

**SIGNATURE BLOCK**

PROJECT NUMBER **1008059**

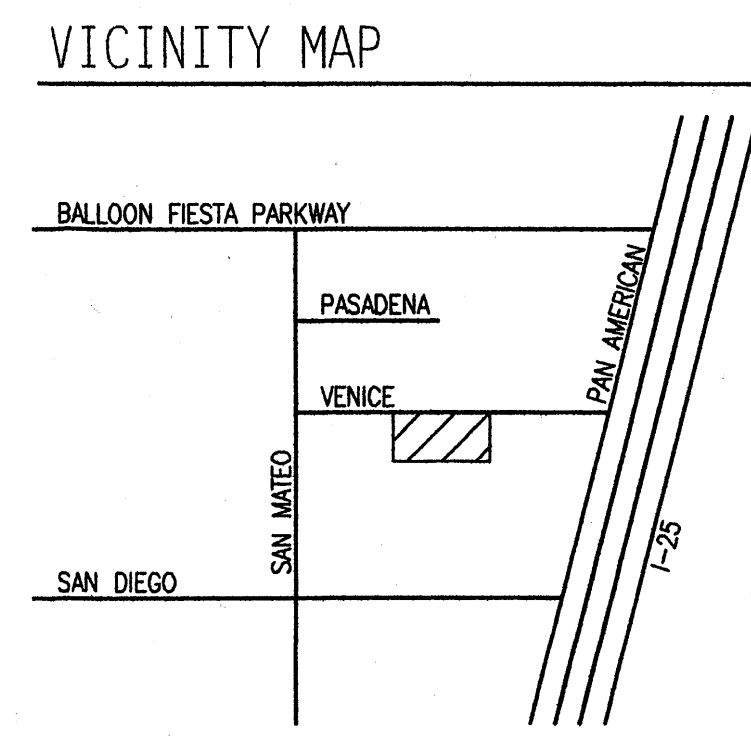
APPLICATION NUMBER

Is an infrastructure list required? ( ) Yes (X) No If yes, then a set of approved DRC plans with a work order is required for any construction within public right-of-way or for construction of public improvements.

Traffic Engineering, Transportation Division DATE: 01/21/10  
 Utilities Development DATE: 01/20/10  
 Parks and Recreation DATE: 1/20/10  
 City Engineer DATE: 1/20/10

Environmental Health Dept. (if required) DATE:

Solid Waste Management DATE: 1-6-10  
 DRB Chairperson, Planning Department DATE: 2-3-10



**GENERAL NOTES**

- VERIFY SITE UTILITY ROUTING AND NEW UTILITY CONNECTIONS WITH UTILITY PROVIDERS
- CURBS DIMENSIONED TO FACE OF CURB UNO.
- PATCH & REPAIR OR REPLACE EXISTING CURB & GUTTER ALONG STREET FRONTS AS NECESSARY IN COORDINATION W/ DRIVEWAY CONSTRUCTION
- VERIFY ALL NEW DRIVEWAY REQ.'S W/ CITY OF ALBUQUERQUE STANDARDS
- SITE LIGHTING  
 LIGHTING PROVIDED FROM BUILDING FACADES TO BE CUT-OFF TYPE ANGLED TO BE NON-INTRUSIVE TO ADJACENT PROPERTIES AND RIGHT-OF-WAYS.  
 6. MAX. SLOPE FOR ALL BANKS IS 1:1.2.

**SITE DATA**

LOCATION: 5454 VENICE AVE. NE, ALBUQUERQUE, NM 87113

OWNER: MECHENBIER CONSTRUCTION, 8500 WASHINGTON ST. NE, SUITE A-6, ALBUQUERQUE, NM 87113

LEGAL DESCRIPTION: LOTS 4,5,6, BLOCK 4, TRACT A, UNIT B NORTH ALBUQUERQUE ACRES

UPC #: 10180650924930923, 101806507424930922, 101806509124830921

CURRENT ZONING: IP

ZONE ATLAS PAGE: B-18

CONSTRUCTION TYPE: 2-B, SPRINKLED

APPLICABLE CODE: 2006 IBC

TOTAL LOT AREA: (2,659 AC) 115,826 S.F.

BUILDING FOOTPRINT AREA: 37,608 S.F.

NET LOT AREA: 78,218 S.F.

HARDSCAPE AREA (PAVING AND SIDEWALKS): 65,769 S.F.

LANDSCAPE AREA: 12,449 S.F.

LANDSCAPE % OF NET LOT AREA: 15.9 %

LANDSCAPE TO HARDSCAPE AREA RATIO: 1 : 5.28

REQUIRED PARKING: 96 SPACES

OFFICE: (22,418 SF x 0.8) / 200 = 90 SPACES

WAREHOUSE: (15,190 SF x 0.8) / 2000 = 6 SPACES

PARKING PROVIDED: 109 SPACES

H.C. PARKING PROVIDED (4 REQUIRED): 4 SPACES

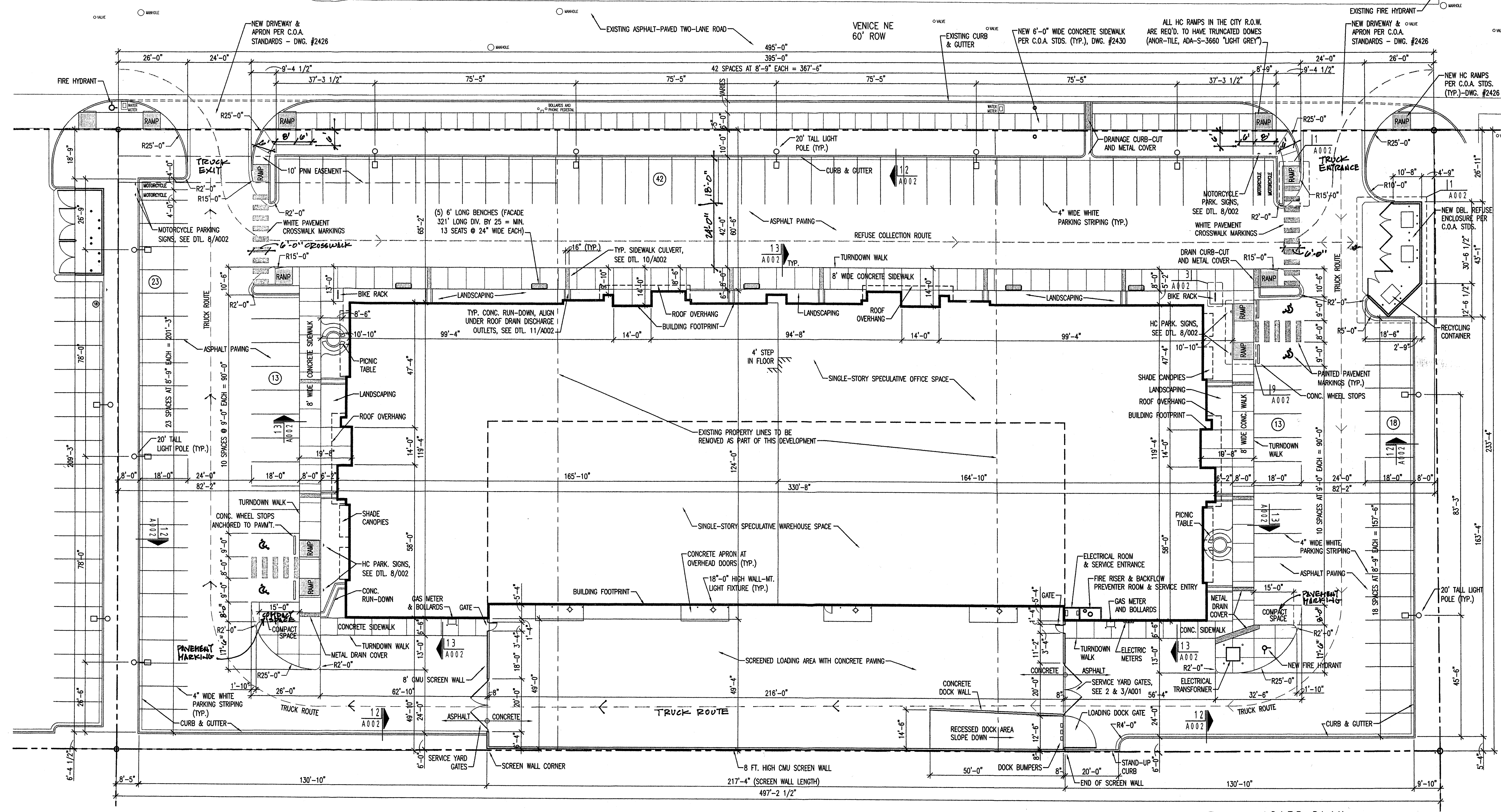
COMPACT SPACES ALLOWED (25% OF 96): 24 SPACES

COMPACT SPACES PROVIDED: 2 SPACES

REQUIRED BICYCLE PARKING: 5 SPACES

BICYCLE PARKING PROVIDED: 10 SPACES

MOTORCYCLE PARKING PROVIDED (3 REQUIRED): 4 SPACES



**MECHENBIER CONSTRUCTION INC.**

OFFICE/WAREHOUSE DEVELOPMENT AT 5454 VENICE AVE. N.E.

