

D . R . B . S U B M I T T A L

P A V I L I O N S A T S A N M A T E O

A P R O J E C T O F K I T C H E L L D E V E L O P M E N T

PROJECT DATA

ARCHITECTS:

DCSW, INC.
105 4TH ST. S.W.
ALBUQUERQUE, N.M. 87102
PROJECT ARCHITECT: DAVE DEKKER
PH. NO. (505) 843-9639

GREENBERG FARROW ARCHITECTURE
15101 RED HILL AVENUE
TUSTIN, CA. 92780
PROJECT ARCHITECT: MIKE ELKIN
PH. NO. (714) 259-0500

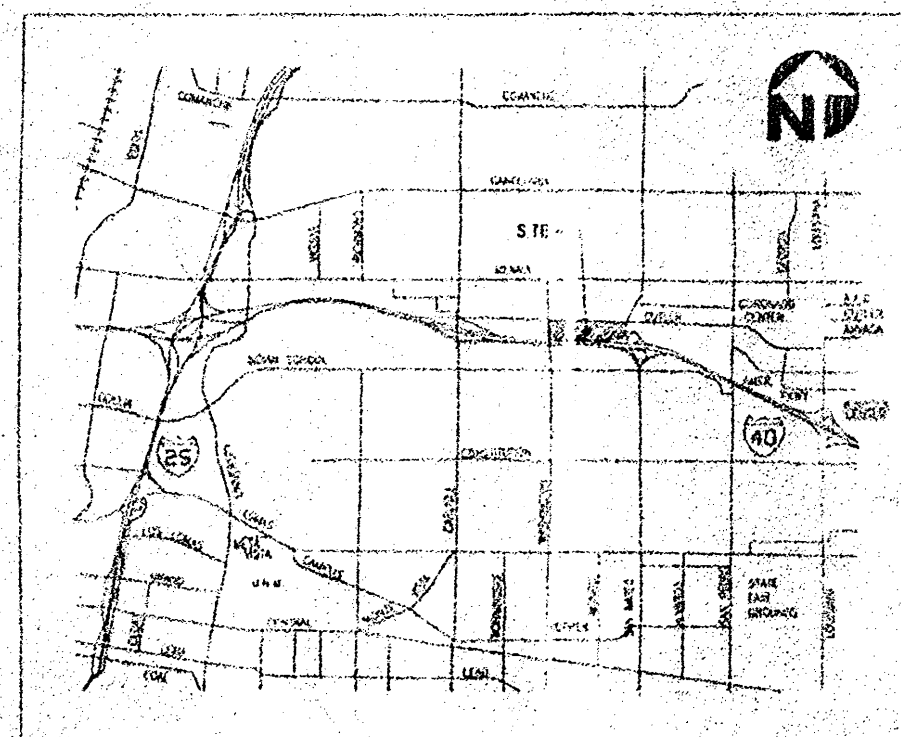
CIVIL ENGINEER:

BHI, INC.
7500 JEFFERSON N.E.
ALBUQUERQUE, N.M. 87109
PROJECT ENGINEER: JAMES TOPMILLER
PH. NO. (505) 823-1000

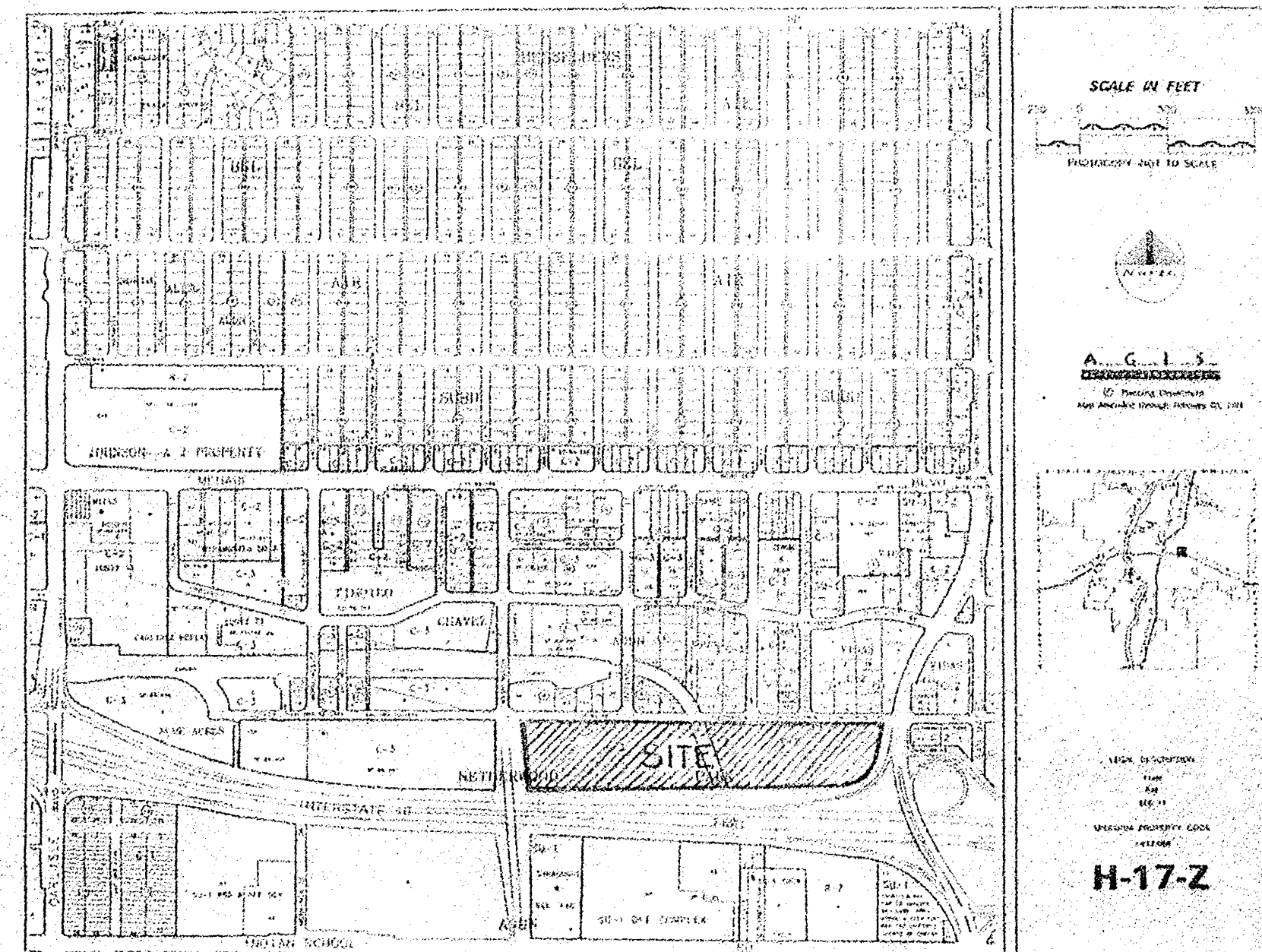
LANDSCAPE ARCHITECTS:

BHI, INC.
7500 JEFFERSON N.E.
ALBUQUERQUE, N.M. 87109
LANDSCAPE ARCHITECT: GEORGE RADNOVICH

LOCATION MAP



VICINITY / ZONE MAP



SHEET LIST

ARCHITECTURAL:

- A-1 COVER SHEET
- A-2 1" = 60'-0" SITE PLAN / SITE DETAILS
- A-3 1" = 30'-0" WEST SITE PLAN
- A-4 1" = 30'-0" EAST SITE PLAN
- A-5 BUILDING ELEVATIONS
- A-6 BUILDING ELEVATIONS
- A-7 BUILDING ELEVATIONS
- A-8 BUILDING ELEVATIONS - CIRCUIT CITY

CIVIL:

- C-1 CIVIL (GRADING, DRAINAGE & UTILITIES PLAN)

LANDSCAPE:

- L-1 LANDSCAPE PLAN

CASE NUMBER: 7-1-96

This plan is consistent with the specific site development and approvals by the Environmental Planning Commission (EPC) of the City of San Mateo, California, and that the findings of the Official Writing have been complied with.

DATE DEVELOPMENT PLAN: 10-24-96
 DATE DESIGN: 10-15-96
 DATE CIVIL: 8-20-96
 DATE LANDSCAPE: 6-20-96
 DATE CITY ENGINEER: 10-11-96
 DATE LITE: 9/30/96

**The Pavilions
at San Mateo**

COVER SHEET

GREENBERG FARROW ARCHITECTURE
ARCHITECTURE • ENGINEERING • PLANNING
15101 RED HILL AVENUE, SUITE 200
TUSTIN, CALIFORNIA 92780
TEL: (714) 259-0500 FAX: (714) 259-5488

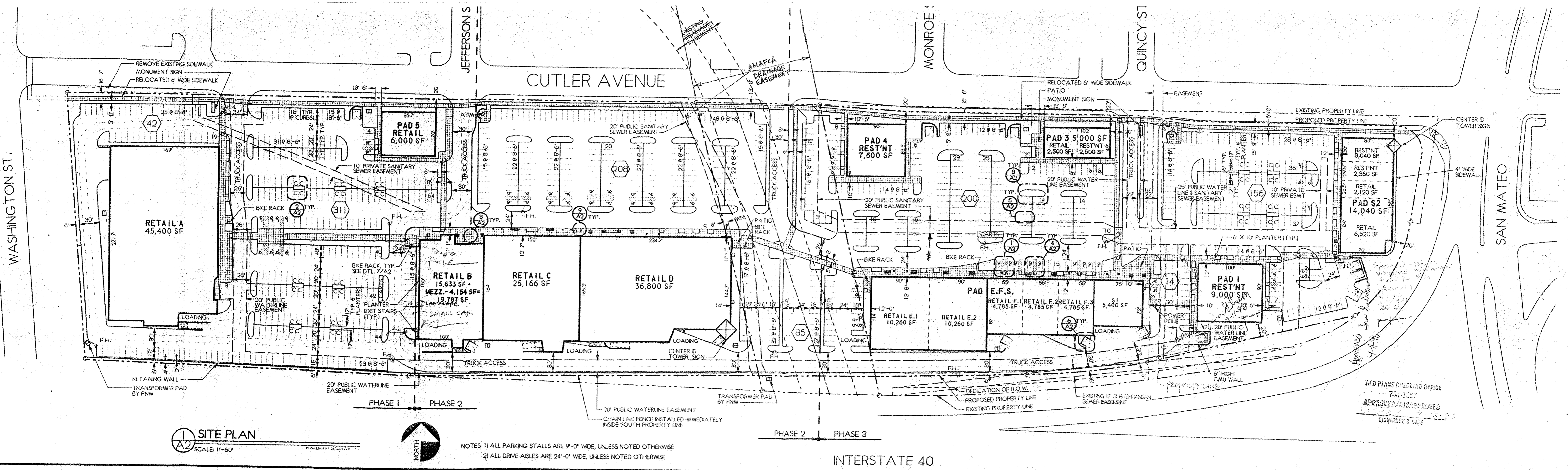
**KITCHELL
DEVELOPMENT**

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DCSW
DESIGN
COLLABORATIVE
SOUTHWEST INC.
105 4TH ST. SW
ALBUQUERQUE, NM
87102
505-843-9639

S.F.A. JOB NO: 960391

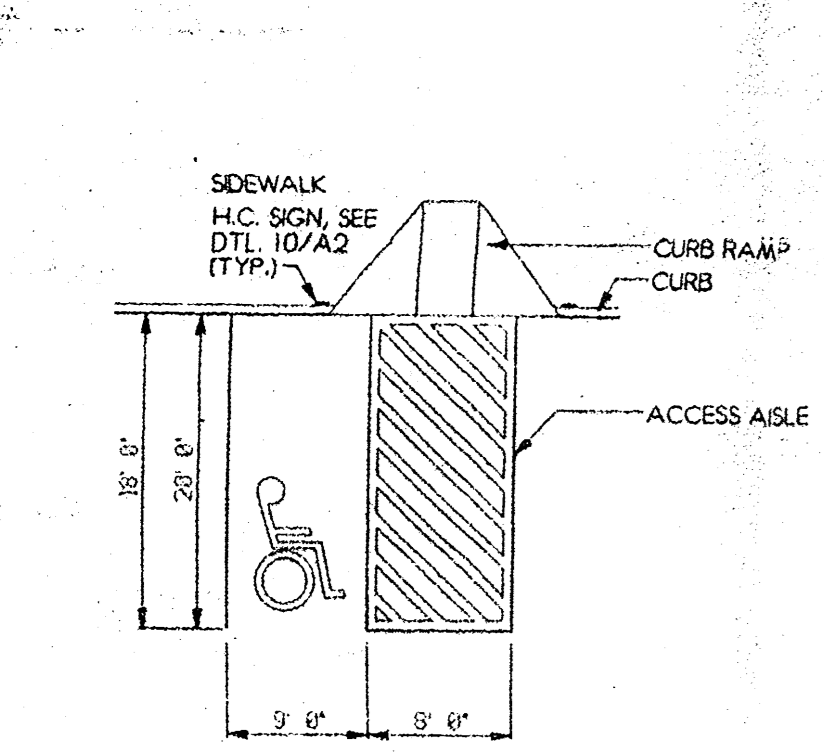
DATE: 09-09-96



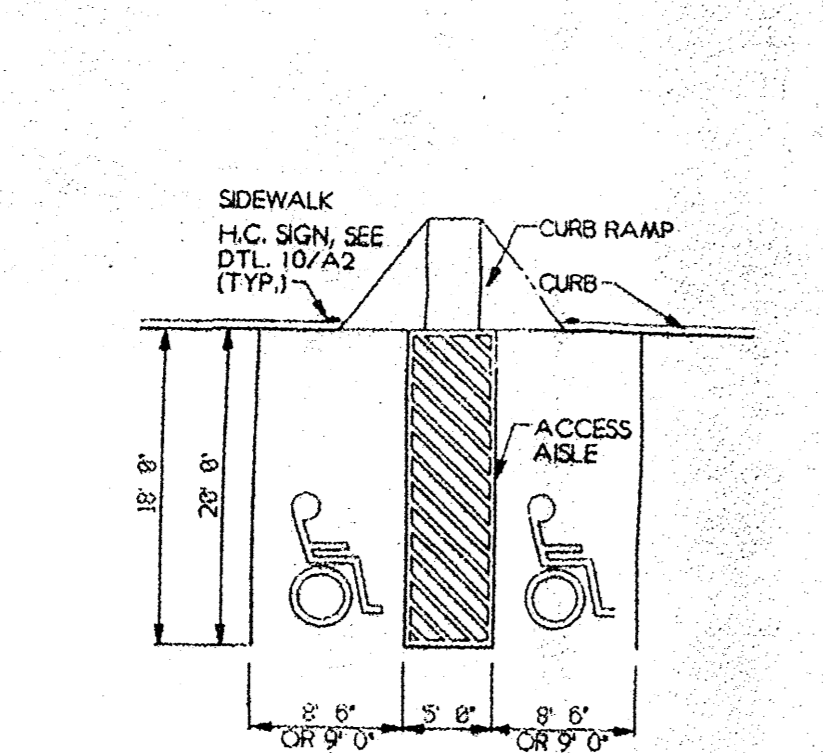
1 SITE PLAN
SCALE: 1"=60'

NOTES: 1) ALL PARKING STALLS ARE 9'-0" WIDE, UNLESS NOTED OTHERWISE
2) ALL DRIVE AISLES ARE 24'-0" WIDE, UNLESS NOTED OTHERWISE

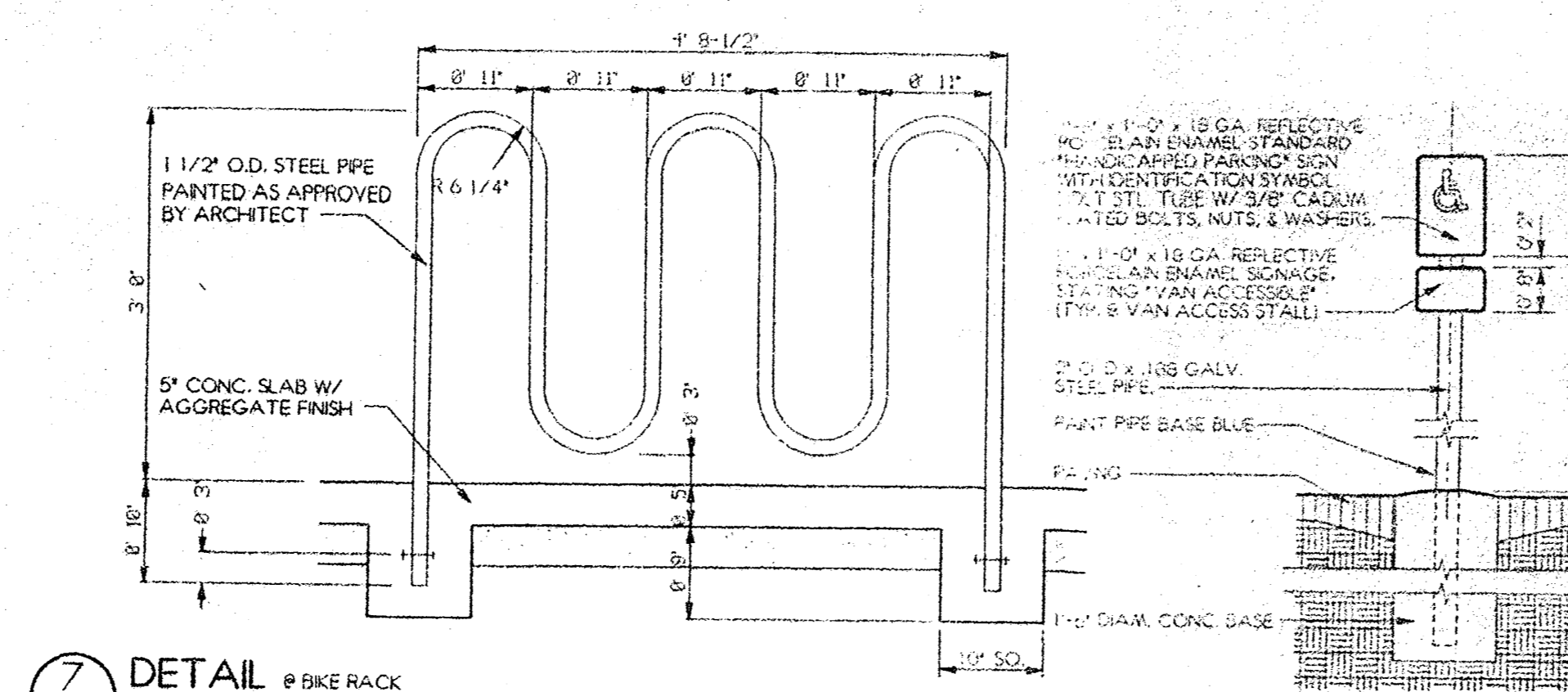
APD PLANS CHECKING OFFICE
7-11-10
APPROVED/DISAPPROVED
SIGNATURE & DATE



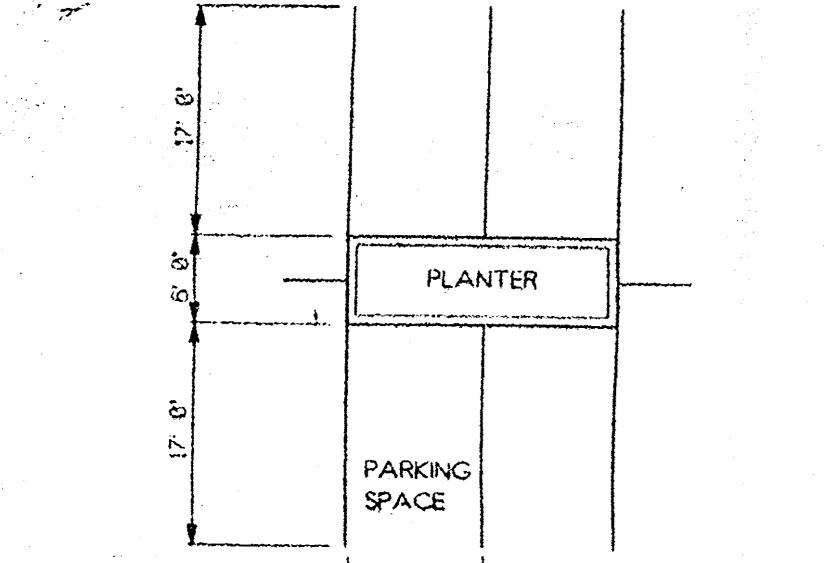
1 DETAIL PARKING @ HANDICAP VAN SPACE
N.T.S.



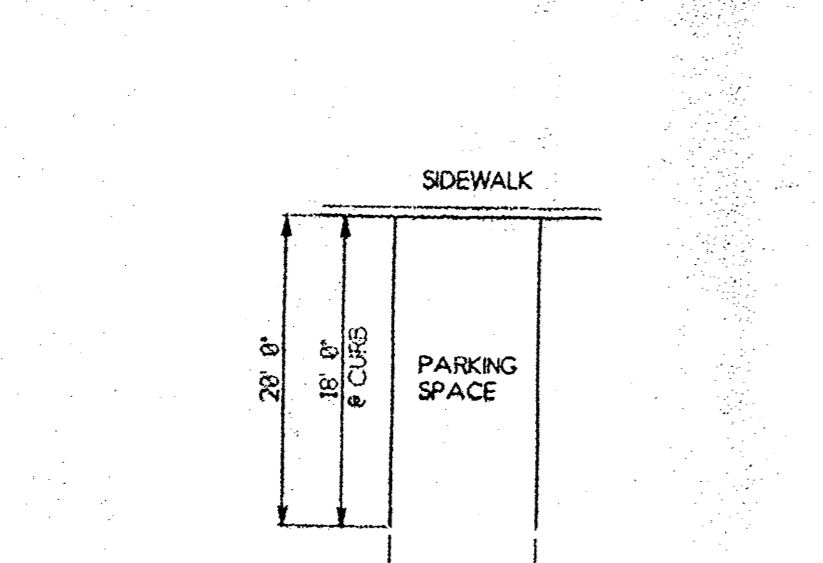
4 DETAIL PARKING @ HANDICAP SPACE
N.T.S.



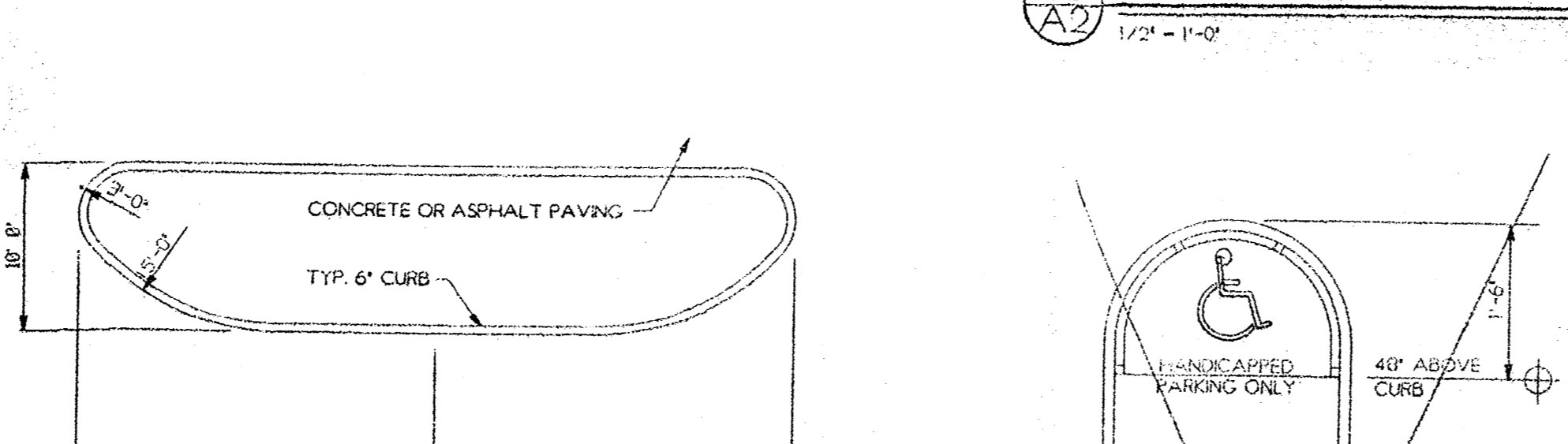
7 DETAIL @ BIKE RACK
N.T.S.



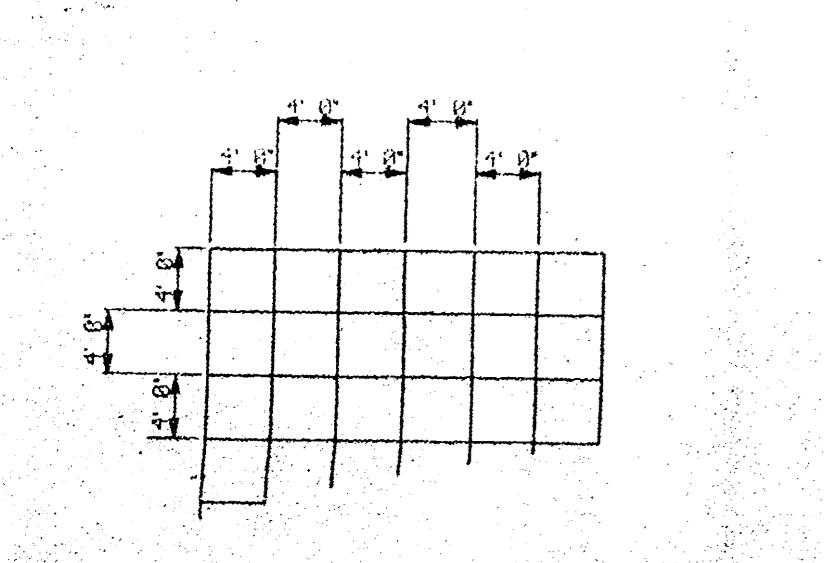
2 DETAIL PARKING @ SMALL CAR SPACE
N.T.S.



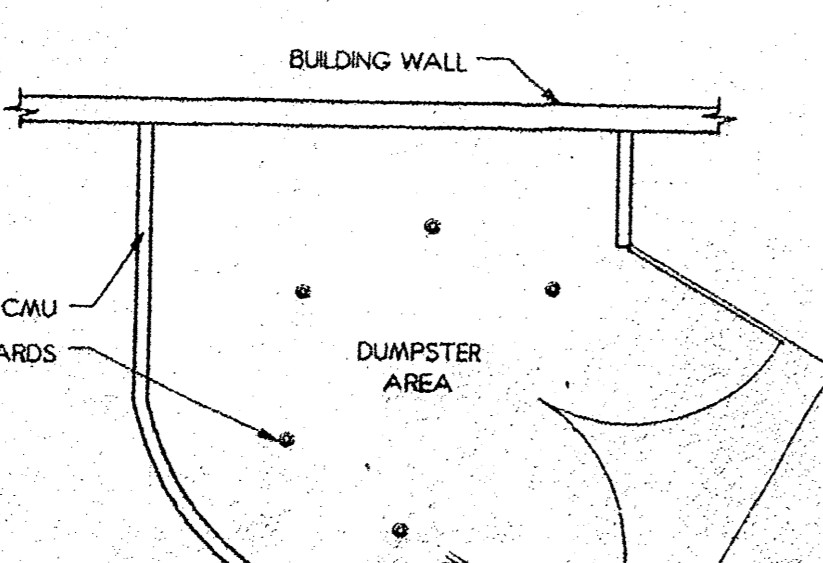
5 DETAIL PARKING @ STANDARD SPACE
N.T.S.



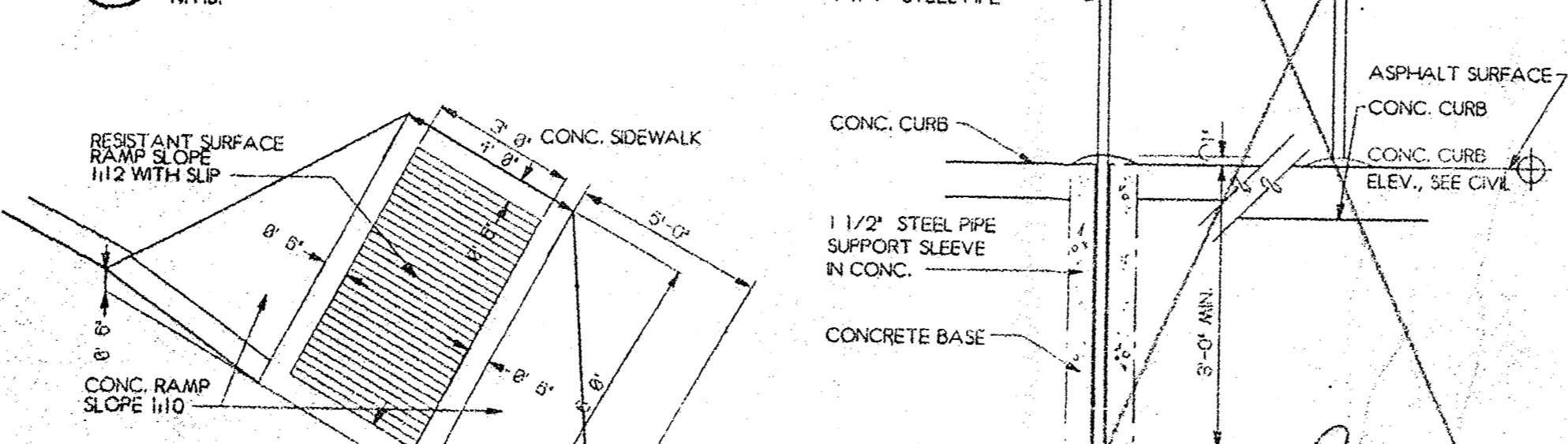
8 DETAIL TYP. ISLAND CONFIGURATION
N.T.S.



