

VICINITY MAP No. G-12



**LEGAL DESCRIPTION**

A CERTAIN TRACT OF LAND WITHIN THE TOWN OF ALBUQUERQUE GRANT, PROJECTED SECTION 1, TOWNSHIP 10 NORTH, RANGE 2 EAST N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING DESIGNATED AS PORTIONS OF LOTS NUMBERED TWO (2) AND THREE (3) OF ALVARADO GARDENS NO. 3 AN ADDITION IN BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 20, 1937, IN VOLUME D1, FOLIO 107. SAID TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF SAID TRACT, SAID POINT ALSO BEING THE NORTHWEST CORNER OF LOT ONE (1) OF "THE COLONADE", FILED ON MARCH 20, 1981, IN VOLUME C18, FOLIO 33; AND FROM WHENCE THE A.G.R.S. CONTROL STATION "6-G13AR", HAVING NEW MEXICO STATE PLANE COORDINATES OF X=1,515,743.949 AND Y=1,500,719.134 (NAD 83) BEARS S 79°38'21" E, 2379.78 FEET DISTANT; THENCE S 12°23'23" W, 178.44 FEET ALONG THE EAST BOUNDARY OF SAID TRACT OF THE WEST BOUNDARY OF "THE COLONADE" TO AN ANGLE POINT; THENCE S 13°14'29" W, 126.07 FEET ALONG THE EAST BOUNDARY OF SAID TRACT AND THE WEST BOUNDARY OF "THE COLONADE" TO THE SOUTHEAST CORNER OF SAID TRACT, SAID POINT ALSO BEING THE SOUTHWEST CORNER OF LOT 6 OF "THE COLONADE"; THENCE N 76°13'59" W, 188.54 FEET ALONG THE SOUTH BOUNDARY OF SAID TRACT AND THE NORTH BOUNDARY OF LOT A, ALVARADO GARDENS UNIT 3, FILED MARCH 7, 1995, IN BOOK 95C, PAGE 78, TO THE SOUTHWEST CORNER OF SAID TRACT, SAID POINT ALSO BEING THE SOUTHEAST CORNER OF LOT 5-A, "LA PLAZA ACEQUIA II SUBDIVISION", FILED ON AUGUST 11, 2004, IN BOOK 2004C, PAGE 233; THENCE N 13°07'54" E, 186.92 FEET ALONG THE NORTH BOUNDARY OF SAID TRACT AND THE SOUTH RIGHT OF WAY LINE OF CANDELARIA ROAD N.W. TO THE POINT OF BEGINNING. SAID TRACT CONTAINING 1.3379 ACRES MOR OR LESS

**PRELIMINARY PLAT OF  
BISHOP'S COMPOUND SUBDIVISION**  
BEING A REPLAT OF  
**A PORTION OF LOTS 2 AND 3  
ALVARADO GARDENS, UNIT 3**

WITHIN  
TOWN OF ALBUQUERQUE GRANT  
SECTION 1, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
DECEMBER, 2009

APPROVALS:

*[Signature]* 12-10-09  
CITY SURVEYOR DATE

OWNERSHIP:

*[Signature]* 12/10/09  
BISHOP'S COMPOUND LLC JOHN KELLY, MANAGING MEMBER DATE

**ACS BENCHMARK**

CITY OF ALBUQUERQUE STATION NO. 3-G12  
ELEVATION: 4965.946

**FLOOD NOTE**

THE PROPERTY SHOWN HEREON IS LOCATED IN ZONE X, AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1.0% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR DRAINAGE AREAS OF LESS THAN 1 SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE 1.0% ANNUAL CHANCE FLOOD, ACCORDING TO THE FLOOD INSURANCE RATE MAPS OF BERNALILLO COUNTY, NEW MEXICO, PANEL NO. 35001C0118G & 35001C0331G, EFFECTIVE DATE SEPTEMBER 26, 2008.

**SITE DATA**

- TOTAL LAND AREA = 1.3379 ACRES.
- NUMBER OF EXISTING TRACTS IS 2.
- NUMBER OF PROPOSED RESIDENTIAL LOTS IS 9.
- CURRENT ZONING: R-LT.
- CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICES TO THIS DEVELOPMENT MUST BE VERIFIED AND COORDINATED WITH ABCWUA.

**NOTES**

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS ● WILL BE MARKED BY A NO. 4 IRON REBAR WITH PLASTIC CAP STAMPED "HARRIS PLS #11463".
- ALL STREET CENTERLINE POINTS SHOWN THUS ○ WILL BE MARKED BY A 4" ALUMINUM DISK STAMPED "CENTERLINE MONUMENT, "HARRIS PLS #11463".
- BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS ARE NMSP GRID BEARINGS.
- DISTANCES ARE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

**EASEMENTS:**

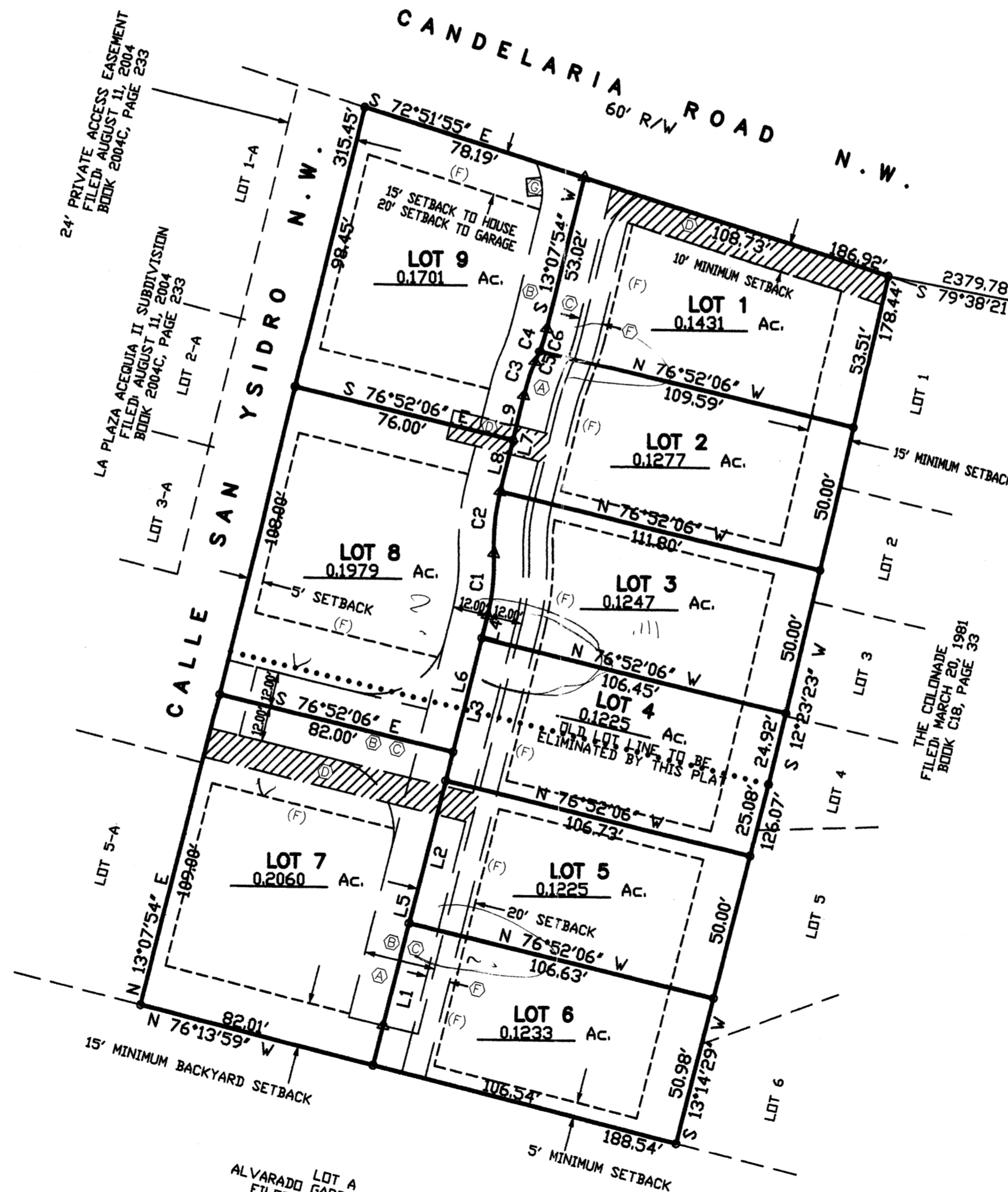
- 22' PUBLIC WATER AND SANITARY SEWER EASEMENT GRANTED TO ABCWUA BY FINAL PLAT.
- PRIVATE ACCESS EASEMENT GRANTED BY FINAL PLAT, TO BE MAINTAINED BY THE HOA.
- PRIVATE DRAINAGE EASEMENT GRANTED BY FINAL PLAT, TO BE MAINTAINED BY HOA.
- 10' PUBLIC UTILITY EASEMENT GRANTED BY FINAL PLAT.
- 24' PUBLIC WATER EASEMENT GRANTED TO ABCWUA BY FINAL PLAT.
- 8' PUBLIC UTILITY EASEMENT GRANTED BY FINAL PLAT.
- 6'X5' PUBLIC WATER METER EASEMENT GRANTED TO ABCWUA BY FINAL PLAT.

**SUBDIVISION NOTES:**

LOTS 1-6 SHALL BE TOWNHOMES AND LOTS 7-9 SHALL BE SINGLE-DETACHED HOMES. LOT 9 FRONTS CANDELARIA ROAD, NW.

**LEGEND**

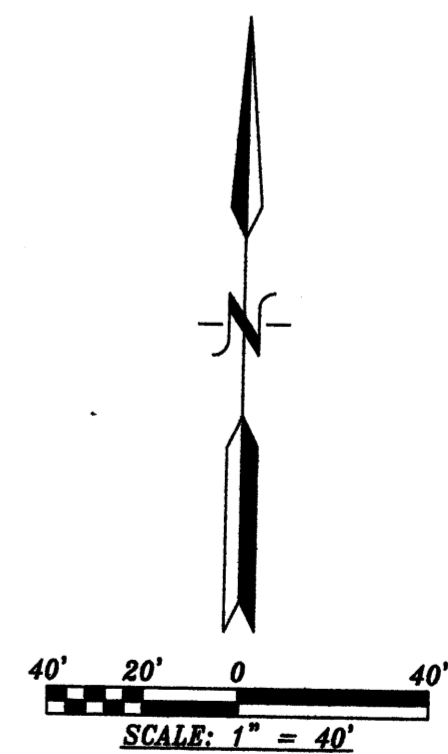
- PROPERTY LINE
- - - ADJOINING PROPERTY LINE
- △ CENTERLINE MONUMENT
- (F) FRONT OF LOTS



NUMBER	DIRECTION	DISTANCE
L1	N 13°07'54" E	49.80'
L2	N 13°07'54" E	50.00'
L3	N 13°07'54" E	50.00'
L4	N 13°07'54" E	8.00'
L5	N 13°07'54" E	109.91'
L6	N 13°07'54" E	47.89'
L7	S 13°07'54" W	33.67'
L8	N 13°07'54" E	18.11'
L9	N 13°07'54" E	15.56'

ACS STATION "6-G13AR"  
X=1,515,743.949  
Y=1,500,719.134  
GRD TO GRID=0.999684045  
Δα = -00° 14' 23.60"  
CENTRAL ZONE, NAD 1983


NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	16°15'37"	N 05°00'05" E	75.00	21.28	21.21
C2	16°15'37"	S 05°00'05" W	75.00	21.28	21.21
C3	09°22'00"	S 17°48'54" W	75.00	12.26	12.25
C4	09°22'00"	N 17°48'54" E	75.00	12.26	12.25
C5	03°10'48"	N 20°54'30" E	75.00	4.16	4.16
C6	06°11'13"	N 16°13'30" E	75.00	8.10	8.09



RE 09-0677.DWG (DECEMBER, 2009)

# PRELIMINARY PLAT OF BISHOP'S COMPOUND SUBDIVISION

BEING A REPLAT OF  
**A PORTION OF LOTS 2 AND 3  
ALVARADO GARDENS, UNIT 3**  
\* WITHIN  
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SECTION 1, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
MARCH 2010

APPROVALS:  
  
CITY SURVEYOR  
DATE: 12-10-09

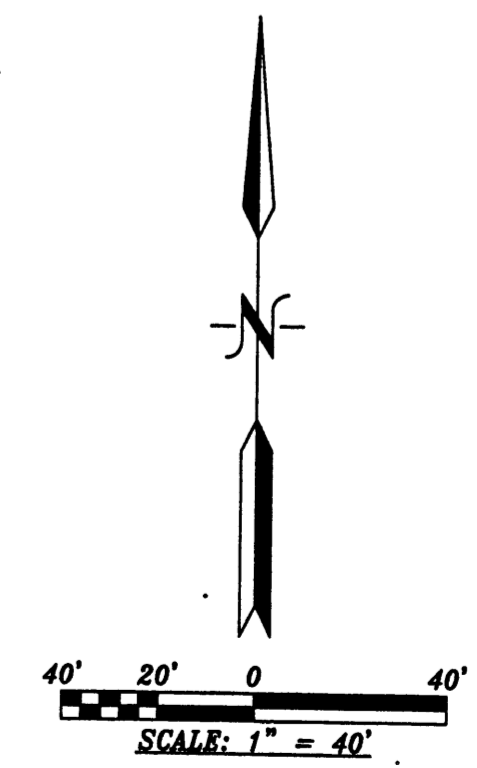
OWNERSHIP:  
Bishop's Compound LLC by   
BISHOP'S COMPOUND LLC JOHN KELLY, MANAGING MEMBER  
DATE: 12/10/09

