

N.T.S.

ZONE ATLAS  
B-18-Z

**Vicinity Map**

**SUBDIVISION DATA / NOTES**

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEYS.
2. BEARINGS ARE NEW MEXICO STATE PLANE (CENTRAL ZONE) GRID BASED ON THE USE OF GPS OBSERVATIONS AND THE USE OF STATION MONUMENT "1-25-11"
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. BEARINGS AND DISTANCES IN PARENTHESES ( ) ARE RECORD
6. GROSS ACREAGE: 1.0026
7. NUMBER OF EXISTING TRACTS/LOTS: 1
8. NUMBER OF TRACTS/LOTS CREATED: 0
9. ACREAGE OF ROAD DEDICATED IN FEE SIMPLE: 0.1135 ACRES
10. ZONING: IP
11. RECORDS USED:  
A. PLAT OF NORTH ALBUQUERQUE ACRES, D-2, FOLIO 130  
B. PLAT BOOK 2008C, FOLIO 155
12. CITY OF ALBUQUERQUE ZONE ATLAS PAGE: L-9-Z
13. UCLS LOG NUMBER: 2009433593
14. ALL CORNERS FOUND AND USED IN THIS SURVEY WERE TAGGED WITH A BRASS DISK STAMPED "JGI 8911" UNLESS OTHERWISE INDICATED.
15. ALL CORNERS THAT WERE SET ARE EITHER A 5/8" REBAR WITH PLASTIC CAP STAMPED "JGI 8911" OR A CONCRETE NAIL WITH A BRASS DISK STAMPED "JGI 8911".
16. FIELD SURVEY WERE PERFORMED IN THE MONTH OF SEPTEMBER 2009

No property within the area of this Plat shall at anytime be subjected to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of plat. The foregoing requirement shall be a condition of this plat

**PUBLIC UTILITY EASEMENTS**

- PUBLIC UTILITY EASEMENTS ON THE PLAT ARE THE COMMON JOINT USE OF
- A. PNM ELECTRICAL SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLE NECESSARY TO PROVIDE ELECTRICAL SERVICES
  - B. GAS SERVICE FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLE NECESSARY TO PROVIDE NATURAL GAS
  - C. QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES NECESSARY TO PROVIDE COMMUNICATIONS SERVICE, INCLUDED BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
  - D. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLE TO PROVIDE CABLE TV SERVICE

INCLUDE THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, OPERATE AND MAINTAIN FACILITIES FOR THE PURPOSE DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND THE PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS, BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL, (ABOVE GROUND OR SUB-SURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING OR OTHER SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE RESPONSIBLE FOR CORRECTING AND VIOLATIONS OF NATIONAL ELECTRIC SAFETY CODE CAUSED BY THE CONSTRUCTION OF POOLS, DECKING, OR AND STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

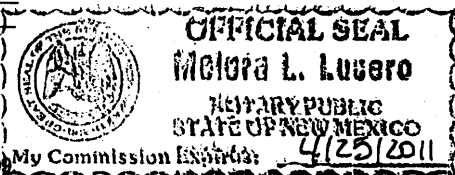
**DESCRIPTION**

LOT NUMBERED 30 IN BLOCK NUMBERED 4, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 24, 1936, IN VOLUME D, FOLIO 130 AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:  
BEGINNING AT THE NORTHEAST CORNER OF THE TRACT HEREIN DESCRIBED, WHENCE FOR A TIE TO THE CONTROL MONUMENT "1-25-11" BEARS S82°16'48"E, 1849.68 FEET DISTANCE; THENCE, S00°18'33"W, 264.72 FEET DISTANCE TO THE SOUTHWEST CORNER OF THE TRACT HEREIN DESCRIBED; THENCE, N89°49'17"W, 164.86 FEET DISTANCE TO THE SOUTHWEST CORNER OF THE TRACT HEREIN DESCRIBED; THENCE, N00°17'13"E, 264.96 FEET DISTANCE TO THE NORTHWEST CORNER OF THE TRACT HEREIN DESCRIBED; THENCE, S89°44'21"E, 164.96 FEET DISTANCE TO THE NORTHEAST CORNER AND PLACE OF BEGINNING AND CONTAINING 1.0026 ACRES, MORE OR LESS.

**FREE CONSENT**

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND DO HEREBY REPRESENT THAT THE UNDERSIGNED INDIVIDUALS ARE AUTHORIZED TO SO AND DO HEREBY DEDICATE STREET RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

OWNER(S) SIGNATURE: *Adam B. Harrington* DATE: 10-21-09  
 OWNER(S) PRINT NAME: Adam Harrington  
 ADDRESS: 3400 Via de Alameda, Alh. on 87113 TRACT:  
 ACKNOWLEDGMENT STATE OF NEW MEXICO )  
 ) SS  
 COUNTY OF BERNALILLO )  
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 21st DAY OF October, 2009  
 By: *Adam B. Harrington*  
 MY COMMISSION EXPIRES: 11-23-11



*Melora L. Luero*  
NOTARY PUBLIC

**PLAT OF**  
**LOT 30-A, BLOCK 4, TRACT A, UNIT B**  
**NORTH ALBUQUERQUE ACRES**  
 PROJ. SEC. 12, T.11N., R.3E., N.M.P.M.  
 ELENA GALLEGOS LAND GRANT  
 ALBUQUERQUE, NEW MEXICO  
 OCTOBER 2009

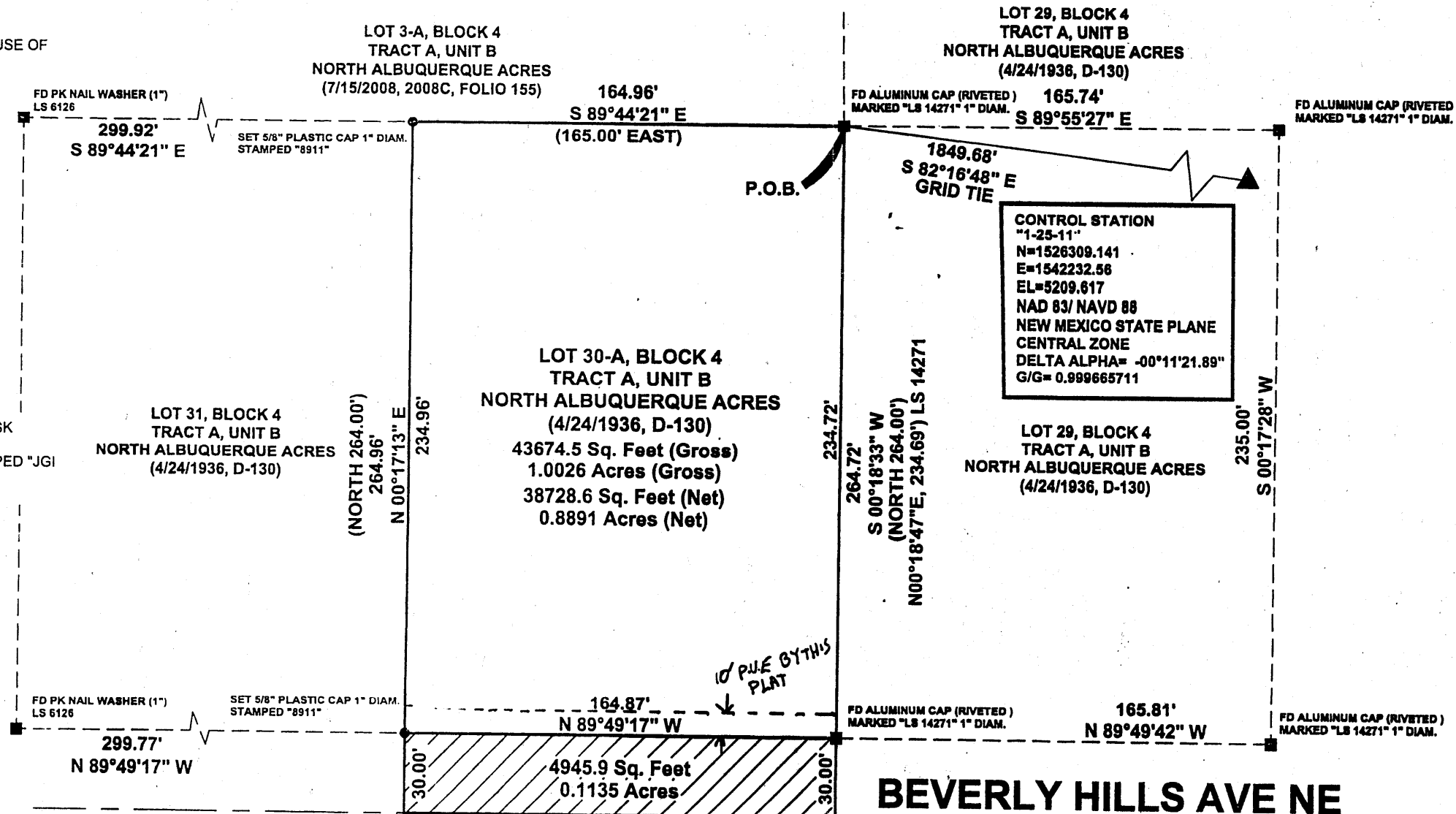
**DISCLOSURE STATEMENT**

THE PURPOSE OF THIS PLAT IS TO DEDICATE RIGHT OF WAY IN FEE SIMPLE TITLE TO THE CITY OF ALBUQUERQUE BY THIS PLAT.

PROJECT NUMBER: 1007948  
 APPLICATION NUMBER: 09DRB-70337

**UTILITY APPROVALS:**

QUEST	DATE
<i>Adriana Ramirez</i>	11/09/09
<i>Robert Martin</i>	11-11-09
<i>Fernando Viera</i>	11/9/09
<i>M-J</i>	11/2/2009
<i>John B. Hart</i>	10-22-09
<i>John B. Hart</i>	11-04-09
<i>John B. Hart</i>	11-4-09
<i>Christina Sandomal</i>	11/4/09
<i>Bradley J. Bingham</i>	11/4/09
<i>Bradley J. Bingham</i>	11/4/09
<i>John C. ...</i>	11/13/09



**Disclaimers:**  
 IN APPROVING THIS PLAT, PNM AND NM GAS CO. DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN. CONSEQUENTLY, PNM & NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REGULATOR OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT

THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LAND FILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTIES IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE INTERIM GUIDELINES FOR DEVELOPMENT WITHIN CITY DESIGNATED LANDFILL BUFFER ZONES) SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

**SURVEYORS CERTIFICATION**

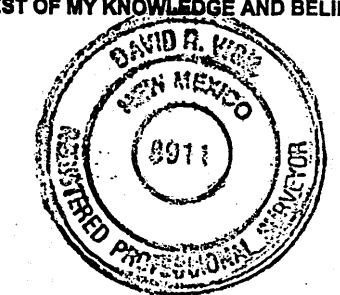
I, DAVID R. VIGIL, A REGISTERED PROFESSIONAL NEW MEXICO SURVEYOR, CERTIFY THAT I AM RESPONSIBLE FOR THIS SURVEY AND THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, SHOWS ALL EASEMENTS OF RECORD, AND CONFORMS TO THE MINIMUM REQUIREMENTS OF THE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS CONTAINED IN THE SUBDIVISION ORDINANCE OF THE CITY OF ALBUQUERQUE, AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DAVID R. VIGIL  
 NEW MEXICO PROFESSIONAL SURVEYOR 8911  
 DATE: 10/22/09

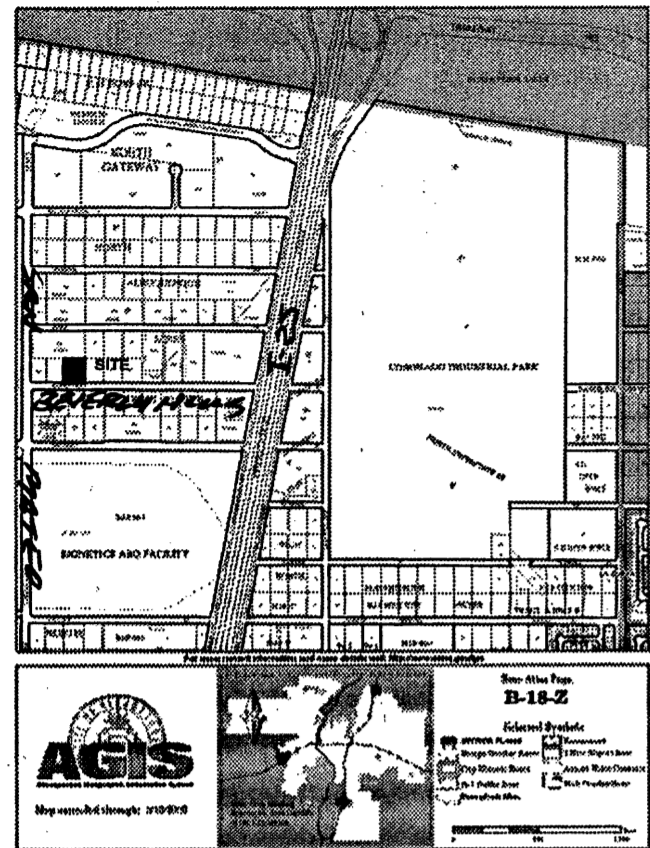
**TREASURERS CERTIFICATION**

THIS IS TO CERTIFY THAT TAXES ARE CURRENT ON THE FOLLOWING PROPERTY  
 UPC#S: 10180250122230903  
 HARRINGTON REAL ESTATE LLC  
 PNM STAMP  
 IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE AND EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

DOCN 2009127114  
 11/19/2009 10:07 AM Page: 1 of 1  
 PLAT R: 57.00 B: 2009C P: 0168 M: Toulous Olivera, Bernalillo Count



GEO-SURVCO, INC  
 8201 GOLF COURSE RD NW, STE D-3, PB 324  
 ALBUQUERQUE, NEW MEXICO 87114  
 505-975-4567  
 FAX 505-717-1760



Vicinity Map

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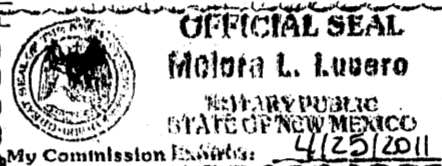
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 ADDRESS: 3400 Vista Alegre, Alameda, NM 87113 TRACT:  
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 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 21st DAY OF October, 2009 My Commission Expires: 4/23/2011  
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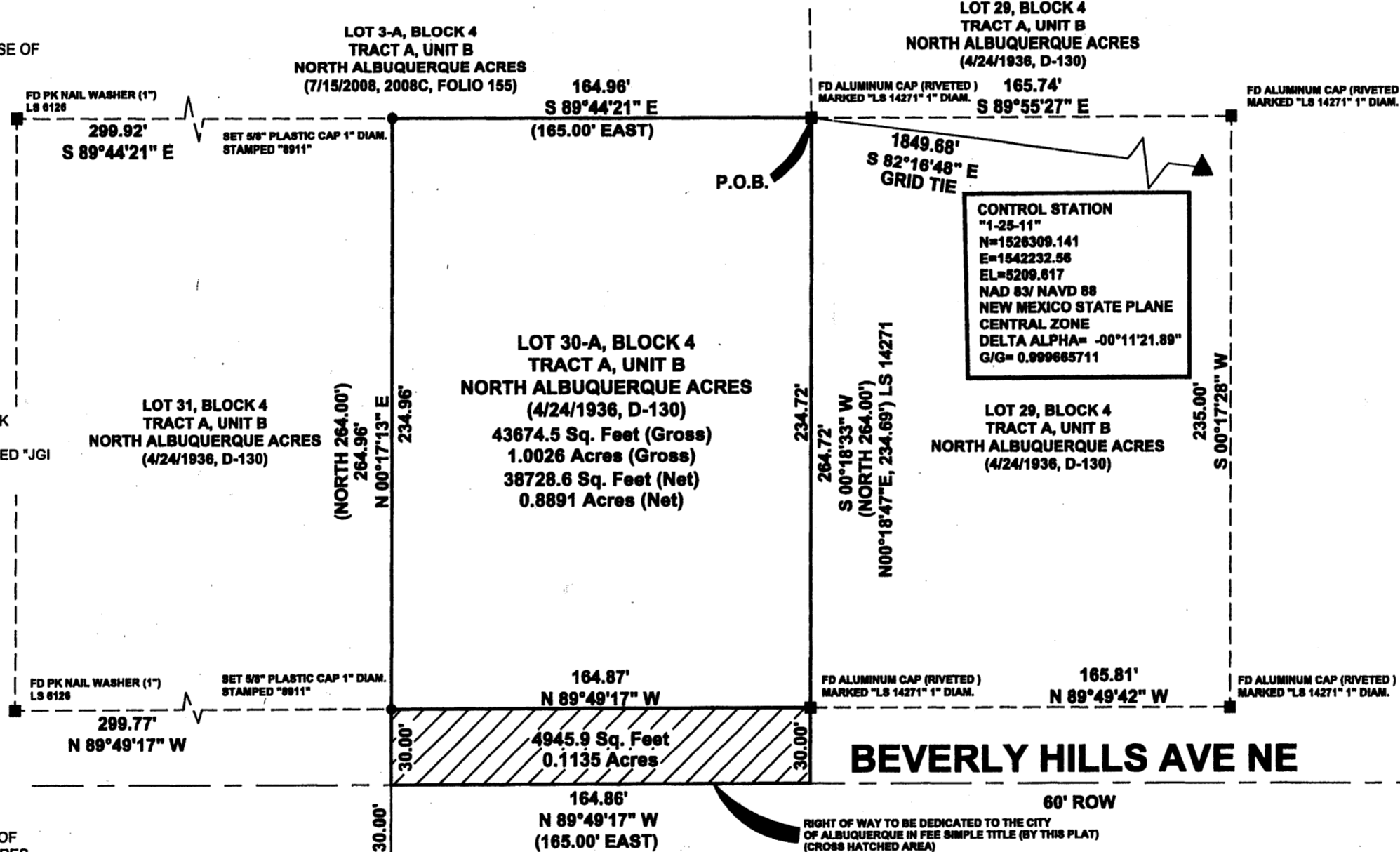


PLAT OF  
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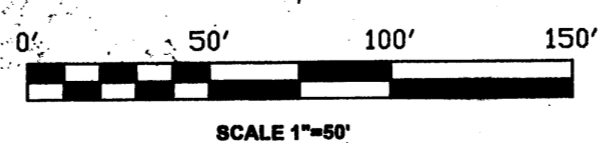
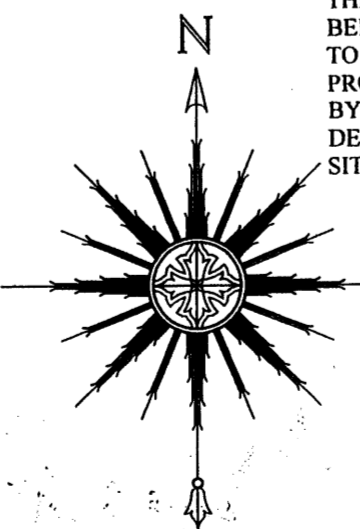
PROJECT NUMBER:	
APPLICATION NUMBER:	
UTILITY APPROVALS:	
QWEST	DATE
COMCAST CABLE	DATE
PNM ELECTRICAL	DATE
NEW MEXICO GAS COMPANY	DATE
CITY ENGINEER:	DATE
<i>David R. Vigil</i>	10-22-09
CITY SURVEYOR	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
A.M.A.F.C.A.	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
EMD	DATE
ABCWUA	DATE



BEVERLY HILLS AVE NE

60' ROW  
 RIGHT OF WAY TO BE DEDICATED TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE TITLE (BY THIS PLAT) (CROSS HATCHED AREA)

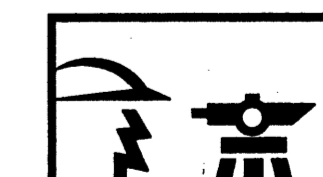
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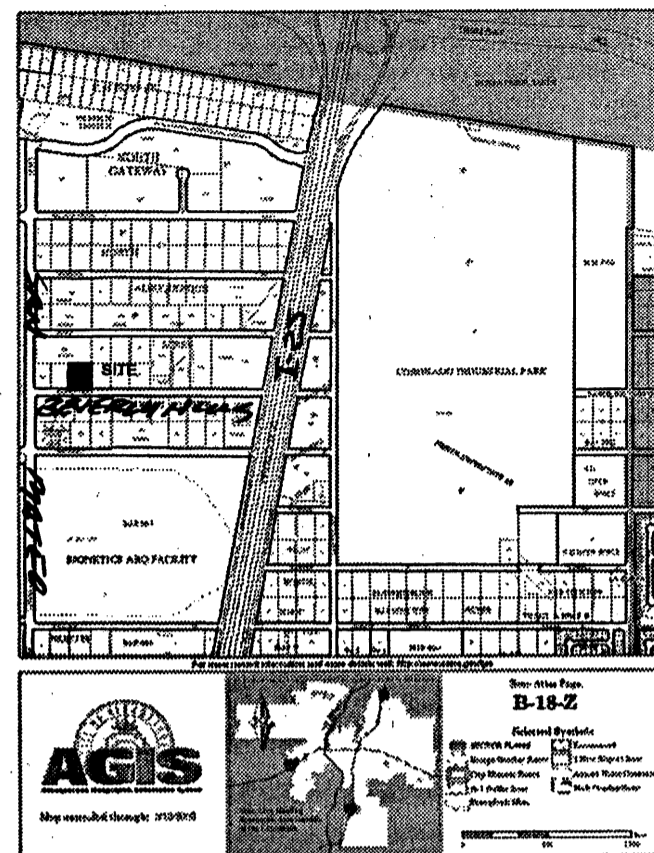
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*David R. Vigil*  
 DAVID R VIGIL  
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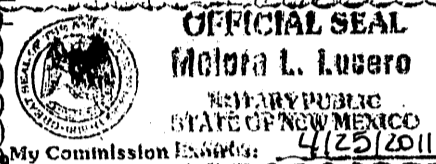
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 OWNER(S) PRINT NAME: Adam B. Harrington TRACT:  
 ADDRESS: 3400 Via La Alameda, Alameda, NM 87113  
 ACKNOWLEDGMENT  
 COUNTY OF NEW MEXICO )  
 STATE OF BERNALILLO )  
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 21<sup>ST</sup> DAY OF October, 2009  
 BY: Adam B. Harrington  
 MY COMMISSION EXPIRES: 4/25/2011



*Gloria L. Lusero*  
 NOTARY PUBLIC

PLAT OF  
 LOT 30-A, BLOCK 4, TRACT A, UNIT B  
 NORTH ALBUQUERQUE ACRES  
 PROJ. SEC. 12, T.11N., R.3E., N.M.P.M.  
 ELENA GALLEGOS LAND GRANT  
 ALBUQUERQUE, NEW MEXICO  
 OCTOBER 2009

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO DEDICATE RIGHT OF WAY IN FEE SIMPLE TITLE TO THE CITY OF ALBUQUERQUE BY THIS PLAT.

PROJECT NUMBER: \_\_\_\_\_  
 APPLICATION NUMBER: \_\_\_\_\_

UTILITY APPROVALS:

QWEST	DATE
COMCAST CABLE	DATE
PNM ELECTRICAL	DATE
NEW MEXICO GAS COMPANY	DATE
CITY SURVEYOR: <i>David R. Vigil</i>	DATE: 10-22-09
CITY ENGINEER	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
A.M.A.F.C.A.	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
EPD	DATE
ABCWUA	DATE

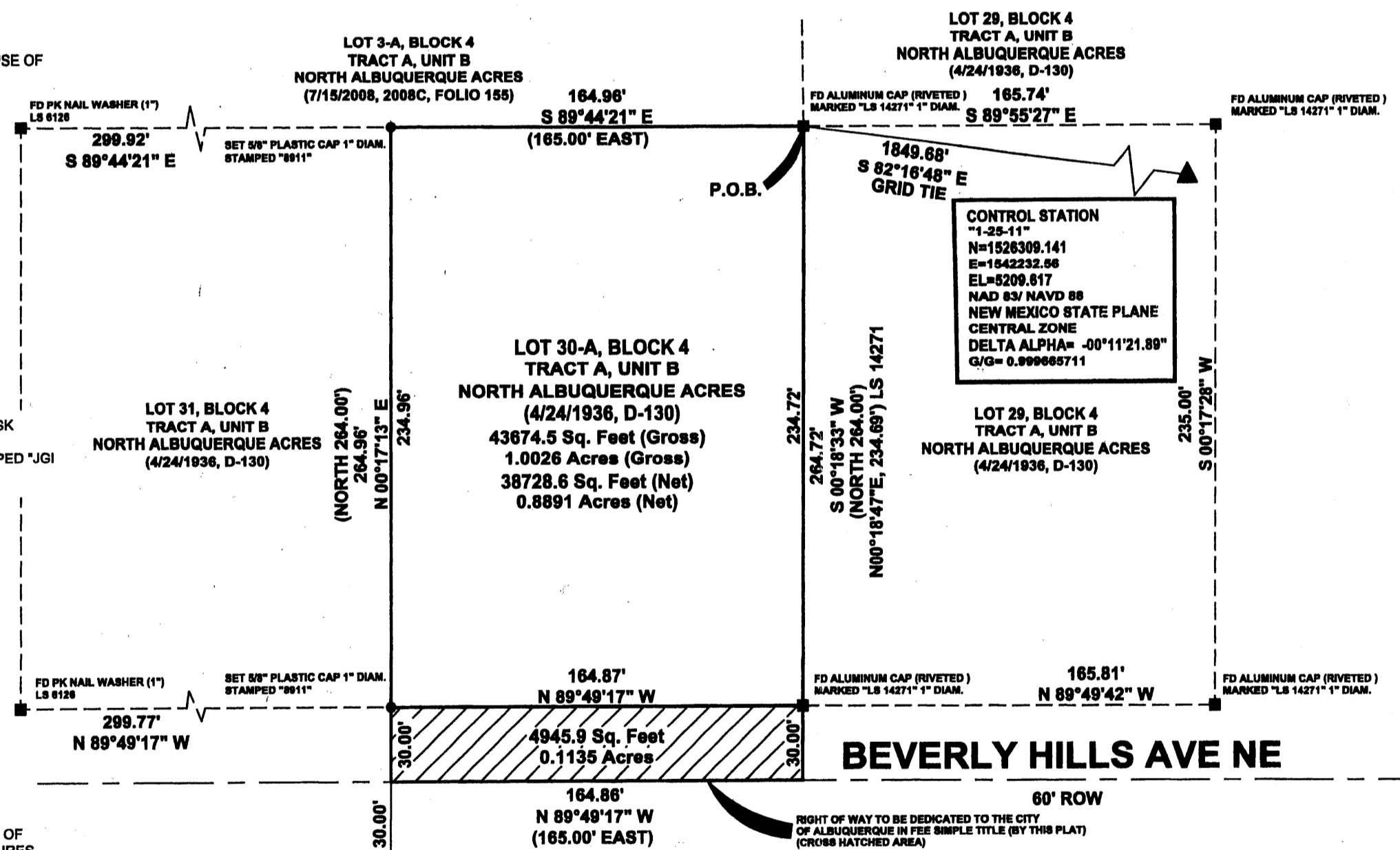
TREASURERS CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURENT ON THE FOLLOWING PROPERTY

UPC#S: \_\_\_\_\_

PNM STAMP

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE AND EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.



PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS ON THE PLAT ARE THE COMMON JOINT USE OF

- A. PNM ELECTRICAL SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLE NECESSARY TO PROVIDE ELECTRICAL SERVICES
- B. PNM GAS SERVICES FOR INSTALLATION MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS
- C. QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES NECESSARY TO PROVIDE COMMUNICATIONS SERVICE, INCLUDED BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- D. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLE TO PROVIDE CABLE TV SERVICE

INCLUDE THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, OPERATE AND MAINTAIN FACILITIES FOR THE PURPOSE DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND THE PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS, BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL, (ABOVE GROUND OR SUB-SURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING OR OTHER SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE RESPONSIBLE FOR CORRECTING AND VIOLATIONS OF NATIONAL ELECTRIC SAFETY CODE CAUSED BY THE CONSTRUCTION OF POOLS, DECKING, OR AND STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

DESCRIPTION

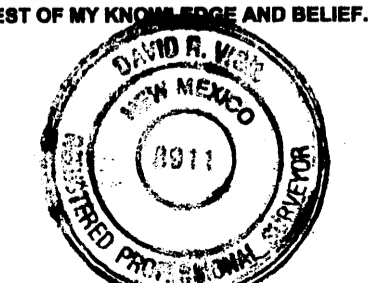
LOT NUMBERED 30 IN BLOCK NUMBERED 4, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 24, 1936, IN VOLUME D, FOLIO 130 AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE TRACT HEREIN DESCRIBED, WHENCE FOR A TIE TO THE CONTROL MONUMENT "1-25-11" BEARS S82°16'48"E, 1849.68 FEET DISTANCE; THENCE, S00°18'33"W, 264.72 FEET DISTANCE TO THE SOUTHWEST CORNER OF THE TRACT HEREIN DESCRIBED; THENCE, N89°49'17"W, 164.86 FEET DISTANCE TO THE SOUTHWEST CORNER OF THE TRACT HEREIN DESCRIBED; THENCE, N00°17'13"E, 264.96 FEET DISTANCE TO THE NORTHWEST CORNER OF THE TRACT HEREIN DESCRIBED; THENCE, S89°44'21"E, 164.96 FEET DISTANCE TO THE NORTHEAST CORNER AND PLACE OF BEGINNING AND CONTAINING 1.0026 ACRES, MORE OR LESS.