**slagle HERR Architects**

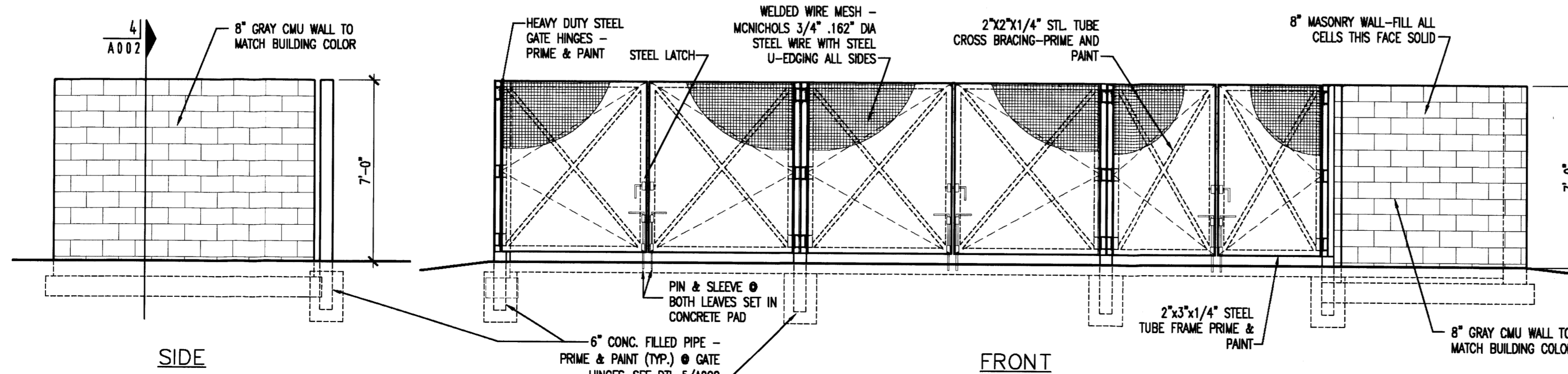
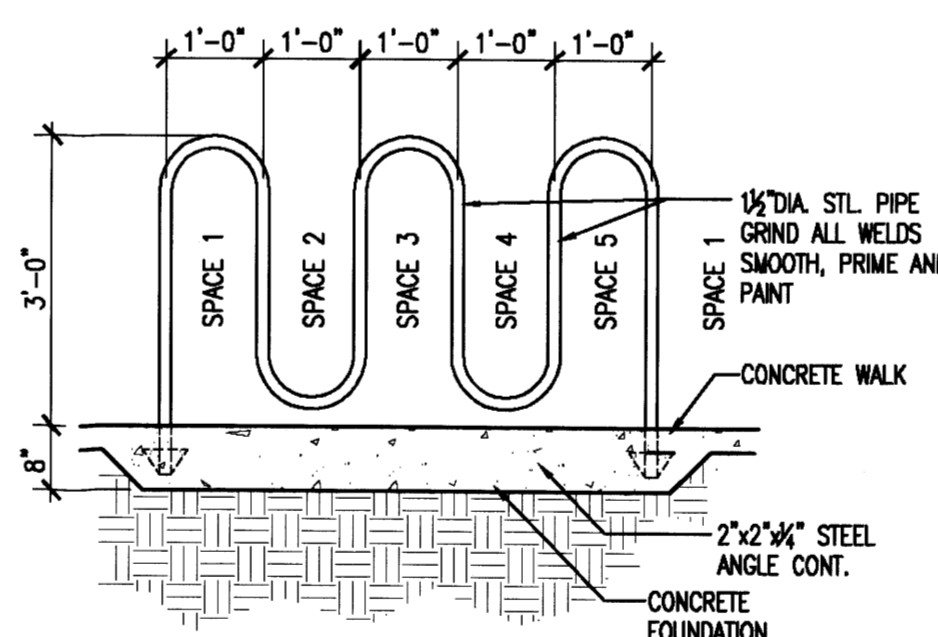
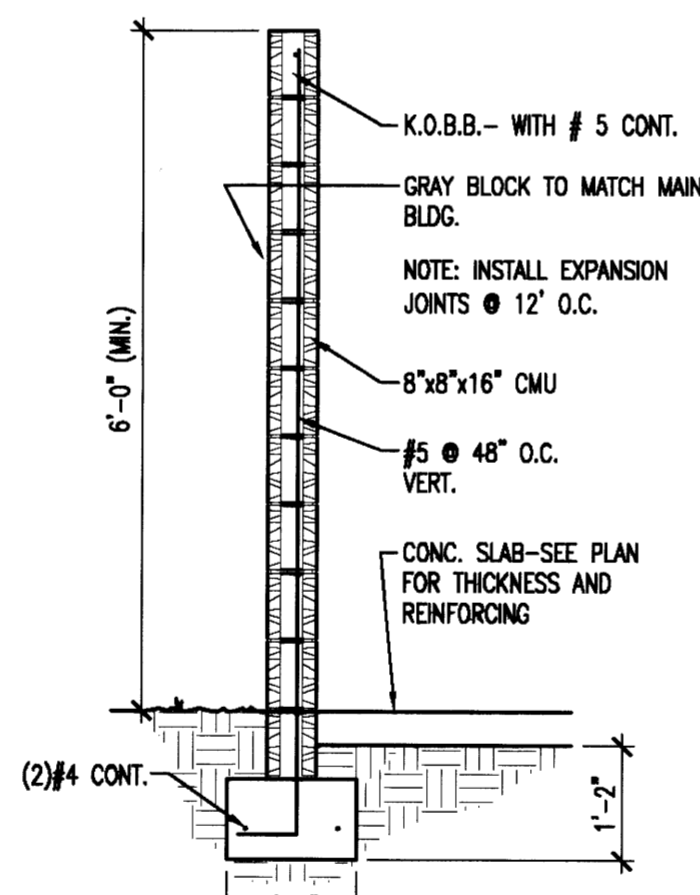