3 DETAIL @ DUMPSTER ENCLOSURE
N.T.S.



6 DETAIL @ DUMPSTER ENCLOSURE
N.T.S.



10 DETAIL HANDICAP SIGN
1/2" = 1'-0"

SUMMARY

TOTAL BUILDING SQUARE FOOTAGE SHALL NOT INCREASE GREATER THAN 10% OF 200,000 SF.

| | |
|---|--|
| TOTAL LAND AREA: | 19.0032 ACRES |
| TOTAL BUILDING AREA: | 208,968 S.F. |
| | (RETAIL B MEZZANINE) - 4,154 S.F. |
| TOTAL BUILDING FOOTPRINT: | 204,814 S.F. |
| LAND/BUILDING (BASED ON FOOTPRINT): | 24.74% |
| PARKING / PAVING AREA: | 457,971 S.F. |
| SIDEWALKS: | 95,776 S.F. |
| LANDSCAPE: | 109,372 S.F. - 17.56% |
| PARKING REQUIRED: | |
| RETAIL @ 200SF./SPACE | 180,414 S.F. / 903 SPACES |
| RETAIL (MEZZANINE) @ 500 SF./SPACE | 4,154 S.F. / 14 SPACES |
| RESTAURANTS W/ LIQUOR | PAD 1 @ 9,000 S.F. - 220 SEATS + 3- 74 SPACES |
| RESTAURANTS W/O LIQUOR | PAD 4 @ 87,500 S.F. - 180 SEATS + 3- 60 SPACES |
| RESTAURANTS W/O LIQUOR | S2 @ 83,040 S.F. - 50 SEATS + 4- 19 SPACES |
| RESTAURANTS W/O LIQUOR | S2 @ 82,360 S.F. 25 SEATS + 4- 7 SPACES |
| | PAD3 @ 82,500 S.F. - 44 SEATS + 4- 11 SPACES |
| TOTAL: | 24,400 S.F. 165 SPACES |
| | -917 SPACES |
| TOTAL SPACES REQUIRED (LESS 10% BUS LINE CREDIT)- | 1082 SPACES |
| | -108 SPACES |
| | 974 SPACES |

| | |
|----------------------------------|-----------------|
| TOTAL PARKING PROVIDED: | 1016 SPACES |
| TOTAL SMALL CAR SPACES PROVIDED: | 44 SPACES/4.33% |
| HANDICAP SPACES | |
| BLDG. PAD | SPACES REQ'D |
| RETAIL A | 8 |
| RETAIL B | 4 |
| RETAIL C | 8 |
| RETAIL D | 8 |
| RETAIL E | 8 |
| RETAIL F | 4 |
| RETAIL S1 | 2 |
| RETAIL S2 | 4 |
| P1 | 4 |
| P3 | 2 |
| P4 | 4 |
| P5 | 2 |

| | |
|---------------------------------|-----------|
| TOTAL H.C. SPACES REQ'D: | 58 SPACES |
| TOTAL H.C. VAN SPACES REQ'D: | 7 SPACES |
| TOTAL H.C. SPACES PROVIDED: | 58 SPACES |
| TOTAL H.C. VAN SPACES PROVIDED: | 7 SPACES |

GENERAL NOTES

SIGNAGE:
ALL BUILDING MOUNTED SIGNS SHALL BE INTERNALLY, INDIVIDUALLY LIT LETTERS 5'-0" HIGH MAXIMUM @ ANCHORS AND 3'-0" HIGH @ SHOP AND PAD BUILDINGS, SEE PAD BLDG. DESIGN GUIDELINES BELOW FOR OTHER NOTES.

REUSE:
10 DUMPSTERS @ 8 CUBIC YDS. & 3 COMPACTORS

SITE LIGHTING:
THE PARKING LOT WILL BE ILLUMINATED W/ MAX. 55' HIGH LIGHT POLE MOUNT FIXTURES W/ Baffles TO PREVENT THE EXPOSURE OF DIRECT LIGHT TO SURROUNDING AREAS. THE SECURITY LIGHTING WILL NOT EXTEND BEYOND PROPERTY LINES. WALL PACKS WILL BE LOCATED ALONG THE BACKS OF STORES.

ACCESS/EASEMENTS:
CROSS LOT ACCESS & PARKING EASEMENTS ARE TO BE PROVIDED ON ALL COMMERCIAL TRACTS BY REPLAT (IN EVENT OF PAD PARCEL SALES)
FOR PEDESTRIAN CIRCULATION THERE WILL BE A CONTINUOUS SIDEWALK ALONG THE R-LINE RETAIL STORES. NORTHSOUTH PEDESTRIAN PATHS WILL BE CONCRETE W/ SPECIAL PAVING @ DRIVE CROSSINGS.

DESIGN GUIDELINES FOR ALL BLDGS.:
ALL BLDGS. SHALL BE CONSISTENT W/ ARCHITECTURAL MATERIALS, COLORS, & DETAILS LOCATED ON THESE ELEVATIONS (INCLUDING METAL ROOFS, SYNTHETIC PLASTER, CERAMIC ACCENT TILE SPLIT-FACE CAULET...) DESIGN GUIDELINES FOR PAD BLDGS.
PAD BLDGS. ALONG CUTLER AVE. & SAN MATEO SHALL MAINTAIN A 20' SETBACK FROM THE PROPERTY LINE. ACTUAL BLDG. CONFIGURATION & SITING MAY VARY FROM CONCEPTUAL LOCATIONS.
PAD BLDGS. ARE PERMITTED TO HAVE MONUMENT-STYLE SIGNAGE ON THE STREET SIDE OF THEIR BLDG. @ A MAX. HT. OF 3'-0" PROVIDED HOWEVER, THAT IF SUBSTANTIALLY REPETITIVE W/ BLDG. MOUNTED SIGNAGE, THE PAD BLDG. MUST CHOOSE EITHER BLDG. MOUNTED SIGNAGE OR MONUMENT SIGNAGE, BUT NOT BOTH, TO BE READ FROM CUTLER OR SAN MATEO MONUMENT SIGNAGE NOT TO EXCEED 50'
PAD BLDGS. SHALL NOT EXCEED 26'-0" IN HEIGHT AND WILL VARY DEPENDING ON USER'S REQUIREMENTS.

PHASING:
IT IS THE INTENT OF THE DEVELOPER TO BUILD OUT THIS PROJECT IN PHASES AS SHOWN ABOVE. PAD BUILDINGS SHALL BE PERMITTED AND CONSTRUCTED INDEPENDENT OF THE PHASING SEQUENCE. THE PHASING SEQUENCE SHALL BE AS FOLLOWS.

PHASE 1:
RETAIL A/B BUILDING COMPLETE WITH ALL CURBS, PAVING, PARKING, STRIPING, LIGHTPOLES AND LANDSCAPING WITHIN THE PHASE 1 AREA.

PHASE 2:
RETAIL B/C/D BLDGS. COMPLETE WITH ALL CURBS, PAVING, PARKING, STRIPING, LIGHTPOLES AND LANDSCAPING WITHIN THE PHASE 2 AREA.

PHASE 3:
ANY INDIVIDUAL PAD BUILDING COMPLETE WITH ALL CURBS, PAVING, PARKING, STRIPING, LIGHTPOLES AND LANDSCAPING WITHIN THE PHASE 3 AREA.

DRAINAGE PLAN
The drainage and grading concepts for this amended site development plan substantially conform to the concepts approved under the original site development plan submitted. Prior to permanent Certificate of Occupancy approval, drainage plans in City files will be updated with this amended site plan information. Since work in the field is ongoing at this time, the site contractor shall be notified immediately of all changes affecting grading and drainage.

The Pavilions at San Mateo

SITE PLAN / SITE DETAILS

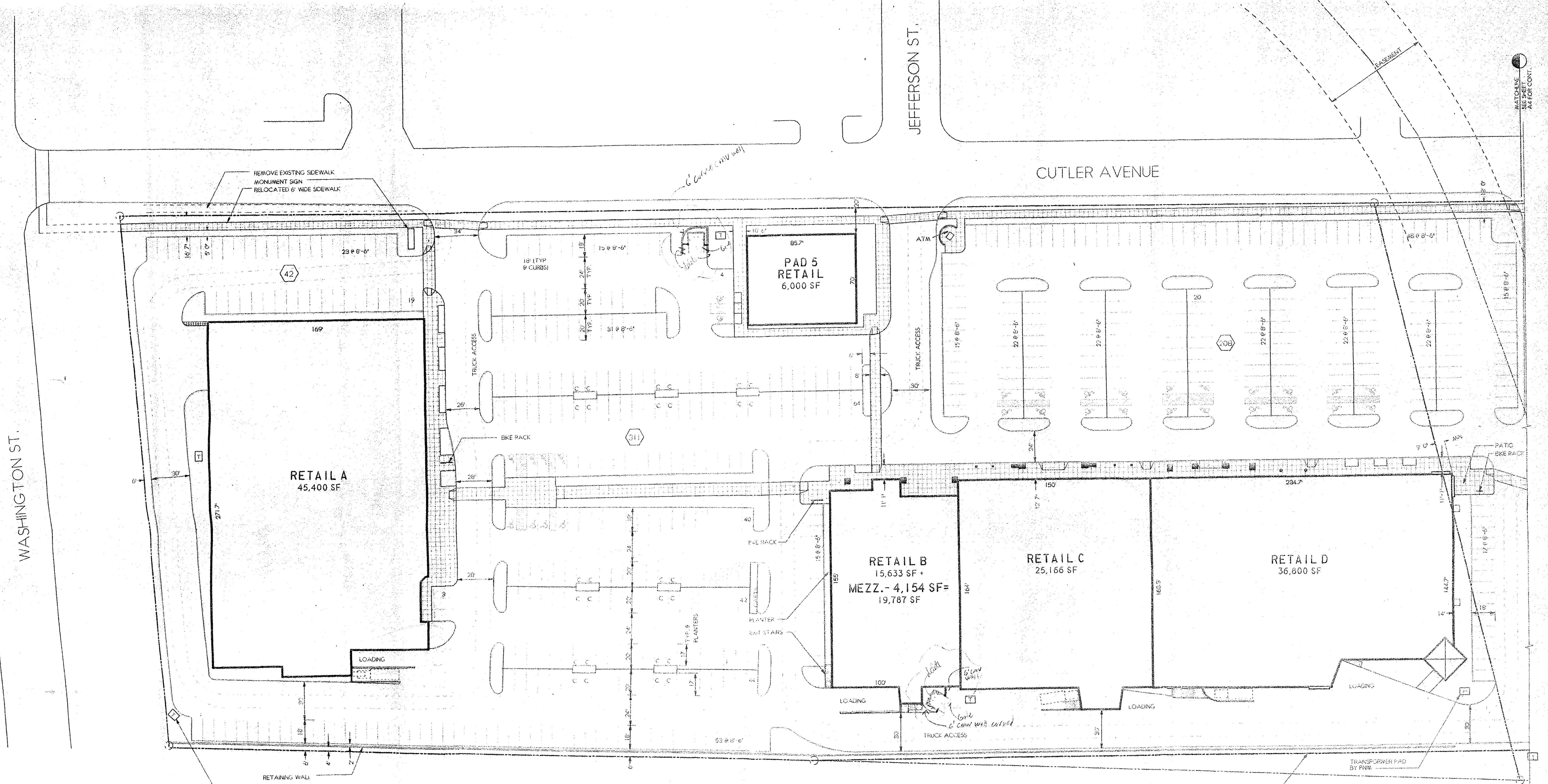
GREENBERG FARROW ARCHITECTURE
ARCHITECTURE • ENGINEERING • PLANNING
15101 RED HILL AVENUE, SUITE 200
TUSTIN, CALIFORNIA 92680
TEL: (714) 269-0500 FAX: (714) 269-5438

DCSW
DESIGN COLLABORATIVE
SOUTHWEST INC.
105 4TH ST. SW
ALBUQUERQUE, NM
87102
505-845-9639

KITCHELL DEVELOPMENT

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G.F.A. JOB NO: 950831
DATE: 08/31/10



WASHINGTON ST.

JEFFERSON ST.

CUTLER AVENUE

RETAIL A
45,400 SF

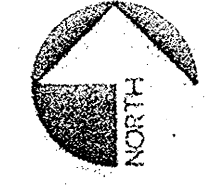
PAD 5
RETAIL
6,000 SF

RETAIL B
15,633 SF +
MEZZ. - 4,154 SF =
19,787 SF

RETAIL C
25,166 SF

RETAIL D
36,800 SF

1 SITE PLAN
A3 SCALE 1"=30'

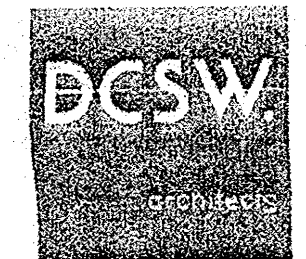


The Pavilions
at San Mateo

1" = 30'-0"
WEST SITE PLAN

GREENBERG FARROW ARCHITECTURE
ARCHITECTURE • ENGINEERING • PLANNING
15131 RED HILL AVENUE SUITE 200
TUSTIN, CALIFORNIA 92680
TEL: (714)269-0509 FAX: (714)269-5486

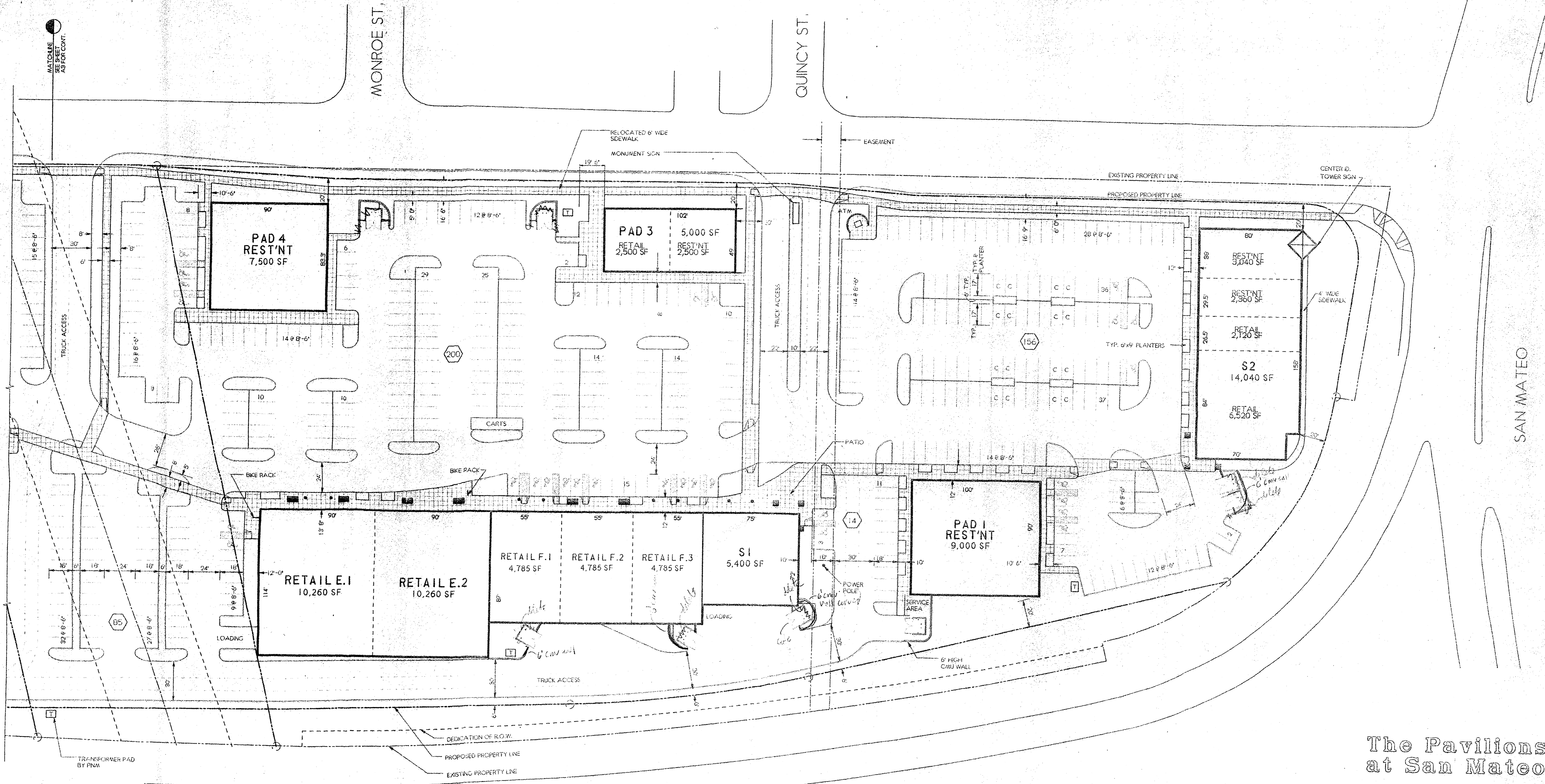
**KITCHELL
DEVELOPMENT**



DESIGN:
COLLABORATIVE:
SOUTHWEST INC.
125 4TH ST. SW
ALBUQUERQUE, NM
87102
505-243-3929

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G.F.A. JOB NO: 960391
DATE: 08.01.15



INTERSTATE 40

The Pavilions at San Mateo

1" = 30'-0"
EAST SITE PLAN

A4 SITE PLAN
SCALE: 1"=30'



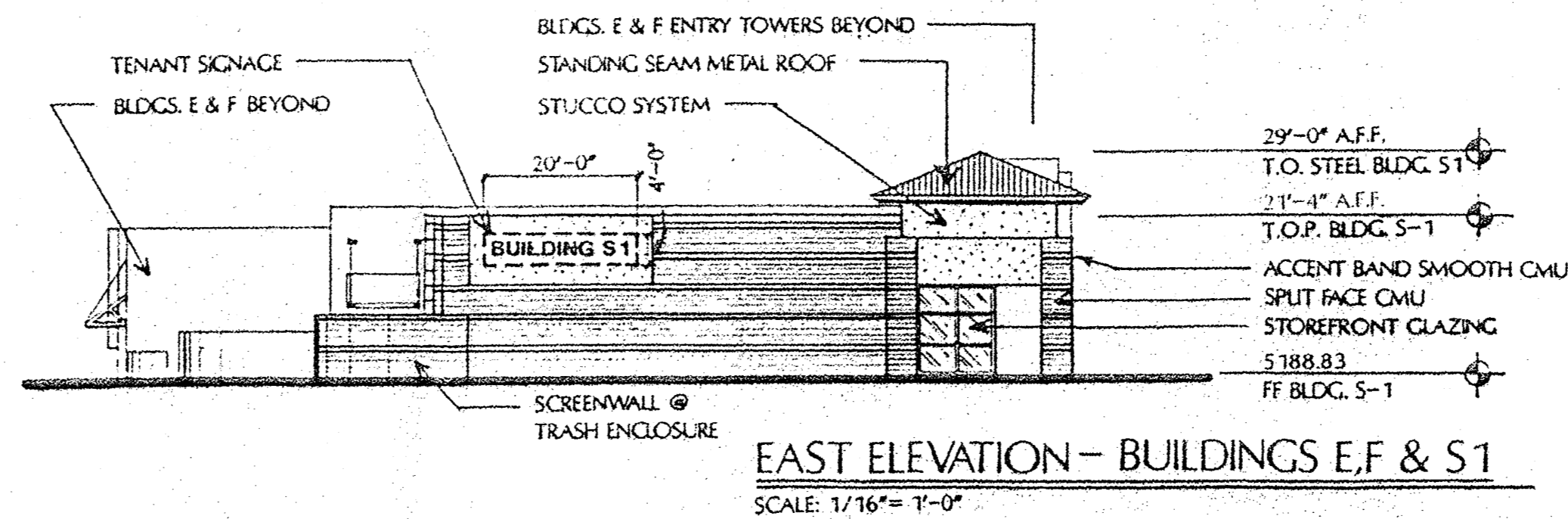
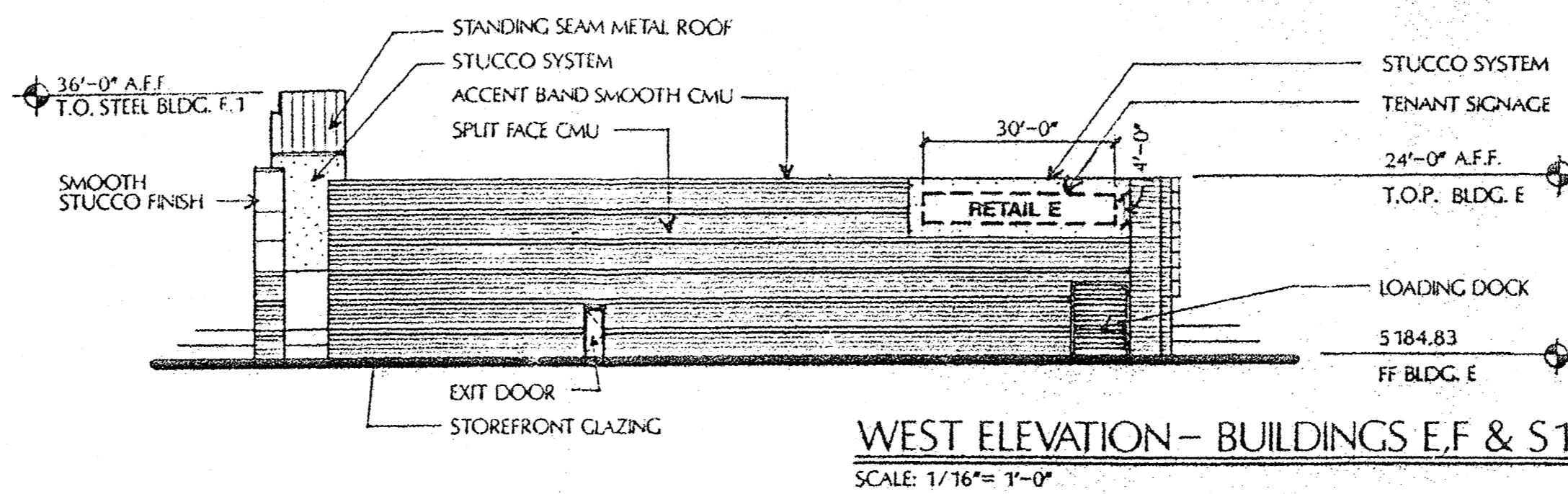
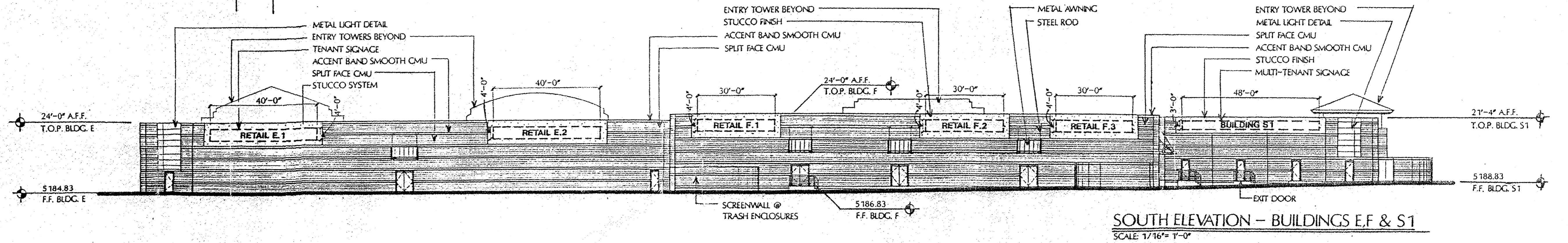
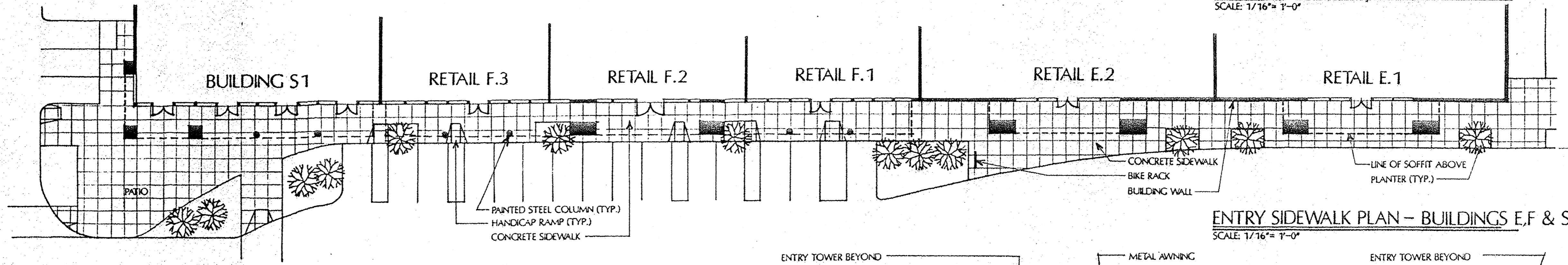
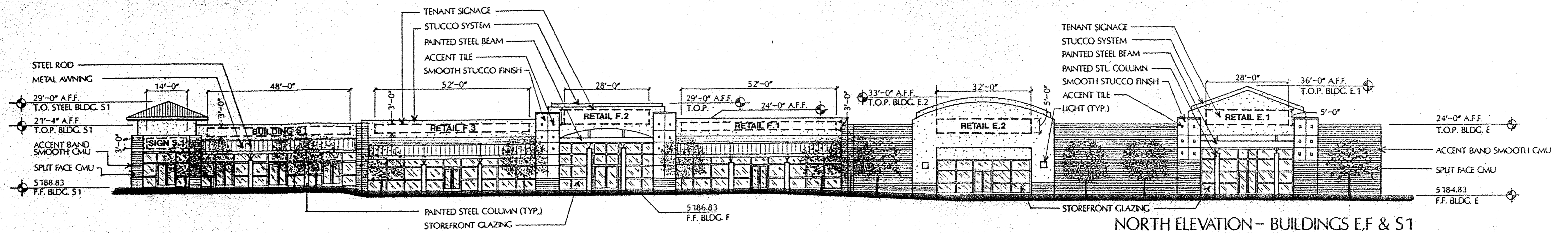
GREENBERG FARROW ARCHITECTURE
ARCHITECTURE • ENGINEERING • PLANNING
16101 RED HILL AVENUE, SUITE 200
TUSTIN, CALIFORNIA 92680
TEL: (714) 269-0600 FAX: (714) 269-6400

KITCHELL DEVELOPMENT

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DCSW
DESIGN COLLABORATIVE
SOUTHWEST INC.
103 4TH ST. SW
ALBUQUERQUE, N.M.
87102
505-849-9539

G.F.A. JOB NO: 960331
DATE: 08-07-06



The Pavilions at San Mateo

BUILDING ELEVATIONS

GREENBERG FARROW ARCHITECTURE
ARCHITECTURE • ENGINEERING • PLANNING
16181 RED HILL AVENUE, SUITE 200
TUSTIN, CALIFORNIA 92680
TEL: (714) 269-2630 FAX: (714) 269-5480

KITCHELL DEVELOPMENT

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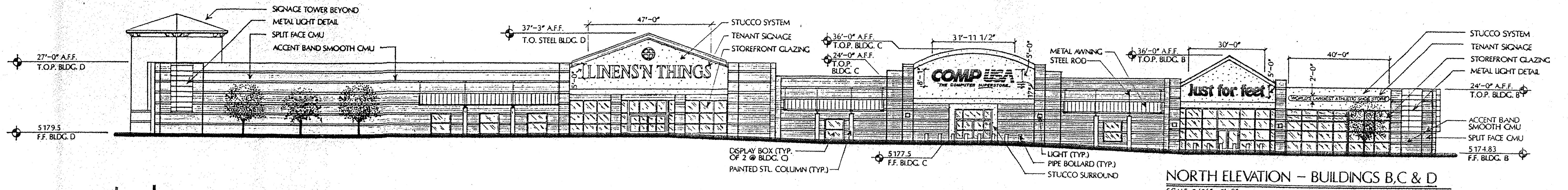
DCSW
ARCHITECTS

DESIGN
COLLABORATIVE
SOUTHWEST INC.
105 4TH ST. SW
ALBUQUERQUE, NM
87102
505-343-9599

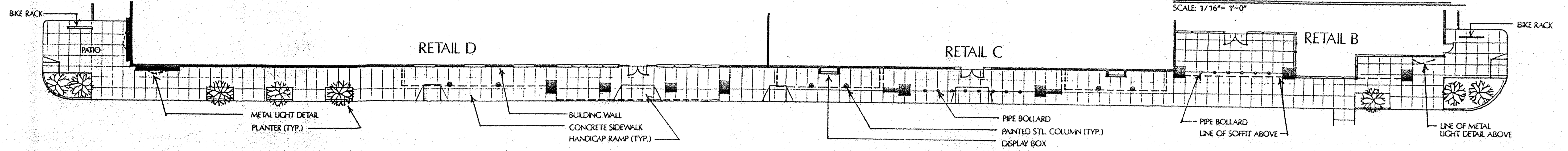
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DATE: 09-05-04