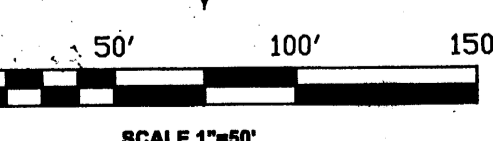
FREE CONSENT

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND DO HEREBY REPRESENT THAT THE UNDERSIGNED INDIVIDUALS ARE AUTHORIZED TO DO AND DO HEREBY DEDICATE STREET RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

OWNER(S) SIGNATURE: *David R. Vigil* DATE: 10/22/09  
 OWNER(S) PRINT NAME: David R. Vigil TRACT:  
 ADDRESS: 3400 Via La Alameda, Alameda, NM 87113  
 ACKNOWLEDGMENT  
 COUNTY OF NEW MEXICO )  
 STATE OF BERNALILLO )  
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 21<sup>ST</sup> DAY OF October, 2009  
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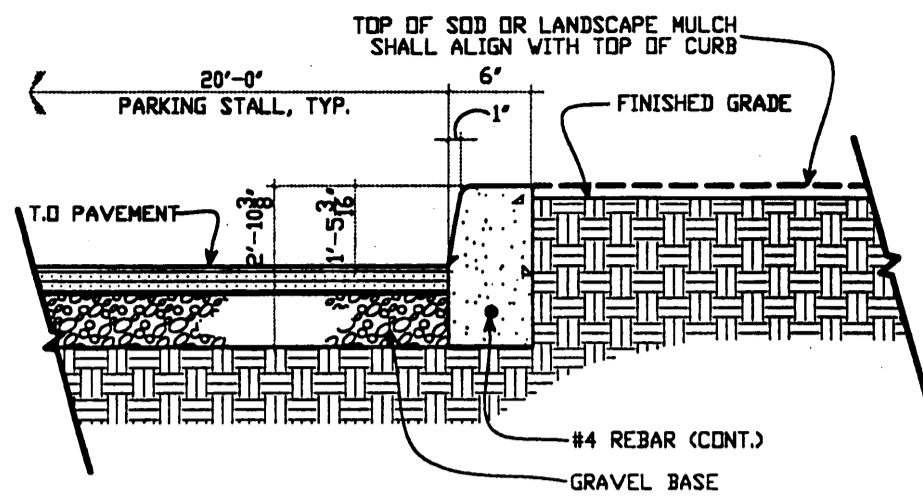
*David R. Vigil*  
 NOTARY PUBLIC



GEO-SURVCO, INC  
 8201 GOLF COURSE RD NW, STE D-3, PB 324  
 ALBUQUERQUE, NEW MEXICO 87114  
 505-975-4567  
 FAX 505-717-1760

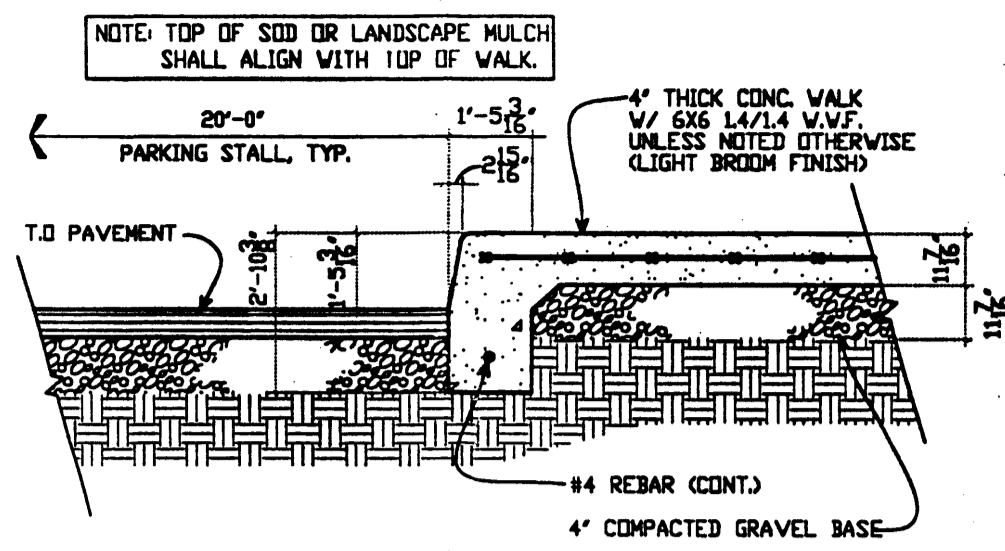
HEADER CURB DETAIL

NTS



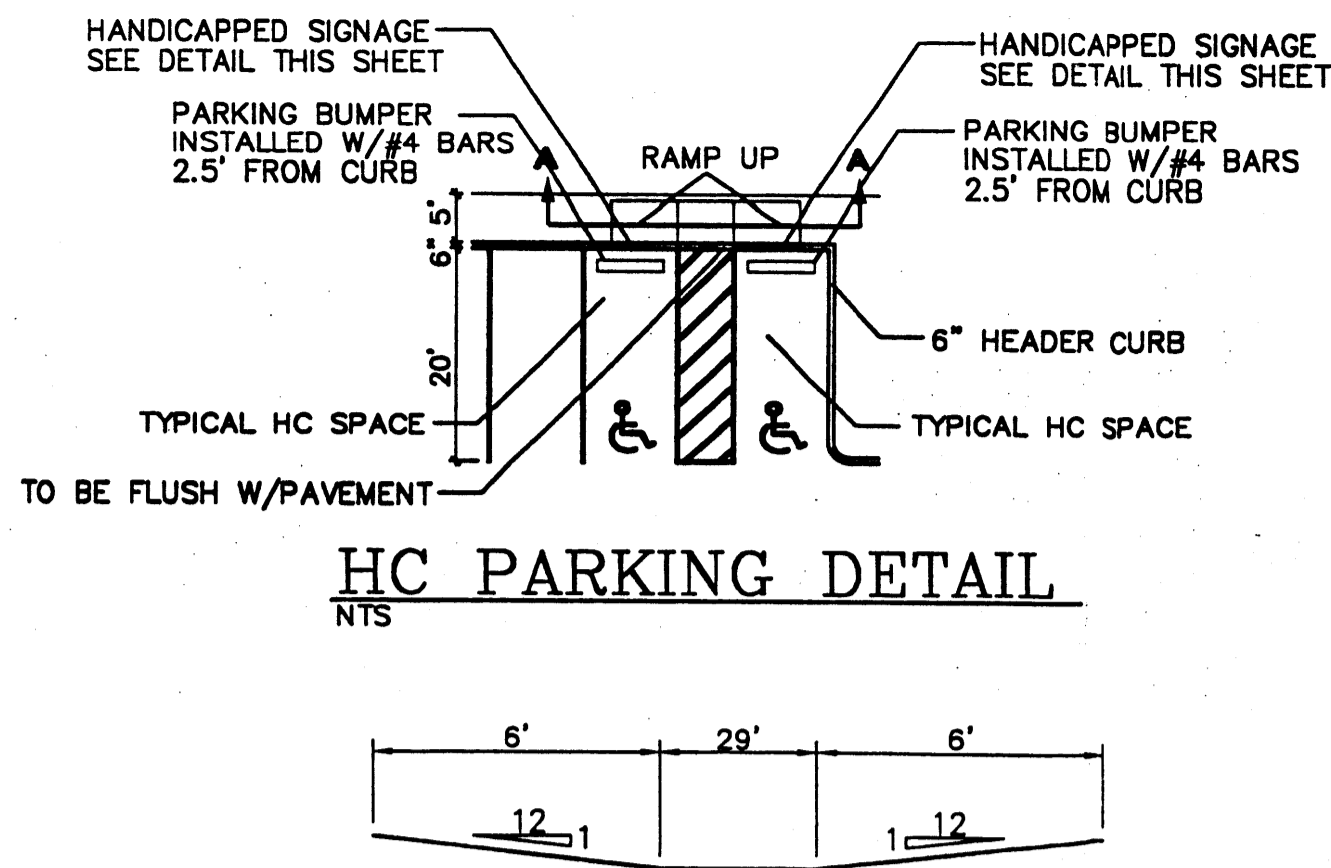
SIDEWALK/CURB DETAIL

NTS



HC PARKING DETAIL SECTION A-A

NTS



SHEET INDEX

1. SITE PLAN FOR BUILDING PERMIT
2. LANDSCAPE PLAN
3. GRADING AND DRAINAGE PLAN
4. ELEVATIONS
5. MASTER UTILITY PLAN

PROJECT NUMBER: 1007948

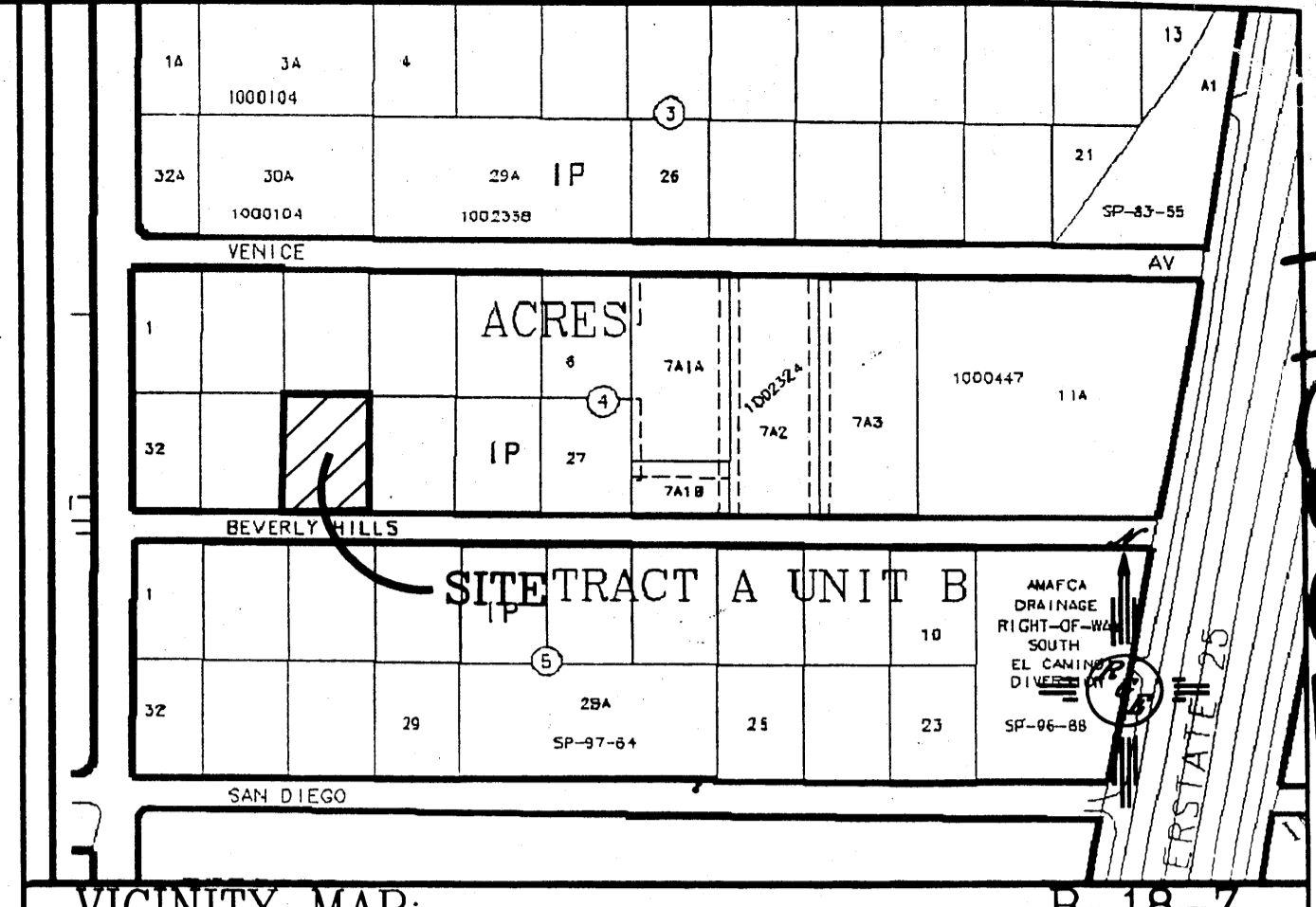
APPLICATION NUMBER:

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated [redacted] and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i> Traffic Engineer, Transportation Division	09/23/09 Date
<i>[Signature]</i> Utilities Development	9-23-09 Date
<i>[Signature]</i> Christina Sandoval Parks & Recreation Department	9/23/09 Date
<i>[Signature]</i> Bradley L. B./h City Engineer	11/13/09 Date
<i>[Signature]</i> Environmental Health Department (conditional)	9/23/09 Date
<i>[Signature]</i> Solid Waste Management	11/17/09 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	11/8/09 Date



VICINITY MAP: B-18-Z

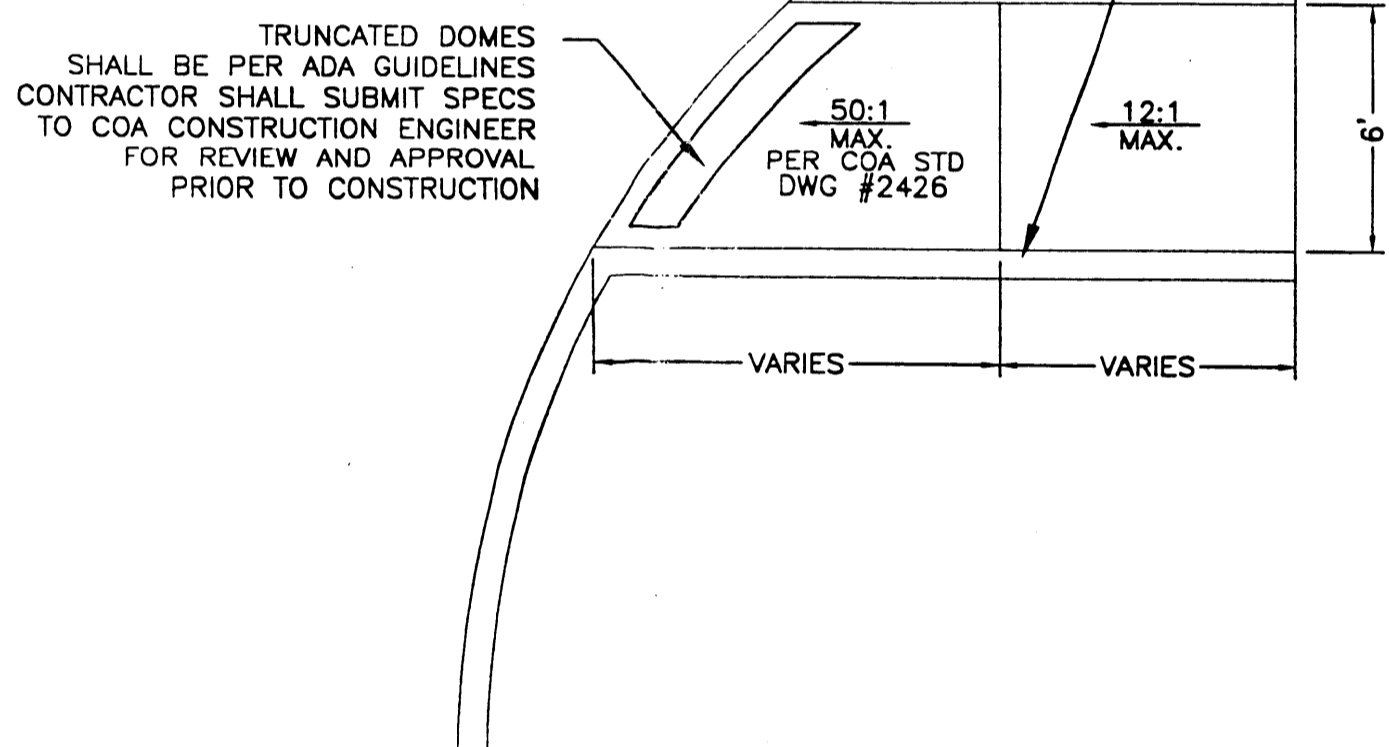
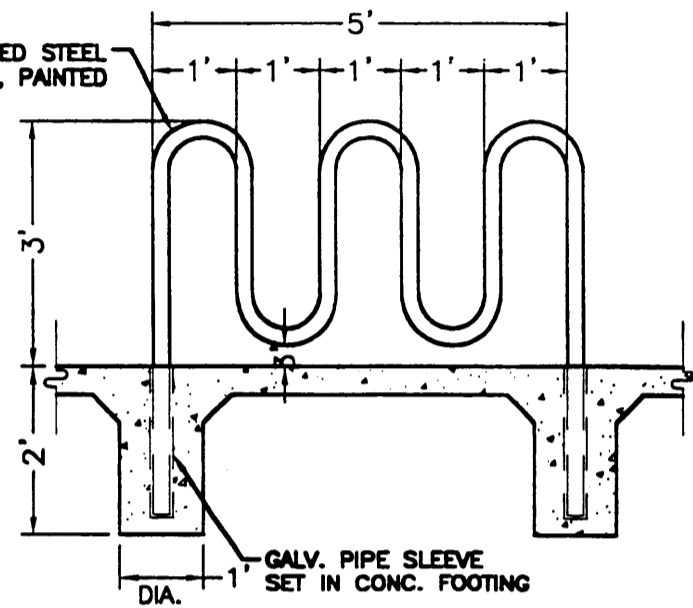
LEGAL DESCRIPTION:  
Lot 30, Block 4 North Albuquerque Acres, Tract A, Unit B

NOTES:

1. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
2. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS.
3. ALL WHEELCHAIR RAMPS SHALL BE BUILT PER COA STD DWG. #2441.
4. HVAC EQUIPMENT ON THE ROOF SHALL BE SCREENED BY EXTERIOR SCREEN WALL.
5. NO OFF PREMISE OR POLE MOUNTED SIGNAGE SHALL BE ALLOWED.
6. ALL WIRELESS TELECOMMUNICATION FACILITIES SHALL BE CONCEALED AND ARCHITECTURALLY INTEGRATED WITH THE SITE AND SURROUNDING AREA.
7. VINYL COATED, PLASTIC REFLECTIVE TYPE AWNINGS, FASCIA, BUILDING PANELS, SIGN RACEWAYS OR ROOFS SHALL NOT BE PERMITTED.
8. FREE STANDING LIGHTING SHALL INCLUDE UNIFORM 20' HIGH POLES WITH FULLY SHIELDED FIXTURES. ALL FIXTURES SHOULD BE HORIZONTALLY-MOUNTED LENSES SHOULD NOT PROJECT BELOW THE HOUSING. LIGHTING LEVELS MUST CONFORM TO ZONING CODE LIMITATIONS.
9. MAXIMUM BUILDING HEIGHT SHALL BE 26'.

BIKE RACK DETAIL

NTS

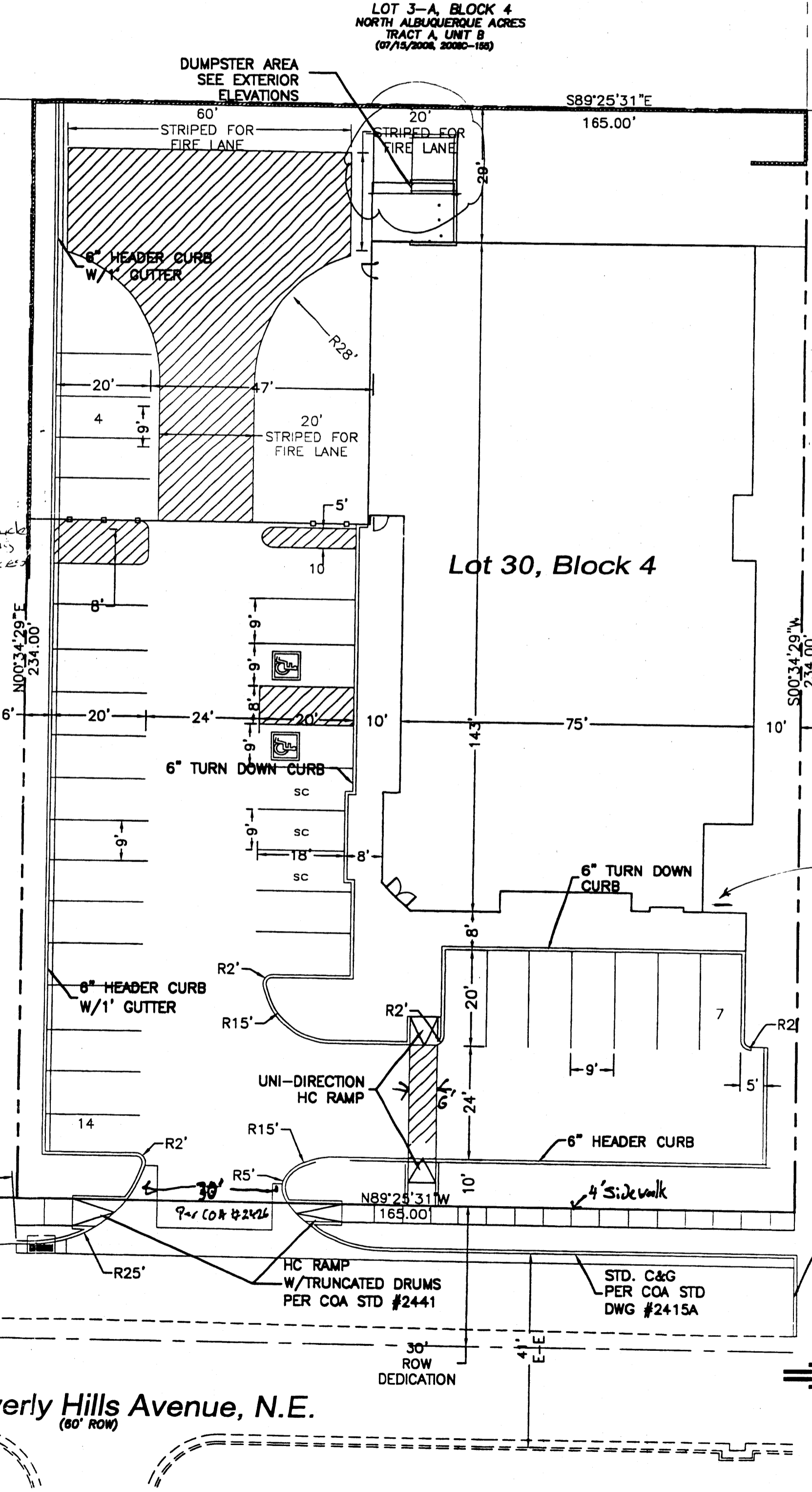
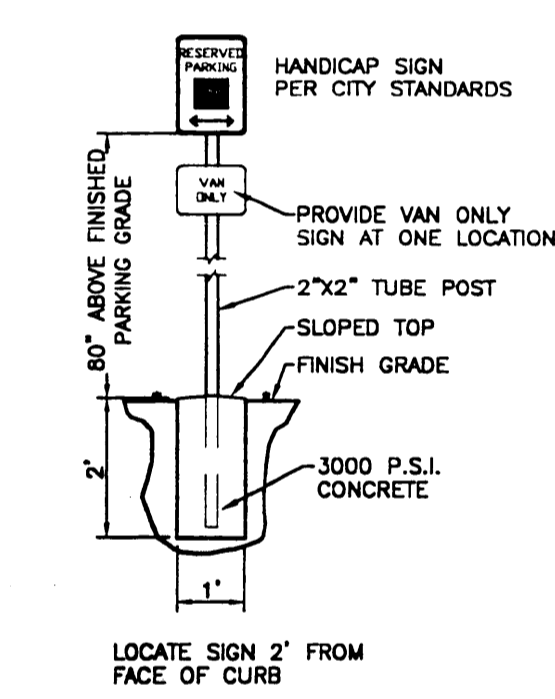


UNI-DIRECTIONAL WHEELCHAIR RAMP DETAIL (TYP.)

NTS

HANDICAP SIGN DETAIL

NTS

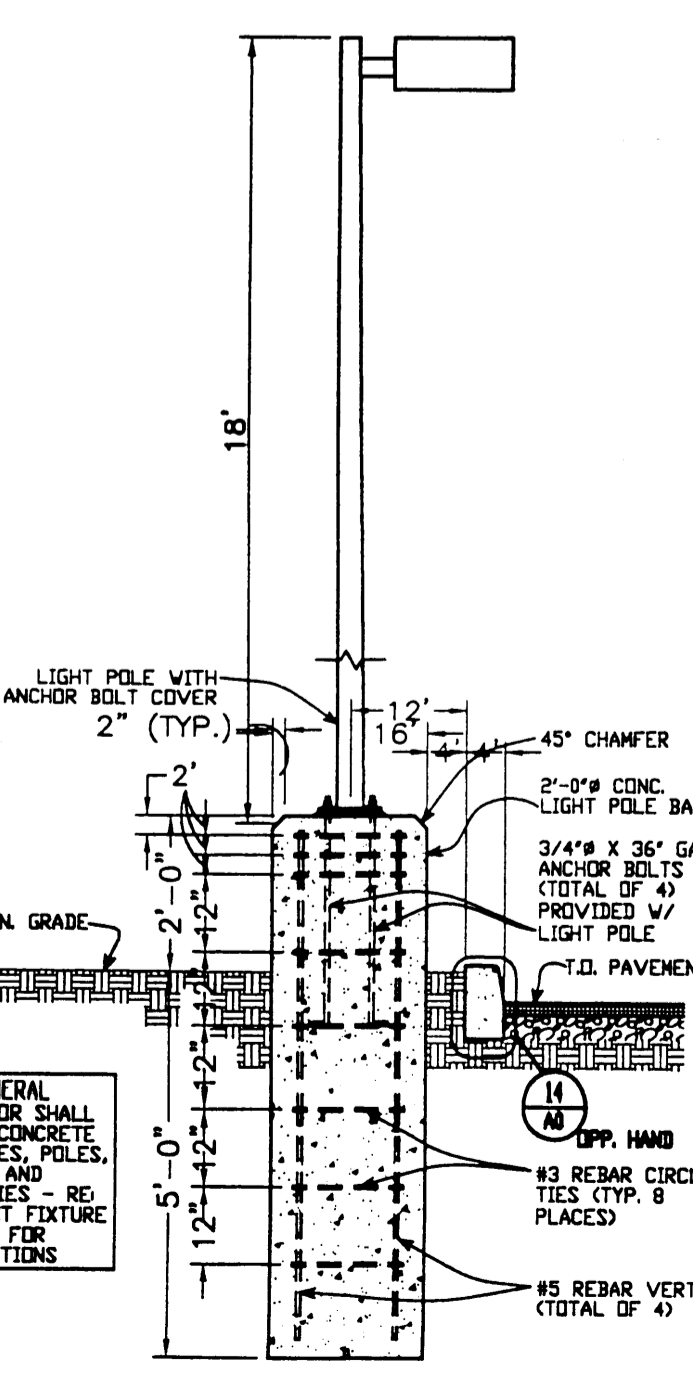


SITE DATA

LOT SIZE:	0.8864 AC±
EXISTING ZONING:	IP
PROPOSED ZONING:	IP
PROPOSED USE:	OFFICE/WAREHOUSE
BUILDING SIZE:	10,777 SF
	7020 SF OFFICE
	3796 SF WAREHOUSE
FAR:	28
PARKING PROVIDED:	34-35 SPACES (3 SMALL CAR)
PARKING REQUIRED W/10% BUS CREDIT:	34 SPACES
HC PARKING PROVIDED:	2 SPACES
HC PARKING REQUIRED:	2 SPACES
BIKE SPACES PROVIDED:	4 SPACES
BIKE SPACES REQUIRED:	4 SPACES
LANDSCAPE PROVIDED:	4681 SF
LANDSCAPE REQUIRED (15% OF NET LOT AREA):	4175 SF

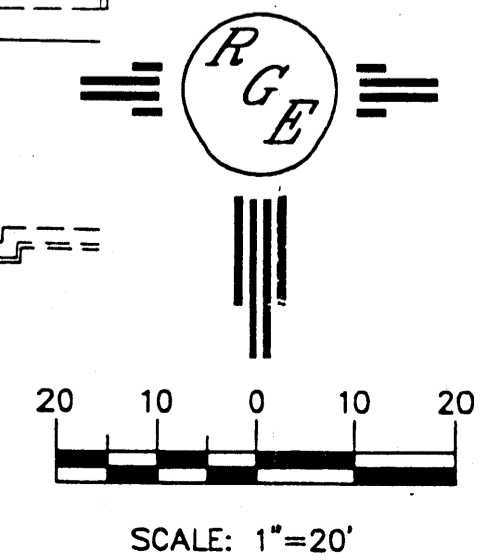
LEGEND

	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EXISTING BOUNDARY LINE
	PROPOSED 6' SIDEWALK
	CENTERLINE
	RIGHT-OF-WAY
	LIMITS OF CONSTRUCTION



LIGHT POLE DETAIL

NTS

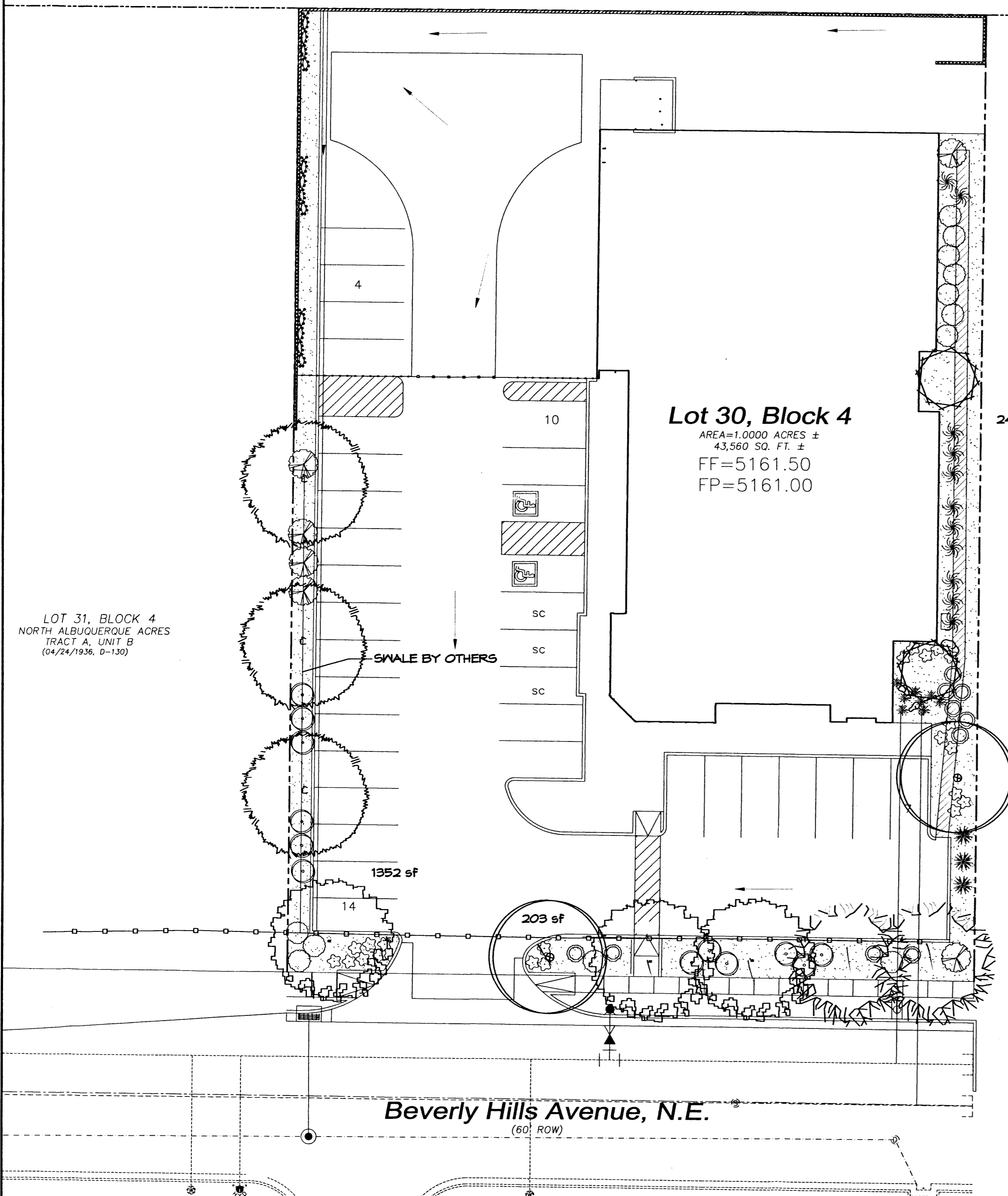


ENGINEER'S SEAL	HB	DRAWN BY WCVJ
	SITE PLAN FOR BUILDING PERMIT <i>Pio Grande Engineering</i> 1606 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	DATE 7-28-09
		2010-10-01-4-22-09
		SHEET # 1
		JOB # 2910

PROJECT # 1007948



LOT 3-A, BLOCK 4  
NORTH ALBUQUERQUE ACRES  
TRACT A, UNIT B  
(07/15/2008, 0086-153)



**Lot 30, Block 4**  
AREA=1.0000 ACRES ±  
43,560 SQ. FT. ±  
FF=5161.50  
FP=5161.00

LOT 31, BLOCK 4  
NORTH ALBUQUERQUE ACRES  
TRACT A, UNIT B  
(04/24/1936, 0-130)

500 sf cobble

2434 sf

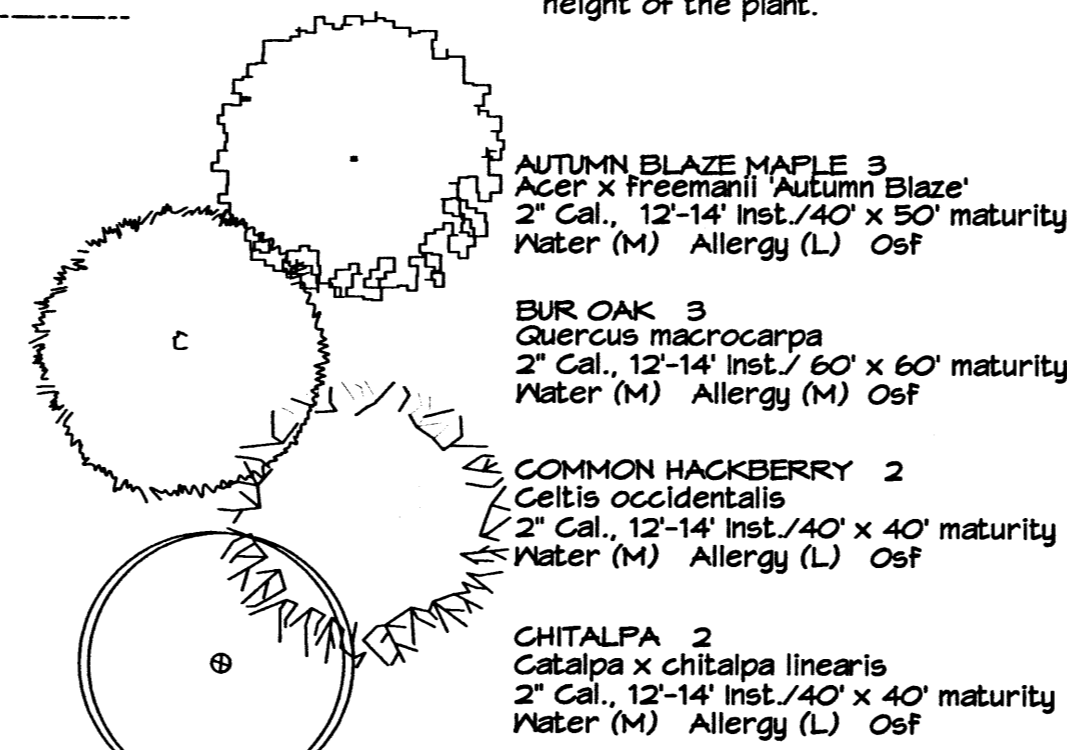
1352 sf

203 sf

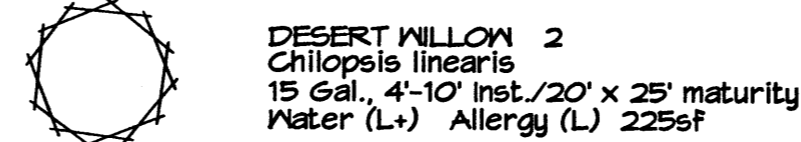
**Beverly Hills Avenue, N.E.**  
(60' ROW)

