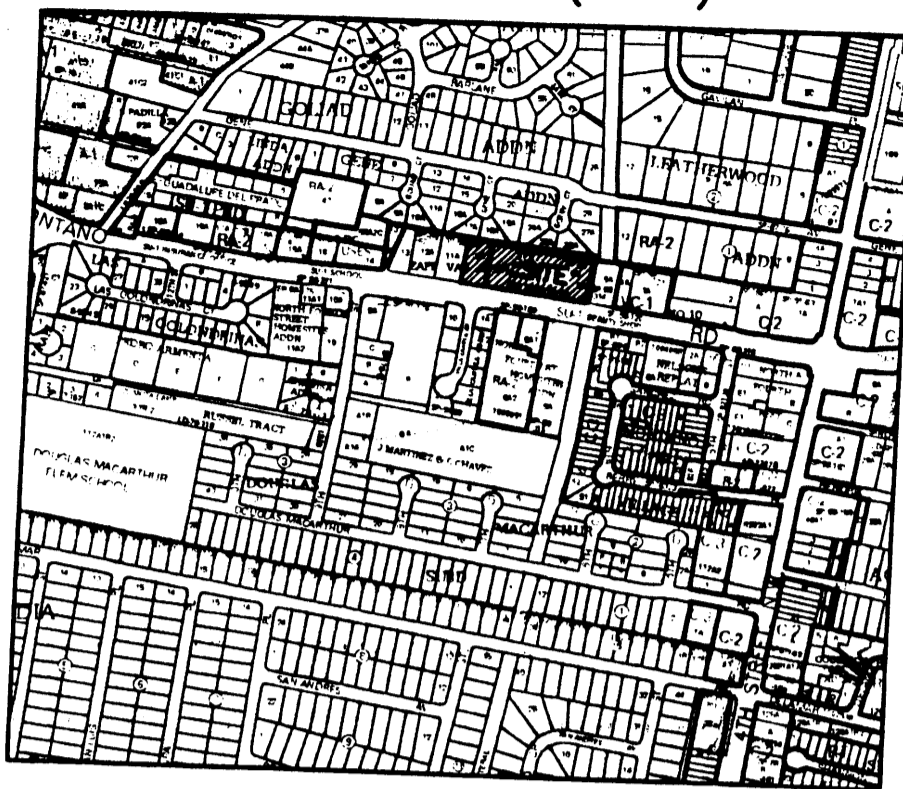


VICINITY MAP (F-14)



NO SCALE

DOCM 201003016

01/12/2010 03:47 PM Page: 1 of 2
 PLAT R 312 08 B: 2010C P: 0006 M: Toulouse Olivere, Bernalillo Cour

COUNTY CLERK RECORDING LABEL HERE

SURVEY LEGAL DESCRIPTION

Lot Numbered Nine-A (9-A) of the Zapf-Van Addition No. 10, Albuquerque, New Mexico, as the same is shown and designated on the Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on August 6, 1996, in Plat Book 96C, Page 347;

TOGETHER WITH:
 Lot Numbered Ten-A (10-A) of the Zapf-Van Addition No. 10, Albuquerque, New Mexico, as the same is shown and designated on the Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on September 6, 1988, in Plat Book C37, Page 67, and being more particularly described as follows:
 BEGINNING at the Southeast corner of the property herein described, being a point on the Northerly Right-of-way line of Montano Road, NW, from whence the ACS Monument "NM-47-8" (x=1,524,843.720, y=1,505,908.380, NMSP Central Zone, NAD 83) bears S 84° 06' 29" E, 2335.46 feet distant;
 THENCE along said Northerly Right-of-way line, N 81° 35' 59" W, 102.00 feet;
 THENCE along a curve to the left, having a radius of 5772.58 feet, a central angle of 01° 14' 38", a chord bearing N 82° 10' 12" W, 125.33 feet, along an arc length of 125.33 feet to a point of tangency;
 THENCE N 82° 48' 07" W, 281.75 feet to the Southwest corner;
 THENCE leaving said Northerly Right-of-way line, N 08° 08' 16" E, 173.54 feet to the Northwest corner;
 THENCE S 81° 33' 38" E, 508.72 feet to the Northeast corner;
 THENCE S 08° 01' 45" W, 166.04 feet to the point of beginning and containing 1.9700 acres, more or less.

PLAT OF
LOT 10-A-1
ZAPF-VAN ADDITION NO. 10
 A REPLAT OF LOTS 9-A AND 10-A
 ZAPF-VAN ADDITION NO. 10
 WITHIN PROJECTED SECTION 32
 T. 11 N., R. 3 E., N.M.P.M.
 ELENA GALLEGOS GRANT
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 DECEMBER 2009

PROJECT NUMBER: **1007922**

Application Number: **09DRB - 70387**

City Approvals:

	<u>12-15-09</u>
City Surveyor	Date
	<u>12/23/09</u>
Engineering, Transportation Division	Date
	<u>12/23/09</u>
ABCWUA	Date
	<u>12/23/09</u>
Christina Sandoval Parks and Recreation Department	Date
	<u>12/23/09</u>
Bradley L. Bingham AMAFA	Date
	<u>12/23/09</u>
Bradley L. Bingham City Engineer	Date
	<u>01-11-10</u>
DRB Chairperson, Planning Department	Date

SUBDIVISION DATA

- DRB Project No. **1007922**
 - Zone Atlas Index No. F-14
 - Gross acreage 1.9700 Ac.
 - Existing number of lots 2
Replatted number of lots 1
- LOG NO. 2009502370

PURPOSE OF PLAT

This plat has been prepared for the purpose of creating one lot from two lots.

NOTES

- Bearings shown on this plat are New Mexico State Plane Grid, Central Zone, NAD 83. Bearings and distances in parenthesis are from existing plat.
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FREE CONSENT

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Steve Shelly, Design Chair for St. Michael's All Angels Episcopal Church

12/14/09
Date

ACKNOWLEDGMENT

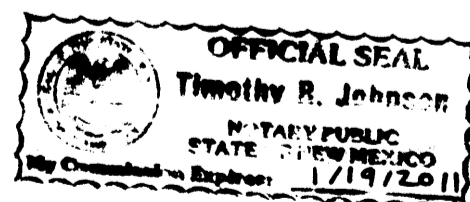
STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) ss

On this 14TH day of December, 2009, the foregoing instrument was acknowledged by Steve Shelly, Design Chair for St. Michael's All Angels Episcopal Church.

My Commission expires

1/19/2011

Notary Public



SURVEYOR'S CERTIFICATE

I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys adopted by the New Mexico State Board of Licensure for Professional Engineers and Surveyors, effective May 1, 2007 and is true and correct to the best of my knowledge and belief.

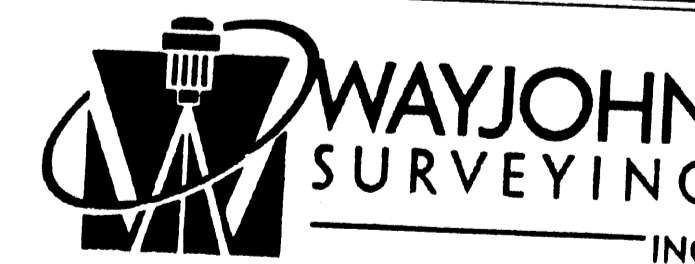
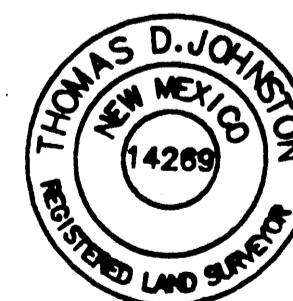
Thomas D. Johnston, N.M.P.S. No. 14269

12-14-09
Date

FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY
 THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
 UPC# 1 014 061 327 300 10122-1 014 061 352 297 10110

PROPERTY OWNER OF RECORD:
 ST. MICHAEL & ALL ANGELS EPISCOPAL CHURCH
 BERNALILLO COUNTY TREASURER'S OFFICE

1-12-10



330 LOUISIANA BLVD., N.E.
 ALBUQUERQUE, N.M. 87108
 PHONE: (505) 255-2052 FAX: (505) 255-2887

INDEXING INFORMATION FOR COUNTY CLERK

OWNER: ST. MICHAEL'S
 LOCATION: PROJ. SEC. 32
 T. 11 N., R. 3 E., N.M.P.M.
 ZAPF-VAN ADDN. NO. 10

DRAWN: T R J	SCALE: 1" = 30'	FILE NO. SP-12-01-2009
CHECKED: I D J		
DRAWING NO. SP120109.DWG	9 DEC 2009	SHEET 1 OF 2

COUNTY CLERK RECORDING LABEL HERE

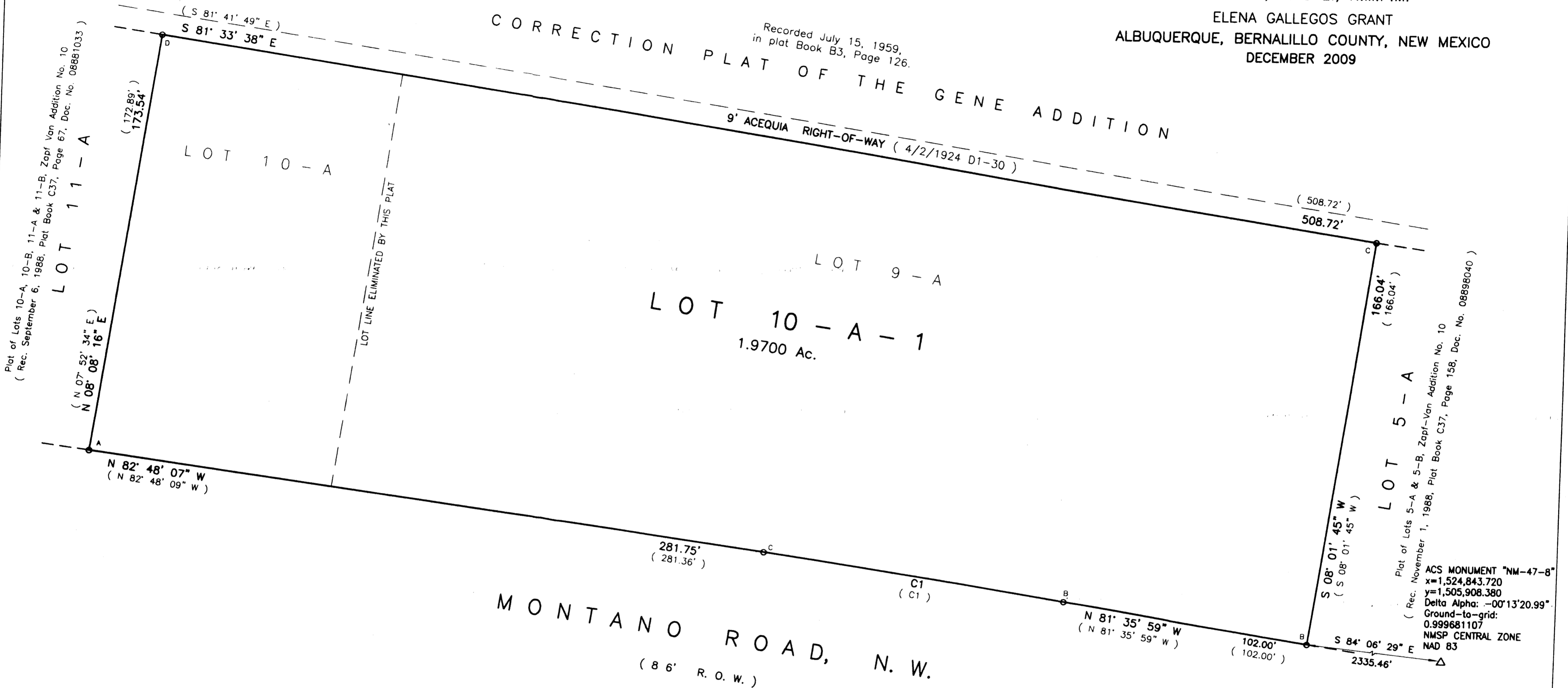
PLAT OF
LOT 10-A-1
ZAPF-VAN ADDITION NO. 10

A REPLAT OF LOTS 9-A AND 10-A
 ZAPF-VAN ADDITION NO. 10
 WITHIN PROJECTED SECTION 32
 T. 11 N., R. 3 E., N.M.P.M.

ELENA GALLEGOS GRANT
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 DECEMBER 2009

Recorded July 15, 1959,
 in plat Book B3, Page 126.

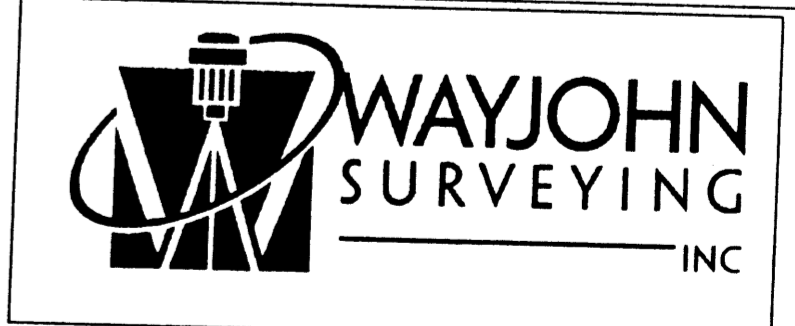
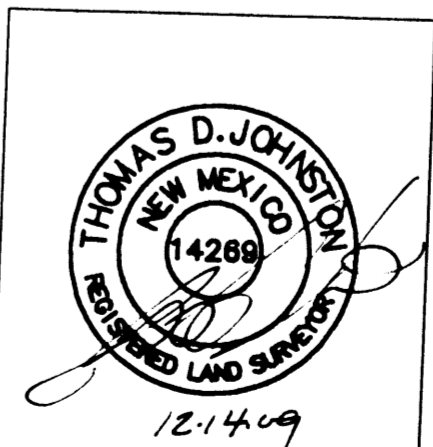
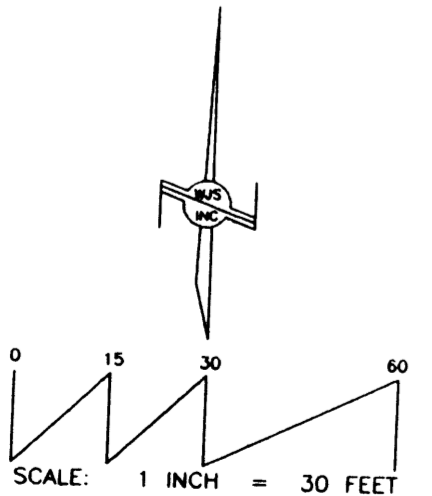
CORRECTION PLAT OF THE GENE ADDITION
 9' ACEQUIA RIGHT-OF-WAY (4/2/1924 D1-30)



ACS MONUMENT "NM-47-8"
 x=1,524,843.720
 y=1,505,908.380
 Delta Alpha: -00°13'20.99"
 Ground-to-grid:
 0.999681107
 NMSR CENTRAL ZONE
 NAD 83
 (Rec. November 1, 1988, Plat Book C37, Page 158, Doc. No. 06888040)

CURVE INFORMATION				
CURVE NO.	RADIUS	LENGTH	CENTRAL ANGLE	CHORD
C1	5772.58'	125.33'	01°14'38"	N 82°10'12" W, 125.33'
(C1)	5772.58'	125.33'	01°14'38"	N 82°10'50" W, 125.33'

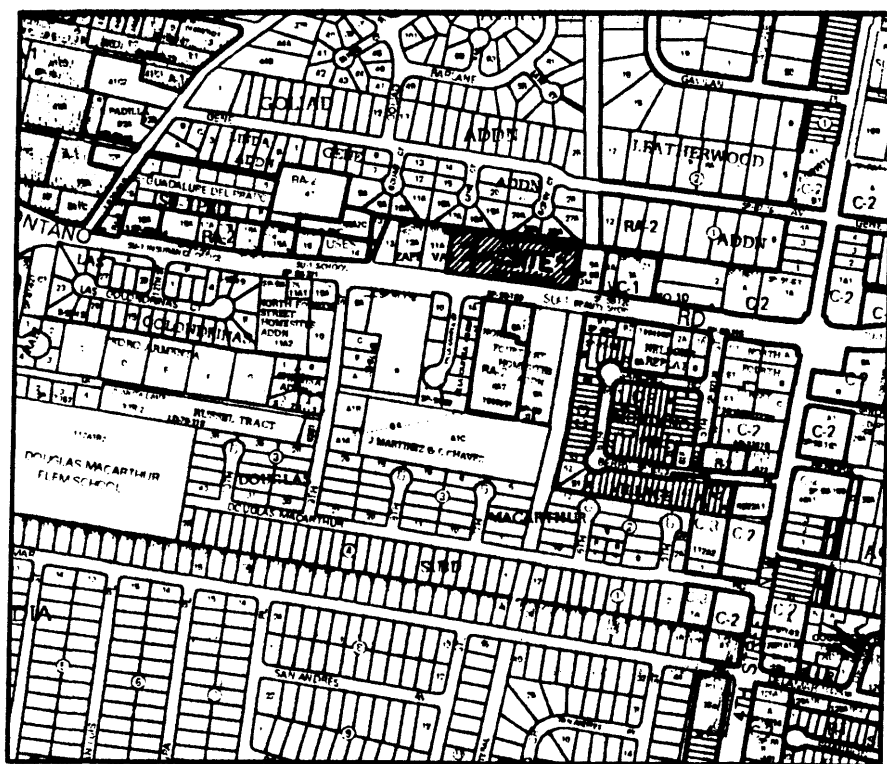
- MONUMENT LEGEND:
- A: FOUND "V" IN CONCRETE
 - B: SET "+" IN CONCRETE
 - C: 1/2" PK NAIL AND DISK "PS 14269"
 - D: SET WITNESS CORNER 1 FOOT EASTERLY ALONG NORTH BOUNDARY LINE; #4 REBAR AND CAP "PS 14269 WITNESS"



330 LOUISIANA BLVD., N.E.
 ALBUQUERQUE, N.M. 87108
 PHONE: (505) 255-2052 FAX: (505) 255-2887

INDEXING INFORMATION FOR COUNTY CLERK OWNER: ST. MICHAEL'S LOCATION: PROJ. SEC. 32 T. 11 N., R. 3 E., N.M.P.M. ZAPF-VAN ADDN. NO. 10	DRAWN: T R J	SCALE: 1" = 30'	FILE NO. SP-12-01-2009
	CHECKED: T D J		
	DRAWING NO. SP120109.DWG	9 DEC 2009	SHEET 2 OF 2

VICINITY MAP (F-14)



NO SCALE

DOCN 2010003016

01/12/2010 03:47 PM Page: 1 of 2
 PLAT P: \$12.00 B: 20100 P: 0006 N: Toulous Oliveira, Bernalillo Cour

COUNTY CLERK RECORDING LABEL HERE

SURVEY LEGAL DESCRIPTION

Lot Numbered Nine-A (9-A) of the Zapf-Van Addition No. 10, Albuquerque, New Mexico, as the same is shown and designated on the Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on August 6, 1996, in Plat Book 96C, Page 347;
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LOT 10-A-1
ZAPF-VAN ADDITION NO. 10
 A REPLAT OF LOTS 9-A AND 10-A
 ZAPF-VAN ADDITION NO. 10
 WITHIN PROJECTED SECTION 32
 T. 11 N., R. 3 E., N.M.P.M.
 ELENA GALLEGOS GRANT
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 DECEMBER 2009

PROJECT NUMBER: 1007922
 Application Number: 09DRB - 70387

City Approvals:

	<u>12-15-09</u>
City Surveyor	Date
	<u>12/23/09</u>
Engineering, Transportation Division	Date
	<u>12/23/09</u>
ABCWUA	Date
	<u>12/23/09</u>
Christina Sandoval Parks and Recreation Department	Date
	<u>12/23/09</u>
Bradley L. Bingham AMAFA	Date
	<u>12/23/09</u>
Bradley L. Bingham City Engineer	Date
	<u>12-11-10</u>
DRB Chairperson, Planning Department	Date

SUBDIVISION DATA

- DRB Project No. **1007922**
- Zone Atlas Index No. F-14
- Gross acreage 1.9700 Ac.
- Existing number of lots 2
Replatted number of lots 1

LOG NO. 2009502370

PURPOSE OF PLAT

This plat has been prepared for the purpose of creating one lot from two lots.

NOTES

- Bearings shown on this plat are New Mexico State Plane Grid, Central Zone, NAD 83. Bearings and distances in parenthesis are from existing plat.
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FREE CONSENT

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Steve Shelly, Design Chair for St. Michael's All Angels Episcopal Church
12/14/09 Date

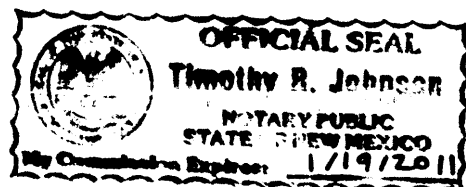
ACKNOWLEDGMENT

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) ss

On this 14th day of December, 2009, the foregoing instrument was acknowledged by Steve Shelly, Design Chair for St. Michael's All Angels Episcopal Church.

My Commission expires 1/19/2011

Notary Public



SURVEYOR'S CERTIFICATE

I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys as adopted by the New Mexico State Board of Licensure for Professional Engineers and Surveyors, effective May 1, 2007 and is true and correct to the best of my knowledge and belief.

Thomas D. Johnston, N.M.P.S. No. 14269
12-14-09 Date

FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY
 THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
 UPC# 1 014 061 327 300 10122-1 014 061 352 297 10110

PROPERTY OWNER OF RECORD:
 ST. MICHAEL & ALL ANGELS EPISCOPAL CHURCH

BERNALILLO COUNTY TREASURER'S OFFICE

 1-13-10

	330 LOUISIANA BLVD., N.E. ALBUQUERQUE, N.M. 87108 PHONE: (505) 255-2052 FAX: (505) 255-2887	
INDEXING INFORMATION FOR COUNTY CLERK OWNER: ST. MICHAEL'S LOCATION: PROJ. SEC. 32 T.11 N., R.3 E., N.M.P.M. ZAPF-VAN ADDN. NO. 10	DRAWN: T R J CHECKED: I D J DRAWING NO. SP120109.DWG	SCALE: 1" = 30' FILE NO. SP-12-01-2009 SHEET 1 OF 2

DOCH 201003016

01/12/2010 03:47 PM Page: 2 of 2
PLAT R: \$12.00 B: 2010C P: 0006 M. Toulous Olivere, Bernalillo Cour

COUNTY CLERK RECORDING LABEL HERE

PLAT OF LOT 10-A-1 ZAPF-VAN ADDITION NO. 10

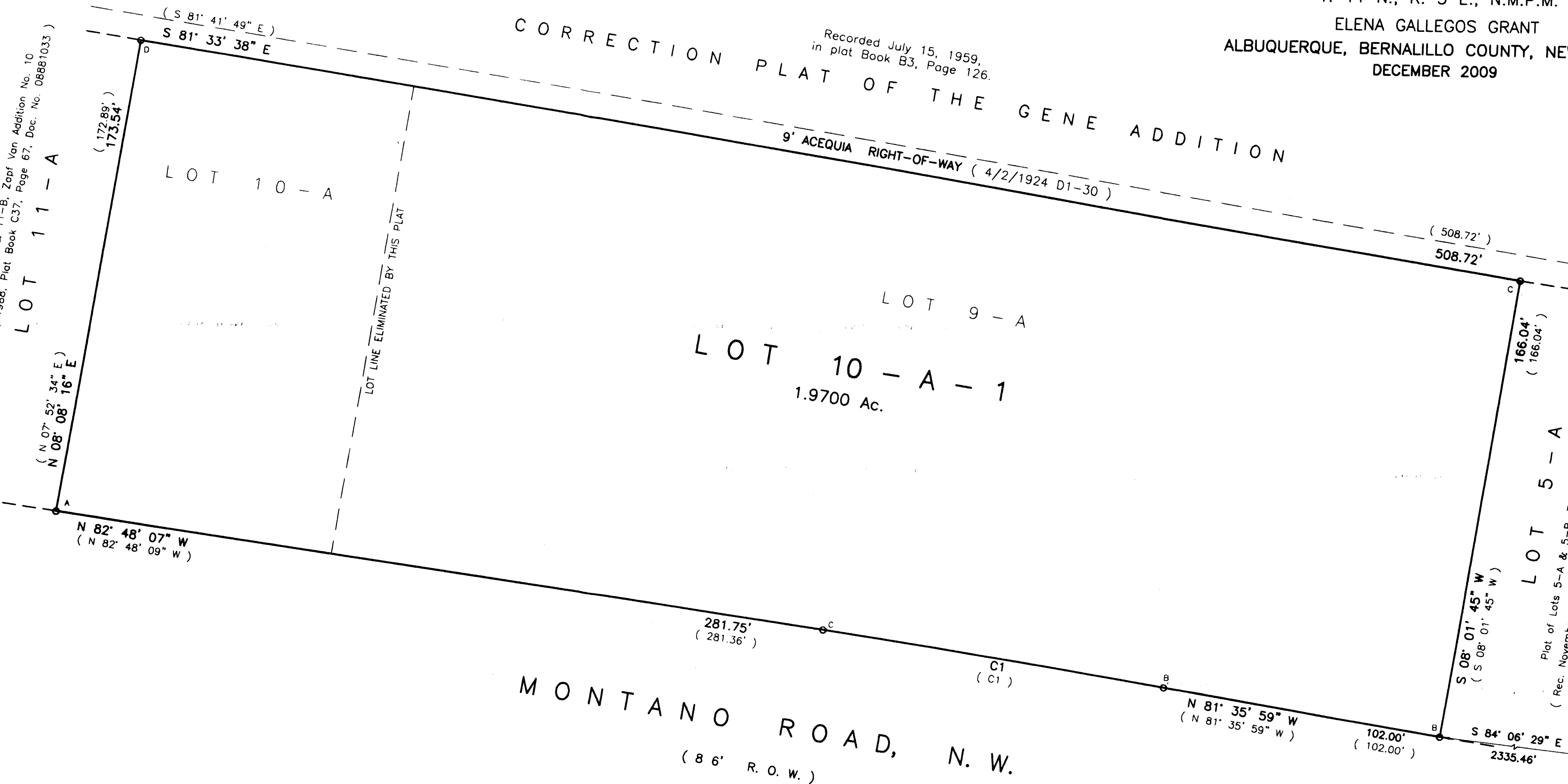
A REPLAT OF LOTS 9-A AND 10-A
ZAPF-VAN ADDITION NO. 10
WITHIN PROJECTED SECTION 32
T. 11 N., R. 3 E., N.M.P.M.

ELENA GALLEGOS GRANT
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
DECEMBER 2009

Recorded July 15, 1959,
in plat Book B3, Page 126.

CORRECTION PLAT OF THE GENE ADDITION

9' ACEQUIA RIGHT-OF-WAY (4/2/1924 D1-30)

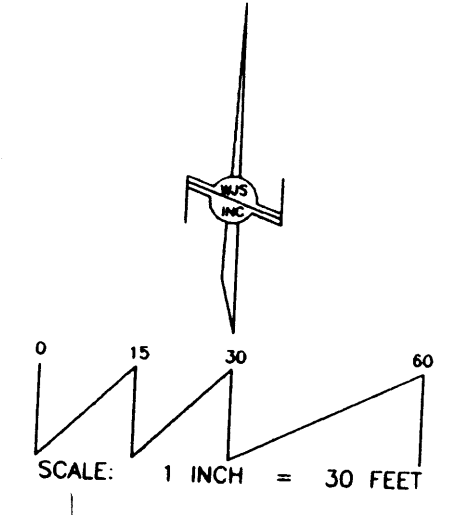


ACS MONUMENT "NM-47-8"
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 y=1,505,908.380
 Delta Alpha: -00°13'20.99"
 Ground-to-grid:
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 NMSF CENTRAL ZONE
 NAD 83

Plat of Lots 10-A, 10-B, 11-A & 11-B, Zapf Van Addition No. 10
 (Rec. September 6, 1988, Plat Book C37, Page 67, Doc. No. 06881033)

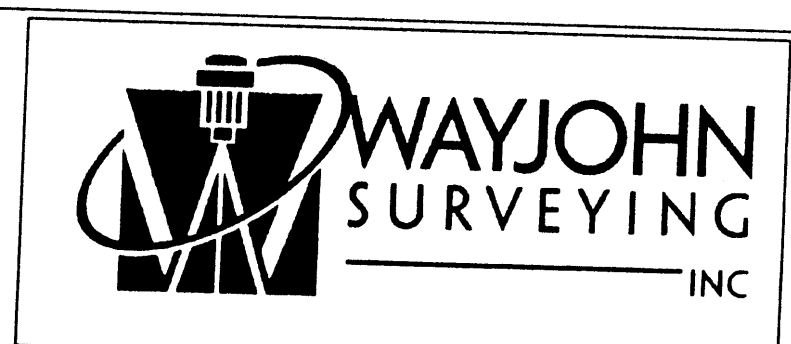
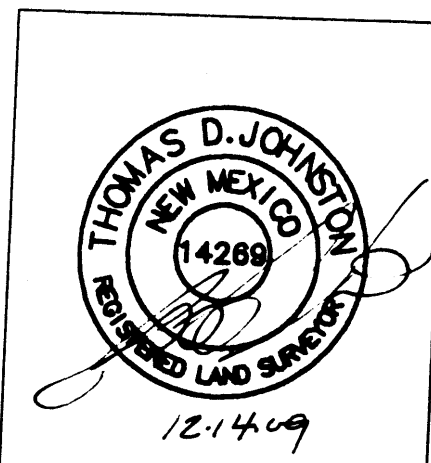
LOT LINE ELIMINATED BY THIS PLAT

MONTANO ROAD, N. W.
 (86' R. O. W.)