PRELIMINARY PLAT  
APPROVED BY DRB  
ON 04-01-10

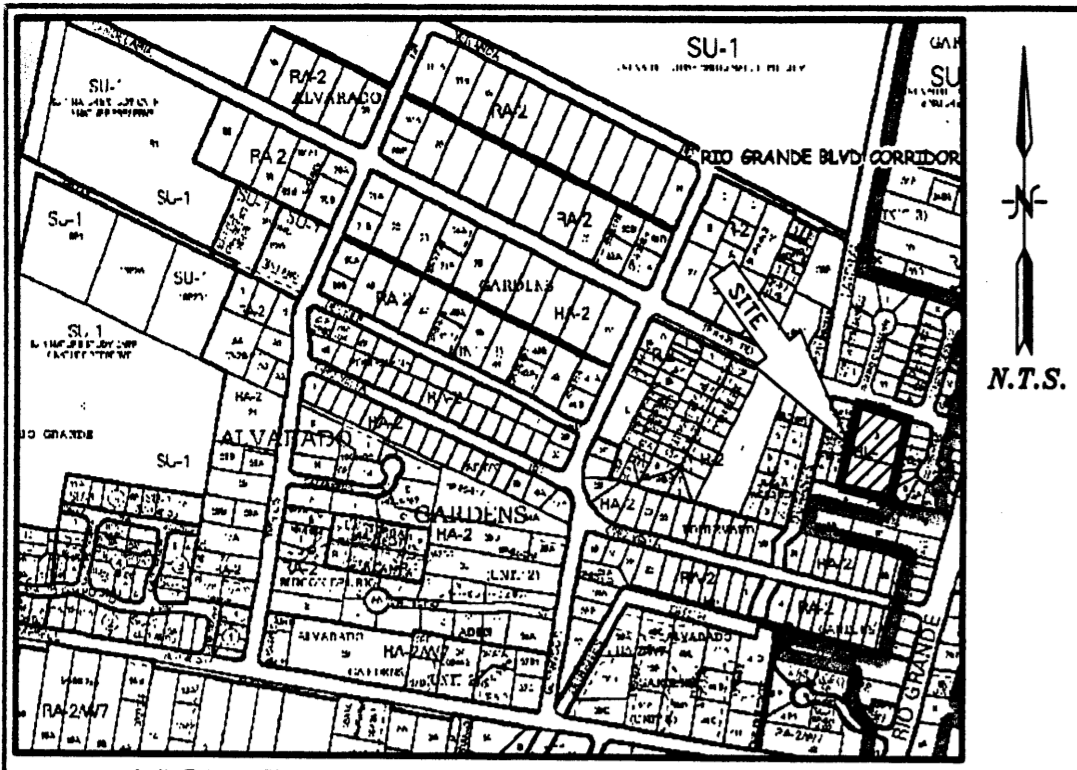
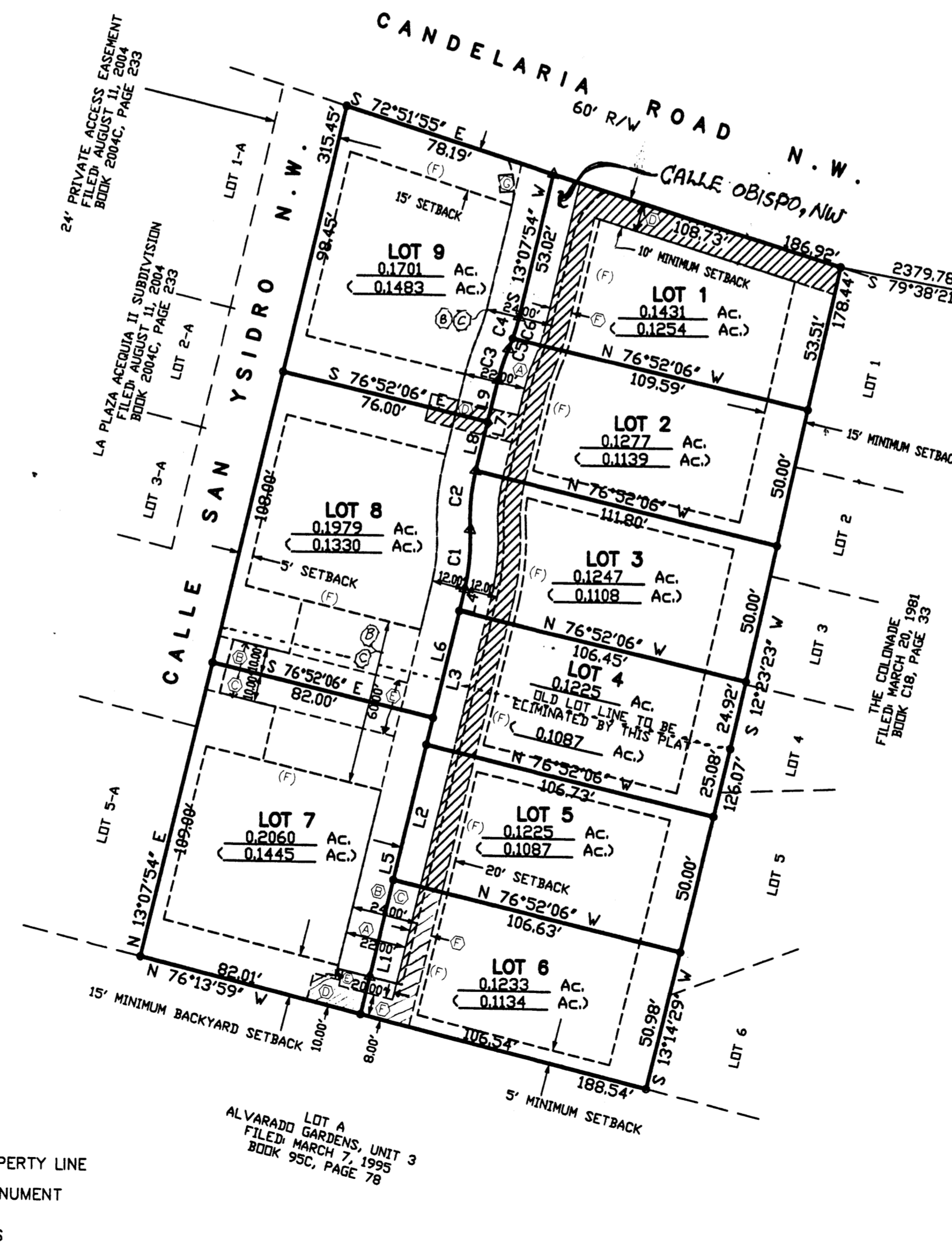
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**SITE DATA**

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- LOT AREAS LISTED IN PARENTHESES ARE NET AREAS (GROSS AREA MINUS ACCESS EASEMENT AREA)

**EASEMENTS:**

- 22' PUBLIC WATER AND SANITARY SEWER EASEMENT GRANTED TO ABCWUA BY FINAL PLAT.
- PRIVATE ACCESS EASEMENT FOR PRIVATE VEHICULAR AND PEDESTRIAN ACCESS AND PUBLIC EMERGENCY AND REFUSE VEHICLE ACCESS GRANTED BY FINAL PLAT, TO BE MAINTAINED BY THE HOA PER THE BISHOP'S COMPOUND'S CC&R'S
- PRIVATE DRAINAGE EASEMENT GRANTED BY FINAL PLAT, TO BE MAINTAINED BY HOA PER THE BISHOP'S COMPOUND'S CC&R'S
- 10' PUBLIC UTILITY EASEMENT GRANTED BY FINAL PLAT.
- 20' PUBLIC WATER EASEMENT GRANTED TO ABCWUA BY FINAL PLAT.
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**SUBDIVISION NOTES:**  
LOTS 1-6 SHALL BE TOWNHOMES AND LOTS 7-9 SHALL BE SINGLE-DETACHED HOMES. NO LOTS SHALL HAVE GARAGES FRONTING CANDELARIA ROAD.

**LEGEND**

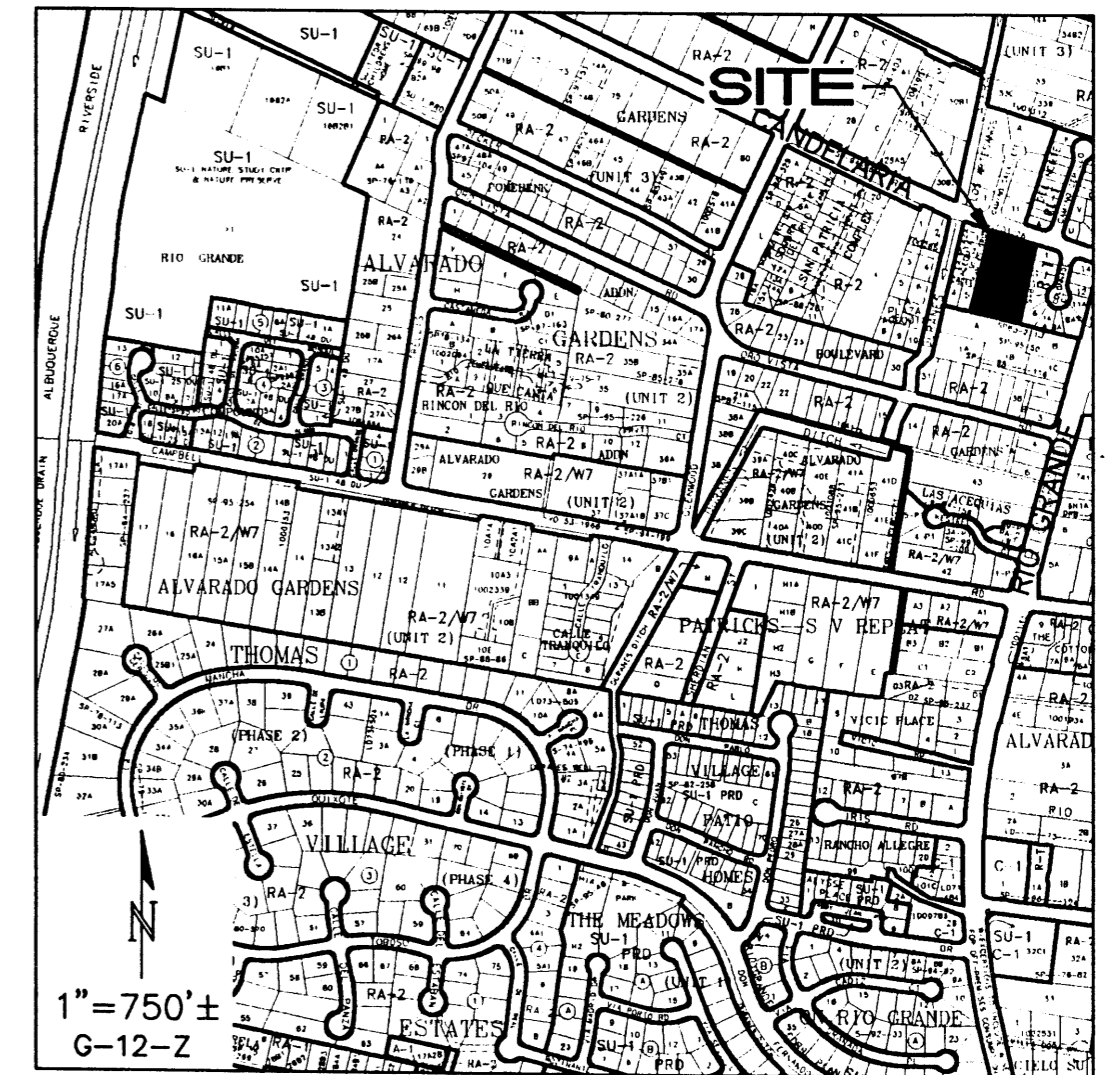
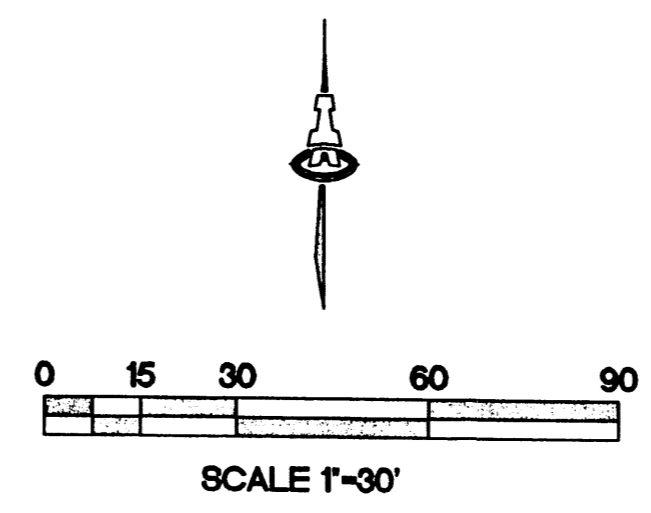
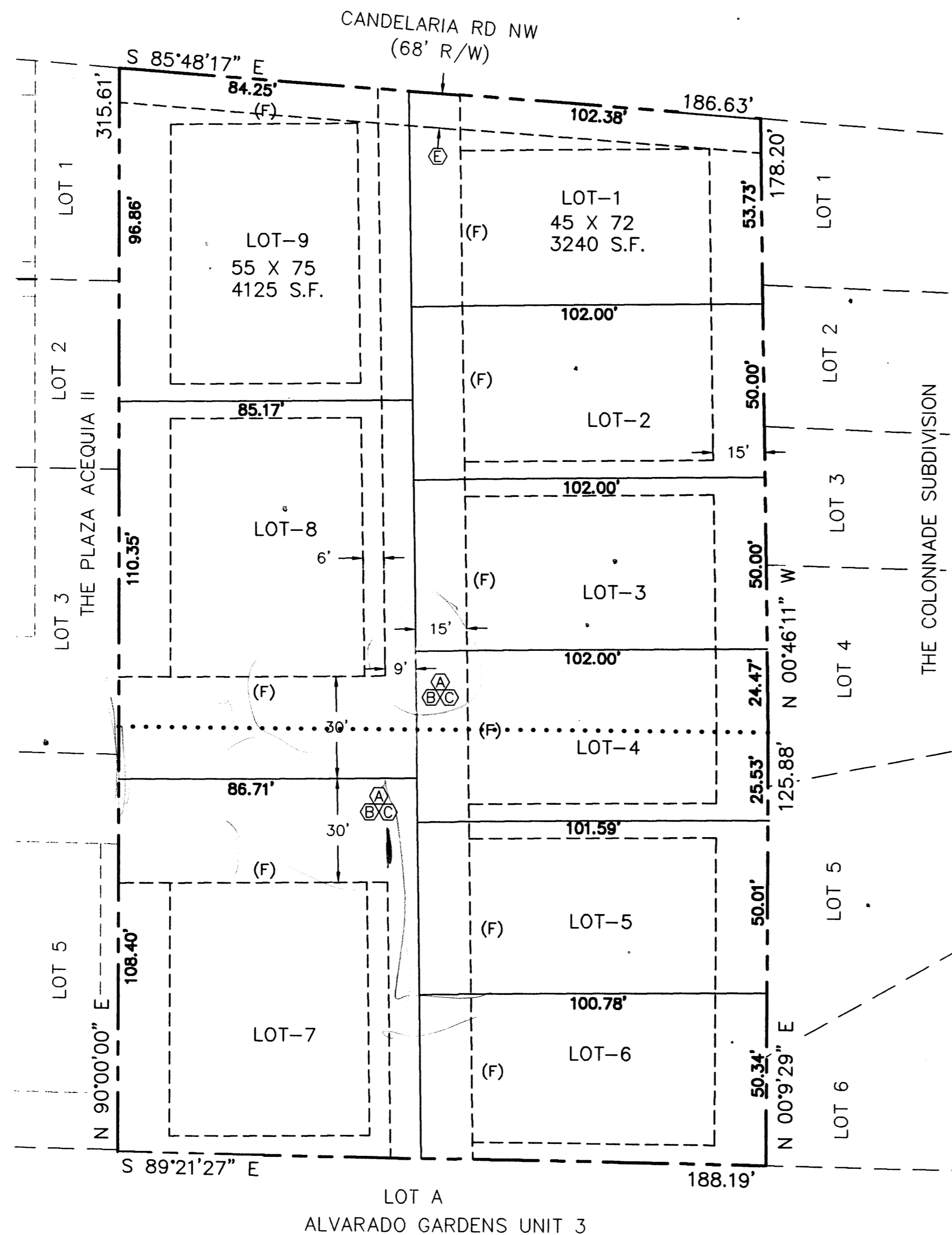
- PROPERTY LINE
- - - ADJOINING PROPERTY LINE
- ▲ CENTERLINE MONUMENT
- (F) FRONT OF LOTS

RE 09-0677.DWG (DECEMBER, 2009)

SKETCH PLAT  
FOR  
2420 CANDELARIA RD NW

CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

JULY 2009



**OWNER:** JOHN KELLY / ED PASCHICH

**ENGINEER:** ISAACSON & ARFMAN, P.A.  
ATTN: GENNY DONART  
128 MONROE ST. NE  
ALBUQUERQUE, NM 87108

**SURVEYOR:** T.B.D.

**SITE LEGAL:** A PORTION OF LOT 2 NELY ALVARADO GARDENS  
UNIT 3 TOGETHER WITH A PORTION OF LOT 3  
ELY ALVARADO GARDENS UNIT 3