### PLANT LEGEND

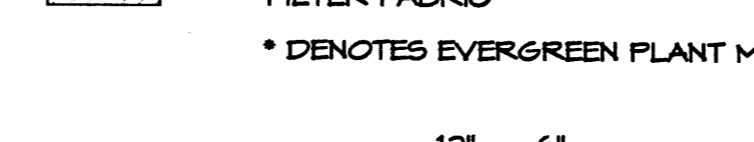
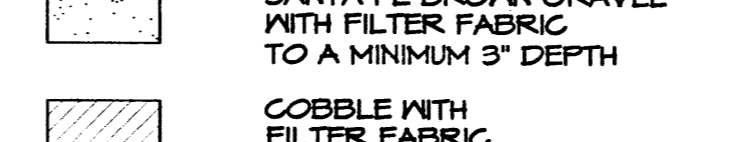
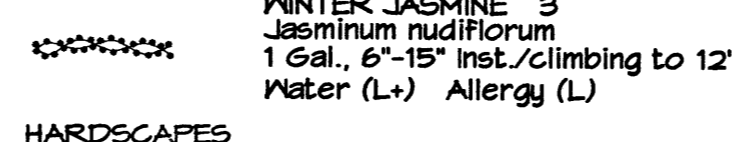
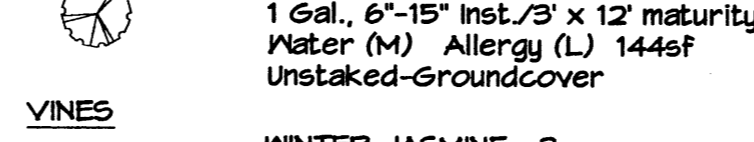
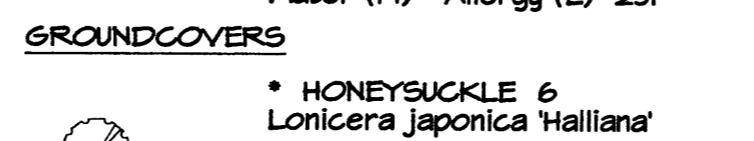
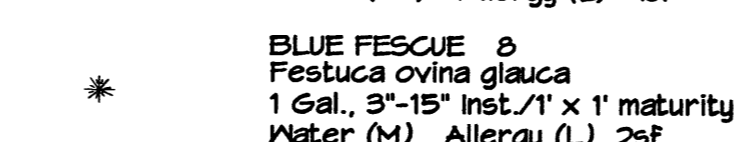
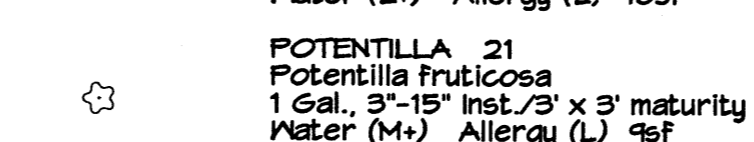
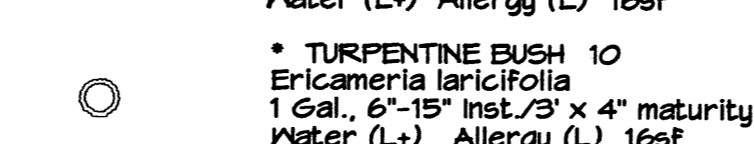
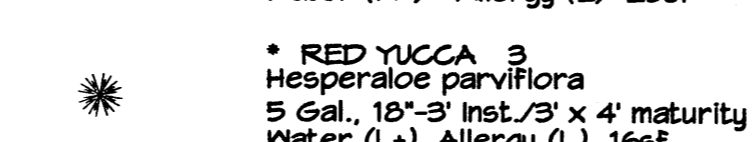
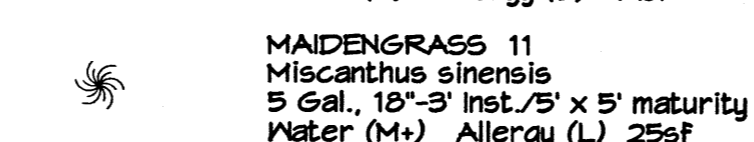
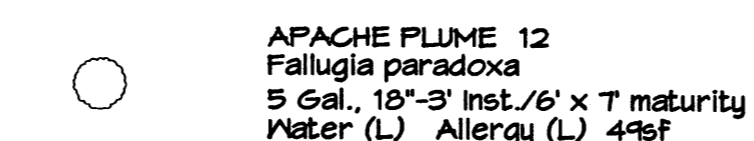
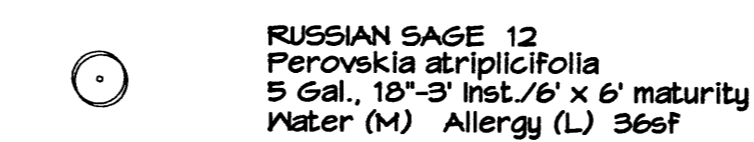
All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.



#### SHRUBS/ORNAMENTAL TREES FIFTEEN GAL.



#### SHRUBS/ORNAMENTAL GRASSES FIVE GAL.



**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Foliage Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" polytube with flush caps at each end. Trees and shrubs shall be on separate valves.

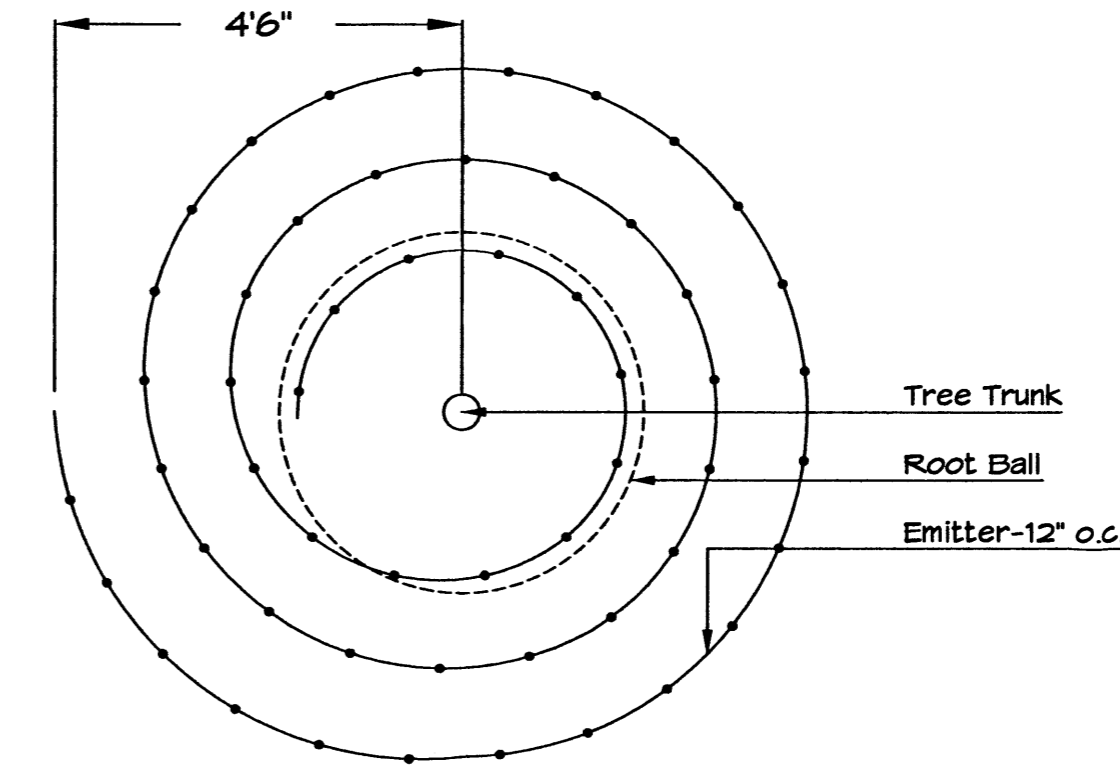
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

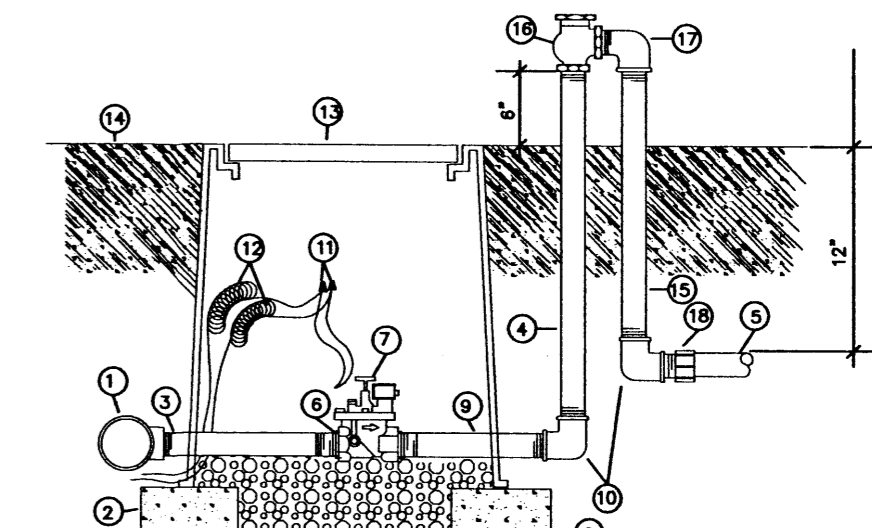
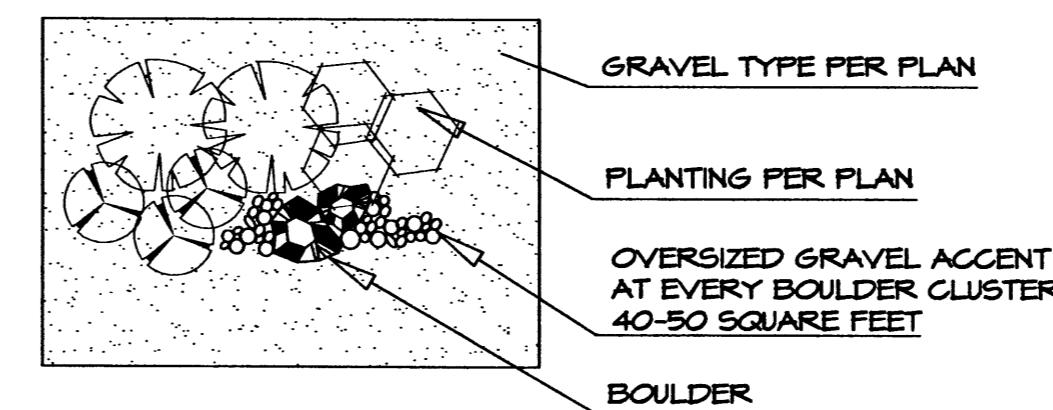
Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

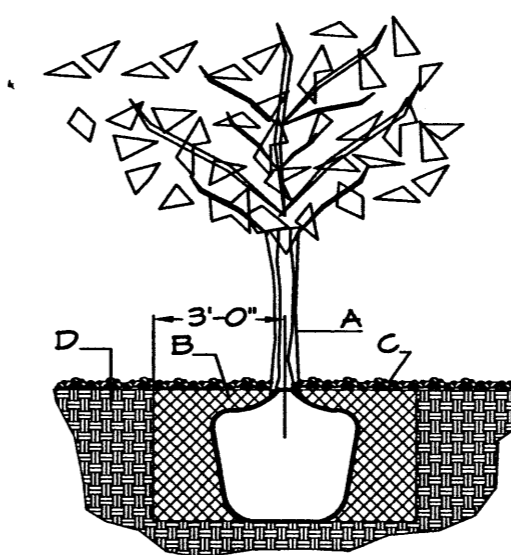


**Netafim Spiral Detail**

### GRAVEL ACCENT DETAIL



**AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER**



### TREE PLANTING DETAIL

**GENERAL NOTES:**  
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.  
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.  
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.  
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

**CONSTRUCTION NOTES:**  
A. TREE  
B. BACKFILL WITH EXISTING SOIL.  
C. 3" DEPTH OF GRAVEL MULCH.  
D. UNDISTURBED SOIL.

### SHRUB PLANTING DETAIL

**GENERAL NOTES:**  
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.  
**CONSTRUCTION NOTES:**  
A. SHRUB.  
B. BACKFILL WITH EXISTING SOIL.  
C. EARTH BERM AROUND WATER RETENTION BASIN.  
D. 3" DEPTH OF GRAVEL MULCH.  
E. FINISH GRADE.  
F. UNDISTURBED SOIL.

### LANDSCAPE CALCULATIONS

TOTAL LOT AREA	43560	square feet
TOTAL BUILDINGS AREA	10716	square feet
NET LOT AREA	32784	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	4918	square feet
TOTAL BED PROVIDED	4494	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	3371	square feet
TOTAL GROUND COVER PROVIDED	3470 (71%)	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL LANDSCAPE PROVIDED	4494 (14%)	square feet

### STREET TREE REQUIREMENTS - Minimum 2" Caliper

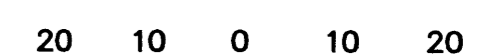
Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:  
Name of Street: Beverly Hills Ave. NE  
Required # 6 Provided # 6

### PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper

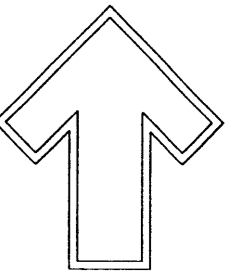
Shade trees required under the City Of Albuquerque Parking Lot Tree Ordinance are as follows:  
1 Shade tree per 10 spaces  
Required # 4 Provided # 4

**NOTE TO CLIENT:**  
Should The Hilltop not receive a grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

### GRAPHIC SCALE

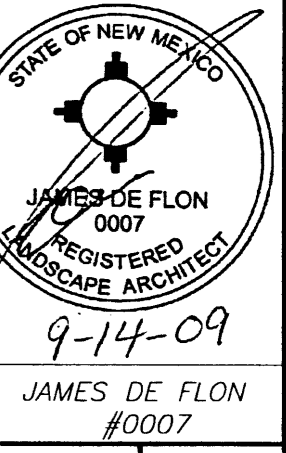


SCALE: 1"=20'



Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
cmj@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL



HB CONSTRUCTION OFFICE  
1111 BEVERLY HILLS AVE. NE  
ALBUQUERQUE, NM  
LANDSCAPE PLAN

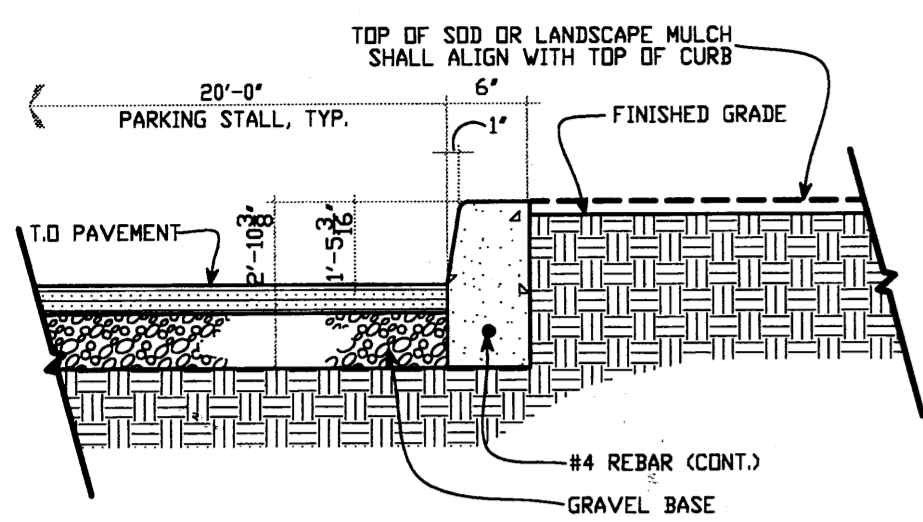
All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Designers, Inc. This is an original design and must not be copied or copied unless applicable fees have been paid or order placed.

**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY rmc  
REVISION # 1/9-11-09  
DATE 8-10-09

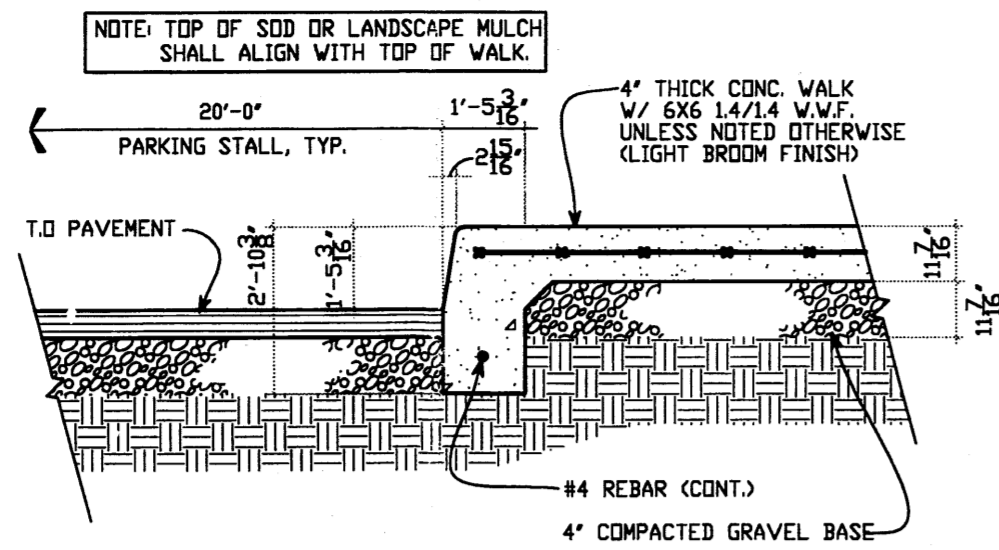
SHEET #  
L1 OF L1





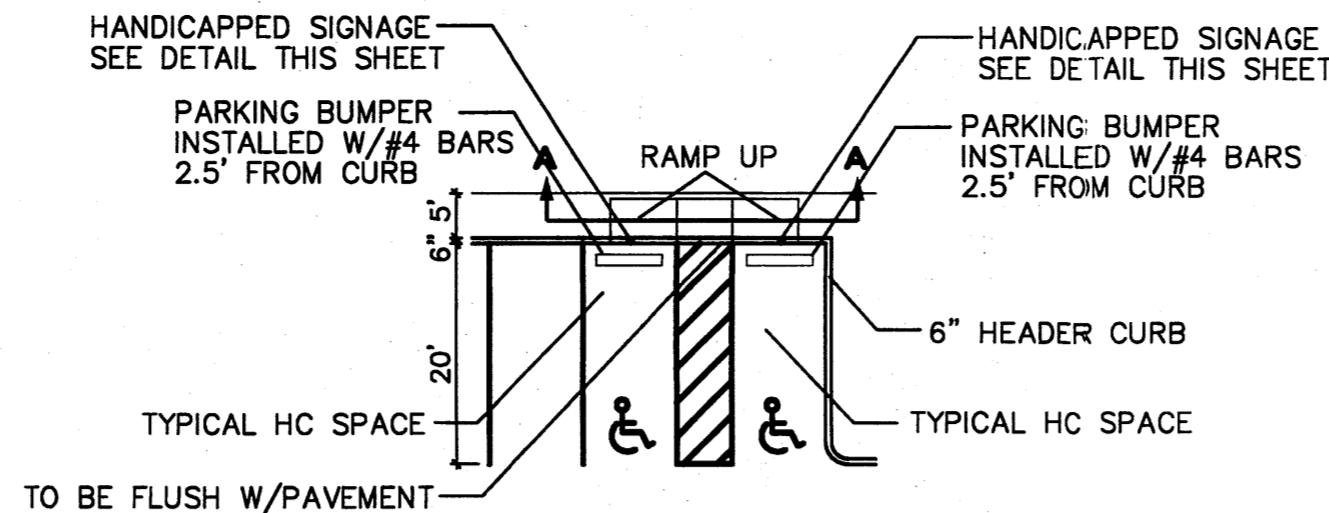
HEADER CURB DETAIL

NTS



SIDEWALK/CURB DETAIL

NTS



HC PARKING DETAIL

HC PARKING DETAIL SECTION A-A

NTS

SHEET INDEX

1. SITE PLAN FOR BUILDING PERMIT
2. LANDSCAPE PLAN
3. GRADING AND DRAINAGE PLAN
4. ELEVATIONS
5. MASTER UTILITY PLAN

PROJECT NUMBER: 1007948

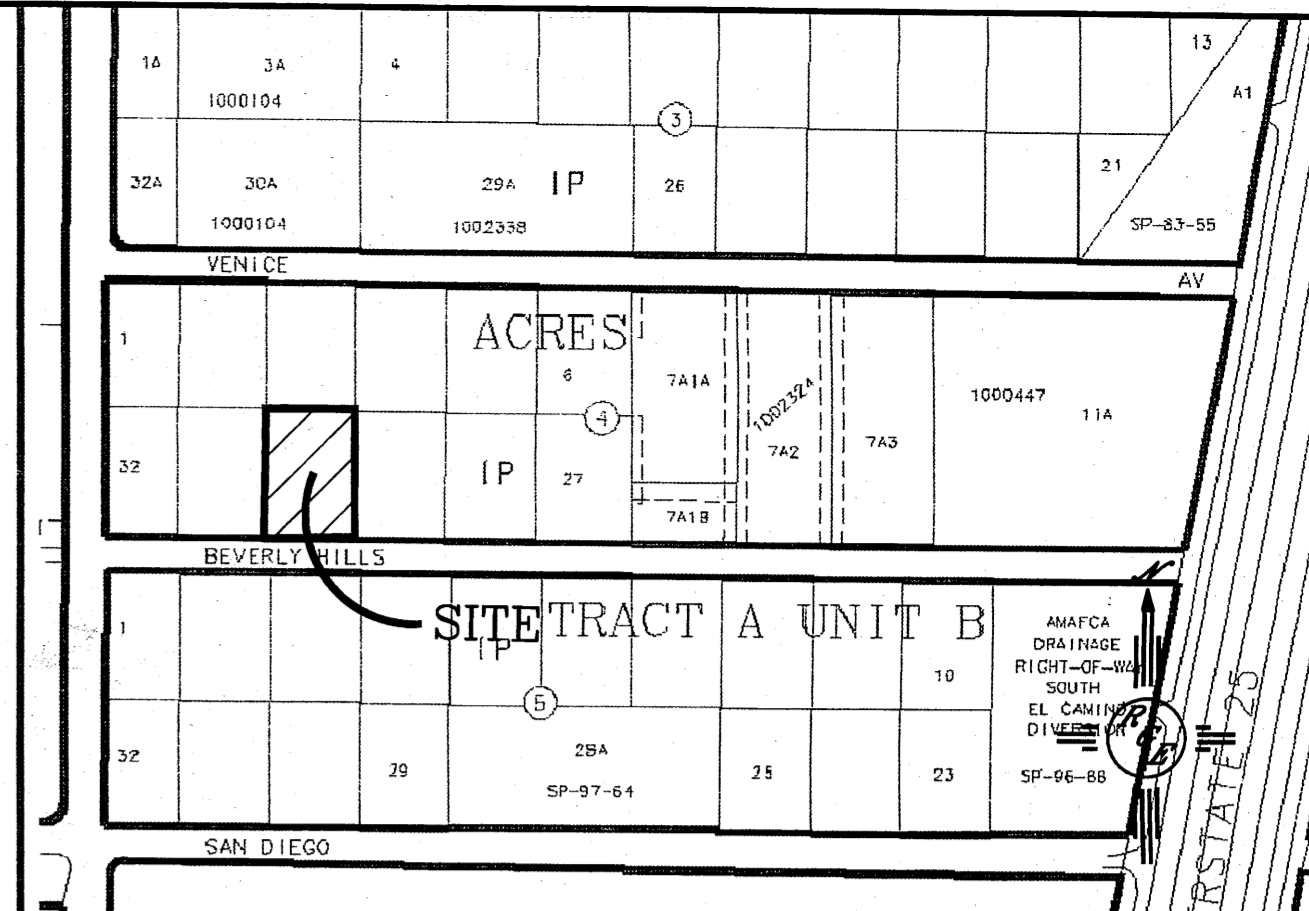
APPLICATION NUMBER:

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

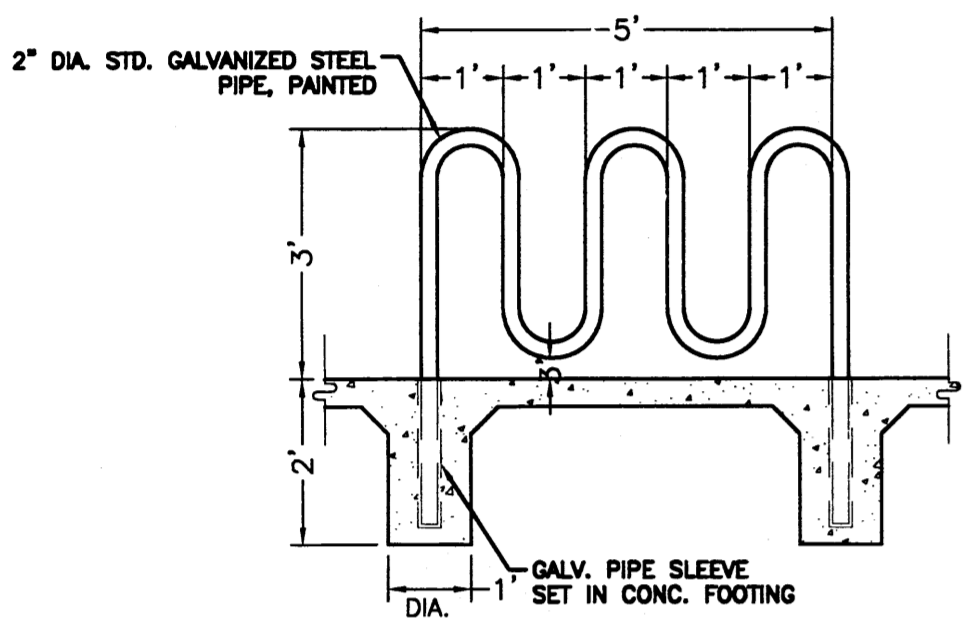
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i> Engineer, Transportation Division	09/23/09 Date
<i>[Signature]</i> Utilities Development	9/23/09 Date
<i>[Signature]</i> Christina Sandoval Parks & Recreation Department	9/23/09 Date
<i>[Signature]</i> Bradley J. Byler City Engineer	11/13/09 Date
<i>[Signature]</i> Environmental Health Department (conditional)	9/23/09 Date
<i>[Signature]</i> Solid Waste Management	11/17/09 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	11/19/09 Date



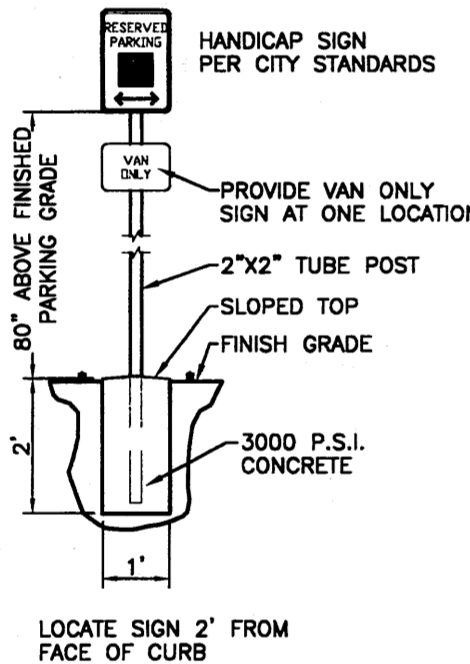
VICINITY MAP: B-18-Z

LEGAL DESCRIPTION:  
Lot 30, Block 4 North Albuquerque Acres, Tract A, Unit B



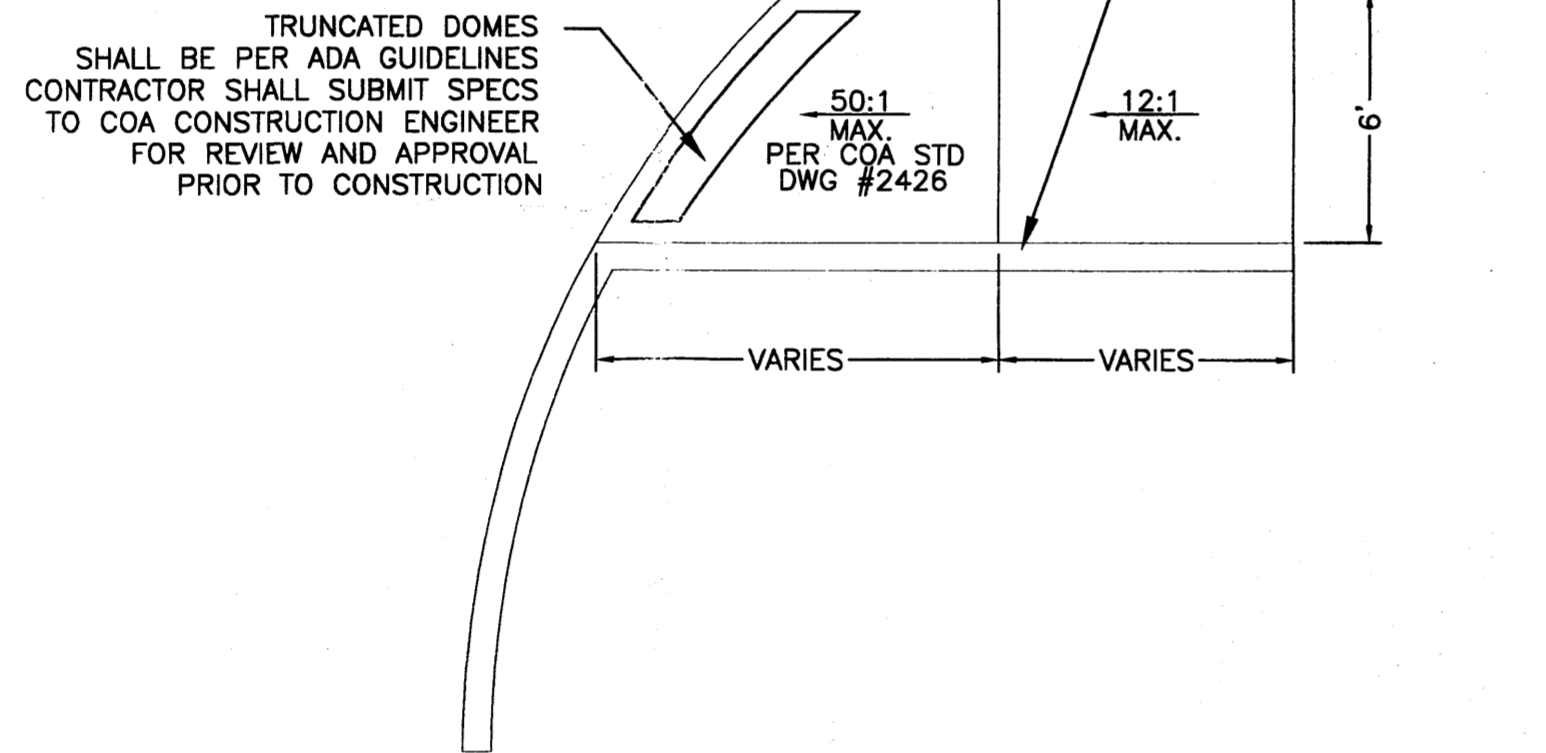
BIKE RACK DETAIL

NTS



HANDICAP SIGN DETAIL

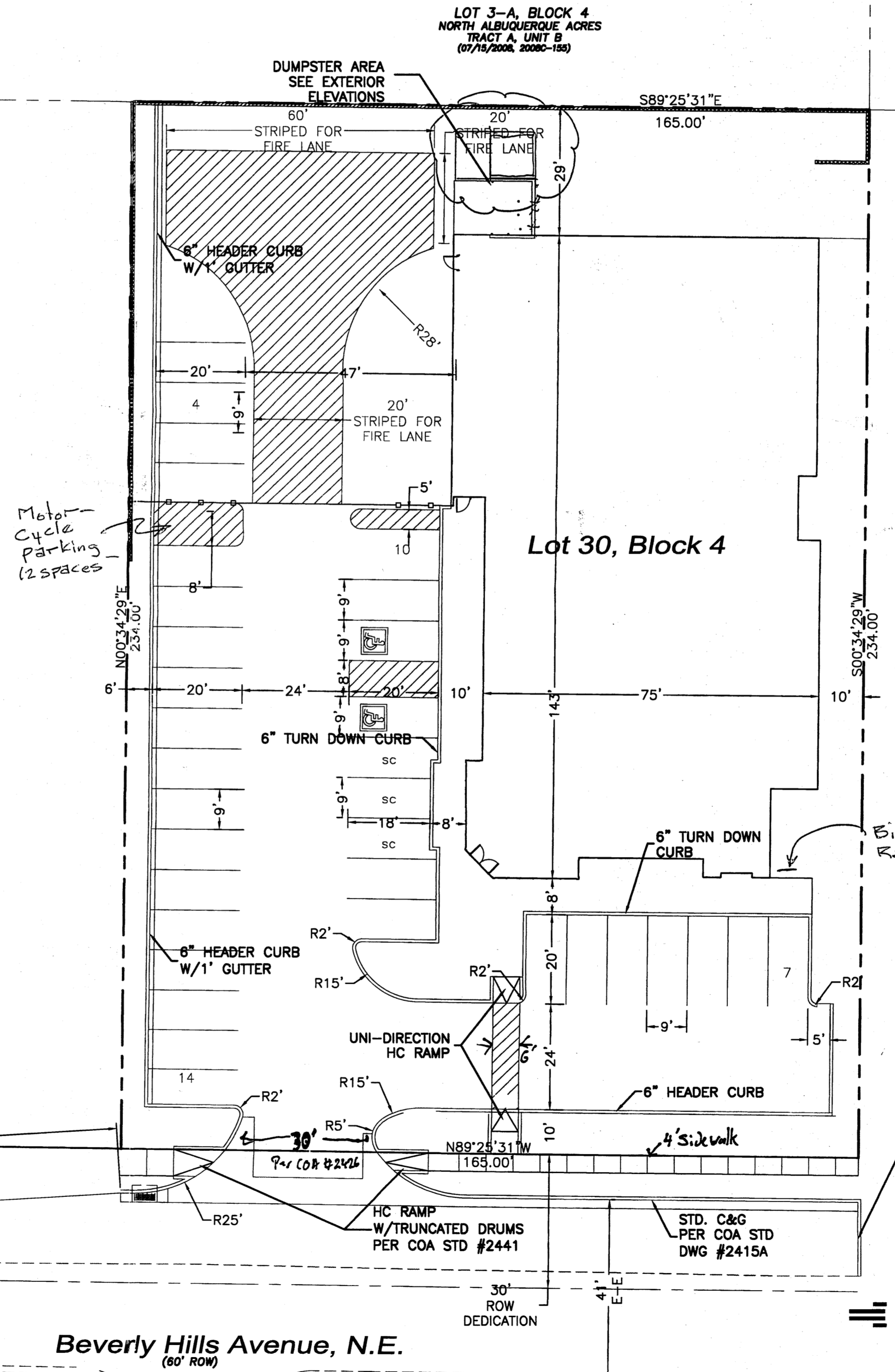
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UNI-DIRECTIONAL WHEELCHAIR RAMP DETAIL (TYP.)