CURVE INFORMATION				
CURVE NO.	RADIUS	LENGTH	CENTRAL ANGLE	CHORD
C1	5772.58'	125.33'	01°14'38"	N 82°10'12" W, 125.33'
(C1)	5772.58'	125.33'	01°14'38"	N 82°10'50" W, 125.33'

MONUMENT LEGEND:
 A: FOUND "V" IN CONCRETE
 B: SET "+" IN CONCRETE
 C: 1" PK NAIL AND DISK "PS 14269"
 D: SET WITNESS CORNER 1 FOOT EASTERLY
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 AND CAP "PS 14269 WITNESS"

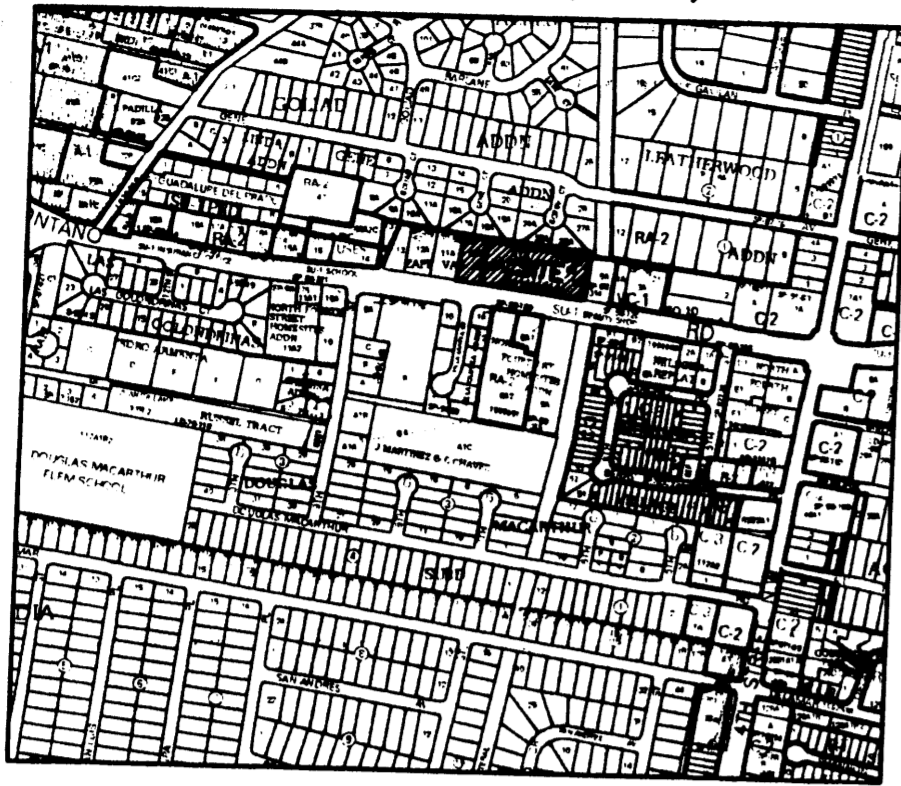


330 LOUISIANA BLVD., N.E.
 ALBUQUERQUE, N.M. 87108
 PHONE: (505) 255-2052 FAX: (505) 255-2887

INDEXING INFORMATION FOR COUNTY CLERK
 OWNER: ST. MICHAEL'S
 LOCATION: PROJ. SEC. 32
 T. 11 N., R. 3 E., N.M.P.M.
 ZAPF-VAN ADDN. NO. 10

DRAWN: T R J	SCALE: 1" = 30'	FILE NO. SP-12-01-2009
CHECKED: T D J		
DRAWING NO. SP120109.DWG	9 DEC 2009	SHEET 2 OF 2

VICINITY MAP (F-14)



NO SCALE

DOC# 201003016
 01/12/2010 03:47 PM Page: 1 of 2
 PLAT R: \$12.00 B: 20100 P: 0006 M: Toulouse Olivere, Bernalillo Cour
 COUNTY CLERK RECORDING LABEL HERE

PLAT OF
LOT 10-A-1
ZAPF-VAN ADDITION NO. 10
 A REPLAT OF LOTS 9-A AND 10-A
 ZAPF-VAN ADDITION NO. 10
 WITHIN PROJECTED SECTION 32
 T. 11 N., R. 3 E., N.M.P.M.
ELENA GALLEGOS GRANT
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
DECEMBER 2009

PROJECT NUMBER: **1007922**
 Application Number: **09DRB - 70387**

SUBDIVISION DATA

1. DRB Project No. **1007922**
2. Zone Atlas Index No. F-14
3. Gross acreage 1.9700 Ac.
4. Existing number of lots 2
 Replatted number of lots 1
 LOG NO. 2009502370

PURPOSE OF PLAT

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Steve Shelly

Steve Shelly, Design Chair for St. Michael's All Angels Episcopal Church
 12/14/09 Date

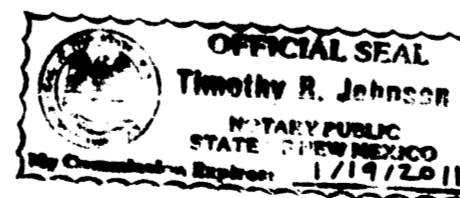
ACKNOWLEDGMENT

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) ss

On this 14TH day of December, 2009, the foregoing instrument was acknowledged by Steve Shelly, Design Chair for St. Michael's All Angels Episcopal Church.

My Commission expires 1/19/2011

Timothy R. Johnson
 Notary Public



City Approvals:

<i>W. B. Hat</i> City Surveyor	12-15-09 Date
<i>KLDS</i> Engineering, Transportation Division	12/23/09 Date
<i>Pop & Sherr</i> ABCWUA	12/23/09 Date
<i>Christina Sandoval</i> Parks and Recreation Department	12/23/09 Date
<i>Bradley L. Bingham</i> AMAFCA	12/23/09 Date
<i>Bradley L. Bingham</i> City Engineer	12/23/09 Date
<i>Carl P...</i> DRB Chairperson, Planning Department	12-11-09 Date

SURVEYOR'S CERTIFICATE

I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys as adopted by the New Mexico State Board of Licensure for Professional Engineers and Surveyors, effective May 1, 2007 and is true and correct to the best of my knowledge and belief.

Thomas D. Johnston
 Thomas D. Johnston, N.M.P.S. No. 14269

12-14-09
 Date

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 THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
 UPC# 1 014 061 327 300 10122-1 014 061 352 297 10110

PROPERTY OWNER OF RECORD:
 ST. MICHAEL & ALL ANGELS EPISCOPAL CHURCH

BERNALILLO COUNTY TREASURER'S OFFICE
Gay Padell 1-13-10

	330 LOUISIANA BLVD., N.E. ALBUQUERQUE, N.M. 87108 PHONE: (505) 255-2052 FAX: (505) 255-2887	
INDEXING INFORMATION FOR COUNTY CLERK OWNER: ST. MICHAEL'S LOCATION: PROJ. SEC. 32 T.11 N., R.3 E., N.M.P.M. ZAPF-VAN ADDN. NO. 10	DRAWN: T R J CHECKED: I D J DRAWING NO. SP120109.DWG	SCALE: 1" = 30' FILE NO. SP-12-01-2009 SHEET 1 OF 2

DOCH 201003016

01/12/2010 03:47 PM Page 2 of 2
 PLAT R 512 06 9: 2010C P. 0006 H. Tulous Olivere, Bernalillo Cour

COUNTY CLERK RECORDING LABEL HERE

PLAT OF
LOT 10-A-1
ZAPF-VAN ADDITION NO. 10

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 WITHIN PROJECTED SECTION 32
 T. 11 N., R. 3 E., N.M.P.M.

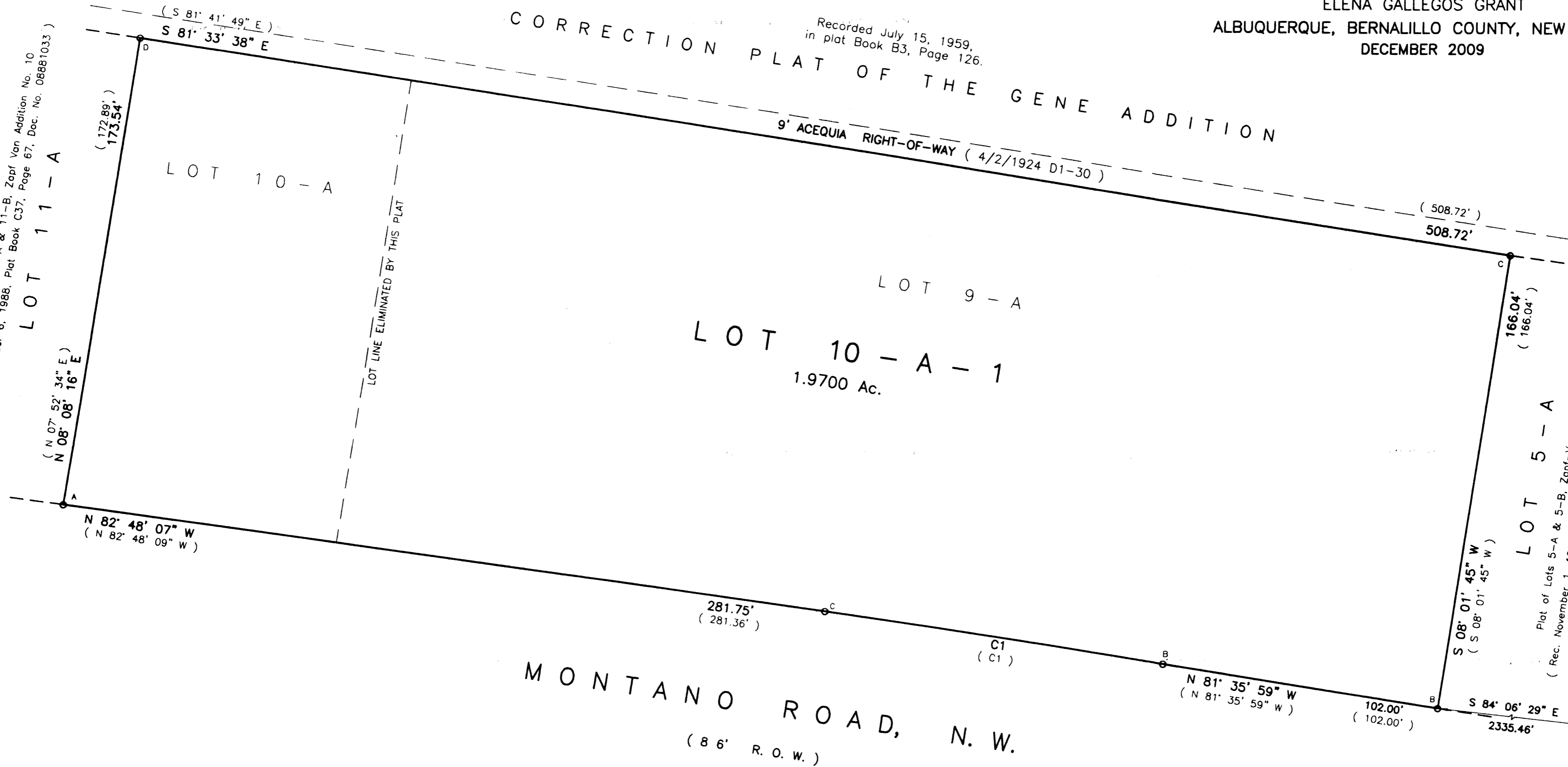
ELENA GALLEGOS GRANT
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 DECEMBER 2009

Recorded July 15, 1959,
 in plat Book B3, Page 126.

CORRECTION PLAT OF THE GENE ADDITION

9' ACEQUIA RIGHT-OF-WAY (4/2/1924 D1-30)

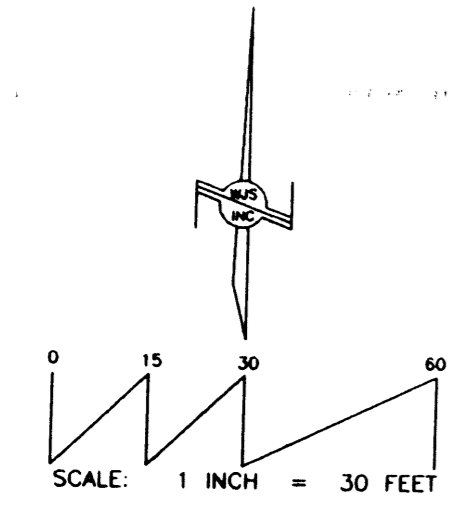
Plot of Lots 10-A, 10-B, 11-A & 11-B, Zapf Van Addition No. 10
 (Rec. September 6, 1988, Plat Book C37, Page 67, Doc. No. 08861033)



Plot of Lots 5-A & 5-B, Zapf-Van Addition No. 10
 (Rec. November 1, 1988, Plat Book C37, Page 158, Doc. No. 08898040)

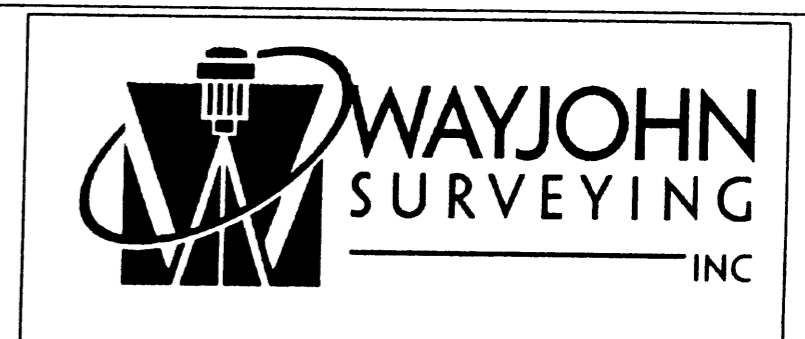
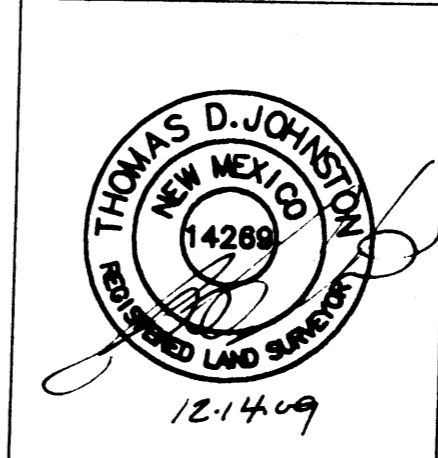
ACS MONUMENT "NM-47-8"
 x=1,524,843.720
 y=1,505,908.380
 Delta Alpha: -00°13'20.99"
 Ground-to-grid:
 0.999681107
 NMSP CENTRAL ZONE
 NAD 83

MONTANO ROAD, N.W.
 (86' R.O.W.)



CURVE INFORMATION				
CURVE NO.	RADIUS	LENGTH	CENTRAL ANGLE	CHORD
C1	5772.58'	125.33'	01°14'38"	N 82°10'12" W, 125.33'
(C1)	5772.58'	125.33'	01°14'38"	N 82°10'50" W, 125.33'

- MONUMENT LEGEND:
- A: FOUND "V" IN CONCRETE
 - B: SET "+" IN CONCRETE
 - C: SET PK NAIL AND DISK "PS 14289"
 - D: SET WITNESS CORNER 1 FOOT EASTERLY ALONG NORTH BOUNDARY LINE; #4 REBAR AND CAP "PS 14289 WITNESS"



330 LOUISIANA BLVD., N.E.
 ALBUQUERQUE, N.M. 87108
 PHONE: (505) 255-2052 FAX: (505) 255-2887

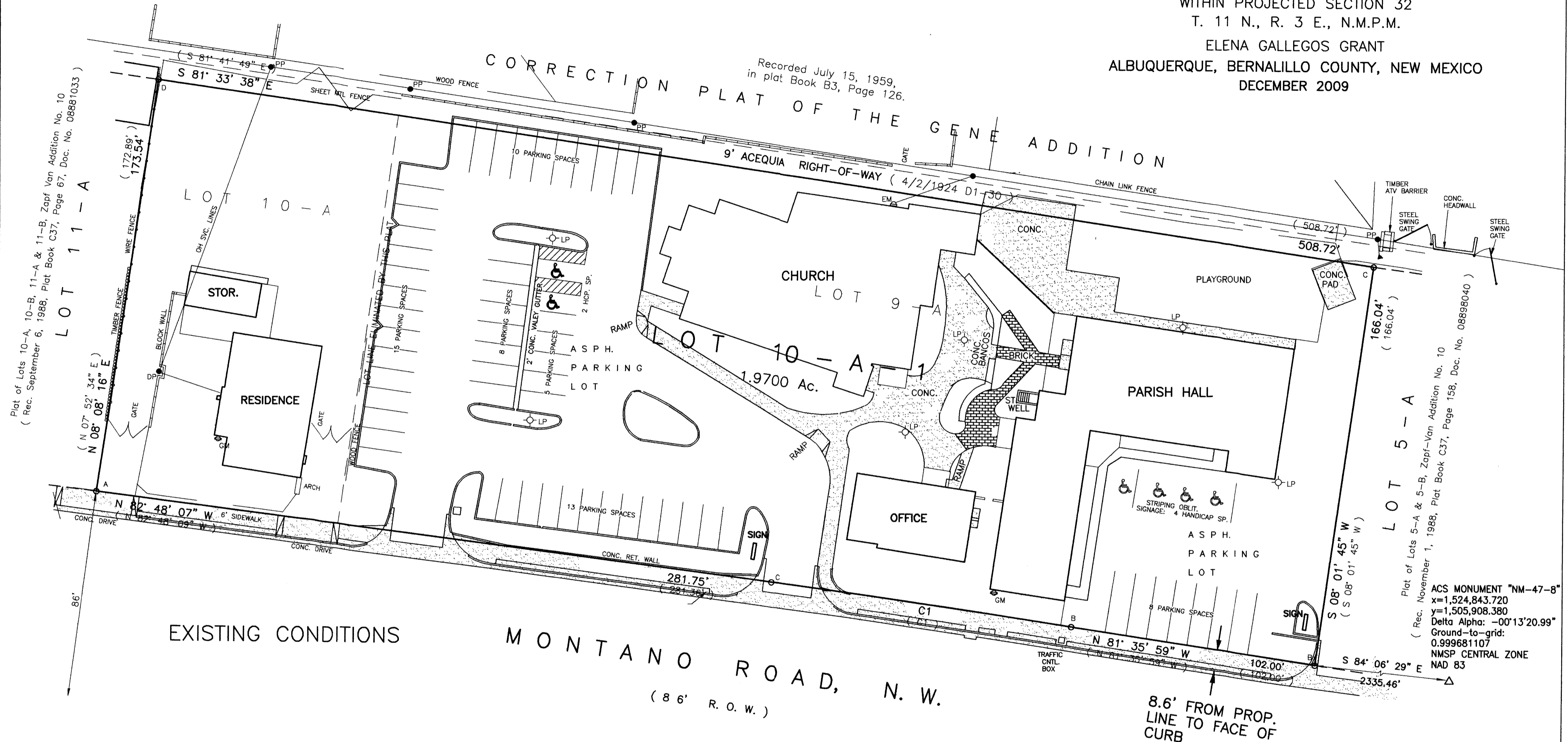
INDEXING INFORMATION FOR COUNTY CLERK OWNER: ST. MICHAEL'S LOCATION: PROJ. SEC. 32 T. 11 N., R. 3 E., N.M.P.M. ZAPF-VAN ADDN. NO. 10	DRAWN: T R J	SCALE: 1" = 30'	FILE NO. SP-12-01-2009
	CHECKED: T D J		
	DRAWING NO. SP120109.DWG	9 DEC 2009	SHEET 2 OF 2

PLAT OF
LOT 10-A-1
ZAPF-VAN ADDITION NO. 10

A REPLAT OF LOTS 9-A AND 10-A
 ZAPF-VAN ADDITION NO. 10
 WITHIN PROJECTED SECTION 32
 T. 11 N., R. 3 E., N.M.P.M.

ELENA GALLEGOS GRANT
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 DECEMBER 2009

COUNTY CLERK RECORDING LABEL HERE



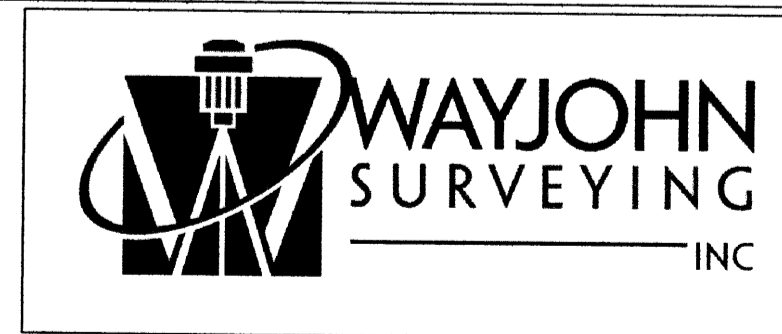
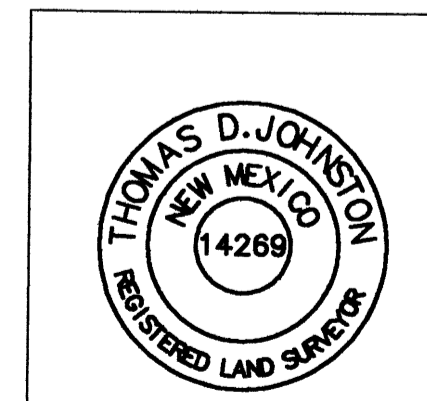
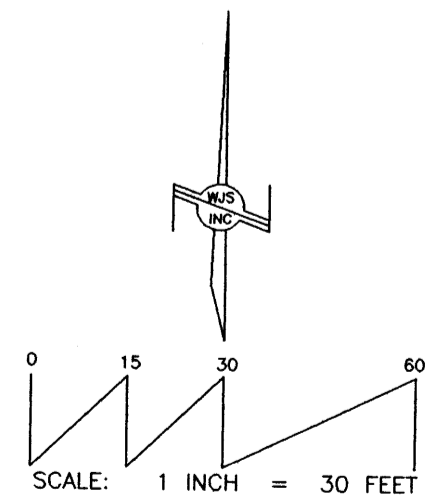
EXISTING CONDITIONS

MONTANO ROAD, N. W.
 (8.6' R. O. W.)

8.6' FROM PROP. LINE TO FACE OF CURB

CURVE INFORMATION				
CURVE NO.	RADIUS	LENGTH	CENTRAL ANGLE	CHORD
C1	5772.58'	125.33'	01°14'38"	N 82°10'12" W, 125.33'
(C1)	5772.58'	125.33'	01°14'38"	N 82°10'50" W, 125.33'

- o MONUMENT LEGEND:
- A: FOUND "v" IN CONCRETE
 - B: SET "+" IN CONCRETE
 - C: SET PK NAIL AND DISK "PS 14269"
 - D: SET WITNESS CORNER 1 FOOT EASTERLY ALONG NORTH BOUNDARY LINE; #4 REBAR AND CAP "PS 14269 WITNESS"

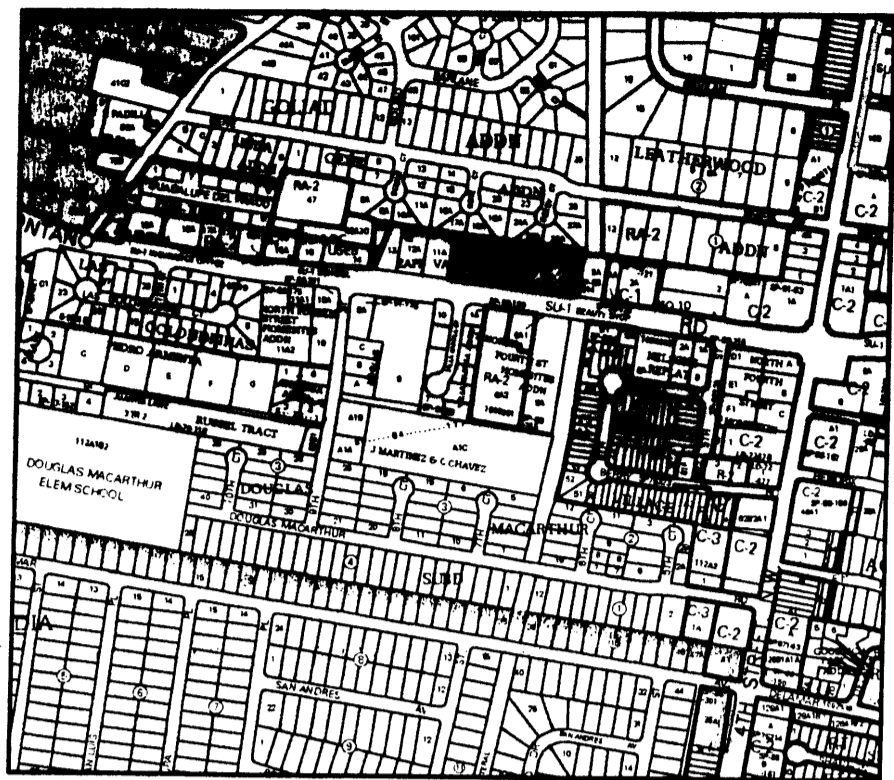


330 LOUISIANA BLVD., N.E.
 ALBUQUERQUE, N.M. 87108
 PHONE: (505) 255-2052 FAX: (505) 255-2887

INDEXING INFORMATION FOR COUNTY CLERK
 OWNER: ST. MICHAEL'S
 LOCATION: PROJ. SEC. 32
 T.11 N., R.3 E., N.M.P.M.
 ZAPF-VAN ADDN. NO. 10

DRAWN: T R J	SCALE: 1" = 30'	FILE NO. SP-12-01-2009
CHECKED: T D J	9 DEC 2009	SHEET 2 OF 2
DRAWING NO. SP120109.DWG		

VICINITY MAP (F-14)



NO SCALE

COUNTY CLERK RECORDING LABEL HERE

SURVEY LEGAL DESCRIPTION

Lot Numbered Nine-A (9-A) of the Zapf-Van Addition No. 10, Albuquerque, New Mexico, as the same is shown and designated on the Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on August 6, 1996, in Plat Book 96C, Page 347;
TOGETHER WITH:

Lot Numbered Ten-A (10-A) of the Zapf-Van Addition No. 10, Albuquerque, New Mexico, as the same is shown and designated on the Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on September 6, 1988, in Plat Book C37, Page 67, and being more particularly described as follows:
BEGINNING at the Southeast corner of the property herein described, being a point on the Northerly Right-of-way line of Montano Road, NW, from whence the ACS Monument "NM-47-8" (x=1,524,843.720, y=1,505,908.380, NMS Central Zone, NAD 83) bears S 84° 06' 29" E, 2335.46 feet distant;
THENCE along said Northerly Right-of-way line, N 81° 35' 59" W, 102.00 feet;
THENCE along a curve to the left, having a radius of 5772.58 feet, a central angle of 01° 14' 38", a chord bearing N 82° 10' 12" W, 125.33 feet, along an arc length of 125.33 feet to a point of tangency;
THENCE N 82° 48' 07" W, 281.75 feet to the Southwest corner;
THENCE leaving said Northerly Right-of-way line, N 08° 08' 16" E, 173.54 feet to the Northwest corner;
THENCE S 81° 33' 38" E, 508.72 feet to the Northeast corner;
THENCE S 08° 01' 45" W, 166.04 feet to the point of beginning and containing 1.9700 acres, more or less.

PLAT OF
LOT 10-A-1
ZAPF-VAN ADDITION NO. 10
A REPLAT OF LOTS 9-A AND 10-A
ZAPF-VAN ADDITION NO. 10
WITHIN PROJECTED SECTION 32
T. 11 N., R. 3 E., N.M.P.M.
ELENA GALLEGOS GRANT
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
DECEMBER 2009

PROJECT NUMBER: _____

Application Number: _____

City Approvals:

John B. Hat 12-15-09
City Surveyor Date

Traffic Engineering, Transportation Division Date

ABCWUA Date

Parks and Recreation Department Date

AMAFCA Date

City Engineer Date

DRB Chairperson, Planning Department Date

SUBDIVISION DATA

1. DRB Project No.
 2. Zone Atlas Index No. F-14
 3. Gross acreage 1.9700 Ac.
 4. Existing number of lots 2
Replatted number of lots 1
- LOG NO. 2009502370

PURPOSE OF PLAT

This plat has been prepared for the purpose of creating one lot from two lots.

NOTES

1. Bearings shown on this plat are New Mexico State Plane Grid, Central Zone, NAD 83. Bearings and distances in parenthesis are from existing plat.
2. Perimeter distances are field measurements made on the ground.
3. Monuments recovered and accepted or reset are noted on inscribed plat.
4. No property within the area of requested plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat.

FREE CONSENT

The platting of the property as described above is with the free consent and in accordance with the desires of the undersigned owner. Said owner warrants that he holds complete and indefeasible title in fee simple to the land subdivided.

Steve Shelly 12/14/09
Steve Shelly, Design Chair for St. Michael's All Angels Episcopal Church Date

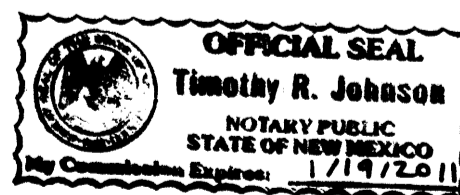
ACKNOWLEDGMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) ss

On this 14TH day of December, 2009, the foregoing instrument was acknowledged by Steve Shelly, Design Chair for St. Michael's All Angels Episcopal Church.

My Commission expires 1/19/2011

Timothy R. Johnson
Notary Public



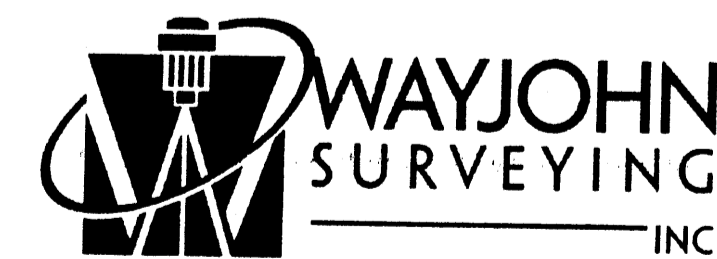
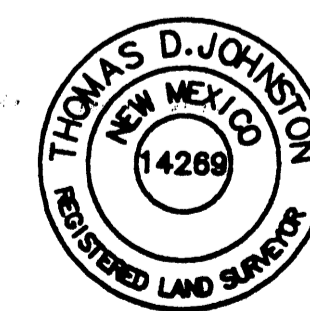
SURVEYOR'S CERTIFICATE

I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys as adopted by the New Mexico State Board of Licensure for Professional Engineers and Surveyors, effective May 1, 2007 and is true and correct to the best of my knowledge and belief.