**SITE AREA:** 1.3352 Ac.

**ZONING:** R-LT

**LEGEND:**

(F) FRONT OF LOTS

..... LOTLINE TO BE VACATED

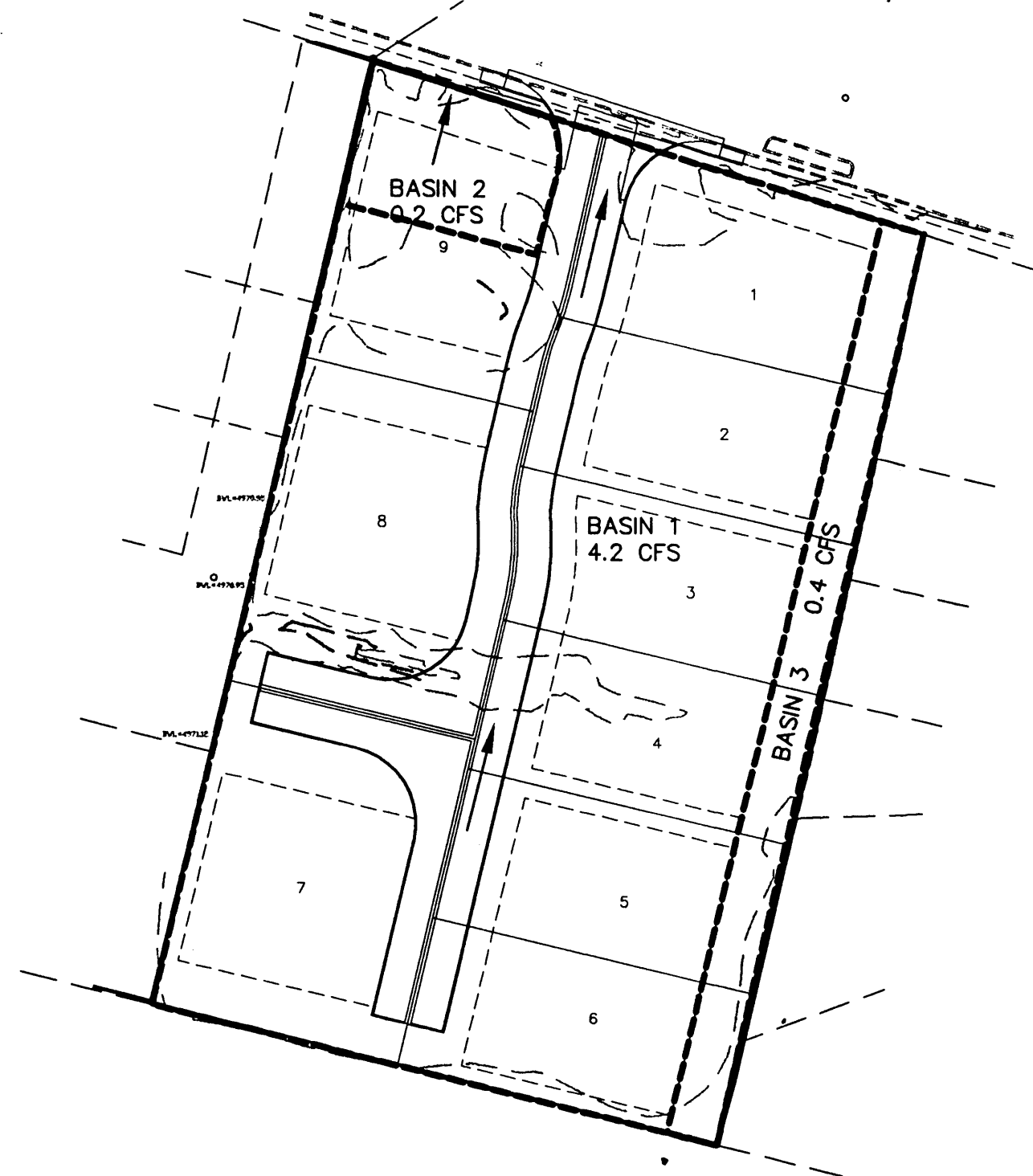
- NOTES**
1. NUMBER OF EXISTING TRACTS: 2
  2. NUMBER OF PROPOSED TRACTS: 0
  3. NUMBER OF PROPOSED LOTS: 9
  4. SUBDIVISION ACREAGE: 1.3352 Ac.

- EASEMENTS:**
- A. PUBLIC WATER AND SANITARY SEWER EASEMENT GRANTED TO ABCWUA BY FINAL PLAT.
  - B. PRIVATE ACCESS EASEMENT GRANTED BY FINAL PLAT. BENEFITING LOTS 1.
  - C. 4' WIDE PRIVATE PEDESTRIAN ACCESS EASEMENT TO BE GRANTED BY FINAL PLAT. TO BE MAINTAINED BY BENEFITING LOTS.
  - D. PRIVATE DRAINAGE EASEMENT GRANTED BY FINAL PLAT, TO BE MAINTAINED BY HOA.
  - E. 10' PUBLIC UTILITY EASEMENT GRANTED BY FINAL PLAT.

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates

128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 Fax. 505-268-2632

1728 V-SPLT.dwg Jul 07,2009



**BASIN MAP**  
1"=50'

**HYDROLOGY NOTES**

**EXISTING CONDITIONS:**

THERE IS AN EXISTING HOUSE AND SEVERAL LARGE TREES ON THE SITE. AN EXISTING PRIVATE DRAINAGE DITCH, WHICH IS NOT BEING USED FOR IRRIGATION RUNS THROUGH THE MIDDLE OF THE SITE IN AN EAST/WEST DIRECTION. THE SITE IS VERY FLAT AND FLOWS ARE RETAINED ON-SITE. NO OFF-SITE FLOWS ENTER THE SITE. THE STREET SLOPE IN CANDELARIA RD ADJACENT TO THE SITE HAS A SUB-MINIMUM SLOPE AND PROVIDES POOR CONVEYANCE OF DRAINAGE.

**PROPOSED CONDITIONS:**

THE SITE WILL BE DEVELOPED WITH 9 LOTS--3 SINGLE-DETACHED HOMES AND 6 DUPLEX TOWNHOMES. THE EXISTING HOUSE WILL BE DEMOLISHED AND SOME TREES WILL BE REMOVED AND SOME WILL BE RETAINED AND INCORPORATED INTO THE FINAL SITE LANDSCAPING. THIS PLAN PROVIDES FOR FREE DISCHARGE OF DEVELOPED FLOWS ONTO CANDELARIA BOULEVARD. THE RUNOFF FROM THE MAJORITY OF THE SITE (BASIN 1) OF 4.2 CFS WILL BE CONVEYED AS SURFACE DRAINAGE VIA THE 24-FOOT WIDE ROAD DESIGNATED AS AN ACCESS AND DRAINAGE EASEMENT. THE ROAD WILL HAVE AN INVERTED CROWN AND A 2-FOOT ALLEY GUTTER THROUGH THE CENTER. A PORTION OF LOT 9 (BASIN 2) WILL DISCHARGE 0.2 CFS DIRECTLY TO CANDELARIA. THE TOWNHOME LOTS WILL HAVE BACKYARD PONDING (BASIN 3). NO ROOF DRAINS SHALL BE DIRECTED TO THE BACKYARD, SO THE PONDS WILL CAPTURE ONLY RAINFALL THAT FALLS IN THE BACKYARDS (100 CF PER LOT). FRENCH DRAINS (PERCOLATION PITS) SHALL BE CONSTRUCTED AT THE BACKYARD LOW POINT, AND THERE WILL BE AN EMERGENCY OVERFLOW TO THE SIDEYARD SWALE AT AN ELEVATION OF 0.7' LOWER THAN FINISH FLOOR.

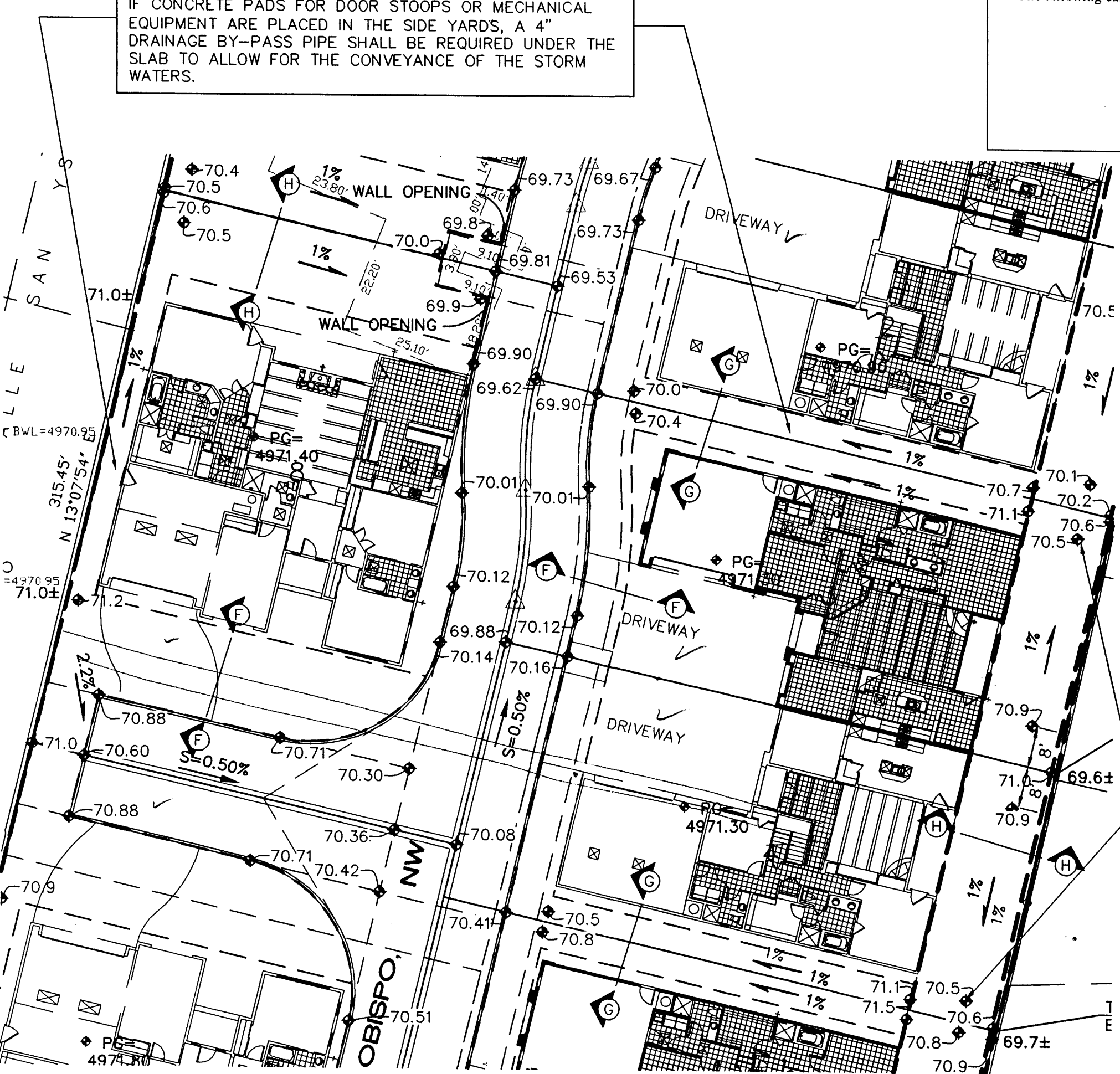
THERE ARE STORM DRAIN INLETS IN CANDELARIA EAST OF THE SITE AT THE COLONNADA COURT INTERSECTION. THERE ARE NO IMPROVEMENTS PROPOSED TO INCREASE STREET SLOPES IN CANDELARIA RD. A SITE VISIT AFTER A RAIN STORM INDICATED MINOR BIRD BATHS IN THIS AREA, BUT THE CURB & GUTTER IS IN FAIR CONDITION.

1728 DPM Calculations - 100 yr 6 hr 1.xts

BASIN NO.	DESCRIPTION	Area of basin flows =	Weighted E =	Sub-basin Volume of Runoff =	V <sub>50</sub> =	Sub-basin Peak Discharge Rate =	Q <sub>p</sub> =	LAND TREATMENT
1	All onsite except Lot 9 & Lots 1-6 backyards	50596 SF = 1.16 Ac.	1.54 in.	6480 CF	6480 CF	4.2 cfs		A = 0% B = 19% C = 19% D = 62%
2	Lot 9	2949 SF = 0.07 Ac.	1.54 in.	378 CF	378 CF	0.2 cfs		A = 0% B = 19% C = 19% D = 62%
3	Lots 1-6 Backyards	4733 SF = 0.11 Ac.	1.54 in.	606 CF	606 CF	0.4 cfs		A = 0% B = 19% C = 19% D = 62%

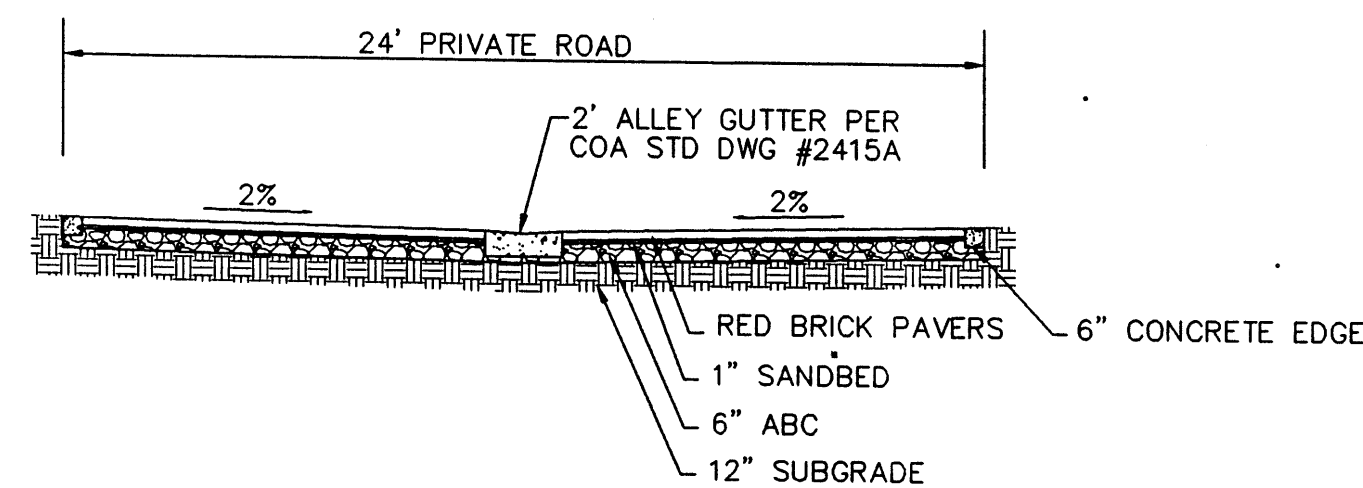
**NOTE:**

IF CONCRETE PADS FOR DOOR STOOPS OR MECHANICAL EQUIPMENT ARE PLACED IN THE SIDE YARDS, A 4" DRAINAGE BY-PASS PIPE SHALL BE REQUIRED UNDER THE SLAB TO ALLOW FOR THE CONVEYANCE OF THE STORM WATERS.