NTS

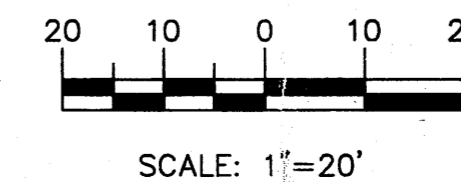
LOT 31, BLOCK 4  
NORTH ALBUQUERQUE ACRES  
TRACT A, UNIT B  
(04/24/1988, 1-139)



LOT 29, BLOCK 4  
NORTH ALBUQUERQUE ACRES  
TRACT A, UNIT B  
(04/24/1988, 1-139)

CUT-OFF WALL  
PER COA STD  
DWG #2415A

Beverly Hills Avenue, N.E.  
(60' ROW)



NOTES:

1. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
2. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS.
3. ALL WHEELCHAIR RAMPS SHALL BE BUILT PER COA STD DWG. #2441.
4. HVAC EQUIPMENT ON THE ROOF SHALL BE SCREENED BY EXTERIOR SCREEN WALL.
5. NO OFF PREMISE OR POLE MOUNTED SIGNAGE SHALL BE ALLOWED.
6. ALL WIRELESS TELECOMMUNICATION FACILITIES SHALL BE CONCEALED AND ARCHITECTURALLY INTEGRATED WITH THE SITE AND SURROUNDING AREA.
7. VINYL COATED, PLASTIC REFLECTIVE TYPE AWNINGS, FASCIA, BUILDING PANELS, SIGN RACEWAYS OR ROOFS SHALL NOT BE PERMITTED.
8. FREE STANDING LIGHTING SHALL INCLUDE UNIFORM 20' HIGH POLES WITH FULLY SHIELDED FIXTURES. ALL FIXTURES SHOULD BE HORIZONTALLY-MOUNTED LENSES SHOULD NOT PROJECT BELOW THE HOUSING. LIGHTING LEVELS MUST CONFORM TO ZONING CODE LIMITATIONS.
9. MAXIMUM BUILDING HEIGHT SHALL BE 26'.

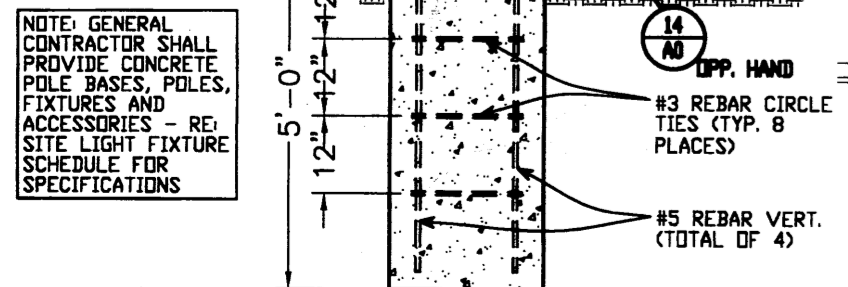
SITE DATA

LOT SIZE:	0.8864 AC±
EXISTING ZONING:	IP
PROPOSED ZONING:	IP
PROPOSED USE:	OFFICE/WAREHOUSE
BUILDING SIZE:	10,777 SF
	7020 SF OFFICE
	3796 SF WAREHOUSE
FAR:	.28
PARKING PROVIDED:	34 SPACES (3 SMALL CAR)
PARKING REQUIRED W/10% BUS CREDIT:	34 SPACES
HC PARKING REQUIRED:	2 SPACES
BIKE SPACES PROVIDED:	2 SPACES
BIKE SPACES REQUIRED:	4 SPACES
LANDSCAPE PROVIDED:	1/2 SPACES
LANDSCAPE REQUIRED (15% OF NET LOT AREA):	4681 SF
	4175 SF

LEGEND

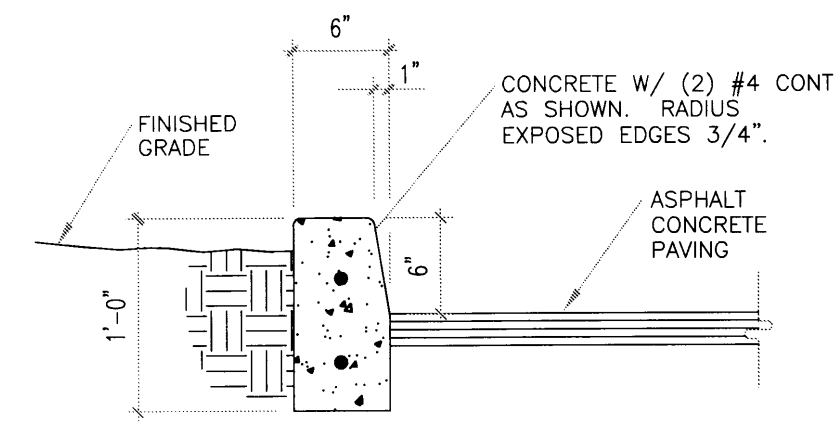
---	EXISTING CURB & GUTTER
---	PROPOSED CURB & GUTTER
---	BOUNDARY LINE
---	EXISTING BOUNDARY LINE
---	PROPOSED 6' SIDEWALK
---	CENTERLINE
---	RIGHT-OF-WAY
---	LIMITS OF CONSTRUCTION

ENGINEER'S SEAL	HB	DRAWN BY WCVJ
	<p>SITE PLAN FOR BUILDING PERMIT</p> <p><i>Rio Grande Engineering</i></p> <p>1606 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999</p>	DATE 7-28-09
		2010-LAYOUT-4-22-09
		SHEET # 1
		JOB # 2910



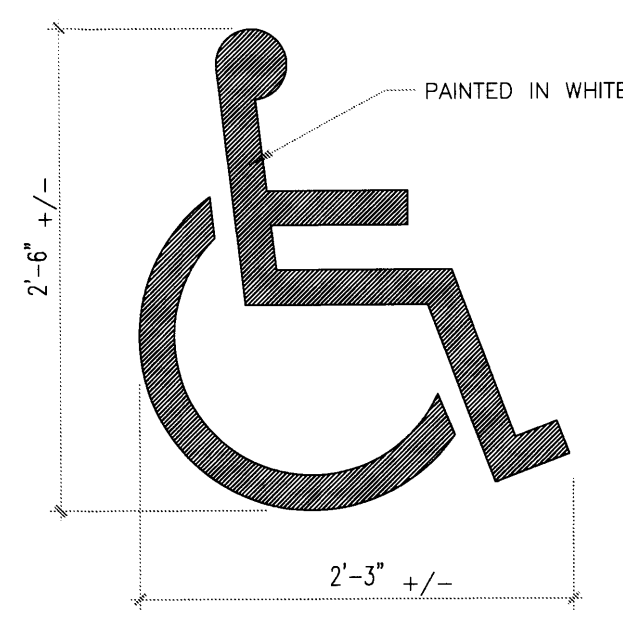
LIGHT POLE DETAIL

NTS



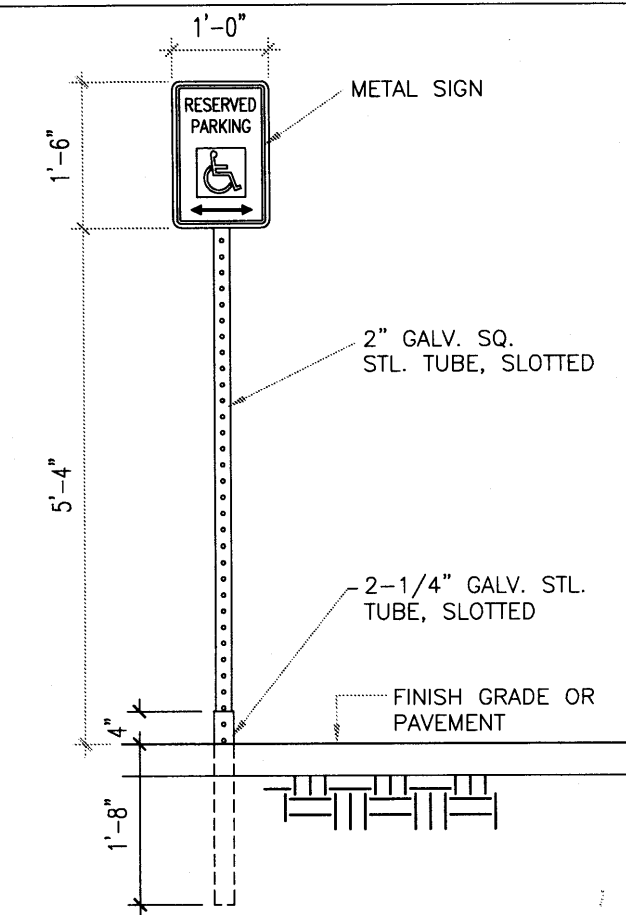
**1 CURB DETAIL**

SCALE: 1" = 1'-0"



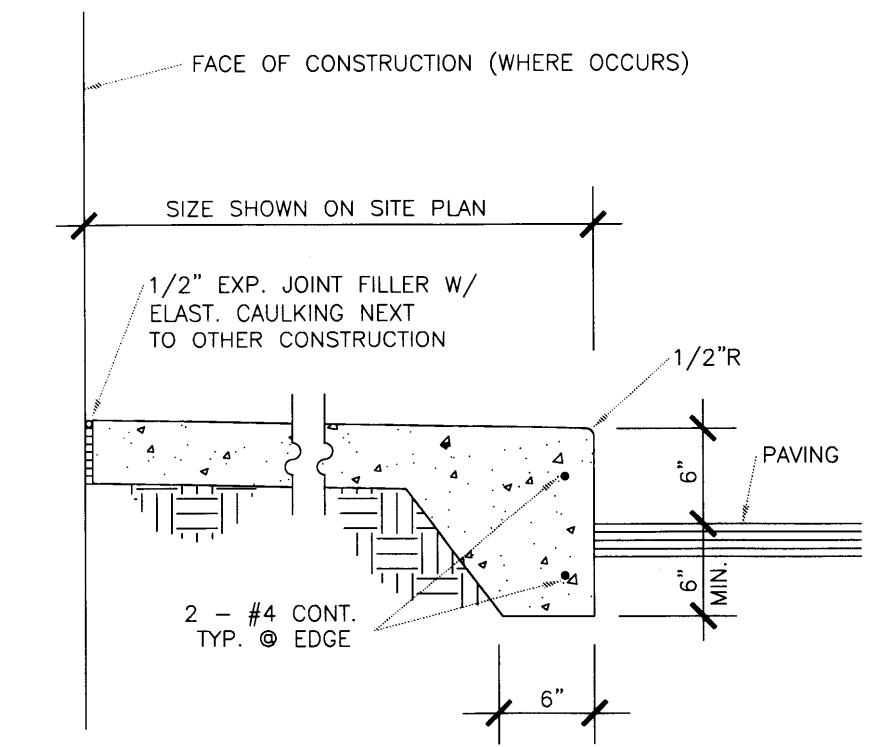
**2 HC SYMBOL DETAIL**

SCALE: 1" = 1'-0"



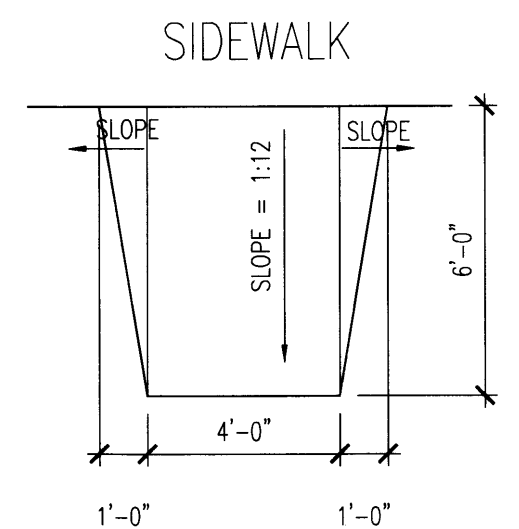
**3 HC SIGN DETAIL**

SCALE: 1/2" = 1'-0"



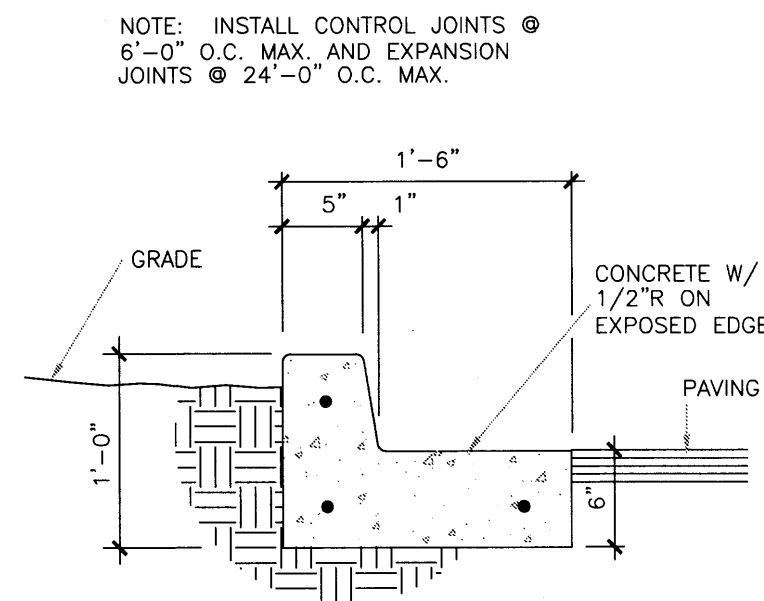
**4 SIDEWALK DETAIL**

SCALE: 1" = 1'-0"



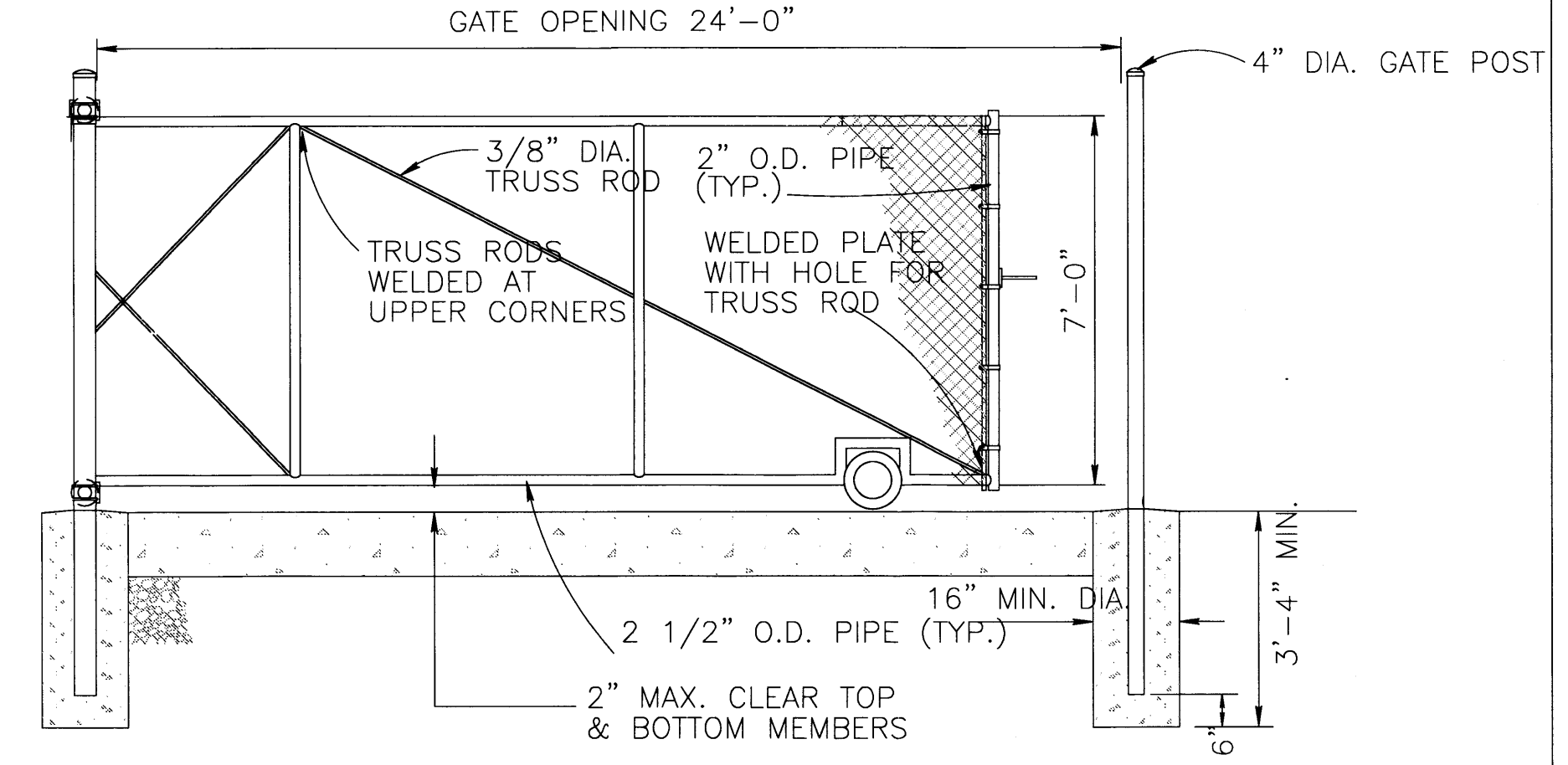
**5 RAMP DETAIL**

SCALE: 1/4" = 1'-0"



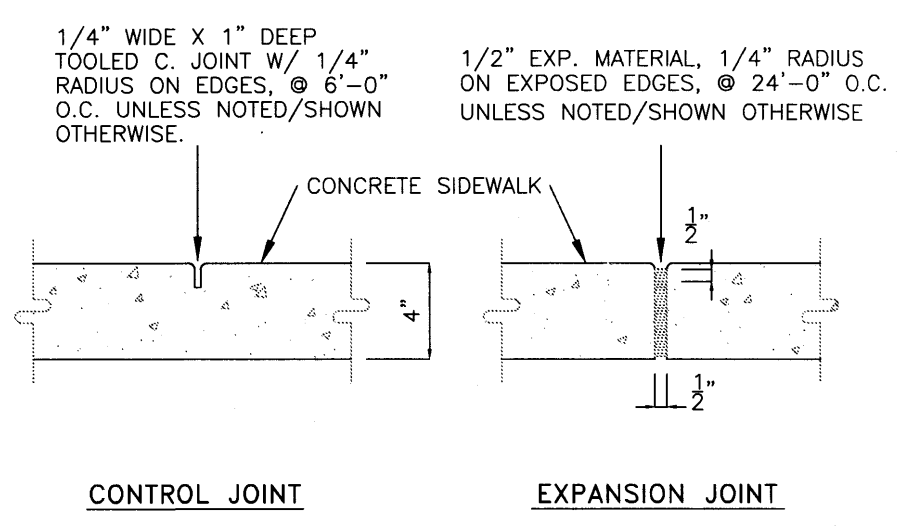
**6 CURB DETAIL**

SCALE: 1" = 1'-0"



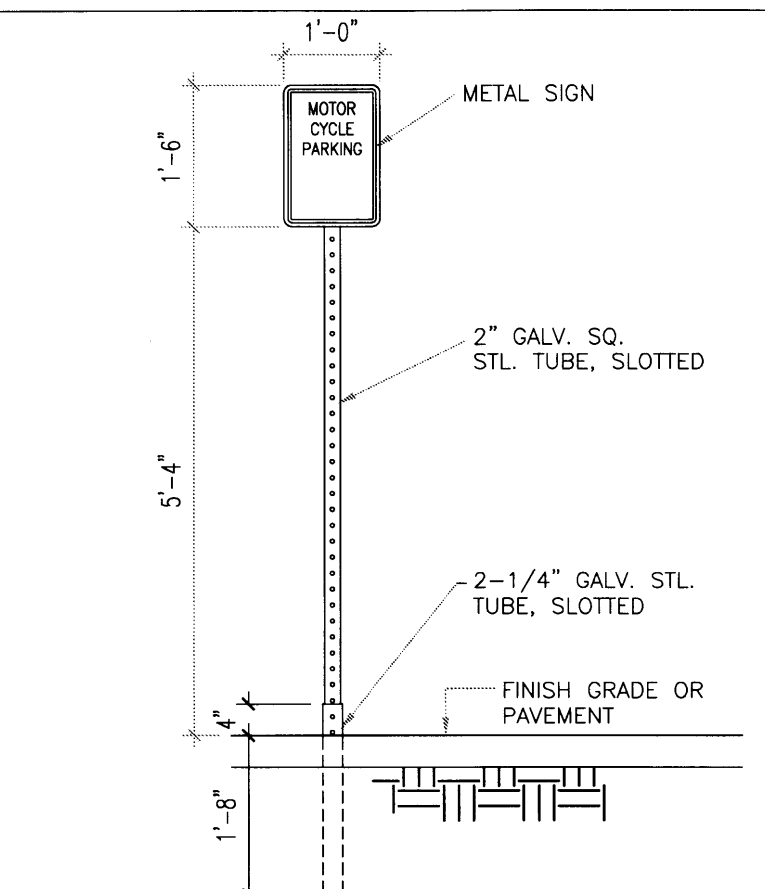
**7 GATE DETAIL**

SCALE: NTS



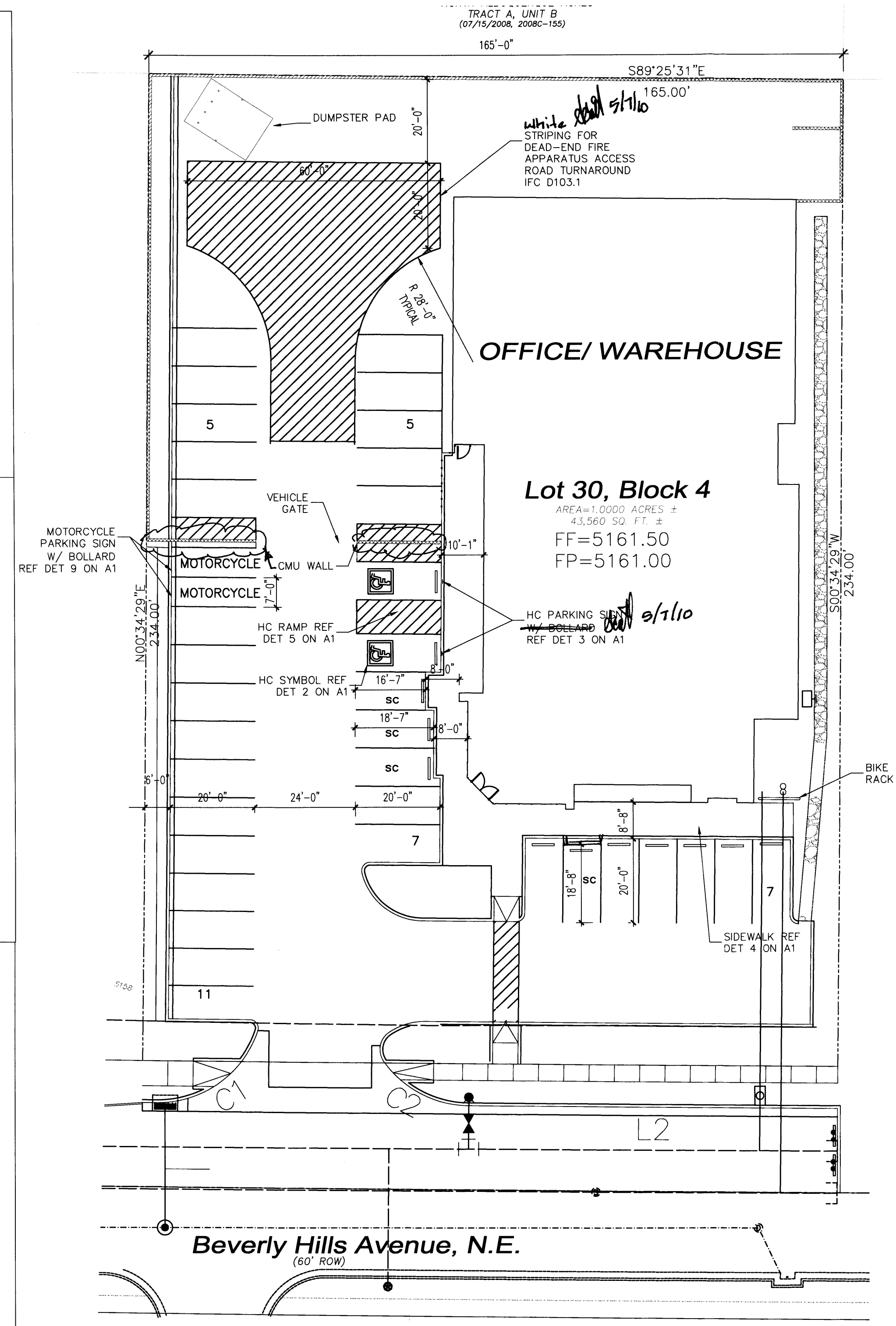
**8 SIDEWALK DETAIL**

SCALE: NTS



**9 MOTORCYCLE PARKING**

SCALE: 1/2" = 1'-0"



**SITE PLAN**

SCALE: 1" = 20'-0"



**GENERAL NOTES**

CONTRACTOR SHALL PROVIDE STEEL PIPE BOLLARDS AS PER DETAIL 10 ON A1 FOR PROTECTION OF ALL ABOVE GROUND UTILITIES IN OR ADJACENT TO DRIVE AREAS AND TO PROTECT PARKING AND TRAFFIC SIGNAGE.

CONTRACTOR TO COORDINATE LOCATION OF ALL UTILITY ENTRANCES INCLUDING BUT NOT LIMITED TO SANITARY SEWER, STORM SEWER, DOMESTIC WATER SERVICE, FIRE PROTECTION WATER SERVICE, ELECTRICAL AND TELEPHONE SERVICE. CONTRACTOR TO COORDINATE LOCATIONS IN SUCH A MANNER TO ASSURE PROPER DEPTHS ARE ACHIEVED, AS WELL AS COORDINATE WITH ANY UTILITY COMPANIES FOR APPROVED LOCATIONS AND SCHEDULING OF CONNECTION TO THEIR FACILITIES.

CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.

CONTRACTOR SHALL PAINT HYDRANTS, BOLLARDS, AND "NO PARKING" STRIPE @ BUILDING ENTRANCE.

CONTRACTOR SHALL FOLLOW ALL LOCAL, STATE AND FEDERAL REGULATIONS IN DISPOSING OF DEMOLISHED MATERIALS REMOVED FROM THIS SITE.

ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATIONS SHALL RECEIVE 4" OF TOPSOIL.

THE CONTRACTOR SHALL CONFORM TO ALL CITY, STATE AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL PREPARE AND OBTAIN ANY NECESSARY DUST OR EROSION CONTROL PERMITS FROM REGULATORY AGENCIES.

THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT OF WAY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.

THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ON TO OTHER PROPERTIES BY CONSTRUCTING TEMPORARY EROSION CONTROL BERMS OR INSTALLING SILT FENCES AND WETTING THE SOIL TO KEEP IT FROM BLOWING.

WATERING, AS REQUIRED FOR CONSTRUCTION AND DUST CONTROL SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OF PAYMENT SHALL BE MADE THEREFOR. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.

