



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

September 23, 2009

**Project# 1007948**

09DRB-70275 MAJOR – SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

SCOTT ANDERSON agent(s) for HB CONSTRUCTION request(s) the referenced/ above action(s) for all or a portion of Lot(s) 30, Block 4, Tract A, Unt B, **NORTH ALBUQUERQUE ACRES** zoned IP, located on the north side of BEVERLY HILLSAVE NE between SAN MATEO BLVD NE and the PAN AMERICAN FREEWAY containing approximately 0.8864 acre(s). (B-18)[*Deferred from 9/9/09, 9/16/09*]

At the September 23, 2009 Development Review Board meeting, the Site Development plan for Building Permit was approved with delegation to City Engineer for SIA and to the Planning Department to comply with Planning and Zoning Comments and replat of Right-of-Way.

If you wish to appeal this decision, you must do so by October 8, 2009 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision.

The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

  
Jack Cloud, AICP, DRB Chair

Cc: Scott Anderson – 7604 Rio Penasco Ct NW – Albuquerque, NM 87120

Cc: HB Construction – 3400 Vista Alameda NE – Albuquerque, NM 87113

Marilyn Maldonado

File



COMPLETED 11/18/09 ~~ST~~  
**DRB CASE ACTION LOG** (PREL/FINAL)  
 REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 09DRB-70337 Project # 1007948  
 Project Name: NORTH ALBUQUERQUE ACRES UNIT A  
 Agent: Rio Grande Engineering Phone No.: \_\_\_\_\_

Your request was approved on 11-4-09 by the DRB with delegation of signature(s) to the following departments.

**OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED**

TRANSPORTATION: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

UTILITIES: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

CITY ENGINEER / AMAFCA: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PARKS / CIP: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PLANNING (Last to sign): - Safety Note  
- dxp  
 \_\_\_\_\_  
 \_\_\_\_\_

- Planning must record this plat. Please submit the following items:**
- The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** \_\_\_\_\_
  - Tax printout from the County Assessor.
    - 3 copies of the approved site plan. Include all pages.**
    - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
    - Property Management's signature must be obtained prior to Planning Department's signature.**
    - AGIS DXF File approval required.**
    - Copy of recorded plat for Planning.**

Created On: 11/18/09



# DRB CASE ACTION LOG (PREL/FINAL)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 09DRB-70337 Project # 1007948  
 Project Name: NORTH ALBUQUERQUE ACRES UNIT A  
 Agent: Rio Grande Engineering Phone No.: \_\_\_\_\_

Your request was approved on 11-4-09 by the DRB with delegation of signature(s) to the following departments.

### OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

UTILITIES: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

CITY ENGINEER / AMAFCA: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PARKS / CIP: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PLANNING (Last to sign): - Safety Note  
- dxp  
 \_\_\_\_\_  
 \_\_\_\_\_

- Planning must record this plat. Please submit the following items:**
- The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** \_\_\_\_\_
  - Tax printout from the County Assessor.
  - 3 copies of the approved site plan. Include all pages.**
  - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
  - Property Management's signature must be obtained prior to Planning Department's signature.**
  - AGIS DXF File approval required.**
  - Copy of recorded plat for Planning.**

**7948**

### DXF Electronic Approval Form

DRB Project Case #: 1007948

Subdivision Name: NORTH ALBUQUERQUE ACRES UNIT B TRACT A BLOCK 4 LOT 30A

Surveyor: DAVID R VIGIL

Contact Person: DAVID R VIGIL

Contact Information: 975-4567

DXF Received: 7/12/2009

Hard Copy Received: 11/12/2009

Coordinate System: NMSP Grid (NAD 83)

  
Approved

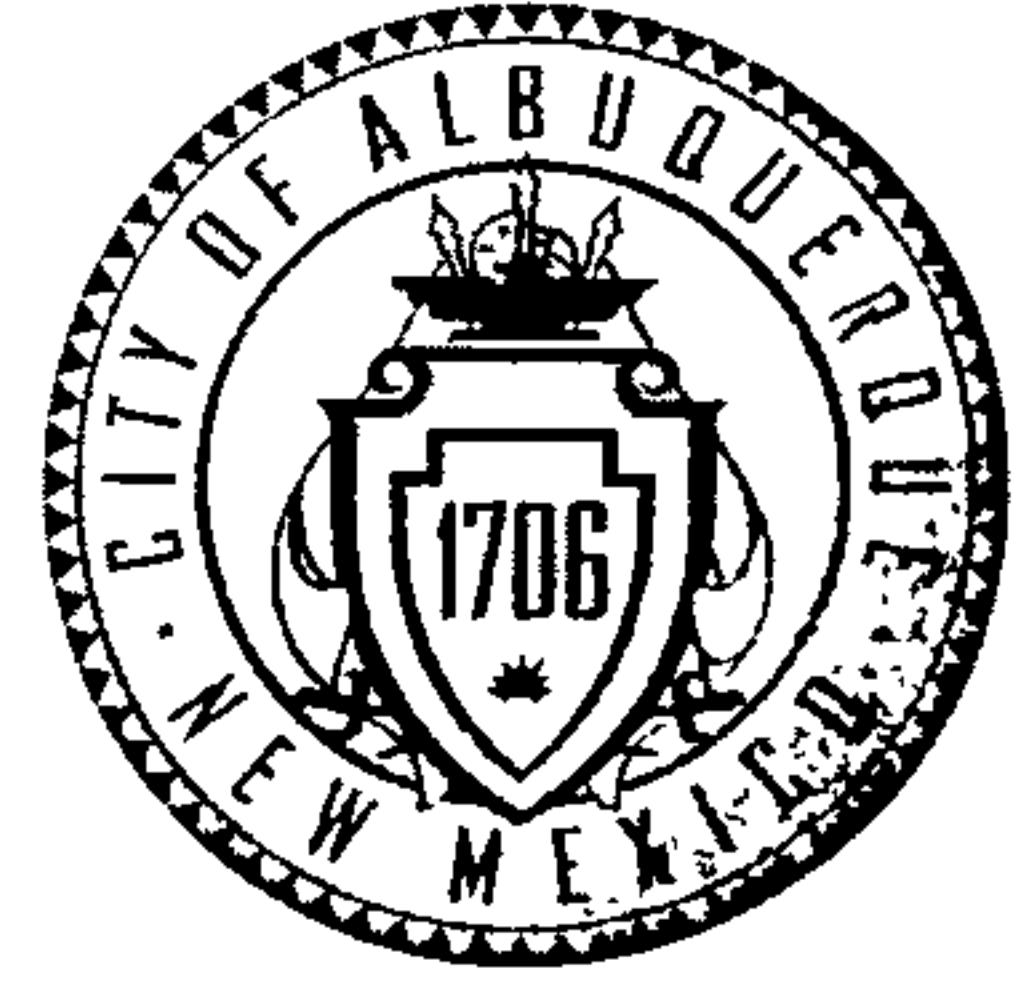
11-13-2009  
Date

\* The DXF file cannot be accepted (at this time) for the following reason(s):  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**AGIS Use Only**  
Copied fc **7948** to agiscov on **11/13/2009** Contact person notified on **11/13/2009**



# CITY OF ALBUQUERQUE



## CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

### DEVELOPMENT REVIEW BOARD--SPEED MEMO

**DRB CASE NO/PROJECT NO: 1007948**

**AGENDA ITEM NO: 2**

**SUBJECT:**

Final Plat  
Preliminary Plat

**ACTION REQUESTED:**

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

PO Box 1293

**ENGINEERING COMMENTS:**

Albuquerque

No adverse comments.

NM 87103

**RESOLUTION:**

www.cabq.gov

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L Bingham, PE  
City Engineer/AMAFCA Designee  
924-3986

**DATE:** November 4, 2009

**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
November 4, 2009  
DRB Comments**

**ITEM # 2**

**PROJECT # 1007948**

**APPLICATION # 09DRB-70337**

**RE: Lot 30, Block 4, Tract A, Unit B, North Albuquerque Acres**

Please remove zoning note (10.) from plat. A Solar Note consistent with § 14-14-4-7 is required, specific to this type of request, i.e. use the words "THIS PLAT" (rather than the words "REQUESTED FINAL ACTION") at the beginning of the note, and do not use the words "OR SITE DEVELOPMENT PLAN FOR SUBDIVISION" at the end of the note.

Regarding the site development plan delegated for final sign-off on September 23, 2009, parking calculations still need to be corrected – while PARKING REQUIRED is 34 spaces, that is also the number of PARKING PROVIDED spaces, not 35 (9 spaces are provided on west side of building, not 10). Only 2 BIKE SPACES REQUIRED, not 4 [§ 14-16-3-1 (B)(3)], but location of Bike Rack needs to be indicated on the site plan. Finally, separate Motorcycle Parking (2 spaces visible from the entrance of the building, with signage) is also required [§ 14-16-3-1 (C)].



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Jack Cloud AICP, DRB Chairman  
924-3880/ jcloud@cabq.gov

**City of Albuquerque Planning Department**  
**One Stop Shop – Development and Building Services**

10/23/2009 Issued By: PLNSDH



**Permit Number: 2009 070 337**

**Category Code 910**

**Application Number: 09DRB-70337, Minor - Preliminary/ Final Plat Approval**

**Address:**

**Location Description: BEVERLY HILLS NE BETWEEN I-25 AND SAN MATEO NE**

**Project Number: 1007948**

**Applicant**  
Hb Construction Of Albuquerque

**Agent / Contact**  
Rio Grande Engineering

P.O. Box 67305  
Albuquerque NM 87193

NM

**Application Fees**

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$215.00
<b>TOTAL:</b>		<b>\$235.00</b>

City Of Albuquerque  
Treasury Division

10/23/2009 9:43AM LOC: ANNX  
WS# 008 TRANSH 0001  
RECEIPT# 00111867-00111867  
PERMIT# 2009070337 TRSASR  
Trans Amt \$235.00  
Conflict Manaq. Fee \$20.00  
DRB Actions \$215.00  
CK \$235.00  
CHANGE \$0.00

Thank You

**City of Albuquerque Planning Department**  
**One Stop Shop – Development and Building Services**

08/14/2009 Issued By: PLNSDH

\*\*\*  
\*\*\*  
\*\*\*  
\*\*\*

**Permit Number:** 2009 070 275 **Category Code 910**  
**Application Number:** 09DRB-70275, Major - Sdp For Building Permit  
**Address:**  
**Location Description:** SAN MATEO BLVD NE AND BEVERLY HILLS NE  
**Project Number:** 1007948

**Applicant**  
Hb Construction

**Agent / Contact**  
Scott Anderson

3400 Vista Alameda Ne  
Albuquerque NM 87113  
858-0404

7804 Rio Penasco Ct Nw  
Albuquerque NM 87120  
401-7575

**Application Fees**

441018/4971000	Public Notification	\$75.00
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$385.00
<b>TOTAL:</b>		<b>\$480.00</b>

City Of Albuquerque  
Treasury Division

8/14/2009 11:32AM LOC: ANNX  
WS# 007 TRANSH 0025  
RECEIPT# 00119224-00119224  
PERMITH 2009070275 TRSLJS  
Trans Amt \$480.00  
APN Fee \$75.00  
Conflict Manag. Fee \$20.00  
DRB Actions \$385.00  
VI \$480.00  
CHANGE \$0.00

Thank You



Current DRC  
Project Number: \_\_\_\_\_

FIGURE 12

1007948

Date Submitted: \_\_\_\_\_  
Date Site Plan Approved: 9-23-09  
Date Preliminary Plat Approved: N/A  
Date Preliminary Plat Expires: N/A  
DRB Project No.: 1007948  
DRB Application No.: 09DRB-70275

**ORIGINAL**

**INFRASTRUCTURE LIST**  
**EXHIBIT "A"**  
**TO SUBDIVISION IMPROVEMENTS AGREEMENT**  
**DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

HB Offices

PROPOSED NAME OF SITE DEVELOPMENT PLAN

LOTS 28, 29, 30, BLOCK 2, UNIT B, TRACT A NORTH ALBUQUERQUE ACRES  
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
							/	/	/
							/	/	/
		na	Fire hydrant	Beverly Hills	n/a	n/a	/	/	/
		17' ± F.E.	Major Local Road with Curb and Gutter including 4 wide Sidewalk(N Side only) (with appropriate taper to west)	Beverly Hills	west property line	east property line	/	/	/
		NA	Inlet and conduit connection to ex storm drain	Beverly Hills	Existing Conduit	West Property Line	/	/	/
							/	/	/
							/	/	/
							/	/	/

NAME OF PLAT AND/OR SITE PLAN \_\_\_\_\_

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

**NOTES**

- 1 Engineers Certification of Grading required for release Certificate of Occupancy
- 2 site lighting shall be installed per DPM Standards.
- 3 \_\_\_\_\_

**AGENT / OWNER** **DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

**David Soule**  
NAME (print)

**Rio Grande Engineering**  
FIRM

*DM M* 9/11/09  
SIGNATURE - date

MAXIMUM TIME ALLOWED TO CONSTRUCT  
THE IMPROVEMENTS WITHOUT A DRB  
EXTENSION: \_\_\_\_\_

*Pat Clark* 9/23/09  
DRB CHAIR - date

*[Signature]* 9/23/09  
TRANSPORTATION DEVELOPMENT - date

*Robert Green* 9/23/09  
UTILITY DEVELOPMENT - date

*Bradley J. Bingham* 9/23/09  
CITY ENGINEER - date

*Christina Dandora* 9/23/09  
PARKS & GENERAL SERVICES - date

\_\_\_\_\_  
AMAFCA - date

\_\_\_\_\_  
- date

\_\_\_\_\_  
- date

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

**ORIGINAL**

**INFRASTRUCTURE LIST**  
**EXHIBIT "A"**  
**TO SUBDIVISION IMPROVEMENTS AGREEMENT**  
**DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

HB Offices

PROPOSED NAME OF SITE DEVELOPMENT PLAN

LOT ~~10~~, 30, BLOCK 2, UNIT B, TRACT A NORTH ALBUQUERQUE ACRES  
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
							/	/	/
							/	/	/
		na	Fire hydrant	Beverly Hills	n/a	n/a	/	/	/
		17' F-E	Major Local Road with Curb and Gutter including 4 wide Sidewalk(N Side only) (with appropriate taper to west)	Beverly Hills	west property line	east property line	/	/	/
		NA	Inlet and conduit connection to ex storm drain	Beverly Hills	Existing Conduit	West Property Line	/	/	/
							/	/	/
							/	/	/
							/	/	/

NAME OF PLAT AND/OR SITE PLAN \_\_\_\_\_

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

NOTES

- 1 Engineers Certification of Grading required for release Certificate of Occupancy

---

- 2 site lighting shall be installed per DPM Standards.

---

- 3 \_\_\_\_\_

---

AGENT / OWNER

David Soule  
NAME (print)

Rio Grande Engineering  
FIRM

*DM* 9/11/09  
SIGNATURE - date

MAXIMUM TIME ALLOWED TO CONSTRUCT  
THE IMPROVEMENTS WITHOUT A DRB  
EXTENSION: \_\_\_\_\_

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

*Pat Clark* 9/23/09  
DRB CHAIR - date

*[Signature]* 9/23/09  
TRANSPORTATION DEVELOPMENT - date

*Robert Sheen* 9/23/09  
UTILITY DEVELOPMENT - date

*Bradley J. Bingham* 9/23/09  
CITY ENGINEER - date

*Christina Dandorel* 9/23/09  
PARKS & GENERAL SERVICES - date

AMAFCA - date

\_\_\_\_\_ - date

\_\_\_\_\_ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER





400 Tijeras NW  
Station 520  
Albuquerque, NM 87102

September 01, 2009

Ms. Angela Gomez-Administrative Assistant  
Plaza Del Sol  
600 Second St. NW  
Planning Dept.-Development Services  
Albuquerque, NM 87102

Subject: Case Number(s) Project #1007948, Appl #09DRB-70275

Dear Ms Gomez:

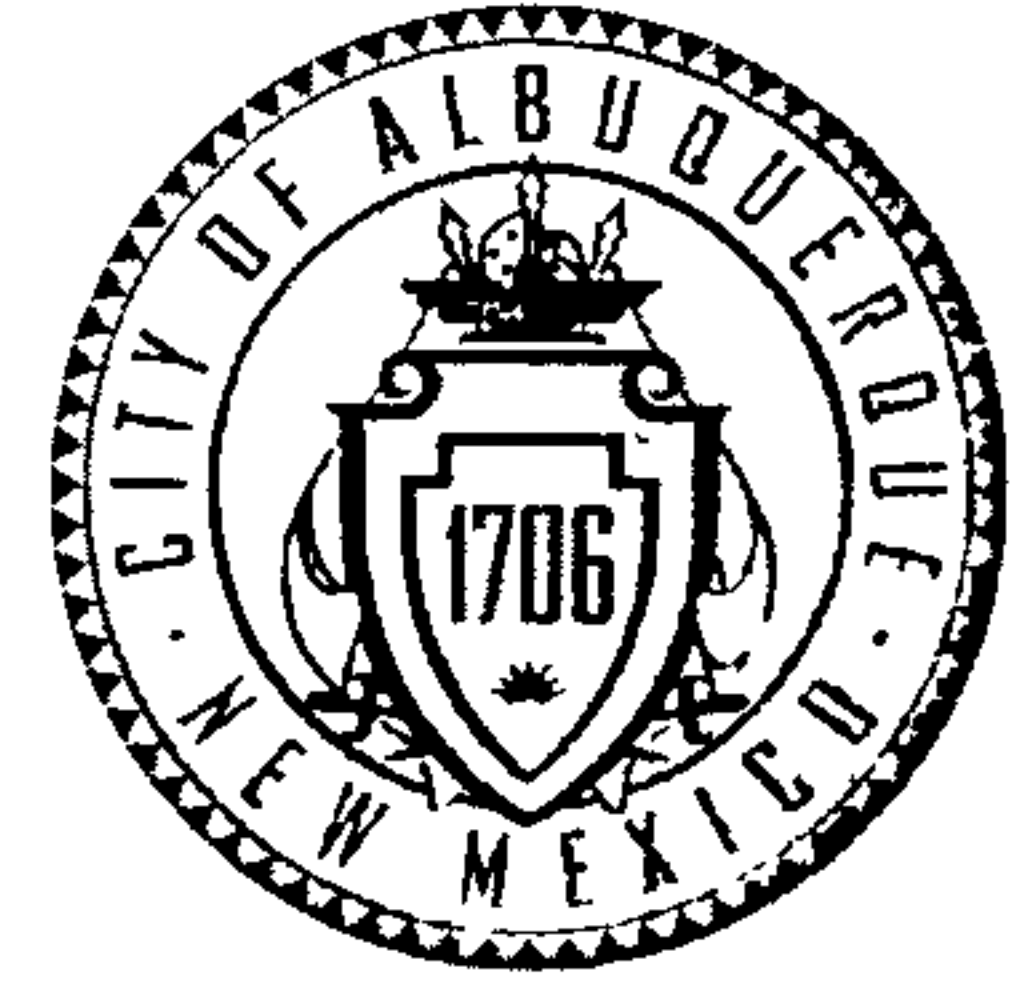
Concerning the subject case number(s), Qwest has no adverse comments at this time provided all utility easement rights are maintained. Qwest has facilities located at 9440 San Mateo Blvd which may require a PUE in front of the lot. Prior to any final plat approval, we will need a copy for review.

Sincerely,

A handwritten signature in cursive script that reads "Michele Ramirez".

Michele Ramirez  
Qwest Corporation

# CITY OF ALBUQUERQUE



## CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

### DEVELOPMENT REVIEW BOARD--SPEED MEMO

**DRB CASE NO/PROJECT NO: 1007948**

**AGENDA ITEM NO: 2**

**SUBJECT:**

Site Plan for BP

**ACTION REQUESTED:**

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

PO Box 1293

**ENGINEERING COMMENTS:**

Albuquerque

An approved Subdivision Improvements Agreement with financial guarantees is required for Site Development Plan sign-off by City Engineer.

NM 87103

**RESOLUTION:**

9-16-9

www.cabq.gov

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED X; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee  
924-3986

**DATE:** September 9, 2009

PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO: 1007948

AGENDA ITEM NO: 2

SUBJECT:

SITE PLAN FOR BUILDING PERMIT

ENGINEERING COMMENTS:

Infrastructure List comments:

Remove arterial (**add Major Local**) from the roadway description for Beverly Hills Avenue.  
Clarify that the proposed sidewalk and curb and gutter is for the North side only. **How was 41' F-F determined? How was 6 foot sidewalk determine?**

Site Plan for Building Permit Comments:

Build notes, referring to the specific City Standard, must be provided for all proposed items within the City right of way (curb and gutter, ramps, sidewalk, curb cuts, etc.).  
Call out the width of the proposed drivepad.  
The handicapped spaces must include an 8-foot wide van access aisle  
Clearly demonstrate the 6-foot wide, ADA accessible, pedestrian pathway from the roadway to the building.  
All proposed ramps located within the public right of way must have truncated domes.  
Provide details for all wheelchair ramps; define the maximum slope.  
Call out the width of all sidewalk.  
Clarify the status of paving along Beverly Hills Avenue. A paved connection from City Right of Way to the proposed site must exist or be built with this project.  
**How was the taper length determined? Please provided City standards length. Will be determine at DRC.**

RESOLUTION:

16 Sept 09

APPROVED \_\_\_; DENIED \_\_\_; DEFERRED X; COMMENTS PROVIDED X; WITHDRAWN \_\_\_

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED:

Kristal D. Metro  
Transportation Development

505-924-3991

DATE: SEPTEMBER 9, 2009

PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO: 1007948

AGENDA ITEM NO: 3

SUBJECT:

SITE PLAN FOR BUILDING PERMIT

ENGINEERING COMMENTS:

Infrastructure List comments:

Remove arterial from the roadway description for Beverly Hills Avenue.  
Clarify that the proposed sidewalk and curb and gutter is for the North side only.

Site Plan for Building Permit Comments:

Build notes, referring to the specific City Standard, must be provided for all proposed items within the City right of way (curb and gutter, ramps, sidewalk, curb cuts, etc.).

Call out the width of the proposed drivepad.

The handicapped spaces must include an 8-foot wide van access aisle

Clearly demonstrate the 6-foot wide, ADA accessible, pedestrian pathway from the roadway to the building.

All proposed ramps located within the public right of way must have truncated domes.

Provide details for all wheelchair ramps; define the maximum slope.

Call out the width of all sidewalk.

Clarify the status of paving along Beverly Hills Avenue. A paved connection from City Right of Way to the proposed site must exist or be built with this project.

RESOLUTION:

**09-23-09**

APPROVED \_\_\_; DENIED \_\_\_; DEFERRED X; COMMENTS PROVIDED \_\_\_; WITHDRAWN \_\_\_

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED:

Kristal D. Metro  
Transportation Development

505-924-3991

DATE: SEPTEMBER 16, 2009



AA DRB

APPLICATION NO. 10AA-10053	PROJECT NO. 1007948
PROJECT NAME HB CONSTRUCTION OFFICE BUILDING	
EPC APPLICATION NO.	
APPLICANT / AGENT SCOTT ANDERSON	PHONE NO. 401-7575
ZONE ATLAS PAGE B-18	
(SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEV PLAN), (TR), (AA)	
<b>ONE STOP COMMENT FORM LOG</b>	

<b>HYDROLOGY DEV (505) 924-3986</b>		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <i>BAB</i>	DATE 4/28/10	DATE
COMMENTS:		

<b>UTILITY DEV (505) 924-3989</b>		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <i>SA</i>	DATE 4-28-10	DATE
COMMENTS:		

<b>TRANSPORTATION DEV (505) 924-3990</b>		
PLANS DISAPPROVED <i>NSP</i>	DATE 4/28/10	DATE
PLANS APPROVED <i>NSP</i>	DATE 5/7/10	DATE
COMMENTS:		
SEE SITE PLAN MARKED 'TRANSP' FOR COMMENTS		

<b>PARKS AND REC (505) 768-5328</b>		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <i>N/A</i>	DATE	DATE
COMMENTS:		

<b>PLANNING (505) 924-3858</b>		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <i>JC</i>	DATE 05-13-10	DATE
COMMENTS:		

Revised 3/3/04 CALLED LM YM 5-4-10 YS  
Checked out 5-4-10 YS  
(Return form with plat / site plan)

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

SUBDIVISION		Supplemental form	
<input type="checkbox"/> Major Subdivision action	<input type="checkbox"/> S	<input type="checkbox"/> Z	<b>ZONING &amp; PLANNING</b>
<input type="checkbox"/> Minor Subdivision action			<input type="checkbox"/> Annexation
<input type="checkbox"/> Vacation	<input type="checkbox"/> V		<input type="checkbox"/> County Submittal
<input type="checkbox"/> Variance (Non-Zoning)			<input type="checkbox"/> EPC Submittal
SITE DEVELOPMENT PLAN			<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
<input type="checkbox"/> for Subdivision	<input type="checkbox"/> P		<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input type="checkbox"/> for Building Permit			<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input type="checkbox"/> Administrative Amendment (AA)			<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> IP Master Development Plan	<input type="checkbox"/> D		<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	<input type="checkbox"/> L	<input type="checkbox"/> A	<b>APPEAL / PROTEST of...</b>
STORM DRAINAGE (Form D)			<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals
<input type="checkbox"/> Storm Drainage Cost Allocation Plan			

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): Scott Anderson PHONE: 401-7575  
 ADDRESS: 7604 Rio Pecosco NW FAX: 897-3242  
 CITY: Albuquerque STATE NM ZIP 87120 E-MAIL: andersonscott@comcast.net

APPLICANT: HB Construction PHONE: 505-856-0404  
 ADDRESS: 1111 Beverly Hills Ave NE FAX: 856-0480  
 CITY: Albuquerque STATE NM ZIP 87113 E-MAIL:

Proprietary interest in site: \_\_\_\_\_ List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: an administrative amendment to approved site plan

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. 30 Block: 4 Unit: \_\_\_\_\_  
 Subdiv/Addn/TBKA: tract A of unit B, North Albuquerque Acres  
 Existing Zoning: IP Proposed zoning: IP MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): B18 UPC Code: \_\_\_\_\_

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.):  
1001648, 1007948

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? No  
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): 0.8864  
 LOCATION OF PROPERTY BY STREETS: On or Near: San Mateo & Beverly Hills NE (NE corner)  
 Between: \_\_\_\_\_ and \_\_\_\_\_

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_

SIGNATURE [Signature] DATE 4/26/10  
 (Print) Scott Anderson Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Form revised 4/07

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>10 AAB-10053</u>	<u>ASBP</u>	<u>P(4)</u>	<u>\$ 45.00</u>
<input type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>N/A</u>			<u>\$ 45.00</u>

Sandy Handley 04/27/10  
 Planner signature / date

Project # 1007948



**FORM P(4): SITE PLAN REVIEW – ADMINISTRATIVE APPROVAL OR AMENDMENT**

**AMENDMENT TO SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (AA02)**

- Proposed Site Plan, with changes circled and noted if amended (folded to fit into an 8.5" x 14" pocket) **5** copies
- Copy of approved Site Plan being amended if applicable (folded to fit into an 8.5" x 14" pocket) **1** copy
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of EPC or DRB Official Notice of Decision
- Fee (see fee schedule)
- Any original and/or related file numbers must be listed on the cover application

**NOTE: The next two items are also required if the square footage change is 2% or more of any building's gross floor area**

- Notifying letter & certified mail receipts addressed to owners of adjacent properties
- Office of Neighborhood Coordination inquiry response, notifying letter, and certified mail receipts

**AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION (AA03)**

- Proposed Site Plan, with changes circled and noted if amended (folded to fit into an 8.5" x 14" pocket) **5** copies
- Copy of approved Site Plan being amended if applicable (folded to fit into an 8.5" x 14" pocket) **1** copy
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of EPC or DRB Official Notice of Decision
- Fee (see fee schedule)
- Any original and/or related file numbers must be listed on the cover application

**NOTE: The next two items are also required if the square footage change is 2% or more of any building's gross floor area**

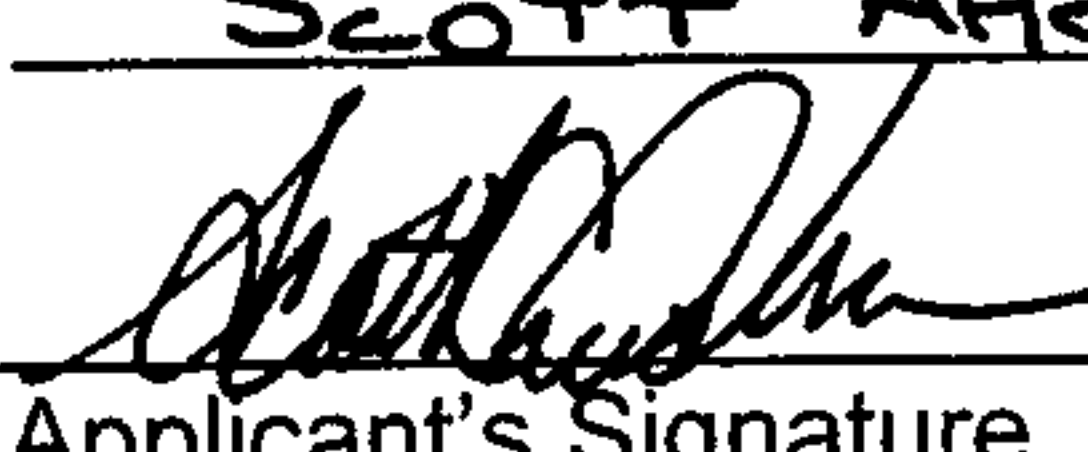
- Notifying letter & certified mail receipts addressed to owners of adjacent properties
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**WIRELESS TELECOM FACILITY (WTF)- FREE-STANDING, COLLOCATION or OTHER TYPE (AA04)**  
**(EXCEPT FOR COLLOCATION OF A NON-CONCEALED WTF ON A STRAIGHT-ZONED SITE, WHICH GOES TO THE ZONING FRONT COUNTER AT THE BUILDING SERVICES CENTER/ EAST SIDE )**

- Letter describing the request and discussion of its how it relates to the WTF Ordinance (O-06-40)
- Letter of authorization from the property owner if application is submitted by an agent
- Fee (see fee schedule-included with application)
- Any relevant file numbers (case history of previous development applications) must be listed on cover application
- Copy of EPC Official Notice of Decision, if the subject site went through the EPC process
- Proposed Site Plan set: cover sheet, notes/photo sheet, site plan sheets, elevation sheets, landscape plan (if free-standing), and survey sheet(s) (**3** copies- 11" x 17")
- For collocation on public utility pole: the PNM approved site plan set for the proposed WTF (**1** copy)
- For free-standing WTFs: photo simulation- before and after proposed WTF
- Site Plan sheets must be stamped by a registered engineer or architect.
- Copy of approved Site Plan being amended by adding the proposed WTF, if applicable (**1** copy)
- Zone Atlas maps- 1 showing Zoning and 1 showing Land Use, with the subject site clearly outlined and indicated
- For free-standing WTFs: Evidence demonstrating that collocation possibilities were considered, consisting of a written response to §14-16-3-17(A)(6)(a through e) and any supporting materials such as engineering maps
- For collocation on public utility pole: written discussion of items a through e in §14-16-3-17(A)(14)
- Notarized statement re: WTF capacity, number and types of proposed antennas and if another user can be accommodated on proposed WTF [see §14-16-3-17(A)(13)(d)(2)]
- Affidavit (notarized statement) re: explanation of factual basis for the proposed WTF's engineering requirements [see §14-16-3-17(A)(13)(d)(3)] Note: Notarized statement and affidavit must be on separate pages.
- Letter of intent re: shared use of proposed WTF if reasonable conditions are met [§14-16-3-17(A)(13)(e)]
- For free-standing WTFs: Distance to the nearest existing free-standing WTF and the WTF owner's name [§14-16-3-17(A)(13)(d)(5) and (A)(17)]
- Office of Neighborhood Coordination (ONC) inquiry forms, response based on ¼ mile radius from subject site [§14-16-3-17(A)(13)(f)]
- Copy of letters to both contacts for each neighborhood association(s), with certified return receipts
- AGIS list of property owners within 100 feet of the subject site and copy of letter sent to each property owner [§14-16-3-17(A)(13)(f)]

NOTE: There are additional requirements for WTFs to be located on City of Albuquerque property. Please contact Catalina Lehner at (505) 924-3935 for details.

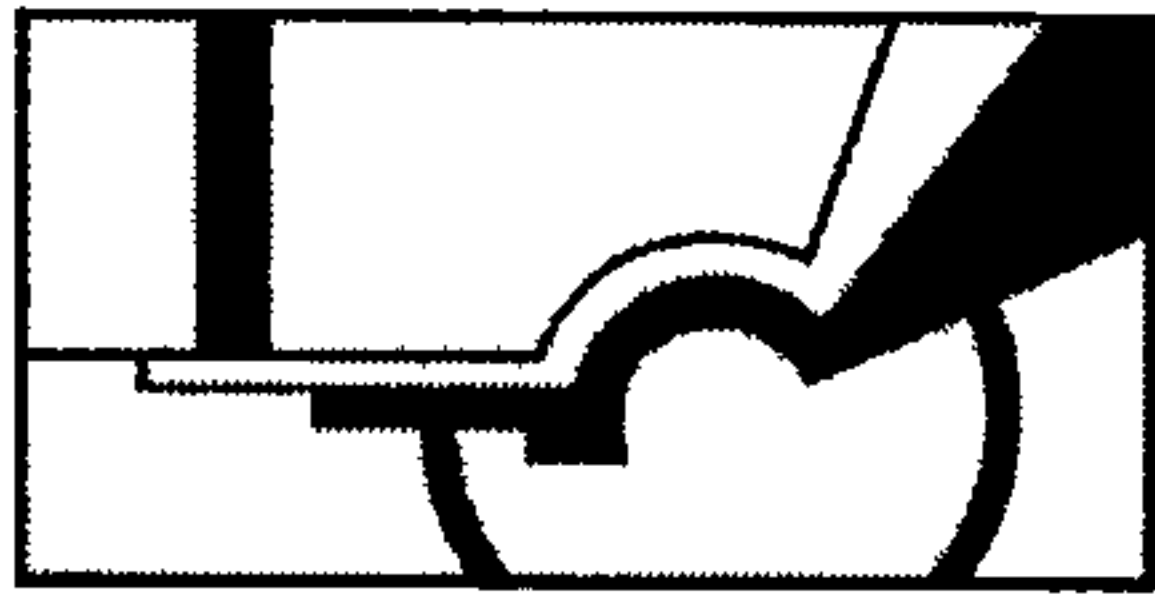
I, the applicant, acknowledge that any information required but not submitted with this application will likely result in rejection of this application and/or deferral of actions.

Scott Anderson  
 Applicant's Name (please print!)  
  
 Applicant's Signature  
 4/26/10  
 Date



- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers:  
102A-10053  
 \_\_\_\_\_  
 \_\_\_\_\_

Sandy Handley 04/27/10  
 Planner's Signature / Date  
 Project #: 1007948



## Scott C. Anderson AIA

7604 Rio Penasco NW  
Albuquerque, NM 87120  
(505) 401-7575

April 27, 2010

**City of Albuquerque Planning Department**  
600 Second Street NW  
Albuquerque, NM 87102  
(505) 924-3861

RE: Administrative Amendment to EPC-1007948, 10 DRB-10053 HB Construction Office Warehouse, 1111 Beverly Hills Ave. NW

Dear Staff:

As the representative for HB Construction the owner of the property located at 1111 Beverly Hills Ave. NE, I am submitting a request for an administrative amendment to the approved site plan. The changes were necessitated for three reasons.

