

9. **Project# 1007928**  
11DRB-70162 EPC APPROVED SDP  
FOR SUBDIVISION

RBA ARCHITECTS agent(s) for TWRB INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 1-A-1, Tract(s) PLAT OF TRACTS 1-A-1, RAYCO zoned SU-2/MR, located on WHEELER BETWEEN BROADWAY AND WHEELER containing approximately 2.42 acre(s). (M-14) *[Deferred from 6/15/11 ]* **THE AMENDED SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR RECORDING OF ACCESS EASEMENT AND FOR CASE PLANNERS INITIALS.**

10. **Project# 1008695**  
11DRB-70141 EPC APPROVED SDP  
FOR BUILD PERMIT

BILL BURKE III ARCHITECT agent(s) for EL PASO LOS ANGELES LIMOUSINE EXPRESS INC request(s) the above action(s) for all or a portion of Lot(s) E-2, **SUNDT'S INDUSTRIAL AREA** zoned M-2, located on SW COURNER OF CANDELARIA AND PAN AMERICAN FREEWAY SOUTH containing approximately 2.01 acre(s). (H-15) *[Deferred from 5/25/11 ]* **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

11. **Project# 1002632**  
11DRB-70149 SIDEWALK VARIANCE

TIERRA WEST LLC agent(s) for FLASH RESOURCES, LLC request(s) the above action(s) for all or a portion of Tract(s) 2, 3, & 7, **BULK LAND PLAT OF SUNDANCE ESTATES** zoned R-LT, located on UNSER BETWEEN PARADISE AND PASEO DEL NORTE containing approximately 73.1683 acre(s). (B-10 & 11) *[Deferred from 6/8/11, 6/15/11 ]* **THE THE SIDEWALK VARIANCE WAS APPROVED FOR MEANDERING SIDEWALK ON MONOLITH DRIVE NW WITHIN A PUBLIC SIDEWALK EASEMENT TO ALLOW FOR A WIDER MEDIAN, AND A WAIVER OF SIDEWALK ON THE WEST SIDE OF BOULDER TRAIL NW AT THIS TIME BASED ON THE EXHIBIT AND THE CONCEPT OF SIDEWALK CONNECTIONS TO UNSER BOULEVARD NW FROM THE ADJACENT STREETS, ALONG WITH THE PROPOSED LANDSCAPE PLAN FOR THE BOULDER TRAIL RIGHT OF WAY, AND SUBJECT TO THE PROVISION OF A PUBLIC SIDEWALK EASEMENT ON TRACT L FOR A FUTURE SIDEWALK IF NEEDED.**

3. **Project# 1004353**  
11DRB-70004 MAJOR - 2 YEAR  
EXTENSION OF SUBDIVISION  
IMPROVEMENTS AGREEMENT (2YR  
SIA)

LONGFORD HOMES request(s) the referenced/ above  
action(s) for **SANTA FE 2 AT THE TRAILS UNIT 2**,  
zoned R-D, located on the west side of OAKRIDGE ST  
NW between TREE LINE AVE NW and WOODMONT  
AVE NW containing approximately 17.0028 acre(s). (C-9)  
*[Deferred from 2/9/11, 2/23/11, 3/9/11, 3/16/11, 3/23/11,  
4/13/11, 4/20/11, 5/4/1, 6/1/11, 6/15/11]* **AN EXTENSION  
THROUGH AUGUST 2011 WAS APPROVED TO  
MATCH PROJECT # 1002962.**

4. **Project# 1008656**  
11DRB-70068 VACATION OF PUBLIC  
DRAINAGE EASEMENTS  
11DRB-70069 SIDEWALK WAIVER  
11DRB-70070 SUBDIVISION DESIGN  
VARIANCE FROM MIN DPM STDS  
11DRB-70071 MINOR - TEMPORARY  
DEFERRAL OF SIDEWALK CONST  
11DRB-70072 MAJOR - PRELIMINARY  
PLAT APPROVAL

MARK GOODWIN AND ASSOCIATES, P.A. agent(s) for  
GLENDALE LLC, request(s) the referenced/ above  
action(s) for all or a portion of Lot(s) 4-9, Block 12,  
**NORTH ALBUQUERQUE ACRES Tract 1 Unit 3**,  
zoned RD/3DU/AC, located on the south side of  
GLENDALE AVE NE between WYOMING BLVD NE  
and BARSTOW ST NE containing approximately 6 acre(s).  
(B-19) *[Deferred from 4/27/1, 5/11/11, 5/25/11,  
6/8/11]* **DEFERRD TO 8/31/11 AT THE AGENT'S  
REQUEST.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND  
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

5. **Project# 1002202**  
11DRB-70150 - SITE DEVELOPMENT  
PLAN FOR BUILDING PERMIT

CONSENSUS PLANNING agent(s) for WINROCK  
PARTNERS, LLC request(s) the above action(s) for all or a  
portion of Lot(s) A1A, **WINROCK CENTER  
ADDITION** zoned SU-3 MU-UPT, located on  
LOUISIANA BLVD NE BETWEEN I-40 AND INDIAN  
SCHOOL RD NE containing approximately 81.37 acre(s).  
(J-19) *[Deferred from 6/8/11]* **WITH THE SIGNING OF THE  
INFRASTRUCTURE LIST DATED 6/22/11 THE SITE PLAN  
FOR BUILDING PERMIT WAS CONDITIONALLY  
APPROVED WITH FINAL SIGN OFF DELEGATED TO  
CITY ENGINEER FOR COMPLETION OF THE SIA AND  
TO PLANNY FOR RESOLUTION OF VACATION  
ACTIONS AND TO AMEND THE PLAN TO ADDRESS  
PLANNING AND TRANSPORTATION COMMENTS.**

6. **Project# 1007928**  
11DRB-70162 EPC APPROVED SDP  
FOR SUBDIVISION

RBA ARCHITECTS agent(s) for TWRB INVESTMENTS  
request(s) the above action(s) for all or a portion of Lot(s)  
1-A-1, Tract(s) PLAT OF TRACTS 1-A-1, **RAYCO**  
zoned SU-2/MR, located on WHEELER BETWEEN  
BROADWAY AND WHEELER containing approximately  
2.42 acre(s). (M-14) **DEFERRED TO 6/29/11 AT THE  
AGENT'S REQUEST.**



Complete  
11-17-11 RS

## DRB CASE ACTION LOG (Site plan - Building Permit)

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

DRB Application No.: 11DRB-70162

Project # 1007928

Project Name: RAYCO

Agent: RBA Architects

Phone No.:

\*\*Your request was approved on 6-29-11 by the DRB with delegation of signature(s) to the following departments.\*\*

### OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED:

TRANSPORTATION: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

ABCWUA: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

CITY ENGINEER / AMAFCA: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PARKS / CIP: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PLANNING (Last to sign): - record access E map  
- Case Planner initials ✓

**Planning must record this plat. Please submit the following items:**

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer
- Recording fee (checks payable to the County Clerk). **RECORDED DATE:** \_\_\_\_\_
- Tax printout from the County Assessor

- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**

**Property Management's signature must be obtained prior to Planning Department's signature.**

- AGIS DXF File approval required**
- Copy of recorded plat for Planning.**



## DRB CASE ACTION LOG (Site plan - Building Permit)

This sheet **must** accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

DRB Application No.: 11DRB-70162

Project # 1007928

Project Name: *RAYCO*

Agent: *RBA Architects*

Phone No.:

\*\*Your request was approved on 5-29-11 by the DRB with delegation of signature(s) to the following departments.\*\*

### OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED:

TRANSPORTATION: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

ABCWUA: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

CITY ENGINEER / AMAFCA: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PARKS / CIP: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PLANNING (Last to sign): *- record access E map.*  
*- Care Plans initials*

**Planning must record this plat. Please submit the following items:**

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer
- Recording fee (checks payable to the County Clerk). **RECORDED DATE:** \_\_\_\_\_
- Tax printout from the County Assessor

**3 copies of the approved site plan. Include all pages.**

**County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**

**Property Management's signature must be obtained prior to Planning Department's signature.**

**AGIS DXF File approval required.**

**Copy of recorded plat for Planning.**



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\*  
\*  
\*  
\*

**City of Albuquerque Planning Department**  
**One Stop Shop – Development and Building Services**

06/07/2011 Issued By: BLDAVM 111791

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**STANDARD APPLICATION, Paper Plans Required**

**Permit Number: 2011 070 161**

**Category Code 910**

**Application Number: 11DRB-70161, Minor - Sdp For Subdivision**

**Address:**

**Location Description: WHEELER BETWEEN BROADWAY AND WHEELER**

**Project Number: 1007928**

**Applicant**

TWRB INVESTMENTS

3819 PALACO DEL RIO GRANDE  
ALBUQUERQUE NM 87102

**Agent / Contact**

Rba Architects  
Xavier Nuno-Whelan  
1104 Park Ave Sw  
Albuquerque NM 87102  
505-242-1859

