynm@comcast.net

Proprietary interest in site: PURCHASER UNDER EXCLUSIVE LAND PURCHASE AGREEMENT List all owners: JOHN KELLY, ED PASCHICH

DESCRIPTION OF REQUEST: SKETCH PLAT REVIEW

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Lots 2 and 3 Block:        Unit: 3  
 Subdiv/Addn/TBKA: ELY ALVARADO GARDENS (TBKA 2420 CADELARIA RD NW)  
 Existing Zoning: R-LT Proposed zoning: R-LT  
 Zone Atlas page(s): G-12 UPC Code: 10120605083110330 MRGCD Map No N/A

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_, Z\_, V\_, S\_, etc.): N/A

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? NO  
 No. of existing lots: 2 No. of proposed lots: 9 Total area of site (acres): 1.3852 AC  
 LOCATION OF PROPERTY BY STREETS: On or Near: Candelaria ~~between~~  
 Between: Rio Grande and Glenwood

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review:       

SIGNATURE Fred C. Arfman DATE 07-07-09  
 (Print) FRED C. ARFMAN, P.A. Applicant:  Agent:   
FOR: ISAACSON & ARFMAN, P.A.

**FOR OFFICIAL USE ONLY**

Form revised 4/07

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>09DRB - 20234</u>	<u>SK</u>		\$ <u>      </u>
<input checked="" type="checkbox"/> All fees have been collected				\$ <u>      </u>
<input checked="" type="checkbox"/> All case #s are assigned				\$ <u>      </u>
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ <u>      </u>
<input checked="" type="checkbox"/> Case history #s are listed				\$ <u>      </u>
<input type="checkbox"/> Site is within 1000ft of a landfill				\$ <u>      </u>
<input type="checkbox"/> F.H.D.P. density bonus				\$ <u>      </u>
<input type="checkbox"/> F.H.D.P. fee rebate				\$ <u>      </u>
	Hearing date <u>July 15, 2009</u>			Total \$ <u>      </u>

[Signature] 7/7/09  
 Planner signature / date

Project # 1007871

**FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)**

**SKETCH PLAT REVIEW AND COMMENT (DRB22)**

**Maximum Size: 24" x 36"**

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)**

**Maximum Size: 24" x 36"**

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Completed Site Plan for Subdivision Checklist
- Infrastructure List, if relevant to the site plan
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

**(DRB17)**

**Maximum Size: 24" x 36"**

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
- Solid Waste Management Department signature on Site Plan
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist
- Copy of Site Plan with Fire Marshal's stamp
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

**AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**

**AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

**FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**

**FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Solid Waste Management Department signature on Site Plan for Building Permit
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
- Infrastructure List, if relevant to the site plan
- Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting.**

**Your attendance is required** at any information required but not submitted with this application will likely result in deferral of actions.