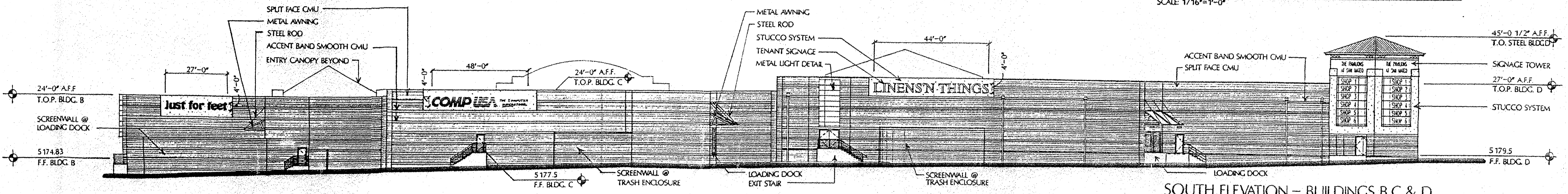
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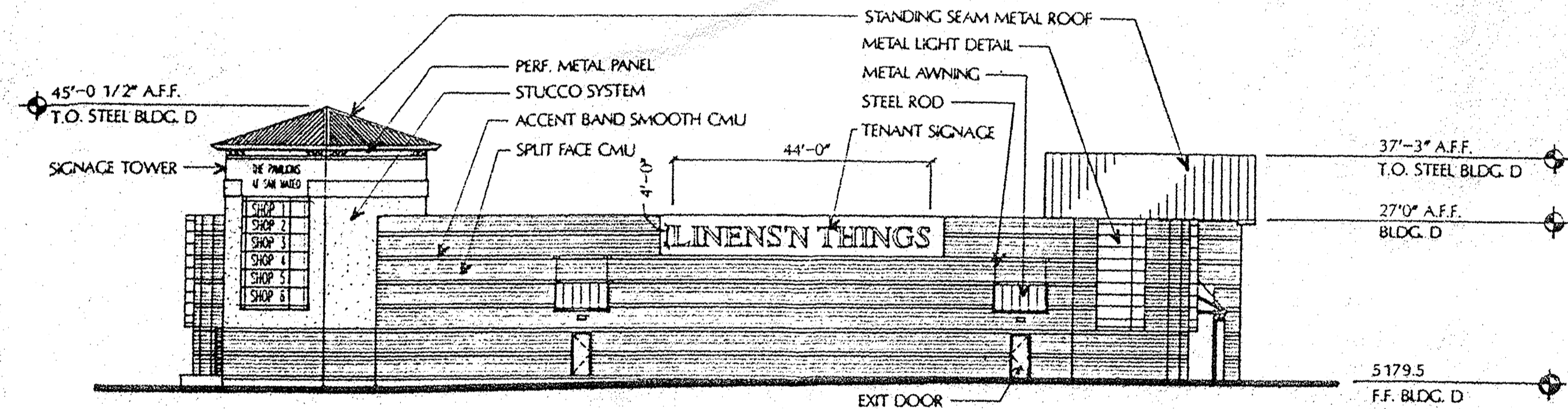
NORTH ELEVATION - BUILDINGS B, C & D
SCALE: 1/16" = 1'-0"



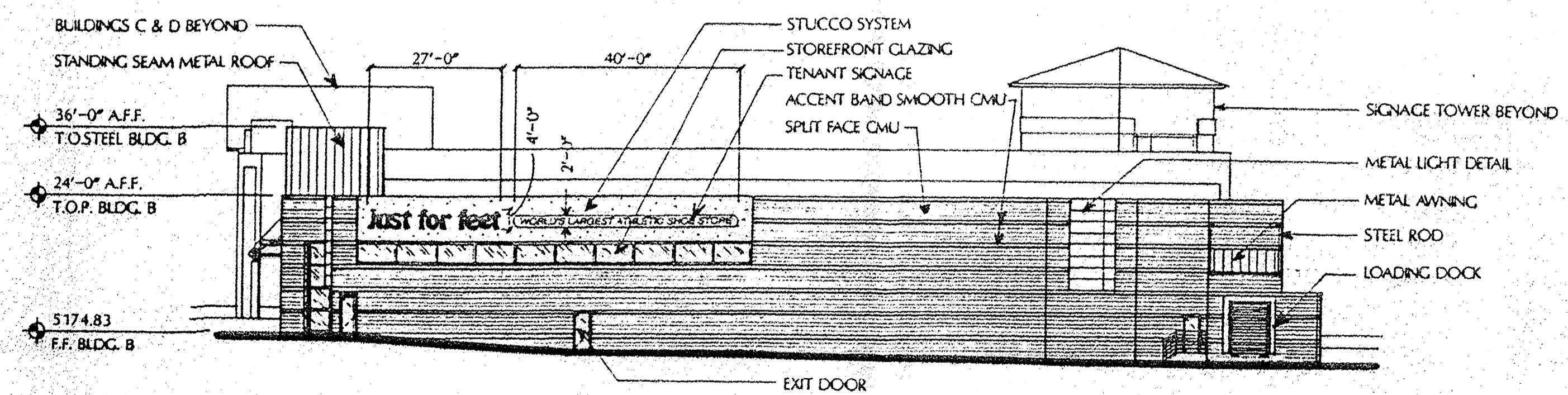
ENTRY SIDEWALK PLAN - BUILDINGS B, C & D
SCALE: 1/16" = 1'-0"



SOUTH ELEVATION - BUILDINGS B, C & D
SCALE: 1/16" = 1'-0"



EAST ELEVATION - BUILDINGS B, C & D
SCALE: 1/16" = 1'-0"



WEST ELEVATION - BUILDINGS B, C & D
SCALE: 1/16" = 1'-0"

The Pavilions at San Mateo

BUILDING ELEVATIONS

GREENBERG FARROW ARCHITECTURE
ARCHITECTURE • ENGINEERING • PLANNING
10181 RED HILL AVENUE, SUITE 200
TUSTIN, CALIFORNIA 92680
TEL: (714) 259-8600 FAX: (714) 259-5400



KITCHELL DEVELOPMENT



BCSW
ARCHITECTS

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DESIGN _____
COLLABORATIVE _____
SOUTH-WEST INC. _____
100 4TH ST. SW _____
ALEXANDRIA, VA _____
87102 _____
505-949-9659 _____
C.F.A. JOB NO: 960331
DATE: 08-09-96
SHEET: 1

SIGNAGE NOTE:

All building mounted signs shall be internally, individually lit letters, 5'-0" high maximum at anchors and 3'-0" high maximum at shop and pad buildings. Building mounted signage is limited to the square footage area shown in the elevations.

ELEVATION COLOR AND MATERIAL PALETTE:

CMU

- Split-face CMU field: A blend of 2 colors, (Crego) Burgundy with scoria and Crego Tan in a ratio of 3:2 or 2:3 between accent bands of CMU. The ratio will vary with building location.
- Smooth CMU accent: (Crego) Petroglyph black with scoria at 4'-0" O.C.
- Smooth CMU accent insets at building transitions and insets shall be the following colors:
(Crego) Burgundy with scoria, Crego Tan and (Crego) Petroglyph black with scoria.

STUCCO

Stucco colors shall be one of the following:

- | | |
|----------------------|----------------------|
| 1. Off White - Coral | 3. Blue Gray - Slate |
| 2. Off White - Rose | 4. Warm Gray - Ash |

TILE

Tile accents may be used at entry areas for an accent color. The color shall be similar to storefront colors.

METAL FINISHES

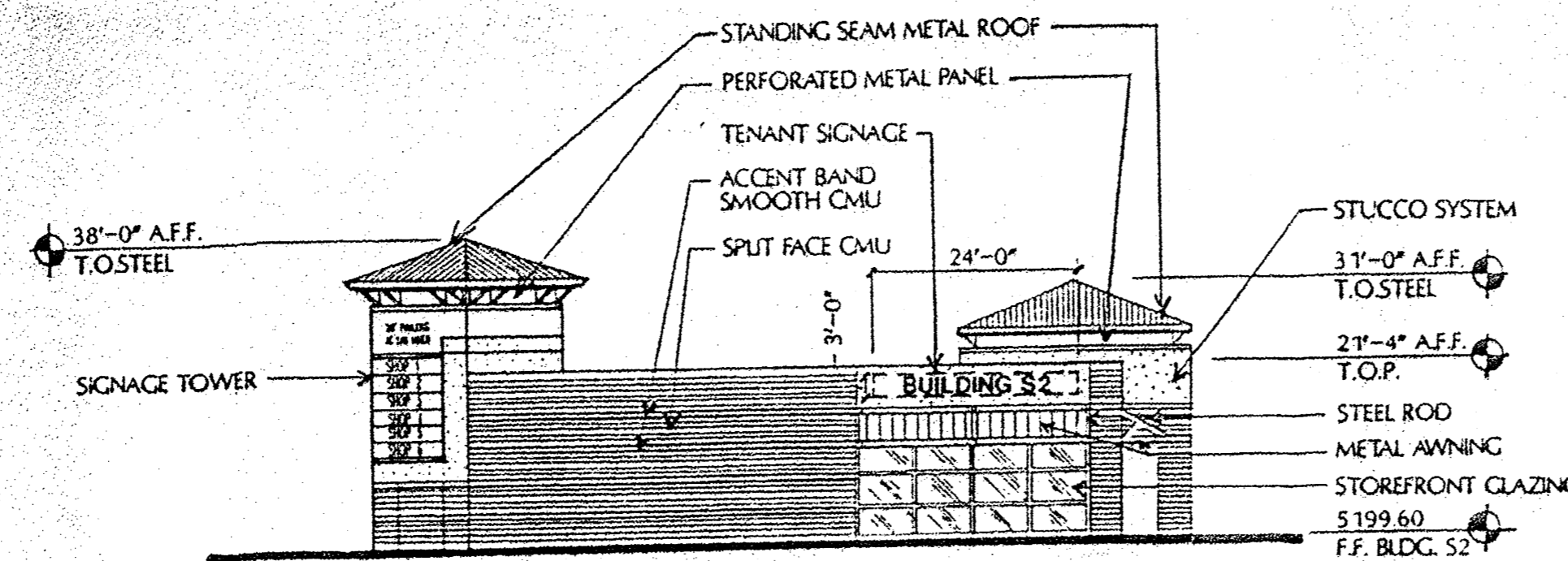
- Pitched roof - Galvanized metal
- Fascia - Galvanized metal
- Awnings - Galvanized metal
 - Canvas awnings shall be in the color range of storefront finishes.
 - No plastic awnings shall be allowed.
- Cable - Galvanized metal
- Brackets - Galvanized metal
- Storefront - Shall be one of the following Kawneer colors:
 - Sterling Gray
 - Arctic Blue
 - Tropical Jade
 - Red
 - Burgundy
- Metal column enclosures - Tropical Jade
- Column Capital - Sterling Gray and Arctic Blue
- Metal light panel - Tropical Jade

SIGNAGE

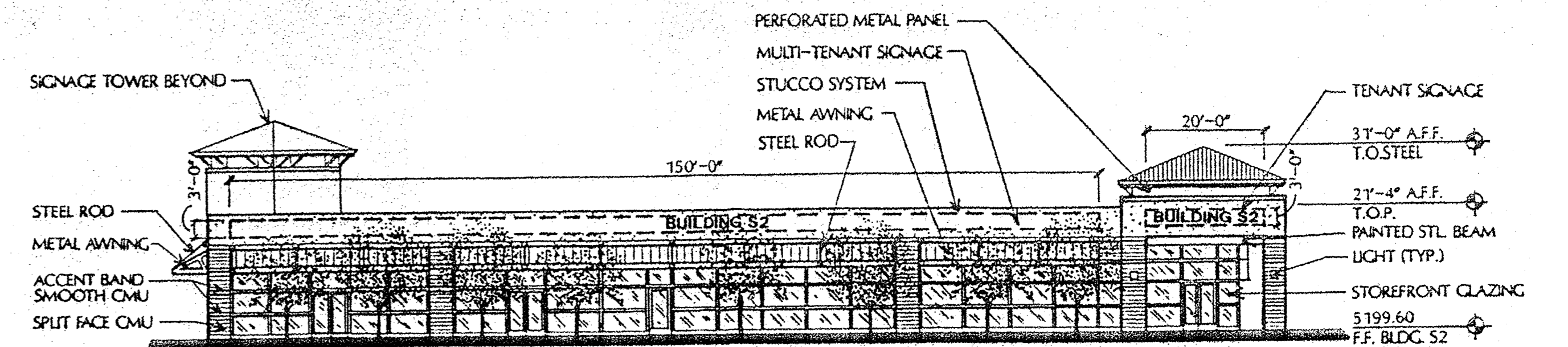
- Tenant signage individual letters shall match the color palette of metal finish colors: Sterling Gray, Arctic Blue.
- Center Identification Signage: Tropical Jade
 - Solid face back lit from metal face at monument signs.
 - Individually lit letters for building mounted signage.

PAD ARCHITECTURE

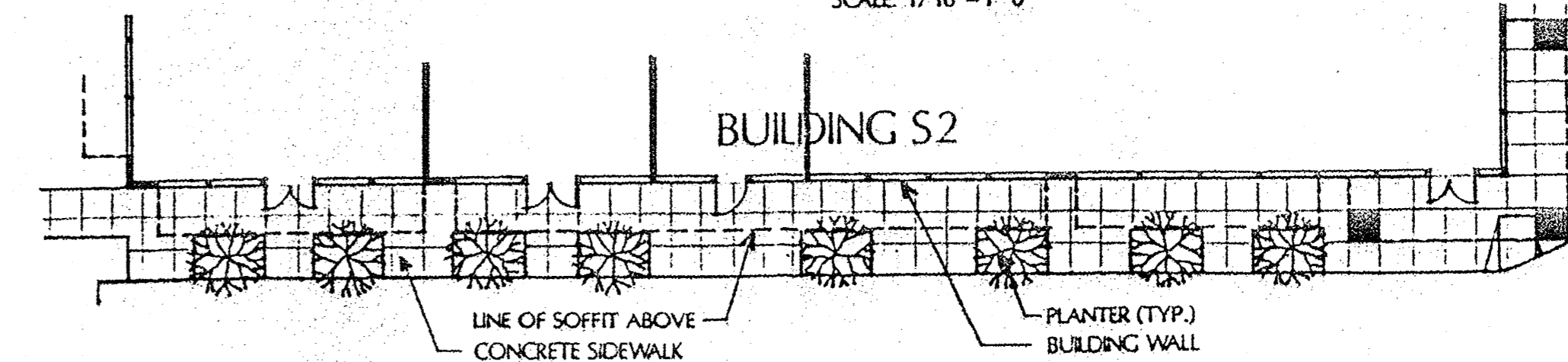
Structures will be designed to comply to the design standards of the center. Walls shall be of split face field CMU with an accent smooth band of CMU at a minimum of 4'-0" O.C. Pitched roof materials shall be standing seam to match the center. Building parapet heights shall not exceed 28'-0" A.F.F. Pitched roof may exceed 28'-0" A.F.F. Signage shall comply to the center standards. Mechanical equipment shall be screened. Dumpster enclosures shall match the center standard enclosure. The approval of the exterior elevations of these structures will be delegated to the City of Albuquerque Planning Staff.



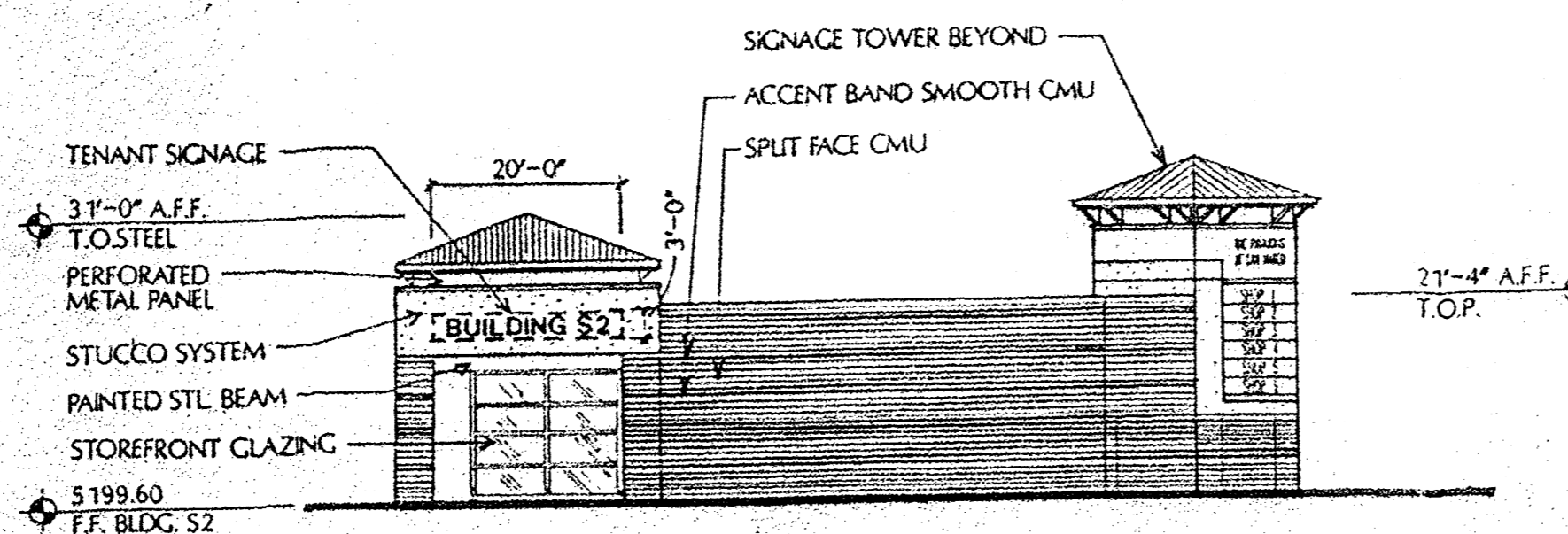
NORTH ELEVATION - BUILDING S2
SCALE: 1/16"=1'-0"



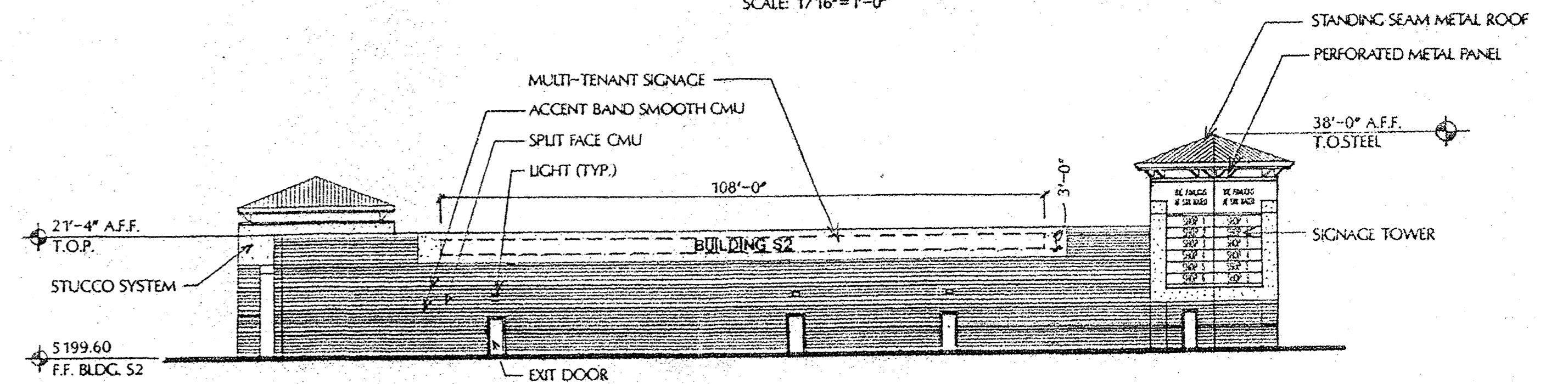
WEST ELEVATION - BUILDING S2
SCALE: 1/16"=1'-0"



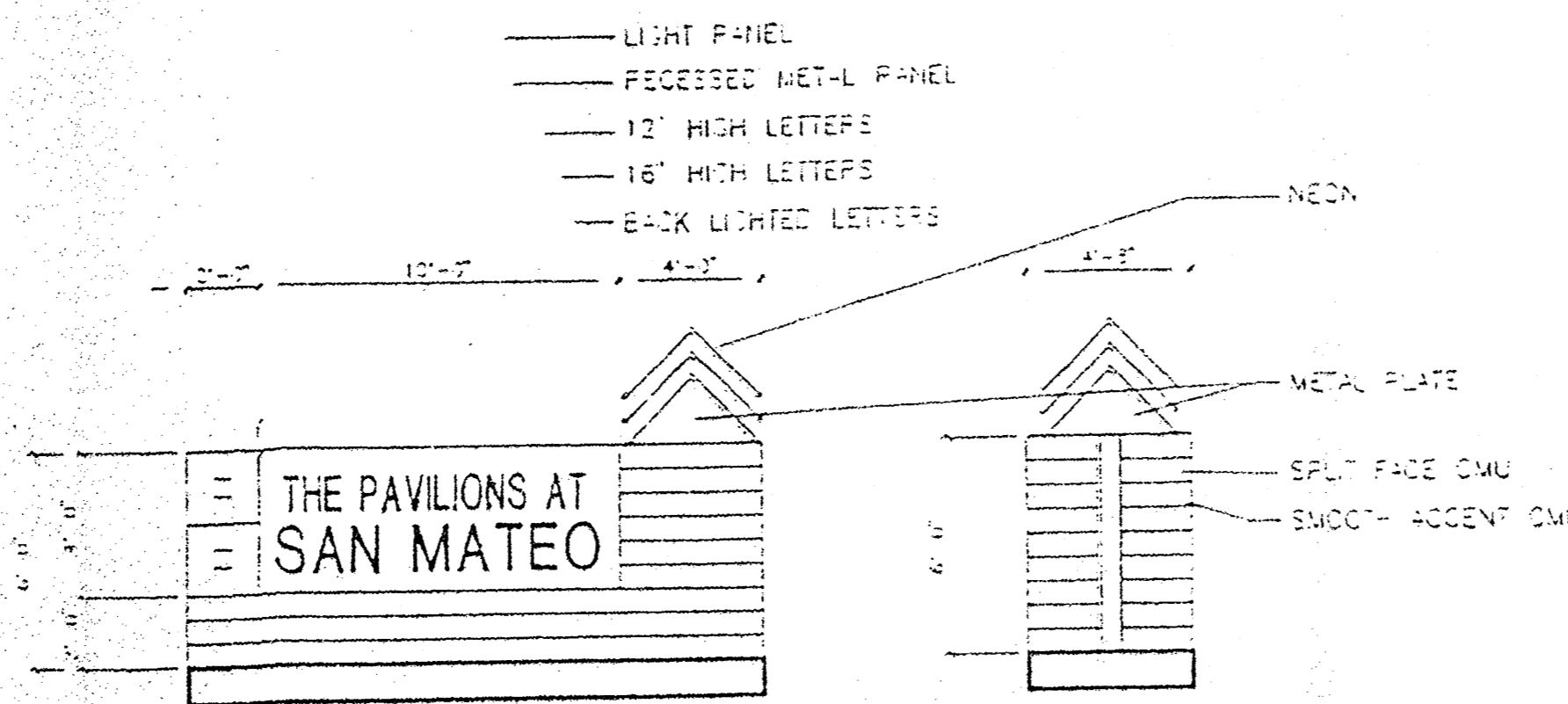
ENTRY SIDEWALK PLAN - BUILDING S2
SCALE: 1/16"=1'-0"



SOUTH ELEVATION - BUILDING S2
SCALE: 1/16"=1'-0"



EAST ELEVATION - BUILDING S2
SCALE: 1/16"=1'-0"



MONUMENT SIGN
SCALE: 1/4"=1'-0"

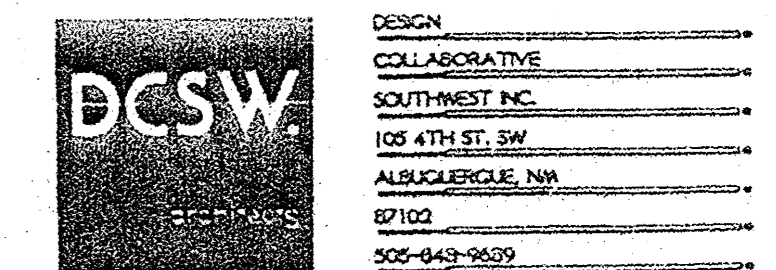
The Pavilions at San Mateo

BUILDING ELEVATIONS

GREENBERG FARROW ARCHITECTURE
ARCHITECTURE * ENGINEERING * PLANNING
16191 RED HILL AVENUE, SUITE 200
TUSTIN, CALIFORNIA 92680
TEL: (714) 254-8500 FAX: (714) 259-5488



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DESIGN
COLLABORATIVE
SOUTHWEST INC.
105 4TH ST. SW
ALBUQUERQUE, NM
87102
505-843-9600

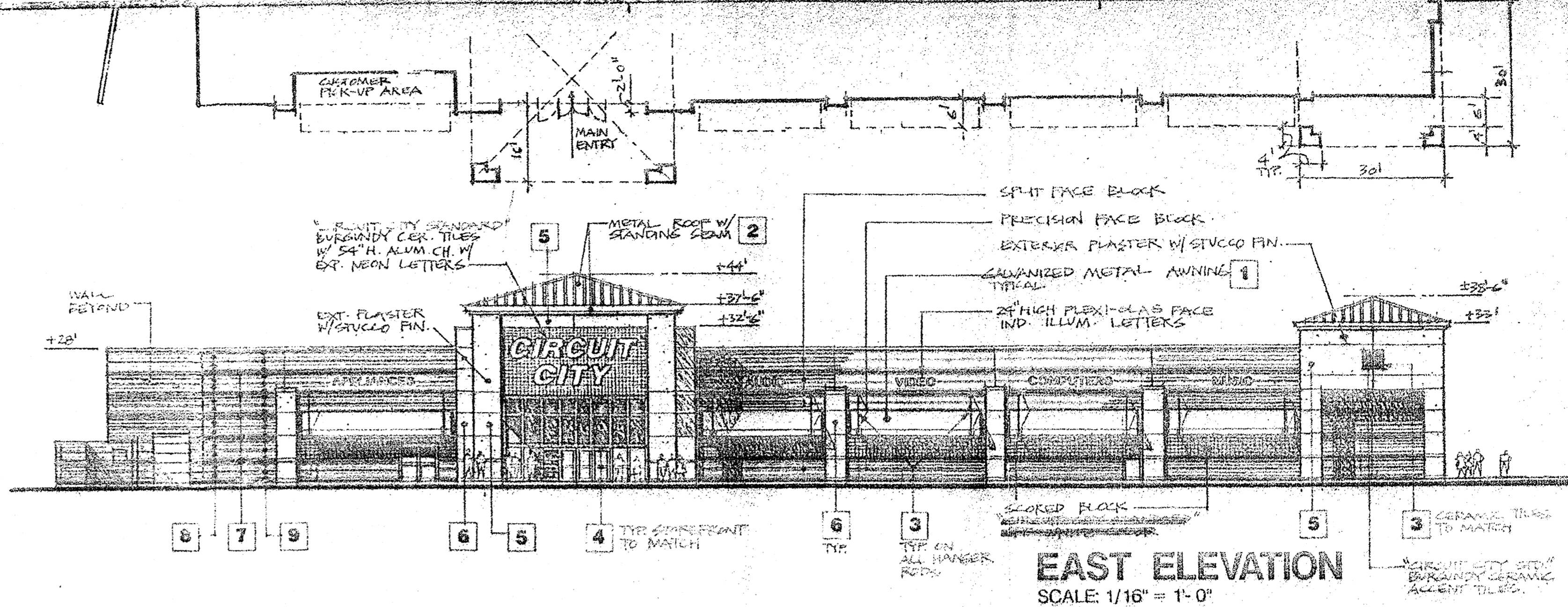
G.F.A. JOB NO: 960231
DATE: 08-08-96

ALL DRAWINGS AND WRITTEN MATERIAL PREPARING HEREIN CONSTITUTE THE DESIGN AND DEVELOPMENT WORK OF THE ARCHITECT AND SHALL NOT BE REPRODUCED, COPIED OR OTHERWISE USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

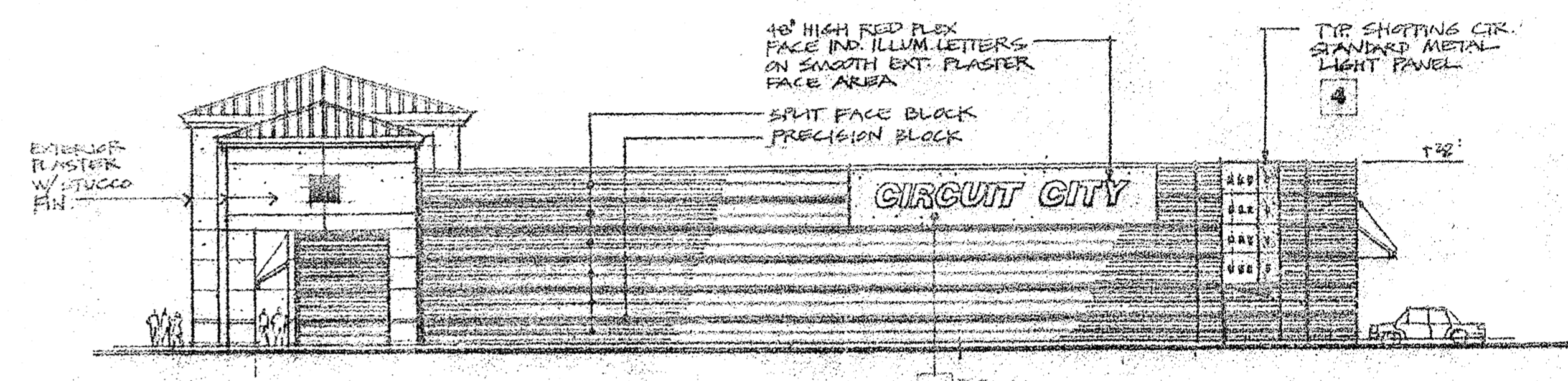
LEGEND:

- 1. GALVANIZED METAL
- 2. STERLING GRAY
- 3. ARCTIC BLUE
- 4. TROPICAL JADE
- 5. CORAL STUCCO FINISH
- 6. ROSE STUCCO FINISH
- 7. SMOOTH CHARCOAL CMU
- 8. LIGHT CANYON RED CMU
- 9. CANYON RED CMU

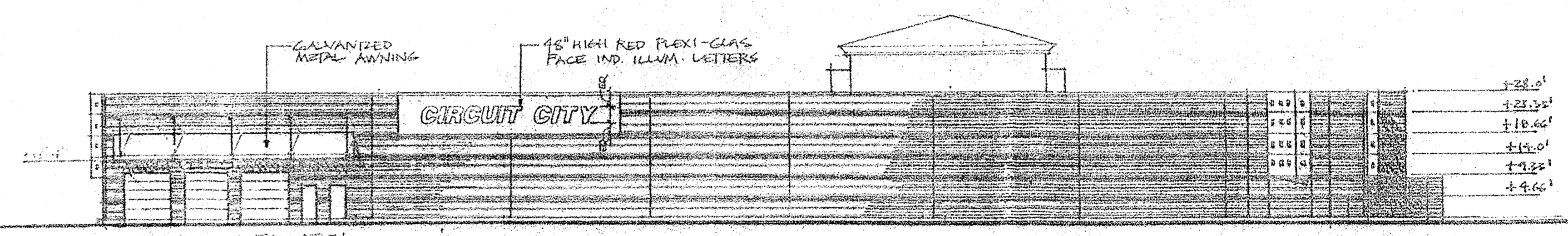
NOTE: ALL COLORS AND MATERIALS SHALL MATCH THE CORRESPONDING STANDARD SHOPPING CENTER COLORS AND MATERIALS.



