

1007872

VC	BY
REVISIONS	
8/22/12	DATE
NO.	

PROJECT NUMBER: 1007872
APPLICATION NUMBER: 12DRB-70324

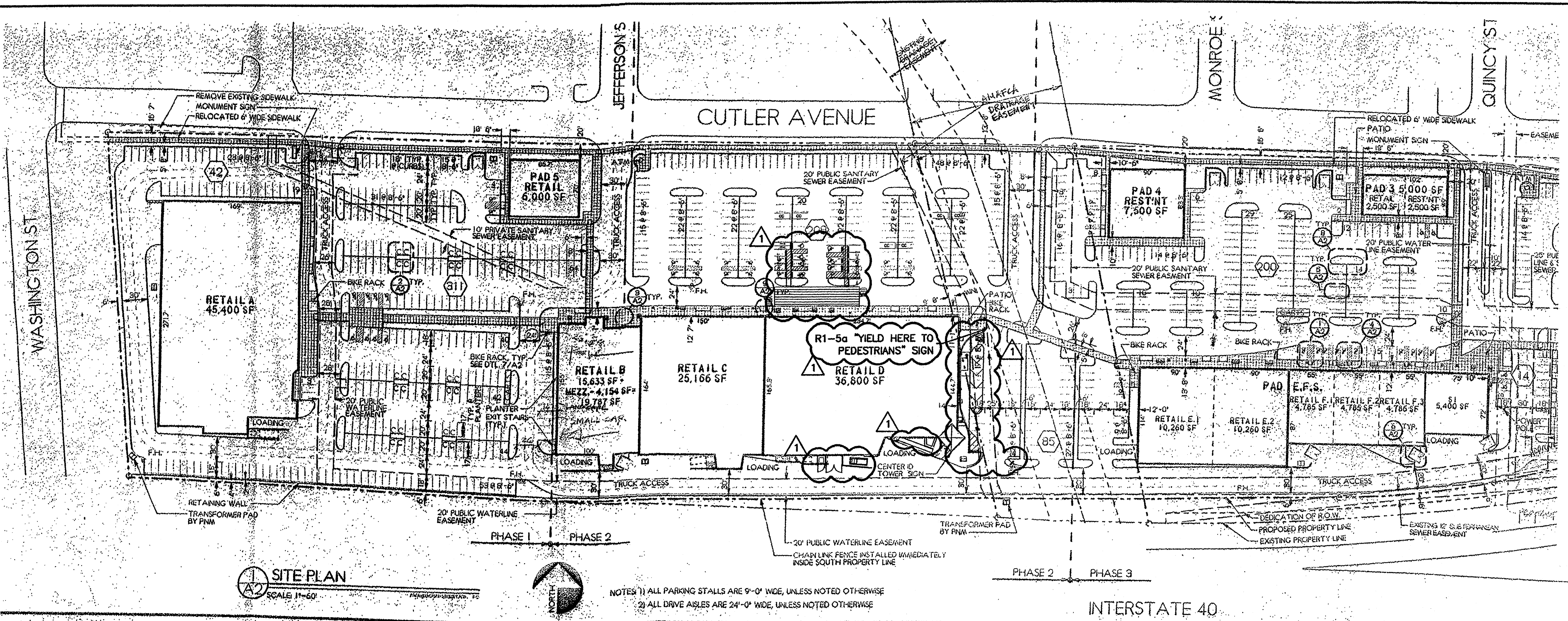
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 9-12-2012, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes (X) No. If Yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer/Transportation Division	<i>[Signature]</i>	10-17-12
Water Utility Development	<i>[Signature]</i>	10/17/12
Parks & Recreation Department	<i>[Signature]</i>	10-17-12
City Engineer	<i>[Signature]</i>	11-17-12
* Environmental Health Department (conditional)		-
Solid Waste Management	<i>[Signature]</i>	-
DRB Chairperson, Planning Department	<i>[Signature]</i>	10-17-12

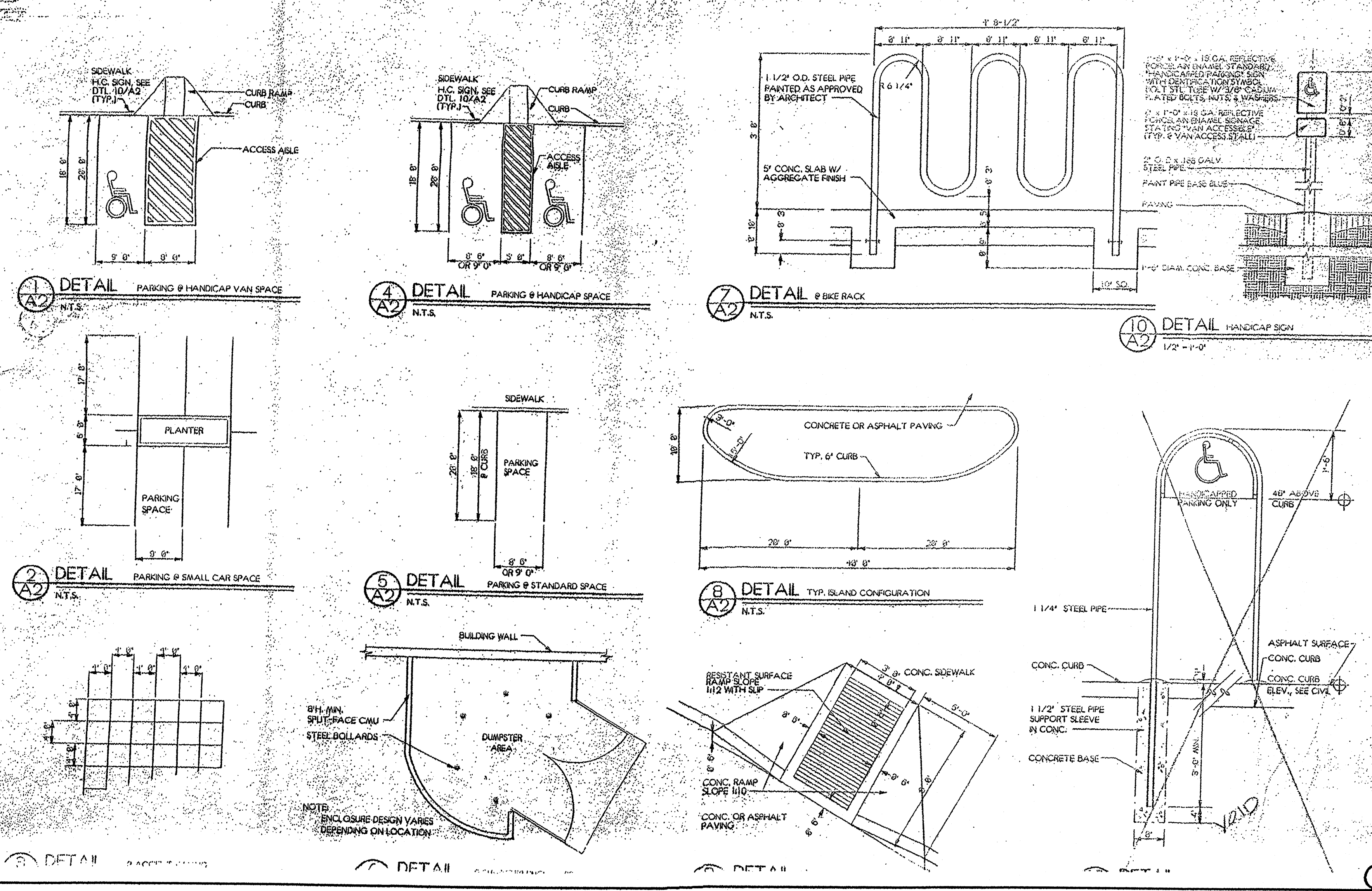
* Environmental Health, if necessary



SITE PLAN
SCALE 1/8"=1'-0"

NOTES: 1) ALL PARKING STALLS ARE 9'-0" WIDE, UNLESS NOTED OTHERWISE
 2) ALL DRIVE AISLES ARE 24'-0" WIDE, UNLESS NOTED OTHERWISE

INTERSTATE 40



SUMMARY

TOTAL BUILDING SQUARE FOOTAGE SHALL NOT INCREASE GREATER THAN 10% OF 200,000 SF.

TOTAL LAND AREA	19,0032 ACRES
TOTAL BUILDING AREA	208,960 SF.
TOTAL BUILDING FOOTPRINT	204,814 SF.
LAND/BUILDING (BASED ON FOOTPRINT)	24.74%
PARKING / PAVING AREA	457,971 SF.
LANDSCAPE	109,972 SF. = 17.56%
PARKING REQUIRED	
RESTAURANTS PAD 1	29,000 SF. = 230 SEATS + 3 = 74 SPACES
RESTAURANTS W/ LIQUOR	
PAD 4	67,500 SF. = 180 SEATS + 3 = 60 SPACES
RESTAURANTS W/O LIQUOR	
PAD 2	69,040 SF. = 50 SEATS + 4 = 18 SPACES
PAD 3	62,500 SF. = 25 SEATS + 4 = 7 SPACES
PADS	92,500 SF. = 44 SEATS + 4 = 11 SPACES
TOTAL	165 SPACES
TOTAL SPACES REQUIRED (LESS 10% BUS LINE CREDIT)	1082 SPACES
TOTAL SPACES PROVIDED	974 SPACES

GENERAL NOTES

SIGNAGE:
 ALL BUILDING MOUNTED SIGNS SHALL BE INTERNALLY, INDIVIDUALLY LIT LETTERS 9"-0" HIGH MAXIMUM @ ANCHORS AND 9'-0" HIGH @ SHOP AND PAD BUILDINGS. SEE PAD BLDG. DESIGN GUIDELINES BELOW FOR OTHER NOTES.

PHASING:
 IT IS THE INTENT OF THE DEVELOPER TO BUILD OUT THIS PROJECT IN PHASES AS SHOWN ABOVE. PAD BUILDINGS SHALL BE PERMITTED AND CONSTRUCTED INDEPENDENT OF THE PHASING SEQUENCE. THE PHASING SEQUENCE SHALL BE AS FOLLOWS:
 PHASE 1:
 RETAIL 'A' BUILDING COMPLETE WITH ALL CURBS, PAVING, PARKING, STRIPING, LIGHTPOLES AND LANDSCAPING WITHIN THE PHASE 1 AREA.
 PHASE 2:
 RETAIL B/C/D BLDGS. COMPLETE WITH ALL CURBS, PAVING, PARKING, STRIPING, LIGHTPOLES AND LANDSCAPING WITHIN THE PHASE 2 AREA.
 PHASE 3:
 ANY INDIVIDUAL PAD BUILDING COMPLETE WITH ALL CURBS, PAVING, PARKING, STRIPING, LIGHTPOLES AND LANDSCAPING WITHIN THE PHASE 3 AREA.