**Application Fees**

441018/4943000	APN Fee	
441032/3416000	Conflict Mgmt Fee	\$20.00
441006/4958000	DRB Actions	\$385.00
<b>TOTAL:</b>		<b>\$405.00</b>

City Of Albuquerque  
Treasury Division

6/7/2011 3:59PM LOC: ANPX  
IN 002 TRANS# 004e  
RECEIPT# 00133026-00133026  
PERMIT# 20110/0161 TRSLNF  
Trans Amt \$405.00  
Conflict Manag. Fee \$20.00  
DRB Action \$385.00  
CF \$405.00  
CHANGE \$0.00

Thank You

EXHIBIT SHOWING  
CROSS ACCESS EASEMENT  
WITHIN  
TRACTS 1-A-1 AND 2-A-1  
LANDS OF RAYCO  
ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
NOVEMBER, 2011

**LEGAL DESCRIPTION:**

A CERTAIN TRACT OF LAND BEING A CROSS ACCESS EASEMENT BETWEEN TRACTS 1-A-1 AND 2-A-1, LANDS OF RAYCO, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 4, 2007 IN PLAT BOOK 2007C, PAGE 287 SAID CROSS ACCESS EASEMENT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEGINNING AT THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED EASEMENT, BEING A POINT ON THE LINE BETWEEN SAID TRACTS 1-A-1 AND 2-A-1, WHENCE THE SOUTHWEST CORNER OF SAID TRACT 2-A-1 BEARS S 01°59'45" E, A DISTANCE OF 21.00 FEET RUNNING THENCE AS AN EASEMENT N 01°59'45" W, A DISTANCE OF 28.67 FEET TO THE NORTHEAST AND TERMINUS POINT OF SAID EASEMENT

FREE CONSENT

BY THE SIGNING OF THIS DOCUMENT, I/WE DO HEREBY GRANT THE CROSS ACCESS EASEMENT AS DESCRIBED HEREON.

[Signature] 11/14/11  
DATE

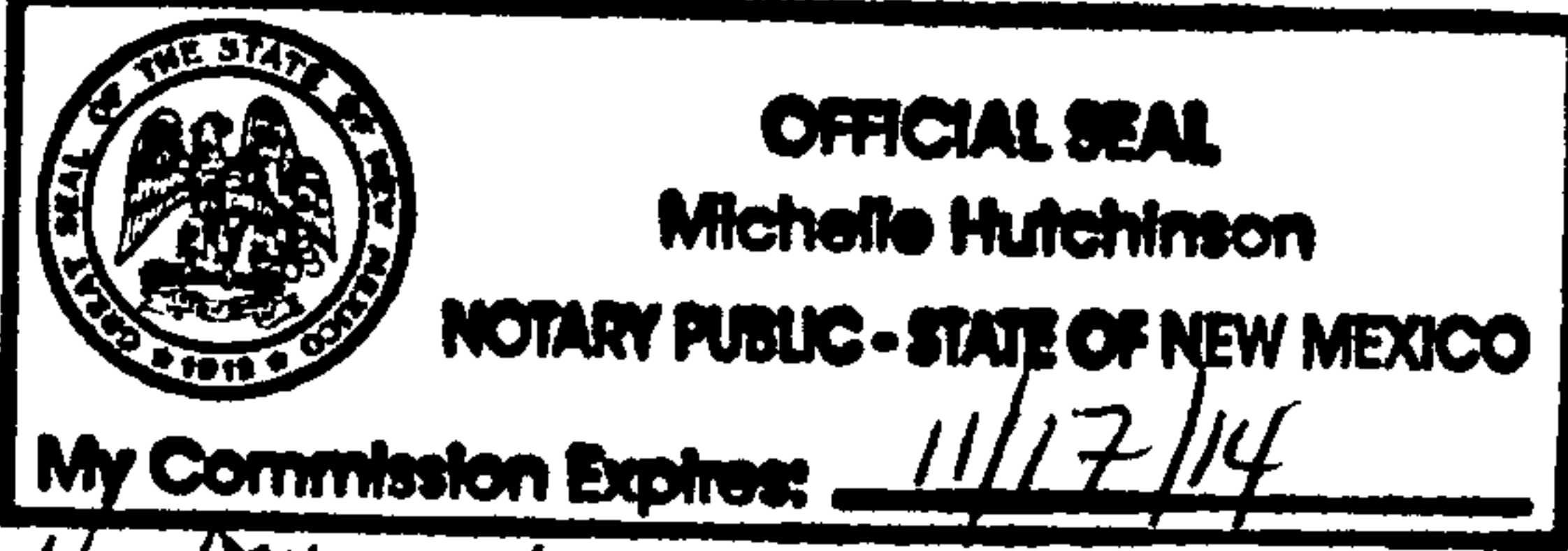
ACKNOWLEDGMENT

STATE OF NEW MEXICO ) S.S.  
COUNTY OF BERNALILLO )

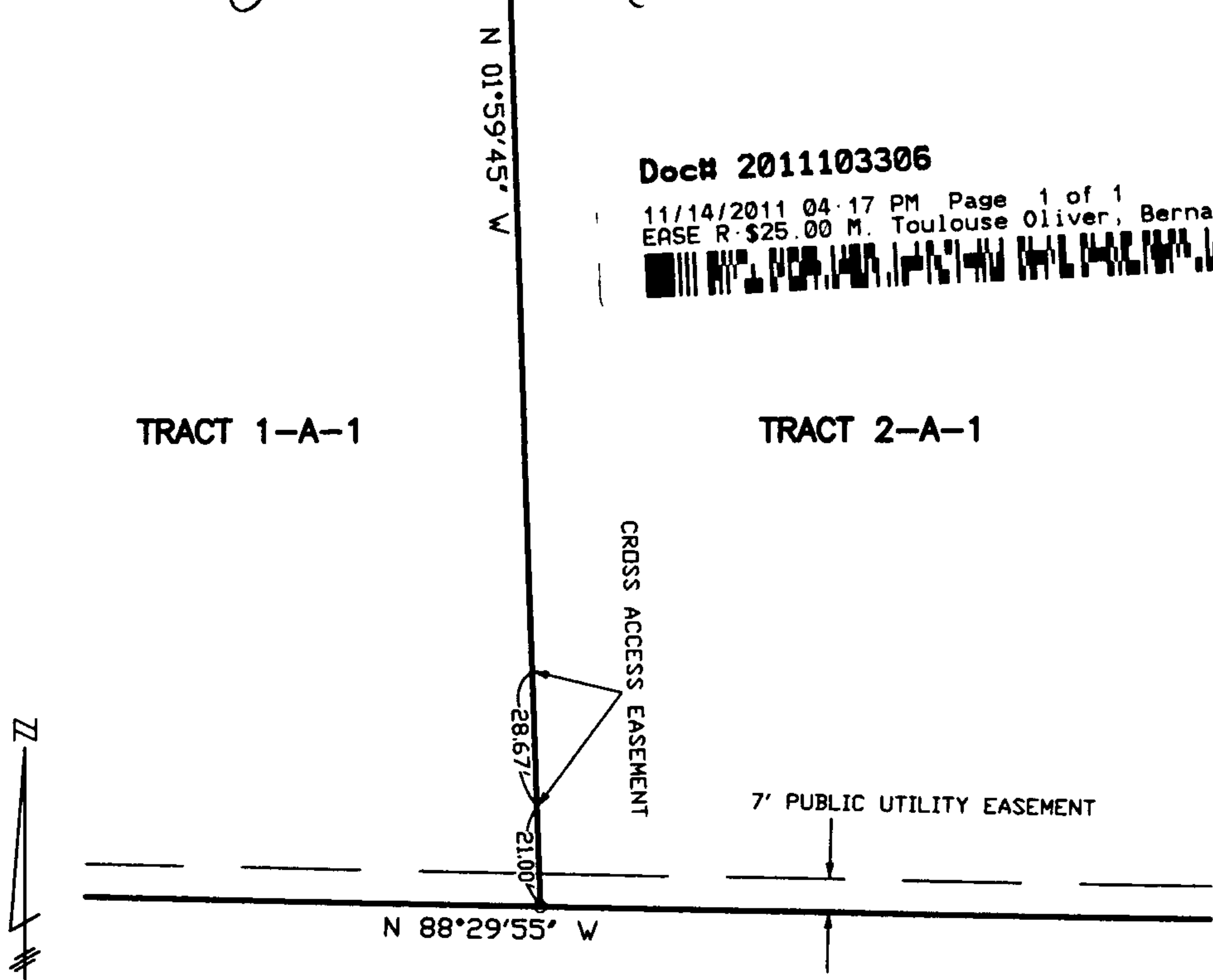
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC THIS 14TH DAY OF NOVEMBER 2011