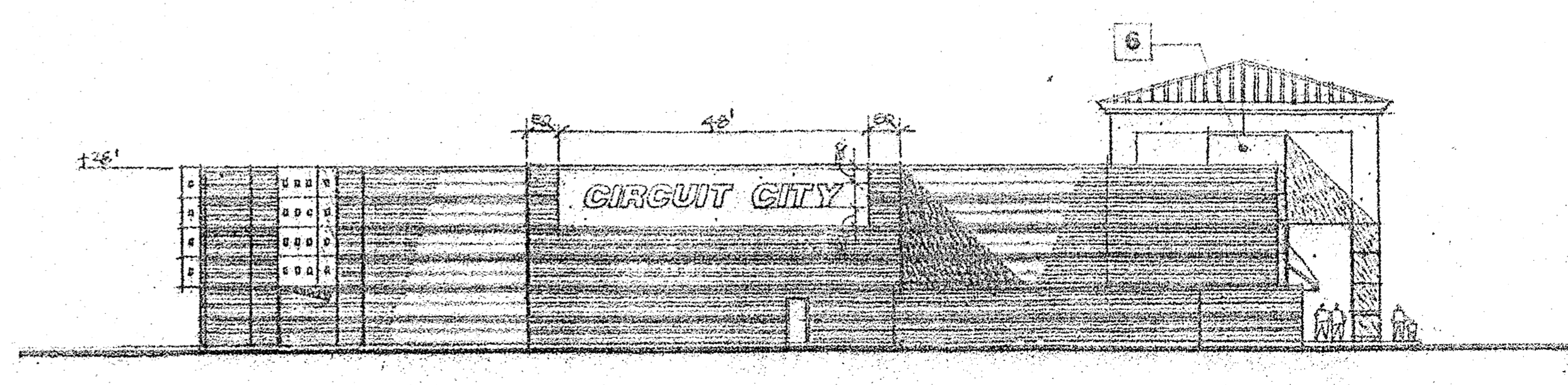
EAST ELEVATION
SCALE: 1/16" = 1'-0"



NORTH ELEVATION
SCALE: 1/16" = 1'-0"



WEST ELEVATION
SCALE: 1/16" = 1'-0"



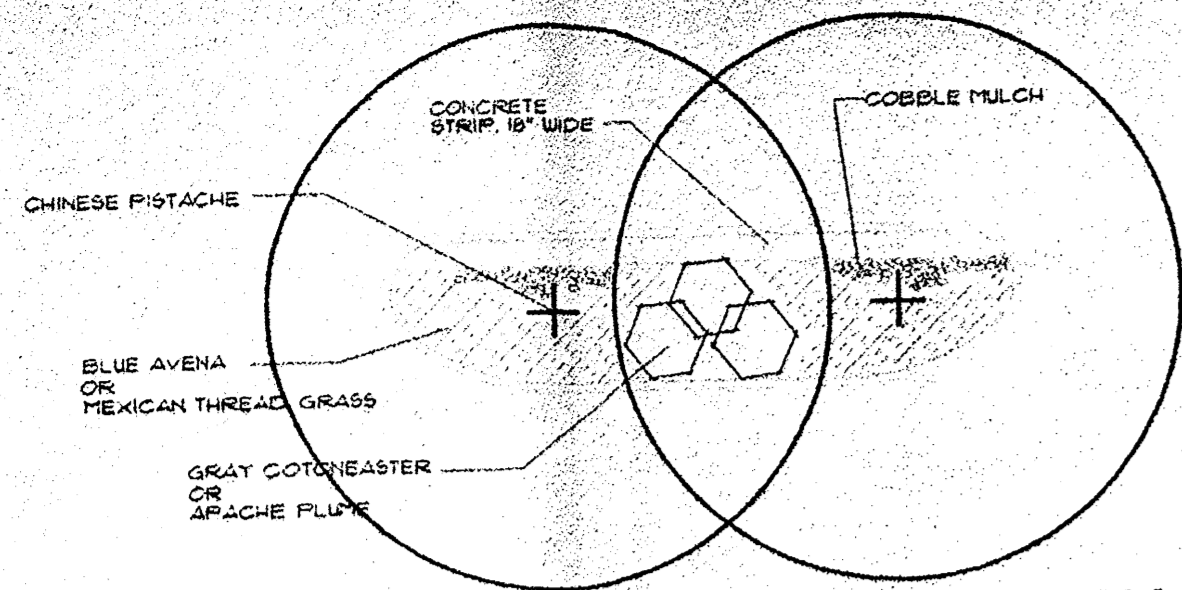
SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

Job No. 9508
 DESIGN: GFA
 ARCHITECT: LEIDENFROST, HOROWITZ & ASSOCIATES
 1833 Victory Boulevard
 Chendale, California 91201
 (918) 246-6050
 Date: 1-16-95
 Approval: [Signature]
 SPECIALS NO. [Blank]
 C447
 C478

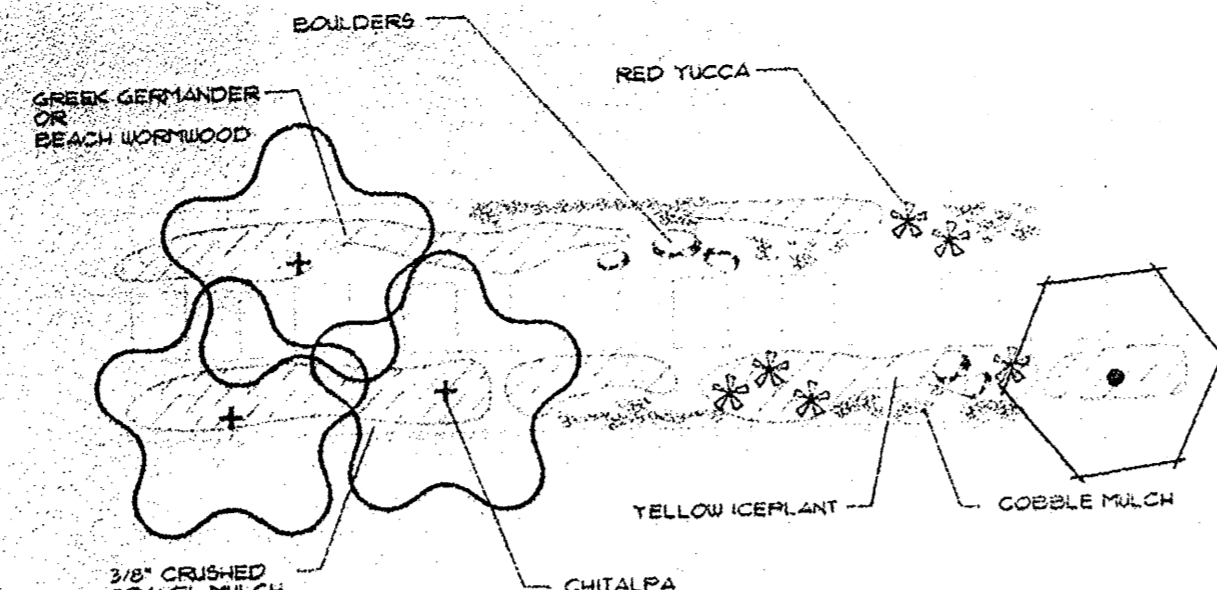
ELEVATIONS

CIRCUIT CITY STORE
 ALBUQUERQUE, NEW MEXICO
CIRCUIT CITY STORE, INC.
 9950 MAYLAND DR., RICHMOND, VA. 23233

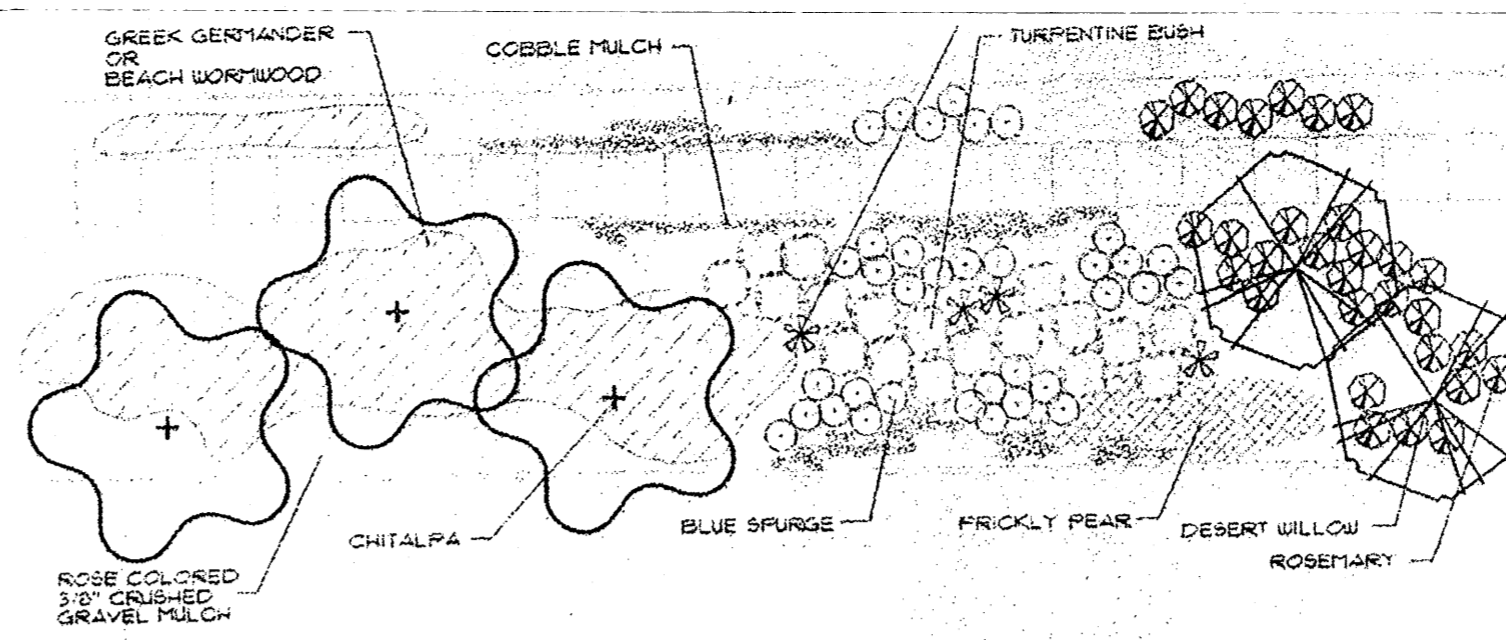
REV. A-B



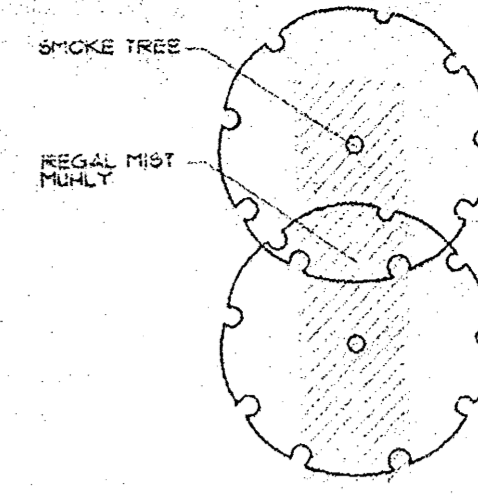
TYPICAL PARKING ISLANDS SHALL BE SHADED BY TWO CHINESE PISTACHE TREES. BELOW ISLANDS SHALL BE PLANTED WITH GRAY COTONEASTER IN THE CENTER, FLANKED BY MASSES OF ORNAMENTAL GRASS AND ROSE COLORED COBBLE MULCH. PLANTING BEDS WILL BE BUFFERED FROM ADJACENT FOOT TRAFFIC WITH AN 18" STRIP OF CONCRETE.



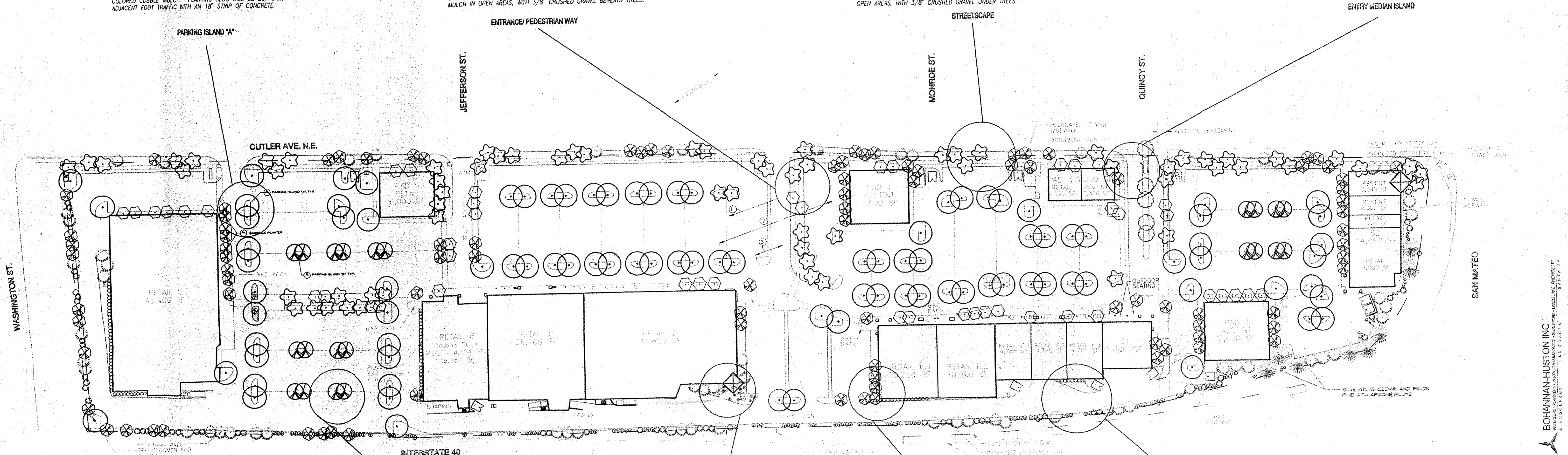
THE ENTRY AND PEDESTRIAN WAYS WILL BE PRIMARILY PLANTED WITH CHITALPA TREES, WITH ADDED THORNLESS HAWTHORN LINKING THE ROUTE VISUALLY WITH THE PEDESTRIAN CORRIDOR ON THE NORTH SIDE OF THE BUILDINGS. BENEATH THE CHITALPA WILL BE PLANTED EITHER BEACH WORMWOOD OR GREEK GERMANDER, WITH COLOR ADDED IN SUNNY OPEN AREAS AT THE ENTRANCES WITH RED YUCCA UNDERPLANTED WITH YELLOW ICEPLANT. ROSE COLORED COBBLE WILL BE USED FOR MULCH IN OPEN AREAS, WITH 3/8" CRUSHED GRAVEL BENEATH TREES.



THE CUTLER AVENUE STREETSCAPE WILL BE PLANTED WITH PRIMARILY CHITALPA, PINON PINE AND DESERT WILLOW TREES. DESERT WILLOW AREAS WILL BE PLANTED BENEATH WITH ROSEMARY, SIMILARLY TO BUILDING PLANTING BEDS. CHITALPA AREAS WILL BE PLANTED WITH EITHER BEACH WORMWOOD OR GREEK GERMANDER WITH OPEN AREAS IN BETWEEN TREES PLANTED WITH TURPENTINE BUSH ACCENTED WITH RED YUCCA AND PRICKLY PEAR. MULCH WILL BE ROSE COLORED COBBLE IN THE OPEN AREAS, WITH 3/8" CRUSHED GRAVEL UNDER TREES.



THE MEDIAN ISLAND AT THE QUINCY STREET ENTRANCE WILL BE HIGHLIGHTED WITH PURPLE SMOKE TREES, UNDERPLANTED WITH REGAL MIST ORNAMENTAL GRASS MULCHED WITH ROSE COLORED COBBLE.

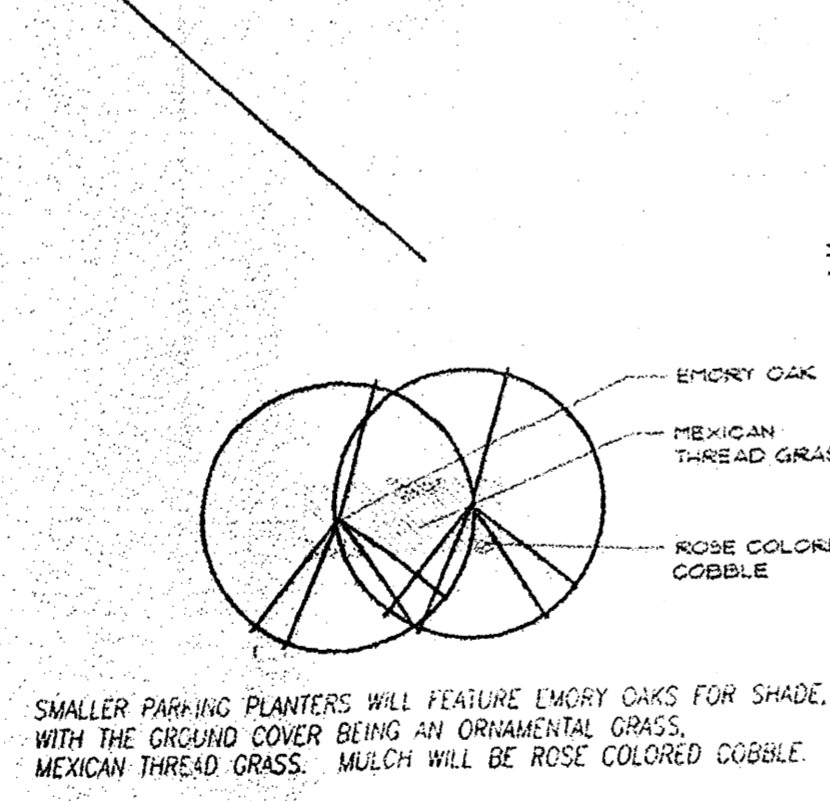


LANDSCAPE PLAN

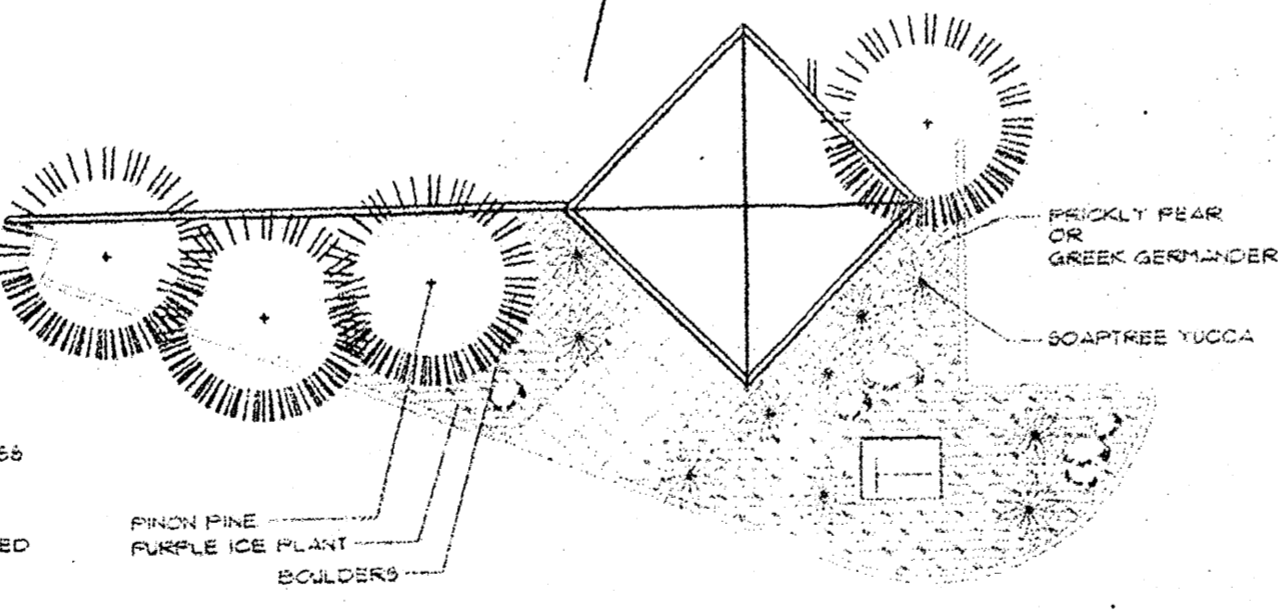
SCALE 1" = 60'

PLANT LEGEND

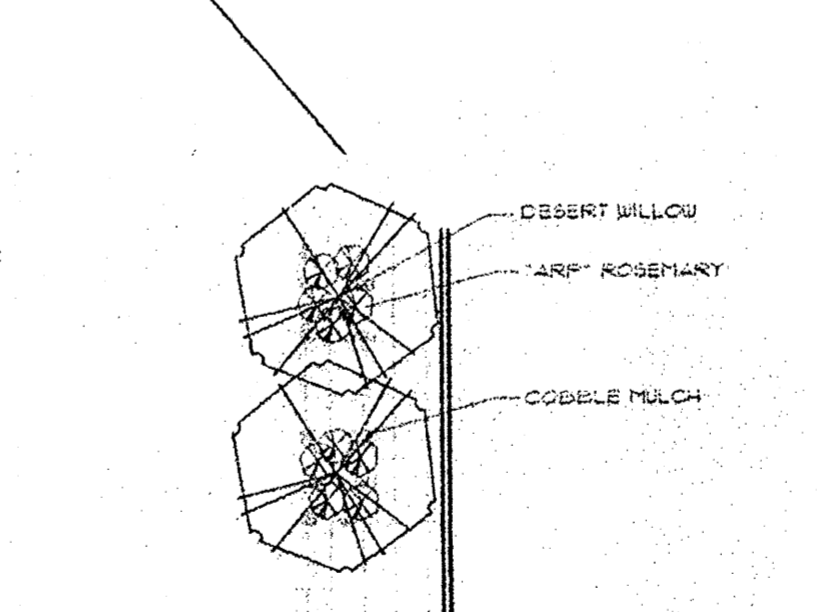
| BOTANICAL NAME | COMMON NAME | SIZE | NOTES/SPACING |
|-------------------------------------|---------------------------|---------------------|---------------|
| TREES | | | |
| <i>Pistacia chinensis</i> | CHINESE PISTACHE | 7" CAL. | |
| <i>Quercus linearis</i> | DESERT WILLOW | 7" CAL. | |
| <i>Quercus emoryi</i> | EMORY OAK | 2" CAL. | |
| <i>Chitalpa lasiocarpa</i> | CHITALPA | 2" CAL. | |
| <i>Cedrus atlantica</i> | BLUE ATLAS CEDAR | 20 GAL. | |
| <i>Cedrus libani</i> | CEDAR OF LEBANON | 20 GAL. | |
| <i>Pinus edulis</i> | PINON PINE | B & B 5'-7' HT. | |
| <i>Cotinus coggygria</i> | PURPLE SMOKE TREE | 20 GAL. | |
| <i>Catalpa bicuspidata</i> | THORNLESS HAWTHORN | 7" CAL. | |
| SHRUBS/VINES | | | |
| <i>Yucca elata</i> | SOAPTREE YUCCA | BARE ROOT 6'-8" HT. | |
| <i>Falugia paradoxa</i> | APACHE PLUME | 5 GAL. | |
| <i>Tetradium arcanum</i> | GREEK GERMANDER | 1 GAL. | 2' OC. |
| <i>Aristida stolonifera</i> | BEACH WORMWOOD | 1 GAL. | 2' OC. |
| <i>Rosmarinus officinalis "arp"</i> | "ARP" ROSEMARY | 5 GAL. | 3' OC. |
| <i>Hesperaloe parviflora</i> | RED YUCCA | 5 GAL. | |
| <i>Euphorbia myrsinites</i> | BLUE SPURGE | 1 GAL. | 2' OC. |
| <i>Cercocarpus rotundifolius</i> | GURLEAF MOUNTAIN MAHOGANY | 5 GAL. | |
| <i>Cotoneaster glaucocarpus</i> | GRAY COTONEASTER | 5 GAL. | |
| <i>Spartium junceum</i> | SPANISH BROOM | 5 GAL. | |
| <i>Opuntia sp.</i> | PRICKLY PEAR | 1 GAL. | 3'-4' OC. |
| <i>Ericameria laevis</i> | TURPENTINE BUSH | 5 GAL. | |
| <i>Vauquelinia californica</i> | ARIZONA ROSEWOOD | 5 GAL. | 6' OC. |
| <i>Parthenocissus quinquefolia</i> | WOODBINE | 1 GAL. | 2' OC. |
| GROUND COVERS/GRASSES | | | |
| <i>Dactyloctenium aegyptium</i> | PURPLE ICEPLANT | 1 GAL. | 12" OC. |
| <i>Dactyloctenium aegyptium</i> | YELLOW ICEPLANT | 1 GAL. | 12" OC. |
| <i>Helictotrichon sempervirens</i> | BLUE AVENS | 1 GAL. | 2' OC. |
| <i>Stipa sp.</i> | MEXICAN THREAD GRASS | 1 GAL. | 2' OC. |
| | | 1 GAL. | 3' OC. |



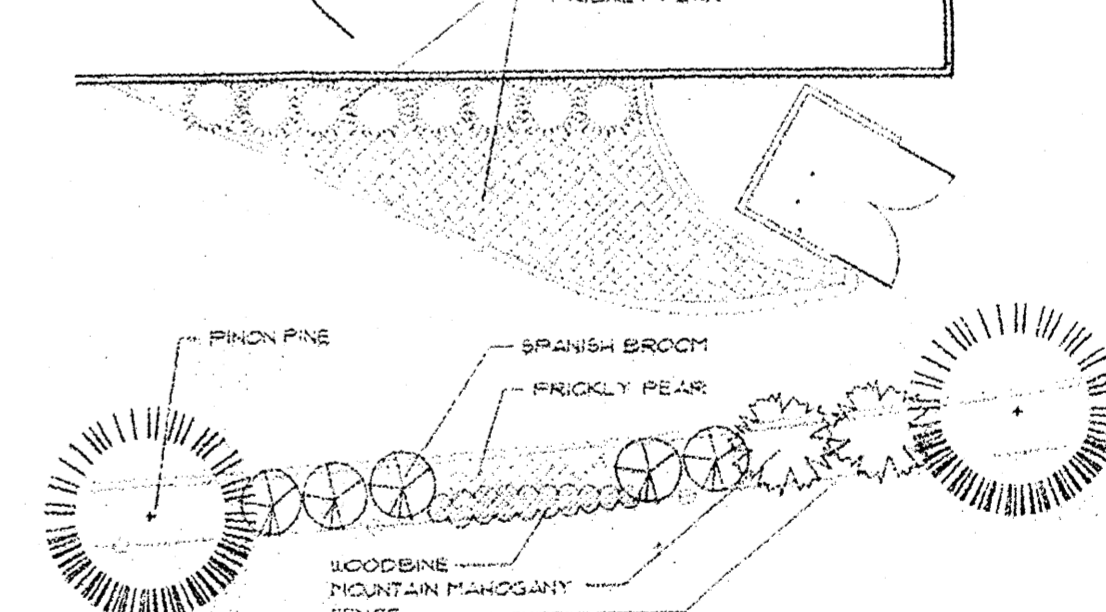
SMALLER PARKING PLANTERS WILL FEATURE EMORY OAKS FOR SHADE, WITH THE GROUND COVER BEING AN ORNAMENTAL GRASS. MULCH WILL BE ROSE COLORED COBBLE.



