

LEGAL DESCRIPTION
 Legal: Lot 36B-1, Block S, Bosque Redondo Addition
 Owner: Bosque Vista Ltd. Co.
 UPC#: 10190574975031518

PROJECT NUMBER: 1007958
APPLICATION NUMBER:

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 10/16/09, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes (X) No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
<i>Lee W. Smith</i> Solid Waste Management	3/24/10 Date
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	

PARKING CALCULATIONS

BUILDING AREA:	FIRST FLOOR: (SHOWROOM/REPAIR)	56445 SF
	SECOND FLOOR (MEZZANINE)	8905 SF
	TOTAL BUILDING AREA:	65350 SF
PARKING SPACES:	282 SPACES (56445 SF/1 SPACE PER 200 SF)	
	30 SPACES (8905 SF/1 SPACE PER 300 SF)	
PARKING SUBTOTAL:	312 SPACES	
PARKING REDUCTION:	31 SPACES (10% TRANSIT REDUCTION)	
	46 SPACES (SERVICE BAY REDUCTION)	
PARKING REQUIRED:	235 SPACES	
PARKING PROVIDED:	287 SPACES	
HC PARKING REQUIRED:	8 SPACES (8 PER 101 TO 300 SPACES)	
HC PARKING PROVIDED:	8 SPACES 1 SPACE VAN ACCESSIBLE	
MC PARKING REQUIRED:	5 SPACES (5 PER 151 TO 300 SPACES)	
MC PARKING PROVIDED:	6 SPACES	
BICYCLE PARKING REQUIRED:	14 SPACES (1 PER 20 SPACES)	
BICYCLE PARKING PROVIDED:	14 SPACES	

SITE DATA

PROPOSED USAGE:	LARRY MILLER DODGE
LOT AREA:	217815.96 SF (5.0) ACRE
BUILDING AREA:	56445 SF

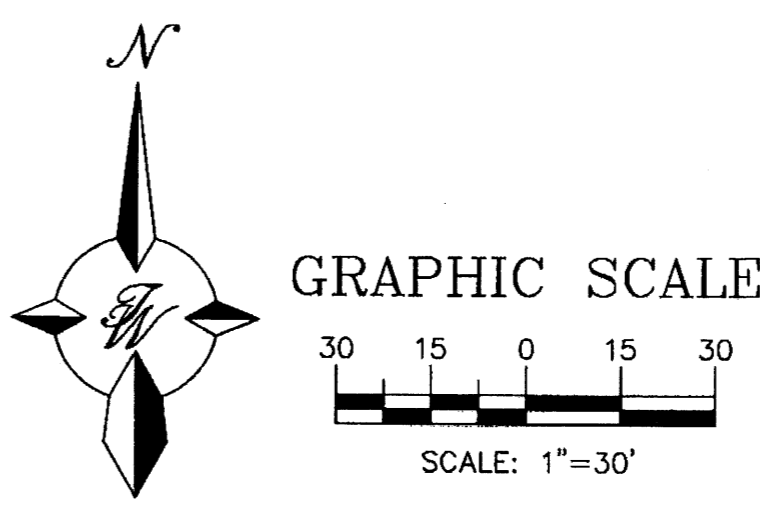
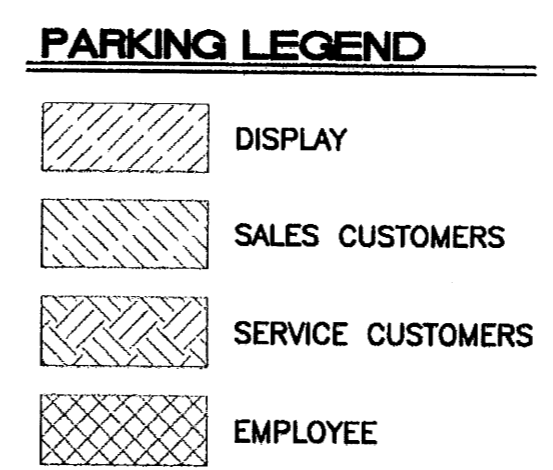
INDEX TO DRAWINGS

C1.	SITE PLAN FOR BUILDING PERMIT
C2.	GRADING PLAN
C3.	MASTER UTILITY PLAN
C4.	LANDSCAPING PLAN
C5.	BUILDING ELEVATIONS
C6.	DETAILS
C7.	DETAILS

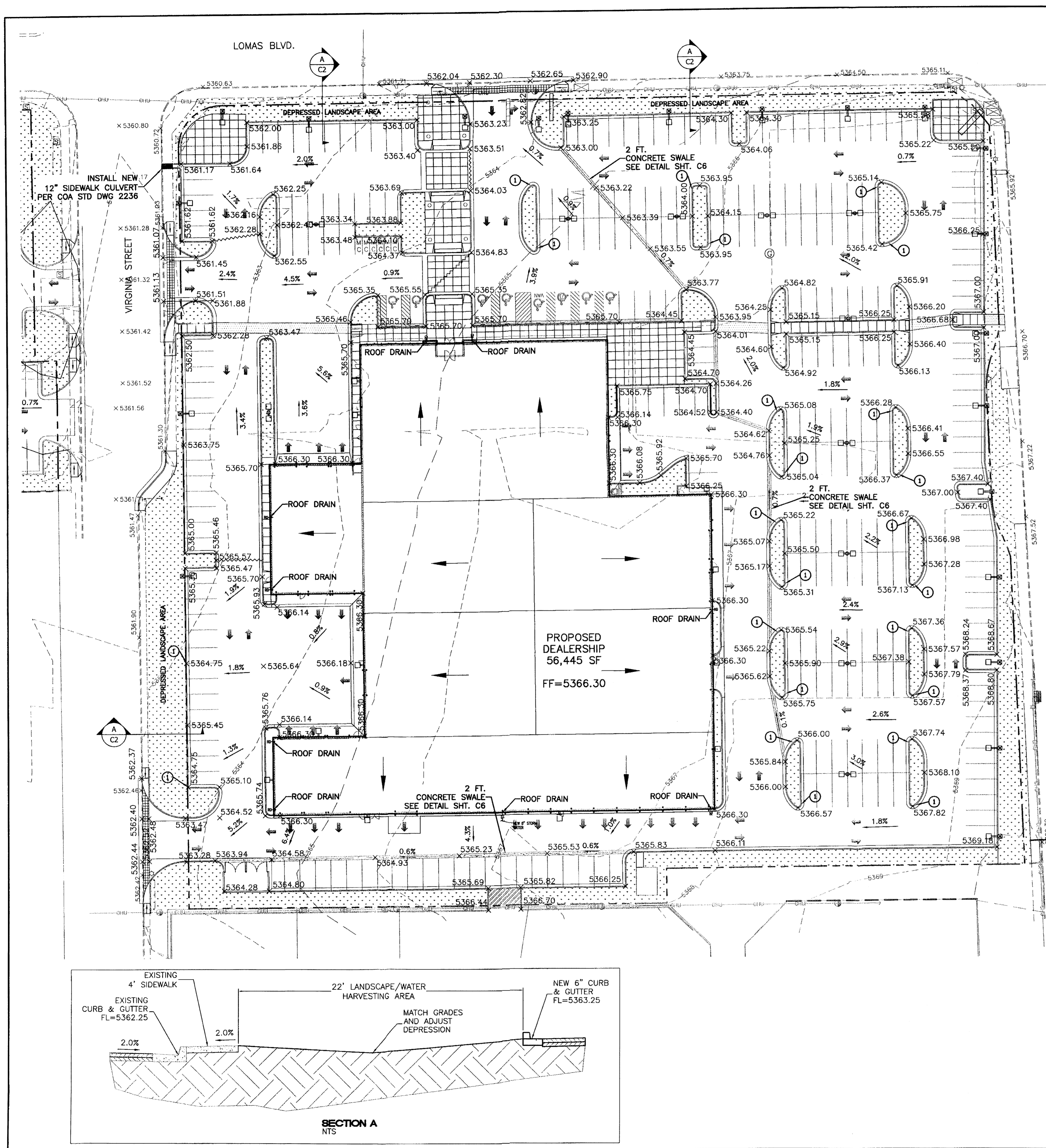
- NOTES:**
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 - LIGHT POLES SHALL BE A MAXIMUM OF 16' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 16' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
 - EXISTING MONUMENT AND PYLON SIGNS TO REMAIN W/ NEW TENANT SIGNAGE.

- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINE OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALL WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
- SHADED PATIO AREA WITH BENCHES, 15 FT. X 20 FT. (300 SQ. FT.)
- PEDESTRIAN CROSSWALKS, INCLUDING PEDESTRIAN PATHWAYS AND DRIVE AISLE CROSSINGS SHALL BE CONSTRUCTED OF A MATERIAL OTHER THAN ASPHALT, SUCH AS TEXTURED (SCORED) COLORED CONCRETE.
- THE TWO EXISTING BUILDINGS ON THE SITE WILL REMAIN OPEN DURING CONSTRUCTION OF THE NEW DEALERSHIP
- SERVICE BAY DOORS FACING THE RESIDENCES TO THE SOUTH WILL REMAIN CLOSED EXCEPT AS REQUIRED FOR VEHICLE INGRESS/EGRESS.

- 10' CLEARANCE SHALL BE PROVIDED FOR ALL GROUND MOUNTED PNM UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PROPOSES.
- AMPLIFIED SOUND SUCH AS LOUDSPEAKERS WILL NOT BE USED ON THE SITE.
- NO CHAIN LINK FENCE IS ALLOWED. ALL EXISTING CHAIN LINK FENCE WILL BE REMOVED.
- ALL EXTERIOR UTILITY BOXES, ELECTRICAL AND GAS METERS, TRANSFORMERS ETC SHALL BE APPROPRIATELY AND SAFELY SCREENED FROM VIEW.
- EXISTING FLAGPOLE SHALL BE REMOVED.
- ALL MECHANICAL WORK SHALL BE CONDUCTED INDOORS.
- LOT 23-A, BLOCK "C" WILL BE USED FOR VEHICLE TRANSPORT TRUCK DELIVERY. IT IS LOCATED ON THE WEST SIDE OF VIRGINIA ST.
- STRINGS OF LIGHT BULBS, TINSEL AND REFLECTIVE FLAGS SHALL NOT BE ALLOWED.



 RONALD R. BOHANNAN P.E. #7868	LARRY MILLER DODGE LOMAS AND WYOMING SITE DEVELOPMENT PLAN FOR BUILDING PERMIT <i>TERRA WEST, LLC</i> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 www.tierwestllc.com	DRAWN BY BJF DATE 3/10/10 2940-SPB SHEET # C1 JOB # 29040
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LEGEND

	CURB & GUTTER
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	CONTOUR MAJOR
	CONTOUR MINOR
	SPOT ELEVATION
	FLOW ARROW
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING CONTOUR MAJOR
	EXISTING CONTOUR MINOR
	EXISTING SPOT ELEVATION
	1 FT. CURB CUT (SEE DETAIL SHT C7)

CAUTION:
ALL SPOT ELEVATIONS SHOWN ARE FLOWLINE ELEVATIONS UNLESS OTHERWISE SPECIFIED.

- EROSION CONTROL NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

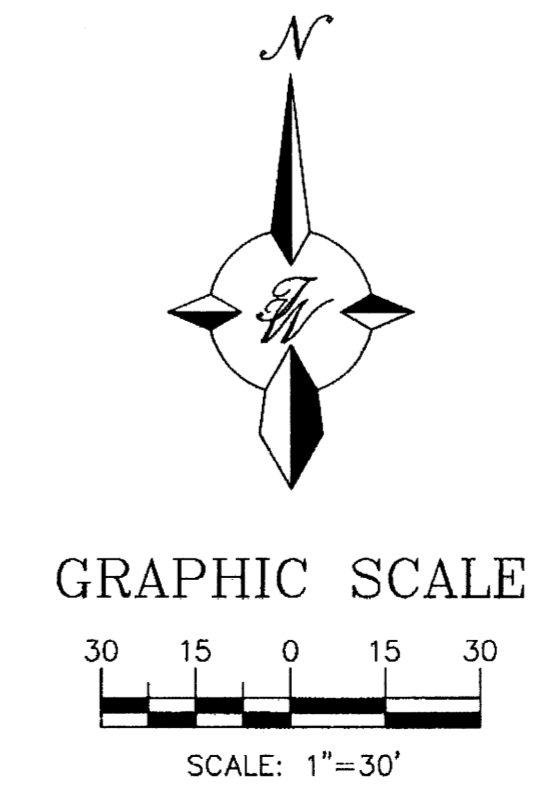
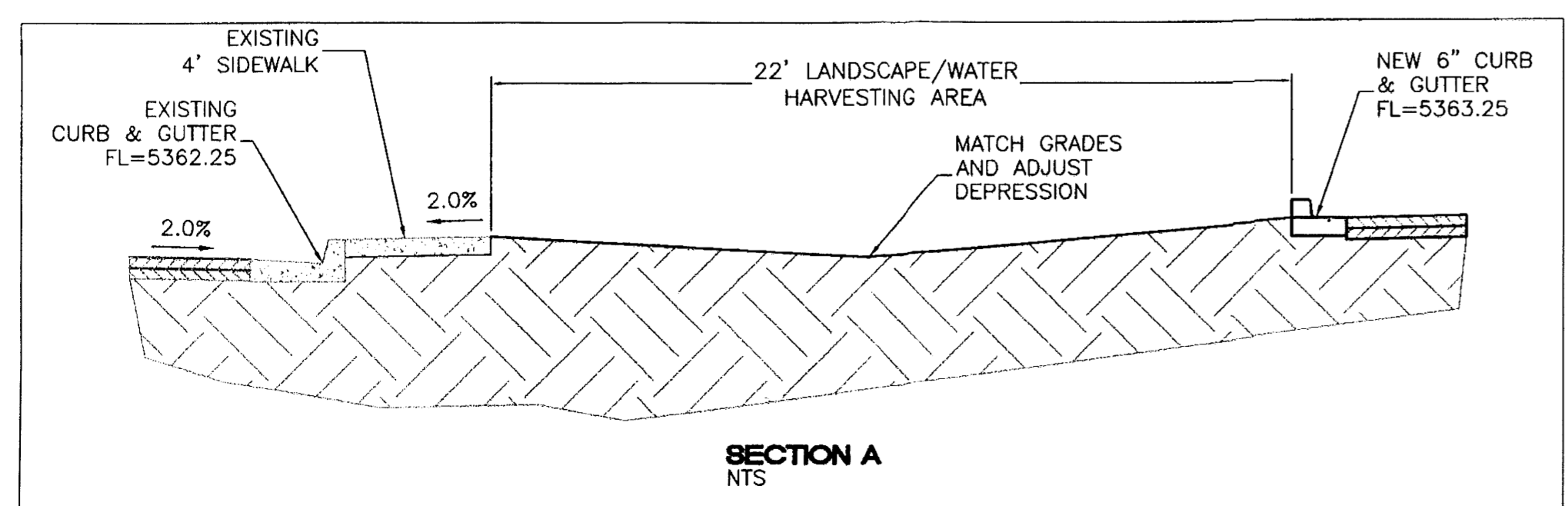
VICINITY MAP: J-19-Z / K-19-Z

FIRM MAP: 3500IC0358G

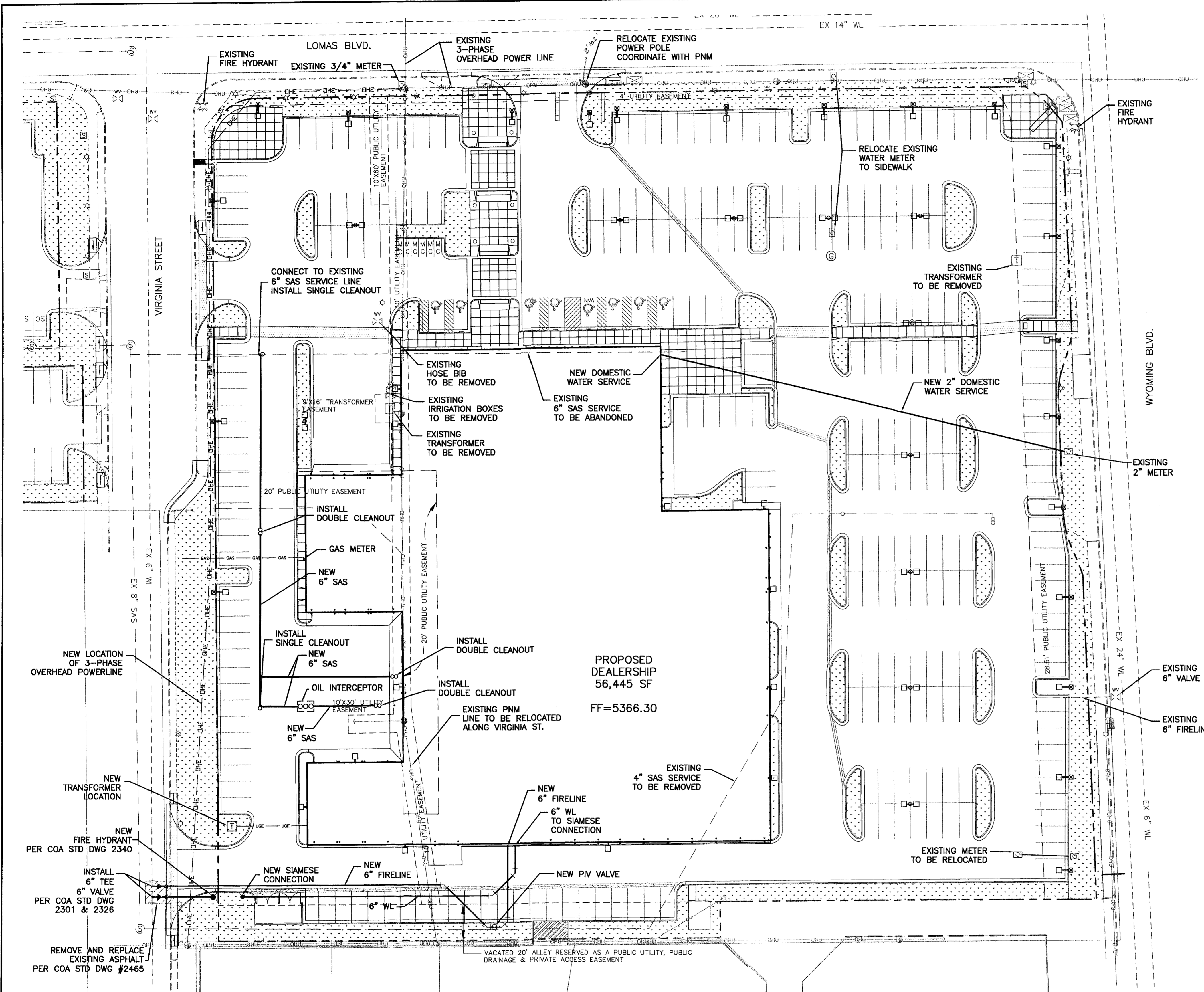
- NOTICE TO CONTRACTORS**
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 - ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED. 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

ROUGH GRADING APPROVAL _____ DATE _____



	LARRY MILLER DODGE	DRAWN BY BJF
	LOMAS AND WYOMING	DATE 2/25/10
	GRADING AND DRAINAGE PLAN	2940-CRB
	TIERRA WEST, LLC	SHEET # C2
	5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 www.tierrawestllc.com	JOB # 29040



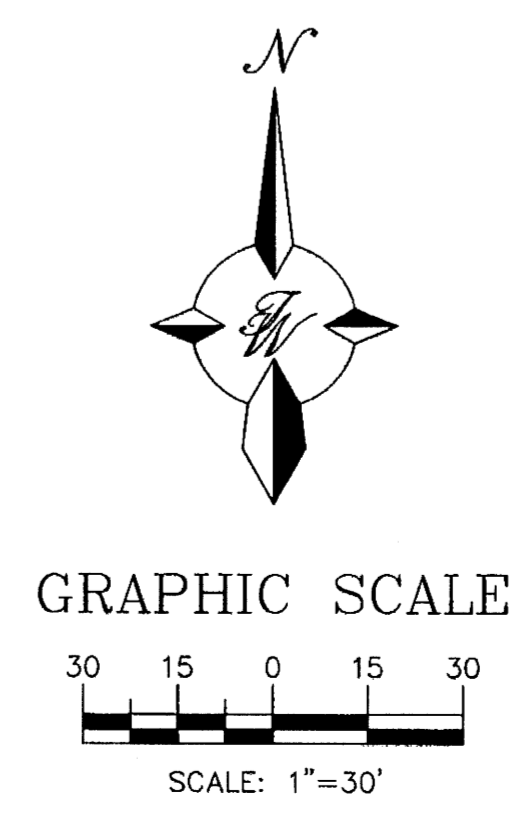
CAUTION:
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

GENERAL UTILITY NOTES:

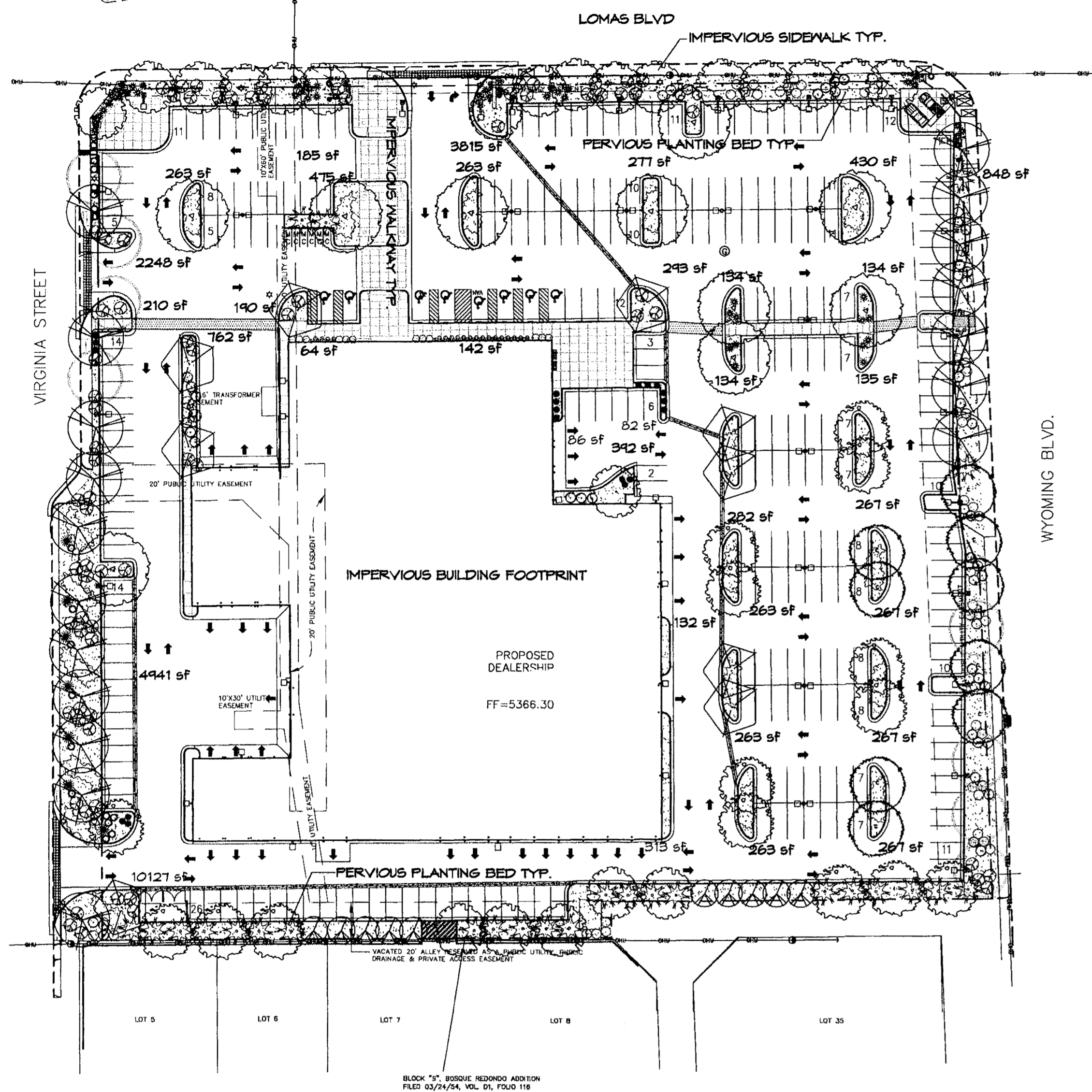
1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
7. ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
10. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
11. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
12. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

LEGEND	
	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	EXISTING SCREEN WALL
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	36" SD STORM SEWER LINE
	8" SAS SANITARY SEWER LINE
	8" WL WATERLINE
	SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	EXISTING SD MANHOLE
	EXISTING INLET
	EXISTING SAS MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING OVERHEAD UTILITIES
	EXISTING UNDERGROUND UTILITIES
	EXISTING GAS
	EXISTING 8" SAS SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE

CONSTRUCTION TYPE: II-B



ENGINEER'S SEAL 	LARRY MILLER DODGE LOMAS AND WYOMING	DRAWN BY BJF
	MASTER UTILITY PLAN	DATE 3/9/10
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 www.tierrawestllc.com		2940-MUB
		SHEET # C3
RONALD R. BOHANNAN P.E. #7868		JOB # 29040



PLANT LEGEND

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

- LACEBARK ELM 15
Juniperus parviflora
2" Cal., 12"-14" Inst./60" x 40" maturity
Water (M) Allergy (M) 0sf
- BUR OAK 9
Quercus macrocarpa
2" Cal., 12"-14" Inst./60" x 60" maturity
Water (M) Allergy (M) 0sf
- CHINESE PISTACHE 20
Pistachia chinensis
2" Cal., 12"-14" Inst./40" x 30" maturity
Water (M) Allergy (L) 0sf
- COMMON HACKBERRY 18
Celtis occidentalis
2" Cal., 12"-14" Inst./40" x 40" maturity
Water (M) Allergy (L) 0sf
- PARNEY COTONEASTER 26
Cotoneaster lacteus
5 Gal., 2'-4" Inst./8" x 12" maturity
Water (M) Allergy (L) 144sf
- APACHE PLUM 48
Fallugia paradoxa
5 Gal., 18"-3" Inst./6" x 7" maturity
Water (L) Allergy (L) 49sf
- RUSSIAN SAGE 48
Perovskia atriplicifolia
5 Gal., 18"-3" Inst./6" x 6" maturity
Water (M) Allergy (L) 36sf
- BEARGRASS 7
Nolina microcarpa
5 Gal., 18"-3" Inst./5" x 6" maturity
Water (L) Allergy (L) 36sf
- GREYLEAF COTONEASTER 57
Cotoneaster glaucophyllus
5 Gal., 24"-4" Inst./2" x 4" maturity
Water (M) Allergy (L) 81sf
Symbol indicates 3 plants
- HONEYSUCKLE 80
Lonicera japonica 'Halliana'
1 Gal., 6"-15" Inst./3" x 12" maturity
Water (M) Allergy (L) 144sf
Unstaked-Groundcover
- AUTUMN BLAZE MAPLE 9
Acer x Fraxinell 'Autumn Blaze'
2" Cal., 12"-14" Inst./40" x 50" maturity
Water (M) Allergy (L) 0sf
- HONEY LOCUST 10
Gleditsia triacanthos
2" Cal., 8"-10" Inst./30" x 45" maturity
Water (M) Allergy (L) 0sf
- WESTERN RED CEDAR 10
Thuja plicata 'Green Giant'
15 Gal., 8"-10" Inst./40" x 15" maturity
Water (M) Allergy (L) 225sf
- EXISTING TREE TO REMAIN
- SHRUBS/ORNAMENTAL GRASSES
- TURPENTINE BUSH 14
Ericameria laricifolia
1 Gal., 6"-15" Inst./3" x 4" maturity
Water (L) Allergy (L) 16sf
- DEER GRASS 47
Muhlenbergia rigens
1 Gal., 6"-15" Inst./4" x 4" maturity
Water (M) Allergy (L) 16sf
- AUTUMN SAGE 12
Salvia greggii
1 Gal., 3"-15" Inst./2" x 3" maturity
Water (M) Allergy (L) 9sf
- BLUE AVENA/OAT GRASS 19
Helictotrichon sempervirens
1 Gal., 3"-15" Inst./2" x 3" maturity
Water (M) Allergy (L) 9sf
- WILDFLOWER 50
1 Gal., 3"-15" Inst./varies at maturity
Water (varies) Allergy (varies) 4sf

HARDSCAPES

- OVERSIZED GRAVEL
#12 BOULDERS
- 3/4" GRAY GRAVEL
WITH FILTER FABRIC
TO A MINIMUM 3" DEPTH
- EXISTING BOULDERS
- * DENOTES EVERGREEN PLANT MATERIAL

NOTE TO CLIENT:

Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an in-field change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

EXISTING VEGETATION:

EXISTING TREES WILL REMAIN AND EXISTING SHRUBS WILL BE REMOVED BY OTHERS.

TOPPING TREES:

TOPPING SHALL NO LONGER BE PERMITTED AS TREE MAINTENANCE FOR ANY TREE ON-SITE

STREET TREE REQUIREMENTS - Minimum 2" Caliper
Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: Lomas Blvd.
Required # 16 Existing # 6 New# 10

Name of Street: Wyoming Blvd.
Required # 15 Existing # 4 New# 11

Name of Street: Virginia St.
Required # 17 Existing # 4 New# 13

PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper

Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces
Required # 24 Provided # 24

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain plants in a living, healthy, and attractive condition.

It is the Intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

3/4" Crushed Grey Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

Spacing of Trees at streets and on south property line shall equal 75% of the trees mature canopy.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for Irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

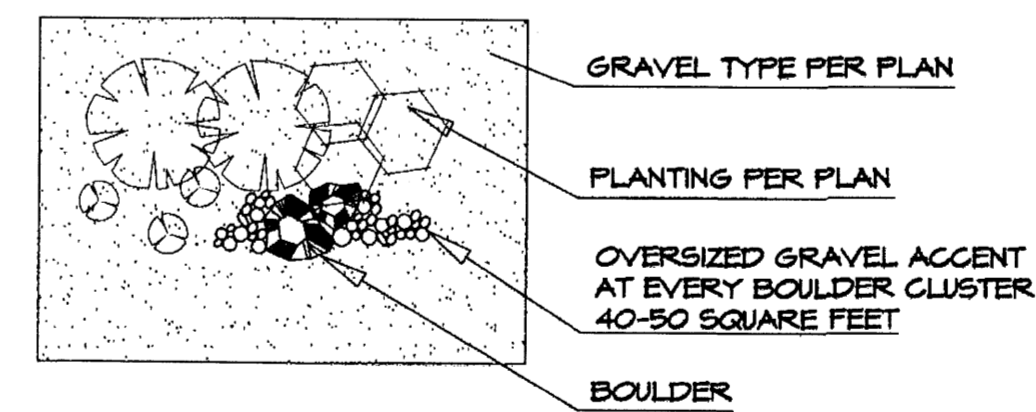
Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

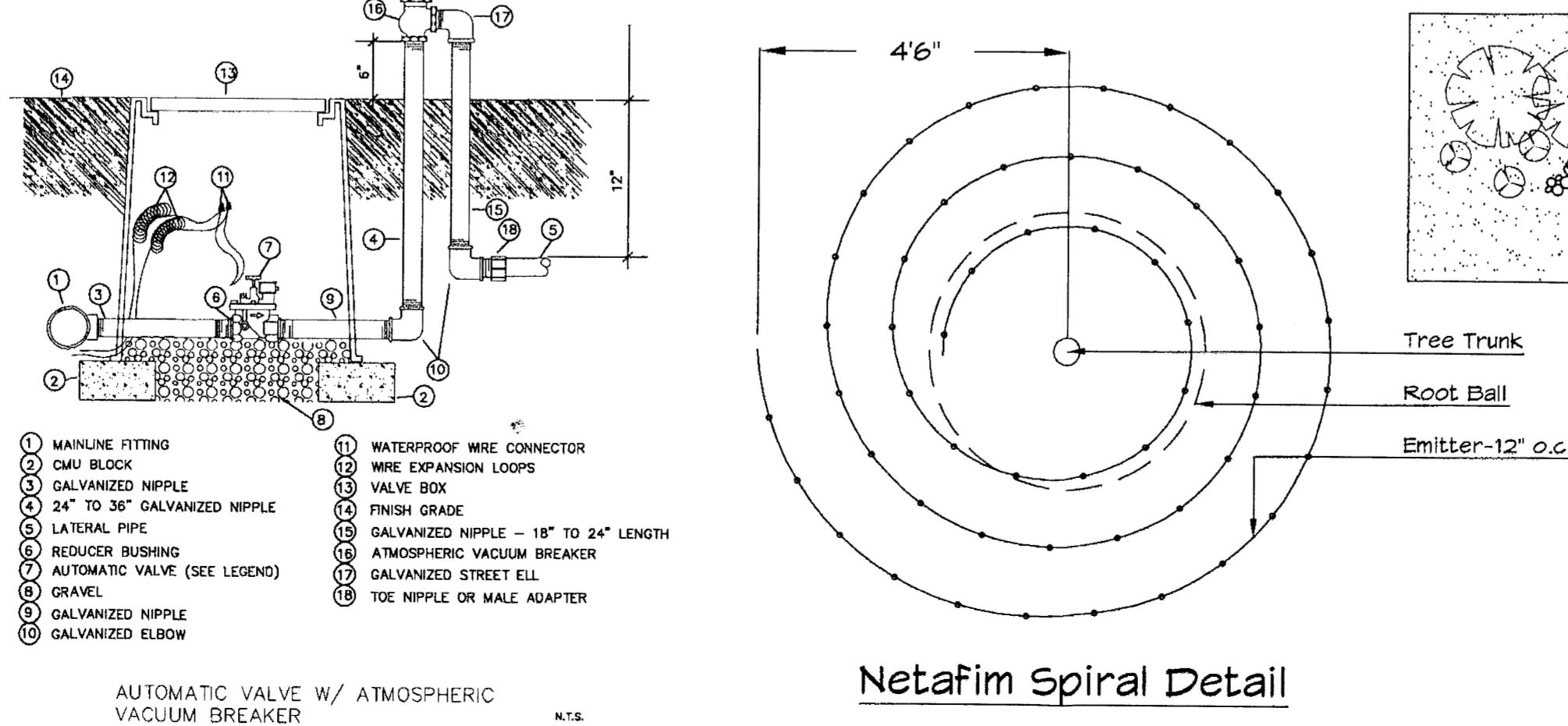
LANDSCAPE CALCULATIONS

TOTAL LOT AREA	217815	square feet
TOTAL BUILDINGS AREA	63350	square feet
NET LOT AREA	152465	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	22870	square feet
TOTAL BED PROVIDED	29214	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	21910	square feet
TOTAL GROUNDCOVER PROVIDED	27186 (45%)	square feet
TOTAL PONDING AREA	0	square feet
TOTAL SOD AREA	0	square feet
(max. 20% of landscape required)		
TOTAL LANDSCAPE PROVIDED	29214 (19%)	square feet

GRAVEL ACCENT DETAIL



Netafim Spiral Detail



TREE PLANTING DETAIL

- NTS
GENERAL NOTES:
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
 2. TOP OF ROOT COLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
 3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
 4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:

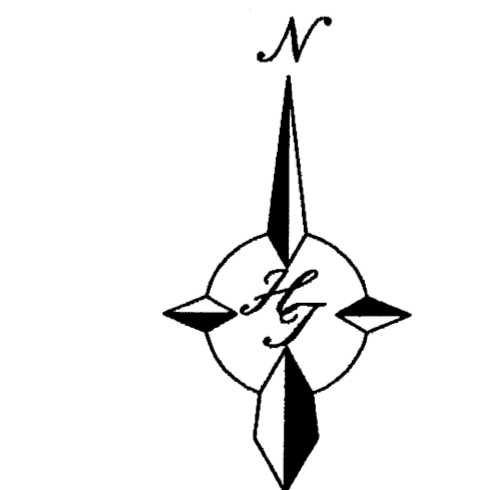
- A. TREE
- B. BACKFILL WITH EXISTING SOIL.
- C. 3" DEPTH OF GRAVEL MULCH.
- D. UNDISTURBED SOIL.

SHRUB PLANTING DETAIL

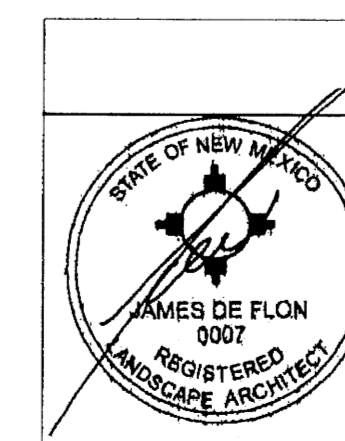
- NTS
GENERAL NOTES:
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
- CONSTRUCTION NOTES:
- A. SHRUB.
 - B. BACKFILL WITH EXISTING SOIL.
 - C. EARTH BERM AROUND WATER RETENTION BASIN.
 - D. 3" DEPTH OF GRAVEL MULCH.
 - E. FINISH GRADE.
 - F. UNDISTURBED SOIL.



LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com

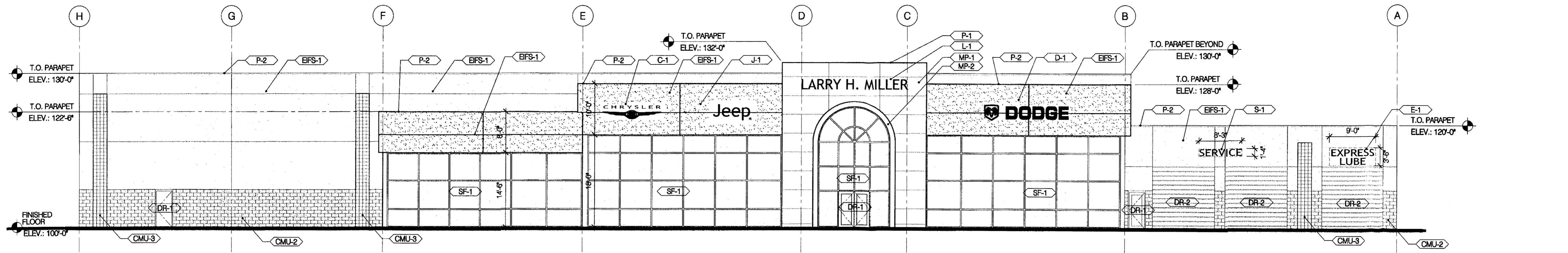


GRAPHIC SCALE
50 25 0 25 50
SCALE: 1"=50'

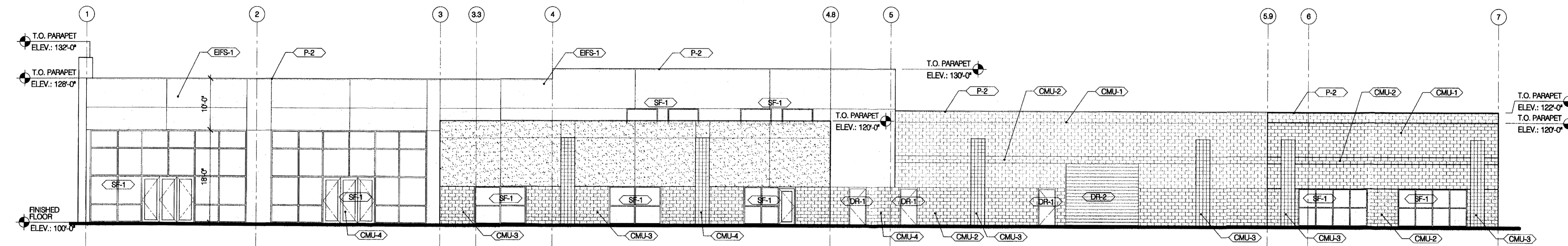


LARRY MILLER DODGE
LOMAS AND WYOMING
LANDSCAPE PLAN
TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505)858-3100
www.tierrowestllc.com

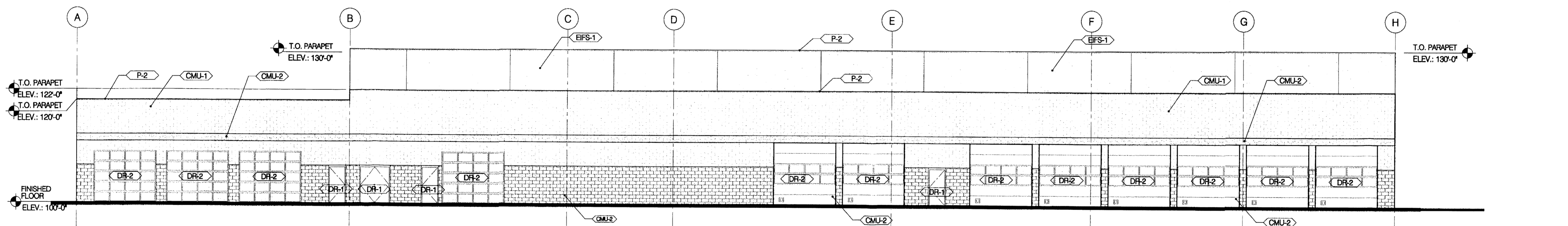
DRAWN BY
rnc
DATE
9/02/09
LARRY MILLER
DODGE SITE
PLAN_2004-FORMAT
SHEET #
C4
JOB #
29040



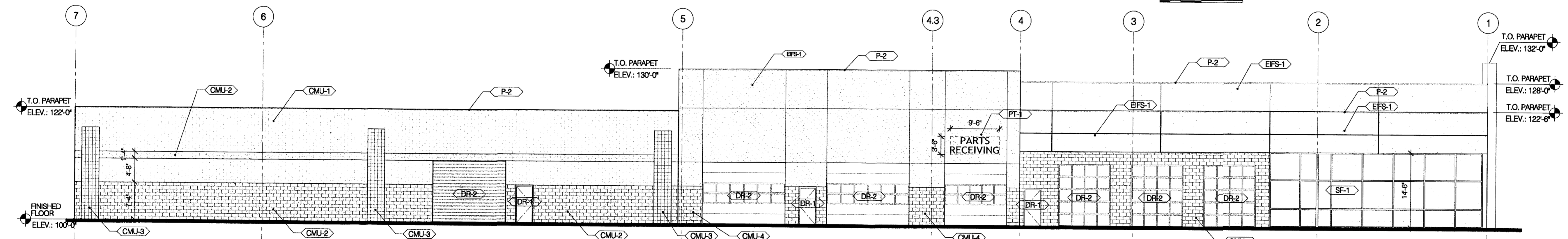
D1 NORTH ELEVATION
3/32"=1'-0"



C1 WEST ELEVATION
3/32"=1'-0"



B1 SOUTH ELEVATION
3/32"=1'-0"



A1 EAST ELEVATION
3/32"=1'-0"

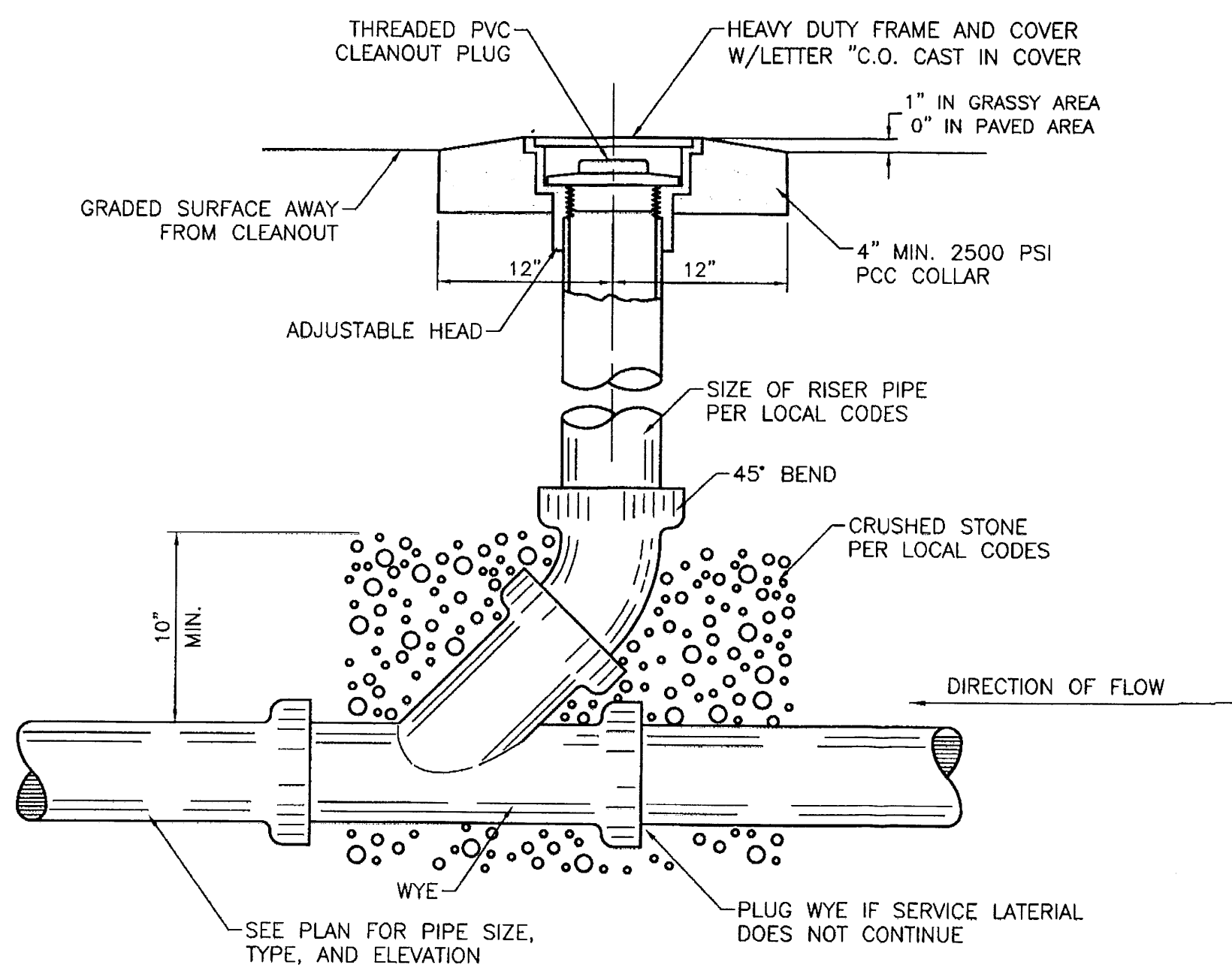
EXTERIOR FINISH LEGEND

EFS-1 EXTERIOR INSULATION FINISH SYSTEM MFR: DRYVIT COLOR: LIGHT GREY (OVERCAST 613) FINISH: SANDBLAST	MP-1 METAL PANEL MFR: CITADEL COLOR: SILVER METALIC	CMU-1 CONCRETE MASONRY UNIT COLOR: GRANITE FINISH: SMOOTH	CMU-4 CONCRETE MASONRY UNIT COLOR: HODAK BLACK FINISH: SMOOTH, FACE SHELL ONLY	DR-2 EXTERIOR OVERHEAD DOOR SOLID PANELS TO BE COLOR: WHITE. SEE DOOR SCHEDULE	P-1 PARAPET CAP TO MATCH ACM PANELS
EP-1 EXTERIOR PAINT MFR: BENJAMIN MOORE COLOR: MEDIUM GREY (PELICAN GREY PC1612)	MP-2 METAL PANEL MFR: CITADEL COLOR: BRIGHT SPECULAR	CMU-2 CONCRETE MASONRY UNIT COLOR: HODAK BLACK FINISH: SPLIT FACE	SF-1 STOREFRONT WINDOW SYSTEM SEE WINDOW SCHEDULE COLOR: ALUM.	DR-1 EXTERIOR DOOR SEE DOOR SCHEDULE	P-2 ALUM. PARAPET CAP COLOR: SILVER
		CMU-3 CONCRETE MASONRY UNIT COLOR: HODAK BLACK FINISH: SMOOTH, SINGLE SCORE			

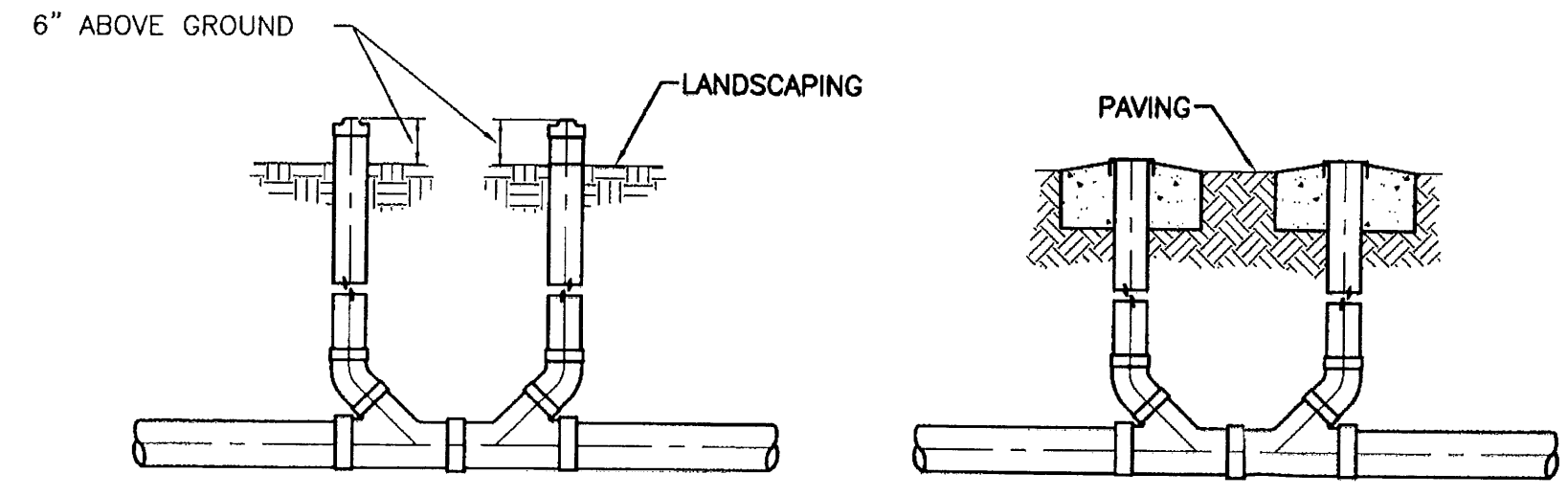
EXTERIOR SIGN LEGEND

D-1 DODGE BRAND SIGN SIZE: 36H x 18'-3.5W (96 sq. ft.) COLOR: RED	CHRYSLER BRAND SIGN SIZE: 36H x 12'-4W (99 sq. ft.) COLOR: BLACK/SILVER	S-1 SERVICE SIGN SIZE: 1'-4" HIGH LETTERS (11 sq. ft.) COLOR: BLACK	PT-1 PARTS RECEIVING SIGN SIZE: 1'-4" HIGH LETTERS (33.25 sq. ft.) COLOR: BLACK
J-1 JEEP BRAND SIGN SIZE: 36H x 7'-9W (93 sq. ft.) COLOR: DARK GREY	L-1 LHM BRAND SIGN SIZE: 30H x 20'-6W (81.5 sq. ft.) COLOR: BLACK	E-1 EXPRESS LUBE SIGN SIZE: 1'-4" HIGH LETTERS (91.5 sq. ft.) COLOR: BLACK	NOTE: ALL SIGNS WILL CONTRAST WITH THE BUILDING BY AT LEAST 70%

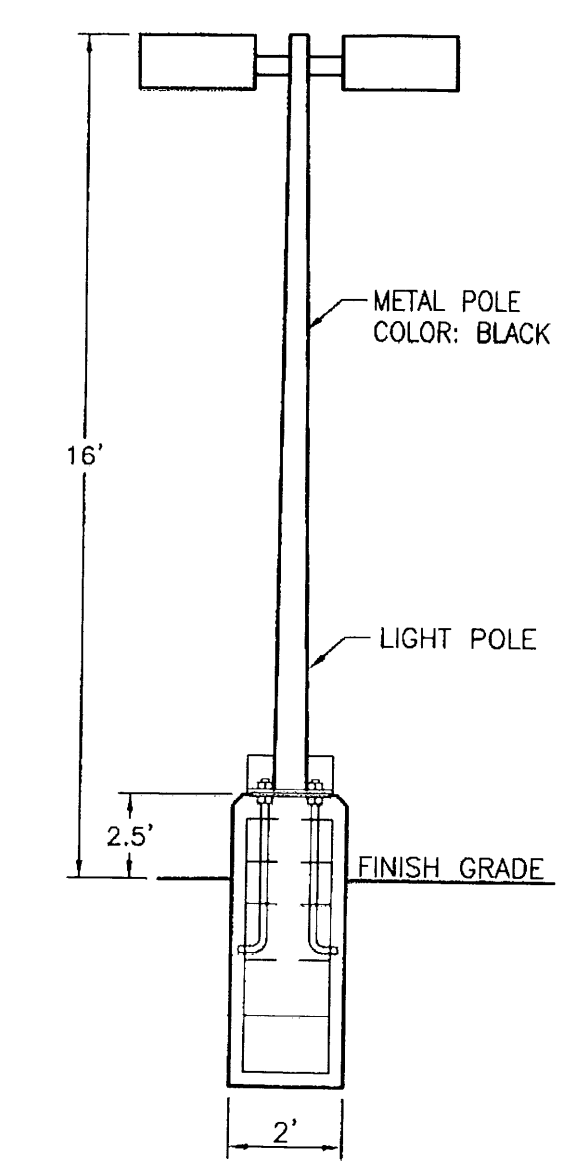
EXTERIOR ELEVATIONS



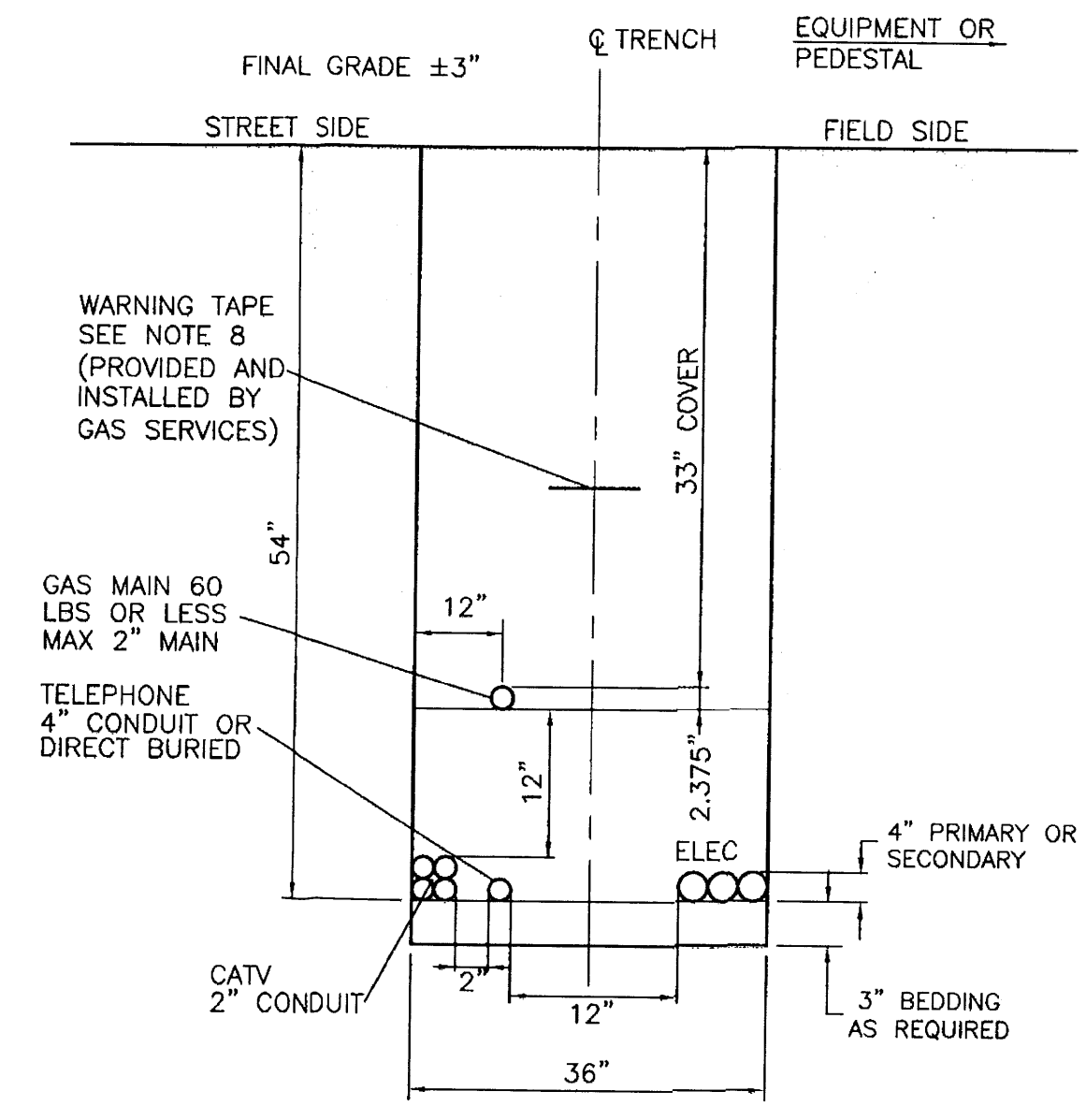
SANITARY SEWER CLEAN-OUT
NTS



SANITARY SEWER DOUBLE CLEAN-OUTS
NTS



LIGHT POLE DETAIL
NTS



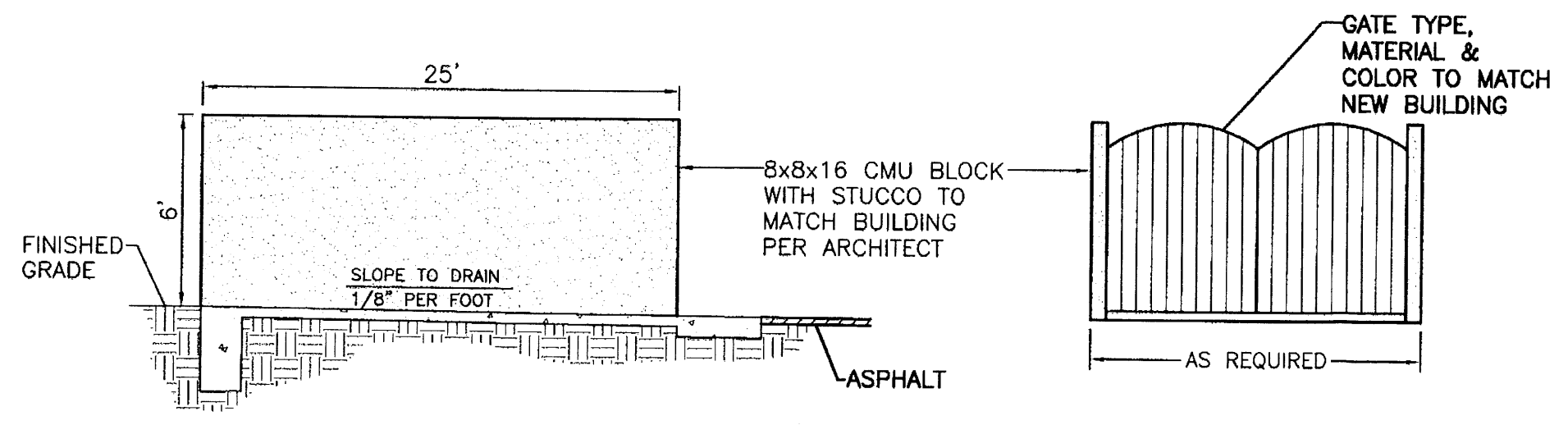
TYPICAL TRENCH DETAIL
NTS

GENERAL NOTES

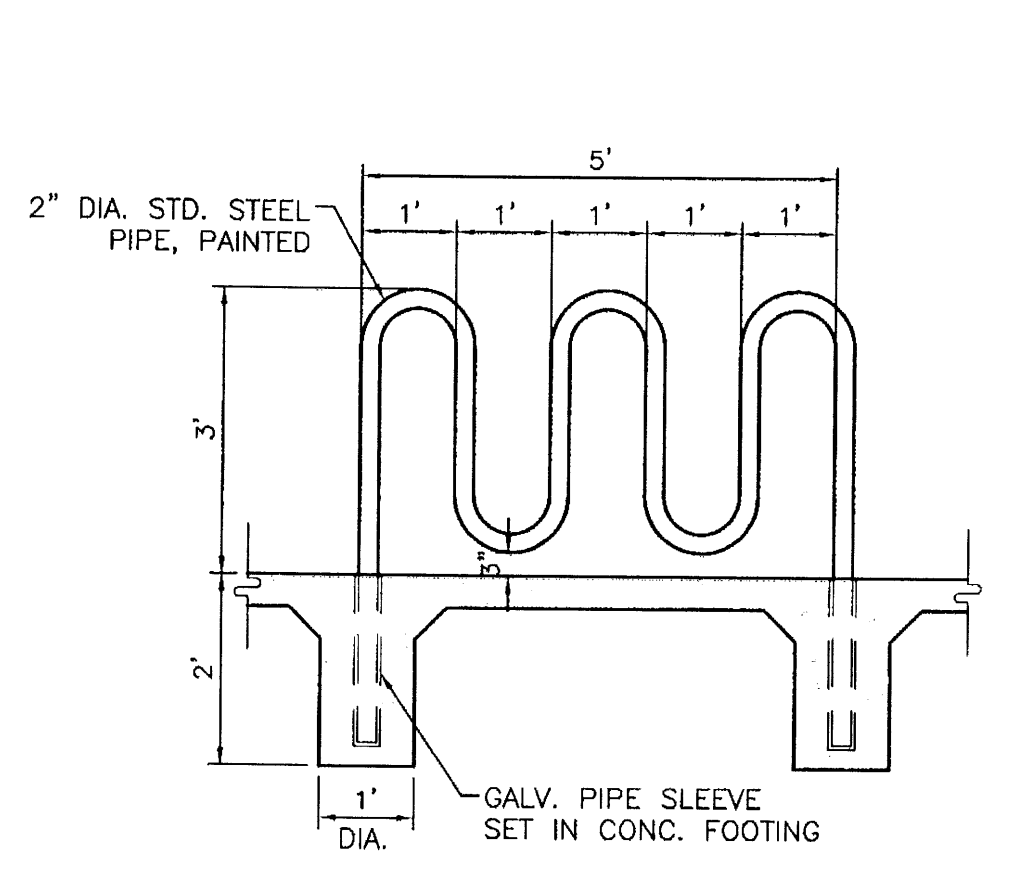
1. COMPACTION IN CITY OR STATE RIGHT-OF-WAYS SHALL MEET OR EXCEED MINIMUM SPECIFIED REQUIREMENTS
2. SHADING AND BEDDING MATERIAL TO BE TYPE IV, CLASS 1 FOR DIRECT BURIED CABLE AND TYPE IV, CLASS 2 FOR CABLE IN CONDUIT, TYPE III MATERIAL IS SUITABLE FOR EITHER TYPE OF INSTALLATION. REFER TO DS-10-12.4 FOR FILL MATERIAL REQUIREMENTS.
3. IF TRENCH-RUN MATERIAL MEETS BACK FILL MATERIAL TYPE REQUIREMENTS, 3\"/>

REFERENCES

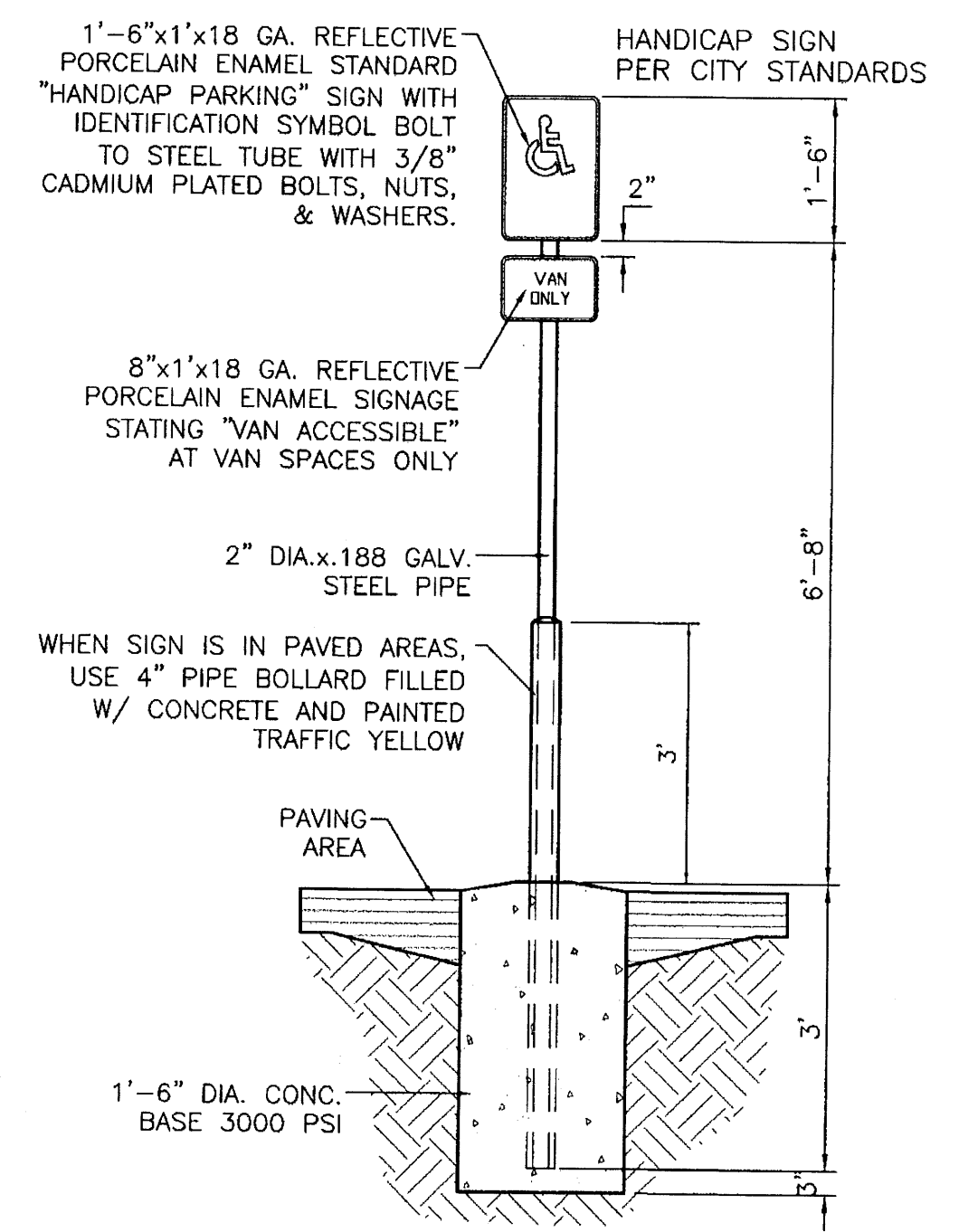
1. NESC RULE 352, 353, 354.



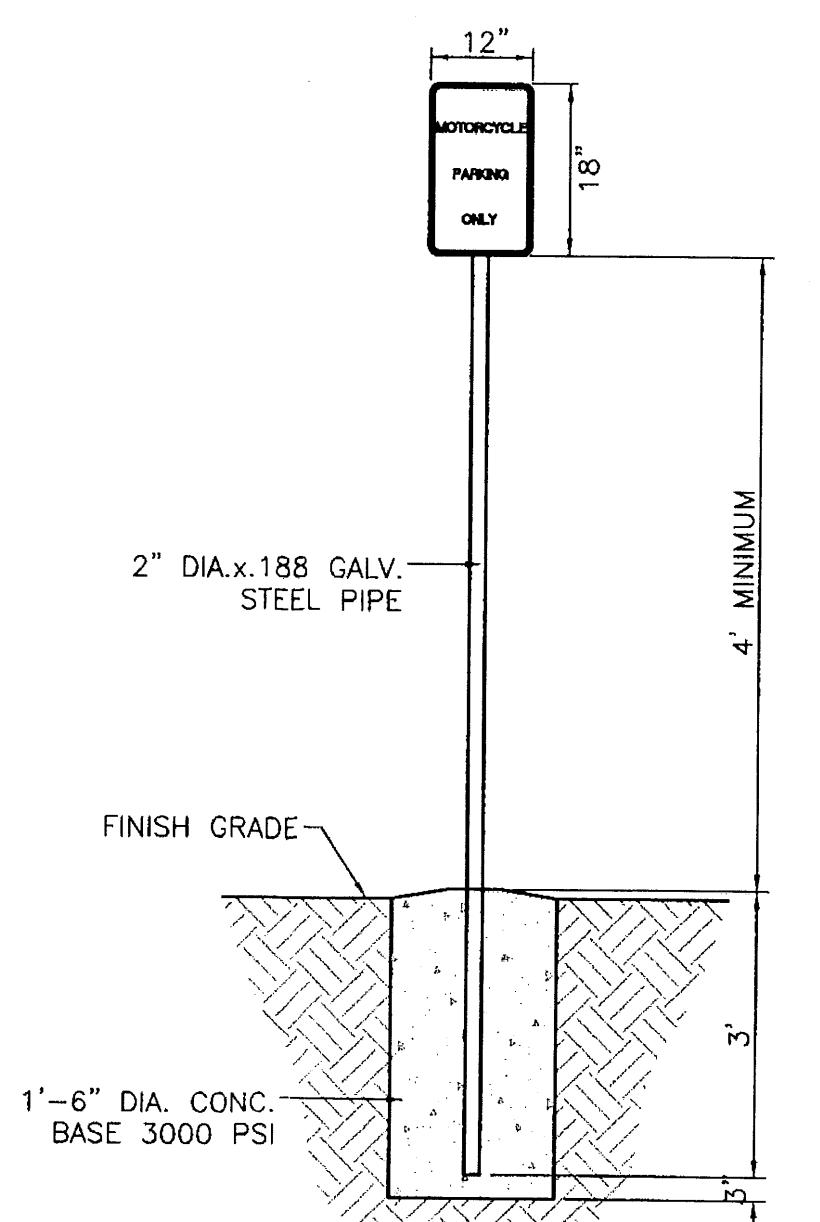
DUMPSTER ENCLOSURE ELEVATION
NTS



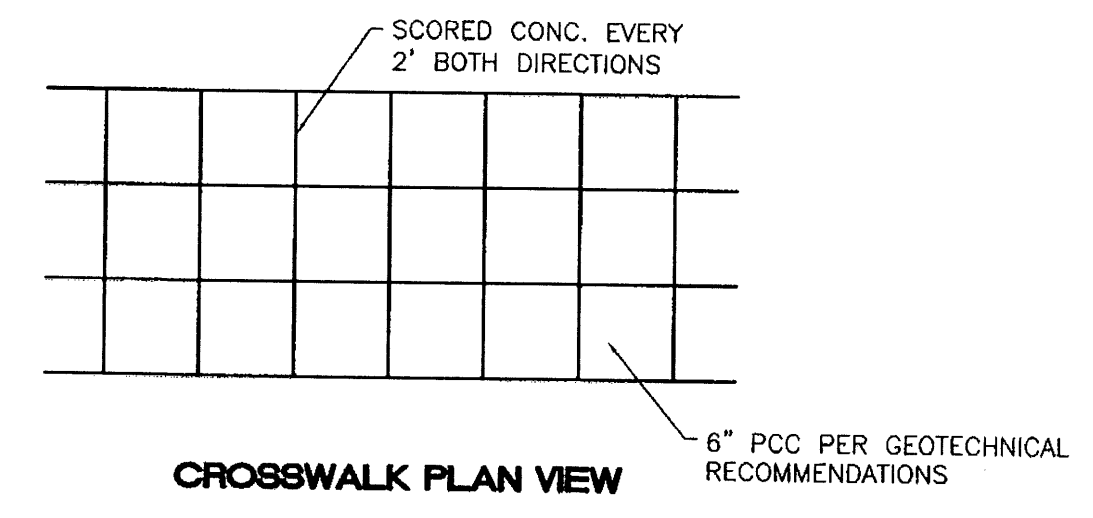
BIKE RACK DETAIL
NTS



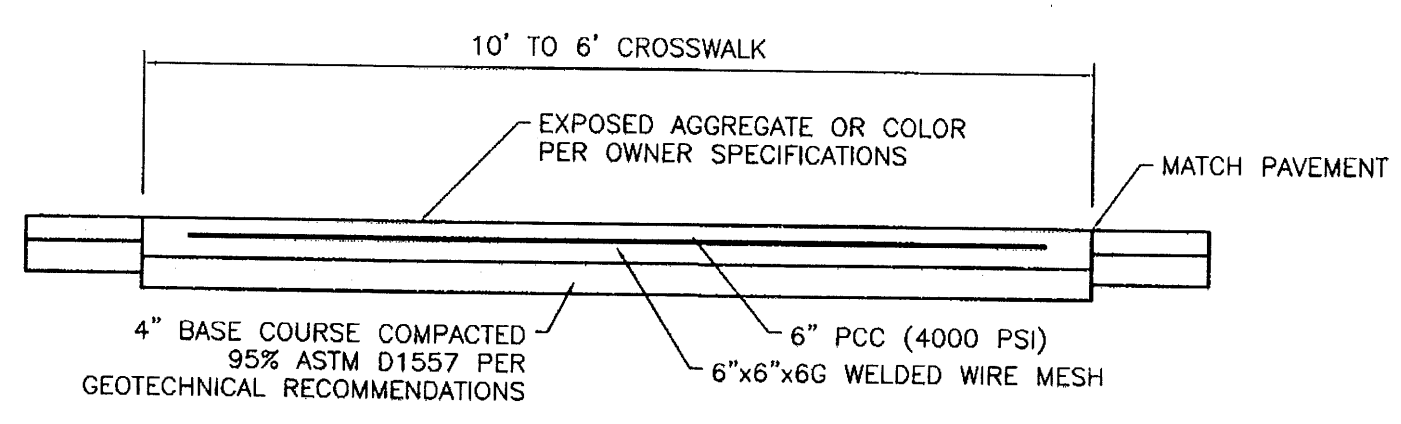
HANDICAP SIGN
NTS



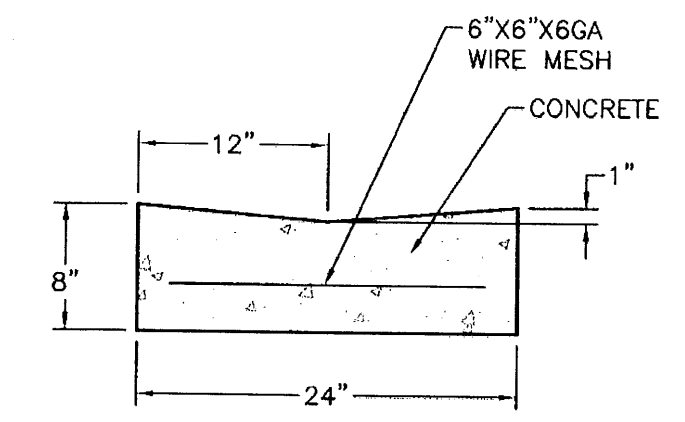
MOTORCYCLE PARKING SIGN
NTS



CROSSWALK PLAN VIEW

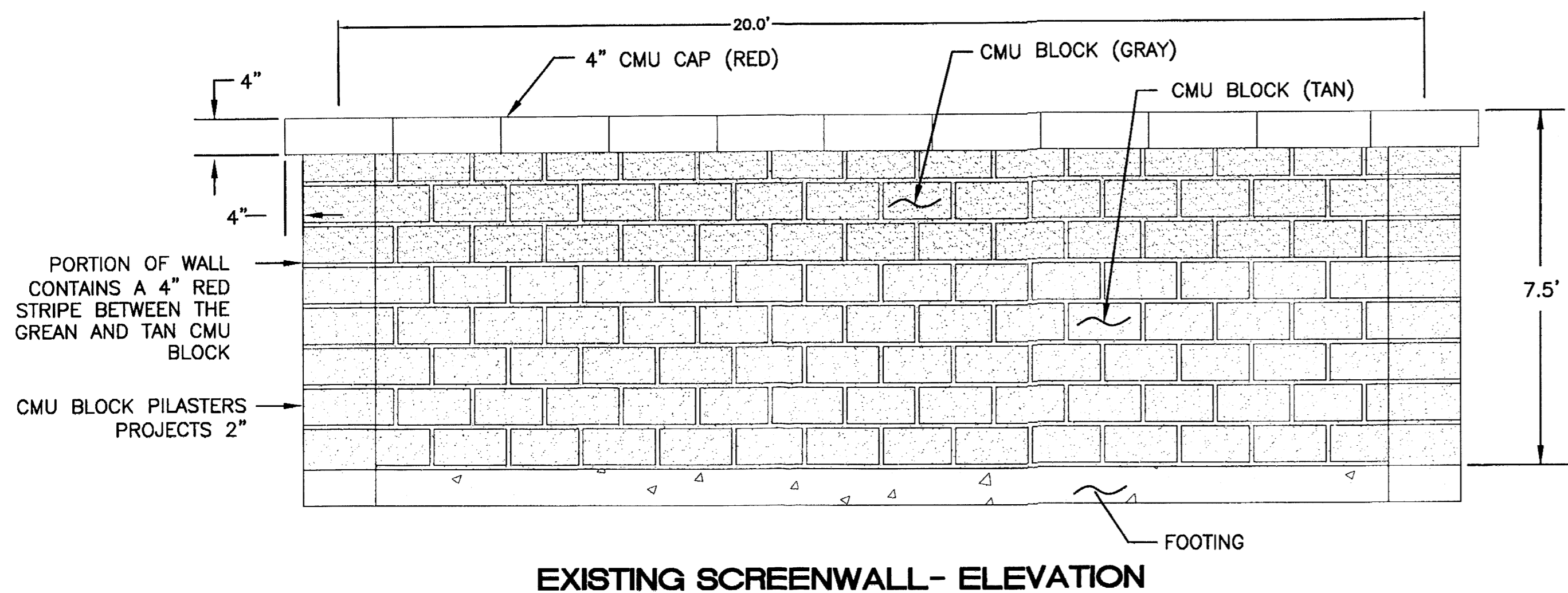


HEAVY DUTY CROSSWALK
NTS

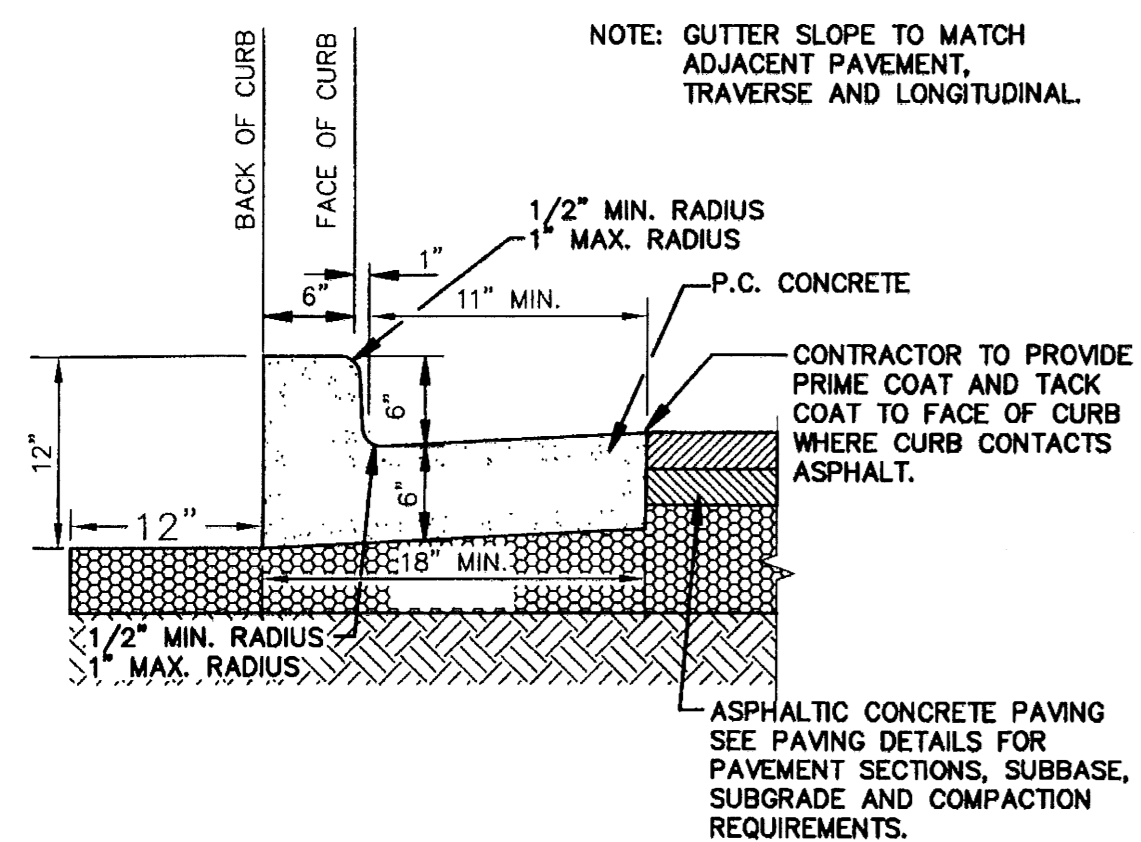


CONCRETE SWALE DETAIL IN PARKING LOT

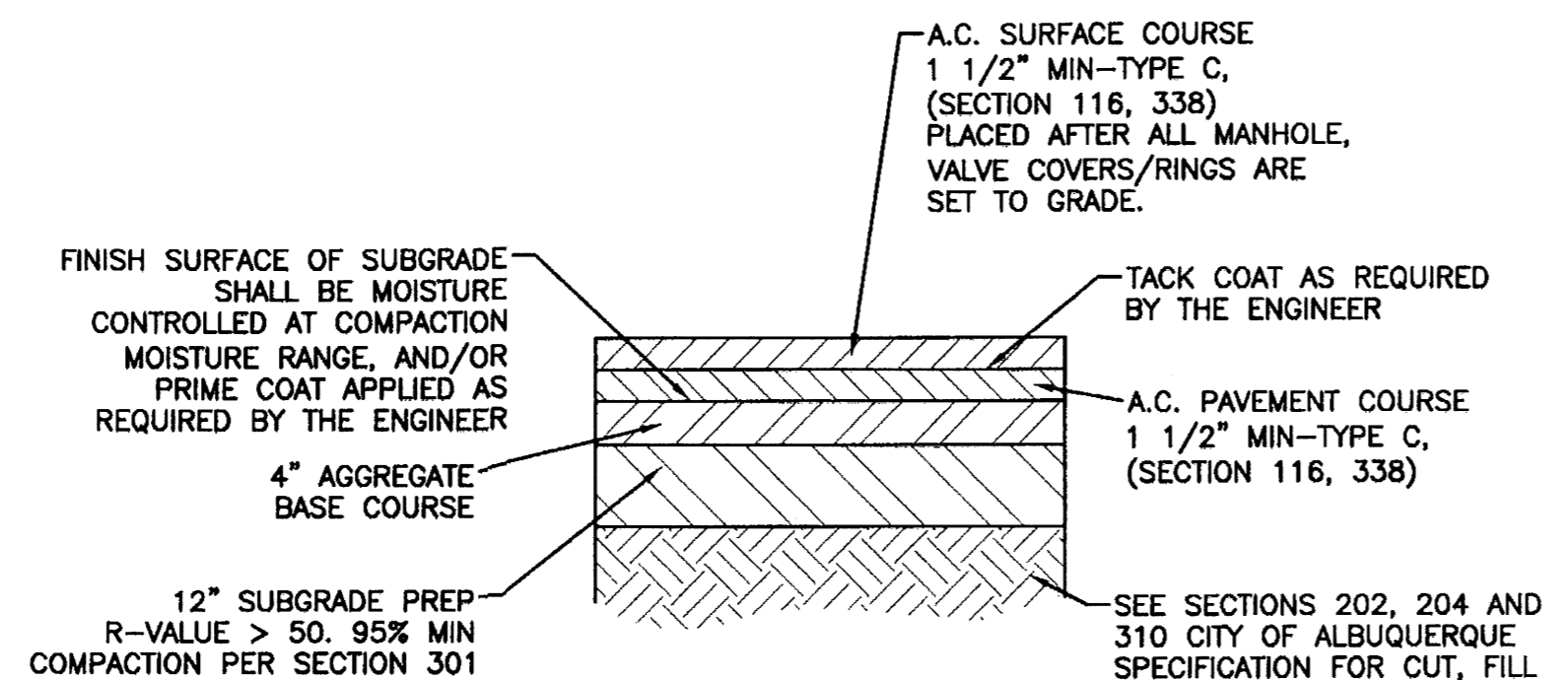
	LARRY MILLER DODGE LOMAS AND WYOMING	DRAWN BY BJJ
	DETAIL SHEET	DATE 3/2/10
TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 www.terrawestllc.com	SHEET # C6	JOB # 29040