The first reason is that there was a design conflict between the Civil and Architectural sheets. The building footprint on original civil site plan did not match the architectural floor plan. As a result of the discrepancy the building encroached on the sidewalk making it too narrow to meet the City's standards. The solution was to widen the sidewalk to meet the City's requirements. Because the sidewalk became wider the parking space in front of it became a small car space as opposed to a full sized space. This issue occurred in two locations:

The second reason for the Administrative Amendment request is an owner requested change to a security fence. Originally the site was designed with a steel rail fence approximately 142 feet north of the southern property line. To better screen the "back of house" portion of the parking lot the owner elected to install a split-face CMU wall in place of the fence to match the perimeter wall. The new wall was erected further south on the site than where the fence was shown. The new wall location conflicted with the parking layout and thus created a need to shift some of the spaces around.

A change to the dumpster location was the third change to the approved site plan. The dumpster location was changed to provide better access to the north side of the site for the owner and for better access for the Solid Waste Department. Originally the dumpster was located immediately north of the building. During the process of attaining the building permit a better location was determined and approved by the Fire Marshal's Office and the Solid Waste Department. The change was noted and approved on the Building Permit Drawings by both departments. The amendment is requested to the approved site plan to make sure that the change is properly documented and that all of the paperwork is in order.

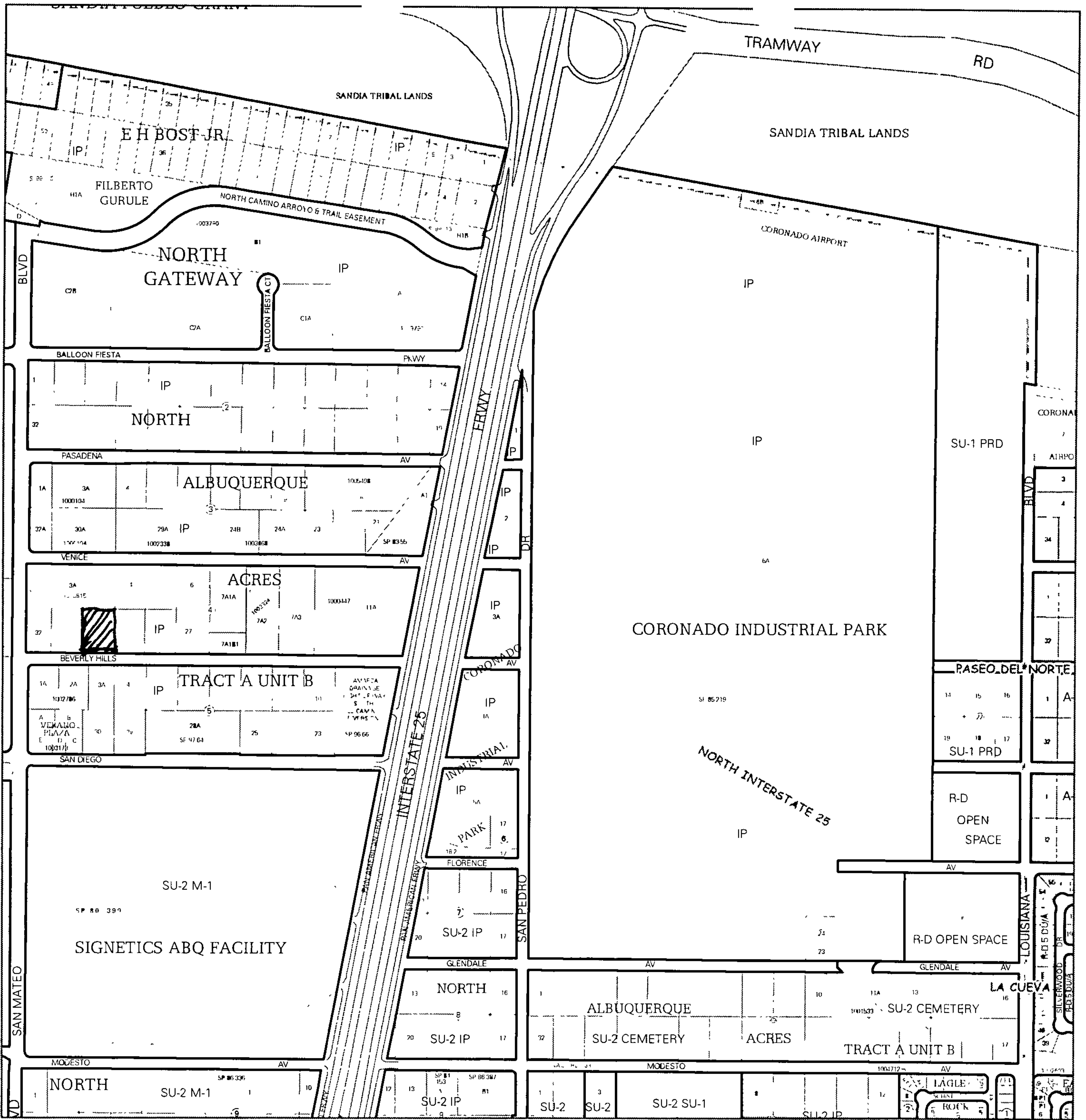
The City's Building Inspectors have examined the site and the structure. The building in question has received a Temporary Certificate of Occupancy. To my knowledge the only item holding up the final Certificate of Occupancy is the approval of this Administrative Amendment to ensure that the changes noted above are documented.

Should you have any questions or concerns regarding this matter please feel free to contact me.

Respectfully,

Scott C. Anderson AIA





For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through 3/10/2009

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page.

## B-18-Z

Selected Symbols

SECTOR PLANS		Escarpment
Design Overlay Zones		2 Mile Airport Zone
City Historic Zones		Airport Noise Contours
H-1 Buffer Zone		Wall Overlay Zone
Petroglyph Mon		

0 750 1500 Feet



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

September 23, 2009

**Project# 1007948**

09DRB-70275 MAJOR – SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

SCOTT ANDERSON agent(s) for HB CONSTRUCTION request(s) the referenced/ above action(s) for all or a portion of Lot(s) 30, Block 4, Tract A, Unt B, **NORTH ALBUQUERQUE ACRES** zoned IP, located on the north side of BEVERLY HILLSAVE NE between SAN MATEO BLVD NE and the PAN AMERICAN FREEWAY containing approximately 0.8864 acre(s). (B-18)[*Deferred from 9/9/09, 9/16/09*]

At the September 23, 2009 Development Review Board meeting, the Site Development plan for Building Permit was approved with delegation to City Engineer for SIA and to the Planning Department to comply with Planning and Zoning Comments and replat of Right-of-Way.

If you wish to appeal this decision, you must do so by October 8, 2009 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision.

The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Jack Cloud, AICP, DRB Chair

Cc: Scott Anderson – 7604 Rio Penasco Ct NW – Albuquerque, NM 87120

Cc: HB Construction – 3400 Vista Alameda NE – Albuquerque, NM 87113

Marilyn Maldonado

File



DRBAA

APPLICATION NO. 10AA-10052	PROJECT NO. 1007948
PROJECT NAME HB CONSTRUCTION OFFICE	
EPC APPLICATION NO.	
APPLICANT / AGENT AARON FORESTER	PHONE NO. 898-9690
ZONE ATLAS PAGE B-18	
(SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEV PLAN), (IR), (AA)	
<b>ONE STOP COMMENT FORM LOG</b>	

<b>HYDROLOGY DEV (505) 924-3986</b>		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <i>BBB</i>	DATE <i>4/22/10</i>	DATE
COMMENTS:		

<b>UTILITY DEV (505) 924-3989</b>		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <i>[Signature]</i>	DATE <i>4-22-10</i>	DATE
COMMENTS:		

<b>TRANSPORTATION DEV (505) 924-3990</b>		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <i>NF</i>	DATE <i>4/21/10</i>	DATE
COMMENTS:		

<b>PARKS AND REC (505) 768-5328</b>		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <i>N/A</i>	DATE	DATE
COMMENTS:		

<b>PLANNING (505) 924-3858</b>		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <i>[Signature]</i>	DATE <i>4-22/10</i>	DATE
COMMENTS:		

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): THE HILLTOP / AARON FORESTER PHONE: 898-9690  
 ADDRESS: 7909 EDITH BLVD NE FAX: 898-7737  
 CITY: ALB STATE NM ZIP 87113 E-MAIL: aforester@hilltoplandscaping.com

APPLICANT: HB CONSTRUCTION PHONE: 856-0904  
 ADDRESS: 5301 BEVERLY HILLS PL NE FAX: 856-0480  
 CITY: ALB STATE NM ZIP \_\_\_\_\_ E-MAIL: jason@hbconstruction.com  
 Proprietary interest in site: \_\_\_\_\_ List all owners: DASON HARRINGTON

DESCRIPTION OF REQUEST: Administrative amendment to landscaping plan

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. 30 Block: 4 Unit: B  
 Subdiv/Addn/TBKA: NORTH ALB ACRES  
 Existing Zoning: IP Proposed zoning: IP MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): B-18-7 UPC Code: \_\_\_\_\_

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc.).  
09DRB-70275

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? \_\_\_\_\_  
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): \_\_\_\_\_  
 LOCATION OF PROPERTY BY STREETS: On or Near: BEVERLY HILLS AVE  
 Between: SAN MATEO and DAN AMERICAN FREEMAN NE  
 Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_

SIGNATURE [Signature] DATE 4/21/10  
 (Print) AARON FORESTER Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Form revised 4/07

INTERNAL ROUTING	Application case numbers	Action	S.F	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>LOAA - 10052</u>	<u>ASBP</u>	<u>P(A)</u>	<u>\$ 45.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
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<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
	Hearing date <u>N/A</u>			Total <u>\$ 45.00</u>

Sandy Handley 04/21/10 Project # 1007948  
 Planner signature / date



**FORM P(4): SITE PLAN REVIEW – ADMINISTRATIVE APPROVAL OR AMENDMENT**

**AMENDMENT TO SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (AA02)**

- Proposed Site Plan, with changes circled and noted if amended (folded to fit into an 8.5" x 14" pocket) 5 copies
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**NOTE: The next two items are also required if the square footage change is 2% or more of any building's gross floor area**

- Notifying letter & certified mail receipts addressed to owners of adjacent properties
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**WIRELESS TELECOM FACILITY (WTF)- FREE-STANDING, COLLOCATION or OTHER TYPE (AA04)  
(EXCEPT FOR COLLOCATION OF A NON-CONCEALED WTF ON A STRAIGHT-ZONED SITE, WHICH GOES TO THE ZONING FRONT COUNTER AT THE BUILDING SERVICES CENTER/ EAST SIDE )**

- Letter describing the request and discussion of its how it relates to the WTF Ordinance (O-06-40)
- Letter of authorization from the property owner if application is submitted by an agent
- Fee (see fee schedule-included with application)
- Any relevant file numbers (case history of previous development applications) must be listed on cover application
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NOTE: There are additional requirements for WTFs to be located on City of Albuquerque property. Please contact Catalina Lehner at (505) 924-3935 for details.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in rejection of this application and/or deferral of actions.

Aaron Forestal  
Applicant's Name (please print!)  
[Signature]  
Applicant's Signature  
4/21/10  
Date



- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers:  
10 AA - 10052

Sandy Handley 04/21/10  
Planner's Signature / Date  
Project #: 1007948



JAMAR INDUSTRIES, INC.

LANDSCAPE ARCHITECTS & CONTRACTORS

April 21, 2010

City of Albuquerque  
Planning Department  
Albuquerque, NM

Re: HB Construction Office Building  
5301 Beverly Hills NE  
Albuquerque, NM

To Whom It May Concern:

This is in regards to the proposed changes to the approved landscaping plan. The approved plan did not show two planting beds that were near the building. We have moved some plant material from the out lying landscape areas into these beds to supply color and green to these areas. In addition the planting bed along the North West corner of the property, we have changed the 3 vines to 5 red yuccas.

All of these proposed changes have actually added to both the total landscape bed square footages provided and the total groundcover percentage required. This new plan does comply with all City of Albuquerque landscape requirements.

If you have any questions or need any further information you may contact me a 505-898-9690 or [aforrester@hilltoplandscaping.com](mailto:aforrester@hilltoplandscaping.com).

Thank you



Aaron Forrester  
Project Manager





## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

September 23, 2009

**Project# 1007948**

09DRB-70275 MAJOR – SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

SCOTT ANDERSON agent(s) for HB CONSTRUCTION request(s) the referenced/ above action(s) for all or a portion of Lot(s) 30, Block 4, Tract A, Unt B, **NORTH ALBUQUERQUE ACRES** zoned IP, located on the north side of BEVERLY HILLS/AVE NE between SAN MATEO BLVD NE and the PAN AMERICAN FREEWAY containing approximately 0.8864 acre(s). (B-18)[*Deferred from 9/9/09, 9/16/09*]

At the September 23, 2009 Development Review Board meeting, the Site Development plan for Building Permit was approved with delegation to City Engineer for SIA and to the Planning Department to comply with Planning and Zoning Comments and replat of Right-of-Way.

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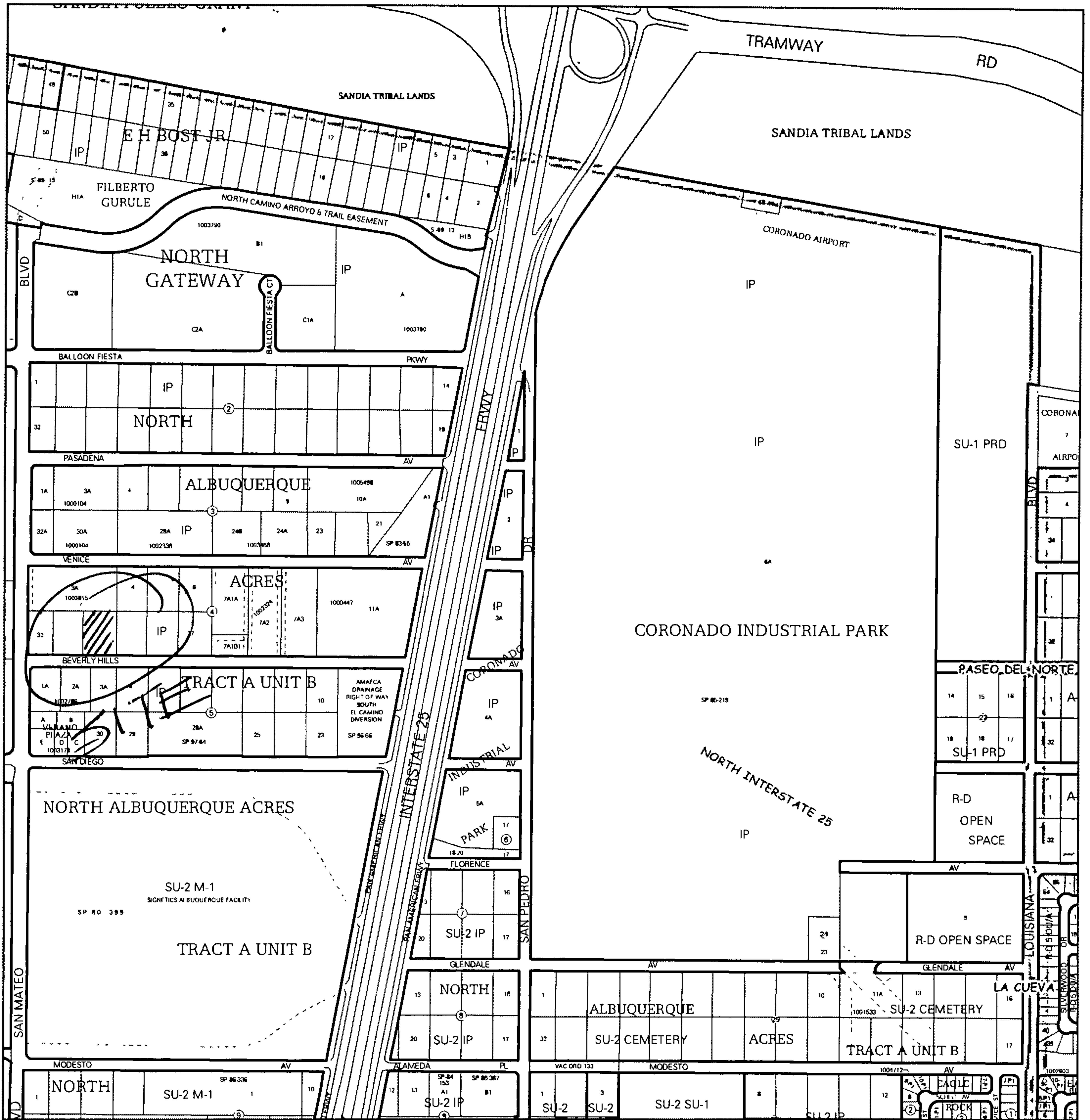
Jack Cloud, AICP, DRB Chair

Cc: Scott Anderson – 7604 Rio Penasco Ct NW – Albuquerque, NM 87120

Cc: HB Construction – 3400 Vista Alameda NE – Albuquerque, NM 87113

Marilyn Maldonado

File



For more current information and more details visit: <http://www.cabq.gov/gis>

**Albuquerque Geographic Information System**

Map amended through: 6/5/2009

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**B-18-Z**

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0      750      1,500 Feet

# The Hilltop

(505) 898-9690  
Fax: (505) 898-7737  
7909 Edith NE \* P.O. Box 10630  
Albuquerque, NM 87113 \* 87184

## Fax

To: CITY OF ALB/PLANNING From: ARON FORRESTER  
 Attn: SANDY HANDLEY Pages: (including cover) 2  
 Fax: 924-3864 Date: 4/22/10  
 Re: 5301 SOUTHWEST HILLS NE:  
HERE IS THE LETTER OF AUTHORIZATION  
THANK YOU

- Urgent     For Review     Please Comment     Please Reply     Please Recycle



# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

- SUBDIVISION**
- Major Subdivision action
  - Minor Subdivision action
  - Vacation
  - Variance (Non-Zoning)

- SITE DEVELOPMENT PLAN**
- for Subdivision
  - for Building Permit
  - Administrative Amendment (AA)
  - IP Master Development Plan
  - Cert. of Appropriateness (LUCC)

- STORM DRAINAGE (Form D)**
- Storm Drainage Cost Allocation Plan

- ZONING & PLANNING**
- Annexation
  - County Submittal
  - EPC Submittal
  - Zone Map Amendment (Establish or Change Zoning)
  - Sector Plan (Phase I, II, III)
  - Amendment to Sector, Area, Facility or Comprehensive Plan
  - Text Amendment (Zoning Code/Sub Regs)
  - Street Name Change (Local & Collector)
  - APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): Rio Grande Engineering PHONE: 321-9099  
 ADDRESS: Po Box 67305 FAX: 972-2205  
 CITY: Alb. STATE NM ZIP 87193 E-MAIL: david@riograndeengineering.com

APPLICANT: HB Construction of Alb., Inc PHONE: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ FAX: \_\_\_\_\_  
 CITY: Alb STATE NM ZIP \_\_\_\_\_ E-MAIL: \_\_\_\_\_

Proprietary interest in site: Owner List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: minor subdivision - Dedication of Public Right of Way

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. 30 Block: 4 Unit: A, tract B  
 Subdiv/Addn/TBKA: North Albuquerque Acres  
 Existing Zoning: IP Proposed zoning: IP MRGCD Map No NA  
 Zone Atlas page(s): B18 UPC Code: 101806504 222230403

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_, V\_, S\_, etc.): 1007948

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? YES  
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): 0.91 AC 1 AC  
 LOCATION OF PROPERTY BY STREETS: On or Near: Beverly Hills NE  
 Between: Interstate 25 and San Mateo

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_

SIGNATURE DM DATE 9/22/09  
 (Print) David Sore Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>09DRB 70337</u>	<u>P&amp;F</u>	<u>5(3)</u>	<u>\$ 215.00</u>
_____	<u>CME</u>	_____	<u>\$ 20.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>11/04/09</u>			Total <u>\$ 235.00</u>

Sandy Handley 10/23/09  
 Planner signature / date

Project # 1007948

**FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING**

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** Your attendance is required.
  - Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - List any original and/or related file numbers on the cover application

- EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)** Your attendance is required.
  - Preliminary Plat reduced to 8.5" x 11"
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Copy of DRB approved infrastructure list
  - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
  - List any original and/or related file numbers on the cover application

Extension of preliminary plat approval expires after one year.

- MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** Your attendance is required.
  - Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
  - Design elevations & cross sections of perimeter walls 3 copies
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
  - Copy of recorded SIA
  - Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
  - List any original and/or related file numbers on the cover application
  - DXF file and hard copy of final plat data for AGIS is required.

- MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** Your attendance is required.
  - 5 Acres or more: Certificate of No Effect or Approval
  - Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
  - Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
  - Design elevations and cross sections of perimeter walls (11" by 17" maximum) 3 copies
  - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
  - Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
  - Infrastructure list if required (verify with DRB Engineer)
  - DXF file and hard copy of final plat data for AGIS is required.

- AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** Your attendance is required.

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

  - Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
  - List any original and/or related file numbers on the cover application

Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

David Sore  
 Applicant name (print)  
[Signature] 10/22/09  
 Applicant signature / date



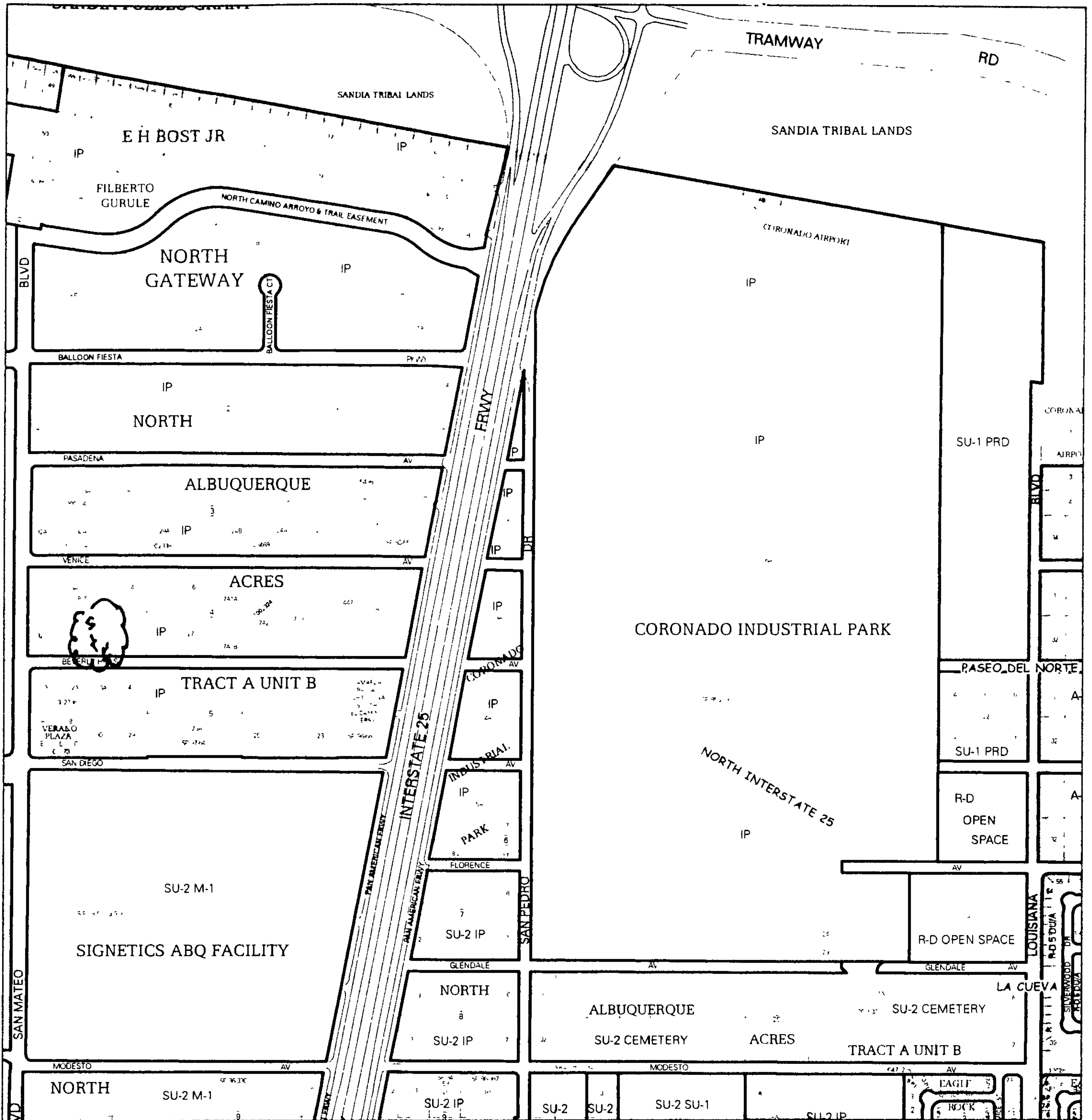
Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
09DRB-70337  
 \_\_\_\_\_  
 \_\_\_\_\_

Sandy Handley 10/22/09  
 Planner signature / date  
 Project # 1007948





For more current information and more details visit: <http://www.cabq.gov/gis>

**AGIS**  
Albuquerque Geographic Information System

Map amended through: 3/10/2009

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**B-18-Z**

Selected Symbols

SECTOR PLANS		Escarpment
Design Overlay Zones		2 Mile Airport Zone
City Historic Zones		City Historic Zones
H-1 Buffer Zone		H-1 Buffer Zone
Petroglyph Mon		Petroglyph Mon
		Airport Noise Contours
		Wall Overlay Zone

Feet

0      750      1,500



**Rio Grande  
Engineering  
Land Development and Civil Engineering Services**

October 22, 2009

Mr. Jack Cloud  
Chair- Development Review Board  
City of Albuquerque  
600 2<sup>nd</sup> street NW  
Albuquerque, NM 87102

**RE: Preliminary/Final Plat  
For Minor Subdivision  
(Dedication of Public Right-of-Way)  
Lot 30, Block 4, Unit A, Tract B, NAA  
PROJECT # 1007948  
Albuquerque, New Mexico**

Dear Mr. Cloud:

Rio Grande Engineering requests approval of the enclosed plat. The sole purpose of the plat is to dedicate the existing public access easement to the City as Public Right-of-way.

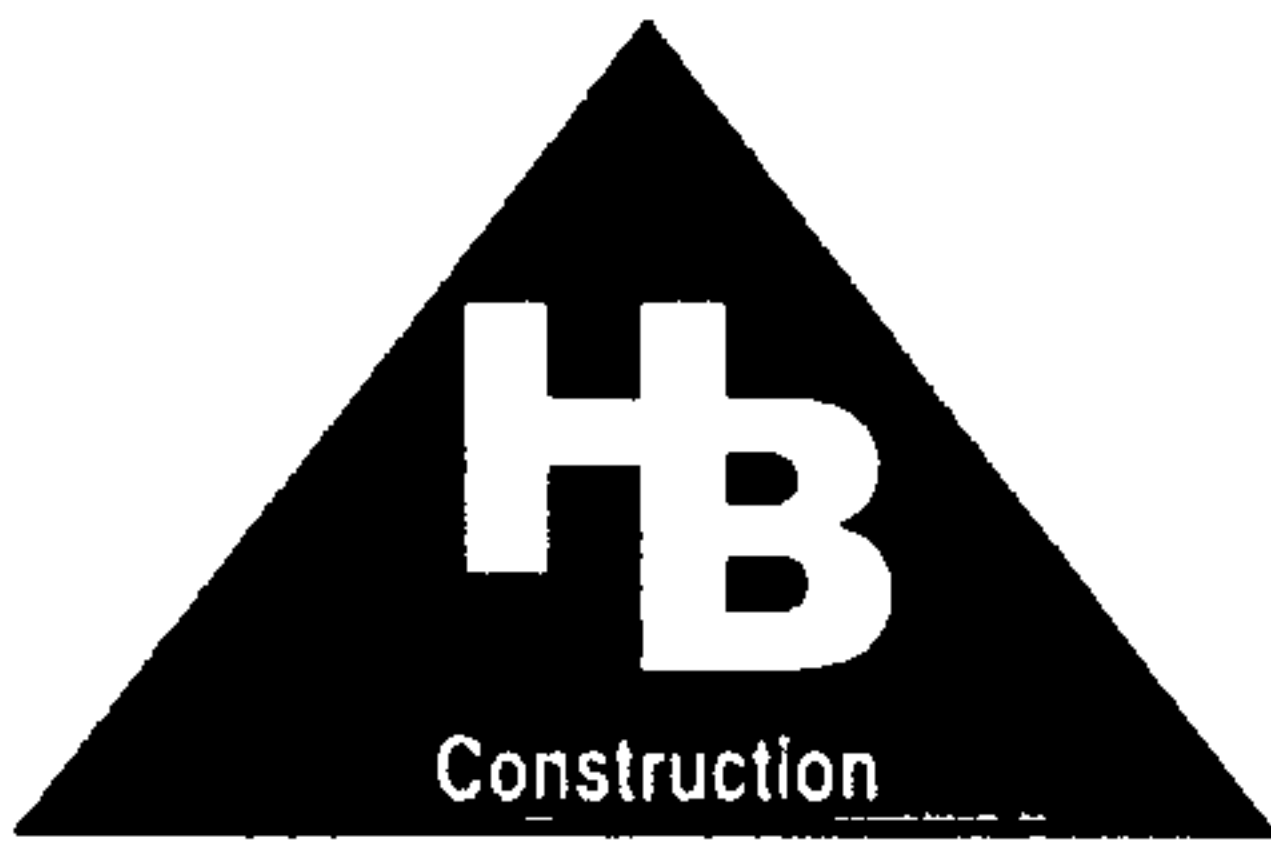
Should you have any questions regarding this matter, please do not hesitate to call me.

Sincerely,

David Soule, PE  
RIO GRANDE ENGINEERING  
PO BOX 67305  
ALBUQUERQUE, NM 87193

Enclosures





**HB Construction of Alb., Inc.**  
3400 Vista Alameda NE  
Albuquerque, NM 87113  
505-856-0404 Fax 505-856-0480

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### Letter of Authorization

I, Adam Harrington, Vice President of Finance, HB Construction of Alb. Inc, owner of  
Lot 30, Block 4, Unit A, Tract B, North Albuquerque Acres,

hereby authorize Rio Grande Engineering to act as our agent regarding the subdivision  
application of said property within the City of Albuquerque, Bernalillo County, New Mexico

By: Adam Harrington  
Vice President of Finance  
HB Construction of Alb. Inc

10.20.09

Date

Current DRC  
Project Number \_\_\_\_\_

FIGURE 12

Date Submitted: \_\_\_\_\_  
 Date Site Plan Approved: 9-23-01  
 Date Preliminary Plat Approved: N/A  
 Date Preliminary Plat Expires: N/A  
 DRB Project No. 1007948  
 DRB Application No. 041DRB-70275

**ORIGINAL**

**INFRASTRUCTURE LIST**

**EXHIBIT "A"  
 TO SUBDIVISION IMPROVEMENTS AGREEMENT  
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**HB Offices  
 PROPOSED NAME OF SITE DEVELOPMENT PLAN**

**LOTS 28, 29, 30, BLOCK 2, UNIT B, TRACT A NORTH ALBUQUERQUE ACRES  
 EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the Infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
							/	/	/
							/	/	/
		na	Fire hydrant	Beverly Hills	n/a	n/a	/	/	/
		17' FE	Major Local Road with Curb and Gutter including 4 wide Sidewalk(N Side only) (with appropriate taper to west)	Beverly Hills	west property line	east property line	/	/	/
		NA	Inlet and conduit connection to ex storm drain	Beverly Hills	Existing Conduit	West Property Line	/	/	/
							/	/	/
							/	/	/
							/	/	/

NAME OF PLAT AND/OR SITE PLAN \_\_\_\_\_

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

NOTES

- 1 Engineers Certification of Grading required for release Certificate of Occupancy
- 2 site lighting shall be installed per DPM Standards
- 3 \_\_\_\_\_

AGENT / OWNER      DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

**David Soule**  
NAME (print)  
  
**Rio Grande Engineering**  
FIRM  
*M M* 9/11/09  
SIGNATURE - date

*[Signature]* 9/23/09  
DRB CHAIR - date  
*[Signature]* 9/23/09  
TRANSPORTATION DEVELOPMENT - date  
*[Signature]* 9/23/09  
UTILITY DEVELOPMENT - date  
*[Signature]* 9/23/09  
CITY ENGINEER - date

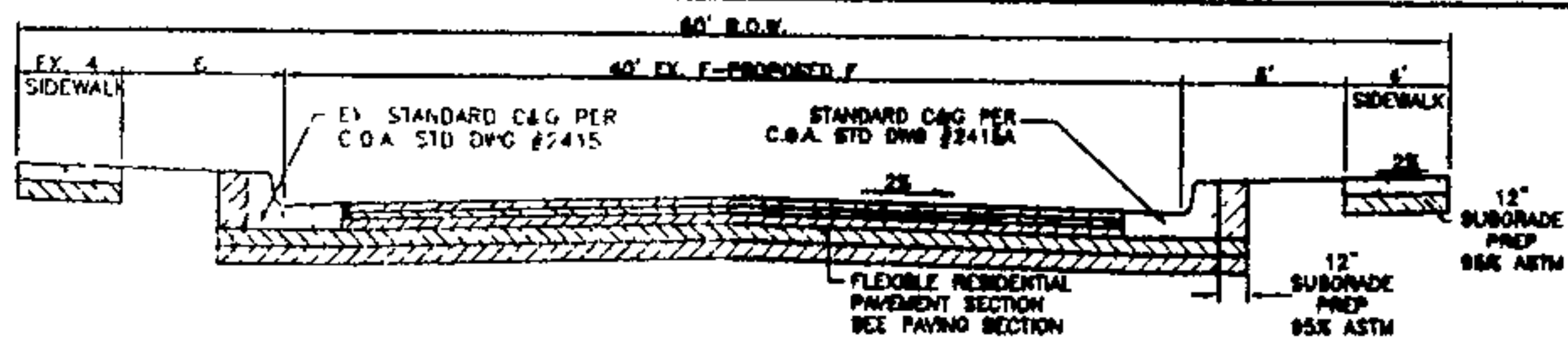
*[Signature]* 9/23/09  
PARKS & GENERAL SERVICES - date  
 \_\_\_\_\_  
AMAFA - date  
 \_\_\_\_\_ - date  
 \_\_\_\_\_ - date