DRB ADMINISTRATIVE  
SITE PLAN AMENDMENT  
PROJECT NO. 1007948  
APPLICATION NO. 104A-10053  
KELIMA  
PLANNING DIRECTOR  
07-13-10  
DATE

No	Revision Item	Date
1	MOVED TRASH ENCLOSURE LOCATION, MOVED FD HAMMERHEAD TO THE SOUTH, add CMU wall, moved parking space location, s.c. space size	12/3/09 5/5/10

**SCOTT ANDERSON**  
ARCHITECT  
7604 Rio Penasco NW Albuquerque, New Mexico 87120  
Phone: (505) 401-7575 Email: andersonscott@comcast.net

**HB CONSTRUCTION OFFICE BUILDING**  
1111 BEVERLY HILLS AVE, NE  
ALBUQUERQUE, NM 87113

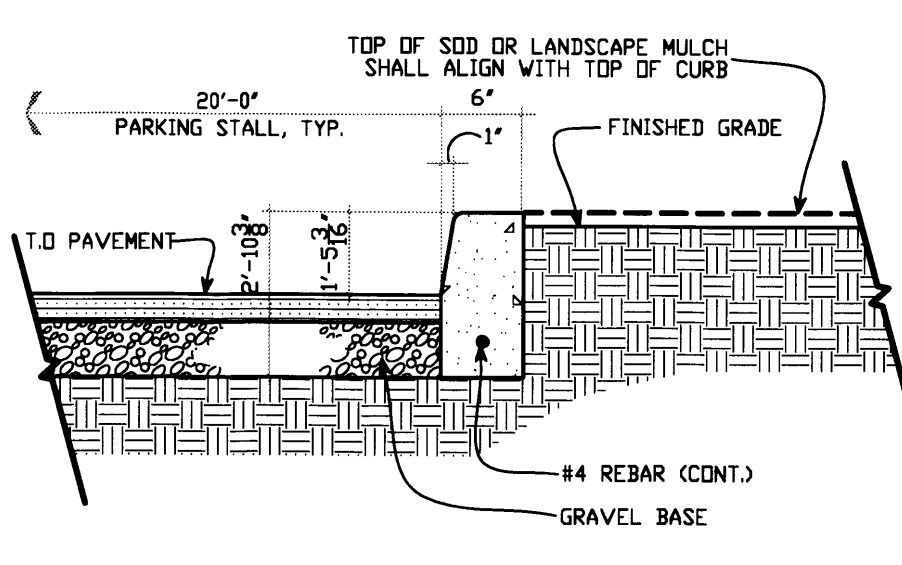
**SITE PLAN**

DESIGNED	PROJECT NO
DRAWN	SCALE
CHECKED	DRAWING NO
REVIEWED	
DATE 5/5/10	

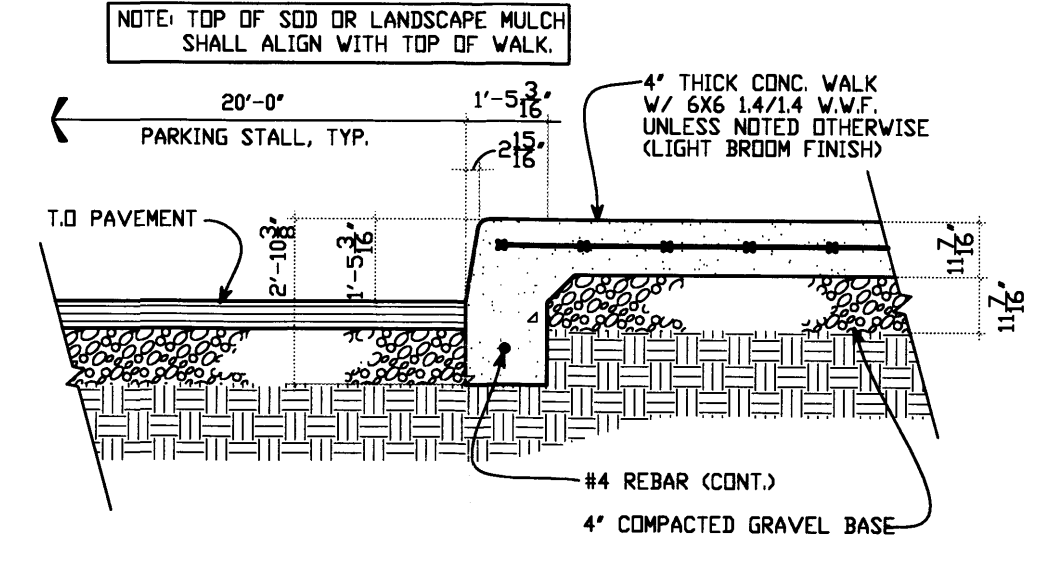
**A1**

1007948 file

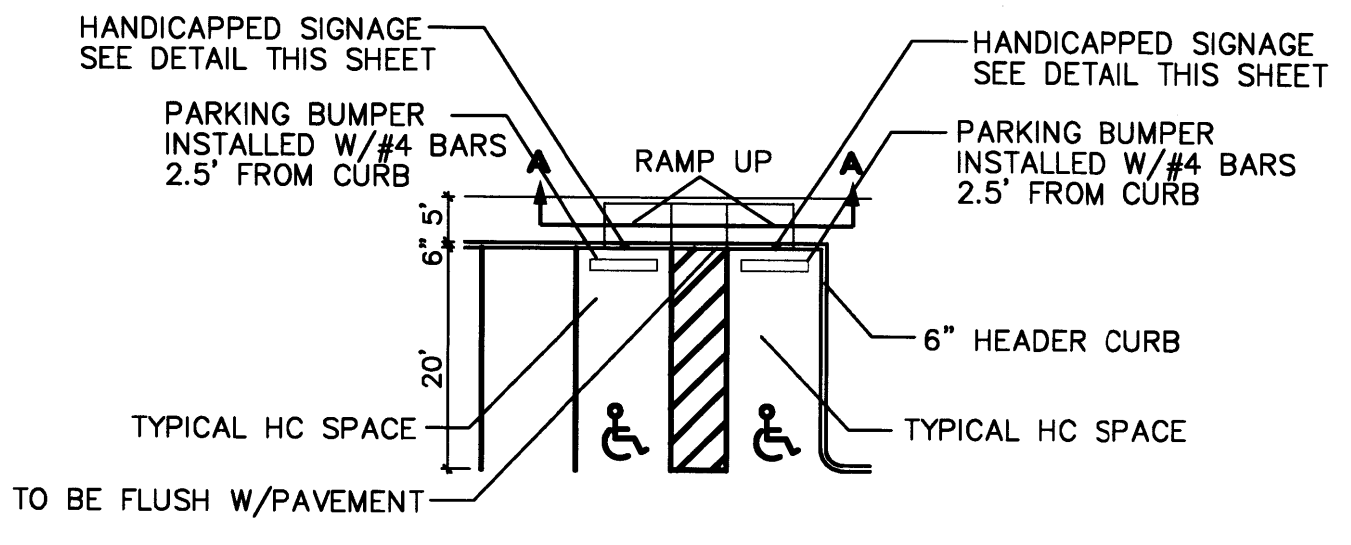




**HEADER CURB DETAIL**  
NTS



**SIDEWALK/CURB DETAIL**  
NTS



**HC PARKING DETAIL SECTION A-A**  
NTS

- SHEET INDEX**
1. SITE PLAN FOR BUILDING PERMIT
  2. LANDSCAPE PLAN
  3. GRADING AND DRAINAGE PLAN
  4. ELEVATIONS
  5. MASTER UTILITY PLAN

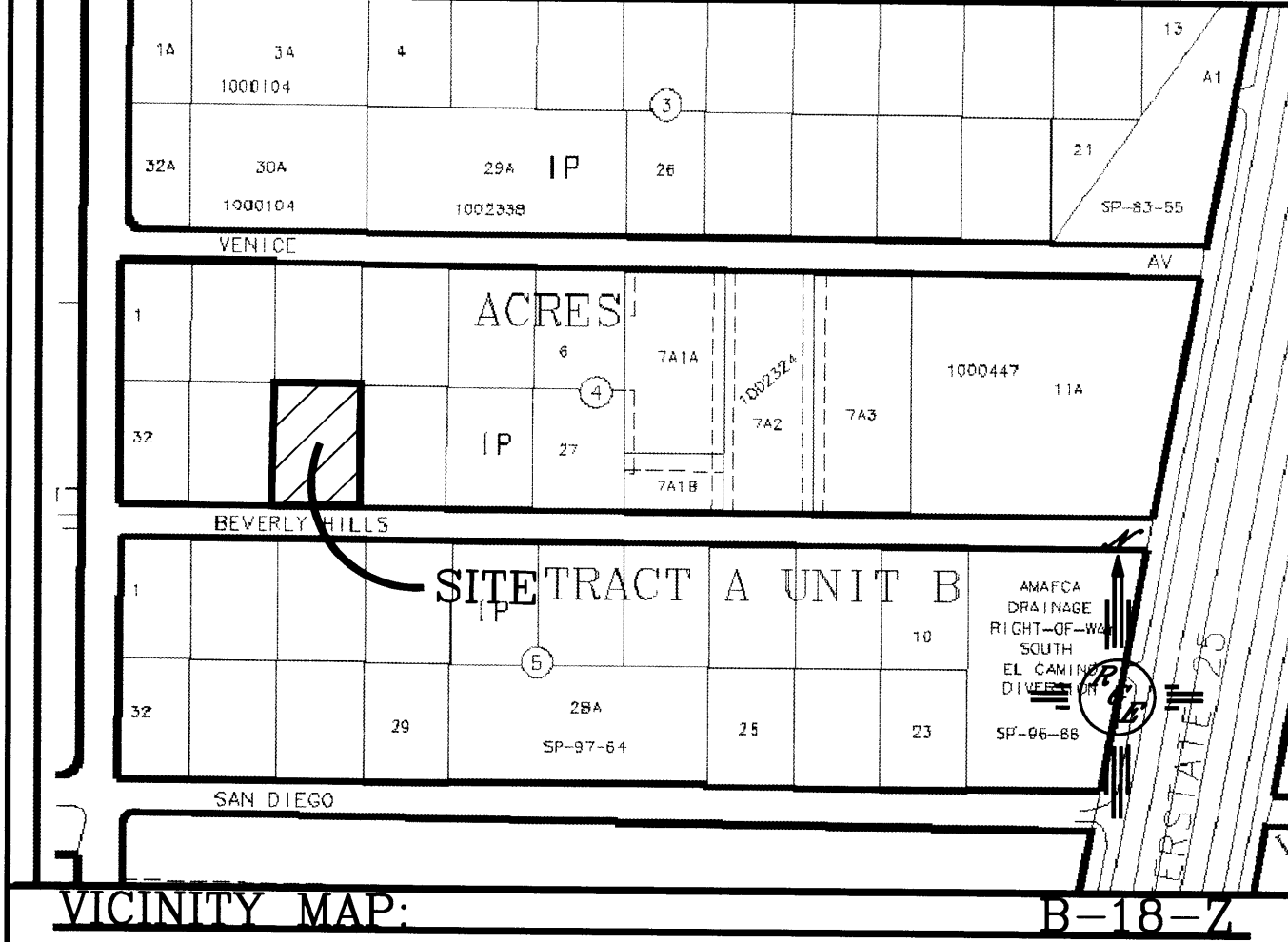
**PROJECT NUMBER:** \_\_\_\_\_  
**APPLICATION NUMBER:** \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

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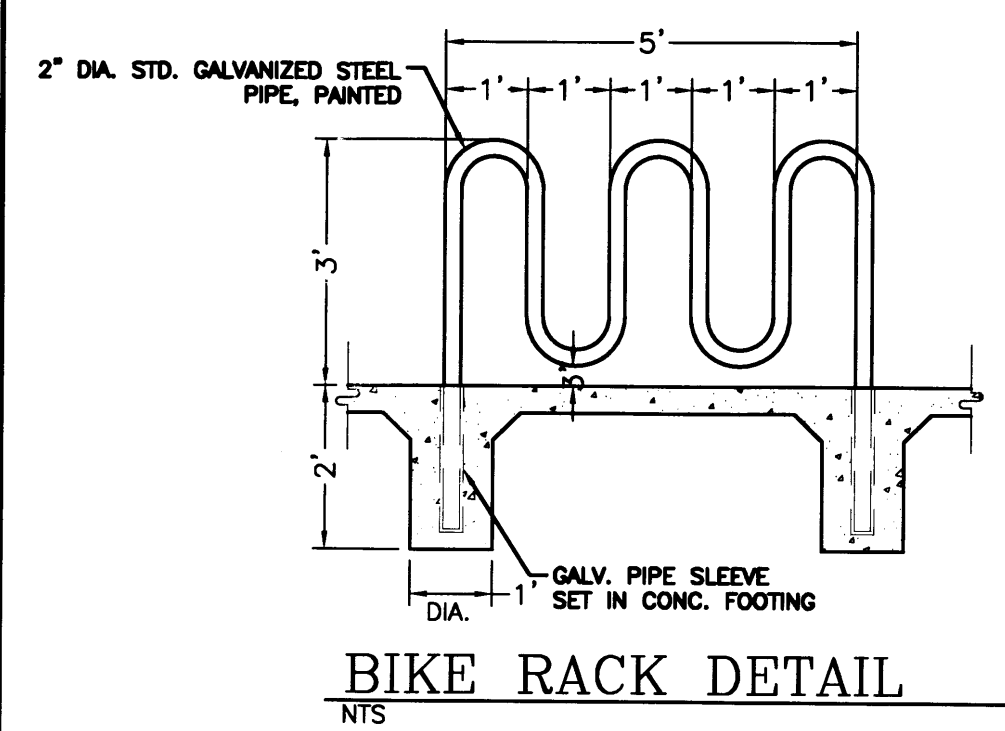
**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

Traffic Engineer, Transportation Division	Date
Utilities Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

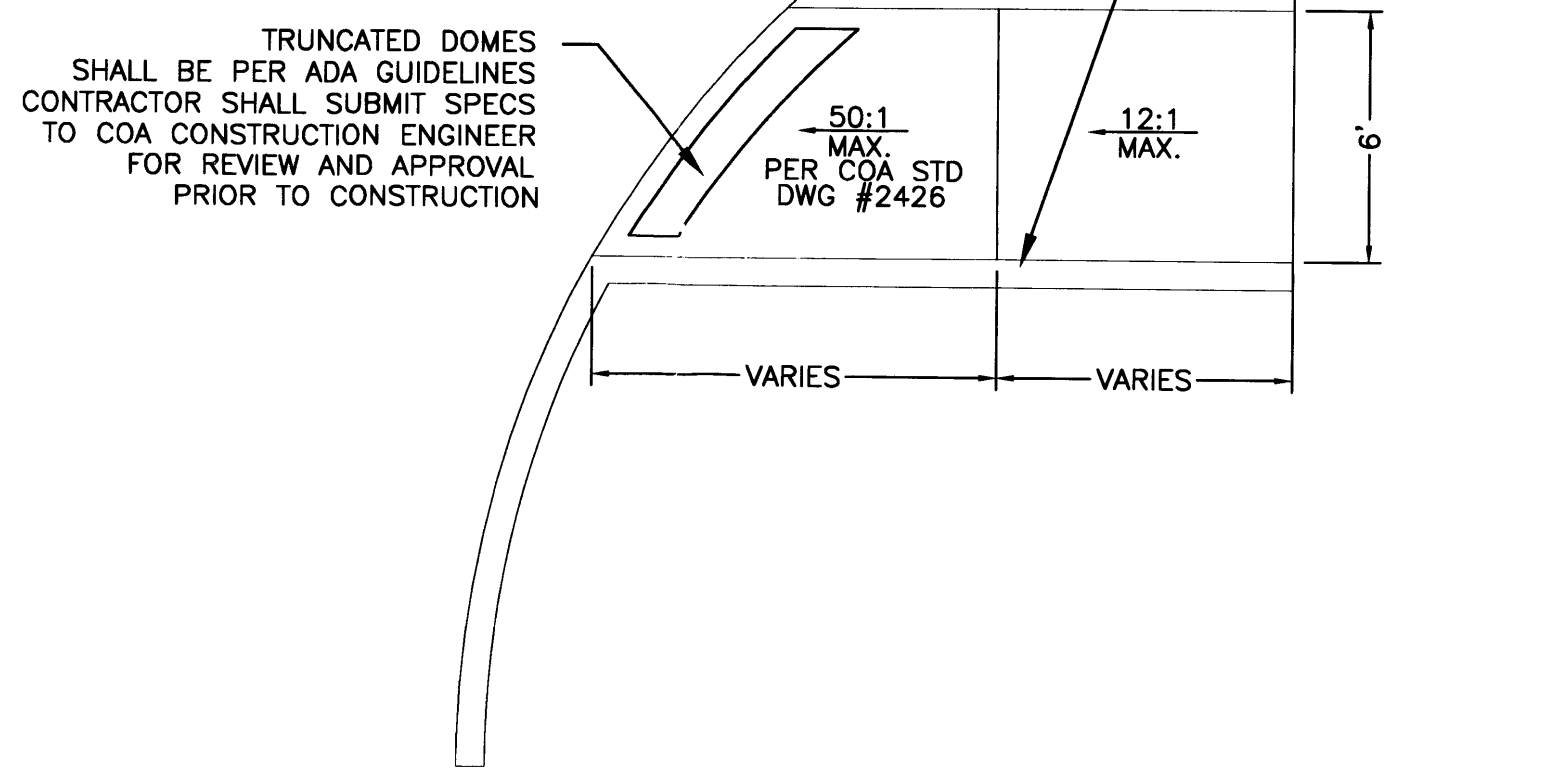


**VICINITY MAP:** B-18-Z

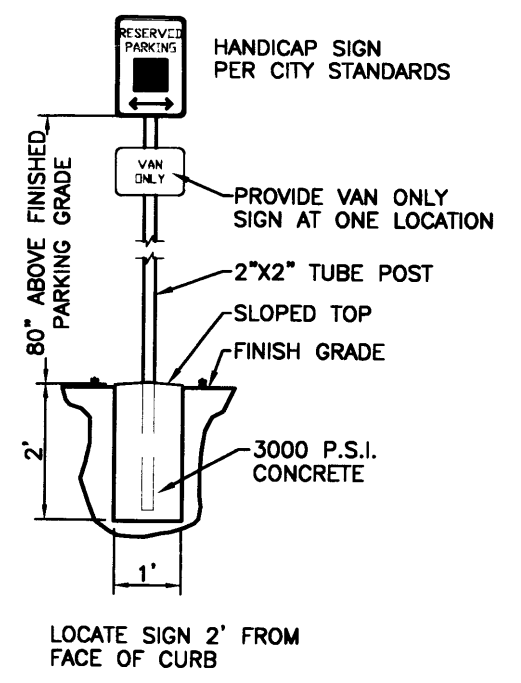
**LEGAL DESCRIPTION:**  
 Lot 30, Block 4 North Albuquerque Acres, Tract A, Unit B



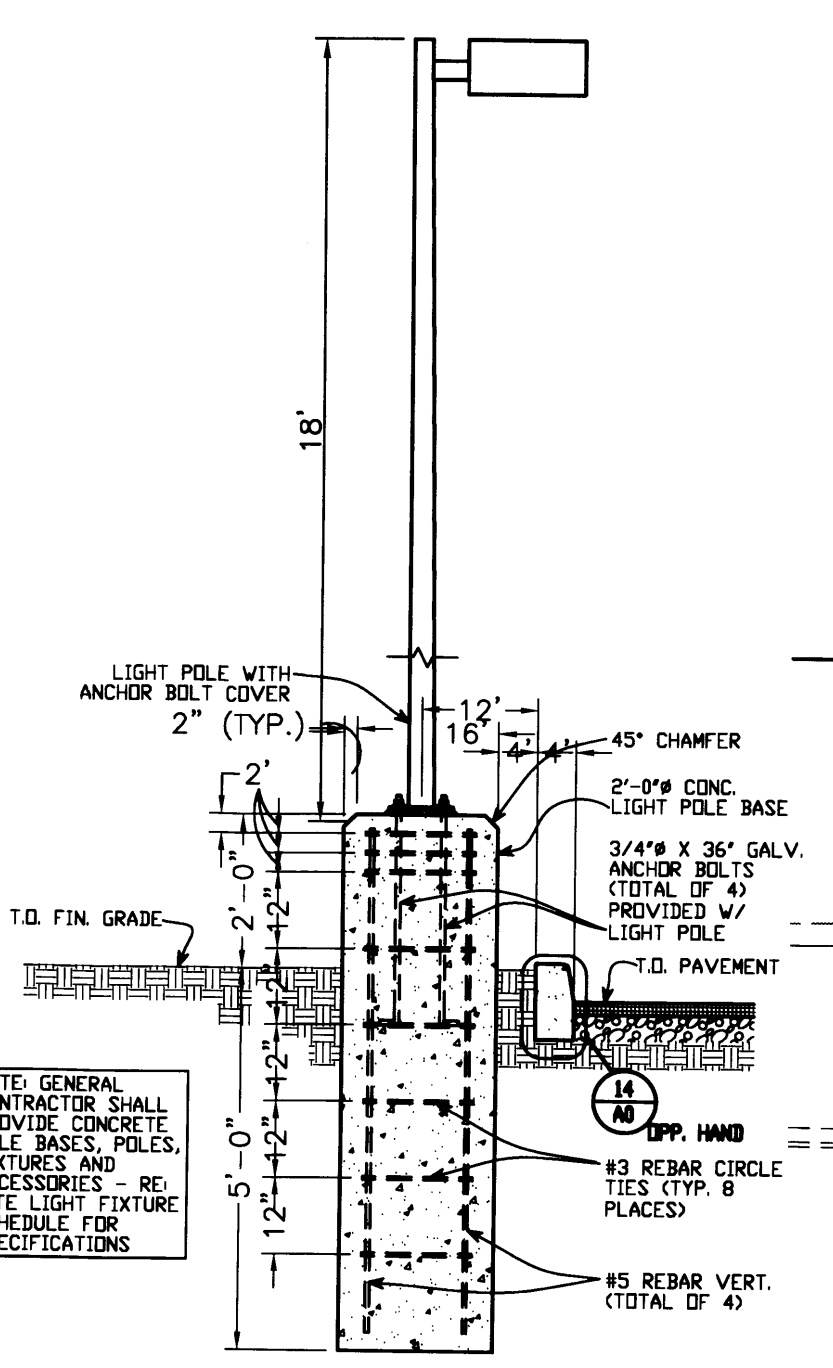
**BIKE RACK DETAIL**  
NTS



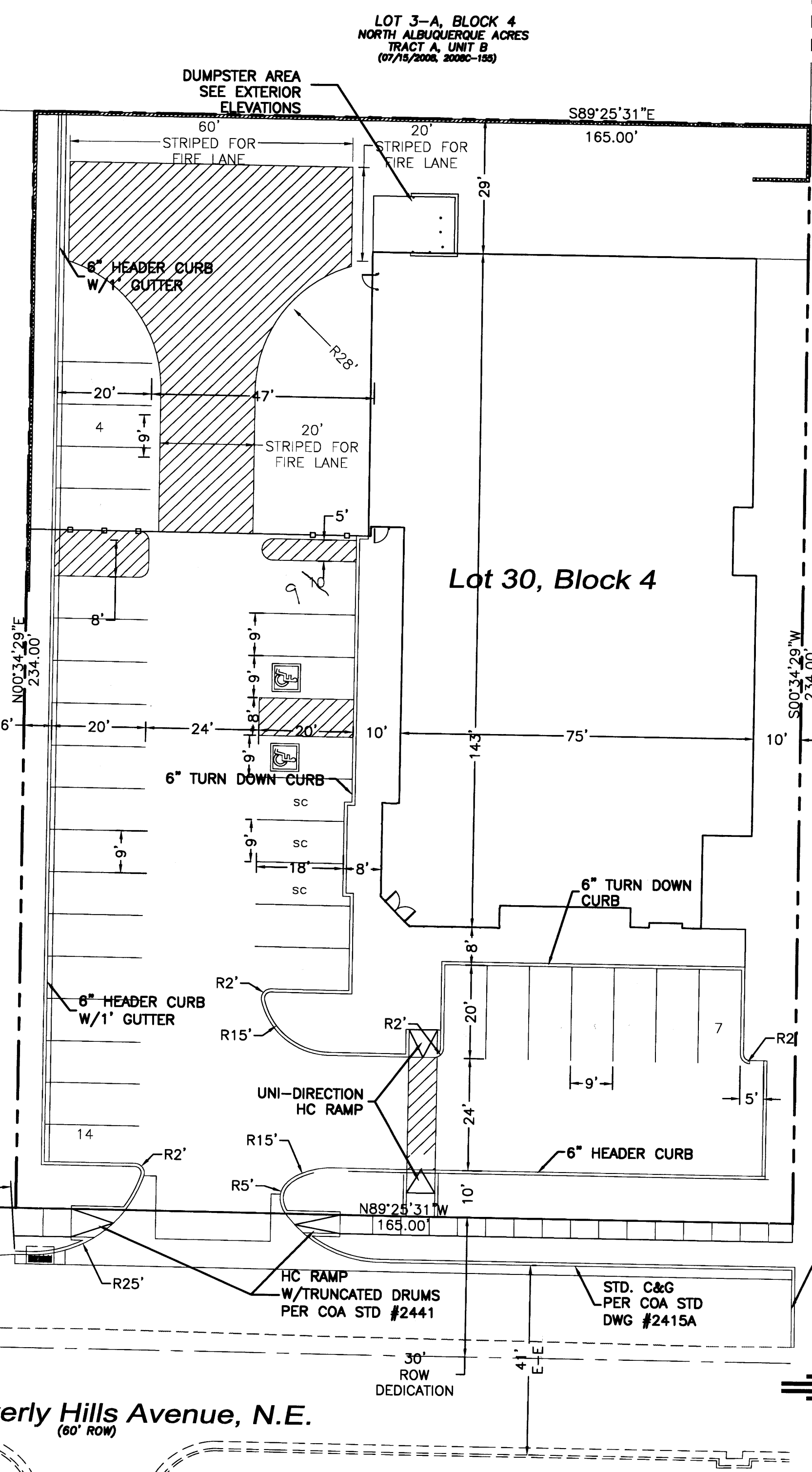
**UNI-DIRECTIONAL WHEELCHAIR RAMP DETAIL (TYP.)**  
NTS



**HANDICAP SIGN DETAIL**  
NTS



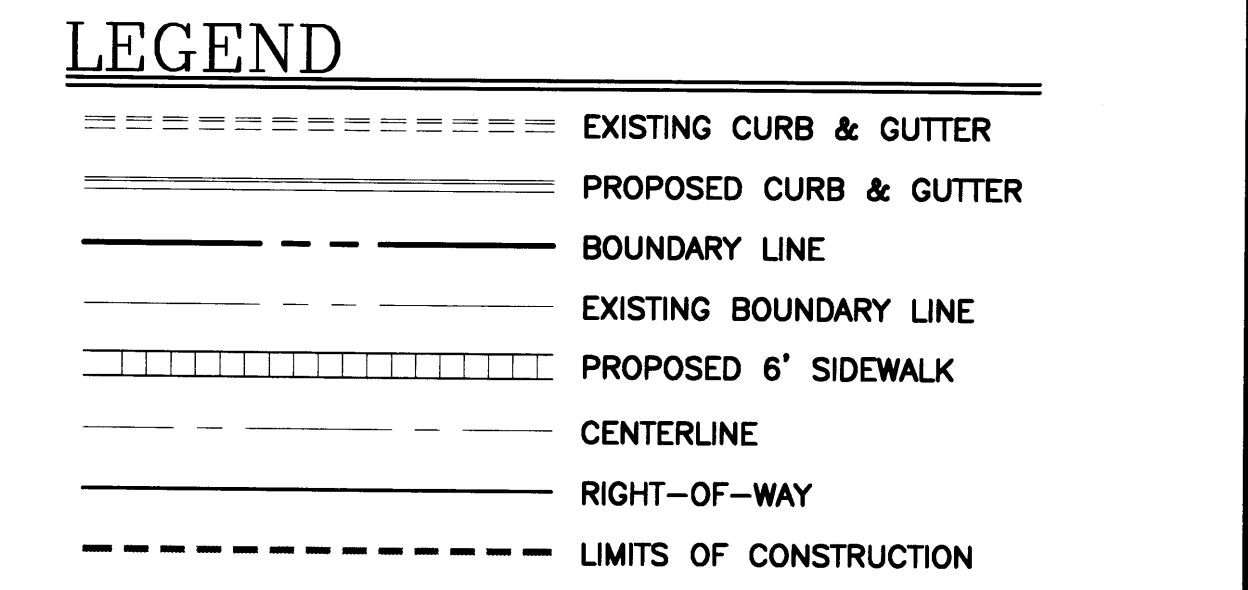
**LIGHT POLE DETAIL**  
NTS



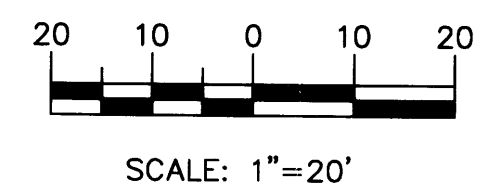
- NOTES:**
1. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
  2. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS.
  3. ALL WHEELCHAIR RAMPS SHALL BE BUILT PER COA STD DWG. #2441.
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  7. VINYL COATED, PLASTIC REFLECTIVE TYPE AWNINGS, FASCIA, BUILDING PANELS, SIGN RACEWAYS OR ROOFS SHALL NOT BE PERMITTED.
  8. FREE STANDING LIGHTING SHALL INCLUDE UNIFORM 20' HIGH POLES WITH FULLY SHIELDED FIXTURES. ALL FIXTURES SHOULD BE HORIZONTALLY-MOUNTED LENSES SHOULD NOT PROJECT BELOW THE HOUSING. LIGHTING LEVELS MUST CONFORM TO ZONING CODE LIMITATIONS.
  9. MAXIMUM BUILDING HEIGHT SHALL BE 28'.