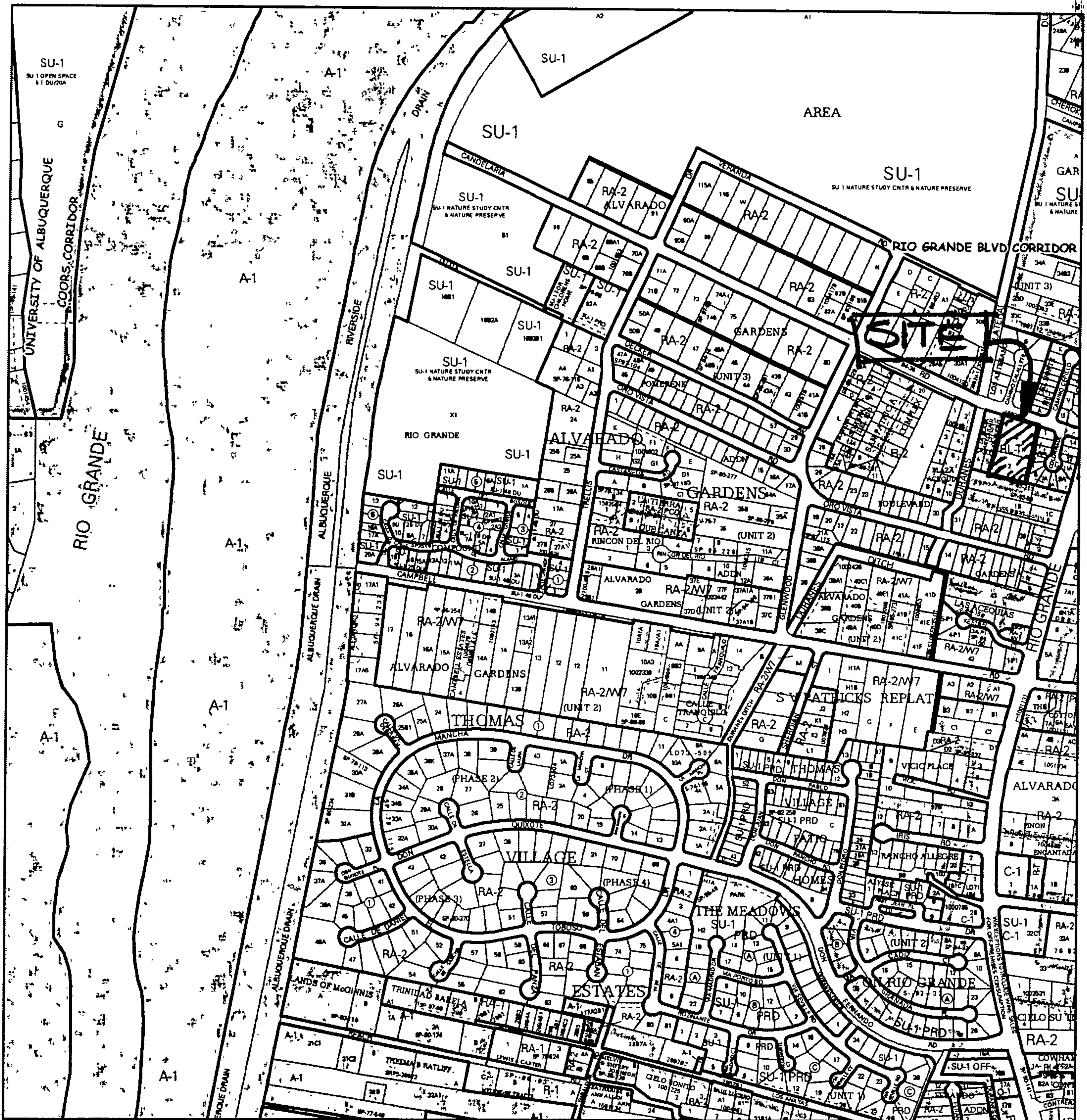
FRED C. AREMAN  
 Applicant name (print)  
Fred C. Areman 07.07.09  
 Applicant signature / date




Form revised October 2007

- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
 94DRB - \_\_\_\_\_ - 70234