MAXIMUM TIME ALLOWED TO CONSTRUCT  
THE IMPROVEMENTS WITHOUT A DRB  
EXTENSION: \_\_\_\_\_

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER





SECTION A-A  
TYPICAL STREET SECTION WESTWARD C AND B

TACK COAT AS REQUIRED BY THE ENGINEER BETWEEN ALL ASPHALT/AGGREGATE MATERIAL LIFTS

1-2" ASPHALT CONCRETE TYPICAL FINISH 1800 LBS. STABILITY TYPE A GRADATION

1-2 1/2" ASPHALT CONCRETE, 1500 LBS STABILITY, TYPE A GRADATION

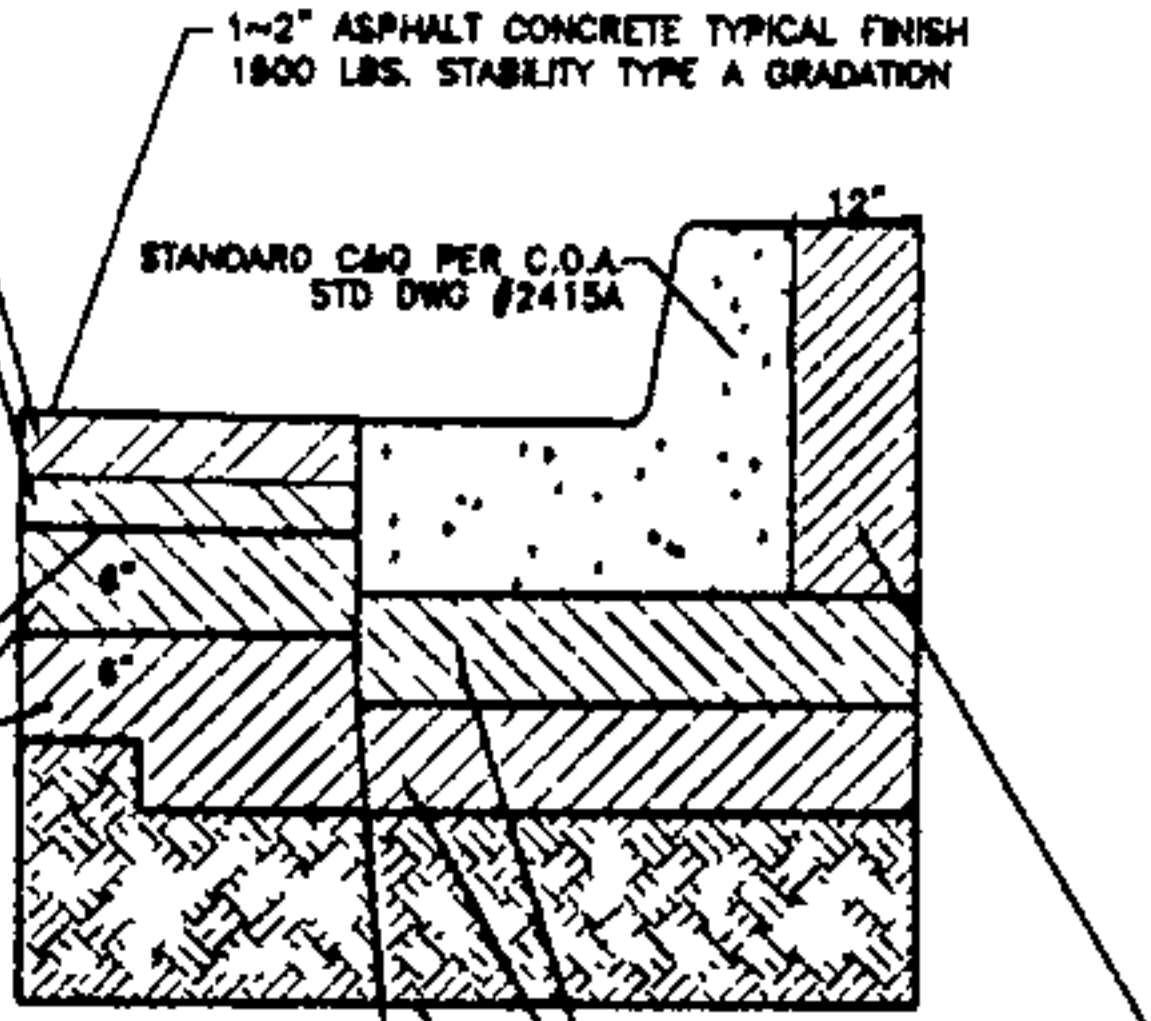
FINISH SURFACE OF SUBGRADE SHALL BE MOISTURE CONTROLLED AT COMPACTION MOISTURE RANGE, OR PRIME COAT APPLIED AS REQUIRED BY THE ENGINEER UNTIL NEXT/FINAL SURFACE IS COMPLETED SUBGRADE PREPARATION SHALL BE PERFORMED AFTER ALL SUBSURFACE R/W UTILITIES CONSTRUCTION IS COMPLETED

1" SUBGRADE SOIL, R-VALUE > 80 PLACED IN 2-6" COMPACTED LIFTS 85% MIN. COMPACTION, AT OPT MOISTURE ± 2.0%, ASTM D1557, OR OPT MOISTURE TO +4%, ASTM D698 FOR SOIL W/3% OR MORE MATERIAL PASSING THE NO. 200 SIEVE. SOIL NOT HAVING THE MIN R-VALUE OF 80, SHALL BE REMOVED TO A DEPTH OF 2 FEET AND REPLACED BY THE CONTRACTOR WITH SUITABLE MATERIAL OR A PAVEMENT SHALL BE DESIGNED ACCOMMODATING THE EXISTING R-VALUE PER C.O.A. STANDARD SPECIFICATIONS

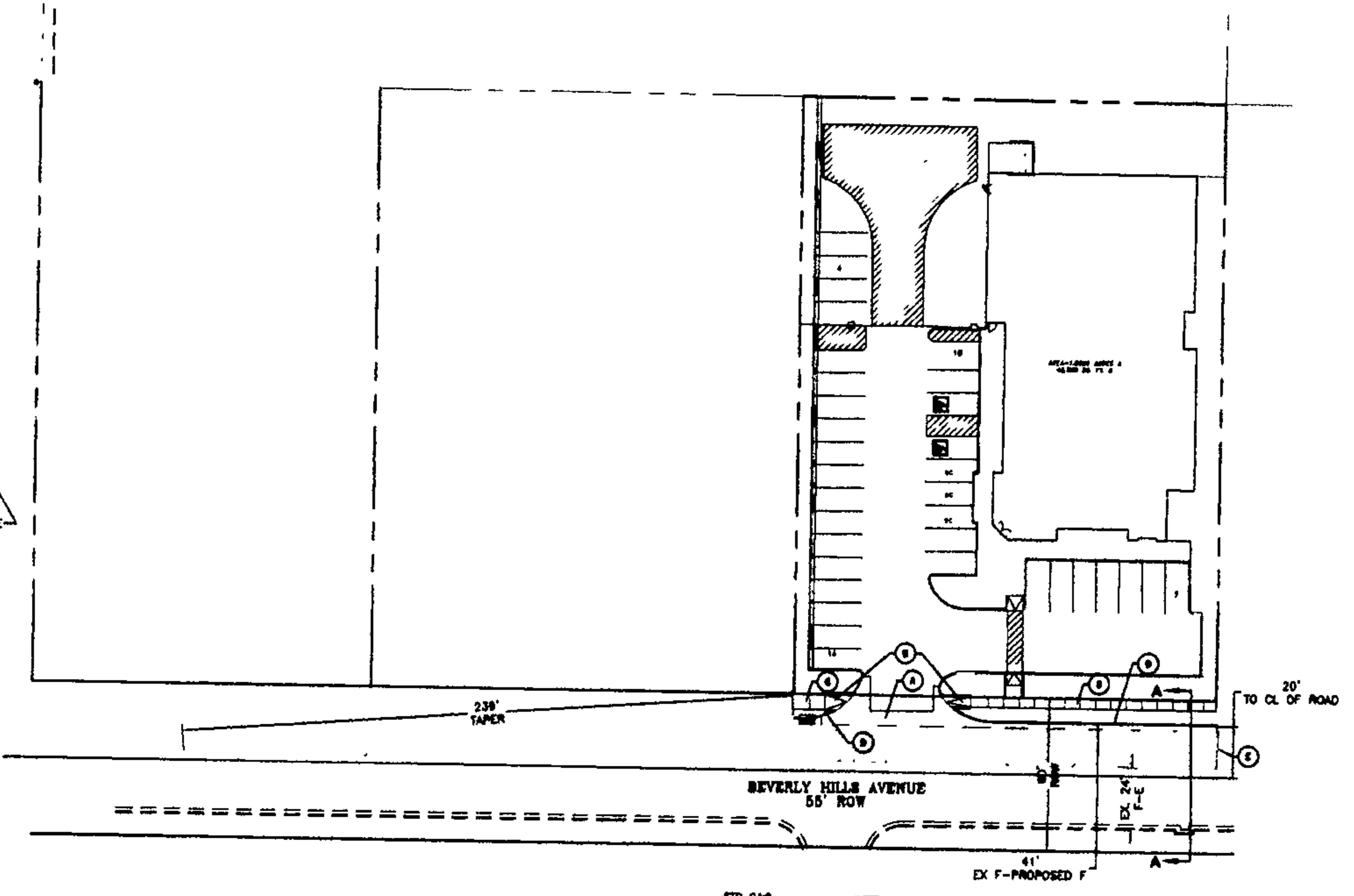
CONSTRUCTION JOINT - 90% MIN COMPACTION

2-6" LIFTS, SUBGRADE SOIL 85% MIN. COMPACTION TO ASTM D1557

COMPACTED SUBGRADE TO 95% ASTM D1557



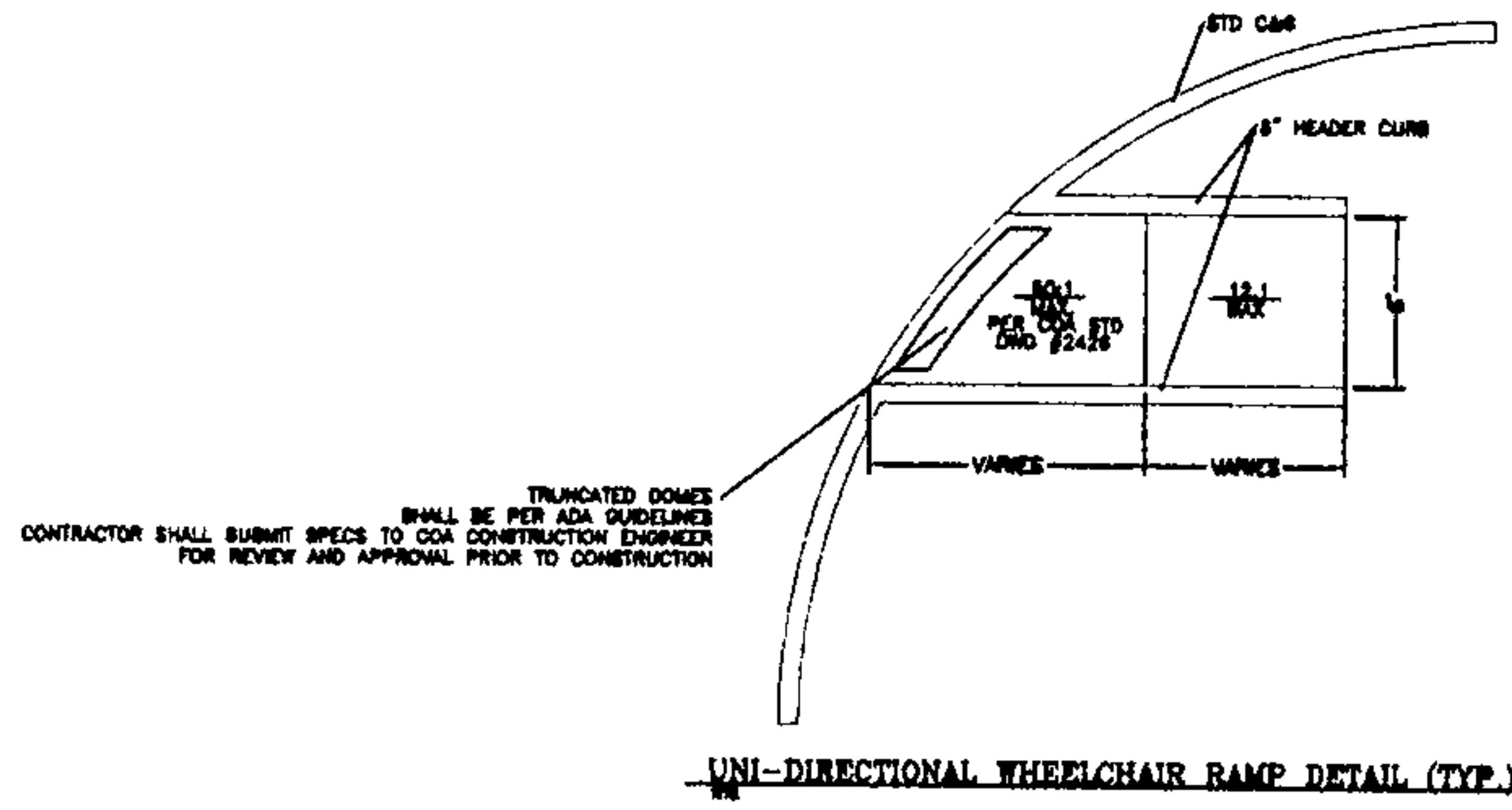
RESIDENTIAL PAVING SECTION (STANDARD CURB)  
NTS-PER COA PROJECT #837181



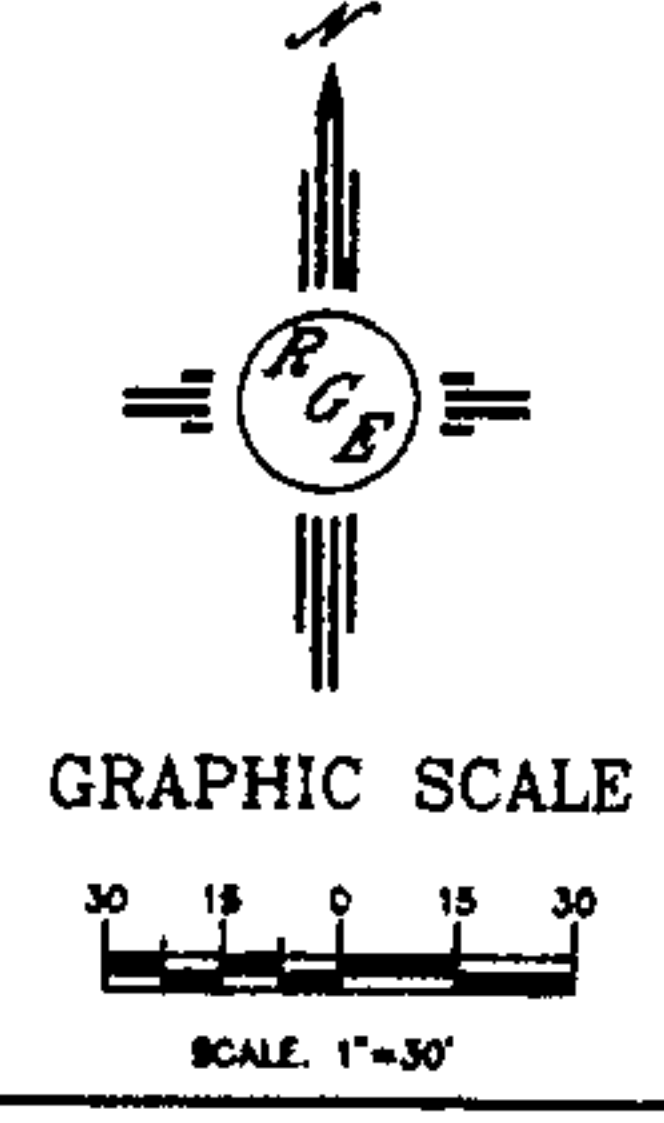
- KEYED NOTE:
- (A) 6" VALLEY GUTTER PER C.O.A. STD DWG #2420
  - (B) UNIDIRECTIONAL H.C. RAMP PER DETAIL THIS SHEET
  - (C) 4" SIDEWALK TO BE BUILT WITH THIS CONTRACT PER COA STD. DWG #2430
  - (D) STANDARD CURB PER C.O.A. STD DWG #2415A
  - (E) CUT-OFF WALL PER C.O.A. STD DWG #2418B

LEGEND

- EXISTING CURB & GUTTER
- EXISTING EDGE OF ROADWAY
- PROPOSED CURB & GUTTER
- CENTERLINE
- RIGHT-OF-WAY
- LOT LINES
- SIDEWALK
- BOUNDARY LINE
- EMBANKMENT
- ☆ STREET LIGHTS
- LIMITS OF NEW PAVEMENT TO BE BUILT W/THIS PROJECT



UNI-DIRECTIONAL WHEELCHAIR RAMP DETAIL (TYP.)



*Rio Grande Engineering*  
CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING GROUP

**HB**  
**MASTER PAVING PLAN**

DESIGN REVIEW SIGNATURE	CITY ENGINEER APPROVAL	DATE: 10-15-09	DATE: 10-15-09
		DESIGNED BY: MCM	DRAWN BY: MCM
		CHECKED BY: DS	DATE: 10-18-09

CITY PROJECT NO. - ZONE MAP NO. B-18-7 SHEET 4 OF 6

AS BUILT INFORMATION		REVISIONS	
NO.	DATE	NO.	DATE



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

September 23, 2009

**Project# 1007948**

09DRB-70275 MAJOR – SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

SCOTT ANDERSON agent(s) for HB CONSTRUCTION request(s) the referenced/ above action(s) for all or a portion of Lot(s) 30, Block 4, Tract A, Unt B, **NORTH ALBUQUERQUE ACRES** zoned IP, located on the north side of BEVERLY HILLSAVE NE between SAN MATEO BLVD NE and the PAN AMERICAN FREEWAY containing approximately 0.8864 acre(s). (B-18)[*Deferred from 9/9/09, 9/16/09*]

At the September 23, 2009 Development Review Board meeting, the Site Development plan for Building Permit was approved with delegation to City Engineer for SIA and to the Planning Department to comply with Planning and Zoning Comments and replat of Right-of-Way.

If you wish to appeal this decision, you must do so by October 8, 2009 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision.

The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

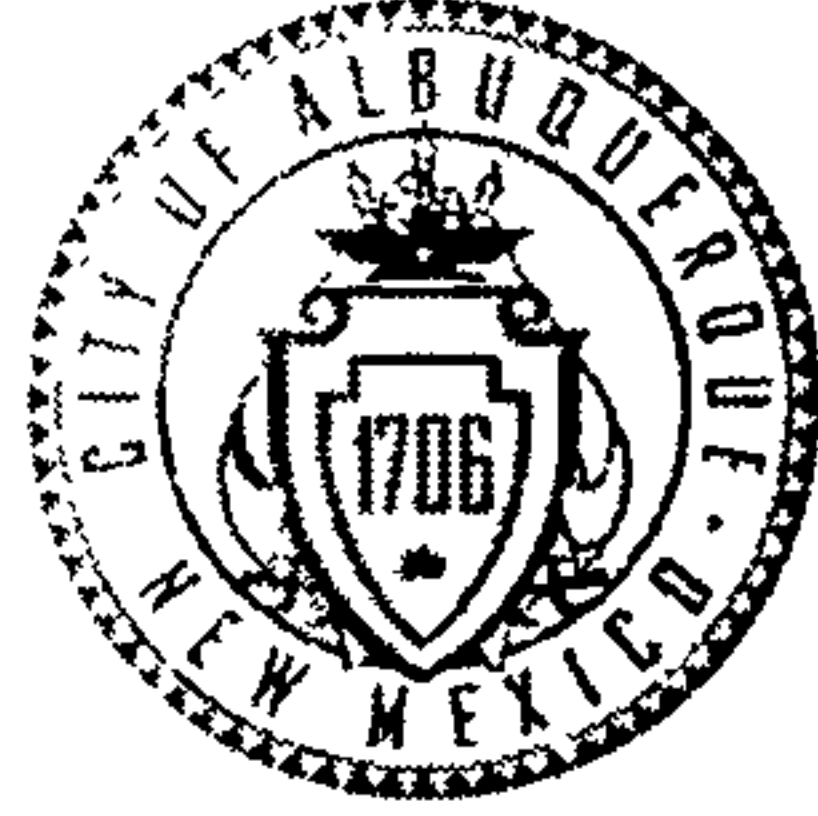
  
Jack Cloud, AICP, DRB Chair

Cc: Scott Anderson – 7604 Rio Penasco Ct NW – Albuquerque, NM 87120

Cc: HB Construction – 3400 Vista Alameda NE – Albuquerque, NM 87113

Marilyn Maldonado

File



**DEVELOPMENT REVIEW BOARD**  
**Action Sheet**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

November 4, 2009 9:00 AM  
MEMBERS:

**Jack Cloud, AICP, DRB Chairman, Planning Department**  
**Angela Gomez, Administrative Assistant**

**Kristal Metro, P.E. , Transportation Development**      **Roger Green, P.E., Albuquerque/ Bernalillo Co.WUA**  
**Brad Bingham, P.E., Hydrology/ Alternate City Engineer**      **Christina Sandoval, Parks/Municipal Development**

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

- 1. Project# 1006600**  
09DRB-70316 MAJOR - 2YEAR  
EXTENSION OF SUBDIVISION  
IMPROVEMENTS AGREEMENT  
(2YR SIA)  
  
BRASHER AND LORENZ, INC agent(s) for NEW LIFE HOMES, INC request(s) the referenced/ above action(s) for all or a portion of Lot(s) 111C, **TOWN OF ATRISCO GRANT Unit(s) 6**, zoned SU-1 PRD, located on the south side of DELIA AVE SW between 69TH ST SW and BATAAN DR SW containing approximately 2.43 acre(s). (K-10) **THE TWO YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS APPROVED.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

- 2. ~~Project# 1007948~~**  
09DRB-70337 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL  
  
RIO GRANDE ENGINEERING agent(s) for HB CONSTRUCTION OF ALBUQUERQUE request(s) the above action(s) for all or a portion of Lot(s) 30, Block(s) 4, Tract(s) B, **NORTH ALBUQUERQUE ACRES Unit(s) A**, zoned IP, located on BEVERLY HILLS NE BETWEEN I-25 AND SAN MATEO NE containing approximately 1 acre(s). (B-18) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO SOLAR NOTE AND AGIS DXF FILE.**





COMPLETED 11/18/09 stt  
**DRB CASE ACTION LOG** (Site Plan)  
 REVISED 10/08/07 Build P.

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 09DRB-70275 Project # 1007948  
 Project Name: North Alb. Acres  
 Agent: Scott Anderson Phone No.:

Your request was approved on \_\_\_\_\_ by the DRB with delegation of signature(s) to the following departments.

**OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED**

TRANSPORTATION: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

UTILITIES: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

CITY ENGINEER / AMAFCA: S/A  
 \_\_\_\_\_  
 \_\_\_\_\_

PARKS / CIP: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PLANNING (Last to sign): - comply with Planning & Zoning Comments  
- replat for A-O-U  
 \_\_\_\_\_  
 \_\_\_\_\_

- Planning must record this plat. Please submit the following items:**
- The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** \_\_\_\_\_
  - Tax printout from the County Assessor.
  - 3 copies of the approved site plan. Include all pages.**
  - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
  - Property Management's signature must be obtained prior to Planning Department's signature.**
  - AGIS DXF File approval required.**
  - Copy of recorded plat for Planning.**

Created On:

OK  
 JVC



# DRB CASE ACTION LOG

REVISED 10/08/07

(Site Plan)  
Build P.

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 09DRB-70275 Project # 1007948  
 Project Name: North Alb. Acres  
 Agent: Scott Anderson Phone No.: \_\_\_\_\_

Your request was approved on \_\_\_\_\_ by the DRB with delegation of signature(s) to the following departments.

### OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

UTILITIES: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

CITY ENGINEER / AMAFCA: S/A  
 \_\_\_\_\_  
 \_\_\_\_\_

PARKS / CIP: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PLANNING (Last to sign): - comply with Planning & Zoning Comments  
- replat for A-O-W  
 \_\_\_\_\_  
 \_\_\_\_\_

- Planning must record this plat. Please submit the following items:**
- The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** \_\_\_\_\_
  - Tax printout from the County Assessor.
    - 3 copies of the approved site plan. Include all pages.**
    - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
    - Property Management's signature must be obtained prior to Planning Department's signature.**
    - AGIS DXF File approval required.**
    - Copy of recorded plat for Planning.**

Created On:



**DEVELOPMENT REVIEW BOARD**  
**Action Sheet**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

September 23, 2009 9:00 AM  
MEMBERS:

**Jack Cloud, AICP, DRB Chairman, Planning Department**  
**Angela Gomez, Administrative Assistant**

**Kristal Metro, P.E. , Transportation Development**      **Roger Green, P.E., Albuquerque/ Bernalillo Co.WUA**  
**Brad Bingham, P.E., Hydrology/ Alternate City Engineer**      **Christina Sandoval, Parks/Municipal Development**

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**  
**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

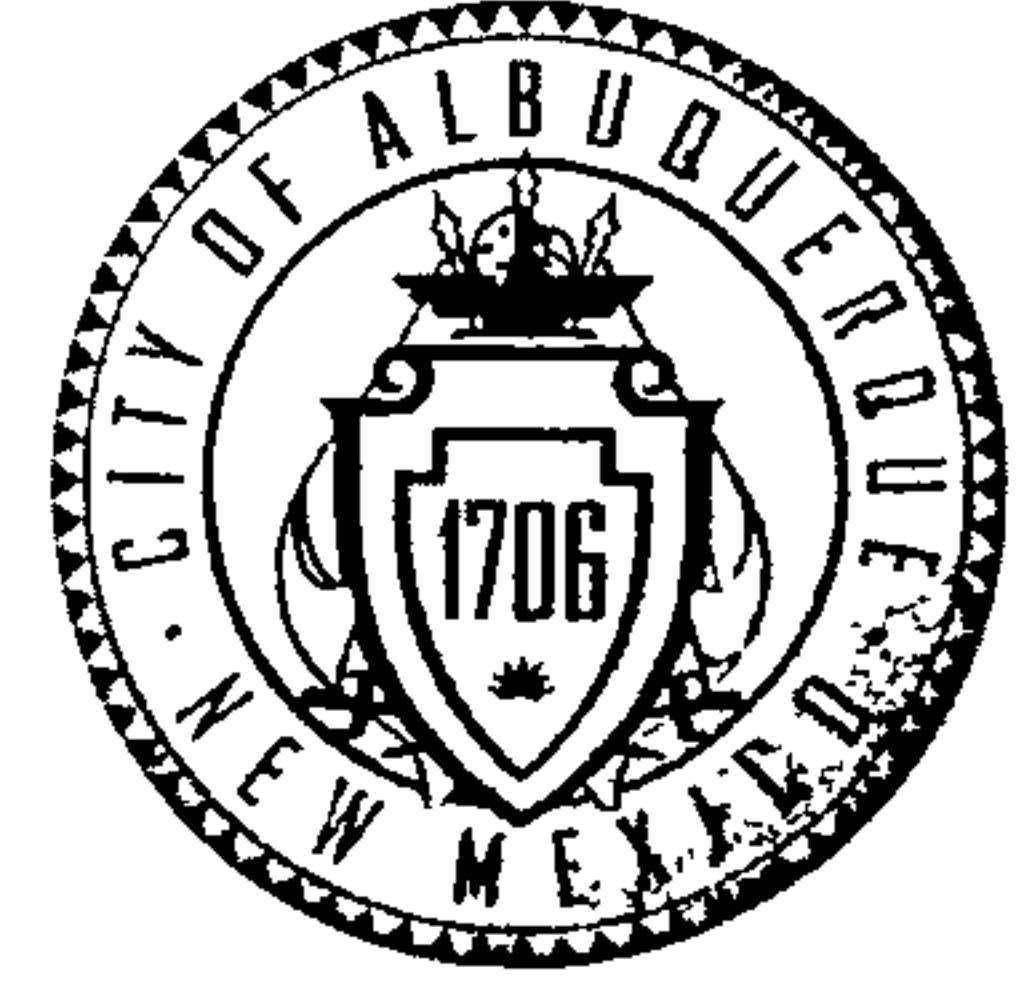
- 1. Project# 1007814**  
09DRB-70284 VACATION OF PUBLIC  
RIGHT-OF-WAY  
09DRB-70297 SKETCH PLAT REVIEW  
AND COMMENT

CARTESIAN SURVEYS INC agent(s) for JEREMIAH COLLINS request(s) the referenced/ above action for a portion of the eastern cul de sac of SAN VENITO PLACE NW adjacent to Lot 1, Block 2, **ANAYA'S DURANES ADDITION** zoned R-1, located on the south side of SAN VENITO PL NW between RICE AVE NW and SAN FRANCISCO RD NW east of RIO GRANDE BLVD NW, containing approximately 0.081 acre. (H-13) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A)(1) AND (B) (1), (2), (3) OF THE SUBDIVISION ORDINANCE. THE SKETCH PLAT WAS REVIEWED AND COMMENTS WERE GIVEN.**
- 2. ~~Project# 1007948~~**  
09DRB-70275 MAJOR – SITE  
DEVELOPMENT PLAN FOR  
BUILDING PERMIT

SCOTT ANDERSON agent(s) for HB CONSTRUCTION request(s) the referenced/ above action(s) for all or a portion of Lot(s) 30, Block 4, Tract A, Unt B, **NORTH ALBUQUERQUE ACRES** zoned IP, located on the north side of BEVERLY HILLSAVE NE between SAN MATEO BLVD NE and the PAN AMERICAN FREEWAY containing approximately 0.8864 acre(s). (B-18)[*Deferred from 9/9/09, 9/16/09*] **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 9/23/09, THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH DELEGATION TO CITY ENGINEER FOR SIA AND TO THE PLANNING DEPARTMENT TO COMPLY WITH PLANNING AND ZONING COMMENTS AND REPLAT OF RIGHT-OF-WAY.**



# CITY OF ALBUQUERQUE



## CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

### DEVELOPMENT REVIEW BOARD--SPEED MEMO

**DRB CASE NO/PROJECT NO: 1007948**

**AGENDA ITEM NO: 2**

**SUBJECT:**

Site Plan for BP

**ACTION REQUESTED:**

REV/CMT:() APP:() SIGN-OFF:(x) EXTN:() AMEND:()

PO Box 1293

**ENGINEERING COMMENTS:**

Albuquerque

An approved Subdivision Improvements Agreement with financial guarantees is required for Site Development Plan sign-off.

NM 87103

**RESOLUTION:**

www.cabq.gov

APPROVED X; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

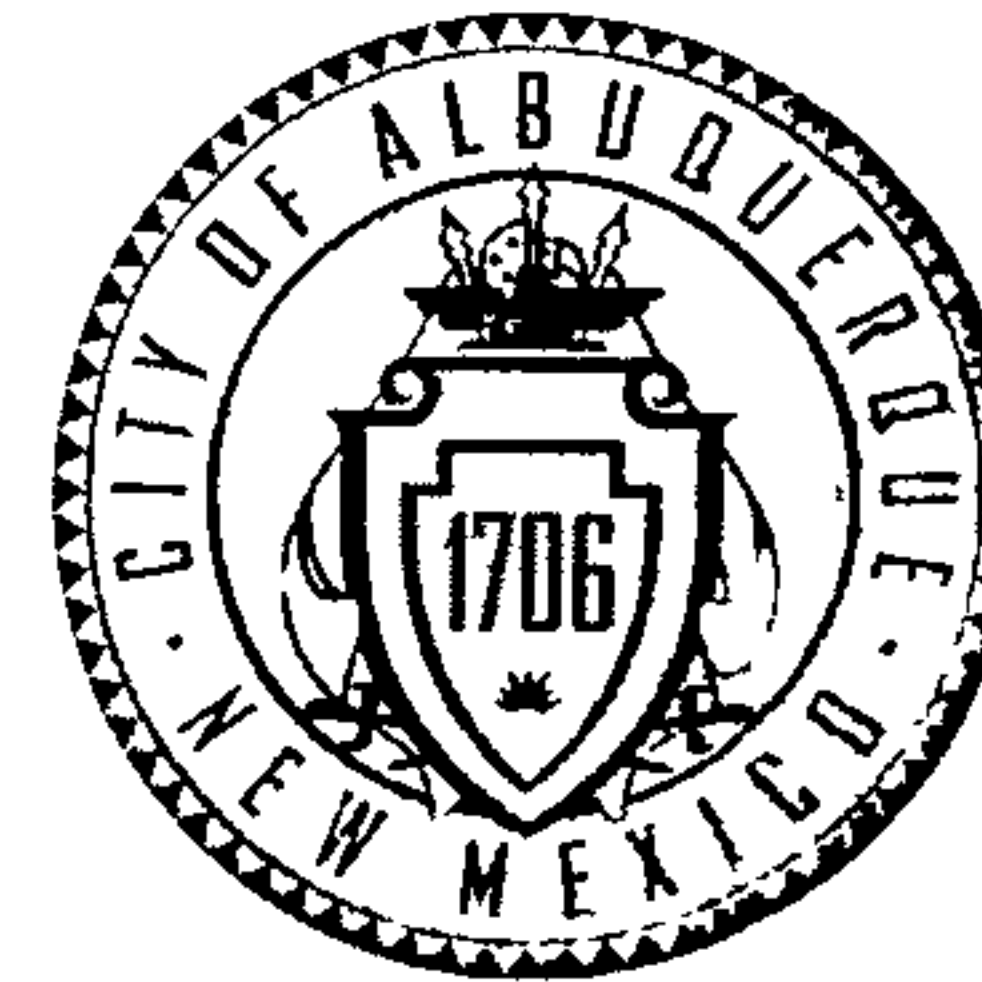
DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee  
924-3986

**DATE:** September 23, 2009

# CITY OF ALBUQUERQUE



## CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

### DEVELOPMENT REVIEW BOARD--SPEED MEMO

**DRB CASE NO/PROJECT NO: 1007948**

**AGENDA ITEM NO: 3**

**SUBJECT:**

Site Plan for BP

**ACTION REQUESTED:**

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

PO Box 1293

**ENGINEERING COMMENTS:**

Albuquerque

An approved Subdivision Improvements Agreement with financial guarantees is required for Site Development Plan sign-off by City Engineer.

NM 87103

**RESOLUTION:**

9-23-09

www.cabq.gov

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED X; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee  
924-3986

**DATE:** September 16, 2009

## ROUTING SHEET FOR DRB & EPC REVIEWS

Date: 9/1/09

The following case or applications are being sent to your command and/or office for review:

DRB: 1007948

EPC: \_\_\_\_\_

Please return originals to Lupe Gallegos @ 768-2175, APD/Planning Division, by: 9/2/09 (to expedite fax comments forms to 768-2324 on/before date).

\_\_\_\_\_ **VALLEY AREA COMMAND**  
Yvette Garcia

\_\_\_\_\_ **NORTHWEST AREA COMMAND (Cottonwood Sub)**  
Pete Gelabert

\_\_\_\_\_ **SOUTHEAST AREA COMMAND**  
Laura Kuehn

\_\_\_\_\_ **SOUTHWEST AREA COMMAND**  
Bill Jackson

\_\_\_\_\_ **CRIME PREVENTION**  
(FH and NE) Steve Sink

REVIEWED BY: Steve Sink PHONE: 924-3600

DATE: 9/4/09



## DRB/EPC/LUCC APPLICATION CHECKLIST

A review of DRB Case 1007948 indicates the following problems or crimes may occur or that the following concerns may need to be evaluated or addressed on this site or in this area. These comments do not indicate that a thorough CPTED evaluation has been done, or that other criminal activities may not occur.