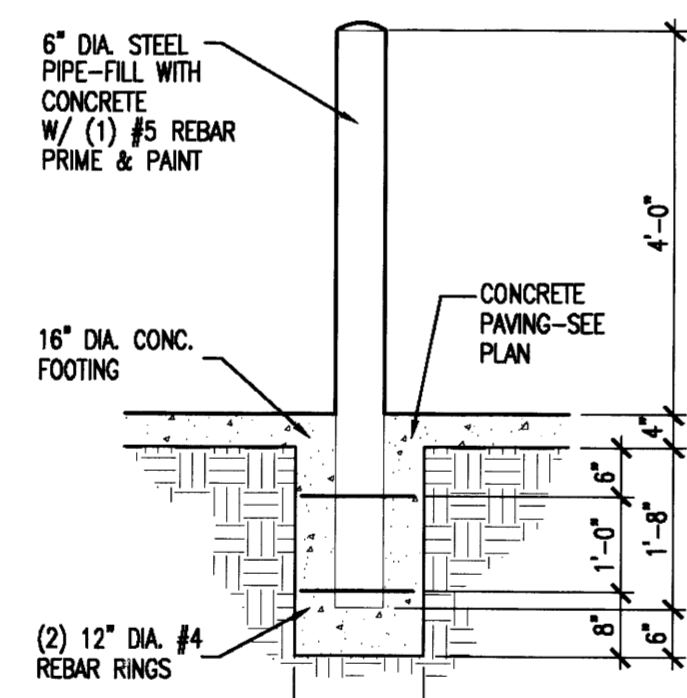
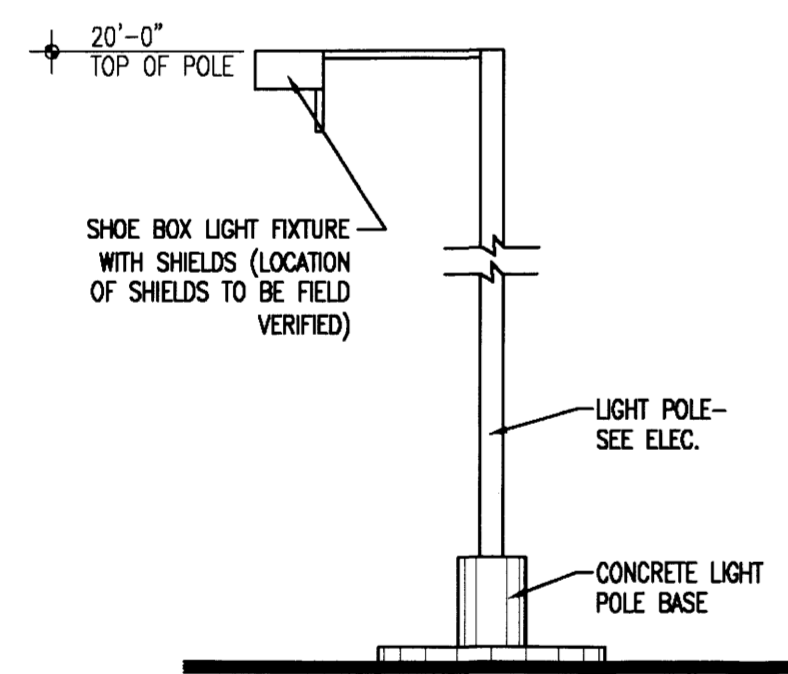
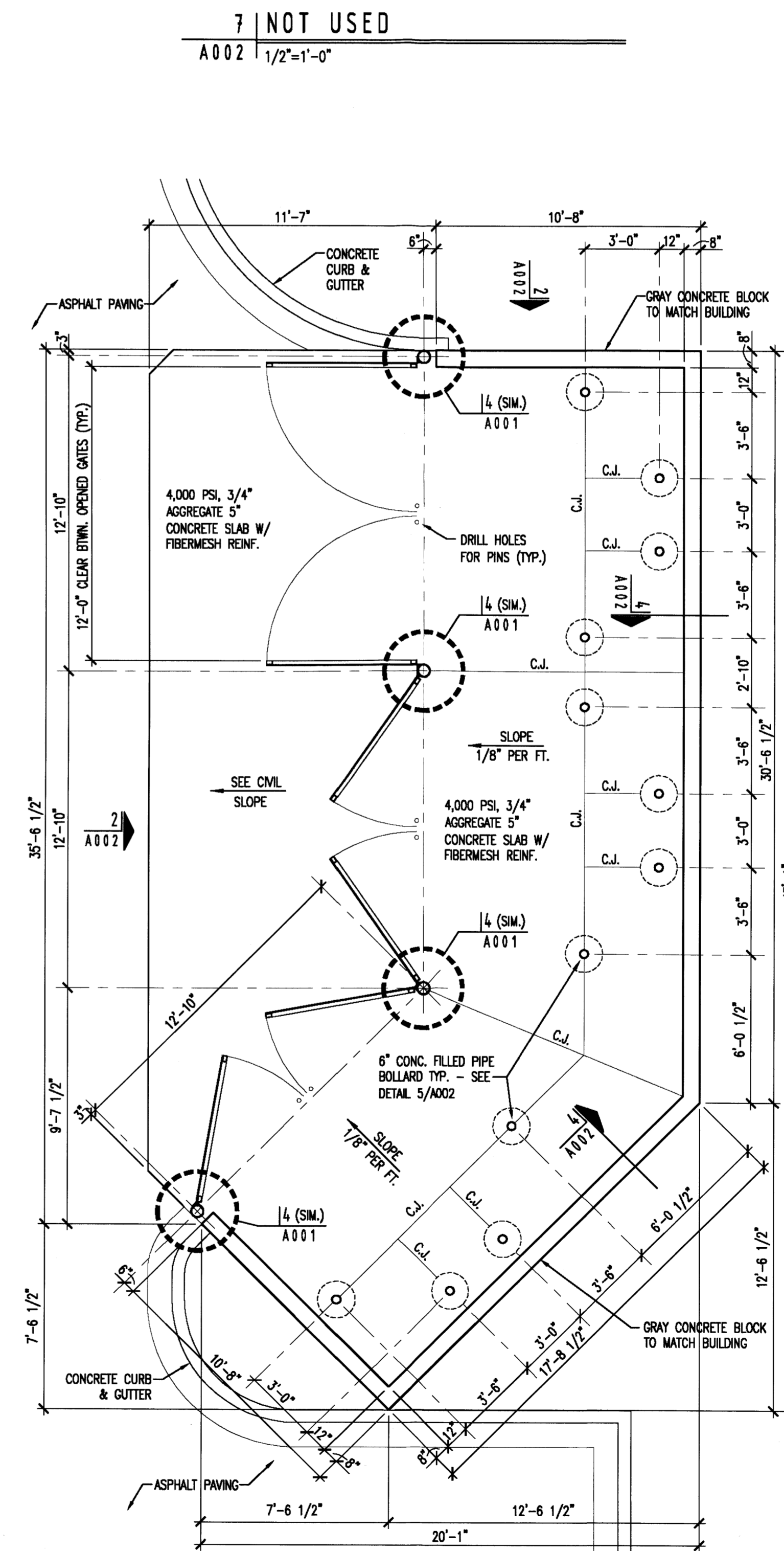
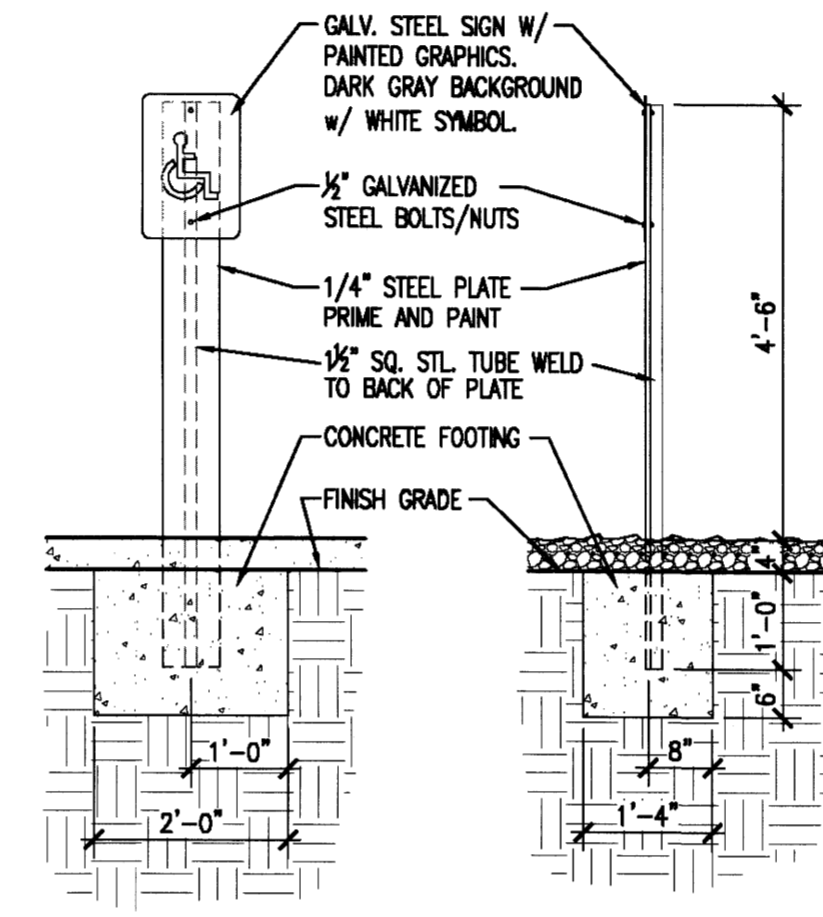