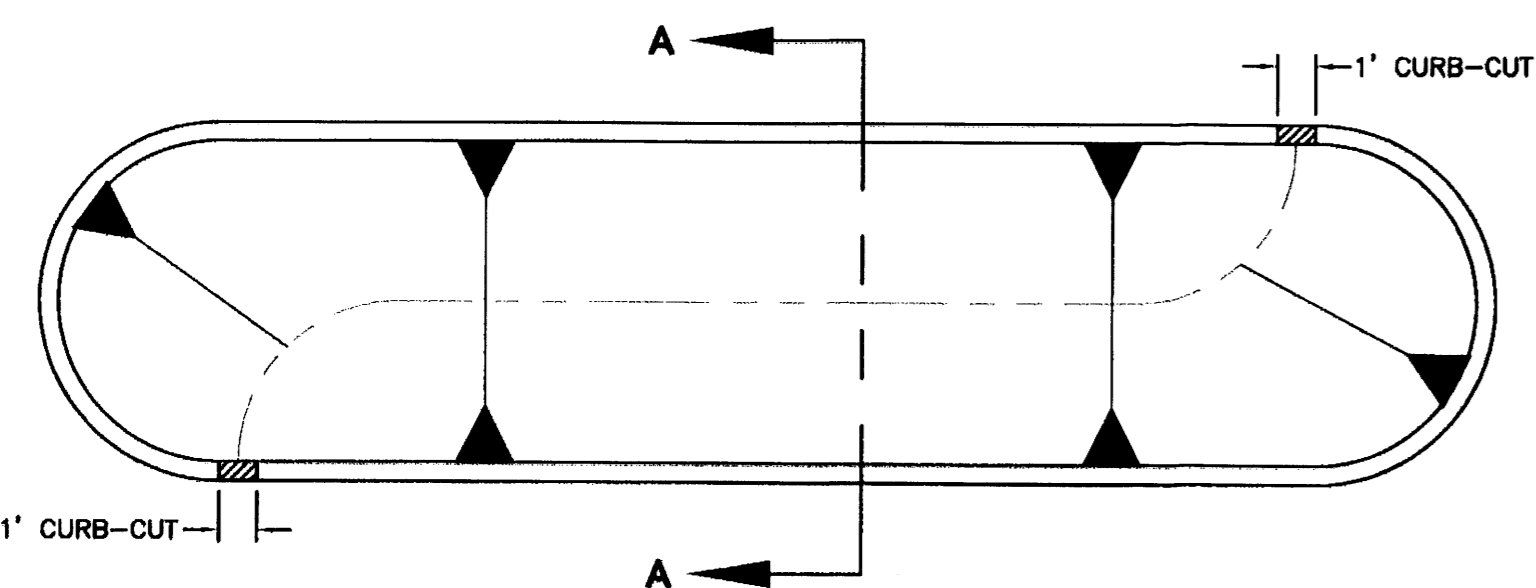
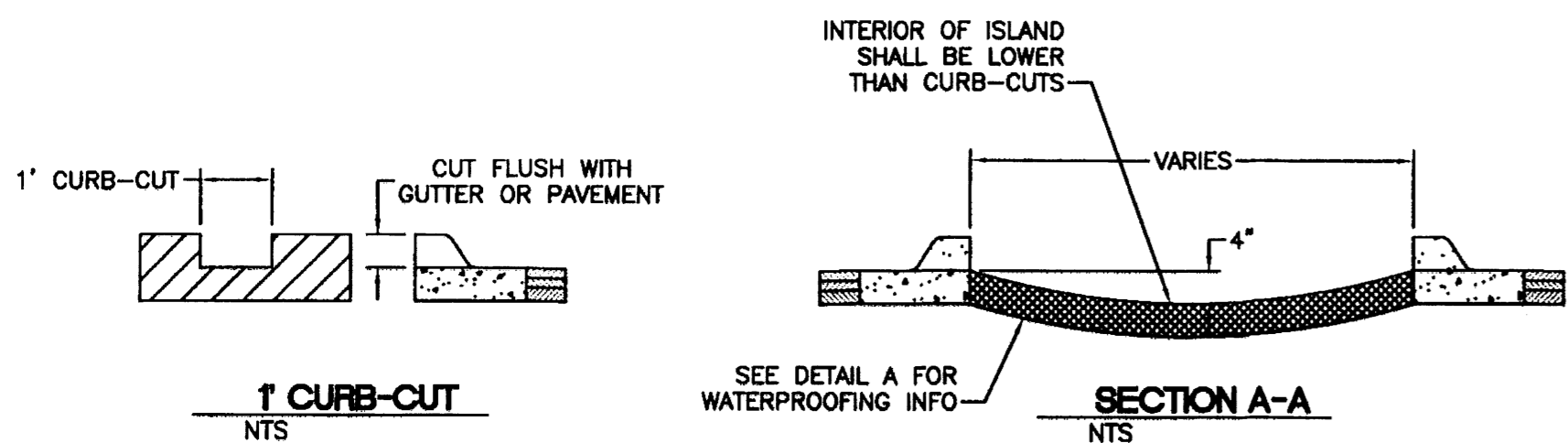
EXISTING SCREENWALL- ELEVATION



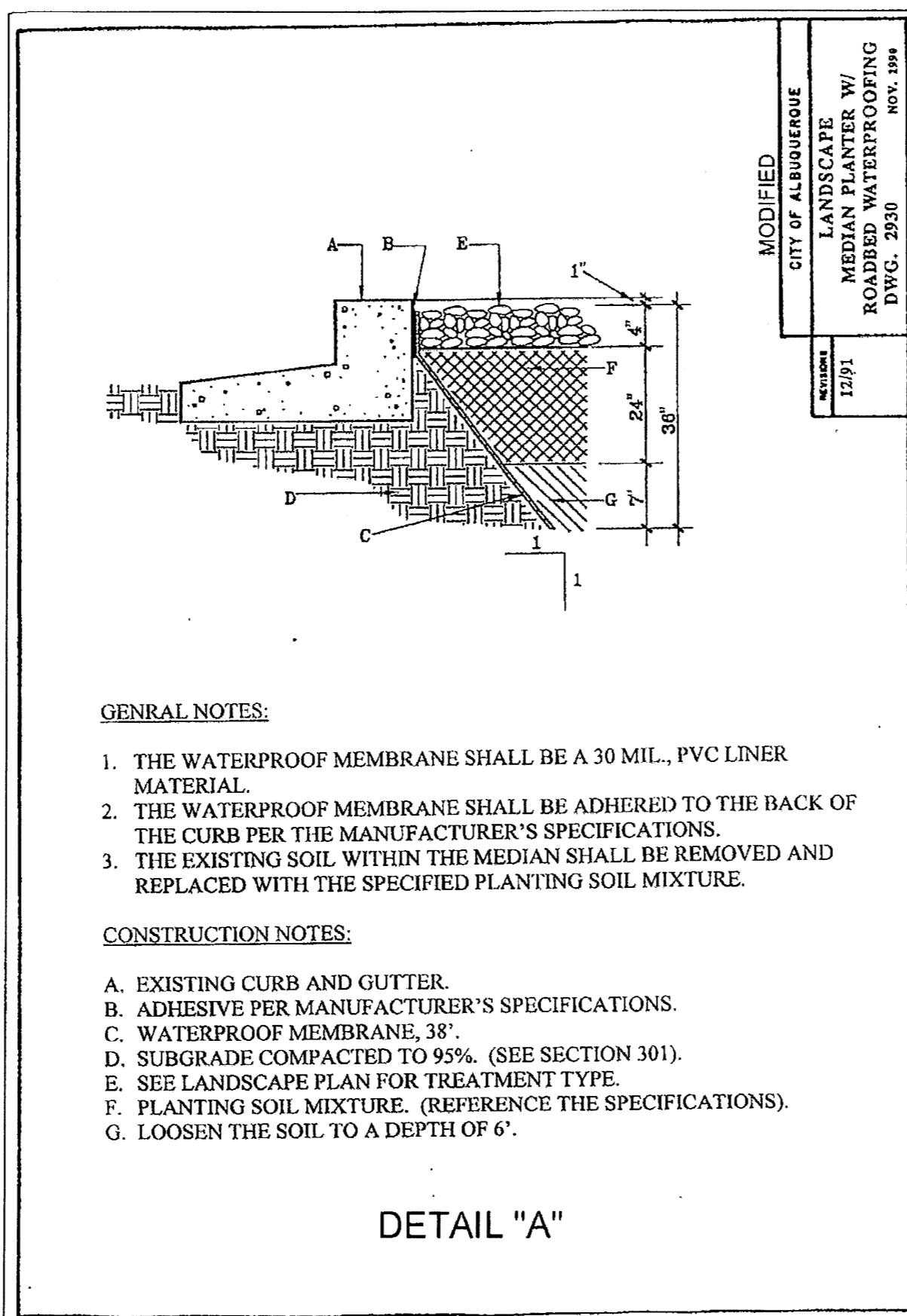
TYPE 'A' CONCRETE CURB AND GUTTER
N.T.S.



AUTOMOBILE PARKING TYPICAL PAVING SECTION
NTS
REFERENCE COA STD DWG 2405A



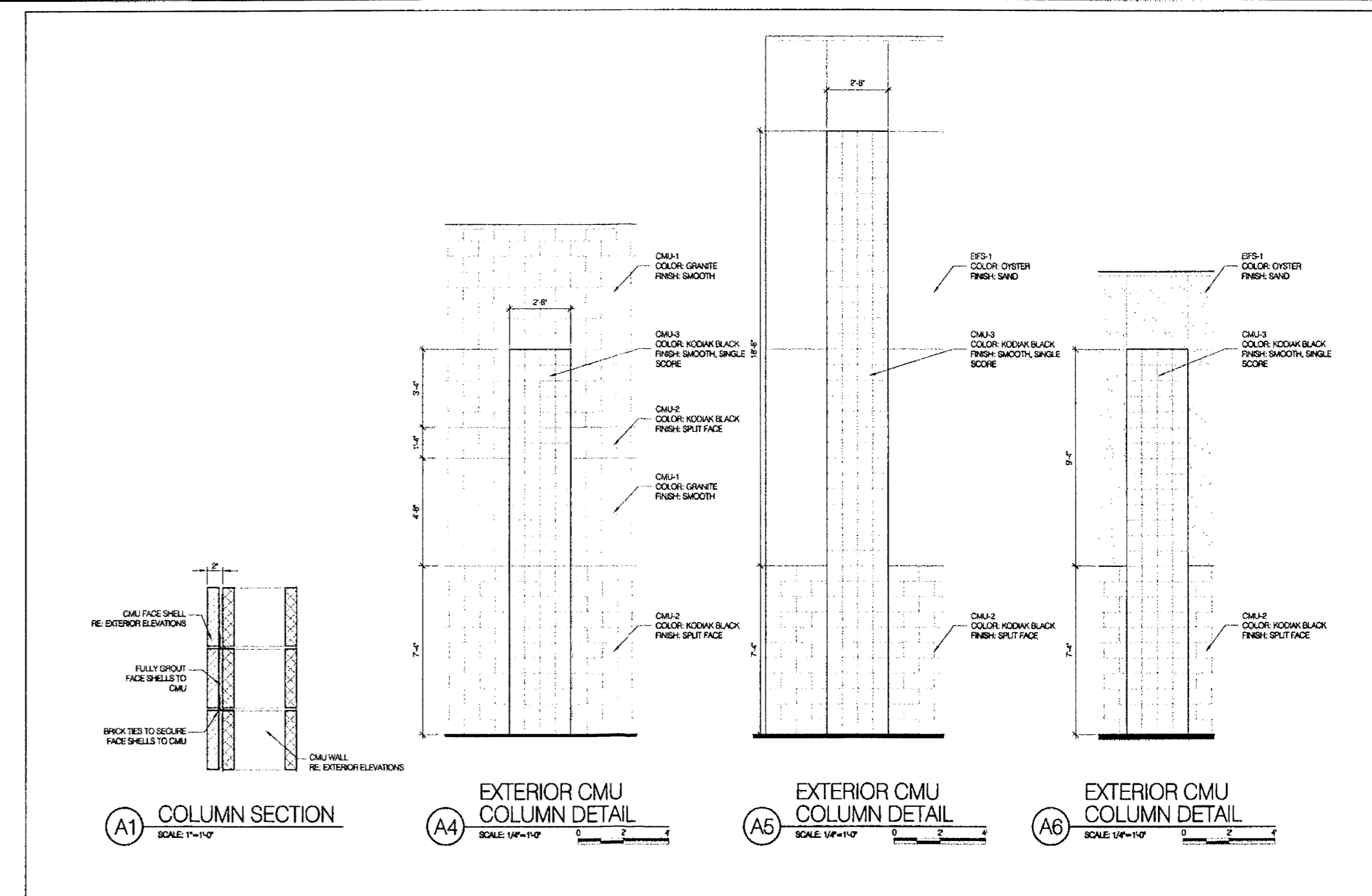
LANDSCAPE ISLAND WATER HARVESTING DETAIL FOR REFERENCE ONLY - BUILD ISLAND GEOMETRY PER SITE AND GRADING PLAN



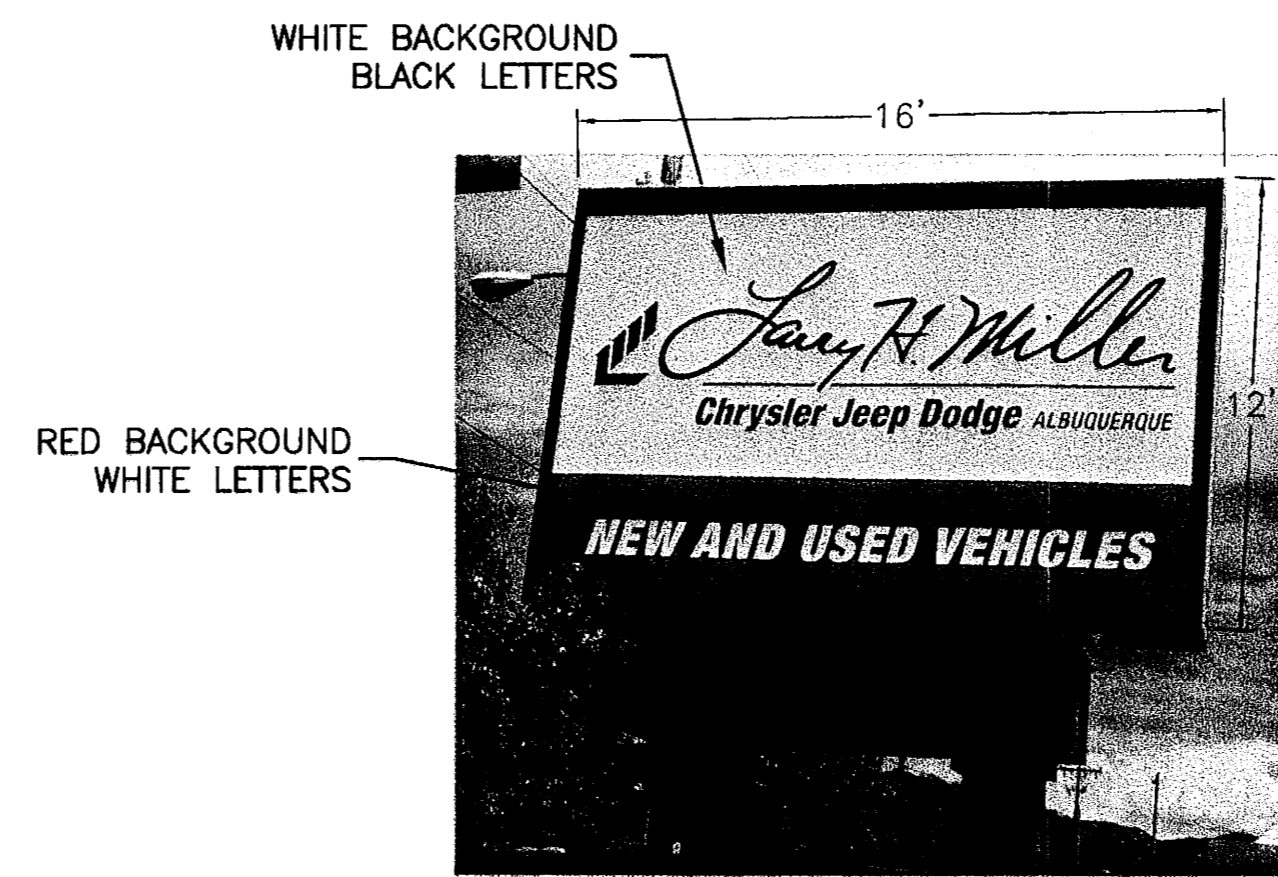
- GENERAL NOTES:**
1. THE WATERPROOF MEMBRANE SHALL BE A 30 MIL., PVC LINER MATERIAL.
 2. THE WATERPROOF MEMBRANE SHALL BE ADHERED TO THE BACK OF THE CURB PER THE MANUFACTURER'S SPECIFICATIONS.
 3. THE EXISTING SOIL WITHIN THE MEDIAN SHALL BE REMOVED AND REPLACED WITH THE SPECIFIED PLANTING SOIL MIXTURE.

- CONSTRUCTION NOTES:**
- A. EXISTING CURB AND GUTTER.
 - B. ADHESIVE PER MANUFACTURER'S SPECIFICATIONS.
 - C. WATERPROOF MEMBRANE, 38'.
 - D. SUBGRADE COMPACTED TO 95%. (SEE SECTION 301).
 - E. SEE LANDSCAPE PLAN FOR TREATMENT TYPE.
 - F. PLANTING SOIL MIXTURE. (REFERENCE THE SPECIFICATIONS).
 - G. LOOSEN THE SOIL TO A DEPTH OF 6'.

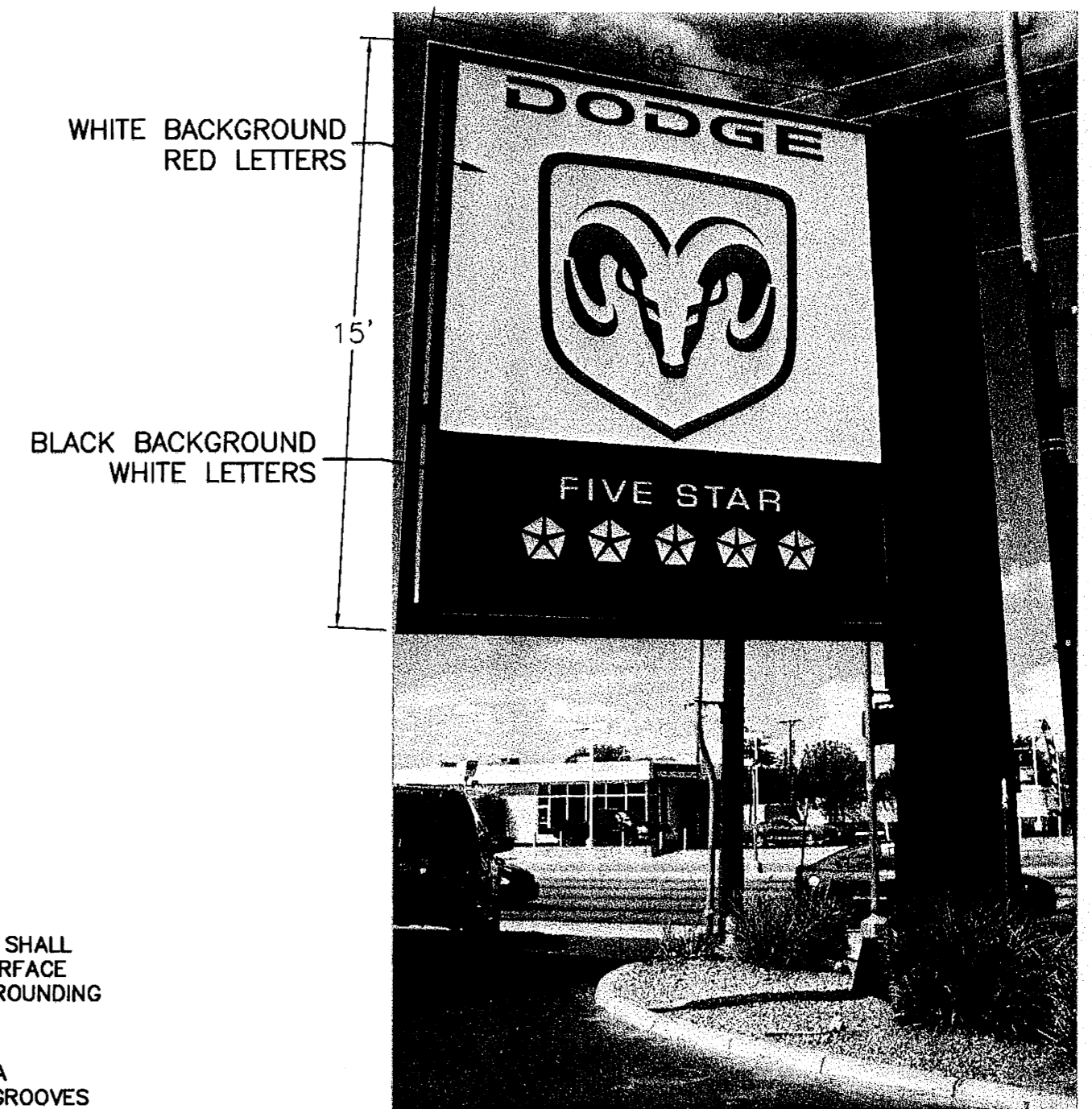
DETAIL 'A'



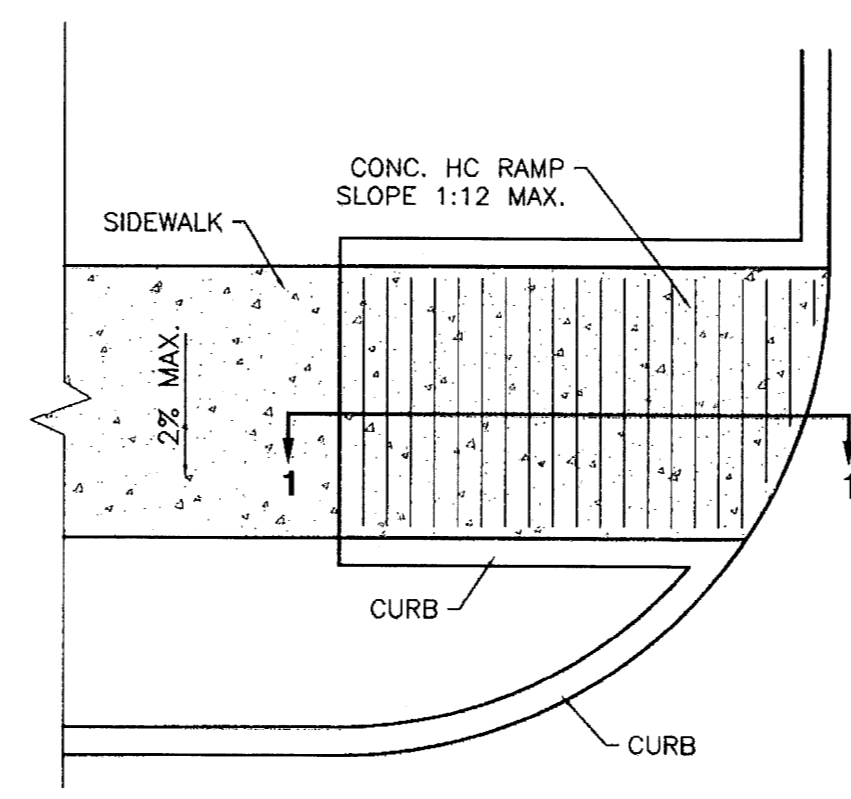
A1 COLUMN SECTION
A4 EXTERIOR CMU COLUMN DETAIL
A5 EXTERIOR CMU COLUMN DETAIL
A6 EXTERIOR CMU COLUMN DETAIL



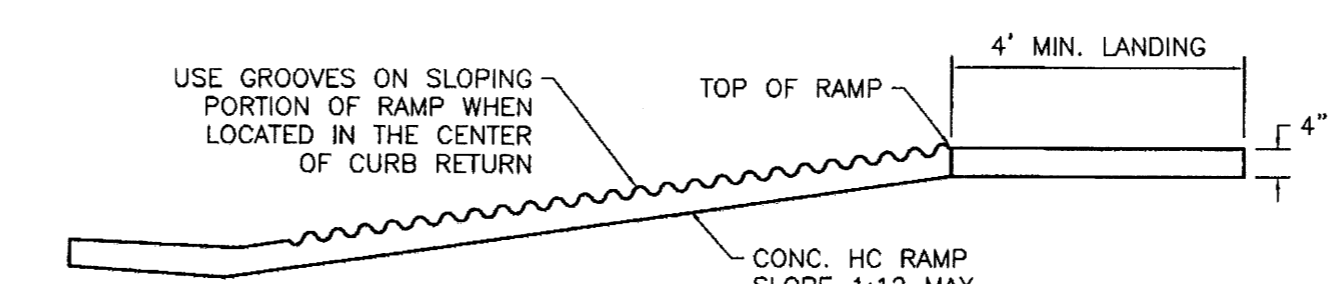
EXISTING PYLON SIGN 2
NEW SIGN WILL BE OF THE SAME DESIGN EXCEPT THE SIGN FACE DIMENSIONS WILL BE 15' WIDE BY 10' HIGH



EXISTING PYLON SIGN 1
NEW SIGN WILL BE OF THE SAME DESIGN EXCEPT THE SIGN FACE DIMENSIONS WILL BE 10' WIDE BY 15' HIGH



PLAN



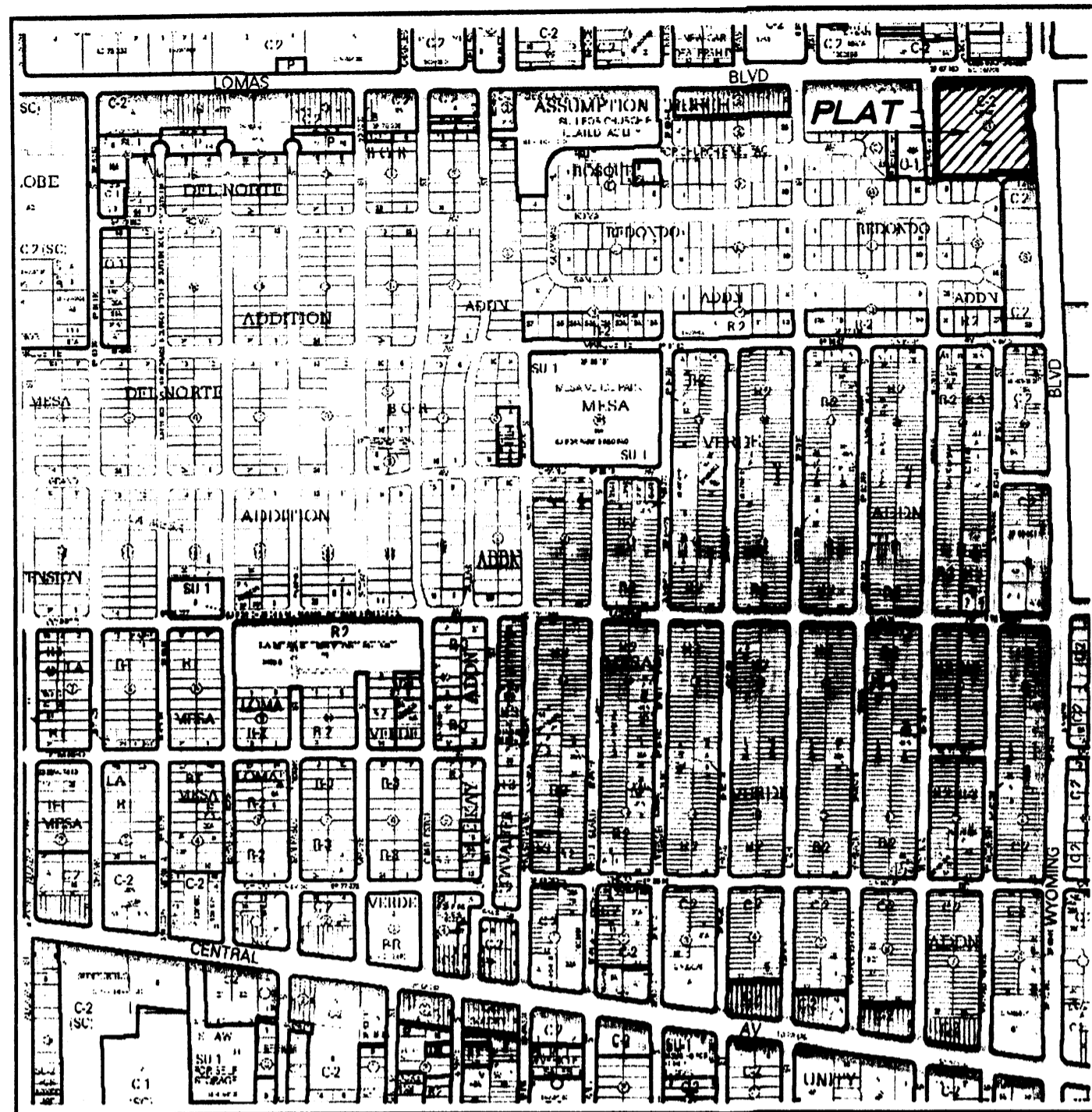
SECTION A-A

UNIDIRECTIONAL HC RAMP
SCALE: NTS

NOTES:

1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. THE RAMP SHALL BE GROOVED IN A TRANSVERSE PATTERN WITH 1/4" GROOVES APPROXIMATELY 1-1/2" O.C. SEE SECTION A-A.
3. THE BOTTOM OF THE RAMP SHALL HAVE A 1/4" LIP OF 45'.
4. RAMP SIDE SLOPE VARIES UNIFORMLY FROM A MAXIMUM OF UP TO 10% AT CURB TO CONFORM WITH LONGITUDINAL SIDEWALK SLOPE ADJACENT TO TOP OF THE RAMP.
5. CONSTRUCT PER A.D.A. STANDARDS.

	LARRY MILLER DODGE	ENGINEER'S SEAL	DRAWN BY BJF
	LOMAS AND WYOMING		DATE 3/10/10
	DETAIL SHEET		2940-DETAIL SHEET
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 www.tierrawestllc.com		SHEET # C7
			JOB # 29040



VICINITY MAP
Not To Scale

GENERAL NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone (NAD83)).
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- U.C.L.S. Log Number 2010111870.
- City of Albuquerque Zone Atlas Page: K-19-Z

SUBDIVISION DATA

Total number of existing Lots: 1
 Total number of new lots created: 1
 Gross Subdivision acreage: 5.0003 acres.

PURPOSE OF PLAT:

The Purpose of this plat is to:

- Show the easements VACATED by 10DRB-70046
- Grant additional easements as shown hereon.

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

1019037 497 503 11517

Rogers Family LTD Partnership

Max Lee 2/10/10

Bernalillo County Treasurer

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Billing) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- Qwest for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

DISCLAIMER

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

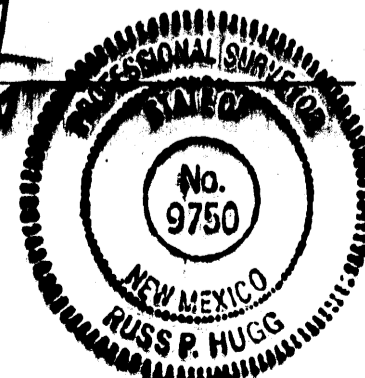
- MCI Metro Access Transmission Services, LLC for the installation, maintenance, and service of such lines, cable and other related equipment and facilities reasonably necessary to provide services.

[Signature]
 MCI Metro Access Transmission Services, LLC

SURVEYOR'S CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my direct supervision; that it meets the Standards for Land Surveys in the State of New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
 NMPS No. 9750
 March 16, 2010



PLAT OF
 LOT 36B-1-A, BLOCK S
 BOSQUE REDONDO ADDITION
 (BEING A REPLAT OF LOT 36B-1, BOSQUE REDONDO ADDITION)
 SITUATE WITHIN
 SECTION 19, TOWNSHIP 10 NORTH, RANGE 4 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2010

DOCH 2010084817
 08/24/2010 09:06 AM Page: 1 of 3
 CityPLAT R: \$17.00 B: 2010C P: 0104 M: Toulous Oliver, Bernalillo Cou

PROJECT NUMBER: 1007958

Application Number: 10DRB-70046

PLAT APPROVAL

Utility Approvals:

[Signature] 3-25-10
 Public Service Company of New Mexico (PNM) Date

[Signature] 3-19-2010
 New Mexico Gas Company (NMGC) Date

[Signature] 03-18-10
 Qwest Corporation Date

[Signature] 3-25-10
 Comcast Date

City Approvals:

[Signature] 3-23-10
 City Surveyor Date
 Department of Municipal Development

Real Property Division Date

Environmental Health Department Date

[Signature] 05/21/10
 Traffic Engineering, Transportation Division Date

[Signature] 05/05/10
 A.B.C.W.U.A. Date

[Signature] 5/5/2010
 Parks and Recreation Department Date

[Signature] 5/5/10
 AMAFCA Date

[Signature] 5/5/10
 City Engineer Date

[Signature] 8-24-10
 DRB Chairperson, Planning Department Date

PLAT OF
LOT 36B-1-A, BLOCK S
BOSQUE REDONDO ADDITION
 (BEING A REPLAT OF LOT 36B-1, BOSQUE REDONDO ADDITION)
SITUATE WITHIN
SECTION 19, TOWNSHIP 10 NORTH, RANGE 4 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2010

DOCH 2010084817
08/24/2010 09:06 AM Page: 2 of 3
 CityPLAT R: 517.00 B: 2010C P: 0104 M: Toulous Olivere, Bernalillo Cou

LEGAL DESCRIPTION

Lot Numbered Thirty six-B one (36B-1) in Block Lettered "S", of Bosque Redondo Addition, as the same is shown and designated on the plat entitled, "PLAT OF LOT 36B-1, BOSQUE REDONDO ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DECEMBER", filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 23, 1998, in Plat Book 98C, Page 80 as Document # 1998033722.

Said Lot contains 5.0003 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising, PLAT OF LOT 36B-1-A, BLOCK S, BOSQUE REDONDO ADDITION (BEING A REPLAT OF LOT 36B-1, BOSQUE REDONDO ADDITION SITUATE WITHIN SECTION 19, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant the public easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

Bosque Vista, Ltd.

Jim Rogers Jr

By Jim Rogers, Jr., Chief Manager

ACKNOWLEDGMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on this 19th
 day of March, 2010, by Jim Rogers, Jr.

Keli D. Krueger

Notary Public

March 6, 2014
 My commission expires



OFFICIAL SEAL
 KELI D. KRUEGER
 NOTARY PUBLIC STATE OF NEW MEXICO
March 6, 2014

**SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS
 ON THE INSTALLATION OF SOLAR COLLECTORS**

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

LINE TABLE		
LINE	LENGTH	BEARING
L1	12.82	S53°55'05"E
L2	15.52	S39°31'33"E
L3	60.02	S02°36'59"E
L4	20.00	S00°31'17"E

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	39.29'	25.00'	25.02'	35.37'	N44°26'37"E	90°02'17"
C2	15.01'	93.00'	7.52'	14.99'	S15°40'15"W	9°14'40"
C3	22.92'	57.00'	11.62'	22.77'	S08°47'31"W	23°02'22"
C4	22.99'	57.00'	11.66'	22.84'	S14°45'00"E	23°06'47"
C5	13.56'	93.00'	6.79'	13.54'	S21°46'43"E	8°21'04"
C6	1.41'	25.00'	0.70'	1.41'	N03°36'40"W	3°13'28"
C7	53.72'	36.00'	33.76'	48.60'	N46°34'03"W	87°56'25"



SHEET 2 OF 3

SURVOTEK, INC.

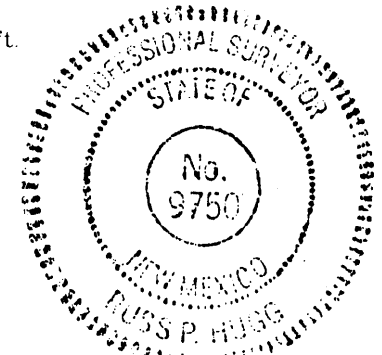
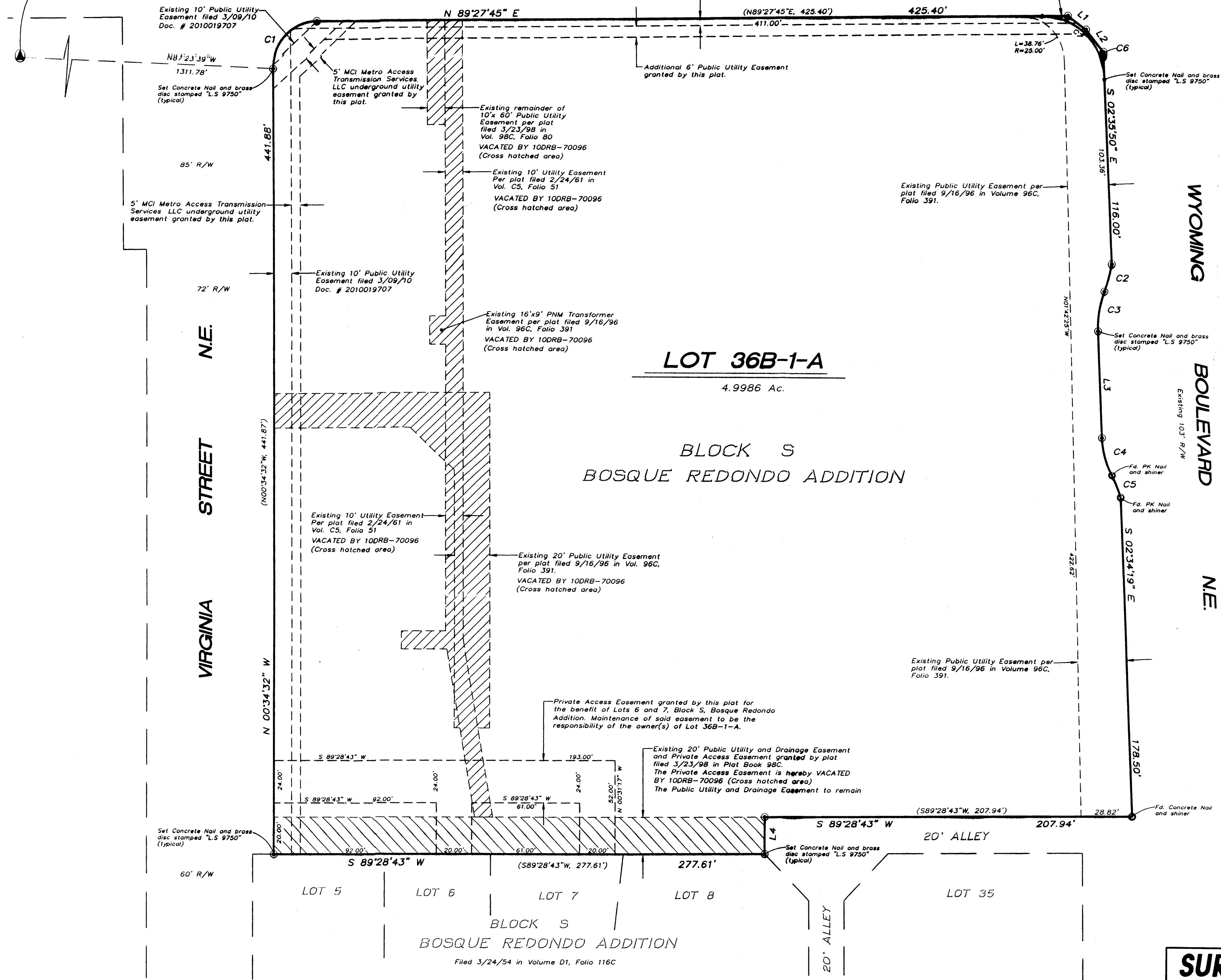
Consulting Surveyors
 2984 Valley View Drive, N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3368 Fax: 505-897-3377

**PLAT OF
LOT 36B-1-A, BLOCK S
BOSQUE REDONDO ADDITION**
(BEING A REPLAT OF LOT 36B-1, BOSQUE REDONDO ADDITION)
SITUATE WITHIN
SECTION 19, TOWNSHIP 10 NORTH, RANGE 4 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2010

Albuquerque Control Station Monument "17-K19"
New Mexico State Plane Coordinates
(Central Zone) - NAD 83
Northing = 1,487,200.514
Easting = 1,548,658.688
Elevation = 5,344.389 (NAVD 1988)
Delta Alpha = -00'10"34.73"
Ground to Grid Factor = 0.999657877

Additional Public Street right of way dedicated to the City of Albuquerque in fee simple with warranty covenants by this plat. (0.0017 Ac.)

DOCH 2010084817
08/24/2010 09:06 AM Page 3 of 3
City/PLAT R: \$17.00 B: 2010C P: 0104 M: Toulous Olivere, Bernalillo Cou



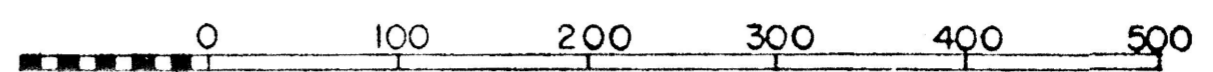
SHEET 3 OF 3

STATEMENT

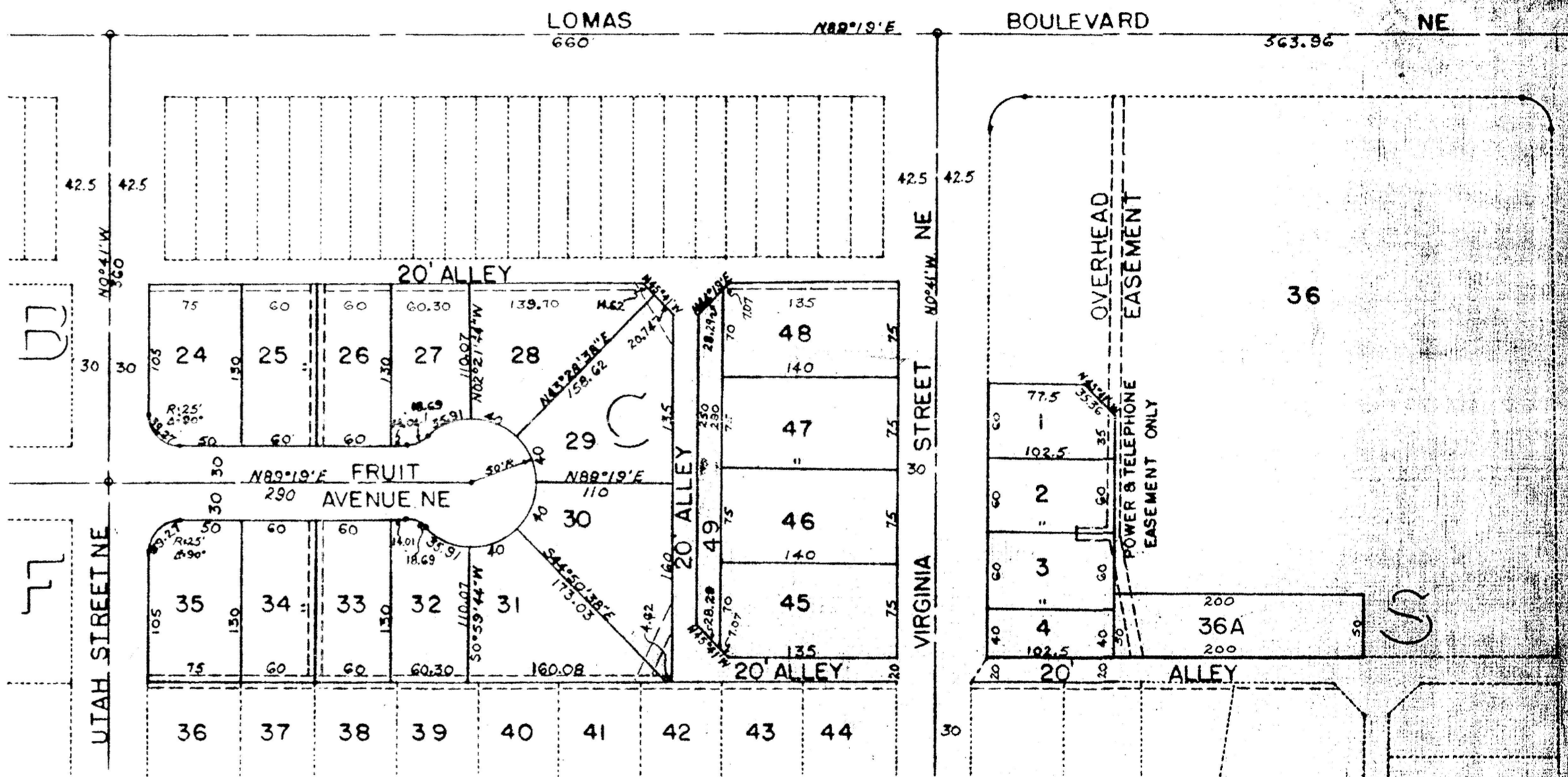
The subdivision shown hereon is a replat of a certain tract of land lying within the Northeast Quarter of the Northeast Quarter of Section 19, Township 10 North, Range 4 East, New Mexico Principal Meridian; and is more particularly described by metes-and-bounds as follows: Beginning, for a tie, at the Northeast Corner of Said Section and bearing S89°19'W along the North Boundary of Said Section for a distance of 1193.96 feet to a point; thence bearing S0°41'E for a distance of 200.00 feet to the Northwest Corner and Point of Beginning of the tract herein described; thence bearing N89°19'E for a distance of 600.00 feet to the Northeast Corner of the tract herein described; thence bearing S0°41'E for a distance of 80.00 feet to a point; thence bearing N89°19'E for a distance of 150.00 feet to a point; thence bearing S45°41'E for a distance of 35.36 feet to a point; thence bearing S0°41'E for a distance of 215.00 feet to the Southeast Corner of the tract herein described; thence bearing S89°19'W for a distance of 775.00 feet to the Southwest Corner of the tract herein described; thence bearing N0°41'W for a distance of 320.00 feet to the Northwest Corner and Point of Beginning of the tract herein described. Said tract has been platted and subdivided into Blocks, Lots, Streets, and Public Utility Easements as it appears hereon. That the owners of the property do hereby dedicate easements shown on the plat, including easements for overhang of service wires for pole-type utilities. Also included are easements for underground or buried service wires or utilities, including the right of ingress or egress and rights to trim interfering trees. Said tract of land platted hereon shall henceforth be known as Portions of Blocks C and S of the Bosque Redondo Addition to the City of Albuquerque, New Mexico; and said plat was done with the consent and in accord with the desires of the undersigned owners and proprietors thereof.