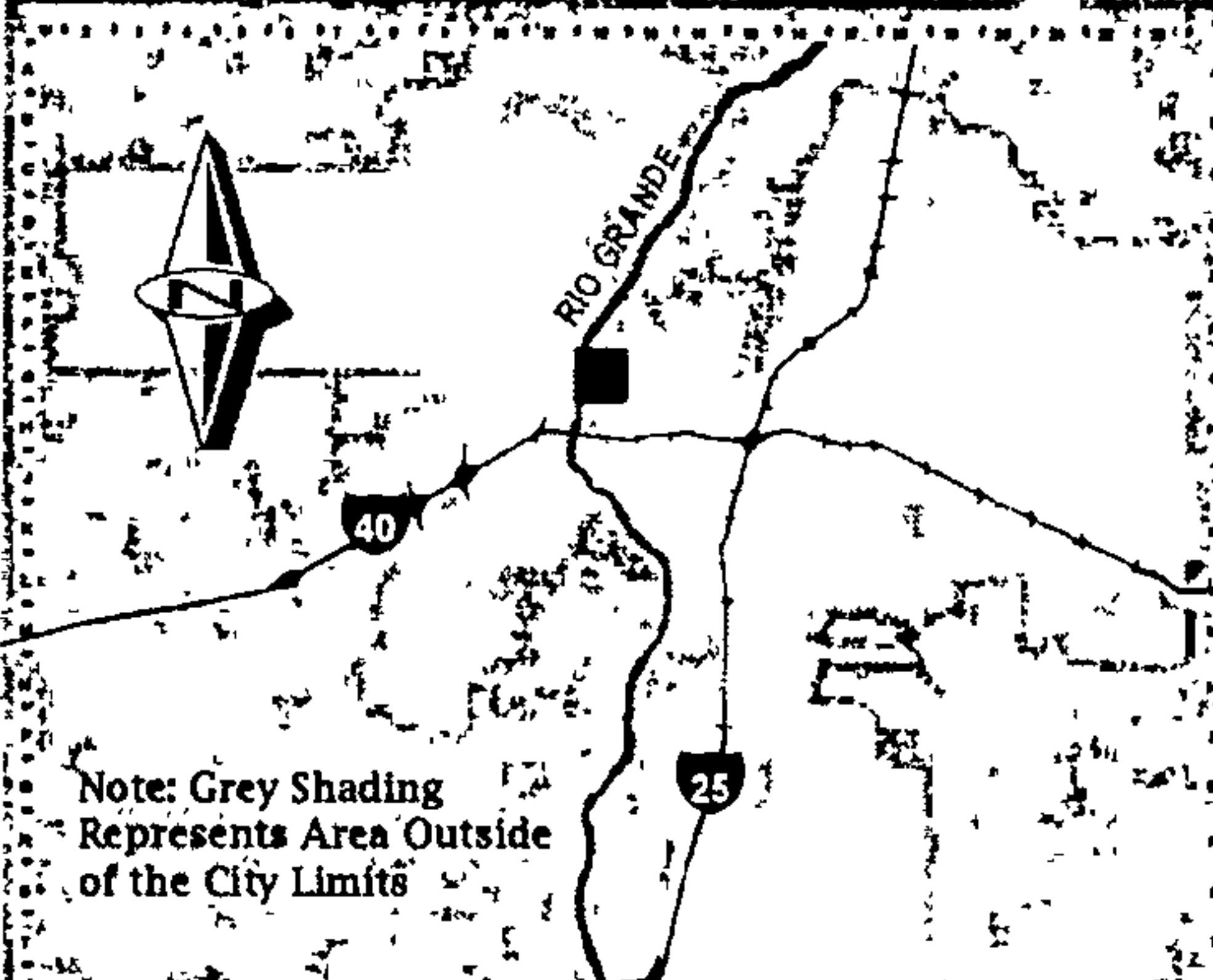
Kelly 7.7.09  
 Planner signature / date  
 Project # 1007871



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 6/13/2008



Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**G-12-Z**

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

# **PROJECT MEMORANDUM**

**Date: July 07,2009**

**To: Jack Cloud, Development Review Board, Chair**

**From: Fred C. Arfman, P.E., Isaacson & Arfman, PA**

**Ref: Bishops Compound  
Nine Lot Town Home Compound  
2420 Candelaria Rd. NW**

**Subj: Sketch Plat Submittal**

**The subject site is located on Candelaria Rd. approximately 200 ft west of Rio Grande Blvd. It is zoned RL-T ands consist of 1.3352 acres and containing an existing single family residence. The developers desire to develop a 9 lot compound within the zoning constraints of the RL-T zone.**

**The units are programmed to be serve by public (ABCWUA) water and sanitary sewer line extensions and by the local private utility companies (PNM, Qwest & Comcast).**

**The site is not affected by the Rio Grande Blvd Corridor Plan nor does it have the zoning covered by the DRAFT PLAN of the North Valley: Character Study & Design Overlay Zone, Dec. 2008.**

**Fred C. Arfman, P.E.**  
**Principal/ Vice President**  
*Isaacson & Arfman, P.A.*  
*Consulting Engineering Associates*  
*128 Monroe St. N.E.*  
*Albuquerque, NM 87108*  
*Phone: (505)268-8828*  
*Fax: (505)268-2632*  
*[freda@iacivil.com](mailto:freda@iacivil.com)*