BY: [Signature]  
OWNERS NAME

MY COMMISSION EXPIRES: 11/17/14 BY: Michelle Hutchinson  
NOTARY PUBLIC



Doc# 2011103306  
11/14/2011 04:17 PM Page 1 of 1  
EASE R-\$25.00 M. Toulouse Oliver, Bernalillo County



Scale: 1" = 40'  
Order No.: 07-0035  
Field Book: Page:

[Signature]  
Anthony L. Harris, N.M.P.S.#11463 HARRIS SURVEYING, INC.  
2412-D Monroe Street, NE • Albuquerque, New Mexico 87110  
Telephone (505) 889-8058 • FAX (505) 889-8645



# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

### SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

### SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

### STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

### S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III) Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
  - Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

#### APPLICATION INFORMATION:

Professional/Agent (if any): RBA ARCHITECTS PHONE: 505-242-1859  
 ADDRESS: 1104 PARK AVE. SW. FAX: \_\_\_\_\_  
 CITY: ALBUQUERQUE STATE NM ZIP 87106 E-MAIL: XAVIER@RBA.COM

APPLICANT: TWRB INVESTMENTS PHONE: 505-248-1688  
 ADDRESS: 5819 PALACO DEL RIO GRANDE FAX: \_\_\_\_\_  
 CITY: ALBUQUERQUE STATE NM ZIP 87102 E-MAIL: WATERMAN@WATERMANINK.COM  
 Proprietary interest in site: OWNER List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: AMENDMENT TO SECTOR PLAN & SITE DEVELOPMENT PLAN FOR SUBDIVISION.

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

#### SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT 1-A-1, PLAT OF TRACTS 1-A-1 Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv/Addn/TBKA: Rayco  
 Existing Zoning: SU-2/MR Proposed zoning: SU-2/SJ-1 MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): M-4-2 UPC Code: D1405532.044/10514

#### CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.):  
PROJ. # 1007928 10EPC-40057 10EPC-40067

#### CASE INFORMATION:

Within city limits?  Yes Within 1000FT of a landfill? \_\_\_\_\_  
 No. of existing lots: 2 No. of proposed lots: 1 Total area of site (acres): 2.42  
 LOCATION OF PROPERTY BY STREETS: On or Near: ON WHEELER AVE SE.  
 Between: BROADWAY BLVD. SE and WHEELER AVE SE

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_

SIGNATURE XAVIER NUNO-WATERMAN DATE 6-07-11  
 (Print) XAVIER NUNO-WATERMAN Applicant.  Agent:

#### FOR OFFICIAL USE ONLY

Form revised 4/07

	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> INTERNAL ROUTING	<u>11DRB - 70162</u>	<u>SPS</u>		\$ <del>300.00</del>
<input checked="" type="checkbox"/> All checklists are complete		<u>CMF</u>		\$ <u>20.00</u>
<input checked="" type="checkbox"/> All fees have been collected				\$ _____
<input checked="" type="checkbox"/> All case #s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate				\$ _____
	Hearing date <u>6-22-11</u>			Total \$ <del>300.00</del> <u>20.00</u>

[Signature] 6-13-11 Project # 1007928  
 Planner signature / date

**FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)**

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Completed Site Plan for Subdivision Checklist
  - Infrastructure List, if relevant to the site plan
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
  - Solid Waste Management Department signature on Site Plan
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist
  - Copy of Site Plan with Fire Marshal's stamp
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
- ~~N/A~~ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - ~~N/A~~ Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - Solid Waste Management Department signature on Site Plan for Building Permit
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
  - ~~N/A~~ Infrastructure List, if relevant to the site plan
  - ~~N/A~~ Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
  - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

XAVIER NUNO-URZUAN  
Applicant name (print)

*Xavier Nuno-Urzuán*  
Applicant signature / date



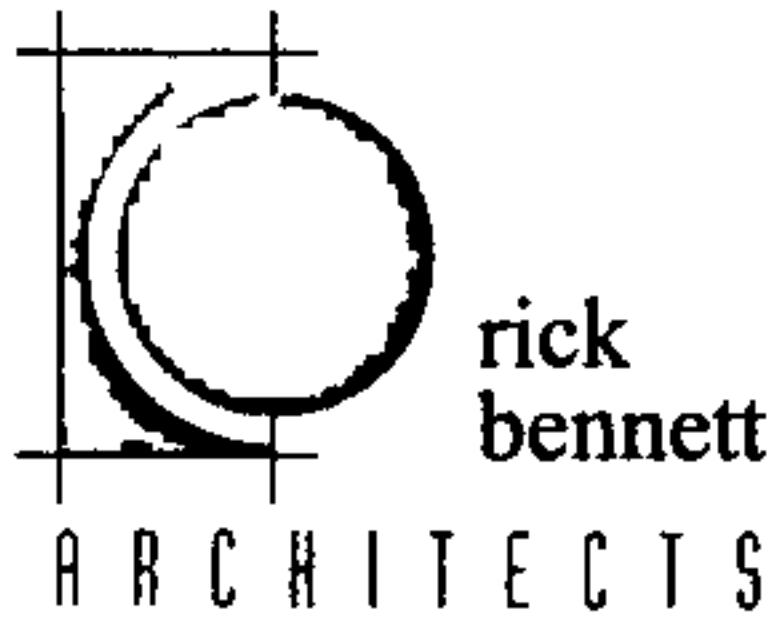
Form revised October 2007

- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
110RB-70102

*[Signature]* 6-7-11  
Planner signature / date

Project # 1007928





June 10, 2011

Development Review Board  
City of Albuquerque  
Development Review Division  
PO Box 1293  
Albuquerque, NM 87103

Re: Wise Recycling  
2525 Broadway SW

**PROJECT #1007928 – FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**

This letter serves to state all modifications that have been made to the site as well as illustrate how each condition by the EPC has been met for the site mentioned above.

The Official Notice of Decision from the EPC stated in item number 5 of the conditions section, 4 conditions that they required to be met prior to submittal to DRB. Below is a list of the 4 items and how they were addressed.