DRAINAGE PLAN:
 The drainage and grading concepts for this amended site development plan substantially conform to the concepts approved under the original site development plan submitted. Prior to permit issuance, the applicant shall submit a final drainage plan for City approval. The final drainage plan shall be updated with this amended site plan information. Since work in the field is ongoing at this time, the site contractor shall be notified immediately of all changes affecting grading and drainage.

DESIGN GUIDELINES FOR ALL BLDGS.
 ALL BLDGS. SHALL BE CONSISTENT W/ ARCHITECTURAL MATERIALS, COLORS & DETAILS INDICATED ON THESE ELEVATIONS INCLUDING METAL ROOFS, SYNTHETIC PLASTER, CERAMIC ACCENT TILE (SPLIT-FACE CONCRETE...)
 *PAD BLDGS. ALONG CUTLER AVE. & SAN MATEO SHALL MAINTAIN A 20' SETBACK FROM THE PROPERTY LINE. ACTUAL BLDG. CONFIGURATION & SITING MAY VARY FROM CONCEPTUAL LOCATIONS.
 *PAD BLDGS. ARE PERMITTED TO HAVE MONUMENT-STYLE SIGNAGE ON THE STREET SIDE OF THEIR BLDG. @ A MAX. HT. OF 9'-0" PROVIDED HOWEVER, THAT IF SUBSTANTIALLY REPETITIVE W/ BLDG. MOUNTED SIGNAGE, THE PAD BLDG. MUST CHOOSE EITHER BLDG. MOUNTED SIGNAGE OR MONUMENT SIGNAGE, BUT NOT BOTH, TO BE READ FROM CUTLER OR SAN MATEO. MONUMENT SIGNAGE NOT TO EXCEED 50'.
 *PAD BLDGS. SHALL NOT EXCEED 26'-0" IN HEIGHT AND WILL VARY DEPENDING ON USURERS REQUIREMENTS.
 *DRIVE-UP SERVICE WINDOWS
 ONLY ONE DRIVE-UP SERVICE WINDOW IS PERMITTED, UNLESS OTHERWISE APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION THROUGH AN AMENDMENT TO SITE DEVELOPMENT PLAN FOR BUILDING PERMIT.

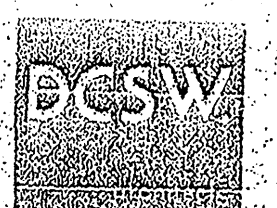
The Pavilions at San Mateo

SITE PLAN / SITE DETAILS

GREENBERG FARROW ARCHITECTURE ARCHITECTURE + ENGINEERING + PLANNING
 16101 RED HILL AVENUE, SUITE 200
 TUSTIN, CALIFORNIA 92680
 TEL: (714) 666-6644 FAX: (714) 666-6644

KITCHELL DEVELOPMENT

DISCLAIMER: THIS DRAWING IS FOR GENERAL INFORMATION ONLY. ANY INFORMATION DEPICTED HEREON OR CONTAINED HEREIN IS FOR ILLUSTRATIVE PURPOSES ONLY, AND IS NOT INTENDED TO BE RELIED UPON BY ANY PARTY & ARE NOT INTENDED TO CONSTITUTE AN OFFER. THE USER SHALL BE RESPONSIBLE FOR THAT ANY IMPROVEMENTS WILL BE

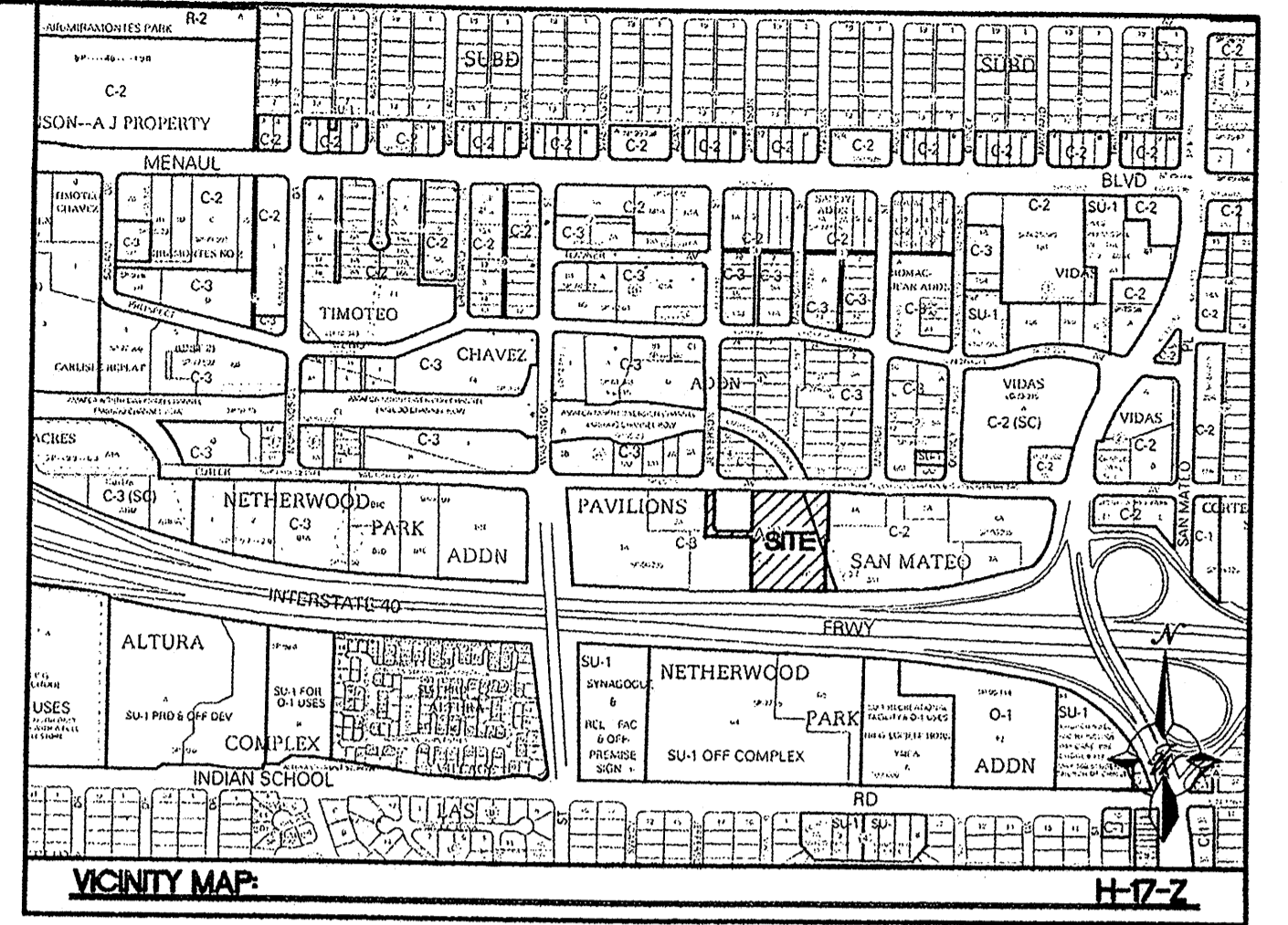
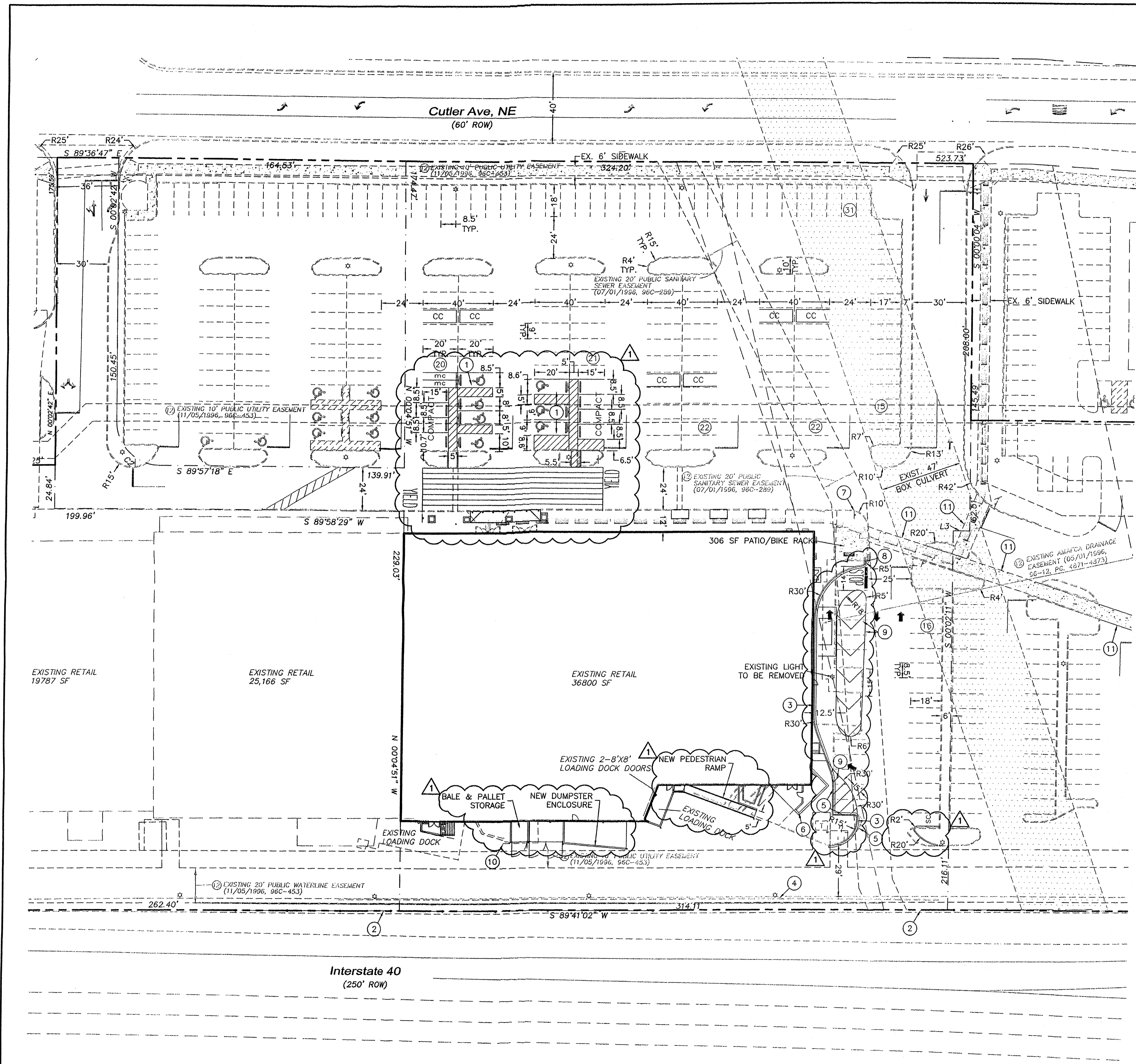