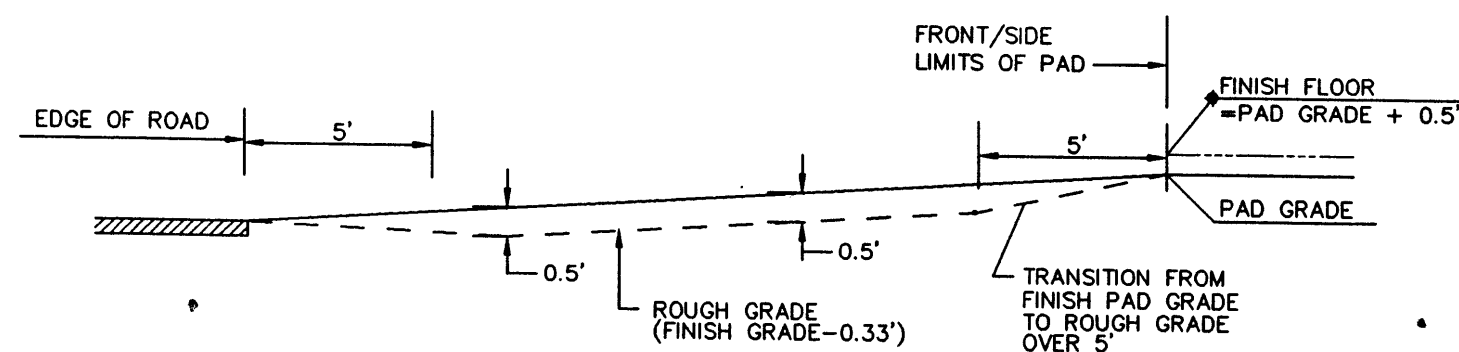


**TYPICAL GRADING SECTIONS**  
1"=20'

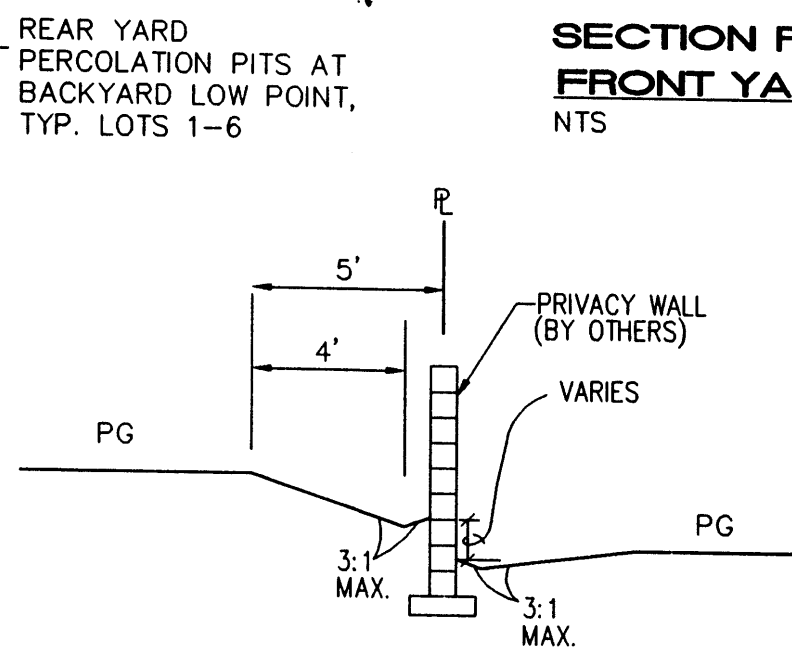
NOTE: FLOOR PLANS ARE SCHEMATIC-- FINAL FLOOR PLANS MAY VARY



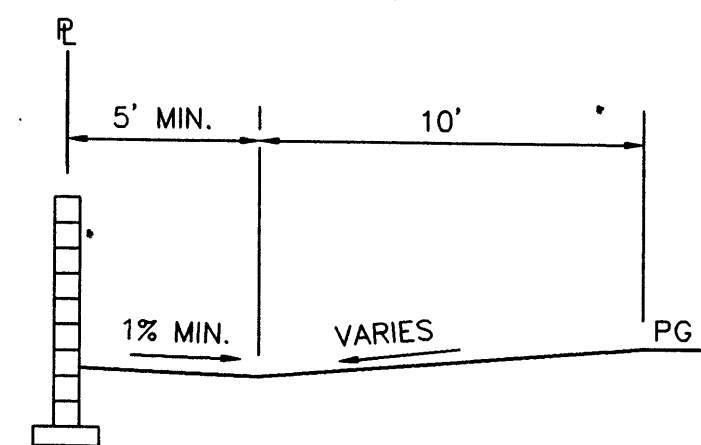
**SECTION E-E PRIVATE ROAD SECTION**  
SCALE: 1"=5'



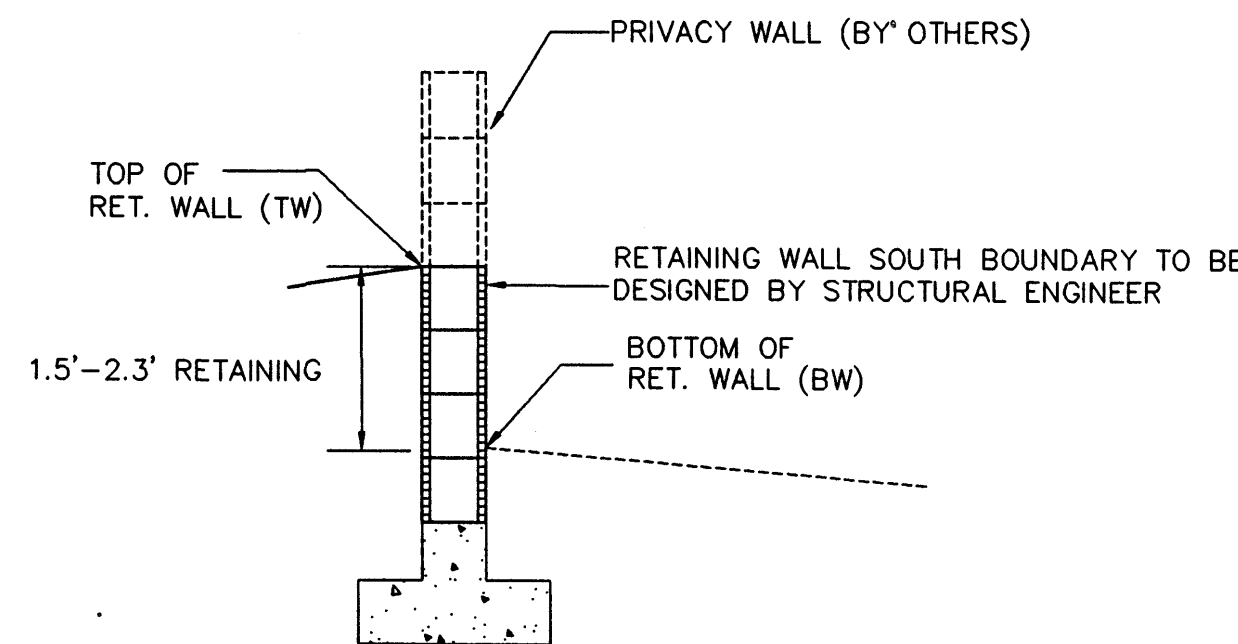
**SECTION F-F FRONT YARD GRADING**  
NTS



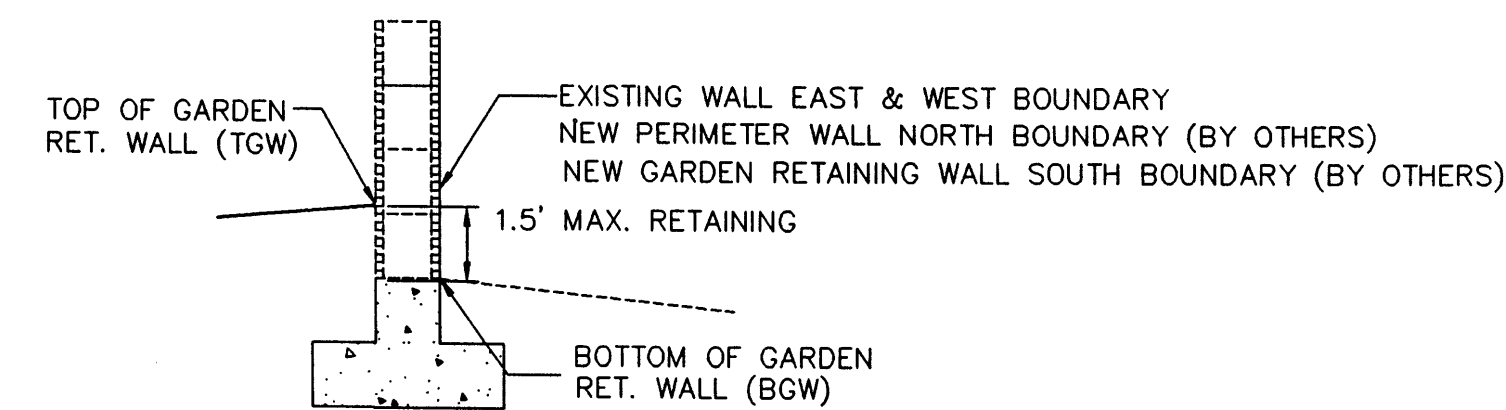
**SECTION G-G TYPICAL SIDEYARD GRADING**  
SCALE: 1"=5'



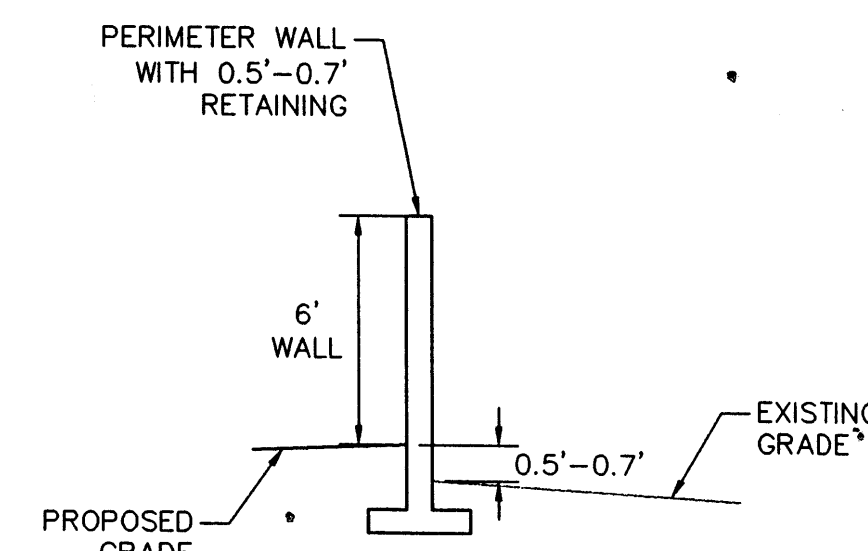
**SECTION H-H TYPICAL BACKYARD GRADING**  
SCALE: 1"=5'



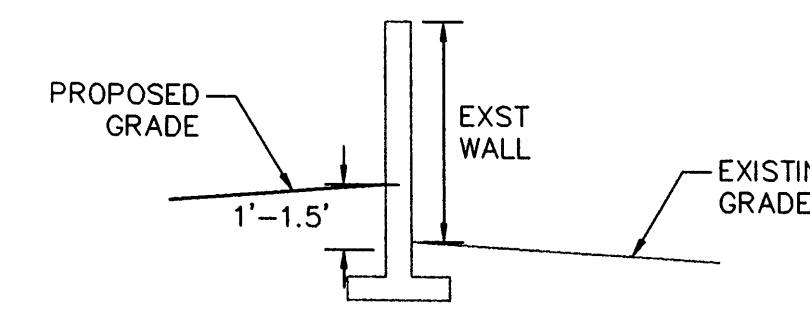
**RETAINING WALL**  
SCALE: 1"=5'-0"



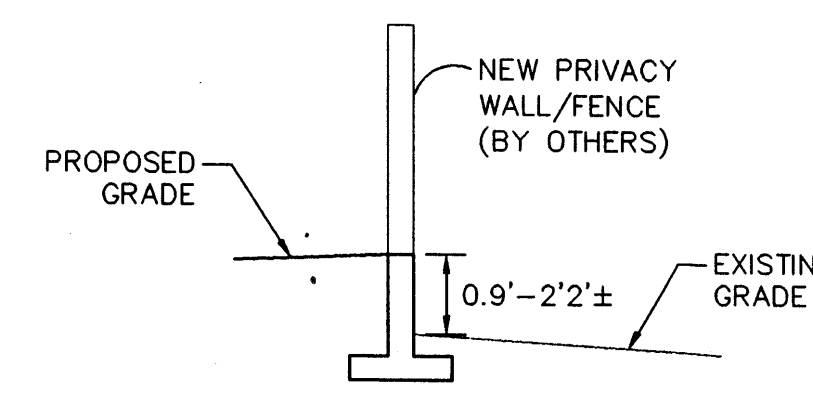
**GARDEN WALL RETAINING WALL**  
SCALE: 1"=5'-0"



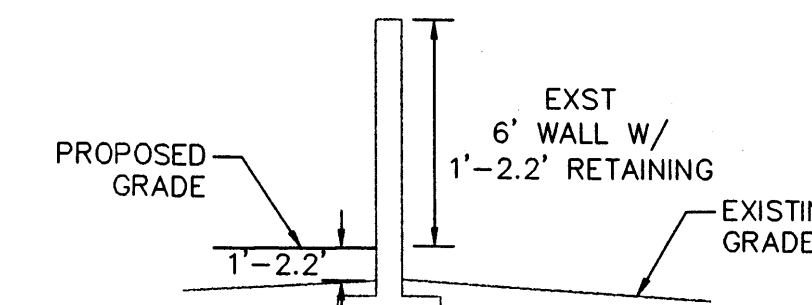
**SECTION A-A**  
SCALE: 1"=5'



**SECTION B-B**  
SCALE: 1"=5'



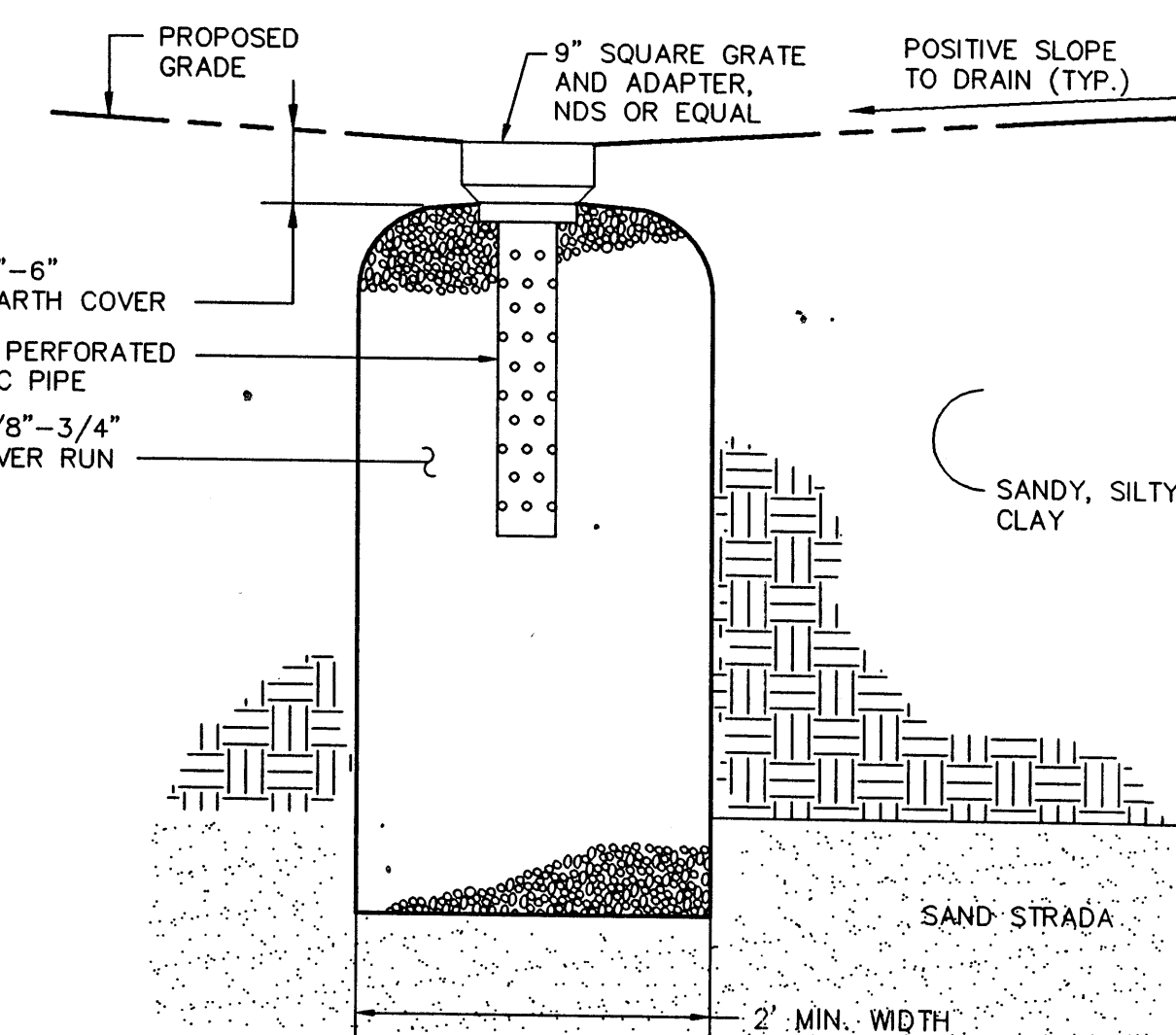
**SECTION C-C**  
SCALE: 1"=5'



**SECTION D-D**  
SCALE: 1"=5'

**LOTS 1-6 NOTES:**  
PERCOLATION PITS SHALL BE LOCATED AT LOW POINT IN BACKYARD PER DETAIL BELOW.

NO ROOF DRAINS SHALL BE DIRECTED TO THE BACKYARDS OF LOTS 1-6.