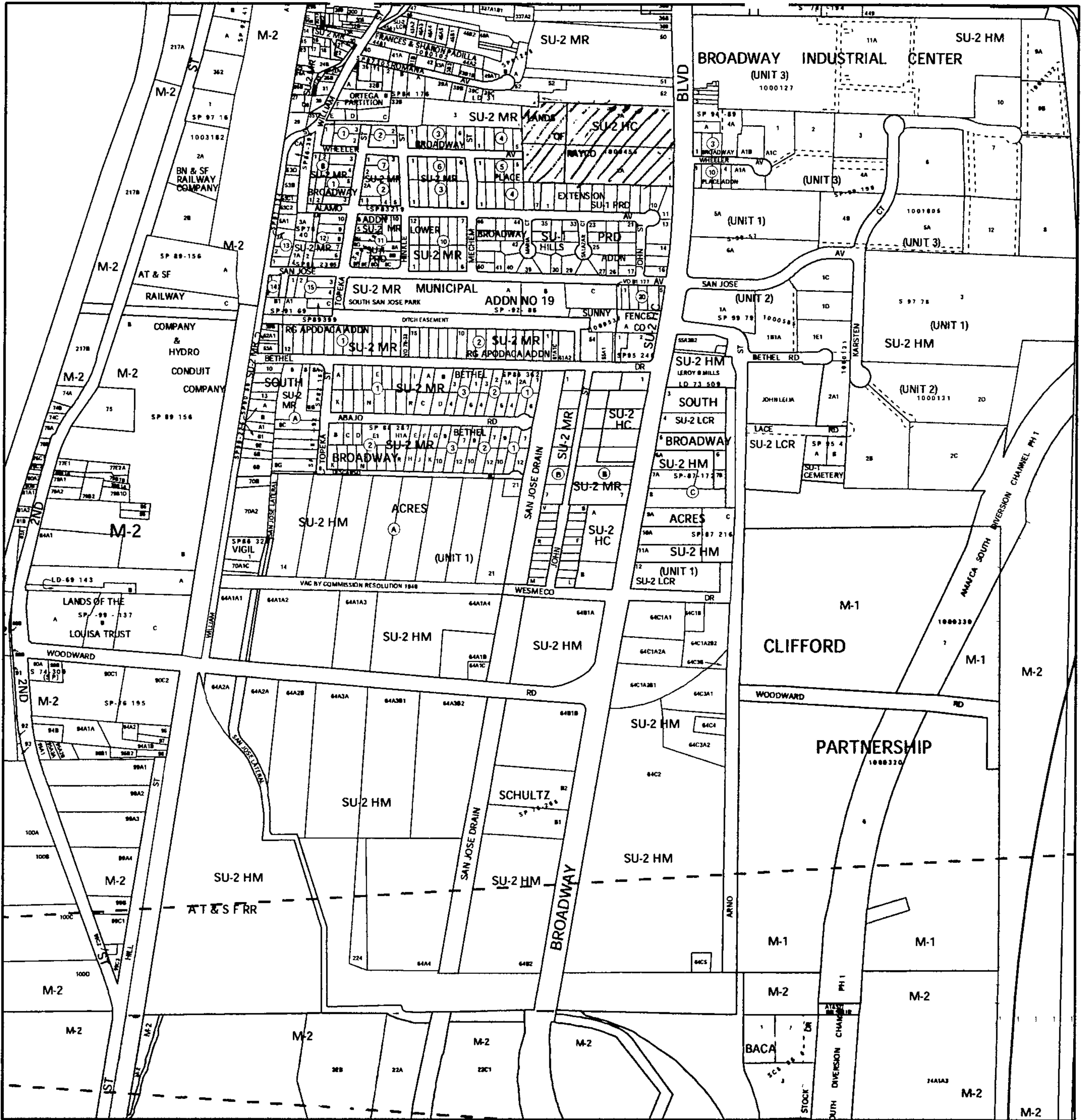
- A. Extend the existing block wall from 6' to 8' in height from the finished grade that is on the property line of the subject site. The increase in the wall height shall be accompanied by an engineered set of plans and the required permits.  
**The perimeter fence has been raised in the required locations to 8' above finish grade. All required permits and engineering were submitted.**
- B. Landscape inside the wall with plants and trees adjacent to fenced area (perimeter wall). The required landscape buffer minimum for a non-residential property that abuts a residential zone in 10' per 14-16-3-10 (E)(4)(a).  
**A 10'-0" Landscape buffer has been added to the perimeter abutting the residential zone. Landscaping has been planted to comply with landscaping requirements for the City of Albuquerque.**
- C. Add a streetlight on the west side of the wall that projects onto Wheeler Avenue.  
**A new street light will be added in the requested location and as shown on site plan.**
- D. Remove the two temporary houses on the property.  
**The two temporary houses have been removed.**

No other alterations to the site have been made since receiving approval from the EPC. With the above conditions addressed, we would like to request final sign-off for EPC approved SDP for Subdivision (DRB06).

Sincerely,

A handwritten signature in black ink, appearing to read "Rick Bennett", written over a horizontal line.

Rick Bennett,  
Architect / Agent



For more current information and more details visit <http://www.cabq.gov/gis>

**AGIS**  
Albuquerque Geographic Information System

Map amended through: Apr 22, 2005

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**M-14-Z**

Selected Symbols


0 750 1,500 Feet

WISE



City of Albuquerque  
Planning Department  
Development Review Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: November 18, 2010

**OFFICIAL NOTIFICATION OF DECISION**

**FILE: Project # 1007928**  
10EPC-40057 AMENDMENT TO SECTOR  
PLAN MAP (a Zone Change);  
10EPC-40067 SITE DEVELOPMENT PLAN  
FOR SUBDIVISION

TWI Investments  
3819 Palaco Del Rio Grande  
Albuquerque, NM 87102

**LEGAL DESCRIPTION:** CONSENSUS PLANNING agent for TW INVESTMENTS requests the above actions for all or a portion of TRACT 1-A-1, PLAT OF TRACTS 1-A-1 & 2-A-1, LANDS OF RAYCO, zoned SU-2/MR to SU-2/SU-1 FOR SEMI-TRUCK TRAILER PARKING ONLY for adjacent Recycling Center, located behind WISE RECYCLING SW, BETWEEN BROADWAY BLVD SW AND WHEELER AVE SW containing approximately 2.421 acres. [REF: ] (M-14) Chris Hyer, Staff Planner

On November 18, 2010, the Environmental Planning Commission voted to **APPROVE** Project 1007928/10EPC-40057, a Sector Development Plan Map Amendment (Zone Change), and 10EPC-40067, Site Development Plan for Subdivision based on the following findings and subject to the following conditions:

**FINDINGS:**

1. The request is to rezone Tract 1-A-1, Plat of Tracts 1-A-1 & 2-A-1, Lands of Rayco, from SU-2/MR to SU-2/SU-1 FOR SEMI-TRUCK TRAILER PARKING ONLY for adjacent Recycling Center. The subject site is approximately 2.42-acres and is located on the west side of Broadway Boulevard SE behind Wise Recycling, between Broadway Boulevard SE and Wheeler Avenue SE.

Official Notice of Decision

Project # 1007928

November 18, 2010

Page 2 of 6

2. The subject site is in the Established Urban Area of the Comprehensive Plan and the boundaries of the South Broadway Neighborhoods Sector Development Plan.
3. The requested zone change is accompanied by a site development plan for subdivision request – Project #1007928, 10EPC-40067. Approval of that request is contingent upon approval of this request.
4. The Albuquerque/Bernalillo County Comprehensive Plan, the South Broadway Neighborhoods Sector Development Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
5. The subject site is located behind (and abuts) Wise Recycling and will become part of a premise that includes the Wise Recycling facility.
6. The request is justified per R-270-1980:
  - a. The proposed zone change is consistent with the health, safety, morals and general welfare of the city, because it allows the expansion of an existing business while creating a buffer for the abutting neighborhood.
  - b. This change will not destabilize the land use and zoning in the area; it will provide a buffer from the intense commercial uses to the residential uses, which will help provide stability to the neighborhood.
  - c. The zone change is not in significant conflict with adopted elements of the Comprehensive Plan Sector Development Plan:

**ESTABLISHED URBAN AREA POLICIES**

The location of the subject site provides buffering for the surrounding neighborhood against the intense uses in the industrial/commercial area abutting Broadway Boulevard. The subject site will be added to the existing site of Wise Recycling and together they will become a premise. This will allow Wise Recycling to expand their business and encourage additional employment while maintaining the integrity of the existing neighborhood. This request will also respect neighborhood values by restricting access to the site; it will only be accessible from Broadway Boulevard. (Comprehensive Plan Policies II.B.5.d, e and i)

**ENVIRONMENTAL POLICIES**

**Air Quality:** The request will allow Wise Recycling to remain at its present location, which is centrally located for convenient collection of recyclables. (Policy II.C.1.b)

**Solid Waste:** The requested zone change allows Wise Recycling to expand, which increases the material that is recycled from the waste stream of the City. (Policy II.C.3.b)

**ECONOMIC DEVELOPMENT**

The requested zone change allows Wise Recycling to expand its business encouraging additional employment – the increased business activity is also in an area that is economically depressed. (Policy II.D.6.b)

**SOUTH BROADWAY GOALS AND OBJECTIVES**

**Official Notice of Decision**

**Project # 1007928**

**November 18, 2010**

**Page 3 of 6**

**Goal 1:** The subject site will become part of the Wise Recycling premise and thus, will be accessed through its site and it fronts onto Broadway Boulevard. Therefore, there will not be an increase in traffic to the surrounding neighborhoods, which would be detrimental to the public health, safety and welfare.

**Goal 2:** The request will put a vacant piece of property to use, which prevents blighting influences.

**Goal 4:** The expansion of the resulting premise (Wise Recycling) will encourage the creation of additional employment in this area.

**Objective 5:** This request will help to eliminate potential impacts to the existing neighborhood streets by limiting access to the subject site from Broadway Boulevard and eliminating access via Wheeler Avenue.

**Objective 8:** The request will help stabilize the land use patterns and provide a separation and buffering between the intense uses of the industrial area and the residential area.

**Key Recommendation 5, Zoning:** This zone change helps to stabilize the zoning and responds to an existing need that will assist in the operation of an existing business in the neighborhood.

- D. The requested zone change from SU-2/MR to SU-2/SU-1 for semi-truck trailer parking only for adjacent Recycling Center would be more advantageous to the community as articulated in City plans that govern the site (see Section C).
  - E. The proposed zone change allows all uses listed for the zone, however, the approved site plan controls the use allowed on the site. Since the special use zone restricts uses to those identified on the accompanying site plan, the storage/parking of semi-trucks only, and this use would not be harmful to adjacent property, the neighborhood or community.
  - F. The request would not require unprogrammed capital expenditures by the City.
  - G. The cost of land or other economic considerations pertaining to the applicant are not the determining factor for the zone change.
  - H. The subject site is not located on a major street itself, but will become part of a premise where the other property abuts an arterial, Broadway Boulevard. This exists today and will continue after this request. It is not a reason for the requested zone change.
  - I. The zone change request does create a spot zone. However, the special use zoning will tailor the use and it will provide a buffer from the heavy commercial/industrial use to the residential areas. It also helps to realize City Plans (see Section C).
  - J. The proposed change would not create strip zoning.
7. Property-owners within 100' and the San Jose Neighborhood Associations (SJNA) were notified. There is no known opposition to the requests.