THE SOUTHSIDE OF BUILDING D WILL FEATURE PLANTING BEDS WITH SOAPTREE YUCCA, UNDERPLANTED WITH PURPLE ICEPLANT AND ACCENTED WITH BOULDERS.



BUILDING PLANTERS WITH AN EAST, SOUTH OR WEST SIDE EXPOSURE WILL BE PLANTED WITH DESERT WILLOW, WITH ROSEMARY SHRUBS AND ROSE COLORED COBBLE MULCH. BUILDING PLANTERS WITH A NORTHERN EXPOSURE WILL BE PLANTED WITH THORNLESS HAWTHORN WITH BEACH WORMWOOD AND ROSE COLORED COBBLE MULCH.



SOUTHERN BUILDING LEADING BLOCKS WILL BE SCREENED WITH EVERGREEN PLANTINGS WITHIN THE VIEW CORRIDORS FROM INTERSTATE 40. THESE SPECIES WILL INCLUDE PINON PINE, MOUNTAIN MAHOGANY, SPANISH BROOM, PRICKLY PEAR AND WOODBINE CLIMBING THE PERIMETER FENCE. ADJACENT TO THE BUILDINGS, PLANTERS WILL FEATURE DRAMATIC ARIZONA ROSEWOOD SHRUBS UP AGAINST THE WALLS WITH PRICKLY PEAR BELOW.

LANDSCAPE NOTES

- RESPONSIBILITY FOR LANDSCAPE MAINTENANCE ON THE SITE SHALL LIE WITH THE OWNER/DEVELOPER.
- AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM IS TO BE DESIGNED AND CONSTRUCTED FOR ALL INSTALLED PLANT MATERIALS. GRASS AREAS WILL BE SPRAY IRRIGATED. TREES WILL BE IRRIGATED WITH A LOW FLOW BUBBLER SYSTEM, AND SHRUBS AND GROUND COVERS WILL BE IRRIGATED WITH A DRIP EMITTER SYSTEM.
- TREES IN PARKING ISLANDS SHALL BE LOCATED AT THE CENTERMOST PORTION OF THE ISLAND, TYPICALLY.
- TREE LOCATIONS AS SHOWN ARE SCHEMATIC AND MAY VARY BASED ON SIGNAGE LOCATIONS AND OTHER SITE CONSTRAINTS. TREE LOCATIONS SHALL COMPLY WITH ALL JURISDICTIONAL ORDINANCES WHICH APPLY.

LANDSCAPE AREA

- TOTAL LAND AREA: 13,029 ACRES
- BUILDING AREA: 208,349 SF
- LANDSCAPE AREA REQUIRED: 102,833 SF (84%)
- LANDSCAPE AREA PROVIDED: []

EXISTING EASEMENTS

- EXISTING AMAFCA DRAINAGE EASEMENT NO. 3
- EXISTING NEW MEXICO DEPARTMENT OF TRANSPORTATION DRAINAGE RIGHT OF WAY
- FOUR (4) EXISTING 10' x 10' CONCRETE BOX CULVERTS

general notes
 contractor to coordinate architectural plans with structural, plumbing, mechanical and electrical plans for routing, setbacks, shafts, bracing for equipment, etc.
 if any conflicts in the construction documents arise, the contractor shall follow the specifications system over drawings.
 the contractor is to notify the architect immediately of any errors or omissions or conflicts in the construction documents.
 contractor to verify all dimensions prior to construction.
 contractor to verify all existing on site conditions prior to construction.

The Pavilions at San Mateo



revisions:
 design
 architect
 collaborative
 southwest inc.
 engineer
 105 4th st. sw
 albuquerque, nm

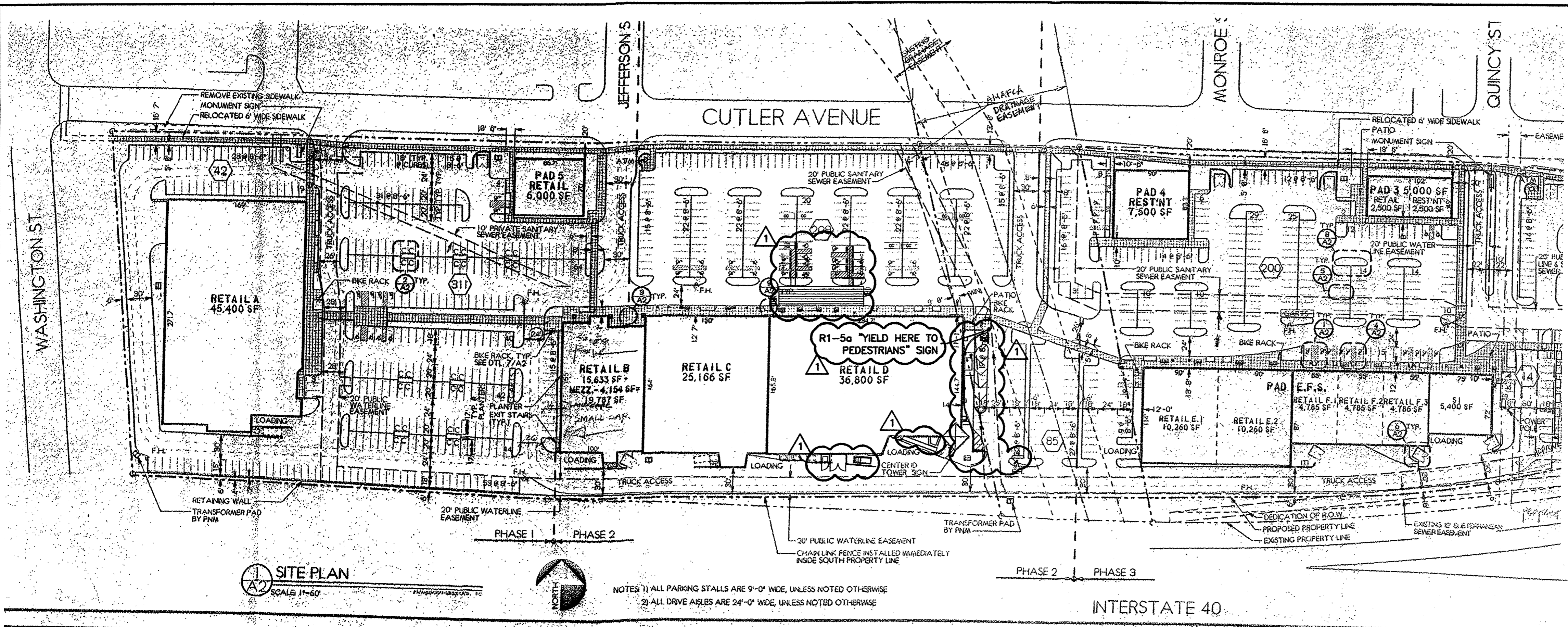
SEDBERRY and ASSOCIATES COMMERCIAL REAL ESTATE SERVICES
 ADDRESS: 6301 INDIAN SCHOOL RD., STE. 890
 ALBUQUERQUE, NM, 87110
 PHONE: (505)883-0339
 FAX: (505)883-0870

APPROVED FOR CONSTRUCTION

LARRY A. BLAIR
 EXECUTIVE ENGINEER

DATE
 job no: 9521
 date: 8/10/98

BOHANNAN-HUSTON INC. ARCHITECTS



PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

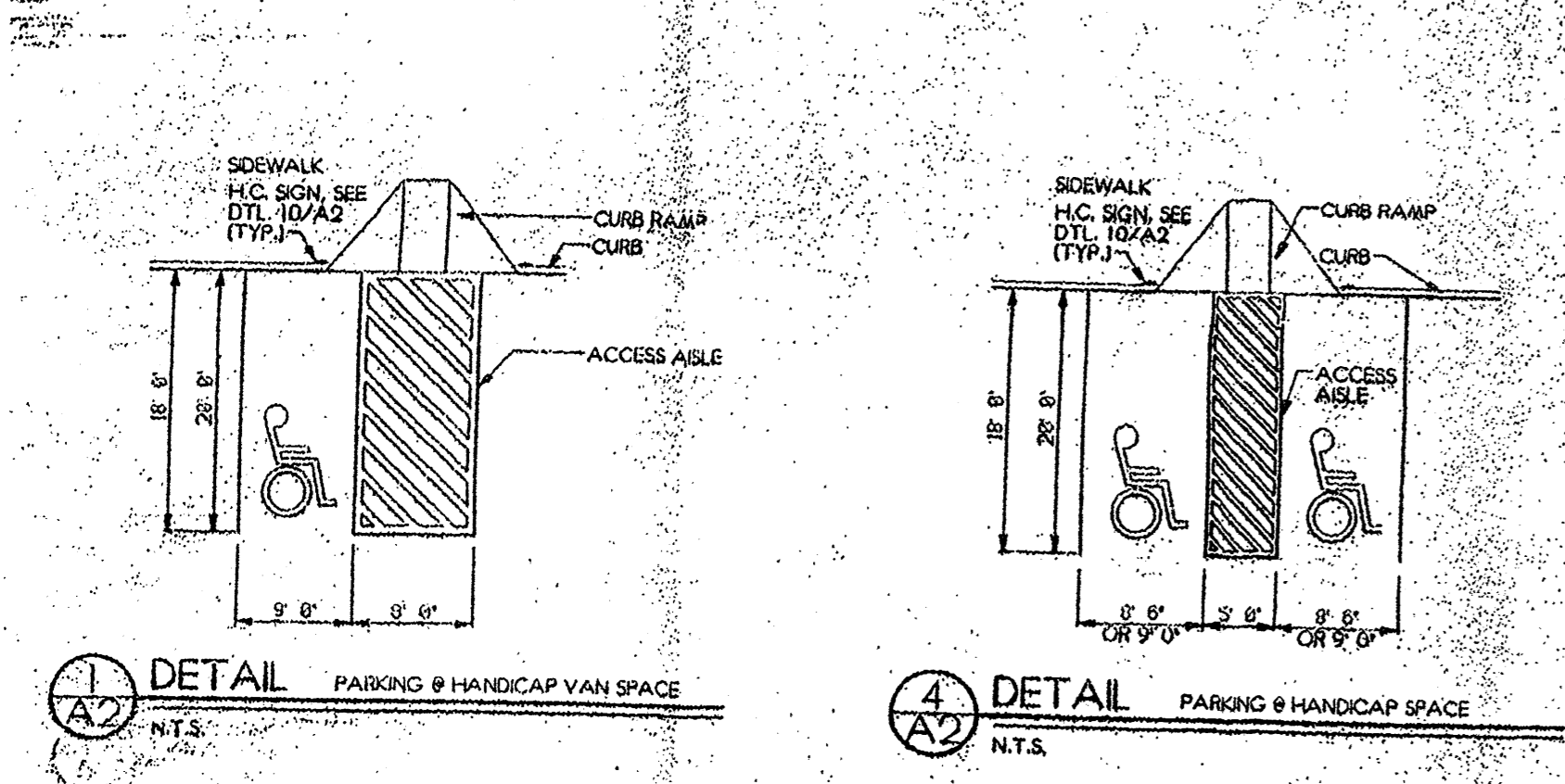
| | |
|---|------|
| Traffic Engineer, Transportation Division | Date |
| Water Utility Development | Date |
| Parks & Recreation Department | Date |
| City Engineer | Date |
| * Environmental Health Department (conditional) | Date |
| Solid Waste Management | Date |
| DRB Chairperson, Planning Department | Date |
| * Environmental Health, if necessary | Date |

SITE PLAN
SCALE 1"=60'

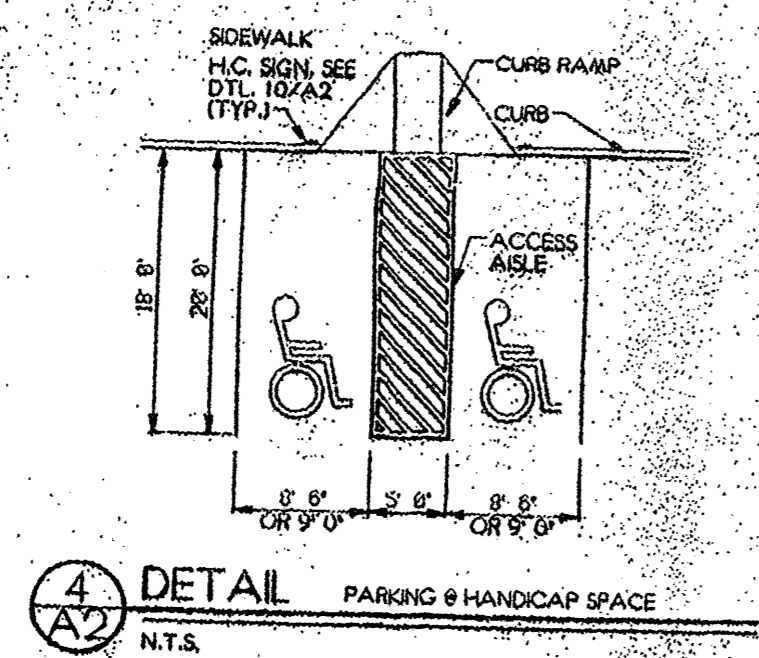
NOTES: 1) ALL PARKING STALLS ARE 9'-0" WIDE, UNLESS NOTED OTHERWISE
 2) ALL DRIVE ABLES ARE 24'-0" WIDE, UNLESS NOTED OTHERWISE

INTERSTATE 40

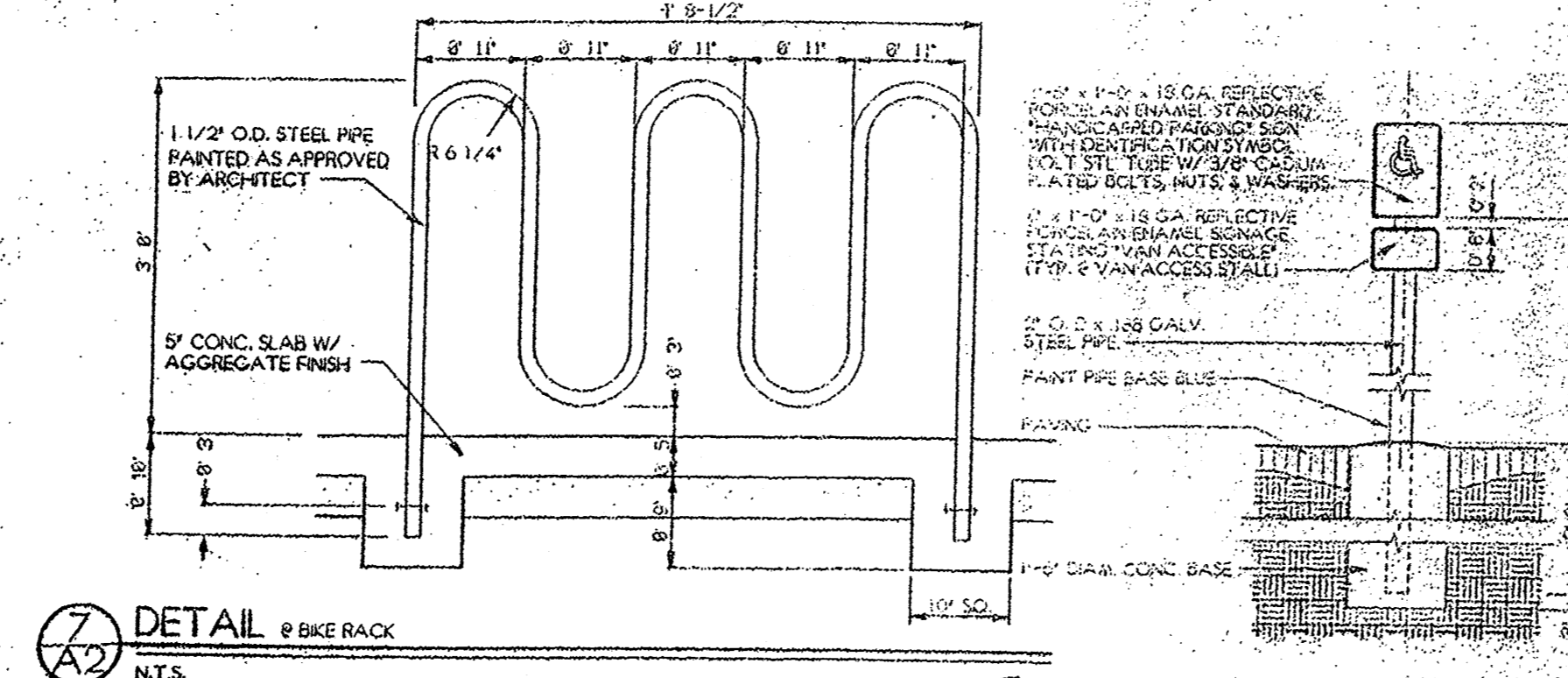
| | | |
|-----|---------|---|
| NO. | DATE | REVISIONS |
| 1 | 8/22/12 | REVISED ADA HANDICAP PARKING, ADDED DRIVE THRU PHARMACY, MOVED DUMPSTER RELOCATION SEE SHEET C3 |



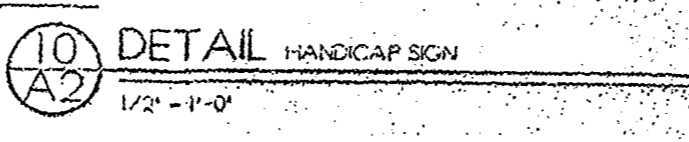
DETAIL 1 PARKING @ HANDICAP VAN SPACE
N.T.S.



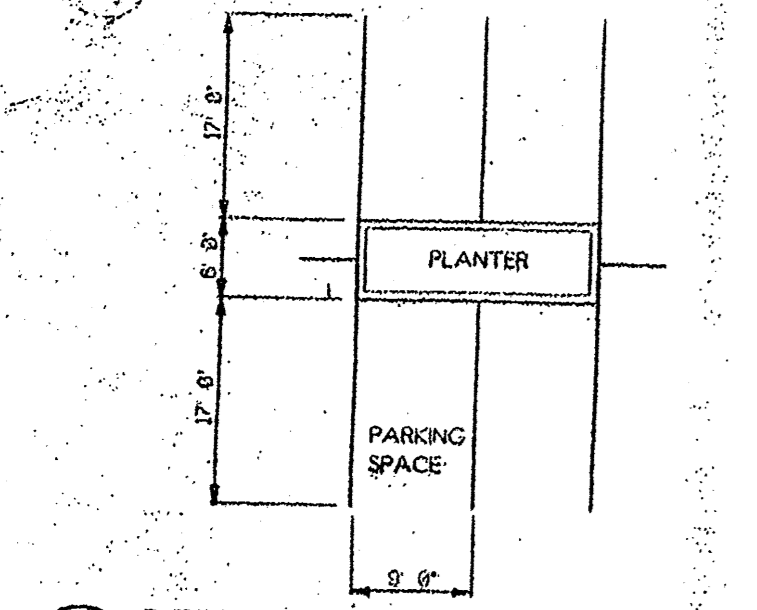
DETAIL 4 PARKING @ HANDICAP SPACE
N.T.S.



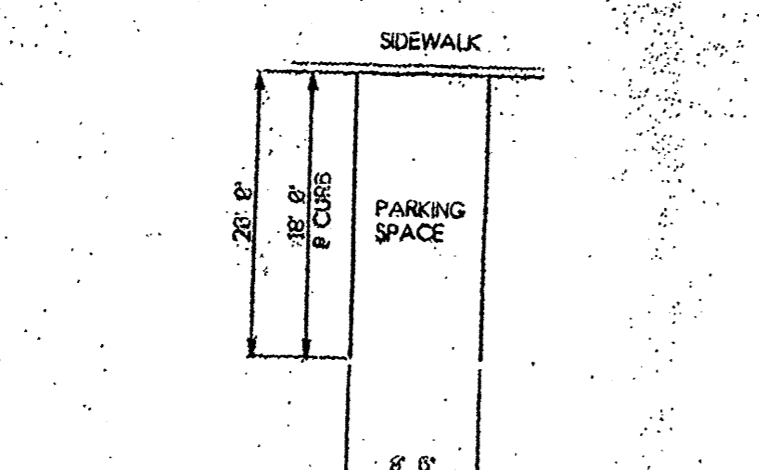
DETAIL 7 BIKE RACK
N.T.S.



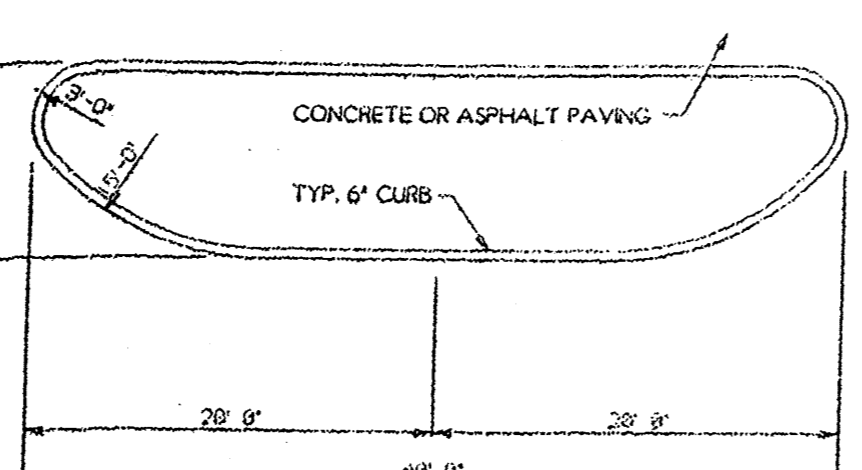
DETAIL 10 HANDICAP SIGN
1/2" x 1'-0"



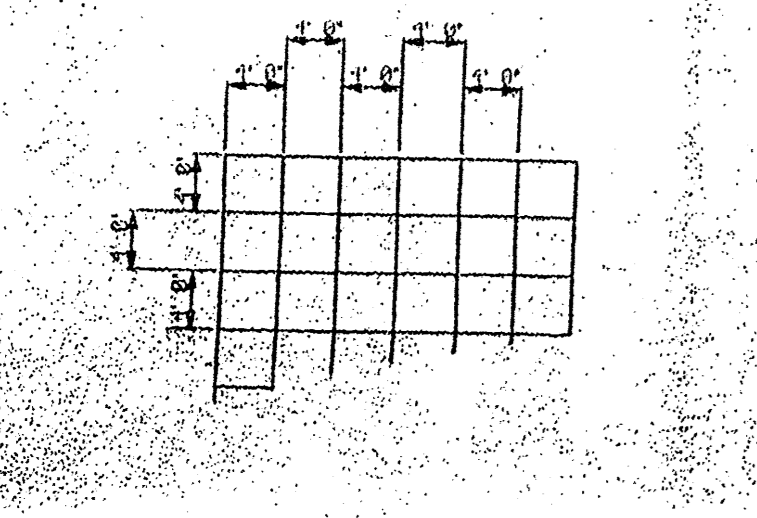
DETAIL 2 PARKING @ SMALL CAR SPACE
N.T.S.



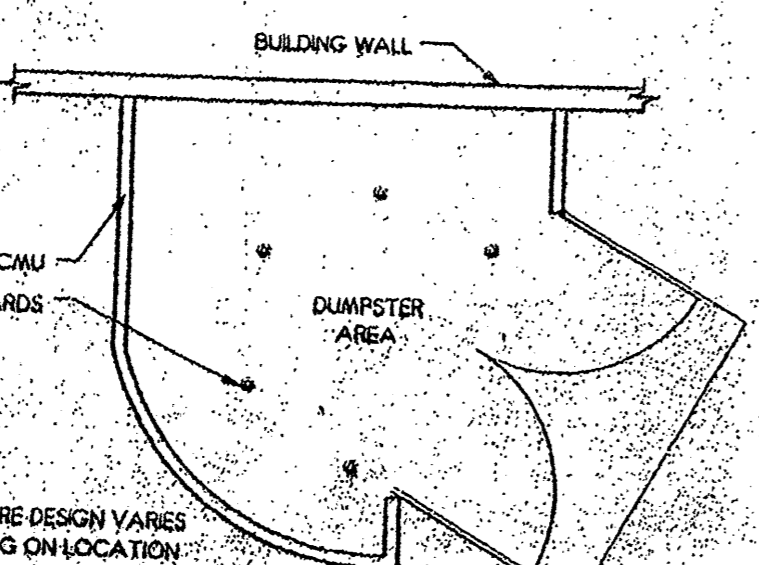
DETAIL 5 PARKING @ STANDARD SPACE
N.T.S.



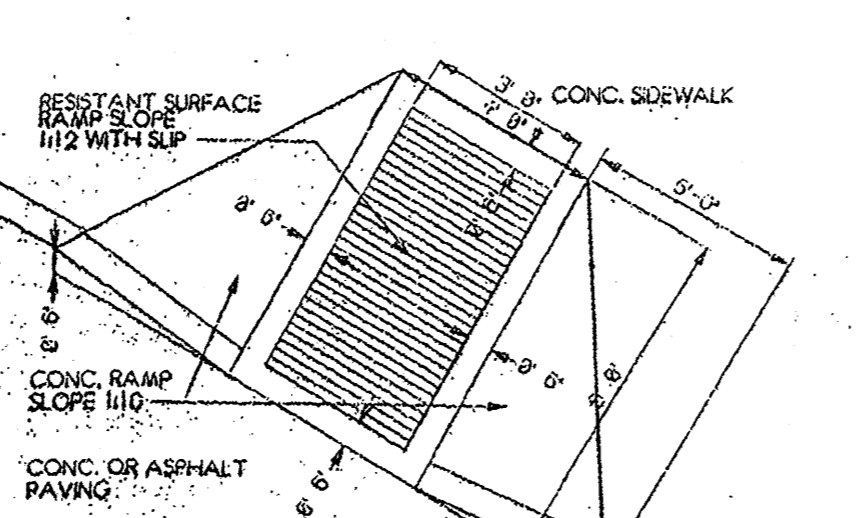
DETAIL 8 TYP. ISLAND CONFIGURATION
N.T.S.



DETAIL 3 PARKING @ SMALL CAR SPACE
N.T.S.



DETAIL 6 DUMPSTER AREA
N.T.S.



DETAIL 9 BIKE RACK
N.T.S.

SUMMARY

TOTAL BUILDING SQUARE FOOTAGE SHALL NOT INCREASE GREATER THAN 10% OF 200,000 SF.

| | |
|--|--|
| TOTAL LAND AREA | 19,0032 ACRES |
| TOTAL BUILDING AREA | 208,968 SF. |
| TOTAL BUILDING FOOTPRINT | 204,814 SF. |
| LAND/BUILDING (BASED ON FOOTPRINT) | 24.74% |
| PARKING / PAVING AREA | 487,971 SF. |
| SEWALKS | 55,276 SF. |
| LANDSCAPE | 109,372 SF. = 17.56% |
| PARKING REQUIRED | |
| RETAIL @ 200 SF./SPACE | 180,414 SF. / 903 SPACES |
| RETAIL (MEZZANINE) @ 300 SF./SPACE | 4,154 SF. / 14 SPACES |
| RESTAURANTS PAD 1 | 89,000 SF. - 220 SEATS + 3 = 74 SPACES |
| W/ LIQUOR | PAD 4 87,500 SF. - 150 SEATS + 3 = 60 SPACES |
| RESTAURANTS W/O LIQUOR | S2 89,040 SF. - 50 SEATS + 4 = 13 SPACES |
| S2 | 62,550 S. F. 25 SEATS + 4 = 7 SPACES |
| PADS | P2,500 SF. - 44 SEATS + 4 = 11 SPACES |
| TOTAL | 24,400 SF. 165 SPACES |
| TOTAL SPACES PROVIDED | 917 SPACES |
| TOTAL SPACES REQUIRED (LESS 10% BUS LINE CREDIT) | 1082 SPACES |
| | 974 SPACES |

GENERAL NOTES

PHASING:
 IF IS THE INTENT OF THE DEVELOPER TO BUILD OUT THIS PROJECT IN PHASES AS SHOWN ABOVE, PAD BUILDINGS SHALL BE PERMITTED AND CONSTRUCTED INDEPENDENT OF THE PHASING SEQUENCE. THE PHASING SEQUENCE SHALL BE AS FOLLOWS:

PHASE 1:
 RETAIL A, B, C, D, E, F, RESTAURANTS, PADS, BIKE RACKS, PLANTERS, LIGHTPOLES AND LANDSCAPING WITHIN THE PHASE 1 AREA.