**REAR YARD STORMWATER PERCOLATION PIT**  
1"=1'  
LOTS 1-6

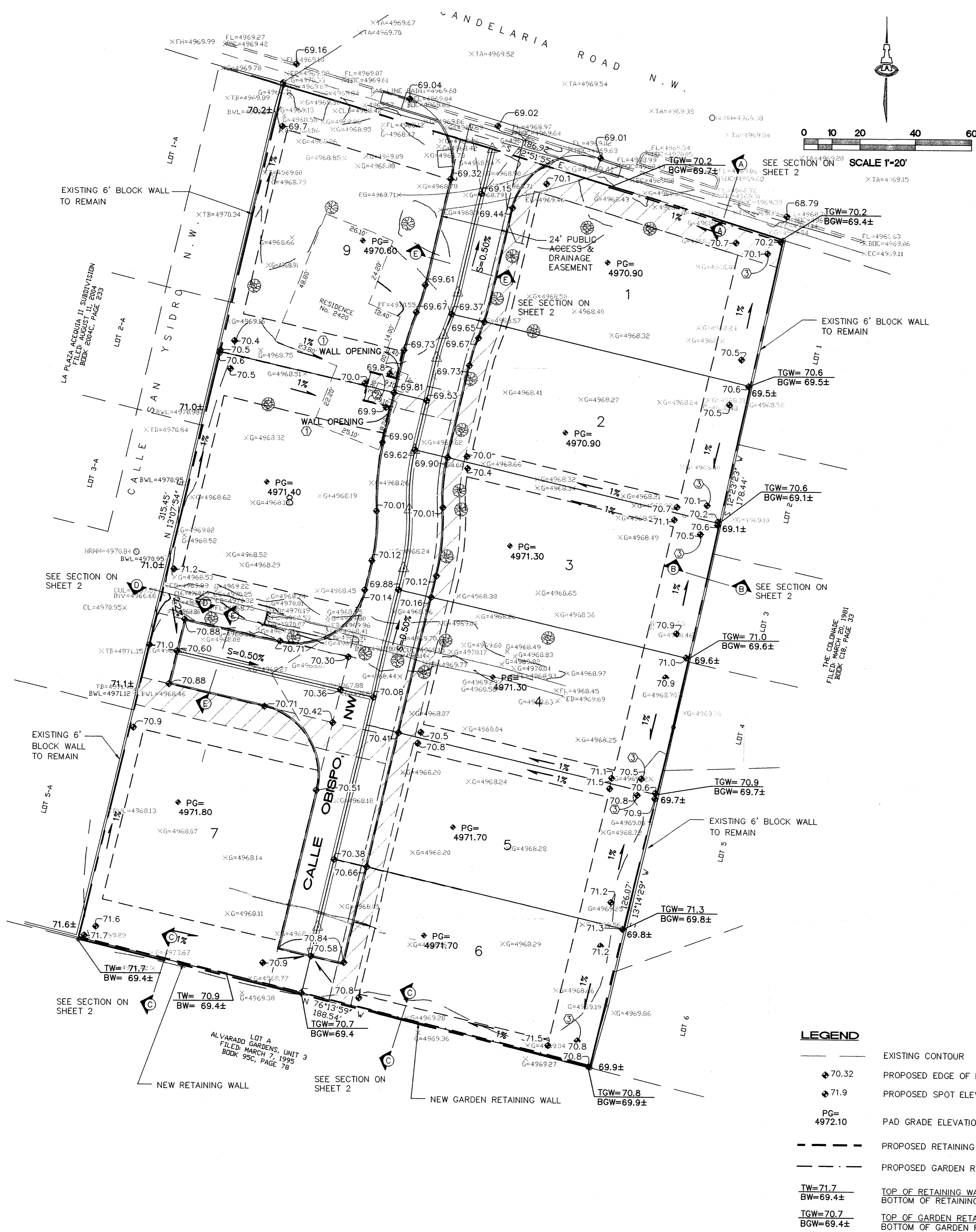
**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 Fax. 505-268-2632

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**BISHOP'S COMPOUND**  
BISHOP'S COMPOUND, LLC  
GRADING DETAILS & DRAINAGE NOTES

Date:	11-10-09	No.:	11-10-09	Date:		Job No.:	1728
Drawn By:	ANW						<b>PAGE</b>
Chk By:	FCA						<b>SH.2 OF 2</b>

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**GRADING NOTES:**

- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
- ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.
- EXCAVATION IS UNCLASSIFIED AND INCLUDES EXCAVATION TO SUBGRADE ELEVATIONS INDICATED BY GEOTECHNICAL REPORT, REGARDLESS OF CHARACTER OF MATERIALS ENCOUNTERED.
- PAD AND ROUGH GRADING ELEVATIONS SHALL CONFORM TO ELEVATIONS SHOWN ON PLANS LESS MATERIAL THICKNESS WITHIN A TOLERANCE OF 0.2± FEET.
- GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS MATERIAL THICKNESSES.
- UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AS SHOWN ON PLAN. SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCE, COMPACT WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE INDICATED.
- FIVE (5) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE. THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- OWNER WILL PROVIDE SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS. CONTRACTOR SHALL ALLOW TESTING LABS TO INSPECT AND APPROVE COMPACTED SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT THE CONTRACTOR'S SOLE EXPENSE.
- OWNER HAS ESTABLISHED SUBDIVISION BOUNDARY CORNERS. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING INCLUDING TRACT CORNERS. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT THE CONTRACTOR'S SOLE EXPENSE.
- OWNER WILL PROVIDE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND INSPECTION. CONTRACTOR SHALL COMPLY WITH THE BEST MANAGEMENT PRACTICES (BMP'S) AS SPECIFIED IN THE SWPPP, AND WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ENGINEER AND VERIFY THE ENGINEER'S INTENT BEFORE PROCEEDING.
- TRANSITIONS TO EXISTING PAVEMENT GRADES SHALL BE SMOOTH AND LEVEL. ANY NEW PAVING SURFACE HOLDING WATER (BIRDBATH) SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S SOLE EXPENSE.
- CONTRACTOR SHALL COORDINATE WITH OWNER REGARDING TREES TO BE REMOVED/TREES TO BE SALVAGED.

**OVEREXCAVATION NOTE:**

PER GEOTECHNICAL REPORT BY GEO-TEST, INC., DATED 10-21-09:  
 ALL BUILDING PADS SHALL BE OVEREXCAVATED TO PROVIDE FOR A MINIMUM THICKNESS OF 3" OF STRUCTURAL FILL BELOW BOTTOM OF FOOTING. THE OVEREXCAVATION SHALL EXTEND BEYOND THE PERIMETER OF THE STRUCTURES EQUAL TO THE DEPTH OF FILL BENEATH THE FOOTINGS.  
 CONTRACTOR SHALL COMPACT SOILS PER RECOMMENDATIONS IN GEOTECHNICAL REPORT.

**LANDSCAPING GRADES:**

ALL GRADES SHOWN IN LANDSCAPED AREAS-- INCLUDING BACK-- AND SIDYARD GRADES-- ARE TOP OF LANDSCAPING MATERIAL. DEDUCT 0.2' TO OBTAIN SUBGRADE ELEVATIONS

**LEGEND**

---	EXISTING CONTOUR
◆ 70.32	PROPOSED EDGE OF ROAD ELEVATION
◆ 71.9	PROPOSED SPOT ELEVATION
◆ PG= 4972.10	PAD GRADE ELEVATION
---	PROPOSED RETAINING WALL
---	PROPOSED GARDEN RETAINING WALL
TW=71.7 BW=69.4±	TOP OF RETAINING WALL BOTTOM OF RETAINING WALL
TGW=70.7 BGW=69.4±	TOP OF GARDEN RETAINING WALL BOTTOM OF GARDEN RETAINING WALL



**SITE INFORMATION**

**LEGAL DESCRIPTION:**  
 A PORTION OF LOT 2 ALVARADO GARDENS UNIT 3 TOGETHER WITH A PORTION OF LOT 3 ALVARADO GARDENS UNIT 3, FILED ON MAY 20, 1937, IN VOLUME D1, FOLIO 107.

**AREA:** 1.3379 ACRES

**ZONING:** R-LT

**ACS BENCHMARK:**  
 CITY OF ALBUQUERQUE STATION NO. 3-G12  
 ELEVATION: 4965.946 (NGVD 88)

**FLOOD NOTE:**  
 THE PROPERTY IS LOCATED IN ZONE X, AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1.0% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR DRAINAGE AREAS OF LESS THAN 1 SQUARE MILE; OR AREAS PROTECTED BY THE LEVEES FROM THE 1.0% ANNUAL CHANCE FLOOD. ACCORDING TO THE FLOOD INSURANCE RATE MAPS OF BERNALILLO COUNTY, NEW MEXICO PANEL NO. 35001C0018G & 35001C0331G, EFFECTIVE DATE SEPTEMBER 26, 2008.

**SURVEYOR:**  
 ANTHONY L. HARRIS, HARRIS SURVEYING, INC.  
 DATE OF SURVEY: OCTOBER 2009

**KEYED NOTES**

- CREATE OPENING IN WALL/FENCE (1' MIN.) TO ALLOW WATER TO DISCHARGE TO STREET.
- WALL/FENCE SHALL BE CONSTRUCTED OUTSIDE OF 10'X10' P.U.E.
- PERCOLATION PIT PER DETAIL ON SHEET 2.

ISAACSON & ARFMAN, P.A.  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
 Ph. 505-268-8828 Fax. 505-268-2632

**12-10-09**

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**BISHOP'S COMPOUND**  
**BISHOP'S COMPOUND, LLC**

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**GRADING & DRAINAGE PLAN**

Date:	No.	Revision:	Date:	Job No.
11-10-09				1728
Drawn By:	ANW			<b>PAGE</b> S1.1 OF 2
Chk By:	FCA			

**HYDROLOGY NOTES**

**EXISTING CONDITIONS:**

THERE IS AN EXISTING HOUSE AND SEVERAL LARGE TREES ON THE SITE. AN EXISTING PRIVATE DRAINAGE DITCH, WHICH IS NOT BEING USED FOR IRRIGATION RUNS THROUGH THE MIDDLE OF THE SITE IN AN EAST/WEST DIRECTION. THE SITE IS VERY FLAT AND FLOWS ARE RETAINED ON-SITE. NO OFF-SITE FLOWS ENTER THE SITE. THE STREET SLOPE IN CANDELARIA RD ADJACENT TO THE SITE HAS A SUB-MINIMUM SLOPE AND PROVIDES POOR CONVEYANCE OF DRAINAGE.

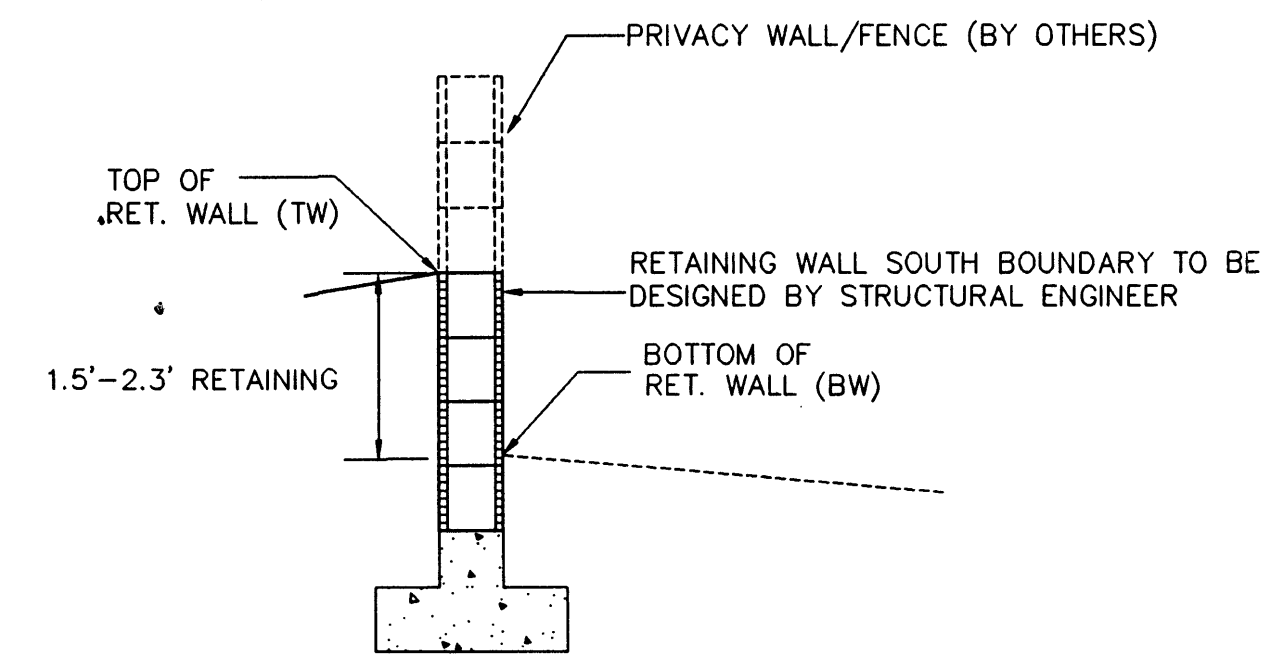
**PROPOSED CONDITIONS:**

THE SITE WILL BE DEVELOPED WITH 9 LOTS--3 SINGLE-DETACHED HOMES AND 6 DUPLEX TOWNHOMES. THE EXISTING HOUSE WILL BE DEMOLISHED AND SOME TREES WILL BE REMOVED AND SOME WILL BE RETAINED AND INCORPORATED INTO THE FINAL SITE LANDSCAPING. THIS PLAN PROVIDES FOR FREE DISCHARGE OF DEVELOPED FLOWS ONTO CANDELARIA BOULEVARD. THE RUNOFF FROM THE MAJORITY OF THE SITE (BASIN 1) OF 4.4 CFS WILL BE CONVEYED AS SURFACE DRAINAGE VIA THE 24-FOOT WIDE ROAD DESIGNATED AS AN ACCESS AND DRAINAGE EASEMENT. THE ROAD WILL HAVE AN INVERTED CROWN AND A 2-FOOT ALLEY GUTTER THROUGH THE CENTER. A PORTION OF LOT 9 (BASIN 2) WILL DISCHARGE 0.1 CFS DIRECTLY TO CANDELARIA. THE TOWNHOME LOTS WILL HAVE BACKYARD PONDING (BASIN 3). NO ROOF DRAINS SHALL BE DIRECTED TO THE BACKYARDS, SO THE PONDS WILL CAPTURE ONLY RAINFALL THAT FALLS IN THE BACKYARDS (100 CF PER LOT). FRENCH DRAINS (PERCOLATION PITS) SHALL BE CONSTRUCTED AT THE BACKYARD LOW POINT, AND THERE WILL BE AN EMERGENCY OVERFLOW TO THE SIDEYARD SWALE AT AN ELEVATION OF 0.7' LOWER THAN FINISH FLOOR.