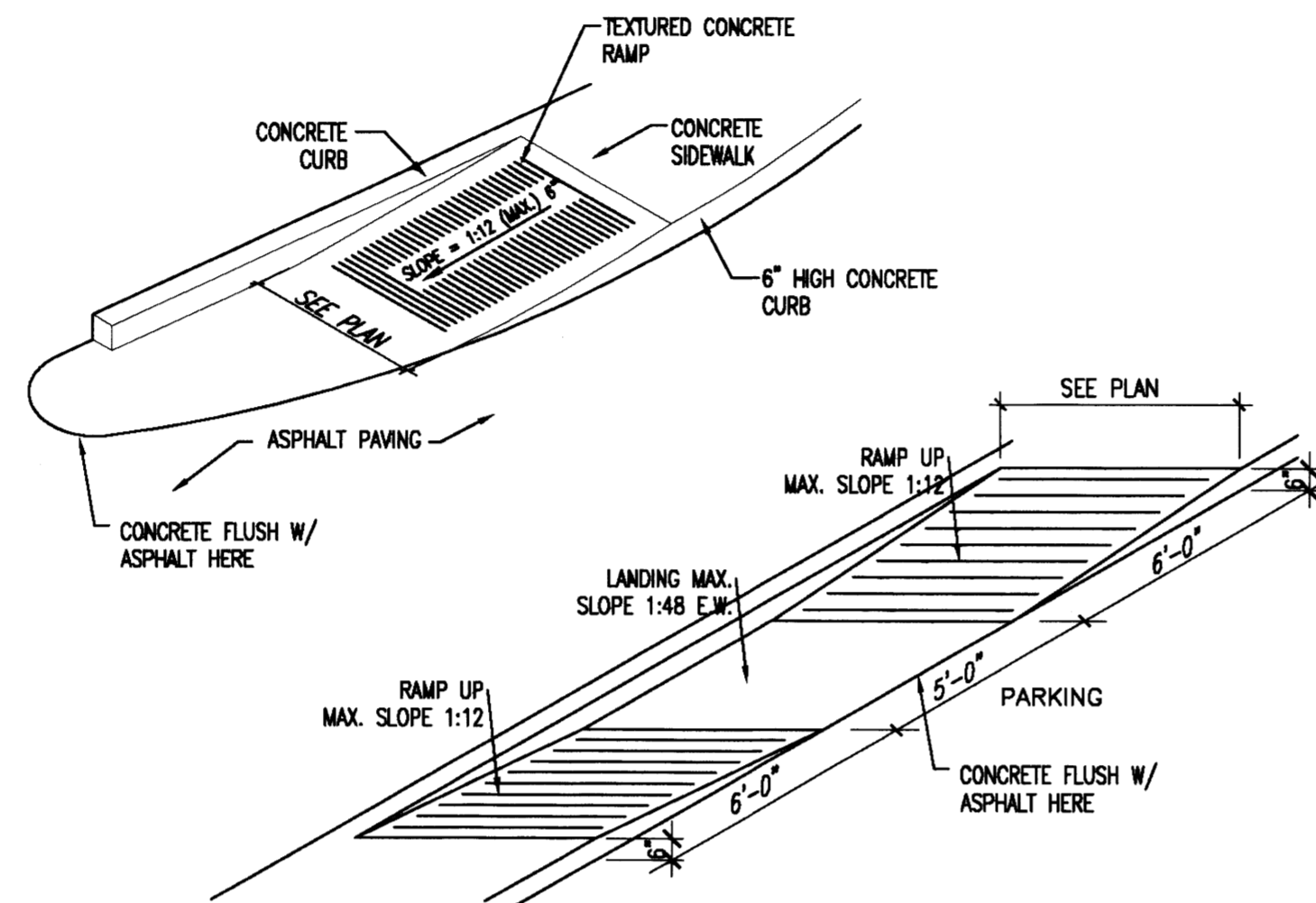
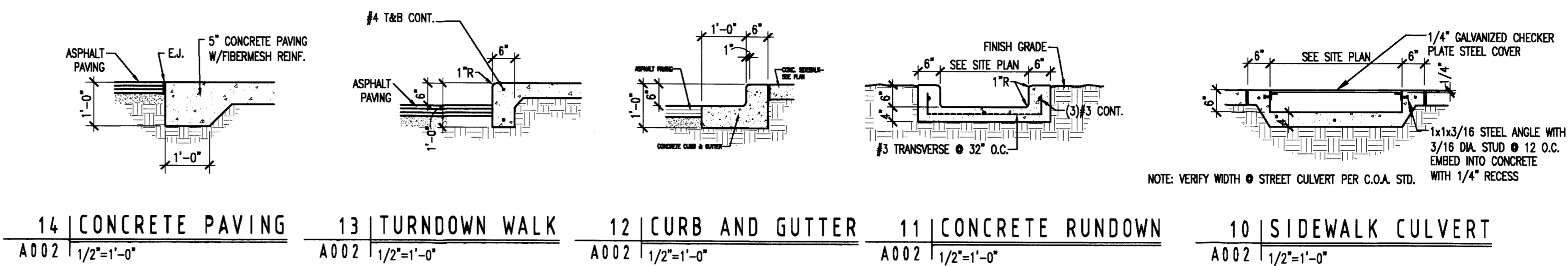
1600 rio grande nw, albuquerque, new mexico 87104  
 505.246.0670  
 fax 505.246.0437  
 slagleherr.com