Official Notice of Decision

Project # 1007928

November 18, 2010

Page 4 of 6

8. Staff has received a letter of support from the president of the San Jose Neighborhood Association contingent upon the special use zoning limiting use of the site to storage/parking of semi-trucks only.

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On November 18, 2010 the Environmental Planning Commission voted to **APPROVE Project 1007928/10EPC-40067**, a site development plan for subdivision, for all or a portion of Tract 1-A-1, Plat of Tracts 1-A-1 & 2-A-1, Lands of Rayco, based on the following Findings and subject to the following Conditions:

**FINDINGS:**

1. The request is for a site plan for subdivision for Tract 1-A-1, Plat of Tracts 1-A-1 & 2-A-1, Lands of Rayco. The subject site is approximately 2.42-acres and is located on the west side of Broadway Boulevard SE behind Wise Recycling, between Broadway Boulevard SE and Wheeler Avenue SE.
2. The subject site is in the Established Urban Area of the Comprehensive Plan and the boundaries of the South Broadway Neighborhoods Sector Development Plan.
3. The requested site plan for subdivision is accompanied by a sector plan zone map amendment (a zone change) request – Project #1007928, 10EPC-40057. This request is contingent upon approval of that request.
4. The Albuquerque/Bernalillo County Comprehensive Plan, the South Broadway Neighborhoods Sector Development Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
5. The subject site is located behind (and abuts) Wise Recycling located on a separate lot. Together they will make one premise.
6. The applicant has sufficiently provided all required information on the site plan as expressed in the Zoning Code for a Site Plan for Subdivision. This information includes:
  - Proposed Use: Semi-truck trailer parking for Wise Recycling.
  - Pedestrian and vehicular ingress and egress: Pedestrian access is provided from Broadway Boulevard. Vehicular access will be via two existing access points from Broadway Boulevard. Access to tract 1-A-1 will be limited to the internal access point along the eastern property line (as shown on site plan).
  - Internal Circulation: The site is only for trailer parking.
  - Maximum Building Height: There are no buildings permitted on Tract 1-A-1.
  - Minimum Building Setback: The minimum setback is 250-feet from the western property line which is approximately the width of the site. Thus, there will be no buildings on Tract 1-A-1.
  - Maximum FAR: Not Applicable since no buildings are permitted.

Official Notice of Decision

Project # 1007928

November 18, 2010

Page 5 of 6

7. The applicant has provided additional information to illustrate proposed improvements on the subject site. These will be required on the Site Plan for Building Permit.
8. The applicant requests approval of the site plan for building permit be delegated to the DRB.
9. Staff has received a letter of support from the president of the San Jose Neighborhood Association contingent upon the special use zoning limiting use of the site to storage/parking of semi-trucks only.

**CONDITIONS:**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. Approval of the Site Plan for Building Permit shall be delegated to the DRB with review by the Code Enforcement Office.
4. Prior to submitting the Site Plan for Building Permit to the DRB, the applicant shall meet with the staff planner to assure that the improvements agreed to by the applicant are provided on the site plan.
5. The Site Plan for Building Permit shall include, but is not limited to, the following:
  - a. Extend the existing brick wall from 6' to 8' in height from the finished grade that is on the property line of the subject site. The increase in the wall height shall be accompanied by an engineered set of plans and the required permits.
  - b. Landscape inside the wall with plants and trees adjacent to fenced area (perimeter wall). The required landscape buffer minimum for a non-residential property that abuts a residential zone is 10' per §14-16-3-10 (E)(4)(a).
  - c. Add a streetlight on the west side of the wall that projects onto Wheeler Avenue.
  - d. Remove the two temporary houses on the property.
6. No vehicular access is permitted to Wheeler Avenue

Official Notice of Decision

Project # 1007928

November 18, 2010

Page 6 of 6

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **DECEMBER 3, 2010** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,

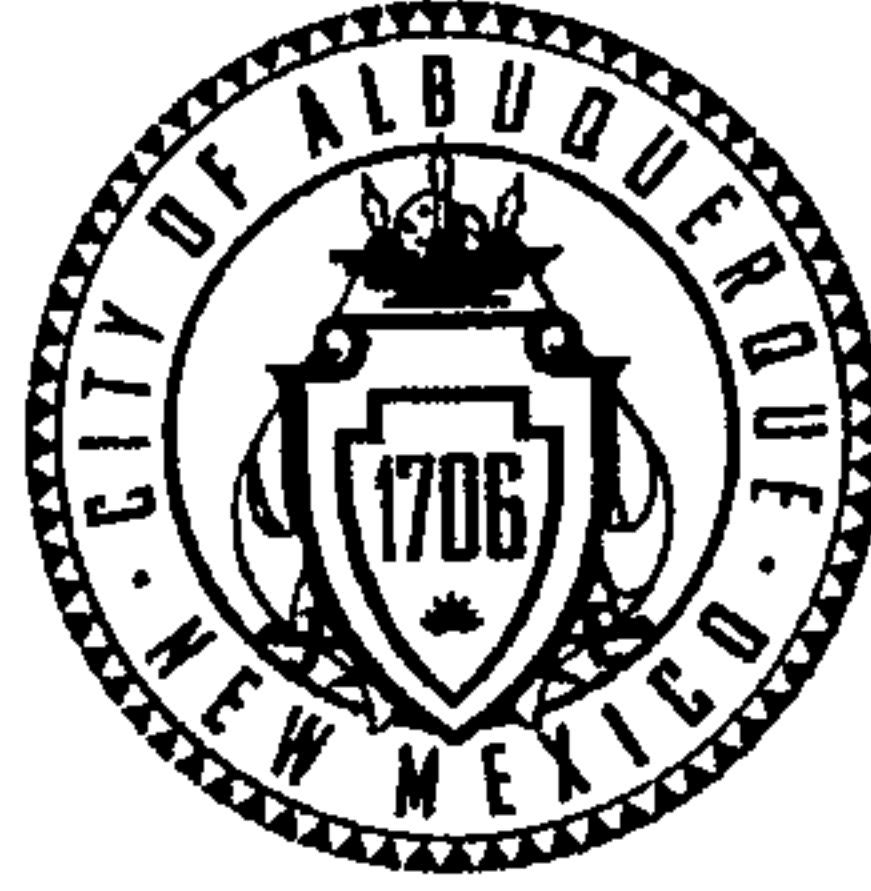
*C Manone*

*for* Deborah Stover  
Planning Director

DS/ch/mc

cc: Consensus Planning, Inc, 302 Eighth Street NW, Albuquerque, NM, 87102  
Rick Bennett, 1104 Park Avenue SW, Albuquerque, NM, 87102  
Ester Abeyta, 2419 William Street SE, Albuquerque, NM, 87102  
Deanna Baca, 408 Bethel Drive SE, Albuquerque, NM 87102  
Steven Abeyta, 2419 William St SE, Albuquerque, NM 87102





City of Albuquerque  
 Planning Department  
 Development Review Division  
 P.O. Box 1293  
 Albuquerque, New Mexico 87103

Date: November 18, 2010

**OFFICIAL NOTIFICATION OF DECISION**

FILE: **Project # 1007928**  
 10EPC-40057 AMENDMENT TO SECTOR  
 PLAN MAP (a Zone Change);  
 10EPC-40067 SITE DEVELOPMENT PLAN  
 FOR SUBDIVISION

TWI Investments  
 3819 Palaco Del Rio Grande  
 Albuquerque, NM 87102

LEGAL DESCRIPTION: CONSENSUS PLANNING agent for TW INVESTMENTS requests the above actions for all or a portion of TRACT 1-A-1, PLAT OF TRACTS 1-A-1 & 2-A-1, LANDS OF RAYCO, zoned SU-2/MR to SU-2/SU-1 FOR SEMI-TRUCK TRAILER PARKING ONLY for adjacent Recycling Center, located behind WISE RECYCLING SW, BETWEEN BROADWAY BLVD SW AND WHEELER AVE SW containing approximately 2.421 acres. [REF: ] (M-14) Chris Hyer, Staff Planner

On November 18, 2010, the Environmental Planning Commission voted to **APPROVE** Project 1007928/10EPC-40057, a Sector Development Plan Map Amendment (Zone Change), and 10EPC-40067, Site Development Plan for Subdivision based on the following findings and subject to the following conditions:

**FINDINGS:**

1. The request is to rezone Tract 1-A-1, Plat of Tracts 1-A-1 & 2-A-1, Lands of Rayco, from SU-2/MR to SU-2/SU-1 FOR SEMI-TRUCK TRAILER PARKING ONLY for adjacent Recycling Center. The subject site is approximately 2.42-acres and is located on the west side of Broadway Boulevard SE behind Wise Recycling, between Broadway Boulevard SE and Wheeler Avenue SE.