DESIGN COLLABORATIVE
 SOUTH WEST INC.
 105 4TH ST SW
 ALBUQUERQUE, NM 87102
 505-242-0333
 G.F.A. JOB NO. 960291



RONALD R. BOHANNAN
 P.E. #7868

SHEET C1



LEGAL DESCRIPTION:
A PORTION OF TRACT 3A-1 PAVILIONS AT SAN MATEO

LEGEND

	CURB & GUTTER
	PROPERTY LINE
	AREA OF CONTROL LIMITS
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	EXISTING LIGHTS TO REMAIN
	STRIPING
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING SIDEWALK
	EXISTING LANE
	EXISTING STRIPING
	SAWCUT
	ADA ACCESSIBLE ROUTE
	PROPOSED PARKING SPACES
	CART CORRAL
	MOTORCYCLE PARKING

- KEYED NOTE:**
- 1 ACCESSIBLE PARKING SEE DETAIL SHEET C1
 - 2 EXISTING 6' CHAIN LINK FENCE (INTERSTATE 40 ACCESS CONTROL)
 - 3 6" CURB AND GUTTER PER COA STD DWG #2415B
 - 4 EXISTING TAN CMU RETAINING WALL
 - 5 REMOVE AND DISPOSE EXIST. CURB
 - 6 EXISTING MONUMENT SIGNS
 - 7 EXISTING "STOP" SIGN
 - 8 "DO NOT ENTER" SIGN & R1-5a "YIELD HERE TO PEDESTRIANS" SIGN
 - 9 4" SOLID YELLOW STRIPING
 - 10 EXISTING DUMPSTER ENCLOSURE TO BE REMOVED
 - 11 EXISTING CONCRETE CROSSING, 8 FT WIDTH

- NOTES:**
1. CHAIN LINK FENCE EXISTS IMMEDIATELY INSIDE SOUTH PROPERTY LINE.
 2. REMOVE ALL EXISTING NON-APPLICABLE SIGNS.

NOTES FROM PLAT (11/25/1998, 98C-334)

9. TRACT 3A-1 IS SUBJECT TO A RECIPROCAL CROSS-ACCESS, CROSS-PARKING, AND CROSS-DRAINAGE EASEMENTS AS DEFINED IN THE REVISED PLAT OF PAVILIONS AT SAN MATEO RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON NOVEMBER 5, 1998, IN VOLUME 96C, FOLIO 453, FOR THE USE AND BENEFIT OF TRACTS 1A THRU 7A. MAINTENANCE OF THESE EASEMENTS SHALL BE BY TRACTS 1A THRU 7A. (REF. Z-95-092)

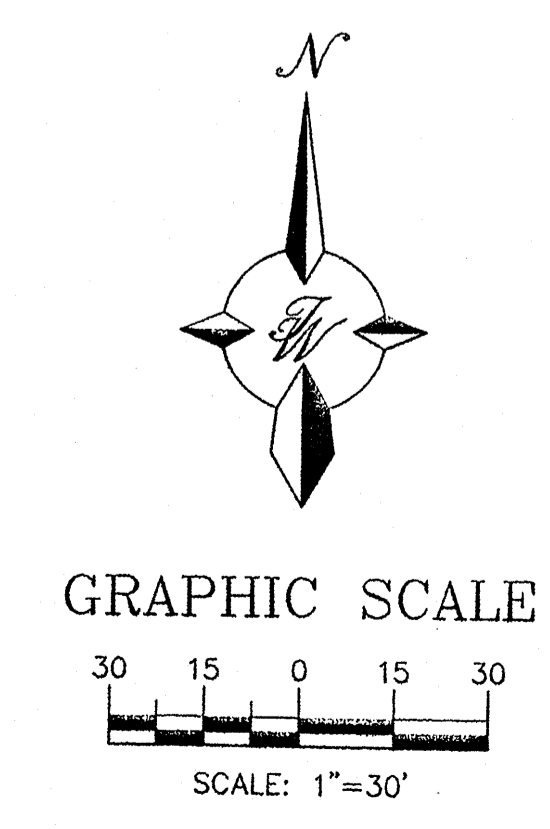
NOTES FROM PLAT (11/05/1996, 96C-453)

9. RECIPROCAL CROSS-ACCESS, CROSS-PARKING, AND CROSS-DRAINAGE EASEMENTS ARE PROVIDED OVER AND ACROSS TRACTS 1A THRU 7A FOR THE USE AND BENEFIT OF SOME TRACTS. MAINTENANCE OF THESE EASEMENTS SHALL BE BY SOME TRACT OWNERS (REF. Z-95-092)

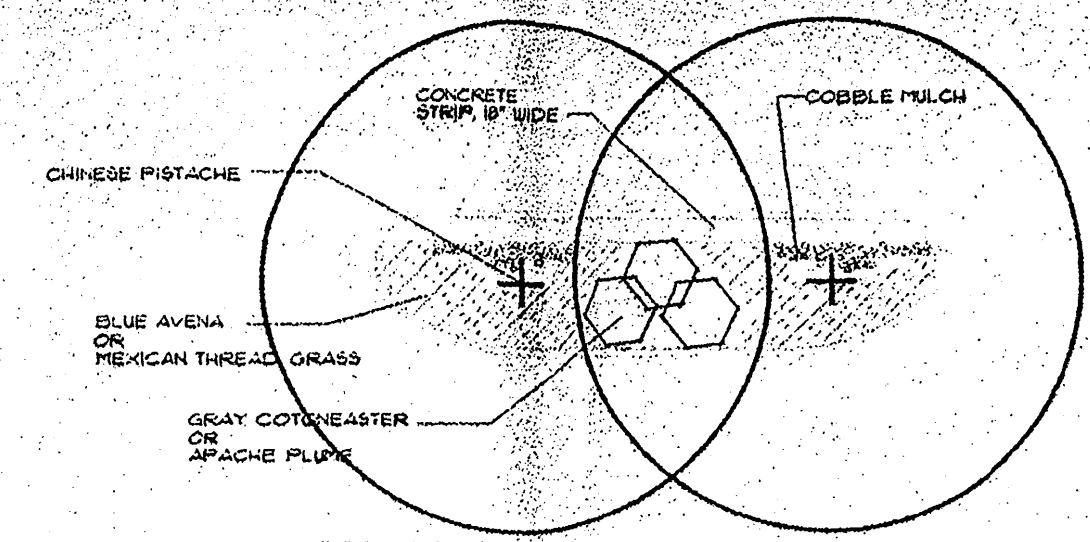
10. "PRIVATE SANITARY SEWER EASEMENTS" ARE FOR THE BENEFIT OF TRACTS 1A THRU 7A. MAINTENANCE OF THESE EASEMENTS IS THE RESPONSIBILITY OF SAME TRACTS.

11. CONSTRUCTION WITHIN AMAFCA EASEMENTS WILL REQUIRE ENCROACHMENT AGREEMENTS PRIOR TO CONSTRUCTION.

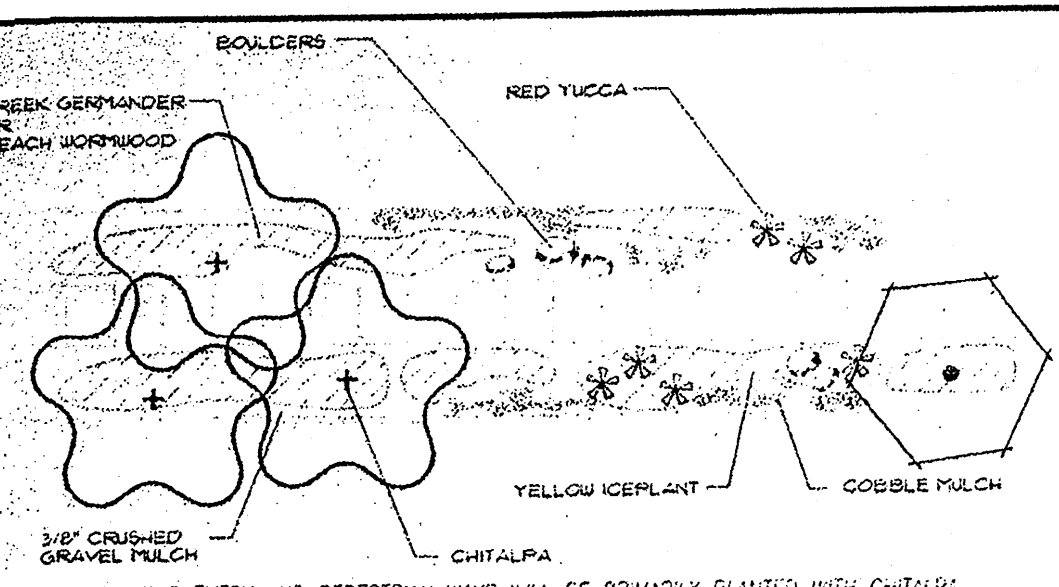
12. PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE TO PAVILIONS AT SAN MATEO MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE VIA A REQUEST FOR A WATER AND SANITARY SEWER AVAILABILITY STATEMENT



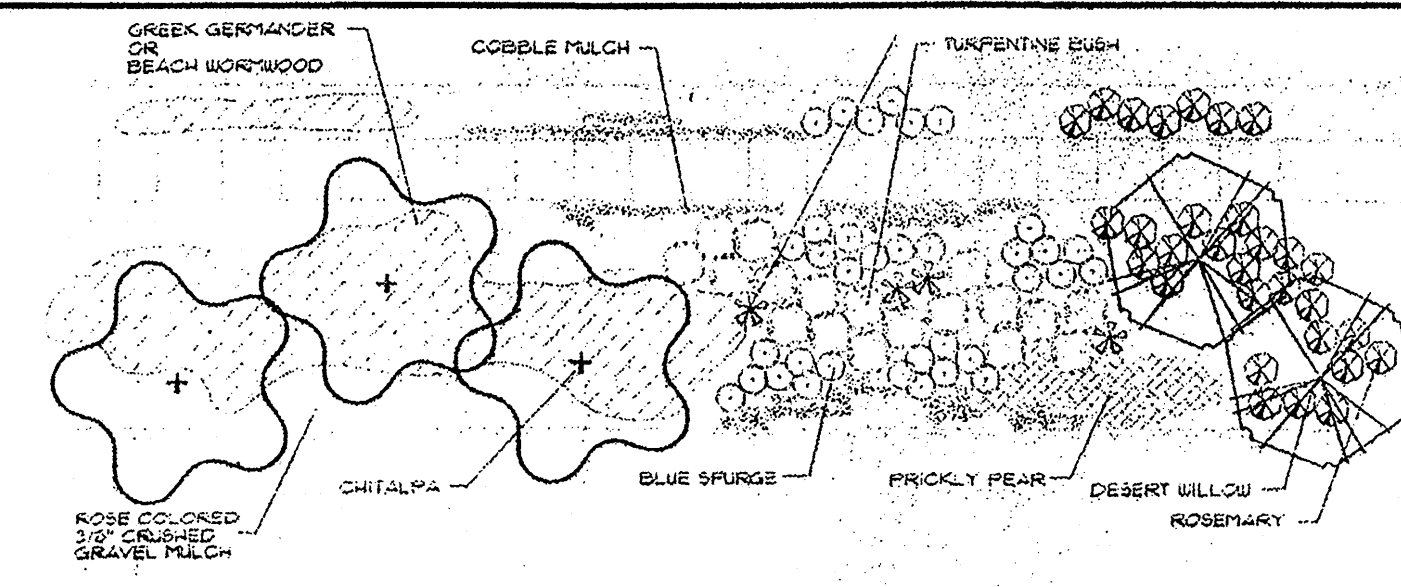
8-22-12	ADDED PHARMACY DRIVE-UP, MODIFIED ADA PARKING & DUMPSTERS, ADDED PEDESTRIAN RAMP	VC
NO.	DATE	REMARKS
REVISIONS		
ENGINEER'S SEAL	THE PAVILIONS AT SAN MATEO (TRACT 3A-1)	DRAWN BY DY
	SITE PLAN FOR BUILDING PERMIT (AREA OF CONTROL)	DATE 5/15/12
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2011071-SP-AA-30
		SHEET # C2
		JOB # 2011071