**SITE DATA**

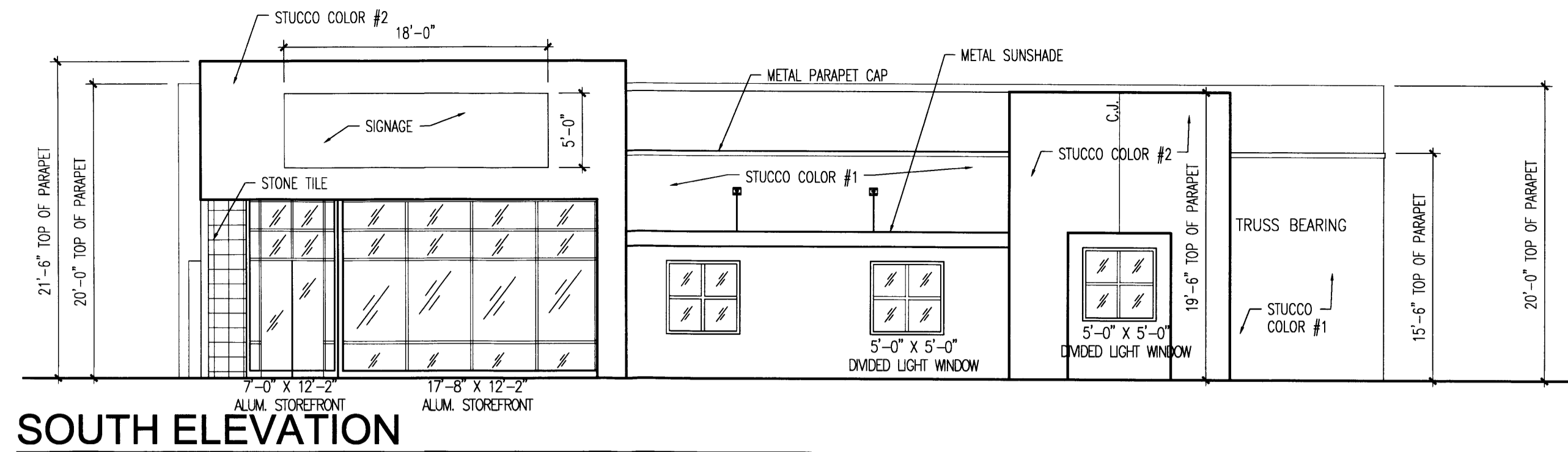
LOT SIZE:	0.8864 AC±
EXISTING ZONING:	IP
PROPOSED ZONING:	OFFICE/WAREHOUSE
PROPOSED USE:	10,777 SF
BUILDING SIZE:	7020 SF OFFICE 3796 SF WAREHOUSE
FAR:	0.28
PARKING PROVIDED:	28 SPACES (3 SMALL CAR)
PARKING REQUIRED W/10% BUS CREDIT:	34 SPACES
HC PARKING PROVIDED:	2 SPACES
HC PARKING REQUIRED:	2 SPACES
BIKE SPACES PROVIDED:	4 SPACES
BIKE SPACES REQUIRED:	4 SPACES
LANDSCAPE PROVIDED:	4681 SF
LANDSCAPE REQUIRED (15% OF NET LOT AREA):	4175 SF



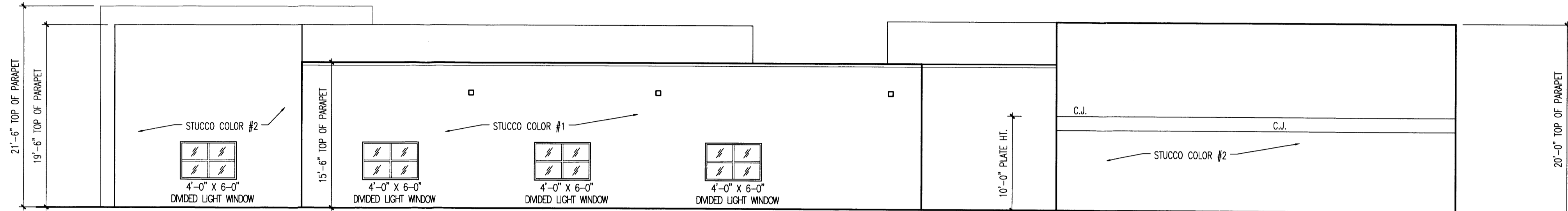
ENGINEER'S SEAL	HB	DRAWN BY WCWJ
		DATE 7-28-09
SITE PLAN FOR BUILDING PERMIT		2010-LAYOUT-4-22-09
		SHEET # 1
DAVID SOULE P.E. #14522	1606 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	JOB # 2910



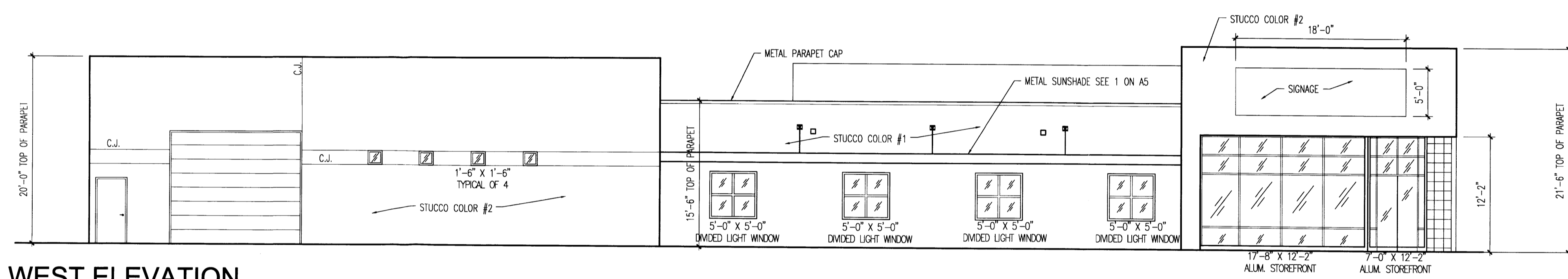




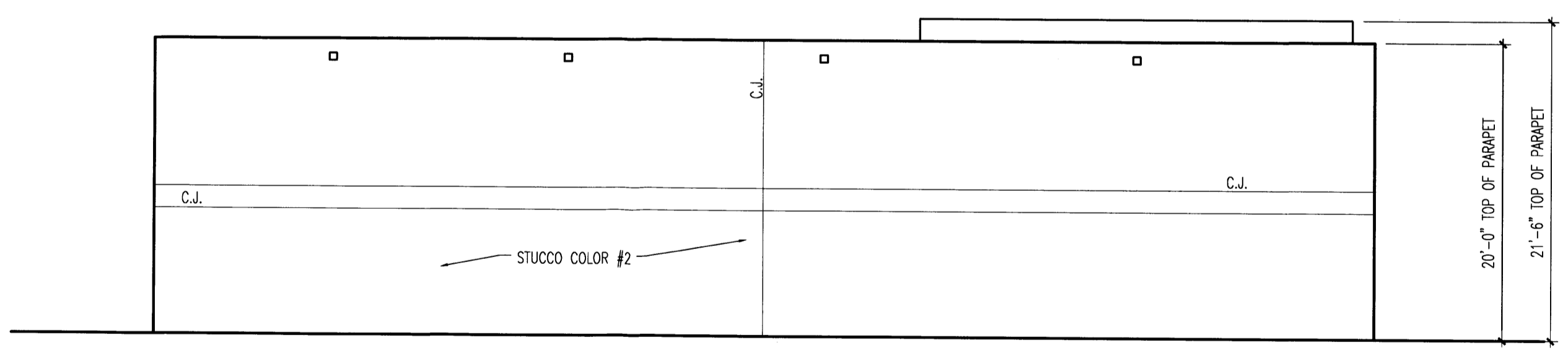
**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

**GENERAL NOTES**

STUCCO UNDERLAYMENT TO BE ONE PLY 15LBS, 20PSI, GRADE D. WEATHERLAP EDGES 4 INCHES MIN. ATTACH WITH LARGE HEAD PLASTIC WASHER HEAD SCREWS OR 1 INCH CROWN STAPLES.

INSTALL 17GA STUCCO NETTING OVER SHEATHING AND UNDERLAYMENT PROVIDING 1 INCH LAP AT ENDS.

APPLY THREE COAT PORTLAND CEMENT PLASTER IN ACCORDANCE WITH ASTM C926, MANUFACTURER'S INSTRUCTIONS, AND APPLICABLE CODES.

SCRATCH COAT TO BE APPLIED WITH A MIN 3/8 INCH THICKNESS WITH SUFFICIENT TROWEL PRESSURE TO KEY PLASTER INTO METAL STUCCO NETTING AND METAL LATH. PRIOR TO INITIAL SET, SCRATCH HORIZONTALLY TO PROVIDE KEY FOR BROWN COAT.

BROWN COAT TO BE APPLIED WITH A MIN 3/8 INCH THICKNESS WITH SUFFICIENT TROWEL PRESSURE TO KEY PLASTER INTO SCRATCH COAT. ROD SURFACE TO A TRUE PLANE. EMBED FIBERGLASS REINFORCEMENT INTO WET BROWN COAT. FLOAT OR LIGHTLY BROOM TO PROVIDE FOR BOND WITH FINISH COAT.

MOIST CURE SCRATCH AND BROWN COATS WITH FOG SPRAY OF CLEAR WATER WITH FREQUENT APPLICATIONS TO MAINTAIN PLASTER MOISTURE FOR A MIN OF 48 HOURS FOLLOWING APPLICATION.

EXTERIOR FINISH COAT TO BE FACTORY MIXED, WATER BASED, ACRYLIC POLYMER COATING WITH GRADED AGGREGATE AND INTEGRAL COLOR. APPLY OVER CURED SCRATCH AND BROWN COATS TO A MIN 1/8 INCH THICKNESS. FINISH TEXTURE AND THICKNESS TO MATCH OWNER APPROVED SAMPLE.

STUCCO COLOR #1 = EL REY 106 "BUCKSKIN"

STUCCO COLOR #2 = EL REY 121 "SANDALWOOD"

No	Revision	Item	Date
1			DD/MM/YY

**SCOTT ANDERSON**  
ARCHITECT  
7604 Rio Penasco NW Albuquerque, New Mexico 87120  
Phone: (505) 401-7575 Email: andersonscott@comcast.net

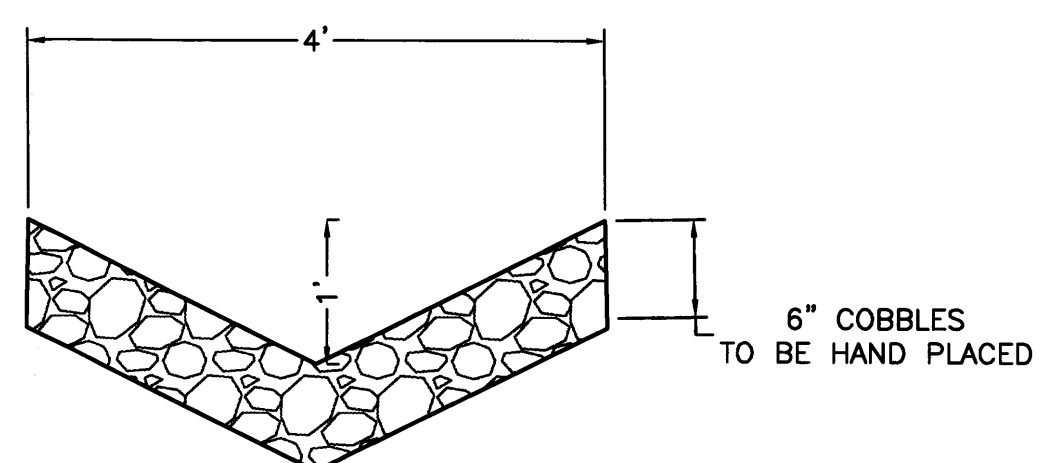
**HB CONSTRUCTION OFFICE BUILDING**  
1111 BEVERLY HILLS AVE, NE  
ALBUQUERQUE, NM 87113

**EXTERIOR ELEVATIONS**

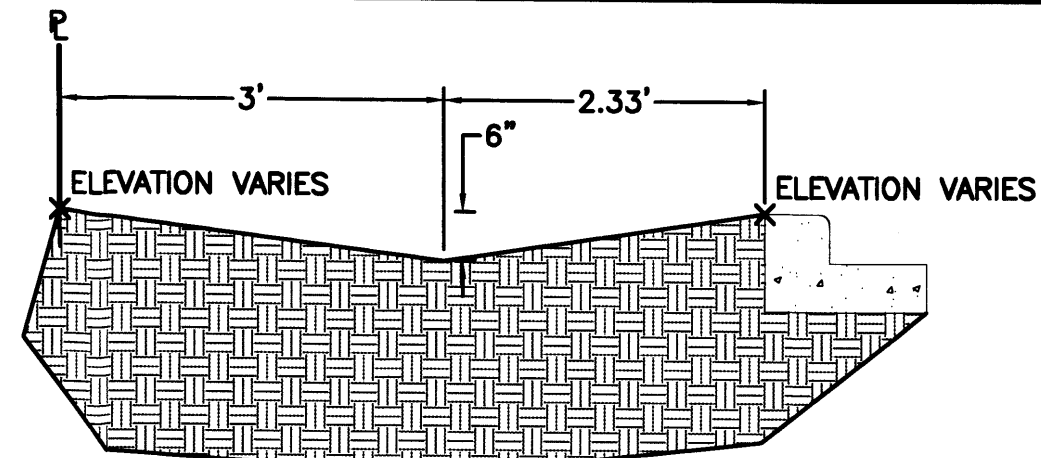
DESIGNED	PROJECT NO
DRAWN	SCALE
CHECKED	DRAWING NO
REVIEWED	
DATE 8/04/09	OF

**EROSION CONTROL NOTES:**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

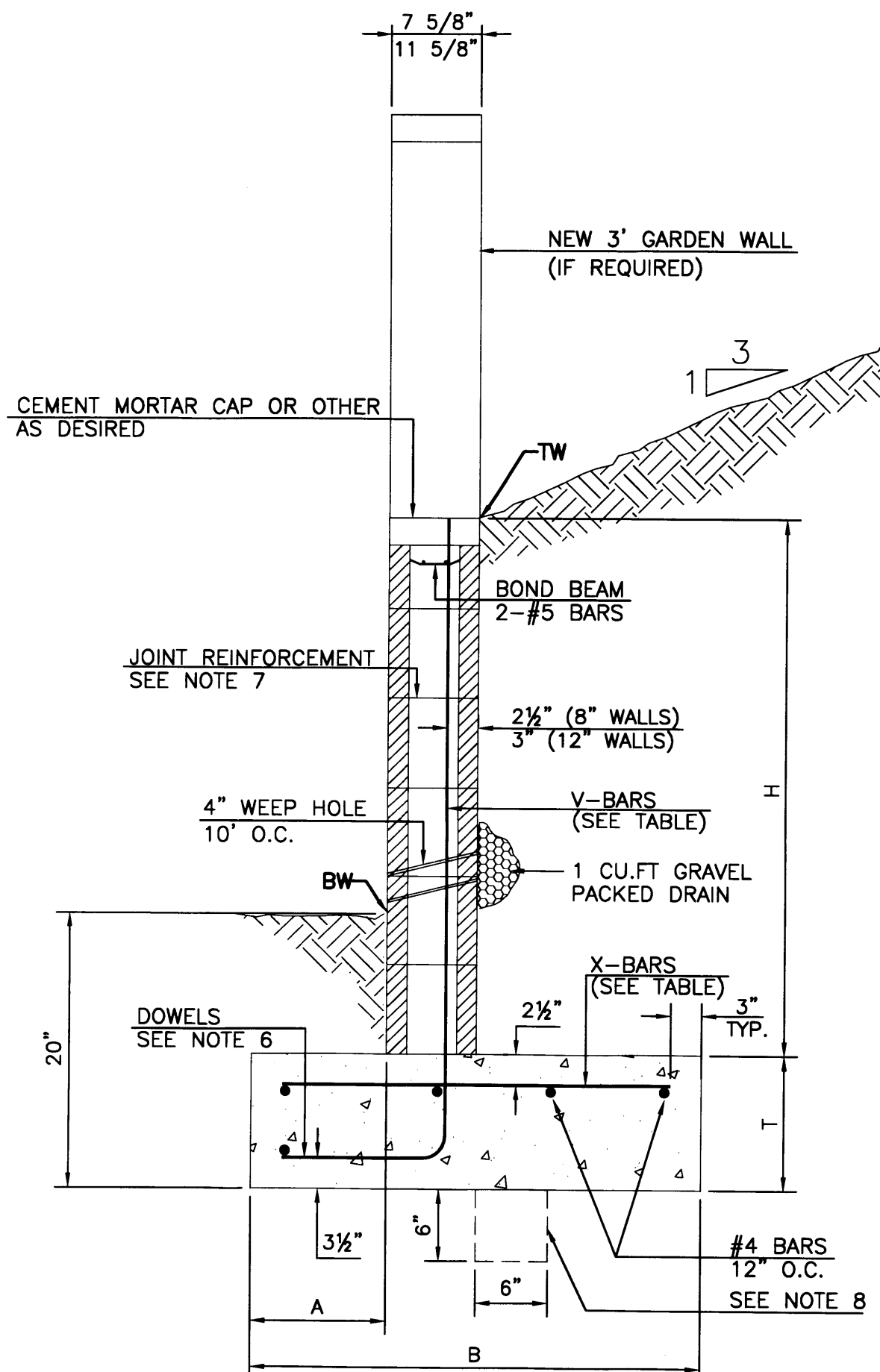


**COBBLE SWALE DETAIL**  
NTS



**SECTION A-A**  
NTS

**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



**RETAINING WALL DETAIL**  
NTS

**8 INCH REINFORCED CONCRETE MASONRY WALL**

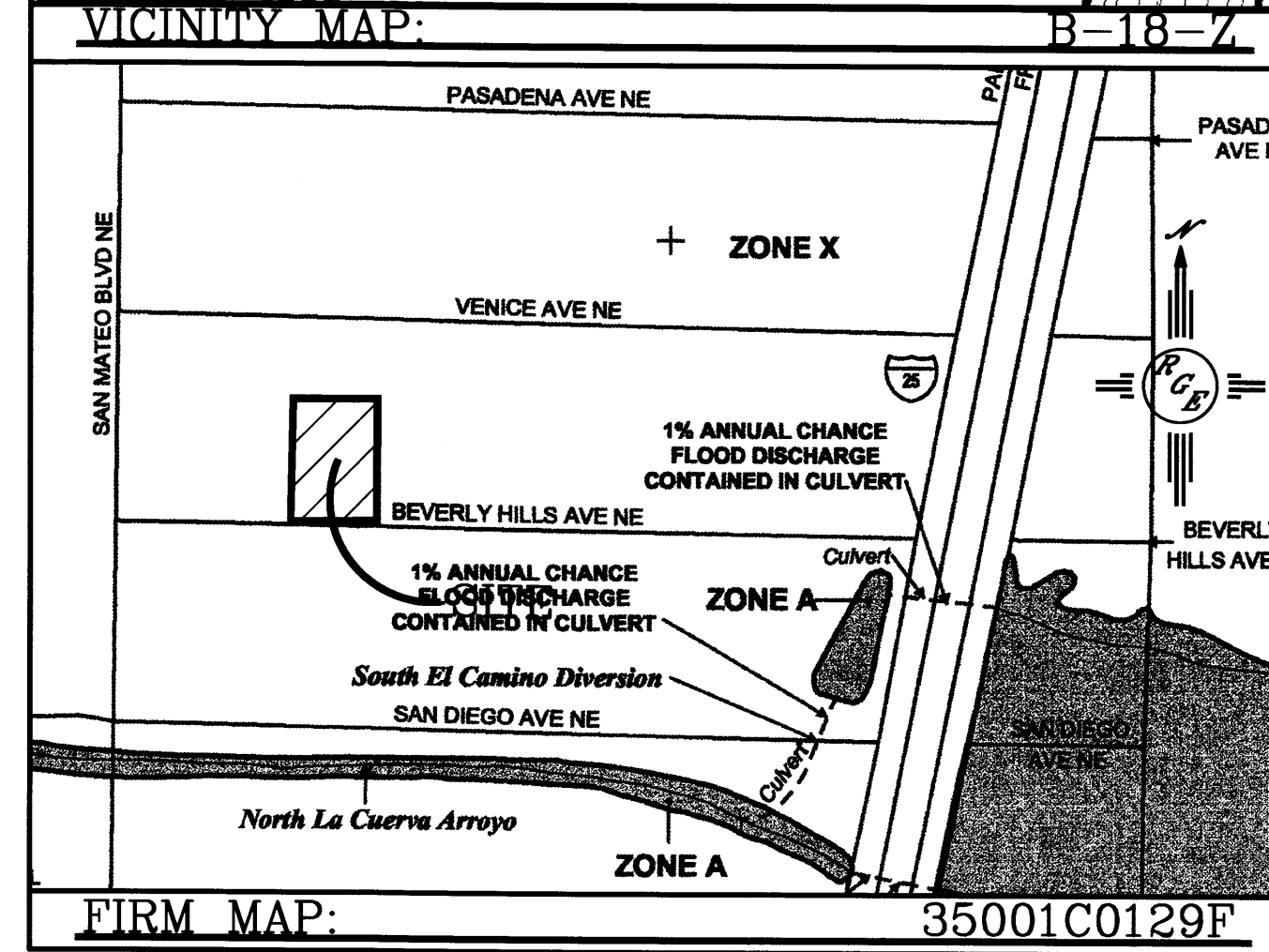
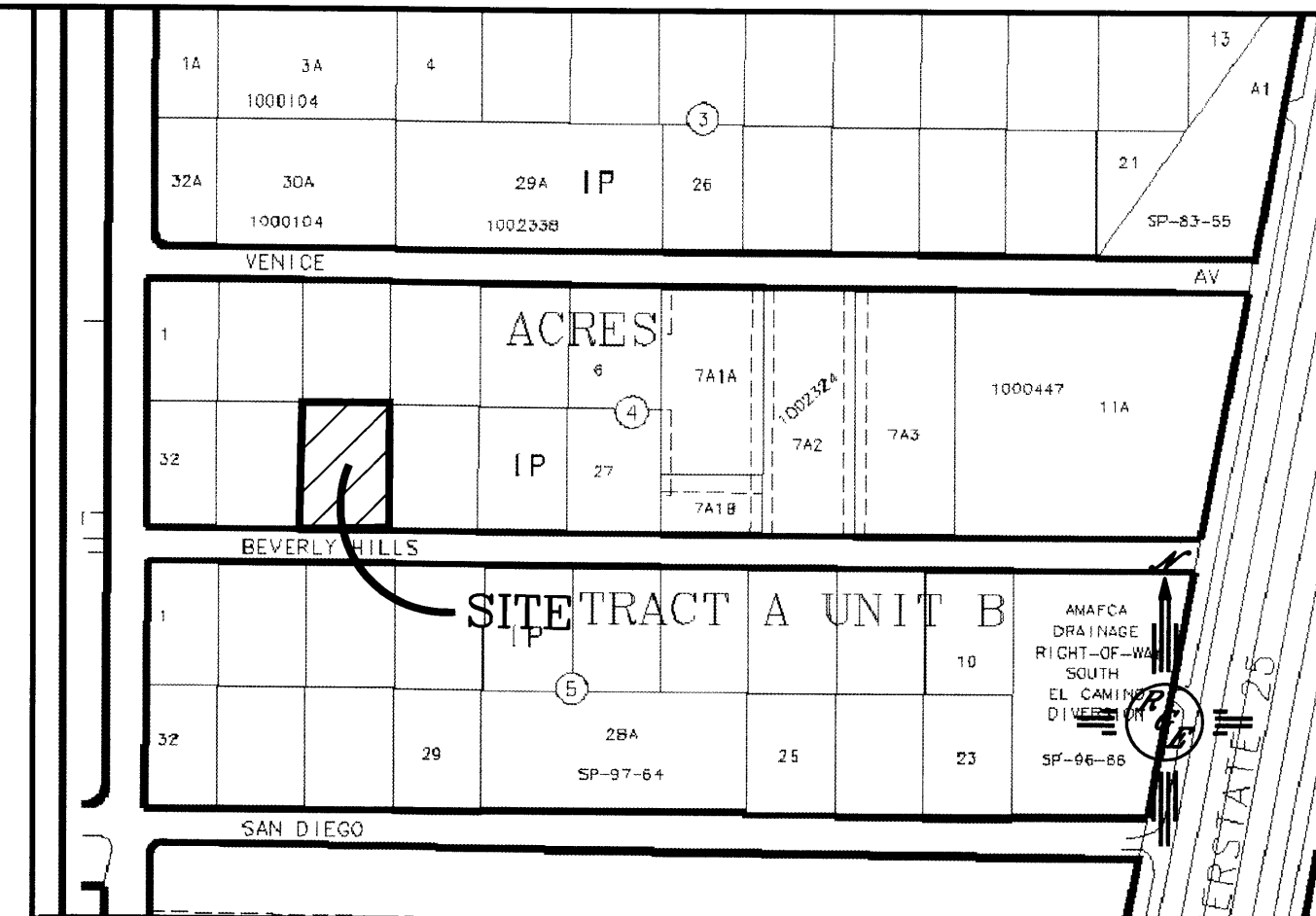
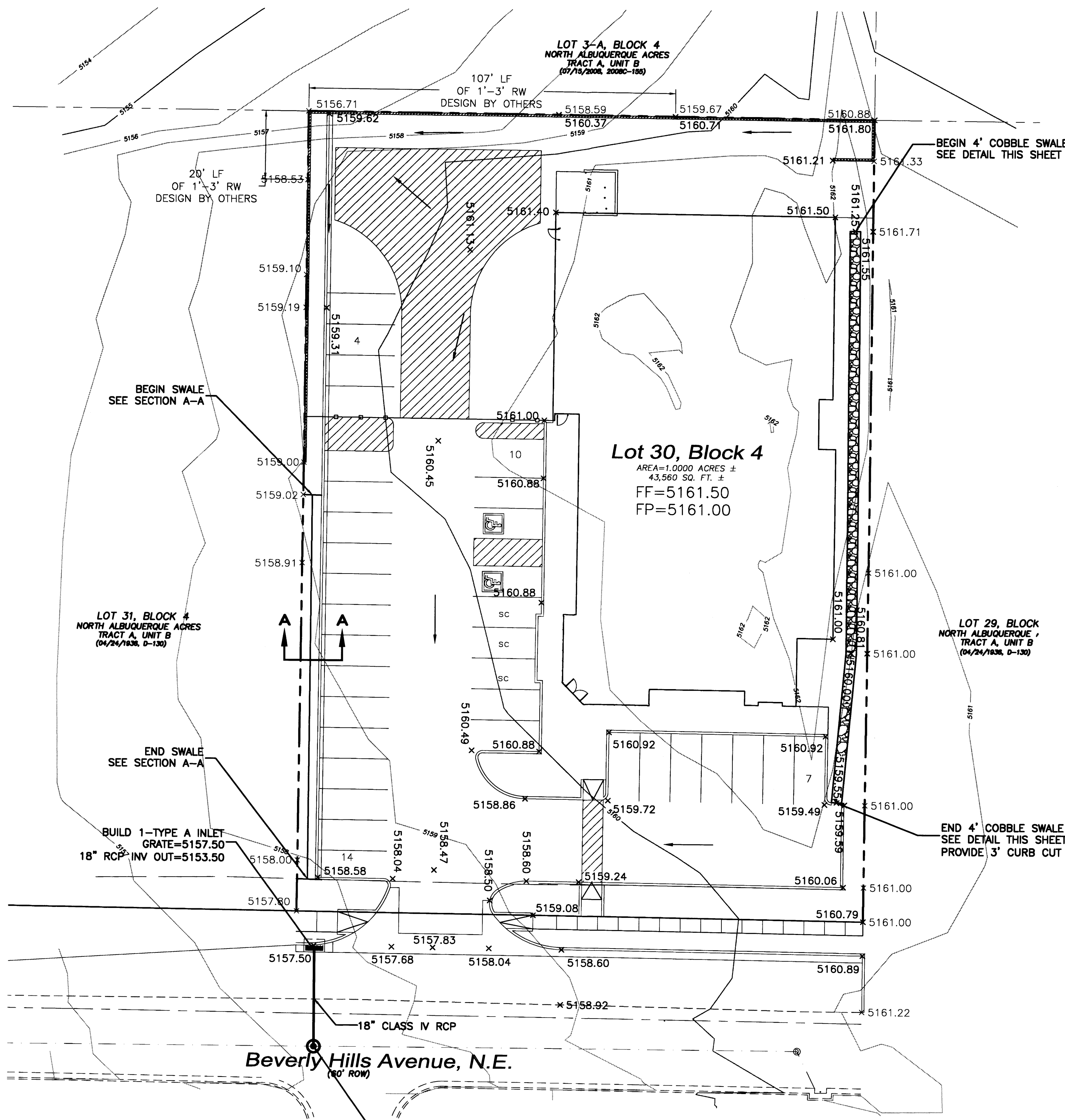
H	A	B	T	V-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
3'-4"	8"	2'-6"	10"	#4 @32" O.C.	#4 @32" O.C.
4'-0"	10"	2'-10"	10"	#4 @32" O.C.	#4 @32" O.C.
4'-8"	12"	3'-6"	12"	#4 @24" O.C.	#4 @24" O.C.
5'-4"	14"	3'-10"	12"	#4 @16" O.C.	#4 @16" O.C.
6'-0"	16"	4'-4"	12"	#4 @16" O.C.	#4 @16" O.C.
6'-8"	18"	4'-10"	14"	#5 @16" O.C.	#5 @16" O.C.

**12 INCH REINFORCED CONCRETE MASONRY WALL**

H	A	B	T	V-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#4 @24" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @16" O.C.
6'-8"	16"	4'-6"	12"	#5 @24" O.C.	#5 @24" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#6 @16" O.C.
8'-0"	20"	5'-4"	12"	#7 @24" O.C.	#7 @24" O.C.

**GENERAL NOTES:**

1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACKFILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DWR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. JOINT REINFORCEMENT CONSISTING OF 9GA. LONGITUDINAL WIRE AND 3/16" CROSS RODS SHALL BE PROVIDED AT 8" CENTERS VERTICALLY.
8. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
9. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.

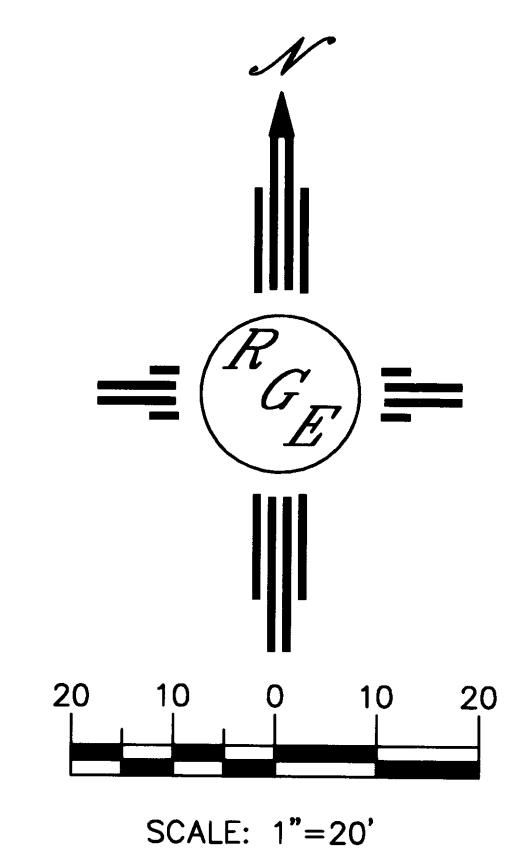


**LEGAL DESCRIPTION:**  
Lot 30, Block 4 North Albuquerque Acres, Tract A, Unit B

**NOTES:**  
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

**LEGEND**

	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER INLET
	EXISTING STORM SEWER LINE
	PROPOSED SNGL "A" INLET
	PROPOSED STORM SEWER LINE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EXISTING BOUNDARY LINE
	PROPOSED SIDEWALK
	PROPOSED PERIMETER WALL
	PROPOSED RETAINING WALL
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	FLOW ARROW
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	CENTERLINE
	RIGHT-OF-WAY

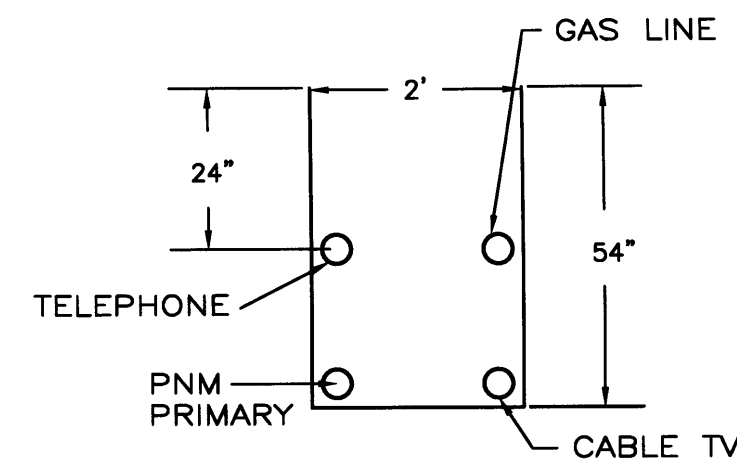


ENGINEER'S SEAL	HB	DRAWN BY WCKJ
		DATE 5-14-09
GRADING AND DRAINAGE PLAN		2010-LAYOUT-4-22-09
 Rio Grande Engineering 1606 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999		SHEET # 3
		JOB # 2910
DAVID SOULE P.E. #14522		



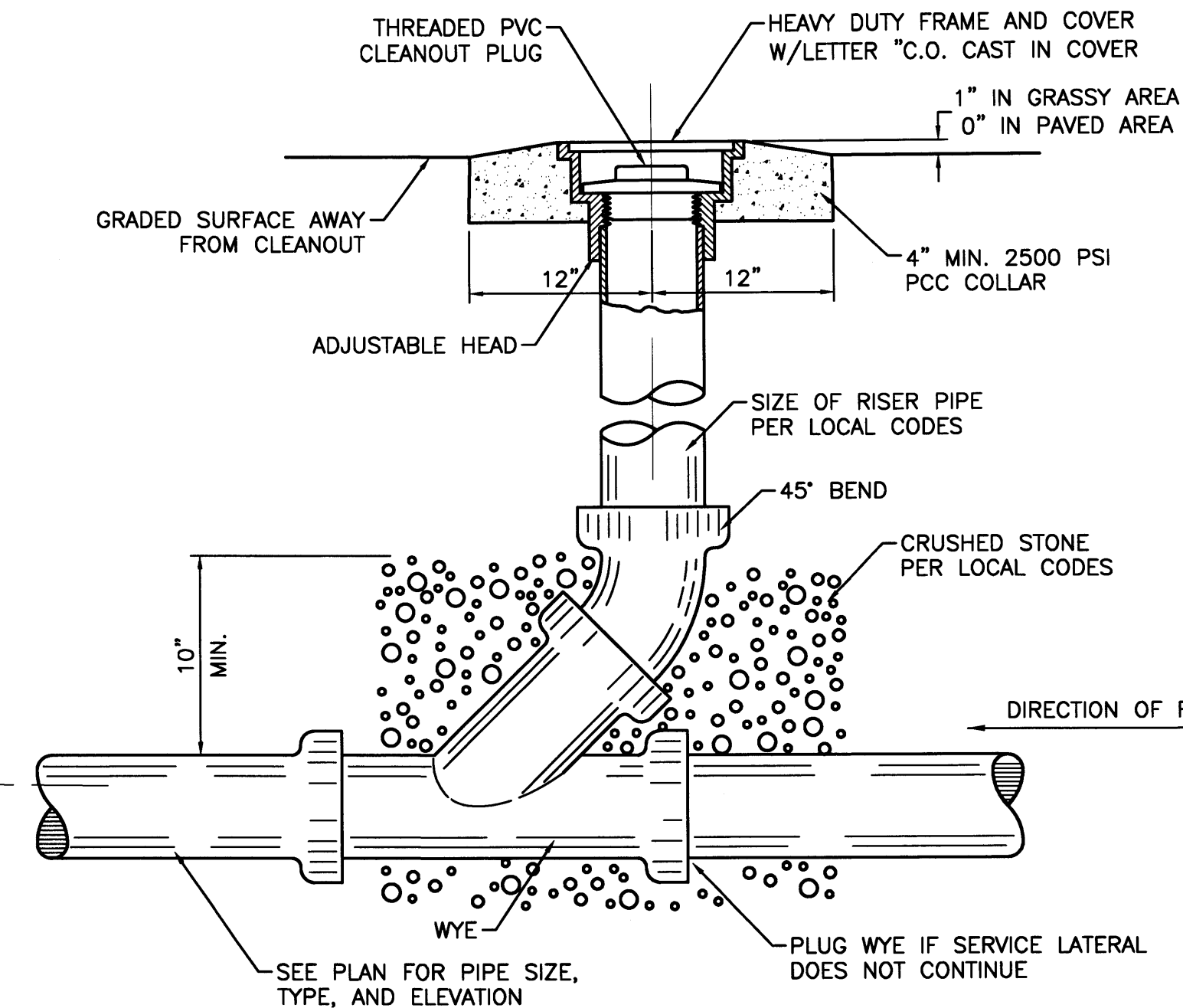
# NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
9. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
10. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER; IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
11. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES FOR WHICH HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
12. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
13. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
14. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
15. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14, NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11, NMSA 1978.
16. CONTRACTOR SHALL NOTIFY NEW MEXICO UTILITIES 3 DAYS IN ADVANCE OF CONSTRUCTION.