**Official Notice of Decision**

**Project # 1007928**

**November 18, 2010**

**Page 2 of 6**

2. The subject site is in the Established Urban Area of the Comprehensive Plan and the boundaries of the South Broadway Neighborhoods Sector Development Plan.
3. The requested zone change is accompanied by a site development plan for subdivision request – Project #1007928, 10EPC-40067. Approval of that request is contingent upon approval of this request.
4. The Albuquerque/Bernalillo County Comprehensive Plan, the South Broadway Neighborhoods Sector Development Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
5. The subject site is located behind (and abuts) Wise Recycling and will become part of a premise that includes the Wise Recycling facility.
6. The request is justified per R-270-1980:
  - a. The proposed zone change is consistent with the health, safety, morals and general welfare of the city, because it allows the expansion of an existing business while creating a buffer for the abutting neighborhood.
  - b. This change will not destabilize the land use and zoning in the area; it will provide a buffer from the intense commercial uses to the residential uses, which will help provide stability to the neighborhood.
  - c. The zone change is not in significant conflict with adopted elements of the Comprehensive Plan Sector Development Plan:

**ESTABLISHED URBAN AREA POLICIES**

The location of the subject site provides buffering for the surrounding neighborhood against the intense uses in the industrial/commercial area abutting Broadway Boulevard. The subject site will be added to the existing site of Wise Recycling and together they will become a premise. This will allow Wise Recycling to expand their business and encourage additional employment while maintaining the integrity of the existing neighborhood. This request will also respect neighborhood values by restricting access to the site; it will only be accessible from Broadway Boulevard. (Comprehensive Plan Policies II.B.5.d, e and i)

**ENVIRONMENTAL POLICIES**

**Air Quality:** The request will allow Wise Recycling to remain at its present location, which is centrally located for convenient collection of recyclables. (Policy II.C.1.b)

**Solid Waste:** The requested zone change allows Wise Recycling to expand, which increases the material that is recycled from the waste stream of the City. (Policy II.C.3.b)

**ECONOMIC DEVELOPMENT**

The requested zone change allows Wise Recycling to expand its business encouraging additional employment – the increased business activity is also in an area that is economically depressed. (Policy II.D.6.b)

**SOUTH BROADWAY GOALS AND OBJECTIVES**

**Official Notice of Decision**

**Project # 1007928**

**November 18, 2010**

**Page 3 of 6**

**Goal 1:** The subject site will become part of the Wise Recycling premise and thus, will be accessed through its site and it fronts onto Broadway Boulevard. Therefore, there will not be an increase in traffic to the surrounding neighborhoods, which would be detrimental to the public health, safety and welfare.

**Goal 2:** The request will put a vacant piece of property to use, which prevents blighting influences.

**Goal 4:** The expansion of the resulting premise (Wise Recycling) will encourage the creation of additional employment in this area.

**Objective 5:** This request will help to eliminate potential impacts to the existing neighborhood streets by limiting access to the subject site from Broadway Boulevard and eliminating access via Wheeler Avenue.

**Objective 8:** The request will help stabilize the land use patterns and provide a separation and buffering between the intense uses of the industrial area and the residential area.

**Key Recommendation 5, Zoning:** This zone change helps to stabilize the zoning and responds to an existing need that will assist in the operation of an existing business in the neighborhood.

- D. The requested zone change from SU-2/MR to SU-2/SU-1 for semi-truck trailer parking only for adjacent Recycling Center would be more advantageous to the community as articulated in City plans that govern the site (see Section C).
  - E. The proposed zone change allows all uses listed for the zone, however, the approved site plan controls the use allowed on the site. Since the special use zone restricts uses to those identified on the accompanying site plan, the storage/parking of semi-trucks only, and this use would not be harmful to adjacent property, the neighborhood or community.
  - F. The request would not require unprogrammed capital expenditures by the City.
  - G. The cost of land or other economic considerations pertaining to the applicant are not the determining factor for the zone change.
  - H. The subject site is not located on a major street itself, but will become part of a premise where the other property abuts an arterial, Broadway Boulevard. This exists today and will continue after this request. It is not a reason for the requested zone change.
  - I. The zone change request does create a spot zone. However, the special use zoning will tailor the use and it will provide a buffer from the heavy commercial/industrial use to the residential areas. It also helps to realize City Plans (see Section C).
  - J. The proposed change would not create strip zoning.
7. Property-owners within 100' and the San Jose Neighborhood Associations (SJNA) were notified. There is no known opposition to the requests.

Official Notice of Decision

Project # 1007928

November 18, 2010

Page 4 of 6

8. Staff has received a letter of support from the president of the San Jose Neighborhood Association contingent upon the special use zoning limiting use of the site to storage/parking of semi-trucks only.

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On November 18, 2010 the Environmental Planning Commission voted to **APPROVE Project 1007928/10EPC-40067**, a site development plan for subdivision, for all or a portion of Tract 1-A-1, Plat of Tracts 1-A-1 & 2-A-1, Lands of Rayco, based on the following Findings and subject to the following Conditions:

**FINDINGS:**

1. The request is for a site plan for subdivision for Tract 1-A-1, Plat of Tracts 1-A-1 & 2-A-1, Lands of Rayco. The subject site is approximately 2.42-acres and is located on the west side of Broadway Boulevard SE behind Wise Recycling, between Broadway Boulevard SE and Wheeler Avenue SE.
2. The subject site is in the Established Urban Area of the Comprehensive Plan and the boundaries of the South Broadway Neighborhoods Sector Development Plan.
3. The requested site plan for subdivision is accompanied by a sector plan zone map amendment (a zone change) request – Project #1007928, 10EPC-40057. This request is contingent upon approval of that request.
4. The Albuquerque/Bernalillo County Comprehensive Plan, the South Broadway Neighborhoods Sector Development Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
5. The subject site is located behind (and abuts) Wise Recycling located on a separate lot. Together they will make one premise.
6. The applicant has sufficiently provided all required information on the site plan as expressed in the Zoning Code for a Site Plan for Subdivision. This information includes:
  - Proposed Use: Semi-truck trailer parking for Wise Recycling.
  - Pedestrian and vehicular ingress and egress: Pedestrian access is provided from Broadway Boulevard. Vehicular access will be via two existing access points from Broadway Boulevard. Access to tract 1-A-1 will be limited to the internal access point along the eastern property line (as shown on site plan).
  - Internal Circulation: The site is only for trailer parking.
  - Maximum Building Height: There are no buildings permitted on Tract 1-A-1.
  - Minimum Building Setback: The minimum setback is 250-feet from the western property line which is approximately the width of the site. Thus, there will be no buildings on Tract 1-A-1.
  - Maximum FAR: Not Applicable since no buildings are permitted.

**Official Notice of Decision**

**Project # 1007928**

**November 18, 2010**

**Page 5 of 6**

7. The applicant has provided additional information to illustrate proposed improvements on the subject site. These will be required on the Site Plan for Building Permit.
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**CONDITIONS:**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
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5. The Site Plan for Building Permit shall include, but is not limited to, the following:
  - a. Extend the existing brick wall from 6' to 8' in height from the finished grade that is on the property line of the subject site. The increase in the wall height shall be accompanied by an engineered set of plans and the required permits.
  - b. Landscape inside the wall with plants and trees adjacent to fenced area (perimeter wall). The required landscape buffer minimum for a non-residential property that abuts a residential zone is 10' per §14-16-3-10 (E)(4)(a).
  - c. Add a streetlight on the west side of the wall that projects onto Wheeler Avenue.
  - d. Remove the two temporary houses on the property.
6. No vehicular access is permitted to Wheeler Avenue

Official Notice of Decision

Project # 1007928

November 18, 2010

Page 6 of 6

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Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

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Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,