REPLAT OF PORTIONS OF BLOCKS C, G, & S AND THE ELIMINATION OF BLOCK G OF THE BOSQUE REDONDO ADDITION

TO THE CITY OF ALBUQUERQUE, NEW MEXICO
J. E. PINO
OCTOBER 1960
SCALE
1" = 100'



State of New Mexico } SS
County of Bernalillo }
This instrument was filed for record on
At 1 o'clock p.m. Recorded in Vol. 100 of records of said County Folio
Gentry J. Gentry Clerk & Recorder
Lillian J. Gentry Deputy Clerk



ATTEST: James H. Green Secretary
By Donald R. Hesselden President
Mary Ann Keleher Rogers
OWNERS AND PROPRIETORS

ACKNOWLEDGEMENTS:
State of New Mexico } SS
County of Bernalillo }
On this 12th day of September 1960, before me, a notary public in and for Said County, personally appeared Donald R. Hesselden, personally known to me, who being duly sworn, did say that he is the President of Homes, Inc., a corporation organized under the laws of the State of New Mexico, and that the seal affixed to said instrument is the Corporate Seal of Said Corporation, and that said instrument was signed and sealed on behalf of Said Corporation, by authority of its Board of Directors, and said Donald R. Hesselden acknowledged said instrument to be the free act and deed of Said Corporation.
IN WITNESS WHEREOF, I have hereunto set my hand and seal on the day and year last written above.
My commission expires Feb 4, 1961
James H. Green
Notary Public

State of New Mexico } SS
County of Bernalillo }
On this 13th day of September 1960, before me, a notary public in and for Said County, personally appeared S. E. Whitmore and Ruth Collins Whitmore, to me known to be the persons described in the foregoing instrument and acknowledged that they executed the same as their free act and deed.
IN WITNESS WHEREOF, I have hereunto set my hand and seal on the day and year last written above.
My Commission Expires April 12, 1961
Mary Ann Keleher Rogers
Notary Public

State of New Mexico } SS
County of Bernalillo }
On this 13th day of September 1960, before me, a notary public in and for Said County, personally appeared Mary Ann Keleher Rogers, to me known to be the person described in the foregoing instrument and acknowledged that she executed the same as her free act and deed.
IN WITNESS WHEREOF, I have hereunto set my hand and seal on the day and year last written above.
My Commission Expires April 12, 1961
Mary Ann Keleher Rogers
Notary Public

CERTIFICATIONS:
This is to certify that I am a Registered P.E. & L.S. in the State of New Mexico, and that the replat as it appears hereon was prepared by me from the original plat, and that the plat shown hereon is true and correct to the best of my knowledge and belief.
by J. E. Pino
P. E. & L. S. No. 1627
I, Ida V. Malone, City Clerk of the City of Albuquerque, New Mex., hereby certify that the plat upon which this certificate appears was approved and accepted for filing by the City Commission of said City at its meeting held on the 27th day of September 1960.
by J. E. Pino City Clerk

APPROVALS:
Approved: 12th day of Sept. 1960
CITY ENGINEERING DEPARTMENT
Albuquerque, New Mexico
by William J. Dennis City Engineer

Approved: 12th day of Sept. 1960
CITY TRAFFIC DEPARTMENT
Albuquerque, New Mexico
by Edwin J. [Signature] City Traffic Engineer

Approved: 22nd day of Sept. 1960
PUBLIC SERVICE COMPANY OF NEW MEXICO
Albuquerque, New Mexico
by [Signature]

Approved: 27th day of Sept. 1960
FOR PUBLIC SERVICE CO. OF N. M.
MOUNTAIN STATES TEL. & TEL. COMPANY
Albuquerque, New Mexico
by [Signature]

Approved: 27th day of Sept. 1960
FOR Min. States Tel. & Tel. Co.
I, Robert L. Burgen, Director of Parks and Recreation Dept. of the City of Albuquerque, N. Mex., do hereby certify that the plat upon which this certification appears meets all of the requirements of the City Park Dedication Policy.
by [Signature] Director of Parks and Recreation

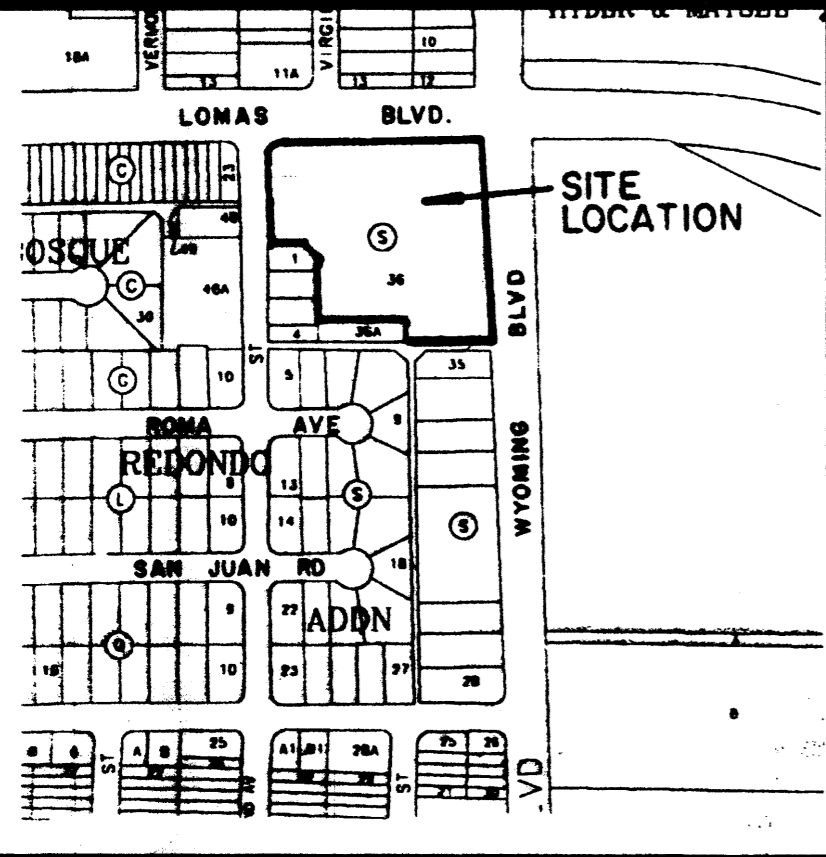
Approved: 19th day of Sept. 1960
CITY PLANNING COMMISSION
Albuquerque, New Mexico
by [Signature] Chairman

by [Signature] Executive-Secretary

NOTES:
Easements for utilities are indicated by long evenly spaced dashed lines. These easements are generally 5 feet and 10 feet wide, unless plat scale indicates an obvious exception.
Short-dashed lines indicate existing surrounding plattings.



96C-391(1)



LOCATION MAP
Zone Atlas Map No. K-19-Z

SUBDIVISION DATA

- 1) DRB Case number: DRB-96-301 424
- 2) Zone Atlas Map number: K-19-Z
- 3) Gross acreage: 4.1880 Acres
- 4) Total lots created: 3 Lots
- 5) Mileage of streets created: 0 Acres
- 6) Utility Council Log Number: 96061113460426

NOTES:

- 1. All property corners shown thus ■ are 5/8" rebar with a 3" by 3" plastic cap marked "CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT SURVEY SECTION, SURVEY MARKER, P.S. 5340" unless otherwise indicated.
- 2. This plat was compiled from plats of record filed for record in the office of the County Clerk of Bernalillo County. Record documents are listed as follows: BOSQUE REDONDO ADDITION filed on March 24, 1954, in volume D1, folio 116; BOSQUE REDONDO ADDITION filed on February 24, 1961, in volume C5, folio 51; First American Title Insurance Company commitment number UT10357E95 dated October 5, 1995, and United Title Company of New Mexico commitment number UT10357E95 dated October 5, 1995; NOTE: All bearings and distances shown within parentheses are referenced to above mentioned plats of record.
- 3. All distances are ground distances unless otherwise indicated.
- 4. All bearings are New Mexico State Plane Grid bearings as established by field traverse occupying Albuquerque Control Survey Station "18-L19" back-sighting Albuquerque Control Survey Station "17-L19" as published by the City of Albuquerque Survey Section.
- 5. Plat shows all easements made known to me by the City of Albuquerque Real Property Division, utility companies or other parties expressing an interest in said property.
- 6. Existing Building sets up to 0.7' into vacated portion of Wyoming Blvd. as shown hereon.
- 7. Existing Building sets up to 7.1' into vacated 20' alley as shown hereon.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- 1) The Public Service Company of New Mexico for the installation, maintenance, and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
- 2) The Gas Company of New Mexico for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- 3) U.S. West for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to the above ground pedestals and closures.
- 4) Jones Intercable for the installation, maintenance, and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purpose set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking, or any structures adjacent to, within, or near easements shown on this plat.

By approving this document, the utility companies do not waive or release any easement rights which may have been granted by prior plat, replat or document, except as noted hereon.

DISCLOSURE STATEMENT

The purpose of this plat is to combine the remaining portion of Lot 36, Block S, BOSQUE REDONDO ADDITION, a vacated portion of Wyoming Blvd. N.E. and a portion of vacated 20' alley into Three Lots to acquire additional street right-of-way as shown hereon.

LEGAL DESCRIPTION

A parcel of land situate within the Bosque Redondo Addition to the City of Albuquerque, New Mexico. Being and comprising all of Lot 36, Block S, said Addition filed for record in the office of the County Clerk of Bernalillo County, New Mexico on March 24, 1954, in volume D1, folio 116, together with all of the vacated 20' alley as per city commission vacation ordinance number 1847, a portion of vacated Wyoming Boulevard N.E. as per city commission vacation ordinance number 2092, and EXCEPTING all of Lot 36A, Block S, Bosque Redondo Addition filed for record in the office of the County Clerk of Bernalillo County, New Mexico on February 24, 1961, in volume C5, folio 51 and being more particularly described by New Mexico State Plane Grid Bearings and ground distances as follows:

Commencing at City of Albuquerque Control Monument 18-K19 having New Mexico State Plane Grid N.A.D. 1927 Coordinates of X=410,242.20 Y=1,487,111.74; thence S 62°47'28" W, a distance of 55.09 feet to the POINT OF BEGINNING being a point on the easterly boundary of said vacation of Wyoming Boulevard N.E. (now being the current westerly right-of-way line of Wyoming Boulevard N.E.);

Thence, S 02°35'52" E along said westerly right-of-way line, a distance of 428.17 feet to the intersection of said westerly right-of-way line and the easterly projection of the northerly right-of-way line of a 20' alley;

Thence, S 89°28'14" W along said easterly projection and said northerly right-of-way line, a distance of 183.24 feet to the southeast corner of said Lot 36A;

Thence, N 00°31'46" W along the easterly boundary of said Lot 36A, a distance of 50.00 feet to the northeast corner of said Lot 36A;

Thence, S 89°28'14" W along the northerly boundary of said Lot 36A, a distance of 200.00 feet to the northwest corner of said Lot 36A;

Thence, N 00°31'46" W along the easterly boundary of Lots 3, 2 and 1 of said Bosque Redondo Addition filed on February 24, 1961, a distance of 145.00 feet;

Thence, N 45°31'48" W along the northeasterly boundary of said Lot 1, a distance of 35.36 feet;

Thence, S 89°28'14" W along the northerly boundary of said Lot 1, a distance of 77.50 feet to the easterly right-of-way line of Virginia Street N.E.;

Thence, N 00°31'46" W along said easterly right-of-way line, a distance of 204.99 feet to a point of curve;

Thence, northeasterly along said curve, (said curve being concave to the southeast, having a radius of 25.00 feet, a central angle of 90°00'00" and a chord of N 44°28'14" E, a distance of 35.36 feet) a distance of 39.27 feet to a point of tangent on the southerly right-of-way line of Lomas Boulevard N.E.;

Thence, N 89°28'14" E along said southerly right-of-way line and its easterly projection said easterly projection being the northerly boundary of said vacated portion of Wyoming Boulevard N.E. (now being the current southerly right-of-way line of Lomas Boulevard N.E.), a distance of 420.38 feet to a point of curve;

Thence, southeasterly along said curve, (said curve being concave to the southwest, having a radius of 25.00 feet a central angle of 89°55'54" and a chord of S 46°33'49" E, a distance of 34.71 feet) a distance of 38.37 feet to the POINT OF BEGINNING and containing 4.1880 acres (182429 square feet) more or less. Now being and comprising Lots 36B, 36C and 36D, Block S, Bosque Redondo Addition as shown and designated hereon.

OWNER'S CERTIFICATE

The survey shown hereon is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof; and hereby grant utility easements as shown hereon: said owner(s) and/or proprietor(s) do hereby consent to all the foregoing and do hereby certify that this platting is their free act and deed.

LOT 12-A, BLOCK 18, EMIL MANN ADDITION
Bosque Vista LTD. Co. (A Limited Liability Company)

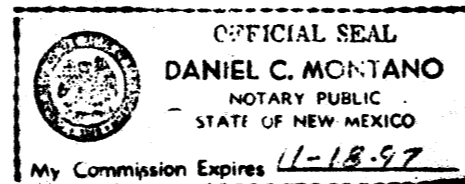
James W. Rogers Jr. 8-20-96
DATE

ACKNOWLEDGEMENTS

STATE OF NEW MEXICO) SS
COUNTY OF BERNALILLO)

On this 30th day of August, 1996 this instrument was acknowledged before me, a Notary Public, by James W. Rogers Jr., Manager for Bosque Vista Ltd. Co. (a Limited Liability Company), on the behalf of said Company.

Nov. 18, 1997
MY COMMISSION EXPIRES



96102262
PLAT OF
LOTS 36B, 36C AND 36D, BLOCK S
BOSQUE REDONDO ADDITION
WITHIN SECTION 19, TOWNSHIP 10 NORTH
RANGE 4 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE, 1996

State of New Mexico } SS
County of Bernalillo }
This instrument was filed for record in

9:56 SEP 16 1996
At _____ o'clock _____ m. Recorded in Vol. _____
of records of said County Folio 391

APPROVED AND ACCEPTED BY:

- S.P. NUMBER 96-96-200
- CITY SURVEYOR [Signature] 9-3-96
- PLANNING DIRECTOR [Signature] 9-19-96
- CITY ENGINEER [Signature] 9-10-96
- A.M.P.F. P.A. [Signature] 9-10-96
- TRAFFIC ENGINEER [Signature] 9-10-96
- PROPERTY MANAGEMENT [Signature] 9-10-96
- WATER RESOURCES [Signature] 9-10-96
- PARKS AND RECREATION Design & Development [Signature] 9-5-96
- P.N.M. ELECTRIC SERVICE [Signature] 9-5-96
- U.S. WEST COMMUNICATIONS, INC. [Signature] 9-5-96
- JONES INTERCABLE [Signature] 9-5-96
- P.N.M. GAS SERVICES [Signature] 9-5-96

This is To Certify That Taxes Are Current And Paid On

1-019-057-519-503-11578 / 1-019-057-447-504-11520
U.P.C. NUMBER

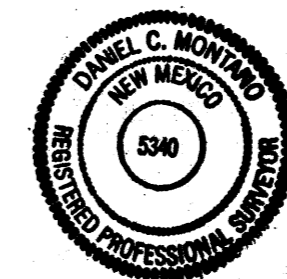
Rogers Family Limited
PROPERTY OWNER OF RECORD
Christopher Lee
BERNALILLO COUNTY TREASURER'S OFFICE

SURVEYORS CERTIFICATE

I Daniel C. Montano, City Surveyor for the City of Albuquerque and Professional Surveyor, hereby certify that this plat was prepared by me or under my direct supervision, meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance and meets the Minimum Standards for surveys in New Mexico and is true to the best of my knowledge and belief.

[Signature] 083046
DATE

Daniel C. Montano
N.M.P.S. No. 5340



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP
SURVEY SECTION

96C-391(1)

96C-391(1)

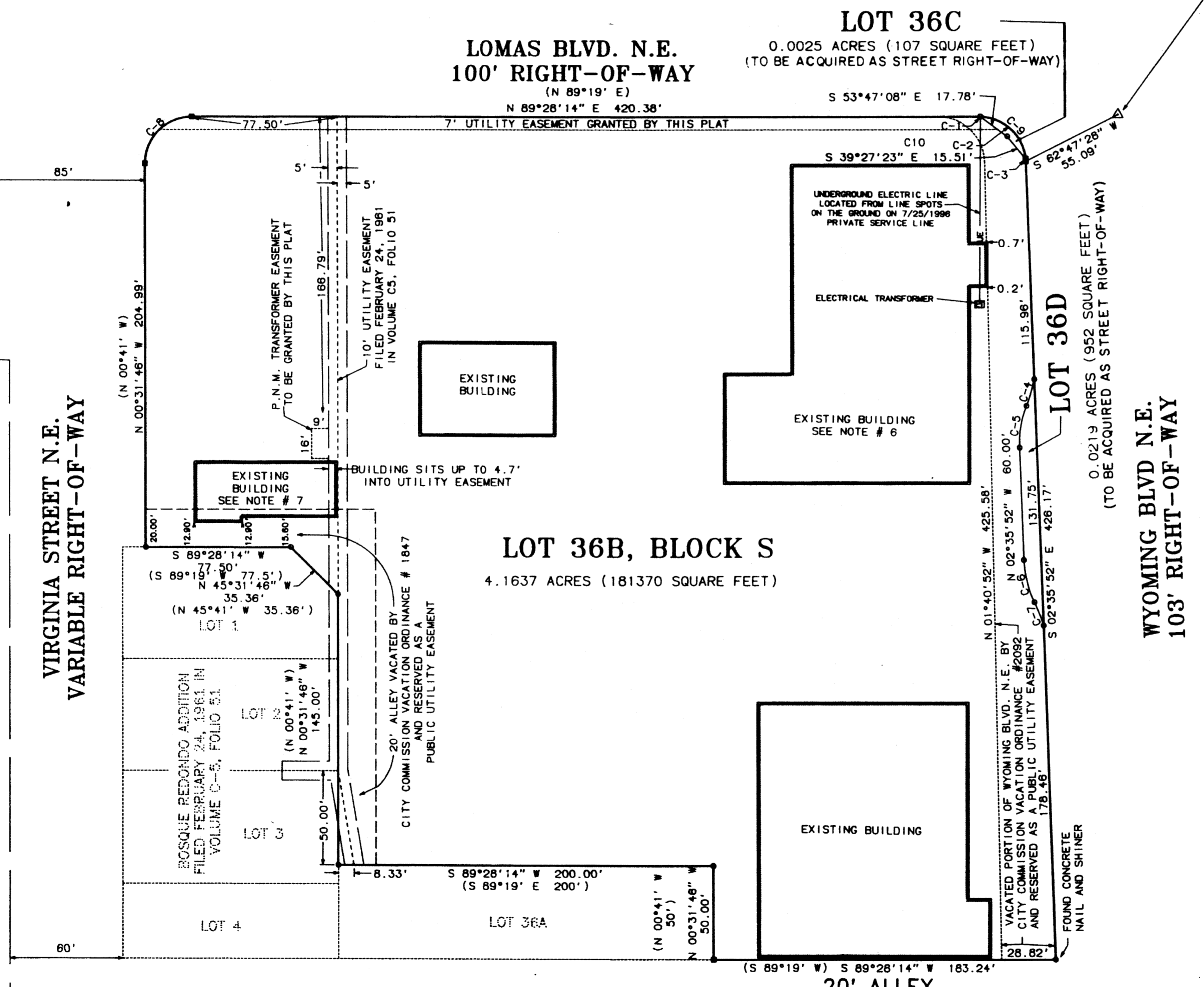
96C-391(2)

CURVE TABLE	Name	Delta	Radius	Length	Bearing	Chord	Tangent
C-1	D = 02°03'54"	25.00	0.90	S 89°29'49" E	0.90	0.45	
C-2	D = 82°42'13"	25.00	36.09	S 47°06'46" E	33.03	22.00	
C-3	D = 03°09'47"	25.00	1.38	S 04°10'46" E	1.38	0.69	
C-4	D = 09°15'05"	93.00	15.02	S 15°41'58" W	15.00	7.52	
C-5	D = 23°04'38"	57.00	22.95	S 08°47'13" W	22.80	11.64	
C-6	D = 23°06'02"	57.00	22.98	S 14°41'04" W	22.83	11.65	
C-7	D = 08°22'28"	93.00	13.59	S 21°38'17" W	13.58	6.81	
C-8	D = 90°00'00"	25.00	39.27	N 44°28'14" E	35.36	25.00	
C-9	D = 87°55'54"	25.00	38.37	S 46°33'48" E	34.71	24.11	
C-10	D = 86°50'54"	25.00	38.77	N 46°06'19" W	35.00	24.50	

PLAT OF **96102262**
LOTS 36B, 36C AND 36D, BLOCK S
BOSQUE REDONDO ADDITION
 WITHIN SECTION 19, TOWNSHIP 10 NORTH
 RANGE 4 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE, 1996

State of New Mexico } SS
 County of Bernalillo }
 This instrument was filed for record on
 9:54 SEP 16 1996
 AL 0'clock PM Recorded in Vol. auc
 of records of said County Folio 391
 Andy Woodward, Clerk & Recorder
 Deputy Clerk

ALBUQUERQUE CONTROL SURVEY
 MONUMENT 18-K19
 NEW MEXICO STATE PLANE
 GRID COORDINATES
 CENTRAL ZONE, NAD 1927
 X = 410,242.20
 Y = 1,487,111.74
 GR/G FACTOR = 0.99965277
 DELTA ALPHA = -00°10'21"
 NGVD 1929 ELEVATION = 5363.320



SURVEYORS CERTIFICATE
 I Daniel C. Montano, City Surveyor for the City of Albuquerque and Professional Surveyor, hereby certify that this plat was prepared by me or under my direct supervision, meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance and meets the Minimum Standards for surveys in New Mexico and is true to the best of my knowledge and belief.
 Daniel C. Montano
 N.M.P.S. No. 5340
 DATE 083096



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP
SURVEY SECTION

- SET PK NAIL AND SHINER UNLESS OTHERWISE INDICATED
- SET 5/8" REPAIR WITH CAP SEE NOTE 1

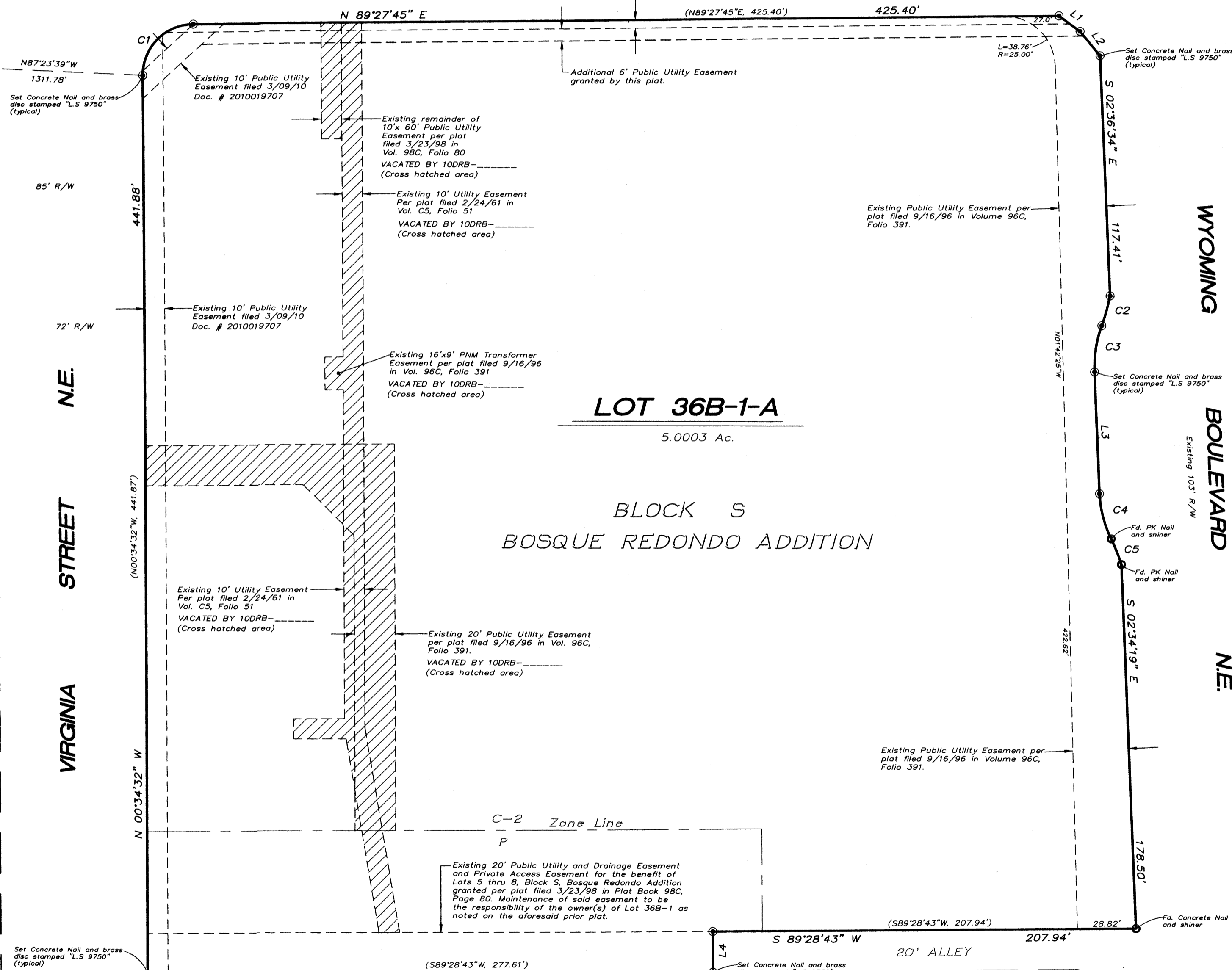
96C-391(2)

96C-391(2)

PLAT OF
LOT 36B-1-A, BLOCK 5
BOSQUE REDONDO ADDITION
 (BEING A REPLAT OF LOT 36B-1, BOSQUE REDONDO ADDITION)
 SITUATE WITHIN
SECTION 19, TOWNSHIP 10 NORTH, RANGE 4 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2010

Albuquerque Control Station Monument "17-K19"
 New Mexico State Plane Coordinates
 (Central Zone) - NAD 83
 Northing = 1,487,200.514
 Easting = 1,548,658.688
 Elevation = 5344.389 (NAVD 1988)
 Delta Alpha = -00°10'34.73"
 Ground to Grid Factor = 0.999657877

LOMAS BOULEVARD N.E.



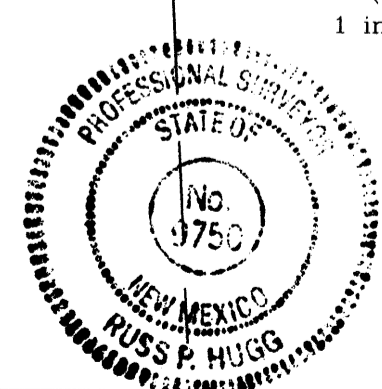
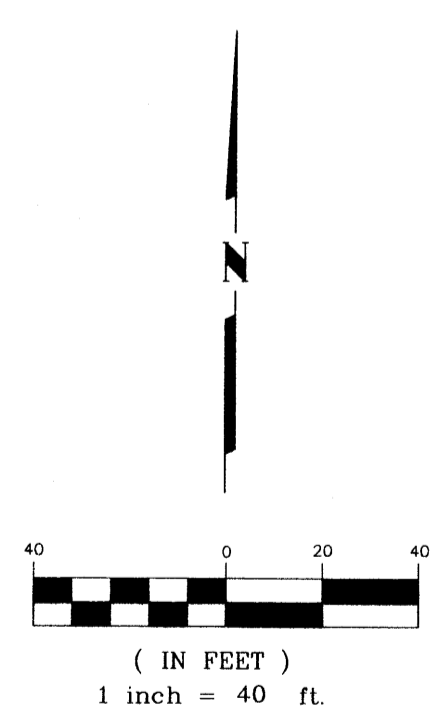
LOT 36B-1-A

5.0003 Ac.

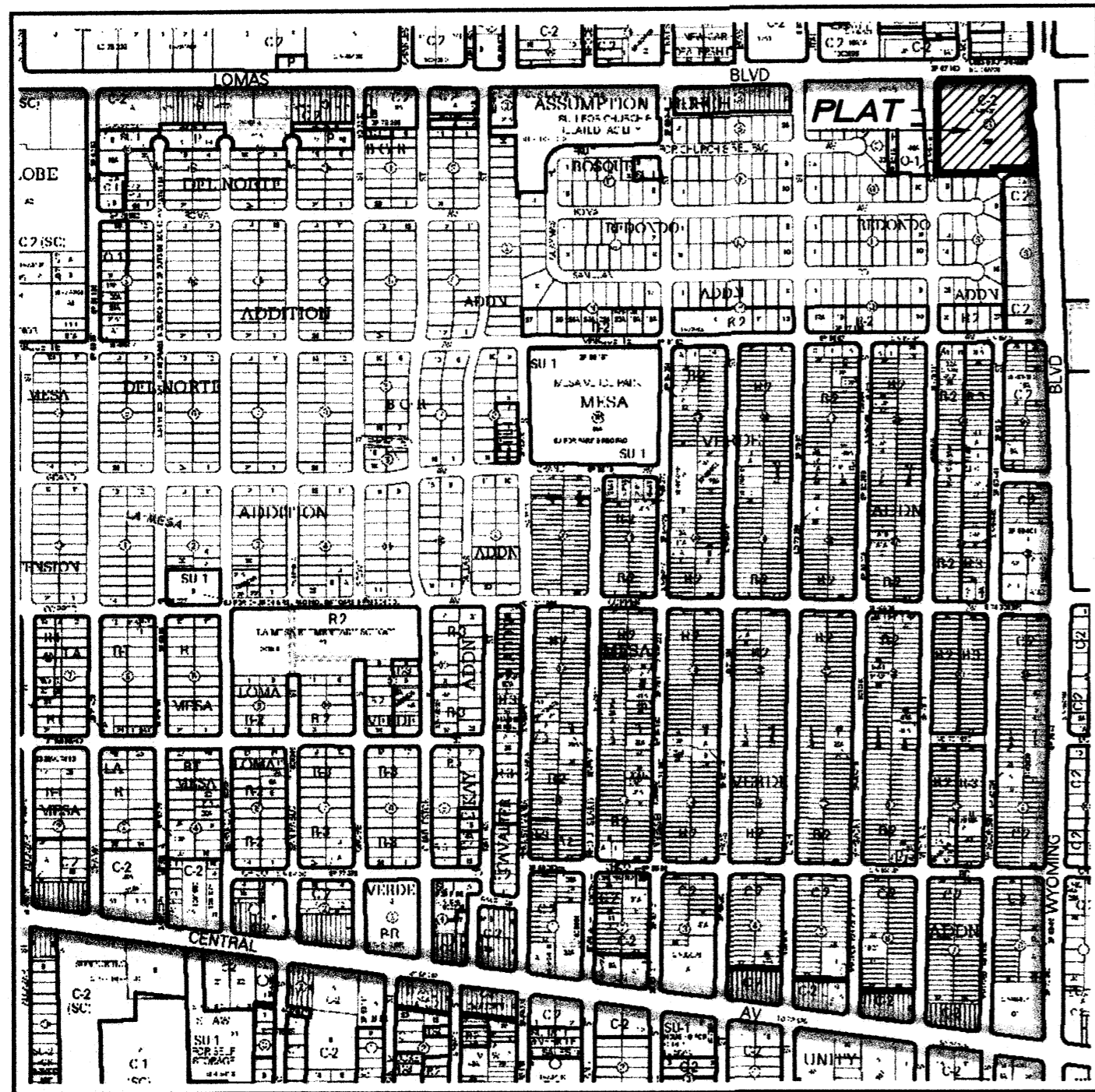
BLOCK 5
BOSQUE REDONDO ADDITION

WYOMING BOULEVARD N.E.

VIRGINIA STREET N.E.



SHEET 3 OF 3



VICINITY MAP
Not To Scale

GENERAL NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone (NAD83)).
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- U.C.L.S. Log Number 2010111870.
- City of Albuquerque Zone Atlas Page: K-19-Z

SUBDIVISION DATA

Total number of existing Lots: 1
 Total number of new lots created: 1
 Gross Subdivision acreage: 5.0003 acres.

PURPOSE OF PLAT:

- The Purpose of this plat is to:
- Show the easements VACATED by 10DRB-
 - Grant additional easements as shown hereon.

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

Bernalillo County Treasurer

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- Qwest for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

DISCLAIMER

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

SURVEYOR'S CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my direct supervision; that it meets the Standards for Land Surveys in the State of New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
 NMPS No. 9750
 March 16, 2010



PLAT OF
 LOT 36B-1-A, BLOCK S
 BOSQUE REDONDO ADDITION
 (BEING A REPLAT OF LOT 36B-1, BOSQUE REDONDO ADDITION)
 SITUATE WITHIN
 SECTION 19, TOWNSHIP 10 NORTH, RANGE 4 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2010

PROJECT NUMBER: _____

Application Number: _____

PLAT APPROVAL

Utility Approvals:

Public Service Company of New Mexico (PNM) _____ Date
 3-19-2010
 New Mexico Gas Company (NMGC) _____ Date

QWest Corporation _____ Date

Comcast _____ Date

City Approvals:
 [Signature] _____ Date
 3-23-10
 City Surveyor
 Department of Municipal Development

Real Property Division _____ Date

Environmental Health Department _____ Date

Traffic Engineering, Transportation Division _____ Date

A.B.C.W.U.A. _____ Date

Parks and Recreation Department _____ Date

AMAFCA _____ Date

City Engineer _____ Date

DRB Chairperson, Planning Department _____ Date

PLAT OF
LOT 36B-1-A, BLOCK S
BOSQUE REDONDO ADDITION
 (BEING A REPLAT OF LOT 36B-1, BOSQUE REDONDO ADDITION)
SITUATE WITHIN
SECTION 19, TOWNSHIP 10 NORTH, RANGE 4 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2010

LEGAL DESCRIPTION

Lot Numbered Thirty six-B one (36B-1) in Block Lettered "S", of Bosque Redondo Addition, as the same is shown and designated on the plat entitled, "PLAT OF LOT 36B-1, BOSQUE REDONDO ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DECEMBER", filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 23, 1998, in Plat Book 98C, Page 80 as Document # 1998033722.

Said Lot contains 5.0003 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising, PLAT OF LOT 36B-1-A, BLOCK S, BOSQUE REDONDO ADDITION (BEING A REPLAT OF LOT 36B-1, BOSQUE REDONDO ADDITION SITUATE WITHIN SECTION 19, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant the public easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

Bosque Vista, Ltd.

Jim Rogers, Jr.
 By: Jim Rogers, Jr., Chief Manager

ACKNOWLEDGMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on this 19th
 day of March, 2010, by Jim Rogers, Jr.

Keli D. Krueger
 Notary Public
March 6, 2014
 My commission expires



OFFICIAL SEAL
 KELI D. KRUEGER
 NOTARY PUBLIC, STATE OF NEW MEXICO
March 6, 2014

SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

LINE TABLE		
LINE	LENGTH	BEARING
L1	12.82	S53°55'05"E
L2	15.52	S39°31'33"E
L3	60.02	S02°36'59"E
L4	20.00	S00°31'17"E

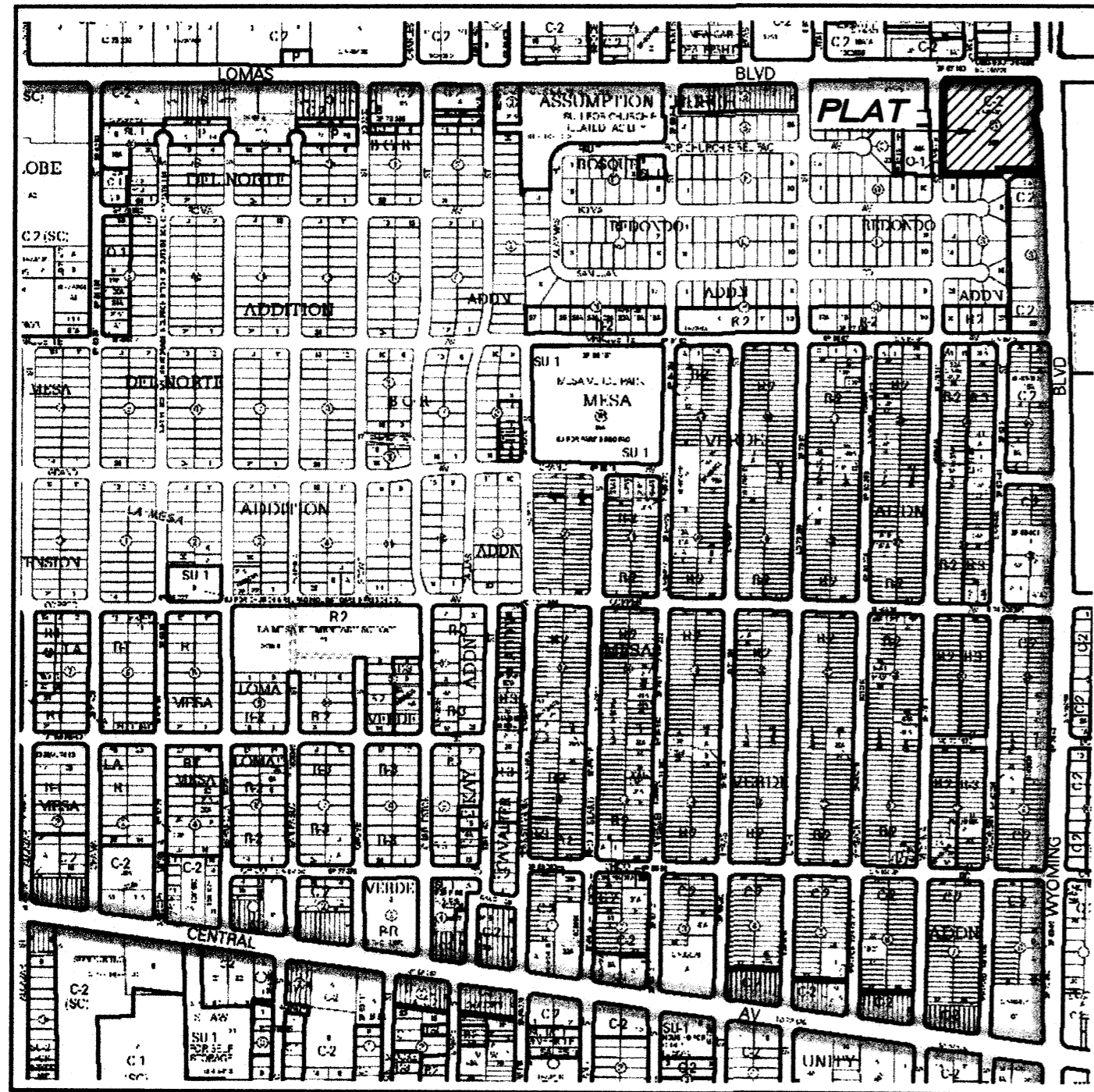
CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	39.29'	25.00'	25.02'	35.37'	N44°26'37"E	90°02'17"
C2	15.01'	93.00'	7.52'	14.99'	S15°40'15"W	9°14'40"
C3	22.92'	57.00'	11.62'	22.77'	S08°47'31"W	23°02'22"
C4	22.99'	57.00'	11.66'	22.84'	S14°45'00"E	23°06'47"
C5	13.56'	93.00'	6.79'	13.54'	S21°46'43"E	8°21'04"



SHEET 2 OF 3

SURV TEK, INC.

Consulting Surveyors
 8984 Valley View Drive, N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3368 Fax: 505-897-3377



VICINITY MAP
Not To Scale

GENERAL NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone (NAD83).
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- U.C.L.S. Log Number 2010111870.
- City of Albuquerque Zone Atlas Page: K-19-Z

SUBDIVISION DATA

Total number of existing Lots: 1
 Total number of new lots created: 1
 Gross Subdivision acreage: 5.0003 acres.

PURPOSE OF PLAT:

The Purpose of this plat is to:

- Show the easements VACATED by 10DRB-_____
- Grant additional easements as shown hereon.

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

Bernalillo County Treasurer

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- Qwest for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

DISCLAIMER

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

SURVEYOR'S CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my direct supervision; that it meets the Standards for Land Surveys in the State of New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
 NMPS No. 9750
 March 16, 2010



PLAT OF
LOT 36B-1-A, BLOCK 5
BOSQUE REDONDO ADDITION
 (BEING A REPLAT OF LOT 36B-1, BOSQUE REDONDO ADDITION)
 SITUATE WITHIN
 SECTION 19, TOWNSHIP 10 NORTH, RANGE 4 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2010

PROJECT NUMBER: _____

Application Number: _____

PLAT APPROVAL

Utility Approvals:

Public Service Company of New Mexico (PNM) _____ Date _____
 New Mexico Gas Company (NMGC) _____ 3-19-2010
 Date _____

QWest Corporation _____ Date _____

Comcast _____ Date _____

City Approvals: _____ 3-23-10
 City Surveyor _____ Date _____
 Department of Municipal Development

Real Property Division _____ Date _____

Environmental Health Department _____ Date _____

Traffic Engineering, Transportation Division _____ Date _____

A.B.C.W.U.A. _____ Date _____

Parks and Recreation Department _____ Date _____

AMAFCA _____ Date _____

City Engineer _____ Date _____

DRB Chairperson, Planning Department _____ Date _____

SHEET 1 OF 3

SURVOTEK, INC.