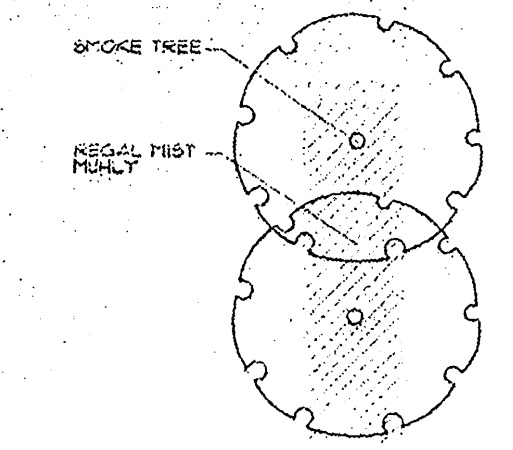
TYPICAL PARKING ISLANDS SHALL BE SHADED BY TWO CHINESE PISTACHE TREES. BELOW ISLANDS SHALL BE PLANTED WITH GRAY COTONEASTER IN THE CENTER, FLANKED BY MASSES OF ORNAMENTAL GRASS AND ROSE COLORED COBBLE MULCH. PLANTING BEDS WILL BE BUFFERED FROM ADJACENT FOOT TRAFFIC WITH AN 18" STRIP OF CONCRETE.



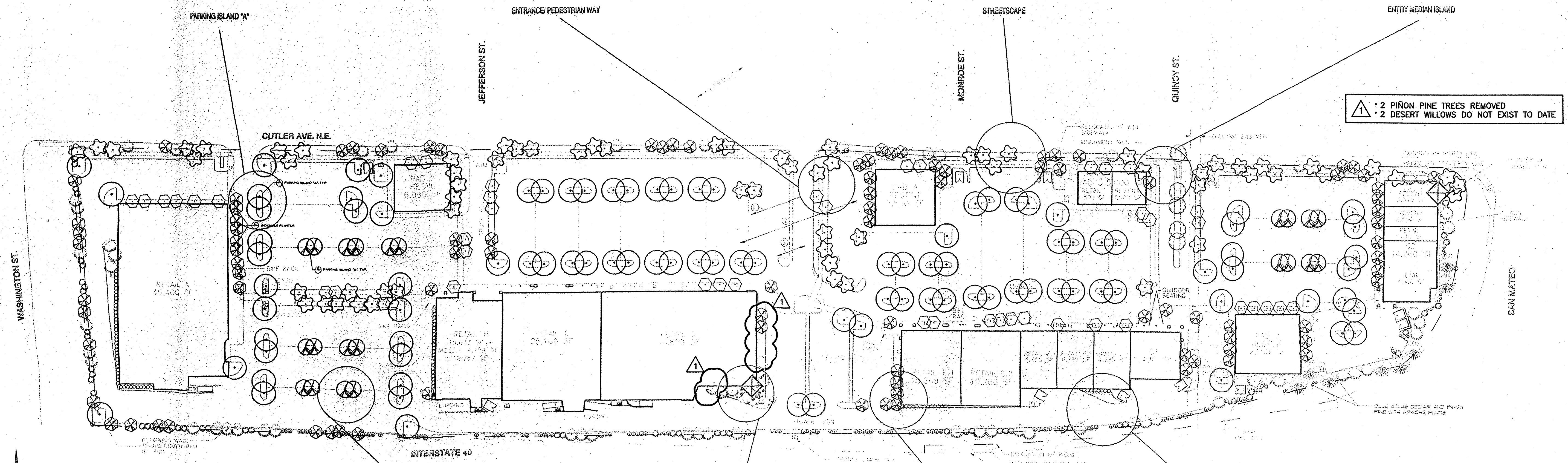
THE ENTRY AND PEDESTRIAN WAYS WILL BE PRIMARILY PLANTED WITH CHITALPA TREES, WITH ADDED THORNLESS HAWTHORN LINKING THE ROUTE VISUALLY WITH THE PEDESTRIAN CORRIDOR ON THE NORTH SIDE OF THE BUILDINGS. BENEATH THE CHITALPA WILL BE PLANTED EITHER BEACH WORMWOOD OR GREEK GERMANDER, WITH COLOR ADDED IN SUNNY OPEN AREAS AT THE ENTRANCES WITH RED YUCCA UNDERPLANTED WITH YELLOW ICEPLANT. ROSE COLORED COBBLE WILL BE USED FOR MULCH IN OPEN AREAS, WITH 3/8" CRUSHED GRAVEL BENEATH TREES.



THE CUTLER AVENUE STREETScape WILL BE PLANTED WITH PRIMARILY CHITALPA PINON PINE AND DESERT WILLOW TREES. DESERT WILLOW AREAS WILL BE PLANTED BENEATH WITH ROSEMARY, SIMILARLY TO BUILDING PLANTING BEDS. CHITALPA AREAS WILL BE PLANTED WITH EITHER BEACH WORMWOOD OR GREEK GERMANDER WITH OPEN AREAS IN BETWEEN TREES PLANTED WITH TURPENTINE BUSH ACCENTED WITH RED YUCCA AND PRICKLY PEAR. MULCH WILL BE ROSE COLORED COBBLE IN THE OPEN AREAS, WITH 3/8" CRUSHED GRAVEL UNDER TREES.



THE MEDIAN ISLAND AT THE QUINCY STREET ENTRANCE WILL BE HIGHLIGHTED WITH PURPLE SMOKE TREES, UNDERPLANTED WITH REGAL MIST ORNAMENTAL GRASS MULCHED WITH ROSE COLORED COBBLE.



2 PIÑON PINE TREES REMOVED
 2 DESERT WILLOWS DO NOT EXIST TO DATE

1 LANDSCAPE PLAN
 SCALE 1" = 60'

BOTANICAL NAME	COMMON NAME	SIZE	NOTES/SPACING
TREES			
<i>Pistacia chinensis</i>	CHINESE PISTACHE	2" GAL	
<i>Chilopsis linearis</i>	DESERT WILLOW	2" GAL	
<i>Quercus emoryi</i>	EMORY OAK	2" GAL	
<i>Chitalpa lasiocarpa</i>	CHITALPA	2" GAL	
<i>Coccoloba attenuata</i>	BLUE ATLAS CEDAR	20 GAL	
<i>Pinus edulis</i>	LEDAR OF LEBANON	10 GAL	
<i>Cotinus coggygria</i>	PURPLE SMOKE TREE	20 GAL	
<i>Crategeus crus galli 'horris'</i>	THORNLESS HAWTHORN	2" GAL	
SHRUBS/VINES			
<i>Yucca elata</i>	SOAPTREE YUCCA	BASE ROOT 6-8" HT.	
<i>Festuca paradoxa</i>	APACHE PLUME	9 GAL	
<i>Taxodium arizonicum</i>	GREEK GERMANDER	1 GAL	2' OC.
<i>Artemisia stelleriana</i>	BEACH WORMWOOD	1 GAL	2' OC.
<i>Rosemaria officinalis 'arp'</i>	"ARP" ROSEMARY	5 GAL	3' OC.
<i>Hesperaloe parviflora</i>	RED YUCCA	5 GAL	
<i>Euphorbia myrsinites</i>	BLUE SPURGE	1 GAL	2' OC.
<i>Caracarpus montanus</i>	CURLLEAF MOUNTAIN MANOGANY	5 GAL	
<i>Cotoneaster glaucocarpus</i>	GRAY COTONEASTER	5 GAL	
<i>Spartium junceum</i>	SPANISH BROOM	5 GAL	
<i>Opuntia sp.</i>	PRICKLY PEAR	1 GAL	3'-4' OC.
<i>Eriogonum fasciculatum</i>	TURPENTINE BUSH	9 GAL	
<i>Vauquelinia californica</i>	ARIZONA ROSEWOOD	5 GAL	6' OC.
<i>Parthenocissus quinquefolia</i>	WOODBINE	1 GAL	2' OC.
GROUND COVER/GRASSES			
<i>Dactyloctenium aegyptium</i>	PURPLE ICEPLANT	1 GAL	12" OC.
<i>Dactyloctenium aegyptium</i>	YELLOW ICEPLANT	1 GAL	12" OC.
<i>Heteropogon sempervirens</i>	BLUE AVENA	1 GAL	2' OC.
<i>Stipa tenuifolia</i>	MEXICAN THREAD GRASS	1 GAL	2' OC.
	185-11-1967	1 GAL	3' OC.

SMALLER PARKING ISLANDS WILL FEATURE EMORY OAKS FOR SHADE, WITH THE GROUND COVER BEING AN ORNAMENTAL GRASS. MULCH WILL BE ROSE COLORED COBBLE.

THE SOUTHWEST SIDE OF BUILDING D WILL FEATURE PLANTING BEDS WITH SOAPTREE YUCCA, UNDERPLANTED WITH PURPLE ICEPLANT AND ACCENTED WITH BOLDERS.

BUILDING PLANTERS WITH AN EAST, SOUTH OR WEST SIDE EXPOSURE WILL BE PLANTED WITH DESERT WILLOW, WITH ROSEMARY SHRUBS AND ROSE COLORED COBBLE MULCH. BUILDING PLANTERS WITH A NORTHERN EXPOSURE WILL BE PLANTED WITH THORNLESS HAWTHORN WITH BEACH WORMWOOD AND ROSE COLORED COBBLE MULCH.

SOUTHERN BUILDING PLANTING BEDS WILL BE SCREENED WITH EVERGREEN PLANTINGS WITHIN THE VIEW CORRIDORS FROM INTERSTATE 40. THESE SPECIES WILL INCLUDE PINON PINE, HOBBYBUSH, SPANISH BROOM, PRICKLY PEAR AND WOODBINE. CLIMBING THE PERIMETER FENCE, ADJACENT TO THE BUILDINGS, PLANTERS WILL FEATURE DRAMATIC ARIZONA ROSEWOOD SHRUBS UP AGAINST THE WALLS WITH PRICKLY PEAR BELOW.