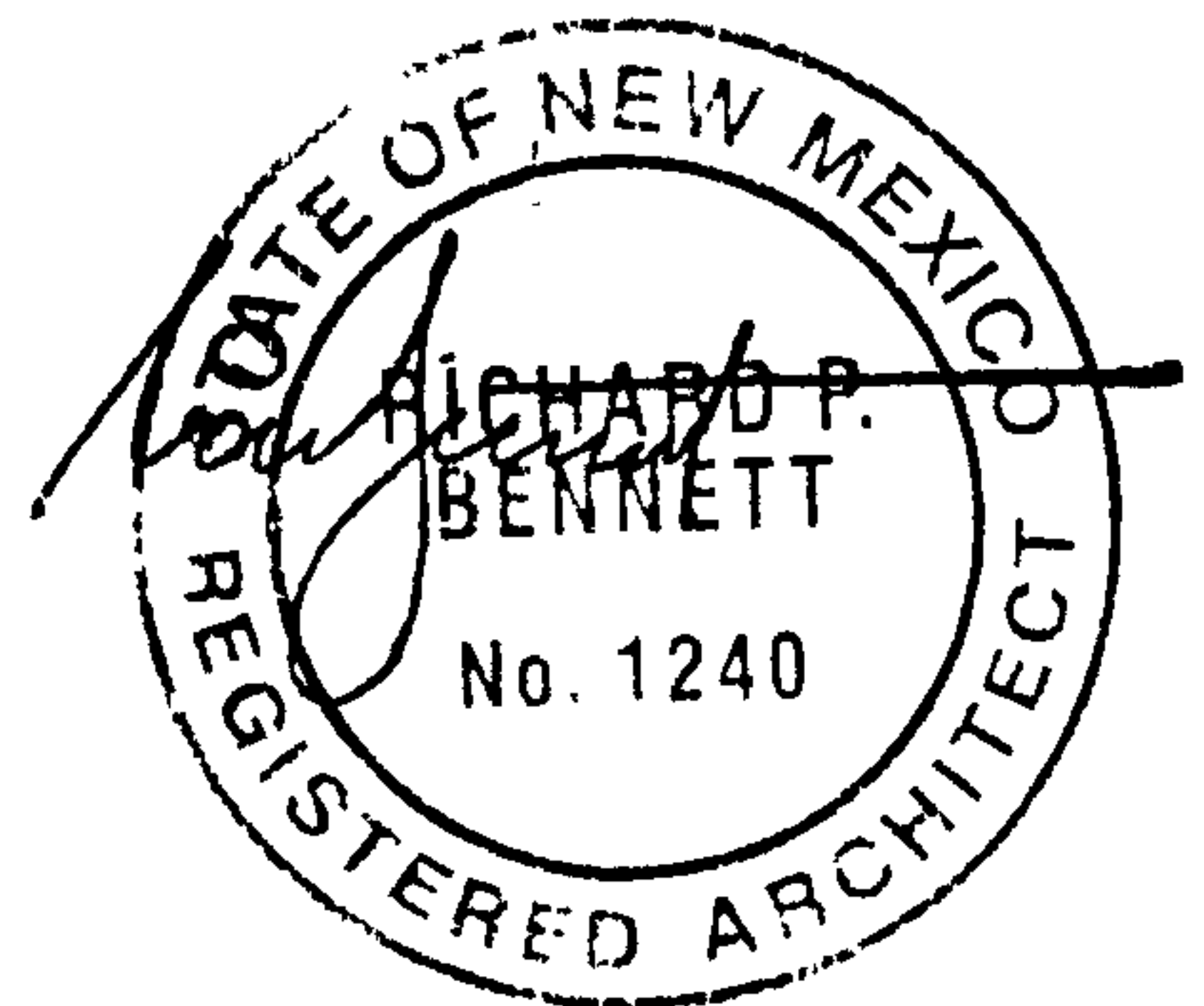
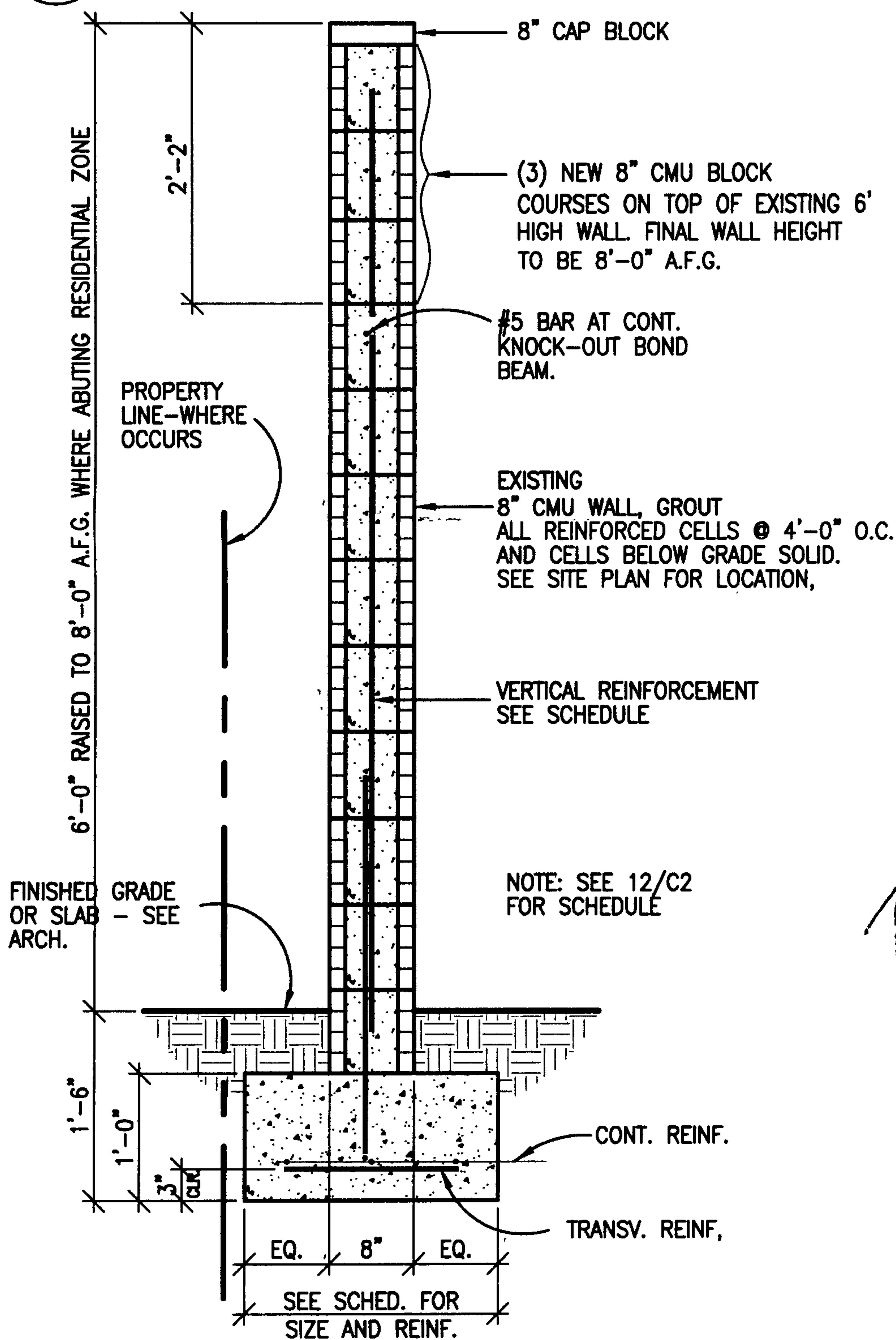
*C Manone*  
*for* Deborah Stover  
Planning Director

DS/ch/mc

cc: Consensus Planning, Inc, 302 Eighth Street NW, Albuquerque, NM, 87102  
Rick Bennett, 1104 Park Avenue SW, Albuquerque, NM, 87102  
Ester Abeyta, 2419 William Street SE, Albuquerque, NM, 87102  
Deanna Baca, 408 Bethel Drive SE, Albuquerque, NM 87102  
Steven Abeyta, 2419 William St SE, Albuquerque, NM 87102

CMU WALL REINFORCING SCHEDULE				
TYPICAL FOR 6" OR 8" THICK CMU WALLS				
WALL HEIGHT ABOVE FINISHED GRADE	FOOTING WIDTH	FOOTING THICKNESS	FOOTING REINFORCING	VERTICAL CMU REINF.
TO 4'-0"	1'-6"	1'-0"	2-#5 CONT. #4 @ 48" O.C. TRANSV.	#4 @ 48" O.C.
TO 6'-0"	1'-8"	1'-0"	3-#5 CONT. #4 @ 48" O.C. TRANSV.	#5 @ 48" O.C.
TO 8'-0"	2'-3"	1'-0"	3-#5 CONT. #4 @ 48" O.C. TRANSV.	#5 @ 48" O.C.