Consulting Surveyors Phone: 505-897-3366
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377

PLAT OF
LOT 36B-1-A, BLOCK S
BOSQUE REDONDO ADDITION
 (BEING A REPLAT OF LOT 36B-1, BOSQUE REDONDO ADDITION)
SITUATE WITHIN
SECTION 19, TOWNSHIP 10 NORTH, RANGE 4 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2010

LEGAL DESCRIPTION

Lot Numbered Thirty six-B one (36B-1) in Block Lettered "S", of Bosque Redondo Addition, as the same is shown and designated on the plat entitled, "PLAT OF LOT 36B-1, BOSQUE REDONDO ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DECEMBER", filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 23, 1998, in Plat Book 98C, Page 80 as Document # 1998033722.

Said Lot contains 5.0003 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising, PLAT OF LOT 36B-1-A, BLOCK S, BOSQUE REDONDO ADDITION (BEING A REPLAT OF LOT 36B-1, BOSQUE REDONDO ADDITION SITUATE WITHIN SECTION 19, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant the public easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

Bosque Vista, Ltd.

Jim Rogers, Jr.
 By: Jim Rogers, Jr., Chief Manager

ACKNOWLEDGMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on this 19th
 day of March, 2010, by Jim Rogers, Jr.

Keli D. Krueger
 Notary Public
March 6, 2014
 My commission expires



OFFICIAL SEAL
 KELI D. KRUEGER
 NOTARY PUBLIC - STATE OF NEW MEXICO
March 6, 2014

SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

LINE TABLE		
LINE	LENGTH	BEARING
L1	12.82	S53°55'05"E
L2	15.52	S39°31'33"E
L3	60.02	S02°36'59"E
L4	20.00	S00°31'17"E

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	39.29'	25.00'	25.02'	35.37'	N44°26'37"E	90°02'17"
C2	15.01'	93.00'	7.52'	14.99'	S15°40'15"W	9°14'40"
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C5	13.56'	93.00'	6.79'	13.54'	S21°46'43"E	8°21'04"



SHEET 2 OF 3

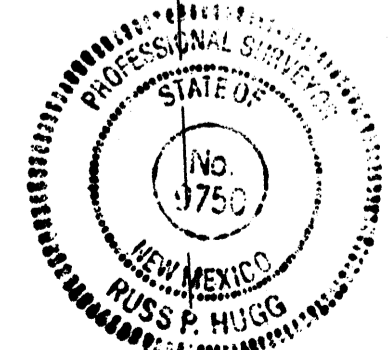
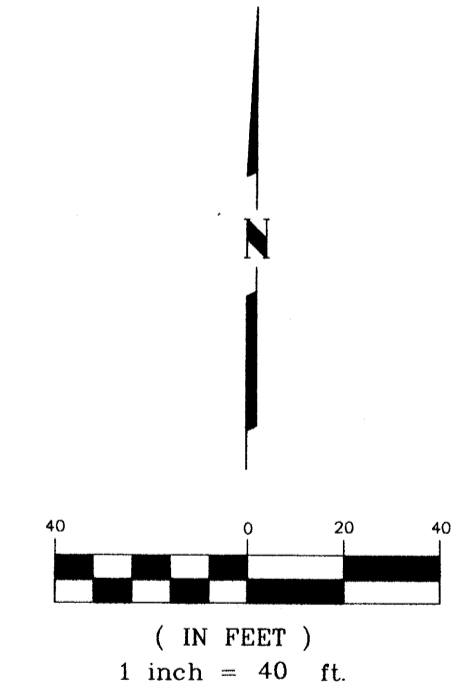
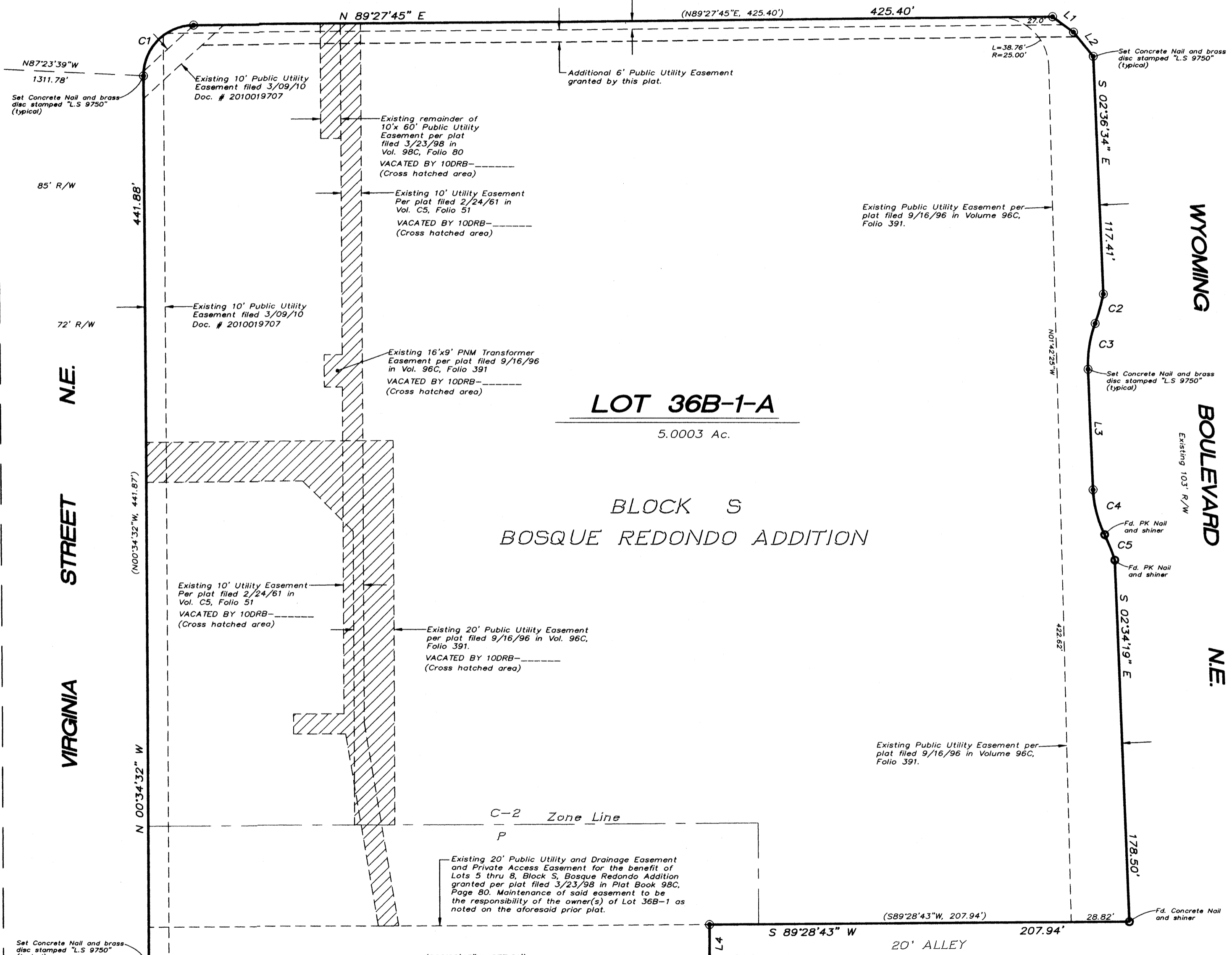
SURV TEK, INC.

Consulting Surveyors
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3368 Fax: 505-897-3377

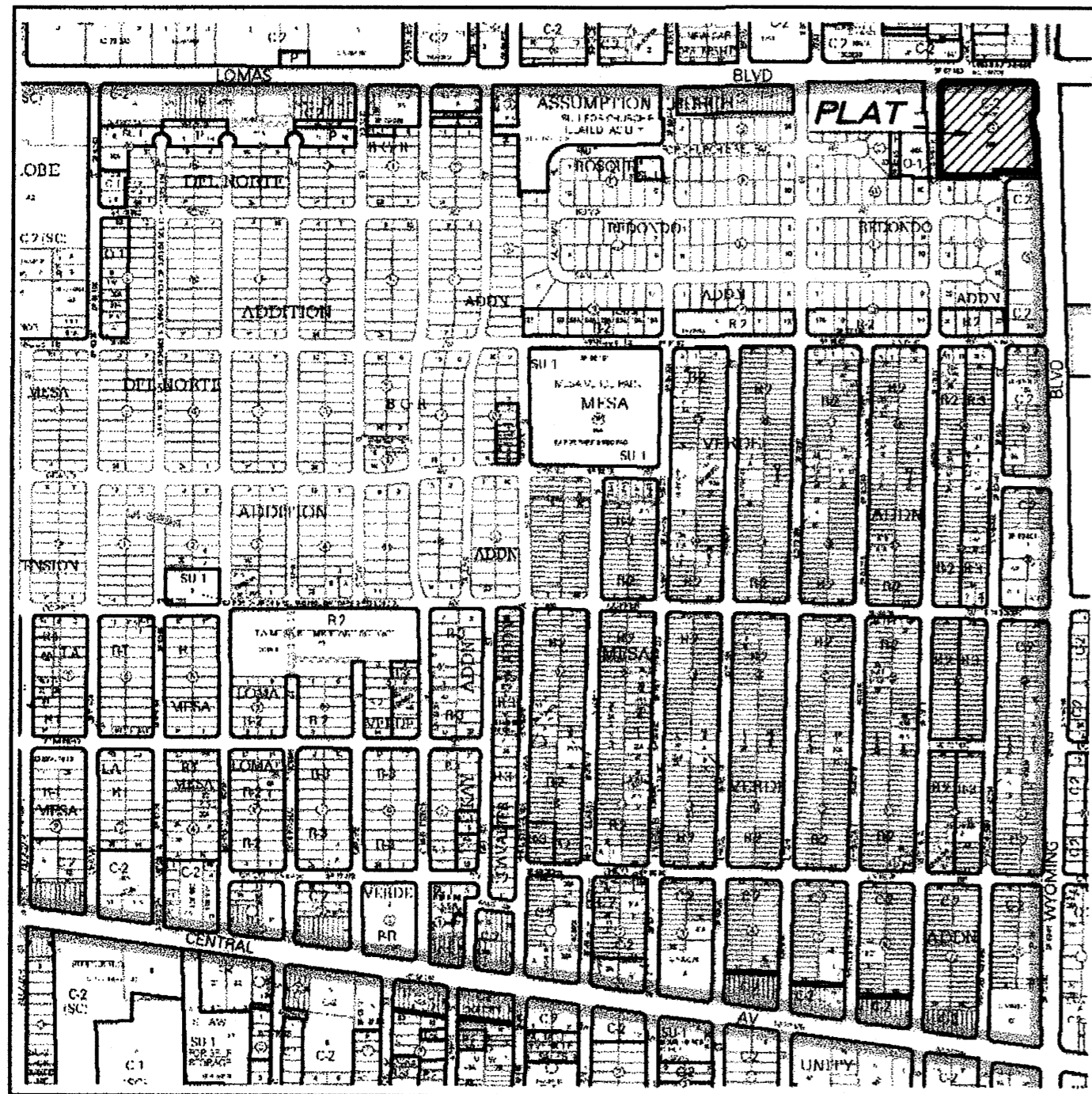
PLAT OF
LOT 36B-1-A, BLOCK S
BOSQUE REDONDO ADDITION
 (BEING A REPLAT OF LOT 36B-1, BOSQUE REDONDO ADDITION)
 SITUATE WITHIN
SECTION 19, TOWNSHIP 10 NORTH, RANGE 4 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2010

Albuquerque Control Station Monument "17-K19"
 New Mexico State Plane Coordinates
 (Central Zone) - NAD 83
 Northing = 1,487,200.514
 Easting = 1,548,658.688
 Elevation = 5344.389 (NAVD, 1988)
 Delta Alpha = -00°10'34.73"
 Ground to Grid Factor = 0.999657877

LOMAS BOULEVARD N.E.



SHEET 3 OF 3



VICINITY MAP
Not To Scale

GENERAL NOTES

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- Distances along curved lines are arc lengths.
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- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- U.C.L.S. Log Number 2010111870.
- City of Albuquerque Zone Atlas Page: K-19-Z

SUBMISSION DATA

Total number of existing Lots: 1
 Total number of new lots created: 1
 Gross Subdivision acreage: 5.0003 acres.

PURPOSE OF PLAT:

- The Purpose of this plat is to:
- Show the easements VACATED by 10DRB-70096
 - Grant additional easements as shown hereon.

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

Bernalillo County Treasurer

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- Qwest for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

DISCLAIMER

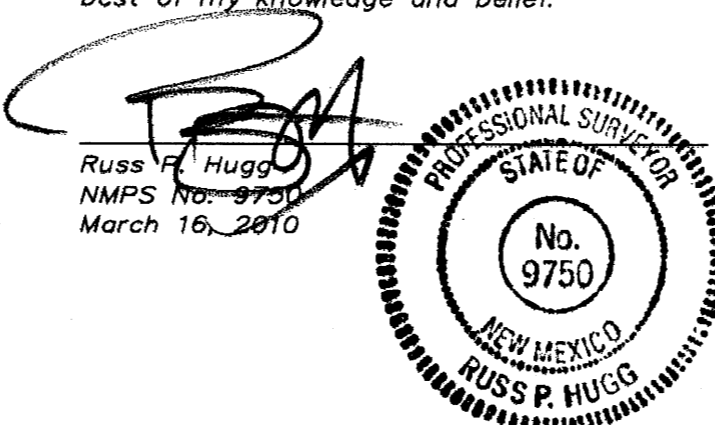
In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

- MCI Metro Access Transmission Services, LLC for the installation, maintenance, and service of such lines, cable and other related equipment and facilities reasonably necessary to provide services.

MCI Metro Access Transmission Services, LLC

SURVEYOR'S CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my direct supervision; that it meets the Standards for Land Surveys in the State of New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.



Russ P. Hugg
 NMPS No. 9750
 March 16, 2010

PLAT OF
LOT 36B-1-A, BLOCK S
BOSQUE REDONDO ADDITION
 (BEING A REPLAT OF LOT 36B-1, BOSQUE REDONDO ADDITION)
 SITUATE WITHIN
SECTION 19, TOWNSHIP 10 NORTH, RANGE 4 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2010

PROJECT NUMBER: 1007958
Application Number: 10DRB-70096

PLAT APPROVAL

Utility Approvals:

Fernando Vigil 3-25-10
 Public Service Company of New Mexico (PNM) Date

[Signature] 3-19-2010
 New Mexico Gas Company (NMGC) Date

Michael Ramirez 03-25-10
 QWest Corporation Date

Robert Matton 3-25-10
 Comcast Date

City Approvals:

[Signature] 3-23-10
 City Surveyor
 Department of Municipal Development Date

Real Property Division _____ Date

Environmental Health Department _____ Date

[Signature] 05/21/10
 Traffic Engineering, Transportation Division Date

Allan Porter 05/10/10
 A.B.C.W.U.A. Date

Christina Dandora 5/5/2010
 Parks and Recreation Department Date

Bradley J. Bingham 5/5/10
 AMAFCA Date

Bradley J. Bingham 5/5/10
 City Engineer Date

DRB Chairperson, Planning Department _____ Date

SHEET 1 OF 3

SURVOTEK, INC.

Consulting Surveyors Phone: 505-897-3368
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377

PLAT OF
LOT 36B-1-A, BLOCK S
BOSQUE REDONDO ADDITION
 (BEING A REPLAT OF LOT 36B-1, BOSQUE REDONDO ADDITION)
SITUATE WITHIN
SECTION 19, TOWNSHIP 10 NORTH, RANGE 4 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2010

LEGAL DESCRIPTION

Lot Numbered Thirty six-B one (36B-1) in Block Lettered "S", of Bosque Redondo Addition, as the same is shown and designated on the plat entitled, "PLAT OF LOT 36B-1, BOSQUE REDONDO ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DECEMBER", filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 23, 1998, in Plat Book 98C, Page 80 as Document # 1998033722.

Said Lot contains 5.0003 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising, PLAT OF LOT 36B-1-A, BLOCK S, BOSQUE REDONDO ADDITION (BEING A REPLAT OF LOT 36B-1, BOSQUE REDONDO ADDITION SITUATE WITHIN SECTION 19, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant the public easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

Bosque Vista, Ltd.

Jim Rogers, Jr.
 By: Jim Rogers, Jr., Chief Manager

SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

LINE TABLE		
LINE	LENGTH	BEARING
L1	12.82	S53°55'05"E
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L3	60.02	S02°36'59"E
L4	20.00	S00°31'17"E

ACKNOWLEDGMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on this 19th day of March, 2010, by Jim Rogers, Jr.

Keli D. Krueger
 Notary Public
March 6, 2014
 My commission expires



OFFICIAL SEAL
 KELI D. KRUEGER
 NOTARY PUBLIC STATE OF NEW MEXICO
March 6, 2014

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
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C5	13.56'	93.00'	6.79'	13.54'	S21°46'43"E	8°21'04"
C6	1.41'	25.00'	0.70'	1.41'	N03°36'40"W	3°13'28"
C7	53.72'	35.00'	33.76'	48.60'	N46°34'03"W	87°56'25"



SHEET 2 OF 3

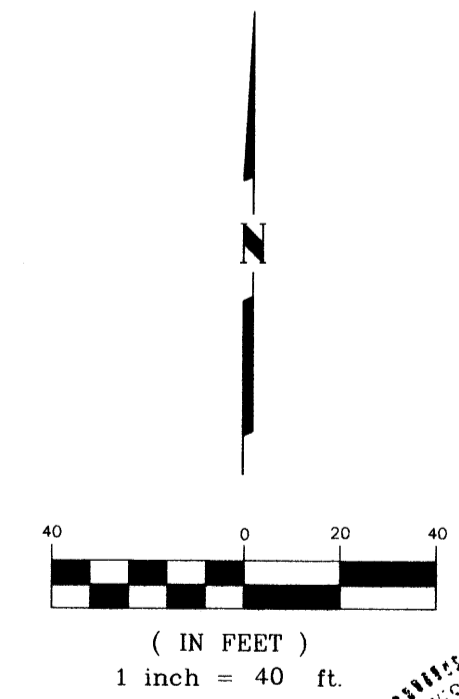
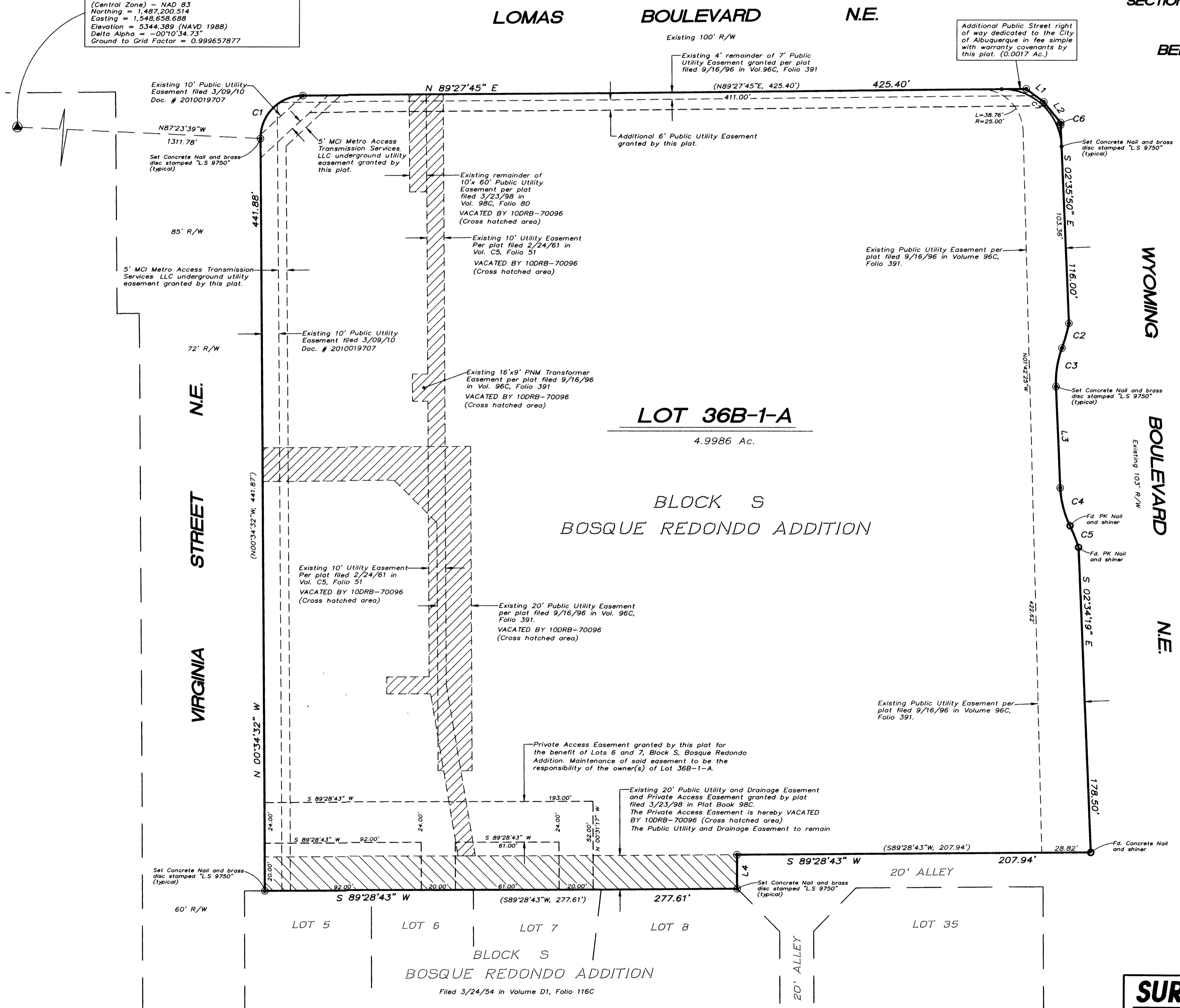
SURVOTEK, INC.

Consulting Surveyors Phone: 505-897-3388
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377

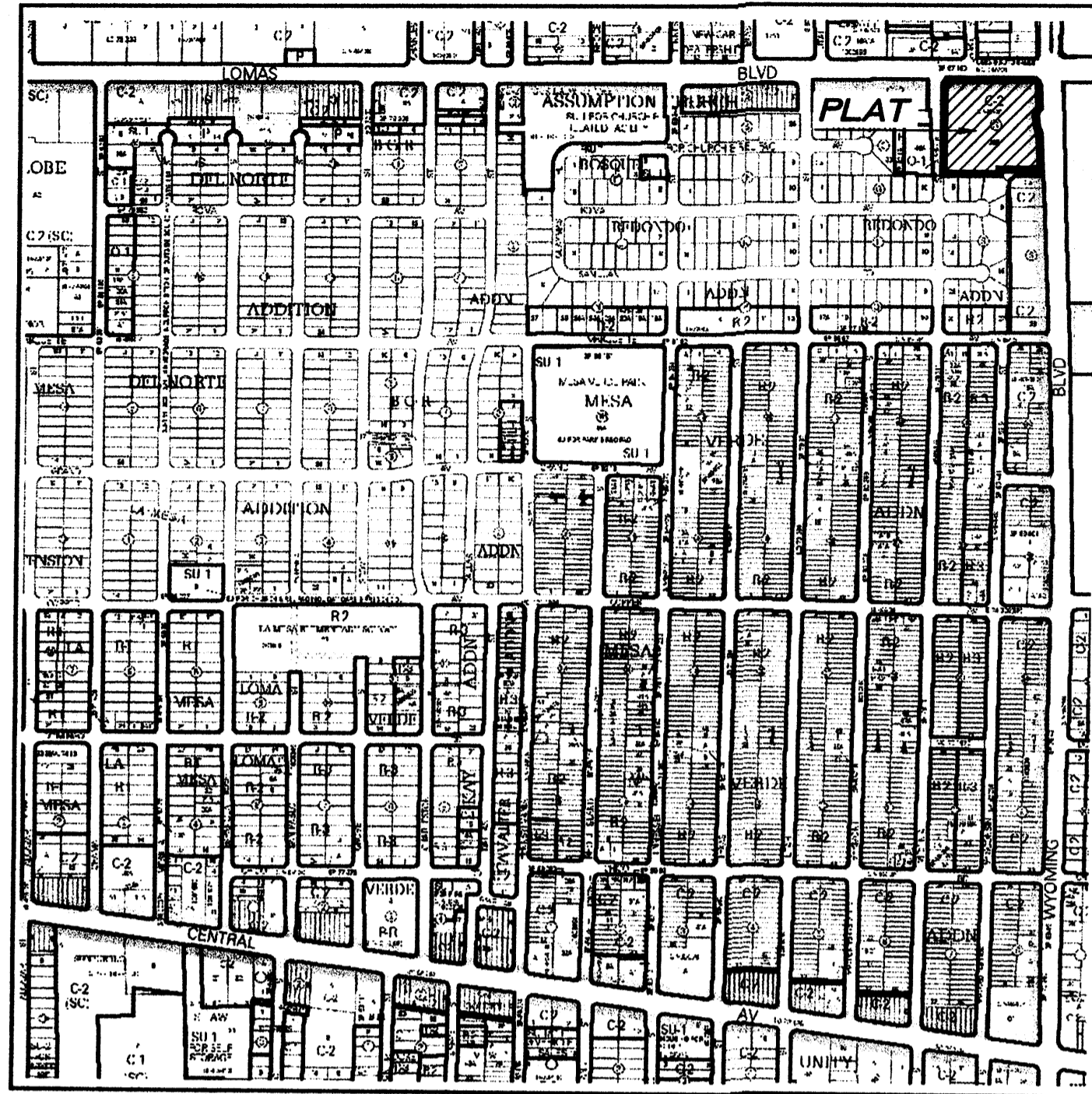
**PLAT OF
LOT 36B-1-A, BLOCK S
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(BEING A REPLAT OF LOT 36B-1, BOSQUE REDONDO ADDITION)
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SECTION 19, TOWNSHIP 10 NORTH, RANGE 4 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2010

Albuquerque Control Station Monument "17-K19"
New Mexico State Plane Coordinates
(Central Zone) - NAD 83
Northing = 1,487,200.514
Easting = 1,548,658.688
Elevation = 5344.389 (NAVD, 1988)
Delta Alpha = -00°10'34.73"
Ground to Grid Factor = 0.999657877

Additional Public Street right of way dedicated to the City of Albuquerque in fee simple with warranty covenants by this plat. (0.0017 Ac.)



SHEET 3 OF 3



VICINITY MAP
Not To Scale

GENERAL NOTES

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SUBDIVISION DATA

Total number of existing Lots: 1
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PURPOSE OF PLAT:

The Purpose of this plat is to:

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Bernalillo County Treasurer

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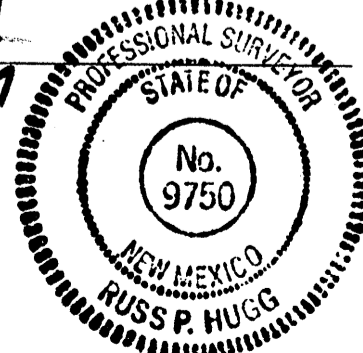
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SURVEYOR'S CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my direct supervision; that it meets the Standards for Land Surveys in the State of New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
 NMPS No. 9750
 March 16, 2010



PLAT OF
LOT 36B-1-A, BLOCK S
BOSQUE REDONDO ADDITION
 (BEING A REPLAT OF LOT 36B-1, BOSQUE REDONDO ADDITION)
 SITUATE WITHIN
 SECTION 19, TOWNSHIP 10 NORTH, RANGE 4 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2010

PROJECT NUMBER: _____

Application Number: _____

PLAT APPROVAL

Utility Approvals:

Public Service Company of New Mexico (PNM) _____ Date _____

[Signature]
 New Mexico Gas Company (NMGC) _____ Date **3-19-2010**

QWest Corporation _____ Date _____

Comcast _____ Date _____

City Approvals:
[Signature]
 City Surveyor _____ Date **3-23-10**
 Department of Municipal Development _____ Date _____

Real Property Division _____ Date _____

Environmental Health Department _____ Date _____

Traffic Engineering, Transportation Division _____ Date _____

A.B.C.W.U.A. _____ Date _____

Parks and Recreation Department _____ Date _____

AMAFCA _____ Date _____

City Engineer _____ Date _____

DRB Chairperson, Planning Department _____ Date _____

SHEET 1 OF 3

SURVOTEK, INC.

Consulting Surveyors
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3366
 Fax: 505-897-3377

PLAT OF
LOT 36B-1-A, BLOCK S
BOSQUE REDONDO ADDITION
 (BEING A REPLAT OF LOT 36B-1, BOSQUE REDONDO ADDITION)
 SITUATE WITHIN
SECTION 19, TOWNSHIP 10 NORTH, RANGE 4 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2010

LEGAL DESCRIPTION

Lot Numbered Thirty six-B one (36B-1) in Block Lettered "S", of Bosque Redondo Addition, as the same is shown and designated on the plat entitled, "PLAT OF LOT 36B-1, BOSQUE REDONDO ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DECEMBER", filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 23, 1998, in Plat Book 98C, Page 80 as Document # 1998033722.

Said Lot contains 5.0003 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising, PLAT OF LOT 36B-1-A, BLOCK S, BOSQUE REDONDO ADDITION (BEING A REPLAT OF LOT 36B-1, BOSQUE REDONDO ADDITION SITUATE WITHIN SECTION 19, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant the public easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

Bosque Vista, Ltd.

Jim Rogers, Jr.
 By: *Jim Rogers, Jr.*, Chief Manager

ACKNOWLEDGMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on this 19th
 day of March, 2010, by Jim Rogers, Jr.

Keli D. Krueger
 Notary Public
March 6, 2014
 My commission expires



OFFICIAL SEAL
 KELI D. KRUEGER
 NOTARY PUBLIC STATE OF NEW MEXICO
March 6, 2014

SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

LINE TABLE		
LINE	LENGTH	BEARING
L1	12.82	S53°55'05"E
L2	15.52	S39°31'33"E
L3	60.02	S02°36'59"E
L4	20.00	S00°31'17"E

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	39.29'	25.00'	25.02'	35.37'	N44°26'37"E	90°02'17"
C2	15.01'	93.00'	7.52'	14.99'	S15°40'15"W	9°14'40"
C3	22.92'	57.00'	11.62'	22.77'	S08°47'31"W	23°02'22"
C4	22.99'	57.00'	11.66'	22.84'	S14°45'00"E	23°06'47"
C5	13.56'	93.00'	6.79'	13.54'	S21°46'43"E	8°21'04"



SHEET 2 OF 3

SURV TEK, INC.

Consulting Surveyors
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3368
 Fax: 505-897-3377

PLAT OF
LOT 36B-1-A, BLOCK S
BOSQUE REDONDO ADDITION
 (BEING A REPLAT OF LOT 36B-1, BOSQUE REDONDO ADDITION)
 SITUATE WITHIN
 SECTION 19, TOWNSHIP 10 NORTH, RANGE 4 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2010

Albuquerque Control Station Monument "17-K19"
 New Mexico State Plane Coordinates
 (Central Zone) - NAD 83
 Northing = 1,487,202.514
 Easting = 1,548,658.688
 Elevation = 5,344.389 (NAVD 1988)
 Delta Alpha = -00'10"34.73"
 Ground to Grid Factor = 0.999657877

LOMAS BOULEVARD N.E.

85' R/W

72' R/W

N.E.

STREET

VIRGINIA

(N00°34'32"W, 441.88')

N 00°34'32" W

Set Concrete Nail and brass disc stamped "L.S. 9750" (typical)

60' R/W

S 89°28'43" W

LOT 5

LOT 6

LOT 7

LOT 8

LOT 35

BLOCK S
BOSQUE REDONDO ADDITION

Filed 3/24/54 in Volume D1, Folio 116C

Existing 100' R/W

Existing 4' remainder of 7' Public Utility Easement granted per plat filed 9/16/96 in Vol. 96C, Folio 391

425.40'

Additional 6' Public Utility Easement granted by this plat.

N 89°27'45" E

(N89°27'45"E, 425.40')

Existing 10' Public Utility Easement filed 3/09/10 Doc. # 2010019707

Existing remainder of 10' x 60' Public Utility Easement per plat filed 3/23/98 in Vol. 98C, Folio 80
 VACATED BY 10DRB
 (Cross hatched area)

Existing 10' Utility Easement per plat filed 2/24/61 in Vol. C5, Folio 51
 VACATED BY 10DRB
 (Cross hatched area)

Existing 10' Public Utility Easement filed 3/09/10 Doc. # 2010019707

Existing 16'x9' PNM Transformer Easement per plat filed 9/16/96 in Vol. 96C, Folio 391
 VACATED BY 10DRB
 (Cross hatched area)

Existing Public Utility Easement per plat filed 9/16/96 in Volume 96C, Folio 391.

LOT 36B-1-A

5.0003 Ac.

BLOCK S
BOSQUE REDONDO ADDITION

Existing 10' Utility Easement per plat filed 2/24/61 in Vol. C5, Folio 51
 VACATED BY 10DRB
 (Cross hatched area)

Existing 20' Public Utility Easement per plat filed 9/16/96 in Vol. 96C, Folio 391.
 VACATED BY 10DRB
 (Cross hatched area)

C-2 Zone Line

P

Existing 20' Public Utility and Drainage Easement and Private Access Easement for the benefit of Lots 5 thru 8, Block S, Bosque Redondo Addition granted per plat filed 3/23/98 in Plat Book 98C, Page 80. Maintenance of said easement to be the responsibility of the owner(s) of Lot 36B-1 as noted on the aforesaid prior plat.

(S89°28'43"W, 277.61')

(S89°28'43"W, 277.61')

(S89°28'43"W, 207.94')

S 89°28'43" W

20' ALLEY

207.94'

L4

Set Concrete Nail and brass disc stamped "L.S. 9750" (typical)

20' ALLEY

L1

L2

L3

L4

L5

L6

L7

L8

L9

L10

L11

L12

L13

L14

L15

L16

L17

L18

L19

L20

L21

L22

L23

L24

L25

L26

L27

L28

L29

L30

L31

L32

L33

L34

L35

L36

L37

L38

22.0'

L=38.76'
R=25.00'

S 02°36'34" E

117.41'

C2

C3

C4

C5

C6

C7

C8

C9

C10

C11

C12

C13

C14

C15

C16

C17

C18

C19

C20

C21

C22

C23

C24

C25

C26

C27

C28

C29

C30

C31

C32

C33

C34

C35

178.50'

S 02°34'19" E

178.50'

Fd. PK Nail and shiner

Fd. PK Nail and shiner

Fd. PK Nail and shiner

Fd. PK Nail and shiner

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Fd. PK Nail and shiner

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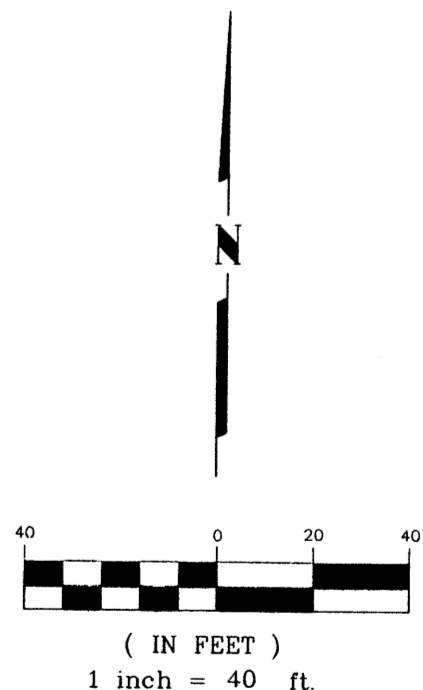
Fd. PK Nail and shiner

Fd. PK Nail and shiner

WYOMING

BOULEVARD

N.E.



SHEET 3 OF 3

PLAT OF
LOT 36B-1, BLOCK S OF
BOSQUE REDONDO ADDITION
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 AUGUST 1997

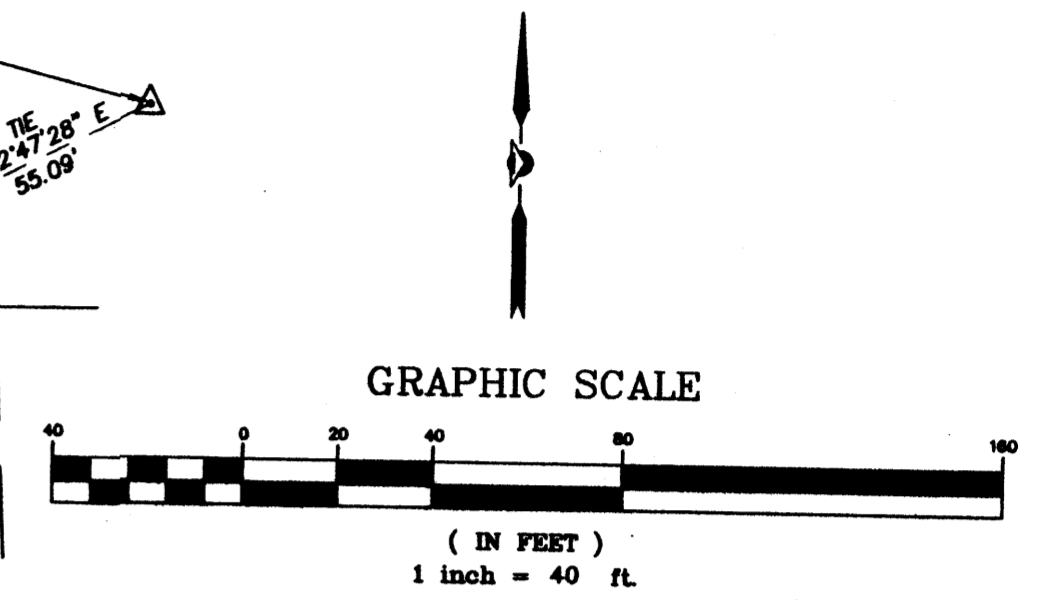
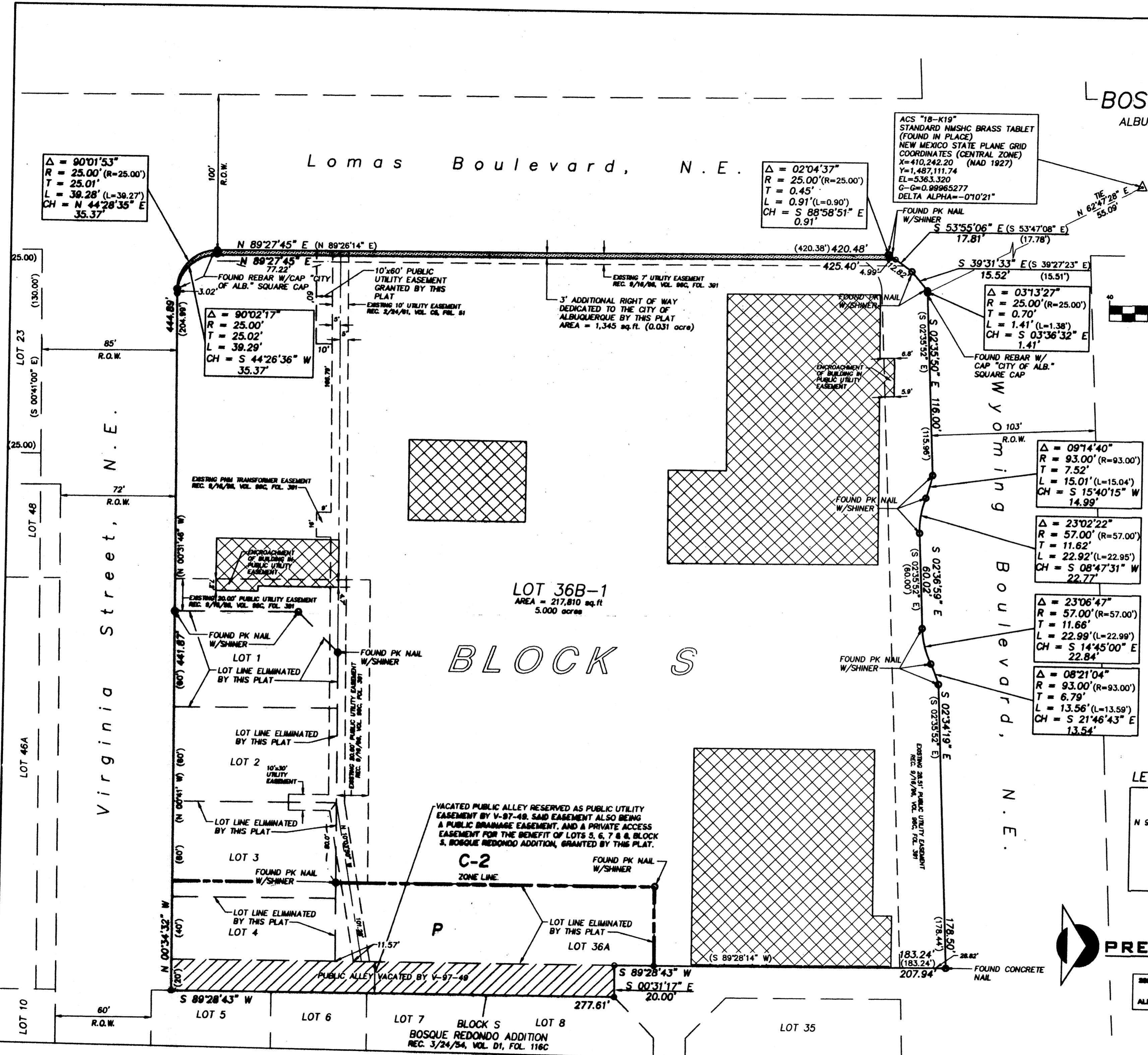
Lomas Boulevard, N.E.

Virginia Street, N.E.

W y o m i n g
 B o u l e v a r d ,
 N . E .

LOT 36B-1
 AREA = 217,810 sq.ft
 5.000 acres

BLOCK S



LEGEND

RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS

N 90°00'00" E MEASURED BEARING AND DISTANCES

FOUND AND USED MONUMENT AS DESIGNATED

○ DENOTES REBAR WITH CAP "PS 11993" SET BY THIS SURVEY—UNLESS NOTED OTHERWISE

ACS "18-K19" STANDARD NMSHC BRASS TABLET (FOUND IN PLACE)
 NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE)
 X=410,242.20 (NAD 1927)
 Y=1,487,111.74
 EL=5363.320
 G-G=0.99965277
 DELTA ALPHA=-0°10'21"

Δ = 90°01'53"
 R = 25.00' (R=25.00')
 T = 25.01'
 L = 39.28' (L=39.27')
 CH = N 44°28'35" E 35.37'

Δ = 02°04'37"
 R = 25.00' (R=25.00')
 T = 0.45'
 L = 0.91' (L=0.90')
 CH = S 88°58'51" E 0.91'

Δ = 03°13'27"
 R = 25.00' (R=25.00')
 T = 0.70'
 L = 1.41' (L=1.38')
 CH = S 03°36'32" E 1.41'

Δ = 09°14'40"
 R = 93.00' (R=93.00')
 T = 7.52'
 L = 15.01' (L=15.04')
 CH = S 15°40'15" W 14.99'

Δ = 23°02'22"
 R = 57.00' (R=57.00')
 T = 11.62'
 L = 22.92' (L=22.95')
 CH = S 08°47'31" W 22.77'

Δ = 23°06'47"
 R = 57.00' (R=57.00')
 T = 11.66'
 L = 22.99' (L=22.99')
 CH = S 14°45'00" E 22.84'

Δ = 08°21'04"
 R = 93.00' (R=93.00')
 T = 6.79'
 L = 13.56' (L=13.59')
 CH = S 21°46'43" E 13.54'

PRECISION SURVEYS, INC.