LANDSCAPE NOTES

- RESPONSIBILITY FOR LANDSCAPE MAINTENANCE ON THE SITE SHALL LIE WITH THE OWNER/DEVELOPER.
- AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM IS TO BE DESIGNED AND CONSTRUCTED FOR ALL INSTALLED PLANT MATERIALS. GRASS AREAS WILL BE SPRAY IRRIGATED. TREES WILL BE IRRIGATED WITH A LOW FLOW BUBBLER SYSTEM, AND SHRUBS AND GROUND COVER WILL BE IRRIGATED WITH A DRIP SYSTEM.
- TREES IN PARKING ISLANDS SHALL BE LOCATED AT THE CENTERMOST PORTION OF THE ISLAND, TYPICALLY.
- TREE LOCATIONS AS SHOWN ARE SCHEMATIC AND MAY VARY BASED ON SIGNAGE LOCATIONS, AND OTHER SITE CONSTRAINTS. TREE LOCATIONS SHALL COMPLY WITH ALL JURISDICTIONAL ORDINANCES WHICH APPLY.

LANDSCAPE AREA

- TOTAL LAND AREA: 13.025 ACRES (571,891.6 SQ FT)
- BUILDING AREA: 129,500 SF
- LANDSCAPE AREA REQUIRED: 1,323,351 SF (30.4 AC)
- LANDSCAPE AREA PROVIDED: 1,323,351 SF (30.4 AC)

EXISTING EASEMENTS

- EXISTING APLA P.C.A. DRAINAGE EASEMENT NO. 3
- EXISTING NEW MEXICO DEPARTMENT OF TRANSPORTATION DRAINAGE RIGHT OF WAY
- FOUR (4) EXISTING 12" x 12" CONCRETE BOX CULVERTS

general notes

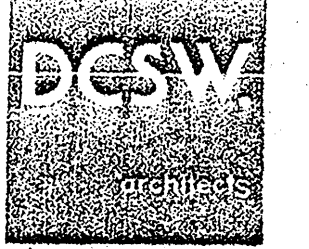
contractor to coordinate architectural plans with structural, plumbing, mechanical, and electrical plans for routing, installation, and scheduling. See drawings for requirements.

if any conflicts in the construction documents exist, the contractor shall detail takes precedence, and the specifications govern over drawings. the contractor is to study the drawings immediately of any errors or omissions or conflicts in the construction documents.

contractor to verify all dimensions prior to construction.

contractor to verify all existing on site conditions prior to construction.

The Pavilions at San Mateo



revisions:
 architect: design
 collaborative: southwest inc.
 engineer: 105 4th st. sw
 cibuquerque nm

SEDBERRY and ASSOCIATES COMMERCIAL REAL ESTATE SERVICES
 ADDRESS: 6301 INDIAN SCHOOL RD., STE. 690
 ALBUQUERQUE, NM. 87110
 PHONE: (505)883-0339
 FAX: (505)883-0870

APPROVED FOR CONSTRUCTION

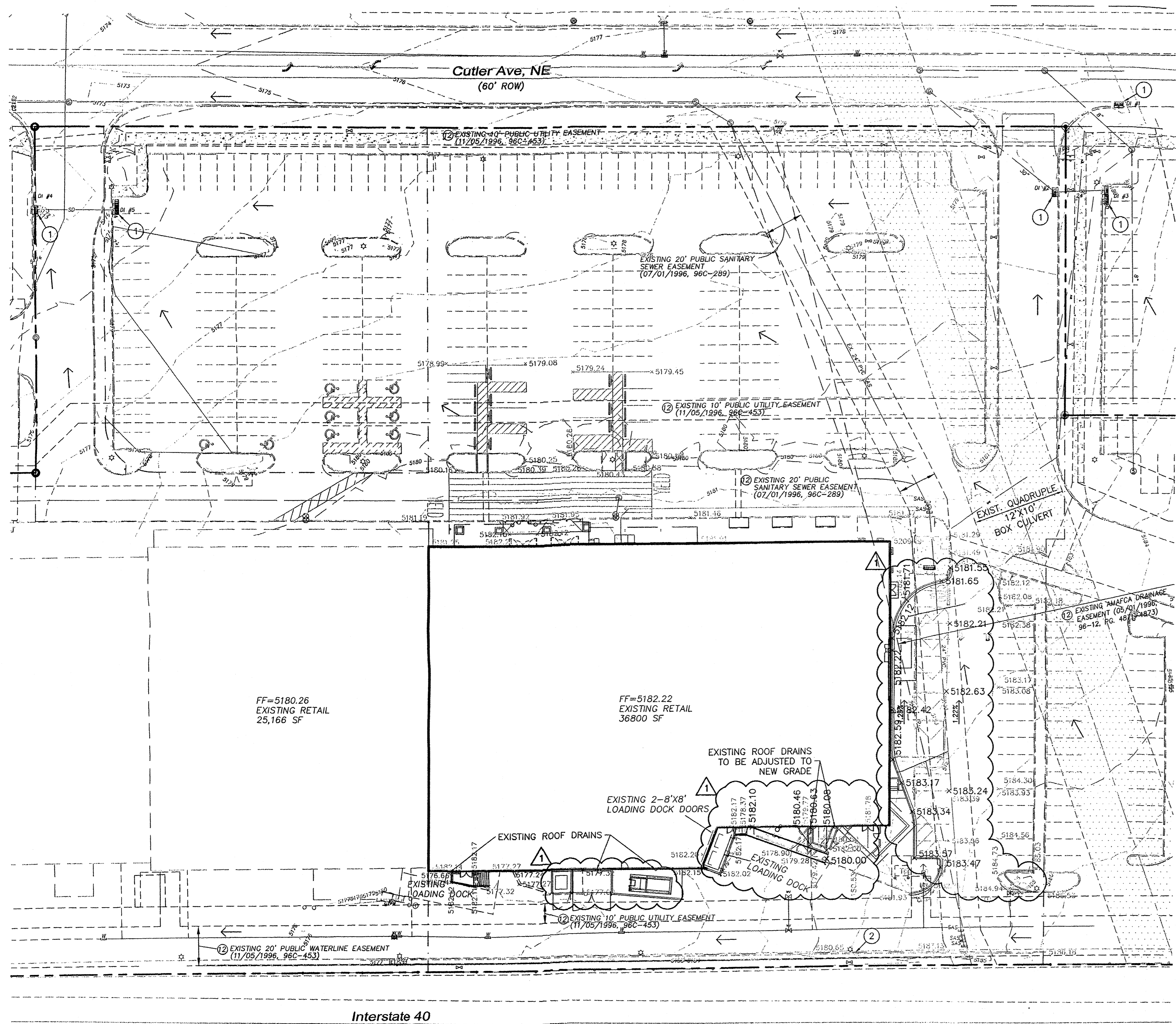
LARRY A. BLAIR
 EXECUTIVE ENGINEER

DATE

job no: 9521
 date: 8-22-12

87102

SHEET #
 C3



LEGEND

	PROPOSED CURB & GUTTER BOUNDARY LINE
	AREA OF CONTROL LIMITS
	EASEMENT
	EXISTING SIDEWALK
	EXISTING CURB & GUTTER
	EXISTING STREET LIGHTS
	SPOT ELEVATION
	FLOW ARROW
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING CONTOUR MAJOR
	EXISTING CONTOUR MINOR
	EXISTING SPOT ELEVATION
	EXISTING INLET
	RETAINING WALL

DRAINAGE NARRATIVE:

PURPOSE: The purpose of this report is to provide a revised grading and drainage plan for a single retail store take-over in the Pavilions Shopping Center at San Mateo. It is intended to give an overview of the approved drainage management plan for the overall shopping center and illustrate the minor grading changes and drainage design for the subject suite take-over, and act as an accurate record for future reference.