- Traffic volume/Explain:
- Traffic control devices/Explain:
- Burglaries/Explain:
- Speeding violations/Explain:
- Lighting issues/Explain: ... should illuminate all parking areas, walkways, common areas & building entrances. ~~Lighting~~ Proposed lighting
- Maintenance of landscaping/Explain: appear to be in conflict with proposed tree placement.
- Robbery/Explain:
- Assault/Explain: Landscaping should not conflict with ~~pole or building mounted lights~~. Bushes
- Shoplifting/Explain: should be low-level variety and should not be placed to obscure
- Accidents in the parking lot/Explain: visibility to; from parking lot, walkways and entrances.
- A higher probability of crimes during evening/weekend hours/Explain:
- Commercial burglary/Explain:
- Rape/Explain:
- Adequate security/Explain:
- Alarm security/Explain:
- Alarm response i.e. false alarms, etc/Explain:
- Transients/Explain:
- Need for neighborhood association/Explain:
- Other: Video cameras should be installed to view parking lot, walkways, common areas and building entry/exit points



400 Tijeras NW  
Station 520  
Albuquerque, NM 87102

September 01, 2009

Ms. Angela Gomez-Administrative Assistant  
Plaza Del Sol  
600 Second St. NW  
Planning Dept.-Development Services  
Albuquerque, NM 87102

Subject: Case Number(s) Project #1007948, Appl #09DRB-70275

Dear Ms Gomez:

Concerning the subject case number(s), Qwest has no adverse comments at this time provided all utility easement rights are maintained. Qwest has facilities located at 9440 San Mateo Blvd which may require a PUE in front of the lot. Prior to any final plat approval, we will need a copy for review.

Sincerely,

A handwritten signature in cursive script that reads "Michele Ramirez".

Michele Ramirez  
Qwest Corporation

# DRB PUBLIC HEARING SIGN IN SHEETS

PROJECT #: 10079418 AGENDA# 2 DATE: 9/23/09

1. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
2. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
3. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
4. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
5. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
6. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
7. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
8. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
9. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
10. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
11. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
12. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
13. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
14. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
15. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
16. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
17. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_





CITY OF ALBUQUERQUE  
 PLANNING DEPARTMENT  
 DEVELOPMENT REVIEW BOARD

September 9, 2009

**Project# 1007948**

**09DRB-70275 MAJOR – SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

SCOTT ANDERSON agent(s) for HB CONSTRUCTION request(s) the referenced/ above action(s) for all or a portion of Lot(s) 30, Block 4, Tract A, Unt B, **NORTH ALBUQUERQUE ACRES** zoned IP, located on the north side of BEVERLY HILLSAVE NE between SAN MATEO BLVD NE and the PAN AMERICAN FREEWAY containing approximately .8864 acre(s). (B-18)

<p><b>AMAFCA</b> No comment.</p>
<p><b>COG</b> No comment.</p>
<p><b>TRANSIT</b>          Adjacent and nearby routes          Route #140, San Mateo route, is 300 feet west of the southwest property corner, on San Mateo.           Adjacent bus stops          Nearest bus stop is 1000 feet west of the southwest property corner.           Site plan requirements          None           Large site TDM suggestions          None.           Other information          None.</p>
<p><b>ZONING ENFORCEMENT</b>          14-16-3-1(H)(4) Where building facades abut parking area, pedestrian sidewalks, no less than 8' in width, shall be provided adjacent to and along the full length of the building.           14-16-3-1 (C)(1) 2 motorcycle spaces required.           14-16-3-1 (H)(2) Pedestrian walkways shall be provided from the street sidewalk to the principle building entrance on the lot.           14-16-3-10 (E)(3) Landscape buffer 6' in width required around side and rear traffic circulation area.           6-6-2-5(G)(G) A mixture of at least four species of street trees should be planted in all areas protect against the loss of all the trees due to disease, insects, or environmental conditions.</p>

9-23

✓

✓

**NEIGHBORHOOD COORDINATION**

**APS**

**North Albuquerque Acres Tract A Unit B**, Lot 30 Block 4, is located on the north side of Beverly Hills Ave NE between San Mateo Blvd NE and the Pan American Freeway. The owner of the above mentioned property requests approval of a Major Site Development Plan for Building Permit for a development that will consist of an office/warehouse facility. This will result in not adverse impacts to the APS district.

**POLICE DEPARTMENT**

See file for informational comment.

**FIRE DEPARTMENT**

No comment.

**PNM ELECTRIC & GAS**

No comment.

**COMCAST**

No comment.

**QWEST**

No comment.

**ENVIRONMENTAL HEALTH**

No comment.

**M.R.G.C.D**

No Adverse Comments.

**OPEN SPACE DIVISION**

Open Space has no adverse comments

**CITY ENGINEER**

**TRANSPORTATION DEVELOPMENT**

Infrastructure List comments:

Remove arterial from the roadway description for Beverly Hills Avenue.

Clarify that the proposed sidewalk and curb and gutter is for the North side only.

Site Plan for Building Permit Comments:

Build notes, referring to the specific City Standard, must be provided for all proposed items within the City right of way (curb and gutter, ramps, sidewalk, curb cuts, etc.).

Call out the width of the proposed drivepad.

The handicapped spaces must include an 8-foot wide van access aisle

Clearly demonstrate the 6-foot wide, ADA accessible, pedestrian pathway from the roadway to the building.

All proposed ramps located within the public right of way must have truncated domes.

Provide details for all wheelchair ramps; define the maximum slope.

Call out the width of all sidewalk.

Clarify the status of paving along Beverly Hills Avenue. A paved connection to the proposed site must exist or be built with this project.

**PARKS AND RECREATION**

**ABCWUA**

As built drawings show the water and sewer lines extending to the east property line, which implies no line extensions are required as shown.

Why is a new fire hydrant required when there is one directly across the street?

**PLANNING DEPARTMENT**

The submitted application is lacking elevations of the proposed building; this is a required part of site development plan approval, and needs to include all signage. Building footprint needs to be revised to meet 10 foot sideyard setback [§ 14-16-2-19 (E)(2) of Zoning Code].

Per the North I-25 Sector Development Plan Design Std VI. 3. a., Buffer Landscaping (min. 6 feet) is required along all of side and rear lot lines – additional landscaping needs to be shown for these areas. An additional tree is needed at northern end of westernmost landscaping strip to meet Design Std. Std VI. 3. c. 2). The Landscape Plan also needs to incorporate the COBBLE SWALE shown on Drainage Plan.

Parking calculations are to be rounded up, not down – PARKING REQUIRED is 34 spaces, not 33 [§ 14-16-3-1 (E)(5)]. Only 2 BIKE SPACES REQUIRED, not 4 [§ 14-16-3-1 (B)(3)]. Separate Motorcycle Parking (2 spaces visible from the entrance of the building, with signage) is also required [§ 14-16-3-1 (C)]. Finally, site plan drawing only shows 33 spaces.

Regarding the Infrastructure List, Beverly Hills Ave is not arterial – refer to comments from Transportation Development.

**IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING**



# DRB PUBLIC HEARING SIGN IN SHEETS

PROJECT #: 1007948 AGENDA# Z DATE: 9/9/09

1. Name: David Sule Address: PO Box 63705 Zip: 27193
2. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
3. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
4. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
5. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
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15. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
16. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
17. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
PROPERTY OWNERSHIP LIST**

**Meeting Date:** September 9, 2009  
**Zone Atlas Page:** B-18  
**Notification Radius:** 100 Ft.

**Project#** 1007948  
**App#** 09DRB-70275

Cross Reference and Location: SAN MATEO & BEVERLY HILLS NE

**Applicant:** HB CONSTRUCTION  
3400 VISTA ALAMEDA NE  
ALBUQUERQUE, NM 87113

**Agent:** SCOTT ANDERSON  
7604 RIO PENASCO CT NW  
ALBUQUERQUE, NM 87120

**Special Instructions:**

**Notice must be mailed from the  
City's 15 day's prior to the meeting.**

**Date Mailed:** AUGUST 21, 2009  
**Signature:** ERIN TREMLIN

R e c	UPC CODE	OWNER	OWNER ADDRESS	OWN ER CITY	O W N E R S T A T E	O W N E R Z I P C O D E	P R O P E R T Y C L A S S	T A X D I S T R I C T	LEGAL	AC RE S
1	101806 504222 230903	STORAGE SY STEMS LLC	PO BOX 310	CANU TILLO	TX	798 35	V	A1 A	* 030 004TR A UNIT B NORTH ALBUQ ACR	0.90 886 119
2	101806 501419 631301	FIDELITY TR UST COMPA NY	PO BOX 729	BERN ALILL O	N M	870 04	C	A1 A	LT 1-A BLK 5 PLAT OF LOTS 1-A, 2-A & 3- A BLOCK 5 TRACT A UNIT B NORTH ALBUQUE RQUE ACRES CONT .8611 AC	0.85 928 508
3	101806 502425 030926	CORONADO LAND LLC	8500 WASHI NGTON NE S UITE A-6	ALBU QUER QUE	N M	871 13	V	A1 A	LT 3-A BLK 4 PLAT OF LOT 3- A (BEING A REPLAT OF LOTS 1, 2 & 3 BLK 4 TR A UNIT B) NORTH ALBUQUERQUE ACRES CONT 2.4997 AC	2.49 962 497
4	101806 501122 330901	STORAGE SY STEMS LLC	PO BOX 310	CANU TILLO	TX	798 35	V	A1 A	* 032 004TR A UNIT B NORTH ALBUQ ACRES	0.75 956 906
5	101806 502522 430902	STORAGE SY STEMS LLC	PO BOX 310	CANU TILLO	TX	798 35	V	A1 A	* 031 004TR A UNIT B NORTH ALBUQ ACR	0.86 126 473
6	101806 507424 930922	CORONADO LAND LLC	8500 WASHI NGTON NE S UITE A-6	ALBU QUER QUE	N M	871 13	V	A1 A	* 005 004TR A UNIT B NORTH ALBUQ ACR	0.88 663 017
7	101806 507522 330905	CORONADO LAND LLC	8500 WASHI NGTON NE S UITE A-6	ALBU QUER QUE	N M	871 13	V	A1 A	* 028 004TR A UNIT B NORTH ALBUQ ACR	0.88 768 059
8	101806 505924 930923	CORONADO LAND LLC	8500 WASHI NGTON NE S UITE A-6	ALBU QUER QUE	N M	871 13	V	A1 A	* 004 004TR A UNIT B NORTH ALBUQ ACR	0.83 802 557
9	101806 505819 430722	BEVERLY HIL LS INVESTM ENTS LLC	8300 CARME L RD SUITE 4	ALBU QUER QUE	N M	871 22	V	A1 A	* 004 005TR A UNIT B NORTH ALBUQ ACR	0.90 245 751
1 0	101806 504519 531303	FIDELITY TR UST COMPA NY	9420 SAN MA TEO BLVD N E SUITE B	ALBU QUER QUE	N M	871 13	C	A1 A	LT 3A BLK 5 PLAT OF LOTS 1-A, 2-A & 3- A BLK 5 TR A UNITB NORTH ALBUQUERQUE ACRES (AKA SAN MATEO @ BEVERLY HILLSC ONDOMINIUM) CONT .7271 AC	0.72 708 103
1 1	101806 503019 631302	FIDELITY TR UST COMPA NY	PO BOX 729	BERN ALILL O	N M	870 04	C	A1 A	LT 2-A BLK 5 PLAT OF LOTS 1-A, 2-A & 3- A BLOCK 5 TRACT A UNIT B NORTH ALBUQUE RQUE ACRES CONT .8405 AC	0.84 096 789
1 2	101806 505822 230904	CORONADO LAND LLC	8500 WASHI NGTON NE S UITE A-6	ALBU QUER QUE	N M	871 13	V	A1 A	* 029 004TR A UNIT B NORTH ALBUQ ACR	0.83 494 55



OR CURRENT RESIDENT  
101806505819430722  
BEVERLY HILLS INVESTMENTS LLC  
8300 CARMEL RD SUITE 4  
ALBUQUERQUE, NM 87122

OR CURRENT RESIDENT  
101806504222230903  
STORAGE SYSTEMS LLC  
PO BOX 310  
CANUTILLO, TX 79835

Project# 1007948  
LARRY T CAUDILL  
Wildflower Area NA  
4915 WATERCRESS NE  
ALBUQUEQUE, NM 87113

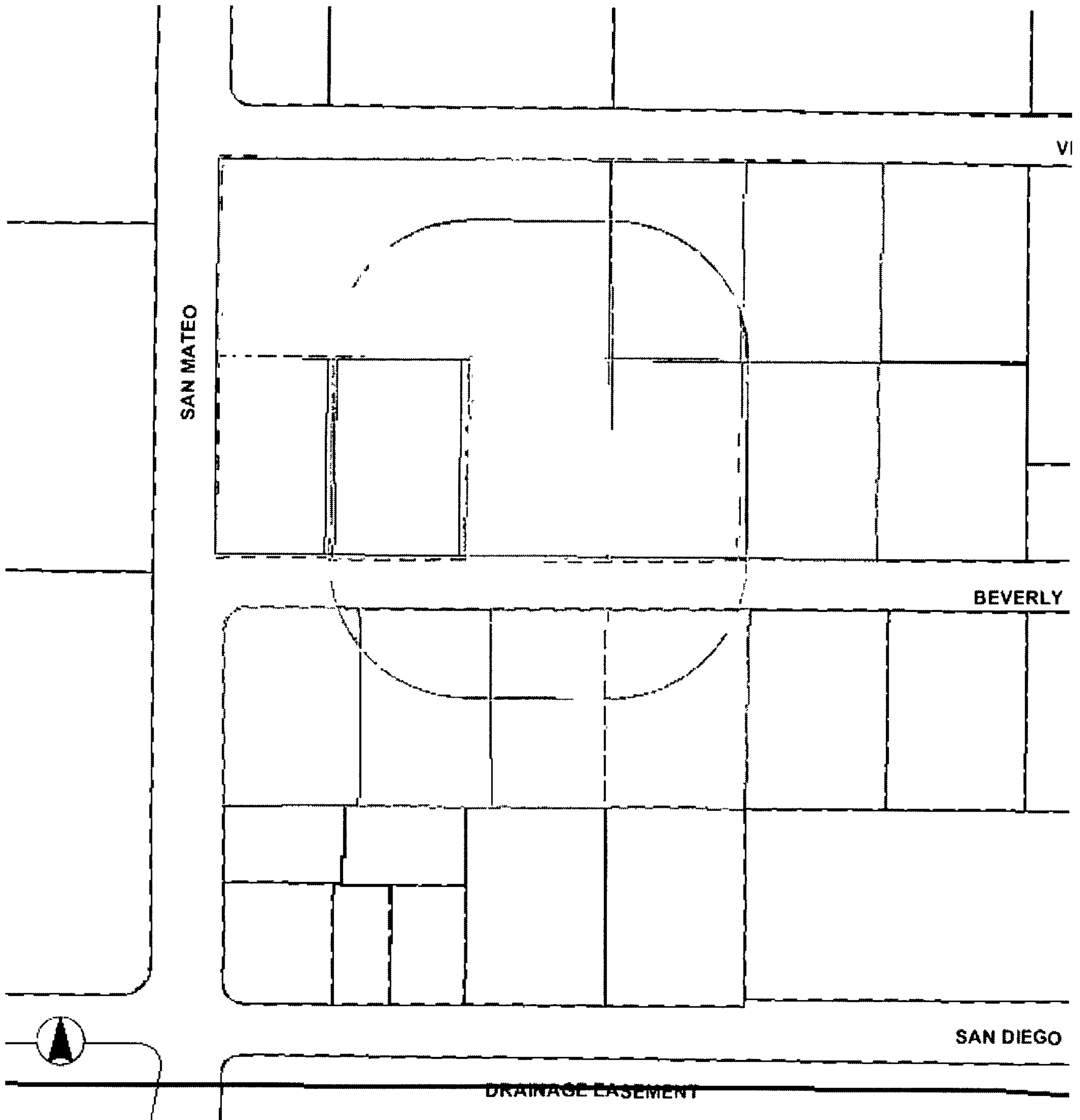
OR CURRENT RESIDENT  
101806502425030926  
CORONADO LAND LLC  
8500 WASHINGTON NE SUITE A-6  
ALBUQUERQUE, NM 87113

Project# 1007948  
SCOTT ANDERSON  
7604 RIO PENASCO CT NW  
ALBUQUERQUE, NM 87120

Project# 1007948  
RICK TREADWELL  
Wildflower Area NA  
4915 WATERCRESS NE  
ALBUQUERQUE, NM 87113

OR CURRENT RESIDENT  
101806501419631301  
FIDELITY TRUST COMPANY  
PO BOX 729  
BERNALILLO, NM 87004

Project# 1007948  
HB CONSTRUCTION  
3400 VISTA ALAMEDA NE  
ALBUQUERQUE, NM 87113





Supplemental form

**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
  - Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102 Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements

**APPLICATION INFORMATION:**

Professional/Agent (if any) Scott Anderson PHONE: 505 401-7575  
 ADDRESS 7604 Rio Penasco Ct NW FAX 505 897-3242  
 CITY: Albuquerque STATE NM ZIP 87120 E-MAIL andersonscottc@comcast.net

APPLICANT: HB Construction PHONE 505 856-0404  
 ADDRESS 3400 Vista Alameda NE FAX 505 856-0480  
 CITY Albuquerque STATE NM ZIP 87113 E-MAIL: jasonh@hbconstruction.com  
 Proprietary interest in site \_\_\_\_\_ List all owners \_\_\_\_\_

DESCRIPTION OF REQUEST: Site plan approval for building permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes  No

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No 30 Block 4 Unit \_\_\_\_\_  
 Subdiv/Addn/TBKA tract A of unit B North Albuquerque Acres  
 Existing Zoning IP Proposed zoning IP MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): B18 UPC Code \_\_\_\_\_

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_, V\_, S\_, etc) \_\_\_\_\_  
1001648

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? No  
 No. of existing lots 1 No. of proposed lots 1 Total area of site (acres) 0.8864  
 LOCATION OF PROPERTY BY STREETS On or Near San Mateo & Beverly Hills NE  
 Between San Mateo and \_\_\_\_\_  
 Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team  Date of review: 8/8/09

SIGNATURE Scott Anderson DATE 8/11/09  
 (Print) Scott C. Anderson Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #'s are assigned
- AGIS copy has been sent
- Case history #'s are listed
- Site is within 1000ft of a landfill
- F H D P density bonus
- F H D P fee rebate

Application case numbers 09DRB 70275 Action SBP P(2) SF P(2) Fees \$ 385.00  
CMF AD4 \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_ \$ 20.00  
\_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_ \$ 75.00  
\_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_ \$ \_\_\_\_\_  
\_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_ \$ \_\_\_\_\_  
 Hearing date 09/09/09 Total \$ 480.00

Sandy Handley OB Project # 1007948  
 Planner signature / date



**FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Subdivision Checklist
  - 6 copies of the Infrastructure List, if relevant to the site plan
  - TIS/AQIA Traffic Impact Study form with required signature
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- DRB hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.  
**Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
  - Solid Waste Management Department signature on Site Plan
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent **IP ZONE**
  - Copy of the document delegating approval authority to the DRB
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Building Permit Checklist
  - 6 copies of the Infrastructure List, if relevant to the site plan
  - TIS/AQIA Traffic Impact Study form with required signature
  - Copy of Site Plan with Fire Marshal's stamp
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.  
**Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - 6 copies of the Infrastructure List, if relevant to the site plan
  - TIS/AQIA Traffic Impact Study form with required signature
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.  
**Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

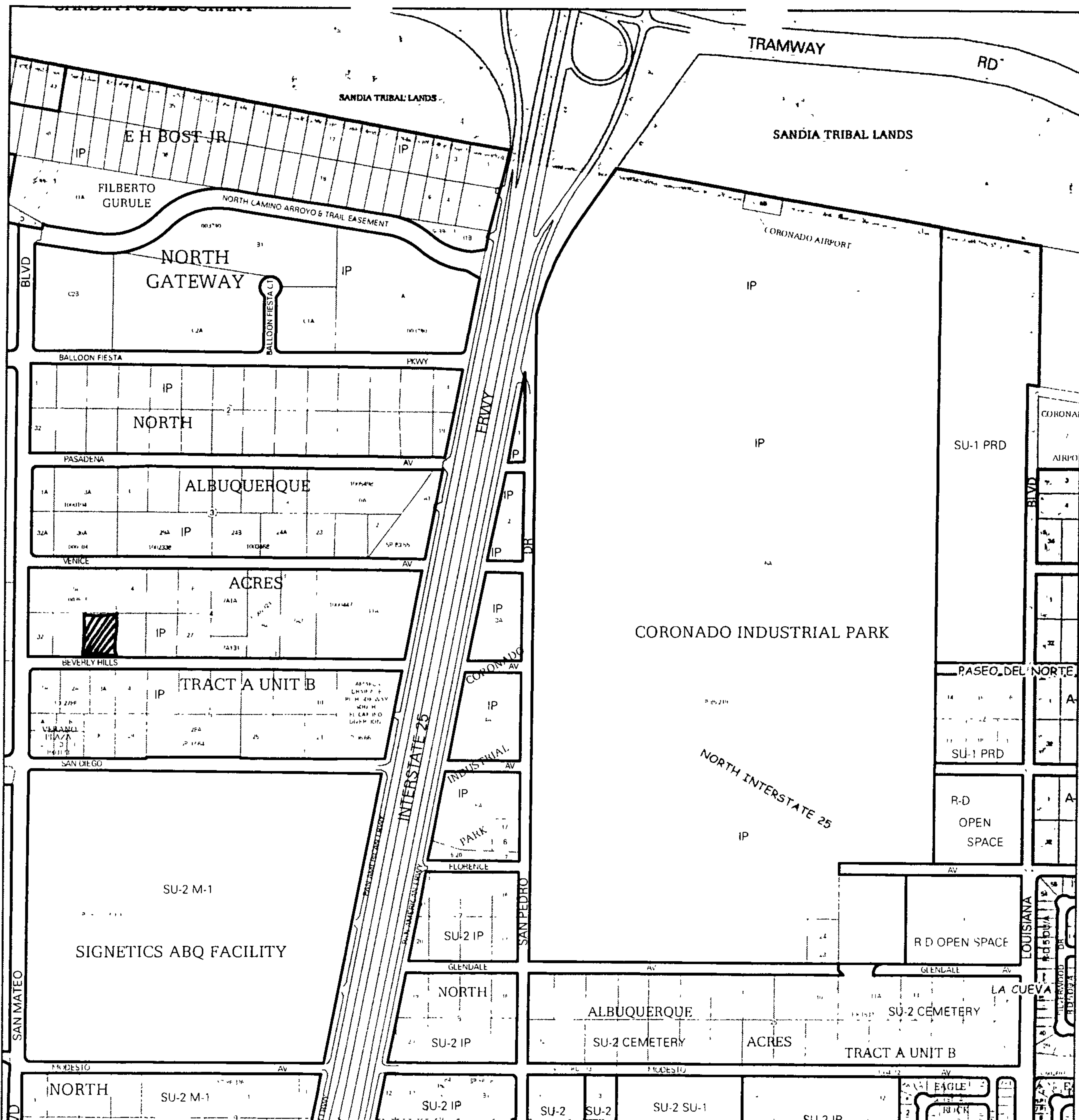
Scott Anderson  
 Applicant name (print)  
*Scott Anderson*  
 Applicant signature / date



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
09DRB - 70275  
 \_\_\_\_\_  
 \_\_\_\_\_

Form revised October 2007  
Sandy Handley 08/14/09  
 Planner signature / date  
 Project # 1007948



For more current information and more details visit: <http://www.cabq.gov/gis>

**5301 Beverly Hills**

Map amended through 3/10/2009

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page  
**B-18-Z**

Selected Symbols

SECTOR PLANS		Escarpment
Design Overlay Zones		2 Mile Airport Zone
City Historic Zones		Airport Noise Contours
H-1 Buffer Zone		Wall Overlay Zone
Petroglyph Mon		

August 5, 2009

Re: Request for Approval of Site Plan for Development on IP zoned lot

HB Construction is proposing to build a new office/ warehouse facility at 5301 Beverly Hills Av. NE, Albuquerque, NM 87113. The proposed building will be located on a site that is currently vacant and located near the Northeast corner of San Mateo NE and Beverly Hills NE. The legal description for the property is Lot 30, Block 4, Tract A of Unit B, North Albuquerque Acres (UPC – 101806504222230903). The lot is currently zoned IP and the proposed use is compatible with the current zoning.

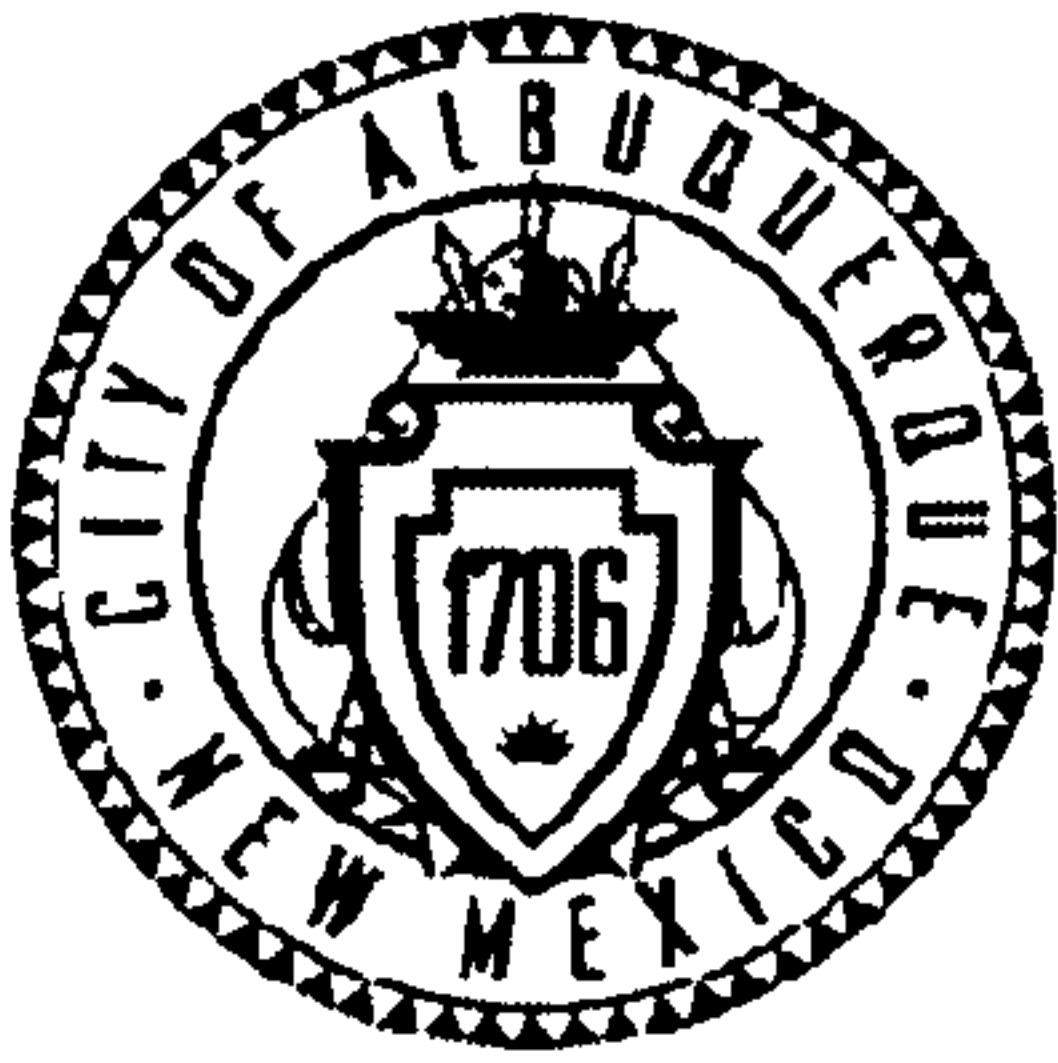
HB Construction is proposing a 10,816 square foot building comprised of 7,020 square feet of offices and 3,796 square feet of storage (warehouse). The new building will be wood frame and stucco construction with stone tile accents. The maximum height of the building is 21'-6" above finished floor. The parapet walls screen the mechanical units that are placed on the roof. The building is designed with varying parapet heights and step backs in the façade for aesthetic purposes. Site walls and gates are used to reduce the visual impact of the overhead door at the warehouse, and provide security for the building.

The site is designed with landscape buffers on the front to enhance the visual appeal for the visitor parking. The staff parking is along the west side of the site.

Should you have any questions or concerns regarding this project please feel free to contact Scott Anderson AIA @ 505 401-7575.

Respectfully,





# DEVELOPER INQUIRY SHEET

(To be completed prior to application submittal)

The Office of Neighborhood Coordination (ONC) located in Room 120 (basement) of the Plaza Del Sol Building, 600 Second Street NW, Fax: (505) 924-3913 – will need the following information **BEFORE** neighborhood and/or homeowner association information will be released to the applicant/agent on any project being presented to the Planning Department of the City of Albuquerque. If you have any questions, please feel free to contact our office at (505) 924-3914. **Your Developer Inquiry is for the following:**

Cell Tower & Type: [ ] Free-Standing Tower -OR- [ ] Concealed Tower

Private Development [ ] EPC [  ] DRB [ ] LUCC [ ] Liquor Submittal

[ ] Administrative Amendments (AA's)

City Project [ ]

Special Exception Application (ZHE) [ ]

CONTACT NAME: Scott Anderson

COMPANY NAME: Scott Anderson Architects

ADDRESS/ZIP: 7604 Rio Pecos NW

PHONE: 505 401-7575 FAX: 505 897-3242

## LEGAL DESCRIPTION INFORMATION

PLEASE FORWARD INFORMATION ON ANY NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATION IN THE AREA OF THE PROPERTY DESCRIBED BELOW:

Lot 30 Block 4 Tract A of Unit B, North Albuquerque

ACRES

LEGAL DESCRIPTION

LOCATED ON

5301 Beverly Hills Ne

STREET NAME OR OTHER IDENTIFYING LANDMARK

BETWEEN NE corner of San Mateo & Beverly Hills NE AND

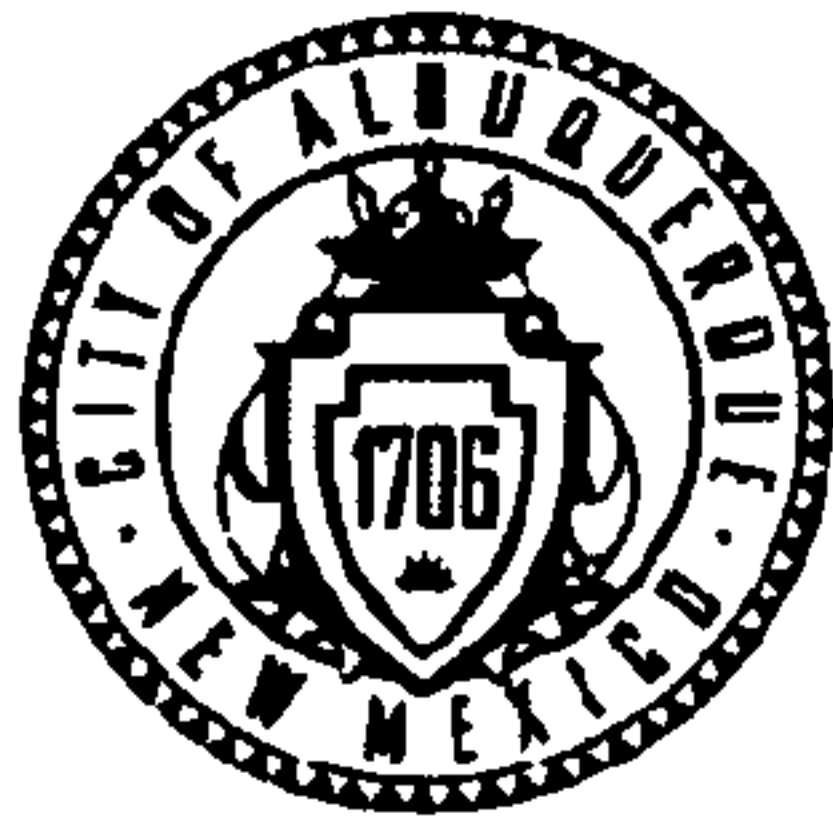
STREET NAME OR OTHER IDENTIFYING LANDMARK

STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS INDICATED ON THE FOLLOWING ZONE ATLAS PAGE (B18).

(PLEASE MARK/HATCH ZONE MAP WHERE PROPERTY IS LOCATED)

(Zone Map **MUST** be provided with request)



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: August 4, 2009

TO CONTACT NAME: Scott Anderson
COMPANY/AGENCY: Scott Anderson Architects
ADDRESS/ZIP: 7604 Rio Penasco NW
PHONE/FAX #: 401-7575 / 897-3242

Thank you for your inquiry of 8-4-09 (date) requesting the names of ALL Affected

Neighborhood and/or Homeowner Associations who would be affected under the provisions of O-92 by your proposed project at Lot 30, Blk 4, Tract A of Unit B, North Albuquerque Acres located on 5301 Beverly zone map page(s) B-18 Hills NE.

Our records indicate that the Affected Neighborhood and/or Homeowner Associations affected by this proposal and the contact names are as follows:

Wildflower Area
Neighborhood or Homeowner Association
Contacts: Larry J. Caudill
4915 Watercross NE
857-0596 (h) 87113
Rick Dreadwell
5004 Watercross NE
821-6369 (h) 87113

Neighborhood or Homeowner Association
Contacts:

See reverse side for additional Neighborhood and/or Homeowner Associations

Information:

YES { } NO [X]

Please note that according to O-92 you are required to notify each of these contact persons by CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE the Planning Department will accept your application filing. IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS. If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Dalaina Harmona
OFFICE OF NEIGHBORHOOD COORDINATION

ATTENTION: Both contacts for each Neighborhood and/or Homeowner Associations need to be notified.



**NOTICE TO APPLICANTS - SUGGESTED INFORMATION FOR  
NEIGHBORHOOD NOTIFICATION LETTERS**

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify **ALL AFFECTED NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATIONS PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT.** Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

**WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:**

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
  - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
  - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendments describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
  - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
5. The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood and/or homeowner associations may contact someone with questions or comments.

**INFORMATION FROM THE OFFICE OF NEIGHBORHOOD COORDINATION**

The following information should always be in **each** application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood and/or Homeowner Associations (if there are associations). A copy must be submitted with application packet.
- Copies of the certified receipts to Neighborhood and/or Homeowner Associations (if there are associations). A copy must be submitted with application packet.

**Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.**

\*\*\*\*\*

(Below this line for ONC use only)

Date of Inquiry: 8-4-09 Time Entered: 11:30 am ONC Rep. Initials: DC



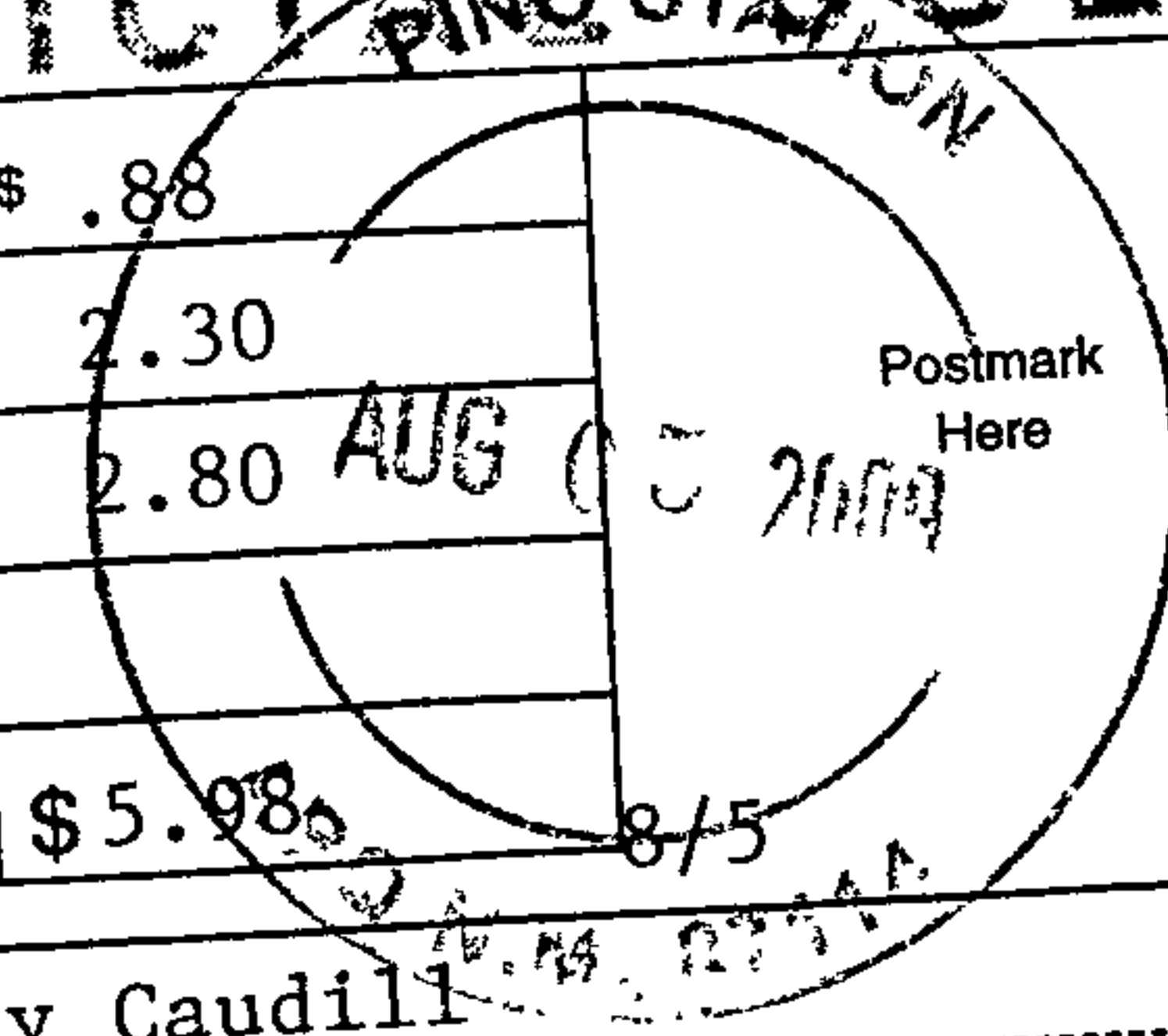
**U.S. Postal Service™**  
**CERTIFIED MAIL™ RECEIPT**  
*(Domestic Mail Only; No Insurance Coverage Provided)*

For delivery information visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

7006 2760 0002 6213 0547

Postage	\$ .88
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	2.80
Restricted Delivery Fee (Endorsement Required)	
<b>Total Postage &amp; Fees</b>	<b>\$5.98</b>



Sent To: **Mr. Larry Caudill**  
 Street, Apt. No., or PO Box No. **4915 Watercress NE**  
 City, State, ZIP+4 **Albuquerque, NM 87113**

PS Form 3800, August 2006 See Reverse for Instructions

**SENDER: COMPLETE THIS SECTION**

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:  
 Mr. Rick Treadwell  
 5004 Watercress NE  
 Albuquerque, NM 87113

**COMPLETE THIS SECTION ON DELIVERY**

A. Signature  Agent  
 Addressee

B. Received by (Printed Name) **LES TREADWELL** C. Date of Delivery **8-7-06**

D. Is delivery address different from item 1?  Yes  
 If YES, enter delivery address below:  No

3. Service Type  
 Certified Mail  Express Mail  
 Registered  Return Receipt for Merchandise  
 Insured Mail  C.O.D.

4. Restricted Delivery? (Extra Fee)  Yes

2. Article Number (Transfer from service label) **7006 2760 0002 6213 0554**

PS Form 3811, February 2004 Domestic Return Receipt 102595-02-M-1540

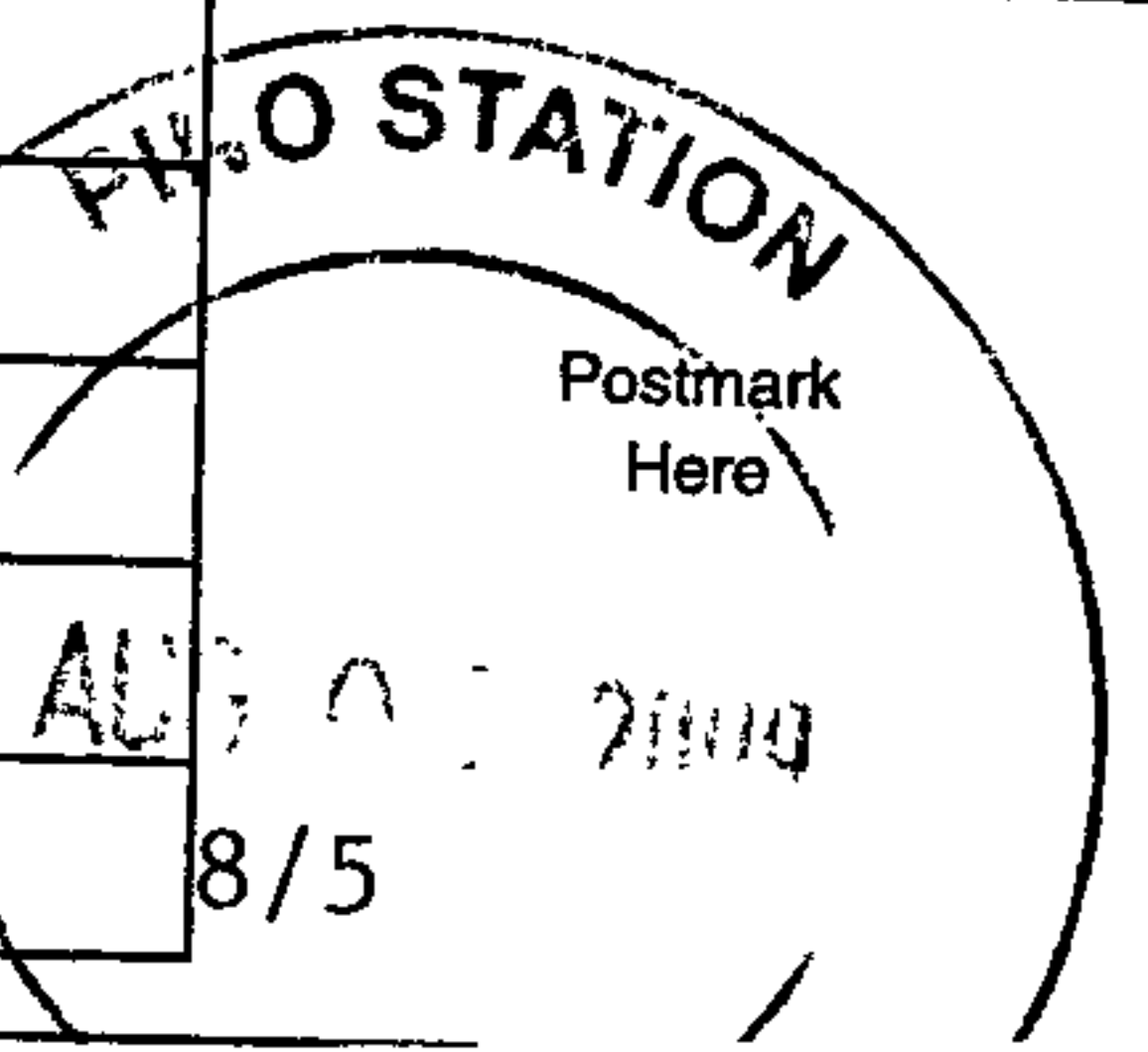
**U.S. Postal Service™**  
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Restricted Delivery Fee (Endorsement Required)	
<b>Total Postage &amp; Fees</b>	<b>\$ 5.98</b>



Sent To

# CITY OF ALBUQUERQUE

## TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT: HB Construction DATE OF REQUEST: 8/11/09 ZONE ATLAS PAGE(S): B18

CURRENT:

LEGAL DESCRIPTION:

ZONING IP

LOT OR TRACT # 30 BLOCK # 4

PARCEL SIZE (AC/SQ. FT.) .8864 ac

SUBDIVISION NAME North Albuquerque Acres

REQUESTED CITY ACTION(S):

ANNEXATION [ ]

SECTOR PLAN [ ]

SITE DEVELOPMENT PLAN:

COMP. PLAN [ ]

ZONE CHANGE [ ]

A) SUBDIVISION [ ]

BUILDING PERMIT

AMENDMENT [ ]

CONDITIONAL USE [ ]

B) BUILD'G PURPOSES [ ]

ACCESS PERMIT [ ]

C) AMENDMENT [ ]

OTHER [ ]

PROPOSED DEVELOPMENT:

GENERAL DESCRIPTION OF ACTION: <sup>1</sup>

NO CONSTRUCTION/DEVELOPMENT [ ]

# OF UNITS: 1

NEW CONSTRUCTION

BUILDING SIZE: 10,777 (sq. ft.)

EXPANSION OF EXISTING DEVELOPMENT [ ]

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE 

DATE 8/11/09

(TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH)

Planning Department, Development & Building Services Division, Transportation Development Section -  
2<sup>ND</sup> Floor West, 600 2<sup>ND</sup> St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [ ] NO  BORDERLINE [ ]

THRESHOLDS MET? YES [ ] NO

MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: [ ]

Notes:

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

  
TRAFFIC ENGINEER

8-11-09  
DATE

Air Quality Impact Analysis (AQIA) May Be Required:

Section 14-16-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. An AQIA is not required, if a TIS is not required by the City or an associated TIS shows all signalized intersections functioning at Level of Service (LOS) C or better. An AQIA will only be required for a Sector Development Plan or Sector Development Plan Amendment if it meets AQIA thresholds in the Zoning Code.

AIR QUALITY IMPACT ANALYSIS (AQIA) REQUIRED: YES [ ] NO

Contact an Air Quality Planner at 768-2660 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. **Any subsequent changes to the development proposal identified above may require an update or new AQIA.**

  
APPLICANT

8/11/09  
DATE

Required TIS and/or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS  
-SUBMITTED   /  /    
-FINALIZED   /  /  

TRAFFIC ENGINEER

DATE

August 5, 2009

Re: Request for Approval of Site Plan for Development on IP zoned lot

HB Construction is proposing to build a new office/ warehouse facility at 5301 Beverly Hills Av. NE, Albuquerque, NM 87113. The proposed building will be located on a site that is currently vacant and located near the Northeast corner of San Mateo NE and Beverly Hills NE. The legal description for the property is Lot 30, Block 4, Tract A of Unit B, North Albuquerque Acres (UPC – 101806504222230903). The lot is currently zoned IP and the proposed use is compatible with the current zoning.

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The site is designed with landscape buffers on the front to enhance the visual appeal for the visitor parking. The staff parking is along the west side of the site.

Should you have any questions or concerns regarding this project please feel free to contact Scott Anderson AIA @ 505 401-7575.

Respectfully,



# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

**I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.**

 8/11/09  
Applicant or Agent Signature / Date

**NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".**

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**
6. **Previously approved Development Plan** (if applicable)

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

**Accompanying Material**

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

## SHEET #1 - SITE PLAN

### A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less      1" = 10'  
   1.0 - 5.0 acres      1" = 20'  
   Over 5 acres      1" = 50'  
   Over 20 acres      1" = 100'      *[Other scales as approved by staff]*
- 3. Bar scale
- 4. North arrow
- 5. Scaled vicinity map
- 6. Property lines (clearly identify)
- 7. Existing and proposed easements (identify each)
- 8. Phases of development including location and square footages of structures, circulation, parking and landscaping



# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

## B. Proposed Development (If supplemental Sheets are used please indicate sheet #)

### 1. Structural

- A. Location of existing & proposed structures (distinguish between existing & proposed, include phasing)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Site amenities including patios, benches, tables, (indicating square footage of patios/ plazas).

### 2. Parking and Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
  - 1. **Location and typical dimensions**, including handicapped spaces
  - 2. **Calculations:** spaces required: 33 provided: 36  
Handicapped spaces (included in required total) required: 2 provided: 2  
Motorcycle spaces (in addition to required total) required: 2 provided: 2
- B. Bicycle parking & facilities
  - 1. Bicycle racks, spaces required: 1 provided: 1
  - 2. Bikeways and other bicycle facilities, if applicable
- C. Public Transit
  - 1. Bus facilities, including routes, bays and shelters existing or required
- D. Pedestrian Circulation
  - 1. Location and dimensions of all sidewalks and pedestrian paths
  - 2. Location and dimension of drive aisle crossings, including paving treatment
- E. Vehicular Circulation (Refer to Chapter 23 of DPM)
  - 1. Ingress and egress locations, including width and curve radii dimensions
  - 2. Drive aisle locations, including width and curve radii dimensions
  - 3. End aisle locations, including width and curve radii dimensions
  - 4. Location & orientation of refuse enclosure, with dimensions
  - 5. Curb cut locations and dimensions
  - 6. Existing and proposed street widths, right-of-way widths and curve radii
  - 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
  - 8. Location of traffic signs and signals related to the functioning of the proposal
  - 9. Identify existing and proposed medians and median cuts

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

## 3. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

## SHEET #2 LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
  - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
  - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
  - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
  - A. Existing, indicating whether it is to be preserved or removed.
  - B. Proposed, to be established for general landscaping.
  - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Backflow prevention detail
- 10. Planting Beds, indicating square footage of each bed
- 11. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 12. Responsibility for Maintenance (statement)
- 13. Statement of compliance with Water Conservation...Ordinance, see article 6-1-1-1.
- 14. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 15. Landscaped area provided; square footage and percent (specify clearly on plan)
- 16. Planting or tree well detail
- 17. Street Tree Plan as defined in the Street Tree Ord.

## SHEET # 3 PRELIMINARY GRADING PLAN

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1 with written approval from the Planning Department Staff.

### A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

- 6. Building footprints
- 7. Location of Retaining walls'

## B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas
- 4. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

## SHEET #4 UTILITY PLAN

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

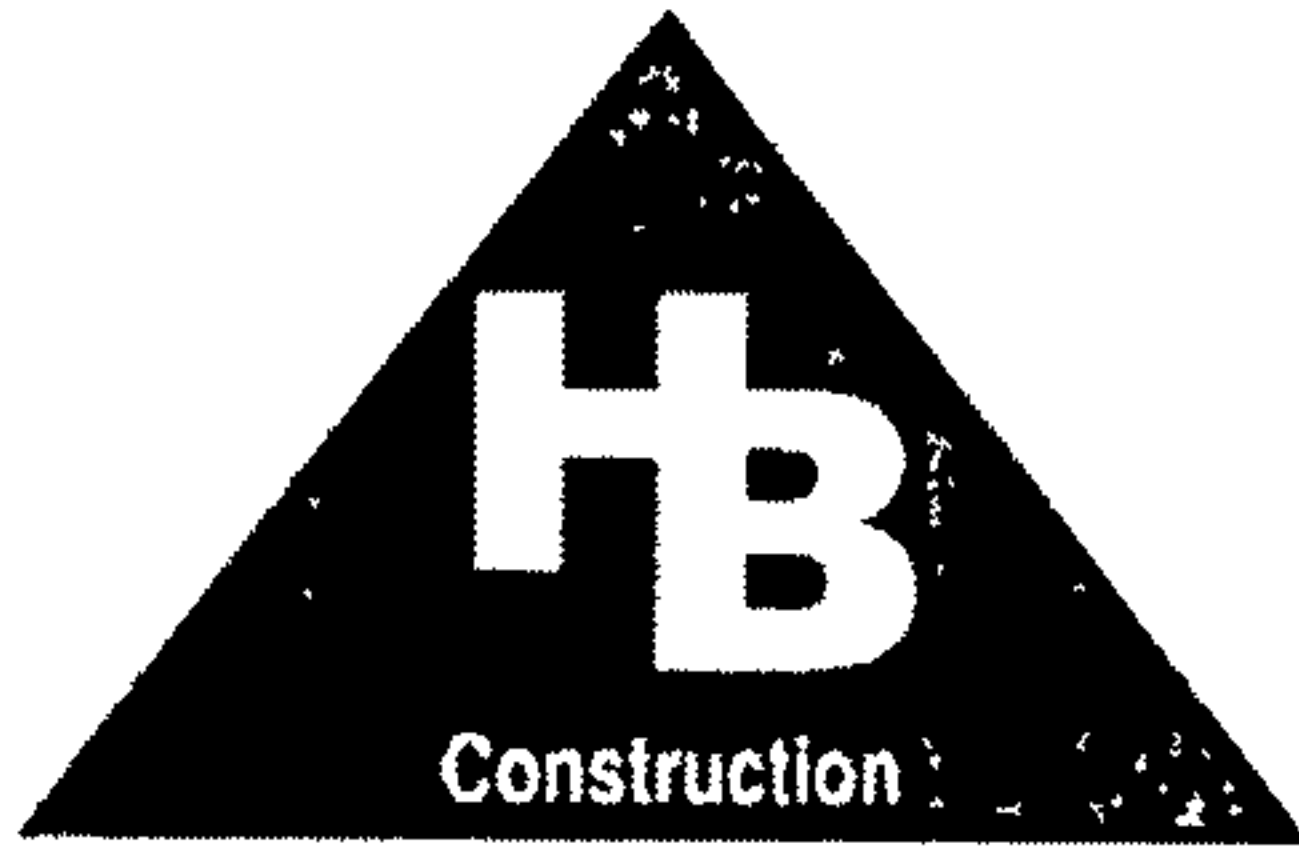
## SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

### A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
  - 1. Identify facade orientation (north, south, east, & west).
  - 2. Facade dimensions including overall height and width
  - 3. Location, dimensions, materials, and colors of principle façade elements- windows, doors, etc.
  - 4. For EPC and DRB submittals only – Color renderings or similar (12 copies) illustrations
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

### B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.



**HB Construction of Alb., Inc.**  
3400 Vista Alameda NE  
Albuquerque, NM 87113  
505-856-0404 Fax 505-856-0480

---

8/3/2009

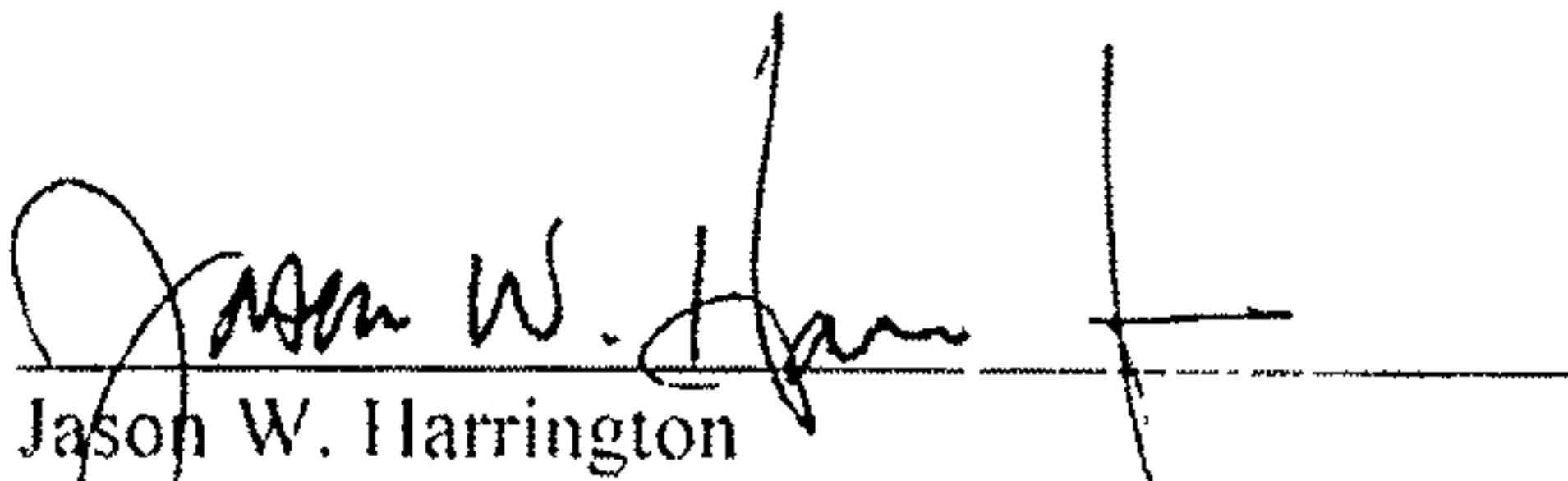
City of Albuquerque  
Planning Department  
600 2<sup>nd</sup> St. NW  
Albuquerque, NM 87103

Re: **Authorization**

Dear Madam or Sir,

HB Construction authorizes Scott Anderson to act as our agent for matters relating to the building permit of our office.

Respectfully,

  
\_\_\_\_\_  
Jason W. Harrington  
President



# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

#### 1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

#### 2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

#### 3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

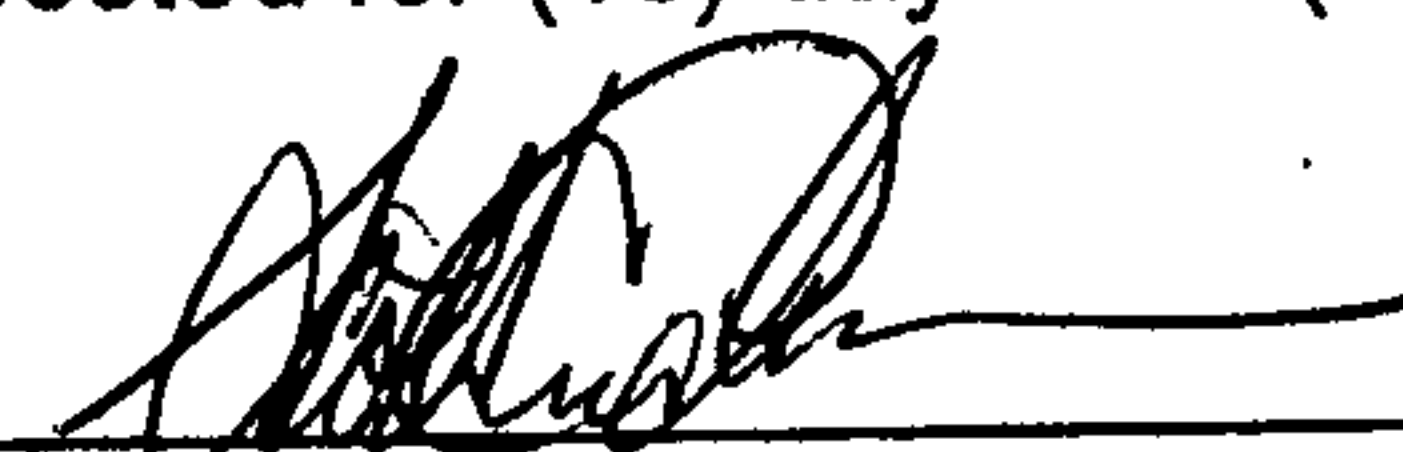
#### 4. TIME

Signs must be posted from AUG 25, 2009 to SEPT. 9, 2009

#### 5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

  
\_\_\_\_\_  
(Applicant or Agent)

8/14/09  
\_\_\_\_\_  
(Date)

I issued 1 signs for this application, 08/14/09 Sandy Hundley  
(Date) (Staff Member)

DRB PROJECT NUMBER: 1007948

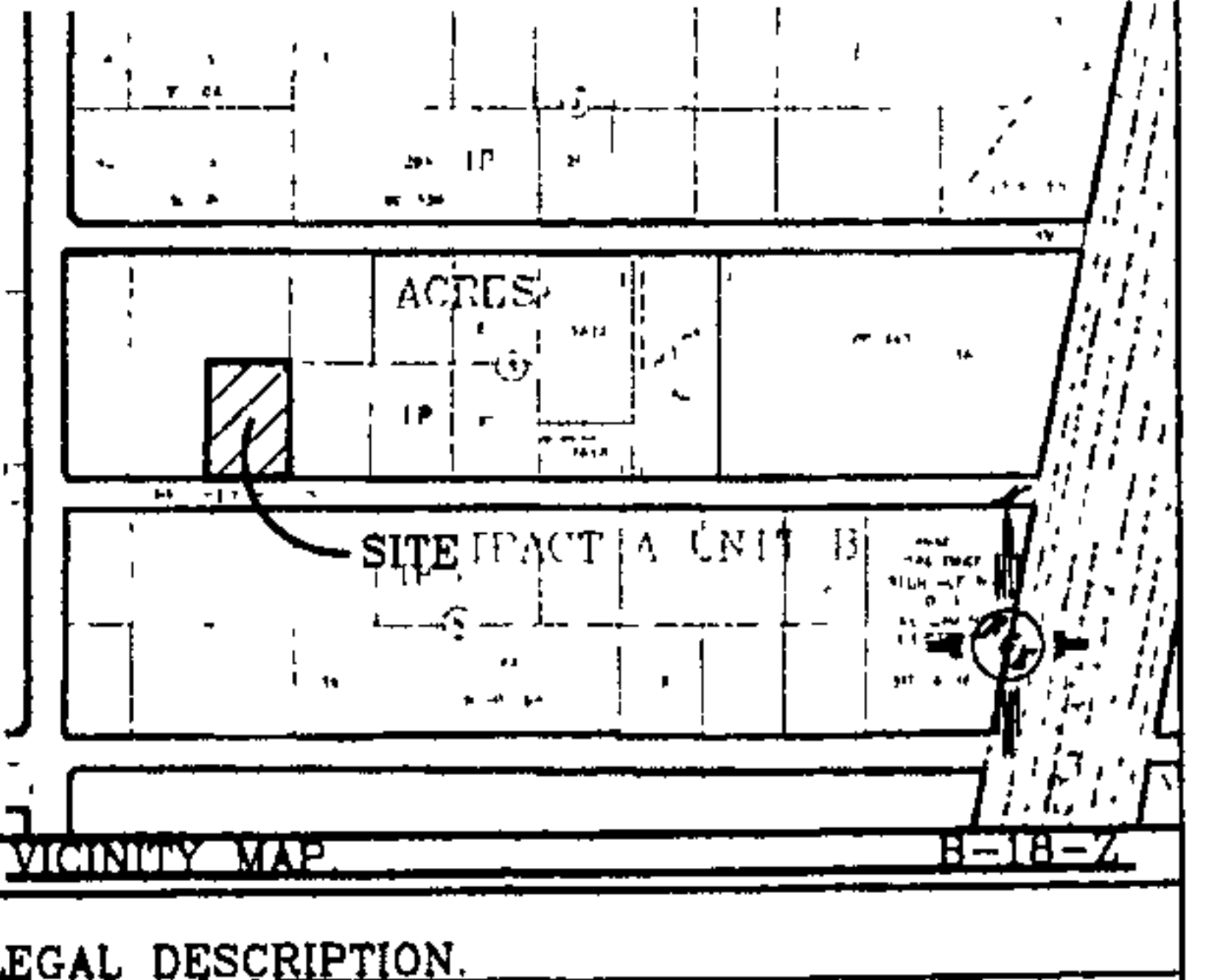
PROJECT NUMBER: \_\_\_\_\_  
 APPLICATION NUMBER: \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

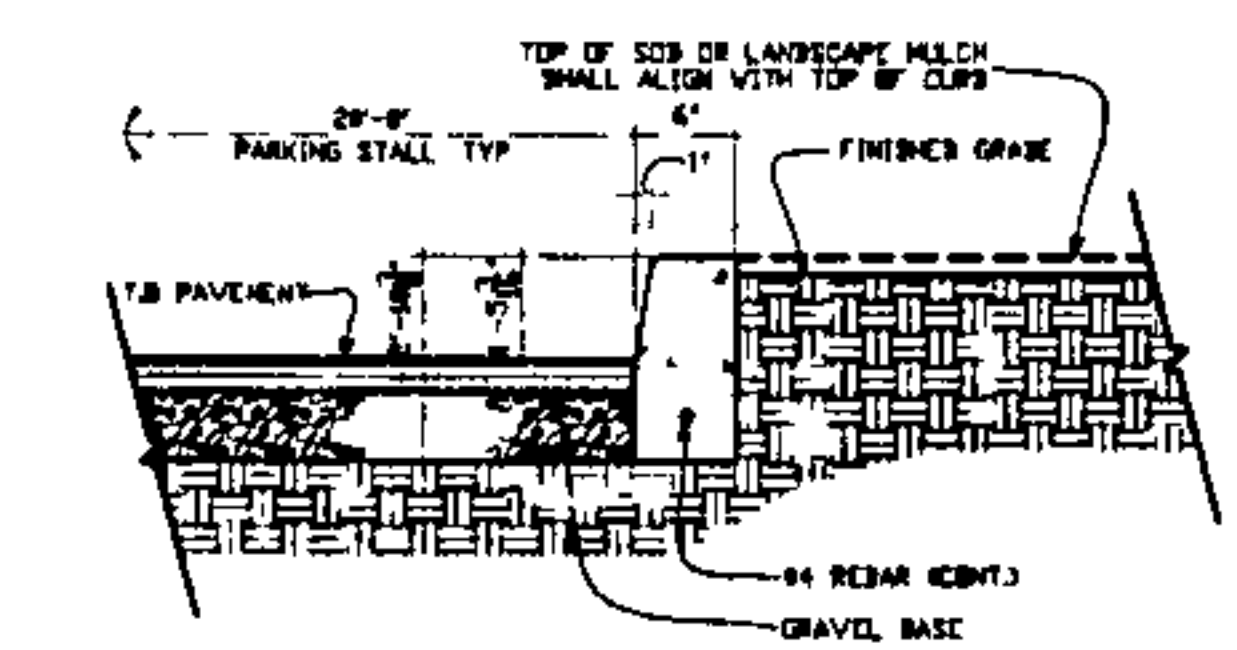
Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

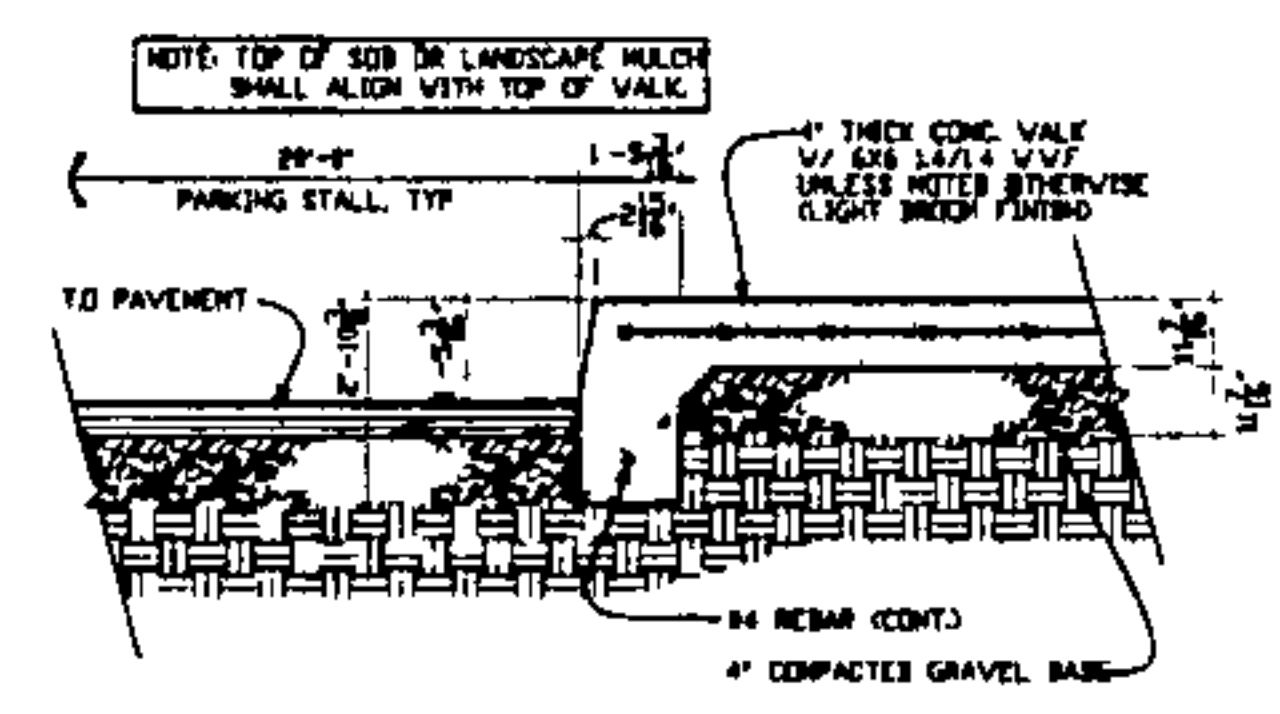
Traffic Engineer, Transportation Division	Date
Utilities Development	Date
Parks & Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date



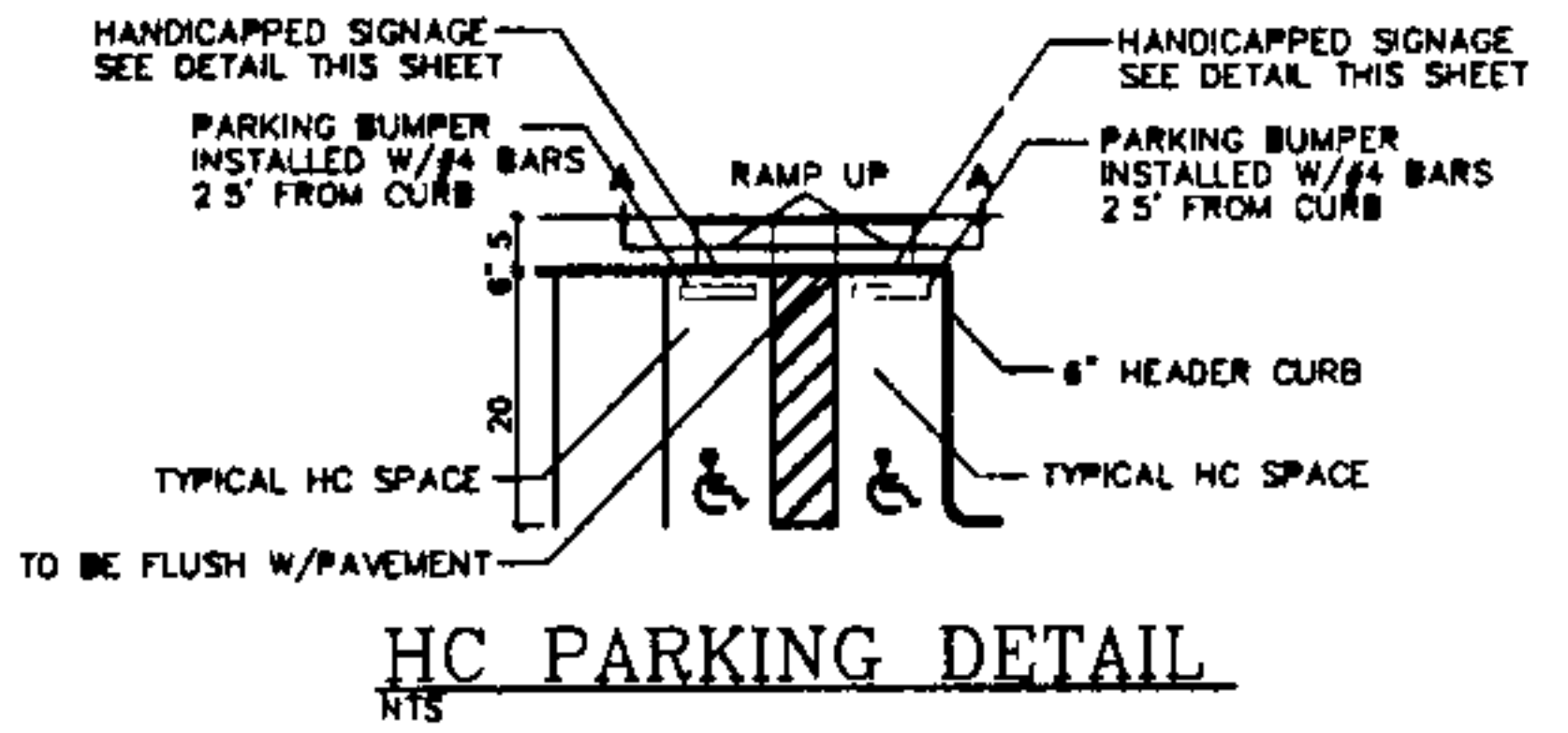
**LEGAL DESCRIPTION.**  
 Lot 30, Block 4 North Albuquerque Acres, Tract A, Unit B