Thomas D. Johnston 12-14-09
Thomas D. Johnston, N.M.P.S. No. 14269 Date

FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
UPC# 1 014 061 327 300 10122, 1 014 061 352 297 10110

PROPERTY OWNER OF RECORD:
ST. MICHAEL & ALL ANGELS EPISCOPAL CHURCH
BERNALILLO COUNTY TREASURER'S OFFICE



330 LOUISIANA BLVD., N.E.
ALBUQUERQUE, N.M. 87108
PHONE: (505) 255-2052 FAX: (505) 255-2887

INDEXING INFORMATION FOR COUNTY CLERK OWNER: ST. MICHAEL'S LOCATION: PROJ. SEC. 32 T.11 N., R.3 E., N.M.P.M. ZAPF-VAN ADDN. NO. 10	DRAWN: T R J	SCALE: 1" = 30'	FILE NO. SP-12-01-2009
	CHECKED: T D J	DRAWING NO. SP120109.DWG	SHEET 2 OF 2

COUNTY CLERK RECORDING LABEL HERE

PLAT OF
LOT 10-A-1
ZAPF-VAN ADDITION NO. 10

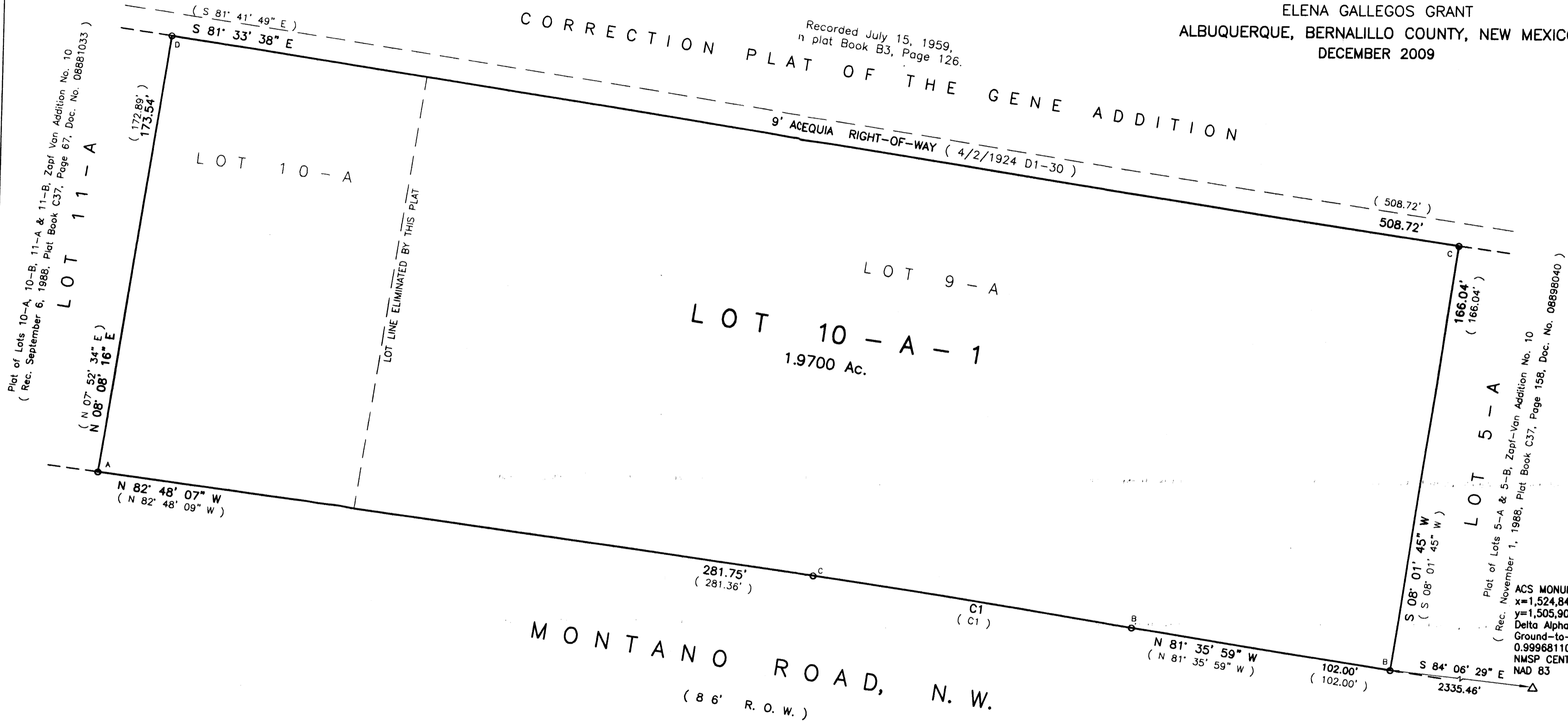
A REPLAT OF LOTS 9-A AND 10-A
 ZAPF-VAN ADDITION NO. 10
 WITHIN PROJECTED SECTION 32
 T. 11 N., R. 3 E., N.M.P.M.

ELENA GALLEGOS GRANT
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 DECEMBER 2009

Recorded July 15, 1959,
 in plat Book B3, Page 126.

CORRECTION PLAT OF THE GENE ADDITION

9' ACEQUIA RIGHT-OF-WAY (4/2/1924 D1-30)

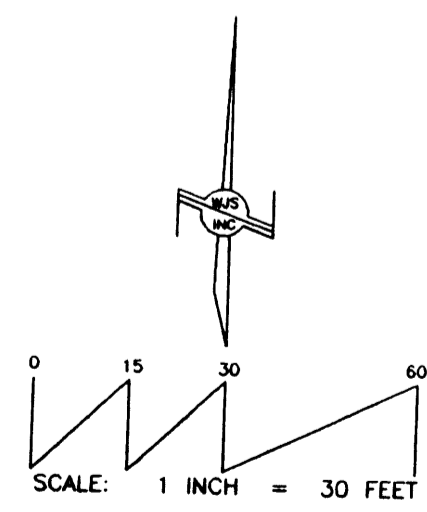


Plat of Lots 10-A, 10-B, 11-A & 11-B, Zapf Van Addition No. 10
 (Rec. September 6, 1988, Plat Book C37, Page 67, Doc. No. 08881033)

Plat of Lots 5-A & 5-B, Zapf-Van Addition No. 10
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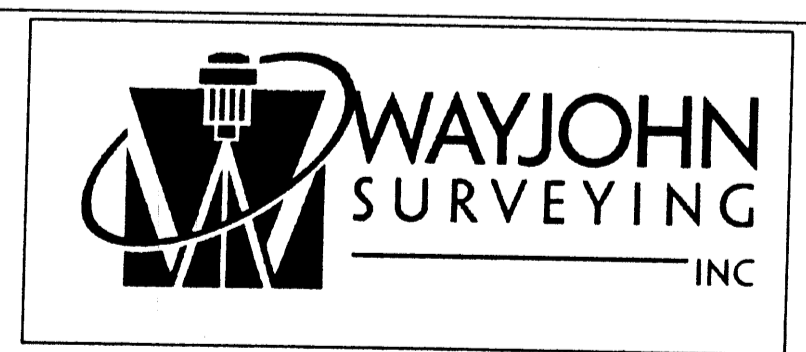
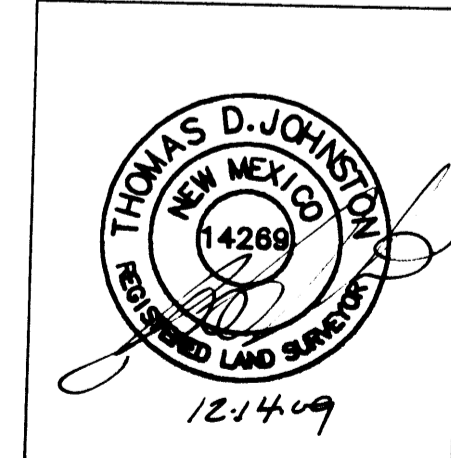
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 NMSP CENTRAL ZONE
 NAD 83

MONTANO ROAD, N.W.
 (86' R.O.W.)



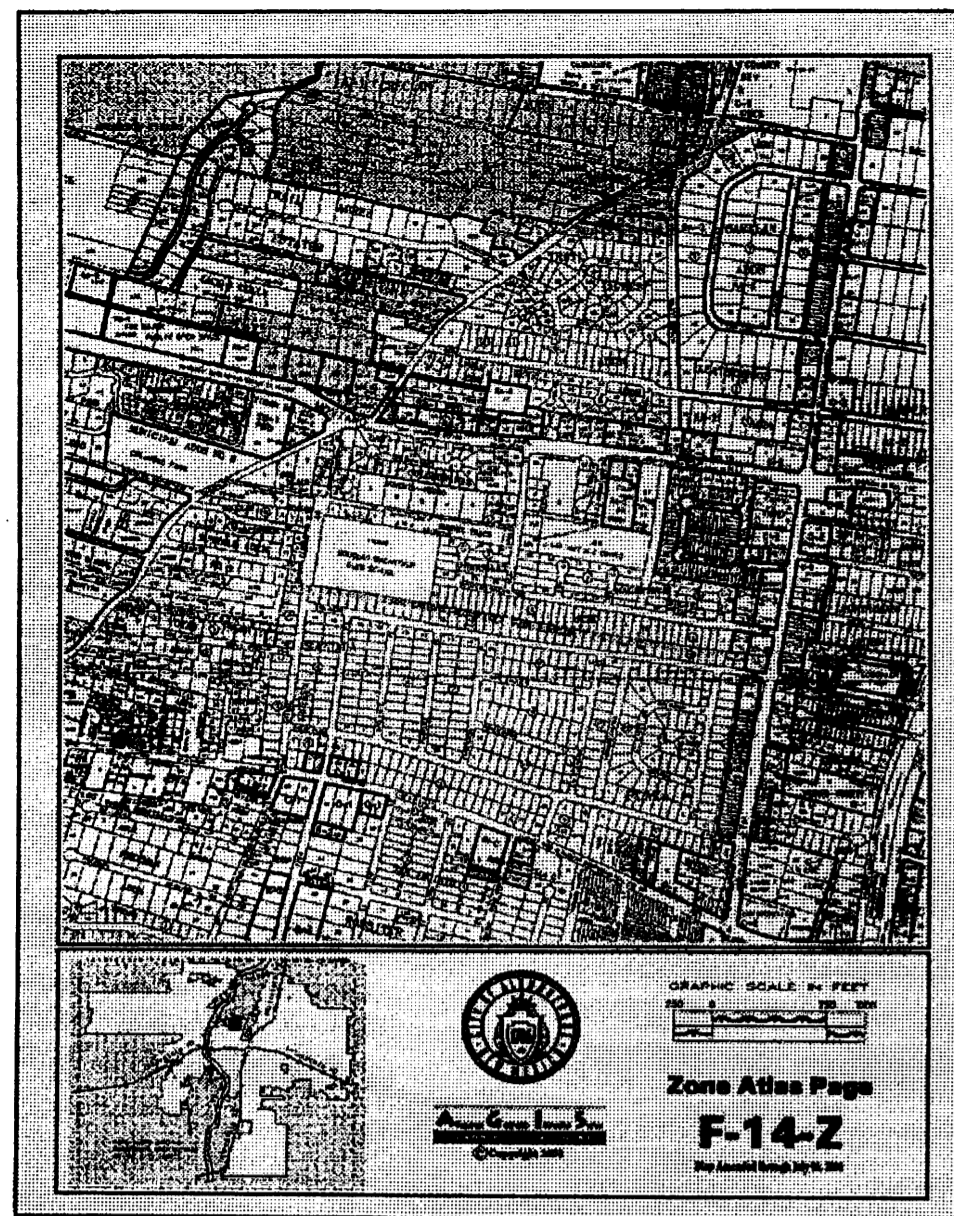
CURVE INFORMATION				
CURVE NO.	RADIUS	LENGTH	CENTRAL ANGLE	CHORD
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 - B: SET "X" IN CONCRETE
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INDEXING INFORMATION FOR COUNTY CLERK OWNER: ST. MICHAEL'S LOCATION: PROJ. SEC. 32 T.11 N., R.3 E., N.M.P.M. ZAPF-VAN ADDN. NO. 10	DRAWN: T R J	SCALE: 1" = 30'	FILE NO. SP-12-01-2009
	CHECKED: T D J		
	DRAWING NO. SP120109.DWG	9 DEC 2009	SHEET 2 OF 2



SITE INFORMATION

PARKING REQUIRED
 VEHICLE PARKING 68 SPACES REQUIRED
 270 SEATS / 4 = 7 SPACES
 TRANSIT REDUCTION = 7 SPACES
 TOTAL REQUIRED = 61 SPACES

MOTORCYCLE = 3 REQUIRED
 BICYCLE = 68 / 20 = 4 REQUIRED

PARKING PROVIDED
 STANDARD = 50
 COMPACT = 10
 ACCESSIBLE = 12
 TOTAL = 72 SPACES (> 61, OK)

MOTORCYCLE = 4 PROVIDED (>3, OK)
 BICYCLE = 4 PROVIDED (=4, OK)

SITE INFORMATION
 ZONE: SU-1 FOR CHURCH

LOT 9-A: 1.5715 ACRES
 LOT 10-A: 0.3992 ACRES
 TOTAL SITE AREA: 85843.692 (1.9707 ACRES)

GROSS SF: 24,728 SQFT (ALL BLDGS. INCLUDING FUTURE PHASE)
 FAR: 24,728 SQFT / 85843.692 SQFT = .288

LEGEND

- POLE-MOUNTED LIGHT FIXTURE, RE. A191
- EXISTING FIRE HYDRANT
- LB - EXISTING LIGHT BOLLARD
- LP - EXISTING POLE-MOUNTED LIGHT FIXTURE

LEGAL DESCRIPTION

PARCEL 1: LOT NUMBERED FIVE-A (5-A) OF THE ZAPP-VAN ADDITION NO. 10, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON NOVEMBER 1, 1988, IN PLAT BOOK C37, PAGE 158.

PARCEL 2: LOT NUMBERED NINE-A (9-A) OF THE ZAPP-VAN ADDITION NO. 10, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON AUGUST 6, 1986, IN PLAT BOOK 96C, PAGE 347.

PARCEL 3: LOT NUMBERED TEN-A (10-A) OF THE ZAPP-VAN ADDITION NO. 10, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NM, ON SEPT. 6, 1988, IN PLAT BOOK C37, PAGE 67.

KEYED NOTES

1. WOOD FENCE TO MATCH EXISTING ADJACENT
2. LANDSCAPE AREA.
3. 6" CONCRETE CURB.
4. CONCRETE SIDE WALK.
5. NEW PAINTED STRIPPING/SYMBOLS/HATCHING AS SHOWN.
6. RELOCATED EXISTING METAL GATE (TO REMAIN UNLOCKED)
7. EDGE OF ASPHALT PAVING
8. EXISTING REFUSE ENCLOSURE TO REMAIN.
9. NEW CONCRETE CURB AND GUTTER TO COA STANDARDS.
10. RAISE EXISTING WATER METER AS REQUIRED
11. BENCH 8"-0" TYP. (SEATING FOR 4)
12. NEW ASPHALT PAVING OVER BASECOURSE AS RECOMMENDED BY GEOTECH REPORT.
13. RELOCATE EXISTING CURB CUT
14. POLE MOUNTED SIGNAGE, TYPE A. RE. D5/A091
15. CONCRETE WHEEL STOP
16. EXISTING SIDEWALK TO REMAIN.
17. NEW CMU REFUSE ENCLOSURE COA STANDARDS, RE. A091
18. 8" COMMON FACE CMU WALL, (2) COAT STUCCO BOTH SIDES, 3'-4" HIGH
19. NOT USED
20. EXISTING ASPHALT PAVING TO REMAIN.
21. PAINT ASPHALT/CURB WITH "FIRE LANE NO PARKING" PER COA FIRE MARSHAL STANDARDS
22. EXISTING LANDSCAPE AREA TO REMAIN.
23. EXISTING FENCE TO REMAIN.
24. EXISTING BRICK PAVEMENT PATH TO REMAIN.
25. ACCESSIBLE RAMP.
26. EXISTING CONCRETE RAMP TO REMAIN.
27. EXISTING CURB TO REMAIN.
28. EXISTING DRIVE TO BE VACATED
29. NOT USED
30. VALLEY GUTTER, RE: CIVIL
31. DRAINAGE SWALE.
32. NEW BIKE RACK FOR 4 BICYCLES.
33. POLE MOUNTED SIGNAGE, TYPE B. RE: D4/A091
34. TRANSFORMER WITH CONCRETE PAD
35. EXISTING MONUMENT SIGN TO REMAIN.
36. NOT USED
37. LINE OF PHASE 2.
38. COMPACTED GRAVEL DRIVE FOR FIRE DEPARTMENT ACCESS ONLY, COORDINATE WITH FIRE MARSHAL FOR LOAD CAPACITY REQUIREMENTS
39. NOT USED
40. NOT USED
41. RELOCATED DRYWELL
42. EXISTING GAS METER
43. EXISTING WATER METER
44. ELECTRIC METER

APPROVALS

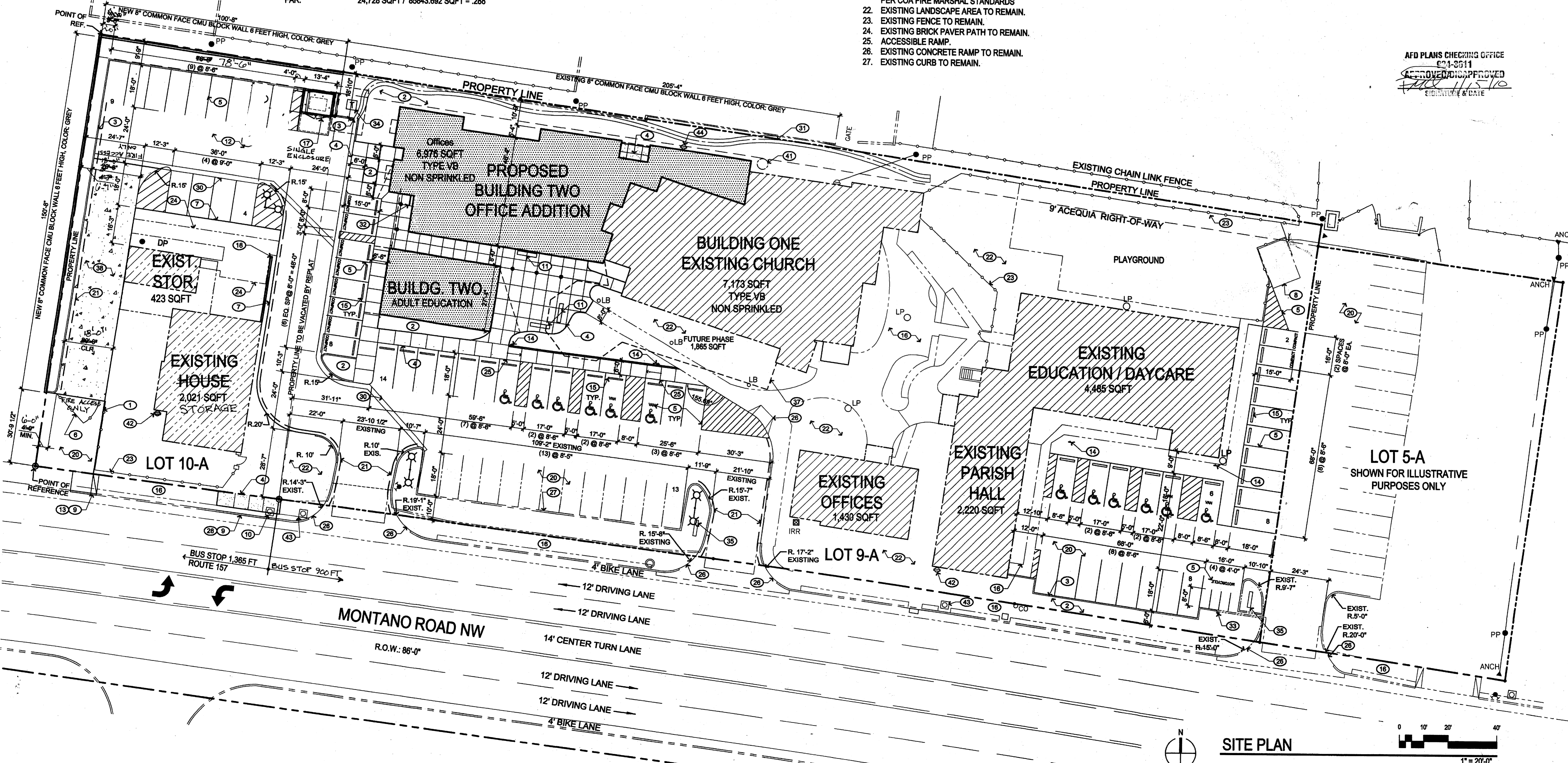
PROJECT NUMBER: _____
 APPLICATION NUMBER: _____
 Is an Infrastructure List Required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
UTILITIES DIVISION	DATE
PARKS AND RECREATION DEPARTMENT	DATE

CITY ENGINEER: *Joe White* DATE: *N/A*
 SOLID WASTE MANAGEMENT DATE: _____
 DRB CHAIRPERSON, PLANNING DEPARTMENT DATE: _____

AFD PLANS CHECKING OFFICE
 621-3311
 APPROVED/DISAPPROVED
7/2/2009
 SIGNATURE & DATE



architecture
interiors
landscape
planning
engineering

Dekker Perich Sabatini

7601 Jefferson NE Suite 100
 Albuquerque, NM 87109
 505 761-9700
 fax 761-4222
 dps@dpsdesign.org

ARCHITECT
 Proj # 1007922

EPC SUBMITTAL
 09EPC - 4004B
 09EPC - 40050
 ENGINEER

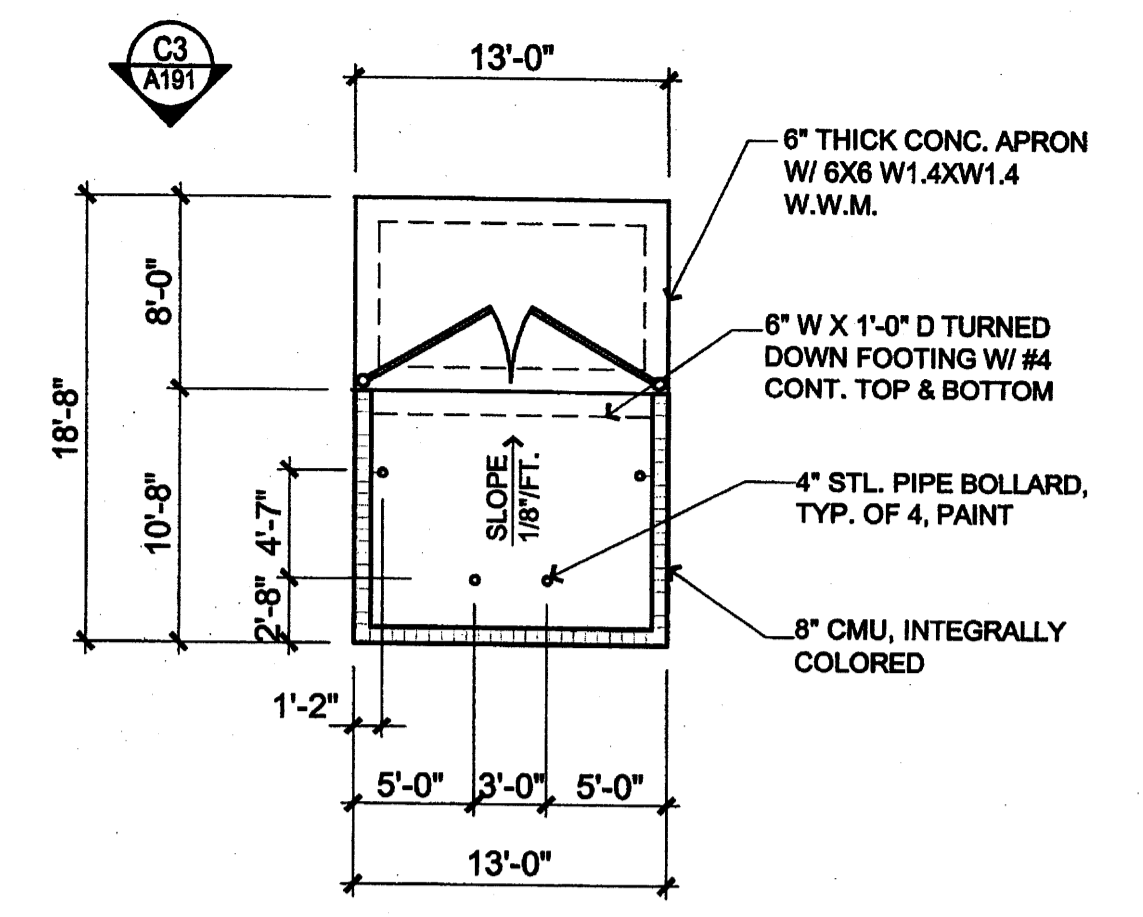
PROJECT

**St. Michael and All Angels
 Episcopal Church
 MINISTRY COMPLEX ADDITION
 601 Montano Rd. NW, Albq. NM**

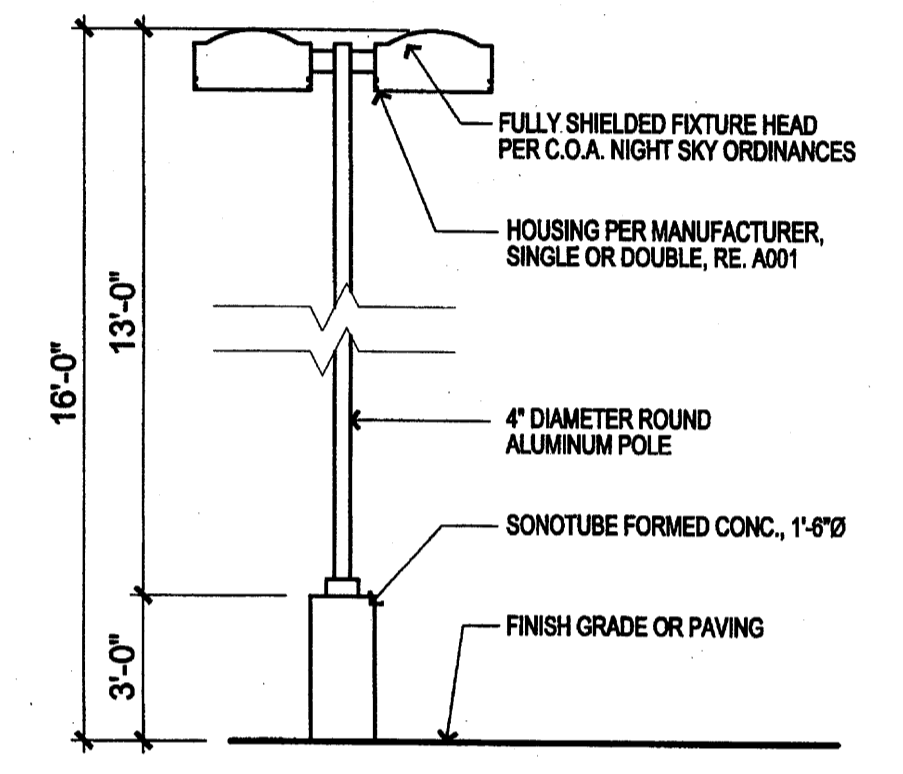
REVISIONS
 △
 △
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DRAWN BY _____
 REVIEWED BY _____
 DATE: JULY 2, 2009
 PROJECT NO.: 09-0019
 DRAWING NAME: SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

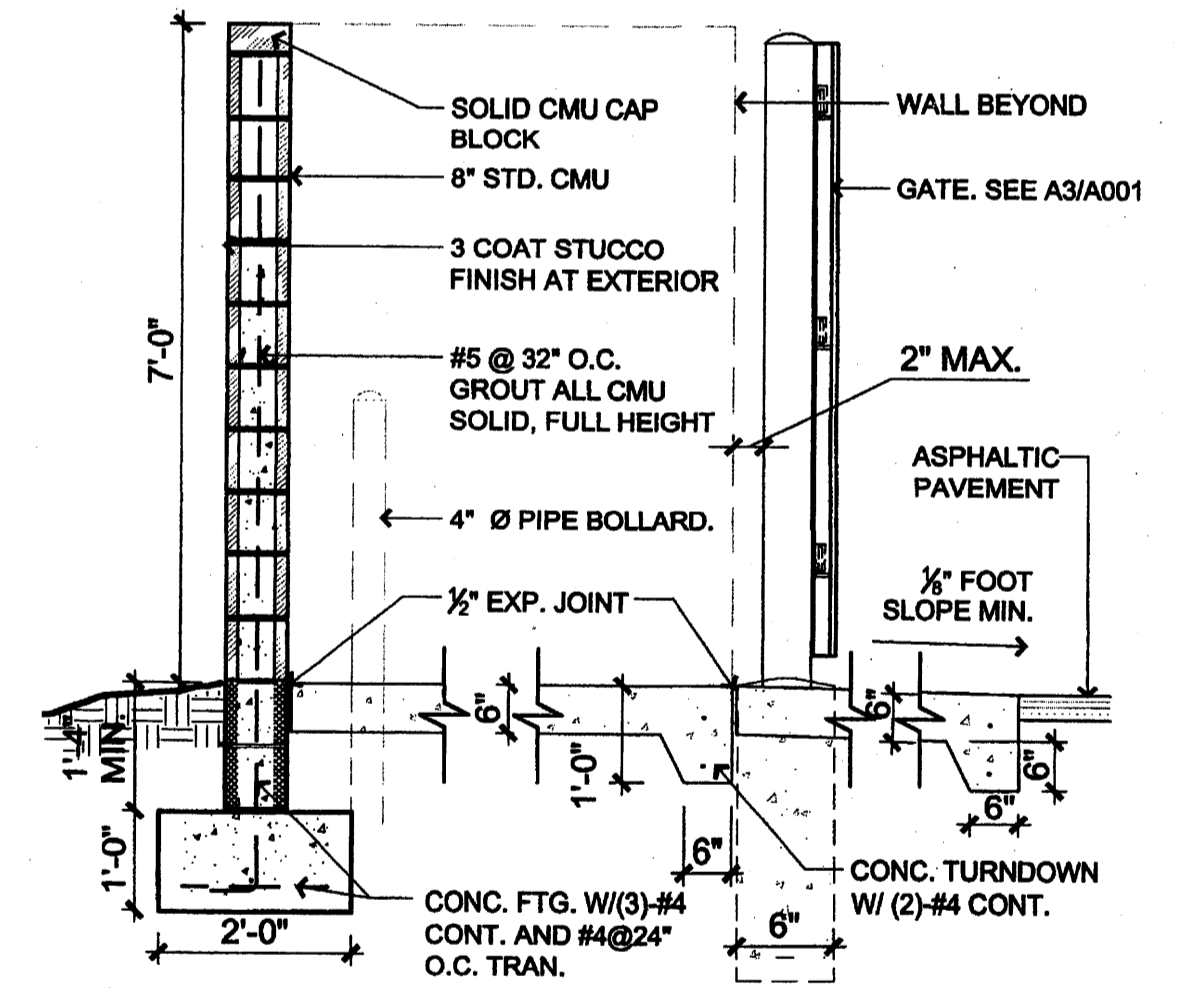
SHEET NO. **A001**
 OF



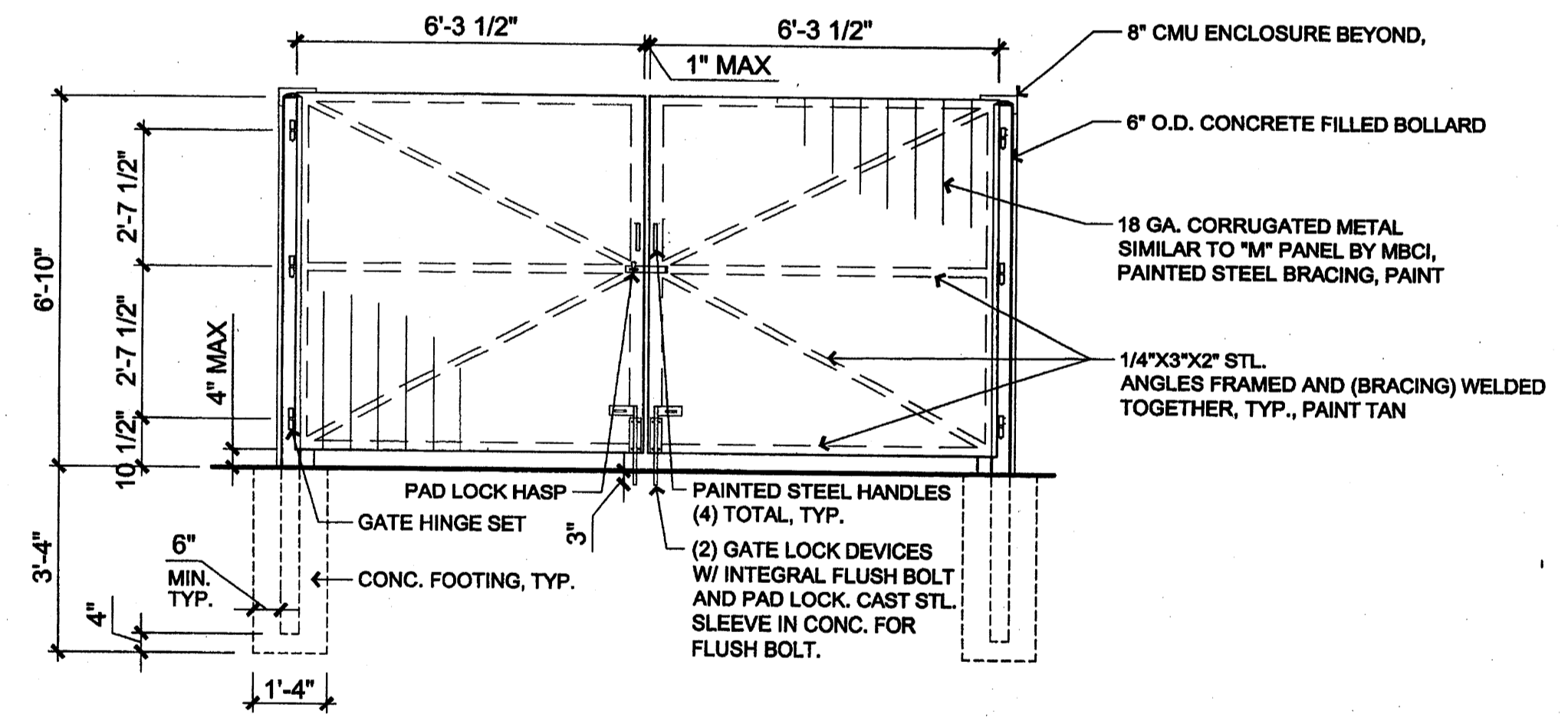
A5 DUMPSTER ENCLOSURE
PLAN 1/8" = 1'-0"