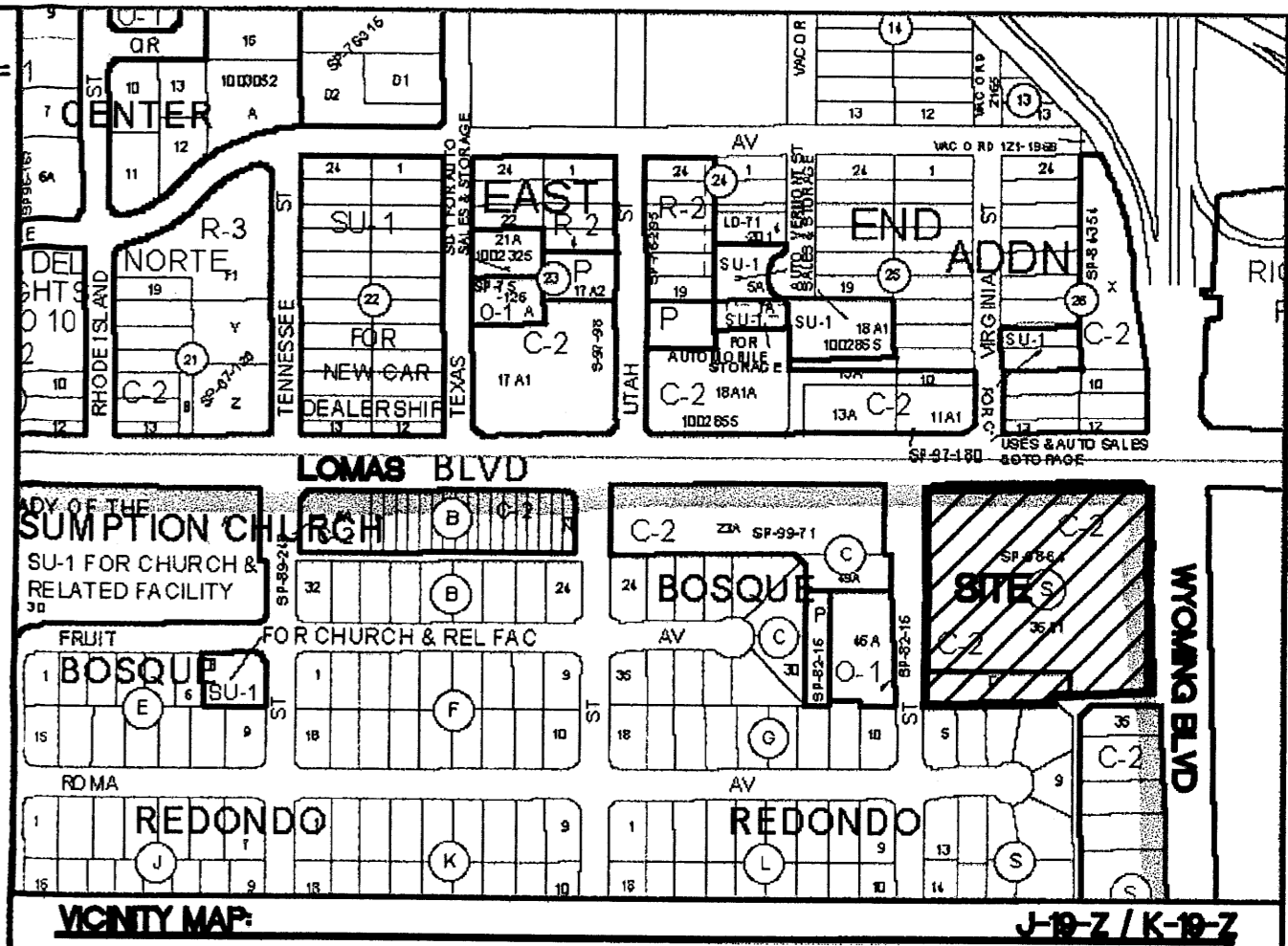
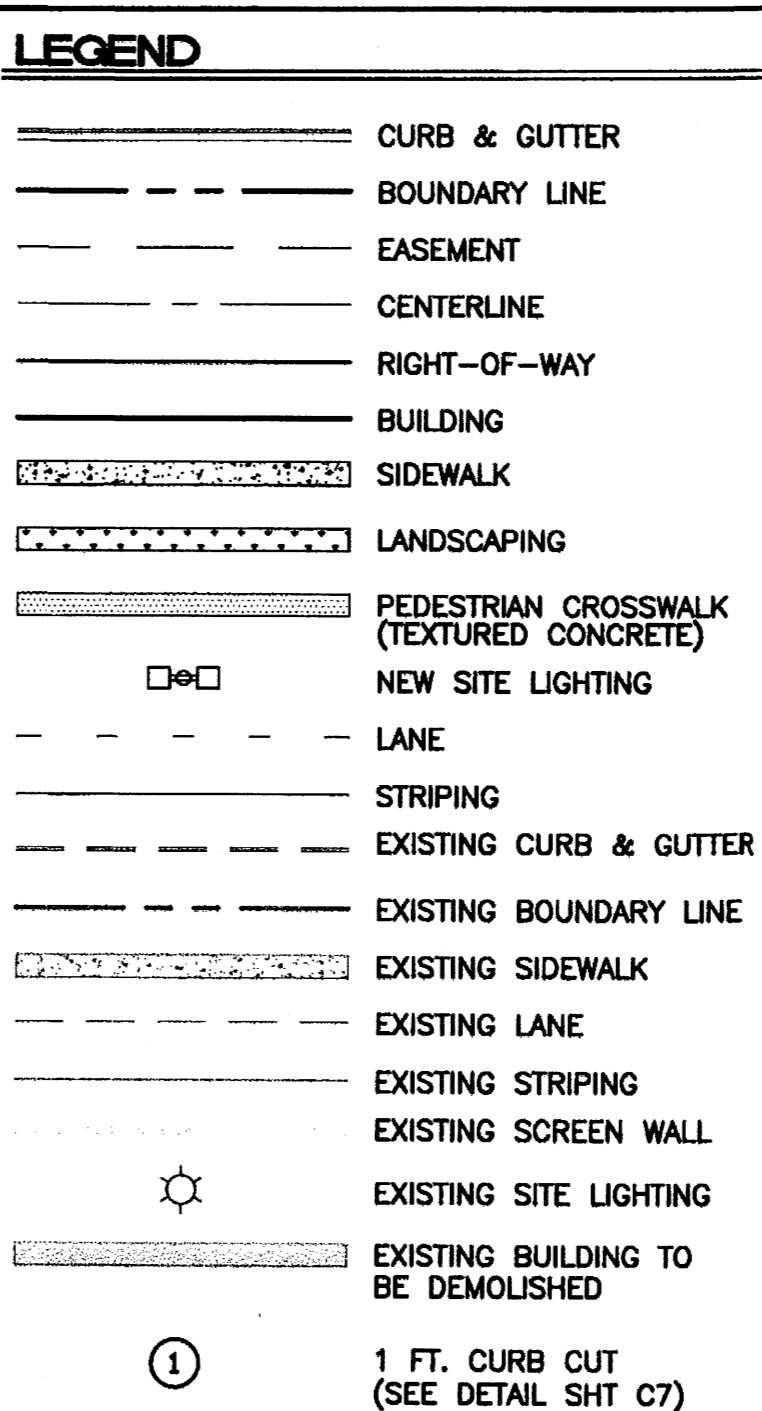
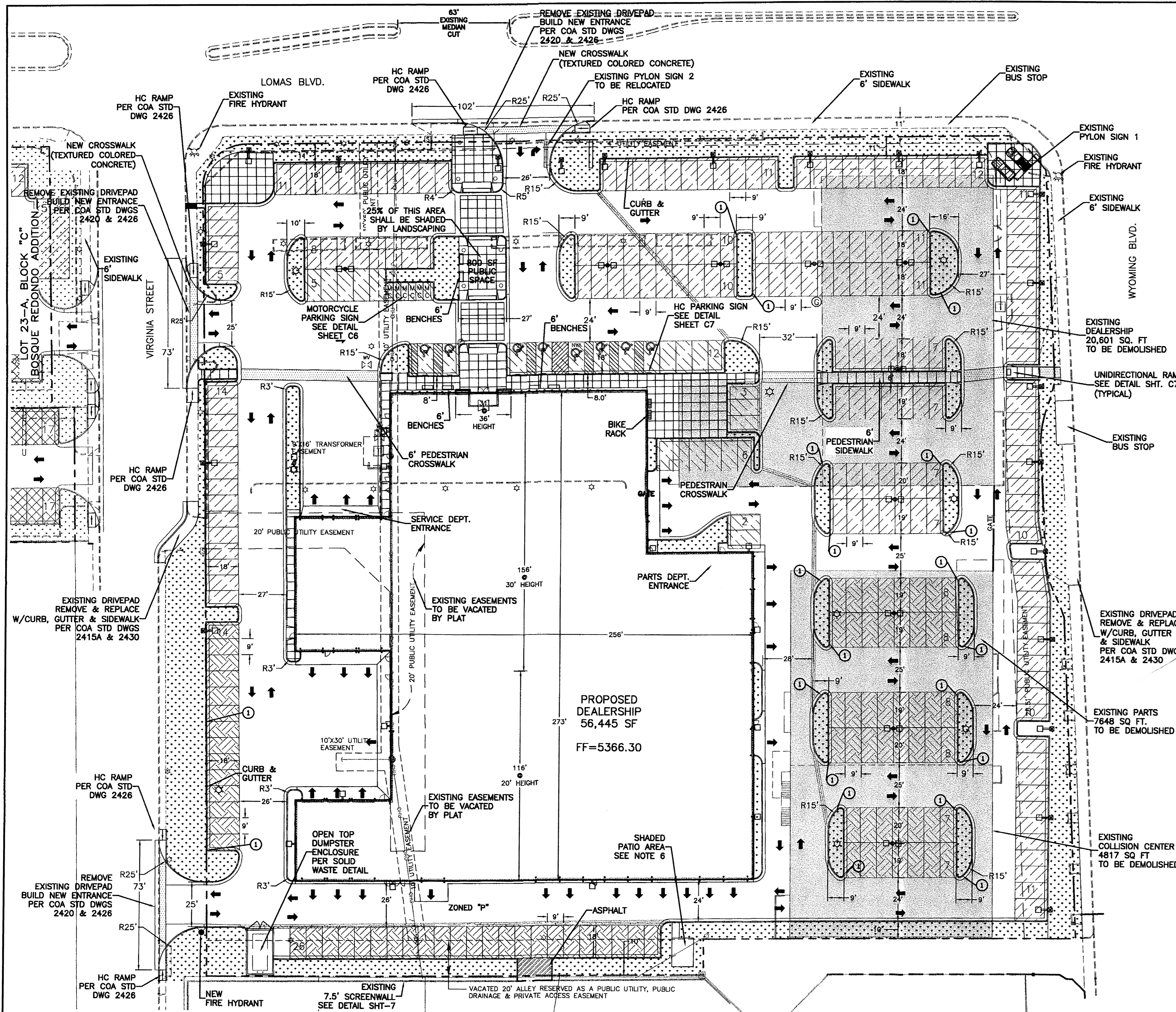
2800 COORS BLVD NW, SUITE 105
 ALBUQUERQUE, NEW MEXICO 87120

PHONE 808 859 0569
 FAX 808 859 4153

DRB CASE NO. **97-162**
 SHEET 2 OF 2

C:\PUBLIC\PS-S\PLATS\975099P Mon Sep 22 15:09:22 1997

98C-80(A)



LEGAL DESCRIPTION:
 Legal: Lot 36B-1, Block S, Bosque Redondo Addition
 Owner: Bosque Vista Ltd. Co.
 UPC#: 101905749750311518

PROJECT NUMBER: 1007958
APPLICATION NUMBER:

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 10/16/09, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes (X) No If Yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

PARKING CALCULATIONS

BUILDING AREA:	FIRST FLOOR: (SHOWROOM/REPAIR)	56445 SF
	SECOND FLOOR (MEZZANINE)	8905 SF
	TOTAL BUILDING AREA:	65350 SF
PARKING SPACES:	282 SPACES (56445 SF/1 SPACE PER 200 SF)	
	30 SPACES (8905 SF/1 SPACE PER 300 SF)	
PARKING SUBTOTAL:	312 SPACES	
PARKING REDUCTION:	31 SPACES (10% TRANSIT REDUCTION)	
	46 SPACES (SERVICE BAY REDUCTION)	
PARKING REQUIRED:	235 SPACES	
PARKING PROVIDED:	287 SPACES	
HC PARKING REQUIRED:	8 SPACES (8 PER 101 TO 300 SPACES)	
HC PARKING PROVIDED:	8 SPACES	
	1 SPACE VAN ACCESSIBLE	
MC PARKING REQUIRED:	5 SPACES (5 PER 151 TO 300 SPACES)	
MC PARKING PROVIDED:	6 SPACES	
BICYCLE PARKING REQUIRED:	14 SPACES (1 PER 20 SPACES)	
BICYCLE PARKING PROVIDED:	14 SPACES	

SITE DATA

PROPOSED USAGE:	LARRY MILLER DODGE
LOT AREA:	217815.96 SF (5.0 ACRE)
BUILDING AREA:	56445 SF

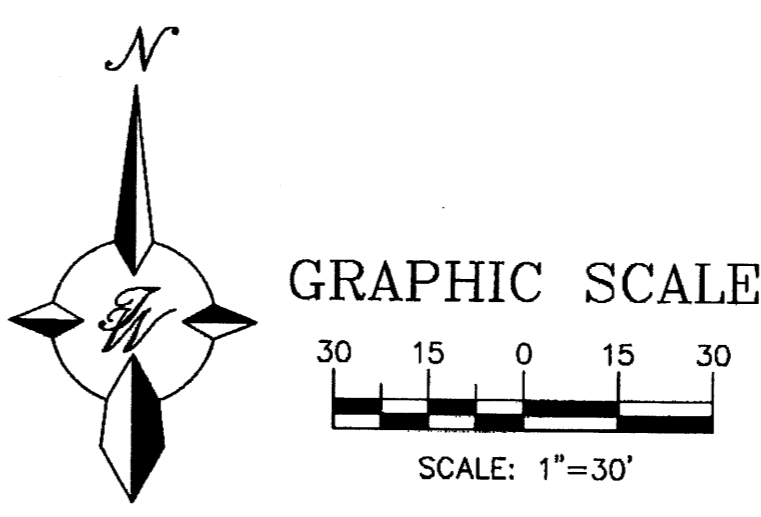
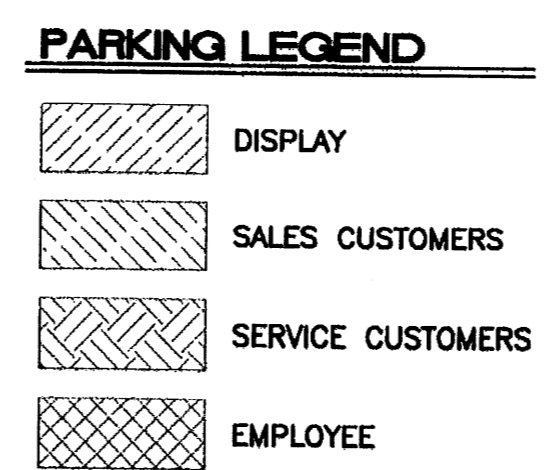
INDEX TO DRAWINGS

C1.	SITE PLAN FOR BUILDING PERMIT
C2.	GRADING PLAN
C3.	MASTER UTILITY PLAN
C4.	LANDSCAPING PLAN
C5.	BUILDING ELEVATIONS
C6.	DETAILS
C7.	DETAILS

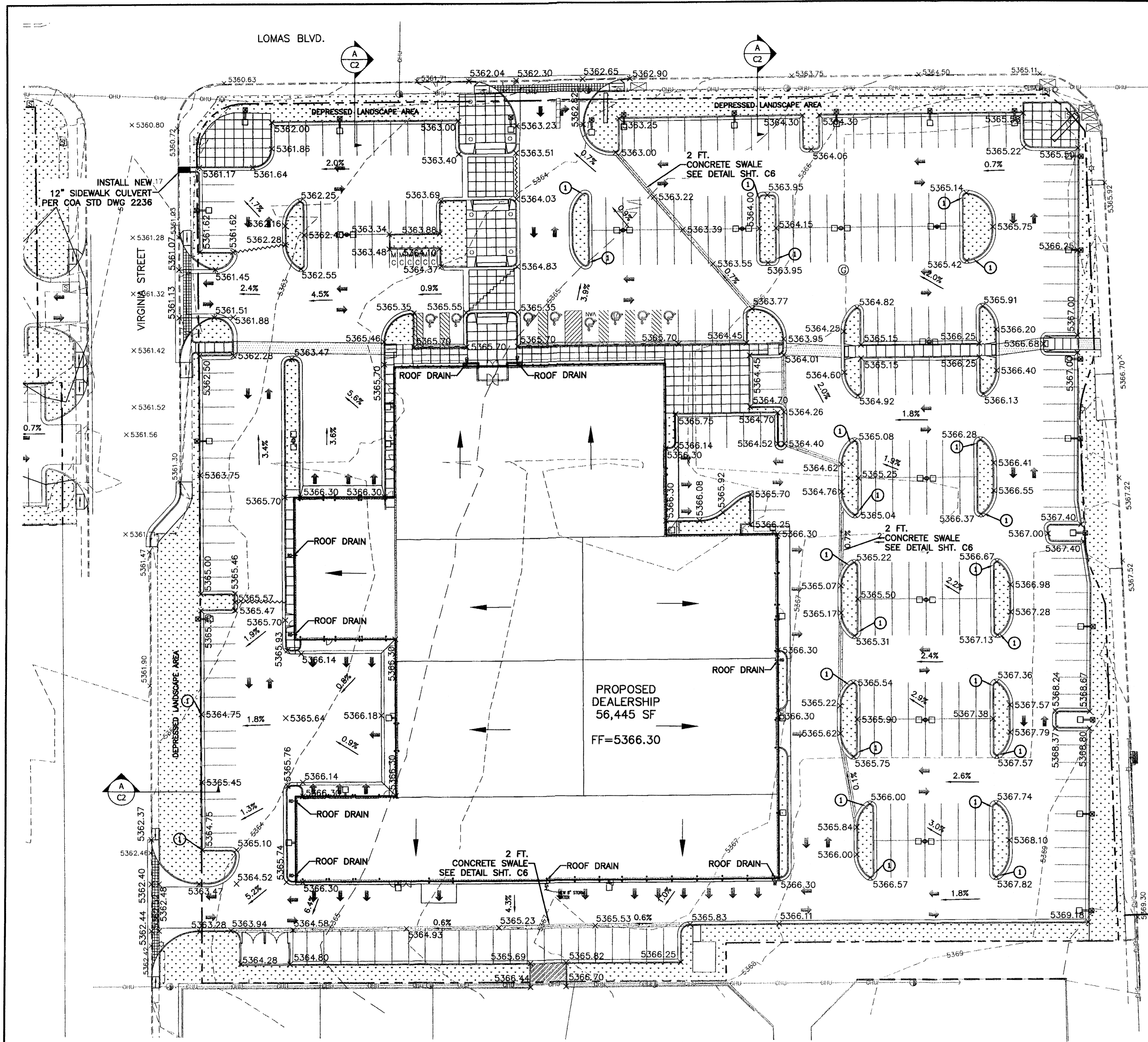
- NOTES:**
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 - LIGHT POLES SHALL BE A MAXIMUM OF 16' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 16' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
 - EXISTING MONUMENT AND PYLON SIGNS TO REMAIN W/ NEW TENANT SIGNAGE.

- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINE OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALL WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
- SHADED PATIO AREA WITH BENCHES, 15 FT. X 20 FT. (300 SQ. FT.)
- PEDESTRIAN CROSSWALKS, INCLUDING PEDESTRIAN PATHWAYS AND DRIVE AISLE CROSSINGS SHALL BE CONSTRUCTED OF A MATERIAL OTHER THAN ASPHALT, SUCH AS TEXTURED (SCORED) COLORED CONCRETE.
- THE TWO EXISTING BUILDINGS ON THE SITE WILL REMAIN OPEN DURING CONSTRUCTION OF THE NEW DEALERSHIP
- SERVICE BAY DOORS FACING THE RESIDENCES TO THE SOUTH WILL REMAIN CLOSED EXCEPT AS REQUIRED FOR VEHICLE INGRESS/EGRESS.

- 10' CLEARANCE SHALL BE PROVIDED FOR ALL GROUND MOUNTED PHM UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PROPOSES.
- AMPLIFIED SOUND SUCH AS LOUDSPEAKERS WILL NOT BE USED ON THE SITE.
- NO CHAIN LINK FENCE IS ALLOWED. ALL EXISTING CHAIN LINK FENCE WILL BE REMOVED.
- ALL EXTERIOR UTILITY BOXES, ELECTRICAL AND GAS METERS, TRANSFORMERS ETC SHALL BE APPROPRIATELY AND SAFELY SCREENED FROM VIEW.
- EXISTING FLAGPOLE SHALL BE REMOVED.
- ALL MECHANICAL WORK SHALL BE CONDUCTED INDOORS.
- LOT 23-A, BLOCK "C" WILL BE USED FOR VEHICLE TRANSPORT TRUCK DELIVERY. IT IS LOCATED ON THE WEST SIDE OF VIRGINIA ST.
- STRINGS OF LIGHT BULBS, TINSEL AND REFLECTIVE FLAGS SHALL NOT BE ALLOWED.



ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	LARRY MILLER DODGE LOMAS AND WYOMING SITE DEVELOPMENT PLAN FOR BUILDING PERMIT	DRAWN BY BJF DATE 3/10/10 2940-SPB SHEET # C1 JOB # 29040
 TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 www.tierrawestllc.com		



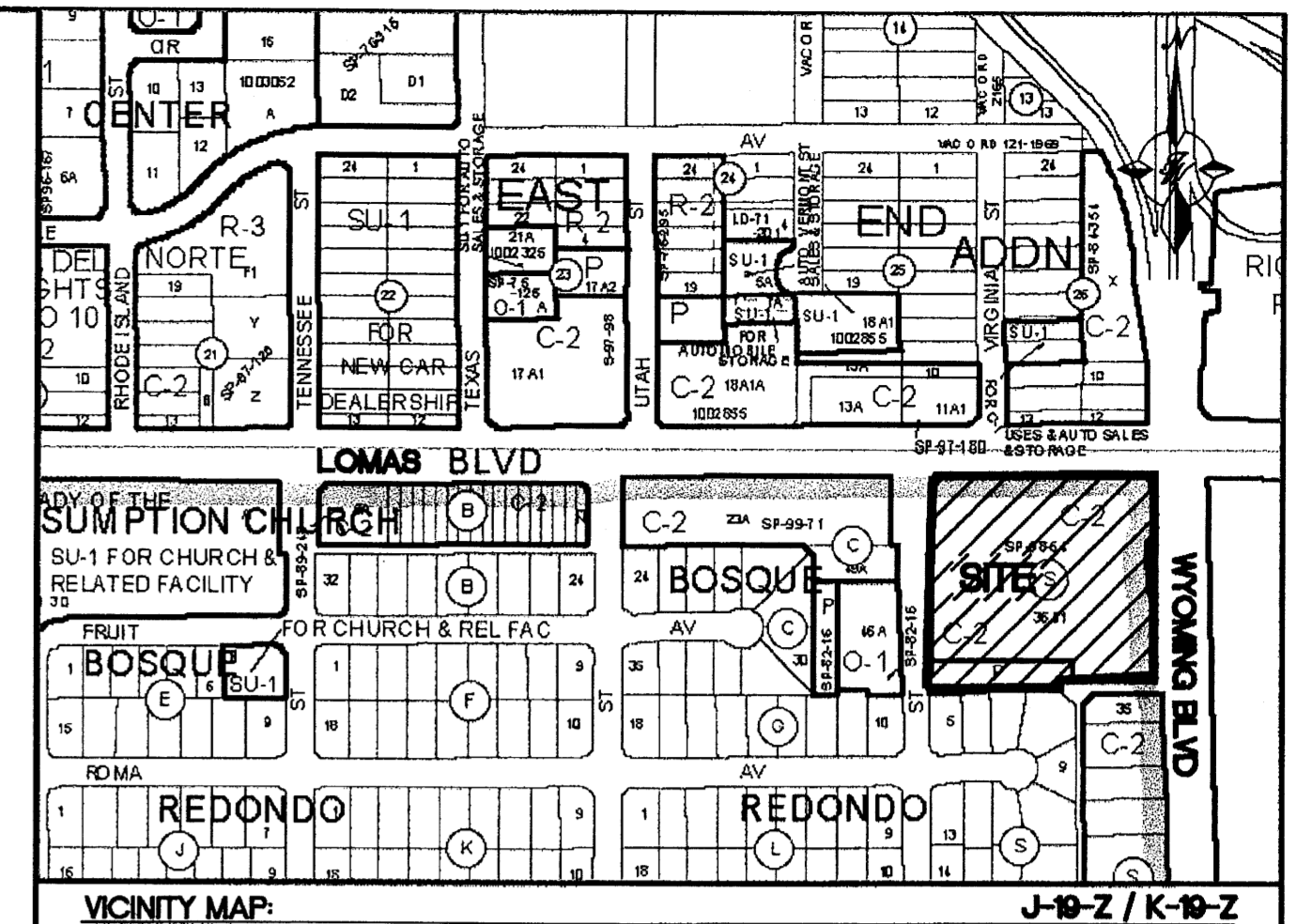
LEGEND

	CURB & GUTTER
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	CONTOUR MAJOR
	CONTOUR MINOR
	SPOT ELEVATION
	FLOW ARROW
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING CONTOUR MAJOR
	EXISTING CONTOUR MINOR
	EXISTING SPOT ELEVATION
	1 FT. CURB CUT (SEE DETAIL SHT C7)

CAUTION
ALL SPOT ELEVATIONS SHOWN ARE FLOWLINE ELEVATIONS UNLESS OTHERWISE SPECIFIED.

- EROSION CONTROL NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

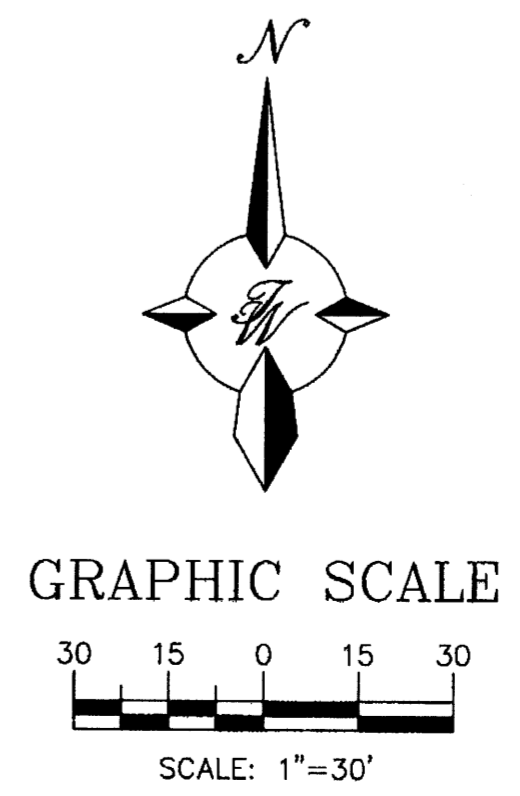
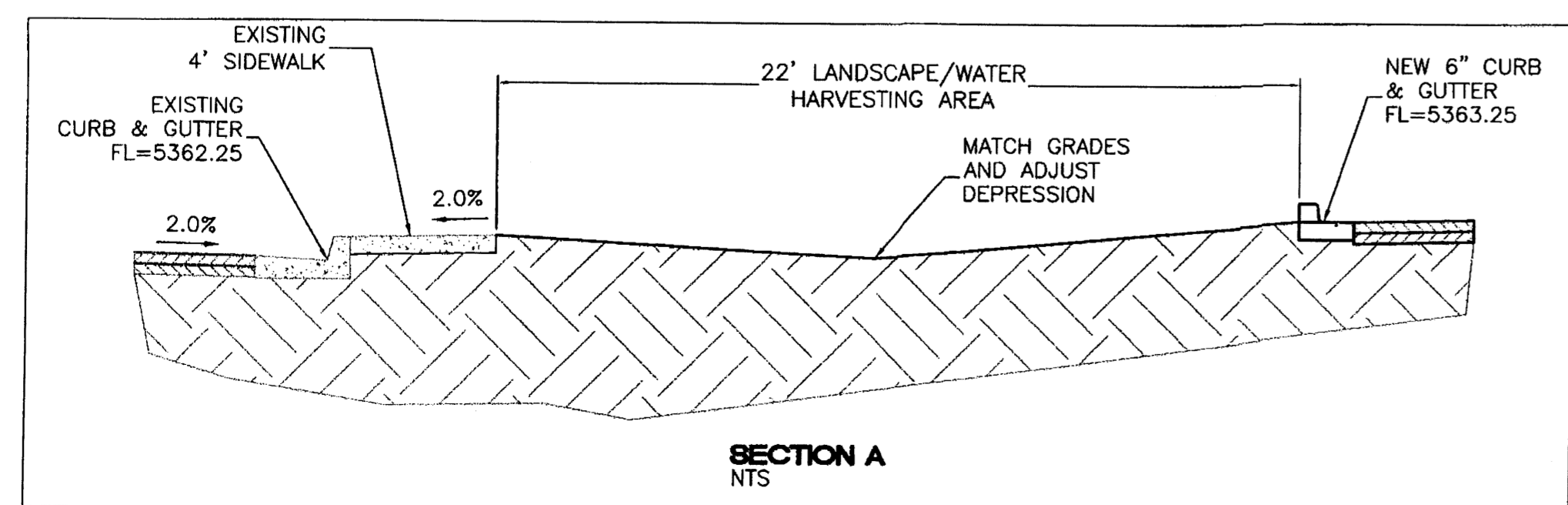
CAUTION
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



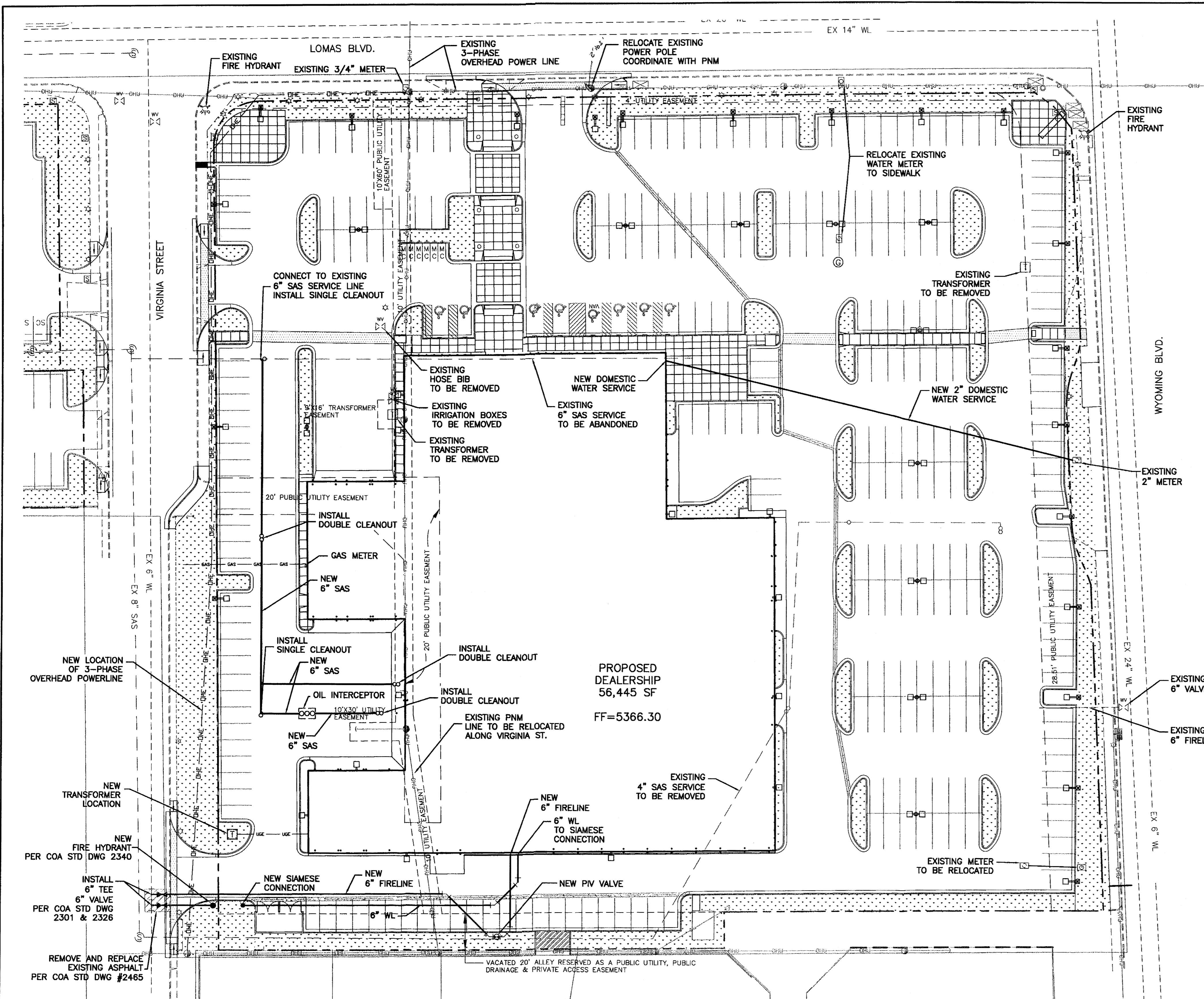
- NOTICE TO CONTRACTORS**
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 - ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED. 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

ROUGH GRADING APPROVAL _____ DATE _____



	LARRY MILLER DODGE	DRAWN BY
	LOMAS AND WYOMING	BJF
	GRADING AND DRAINAGE PLAN	DATE
		2/25/10
	TERRA WEST, LLC	2940-GRB
	5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 www.tierrowestllc.com	SHEET #
		C2
		JOB #
		29040



CAUTION:
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

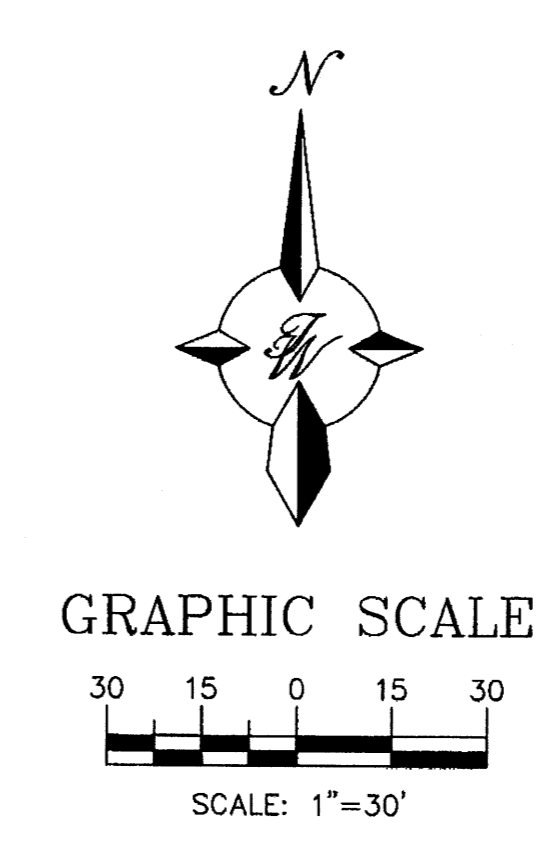
GENERAL UTILITY NOTES:

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
7. ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
10. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
11. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
12. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

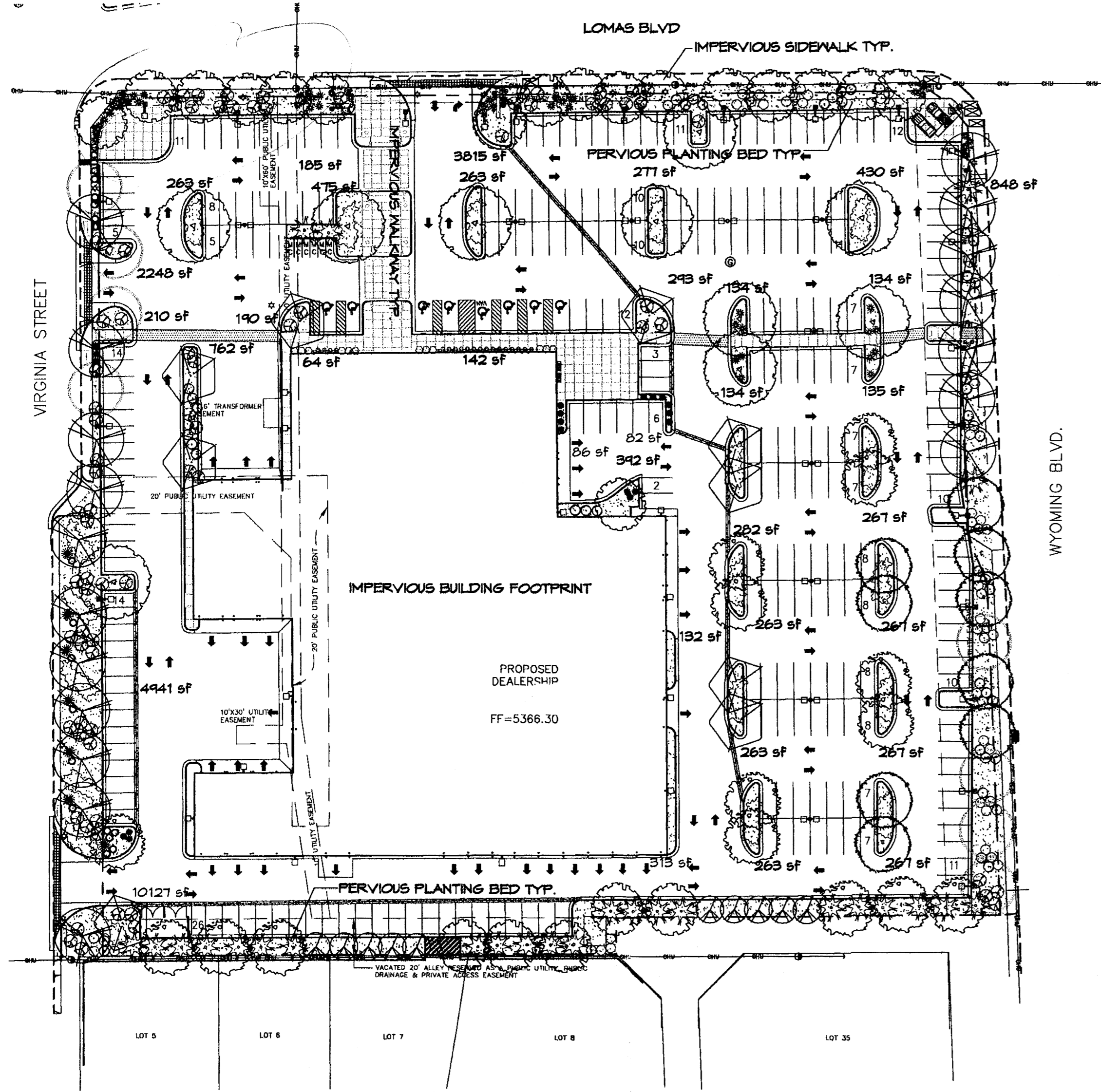
LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	EXISTING SCREEN WALL
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	36" SD
	8" SAS
	8" WL
	SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	EXISTING SD MANHOLE
	EXISTING INLET
	EXISTING SAS MANHOLE
	EXISTING WATER METER
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING OVERHEAD UTILITIES
	EX. UGE
	EX. 2" GAS
	EX. 8" SAS
	EX. WL
	EX. RCP
	EXISTING UNDERGROUND UTILITIES
	EXISTING GAS
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE

CONSTRUCTION TYPE: II-B



ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7888	LARRY MILLER DODGE LOMAS AND WYOMING	DRAWN BY BJJ DATE 3/9/10
	MASTER UTILITY PLAN	2940-MUB
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 www.tierrewestllc.com		SHEET # C3 JOB # 29040



PLANT LEGEND east lot

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

- LACEBARK ELM 15
Ulmus parvifolia
2" Cal., 12'-14" Inst./60' x 40' maturity
Water (M) Allergy (M) Osf
- BUR OAK 9
Quercus macrocarpa
2" Cal., 12'-14" Inst./60' x 60' maturity
Water (M) Allergy (M) Osf
- CHINESE PISTACHE 20
Pistacia chinensis
2" Cal., 12'-14" Inst./40' x 30' maturity
Water (M) Allergy (L) Osf
- COMMON HACKBERRY 10
Celtis occidentalis
2" Cal., 12'-14" Inst./40' x 40' maturity
Water (M) Allergy (L) Osf
- LACEBARK ELM 15
Ulmus parvifolia
2" Cal., 12'-14" Inst./60' x 40' maturity
Water (M) Allergy (M) Osf
- AUTUMN BLAZE MAPLE 9
Acer x Freemanii 'Autumn Blaze'
2" Cal., 12'-14" Inst./40' x 50' maturity
Water (M) Allergy (L) Osf
- HONEY LOCUST 10
Biedertia triacanthos
2" Cal., 8'-10" Inst./50' x 45' maturity
Water (M+) Allergy (L) Osf
- WESTERN RED CEDAR 10
Thuja plicata 'Green Giant'
15 Gal., 8'-10" Inst./40' x 15' maturity
Water (M) Allergy (L) 225sf
- EXISTING TREE TO REMAIN
- SHRUBS/ORNAMENTAL GRASSES**
FIVE GAL
- PARNEY COTONEASTER 26
Cotoneaster lacteus
5 Gal., 2'-4" Inst./2' x 12' maturity
Water (M) Allergy (L) 144sf
- APACHE PLUME 40
Fallugia paradoxa
5 Gal., 18"-3' Inst./6' x 7' maturity
Water (L) Allergy (L) 44sf
- RUSSIAN SAGE 40
Perovskia atriplicifolia
5 Gal., 18"-3' Inst./6' x 6' maturity
Water (M) Allergy (L) 36sf
- BEARGRASS 7
Nolina microcarpa
5 Gal., 18"-3' Inst./5' x 6' maturity
Water (L+) Allergy (L) 36sf
- SHRUBS/ORNAMENTAL GRASSES**
ONE GAL
- TURPENTINE BUSH 14
Ericameria laricifolia
1 Gal., 6"-15" Inst./3' x 4' maturity
Water (L+) Allergy (L) 16sf
- DEER GRASS 47
Muhlenbergia rigens
1 Gal., 6"-15" Inst./4' x 4' maturity
Water (M) Allergy (L) 16sf
- AUTUMN SAGE 12
Salvia greggii
1 Gal., 3"-15" Inst./2' x 3' maturity
Water (M) Allergy (L) 4sf
- BLUE AVENA/OAT GRASS 19
Helictotrichon sempervirens
1 Gal., 3"-15" Inst./2' x 3' maturity
Water (M) Allergy (L) 4sf
- WILDFLOWER 50
1 Gal., 3"-15" Inst./varies at maturity
Water (varies) Allergy (varies) 4sf
- GROUNDCOVERS**
- GREYLEAF COTONEASTER 57
Cotoneaster glaucophyllus
5 Gal., 24"-4" Inst./2' x 4' maturity
Water (M) Allergy (L) 81sf
Symbol indicates 3 plants
- HONEYSUCKLE 80
Lonicera japonica 'Halliana'
1 Gal., 6"-15" Inst./3' x 12' maturity
Water (M) Allergy (L) 144sf
Unstaked-Groundcover
- HARDSCAPES**
- OVERSIZED GRAVEL
4 12 BOULDERS
- 3/4" GRAY GRAVEL
WITH FILTER FABRIC
TO A MINIMUM 3" DEPTH
- EXISTING BOULDERS
- * DENOTES EVERGREEN PLANT MATERIAL

NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

EXISTING VEGETATION:
EXISTING TREES WILL REMAIN AND EXISTING SHRUBS WILL BE REMOVED BY OTHERS.