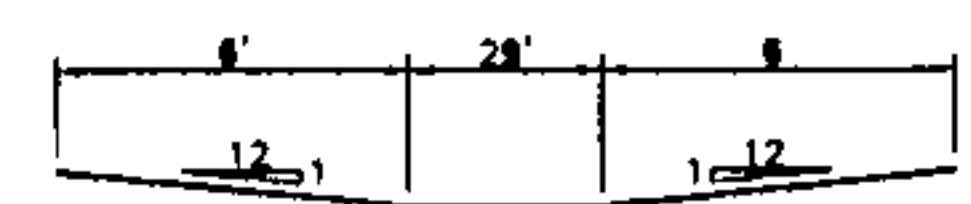
**HEADER CURB DETAIL**  
 NTS



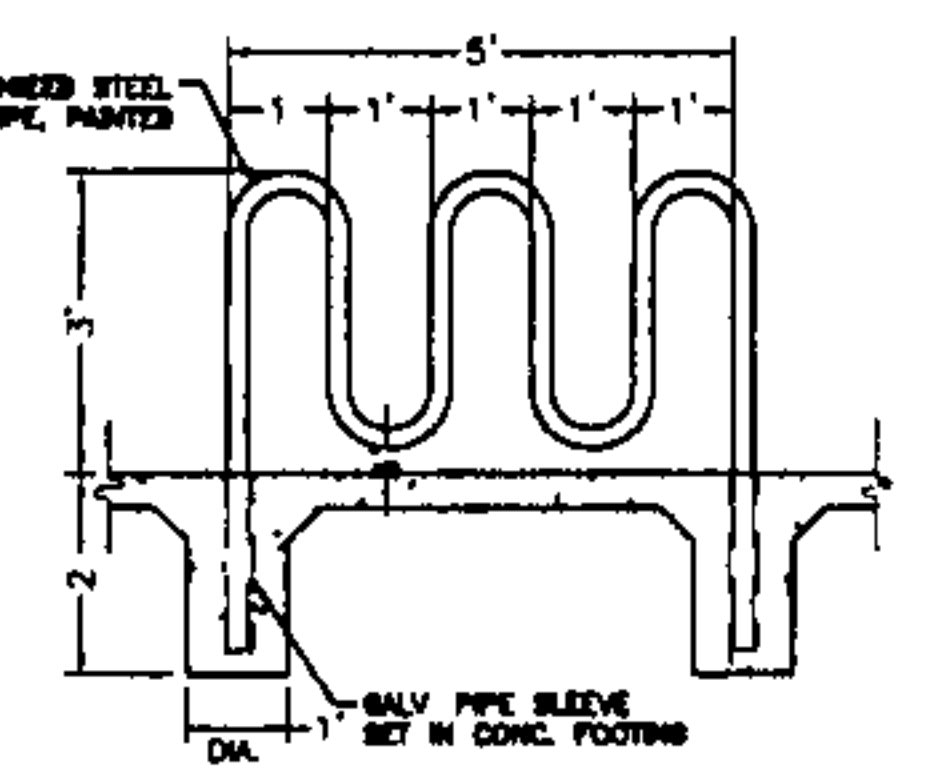
**SIDEWALK/CURB DETAIL**  
 NTS



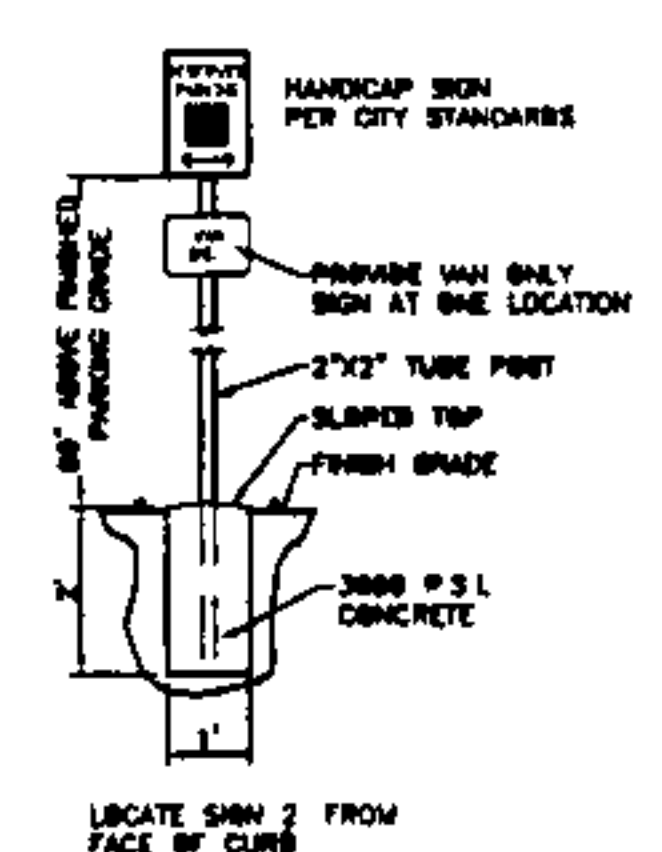
**HC PARKING DETAIL**  
 NTS



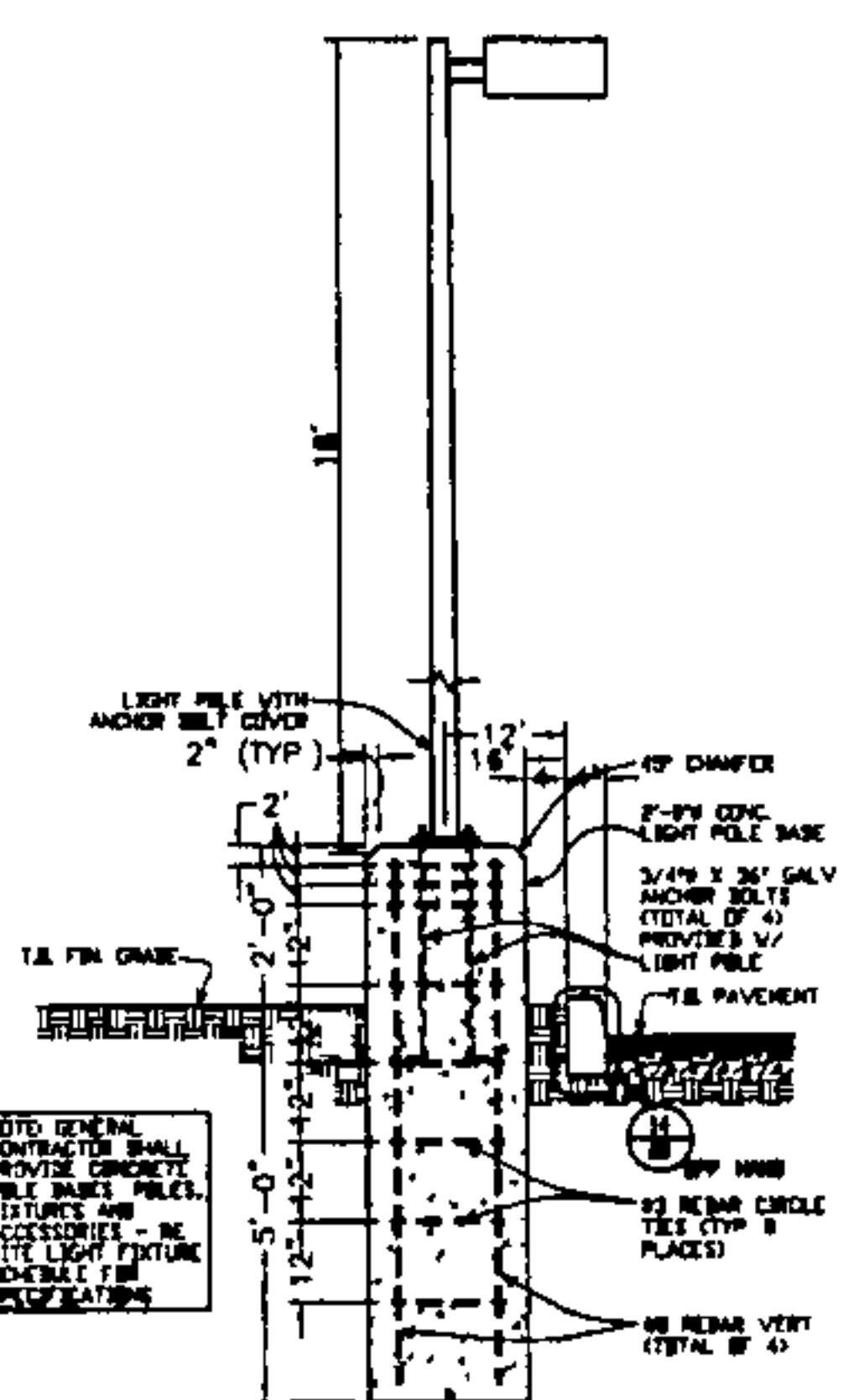
**HC PARKING DETAIL SECTION A-A**  
 NTS



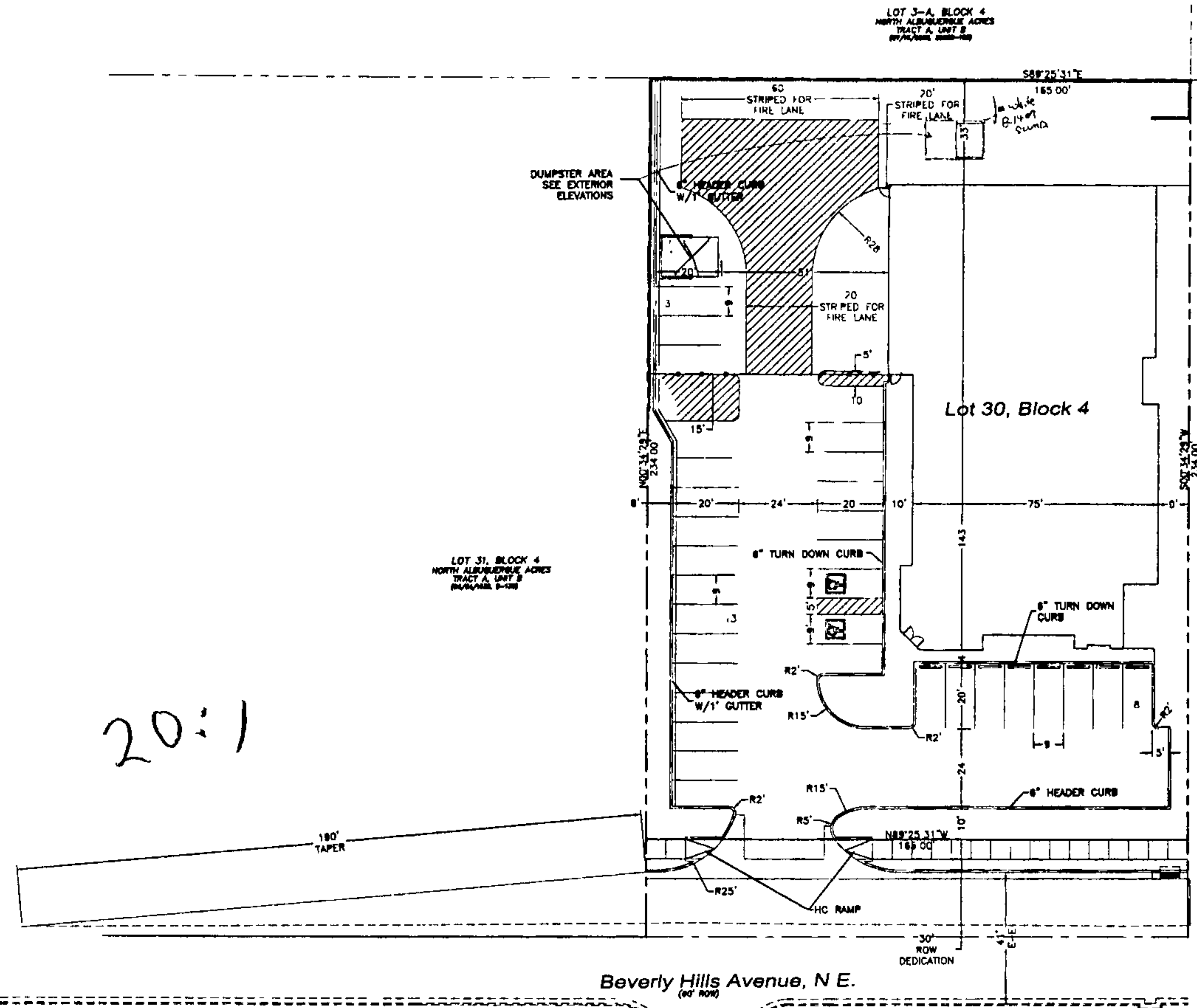
**BIKE RACK DETAIL**  
 NTS



**HANDICAP SIGN DETAIL**  
 NTS



**LIGHT POLE DETAIL**  
 NTS

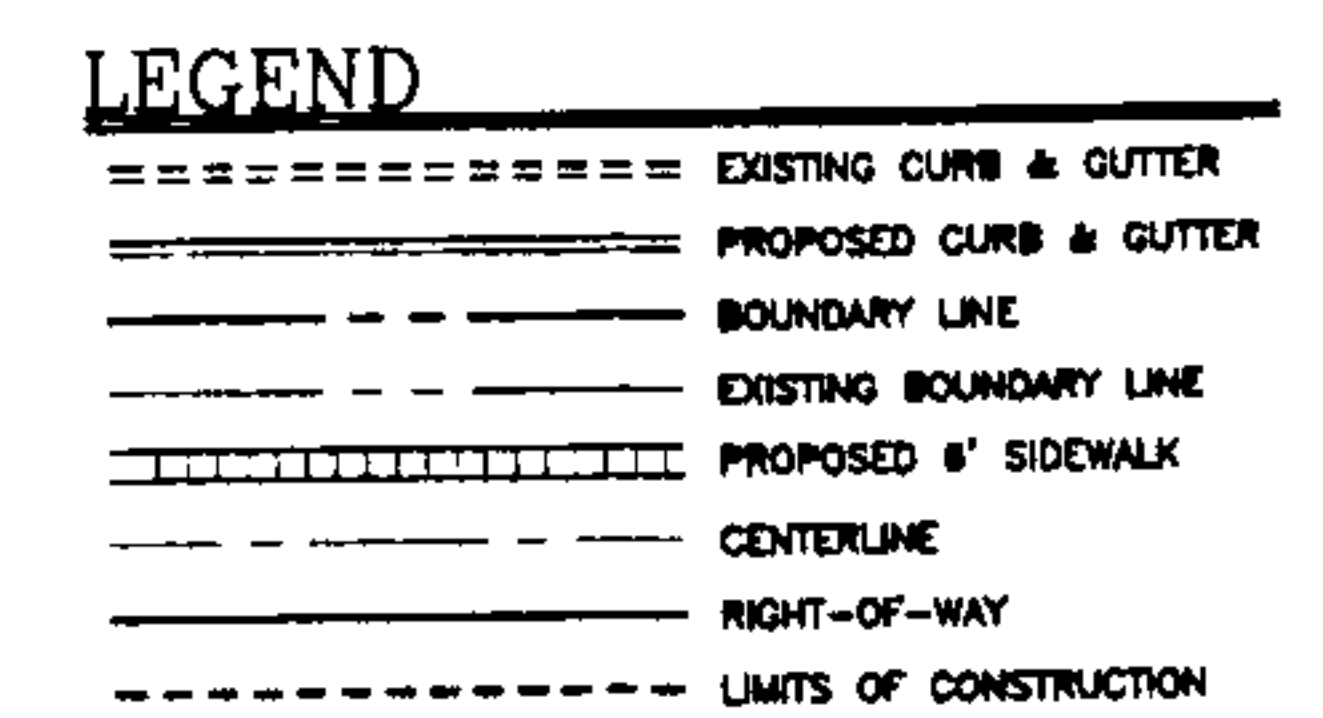


- NOTES:**
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
  - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS.
  - ALL WHEELCHAIR RAMP SHALL BE BUILT PER COA STD DWG. #2441.
  - HVAC EQUIPMENT ON THE ROOF SHALL BE SCREENED BY EXTERIOR SCREEN WALL.
  - NO OFF PREMISE OR POLE MOUNTED SIGNAGE SHALL BE ALLOWED.
  - ALL WIRELESS TELECOMMUNICATION FACILITIES SHALL BE CONCEALED AND ARCHITECTURALLY INTEGRATED WITH THE SITE AND SURROUNDING AREA.
  - VINYL COATED, PLASTIC REFLECTIVE TYPE AWNINGS, FASCIA, BUILDING PANELS, SIGN RACEWAYS OR ROOFS SHALL NOT BE PERMITTED.
  - FREE STANDING LIGHTING SHALL INCLUDE UNIFORM 30' HIGH POLES WITH FULLY SHIELDED FIXTURES. ALL FIXTURES SHOULD BE HORIZONTALLY-MOUNTED LENSES SHOULD NOT PROJECT BELOW THE HOUSING. LIGHTING LEVELS MUST CONFORM TO ZONING CODE LIMITATIONS.
  - MAXIMUM BUILDING HEIGHT SHALL BE 26'.

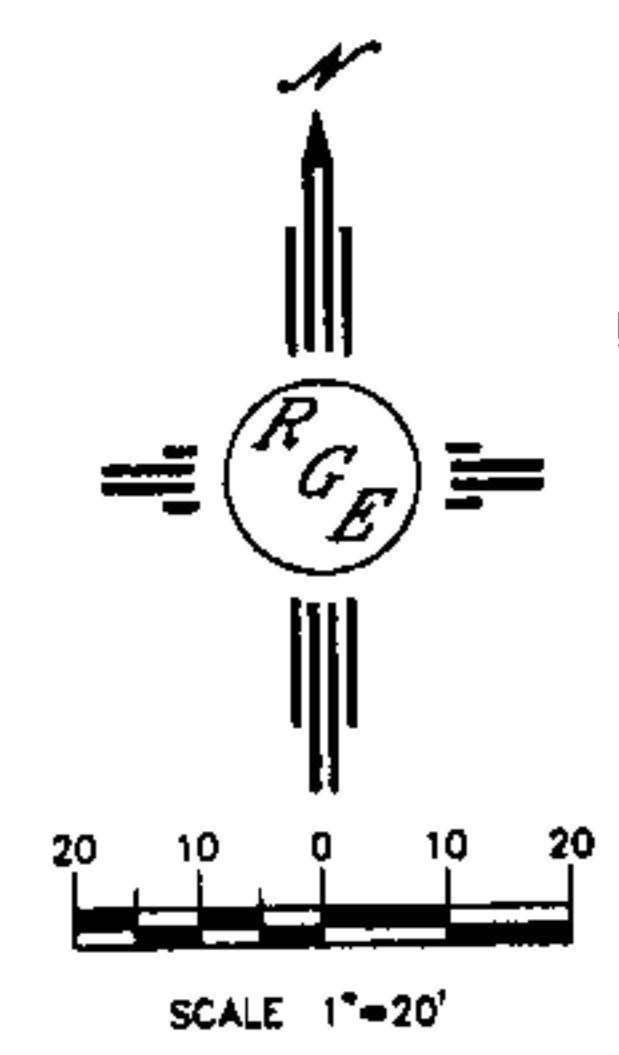
- SHEET INDEX**
- SITE PLAN FOR BUILDING PERMIT
  - LANDSCAPE PLAN
  - GRADING AND DRAINAGE PLAN
  - ELEVATIONS
  - MASTER UTILITY PLAN

**SITE DATA**

LOT SIZE	0.8864 AC±
EXISTING ZONING	IP
PROPOSED ZONING	OFFICE/WAREHOUSE
PROPOSED USE	10,777 SF
BUILDING SIZE	7020 SF OFFICE 3788 SF WAREHOUSE
FAR	28
PARKING PROVIDED	34 SPACES
PARKING REQUIRED W/10% BUS CREDIT	33 SPACES
HC PARKING PROVIDED	2 SPACES
HC PARKING REQUIRED	2 SPACES
BIKE SPACES PROVIDED	4 SPACES
BIKE SPACES REQUIRED	4 SPACES
LANDSCAPE PROVIDED	4681 SF
LANDSCAPE REQUIRED (15% OF NET LOT AREA)	4175 SF



ADD PLAN'S CHECKING OFFICE  
 APPROVED & APPROVED  
 7/20/09 6/14/09



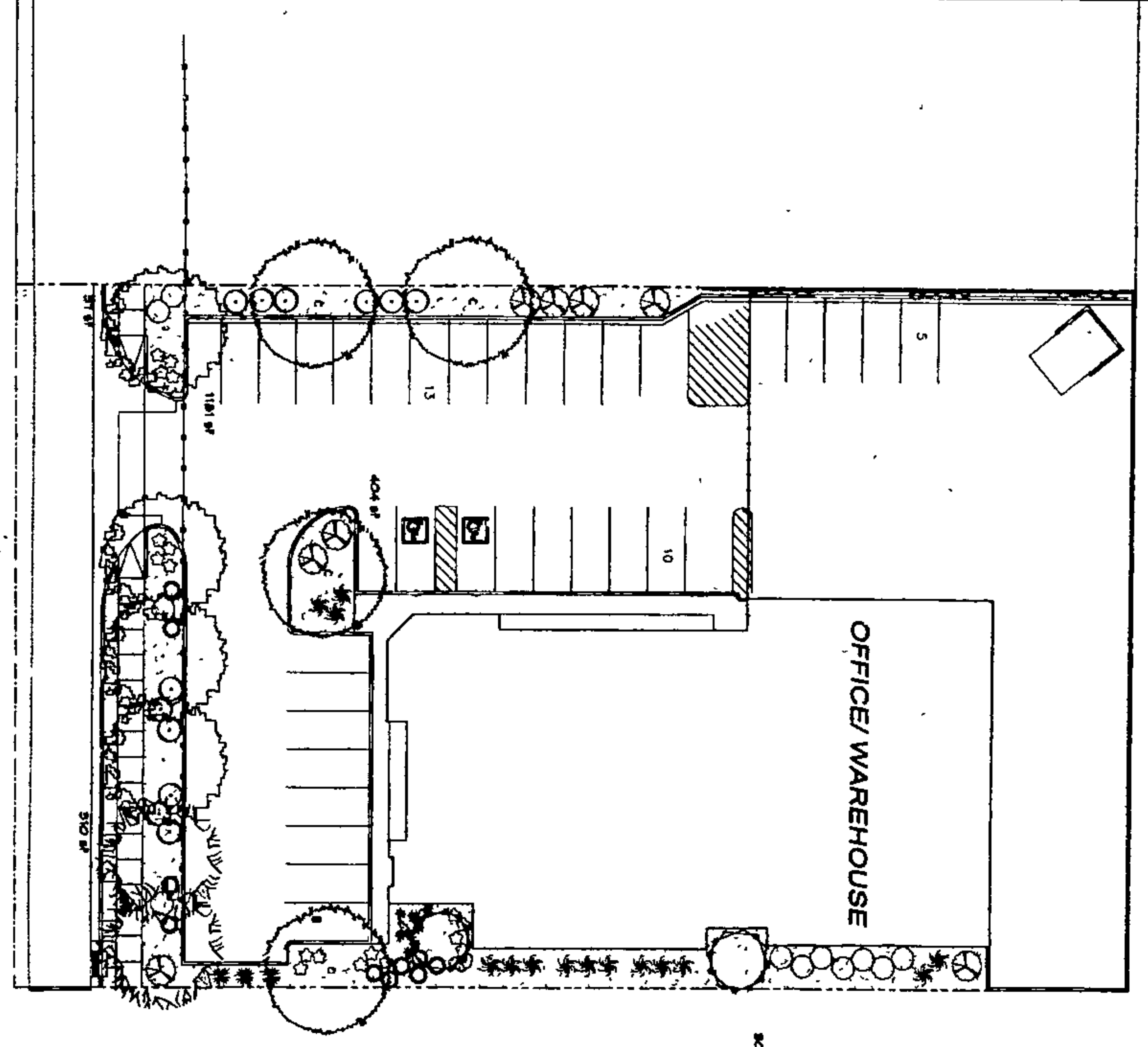
ENGINEER'S SEAL	HB	DRAWN BY WCK/J
		DATE 7-28-09
		NO. 1000-1-09-01
		SHEET # 1
		JOB # 2910

**SITE PLAN FOR BUILDING PERMIT**

**Rio Grande Engineering**  
 1800 CENTRAL AVENUE  
 SUITE 301  
 ALBUQUERQUE, NM 87104  
 (505) 872-0000

DAVID SOULE  
 PE #14522





Beverly Hills Avenue, N.E.

**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA	44360	SQUARE FEET
TOTAL BUILDING AREA	10784	SQUARE FEET
NET LOT AREA	33576	SQUARE FEET
LANDSCAPE REQUIREMENT	33576	SQUARE FEET
TOTAL LANDSCAPE REQUIREMENT	44416	SQUARE FEET
TOTAL BED PROVIDED	44416	SQUARE FEET
64% OVER COVER AREA	28626	SQUARE FEET
TOTAL 64% OVER COVER PROVIDED	28626	SQUARE FEET
TOTAL LANDSCAPE PROVIDED	44416	SQUARE FEET

**STREET TREE REQUIREMENTS** - Minimum 2' Caliper Street Trees Required under the City of Albuquerque Street Tree Ordinance are as follows:  
Height of Street: Beverly Hills Ave NE  
Required # & Provided # 6

**PARKING LOT TREE REQUIREMENTS** - Minimum 2' Caliper Street Trees Required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:  
1 Shade Tree per 10 spaces  
Required # & Provided # 4

**NOTE TO CLIENT:**  
Should the client require a grading and drainage plan during the design process or the on-site grading after construction, the contractor shall provide the final grading plan to the designer for review. The designer shall be responsible for ensuring that the grading plan meets the requirements of the City of Albuquerque and the State of New Mexico. The designer shall also be responsible for ensuring that the grading plan meets the requirements of the project owner and the project engineer.

**PLANT LEGEND**

All plants shall be sized per American Standard for Nursery Stock. Plantation shall include the quantity of plants, height or spread, in inches. All plants shall be measured at the base of the stem by the height of the plant.