**SITE PLAN CODE / ZONING DATA**

revisions:

date: 1/8/10  
 sheet: A001

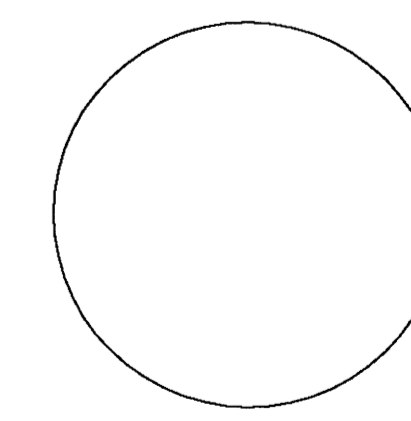




**MECHENBIER**  
CONSTRUCTION INC.  
OFFICE/ WAREHOUSE  
DEVELOPMENT AT  
5454 VENICE AVE. N.E.

**slagle**  
**HERR**  
ARCHITECTS  
1600 RIO GRANDE NW  
ALBUQUERQUE  
NEW MEXICO 87104  
505.246.8877  
fax 505.246.0437  
slagleherr.com

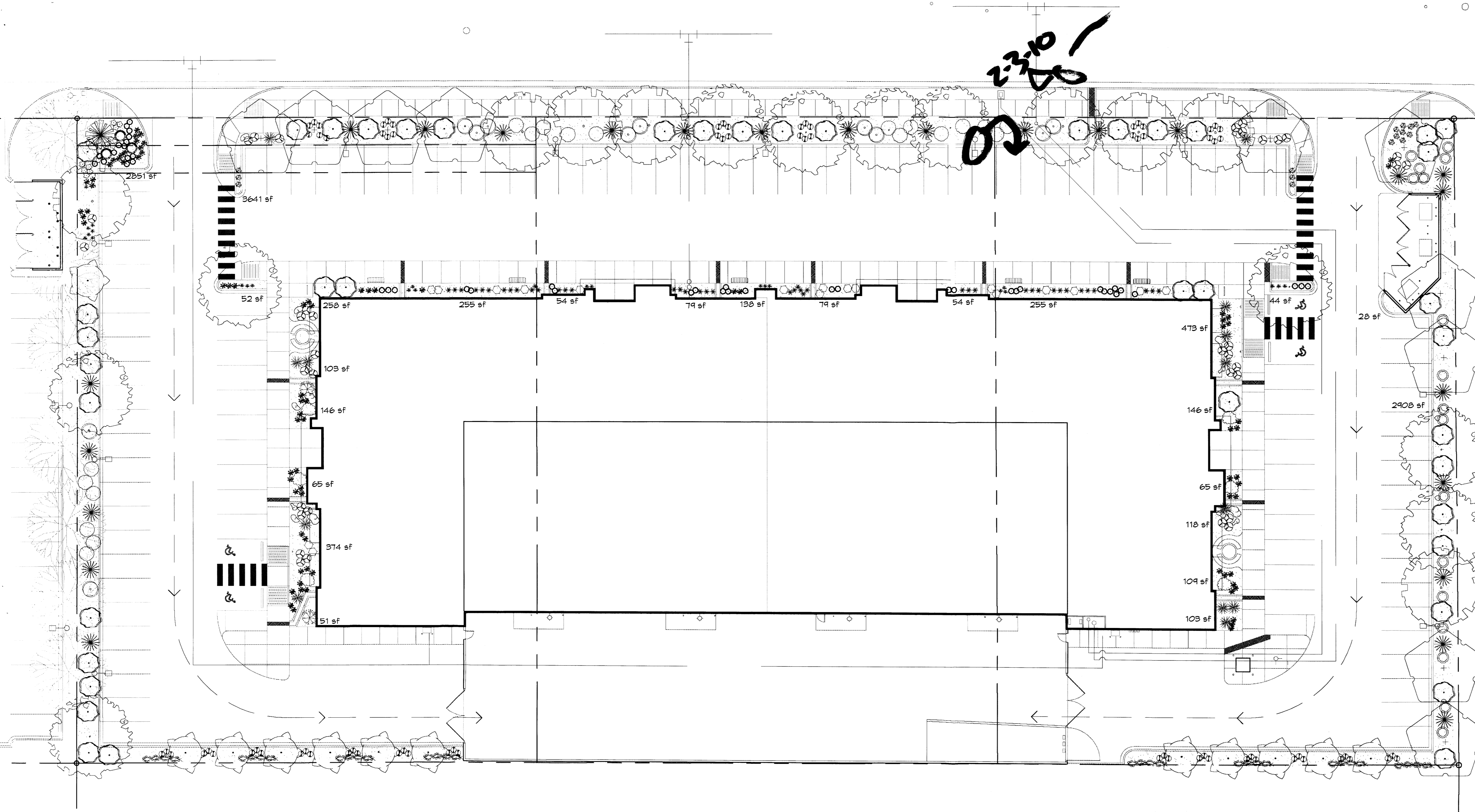
SITE DETAILS



revisions:

date:  
1/8/10  
sheet:

A002



**The Hilltop**

LANDSCAPE ARCHITECTS & CONTRACTORS  
 Cont. Lic. #26458  
 7909 Edith N.E.  
 Albuquerque, NM 87184  
 Ph. (505) 898-9690  
 Fax (505) 898-7737  
 cmj@hilltoplandscaping.com

All creative ideas conceived herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed. All plants shall be sized per American Standard for Nursery Stock.

**MECHENBIER**  
 CONSTRUCTION INC.

OFFICE/WAREHOUSE  
 DEVELOPMENT AT  
 5454 VENICE AVE. N.E.

s l a g l e  
h e r r

**Architects**

1600 Rio Grande NW  
 Albuquerque  
 New Mexico 87104  
 505 246 0870  
 fax 505 246 0437  
 slagleher.com

**PLANT LEGEND**

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

\* DENOTES EVERGREEN PLANT MATERIAL

\* **RED YUCCA 15**  
*Hesperaloe parviflora*  
 5 Gal., 18"-3' Inst./3' x 4' maturity  
 Water (L+) Allergy (L) 16sf

**SHRUBS/ORNAMENTAL TREES**  
 FIFTEEN GAL.

**VITEX 12**  
*Vitex agnus-castus*  
 15 Gal., 10-12' Inst./20' x 20' maturity  
 Water (M) Allergy (L) 225sf

**SHRUBS/ORNAMENTAL GRASSES**  
 FIVE GAL.

**RUSSIAN SAGE 11**  
*Perovskia atriplicifolia*  
 5 Gal., 18"-3' Inst./6' x 6' maturity  
 Water (M) Allergy (L) 36sf

**APACHE PLUME 14**  
*Fallugia paradoxa*  
 5 Gal., 18"-3' Inst./6' x 7' maturity  
 Water (L) Allergy (L) 44sf

**REED GRASS 42**  
*Calamagrostis x acutiflora*  
 5 Gal., 18"-3' Inst./4' x 2' maturity  
 Water (M) Allergy (L) 4sf

**ONE GAL.**  
 \* **POWIS CASTLE SAGE 6**  
*Artemisia X Powis Castle*  
 1 Gal., 6"-15" Inst./2' x 3' maturity  
 Water (L+) Allergy (L) 25sf

\* **TURPENTINE BUSH 17**  
*Ericameria laricifolia*  
 1 Gal., 6"-15" Inst./3' x 4' maturity  
 Water (L+) Allergy (L) 16sf

**AUTUMN SAGE 18**  
*Salvia greggii*  
 1 Gal., 3"-15" Inst./2' x 3' maturity  
 Water (M) Allergy (L) 9sf

**OVERSIZED GRAVEL & 17 BOULDERS**

**SANTA FE BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH**

**EXISTING TREE**

**SMALLER PLANTS**  
**GALLERIA X GRANDIFLORA 1**  
 1 Gal., 3"-15" Inst./3' x 3' maturity  
 Water (M) Allergy (L) 9sf

**CATMINT 45**  
*Nepeta mussini*  
 1 Gal., 3"-15" Inst./1' x 2' maturity  
 Water (M) Allergy (L) 4sf

**DWARF PLUMBAGO 75**  
*Plumbago auriculata*  
 1 Gal., 3"-15" Inst./1' x 2' maturity  
 Water (M) Allergy (L) 4sf

**THREADGRASS 15**  
*Stipa tenuisima*  
 1 Gal., 3"-15" Inst./2' x 2' maturity  
 Water (L+) Allergy (L) 4sf

\* **YELLOW ICEPLANT 80**  
*Delosperma nubigenum*  
 1 Gal., 3" Inst./3' x 2' maturity  
 Water (L+) Allergy (L) 4sf

**POPPY MALLOW 11**  
*Callirhoe involucrata*  
 1 Gal., 3"-15" Inst./2' x 2' maturity  
 Water (L+) Allergy (L) 4sf

**BLUE FESCUE 24**  
*Festuca ovina glauca*  
 1 Gal., 3"-15" Inst./1' x 1' maturity  
 Water (M) Allergy (L) 2sf

**GROUNDCOVERS**  
 \* **GREEN MOUND JUNIPER 42**  
*Juniperus procumbens 'Green Mound'*  
 1 Gal., 6"-15" Inst./8' x 8' maturity  
 Water (L+) Allergy (H) 64sf  
 Symbol indicates 3 plants

**VINES**  
**BOSTON IVY 8**  
*Parthenocissus tricuspidata*  
 1 Gal., 6"-15" Inst./Climbing to 40'  
 Water (M) Allergy (L)

**AUTUMN PURPLE ASH 10**  
*Fraxinus americana*  
 2' Cal., 12-14' Inst./60' x 60' maturity  
 Water (M) Allergy (H) 0sf

**HONEY LOCUST 8**  
*Gleditsia triacanthos*  
 2' Cal., 12-14' Inst./60' x 60' maturity  
 Water (M+) Allergy (L) 0sf

**COMMON HACKBERRY 10**  
*Celtis occidentalis*  
 2' Cal., 12-14' Inst./40' x 40' maturity  
 Water (M) Allergy (L) 0sf

**DESERT ACCENTS**

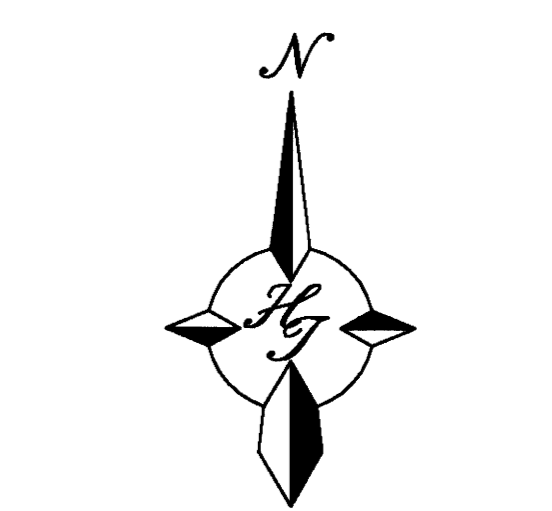
\* **PALM YUCCA 1**  
*Yucca faxonii*  
 4"-8" Inst., 15' x 6' maturity  
 Water (L) Allergy (L) 0sf

\* **BEARGRASS 24**  
*Nolina microcarpa*  
 5 Gal., 18"-3' Inst./3' x 6' maturity  
 Water (L+) Allergy (L) 36sf

\* **MUGO PINE 3**  
*Pinus mugo*  
 5 Gal., 12"-3' Inst./3' x 3' maturity  
 Water (M) Allergy (L) 9sf