TOPPING TREES:
TOPPING SHALL NO LONGER BE PERMITTED AS TREE MAINTENANCE FOR ANY TREE ON-SITE

STREET TREE REQUIREMENTS - Minimum 2" Caliper
Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

- Name of Street: Lomas Blvd.
Required # 16 Existing # 6 New# 10
- Name of Street: Wyoming Blvd.
Required # 15 Existing # 4 New# 11
- Name of Street: Virginia St.
Required # 17 Existing # 4 New# 13

PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper
Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

- 1 Shade tree per 10 spaces
Required # 24 Provided # 24

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain plants in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Foliage Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

3/4" Crushed Grey Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

Spacing of Trees at streets and on south property line shall equal 75% of the trees mature canopy.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for Irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

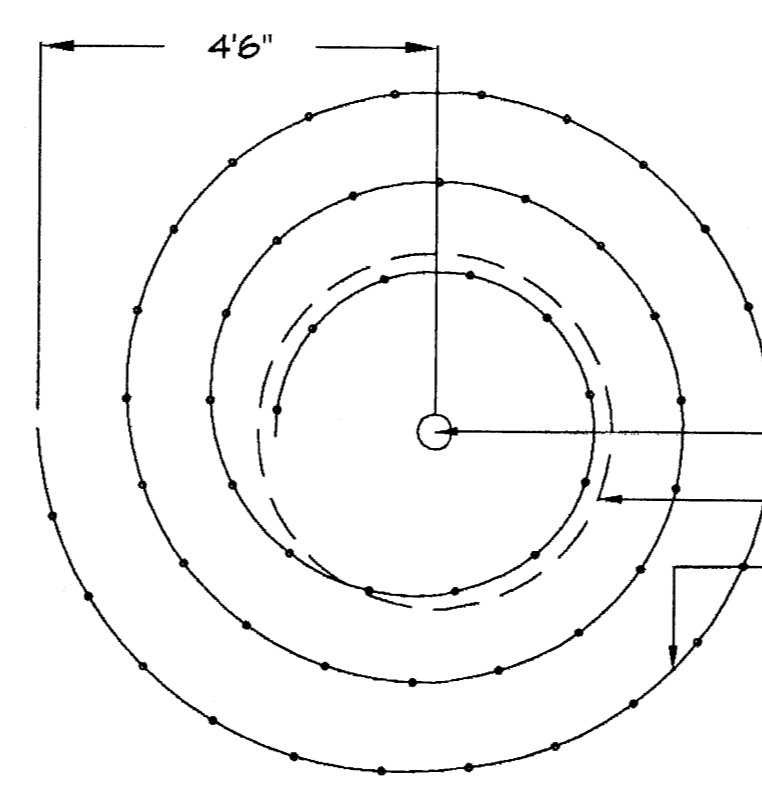
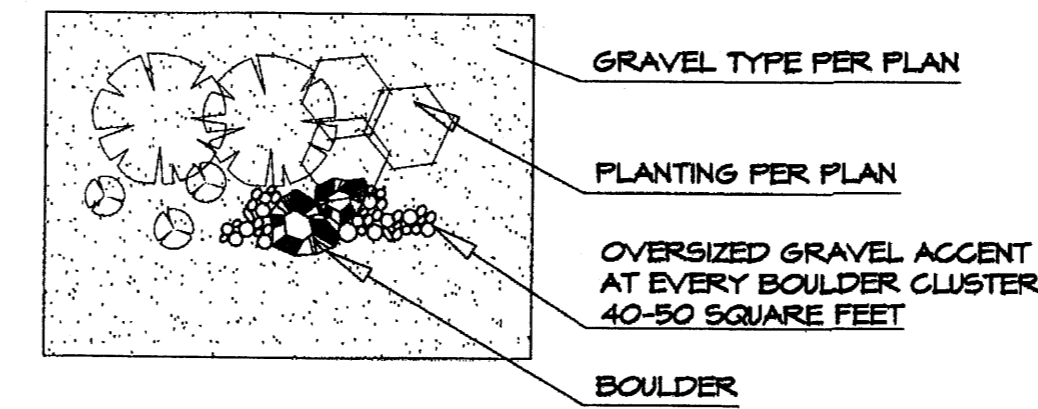
Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

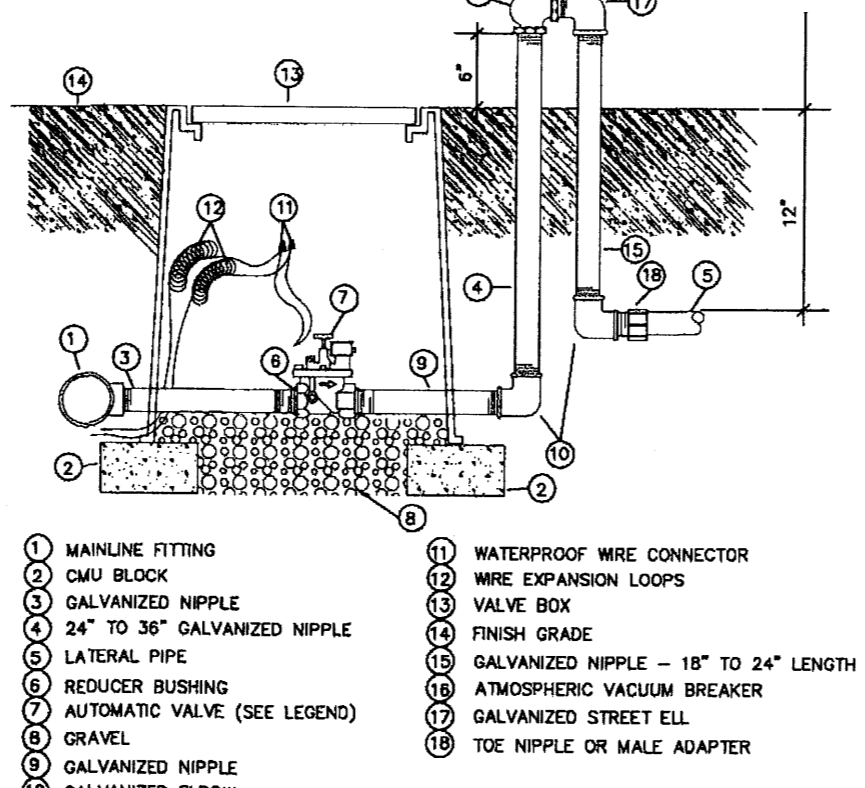
LANDSCAPE CALCULATIONS

TOTAL LOT AREA	217815	square feet
TOTAL BUILDINGS AREA	65350	square feet
NET LOT AREA	152465	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	22870	square feet
TOTAL BED PROVIDED	24214	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	21910	square feet
TOTAL GROUNDCOVER PROVIDED	21786 (99%)	square feet
TOTAL PONDING AREA	0	square feet
TOTAL SOD AREA	0	square feet
(max. 20% of landscape required)		
TOTAL LANDSCAPE PROVIDED	24214 (19%)	square feet

GRAVEL ACCENT DETAIL

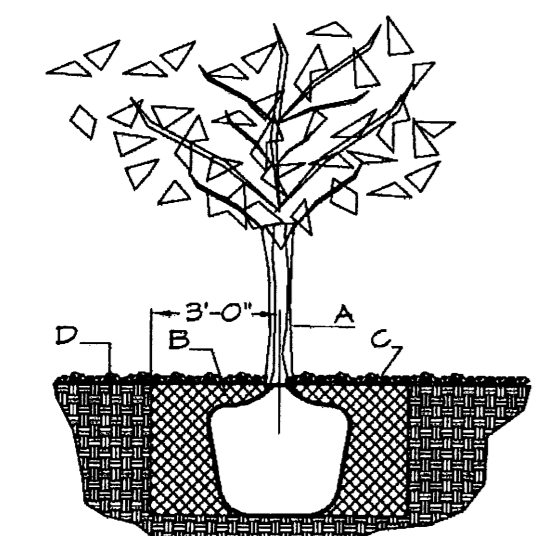


Netafim Spiral Detail



- ① MAINLINE FITTING
- ② GUV BLOCK
- ③ GALVANIZED NIPPLE
- ④ 3/4" TO 3/8" GALVANIZED NIPPLE
- ⑤ LATERAL PIPE
- ⑥ REDUCER BUSHING
- ⑦ AUTOMATIC VALVE (SEE LEGEND)
- ⑧ GRAVEL
- ⑨ GALVANIZED NIPPLE
- ⑩ GALVANIZED ELBOW
- ⑪ WATERPROOF WIRE CONNECTOR
- ⑫ WIRE EXPANSION LOOPS
- ⑬ VALVE BOX
- ⑭ FINISH GRADE
- ⑮ GALVANIZED NIPPLE - 18" TO 24" LENGTH
- ⑯ ATMOSPHERIC VACUUM BREAKER
- ⑰ GALVANIZED STREET ELL
- ⑱ TEE NIPPLE OR MALE ADAPTER

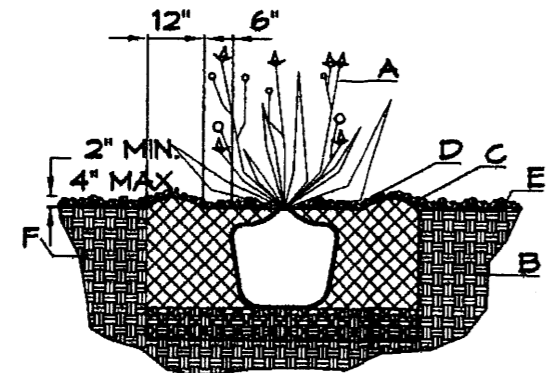
AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER



TREE PLANTING DETAIL

- NTS
- GENERAL NOTES:**
- ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
 - TOP OF ROOT COLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
 - PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
 - PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

- CONSTRUCTION NOTES:**
- A. TREE
 - B. BACKFILL WITH EXISTING SOIL.
 - C. 3" DEPTH OF GRAVEL MULCH.
 - D. UNDISTURBED SOIL.



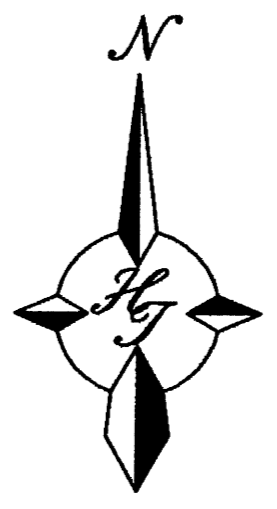
SHRUB PLANTING DETAIL

- NTS
- GENERAL NOTES:**
- THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
- CONSTRUCTION NOTES:**
- A. SHRUB.
 - B. BACKFILL WITH EXISTING SOIL.
 - C. EARTH BERM AROUND WATER RETENTION BASIN.
 - D. 3" DEPTH OF GRAVEL MULCH.
 - E. FINISH GRADE.
 - F. UNDISTURBED SOIL.

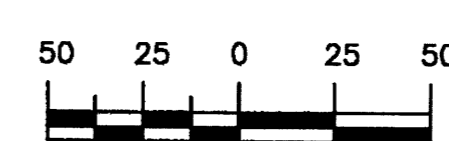


LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be reissued or copied unless applicable fees have been paid or job order placed. All plants shall be sized per American Standard for Nursery Stock.

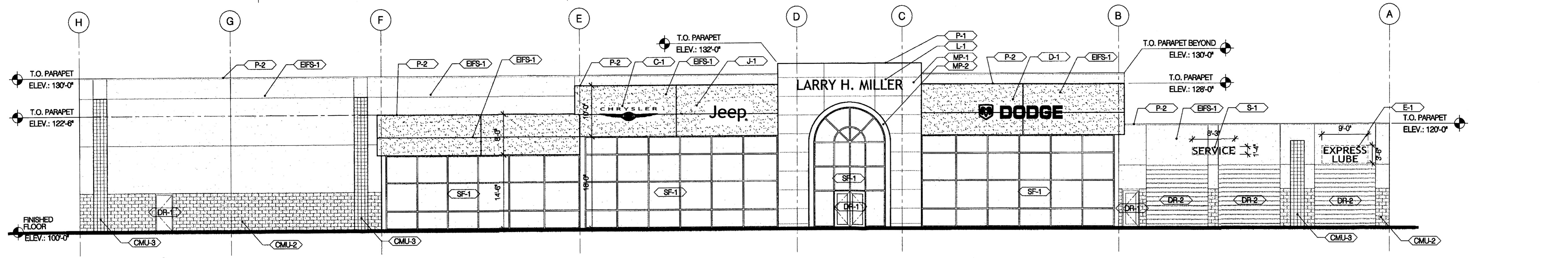


GRAPHIC SCALE

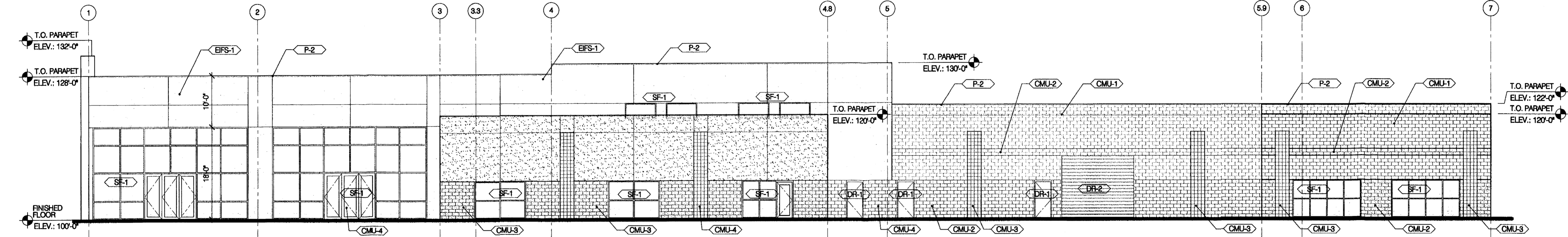


SCALE: 1"=50'

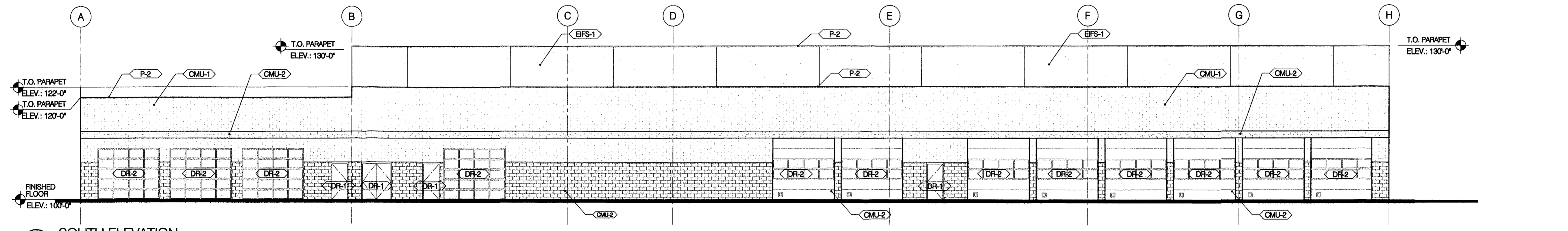
	LARRY MILLER DODGE LOMAS AND WYOMING	DRAWN BY rmc
	LANDSCAPE PLAN	DATE 9/02/09
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 www.tierrawestllc.com	LARRY MILLER DODGE SITE PLAN_2004-FORMAT
		SHEET # C4
		JOB # 29040



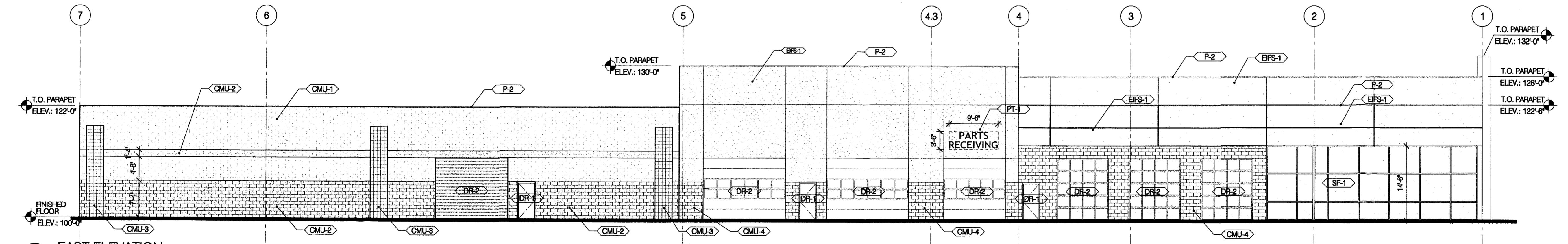
D1 NORTH ELEVATION
382'-11 1/2"



C1 WEST ELEVATION
382'-11 1/2"



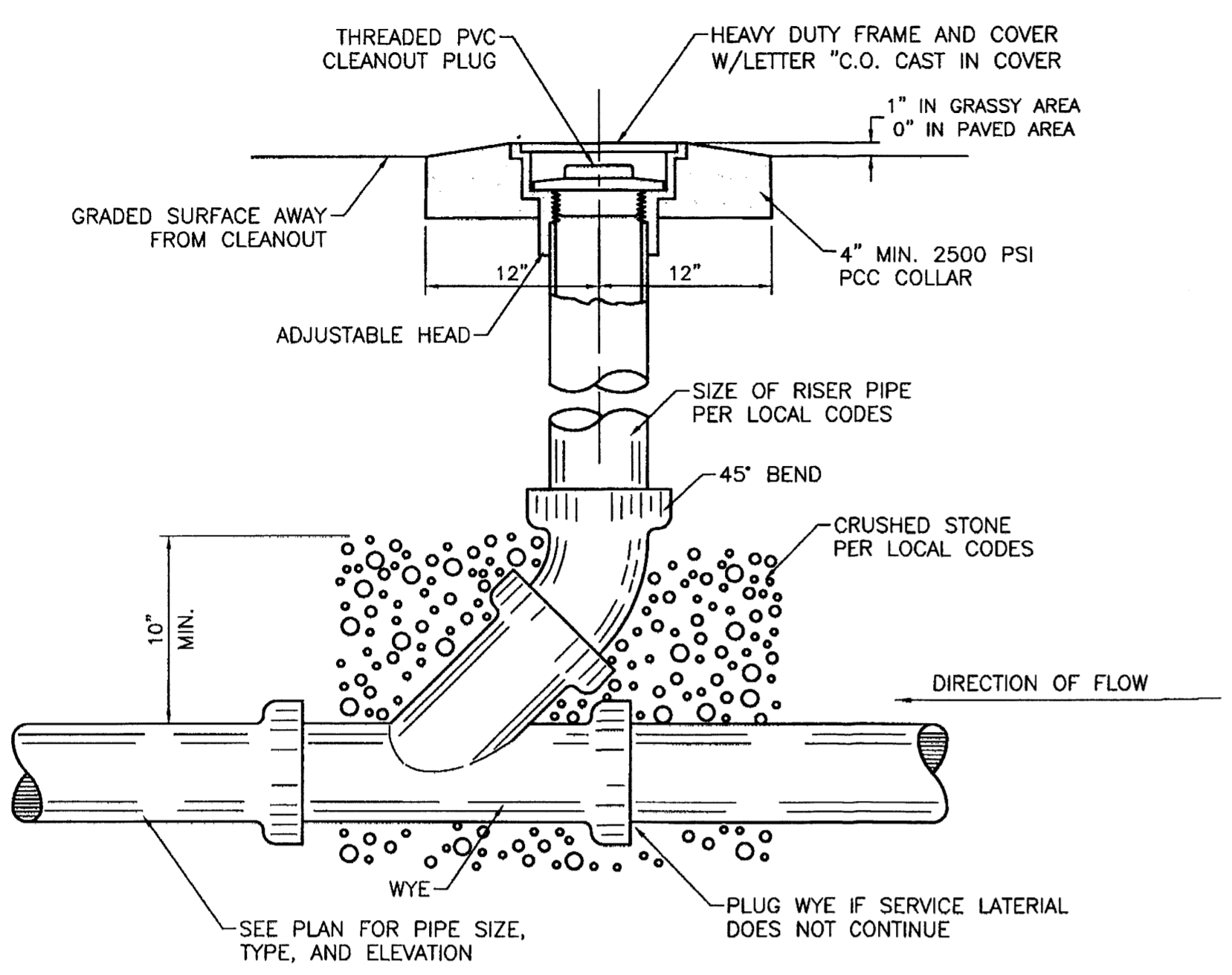
B1 SOUTH ELEVATION
382'-11 1/2"



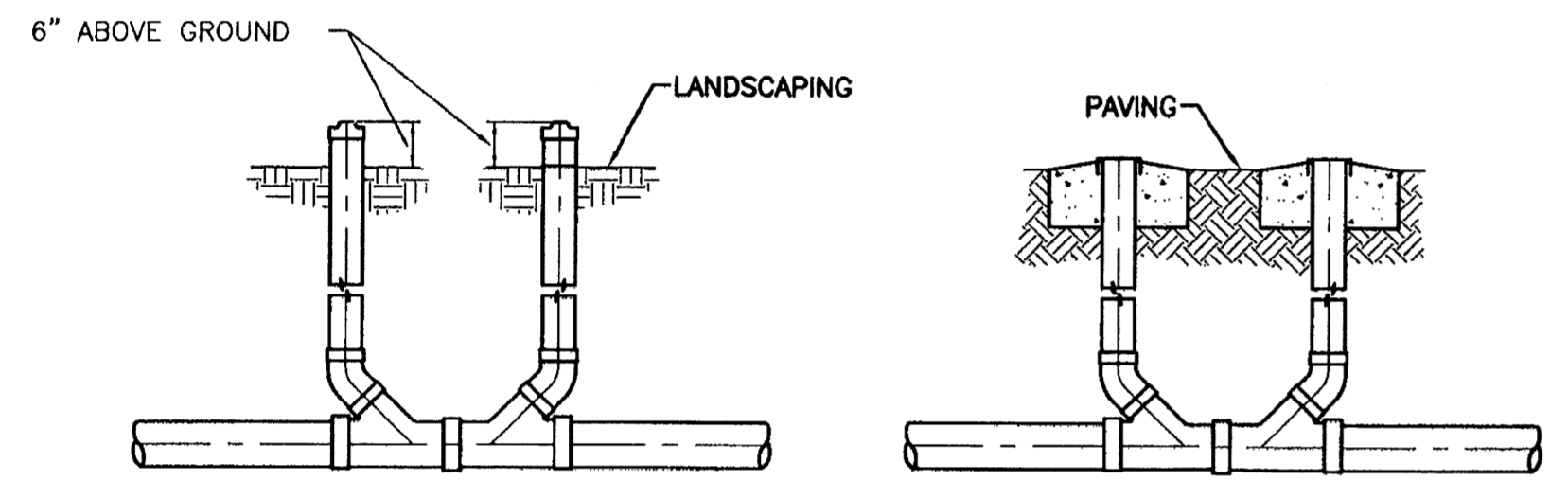
A1 EAST ELEVATION
382'-11 1/2"

EXTERIOR FINISH LEGEND				EXTERIOR SIGN LEGEND					
EFS-1 EXTERIOR INSULATION FINISH SYSTEM MFR: DRYVIT COLOR: LIGHT GREY (OVERCAST 613) FINISH: SANDBLAST	MP-1 METAL PANEL MFR: CITADEL COLOR: SILVER METALIC	CMU-1 CONCRETE MASONRY UNIT COLOR: GRANITE FINISH: SMOOTH	CMU-4 CONCRETE MASONRY UNIT COLOR: HOUMAK BLACK FINISH: SMOOTH, FACE SHELL ONLY	DR-2 EXTERIOR OVER-HEAD DOOR SOLID PANELS TO BE COLOR: WHITE. SEE DOOR SCHEDULE	P-1 PARAPET CAP TO MATCH ACM PANELS	D-1 DODGE BRAND SIGN SIZE: 38H x 18-3/4W (60 sq. ft.) COLOR: RED	C-1 CHRYSLER BRAND SIGN SIZE: 38H x 12-1/4W (60 sq. ft.) COLOR: BLACK/SILVER	S-1 SERVICE SIGN SIZE: 1'-4" HIGH LETTERS (11 sq. ft.) COLOR: BLACK	PT-1 PARTS RECEIVING SIGN SIZE: 1'-4" HIGH LETTERS (6.25 sq. ft.) COLOR: BLACK
EP-1 EXTERIOR PAINT MFR: BENJAMIN MOORE COLOR: MEDIUM GREY (PELICAN GREY PC1612)	MP-2 METAL PANEL MFR: CITADEL COLOR: BRIGHT SPECULAR	CMU-2 CONCRETE MASONRY UNIT COLOR: HOUMAK BLACK FINISH: SPLIT FACE	SF-1 STOREFRONT WINDOW SYSTEM, SEE WINDOW SCHEDULE COLOR: ALUM.	DR-1 EXTERIOR DOOR SEE DOOR SCHEDULE	P-2 ALUM. PARAPET CAP COLOR: SILVER	J-1 JEEP BRAND SIGN SIZE: 38H x 7-9/16W (82 sq. ft.) COLOR: DARK GREY	L-1 LHM BRAND SIGN SIZE: 30H x 20-6/16W (82 sq. ft.) COLOR: BLACK	E-1 EXPRESS LUBE SIGN SIZE: 1'-4" HIGH LETTERS (81.5 sq. ft.) COLOR: BLACK	NOTE: ALL SIGNS WILL CONTRAST WITH THE BUILDING BY AT LEAST 70%

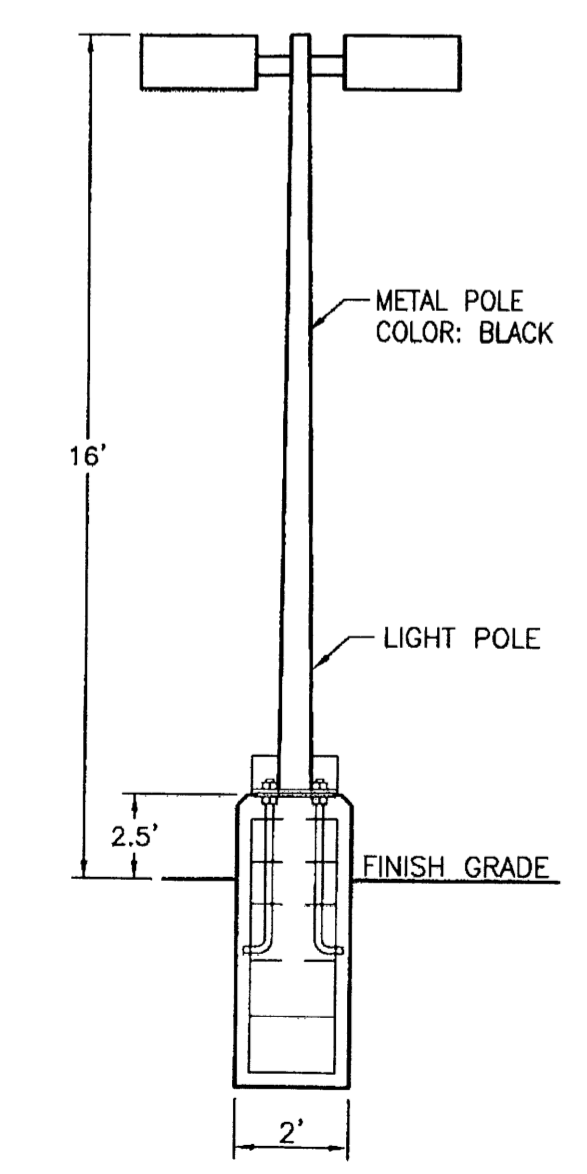
DATE	STATUS
03-22-2010	EPC/DRB REVIEW
PROJECT NUMBER	09066
CAD DWG FILE	
DRAWN BY	
CHECKED BY	
SCALE	



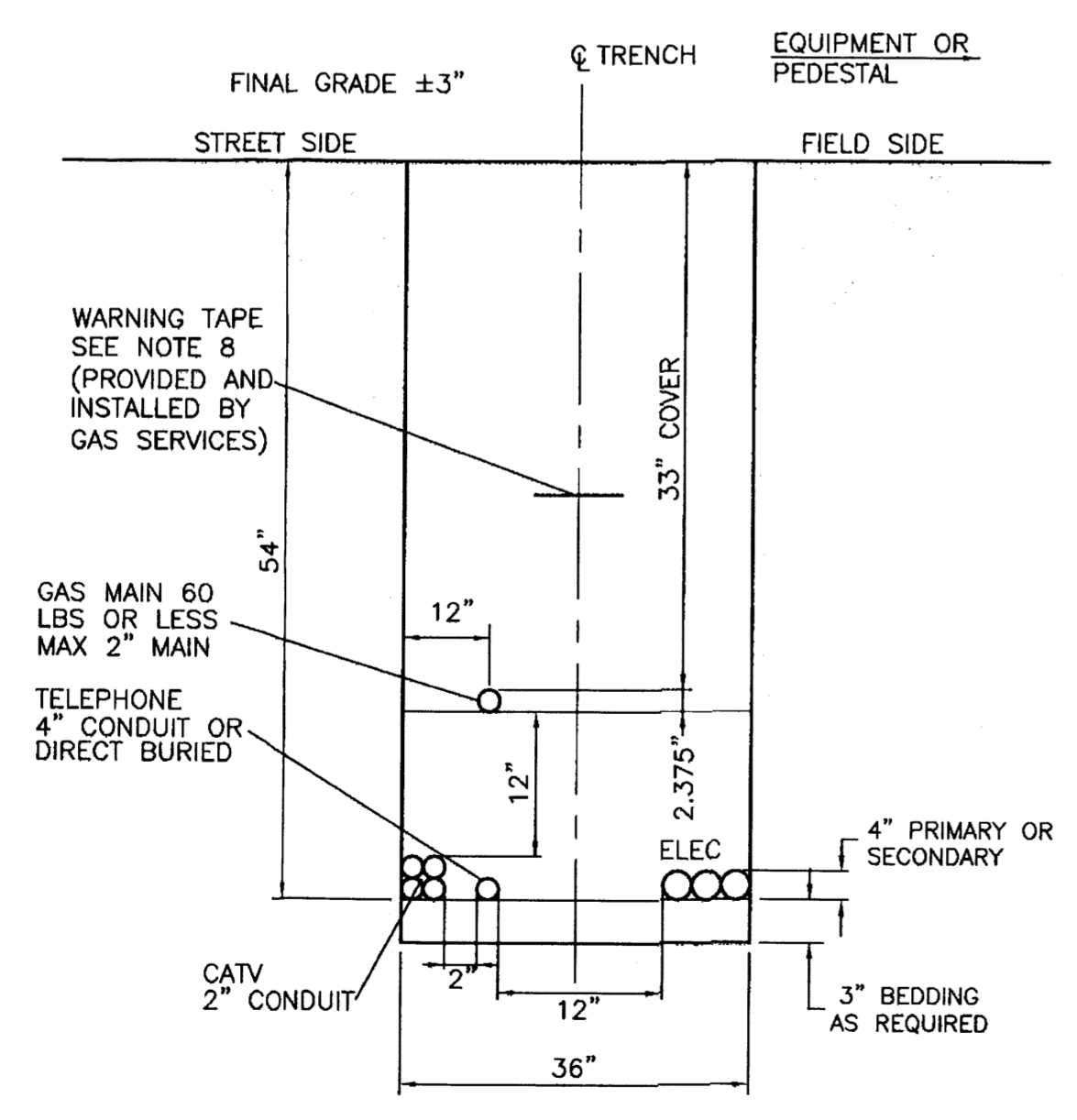
SANITARY SEWER CLEAN-OUT
NTS



SANITARY SEWER DOUBLE CLEAN-OUTS
NTS

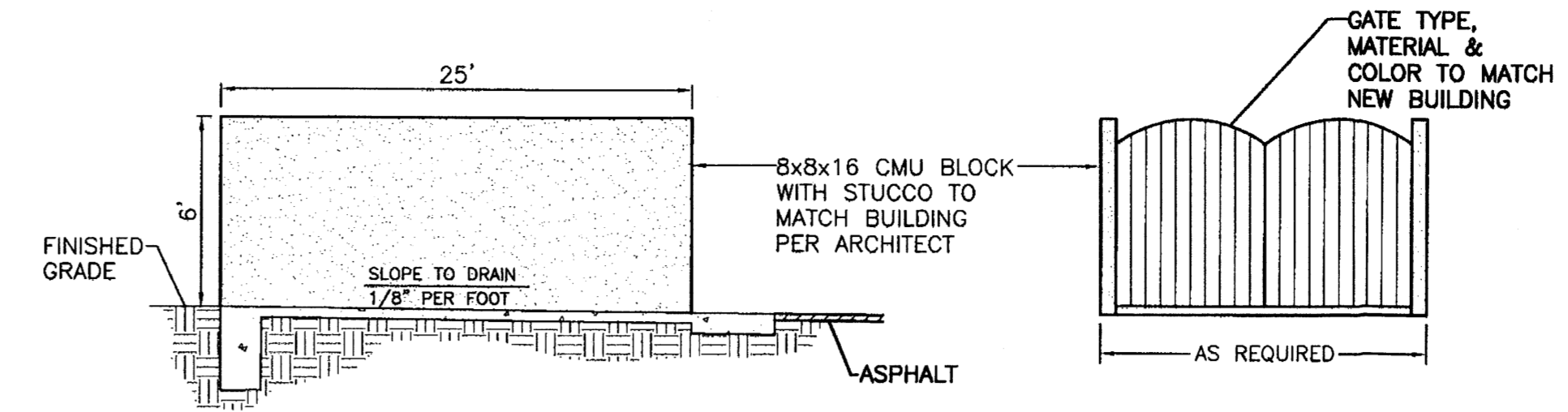


LIGHT POLE DETAIL
NTS

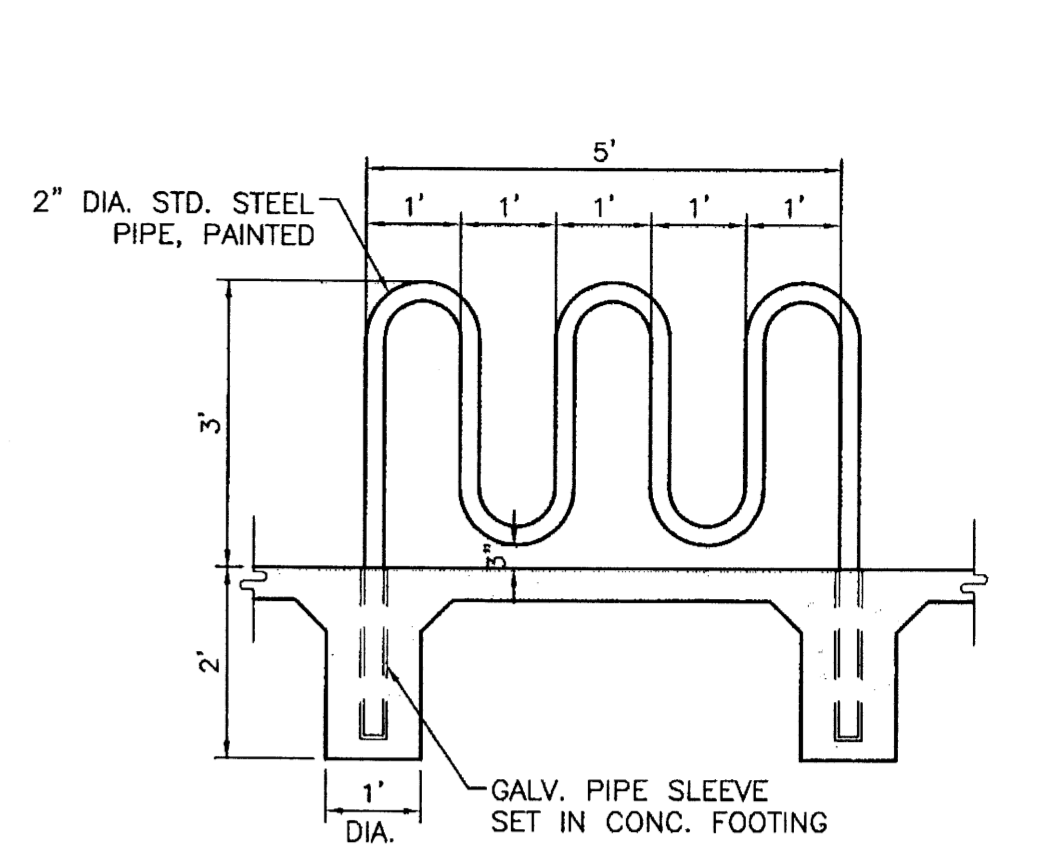


TYPICAL TRENCH DETAIL
NTS

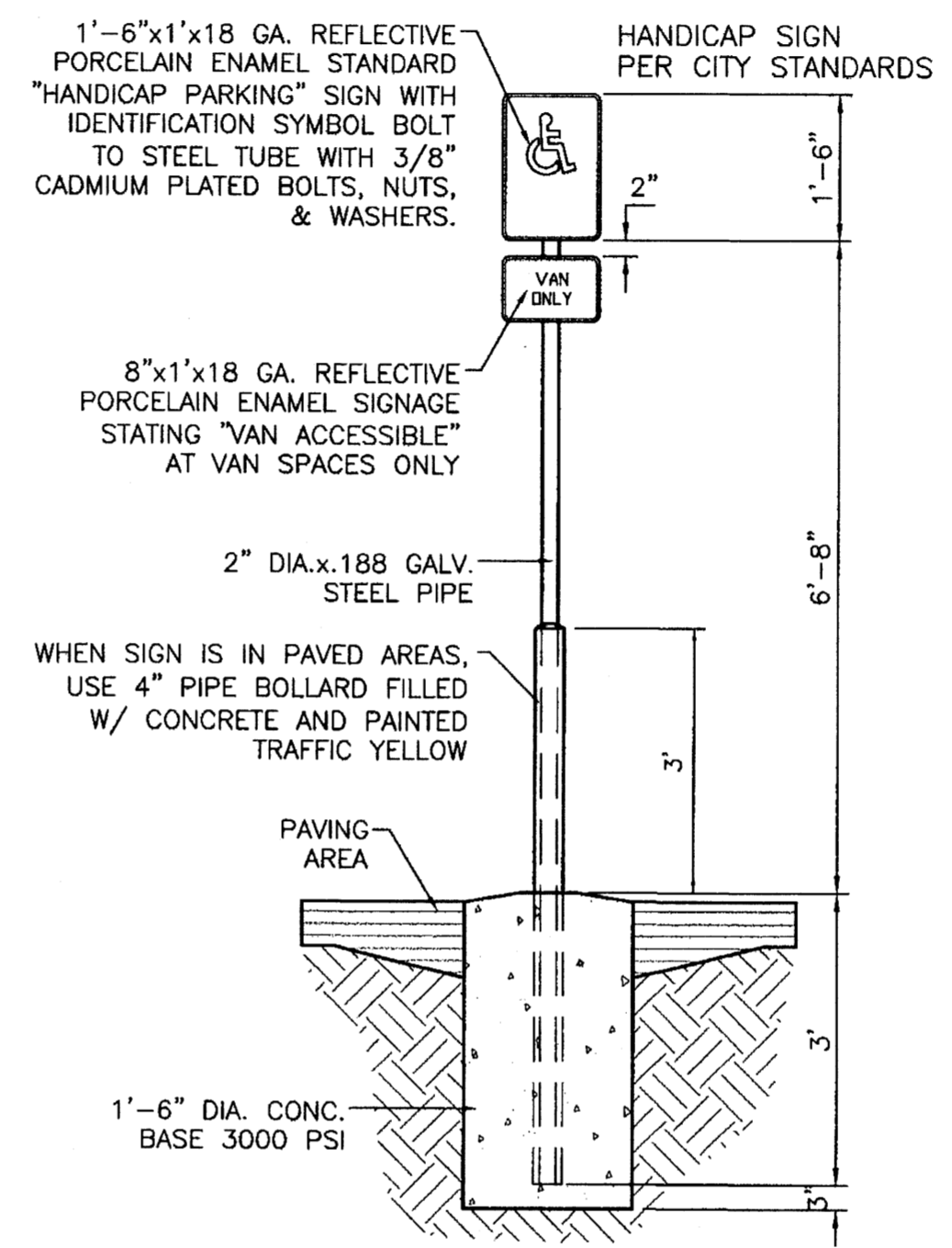
- GENERAL NOTES**
1. COMPACTION IN CITY OR STATE RIGHT-OF-WAYS SHALL MEET OR EXCEED MINIMUM SPECIFIED REQUIREMENTS.
 2. SHADING AND BEDDING MATERIAL TO BE TYPE IV, CLASS 1 FOR DIRECT BURIED CABLE AND TYPE IV, CLASS 2 FOR CABLE IN CONDUIT, TYPE III MATERIAL IS SUITABLE FOR EITHER TYPE OF INSTALLATION. REFER TO DS-10-12.4 FOR FILL MATERIAL REQUIREMENTS.
 3. IF TRENCH-RUN MATERIAL MEETS BACK FILL MATERIAL TYPE REQUIREMENTS, 3" BEDDING MAY BE OMITTED PROVIDED THE TRENCH BOTTOM IS SMOOTH, FLAT AND WITHOUT SURFACE IRREGULARITIES.
 4. SEPARATION BETWEEN JACKETED PRIMARY AND COMMUNICATION CABLES SHALL BE AT LEAST 12".
 5. SPOIL PILE SHALL BE PLACED ON THE FIELD SIDE A MINIMUM OF 2' FROM TRENCH EDGE.
 6. WATER LINES SHALL MAINTAIN 12" MINIMUM HORIZONTAL SEPARATION FROM OTHER UTILITIES AND MAY BE INSTALLED EITHER ABOVE OR BELOW OTHER UTILITIES DEPENDING ON FREEZE DEPTH.
 7. LATEST OSHA TRENCH SAFETY REQUIREMENTS SHALL BE STRICTLY OBSERVED.
 8. WARNING TAPE SHALL BE PLACED A MINIMUM OF 12" ABOVE THE UPPER LEVEL OF UTILITIES AT THE CENTER OF TRENCH.
 9. WHEN BUNDLING CABLES TO PEDESTALS, 12" SEPARATION MUST BE MAINTAINED FROM THE GAS LINE.
 10. PNM OWNED OR MAINTAINED STREETLIGHT CIRCUITS MAY BE INSTALLED IN TRENCH NEXT TO ELECTRIC CABLES.
 11. PRIVATE AREA LIGHTING OR PRIVATE STREETLIGHT CIRCUITS MAY NOT BE IN JOINT TRENCH.
 12. GAS SERVICE MUST BE 12" AWAY FROM WHERE IT WILL PASS EQUIPMENT OR PEDESTALS.
- REFERENCES**
1. NESC RULE 352, 353, 354.