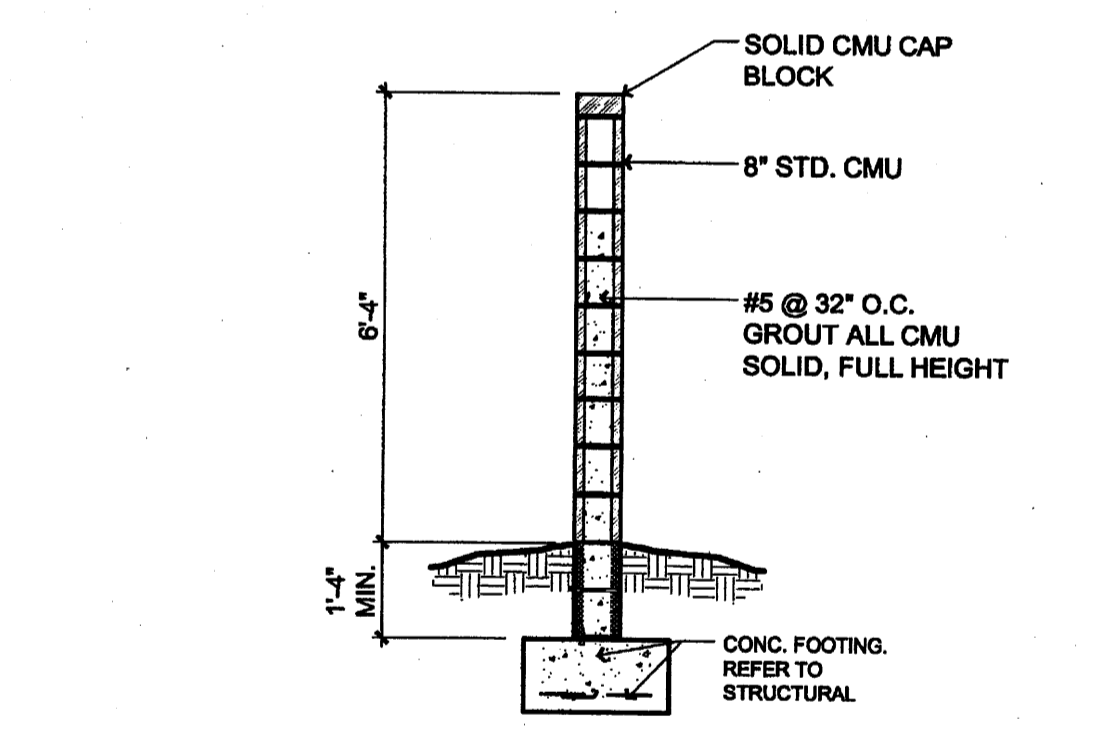
B5 LIGHT POLE ELEVATION
1/4" = 1'-0"



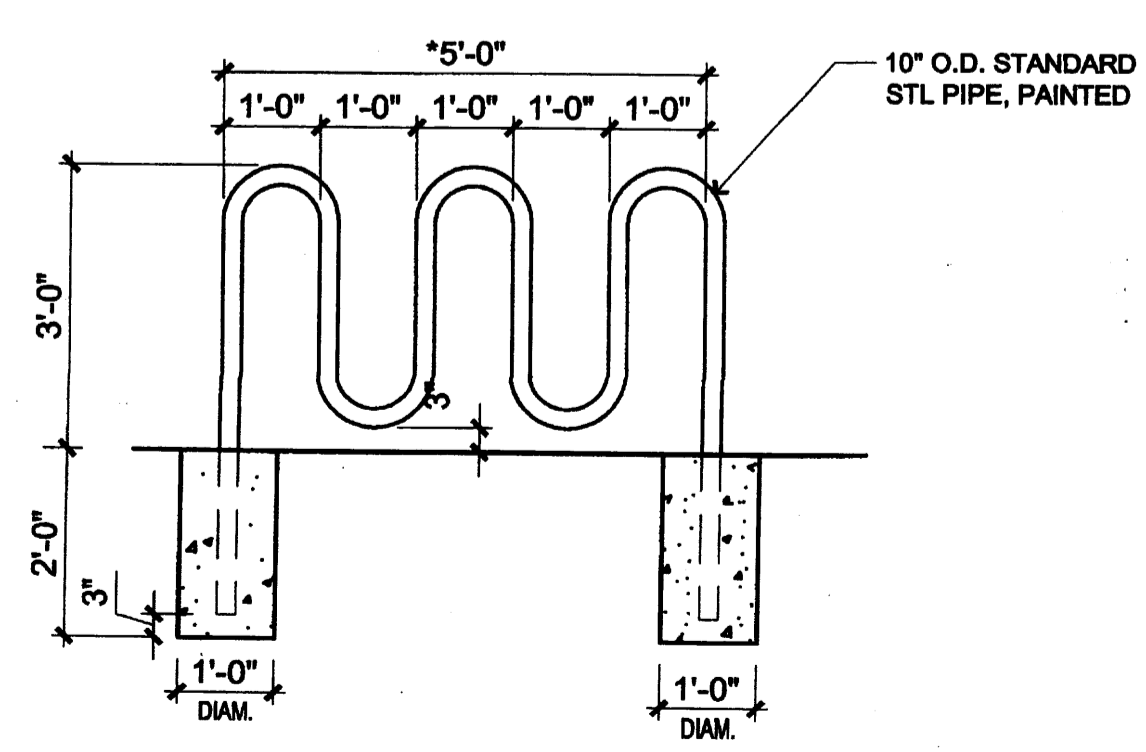
C2 DUMPSTER ENCLOSURE
SECTION 1/2" = 1'-0"



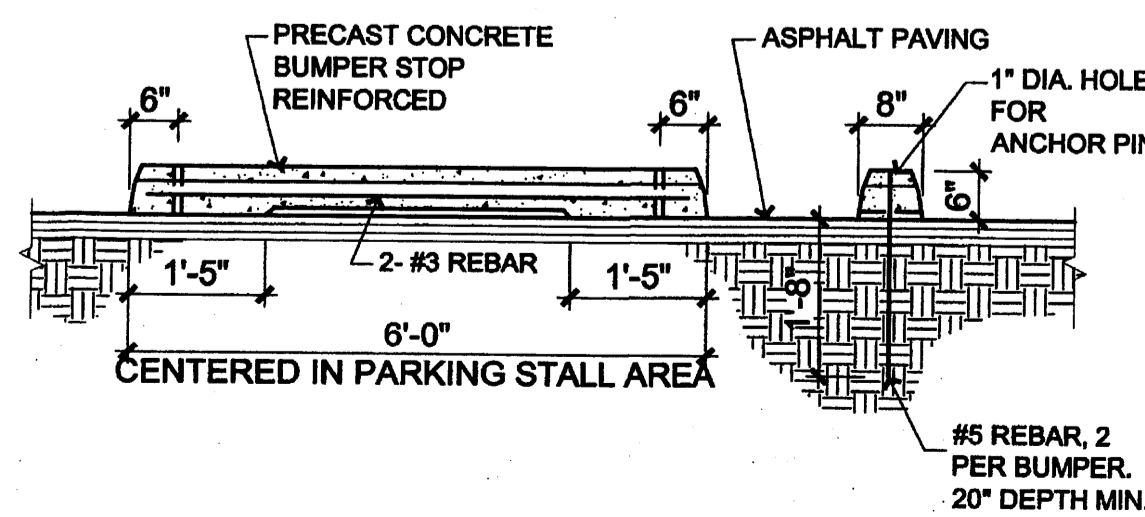
C3 DUMPSTER ENCLOSURE GATE
ELEVATION 3/8" = 1'-0"



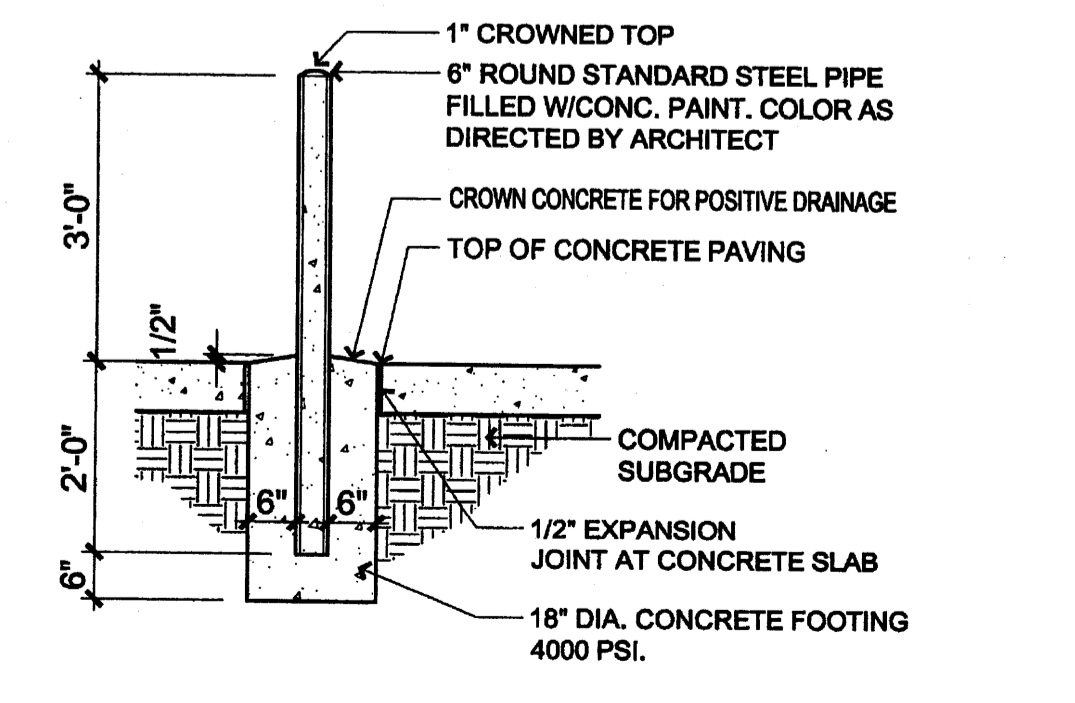
C5 TYPICAL CMU WALL DETAIL
SECTION 3/8" = 1'-0"



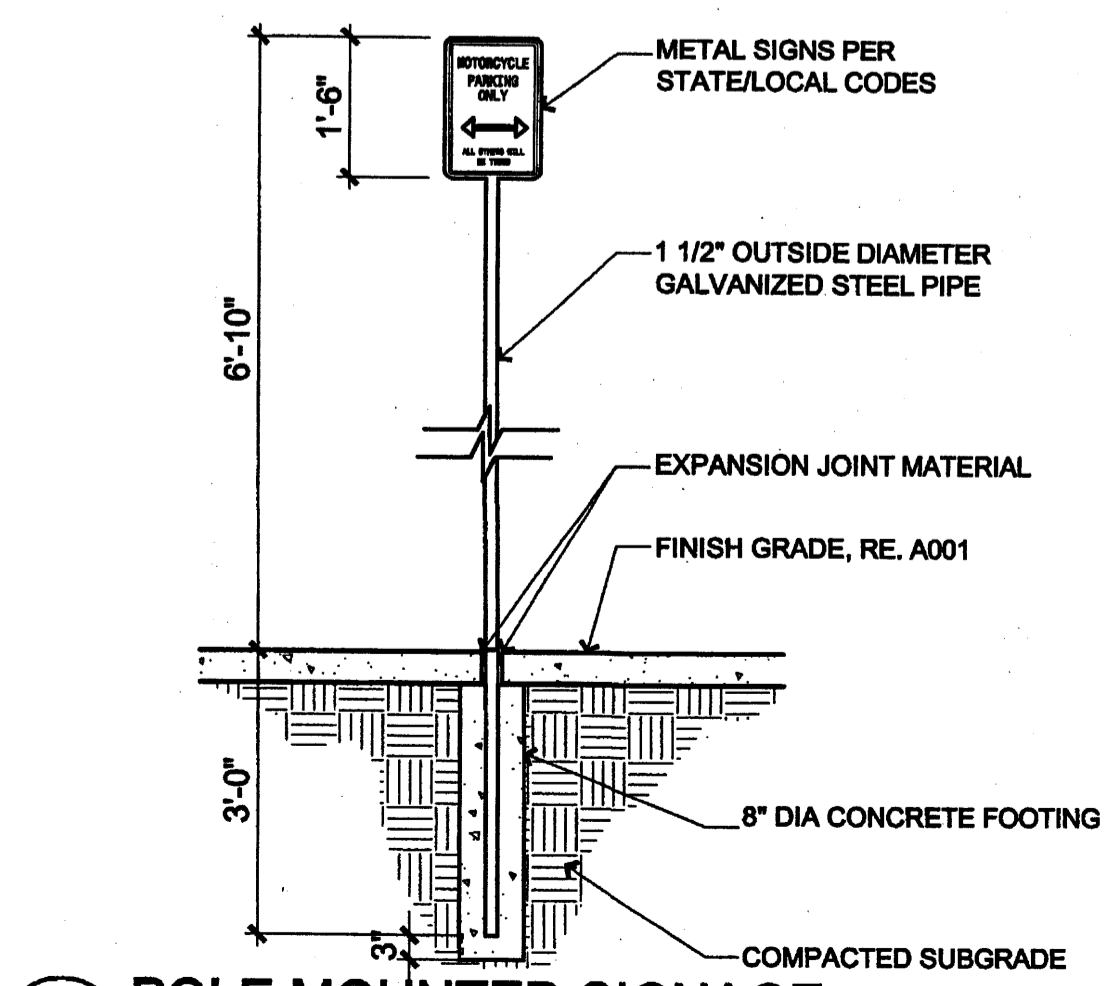
D1 BIKE RACK DETAIL
1/2" = 1'-0"



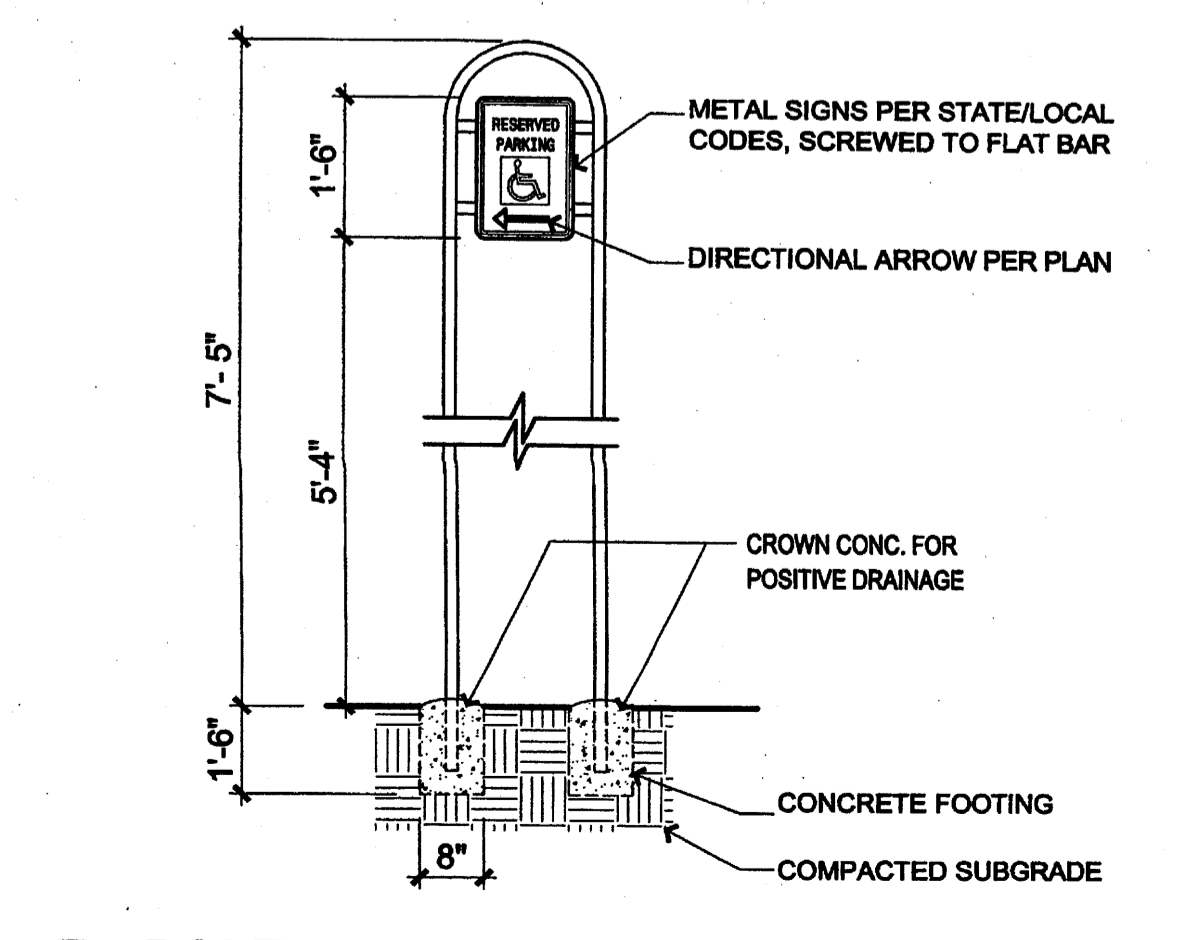
D2 CONCRETE BUMPER STOP
1/2" = 1'-0"



D3 PIPE BOLLARD
AT DUMPSTER ENCLOSURE 1/2" = 1'-0"



D4 POLE MOUNTED SIGNAGE
TYPE B - MOTORCYCLE PARKING 1/2" = 1'-0"



D5 POLE MOUNTED SIGNAGE
DISABLED PARKING - DIRECTIONAL 1/2" = 1'-0"

REVISIONS

- △
- △
- △
- △

DRAWN BY

REVIEWED BY

DATE

PROJECT NO.

DRAWING NAME

SITE DEVELOPMENT
PLAN FOR
BUILDING PERMIT
SITE DETAILS

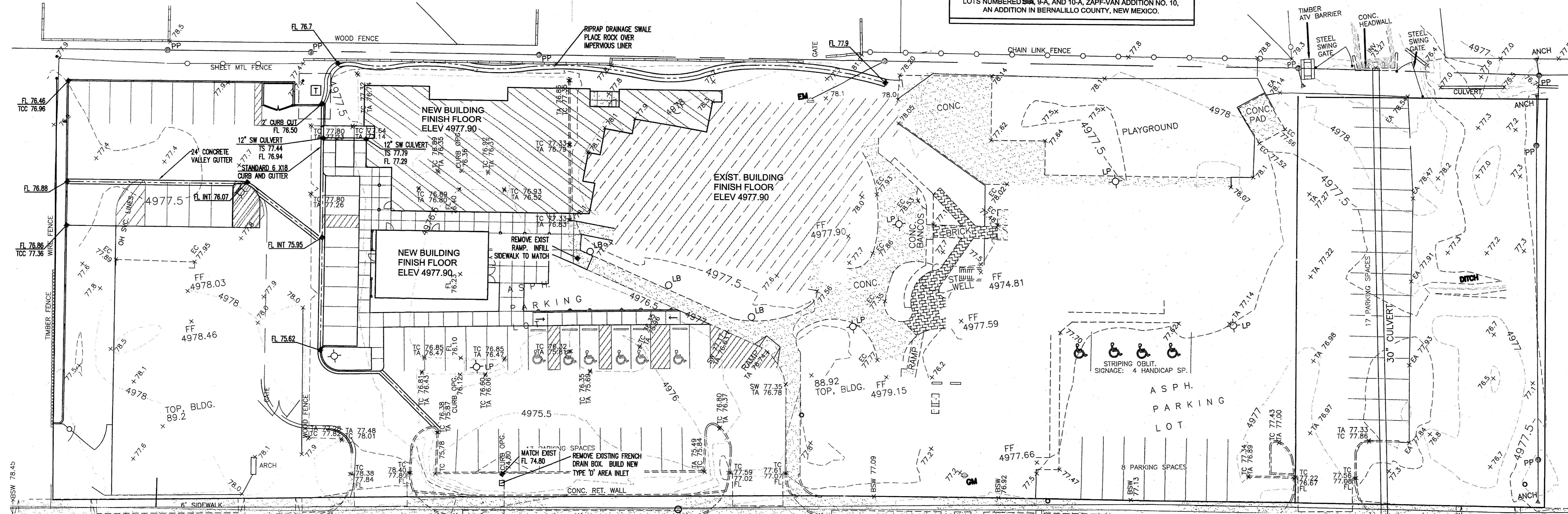
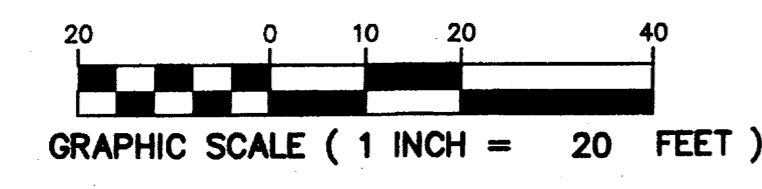
JULY 2, 2009

09-0019

SHEET NO.

LEGAL DESCRIPTION

LOTS NUMBERED 9A, 9-A, AND 10-A, ZAPP-VAN ADDITION NO. 10, AN ADDITION IN BERNALILLO COUNTY, NEW MEXICO.



DRAINAGE DISCUSSION

LOCATION & DESCRIPTION

SAINT MICHAEL'S ALL ANGLES CHURCH IS PROPOSING TO CONSTRUCT AN ADDITION ON THE WEST END THE EXISTING CHURCH AND MODIFY THE EXISTING PAVED PARKING LOT TO THE SOUTH OF THE ADDITION. IN ORDER TO FACILITATE THE REQUIRED PARKING, THE CHURCH HAS PURCHASED AND IS PROPOSING TO REPLAT INTO THE EXISTING PARCEL (LOT 9A) THE RESIDENTIAL LOT TO THE WEST (LOT 10A). THIS REPLAT WILL PROVIDE SUFFICIENT PARKING AND TRAFFIC CIRCULATION FOR THE FACILITY WITH THE ADDITION INCORPORATED. THE REPLATED PARCEL WILL ENCOMPASS APPROXIMATELY 2.0 ACRES.

HYDROLOGY

THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING THE QUICK CALCULATIONS OF THE JUNE 1997 RELEASE OF THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2.

PRECIPITATION

THE 100-YR, 6-HR DURATION STORM EVENT WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THE SITE LIES WITHIN THE ZONE 2 PRECIPITATION AREA FOR THE CITY OF ALBUQUERQUE, AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2. THEREFORE, TABLES WITHIN THIS SECTION WERE USED TO ESTABLISH THE EXCESS PRECIPITATION AND PEAK DISCHARGE.

EXISTING DRAINAGE

THE WESTERN PORTION OF LOT 9A DRAINS SOUTH, ACROSS THE EXISTING ASPHALT PAVED PARKING LOT, AND GATHERS IN A DEPRESSED LANDSCAPE AREA BETWEEN THE SIDEWALK ALONG MONTANO ROAD AND THE SOUTH EDGE OF THE PARKING LOT. ONCE IN THIS LANDSCAPE AREA, THE RUNOFF INFILTRATES UNTIL IT ENTERS THE EXISTING 18" CONCRETE STORM DRAIN LATERAL INSTALLED WITH THE MONTANO STORM DRAIN. THERE IS NO FORMAL STORM INLET. THE MAJORITY OF LOT 10A IS BELOW THE ELEVATION ON MONTANO BLVD.

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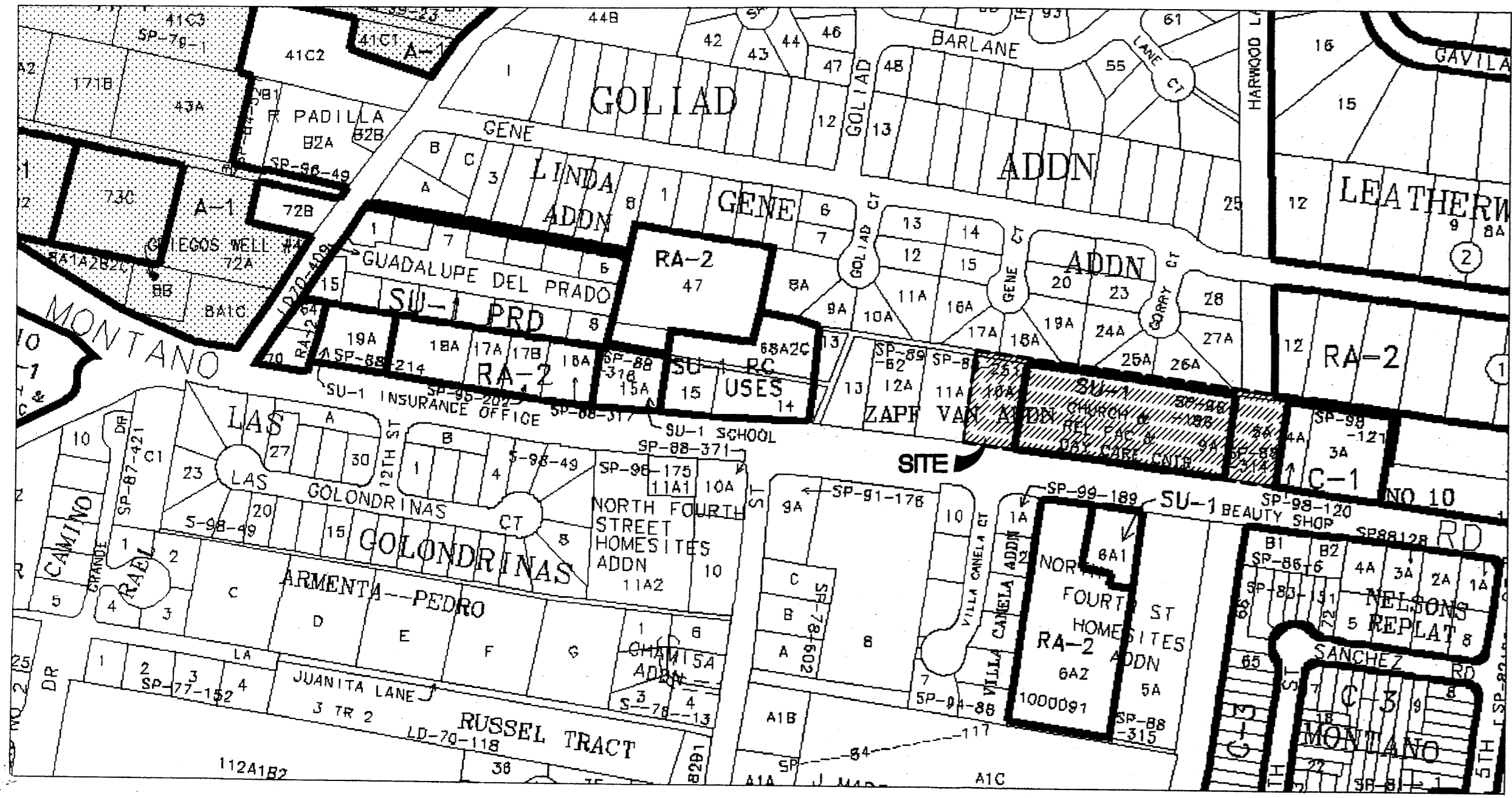
THE PARCELS SURROUNDING LOT 10A AND 9A ARE ALL DEVELOPED. THE RESIDENTIAL LOTS TO THE NORTH DRAIN NORTH AND DO NOT IMPACT THIS PROJECT. TO THE SOUTH, IS MONTANO BLVD, WHICH HAS A RELATIVELY RECENT STORM DRAIN SYSTEM INSTALLED. THE LOTS TO THE EAST AND WEST DRAIN VIA SURFACE FLOW INTO MONTANO AND DON NOT IMPACT THIS SITE.