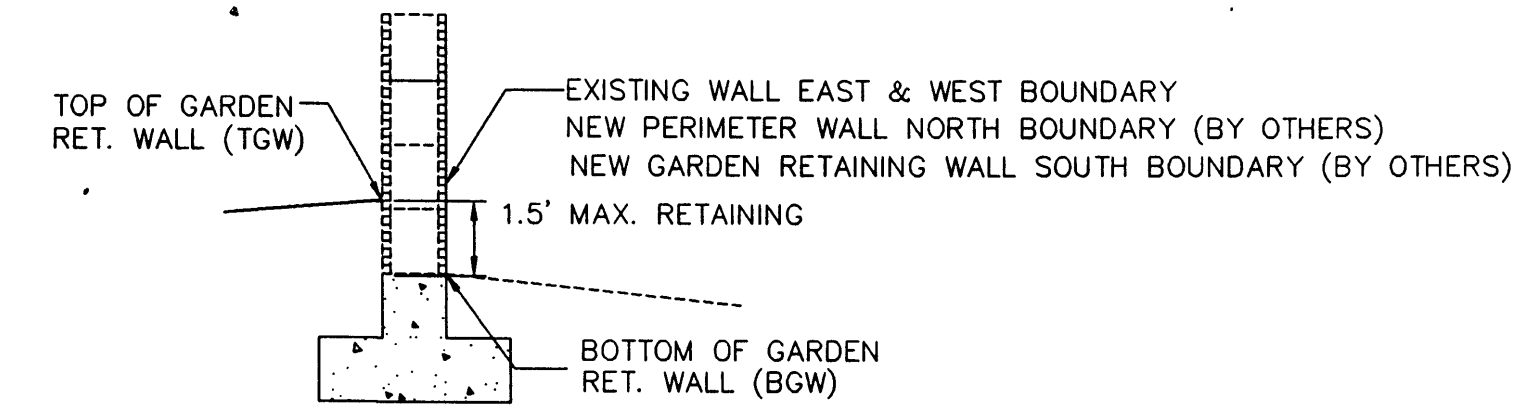
THERE ARE STORM DRAIN INLETS IN CANDELARIA EAST OF THE SITE AT THE COLONNADE COURT INTERSECTION. THERE ARE NO IMPROVEMENTS PROPOSED TO INCREASE STREET SLOPES IN CANDELARIA RD. A SITE VISIT AFTER A RAIN STORM INDICATED MINOR BIRD BATHS IN THIS AREA, BUT THE CURB & GUTTER IS IN FAIR CONDITION.

BASIN NO.	1	DESCRIPTION	All onsite except part of Lot 9 & Lots 1-6 backyards
Area of basin flows =	52315 SF		1.20 Ac.
The following calculations are based on Treatment areas as shown in table to the right			
Sub-basin Weighted Excess Precipitation (see formula above)		LAND TREATMENT	
Weighted E =	1.54 in.	A =	0%
Sub-basin Volume of Runoff (see formula above)		B =	19%
V <sub>50</sub> =	6700 CF	C =	19%
Sub-basin Peak Discharge Rate: (see formula above)		D =	62%
Q <sub>p</sub> =	4.4 cfs		
BASIN NO.	2	DESCRIPTION	Portion of Lot 9
Area of basin flows =	1230 SF		0.03 Ac.
The following calculations are based on Treatment areas as shown in table to the right			
Sub-basin Weighted Excess Precipitation (see formula above)		LAND TREATMENT	
Weighted E =	1.54 in.	A =	0%
Sub-basin Volume of Runoff (see formula above)		B =	19%
V <sub>50</sub> =	158 CF	C =	19%
Sub-basin Peak Discharge Rate: (see formula above)		D =	62%
Q <sub>p</sub> =	0.1 cfs		
BASIN NO.	3	DESCRIPTION	Lots 1-6 Backyards
Area of basin flows =	4733 SF		0.11 Ac.
The following calculations are based on Treatment areas as shown in table to the right			
Sub-basin Weighted Excess Precipitation (see formula above)		LAND TREATMENT	
Weighted E =	1.54 in.	A =	0%
Sub-basin Volume of Runoff (see formula above)		B =	19%
V <sub>50</sub> =	606 CF	C =	19%
Sub-basin Peak Discharge Rate: (see formula above)		D =	62%
Q <sub>p</sub> =	0.4 cfs		

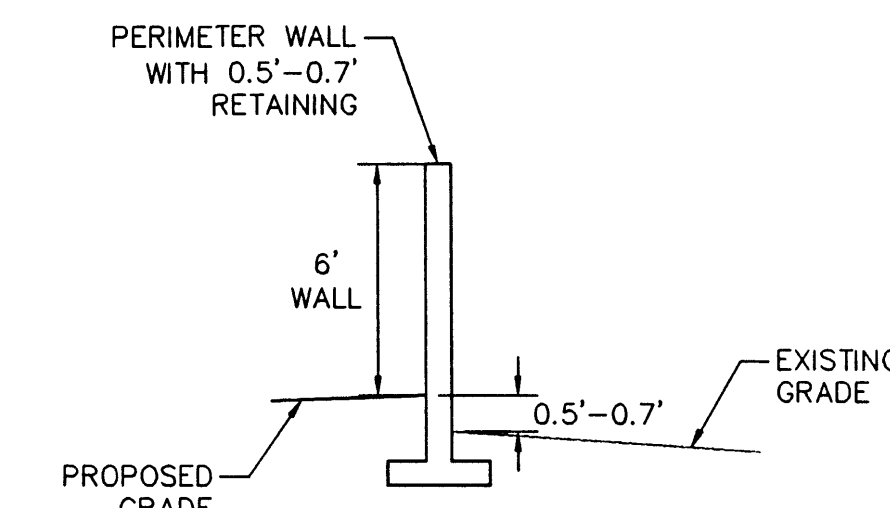
**NOTE:**  
IF CONCRETE PADS FOR DOOR STOOPS OR MECHANICAL EQUIPMENT ARE PLACED IN THE SIDE YARDS, A 4" DRAINAGE BY-PASS PIPE SHALL BE REQUIRED UNDER THE SLAB TO ALLOW FOR THE CONVEYANCE OF THE STORM WATERS.



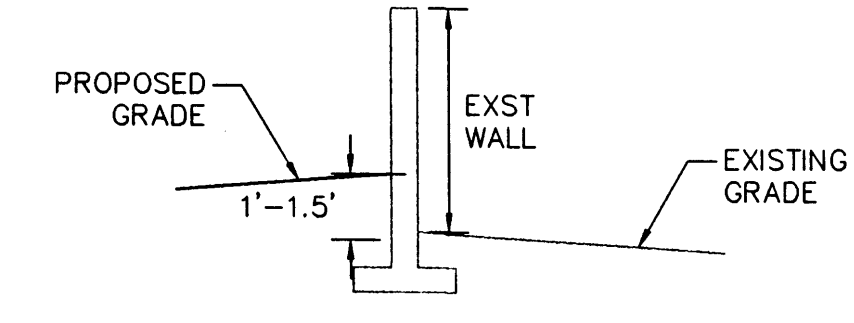
**RETAINING WALL**  
SCALE: 1"=5'-0"



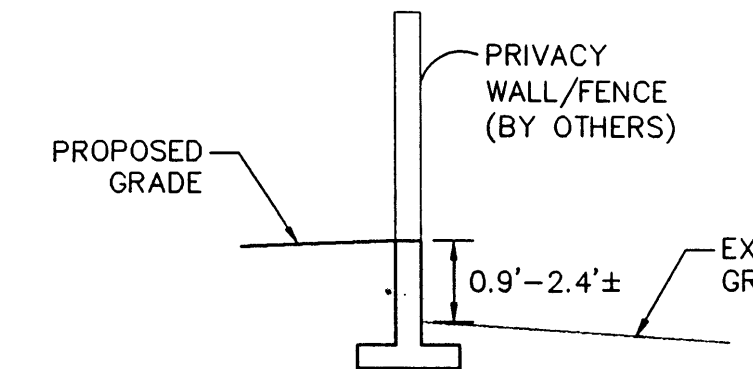
**GARDEN WALL RETAINING WALL**  
SCALE: 1"=5'-0"



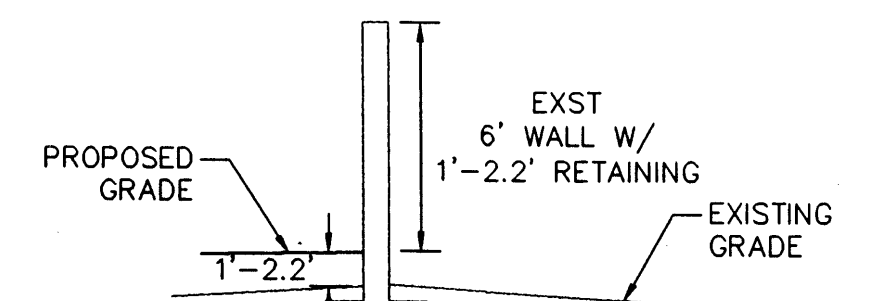
**SECTION A-A**  
SCALE: 1"=5'



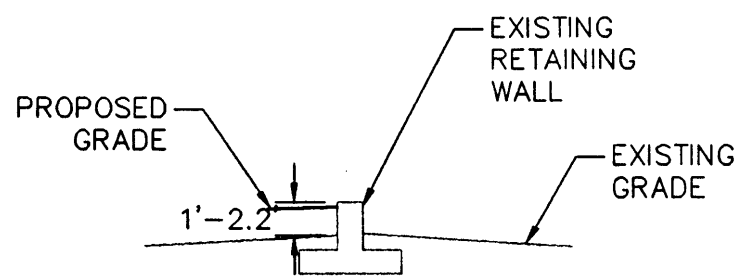
**SECTION B-B**  
SCALE: 1"=5'



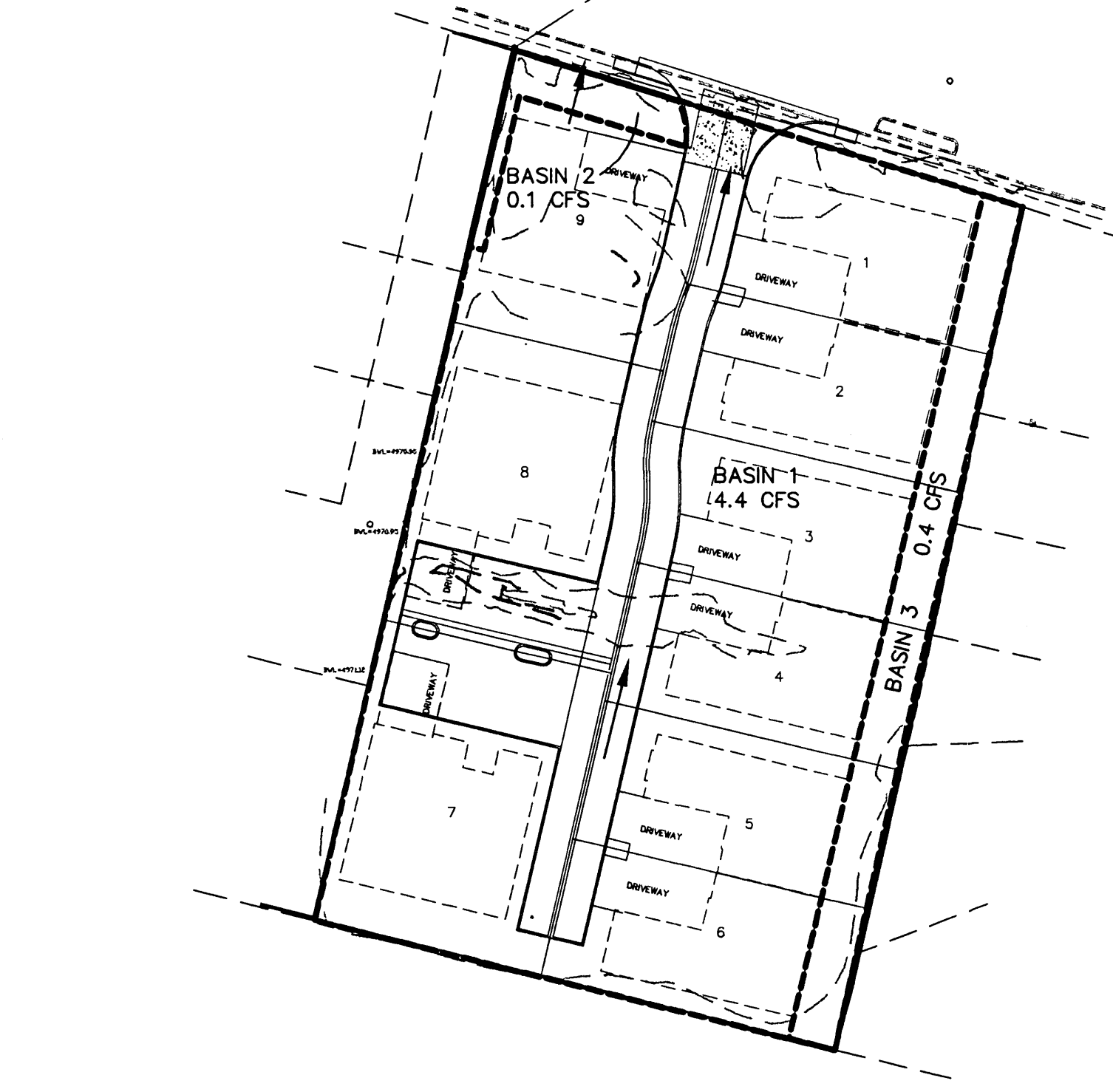
**SECTION C-C**  
SCALE: 1"=5'