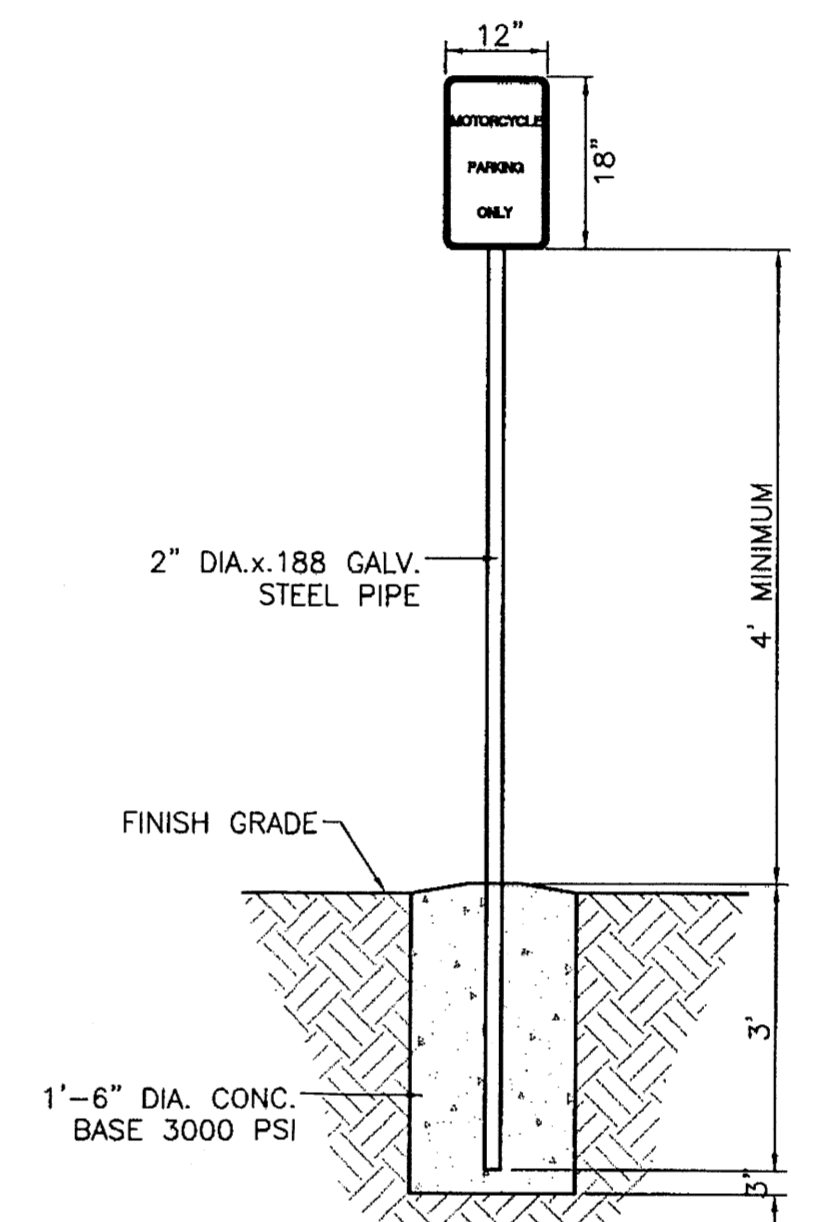
DUMPSTER ENCLOSURE ELEVATION
NTS



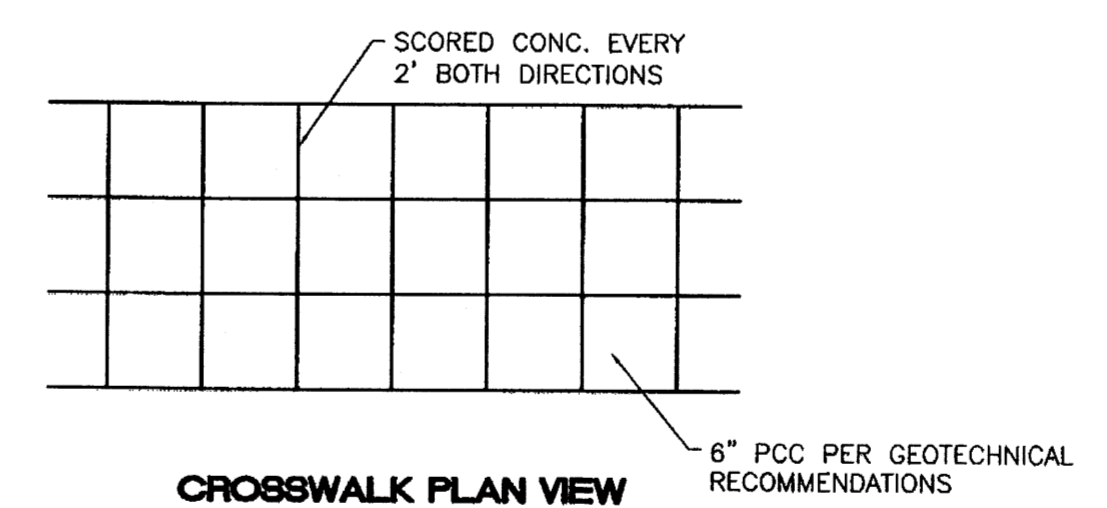
BIKE RACK DETAIL
NTS



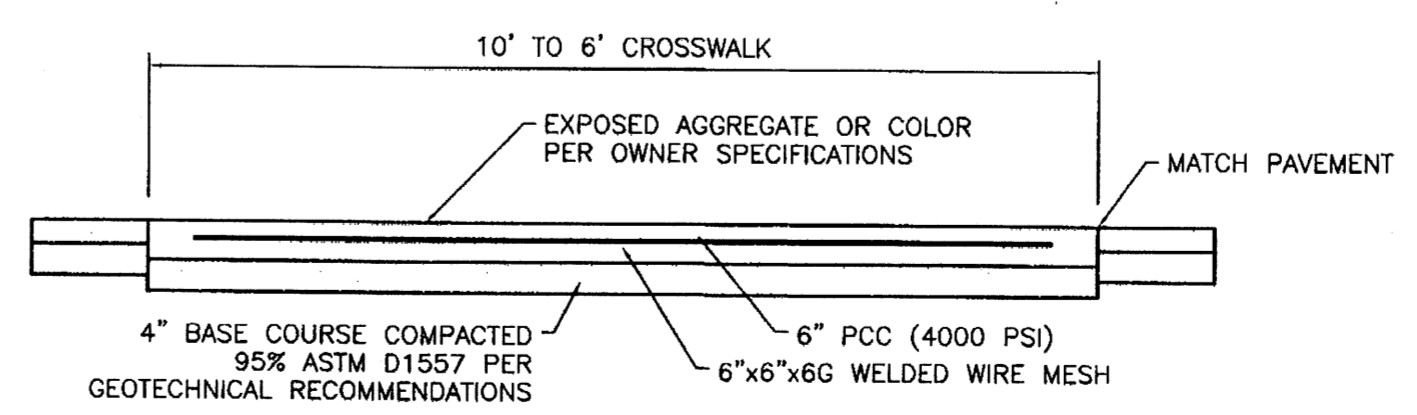
HANDICAP SIGN
NTS



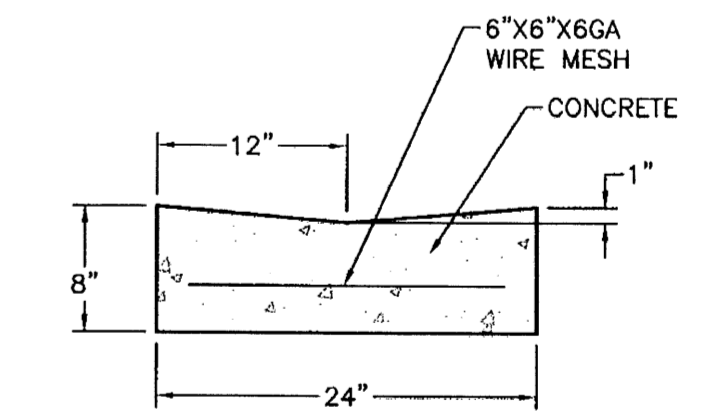
MOTORCYCLE PARKING SIGN
NTS



CROSSWALK PLAN VIEW

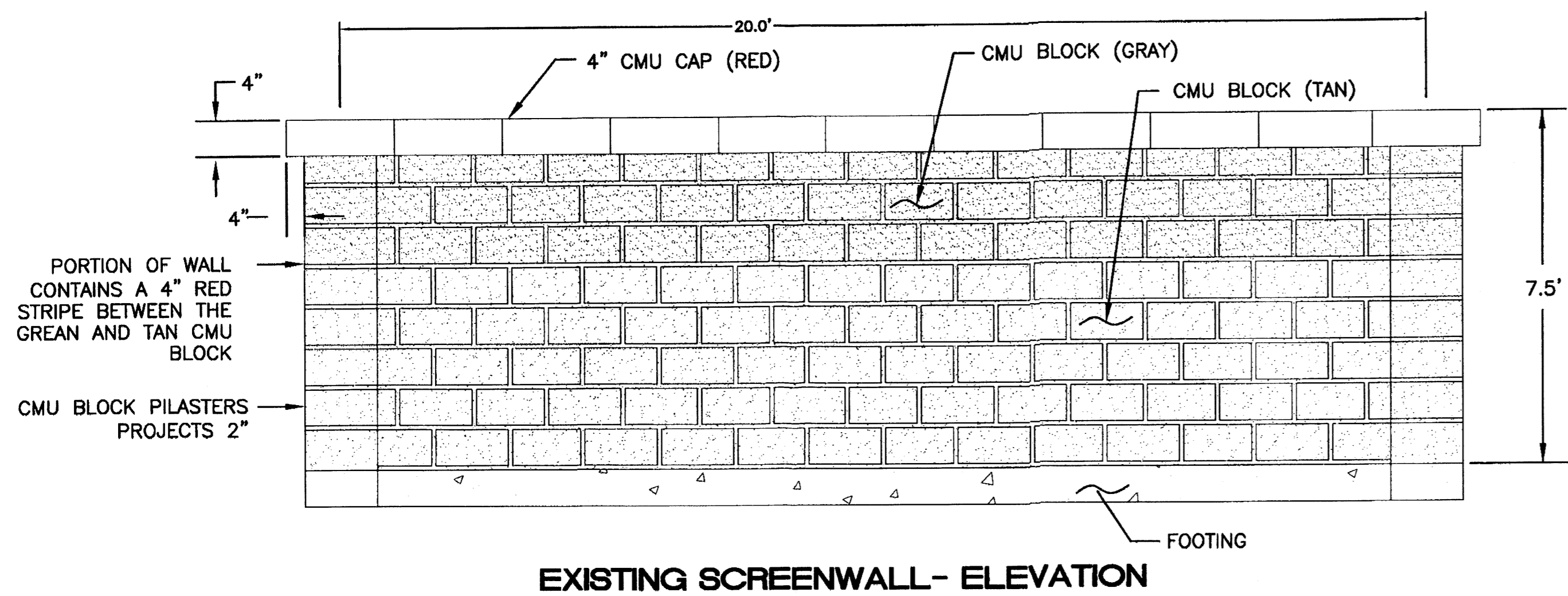


HEAVY DUTY CROSSWALK
NTS

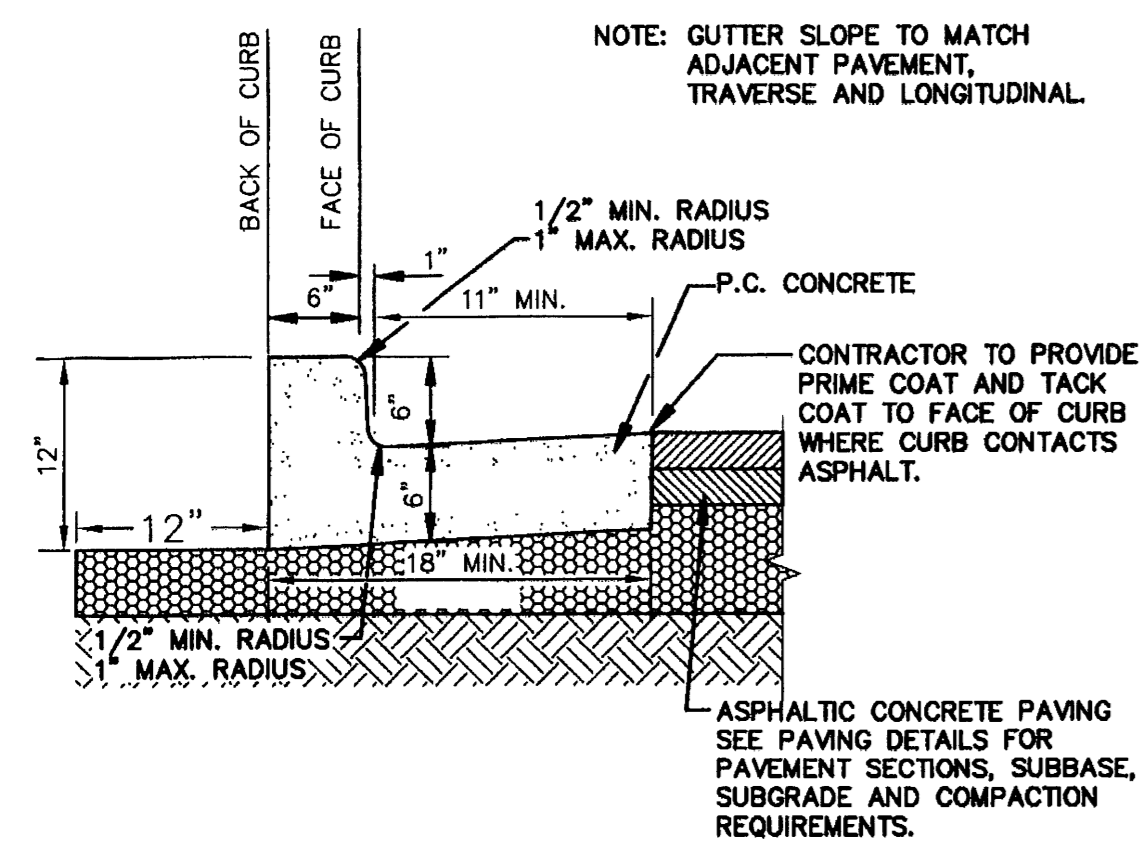


CONCRETE SWALE DETAIL IN PARKING LOT

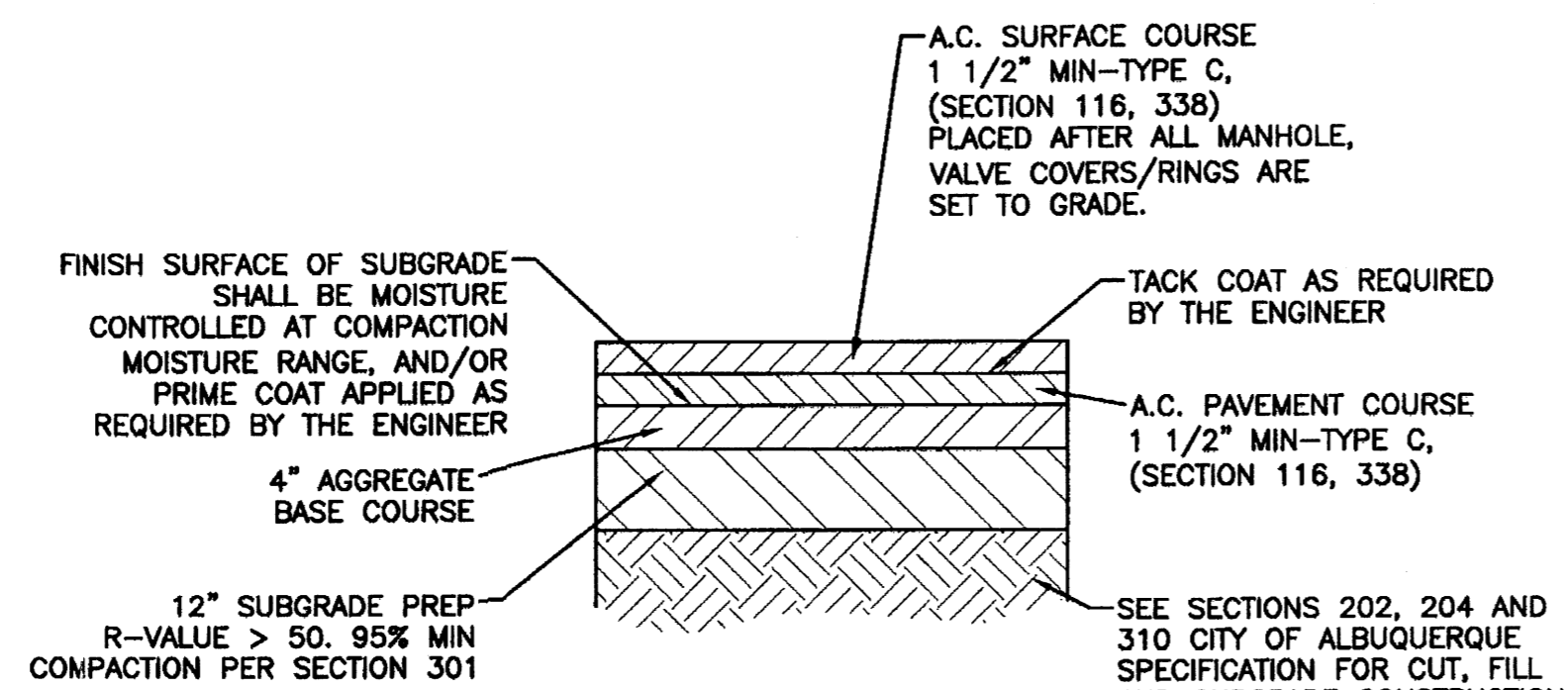
	LARRY MILLER DODGE LOMAS AND WYOMING	DRAWN BY BJF
	DETAIL SHEET	DATE 3/2/10
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 www.tierrawestllc.com	SHEET # C6
RONALD R. BOHANNAN P.E. #7868		JOB # 29040



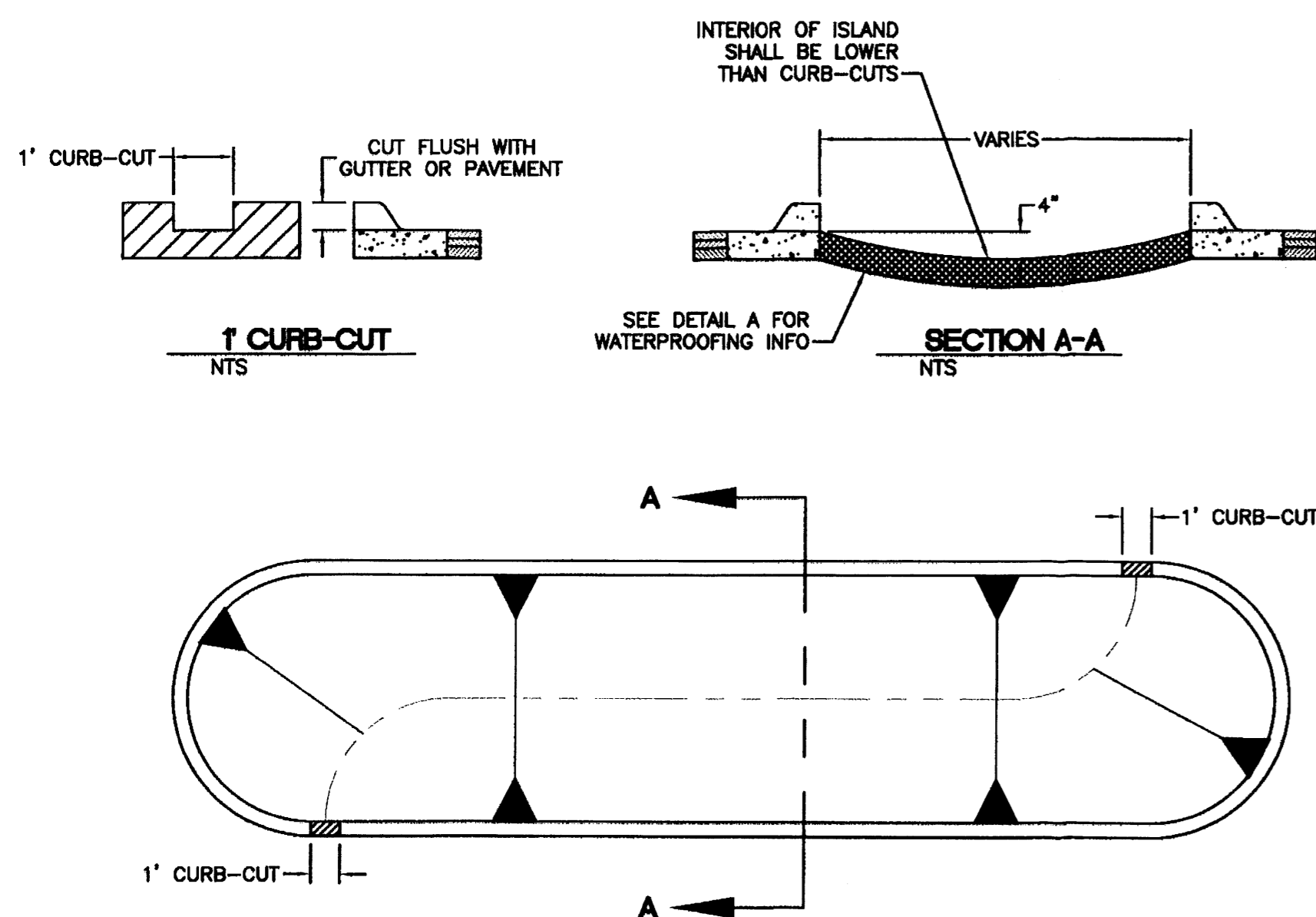
EXISTING SCREENWALL- ELEVATION



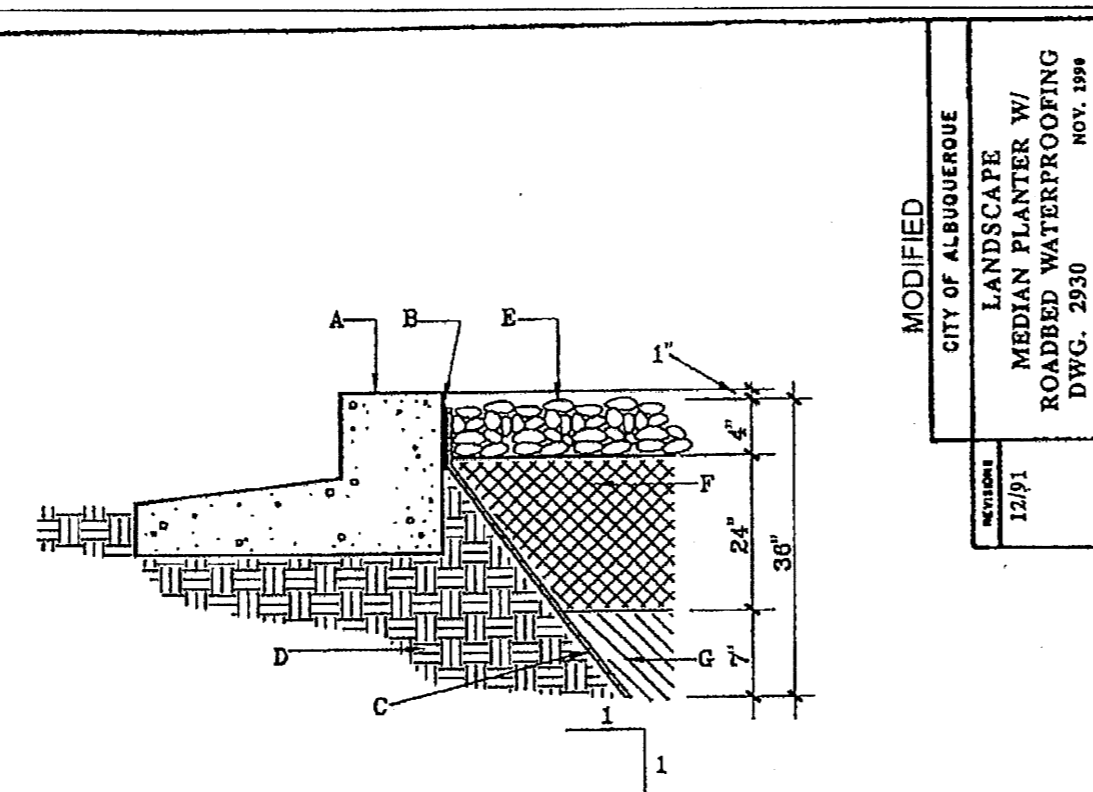
TYPE 'A' CONCRETE CURB AND GUTTER
N.T.S.



AUTOMOBILE PARKING TYPICAL PAVING SECTION
NTS
REFERENCE COA STD DWG 2405A



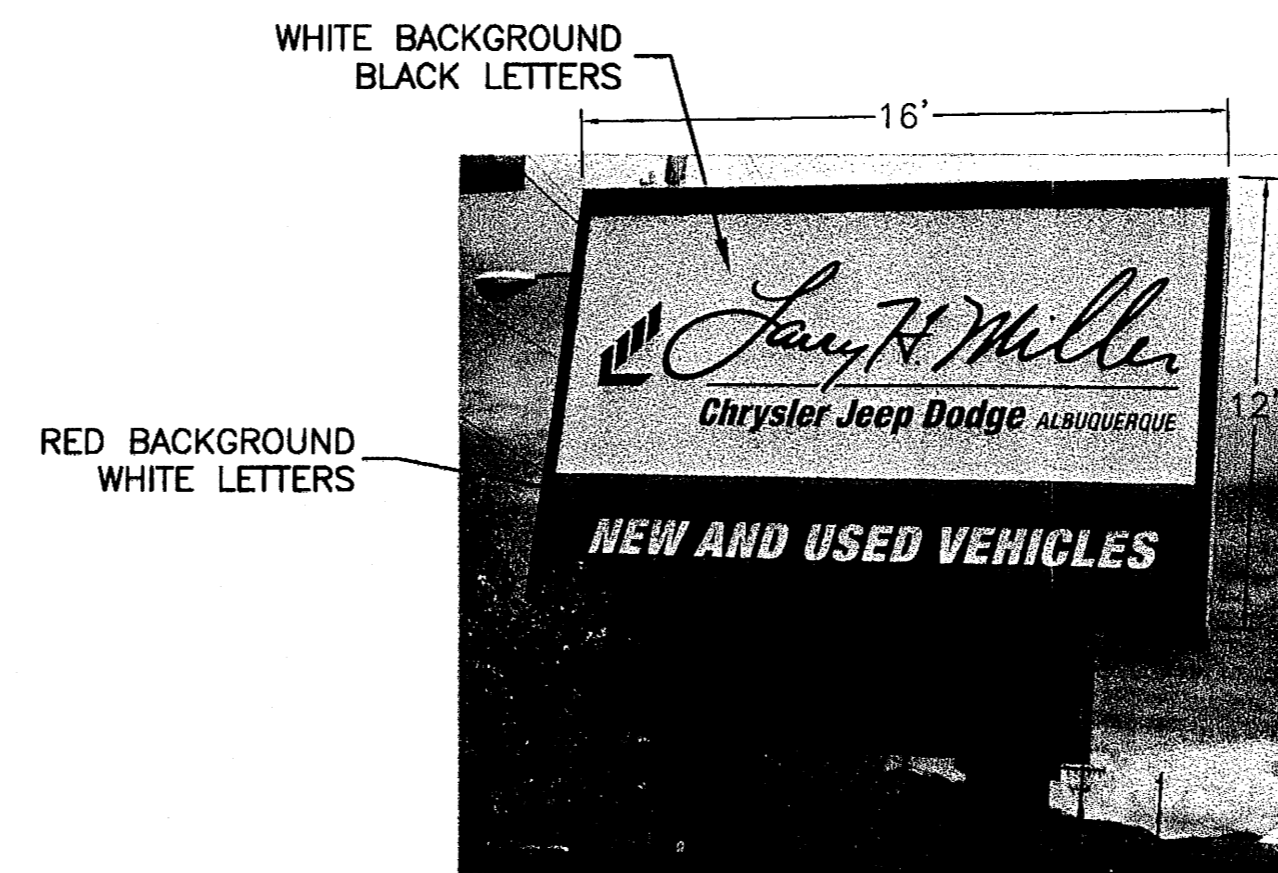
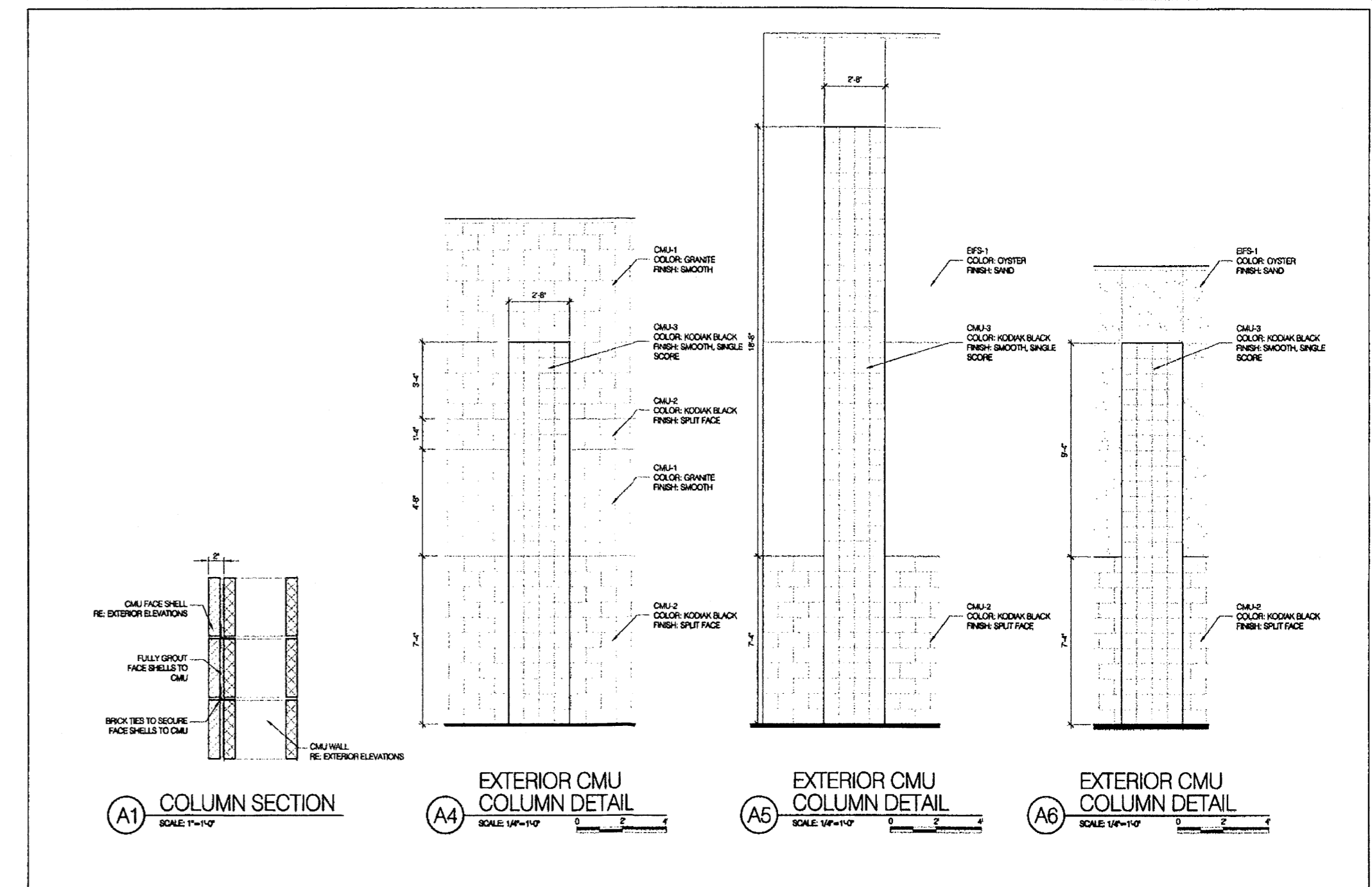
LANDSCAPE ISLAND WATER HARVESTING DETAIL FOR REFERENCE ONLY - BUILD ISLAND GEOMETRY PER SITE AND GRADING PLAN



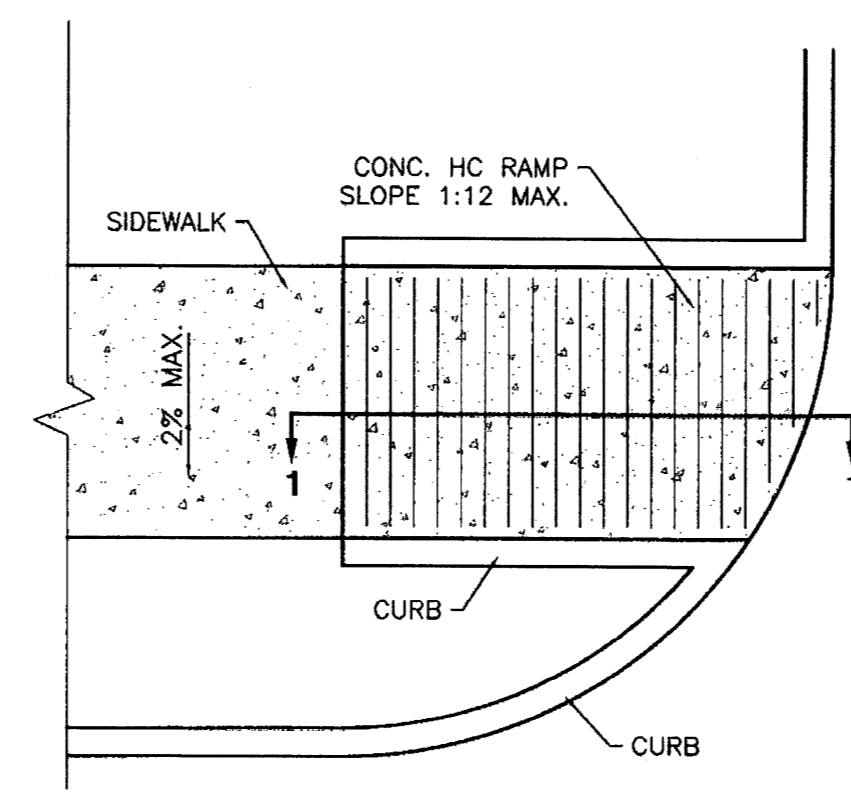
- GENERAL NOTES:**
1. THE WATERPROOF MEMBRANE SHALL BE A 30 MIL, PVC LINER MATERIAL.
 2. THE WATERPROOF MEMBRANE SHALL BE ADHERED TO THE BACK OF THE CURB PER THE MANUFACTURER'S SPECIFICATIONS.
 3. THE EXISTING SOIL WITHIN THE MEDIAN SHALL BE REMOVED AND REPLACED WITH THE SPECIFIED PLANTING SOIL MIXTURE.

- CONSTRUCTION NOTES:**
- A. EXISTING CURB AND GUTTER.
 - B. ADHESIVE PER MANUFACTURER'S SPECIFICATIONS.
 - C. WATERPROOF MEMBRANE, 38\".
 - D. SUBGRADE COMPACTED TO 95%. (SEE SECTION 301).
 - E. SEE LANDSCAPE PLAN FOR TREATMENT TYPE.
 - F. PLANTING SOIL MIXTURE. (REFERENCE THE SPECIFICATIONS).
 - G. LOOSEN THE SOIL TO A DEPTH OF 6\".

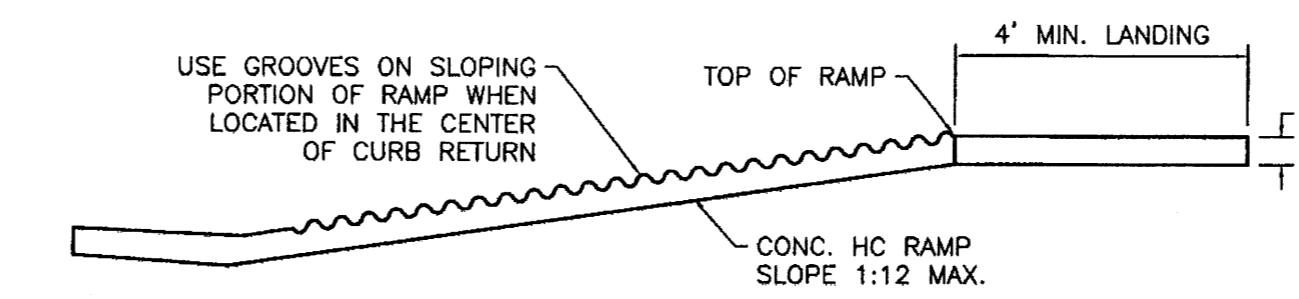
DETAIL "A"



SIGN IS 26' HIGH AND INTERNALLY LIT
EXISTING PYLON SIGN 2
NEW SIGN WILL BE OF THE SAME DESIGN EXCEPT THE SIGN FACE DIMENSIONS WILL BE 15' WIDE BY 10' HIGH



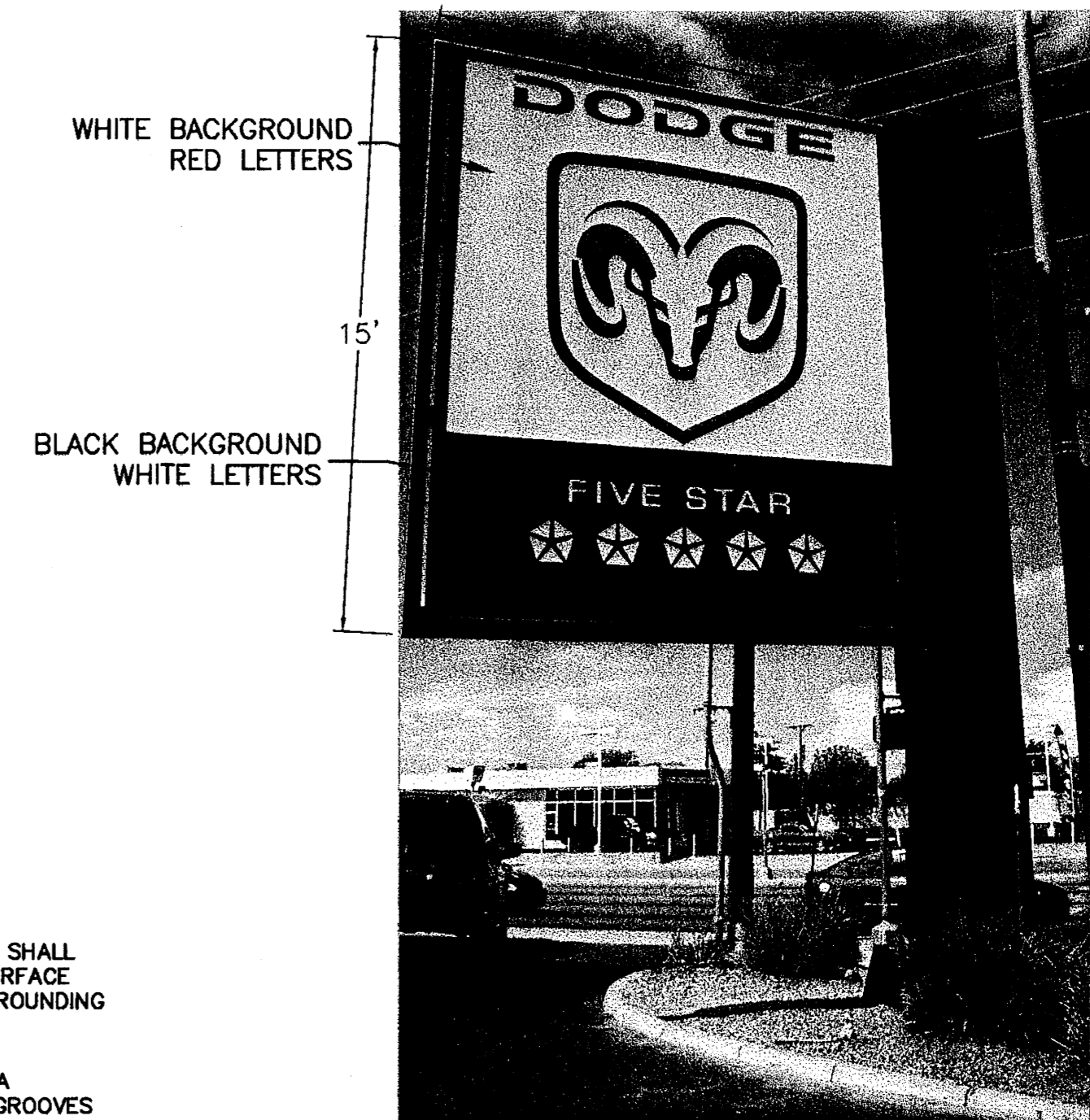
PLAN



SECTION A-A
UNIDIRECTIONAL HC RAMP
SCALE: NTS

NOTES:

1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. THE RAMP SHALL BE GROOVED IN A TRANSVERSE PATTERN WITH 1/4" GROOVES APPROXIMATELY 1-1/2" O.C. SEE SECTION A-A.
3. THE BOTTOM OF THE RAMP SHALL HAVE A 1/4" LIP OF 45\".
4. RAMP SIDE SLOPE VARIES UNIFORMLY FROM A MAXIMUM OF UP TO 10% AT CURB TO CONFORM WITH LONGITUDINAL SIDEWALK SLOPE ADJACENT TO TOP OF THE RAMP.
5. CONSTRUCT PER A.D.A. STANDARDS.



SIGN IS 25' HIGH AND INTERNALLY LIT
EXISTING PYLON SIGN 1
NEW SIGN WILL BE OF THE SAME DESIGN EXCEPT THE SIGN FACE DIMENSIONS WILL BE 10' WIDE BY 15' HIGH

	LARRY MILLER DODGE LOMAS AND WYOMING	DRAWN BY BJF
	DETAIL SHEET	DATE 3/10/10
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 www.tierrowestllc.com	SHEET # C7
RONALD R. BOHANNAN P.E. #7868		JOB # 29040