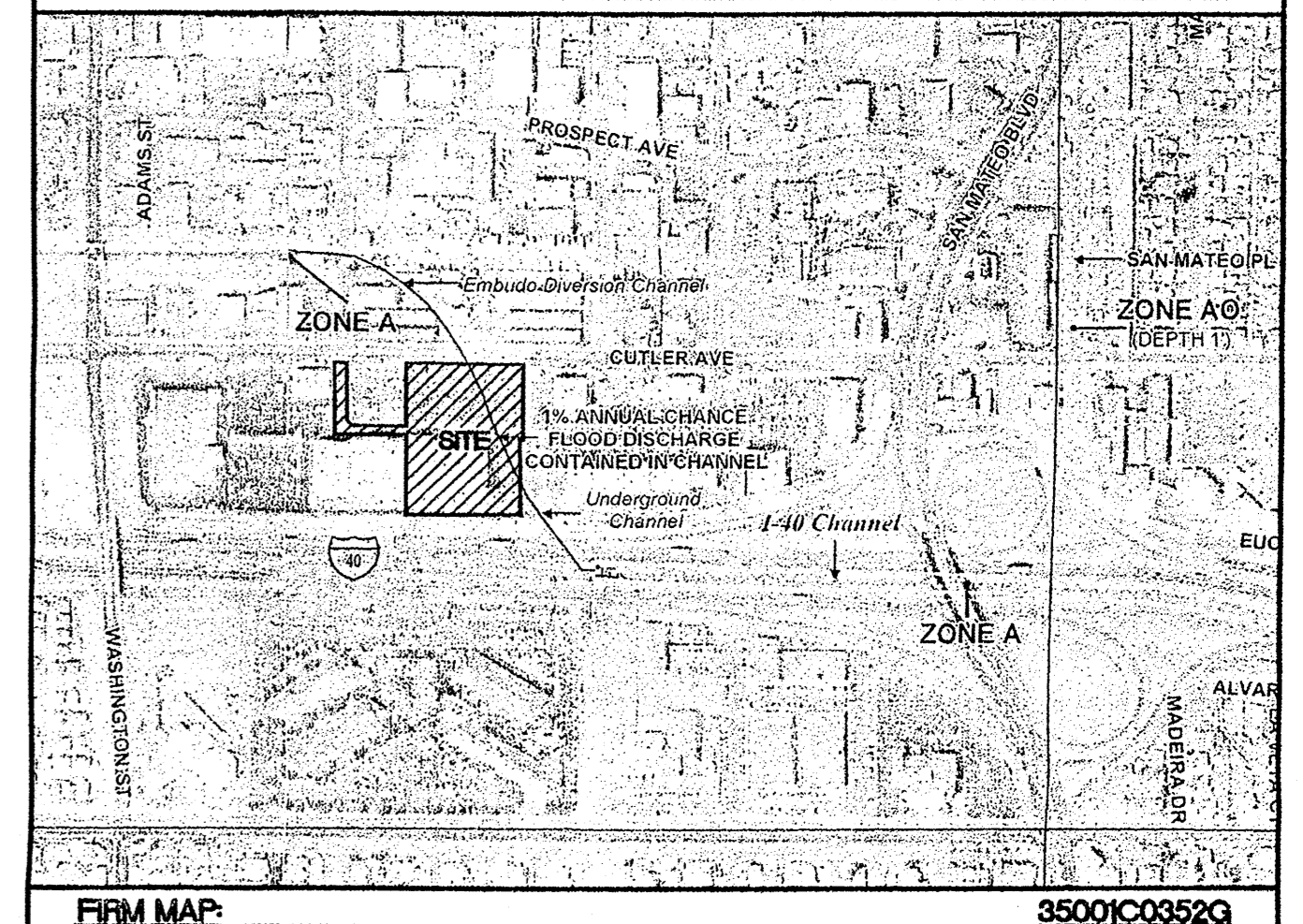
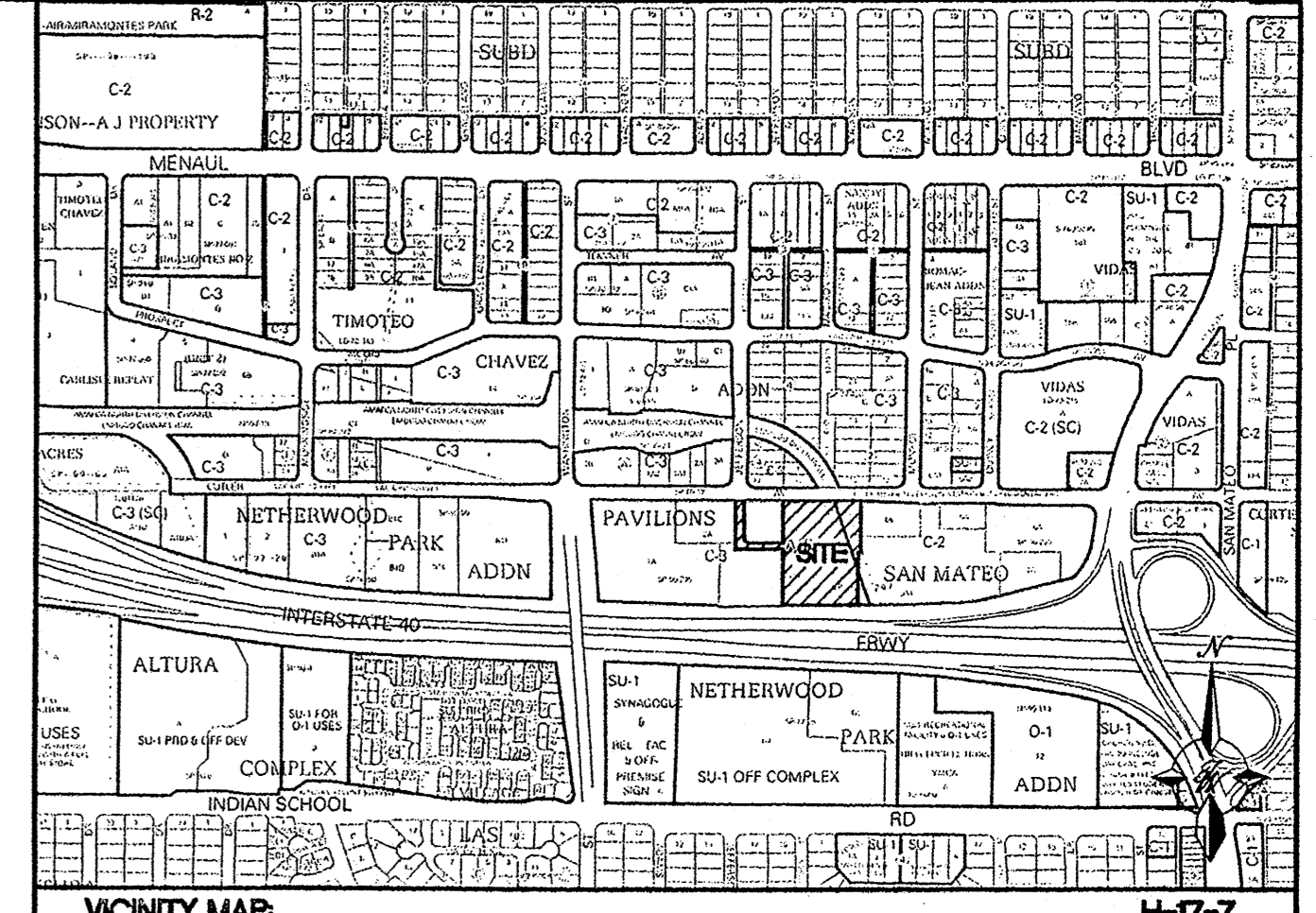
PREVIOUS GRADING AND DRAINAGE PLAN AND REPORT: On file with the City of Albuquerque are the approved Grading and Drainage Plan and approved drainage report for the development of the Pavilions Shopping Center. This report and accompanying Grading and Drainage Plan which will amend the subject site, references the above mentioned grading and drainage plan (6/29/1996) and report (Revised June 1996), developed by Bohannon-Houston Inc.

EXISTING CONDITIONS: The Pavilions Shopping Center is located on the northwest corner of San Mateo and Interstate 40; bound by Cutler Avenue to the north and Washington Street to the west. The shopping center occupies approximately 20 acres and currently contains eight buildings (several with multiple tenants per building). The subject suite is an existing 36,800 square foot retail space recently vacated by Ultimate Electronics.

The east half of the shopping center conveys storm water in a northerly direction along the parking surface where it is directed into a series of existing storm inlets and 36" storm drain located in the Cutler Avenue right-of-way. This existing Cutler Ave. storm drain conveys runoff to the existing AMAFCA box culverts, which cross the shopping center below grade, and become the Embudo Channel near the northwest portion of the site. Similarly, the remaining west half of the shopping center conveys runoff in a northerly direction along the parking surface to a series of existing storm inlets and storm drain system on the west portion of the shopping center, which then connects to the existing 36" storm drain line in Cutler Avenue, and ultimately enter the Embudo Channel.

According to the Bohannon-Houston drainage report, the total peak discharge for the entire shopping center during the 100 year event is 111.03 cfs (including an assumed offsite flow of 10 cfs from the I-40 right-of-way).

PROPOSED CONDITIONS: The proposed conversion is for a 36,800 sf take-over of the existing retail space. The conversion will include interior building changes to accommodate the new use with minor exterior building changes; east side grades will be altered per this Grading and Drainage Plan to accommodate a new pharmacy drive up window. Positive drainage will be maintained for this area and existing drainage patterns will not be altered. Impervious areas will remain... and peak discharge will not be increased.



LEGAL DESCRIPTION:
A PORTION OF TRACT 3A-1 PAVILIONS AT SAN MATEO

NOTES:
1. GRADES ON CURB LINE ARE TO FLOWLINE UNLESS OTHERWISE SPECIFIED.

- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

- KEYED NOTE:**
- 1 EXISTING DROP INLET
 - 2 EXISTING RETAINING WALL

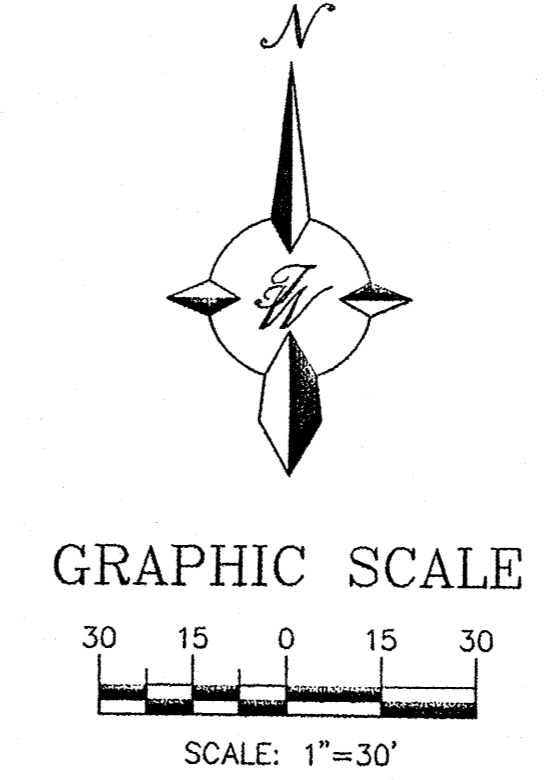
NOTES FROM PLAT (11/25/1998, 98C-334)

9. TRACT 3A-1 IS SUBJECT TO A RECIPROCAL CROSS-ACCESS, CROSS-PARKING, AND CROSS-DRAINAGE EASEMENTS AS DEFINED IN THE REVISED PLAT OF PAVILIONS AT SAN MATEO RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON NOVEMBER 5, 1998, IN VOLUME 96C, FOLIO 453, FOR THE USE AND BENEFIT OF TRACTS 1A THRU 7A. MAINTENANCE OF THESE EASEMENTS SHALL BE BY TRACTS 1A THRU 7A. (REF. 2-95-092)