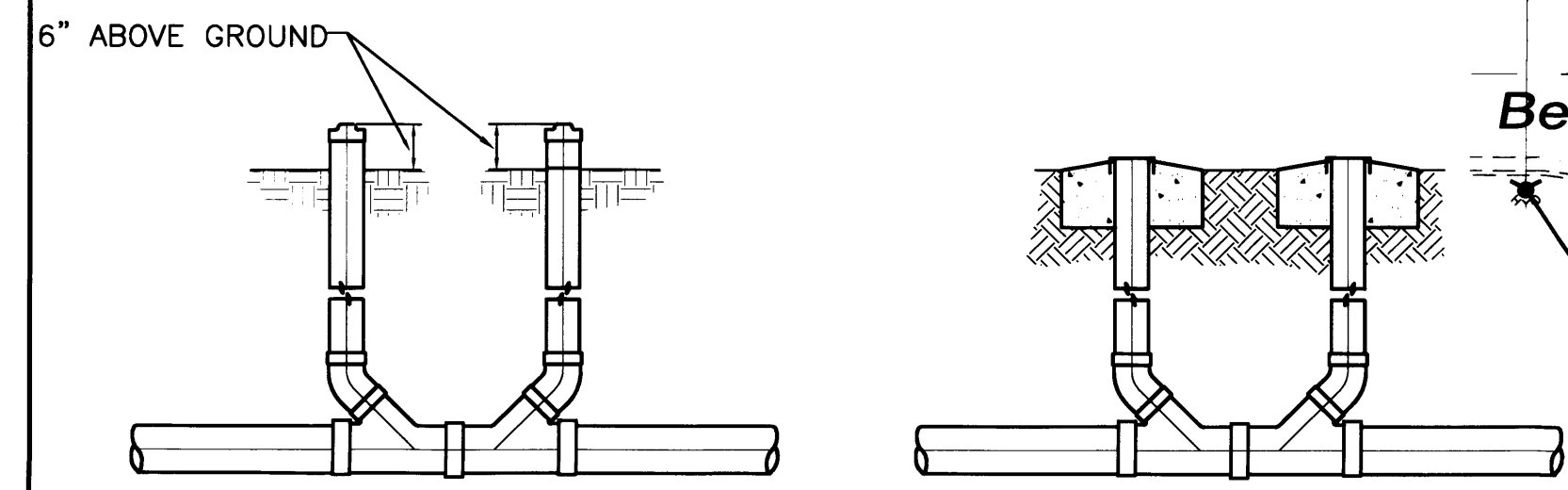
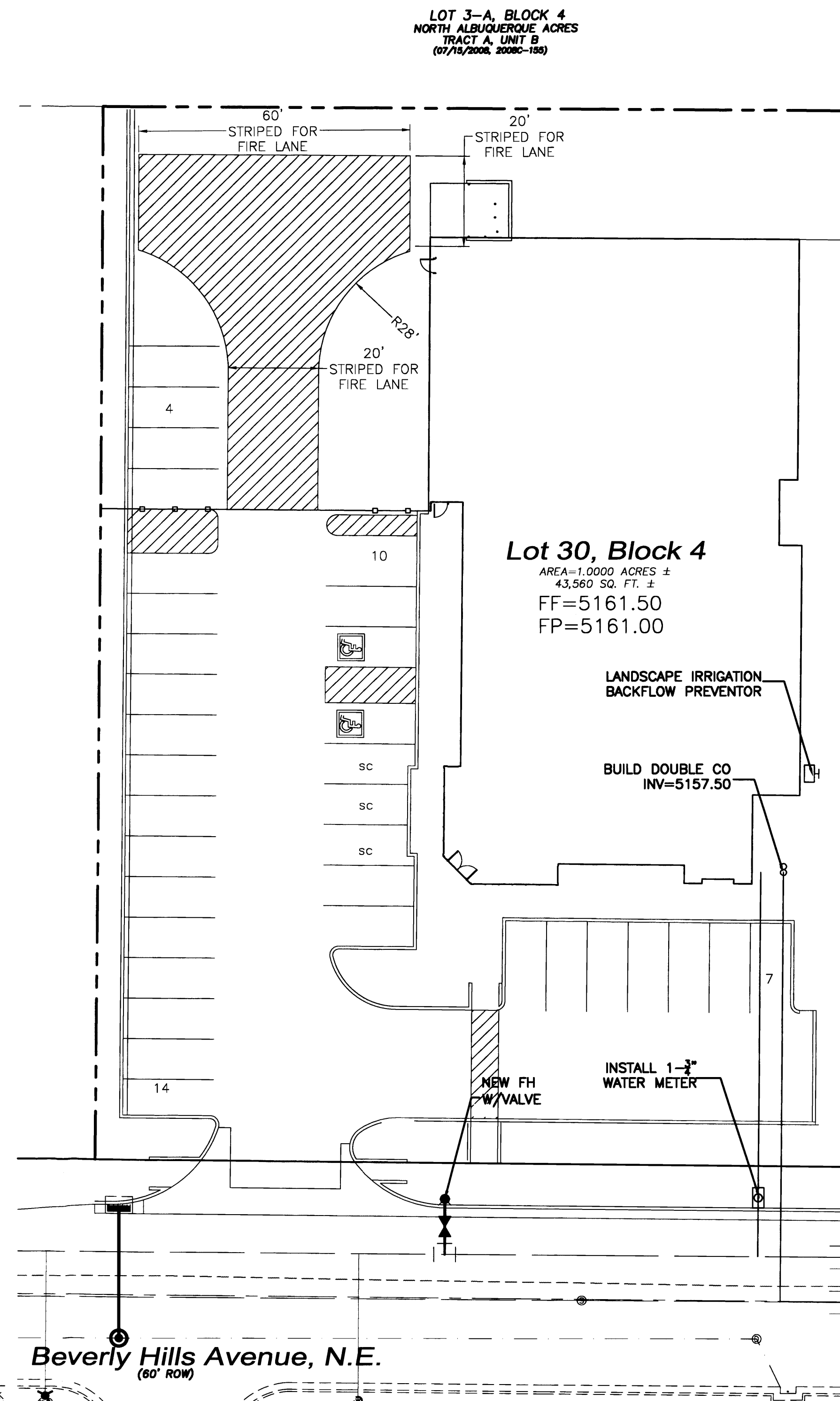
## UTILITY TRENCH DETAIL

NTS



## SANITARY SEWER CLEAN-OUT

NTS



## SANITARY SEWER DOUBLE CLEAN-OUTS

NTS

## WATER SHUTOFF PLAN

SHUTOFF VALVES:

### NOTES:

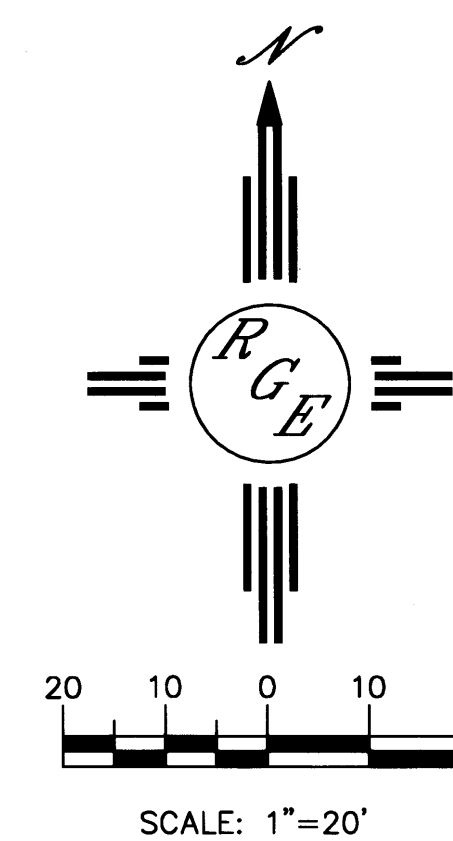
1. WATER SHUT-OFF SHALL BE COORDINATED WITH ABCWUA
2. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
3. NOTIFY ABCWUA THREE(3) WORKING DAYS IN ADVANCE OF EXECUTION OF THE WATER SHUT-OFF PLAN
4. ALL WATERLINES TO BE 3/4" COPPER, UNLESS OTHERWISE NOTED.
5. SHUT-OFF VALVES INDICATED IN THE ABOVE PLAN IN THE EVENT OF EMERGENCY

## LEGEND

○	EXISTING SAS MANHOLE
---	EX. 8" SAS
●	PROPOSED SAS MANHOLE
○	PROPOSED SAS CLEANOUT
—	6" SAS
---	SANITARY SEWER SERVICE LINE
---	EX. 12" WL
□	PROPOSED METER
⋈	PROPOSED VALVE W/BOX
●	PROPOSED FIRE HYDRANT
---	WATER SERVICE LINE
—	8" WL
---	PROPOSED WATER LINE
---	PROPOSED STORM SEWER LINE
=====	EXISTING CURB & GUTTER
=====	PROPOSED CURB & GUTTER
---	CENTERLINE
---	RIGHT-OF-WAY
---	DRY UTILITY TRENCH
---	BOUNDARY LINE
---	EASEMENT

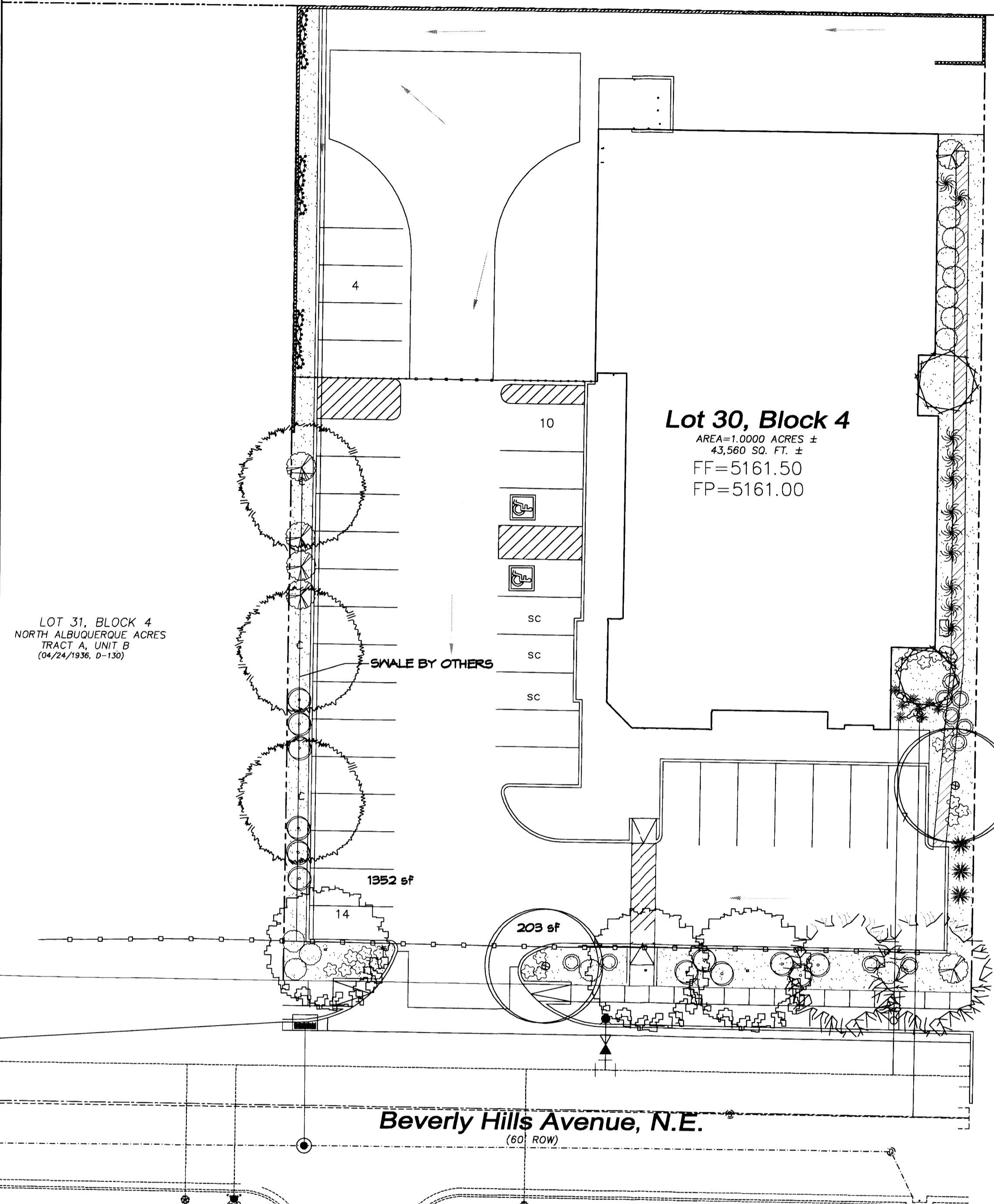
## GENERAL NOTES:

1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
4. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
5. ALL PIPE MATERIAL TO BE USED PER UPC.



ENGINEER'S SEAL	HB	DRAWN BY: WCVJ
		DATE: 5-14-09
	MASTERUTILITY PLAN	2010-LAYOUT-4-22-09
	<i>Rio Grande Engineering</i>	SHEET # 4
DAVID SOULE P.E. #14522	1606 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	JOB # 2910

LOT 3-A, BLOCK 4  
NORTH ALBUQUERQUE ACRES  
TRACT A, UNIT B  
(07/15/2008, 20080-158)



**Lot 30, Block 4**  
AREA=1.0000 ACRES ±  
43,560 SQ. FT. ±  
FF=5161.50  
FP=5161.00

LOT 31, BLOCK 4  
NORTH ALBUQUERQUE ACRES  
TRACT A, UNIT B  
(04/24/1936, 0-130)

LOT 29, BLOCK 4  
NORTH ALBUQUERQUE ACRES  
TRACT A, UNIT B  
(04/24/1936, 0-130)

**Beverly Hills Avenue, N.E.**  
(60' ROW)

**PLANT LEGEND**

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been graded for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

- AUTUMN BLAZE MAPLE 3  
Acer x Freemanii Autumn Blaze'  
2" Cal., 12-14" Inst./40' x 50' maturity  
Water (M) Allergy (L) 0sf
- BUR OAK 3  
Quercus macrocarpa  
2" Cal., 12-14" Inst./60' x 60' maturity  
Water (M) Allergy (M) 0sf
- COMMON HACKBERRY 2  
Celtis occidentalis  
2" Cal., 12-14" Inst./40' x 40' maturity  
Water (M) Allergy (L) 0sf
- CHITALPA 2  
Catalpa x chitalpa linearis  
2" Cal., 12-14" Inst./40' x 40' maturity  
Water (M) Allergy (L) 0sf

**SHRUBS/ORNAMENTAL TREES  
FIFTEEN GAL.**

- DESERT WILLOW 2  
Chilopsis linearis  
15 Gal., 4-10" Inst./20' x 25' maturity  
Water (L+) Allergy (L) 225sf

**SHRUBS/ORNAMENTAL GRASSES  
FIVE GAL.**

- RUSSIAN SAGE 12  
Perovskia atriplicifolia  
5 Gal., 18"-3' Inst./6' x 6' maturity  
Water (M) Allergy (L) 36sf
- APACHE PLUME 12  
Fallugia paradoxa  
5 Gal., 18"-3' Inst./6' x 7' maturity  
Water (L) Allergy (L) 49sf
- MAIDENGRASS 11  
Miscanthus sinensis  
5 Gal., 18"-3' Inst./5' x 5' maturity  
Water (M+) Allergy (L) 25sf
- \* RED YUCCA 3  
Hesperaloe parviflora  
5 Gal., 18"-3' Inst./3' x 4' maturity  
Water (L+) Allergy (L) 16sf
- \* TURPENTINE BUSH 10  
Eriogonum fasciculatum  
1 Gal., 6"-15" Inst./3' x 4" maturity  
Water (L+) Allergy (L) 16sf
- POTENTILLA 21  
Potentilla fruticosa  
1 Gal., 3"-15" Inst./3' x 3' maturity  
Water (M+) Allergy (L) 9sf
- BLUE FESCUE 5  
Festuca ovina glauca  
1 Gal., 3"-15" Inst./1' x 1' maturity  
Water (M) Allergy (L) 2sf

**GROUNDCOVERS**

- \* HONEYSUCKLE 6  
Lonicera japonica Halliana'  
1 Gal., 6"-15" Inst./3' x 12' maturity  
Water (M) Allergy (L) 144sf  
Unstaked-Groundcover

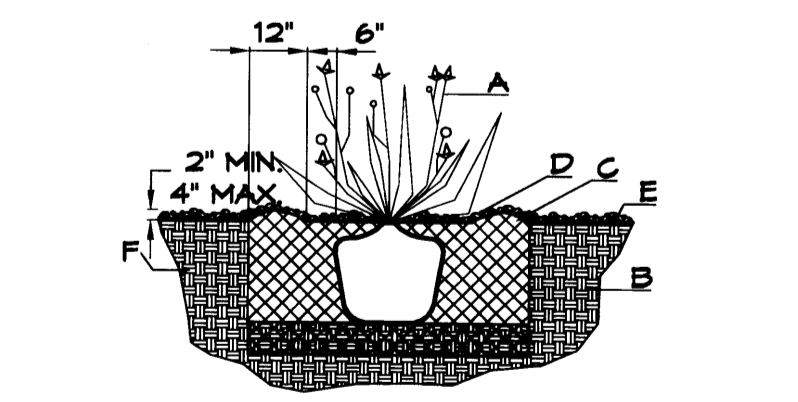
**VINES**

- WINTER JASMINE 3  
Jasminum nudiflorum  
1 Gal., 6"-15" Inst./Climbing to 12'  
Water (L+) Allergy (L)

**HARDSCAPES**

- OVERSIZED GRAVEL  
4 3 BOULDERS
- SANTA FE BROWN GRAVEL  
WITH FILTER FABRIC  
TO A MINIMUM 3" DEPTH
- COBBLE WITH  
FILTER FABRIC
- \* DENOTES EVERGREEN PLANT MATERIAL

**SHRUB PLANTING DETAIL**



**SHRUB PLANTING DETAIL**

- GENERAL NOTES:
- THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
- CONSTRUCTION NOTES:
- SHRUB.
  - BACKFILL WITH EXISTING SOIL.
  - EARTH BERM AROUND WATER RETENTION BASIN.
  - 3" DEPTH OF GRAVEL MULCH.
  - FINISH GRADE.
  - UNDISTURBED SOIL.

**LANDSCAPE NOTES:**

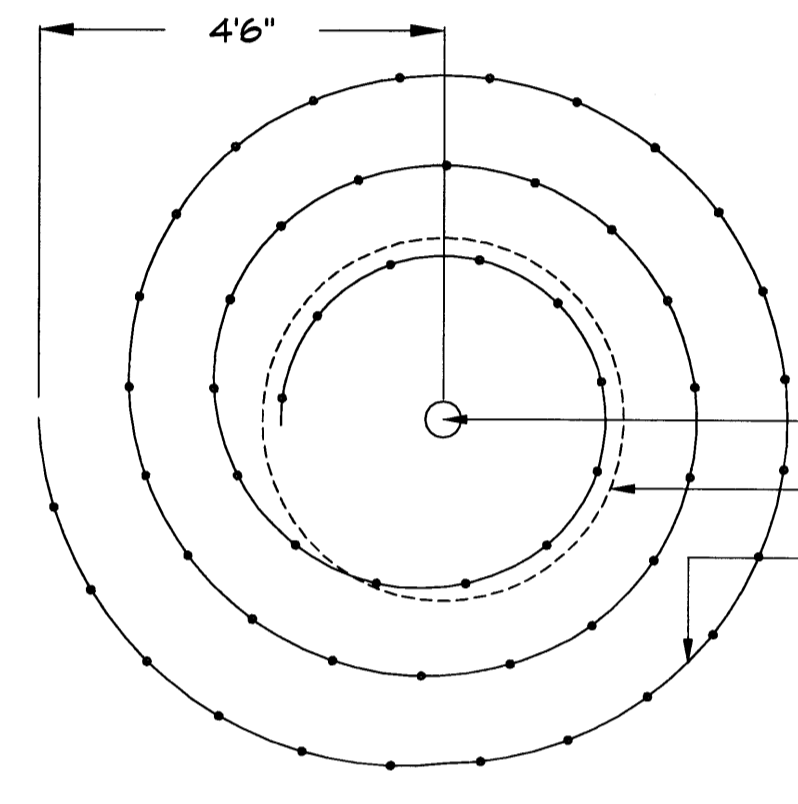
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance, planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

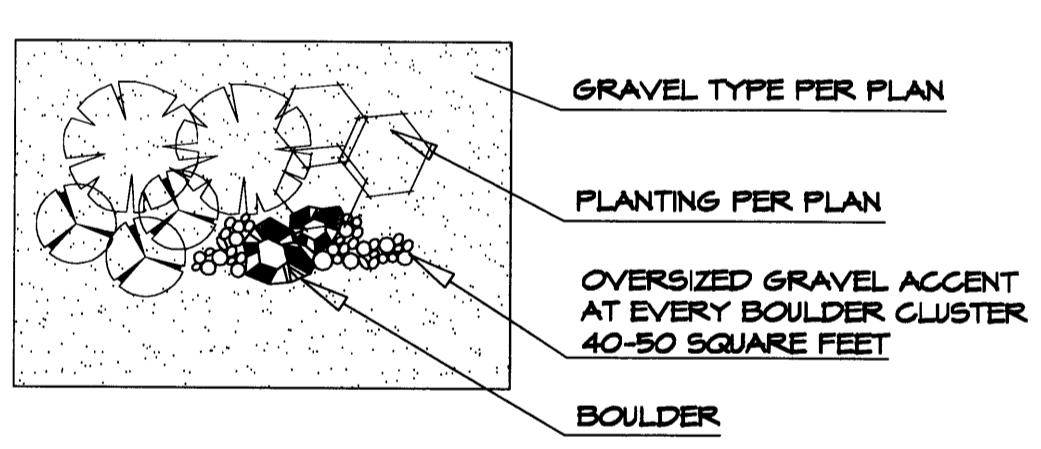
Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

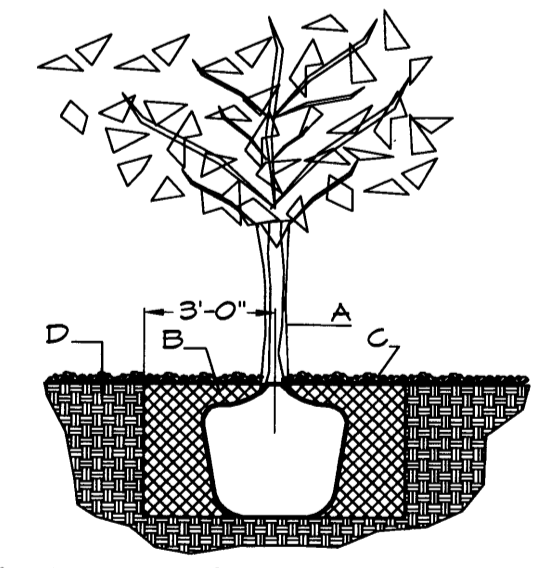


**Netafim Spiral Detail**

**GRAVEL ACCENT DETAIL**



**GRAVEL ACCENT DETAIL**



**TREE PLANTING DETAIL**

- GENERAL NOTES:
- ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
  - TOP OF ROOTBALL, INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
  - PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
  - PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

- CONSTRUCTION NOTES:
- TREE
  - BACKFILL WITH EXISTING SOIL.
  - 3" DEPTH OF GRAVEL MULCH.
  - UNDISTURBED SOIL.

**IRRIGATION NOTES:**

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

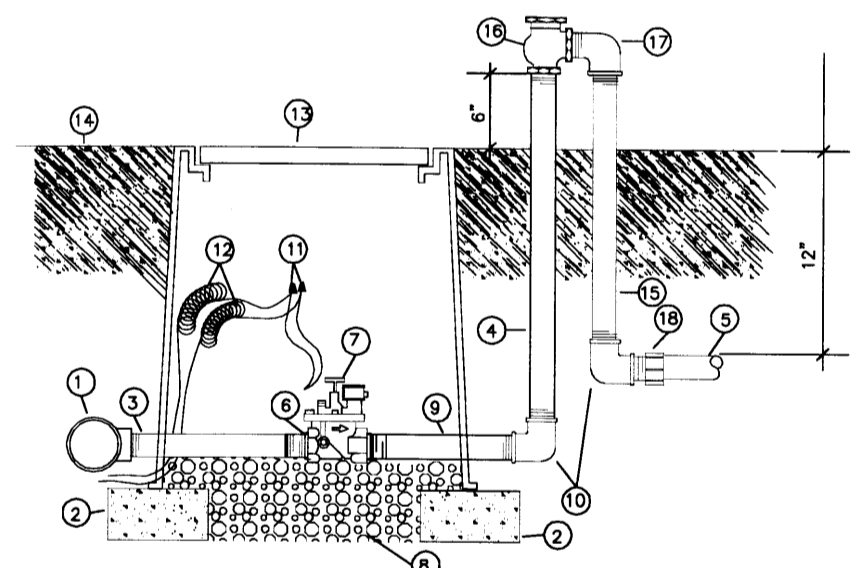
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.



**AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER**

**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA	43560	square feet
TOTAL BUILDINGS AREA	10776	square feet
NET LOT AREA	32784	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	4918	square feet
TOTAL BED PROVIDED	4494	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	3371	square feet
TOTAL GROUNDCOVER PROVIDED	3470 (77%)	square feet
TOTAL SOD AREA	0	square feet
(max. 20% of landscape required)		
TOTAL LANDSCAPE PROVIDED	4494 (14%)	square feet

**STREET TREE REQUIREMENTS - Minimum 2" Caliper**

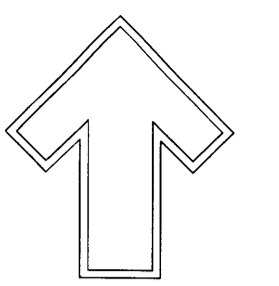
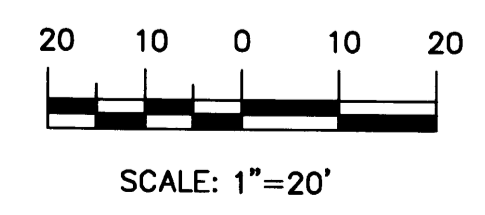
Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:  
Name of Street: Beverly Hills Ave. NE  
Required # 6 Provided # 6

**PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper**

Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:  
1 Shade tree per 10 spaces  
Required # 4 Provided # 4

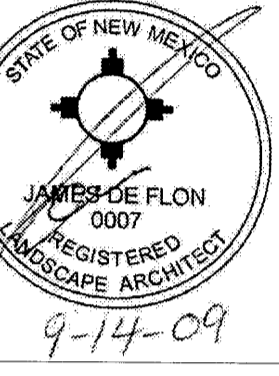
**NOTE TO CLIENT:**  
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an in-field change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

**GRAPHIC SCALE**



Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
cm@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL



JAMES DE FLON #0007

**HB CONSTRUCTION OFFICE**  
1111 BEVERLY HILLS AVE. NE  
ALBUQUERQUE, NM  
LANDSCAPE PLAN

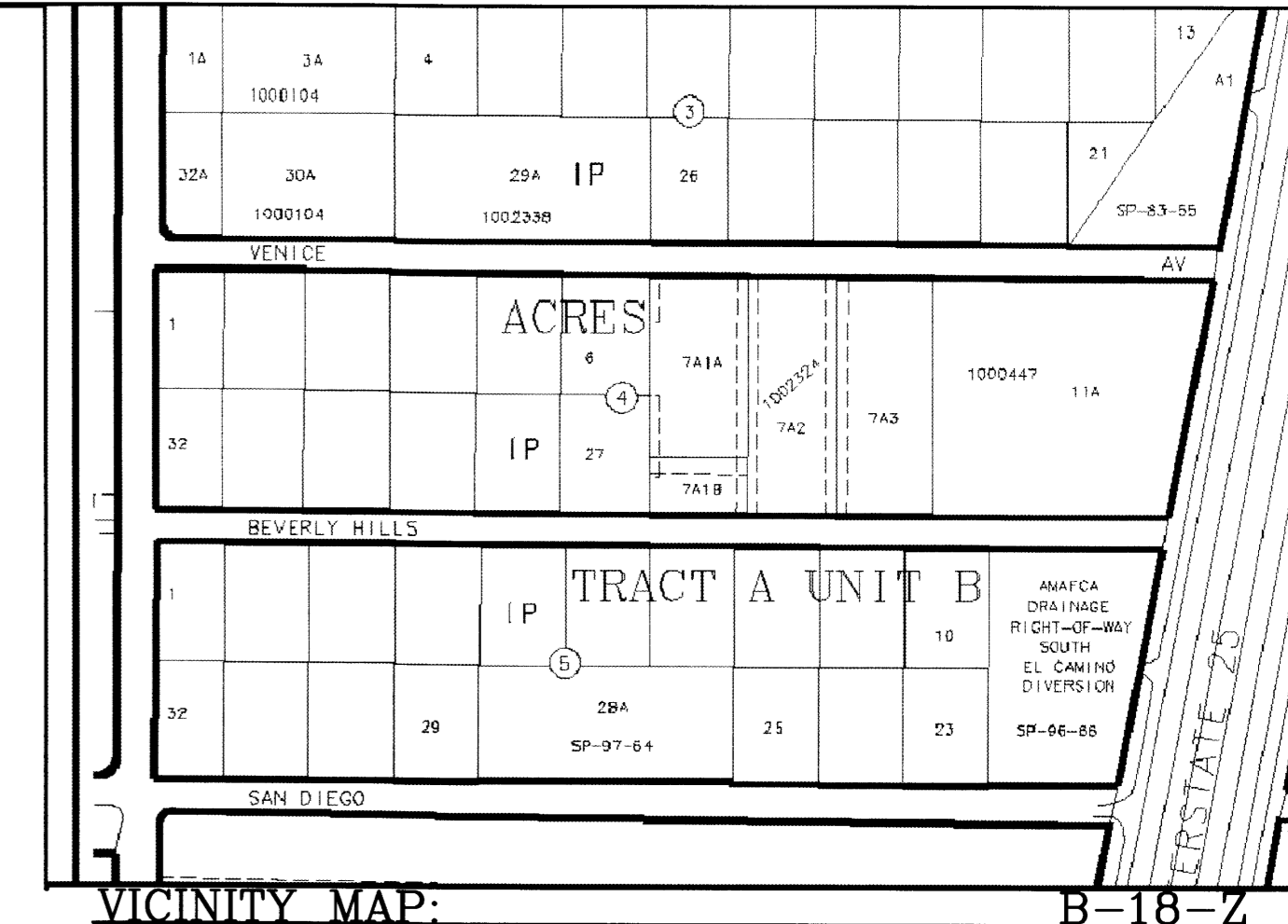
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DRAWN BY: cmc  
REVISION # 1/9 11-09 rc  
2/9 14-09 ic  
DATE: 04/11/09  
8-10-09

SHEET #  
L1 OF L1





VICINITY MAP: B-18-4

- LEGAL DESCRIPTION:**  
 Lot 30, Block 4 North Albuquerque Acres, Tract A, Unit B
- LEGEND**
- EXISTING CURB & GUTTER
  - ===== PROPOSED CURB & GUTTER
  - BOUNDARY LINE
  - EXISTING BOUNDARY LINE
  - ===== PROPOSED SIDEWALK
  - CENTERLINE
  - RIGHT-OF-WAY

**PARKING CALCULATIONS:**

WAREHOUSE 1SP/ 2,000 SQFT  
 3,790 SQ.FT. / 2,000 = 2 SPACES

BUSINESS 1SP/ 200 SQ. FT.  
 6,780 SQ.FT. / 200 = 34 SPACES

SUBTOTAL PARKING REQUIRED = 36 EACH  
 - 10% REDUCTION FOR BEING 300FT FROM TRANSIT ROUTE SYSTEM

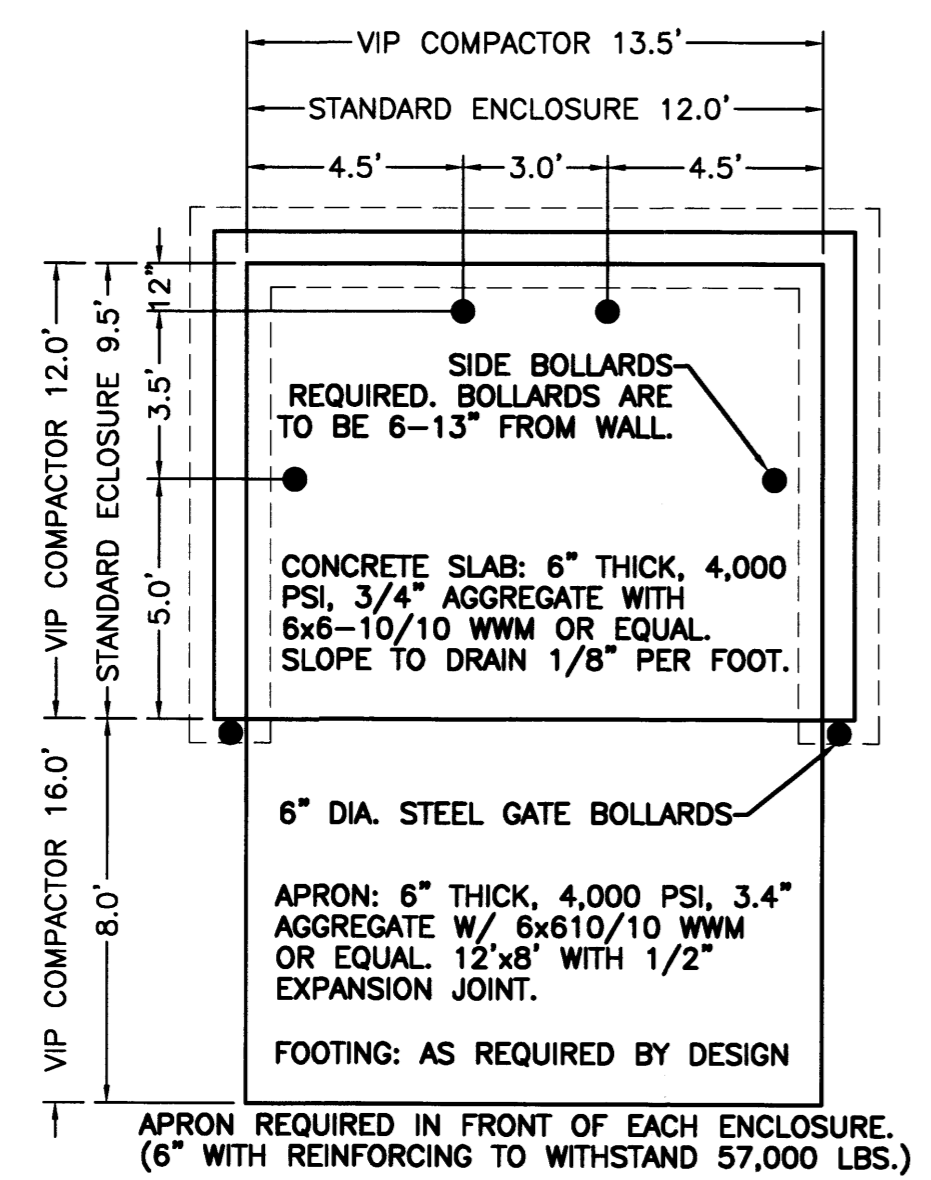
TOTAL SPACES REQUIRED 32  
 HC SPACES REQUIRED 26-35 = 2 SPACES

LOT 3-A, BLOCK 4  
 NORTH ALBUQUERQUE ACRES  
 TRACT A, UNIT B  
 (07/19/2008, 2008C-156)

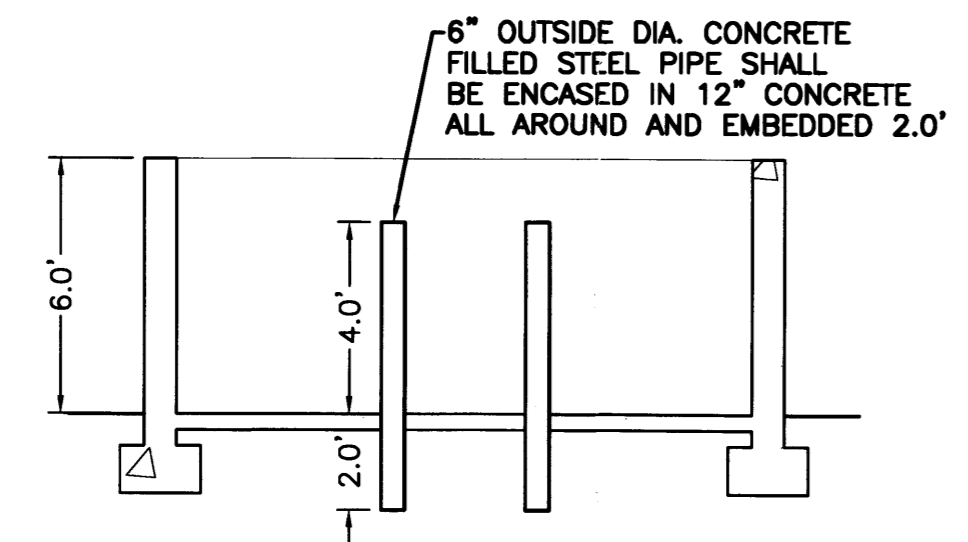
Lot 30, Block 4  
 AREA=1.0000 ACRES ±  
 43,560 SQ. FT. ±

LOT 29, BLOCK 4  
 NORTH ALBUQUERQUE ACRES  
 TRACT A, UNIT B  
 (04/24/1936, D-130)

LOT 31, BLOCK 4  
 NORTH ALBUQUERQUE ACRES  
 TRACT A, UNIT B  
 (04/24/1936, D-130)



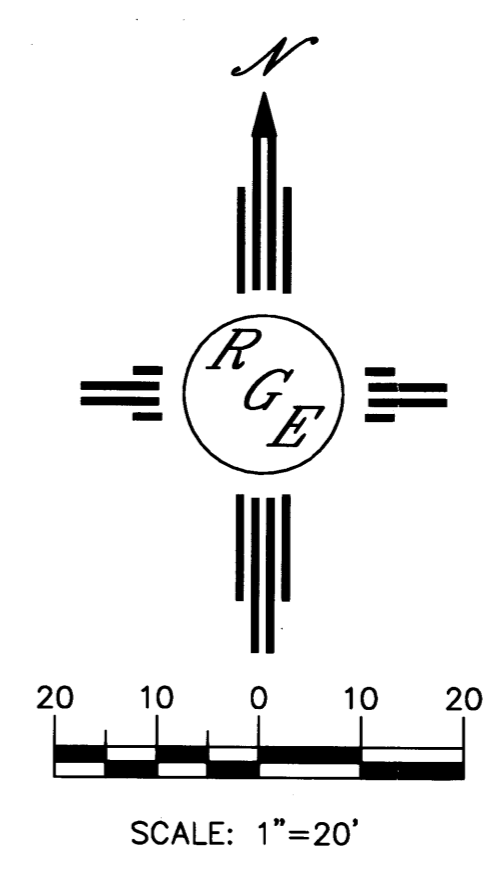
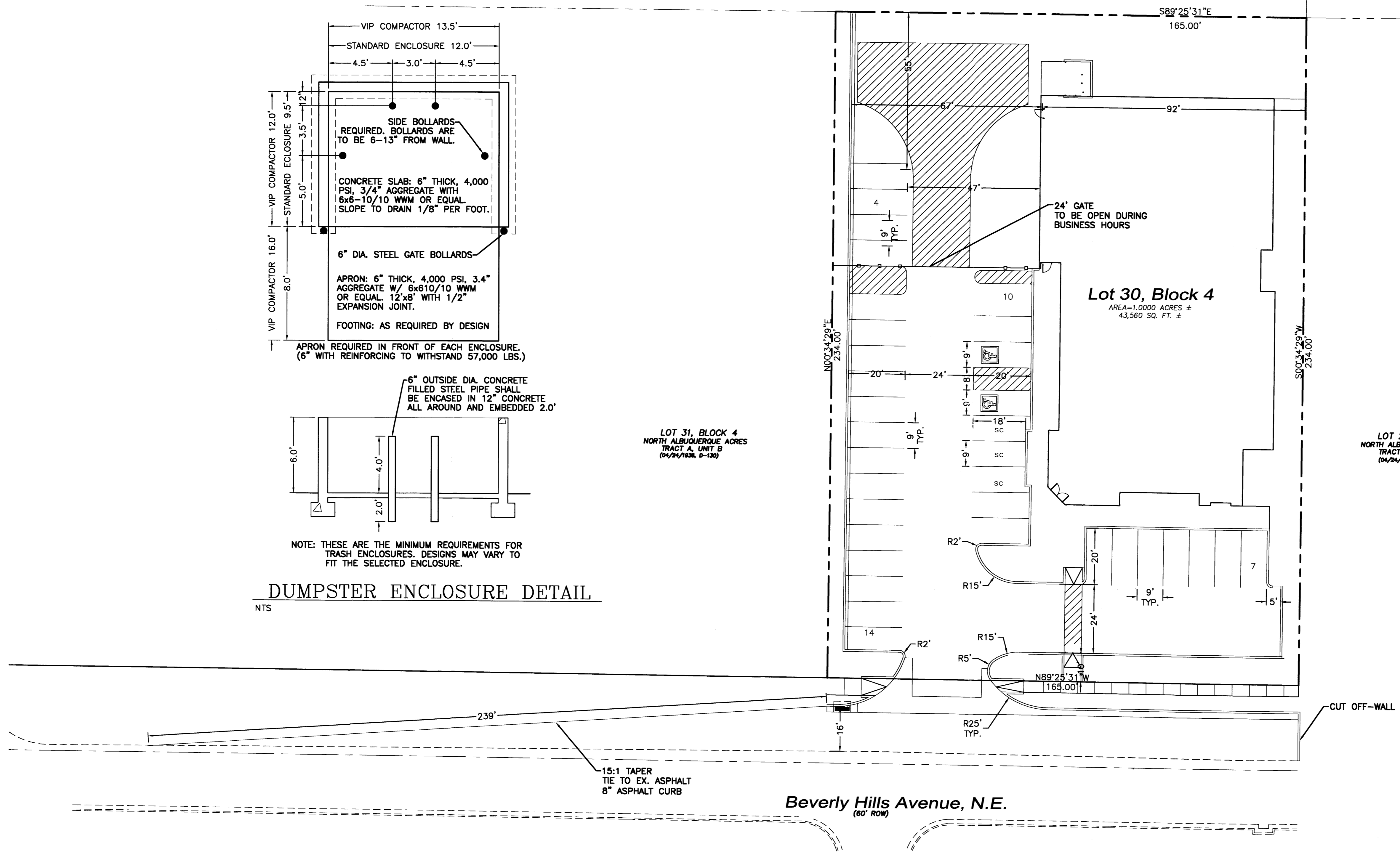
APRON REQUIRED IN FRONT OF EACH ENCLOSURE.  
 (6" WITH REINFORCING TO WITHSTAND 57,000 LBS.)



NOTE: THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.

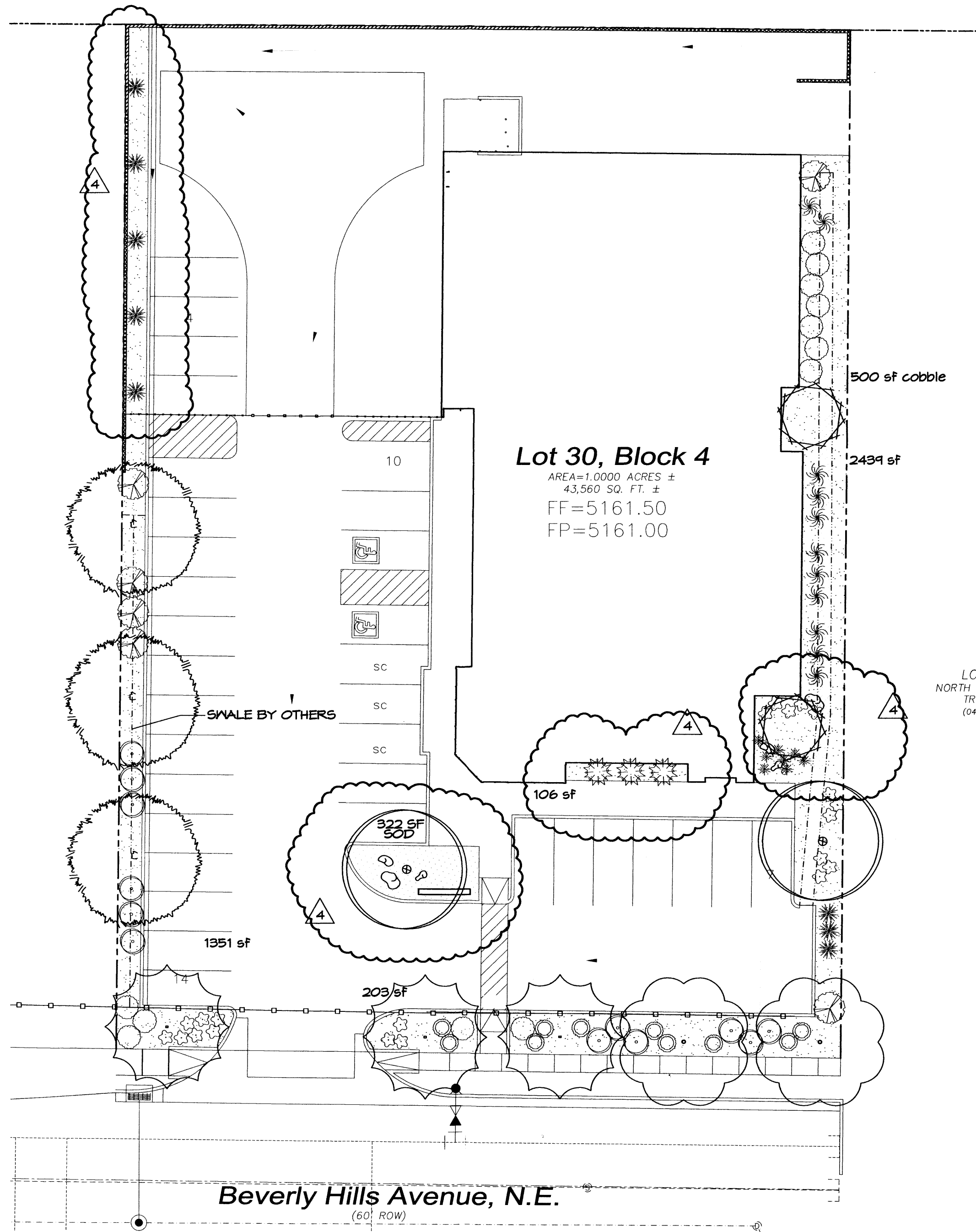
**DUMPSTER ENCLOSURE DETAIL**

NTS



ENGINEER'S SEAL	HB	DRAWN BY WCWJ
		DATE 5-08-09
	TRAFFIC CIRCULATION LAYOUT	2910-LAYOUT-4-22-09
	<i>Rio Grande Engineering</i>	SHEET #
	1806 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	JOB # 2910
DAVID SOULE P.E. #14522		

LOT 3-A, BLOCK 4  
NORTH ALBUQUERQUE ACRES  
TRACT A, UNIT B  
(07/15/2008, 2008C-153)



**Lot 30, Block 4**  
AREA=1.0000 ACRES ±  
43,560 SQ. FT. ±  
FF=5161.50  
FP=5161.00

**Beverly Hills Avenue, N.E.**  
(60' ROW)

**PLANT LEGEND**

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

\* DENOTES EVERGREEN PLANT MATERIAL

**SHADE TREES**

- AUTUMN BLAZE MAPLE 3**  
Acer x Freemanii 'Autumn Blaze'  
2" Cal., 12'-14" Inst./40' x 50' maturity  
Water (M) Allergy (L) Osf
- BUR OAK 3**  
Quercus macrocarpa  
2" Cal., 12'-14" Inst./60' x 60' maturity  
Water (M) Allergy (M) Osf
- COMMON HACKBERRY 2**  
Celtis occidentalis  
2" Cal., 12'-14" Inst./40' x 40' maturity  
Water (M) Allergy (L) Osf
- CHITALPA 2**  
Catalpa x chitalpa linearis  
2" Cal., 12'-14" Inst./40' x 40' maturity  
Water (M) Allergy (L) Osf

**SHRUBS/ORNAMENTAL TREES**

- DESSERT WILLOW 2**  
Chilopsis linearis  
15 Gal., 4'-10" Inst./20' x 25' maturity  
Water (L+) Allergy (L) 225sf

**SHRUBS/ORNAMENTAL GRASSES**

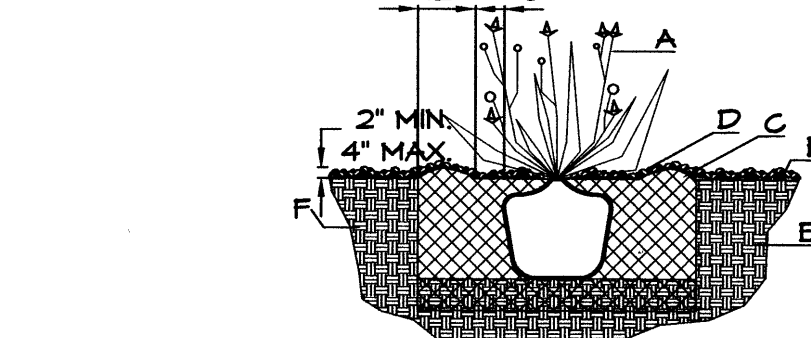
- RUSSIAN SAGE 12**  
Perovskia atriplicifolia  
5 Gal., 18"-3' Inst./6' x 6' maturity  
Water (M) Allergy (L) 36sf
- APACHE PLUME 12**  
Fallugia paradoxa  
5 Gal., 18"-3' Inst./6' x 7' maturity  
Water (L) Allergy (L) 49sf
- MAIDENGRASS 11**  
Miscanthus sinensis  
5 Gal., 18"-3' Inst./5' x 5' maturity  
Water (M+) Allergy (L) 25sf
- RED YUCCA 8**  
Hesperaloe parviflora  
5 Gal., 18"-3' Inst./3' x 4' maturity  
Water (L+) Allergy (L) 16sf
- TURPENTINE BUSH 10**  
Ericameria laricifolia  
1 Gal., 6"-15" Inst./3' x 4" maturity  
Water (L+) Allergy (L) 16sf
- POTENTILLA 21**  
Potentilla fruticosa  
1 Gal., 3"-15" Inst./3' x 3' maturity  
Water (M+) Allergy (L) 45sf
- BLUE FESCUE 8**  
Festuca ovina glauca  
1 Gal., 3"-15" Inst./1' x 1' maturity  
Water (M) Allergy (L) 2sf

**GROUNDCOVERS**

- HONEYSUCKLE 6**  
Lonicera japonica 'Halliana'  
1 Gal., 6"-15" Inst./3' x 12' maturity  
Water (M) Allergy (L) 144sf  
Unstaked-Groundcover
- WINTER JASMINE 3**  
Jasminum nudiflorum  
1 Gal., 6"-15" Inst./climbing to 12'  
Water (L+) Allergy (L)

**HARDSCAPES**

- OVERSIZED GRAVEL & 6 BOULDERS**
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH**
- COBBLE WITH FILTER FABRIC**



**SHRUB PLANTING DETAIL**

NTS

**GENERAL NOTES:**

1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING FIT.

**CONSTRUCTION NOTES:**

- A. SHRUB.
- B. BACKFILL WITH EXISTING SOIL.
- C. EARTH BERM AROUND WATER RETENTION BASIN.
- D. 3" DEPTH OF GRAVEL MULCH.
- E. FINISH GRADE.
- F. UNDISTURBED SOIL.

**LANDSCAPE NOTES:**

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

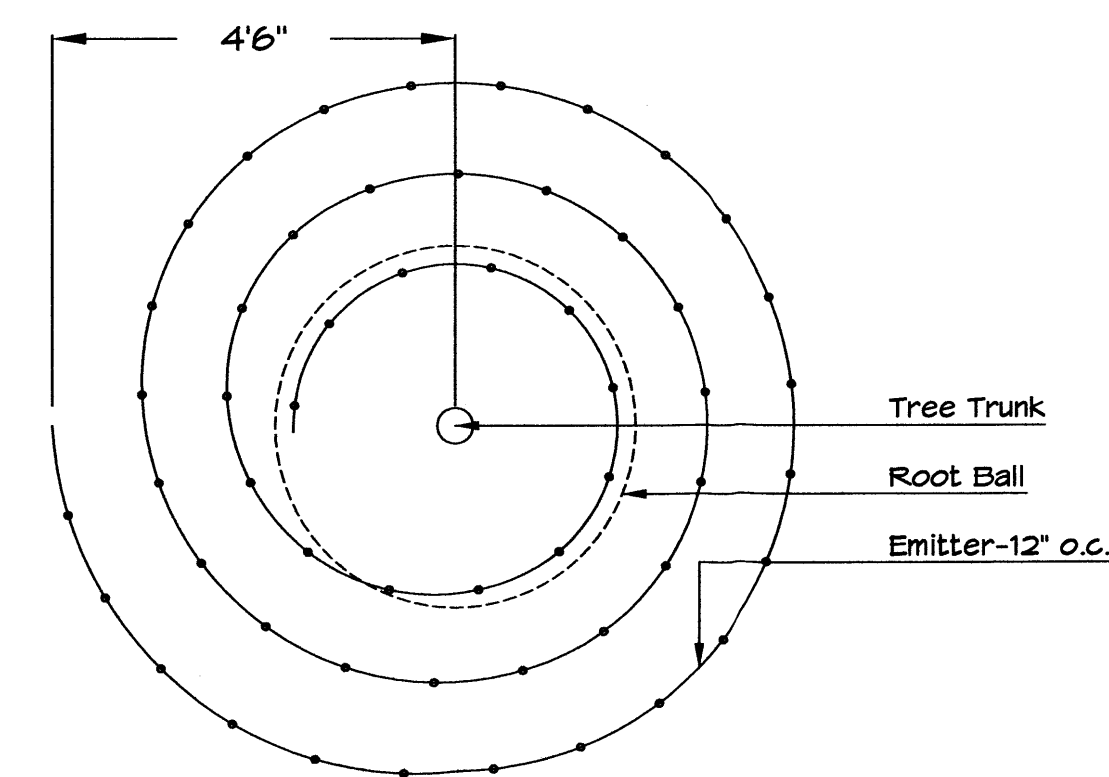
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

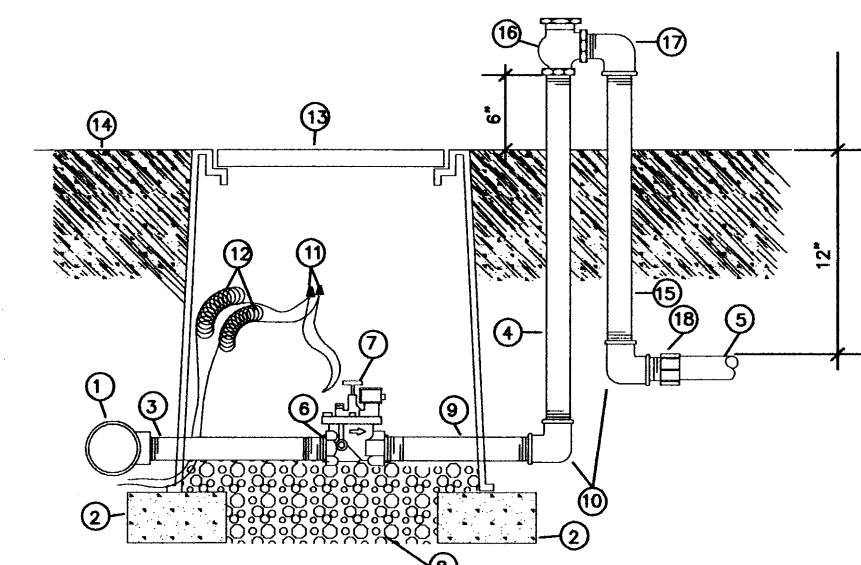
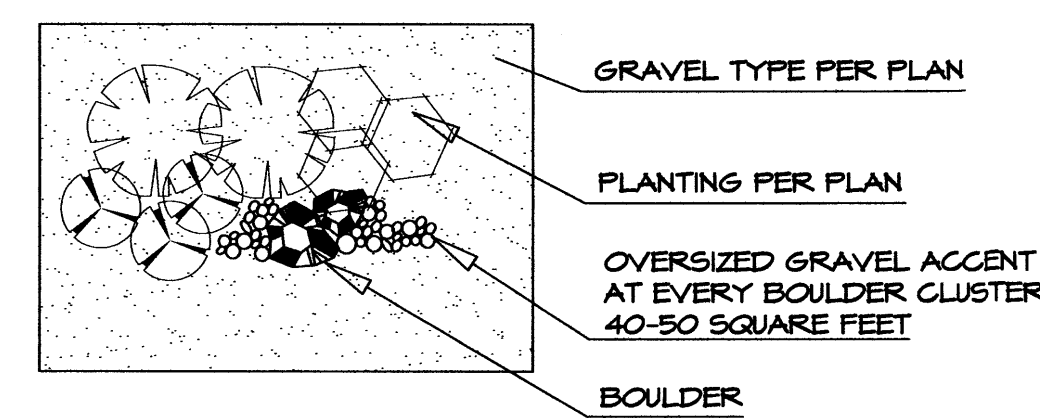
Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.



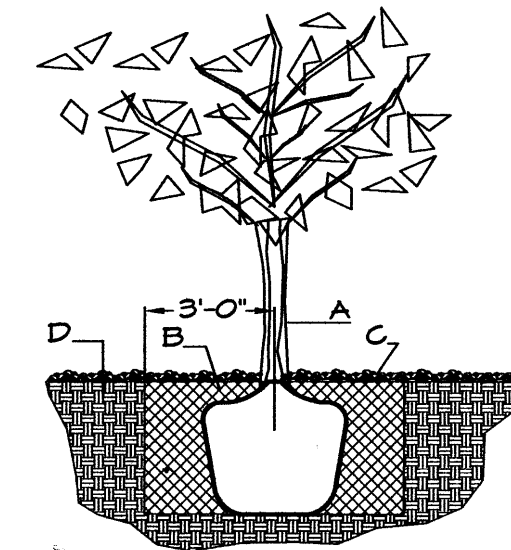
**Netafim Spiral Detail**

**GRAVEL ACCENT DETAIL**



- 1 MAINLINE FITTING
- 2 CURB BLOCK
- 3 GALVANIZED NIPPLE
- 4 24" TO 36" GALVANIZED NIPPLE
- 5 LATERAL PIPE
- 6 REDUCER BUSHING
- 7 AUTOMATIC VALVE (SEE LEGEND)
- 8 GRAVEL
- 9 GALVANIZED NIPPLE
- 10 GALVANIZED ELBOW
- 11 WATERPROOF WIRE CONNECTOR
- 12 WIRE EXPANSION LOOPS
- 13 VALVE BOX
- 14 FINISH GRADE
- 15 GALVANIZED NIPPLE - 18" TO 24" LENGTH

AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER N.T.S.



**TREE PLANTING DETAIL**

NTS

**GENERAL NOTES:**

1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING FIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

**CONSTRUCTION NOTES:**

- A. TREE
- B. BACKFILL WITH EXISTING SOIL.
- C. 3" DEPTH OF GRAVEL MULCH.
- D. UNDISTURBED SOIL.

**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA	43560	square feet
TOTAL BUILDINGS AREA	10716	square feet
NET LOT AREA	32784	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	4918	square feet
TOTAL BED PROVIDED	4599	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	3449	square feet
TOTAL GROUND COVER PROVIDED	3550 (11%)	square feet
TOTAL SOD AREA (max. 20% of landscape required)	322	square feet
TOTAL LANDSCAPE PROVIDED	4921 (15%)	square feet

**STREET TREE REQUIREMENTS - Minimum 2" Caliper**

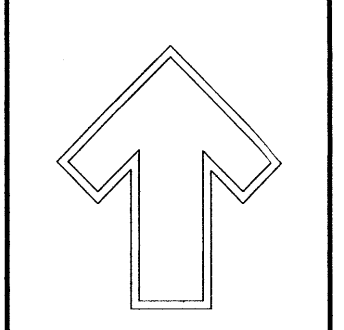
Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:  
Name of Street: Beverly Hills Ave. NE  
Required # 6 Provided # 6

**PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper**

Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:  
1 Shade tree per 10 spaces  
Required # 4 Provided # 4

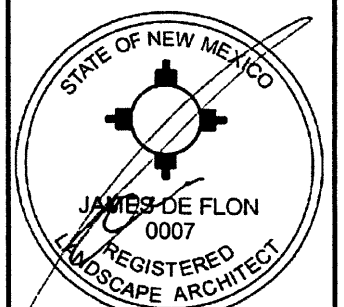
**NOTE TO CLIENT:**  
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an in-field change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

- 4 REVISIONS MADE
- ADDED PLANTER AT SOUTHSIDE OF BUILDING
  - ADDED PLANTER ISLAND, WITH SOD, BOULDERS AND SHADE TREE
  - MOVED SHRUBS FROM COBBLE SWALE
  - REPLACED VINES WITH DESERT ACCENTS (RED YUCCA)
  - MOVED ONE TREE FROM STREET BUFFER TO NEW PLANTER



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LANDSCAPE ARCHITECT'S SEAL



4/20/16  
JAMES DE FLON #0007

HB CONSTRUCTION OFFICE  
1111 BEVERLY HILLS AVE. NE  
ALBUQUERQUE, NM  
LANDSCAPE PLAN

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DRAWN BY cmc  
REVISION # 4/4-20-10  
DATE 8-10-09

SHEET #  
L1 of L1

**GRAPHIC SCALE**