PHASE 2:
 RETAIL B/C/D BLDGS. COMPLETE WITH ALL CURBS, PAVING, PARKING, STRIPING, LIGHTPOLES AND LANDSCAPING WITHIN THE PHASE 2 AREA.

PHASE 3:
 ANY INDIVIDUAL PAD BUILDING COMPLETE WITH ALL CURBS, PAVING, PARKING, STRIPING, LIGHTPOLES AND LANDSCAPING WITHIN THE PHASE 3 AREA.

DRIVE-UP SERVICE WINDOWS:
 ONLY ONE DRIVE-UP SERVICE WINDOW IS PERMITTED, UNLESS OTHERWISE APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION THROUGH AN AMENDMENT TO SITE DEVELOPMENT PLAN FOR BUILDING PERMIT.

The Pavilions at San Mateo

SITE PLAN / SITE DETAILS

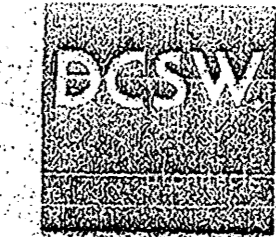
| BLDG. PAD | SPACES REQ'D |
|-----------|--------------|
| RETAIL A | 8 |
| RETAIL B | 4 |
| RETAIL C | 6 |
| RETAIL D | 8 |
| RETAIL E | 8 |
| RETAIL F | 4 |
| RETAIL S1 | 2 |
| RETAIL S2 | 4 |
| P1 | 4 |
| P2 | 2 |
| P3 | 2 |
| P4 | 1 |
| P5 | 2 |

TOTAL H.C. SPACES REQ'D: 58 SPACES
 TOTAL H.C. VAN SPACES REQ'D: 7 SPACES
 TOTAL H.C. SPACES PROVIDED: 59 SPACES
 TOTAL H.C. VAN SPACES PROVIDED: 9 SPACES
 MOTORCYCLE SPACES PROVIDED: 2 SPACES



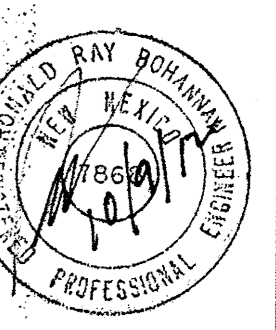
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GREENBERG FARROW ARCHITECTURE
 ARCHITECTURE • ENGINEERING • PLANNING
 16101 RED HILL AVENUE, SUITE 200
 TULSA, OKLAHOMA 74114
 TEL: (918) 259-8500 FAX: (918) 259-6544



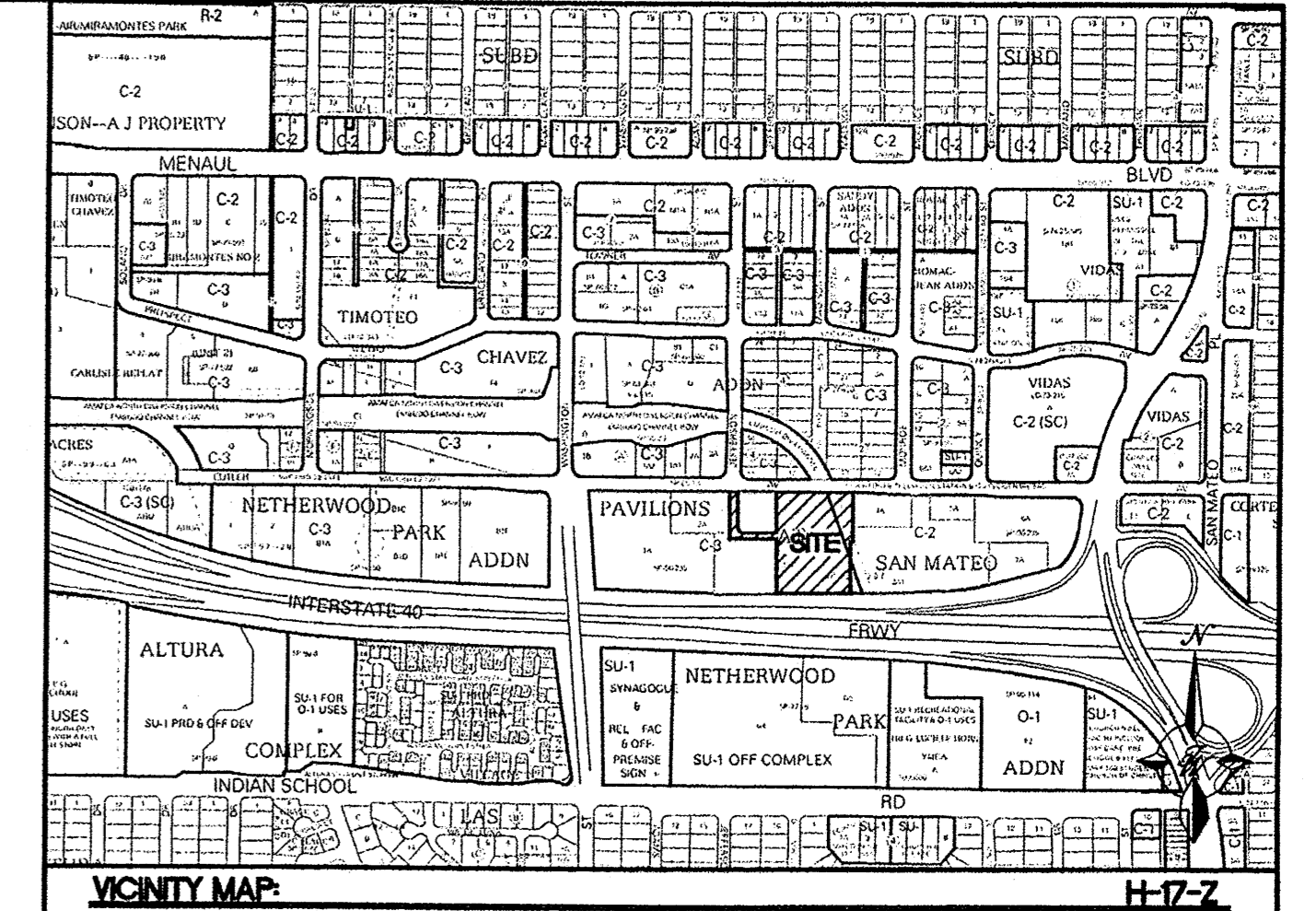
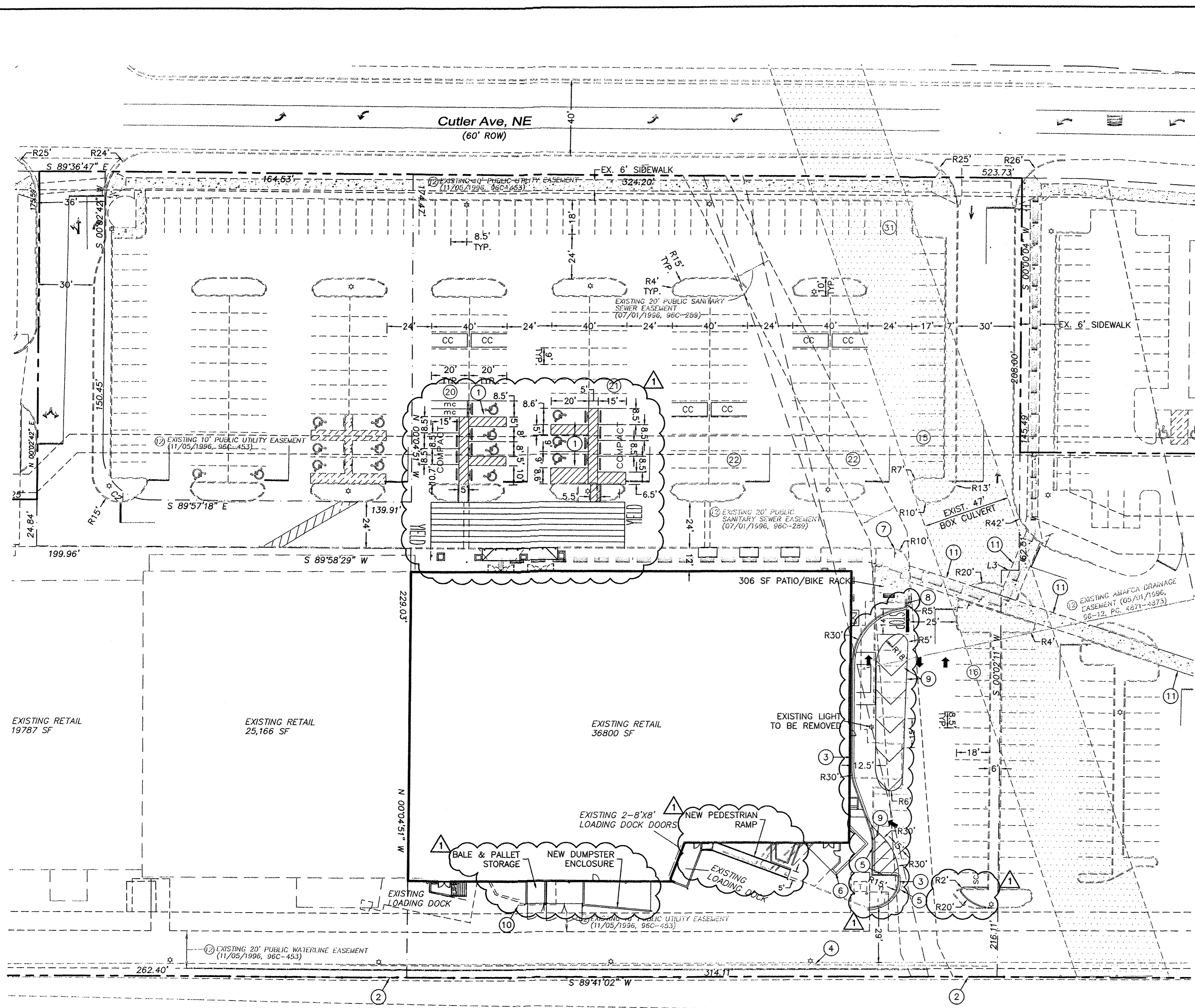
DESIGN COLLABORATIVE
 SOUTHWEST INC.
 105 4TH ST. SW
 ALBUQUERQUE, NM
 87102
 505-443-2459
 G.F.A. JOB NO. 960281
 DATE 08/22/12

ENGINEER'S SEAL



RONALD R. BOHANNON
 P.E. #7868

SHEET C1



LEGAL DESCRIPTION:
A PORTION OF TRACT 3A-1 PAVILIONS AT SAN MATEO

LEGEND

- CURB & GUTTER
- PROPERTY LINE
- AREA OF CONTROL LIMITS
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- EXISTING LIGHTS TO REMAIN
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING LANE
- EXISTING STRIPING
- SAWCUT
- ADA ACCESSIBLE ROUTE
- PROPOSED PARKING SPACES
- CART CORRAL
- MOTORCYCLE PARKING

KEYED NOTE:

- 1 ACCESSIBLE PARKING SEE DETAIL SHEET C1
- 2 EXISTING 6' CHAIN LINK FENCE (INTERSTATE 40 ACCESS CONTROL)
- 3 6" CURB AND GUTTER PER COA STD DWG #2415B
- 4 EXISTING TAN CMU RETAINING WALL
- 5 REMOVE AND DISPOSE EXIST. CURB
- 6 EXISTING MONUMENT SIGNS
- 7 EXISTING "STOP" SIGN
- 8 "DO NOT ENTER" SIGN & R1-5a "YIELD HERE TO PEDESTRIANS" SIGN
- 9 4" SOLID YELLOW STRIPING
- 10 EXISTING DUMPSTER ENCLOSURE TO BE REMOVED
- 11 EXISTING CONCRETE CROSSING, 8 FT WIDTH

NOTES:

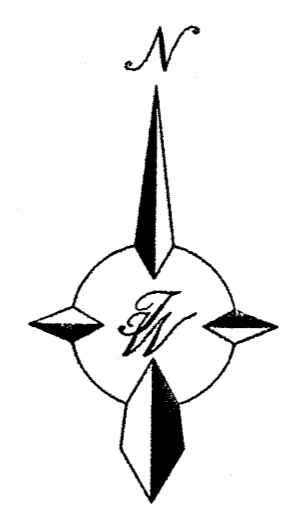
1. CHAIN LINK FENCE EXISTS IMMEDIATELY INSIDE SOUTH PROPERTY LINE.
2. REMOVE ALL EXISTING NON-APPLICABLE SIGNS.

NOTES FROM PLAT (11/25/1998, 98C-334)

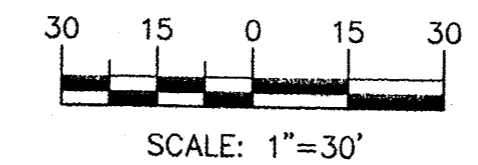
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NOTES FROM PLAT (11/05/1996, 96C-453)

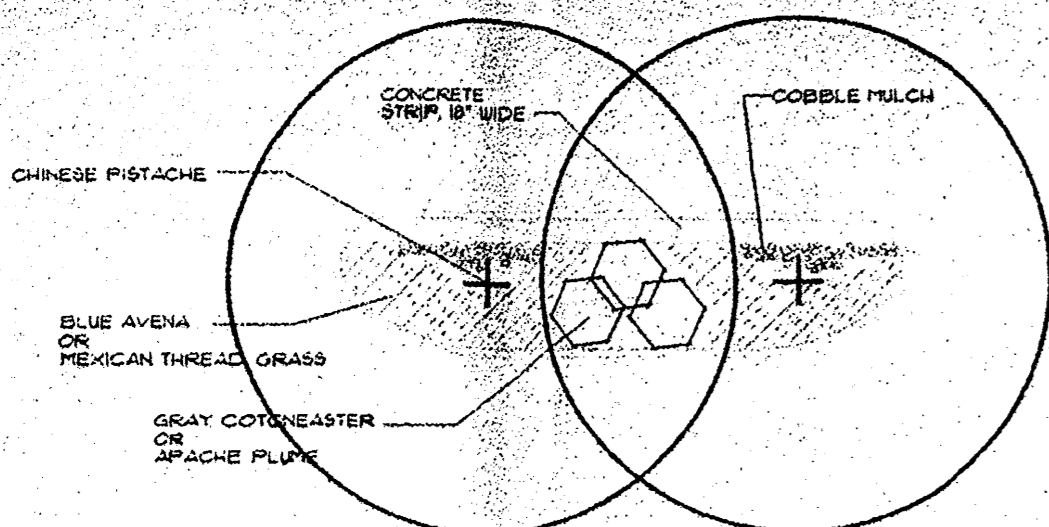
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11. CONSTRUCTION WITHIN AMAFCA EASEMENTS WILL REQUIRE ENCROACHMENT AGREEMENTS PRIOR TO CONSTRUCTION
12. PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE TO PAVILIONS AT SAN MATEO MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE VIA A REQUEST FOR A WATER AND SANITARY SEWER AVAILABILITY STATEMENT



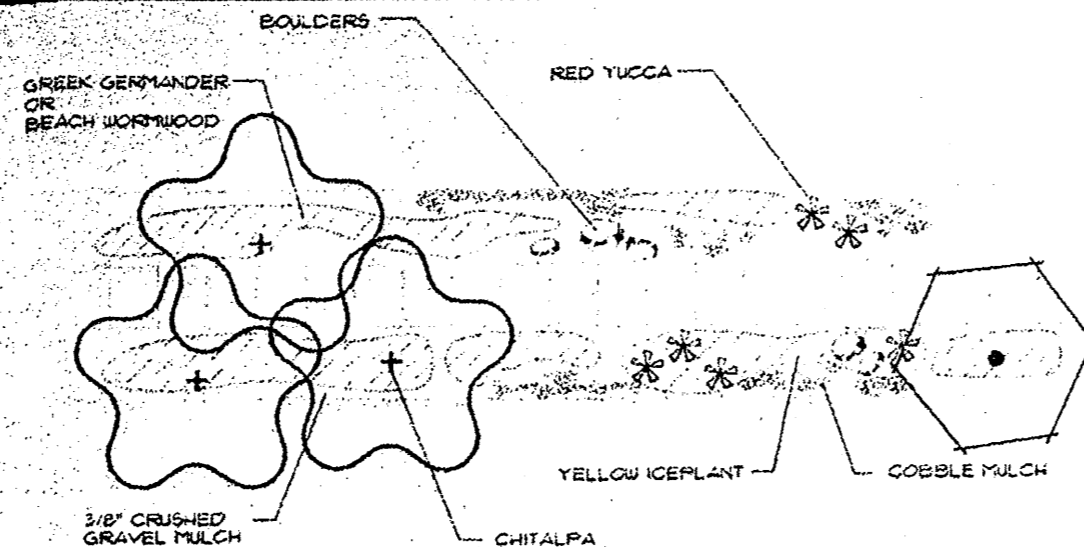
GRAPHIC SCALE



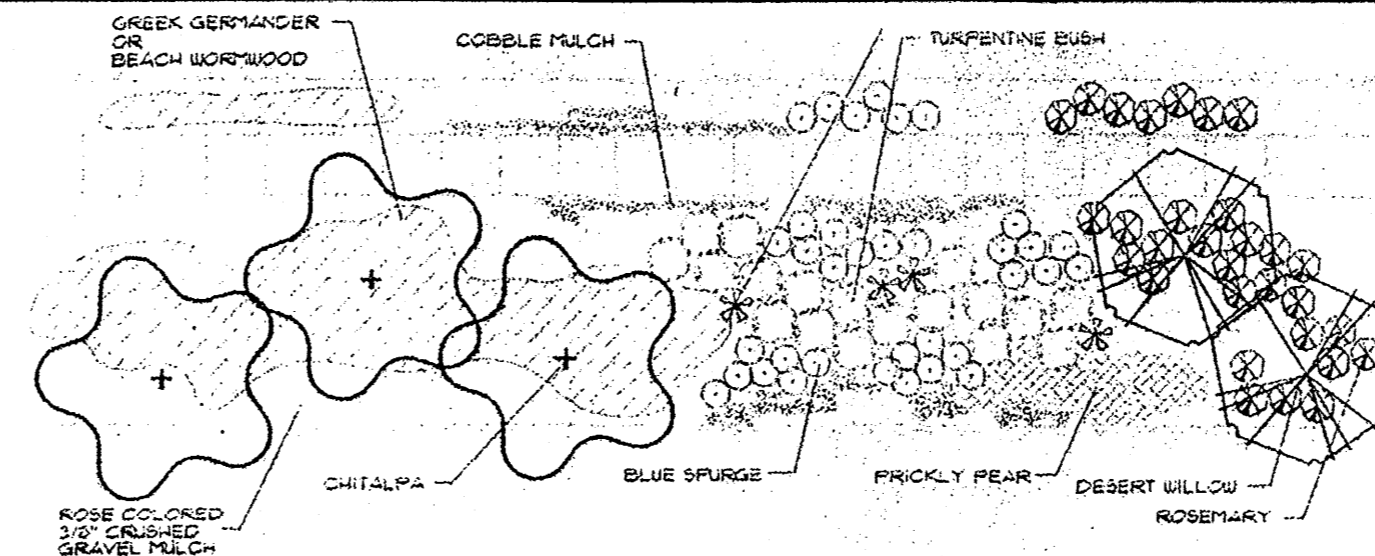
| NO. | DATE | REVISIONS | REMARKS | BY |
|----------------------------------|------|--|---------|-----------|
| 8-22-12 | | ADDED PHARMACY DRIVE-UP, MODIFIED ADA PARKING & DUMPSTERS, ADDED PEDESTRIAN RAMP | | VC |
| REVISIONS | | | | |
| ENGINEER'S SEAL | | THE PAVILIONS AT SAN MATEO (TRACT 3A-1) | | DRAWN BY |
| | | SITE PLAN FOR BUILDING PERMIT (AREA OF CONTROL) | | DATE |
| | | 2011071-SP-AA-30 | | 5/15/12 |
| | | | | SHEET # |
| | | 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierawestllc.com | | C2 |
| RONALD R. BOHANNAN P.E. #7888 | | | | JOB # |
| | | | | 2011071 |



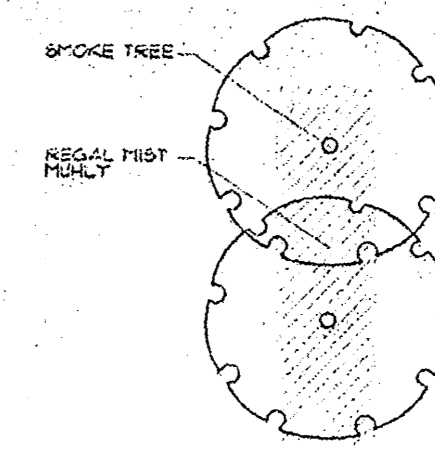
TYPICAL PARKING ISLANDS SHALL BE SHADED BY TWO CHINESE PISTACHE TREES. BELOW ISLANDS SHALL BE PLANTED WITH GRAY COTONEASTER IN THE CENTER, FLANKED BY MASSES OF ORNAMENTAL GRASS AND ROSE COLORED COBBLE MULCH. PLANTING BEDS WILL BE BUFFERED FROM ADJACENT FOOT TRAFFIC WITH AN 18" STRIP OF CONCRETE.



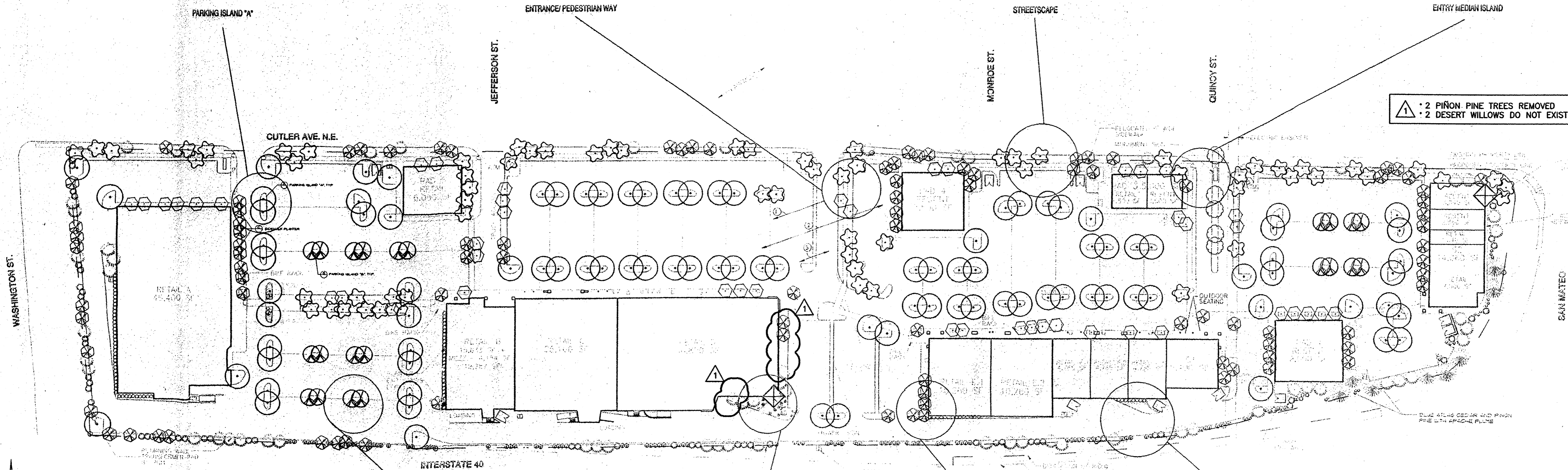
THE ENTRY AND PEDESTRIAN WAYS WILL BE PRIMARILY PLANTED WITH CHITALPA TREES, WITH ADDED THORNLESS HAWTHORN LINKING THE ROUTE VISUALLY WITH THE PEDESTRIAN CORRIDOR ON THE NORTH SIDE OF THE BUILDINGS. BENEATH THE CHITALPA WILL BE PLANTED EITHER BEACH WORMWOOD OR GREEK GERMANDER, WITH COLOR ADDED IN SUNNY OPEN AREAS AT THE ENTRANCES WITH RED YUCCA. UNDERPLANTED WITH YELLOW ICEPLANT. ROSE COLORED COBBLE WILL BE USED FOR MULCH IN OPEN AREAS, WITH 3/8" CRUSHED GRAVEL UNDER TREES.



THE CUTLER AVENUE STREETScape WILL BE PLANTED WITH PRIMARILY CHITALPA, PINON PINE AND DESERT WILLOW TREES. DESERT WILLOW AREAS WILL BE PLANTED BENEATH WITH ROSEMARY, SIMILARLY TO BUILDING PLANTING BEDS. CHITALPA AREAS WILL BE PLANTED WITH EITHER BEACH WORMWOOD OR GREEK GERMANDER WITH OPEN AREAS IN TREES PLANTED WITH TURPENTINE BUSH ACCENTED WITH RED YUCCA AND PRICKLY PEAR. MULCH WILL BE ROSE COLORED COBBLE IN THE OPEN AREAS, WITH 3/8" CRUSHED GRAVEL UNDER TREES.



THE MEDIAN ISLAND AT THE QUINCY STREET ENTRANCE WILL BE HIGHLIGHTED WITH PURPLE SMOKE TREES, UNDERPLANTED WITH REGAL MIST ORNAMENTAL GRASS MULCHED WITH ROSE COLORED COBBLE.



2 PIÑON PINE TREES REMOVED
2 DESERT WILLOWS DO NOT EXIST TO DATE

LANDSCAPE PLAN

SCALE 1" = 60'

PLANT LEGEND

| BOTANICAL NAME | COMMON NAME | SIZE | NOTES/SPACING |
|------------------------------------|----------------------------|---------------------|---------------|
| TREES | | | |
| <i>Platanus chinensis</i> | CHINESE PISTACHE | 2" GAL | |
| <i>Chilopsis linearis</i> | DESERT WILLOW | 2" GAL | |
| <i>Quercus emoryi</i> | EMORY OAK | 2" GAL | |
| <i>Chitalpa tashkentensis</i> | CHITALPA | 2" GAL | |
| <i>Cedrus atlantica</i> | BLUE ATLAS CEDAR | 20 GAL | |
| <i>Cedrus libani</i> | CEDRAR OF LEBANON | 20 GAL | |
| <i>Pinus edulis</i> | PINON PINE | D x D 5'-7' HT. | |
| <i>Cotinus coggygria</i> | PURPLE SMOKE TREE | 20 GAL | |
| <i>Crategeus crux galli</i> | THORNLESS HAWTHORN | 2" GAL | |
| SHRUBS/VINES | | | |
| <i>Yucca elata</i> | SOAPTREE YUCCA | BARE ROOT 6'-8' HT. | |
| <i>Fouquieria parsonsii</i> | APACHE PLUME | 5 GAL | |
| <i>Tetradlea ararum</i> | GREEK GERMANDER | 1 GAL | 2' OC. |
| <i>Artemisia stelleriana</i> | BEACH WORMWOOD | 1 GAL | 2' OC. |
| <i>Rosmarinus officinalis</i> | "ARP" ROSEMARY | 5 GAL | 3' OC. |
| <i>Hesperaloe parviflora</i> | RED YUCCA | 5 GAL | |
| <i>Euphorbia eyraudi</i> | BLUE SPURGE | 1 GAL | 2' OC. |
| <i>Caracarpus arbutus</i> | CURLLEAF MOUNTAIN MANOGANY | 5 GAL | |
| <i>Cotoneaster glaucocarpus</i> | GRAY COTONEASTER | 5 GAL | |
| <i>Spartium junceum</i> | SPANISH BROOM | 5 GAL | |
| <i>Opuntia</i> sp. | PRICKLY PEAR | 1 GAL | 3'-4' OC. |
| <i>Eriogonum fasciculatum</i> | TURPENTINE BUSH | 5 GAL | |
| <i>Artemisia tridentata</i> | ARIZONA ROSEWOOD | 5 GAL | 6' OC. |
| <i>Parthenocissus quinquefolia</i> | WOODCREEP | 1 GAL | 2' OC. |
| GROUND COVER/GRASSES | | | |
| <i>Dactyloctenium aegyptium</i> | PURPLE ICEPLANT | 1 GAL | 12" OC. |
| <i>Dactyloctenium aegyptium</i> | YELLOW ICEPLANT | 1 GAL | 12" OC. |
| <i>Heterostachyon tenuiflorum</i> | BLUE AVENA | 1 GAL | 2' OC. |
| <i>Stipa tenuiflora</i> | MEXICAN THREAD GRASS | 1 GAL | 2' OC. |
| <i>Stipa tenuiflora</i> | MEXICAN THREAD GRASS | 1 GAL | 3' OC. |

LANDSCAPE NOTES

- RESPONSIBILITY FOR LANDSCAPE MAINTENANCE ON THE SITE SHALL LIE WITH THE OWNER/DEVELOPER.
- AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM IS TO BE DESIGNED AND CONSTRUCTED FOR ALL INSTALLED PLANT MATERIALS. GRASS AREAS WILL BE SPRAY IRRIGATED. TREES WILL BE IRRIGATED WITH A LOW FLOW BUBBLER SYSTEM AND SHRUBS AND GROUND COVER WILL BE IRRIGATED WITH A DRIP EMITTER SYSTEM.
- TREES IN PARKING ISLANDS SHALL BE LOCATED AT THE CENTERMOST PORTION OF THE ISLAND, TYPICALLY.
- TREE LOCATIONS AS SHOWN ARE SCHEMATIC AND MAY VARY BASED ON SITE-SPECIFIC CONDITIONS AND OTHER SITE CONSTRAINTS. TREE LOCATIONS SHALL COMPLY WITH ALL JURISDICTIONAL ORDINANCES WHICH APPLY.