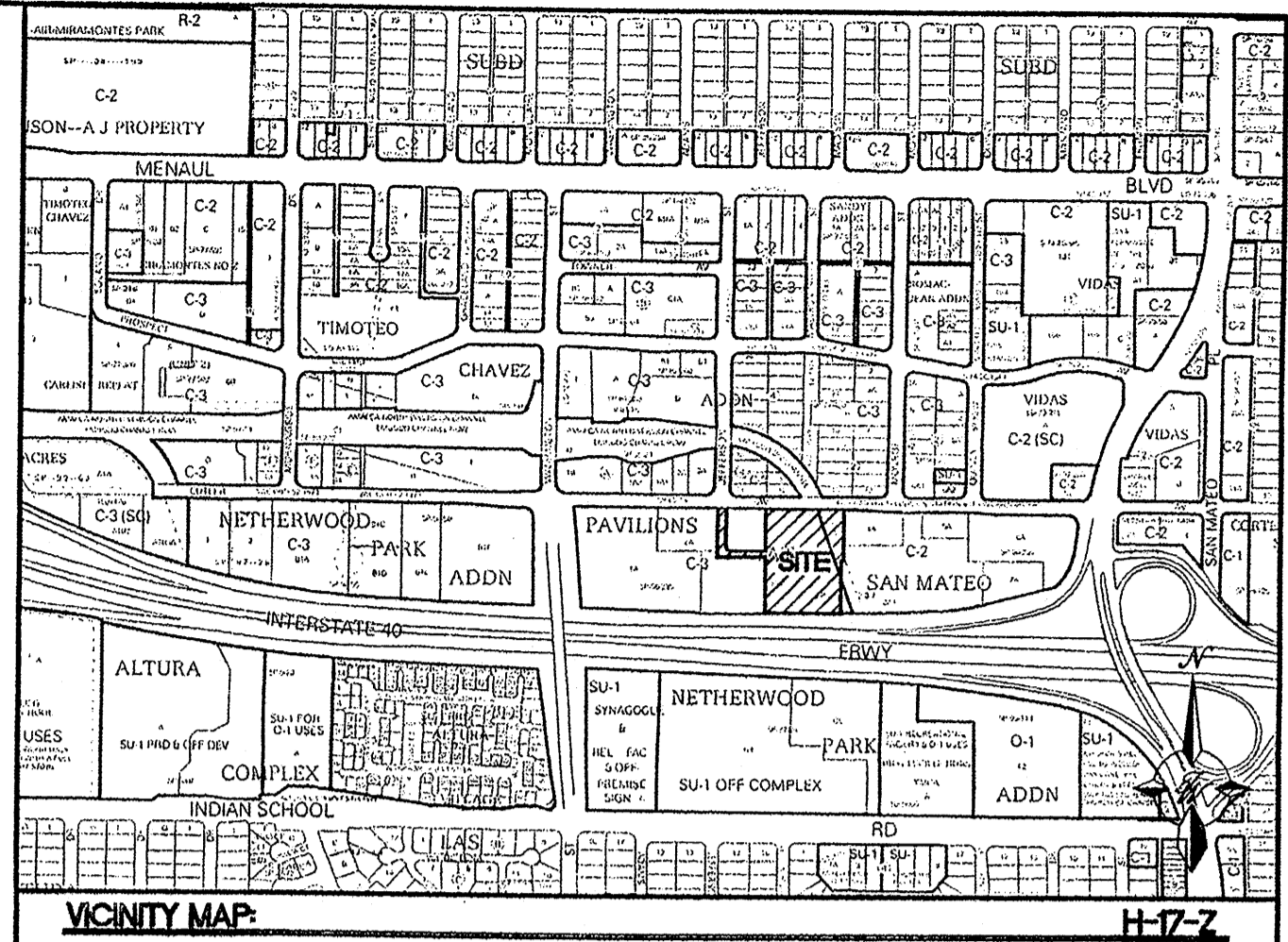
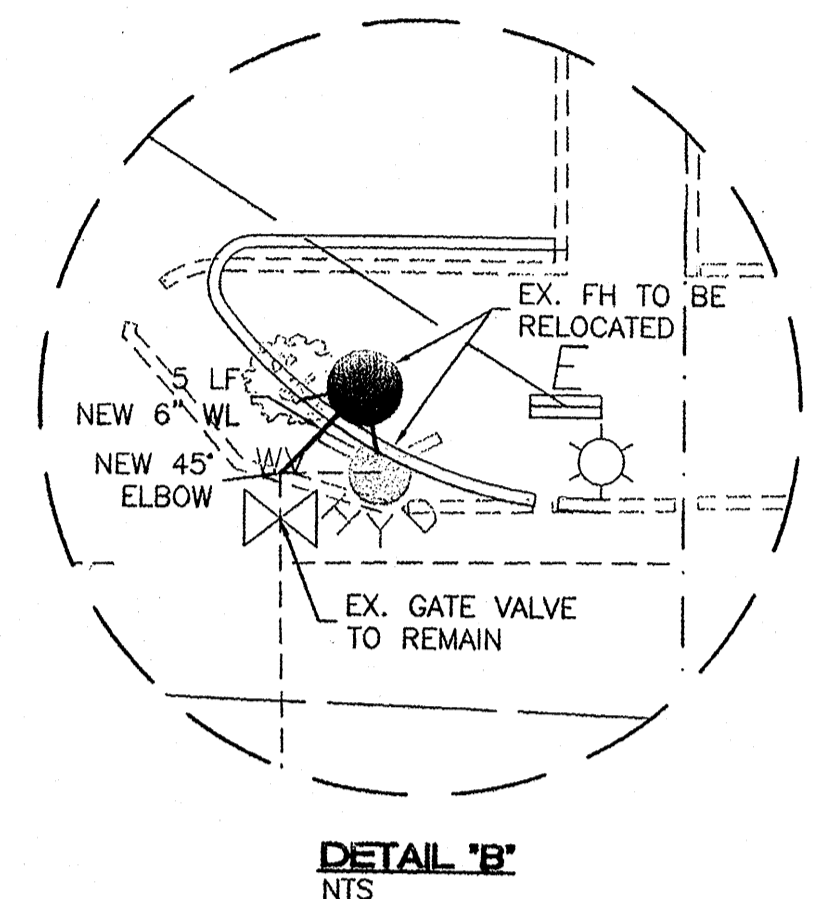
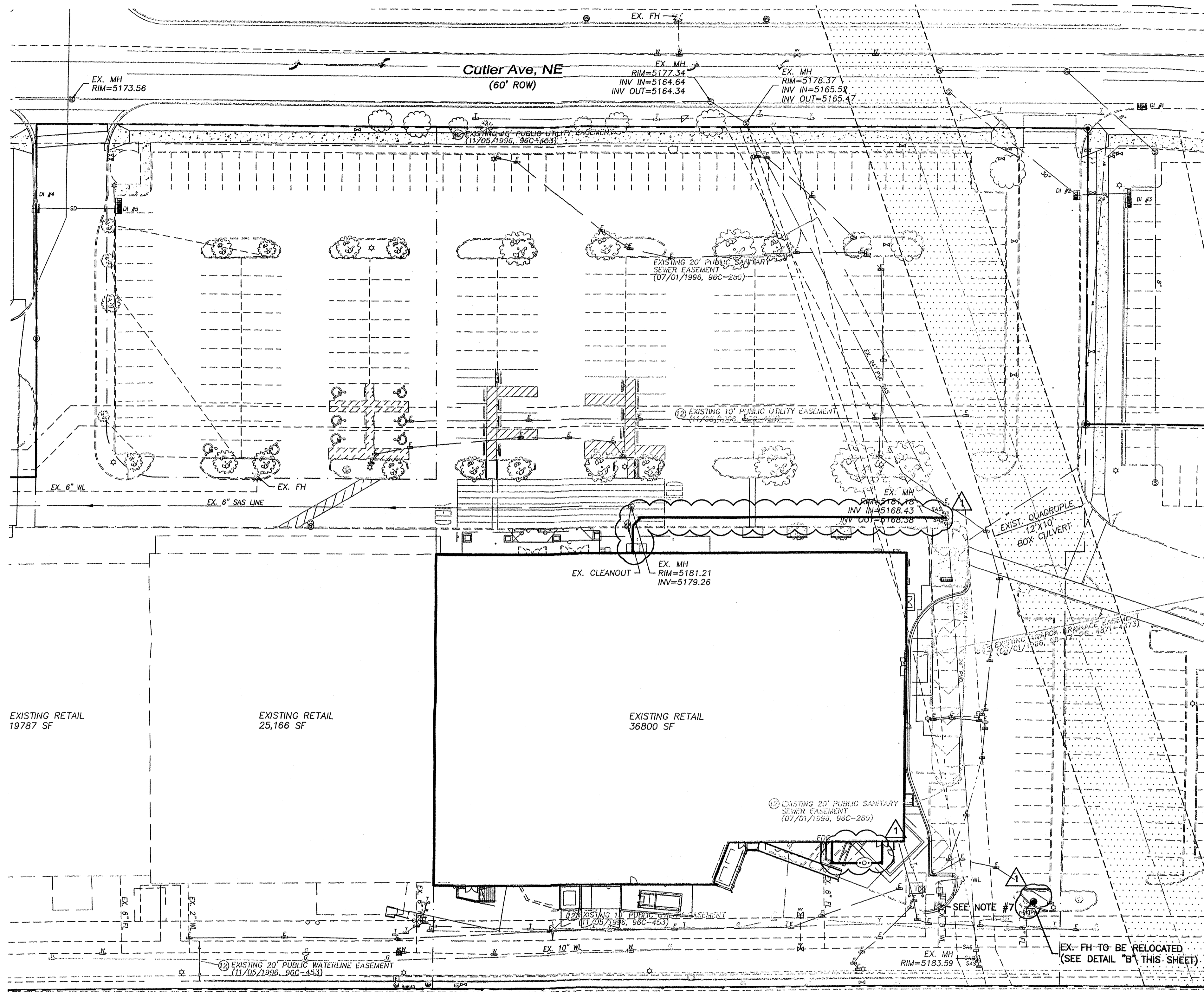
NOTES FROM PLAT (11/05/1996, 96C-453)

9. RECIPROCAL CROSS-ACCESS, CROSS-PARKING, AND CROSS-DRAINAGE EASEMENTS ARE PROVIDED OVER AND ACROSS TRACTS 1A THRU 7A FOR THE USE AND BENEFIT OF SOME TRACTS. MAINTENANCE OF THESE EASEMENTS SHALL BE BY SOME TRACT OWNERS (REF. 2-95-092)

11. CONSTRUCTION WITHIN AMAFCA EASEMENTS WILL REQUIRE ENCROACHMENT AGREEMENTS PRIOR TO CONSTRUCTION



NO.	DATE	REVISIONS	VC
	8-22-12	IMPROVEMENTS REQUIRING RE-GRADING	
		REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		THE PAVILIONS AT SAN MATEO (TRACT 3A-1)	DRAWN BY
		GRADING PLAN	DATE
			5/15/12
			2011071-GR-AA
			SHEET #
			C4
			JOB #
			2011071
RONALD R. BOHANNON P.E. #7868		TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	



1. ONLY ABCWUA WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
2. NOTIFY ABCWUA WATER SYSTEMS DIVISION (PHONE 857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN
3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
4. SHUTOFF THE VALVES INDICATED IN THE PLAN ABOVE.

LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	AREA OF CONTROL LIMITS
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	RETAINING WALL
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING SD MANHOLE
	EXISTING INLET
	EXISTING SAS MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING OVERHEAD UTILITIES
	EXISTING UNDERGROUND UTILITIES
	EXISTING GAS
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE

NOTES FROM PLAT (11/25/1998, 98C-334)

9. TRACT 3A-1 IS SUBJECT TO A RECIPROCAL CROSS-ACCESS, CROSS-PARKING, AND CROSS-DRAINAGE EASEMENTS AS DEFINED IN THE REVISED PLAT OF PAVILIONS AT SAN MATEO RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON NOVEMBER 5, 1996, IN VOLUME 96C, FOLIO 453, FOR THE USE AND BENEFIT OF TRACTS 1A THRU 7A. MAINTENANCE OF THESE EASEMENTS SHALL BE BY TRACTS 1A THRU 7A. (REF. 2-95-092)

NOTES FROM PLAT (11/05/1996, 96C-453)

9. RECIPROCAL CROSS-ACCESS, CROSS-PARKING, AND CROSS-DRAINAGE EASEMENTS ARE PROVIDED OVER AND ACROSS TRACTS 1A THRU 7A FOR THE USE AND BENEFIT OF SOME TRACTS. MAINTENANCE OF THESE EASEMENTS SHALL BE BY SOME TRACT OWNERS (REF. 2-95-092)

10. "PRIVATE SANITARY SEWER EASEMENTS" ARE FOR THE BENEFIT OF TRACTS 1A THRU 7A. MAINTENANCE OF THESE EASEMENTS IS THE RESPONSIBILITY OF SAME TRACTS.