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THE ADDITIONS TO THE CHURCH ON THE WEST END WILL HAVE ONLY MINOR IMPACTS TO THE EXISTING DRAINAGE PATTERNS. THE NARROW STRIP OF LAND BETWEEN THE ADDITION AND THE NORTH PROPERTY LINE WILL DRAIN VIA SWALE TO THE WEST, AROUND THE OPEN END OF THE AND THEN SOUTH ACROSS THE PARKING LOT TO THE CURRENT LANDSCAPED AREA SOUTH OF THE PARKING LOT PAVEMENT. SINCE IT IS PROPOSED TO REPLAT LOT 10A INTO THIS SITE, THE PROPOSED PAVED PARKING WILL DRAIN EAST ON THE SURFACE INTO THE EXISTING PARKING LOT AND JOIN WITH THE CURRENT DISCHARGES.

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535, 715 & 719 MONTANO ROAD, N.W.

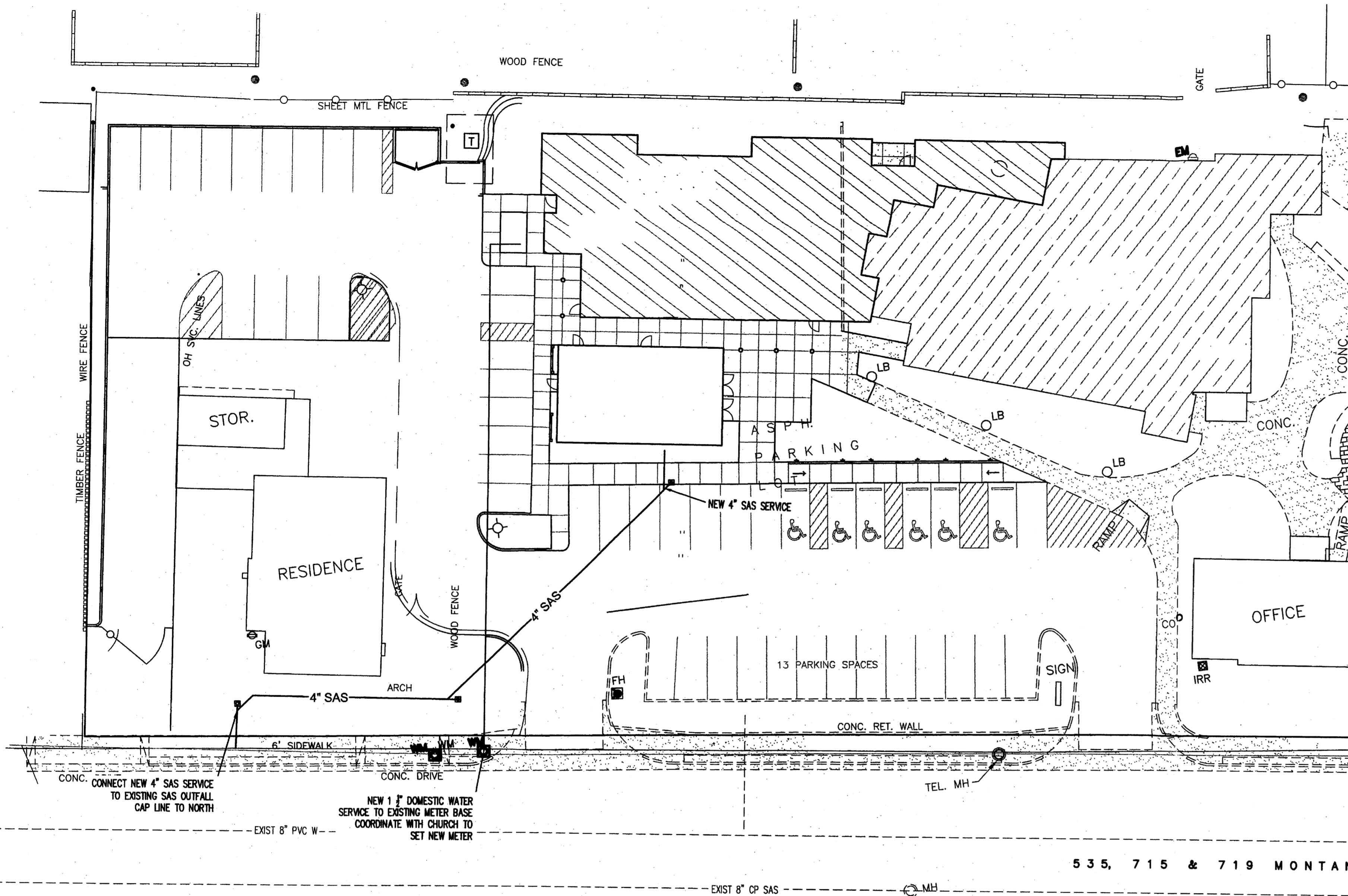
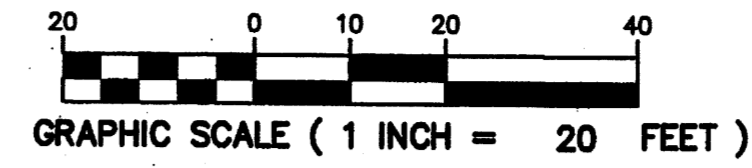


VICINITY MAP ZONE ATLAS PAGE F-14-Z

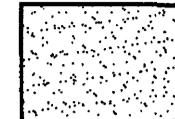
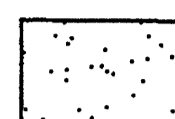


THE PROPERTY SHOWN HEREON DOES NOT HAVE A 100-YEAR DESIGNATED FLOODPLAIN ONSITE PER THE FEMA FLOOD INSURANCE RATE MAP OF THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMMUNITY-PANEL NO. 35001C0119-G; EFFECTIVE DATE SEPTEMBER 26, 2008, AS SHOWN HEREIN.

FLOODPLAIN



FINISH LEGEND

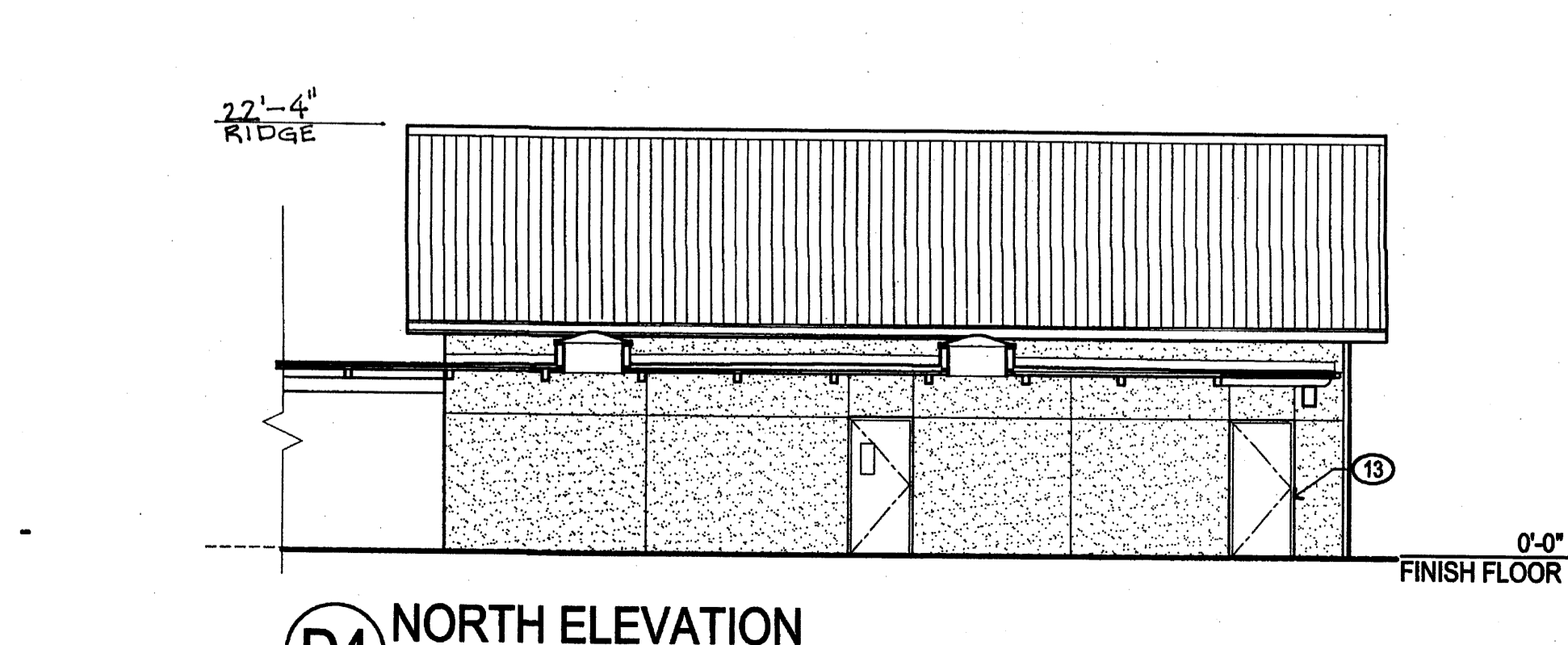
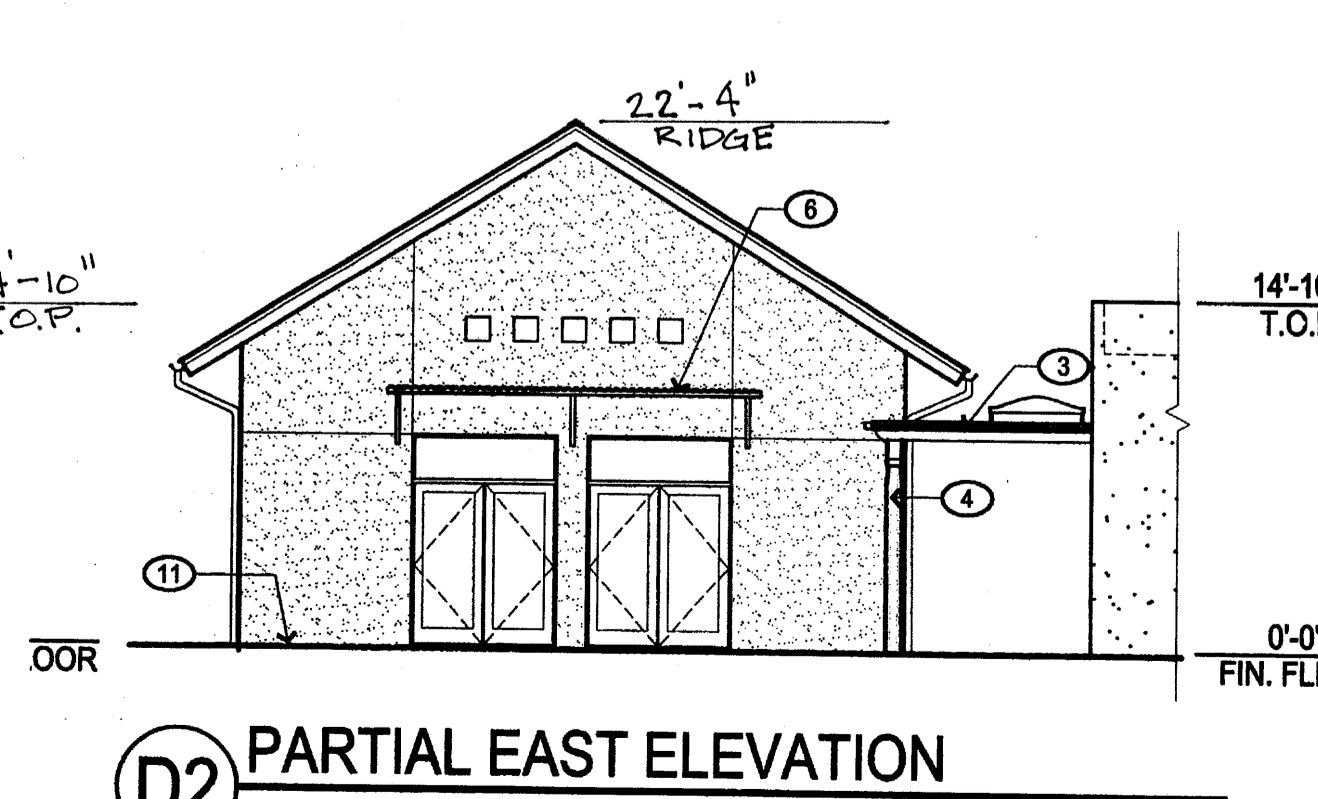
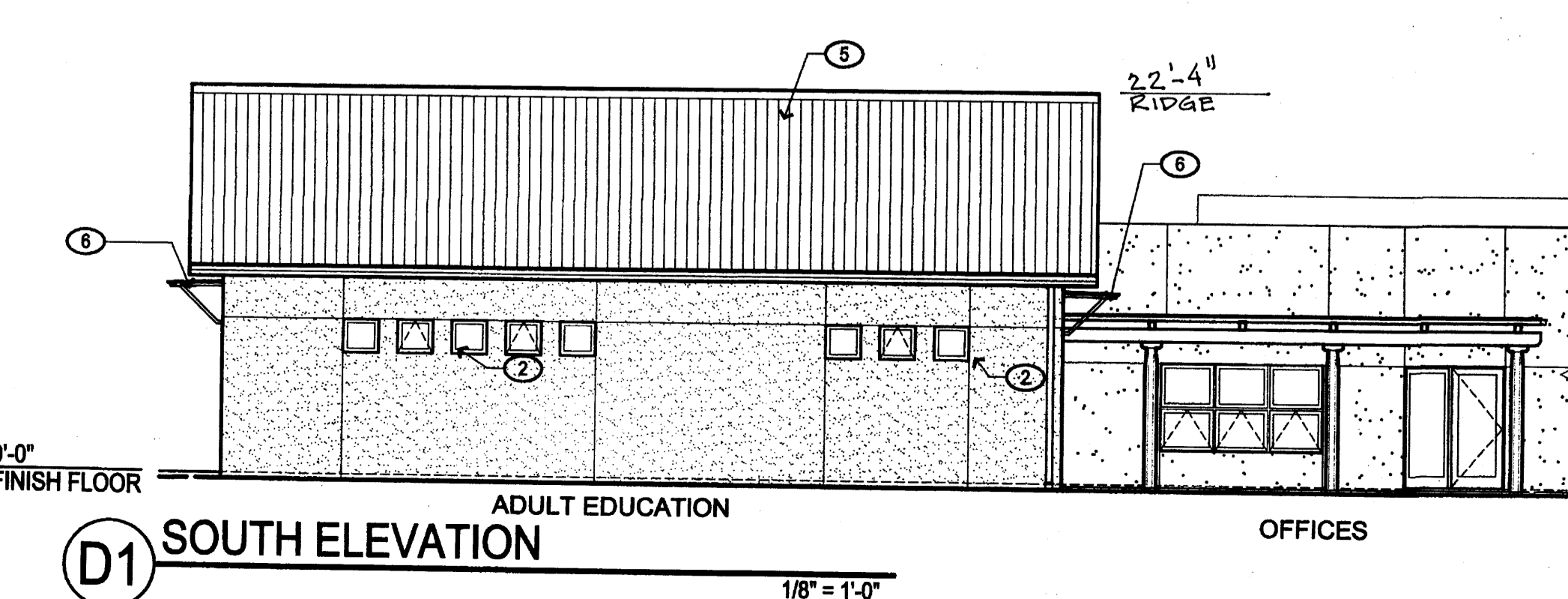
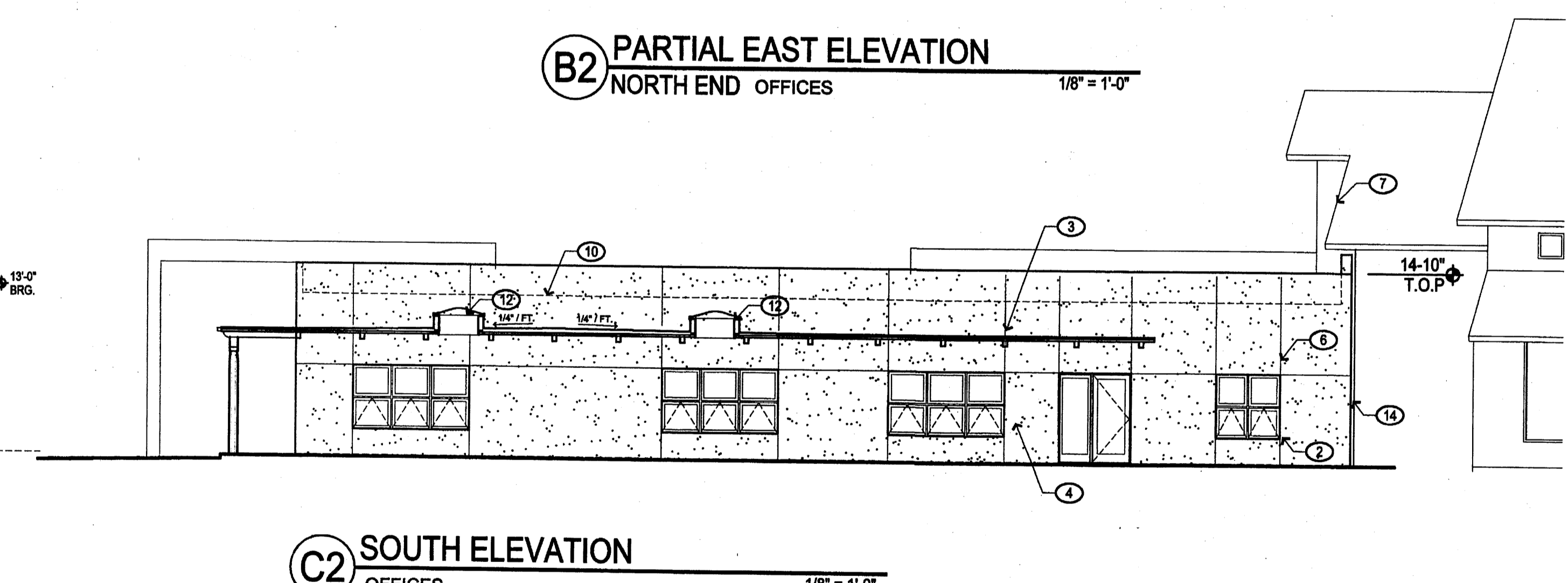
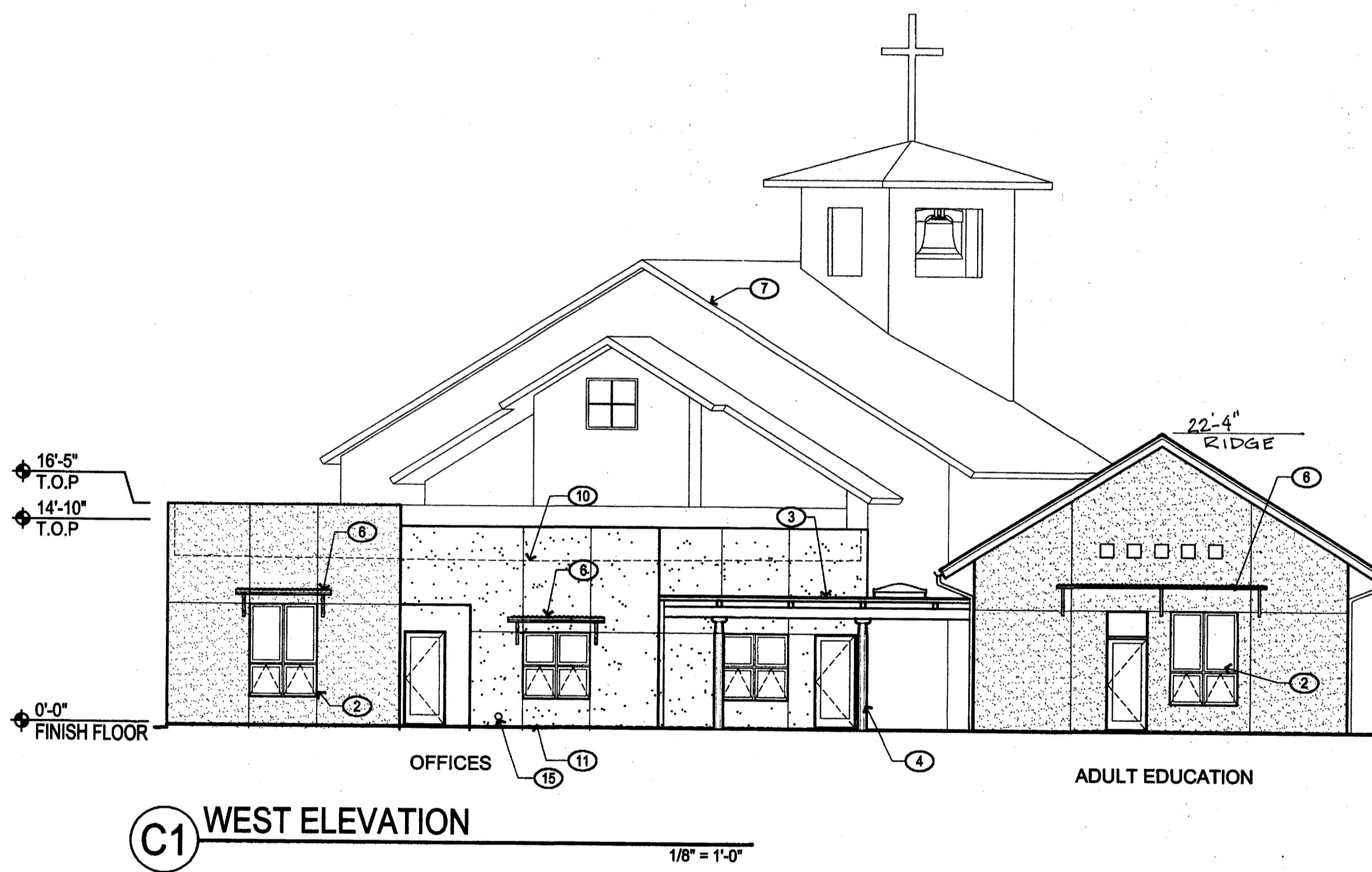
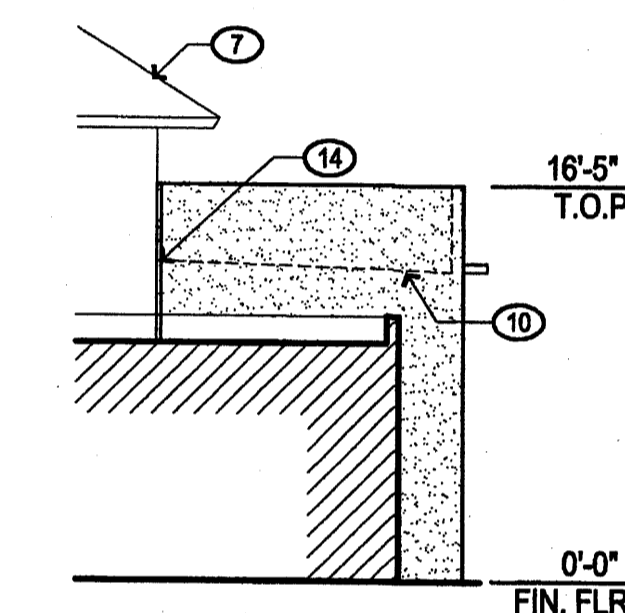
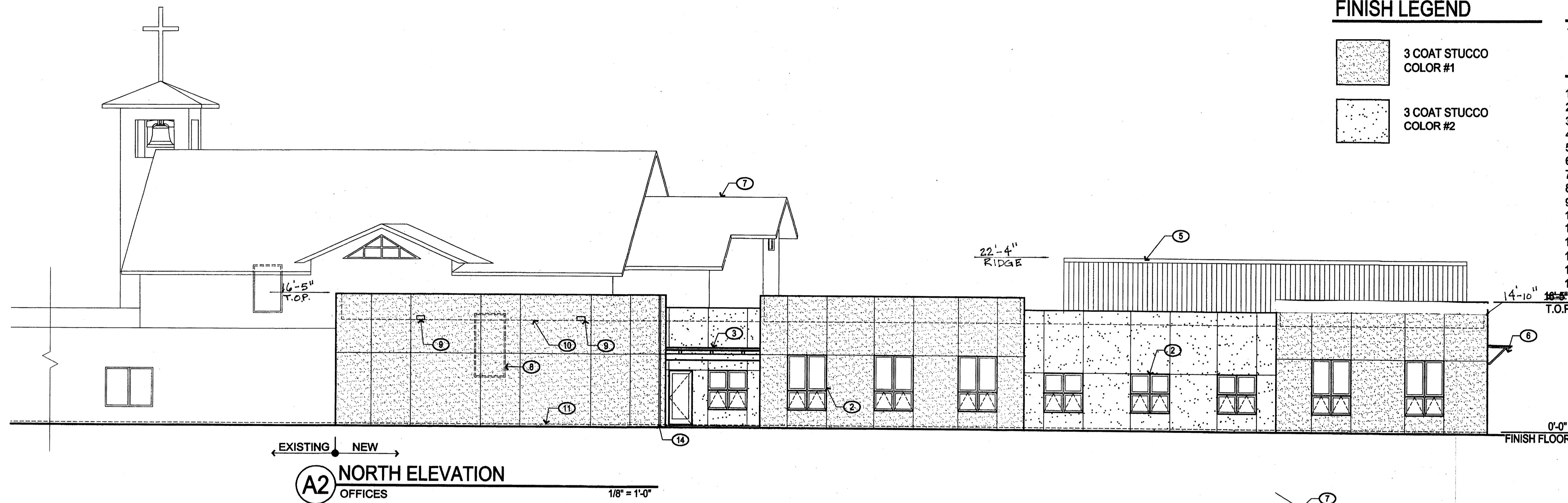
-  3 COAT STUCCO
COLOR #1
-  3 COAT STUCCO
COLOR #2

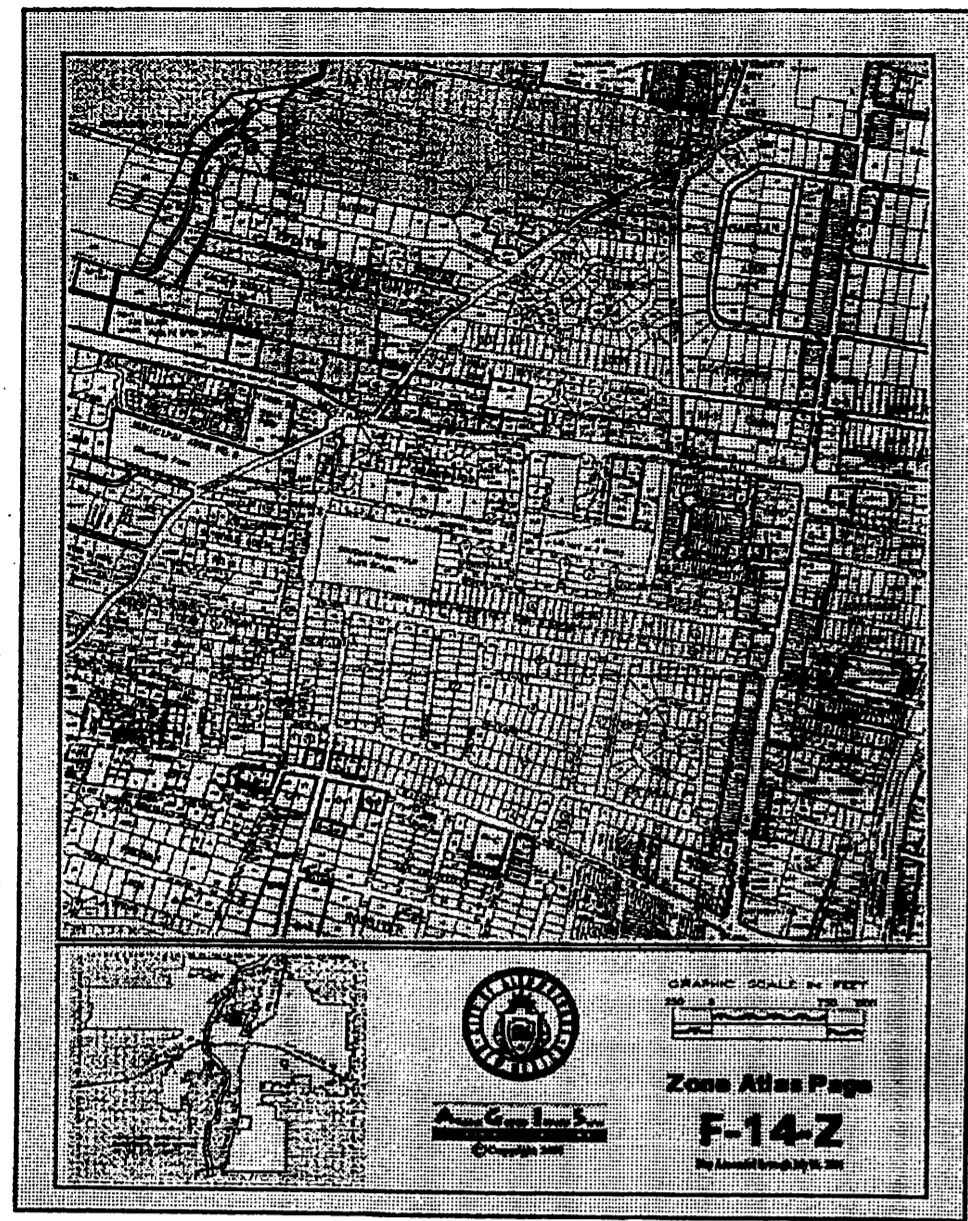
GENERAL NOTES

1. NO BUILDING MOUNTED SIGNS

KEYED NOTES

1. 3 COAT STUCCO SYSTEM.
2. ALUMINUM CLAD WOOD WINDOW.
3. WOOD CANOPY STRUCTURE.
4. TAPERED WOOD COLUMN.
5. CORRUGATED METAL ROOF.
6. METAL SUNSHADE W/ CORRUGATED METAL PANEL.
7. EXISTING TO REMAIN.
8. EXISTING WINDOW TO REMAIN.
9. ROOF SCUPPER.
10. LINE OF ROOF BEYOND.
11. LINE OF FINISH FLOOR.
12. SKYLIGHT
13. HOLLOW METAL DOOR & FRAME. PAINTED
14. EXPANSION JOINT
15. OVERFLOW NOZZLE





SITE INFORMATION

PARKING REQUIRED
 VEHICLE PARKING
 270 SEATS / 4 = 68 SPACES REQUIRED
 TRANSIT REDUCTION = 7 SPACES
 TOTAL REQUIRED = 61 SPACES

MOTORCYCLE = 3 REQUIRED
 BICYCLE = 68 / 20 = 4 REQUIRED

PARKING PROVIDED
 STANDARD = 50
 COMPACT = 10
 ACCESSIBLE = 12
 TOTAL = 72 SPACES (> 61, OK)

MOTORCYCLE = 4 PROVIDED (>3, OK)
 BICYCLE = 4 PROVIDED (=4, OK)

SITE INFORMATION
 ZONE: SU-1 FOR CHURCH

LOT 9-A: 1.5715 ACRES
 LOT 10-A: 0.3992 ACRES
 TOTAL SITE AREA: 85843.692 (1.9707 ACRES)

GROSS SF: 24,728 SQFT (ALL BLDGS. INCLUDING FUTURE PHASE)
 FAR: 24,728 SQFT / 85843.692 SQFT = .288

LEGEND

- POLE-MOUNTED LIGHT FIXTURE, RE. A191
- EXISTING FIRE HYDRANT
- LB - EXISTING LIGHT BOLLARD
- LP - EXISTING POLE-MOUNTED LIGHT FIXTURE

LEGAL DESCRIPTION

PARCEL 1: LOT NUMBERED FIVE-A (5-A) OF THE ZAPP-VAN ADDITION NO. 10, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON NOVEMBER 1, 1988, IN PLAT BOOK C37, PAGE 158.