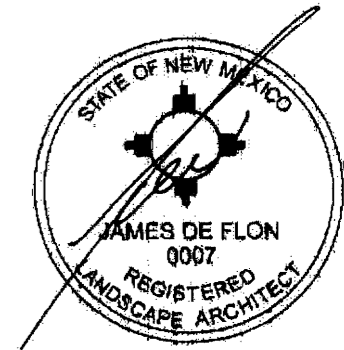
**OCOTILLO 2**  
*Fouquieria splendens*  
 4'-6' Inst./15' x 10' maturity  
 Water (L) Allergy (L) 0sf

SEE SHEET L2 FOR NOTES, DETAILS AND CALCULATIONS



GRAPHIC SCALE

SCALE: 1"=20'



1/8/10

revisions:  
 1/11-30-09 cmj  
 2/1-8-10 cmj

date:

1/8/10

sheet:

L1 of L2



**LANDSCAPE NOTES:**

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

**STREET TREE REQUIREMENTS - Minimum 2" Caliper**

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: Venice NE  
Required # 16 Provided # 15

**PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper**

Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

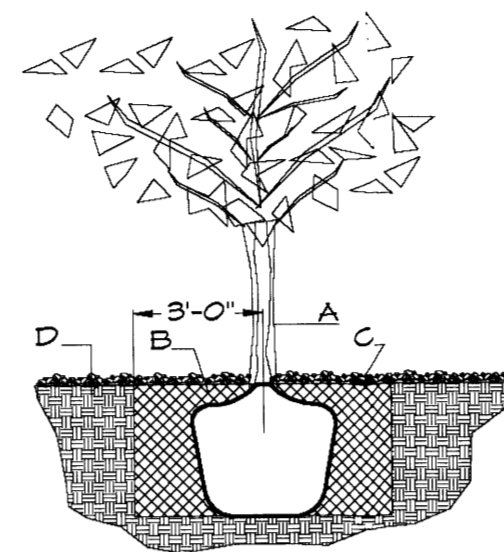
1 Shade tree per 10 spaces  
Required # 13 Provided # 13

**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA	115826	square feet
TOTAL BUILDINGS AREA	37608	square feet
NET LOT AREA	78218	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	11732	square feet
TOTAL BED PROVIDED	12449	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	9336	square feet
TOTAL GROUND COVER PROVIDED	9881 (77%)	square feet
TOTAL SOD AREA	0	square feet
(max. 20% of landscape required)		
TOTAL LANDSCAPE PROVIDED	12449 (15.9%)	square feet

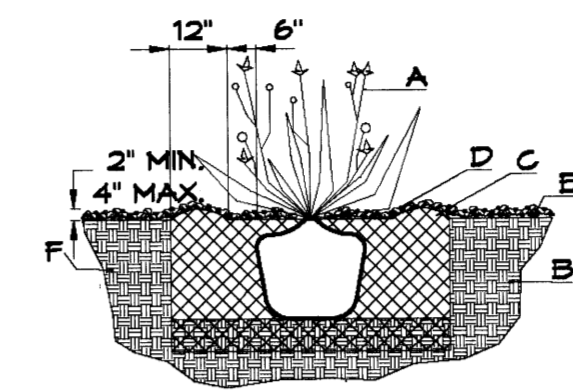
**NOTE TO CLIENT:**

Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



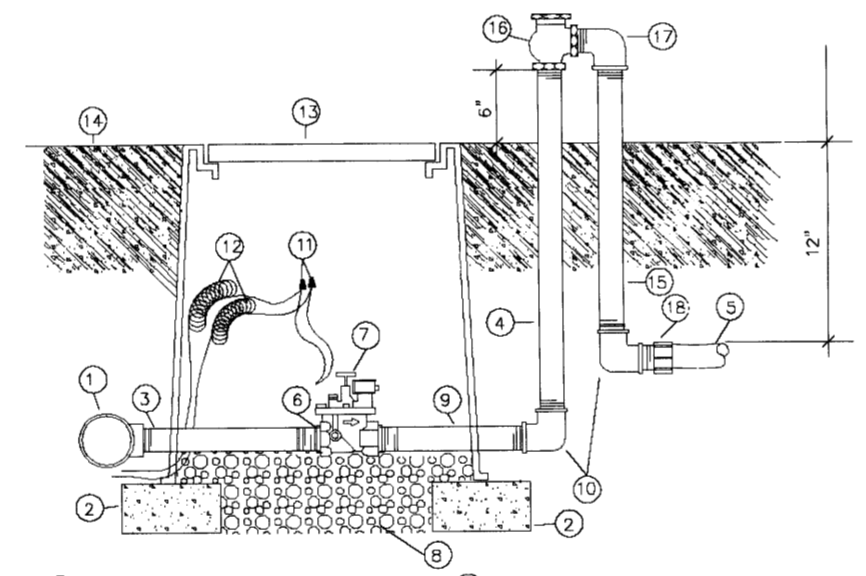
**TREE PLANTING DETAIL**

- NTS  
GENERAL NOTES:  
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.  
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.  
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.  
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.  
CONSTRUCTION NOTES:  
A. TREE  
B. BACKFILL WITH EXISTING SOIL.  
C. 3" DEPTH OF GRAVEL MULCH.  
D. UNDISTURBED SOIL.



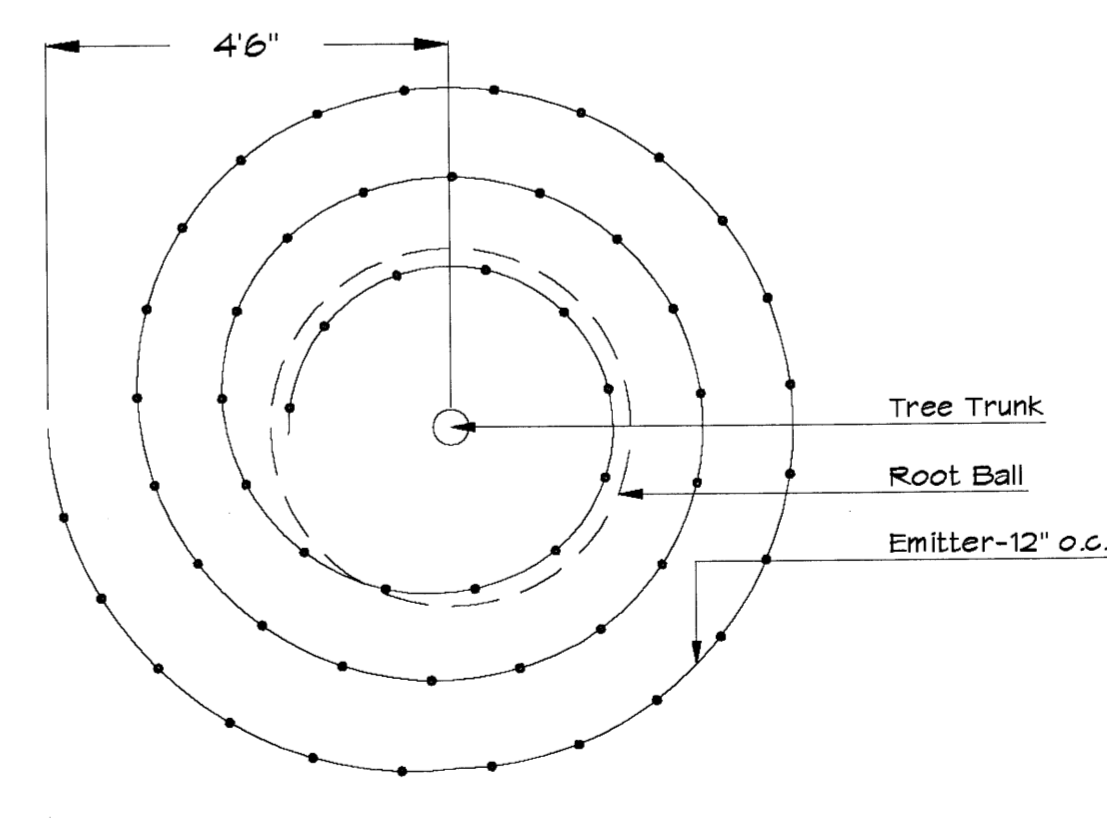
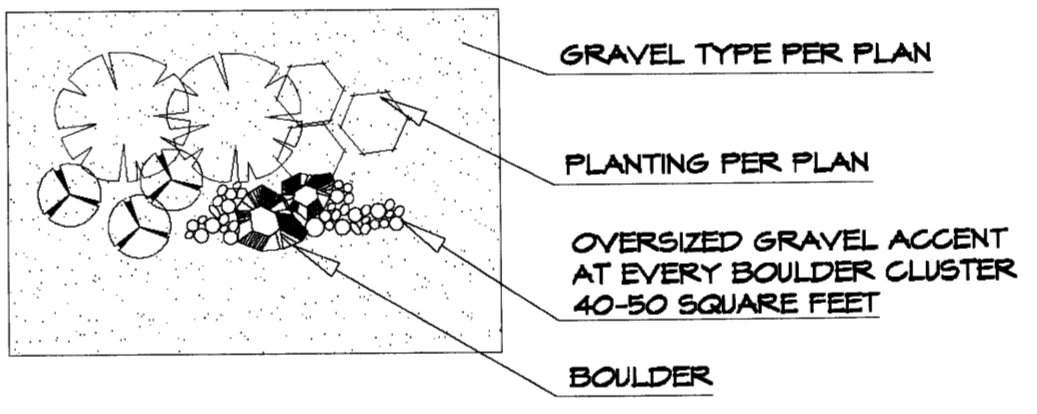
**SHRUB PLANTING DETAIL**