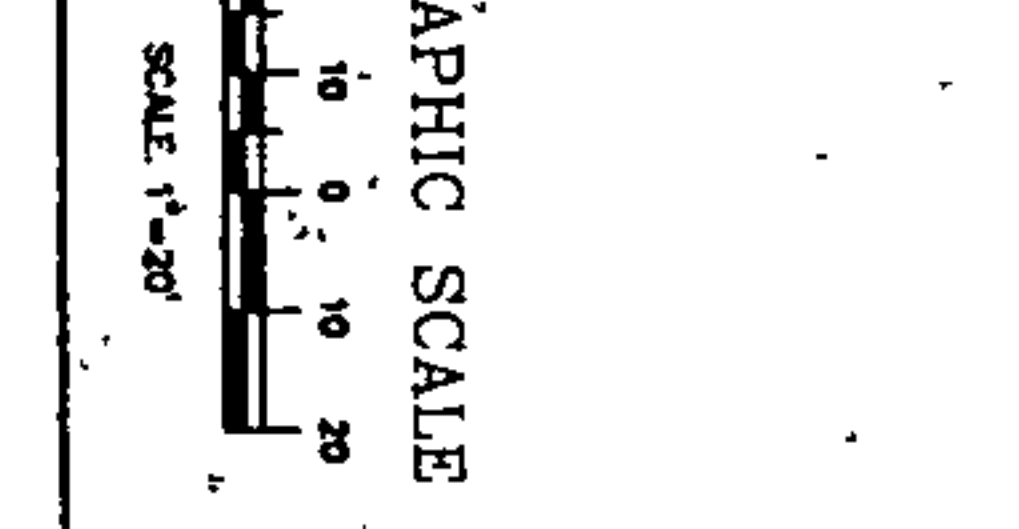
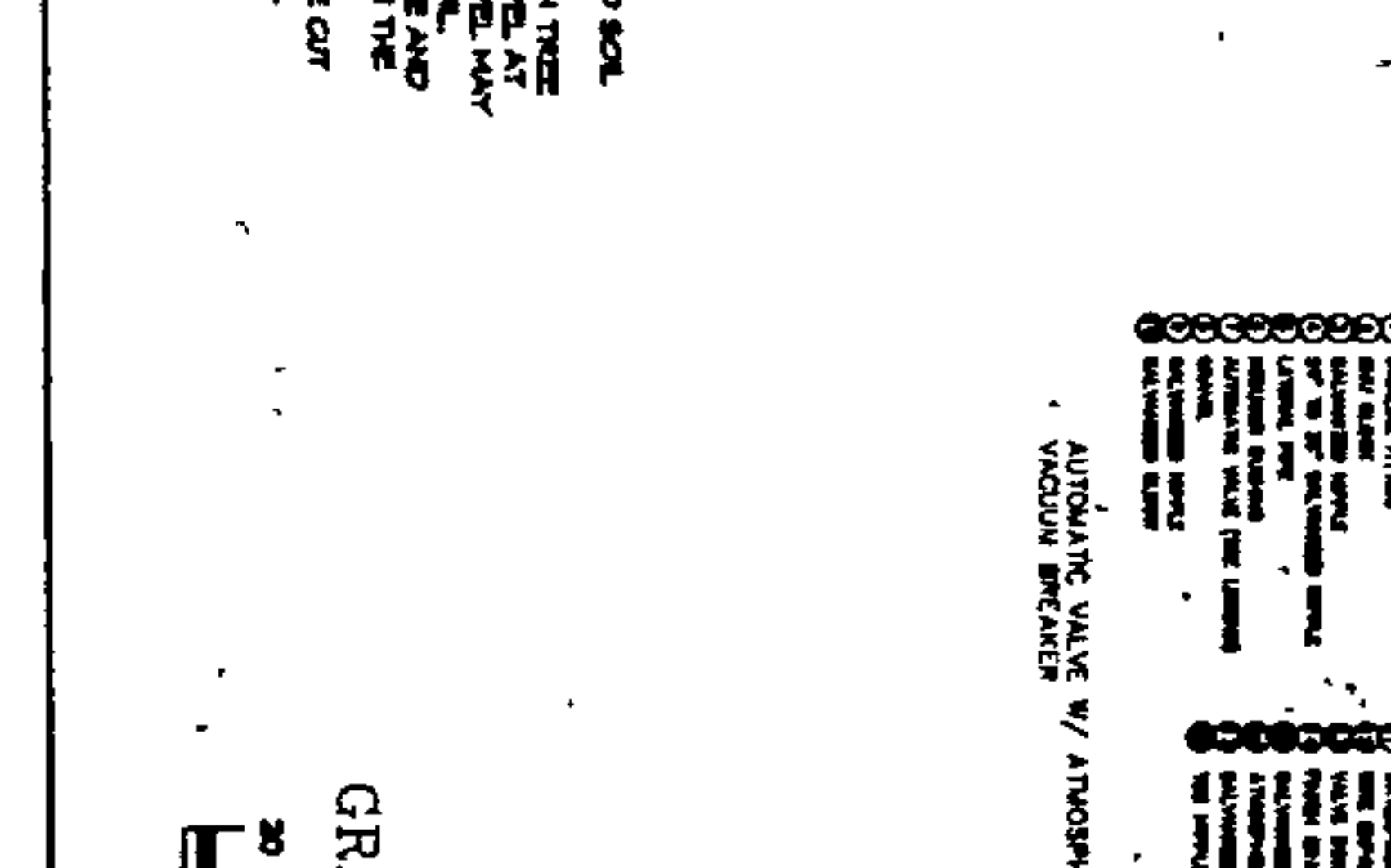
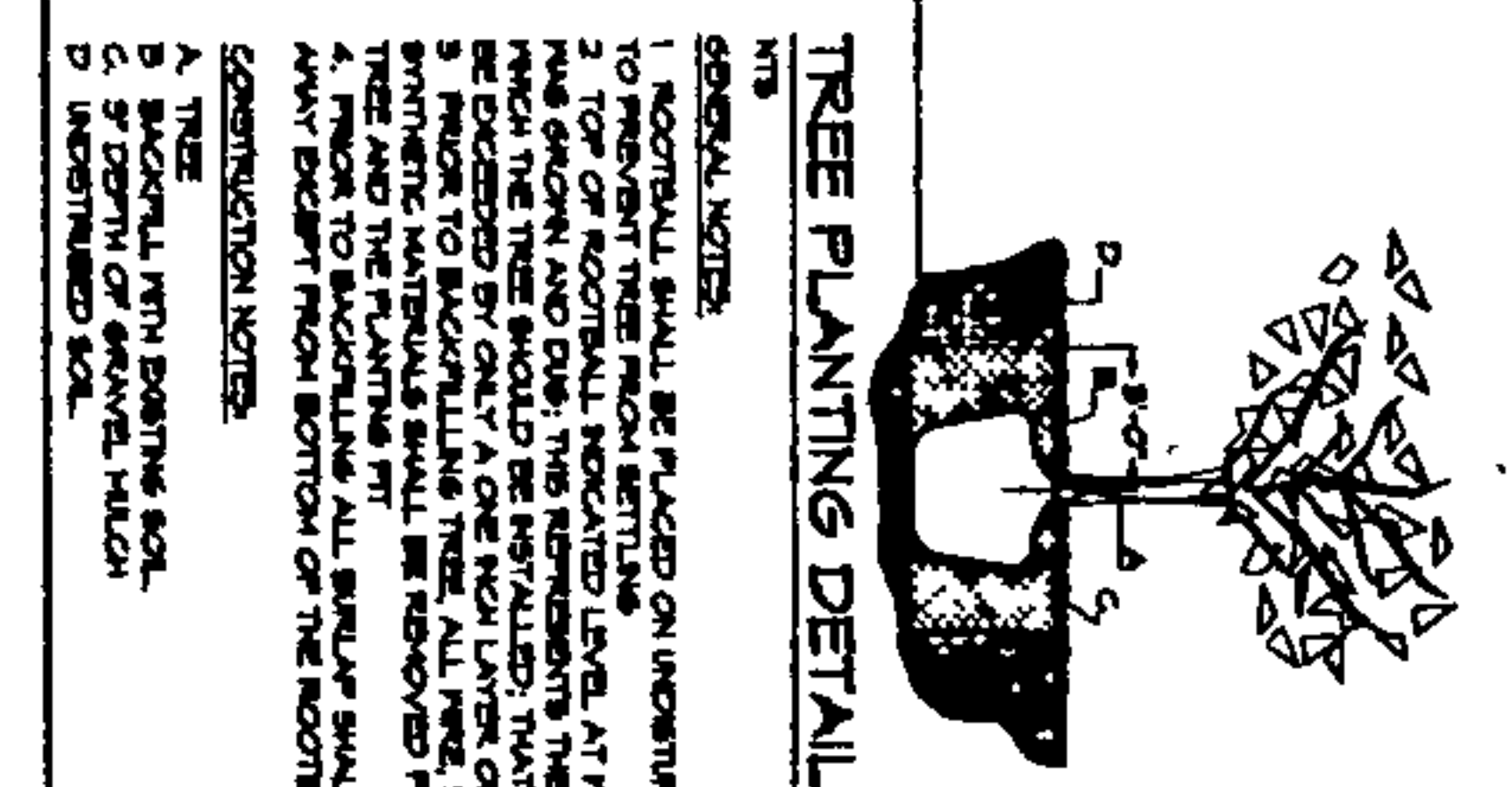
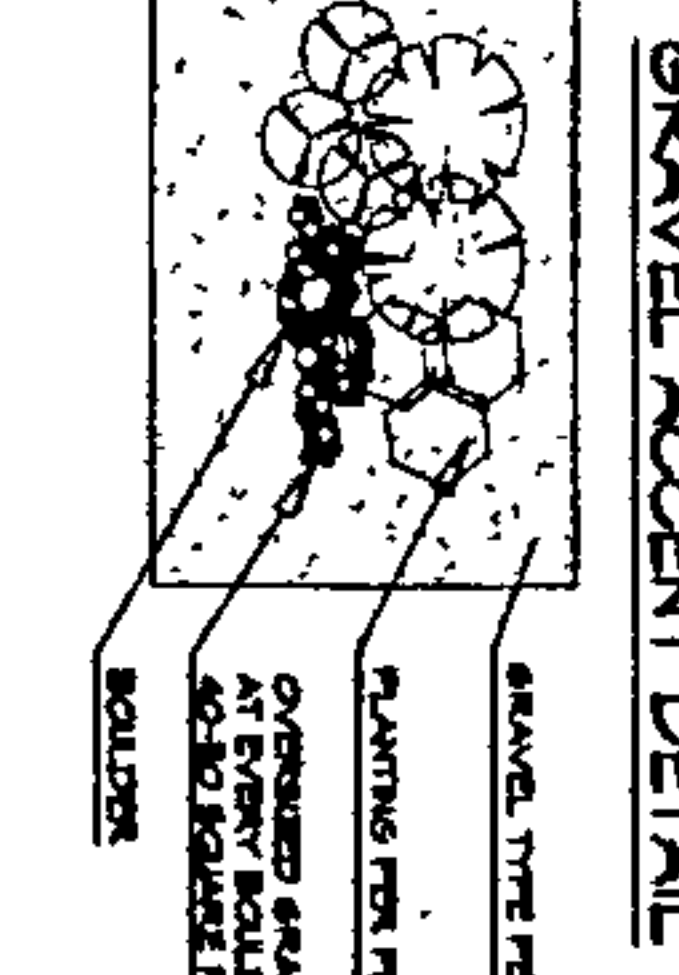
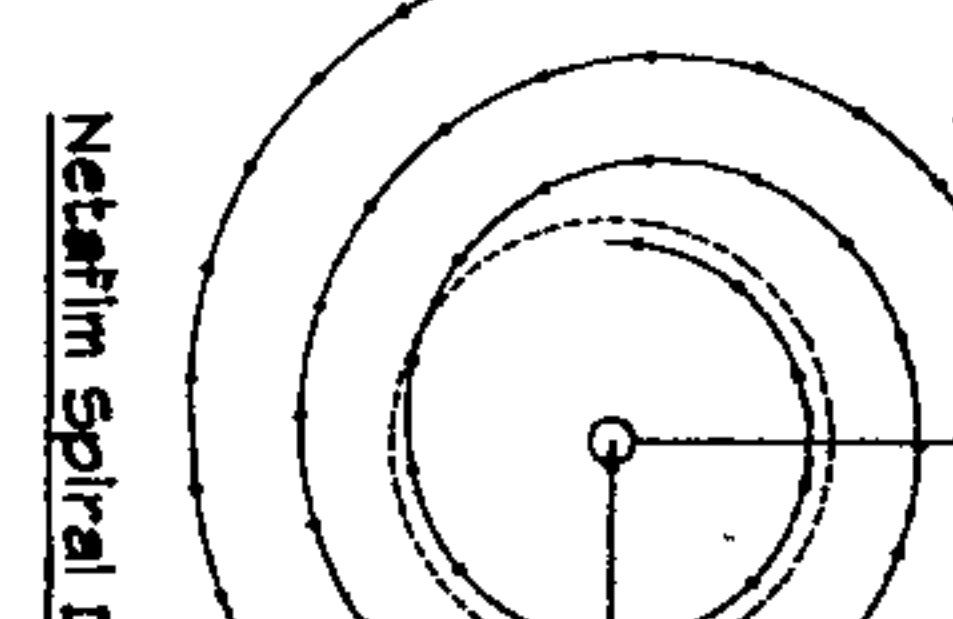
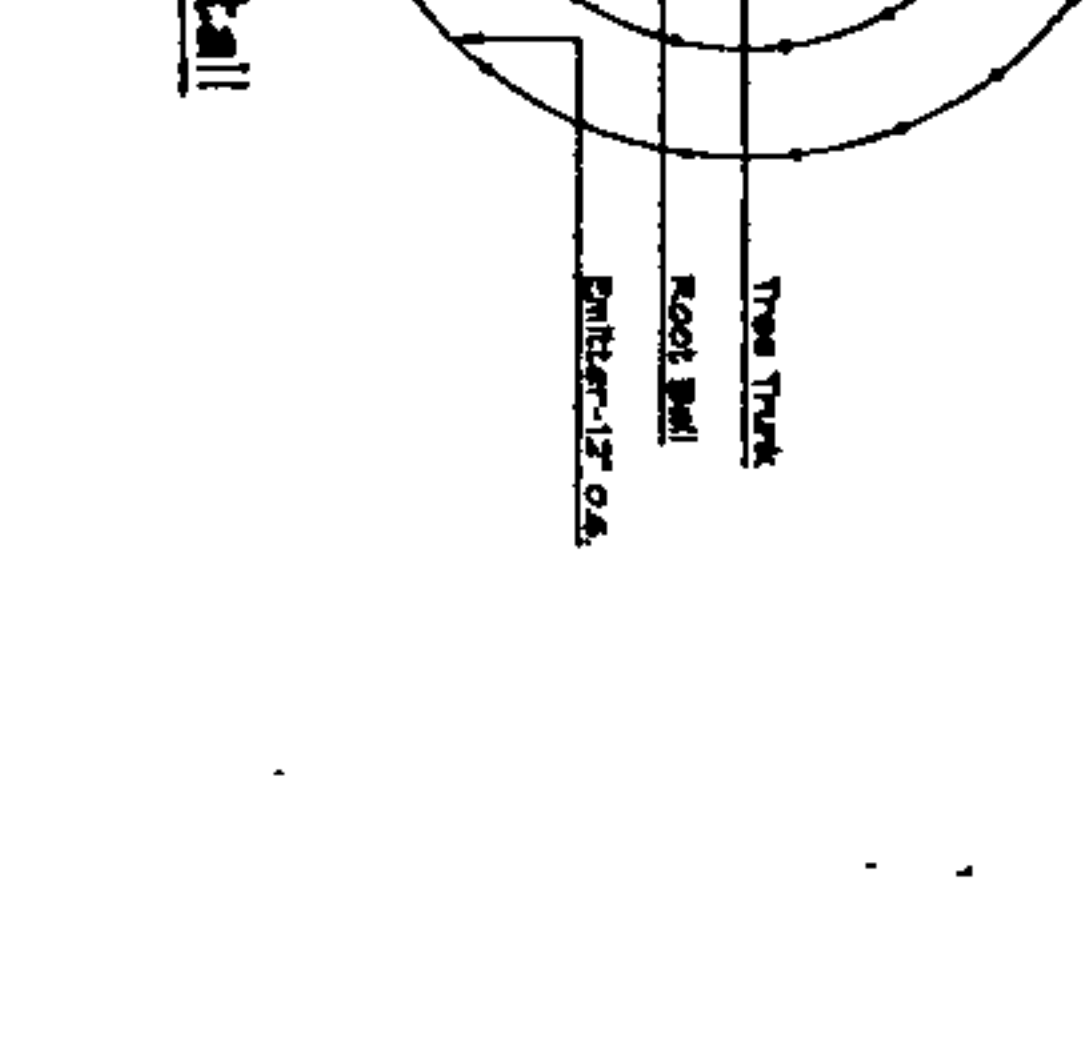
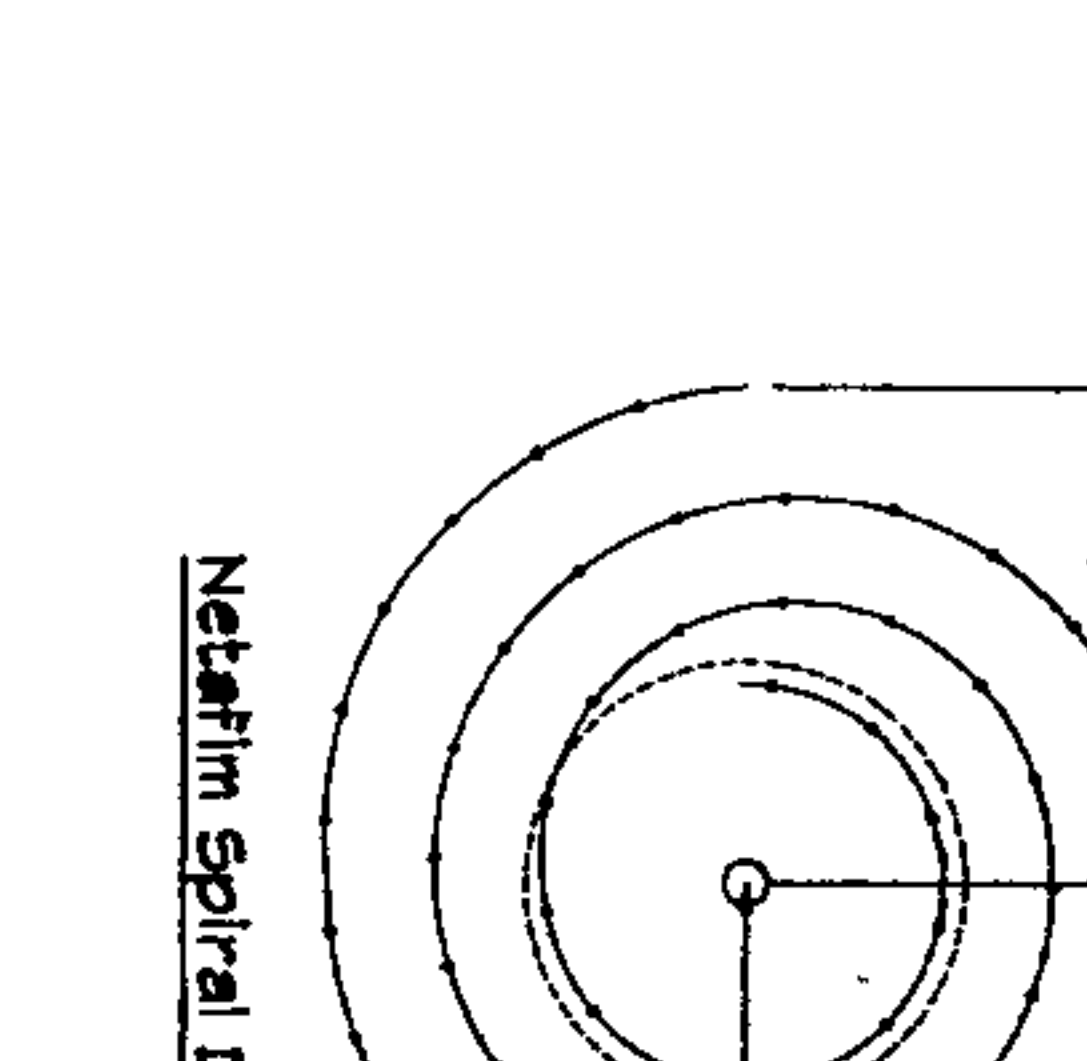
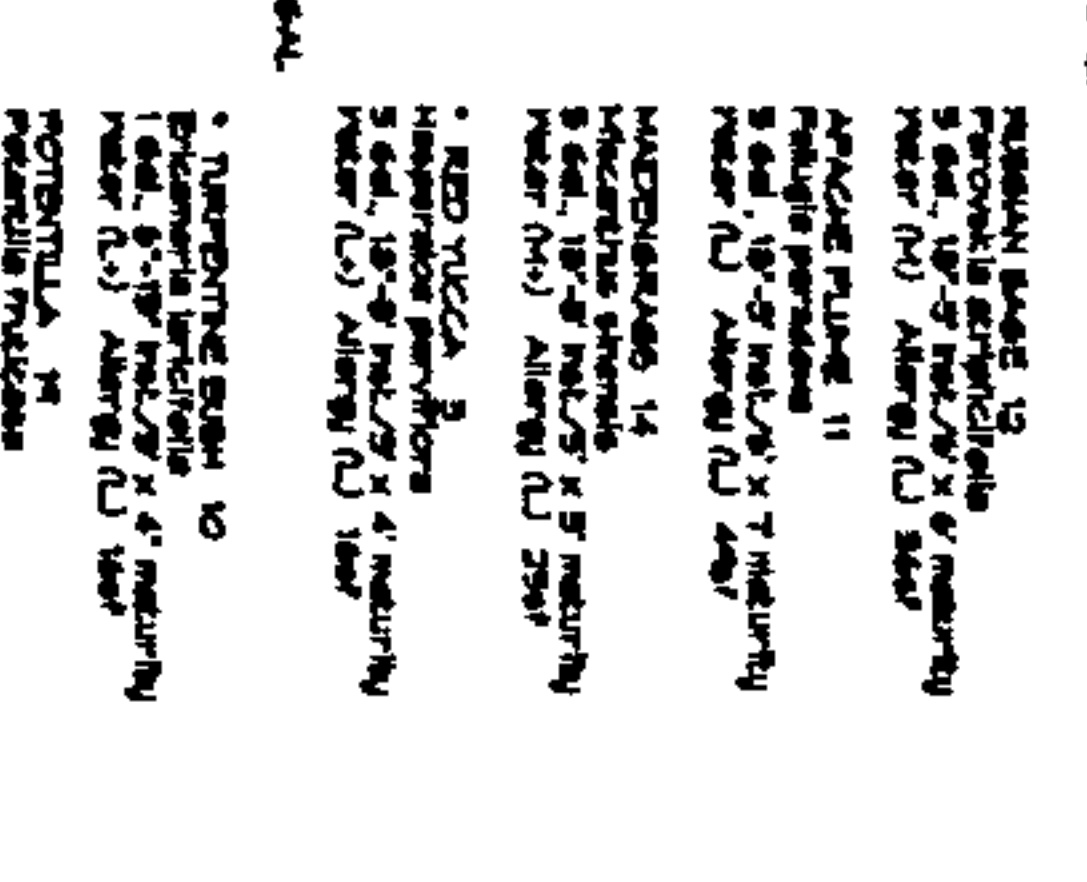
- 1. **SHRUB PLANTING:** 1' x 1' x 1' (1' caliper) Planting in 4" gravel, 2' high, 2' wide, 2' deep.
- 2. **SHRUB PLANTING:** 2' x 2' x 2' (2' caliper) Planting in 4" gravel, 4' high, 4' wide, 4' deep.
- 3. **SHRUB PLANTING:** 3' x 3' x 3' (3' caliper) Planting in 4" gravel, 6' high, 6' wide, 6' deep.
- 4. **SHRUB PLANTING:** 4' x 4' x 4' (4' caliper) Planting in 4" gravel, 8' high, 8' wide, 8' deep.
- 5. **SHRUB PLANTING:** 5' x 5' x 5' (5' caliper) Planting in 4" gravel, 10' high, 10' wide, 10' deep.

**LANDSCAPE NOTES:**

1. Landscape maintenance shall be the responsibility of the developer/owner. All plants shall be installed in the landscape area by the developer/owner.
2. All plants shall be installed in the landscape area by the developer/owner.
3. All plants shall be installed in the landscape area by the developer/owner.
4. All plants shall be installed in the landscape area by the developer/owner.
5. All plants shall be installed in the landscape area by the developer/owner.

**IRRIGATION NOTES:**

1. Irrigation shall be provided by a automatic irrigation system with a pressure regulator and backflow preventer.
2. Irrigation shall be provided by a automatic irrigation system with a pressure regulator and backflow preventer.
3. Irrigation shall be provided by a automatic irrigation system with a pressure regulator and backflow preventer.
4. Irrigation shall be provided by a automatic irrigation system with a pressure regulator and backflow preventer.
5. Irrigation shall be provided by a automatic irrigation system with a pressure regulator and backflow preventer.

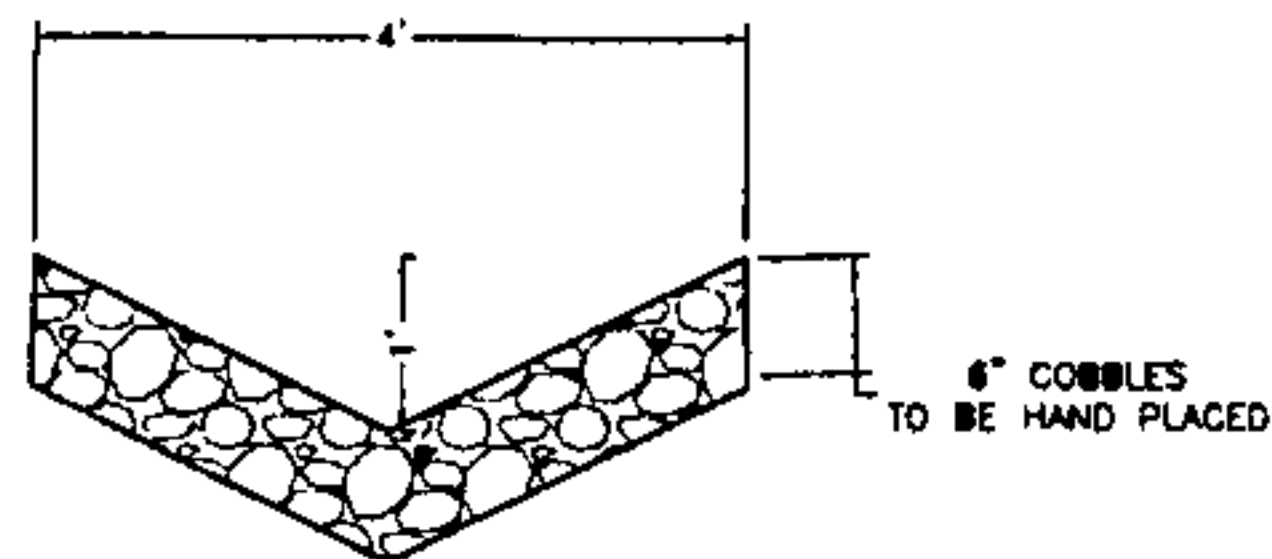


	<p>HB CONSTRUCTION OFFICE/WAREHOUSE 1111 BEVERLY HILLS AVE. NE ALBUQUERQUE, NM LANDSCAPE PLAN</p>		<p>Cent. Lic. #26458 7809 Edith N.E. Albuquerque, NM 87184 Ph. (505) 898-9690 Fax (505) 898-7737 cm@hilltoplandscaping.com</p>	
<p>DRAWN BY: mc REVISION: / DATE: 8-10-09</p>	<p>SHET 1 OF 2</p>			

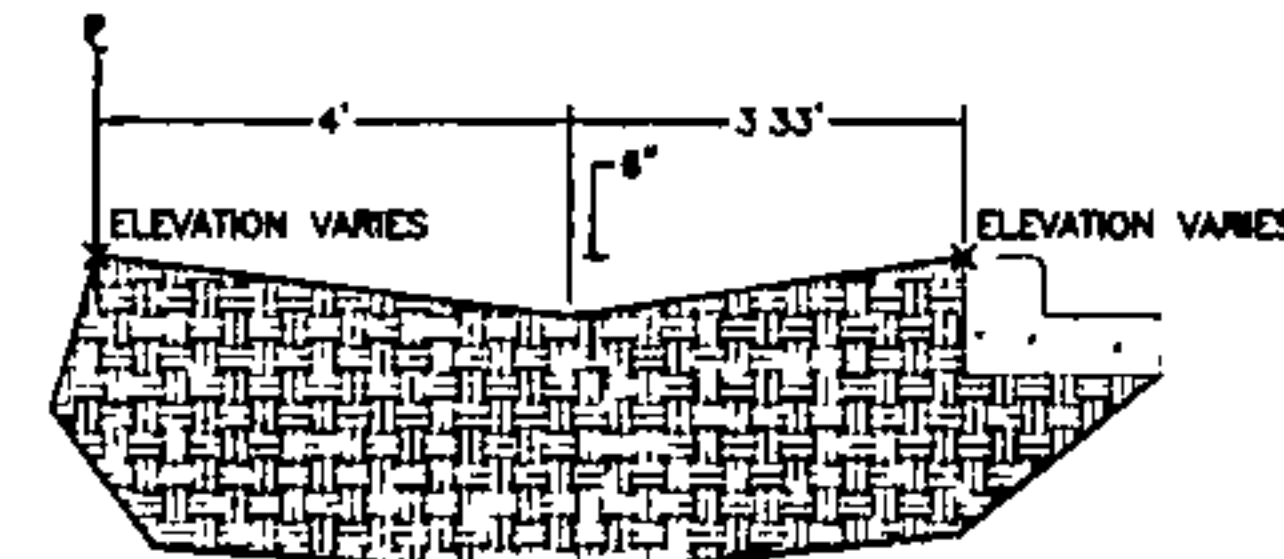


**EROSION CONTROL NOTES**

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT

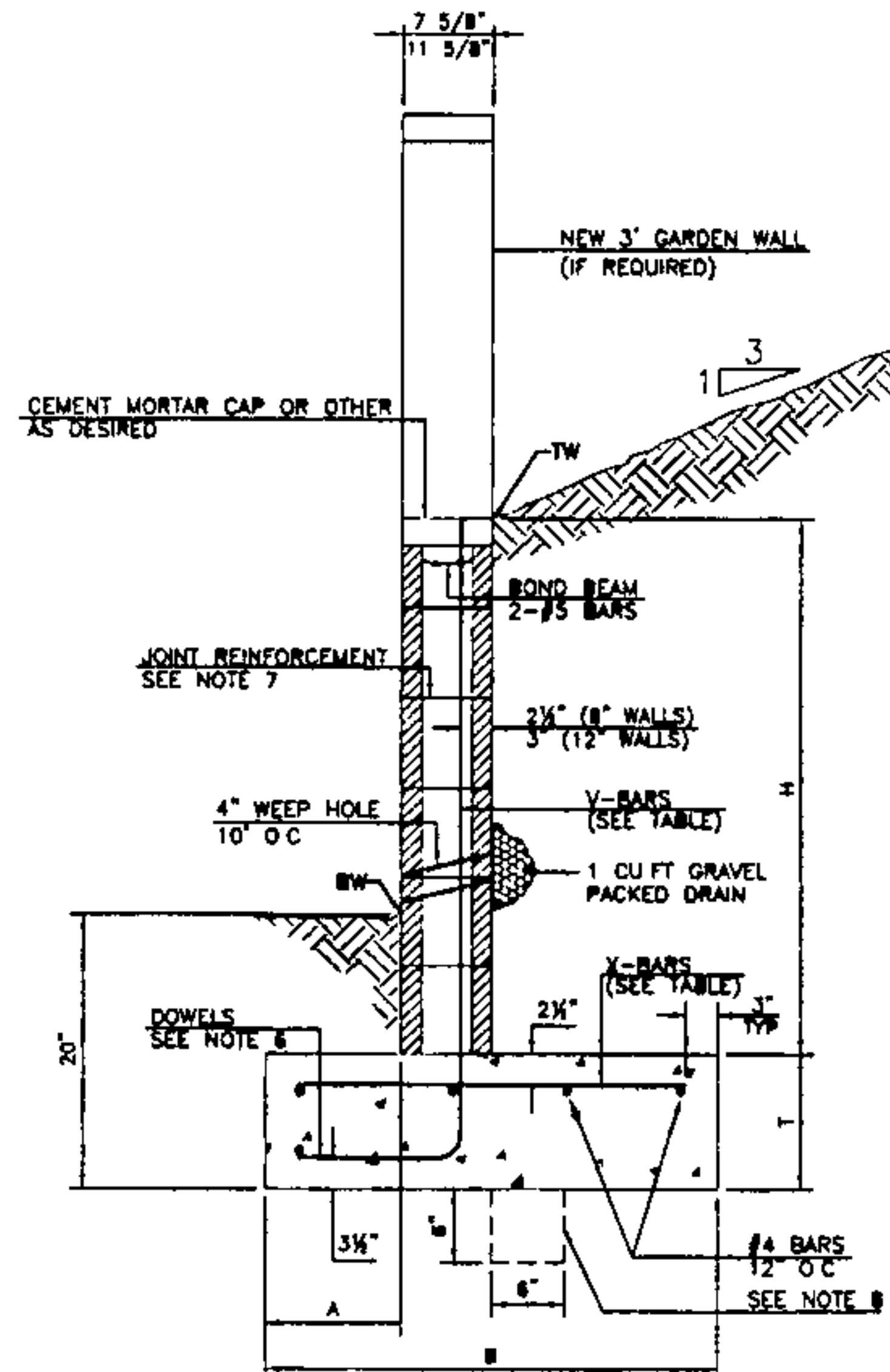


**COBBLE SWALE DETAIL**  
NTS



**SECTION A-A**  
NTS

**CAUTION**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS



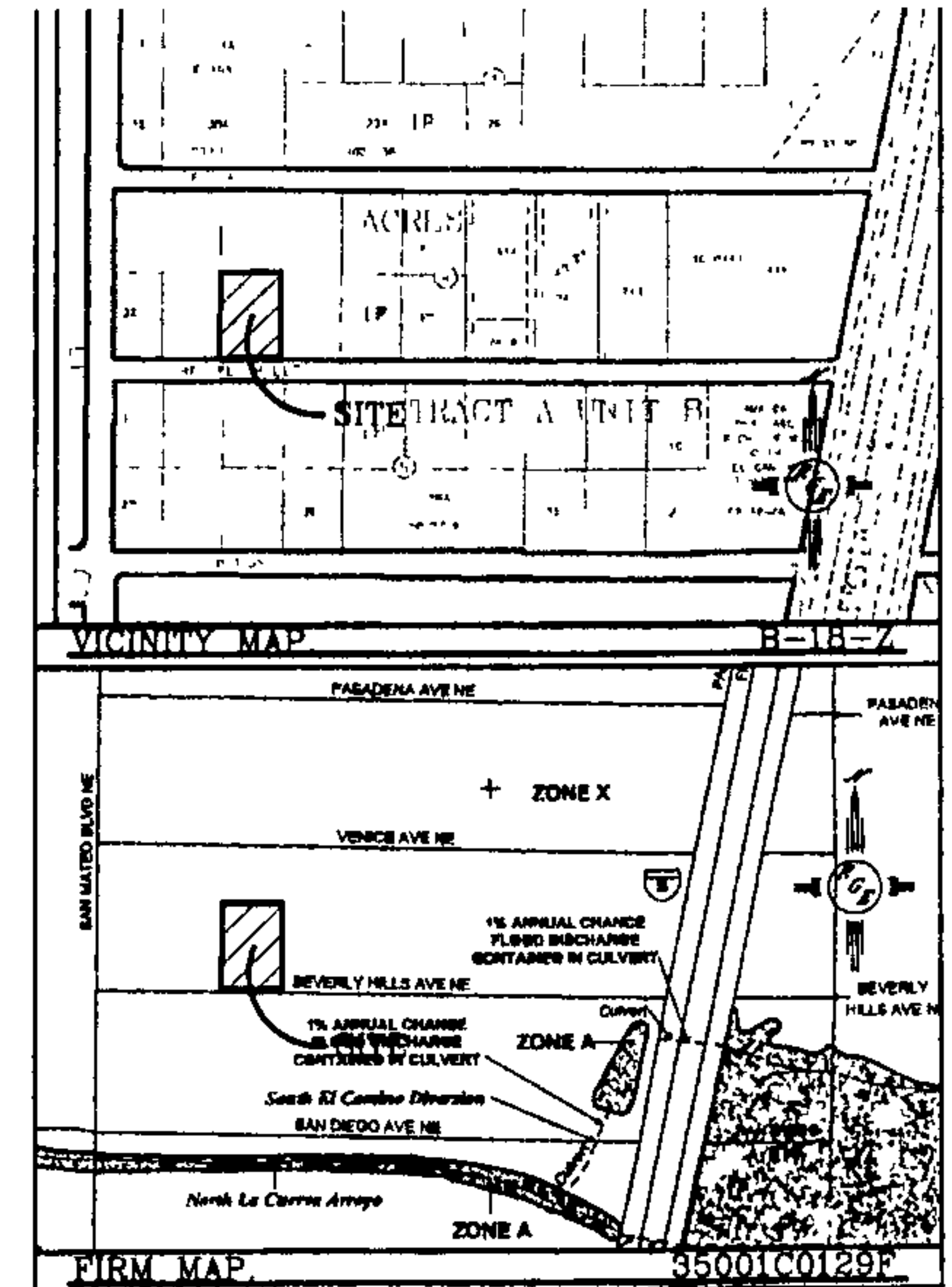
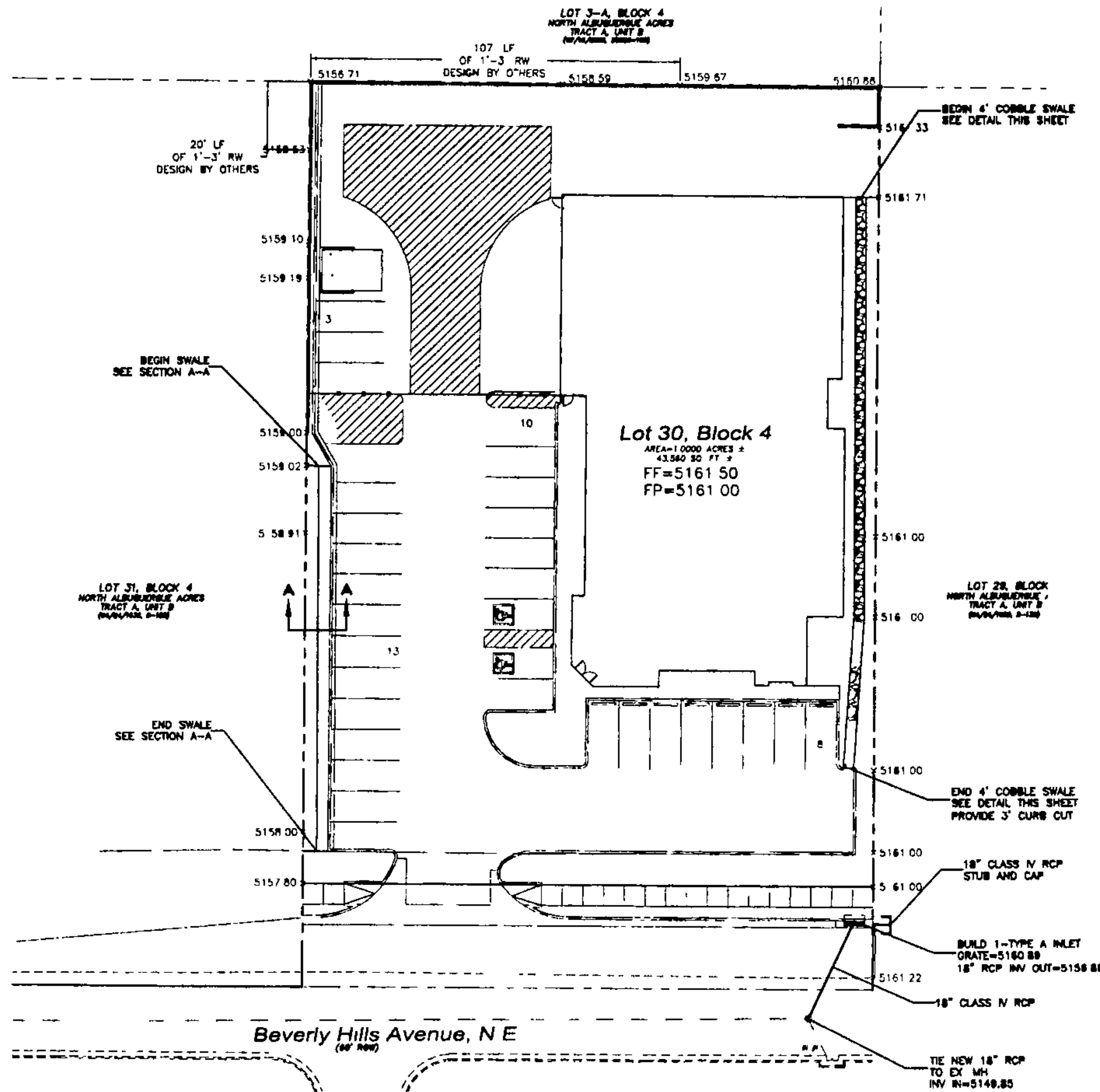
**RETAINING WALL DETAIL**  
NTS

8 INCH REINFORCED CONCRETE MASONRY WALL					
H	A	B	T	V-BARS	X-BARS
ft-in	in	ft-in	in		
3'-4"	6"	2'-6"	10"	#4 @32" O.C	#4 @32" O.C
4'-0"	10"	2'-10"	10"	#4 @32" O.C	#4 @32" O.C
4'-8"	12"	3'-6"	12"	#4 @24" O.C	#4 @24" O.C
5'-4"	14"	3'-10"	12"	#4 @16" O.C	#4 @16" O.C
6'-0"	16"	4'-4"	12"	#4 @16" O.C	#4 @16" O.C
6'-8"	18"	4'-10"	14"	#5 @16" O.C	#5 @16" O.C

12 INCH REINFORCED CONCRETE MASONRY WALL					
H	A	B	T	V-BARS	X-BARS
ft-in	in	ft-in	in		
5'-4"	14"	3'-8"	10"	#4 @24" O.C	#4 @24" O.C
6'-0"	15"	4'-2"	12"	#4 @16" O.C	#4 @16" O.C
6'-8"	16"	4'-6"	12"	#5 @24" O.C	#5 @24" O.C
7'-4"	18"	4'-10"	12"	#5 @16" O.C	#6 @16" O.C
8'-0"	20"	5'-4"	12"	#7 @24" O.C	#7 @24" O.C

**GENERAL NOTES:**

- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS
- MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%
- BACKFILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED
- ALL BARS ARE TO BE GRADE 60, ASTM 615
- TRUSS TYPE DWR-O-WALL EVERY OTHER COURSE
- DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES AND SHALL EXTEND TO THE TOE OF THE FOOTING
- JOINT REINFORCEMENT CONSISTING OF #6A LONGITUDINAL WIRE AND 3/16" CROSS RODS SHALL BE PROVIDED AT 8" CENTERS VERTICALLY
- PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 8'-0"
- USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'