PARCEL 2: LOT NUMBERED NINE-A (9-A) OF THE ZAPP-VAN ADDITION NO. 10, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON AUGUST 6, 1996, IN PLAT BOOK 96C, PAGE 347.

PARCEL 3: LOT NUMBERED TEN-A (10-A) OF THE ZAPP-VAN ADDITION NO. 10, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NM, ON SEPT. 6, 1988, IN PLAT BOOK C37, PAGE 67.

KEYED NOTES

1. WOOD FENCE TO MATCH EXISTING ADJACENT
2. LANDSCAPE AREA
3. 6" CONCRETE CURB.
4. CONCRETE SIDE WALK.
5. NEW PAINTED STRIPPING/SYMBOLS/HATCHING AS SHOWN.
6. RELOCATED EXISTING METAL GATE (TO REMAIN UNLOCKED)
7. EDGE OF ASPHALT PAVING
8. EXISTING REFUSE ENCLOSURE TO REMAIN.
9. NEW CONCRETE CURB AND GUTTER TO COA STANDARDS.
10. RAISE EXISTING WATER METER AS REQUIRED
11. BENCH 8'-0" TYP. (SEATING FOR 4)
12. NEW ASPHALT PAVING OVER BASECOURSE AS RECOMMENDED BY GEOTECH REPORT.
13. RELOCATE EXISTING CURB CUT
14. POLE MOUNTED SIGNAGE, TYPE A. RE. D5/A091
15. CONCRETE WHEEL STOP
16. EXISTING SIDEWALK TO REMAIN.
17. NEW CMU REFUSE ENCLOSURE COA STANDARDS, RE. A091
18. 8" COMMON FACE CMU WALL, (2) COAT STUCCO BOTH SIDES, 3'-4" HIGH
19. NOT USED
20. EXISTING ASPHALT PAVING TO REMAIN.
21. PAINT ASPHALT/CURB WITH "FIRE LANE NO PARKING" PER COA FIRE MARSHAL STANDARDS
22. EXISTING LANDSCAPE AREA TO REMAIN.
23. EXISTING FENCE TO REMAIN.
24. EXISTING BRICK PAVEMENT TO REMAIN.
25. ACCESSIBLE RAMP.
26. EXISTING CONCRETE RAMP TO REMAIN.
27. EXISTING CURB TO REMAIN.
28. EXISTING DRIVE TO BE VACATED
29. NOT USED
30. VALLEY GUTTER, RE: CIVIL.
31. DRAINAGE SWALE
32. NEW BIKE RACK FOR 4 BICYCLES.
33. POLE MOUNTED SIGNAGE, TYPE B. RE: D4/A091
34. TRANSFORMER WITH CONCRETE PAD
35. EXISTING MONUMENT SIGN TO REMAIN.
36. NOT USED
37. LINE OF PHASE 2.
38. COMPACTED GRAVEL DRIVE FOR FIRE DEPARTMENT ACCESS ONLY, COORDINATE WITH FIRE MARSHAL FOR LOAD CAPACITY REQUIREMENTS
39. NOT USED
40. NOT USED
41. EXISTING GAS METER
42. EXISTING WATER METER
43. EXISTING WATER METER
44. ELECTRIC METER

APPROVALS

PROJECT NUMBER: _____
 APPLICATION NUMBER: _____
 Is an Infrastructure List Required? () Yes () No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE _____
 UTILITIES DIVISION DATE _____
 PARKS AND RECREATION DEPARTMENT DATE _____

CITY ENGINEER DATE _____
 SOLID WASTE MANAGEMENT DATE _____
 DRB CHAIRPERSON, PLANNING DEPARTMENT DATE _____

AFD PLANS CHECKING OFFICE
 604-2611
 APPROVED/NOT APPROVED
 11/15/10
 SIGNATURE & DATE

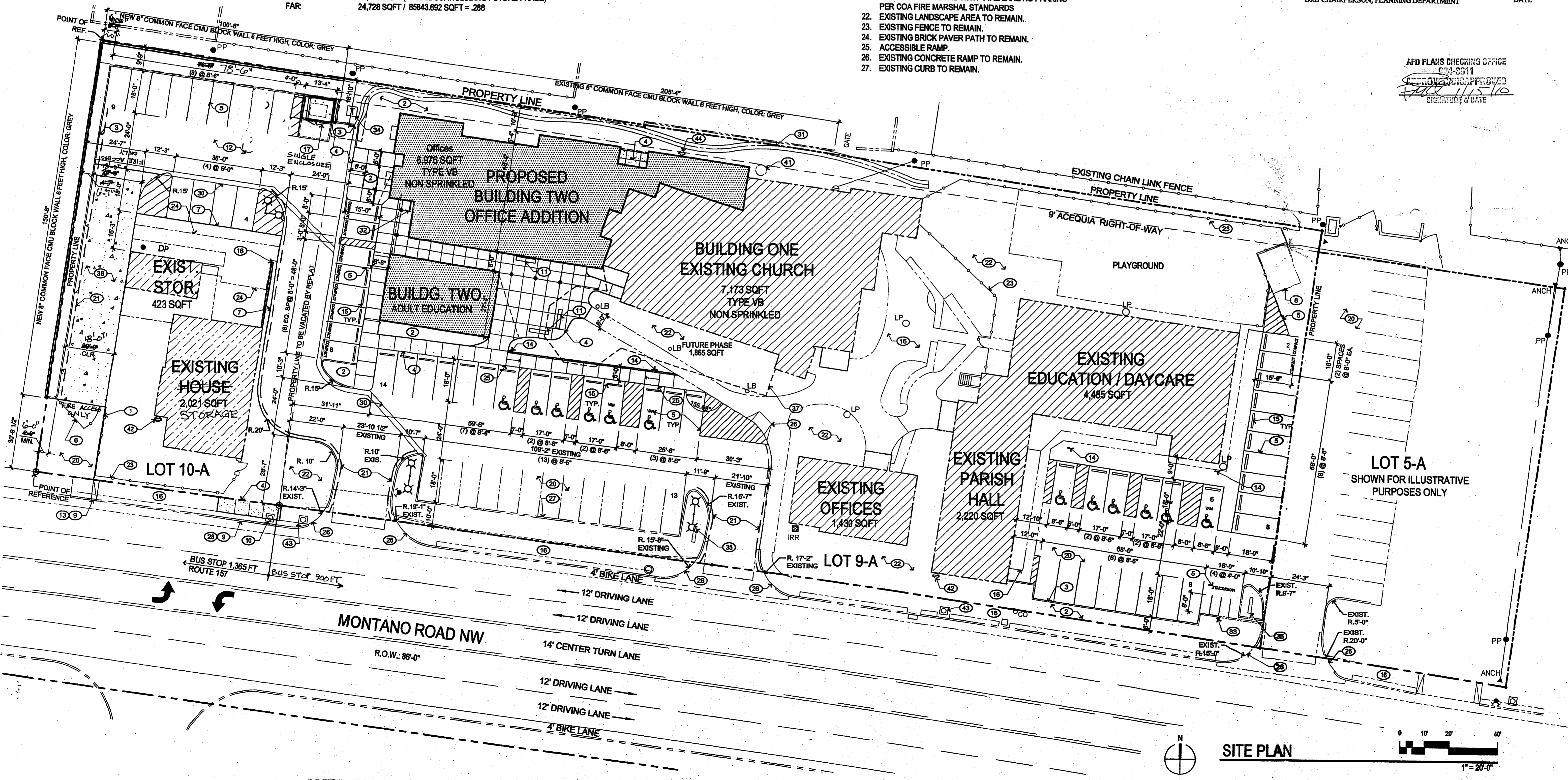
Dekker Perich Sabatini

7601 Jefferson NE Suite 100
 Albuquerque, NM 87109
 505 761-9700
 fax 761-4222
 dps@dpsdesign.org

ARCHITECT
 Proj# 1007922

EPC SUBMITTAL

09 EPC - 4004B
 09 EPC - 4005D
 ENGINEER

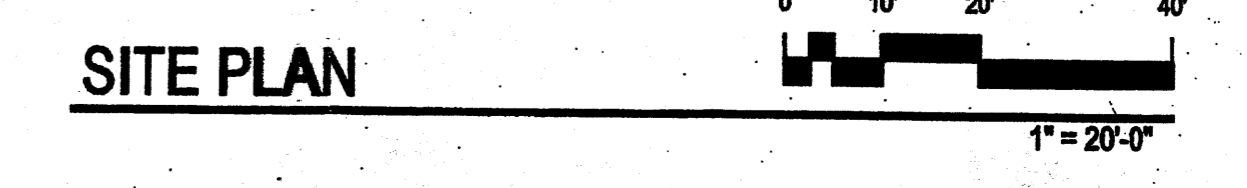


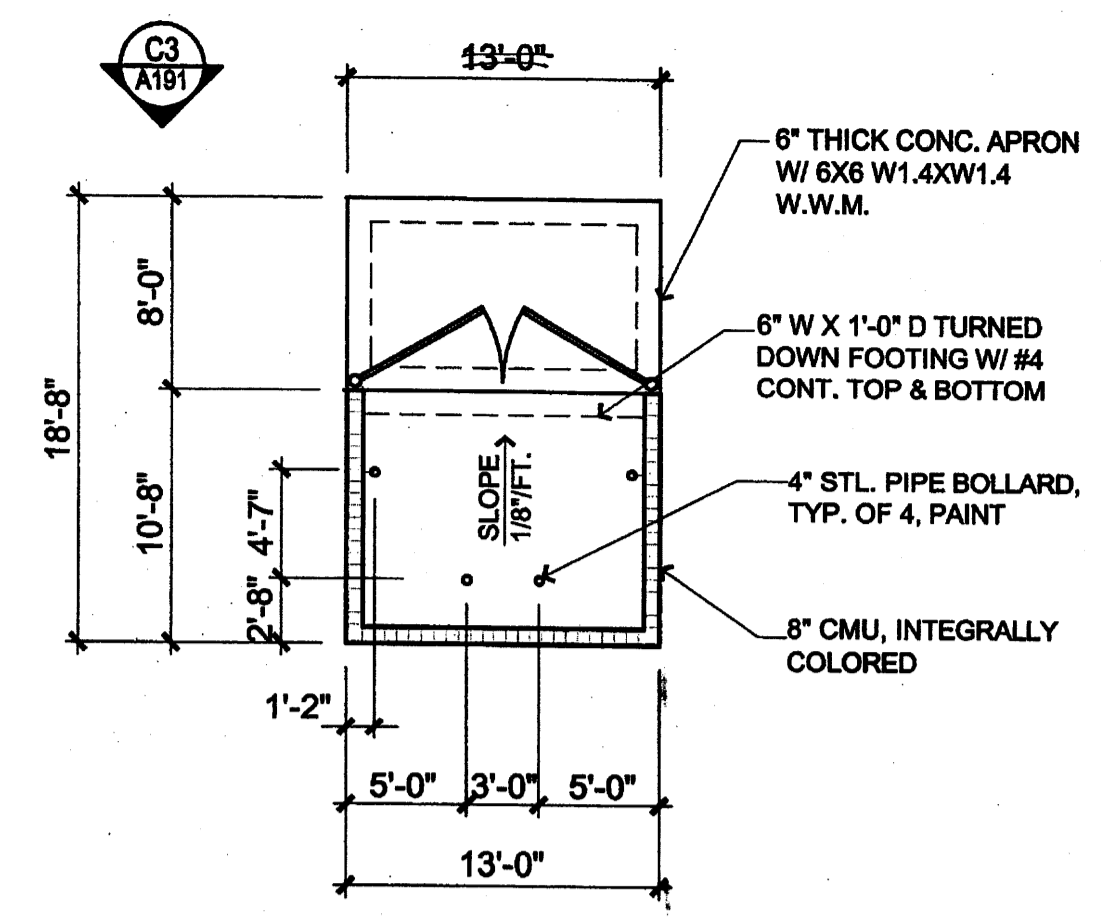
PROJECT
**St. Michael and All Angels
 Episcopal Church
 MINISTRY COMPLEX ADDITION**
 601 Montano Rd. NW, Albg. NM

REVISIONS
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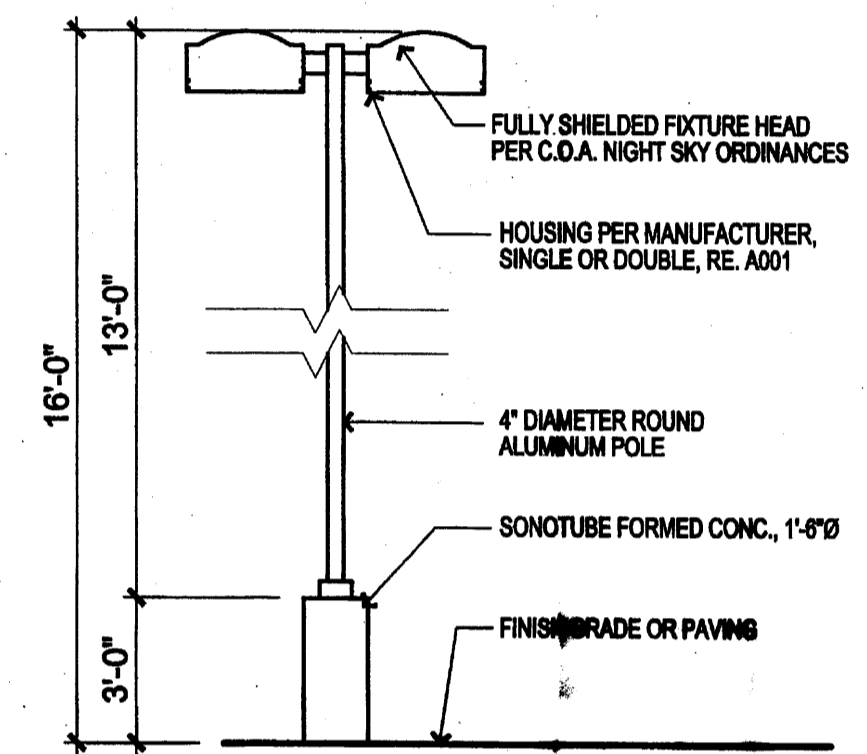
DRAWN BY _____
 REVIEWED BY _____
 DATE JULY 2, 2009
 PROJECT NO. 09-0019
 DRAWING NAME
 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

SHEET NO. **A001**
 OF

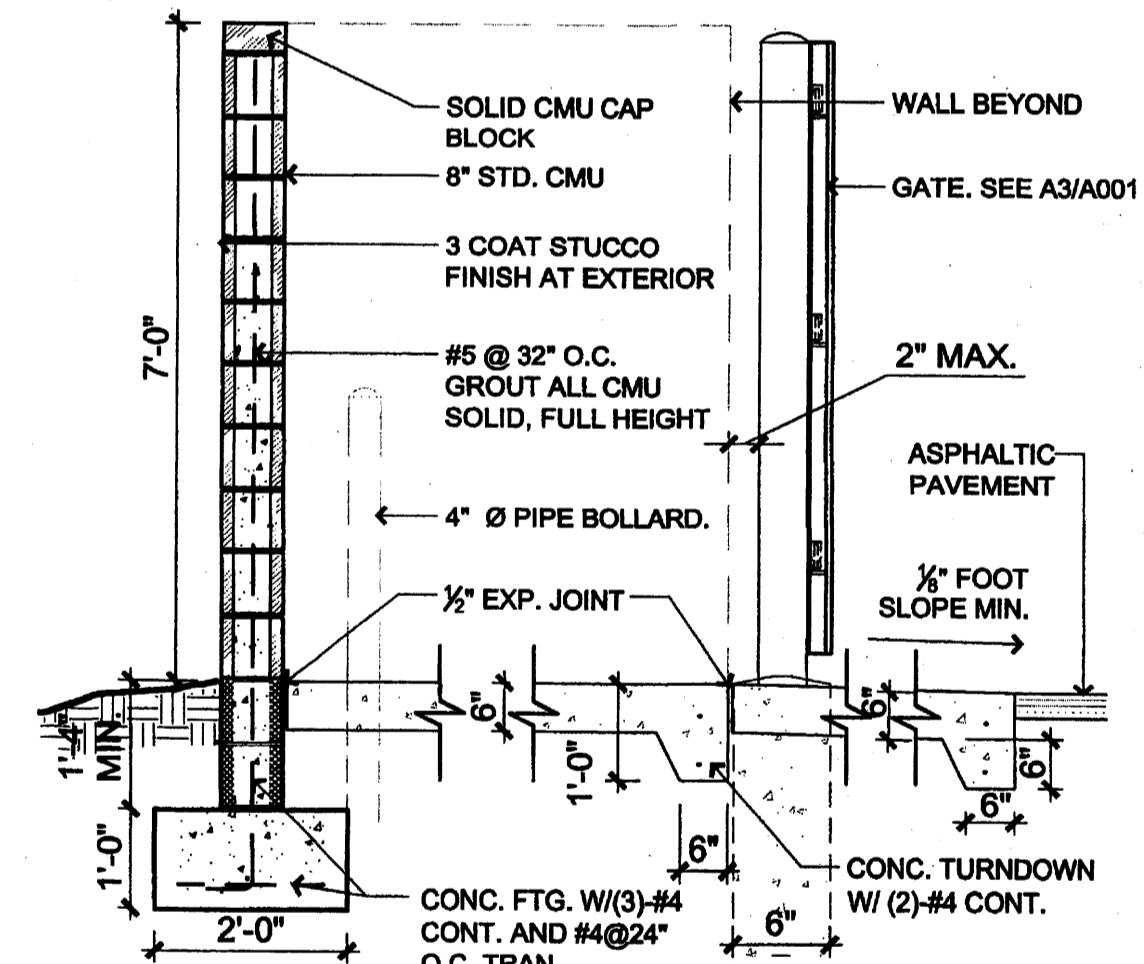




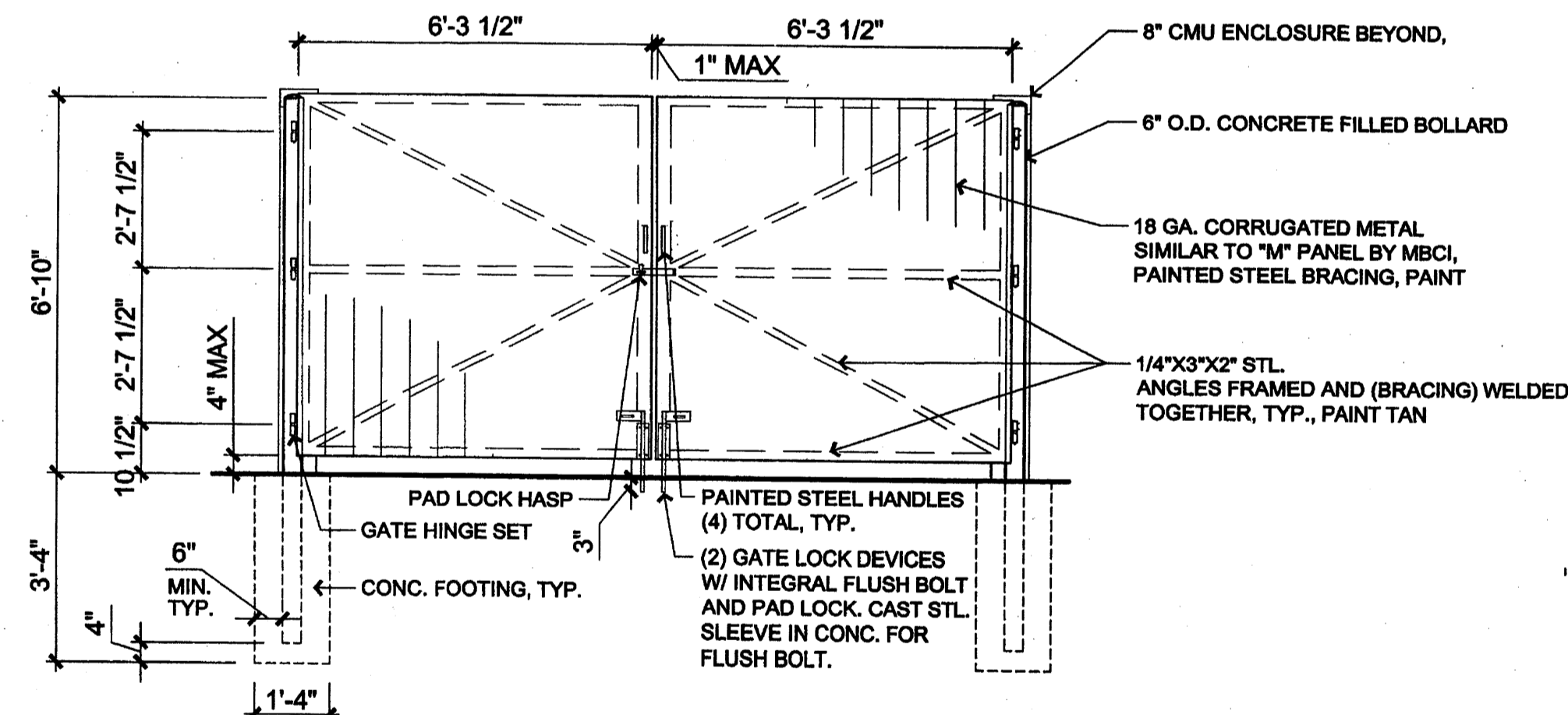
A5 DUMPSTER ENCLOSURE
PLAN 1/8" = 1'-0"



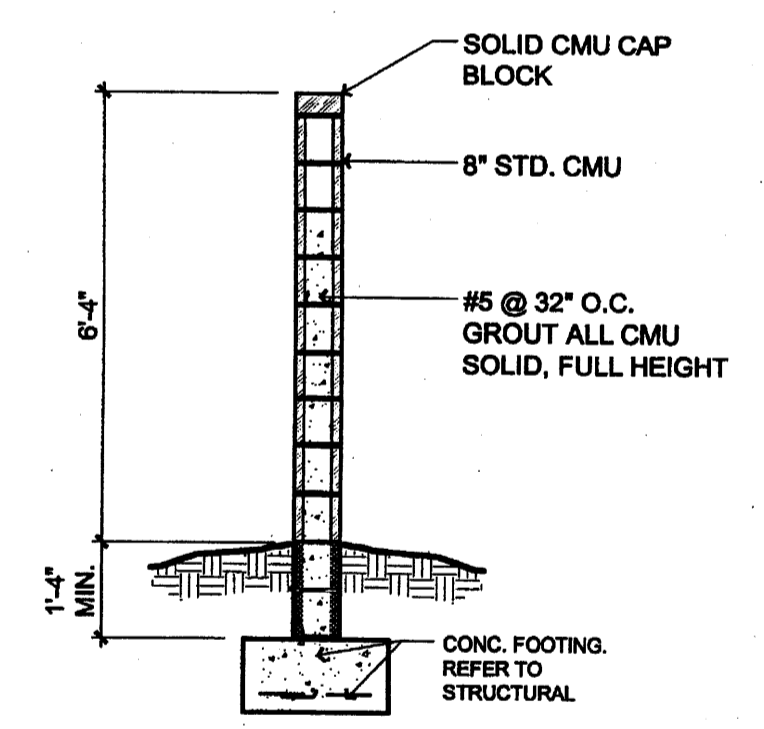
B5 LIGHT POLE ELEVATION
1/4" = 1'-0"



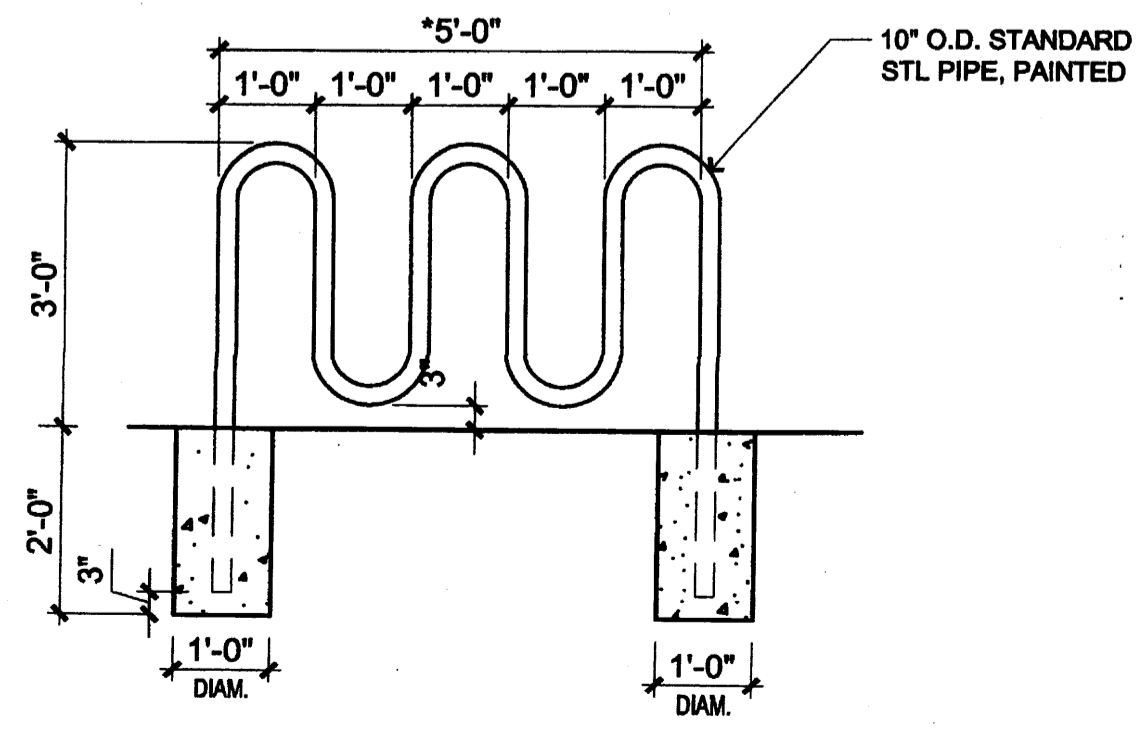
C2 DUMPSTER ENCLOSURE
SECTION 1/2" = 1'-0"



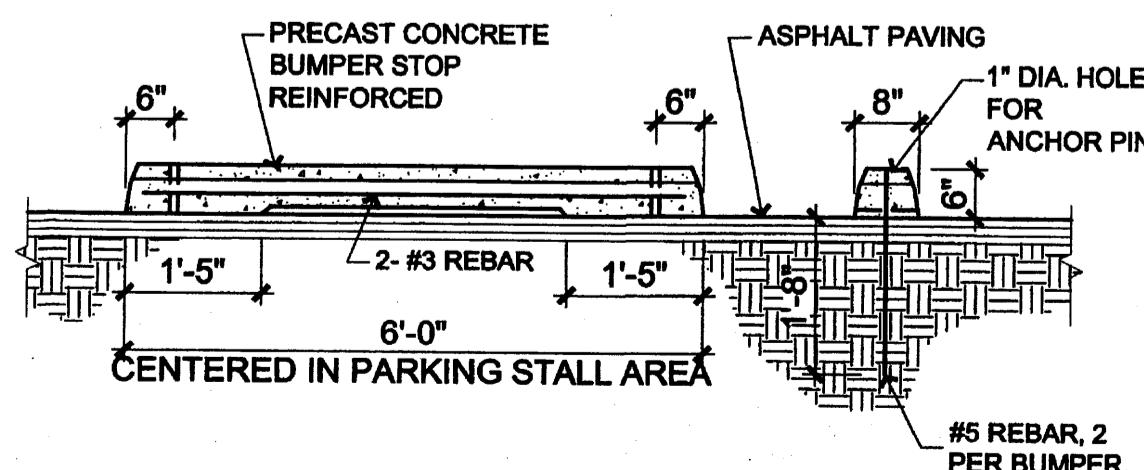
C3 DUMPSTER ENCLOSURE GATE
ELEVATION 3/8" = 1'-0"