- NTS  
GENERAL NOTES:  
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.  
CONSTRUCTION NOTES:  
A. SHRUB.  
B. BACKFILL WITH EXISTING SOIL.  
C. EARTH BERM AROUND WATER RETENTION BASIN.  
D. 3" DEPTH OF GRAVEL MULCH.  
E. FINISH GRADE.  
F. UNDISTURBED SOIL.



- 1 MAINLINE FITTING  
2 CMU BLOCK  
3 GALVANIZED NIPPLE  
4 24" TO 36" GALVANIZED NIPPLE  
5 LATERAL PIPE  
6 REDUCER BUSHING  
7 AUTOMATIC VALVE (SEE LEGEND)  
8 GRAVEL  
9 GALVANIZED NIPPLE  
10 GALVANIZED ELBOW  
11 WATERPROOF WIRE CONNECTOR WIRE EXPANSION LOOPS  
12 VALVE BOX  
13 FINISH GRADE  
14 GALVANIZED NIPPLE - 18" TO 24" LENGTH  
15 ATMOSPHERIC VACUUM BREAKER  
16 GALVANIZED STREET E.L. TOE NIPPLE OR MALE ADAPTER  
AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER  
NTS

**GRAVEL ACCENT DETAIL**



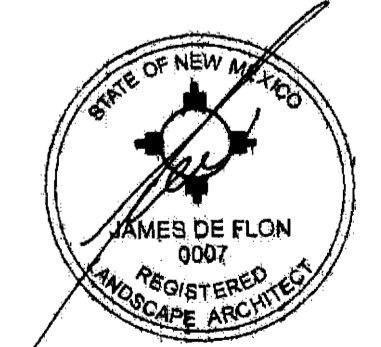
**Netafim Spiral Detail**

**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS  
Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
cmj@hilltoplandscaping.com  
All creative ideas conceived herein remains the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be reprinted or copied unless applicable fees have been paid or written permission. All plans shall be used per American Standard for Nursery Stock.

**MECHENBIER**  
CONSTRUCTION INC  
OFFICE/WAREHOUSE  
DEVELOPMENT AT  
5454 VENICE AVE. N.E.

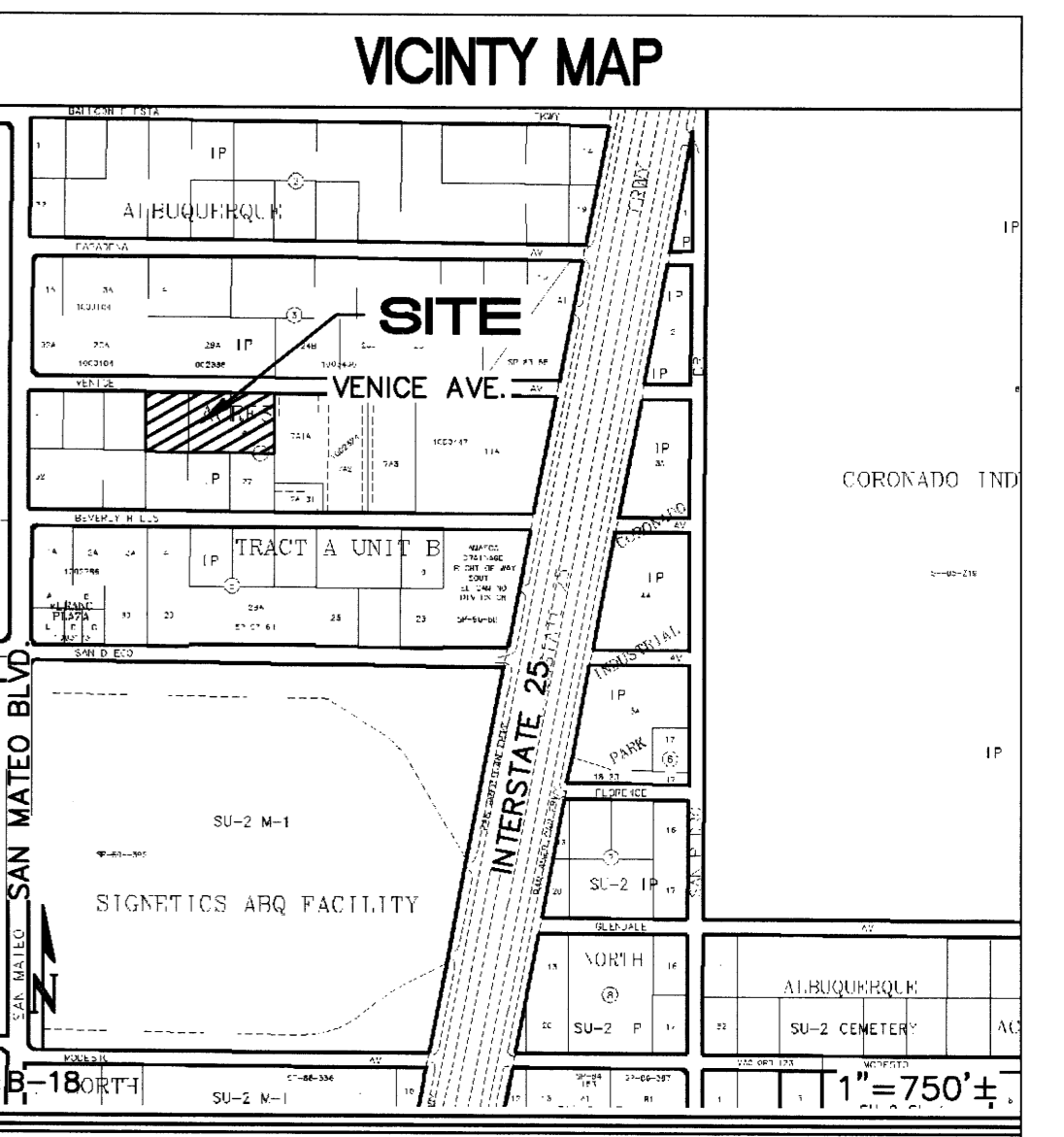
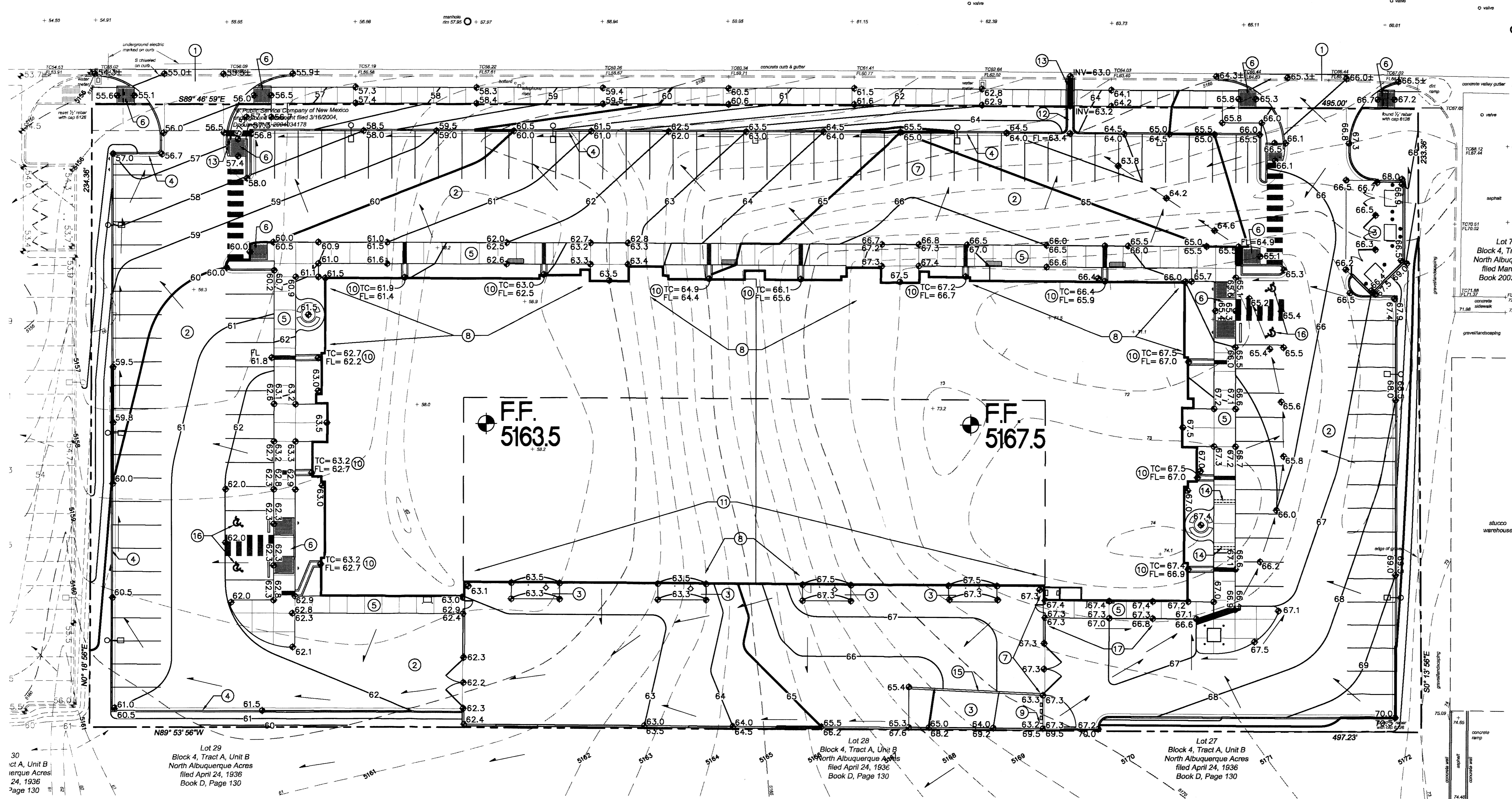
S L A G L E  
H E R R