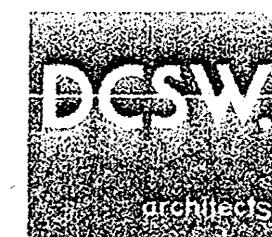
LANDSCAPE AREA

- TOTAL LAND AREA - 18,029 ACRES (2,211,018 SF)
- BUILDING AREA - 1,000,000 SF
- LANDSCAPE AREA REQUIRED - 10,233 SF (85%)
- LANDSCAPE AREA PROVIDED -

EXISTING EASEMENTS

- EXISTING AMFCA DRAINAGE EASEMENT NO. 3
- EXISTING NEW MEXICO DEPARTMENT OF TRANSPORTATION DRAINAGE RIGHT OF WAY
- FOUR (4) EXISTING 12" x 12" CONCRETE BOX CULVERTS

The Pavilions at San Mateo



revisions:
design
architect
collaborative
southwest inc.
engineer
105 4th st. sw
cibiquersue, nm

SEDBERRY and ASSOCIATES COMMERCIAL REAL ESTATE SERVICES
ADDRESS: 6301 INDIAN SCHOOL RD., STE. 599
ALBUQUERQUE, NM, 87110
PHONE: (505) 883-3339
FAX: (505) 883-0870

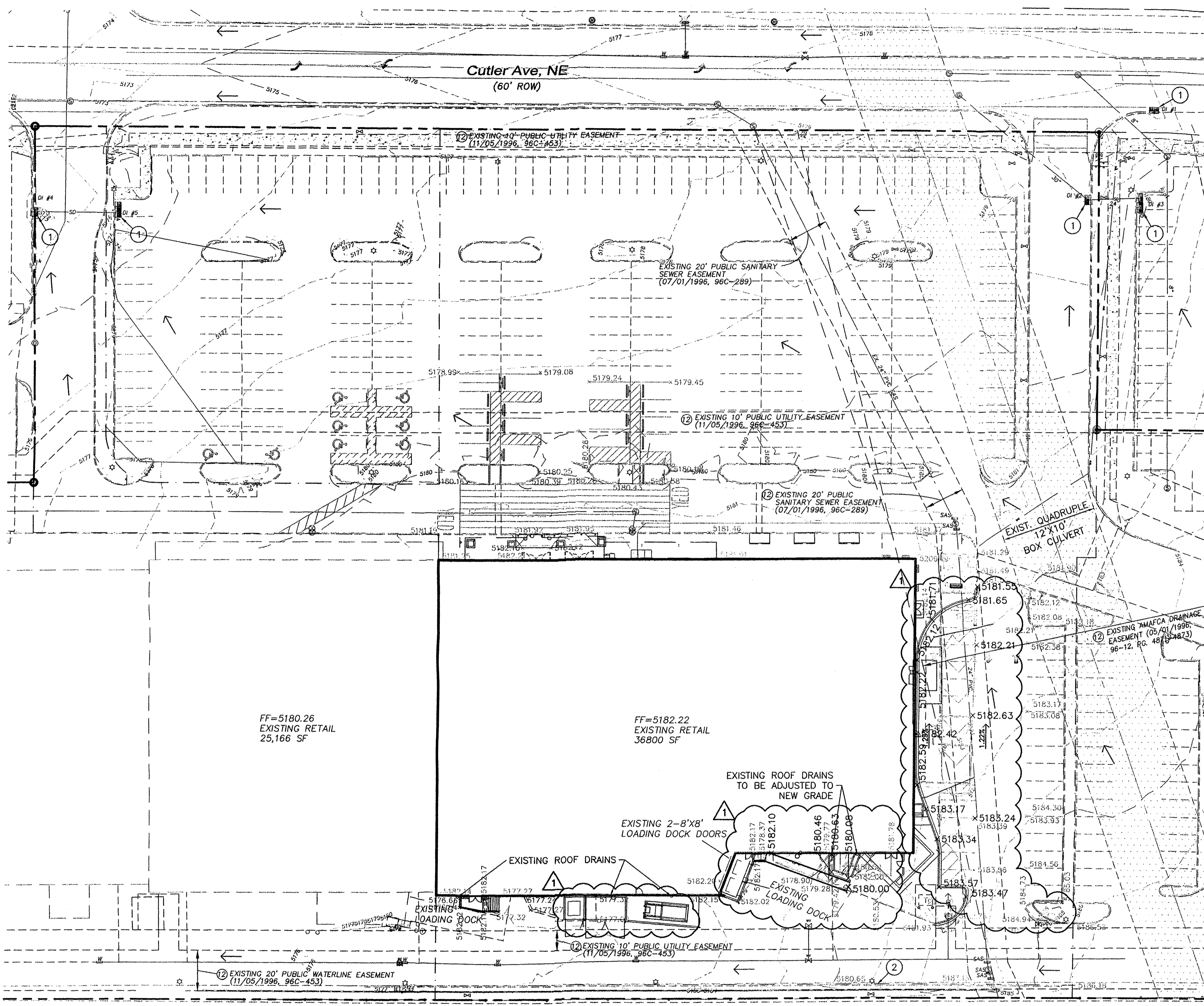
APPROVED FOR CONSTRUCTION

LARRY A. BLAIR
EXECUTIVE ENGINEER

DATE
job no: 9521
date: 8/22/12
87102
505-813-9639
SHEET # C3

| NO. | DATE | REVISIONS |
|-----|---------|------------------------------------|
| VC | | BY |
| 1 | 8/22/12 | EXISTING LANDSCAPING TO BE REMOVED |

BOHANNAN-HUSTON INC.
LANDSCAPE ARCHITECTS
1000 10TH AVENUE N.E.
ALBUQUERQUE, NM 87102



LEGEND

| | |
|-----------|-------------------------|
| — | PROPOSED CURB & GUTTER |
| - - - | BOUNDARY LINE |
| - - - - - | AREA OF CONTROL LIMITS |
| - - - - - | EASEMENT |
| — | EXISTING SIDEWALK |
| — | EXISTING CURB & GUTTER |
| — | EXISTING STREET LIGHTS |
| ☆ | SPOT ELEVATION |
| → | FLOW ARROW |
| - - - | EXISTING CURB & GUTTER |
| - - - | EXISTING BOUNDARY LINE |
| - - - | EXISTING CONTOUR MAJOR |
| - - - | EXISTING CONTOUR MINOR |
| ☆ | EXISTING SPOT ELEVATION |
| — | EXISTING INLET |
| — | RETAINING WALL |

DRAINAGE NARRATIVE:

PURPOSE: The purpose of this report is to provide a revised grading and drainage plan for a single retail store take-over in the Pavilions Shopping Center at San Mateo. It is intended to give an overview of the approved drainage management plan for the overall shopping center and illustrate the minor grading changes and drainage design for the subject suite take-over, and act as an accurate record for future reference.

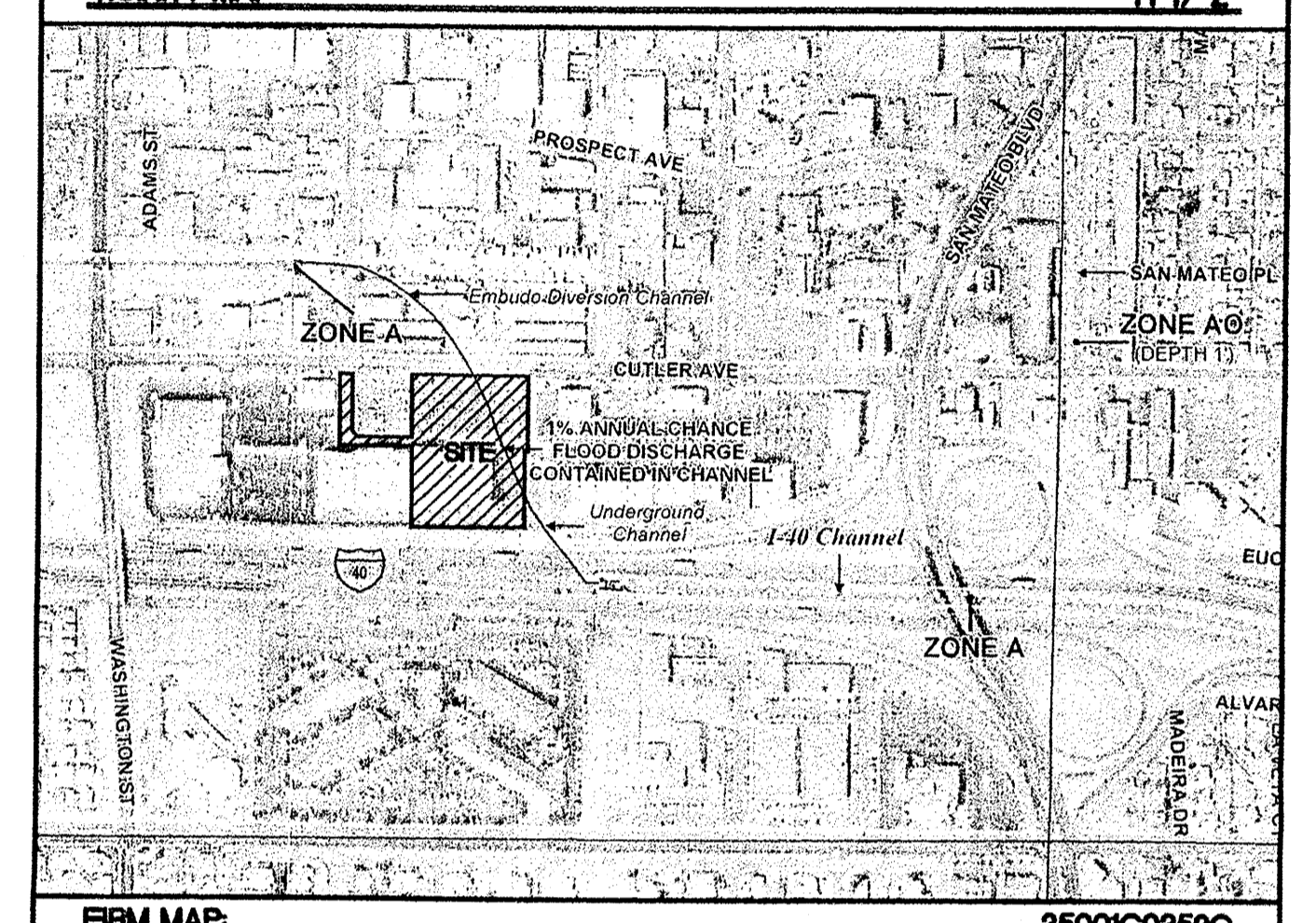
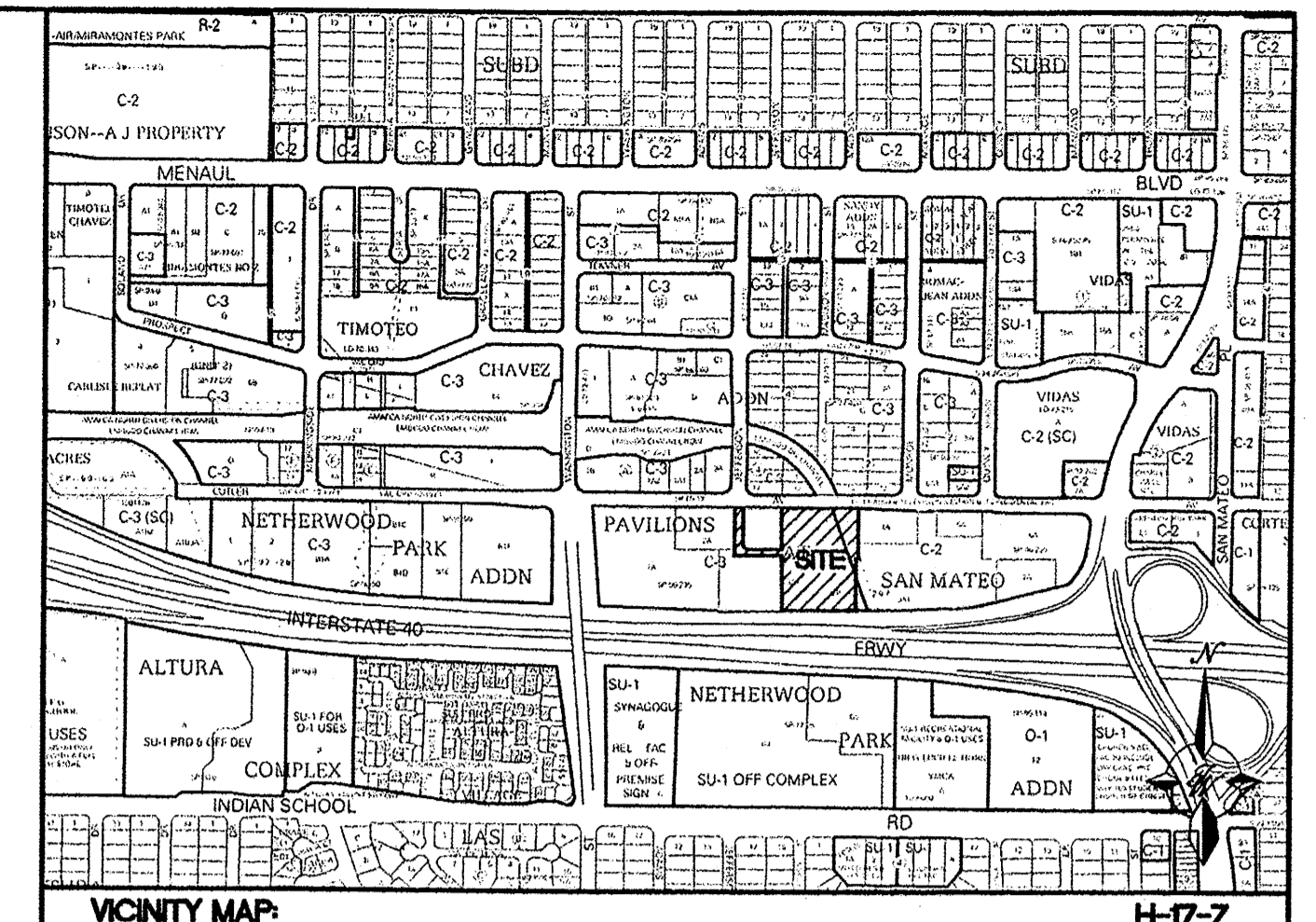
PREVIOUS GRADING AND DRAINAGE PLAN AND REPORT: On file with the City of Albuquerque are the approved Grading and Drainage Plan and approved drainage report for the development of the Pavilions Shopping Center. This report and accompanying Grading and Drainage Plan which will amend the subject site, references the above mentioned grading and drainage plan (6/29/1996) and report (Revised June 1996), developed by Bohannon-Houston Inc.

EXISTING CONDITIONS: The Pavilions Shopping Center is located on the northwest corner of San Mateo and Interstate 40; bound by Cutler Avenue to the north and Washington Street to the west. The shopping center occupies approximately 20 acres and currently contains eight buildings (several with multiple tenants per building). The subject suite is an existing 36,800 square foot retail space recently vacated by Ultimate Electronics.

The east half of the shopping center conveys storm water in a northwesterly direction along the parking surface where it is directed into a series of existing storm inlets and 36" storm drain located in the Cutler Avenue right-of-way. This existing Cutler Ave. storm drain conveys runoff to the existing AMAFCA box culverts, which cross the shopping center below grade, and become the Embudo Channel near the northwest portion of the site. Similarly, the remaining west half of the shopping center conveys runoff in a northwesterly direction along the parking surface to a series of existing storm inlets and storm drain system on the west portion of the shopping center, which then connects to the existing 36" storm drain line in Cutler Avenue, and ultimately enter the Embudo Channel.

According to the Bohannon-Houston drainage report, the total peak discharge for the entire shopping center during the 100 year event is 111.03 cfs (including an assumed offsite flow of 10 cfs from the I-40 right-of-way).

PROPOSED CONDITIONS: The proposed conversion is for a 36,800 sf take-over of the existing retail space. The conversion will include interior building changes to accommodate the new use with minor exterior building changes; east side grades will be altered per this Grading and Drainage Plan to accommodate a new pharmacy drive up window. Positive drainage will be maintained for this area and existing drainage patterns will not be altered. Impervious areas will remain... and peak discharge will not be increased.



LEGAL DESCRIPTION:
A PORTION OF TRACT 3A-1 PAVILIONS AT SAN MATEO

NOTES:
1. GRADES ON CURB LINE ARE TO FLOWLINE UNLESS OTHERWISE SPECIFIED.

- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1995.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

| APPROVAL | NAME | DATE |
|-----------|------|------|
| INSPECTOR | | |

- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

KEYED NOTE:

① EXISTING DROP INLET
② EXISTING RETAINING WALL

CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

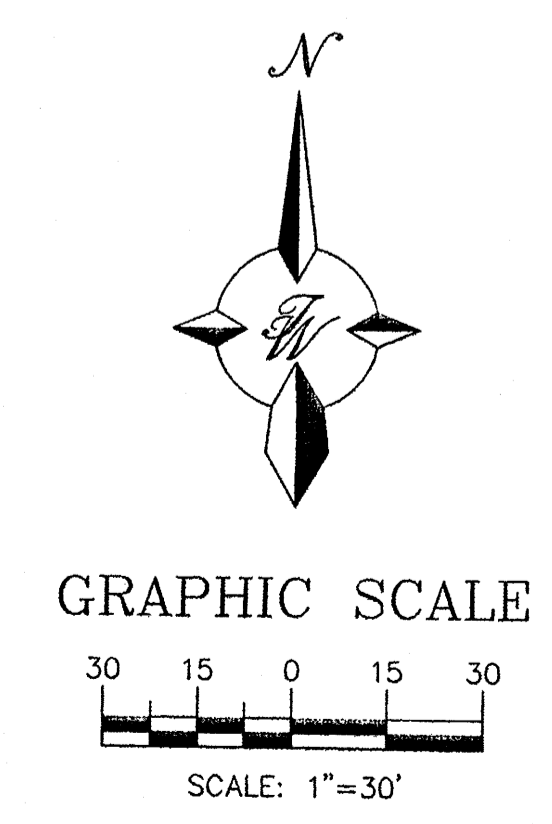
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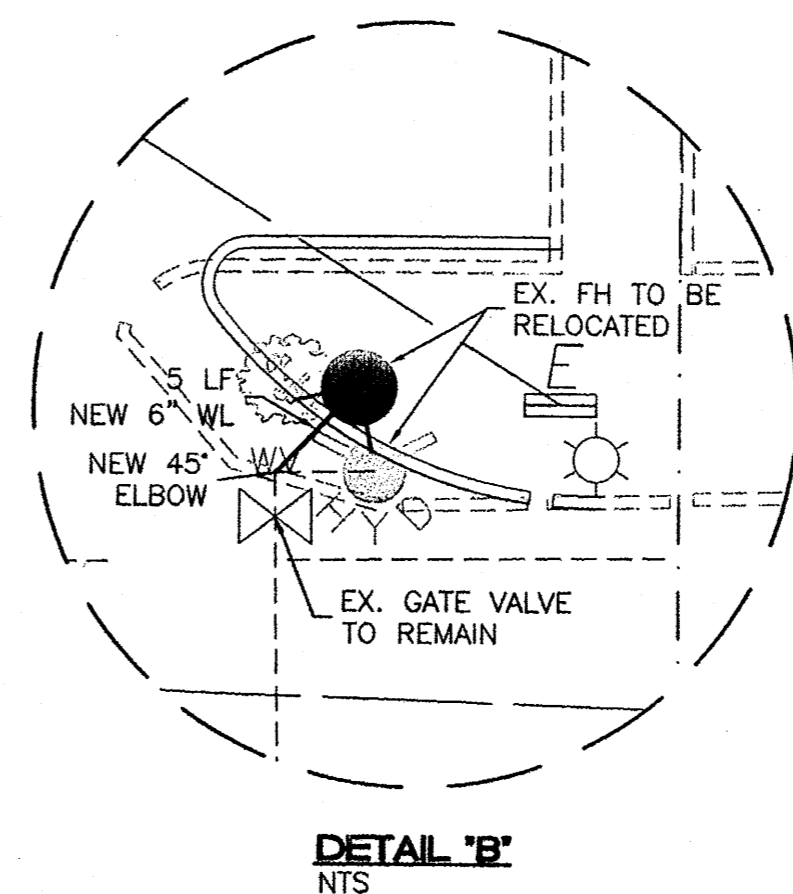
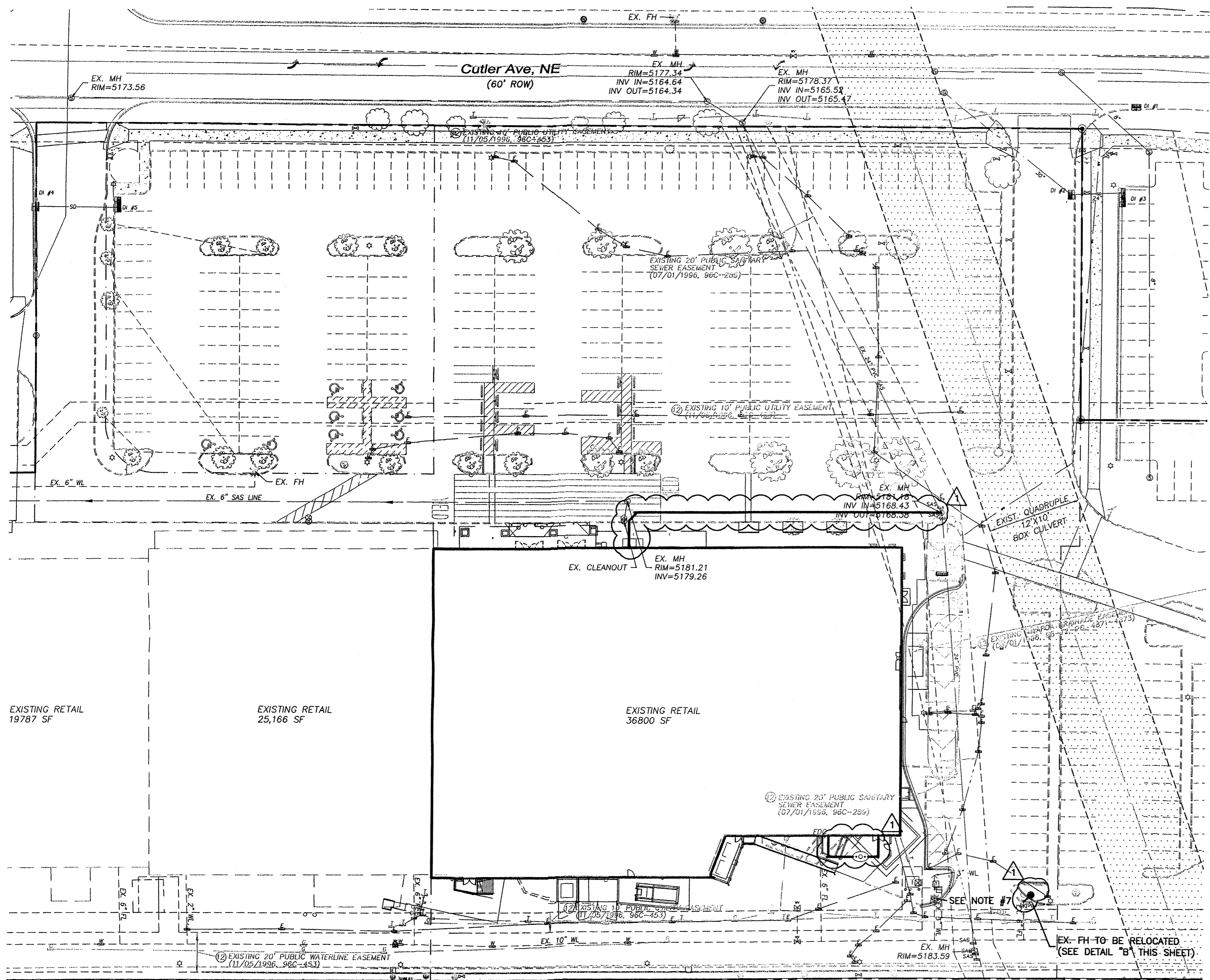
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11. CONSTRUCTION WITHIN AMAFCA EASEMENTS WILL REQUIRE ENCROACHMENT AGREEMENTS PRIOR TO CONSTRUCTION



| NO. | DATE | REVISIONS | VC BY |
|-----------------|------|--|------------------|
| 8-22-12 | | IMPROVEMENTS REQUIRING RE-GRADING | |
| REVISIONS | | | |
| ENGINEER'S SEAL | | THE PAVILIONS AT SAN MATEO (TRACT 3A-1) | DRAWN BY DY |
| | | | DATE 5/15/12 |
| | | GRADING PLAN | |
| | | TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com | |
| | | SHEET # C4 | JOB # 2011071 |



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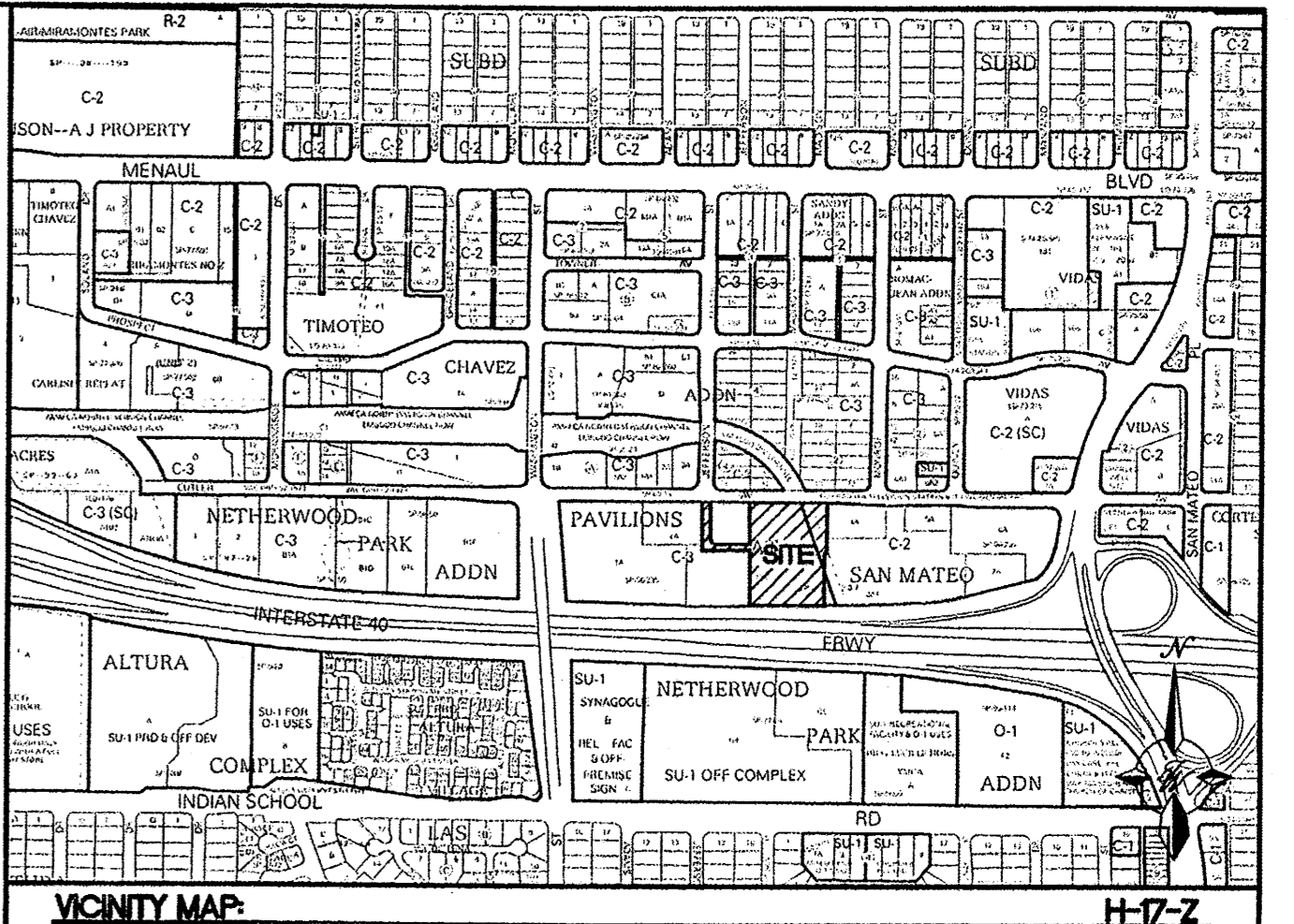
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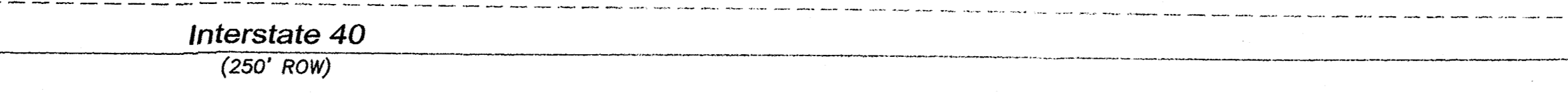
- ONLY ABCWUA WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
- NOTIFY ABCWUA WATER SYSTEMS DIVISION (PHONE 857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN.
- APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
- SHUTOFF THE VALVES INDICATED IN THE PLAN ABOVE.