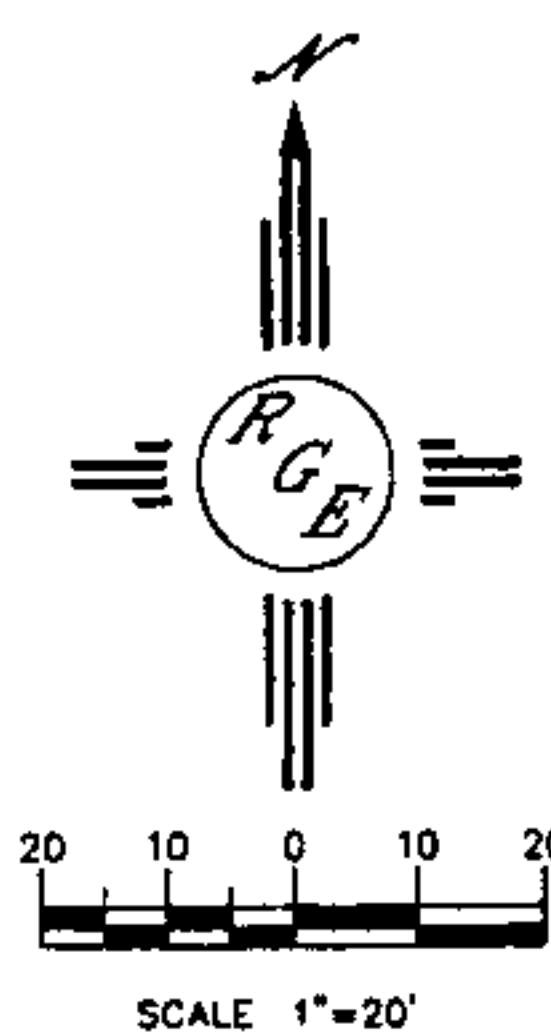


**LEGAL DESCRIPTION**  
Lot 30, Block 4 North Albuquerque Acres, Tract A, Unit B

**NOTES**  
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED

**LEGEND**

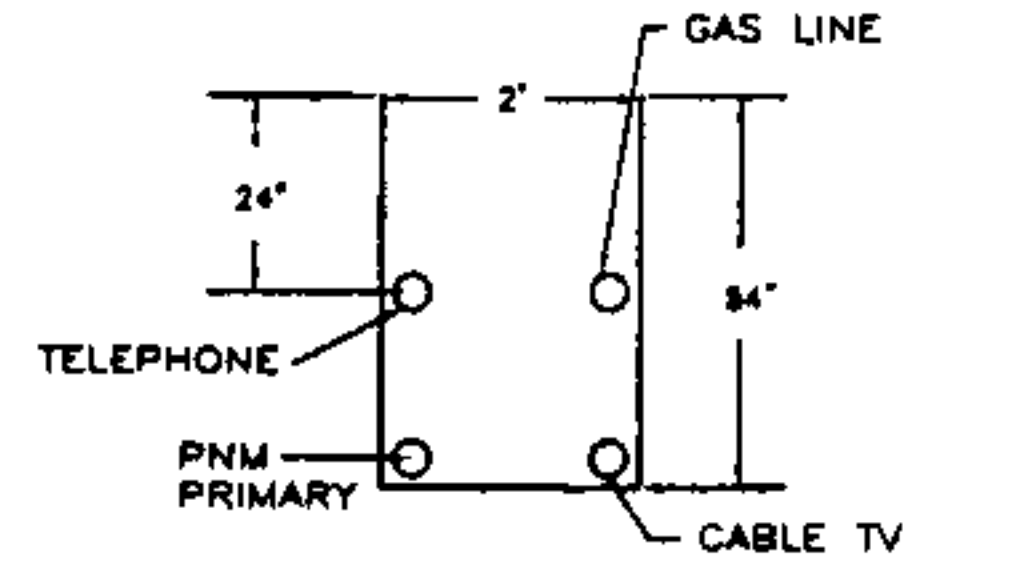
	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER INLET
	EXISTING STORM SEWER LINE
	PROPOSED 18" INLET
	PROPOSED STORM SEWER LINE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EXISTING BOUNDARY LINE
	PROPOSED SIDEWALK
	PROPOSED PERIMETER WALL
	PROPOSED RETAINING WALL
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	FLOW ARROW
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	CENTERLINE
	RIGHT-OF-WAY



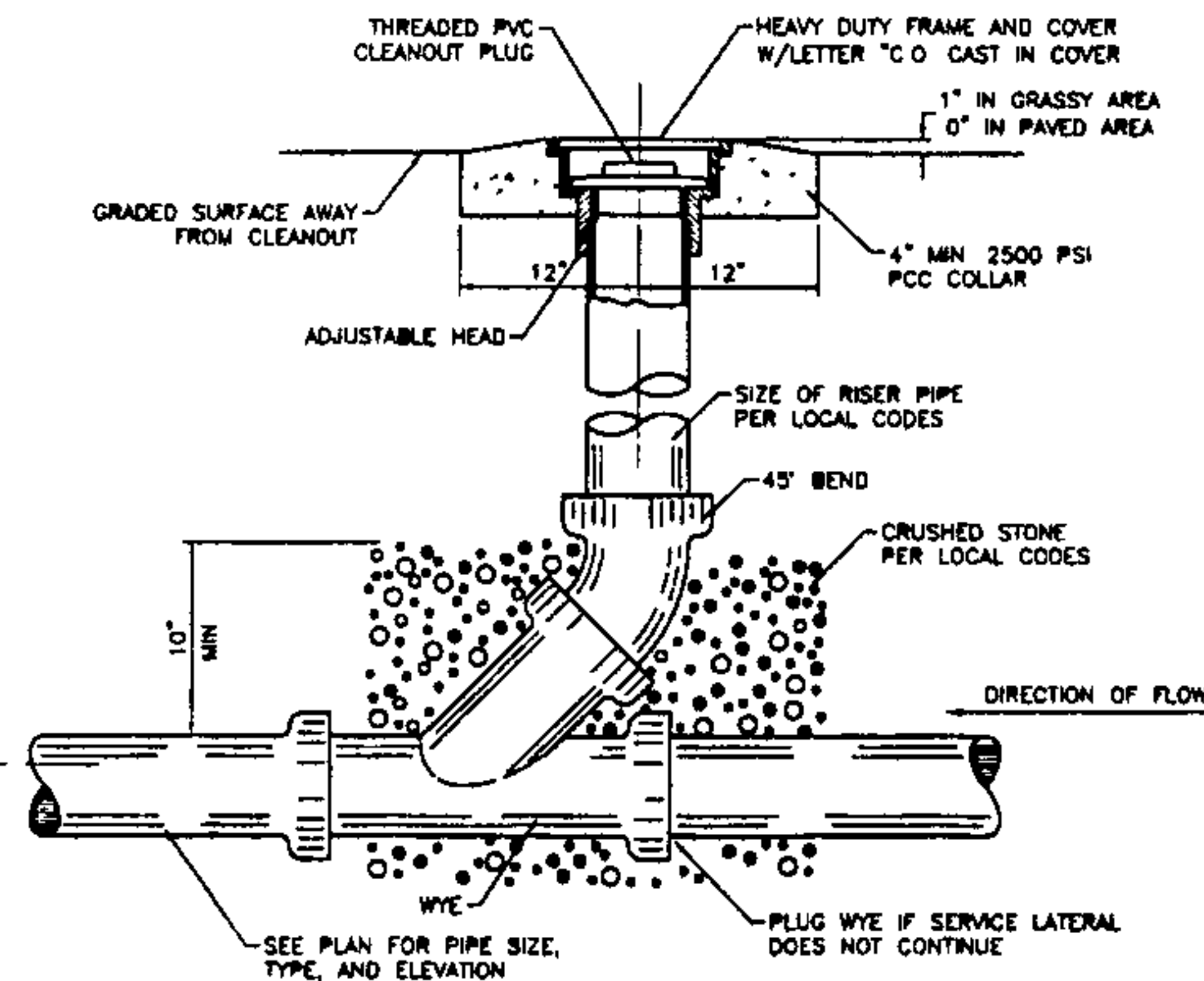
ENGINEER'S SEAL	HB	DRAWN BY WCUJ
		DATE 5-14-08
	<b>GRADING AND DRAINAGE PLAN</b>	SHEET # 3
	<i>Rio Grande Engineering</i>	JOB # 2910
DAVID SOULE P.E. #14522	1808 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 972-0000	

**NOTICE TO CONTRACTORS**

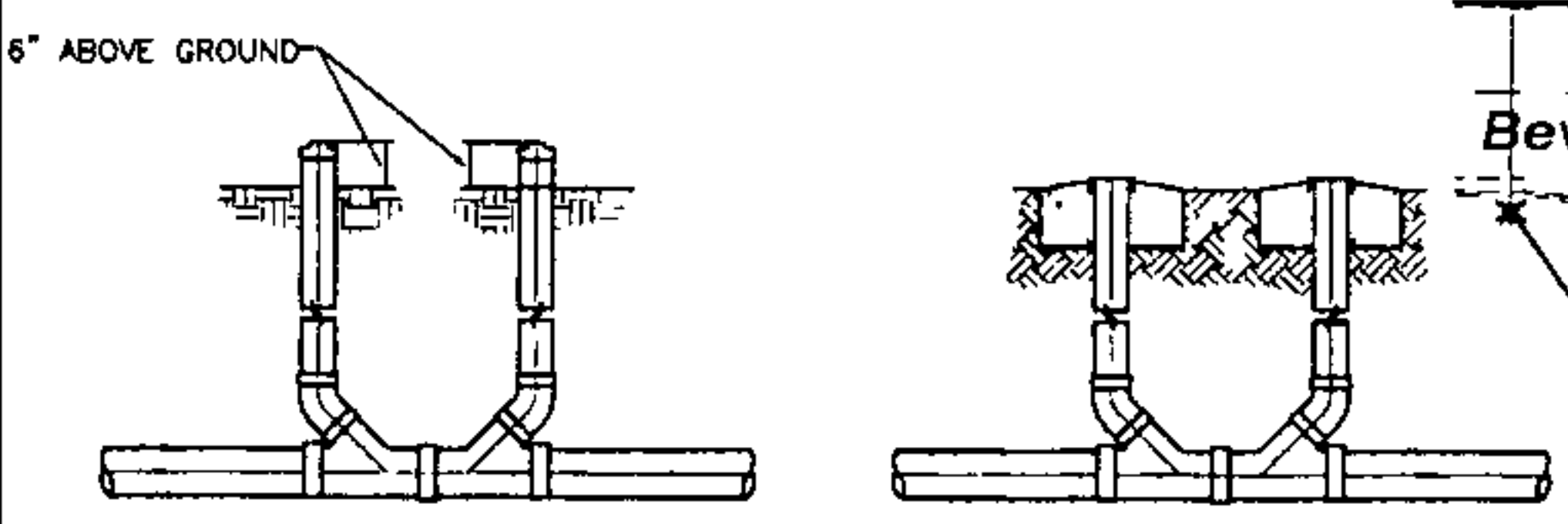
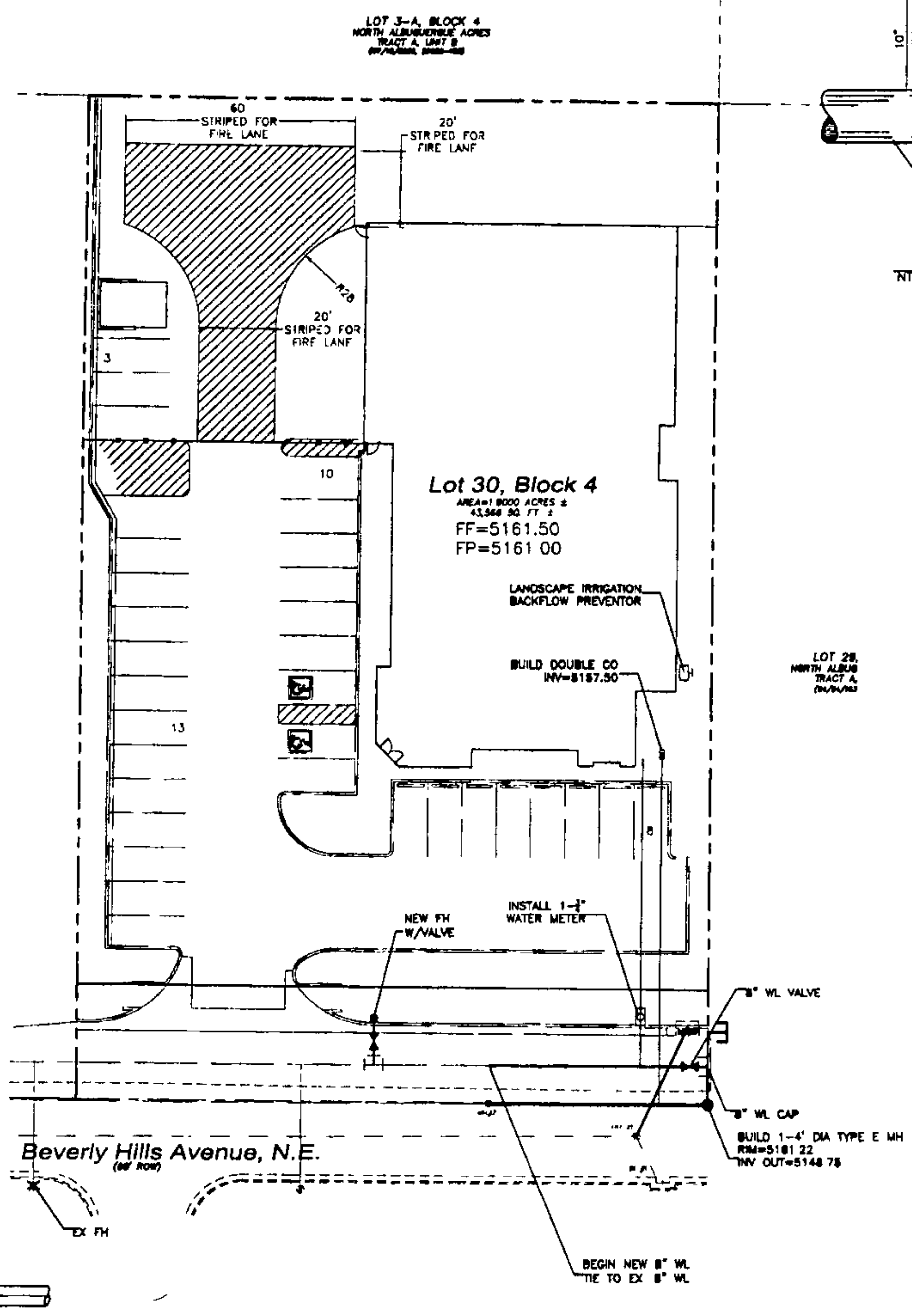
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 788-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 82-14-5 NMSA 1978.
9. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
10. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER, IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 82-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
11. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES FOR WHICH HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
12. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
13. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
14. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
15. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 82, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 82, ARTICLE 11 NMSA 1978.
16. CONTRACTOR SHALL NOTIFY NEW MEXICO UTILITIES 3 DAYS IN ADVANCE OF CONSTRUCTION.



**UTILITY TRENCH DETAIL**  
NTS



**SANITARY SEWER CLEAN-OUT**  
NTS



**SANITARY SEWER DOUBLE CLEAN-OUTS**  
NTS

**WATER SHUT-OFF PLAN** SHUTOFF VALVES

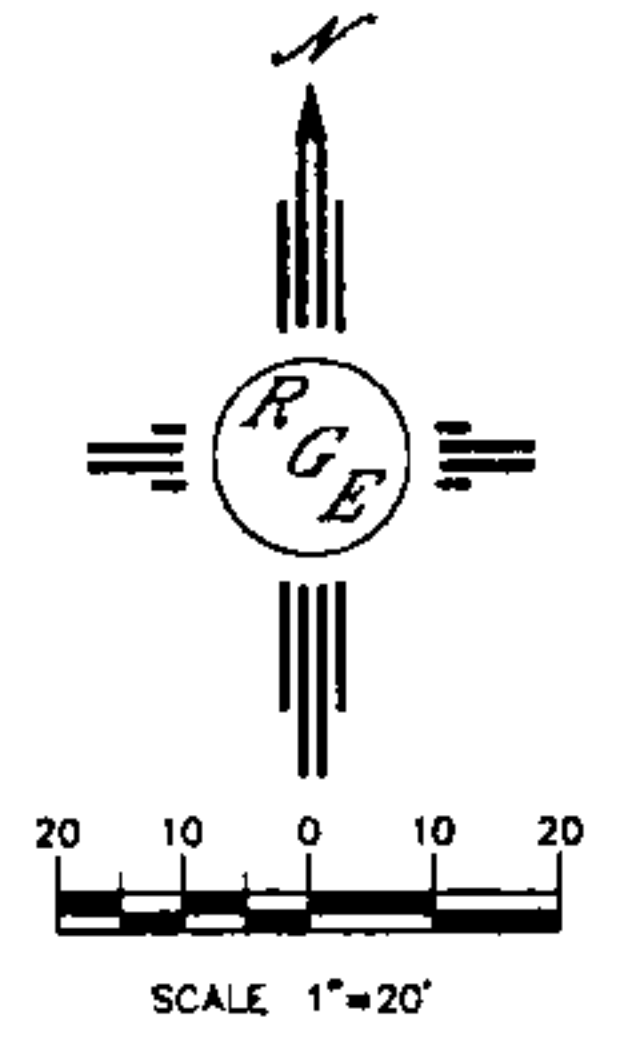
- NOTES
1. WATER SHUT-OFF SHALL BE COORDINATED WITH ARCWUA
  2. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES
  3. NOTIFY ARCWUA THREE(3) WORKING DAYS IN ADVANCE OF EXECUTION OF THE WATER SHUT-OFF PLAN
  4. ALL WATERLINES TO BE 3/4" COPPER, UNLESS OTHERWISE NOTED
  5. SHUT-OFF VALVES INDICATED IN THE ABOVE PLAN IN THE EVENT OF EMERGENCY

**LEGEND**

○	EXISTING SAS MANHOLE
---	EXISTING SANITARY SEWER LINE
●	PROPOSED SAS MANHOLE
○	PROPOSED SAS CLEANOUT
---	PROPOSED SANITARY SEWER LINE
---	SANITARY SEWER SERVICE LINE
---	EXISTING WATER LINE
□	PROPOSED METER
□	PROPOSED VALVE W/BOX
□	PROPOSED FIRE HYDRANT
---	WATER SERVICE LINE
---	PROPOSED WATER LINE
---	PROPOSED STORM SEWER LINE
---	EXISTING CURB & GUTTER
---	PROPOSED CURB & GUTTER
---	CENTERLINE
---	RIGHT-OF-WAY
---	DRY UTILITY TRENCH
---	BOUNDARY LINE
---	EASEMENT

- GENERAL NOTES**
1. 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED
  2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS
  3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS
  4. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320
  5. ALL PIPE MATERIAL TO BE USED PER UPC.

100% COMPLETE  
DATE 4/14/08

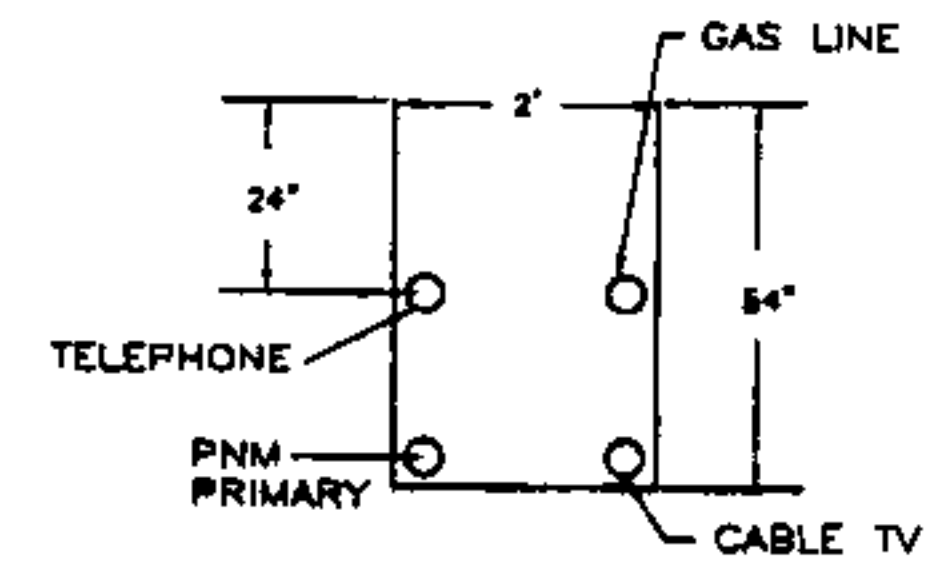


ENGINEER'S SEAL	HB	DRAWN BY WCVJ
	MASTER UTILITY PLAN	DATE 5-14-08
	<b>Rio Grande Engineering</b>	1010-UNIVERSITY-10-00
	1800 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87108 (505) 973-9999	SHEET # 4
DAVID SOLAR P.E. #14522		JOB # 2910

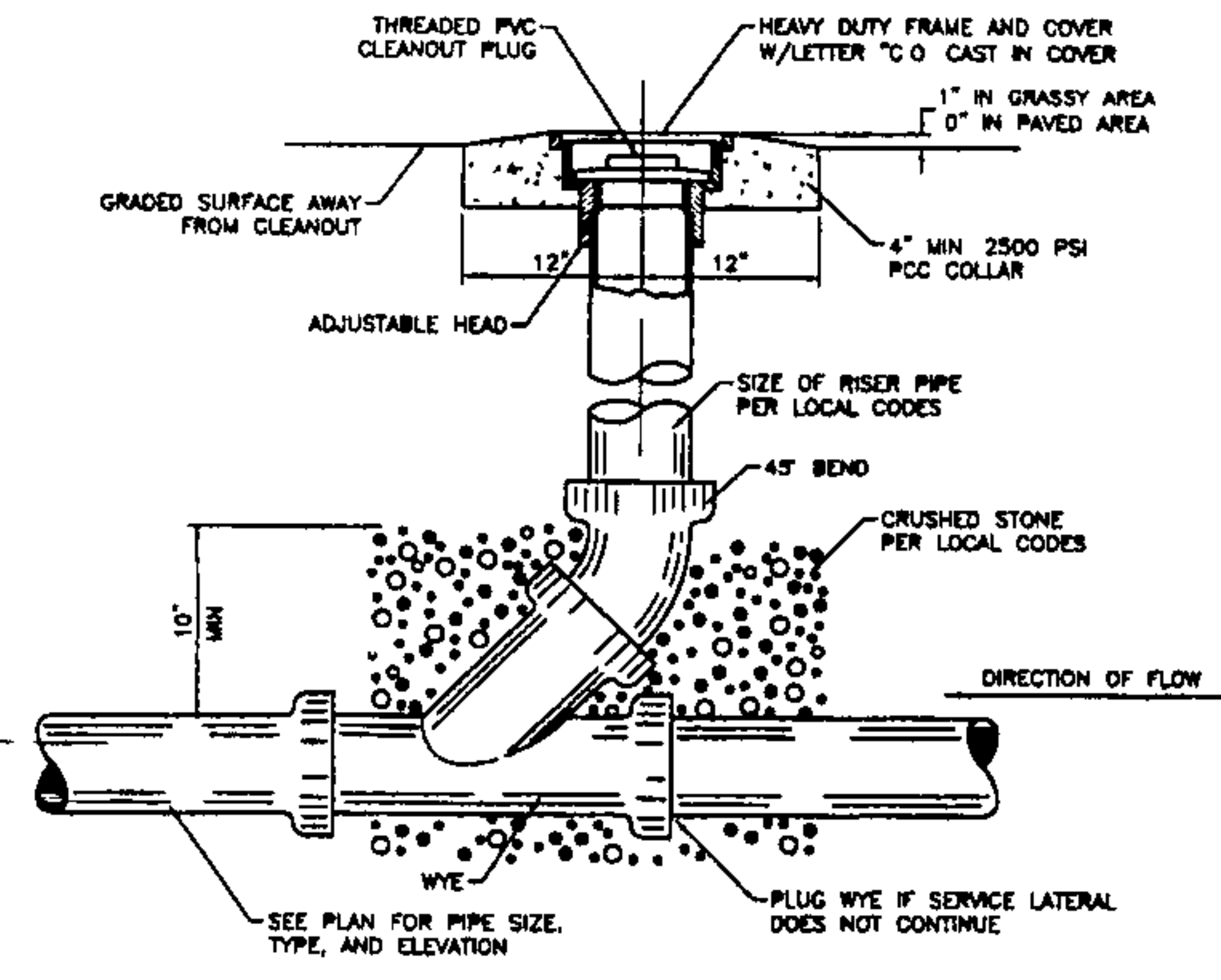


**NOTICE TO CONTRACTORS**

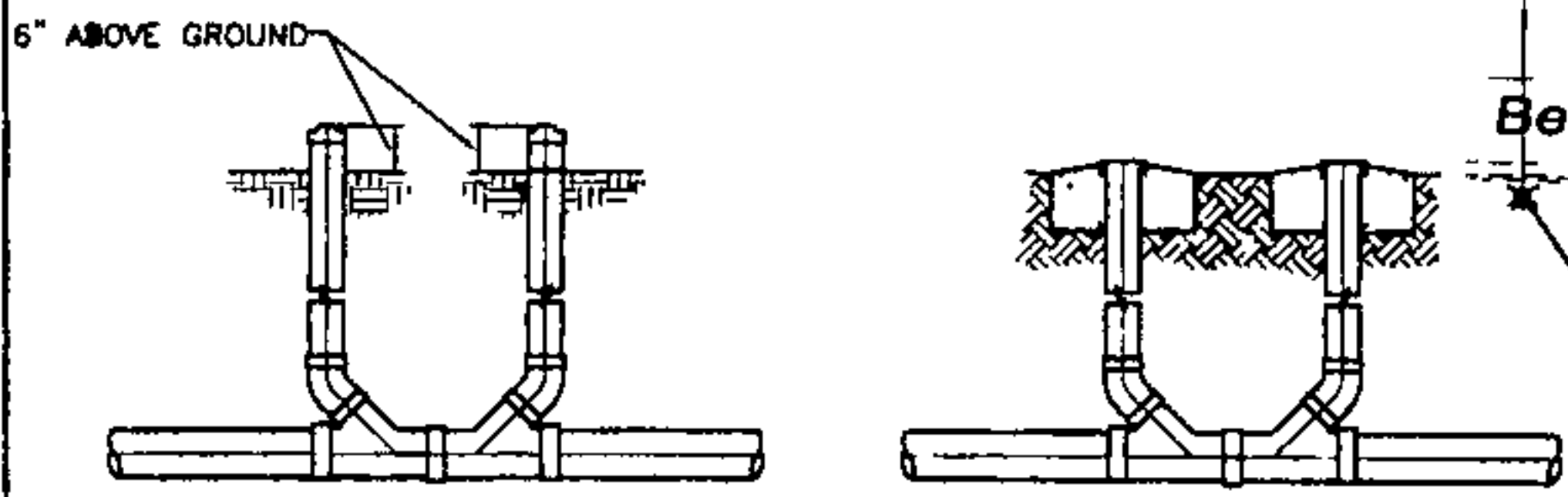
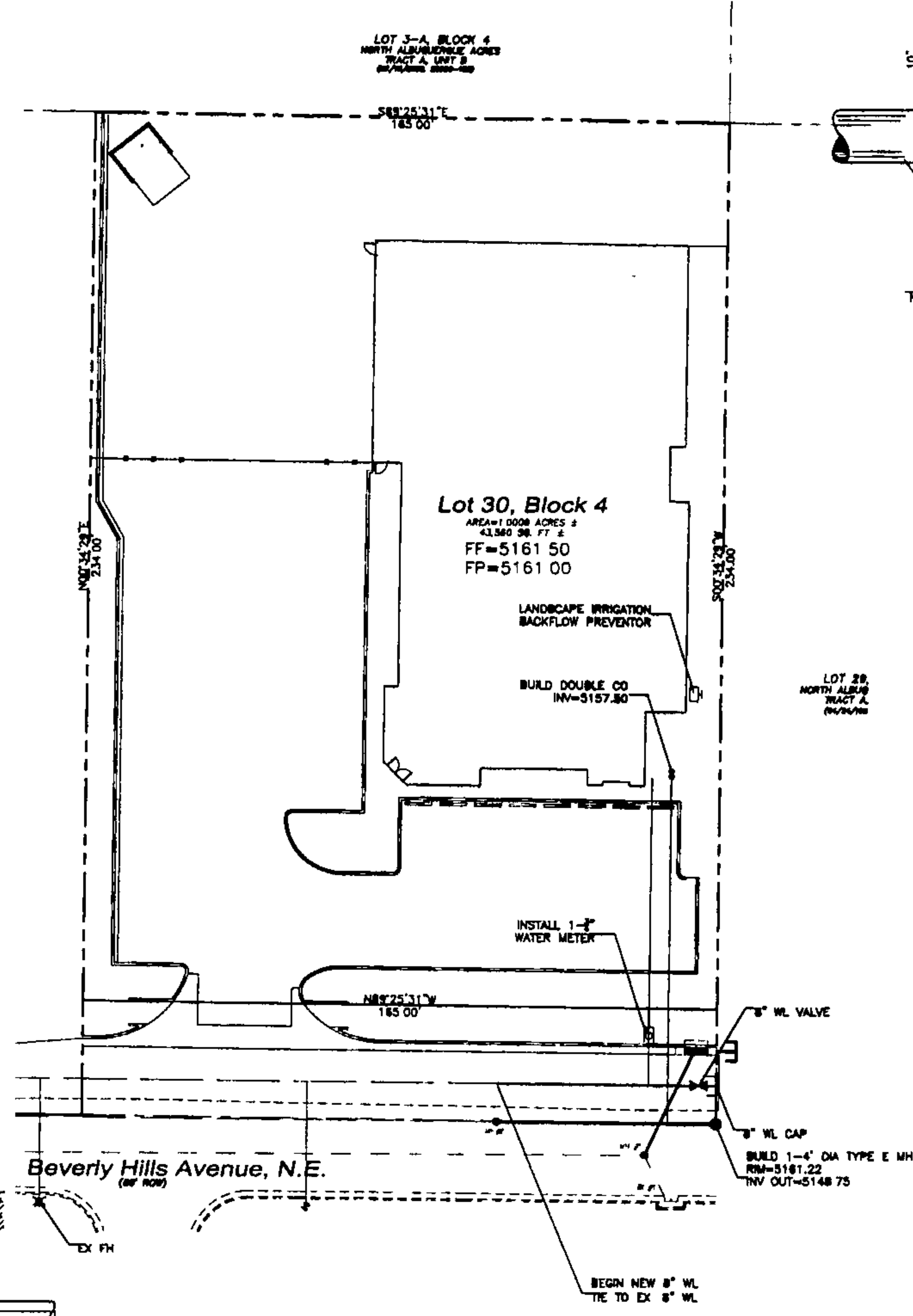
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 785-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 82-14-5 NMSA 1978.
9. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
10. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER; IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 82-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
11. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES FOR WHICH HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
12. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
13. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
14. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
15. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 82, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 82, ARTICLE 11 NMSA 1978.
16. CONTRACTOR SHALL NOTIFY NEW MEXICO UTILITIES 3 DAYS IN ADVANCE OF CONSTRUCTION.



**UTILITY TRENCH DETAIL**  
NTS



**SANITARY SEWER CLEAN-OUT**  
NTS



**SANITARY SEWER DOUBLE CLEAN-OUTS**  
NTS

**WATER SHUTOFF PLAN** SHUTOFF VALVES

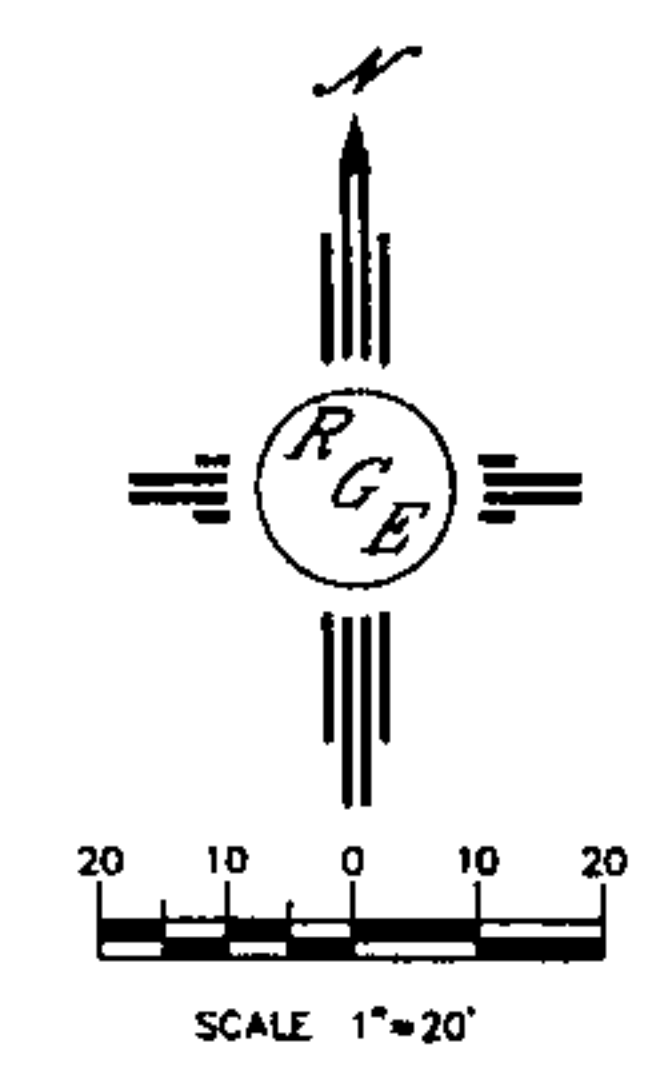
- NOTES
1. WATER SHUT-OFF SHALL BE COORDINATED WITH ABCWUA.
  2. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
  3. NOTIFY ABCWUA THREE(3) WORKING DAYS IN ADVANCE OF EXECUTION OF THE WATER SHUT-OFF PLAN.
  4. ALL WATERLINES TO BE 3/4" COPPER, UNLESS OTHERWISE NOTED.
  5. SHUT-OFF VALVES INDICATED IN THE ABOVE PLAN IN THE EVENT OF EMERGENCY.

**LEGEND**

○	EXISTING GAS MANHOLE
— — — — —	EXISTING 8" SAS
●	PROPOSED GAS MANHOLE
○	PROPOSED GAS CLEANOUT
— — — — —	PROPOSED 8" SAS
— — — — —	PROPOSED SANITARY SEWER LINE
— — — — —	SANITARY SEWER SERVICE LINE
— — — — —	EXISTING 12" WL
□	PROPOSED METER
⊗	PROPOSED VALVE W/BOX
⊕	PROPOSED FIRE HYDRANT
— — — — —	WATER SERVICE LINE
— — — — —	PROPOSED WATER LINE
— — — — —	PROPOSED STORM SEWER LINE
— — — — —	EXISTING CURB & GUTTER
— — — — —	PROPOSED CURB & GUTTER
— — — — —	CENTERLINE
— — — — —	RIGHT-OF-WAY
— — — — —	DRY UTILITY TRENCH
— — — — —	BOUNDARY LINE
— — — — —	EASEMENT

**GENERAL NOTES:**

1. 4" URETHANE BERRY REINFORCED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
4. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2330.
5. ALL PIPE MATERIAL TO BE USED PER U.P.C.



ENGINEER'S SEAL	HB	DRAWN BY WCKU
	<b>MASTER UTILITY PLAN</b>	DATE
		5-14-08
	<b>Poo Grande Engineering</b> 1808 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87104 (505) 875-0000	DATE
		5-14-08
DAVID SOULE P.E. #14522		SHEET #
		5
		JOB #
		2810