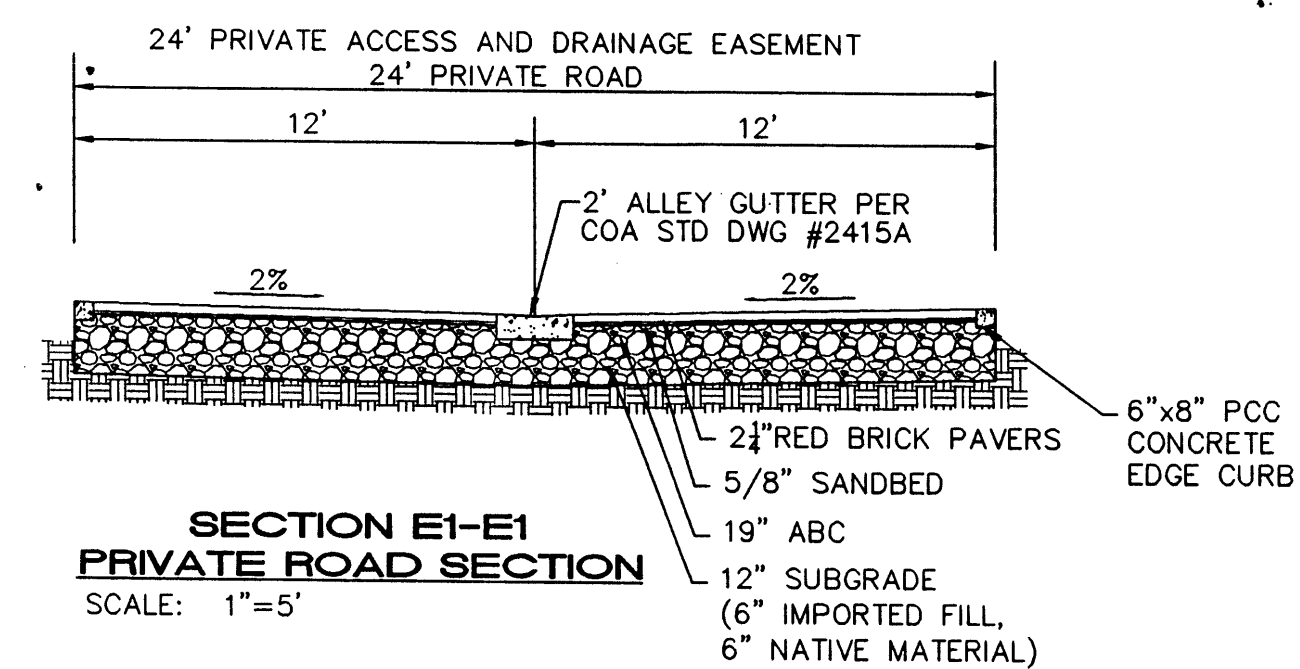
**SECTION D1-D1**  
SCALE: 1"=5'



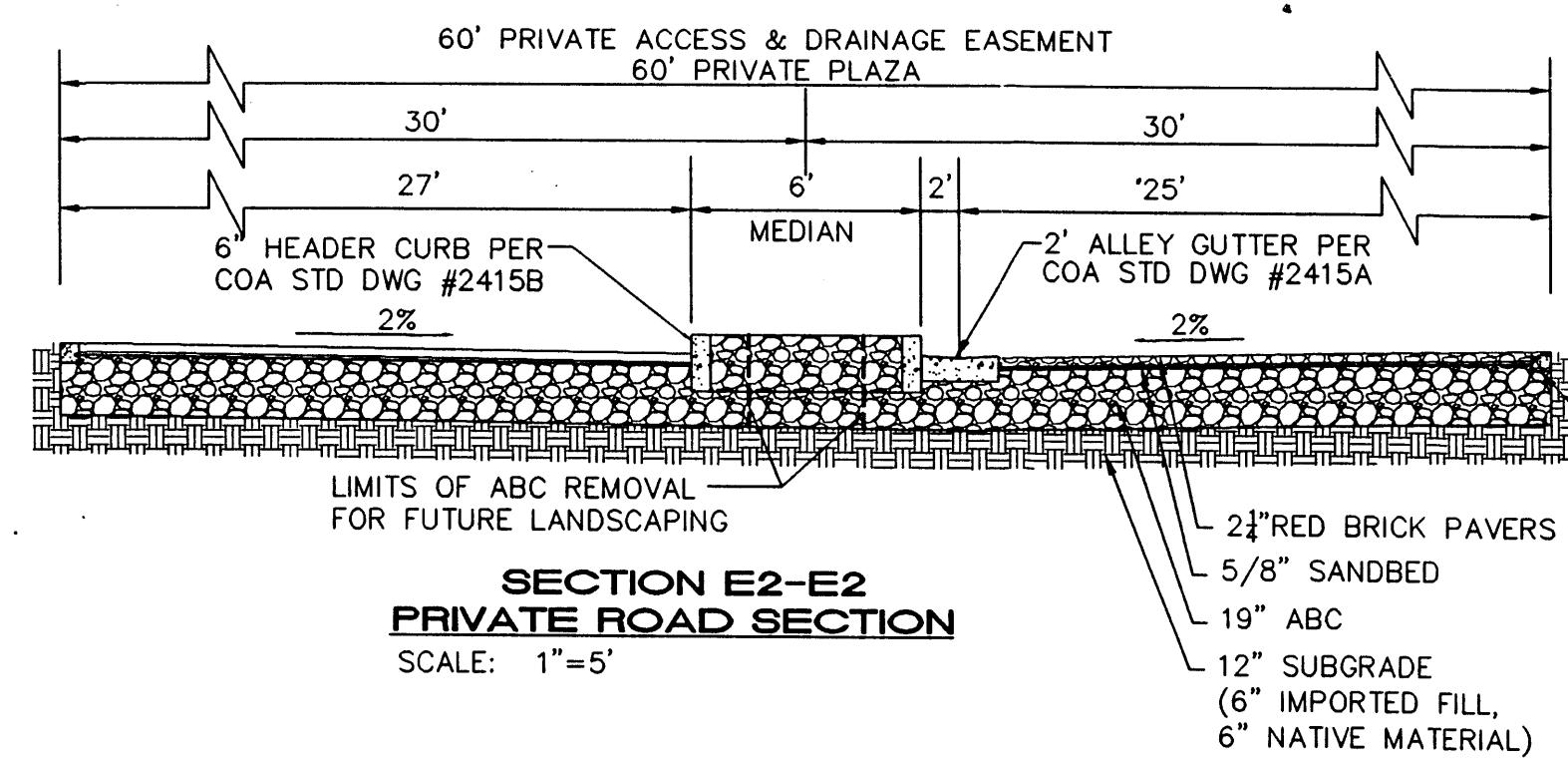
**SECTION D2-D2**  
SCALE: 1"=5'



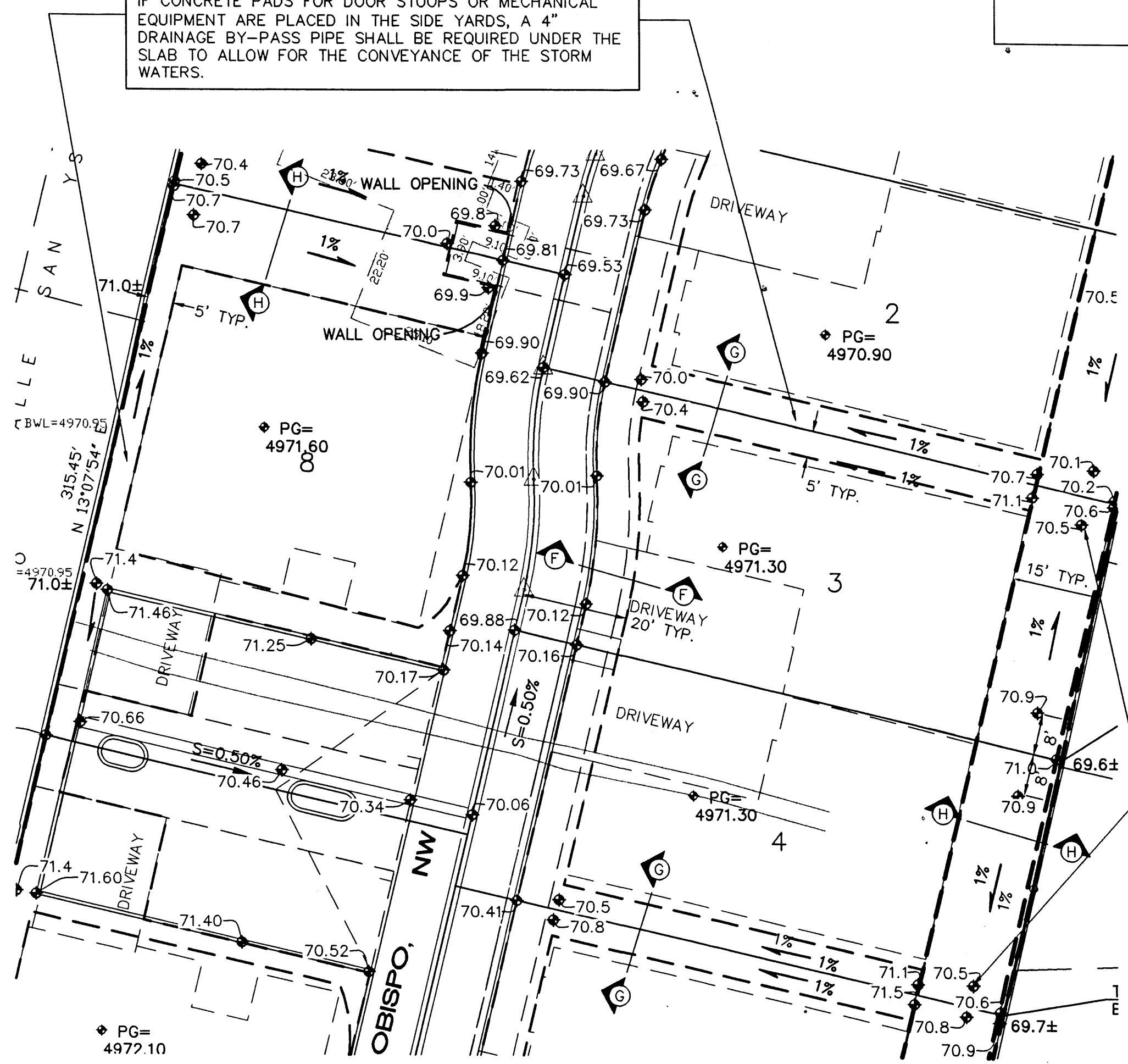
**BASIN MAP**  
1"=50'