LEGEND

| | |
|--|--------------------------------|
| | CURB & GUTTER |
| | BOUNDARY LINE |
| | AREA OF CONTROL LIMITS |
| | EASEMENT |
| | CENTERLINE |
| | RIGHT-OF-WAY |
| | BUILDING |
| | RETAINING WALL |
| | EXISTING CURB & GUTTER |
| | EXISTING BOUNDARY LINE |
| | EXISTING SD MANHOLE |
| | EXISTING INLET |
| | EXISTING SAS MANHOLE |
| | EXISTING FIRE HYDRANT |
| | EXISTING WATER METER |
| | EXISTING POWER POLE |
| | EXISTING GAS VALVE |
| | EXISTING OVERHEAD UTILITIES |
| | EXISTING UNDERGROUND UTILITIES |
| | EXISTING GAS |
| | EXISTING 8" SAS |
| | EXISTING SANITARY SEWER LINE |
| | EXISTING 10" WL |
| | EXISTING 18" RCP |

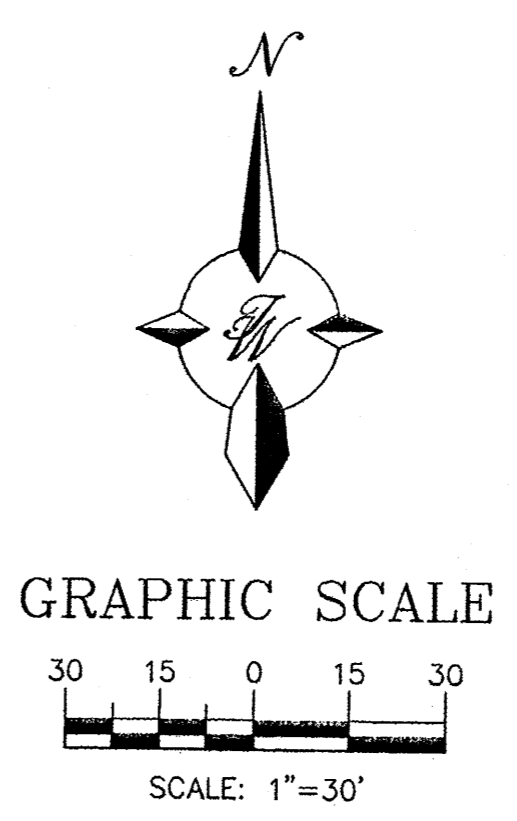
SITE LIGHTING:
THE PARKING LOT WILL BE ILLUMINATED W/ MAX. 35' HIGH LIGHT POLE MOUNT FIXTURES W/ BAFFLES TO PREVENT THE EXPOSURE OF DIRECT LIGHT TO SURROUNDING AREAS. THE SECURITY LIGHTING WILL NOT EXTEND BEYOND PROPERTY LINES. WALL PACKS WILL BE LOCATED ALONG THE BACKS OF STORES.

- NOTICE TO CONTRACTORS**
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 - ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 - WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



- GENERAL NOTES:**
- 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
 - REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
 - ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
 - CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
 - SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
 - ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
 - REPLACE EXISTING 2" WATER METER WITH A 3" WATER METER & 3" SERVICE LINE TO THE BUILDING.

CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



| | | | |
|-----------------|------|--|----|
| NO. | DATE | REMARKS | BY |
| REVISIONS | | | |
| ENGINEER'S SEAL | | DRAWN BY | |
| | | THE PAVILIONS AT SAN MATEO (TRACT 3A-1) MASTER UTILITY PLAN | |
| | | DATE: 5/15/12 | |
| | | 2011071-MU-AA | |
| | | SHEET # | |
| | | C5 | |
| | | JOB # | |
| | | 2011071 | |

TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.tierrowestllc.com

COLOR AND MATERIAL PALETTE

CMU

- Existing split-face CMU field: A blend of 2 colors, (Crego) Burgundy with scoria and (Crego) Tan in a ratio of 3:2 or 2:3 between accent bands of CMU. The ratio will vary with building location.
- Existing smooth CMU accent: (Crego) Petroglyph black with scoria at 4'-0" O.C.
- Existing smooth CMU accent insets at building transitions and insets shall be the following colors: (Crego) Burgundy with scoria, (Crego) Tan and (Crego) Petroglyph black with scoria

STUCCO

Stucco colors shall be one of the following:

- Cobble Brown
- Exterior Dromedary Camel

TILE

Existing tile accents may be used at entry areas for an accent color. The color shall be similar to storefront colors.

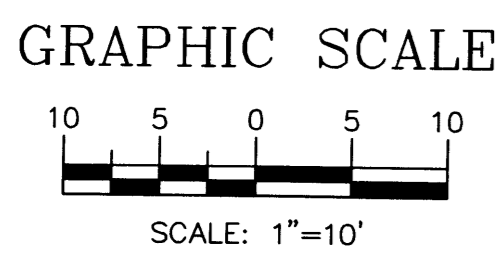
METAL FINISHES

- Existing pitched roof - galvanized metal
- Fascia - galvanized metal
- Existing awnings - galvanized metal
 - Canvas awnings shall be in the color range of storefront finishes.
 - No plastic awnings shall be allowed.
- Cable - galvanized metal
- Brackets - galvanized metal
- Storefront - shall be one of the following Kawneer colors:
 - Sterling gray
 - Metal column enclosures - sterling gray
 - Column capital - sterling gray
 - Metal light panel - exterior dromedary camel

| BUILDING SIGNAGE SCHEDULE | | | | |
|---------------------------|-----|-------|-----------------|------------|
| BUILDING SIGNAGE | QTY | COLOR | INDIVIDUAL AREA | TOTAL AREA |
| TENANT | 3 | WHITE | 156.00 SF | 468.00 SF |
| PHARMACY DRIVE-THRU | 1 | WHITE | 52.68 SF | 520.68 SF |

| SITE SIGNAGE SCHEDULE | | | | |
|-----------------------|-----|-------|-----------------|------------|
| TENANT | QTY | COLOR | INDIVIDUAL AREA | TOTAL AREA |
| TENANT | 2 | WHITE | 50.00 SF | 100.00 SF |

Calculations are based on box method



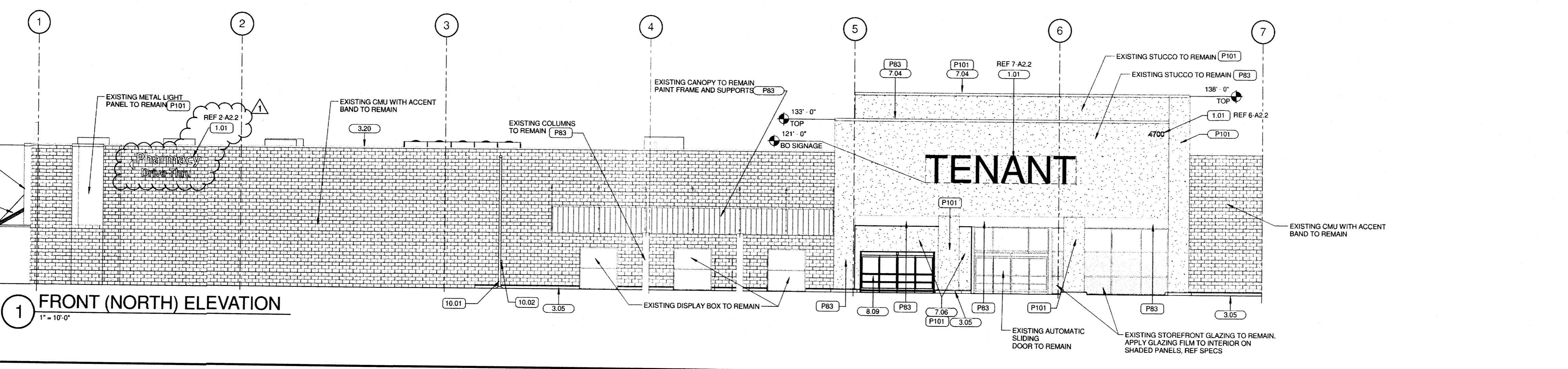
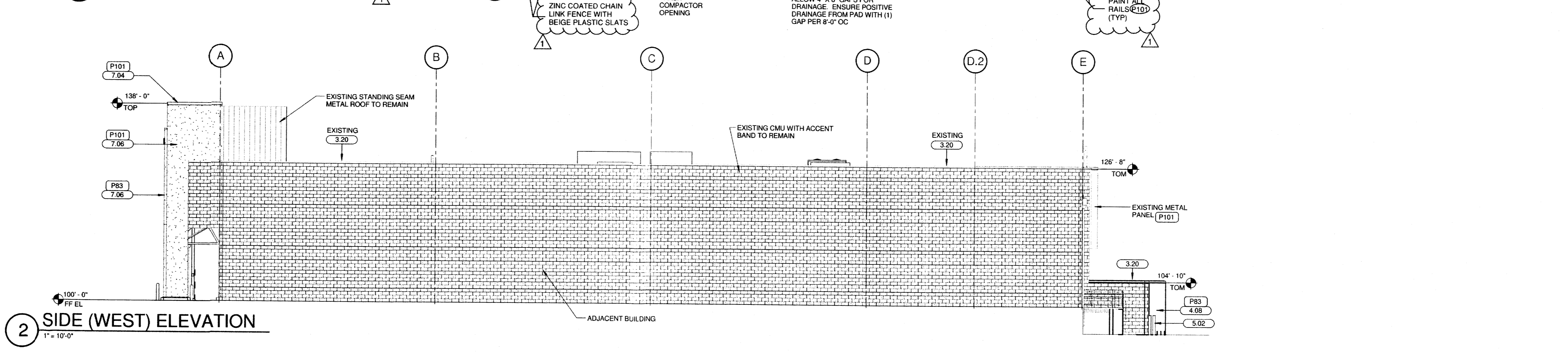
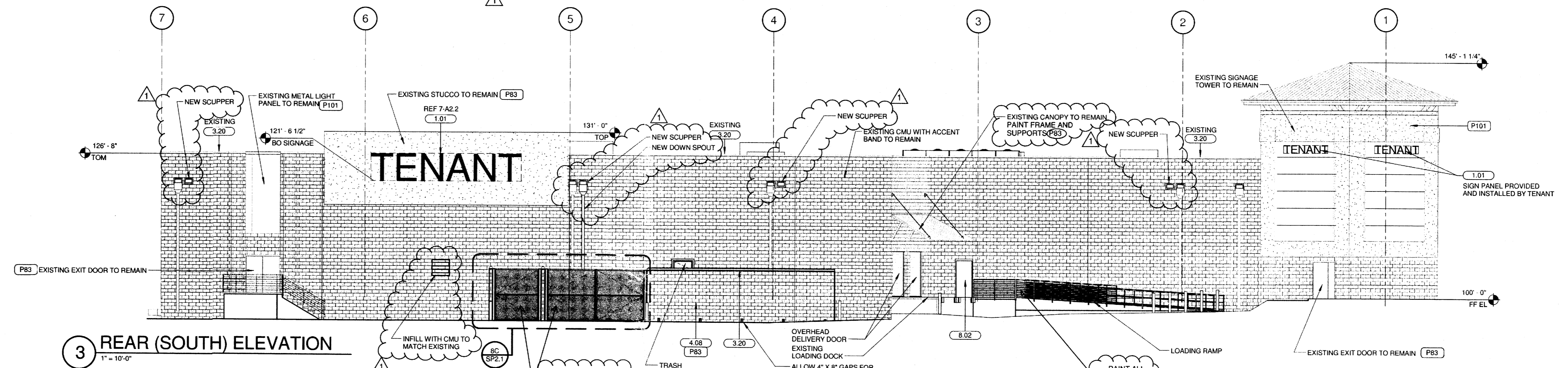
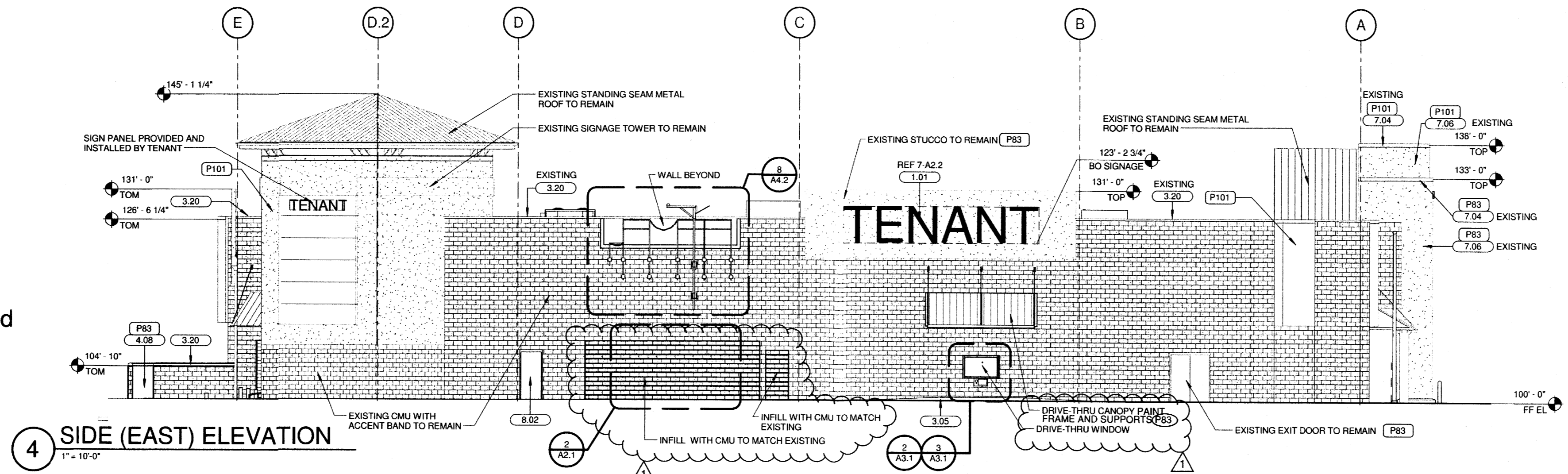
COLOR LEGEND

| | |
|------|---|
| P83 | "COBBLE BROWN" SW #5682 |
| P101 | "EXTERIOR DROMEDARY CAMEL" SW #7694 (EXT) |

- SHEET NOTES**
- DOWNSPOUTS ARE INDICATED FOR SIZE, QUANTITY, AND APPROXIMATE LOCATION ONLY
 - GUTTERS, DOWNSPOUTS, CANOPIES, HOLLOW METAL STEEL DOORS, FRAMES, EXPOSED METAL FLASHINGS AND EXPOSED MISCELLANEOUS STEEL SHALL MATCH ADJACENT BUILDING COLOR UNLESS OTHERWISE NOTED. IF THERE ARE TWO ADJACENT COLORS AT DOORS USE THE BOTTOM COLOR FOR THE ENTIRE DOOR
 - PARAPET STEPS OCCUR AT THE JIB CRANE. REF 5-A4.2 FOR FLASHING CONDITION
 - CONTRACTOR TO PROVIDE PLYWOOD BACKING FOR SIGNAGE AS SHOWN. PLYWOOD BACKING TO EXTEND 1'-0" MIN BEYOND EDGES OF SIGN
 - GRIND SPLIT FACE CMU SMOOTH AT ANY BRACKET ATTACHMENTS

KEYNOTE LEGEND

| | |
|-------|--|
| 1.01 | SIGNAGE |
| 3.05 | CONCRETE CURB |
| 3.20 | REF 3-SP2 |
| 4.08 | 4" PRECAST CONCRETE CAP |
| 5.02 | SPLIT FACE CMU |
| 7.04 | PAINTED 6" PIPE BOLLARD |
| 7.06 | METAL PARAPET COPING |
| 8.02 | WATER DRAINAGE EXTERIOR INSULATION AND FINISH SYSTEM |
| 8.09 | HOLLOW METAL DOOR AND FRAME, PAINTED |
| 8.09 | AUTOMATIC SLIDING ENTRANCE DOORS |
| 10.01 | REF 6-SP2 |
| 10.02 | REF 6-SP2 LOCKABLE FLAGPOLE CLEAT |



B | R | R

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CONSULTANTS

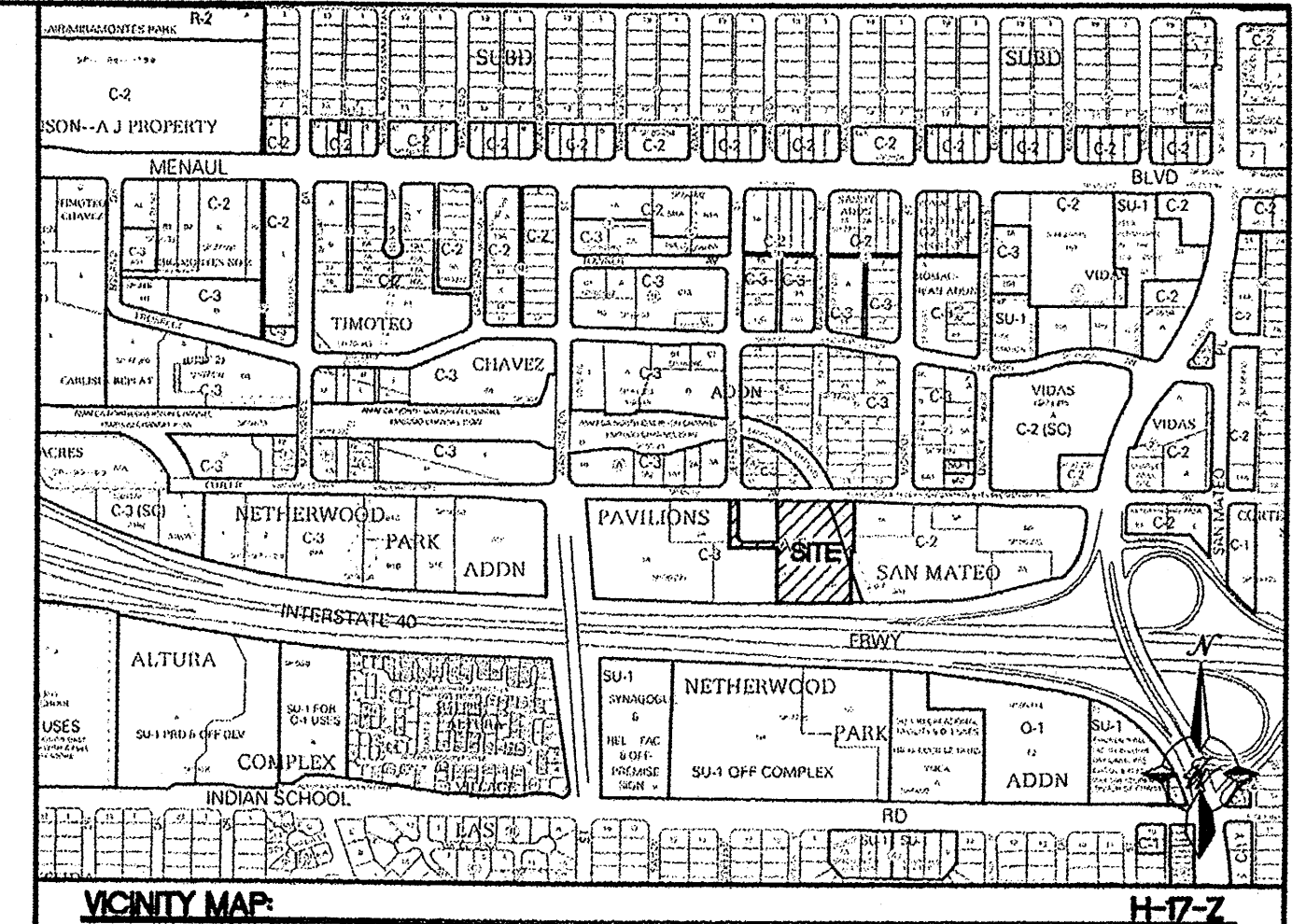
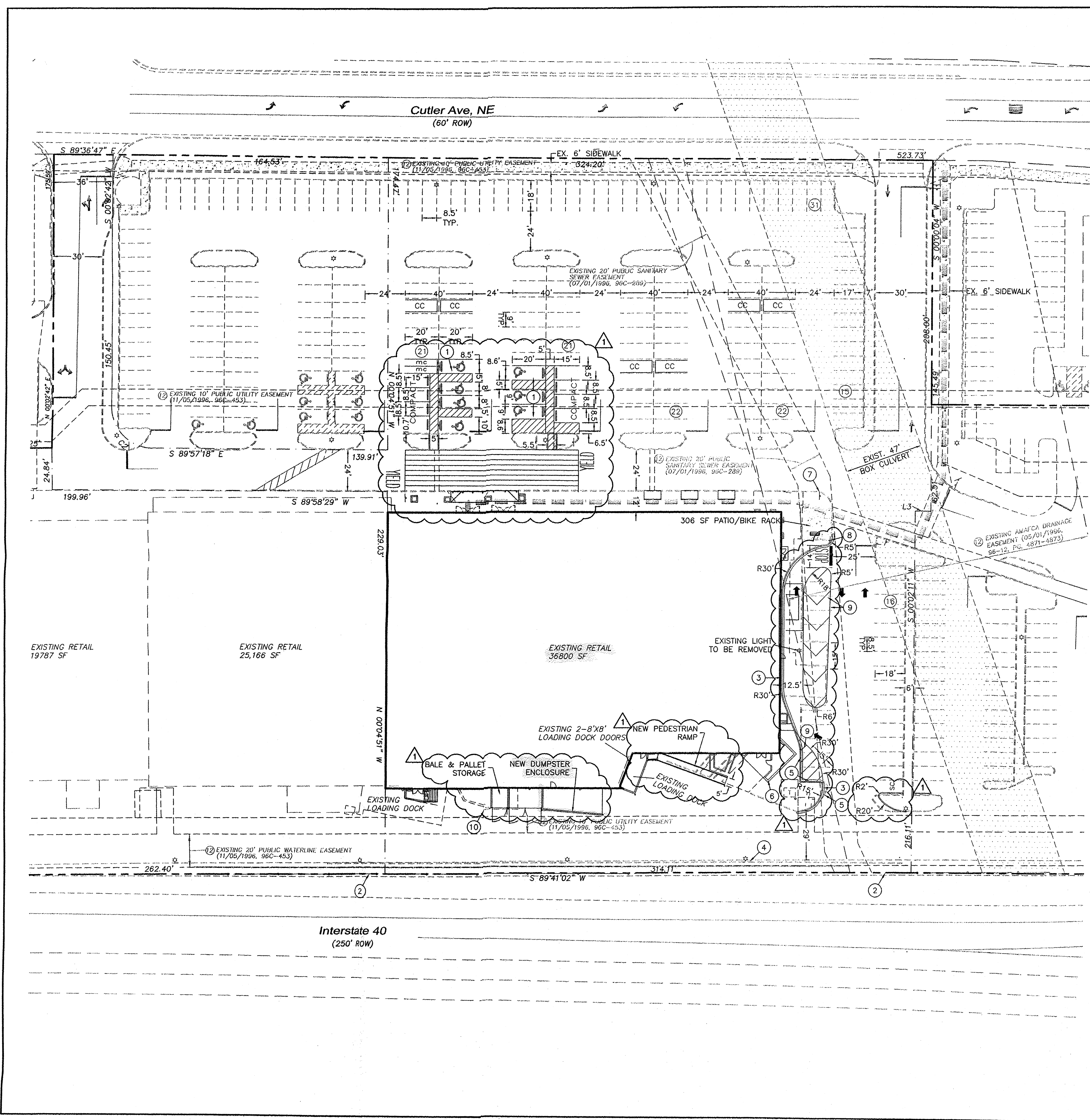
TENANT
ALBUQUERQUE (SAN MATEO), NM
JOB NUMBER: 97120135
PROJ: 41

ISSUE BLOCK

CHECKED BY:
DRAWN BY: BW
PROTO CYCLE: 042712
DOCUMENT DATE: 08/10/12

EXTERIOR ELEVATIONS

SHEET: A2



LEGAL DESCRIPTION:
A PORTION OF TRACT 3A-1 PAVILIONS AT SAN MATEO

- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - - - AREA OF CONTROL LIMITS
 - - - EASEMENT
 - - - CENTERLINE
 - - - RIGHT-OF-WAY
 - ▭ BUILDING
 - ⊙ EXISTING LIGHTS TO REMAIN
 - STRIPING
 - EXISTING CURB & GUTTER
 - EXISTING BOUNDARY LINE
 - EXISTING SIDEWALK
 - EXISTING LANE
 - EXISTING STRIPING
 - - - SAWCUT
 - ADA ACCESSIBLE ROUTE
 - ⊙ PROPOSED PARKING SPACES
 - CC CART CORRAL
 - mc MOTORCYCLE PARKING

KEYED NOTE:

- ① ACCESSIBLE PARKING SEE DETAIL SHEET C1
- ② EXISTING 6' CHAIN LINK FENCE (INTERSTATE 40 ACCESS CONTROL)
- ③ 6" CURB AND GUTTER PER COA STD DWG #2415B
- ④ EXISTING TAN CMU RETAINING WALL
- ⑤ REMOVE AND DISPOSE EXIST. CURB
- ⑥ EXISTING MONUMENT SIGNS
- ⑦ EXISTING "STOP" SIGN
- ⑧ "DO NOT ENTER" SIGN
- ⑨ 4" SOLID YELLOW STRIPING
- ⑩ EXISTING DUMPSTER ENCLOSURE TO BE REMOVED

- NOTES:**
1. CHAIN LINK FENCE EXISTS IMMEDIATELY INSIDE SOUTH PROPERTY LINE.
 2. REMOVE ALL EXISTING NON-APPLICABLE SIGNS.

NOTES FROM PLAT (11/25/1998, 98C-334)

9. TRACT 3A-1 IS SUBJECT TO A RECIPROCAL CROSS-ACCESS, CROSS-PARKING, AND CROSS-DRAINAGE EASEMENTS AS DEFINED IN THE REVISED PLAT OF PAVILIONS AT SAN MATEO RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON NOVEMBER 5, 1998, IN VOLUME 96C, FOLIO 453. FOR THE USE AND BENEFIT OF TRACTS 1A THRU 7A, MAINTENANCE OF THESE EASEMENTS SHALL BE BY TRACTS 1A THRU 7A. (REF. 2-95-092)

NOTES FROM PLAT (11/05/1996, 96C-453)

9. RECIPROCAL CROSS-ACCESS, CROSS-PARKING, AND CROSS-DRAINAGE EASEMENTS ARE PROVIDED OVER AND ACROSS TRACTS 1A THRU 7A FOR THE USE AND BENEFIT OF SOME TRACTS. MAINTENANCE OF THESE EASEMENTS SHALL BE BY SOME TRACT OWNERS (REF. 2-95-092)

10. "PRIVATE SANITARY SEWER EASEMENTS" ARE FOR THE BENEFIT OF TRACTS 1A THRU 7A. MAINTENANCE OF THESE EASEMENTS IS THE RESPONSIBILITY OF SAME TRACTS.

11. CONSTRUCTION WITHIN AMAFCA EASEMENTS WILL REQUIRE ENORCHMENT AGREEMENTS PRIOR TO CONSTRUCTION

12. PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE TO PAVILIONS AT SAN MATEO MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE VIA A REQUEST FOR A WATER AND SANITARY SEWER AVAILABILITY STATEMENT

approved *Roy Magua* SWD 10-4-2012

| NO. | DATE | REMARKS | BY |
|----------------------------------|------|---|-------------|
| 8-22-12 | | ADDED PHARMACY DRIVE-UP, MODIFIED ADA PARKING & DUMPSTERS, ADDED PEDESTRIAN RAMP | VC |
| REVISIONS | | | |
| ENGINEER'S SEAL | | THE PAVILIONS AT SAN MATEO (TRACT 3A-1) SITE PLAN FOR BUILDING PERMIT (AREA OF CONTROL) | DRAWN BY DY |
| | | DATE 5/15/12 | |
| | | 2011071-SP-AA-30' | |
| | | SHEET # C3 | |
| RONALD R. BOHANNAN P.E. #7888 | | TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com | |
| | | JOB # 2011071 | |

SOLID WASTE APPROVAL