**12** REINFORCING SCHEDULE  
**C2** 3/4"=1'-0"

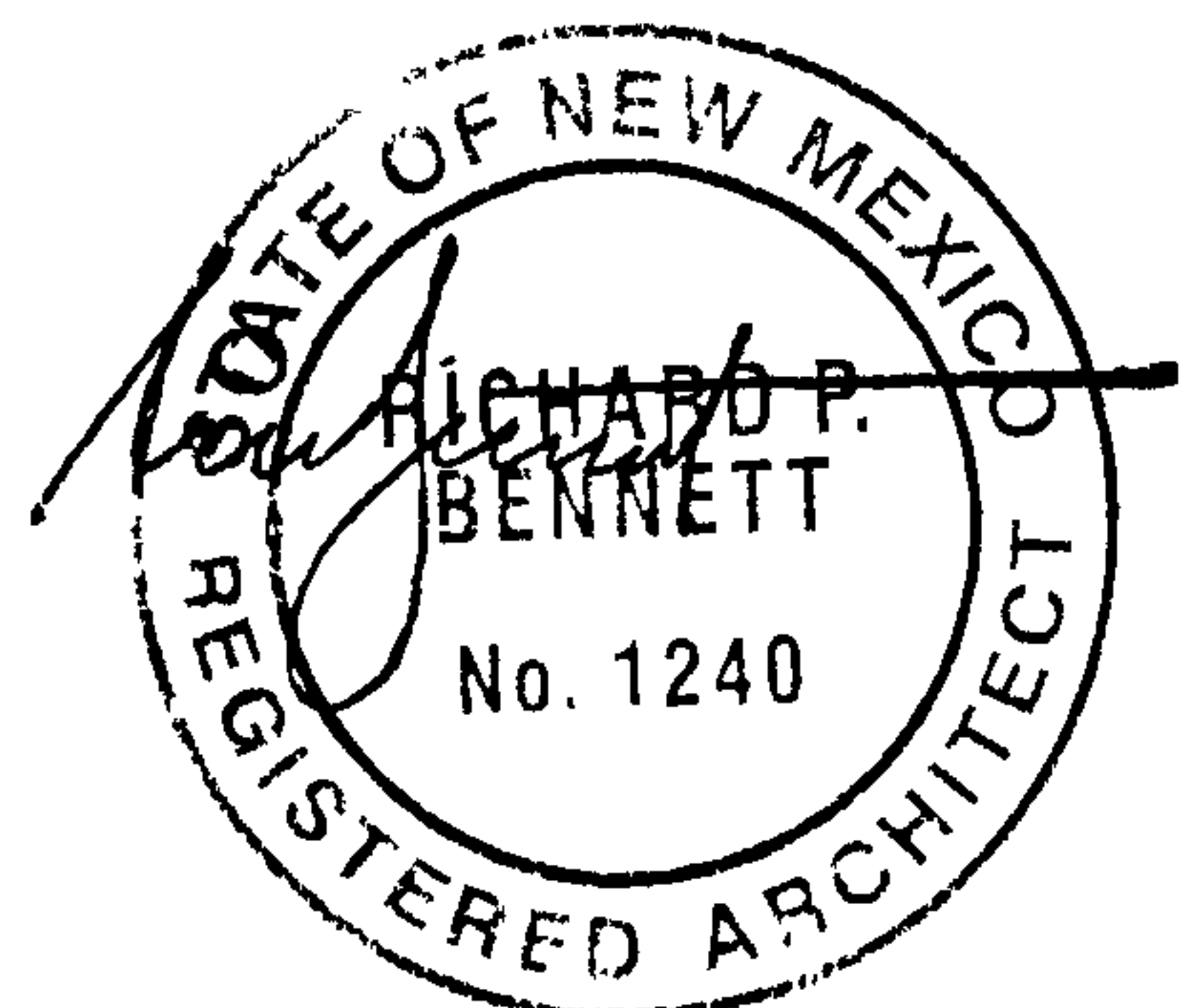
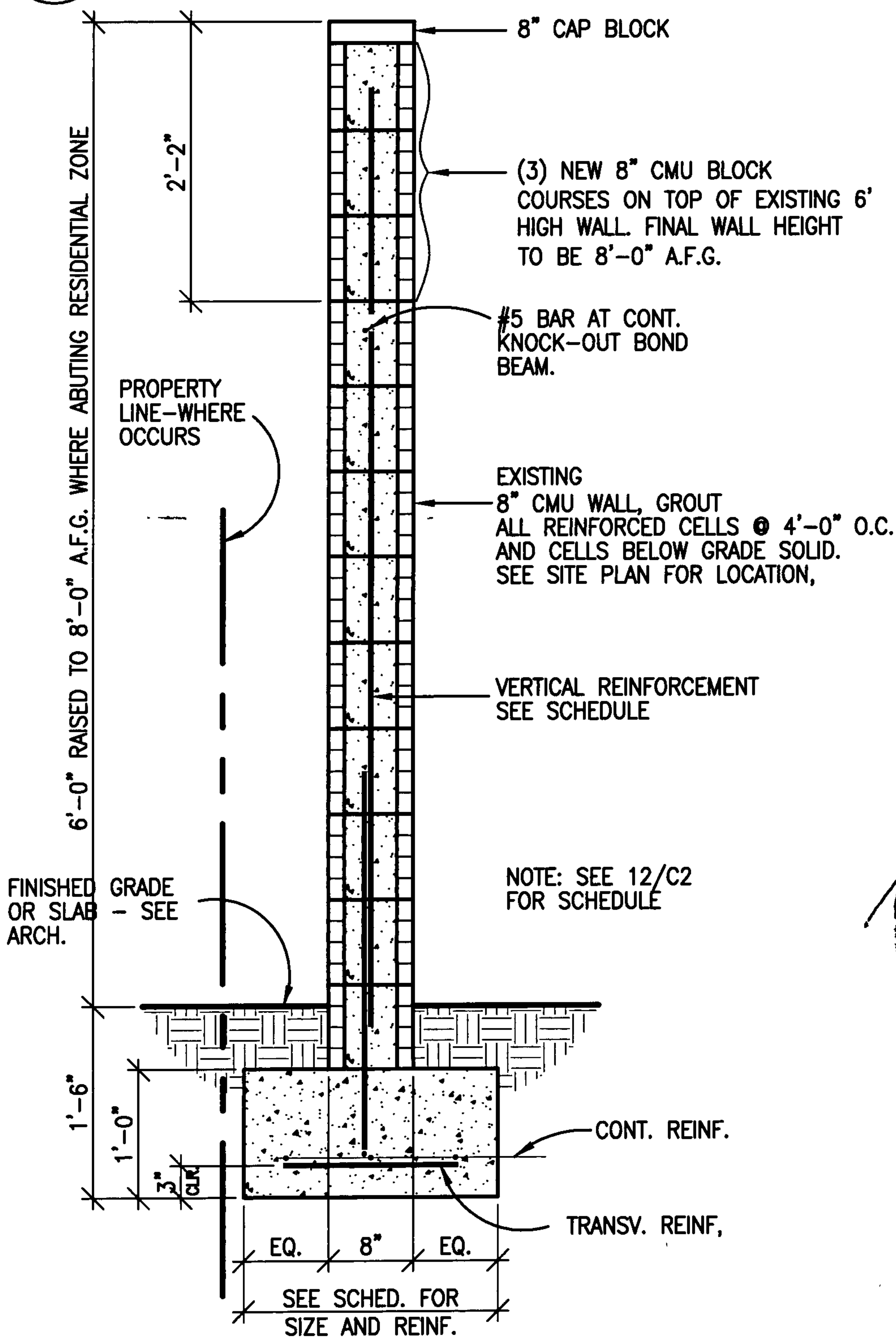


JUN 13 2011

**11** TYPICAL CMU SITE WALL  
**C2** NON-RETAINING  
 3/4"=1'-0"

CMU WALL REINFORCING SCHEDULE				
TYPICAL FOR 6" OR 8" THICK CMU WALLS				
WALL HEIGHT ABOVE FINISHED GRADE	FOOTING WIDTH	FOOTING THICKNESS	FOOTING REINFORCING	VERTICAL CMU REINF.
TO 4'-0"	1'-6"	1'-0"	#4 2-#5 CONT. @ 48" O.C. TRANSV.	#4 @ 48" O.C.
TO 6'-0"	1'-8"	1'-0"	#4 3-#5 CONT. @ 48" O.C. TRANSV.	#5 @ 48" O.C.
TO 8'-0"	2'-3"	1'-0"	#4 3-#5 CONT. @ 48" O.C. TRANSV.	#5 @ 48" O.C.

**12** REINFORCING SCHEDULE  
**C2** 3/4"=1'-0"



JUN 13 2011

**11** TYPICAL CMU SITE WALL  
**C2** NON-RETAINING  
 3/4"=1'-0"