**SECTION E1-E1 PRIVATE ROAD SECTION**  
SCALE: 1"=5'

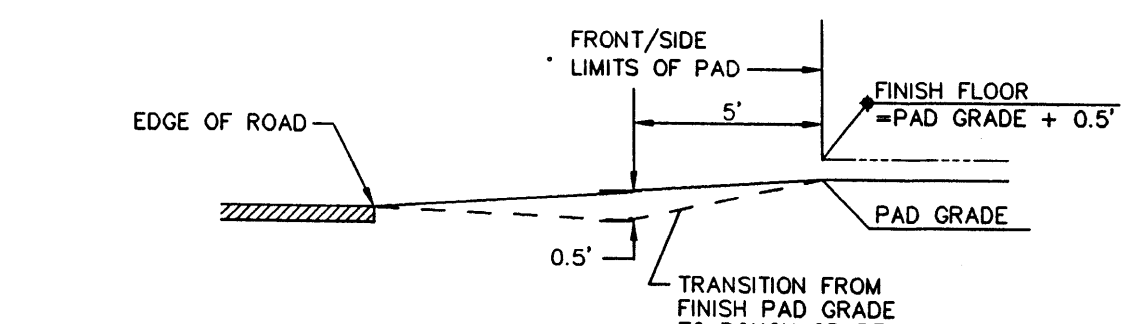


**SECTION E2-E2 PRIVATE ROAD SECTION**  
SCALE: 1"=5'

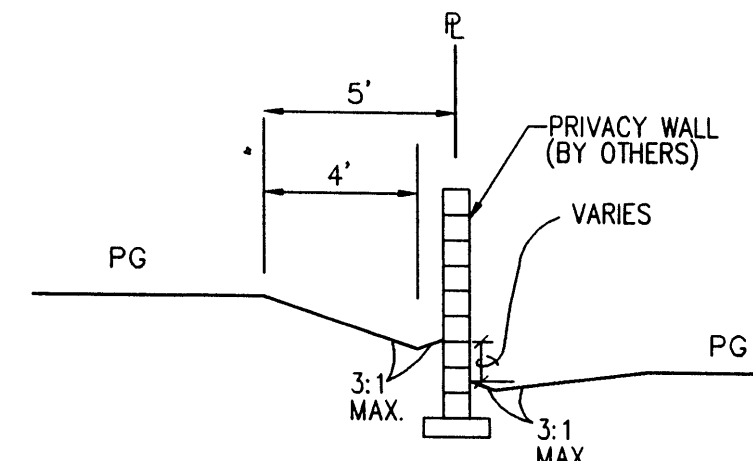


**TYPICAL GRADING SECTIONS**  
1"=20'

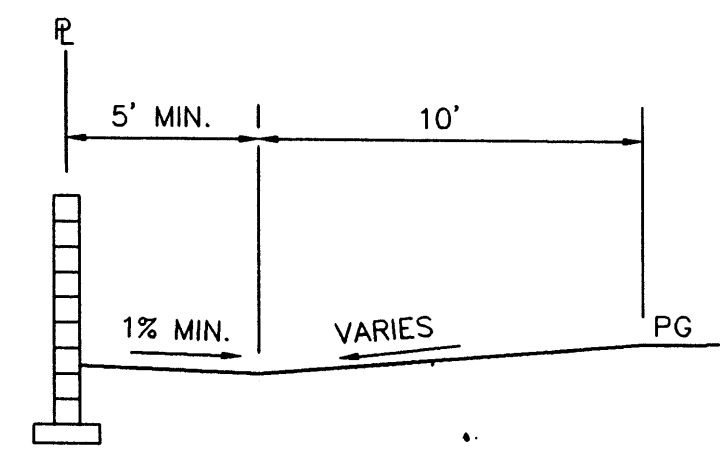
NOTE: FLOOR PLANS ARE SCHEMATIC-- FINAL FLOOR PLANS MAY VARY



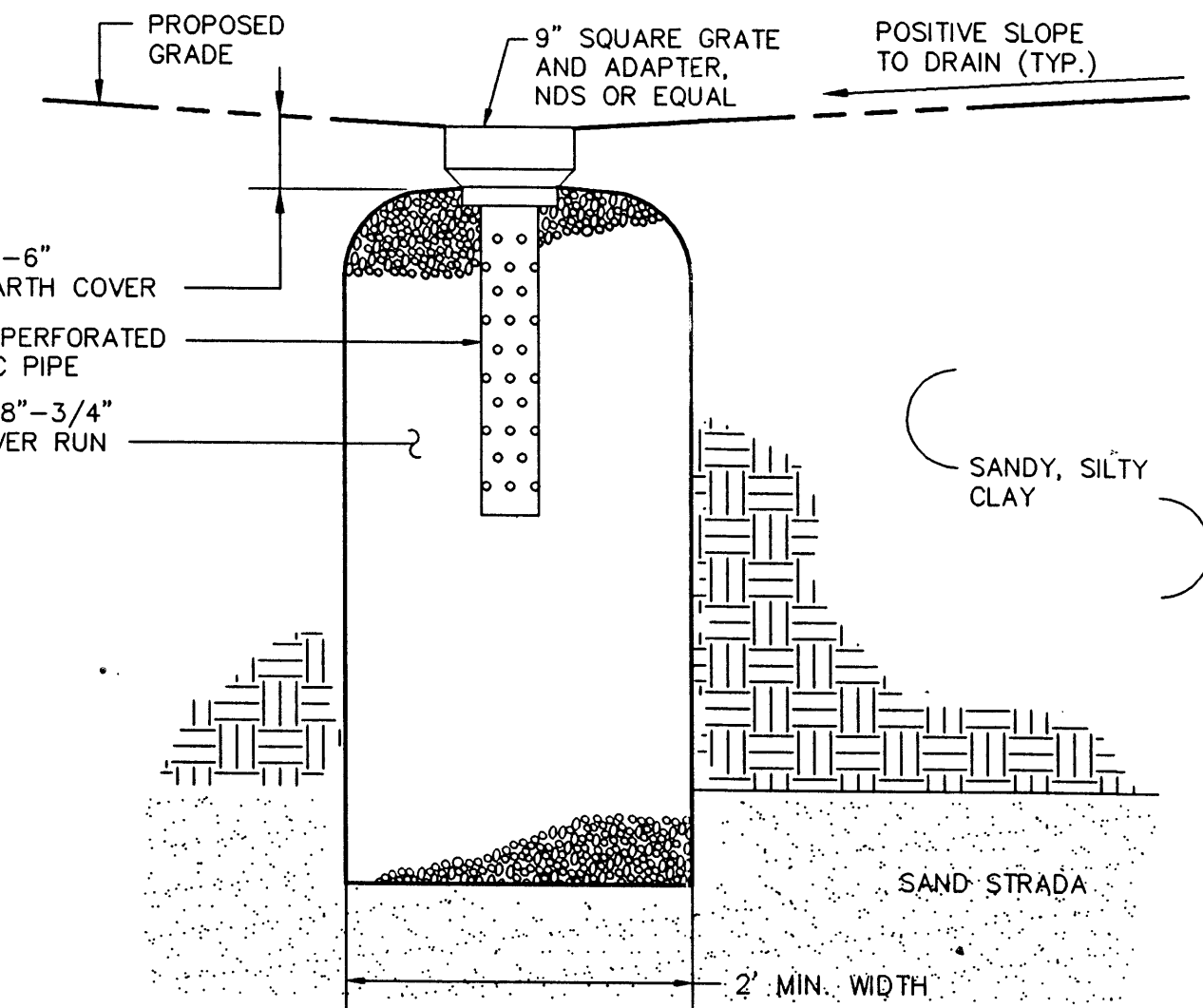
**SECTION F-F FRONT YARD GRADING**  
NTS



**SECTION G-G TYPICAL SIDEYARD GRADING**  
SCALE: 1"=5'



**SECTION H-H TYPICAL BACKYARD GRADING**  
SCALE: 1"=5'



**REAR YARD STORMWATER PERCOLATION PIT**  
1"=1'  
LOTS 1-6

**LOTS 1-6 NOTES:**  
PERCOLATION PITS SHALL BE LOCATED AT LOW POINT IN BACKYARD PER DETAIL BELOW.  
NO ROOF DRAINS SHALL BE DIRECTED TO THE BACKYARDS OF LOTS 1-6.

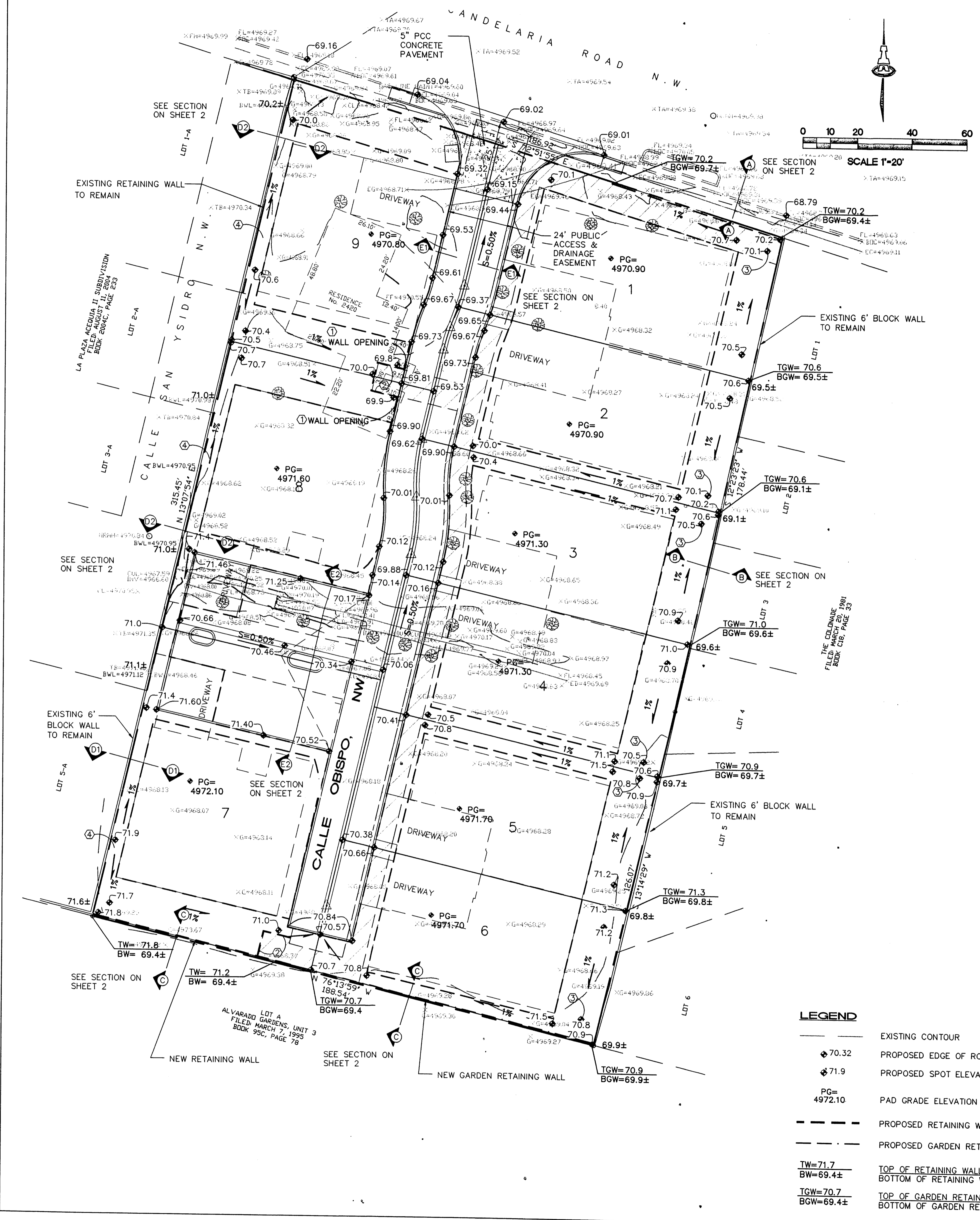
**ISAACSON & ARFMAN, P.A.**  
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Ph: 505-268-8828 Fax: 505-268-2632  
1728 CG-101.dwg Mar 26, 2010

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**BISHOP'S COMPOUND**  
BISHOP'S COMPOUND, LLC  
GRADING DETAILS & DRAINAGE NOTES

Date:	3-26-10	No.:	1728	Date:		Job No.:	1728
Drawn By:	ANW	Checked By:		Scale:		Page:	2
Ckd By:	FCA	Reviewed By:		Sheet:			

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- GRADING NOTES:**
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  - EXCAVATION IS UNCLASSIFIED AND INCLUDES EXCAVATION TO SUBGRADE ELEVATIONS INDICATED BY GEOTECHNICAL REPORT, REGARDLESS OF CHARACTER OF MATERIALS ENCOUNTERED.
  - PAD AND ROUGH GRADING ELEVATIONS SHALL CONFORM TO ELEVATIONS SHOWN ON PLANS LESS MATERIAL THICKNESS WITHIN A TOLERANCE OF 0.2± FEET.
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**OVEREXCAVATION NOTE:**

PER GEOTECHNICAL REPORT BY GEO-TEST, INC., DATED 10-21-09 INCL. ADDENDUM 1, 2, 26-10 & ADDENDUM 2, 3-11-10:

ALL BUILDING PADS SHALL BE OVEREXCAVATED TO PROVIDE FOR A MINIMUM THICKNESS OF 3' OF STRUCTURAL FILL BELOW BOTTOM OF FOOTING. THE OVEREXCAVATION SHALL EXTEND BEYOND THE PERIMETER OF THE STRUCTURES EQUAL TO THE DEPTH OF FILL BENEATH THE FOOTINGS.

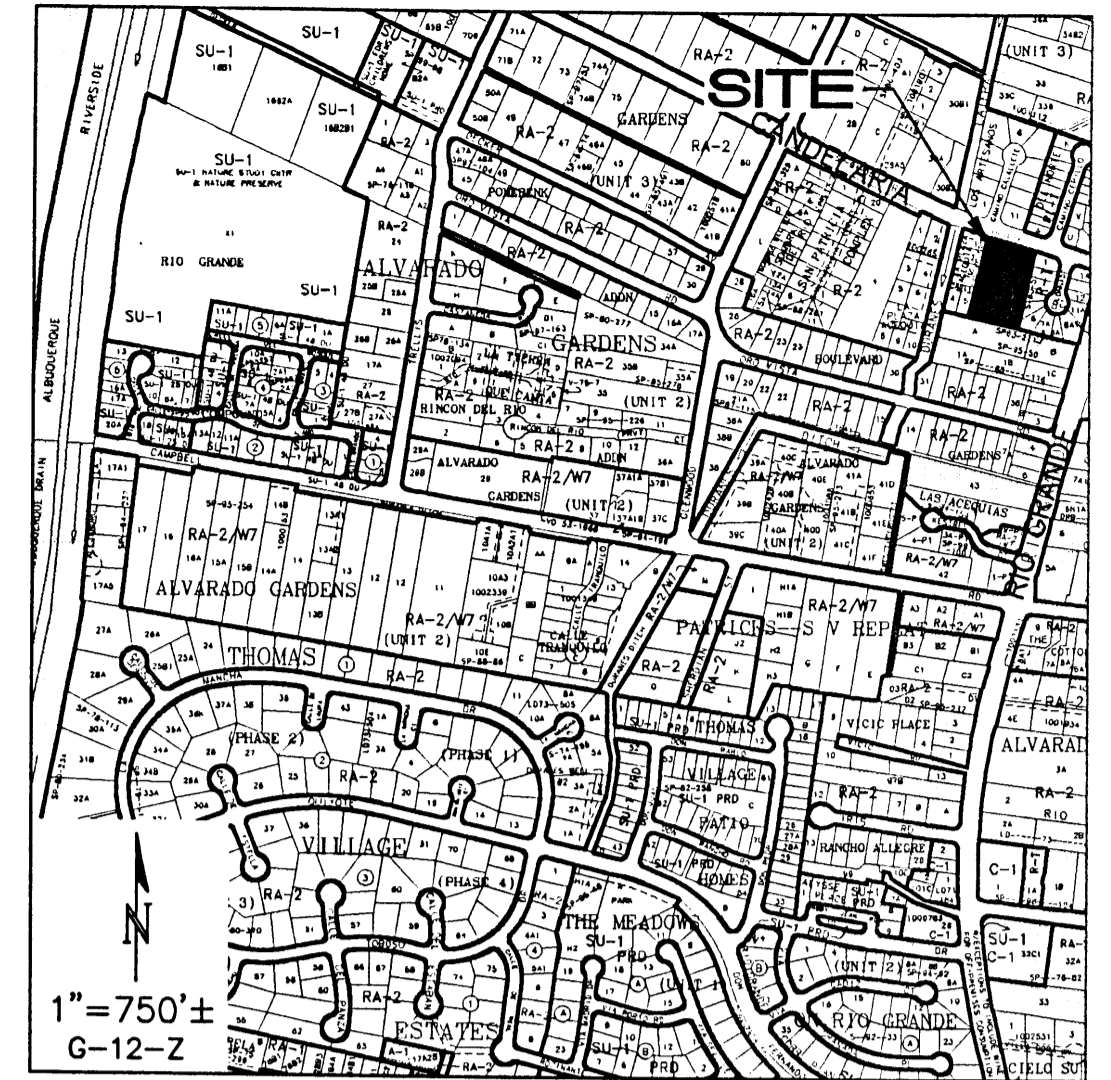
ROADS SHALL BE OVEREXCAVATED TO PROVIDE FOR A MINIMUM THICKNESS OF 2' BELOW THE BRICK PAVING OF IMPORTED FILL.

CONTRACTOR SHALL COMPACT SOILS PER RECOMMENDATIONS IN GEOTECHNICAL REPORT.

**LANDSCAPING GRADES:**

ALL GRADES SHOWN IN LANDSCAPED AREAS— INCLUDING BACK- AND SIDYARD GRADES— ARE TOP OF LANDSCAPING MATERIAL. DEDUCT 0.2' TO OBTAIN SUBGRADE ELEVATIONS

- LEGEND**
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  - ◆ 71.9 PROPOSED SPOT ELEVATION
  - ◆ PG= 4972.10 PAD GRADE ELEVATION
  - - - - - PROPOSED RETAINING WALL
  - - - - - PROPOSED GARDEN RETAINING WALL
  - TW=71.7 TOP OF RETAINING WALL
  - BW=69.4± BOTTOM OF RETAINING WALL
  - TGW=70.7 TOP OF GARDEN RETAINING WALL
  - BGW=69.4± BOTTOM OF GARDEN RETAINING WALL



**SITE INFORMATION**

**LEGAL DESCRIPTION:**  
A PORTION OF LOT 2 ALVARADO GARDENS UNIT 3 TOGETHER WITH A PORTION OF LOT 3 ALVARADO GARDENS UNIT 3, FILED ON MAY 20, 1937, IN VOLUME D1, FOLIO 107.

**AREA:** 1.3379 ACRES

**ZONING:** R-LT

**ACS BENCHMARK:**  
CITY OF ALBUQUERQUE STATION NO. 3-G12  
ELEVATION: 4965.946 (NGVD 88)

**FLOOD NOTE:**  
THE PROPERTY IS LOCATED IN ZONE X, AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1.0% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR DRAINAGE AREAS OF LESS THAN 1 SQUARE MILE; OR AREAS PROTECTED BY THE LEVEES FROM THE 1.0% ANNUAL CHANCE FLOOD, ACCORDING TO THE FLOOD INSURANCE RATE MAPS OF BERNALILLO COUNTY, NEW MEXICO PANEL NO. 35001C00186 & 35001C03316, EFFECTIVE DATE SEPTEMBER 26, 2008.

**SURVEYOR:**  
ANTHONY L. HARRIS, HARRIS SURVEYING, INC.  
DATE OF SURVEY: OCTOBER 2009

- KEYED NOTES**
- CREATE OPENING IN WALL/FENCE (1' MIN.) TO ALLOW WATER TO DISCHARGE TO STREET.
  - WALL/FENCE SHALL BE CONSTRUCTED OUTSIDE OF 10'X10' PUE.
  - PERCOLATION PIT PER DETAIL ON SHEET 2.
  - NO ROOF DRAINAGE SHALL BE DIRECTED TO THE SIDE YARD.

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
PH: 505-268-8828 Fax: 505-268-2632  
1728 CG-101.dwg Mar 26, 2010

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**BISHOP'S COMPOUND**  
BISHOP'S COMPOUND, LLC

**GRADING & DRAINAGE PLAN**

Date:	3-26-10	No.:	1728	Date:		Job No.:	1728
Drawn By:	ANW					<b>PAGE</b>	
Ckd By:	FCA						<b>SH 1 OF 2</b>