7/7/2009

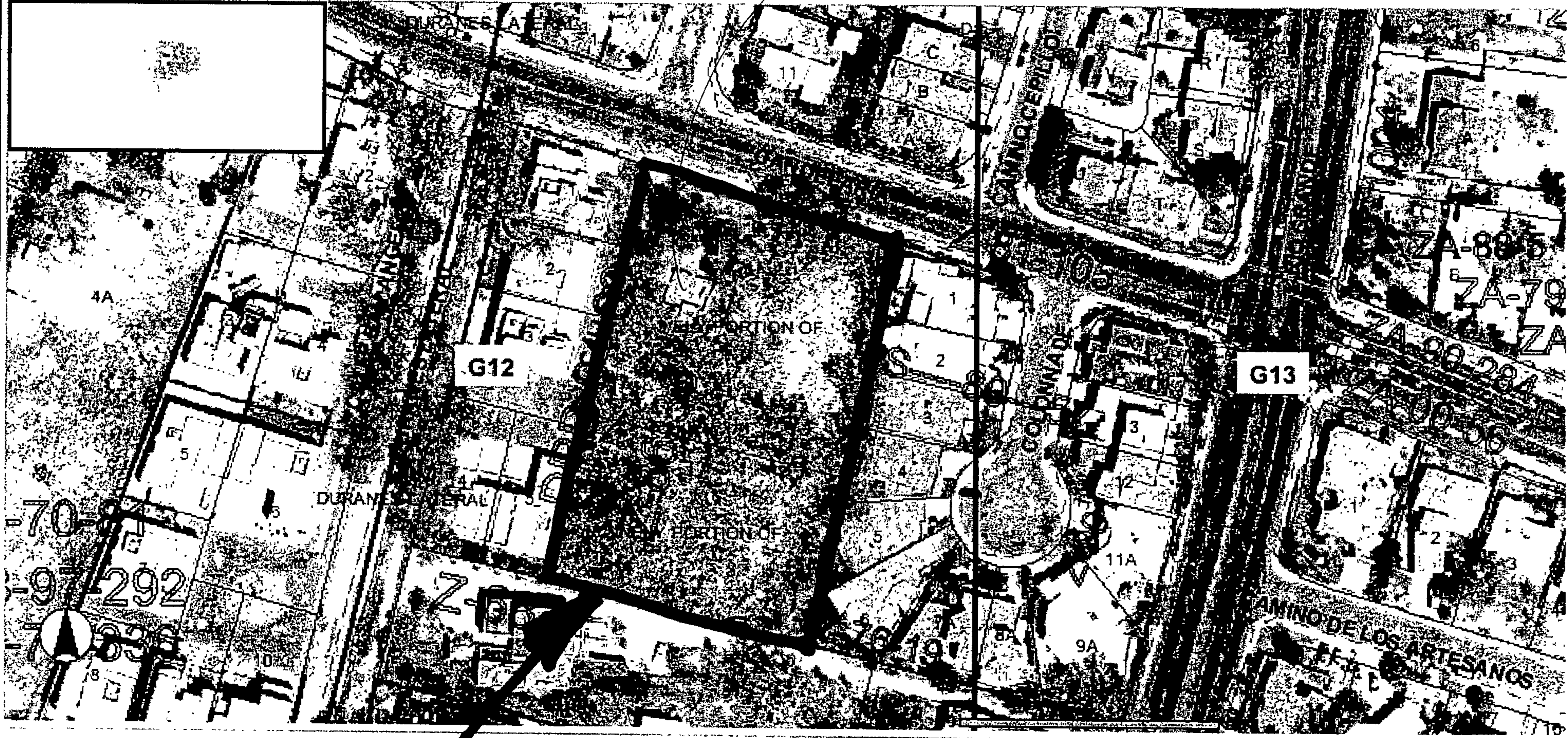
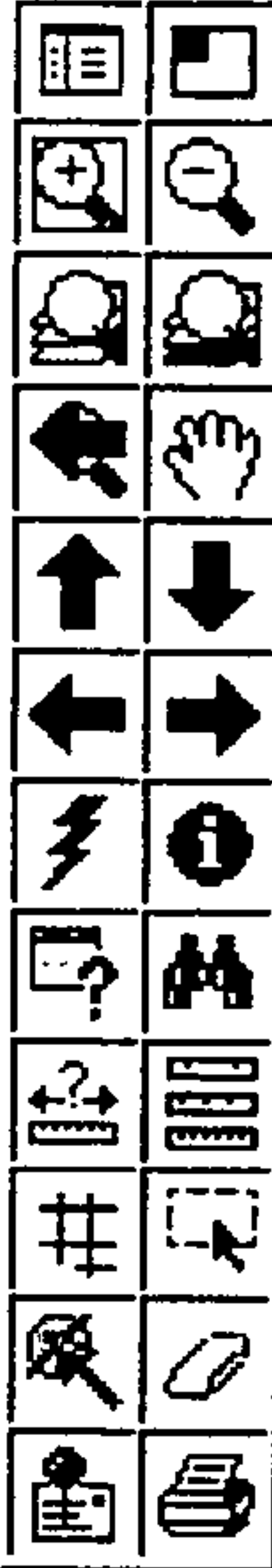


CITY OF ALBUQUERQUE

www.cabq.gov

# ALBUQUERQUE GIS DATA WEBSITE

EXST. RESIDENCE



PARCELS is now the Active Layer

SITE