11. CONSTRUCTION WITHIN AMAFCA EASEMENTS WILL REQUIRE ENCROACHMENT AGREEMENTS PRIOR TO CONSTRUCTION

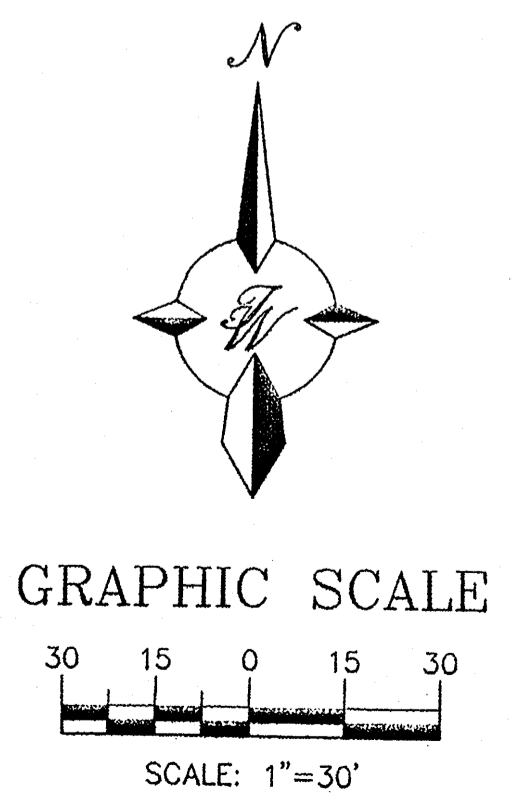
12. PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE TO PAVILIONS AT SAN MATEO MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE VIA A REQUEST FOR A WATER AND SANITARY SEWER AVAILABILITY STATEMENT

SITE LIGHTING:
THE PARKING LOT WILL BE ILLUMINATED W/ MAX. 35' HIGH LIGHT POLE MOUNT FIXTURES W/ BAFFLES TO PREVENT THE EXPOSURE OF DIRECT LIGHT TO SURROUNDING AREAS. THE SECURITY LIGHTING WILL NOT EXTEND BEYOND PROPERTY LINES. WALL PACKS WILL BE LOCATED ALONG THE BACKS OF STORES.

- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

- GENERAL NOTES:**
1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
 2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
 3. ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
 4. CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
 5. SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
 6. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
 7. REPLACE EXISTING 2" WATER METER WITH A 3" WATER METER & 3" SERVICE LINE TO THE BUILDING.

CAUTION:
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NO.	DATE	REMARKS	BY
8-22-12		REROUTE SANITARY SEWER SERVICE, ADD GREASE TRAP, RELOCATE FIRE HYDRANT	VC
REVISIONS			
ENGINEER'S SEAL		THE PAVILIONS AT SAN MATEO (TRACT 3A-1)	DRAWN BY
		MASTER UTILITY PLAN	DATE
			2011071-MU-AA
			SHEET #
			C5
RONALD R. BOHANNAN P.E. #7868		TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	JOB #
			2011071

COLOR AND MATERIAL PALETTE

CMU

- Existing split-face CMU field: A blend of 2 colors, (Crego) Burgundy with scoria and (Crego) Tan in a ratio of 3:2 or 2:3 between accent bands of CMU. The ratio will vary with building location.
- Existing smooth CMU accent: (Crego) Petroglyph black with scoria at 4'-0" O.C.
- Existing smooth CMU accent insets at building transitions and insets shall be the following colors: (Crego) Burgundy with scoria, (Crego) Tan and (Crego) Petroglyph black with scoria

STUCCO

Stucco colors shall be one of the following:

- Cobble Brown
- Exterior Dromedary Camel

TILE

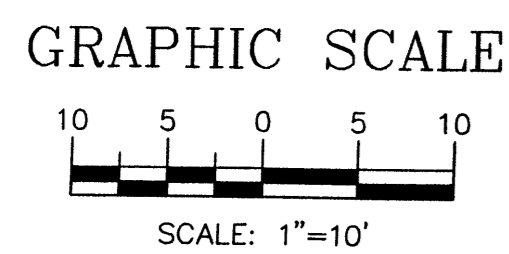
Existing tile accents may be used at entry areas for an accent color. The color shall be similar to storefront colors.

METAL FINISHES

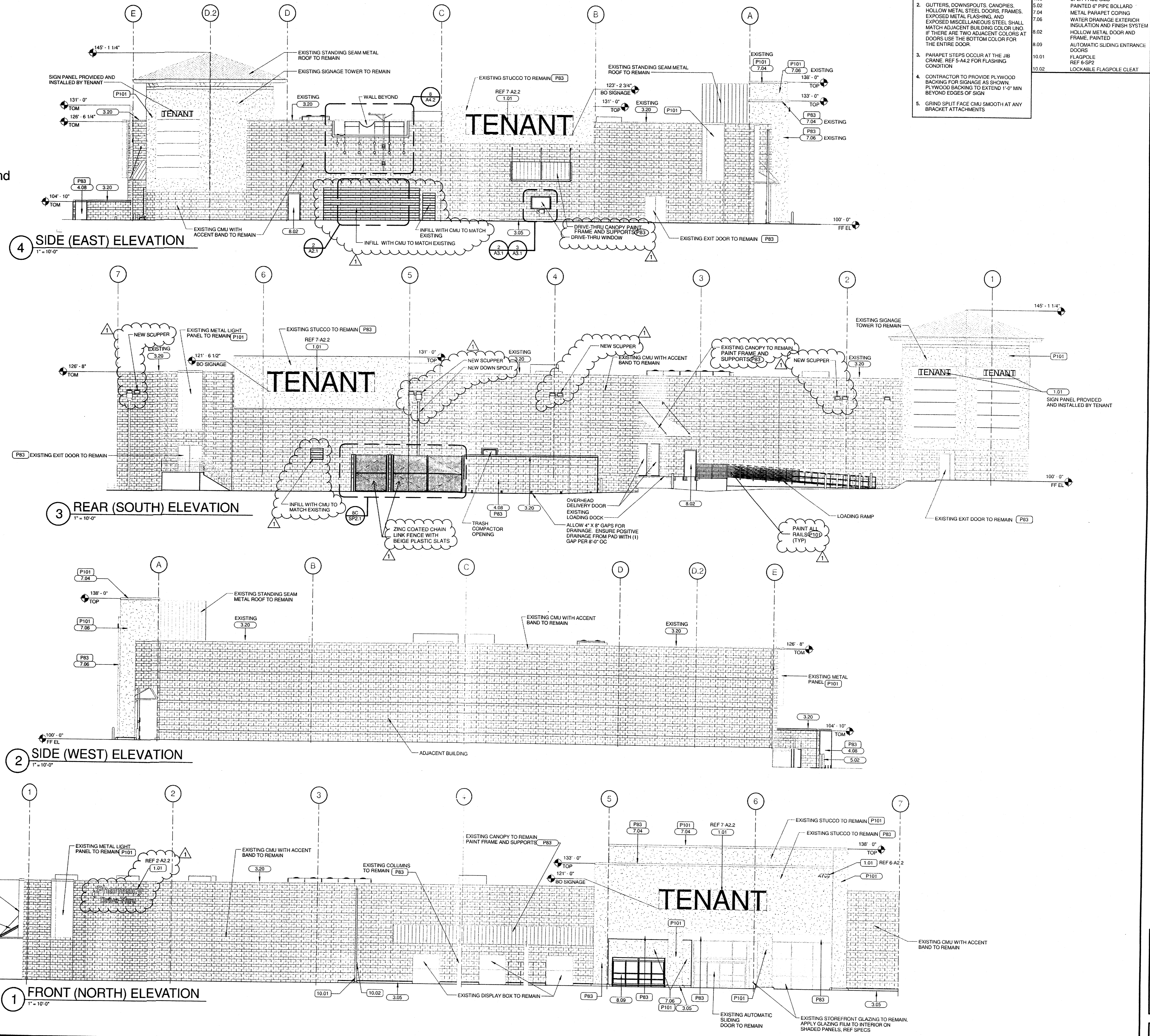
- Existing pitched roof - galvanized metal
- Fascia - galvanized metal
- Existing awnings - galvanized metal
 - Canvas awnings shall be in the color range of storefront finishes.
 - No plastic awnings shall be allowed.
- Cable - galvanized metal
- Brackets - galvanized metal
- Storefront - shall be one of the following Kawneer colors:
 - Sterling gray
 - Metal column enclosures - sterling gray
 - Column capital - sterling gray
 - Metal light panel - exterior dromedary camel

BUILDING SIGNAGE SCHEDULE				
BUILDING SIGNAGE	QTY	COLOR	INDIVIDUAL AREA	TOTAL AREA
TENANT	3	WHITE	36.00 SF	108.00 SF
PHARMACY DRIVE THRU	1	WHITE	62.68 SF	62.68 SF
SITE SIGNAGE SCHEDULE				
TENANT	2	WHITE	50.00 SF	100.00 SF

Calculations are based on box method



COLOR LEGEND		SHEET NOTES		KEYNOTE LEGEND	
P83	"COBBLE BROWN" SW #6962	1.	DOWNSPUTS ARE INDICATED FOR SIZE, QUANTITY, AND APPROXIMATE LOCATION ONLY.	1.01	SIGNAGE
P101	"EXTERIOR DROMEDARY CAMEL" SW #7894 (EXT)	2.	GUTTERS, DOWNSPOUTS, CANOPIES, HOLLOW METAL STEEL DOORS, FRAMES, EXPOSED METAL FLASHING, AND EXPOSED MISCELLANEOUS STEEL SHALL MATCH ADJACENT BUILDING COLOR UNO. IF THERE ARE TWO ADJACENT COLORS AT DOORS USE THE BOTTOM COLOR FOR THE ENTIRE DOOR.	3.05	CONCRETE CURB
		3.	PARAPET STEPS OCCUR AT THE JOB CRANE. REF 5-A4.2 FOR FLASHING CONDITION.	4.08	SPLIT FACE CMU
		4.	CONTRACTOR TO PROVIDE PLYWOOD BACKING FOR SIGNAGE AS SHOWN. PLYWOOD BACKING TO EXTEND 1'-0" MIN BEYOND EDGES OF SIGN.	5.02	4" PRECAST CONCRETE CAP
		5.	GRIND SPLIT FACE CMU SMOOTH AT ANY BRACKET ATTACHMENTS.	7.06	WATER DRAINAGE EXTERIOR INSULATION AND FINISH SYSTEM
				8.02	METAL PARAPET COLLARD
				8.09	AUTOMATIC SLIDING ENTRANCE DOORS
				10.01	FLAGPOLE REF 6-SP2
				10.02	LOCKABLE FLAGPOLE CLEAT



B | R | R

CONSULTANTS

TENANT
ALBUQUERQUE (SAN MATEO), NM

JOB NUMBER: 87120135 | PHOTO: 41

ISSUE BLOCK

CHECKED BY: _____
 DRAWN BY: BW
 PHOTO CYCLE: 042712
 DOCUMENT DATE: 08/10/12

EXTERIOR ELEVATIONS

SHEET: **A2**