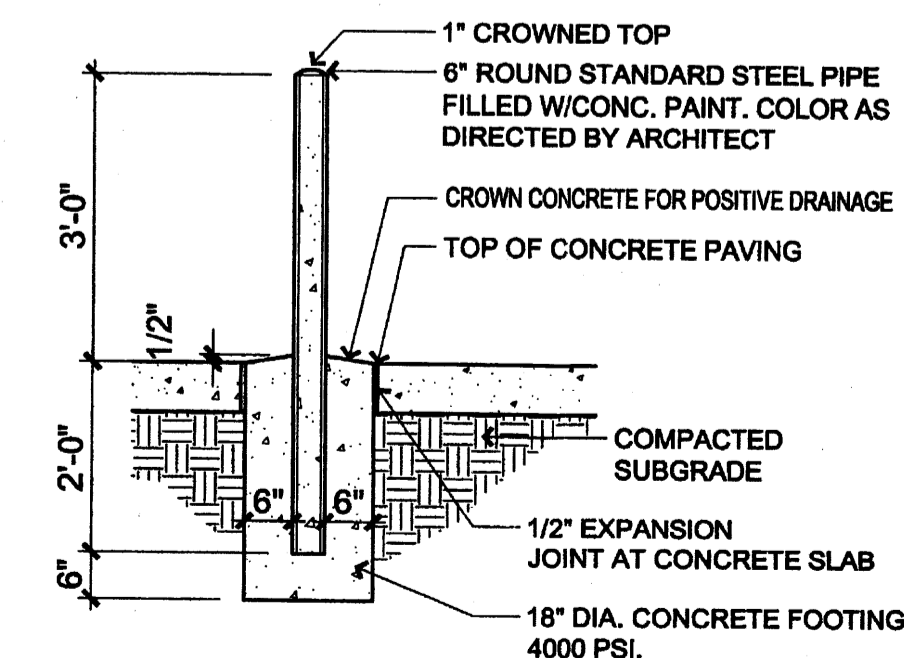
C5 TYPICAL CMU WALL DETAIL
SECTION 3/8" = 1'-0"



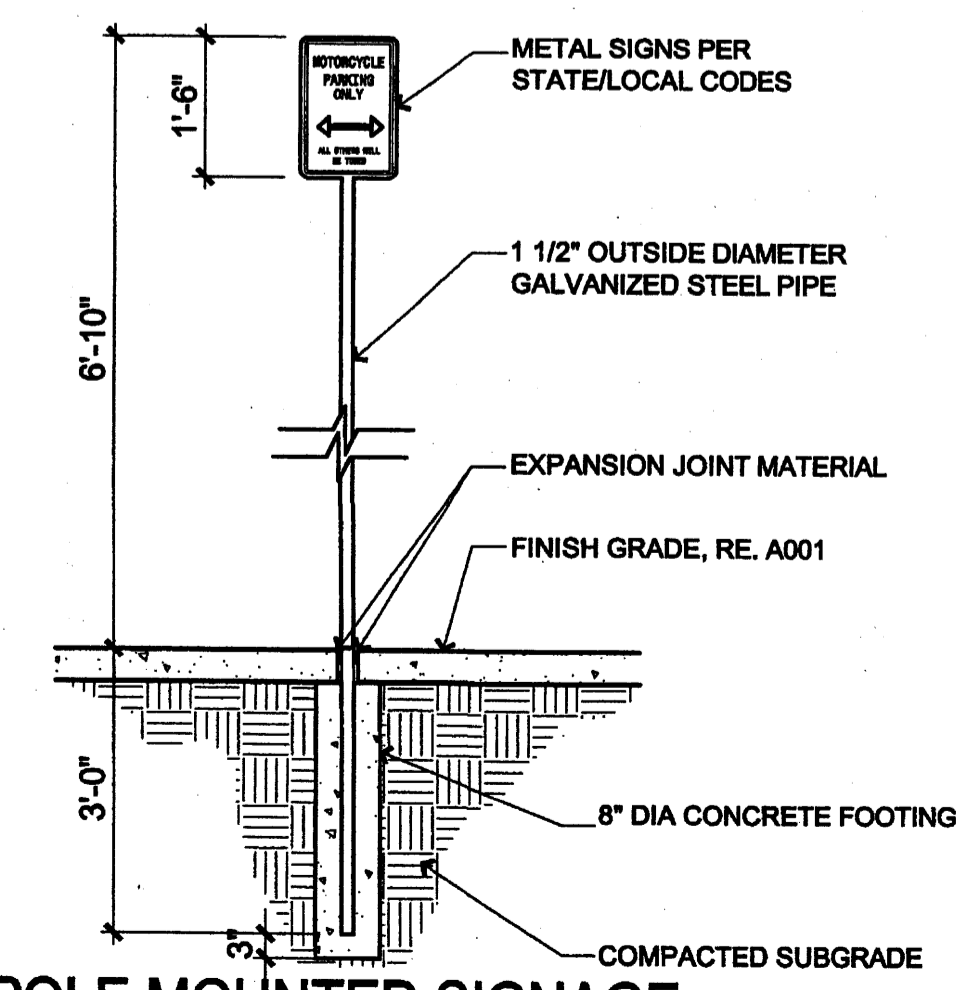
D1 BIKE RACK DETAIL
1/2" = 1'-0"



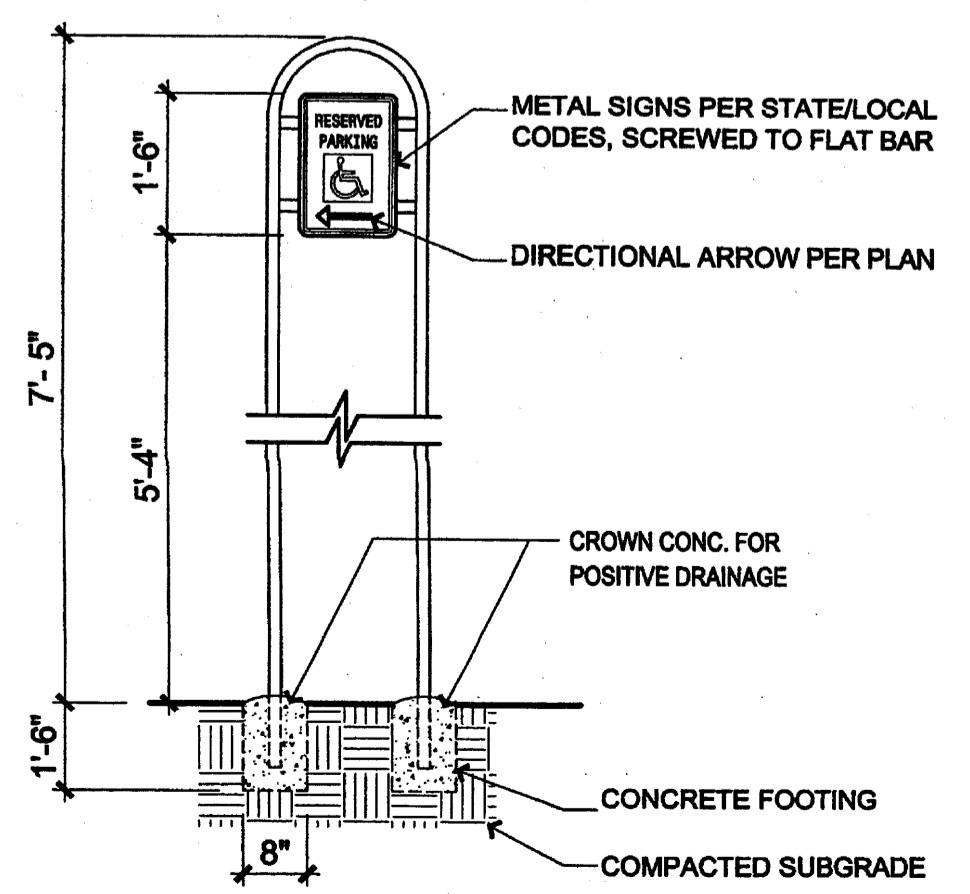
D2 CONCRETE BUMPER STOP
1/2" = 1'-0"



D3 PIPE BOLLARD
AT DUMPSTER ENCLOSURE 1/2" = 1'-0"



D4 POLE MOUNTED SIGNAGE
TYPE B - MOTORCYCLE PARKING 1/2" = 1'-0"



D5 POLE MOUNTED SIGNAGE
DISABLED PARKING - DIRECTIONAL 1/2" = 1'-0"

REVISIONS

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- △
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DRAWN BY

REVIEWED BY

DATE

JULY 2, 2009

PROJECT NO.

09-0019

DRAWING NAME

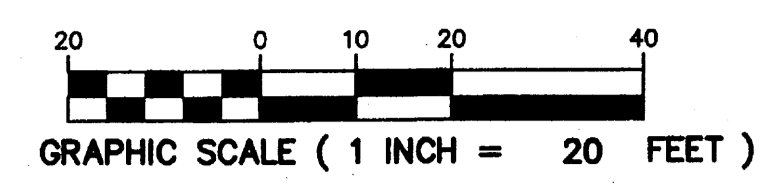
SITE DEVELOPMENT

PLAN FOR

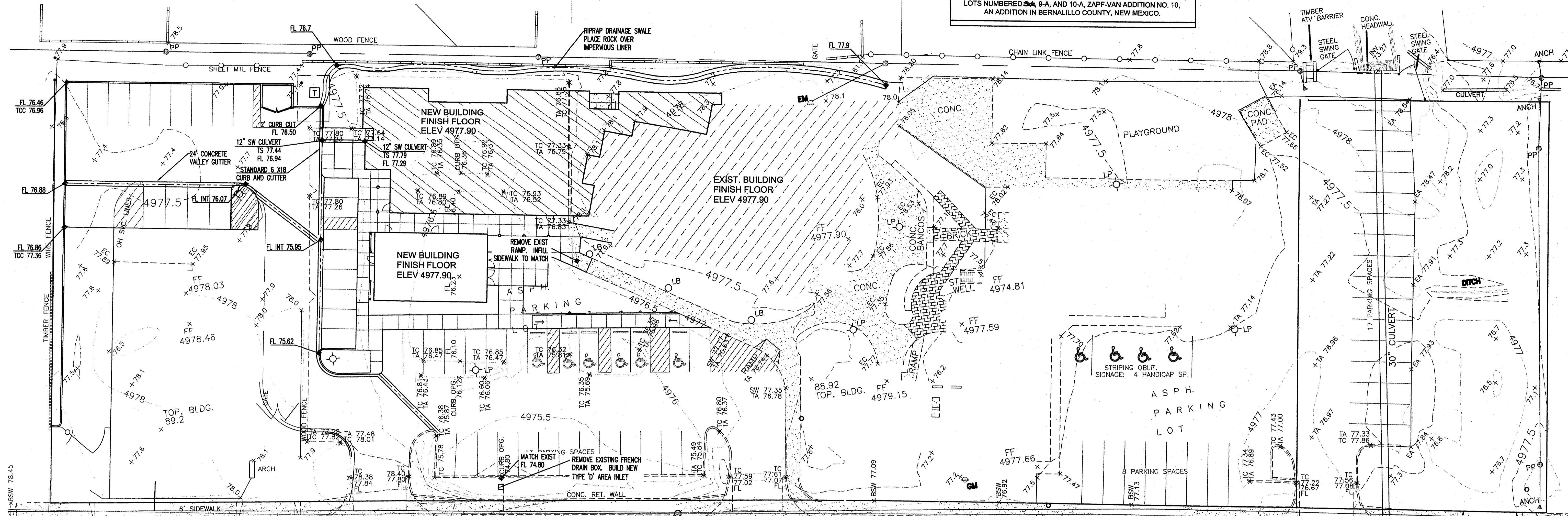
BUILDING PERMIT

SITE DETAILS

SHEET NO.



LEGAL DESCRIPTION
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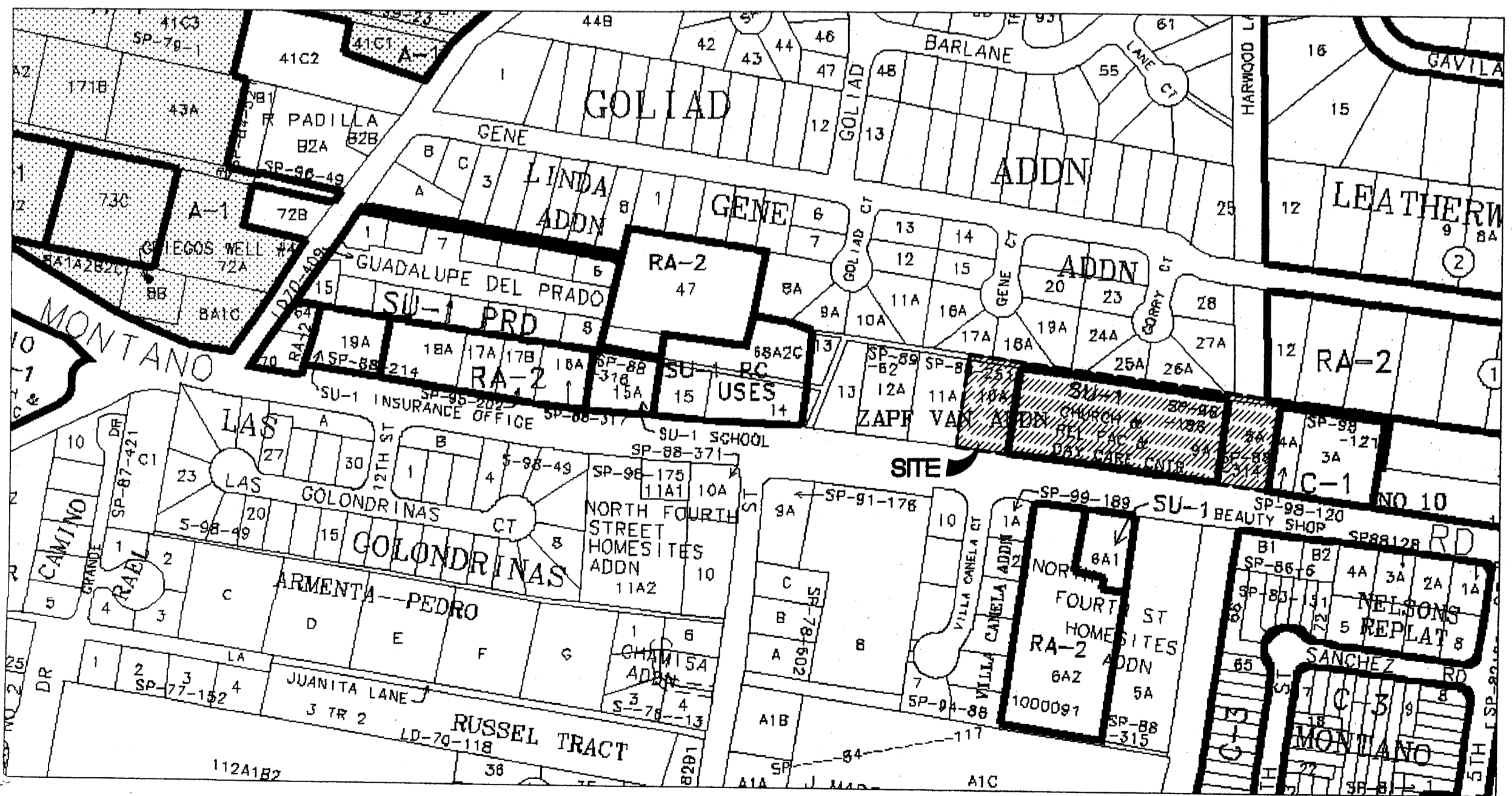
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535, 715 & 719 MONTANO ROAD, N.W.



VICINITY MAP ZONE ATLAS PAGE F-14-Z



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FLOODPLAIN

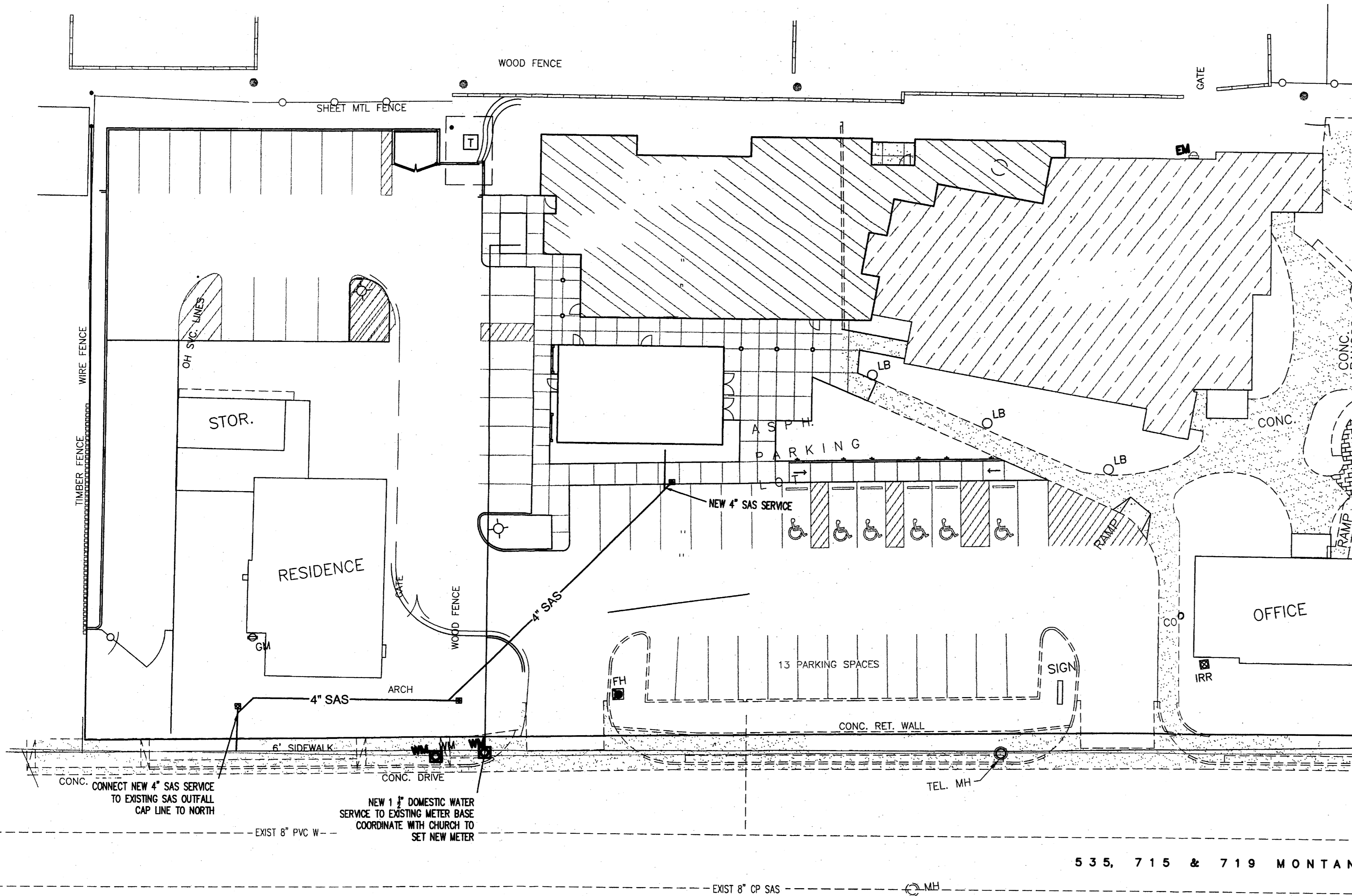
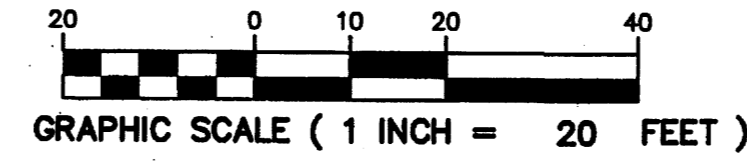
REVISIONS

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DRAWN BY	LRA, Inc.
REVIEWED BY	ldr
DATE	July 2, 2009
PROJECT NO.	09-0019
DRAWING NAME	

CONCEPTUAL
GRADING PLAN

SHEET NO.



PLANTING NOTES

- 1. THE LANDSCAPE DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
2. THE NEW LANDSCAPE DESIGN USES SIMILAR PLANT MATERIAL TO COINCIDE WITH THE EXISTING LANDSCAPE.
3. THE USE OF HIGH WATER USE PLANT MATERIALS SHALL BE LIMITED. ALL HIGH WATER USE TURF IS EXISTING TO REMAIN ON THIS PROJECT.
4. MINIMUM INSTALLATION SIZES FOR PLANT MATERIAL VARY BY SPECIES. SEE PLANT LEGEND.
5. LANDSCAPE AREAS SHALL BE COVERED WITH MULCH AND FILTER FABRIC, SEE LEGEND FOR MATERIAL.
6. TREE AND SHRUB PITS TO BE 4 TIMES THE ROOTBALL DIAMETER.
7. FOR VINE PLANTINGS AT TRELLIS: FINISH LINE SHALL BE INSTALLED BY CREATING A LOOSE LOOP AROUND THE BASE OF THE PLANT, TWINGING A BRANCH OF THE VINE AROUND THE LOOSE LOOP AND TYING THE OTHER END OF THE LINE TO THE TOP OF THE TRELLIS RAIL.
8. EXISTING UTILITY LINES ARE TO BE BLUE STAKED PRIOR TO EXCAVATION FOR PLANT MATERIALS. CHECK AND FILED VERIFY ALL SITE CONDITIONS, UTILITIES AND SERVICES PRIOR TO EXCAVATION. CALL N.M. ONE CALL AT 260-1990 FOR BLUE STAKING. IF PROBLEMS ARE DISCOVERED, CONTACT OWNER'S REPRESENTATIVE TO DETERMINE COURSE OF ACTION. WATER USE DESCRIPTION:
9. PLANT MATERIALS HAVE BEEN CHOSEN FOR THEIR XERIC QUALITIES IN ADDITION TO THEIR AESTHETIC AND HABITAT VALUES.
10. SEE GRADING AND DRAINAGE PLAN FOR ADDITIONAL INFORMATION. CONTRACTOR TO COORDINATE.
11. SOIL AMENDMENT PRODUCTS: SOIL BIOLOGY AMENDMENTS BY SOIL SECRETS (505-550-3246) SHALL BE APPLIED OVER PLANTING PITS DURING THE LANDSCAPE INSTALLATION AND AGAIN TOWARD THE END OF THE WARRANTY PERIOD. TERRA-PRO COMMERCIAL AND PROTEIN CRUMBLES ARE TO BE APPLIED OVER PLANT PITS FOLLOWING INSTALLATION AND PRIOR TO MULCH. DURING WARRANTY PERIOD, APPLY SAME AMENDMENTS OVER MULCH AND WATER INTO A 2" SOIL DEPTH. SEE SPECIFICATIONS.
12. SOIL AMENDMENT QUANTITIES: CONTRACTOR TO ESTIMATE TOTAL QUANTITY OF SOIL AMENDMENT IS BASED TWO APPLICATIONS AND THE FOLLOWING ASSUMPTIONS OF APPLICATION AREA: PER PLANT/PER INSTALLATION ARE AS FOLLOWS:
EACH TREE: 78.5 SF
EACH 3-5 GALLON PLANT: 28 SF
FOR SITE LIGHTING SEE SITE PLAN AND LIGHTING PLAN.
13. INSTALLATION AND MAINTENANCE OF LANDSCAPING AND IRRIGATION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
14. PASSIVE WATER HARVESTING, SUCH AS HARVESTING OF STORM WATER SURFACE RUNOFF AND ROOF RUNOFF, SHALL BE UTILIZED WHERE FEASIBLE AND CAPTURED IN COBBLE SWALES, SEE CIVIL DRAWINGS.

TREE PROTECTION NOTES

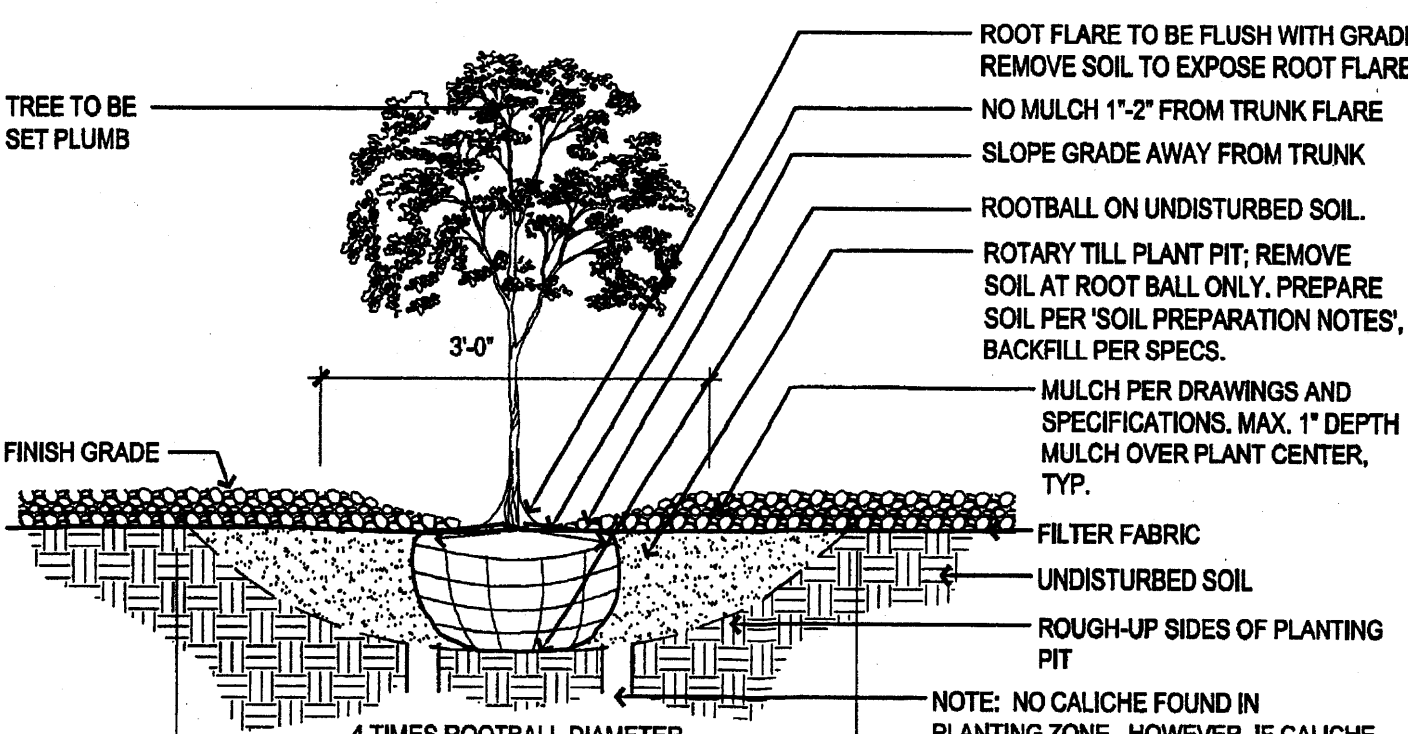
- 1. PROTECTION OF EXISTING TREES IS A CRITICAL PART OF THE LANDSCAPE DESIGN FOR THIS PROJECT. TREE PROTECTION ZONE TO BE 1'-0" FROM NEW OR PROPOSED SIDEWALK EDGE AND 1'-0" FROM PROPOSED PARKING LOT PAVING, CURBS OR WALLS.
2. MODIFICATIONS TO THE EXISTING IRRIGATION SYSTEM MUST BE COORDINATED WITH TREE PROTECTION IRRIGATION SYSTEM MODIFICATIONS SHALL OCCUR PRIOR TO INSTALLATION OF PROTECTIVE FENCING.
3. NO GRADING, TRENCHING OR EQUIPMENT STORAGE IS TO OCCUR IN THE TREE PROTECTION ZONES. WHERE EXCAVATION FOR NEW CONSTRUCTION IS REQUIRED WITHIN TREE PROTECTION ZONES, HAND CLEARING AND EXCAVATING IS REQUIRED TO MINIMIZE DAMAGE TO ROOT SYSTEMS. USE NARROW-TINE SPADING FORKS AND COMB SOIL TO EXPOSE ROOTS. WHERE UTILITY TRENCHES ARE REQUIRED WITHIN TREE PROTECTION ZONES, TUNNEL UNDER OR AROUND ROOTS BY DRILLING, AUGER BORING, PIPE JACKING, OR DIGGING BY HAND.
4. INSTALL 6" CHAIN LINK FENCE TO ENCLOSE THE TREE PROTECTION ZONE BEFORE DEMOLITION AND GRADING. FENCES SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETE. FENCE MAY BE TEMPORARILY REMOVED AND REPLACED IN SEGMENTS TO COMPLETE NECESSARY WORK. FOR TREE REMOVAL, TREES TO BE REMOVED SHALL BE CUT DOWN NEAR GRADE. STUMPS ARE TO BE GROUND TO AT LEAST 2'-0" BELOW PROPOSED FINISHED GRADE. ALL MATERIALS ARE TO BE REMOVED FROM SITE. ANY REMOVALS ARE TO BE COORDINATED WITH OWNER'S REPRESENTATIVE.

IRRIGATION NOTES

- 1. PRIOR TO DEMOLITION ACTIVITIES, THE CONTRACTOR SHALL AUDIT THE EXISTING IRRIGATION SYSTEM TO DETERMINE THE EXTENT OF THE EXISTING SYSTEM. MODIFICATIONS MAY INCLUDE, BUT ARE NOT LIMITED TO: EXISTING SYSTEM VALVES AND LATERAL SYSTEMS TO ABANDON, EXPAND, OR MODIFY; CONTROLLER STATIONS AND/OR WIRE TO ADJUST, RELOCATE, OR MODIFY. MODIFY IRRIGATION SYSTEM PRIOR TO TEMPORARY FENCE INSTALLATION, TO ENSURE EFFICIENT, UNOBSTRUCTED REMOVAL. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING OR REPAIRING ANY DAMAGE TO EXISTING IRRIGATION INFRASTRUCTURE CAUSED BY NEW IRRIGATION WORK. AT NO EXPENSE TO THE OWNER.
2. CONTRACTOR SHALL MAINTAIN EXISTING IRRIGATION TO ALL PLANT MATERIAL TO REMAIN DURING CONSTRUCTION.
3. THE NEW LANDSCAPE DESIGN REQUIRES A PERMANENT, FULLY AUTOMATIC IRRIGATION SYSTEM TO SUPPORT THE PLANT MATERIAL.
4. THE CONTRACTOR SHALL CREATE AN IRRIGATION PLAN TO PERMANENTLY IRRIGATE THE PROPOSED PLANTINGS, AND SHALL SUBMIT THIS TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. THE PLAN SHALL INCLUDE A PIPING AND DRIP Emitter LAYOUT WITH SIZING, VALVE SCHEDULE AND CONSTRUCTION DETAILS.
5. THIS NEW IRRIGATION SYSTEM IS TO BE CONNECTED INTO THE EXISTING IRRIGATION SYSTEM. CONTRACTOR IS TO COORDINATE THIS CONNECTION WITH OWNER'S REPRESENTATIVE. EXISTING BACKFLOW PREVENTER IS TO BE USED.
6. CONTROLLER: THE IRRIGATION SYSTEM SHALL BE RUN WITH FULLY AUTOMATED IRRIGATION CONTROLLER. RUN TIME WILL BE ADJUSTED ACCORDING TO PLANT MATURITY, SEASON, LOCATION, AND PLANT PERFORMANCE. CONTRACTOR TO COORDINATE CONNECTION TO THE EXISTING CONTROLLER WITH OWNER'S REPRESENTATIVE.
7. SUGGESTED SLEEVING LOCATIONS ARE SHOWN ON THE PLAN. CONTRACTOR TO DETERMINE SIZE OF SLEEVING TO BE PROVIDED.
8. CONTRACTOR TO VERIFY THAT EXISTING IRRIGATION BACKFLOW PREVENTER AND HEATED ENCLOSURE COMPLY WITH COA STD. DWG. 2701 OR IS CODE COMPLIANT.

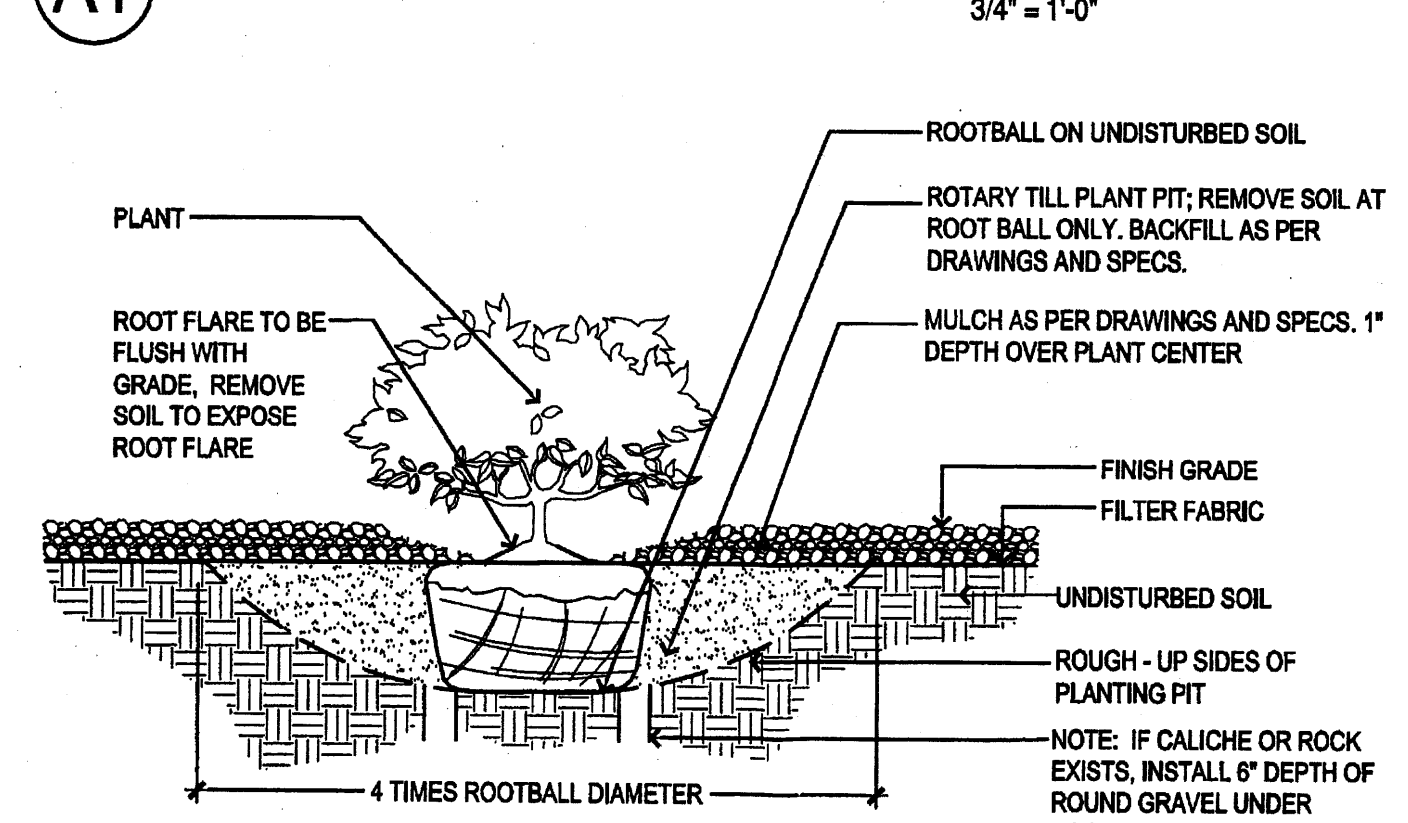
KEYED NOTES

- 1. PROPERTY LINE
2. STEEL EDGING
3. PATIO
4. FUTURE CISTERN LOCATION
5. SUGGESTED LOCATION FOR IRRIGATION SLEEVING
6. SWALE, SEE CIVIL DRAWINGS
7. EXISTING IRRIGATION EQUIPMENT



- NOTES:
1. PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, AND ROPE SHALL BE COMPLETELY REMOVED.
2. PRIOR TO BACKFILLING, REMOVE ALL BURLAP.

A1 TREE IN PLANTING BED



- NOTES:
1. PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, AND ROPE SHALL BE COMPLETELY REMOVED.
2. PRIOR TO BACKFILLING, REMOVE ALL BURLAP.

A2 SHRUB IN PLANTING BED

PLANTING LEGEND

Table with columns: SYMBOL, APPROX. QTY., INSTALLED SIZE, COMMON NAME, Botanical name, Mature Height, Mature Water requirements, Estimated Irrigation Requirements. Includes plants like SHADEMASTER HONEYLOCUST, CHITALPA, CHINESE PISTACHE, GINKGO, CHANTICLEER PEAR, VITEK, KRAUTER VESUVIUS, WASHINGTON HAWTHORN.

Table with columns: SYMBOL, APPROX. QTY., TYPE, COMMON NAME, Botanical name, Mature Height, Mature Water requirements, Estimated Irrigation Requirements. Includes plants like PARNEY'S COTONEASTER, HEAVENLY BAMBOO, REGAL MIST, PURPLE SMOKE BUSH, TUSCAN BLUE ROSEMARY, CRIMSON PYGMY BARBERRY, CHARLES JOLY LILAC, COMMON LILAC, JUPITER'S BEARD, WINTER GEM BOXWOOD, RED YUCCA, PURPLE LEAF SAND CHERRY, FLAME VINE, HARBOUR DWARF NANDINA, WILLOW LEAF COTONEASTER, JACK EVANS INDIAN HAWTHORN, SILKY THREAD GRASS, LOWFAST BEARBERRY, GRAY LEAF COTONEASTER, CHERRY SAGE, HAMELIN FOUNTAIN GRASS, KOREAN LILAC, TURPENTINE BUSH, PAMPAS GRASS, BLACK NIGHT BUTTERFLY BUSH, ROYAL RED BUTTERFLY BUSH.

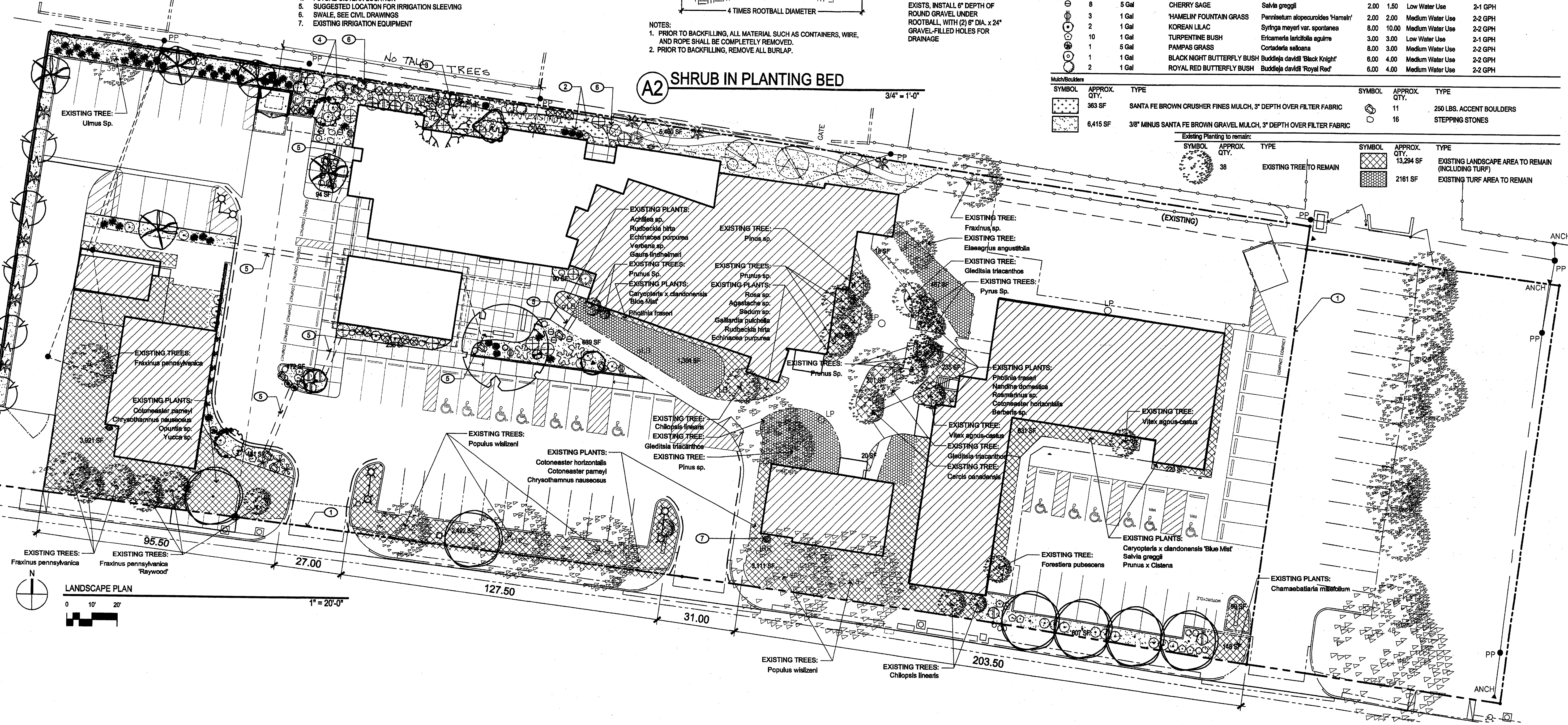
Table with columns: SYMBOL, APPROX. QTY., TYPE. Includes SANTA FE BROWN CRUSHER FINES MULCH, 3\"/>

Table with columns: SYMBOL, APPROX. QTY., TYPE. Includes EXISTING PLANTING TO REMAIN, EXISTING TREE TO REMAIN, EXISTING LANDSCAPE AREA TO REMAIN (INCLUDING TURF), EXISTING TURF AREA TO REMAIN.

LANDSCAPE CALCULATIONS

TOTAL BUILDING FOOTPRINT: 23,946 SF
TOTAL SITE AREA: 60,992 SF
NET SITE AREA: 67,046 SF
REQUIRED LANDSCAPE AREA: 10,057 SF (15% OF NET SITE AREA)
PROVIDED LANDSCAPE AREA: 19,721 SF (29% OF NET SITE AREA)

REQUIRED STREET TREES: 426.5 LF OF PLANTABLE STREETSCAPE / 30 = 14 TREES
PROVIDED STREET TREES: 6 NEW TREES + 13 EXISTING TREES = 19 TREES





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PROJECT
St. Michael and All Angels Episcopal Church MINISTRY COMPLEX ADDITION
601 Montano Rd. NW, Albq. NM

REVISIONS
DRAWN BY KP
REVIEWED BY KR
DATE JULY 2, 2009
PROJECT NO. 09-0019
DRAWING NAME LANDSCAPE PLAN

FINISH LEGEND

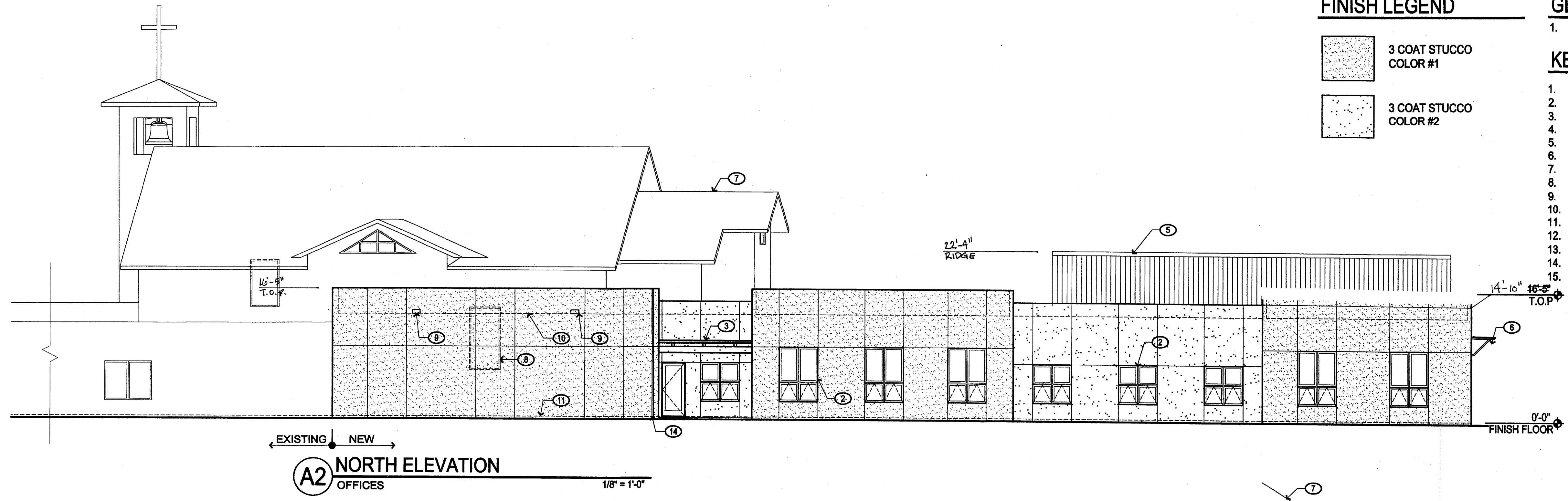
-  3 COAT STUCCO COLOR #1
-  3 COAT STUCCO COLOR #2

GENERAL NOTES

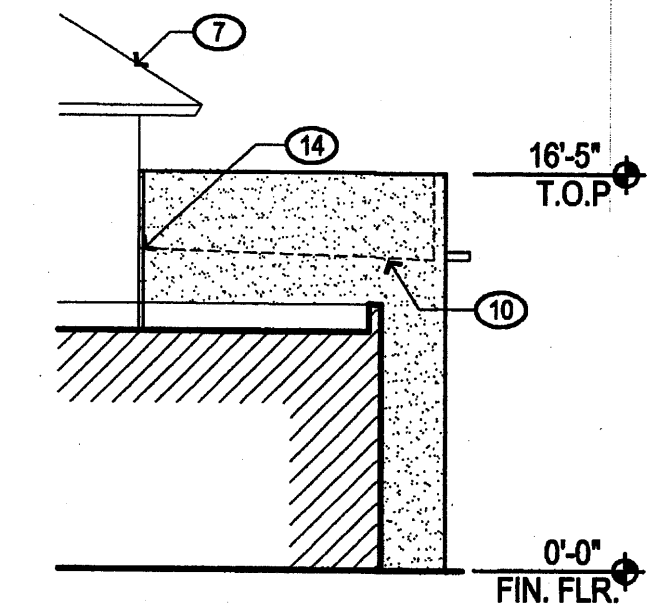
1. NO BUILDING MOUNTED SIGNS

KEYED NOTES

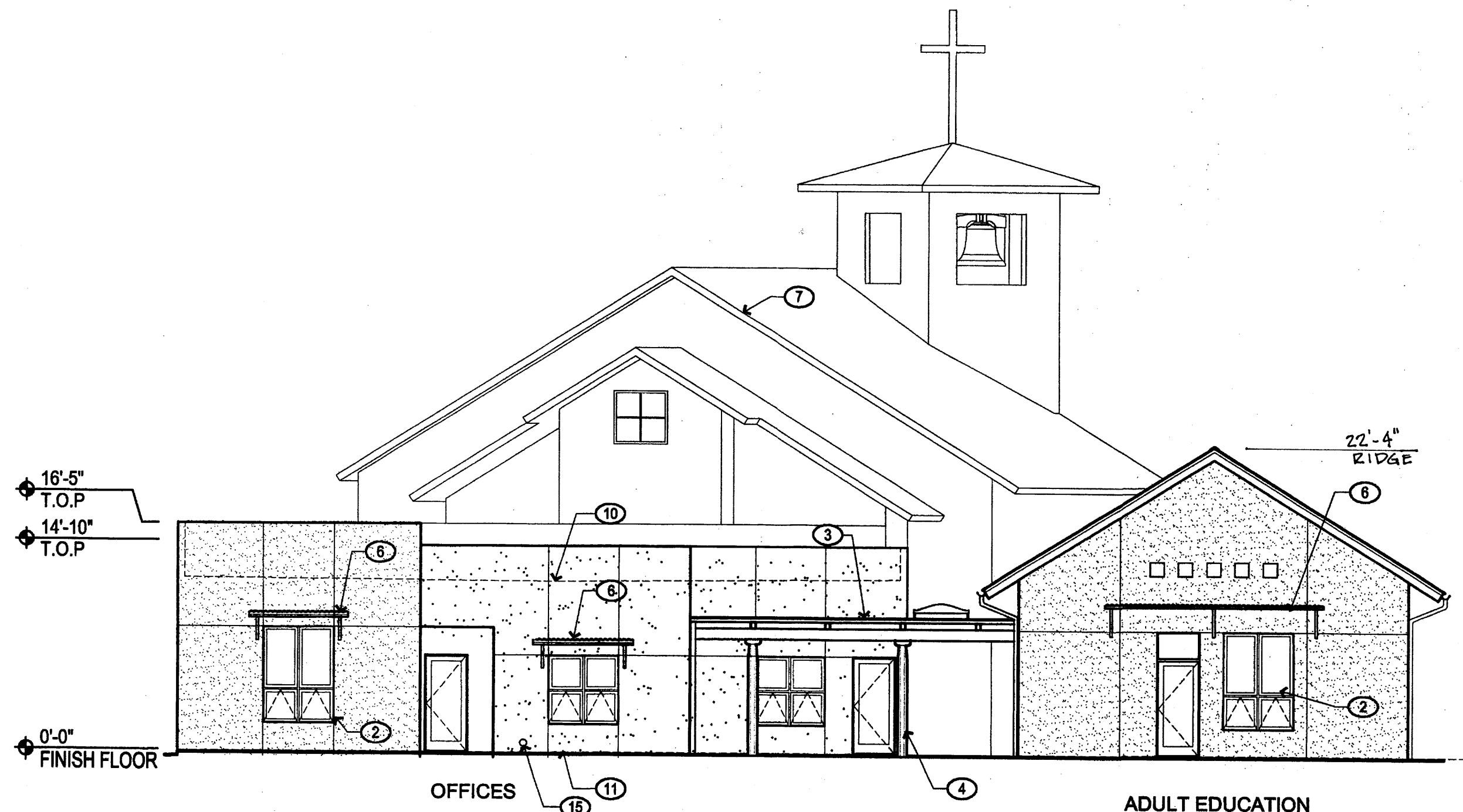
1. 3 COAT STUCCO SYSTEM.
2. ALUMINUM CLAD WOOD WINDOW.
3. WOOD CANOPY STRUCTURE.
4. TAPERED WOOD COLUMN.
5. CORRUGATED METAL ROOF.
6. METAL SUNSHADE W/ CORRUGATED METAL PANEL.
7. EXISTING TO REMAIN.
8. EXISTING WINDOW TO REMAIN.
9. ROOF SCUPPER.
10. LINE OF ROOF BEYOND.
11. LINE OF FINISH FLOOR.
12. SKYLIGHT
13. HOLLOW METAL DOOR & FRAME. PAINTED
14. EXPANSION JOINT
15. OVERFLOW NOZZLE



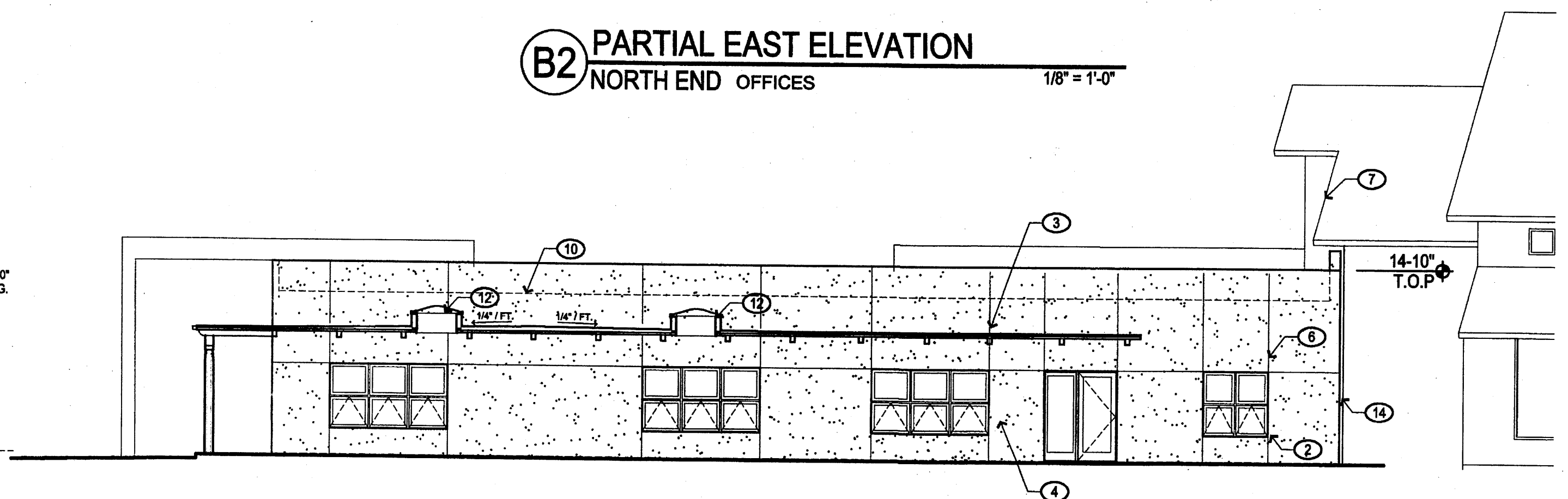
A2 NORTH ELEVATION
OFFICES
1/8" = 1'-0"



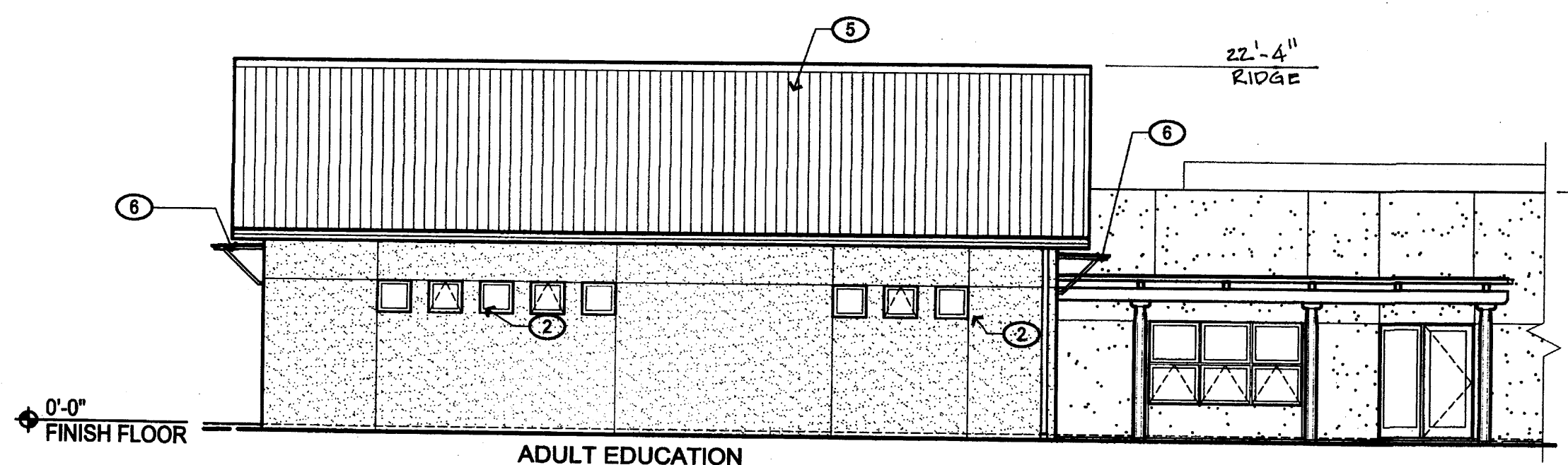
B2 PARTIAL EAST ELEVATION
NORTH END OFFICES
1/8" = 1'-0"



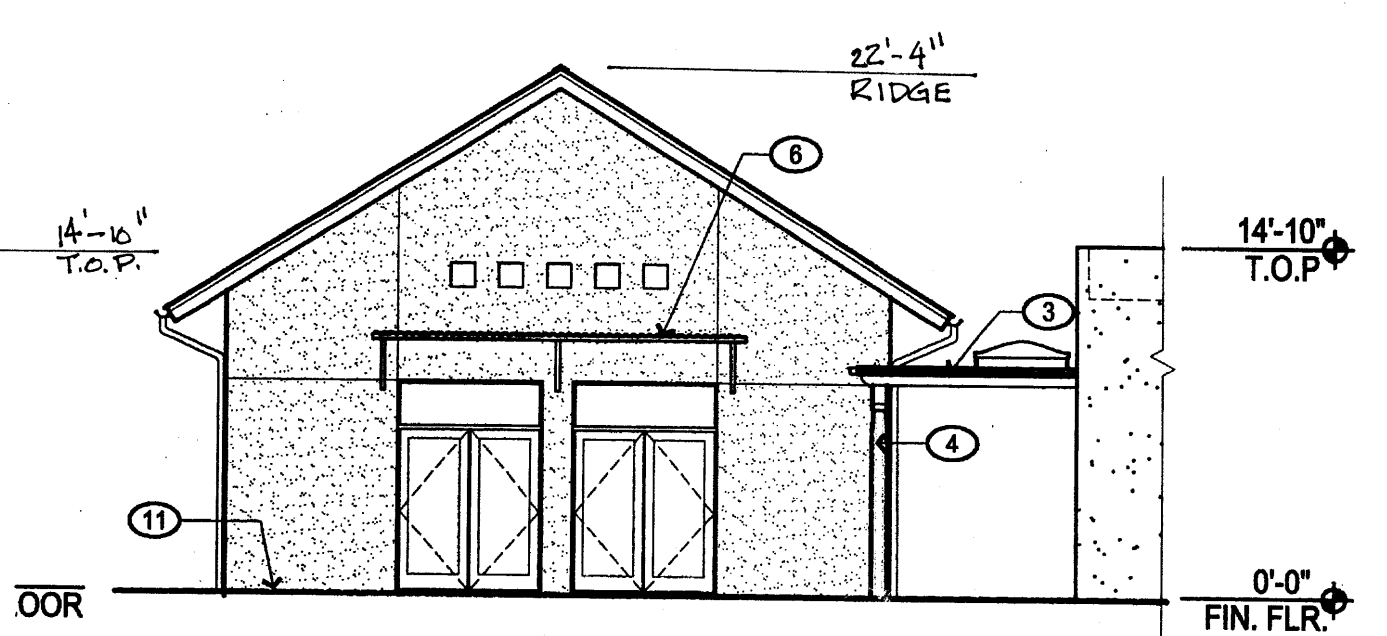
C1 WEST ELEVATION
1/8" = 1'-0"



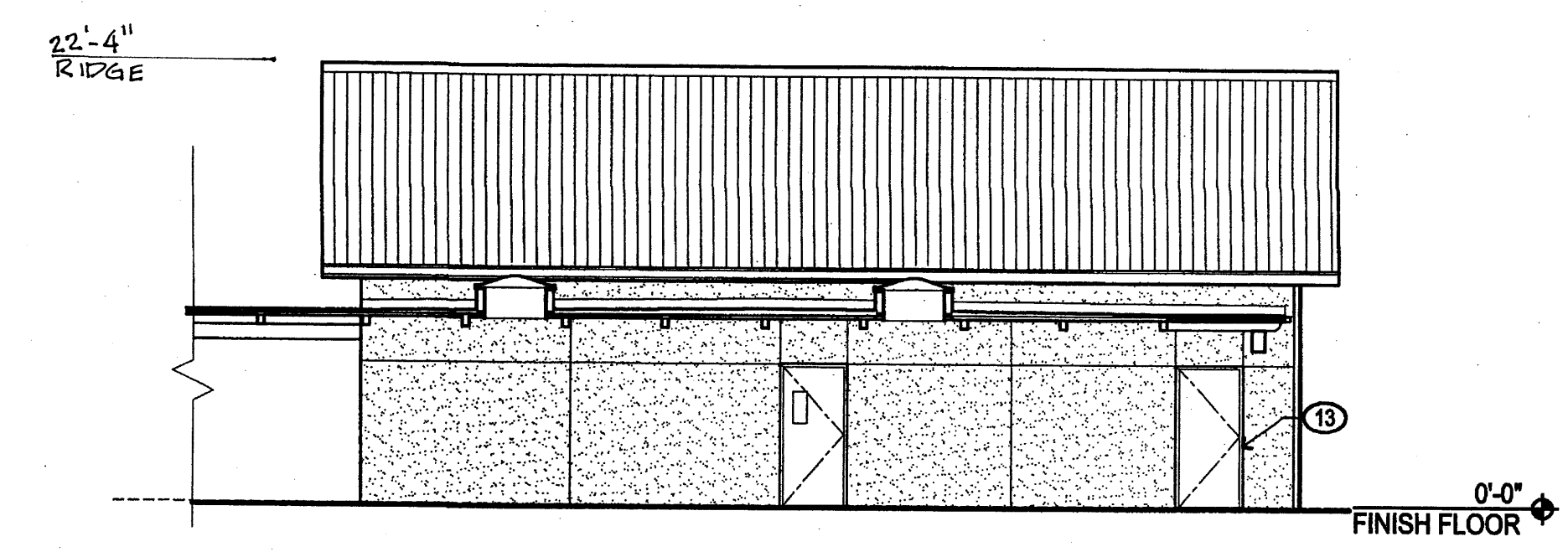
C2 SOUTH ELEVATION
OFFICES
1/8" = 1'-0"



D1 SOUTH ELEVATION
1/8" = 1'-0"



D2 PARTIAL EAST ELEVATION
SOUTH END ADULT EDUCATION
1/8" = 1'-0"



D4 NORTH ELEVATION
ADULT EDUCATION
1/8" = 1'-0"