**Architects**  
1600 Rio Grande NW  
Albuquerque  
New Mexico 87104  
505 246 0870  
fax 505 246 0437  
slagleherr.com



1/8/10  
revisions:  
1/11-30-09 cmj  
2/1-8-10 cmj

date:  
1/8/10  
sheet:



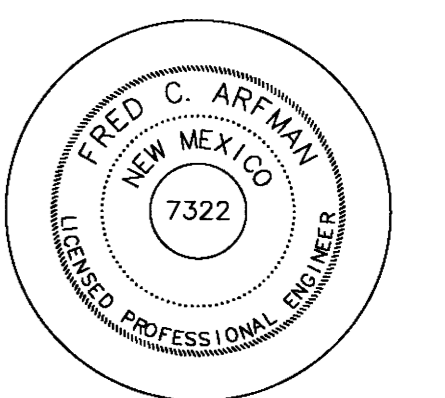
**LEGEND**

- EXISTING CONTOUR
- PROPOSED CONTOUR
- 55.5 PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 67.5 FINISH FLOOR ELEVATION
- FL=54.0 FLOWLINE ELEVATION
- INV=72.5 INVERT ELEVATION
- TW=57.5 TOP OF RETAINING WALL ELEVATION

**MECHENBIER**  
CONSTRUCTION INC.  
OFFICE/ WAREHOUSE  
DEVELOPMENT AT  
5454 VENUE AVE. N.E.

S I A G L I E  
**H E R R**

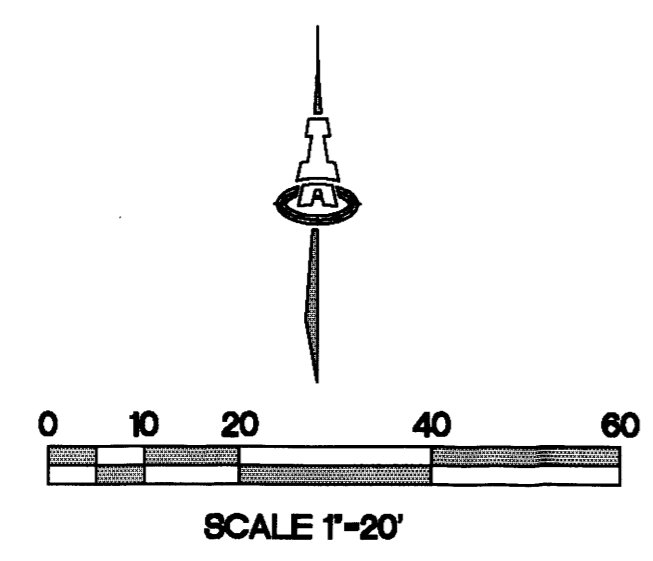
1600 riograndenw  
albuquerque  
new mexico 87104  
fax 505 246 0437



revisions:

date: 01/08/10  
sheet:

CG-101



**KEYED NOTES**

1. CONSTRUCT SITE ENTRANCE PER C.O.A. STANDARDS. MATCH EXISTING FLOWLINE ELEVATIONS TO PROVIDE A SMOOTH RIDING TRANSITION. CONSTRUCT CONCRETE VALLEY GUTTER / HANDICAP RAMPS (PER C.O.A. STD. DWG. 2426) MATCHING EXISTING TOP OF WALK / FLOWLINE ELEVATIONS. TRANSITION CURB HEIGHT FROM 8" TO 6" OVER LENGTH OF RADIUS. SEE ARCHITECTURAL FOR DIMENSIONS / DETAILS / DEMOLITION OF EXISTING CURBS.
2. PROPOSED ASPHALT PAVING. SEE ARCHITECTURAL FOR SECTIONS, PARKING LAYOUT, DIMENSIONS, STRIPING, ETC.
3. PROPOSED CONCRETE PAVING. SEE ARCHITECTURAL FOR JOINT INFORMATION, DIMENSIONS, ETC.
4. CONSTRUCT 6" HIGH MEDIAN CURB AND GUTTER AT ALL ON-SITE LOCATIONS. SEE SHEET CG-102 FOR DETAIL.
5. CONSTRUCT TURNED DOWN CONCRETE WALK THIS AREA. SEE ARCHITECTURAL FOR DETAIL.
6. CONSTRUCT ADA ACCESS RAMP. SEE ARCHITECTURAL FOR RAMP LOCATIONS / DIMENSIONS AND ADDITIONAL INFORMATION.
7. PAVING HIGH POINT THIS AREA.
8. CONSTRUCT STEM WALL TRANSITIONS AS REQUIRED TO ACHIEVE GRADE DIFFERENCES SHOWN. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION (DESIGN BY OTHERS).
9. CONSTRUCT LOADING DOCK SUMP PUMP INLET THIS AREA. SEE DETAIL SHEET CG-102. NOTE: ELECTRICITY REQUIRED. SEE ARCHITECTURAL.
10. ROOF FLOW TO NORTH, EAST AND WEST TO BE PASSED TO ASPHALT PAVEMENT VIA 'U' SHAPED CONCRETE CHANNEL WITH COVERED SIDEWALK CULVERT. FLOWLINE ELEVATION (FL) AND TOP OF CHANNEL CURB (TC) AT BUILDING SHOWN. MINIMUM SLOPE = 1% TO ASPHALT.
11. ROOF FLOW TO SOUTH SIDE TO BE COLLECTED AND RELEASED DIRECTLY TO PAVEMENT. SEE ARCHITECTURAL FOR SPECIFIC OUTFALL POINTS.
12. CONSTRUCT 2' WIDE (BOTTOM WIDTH) 'U' SHAPED CONCRETE RUNDOWN WITH 2' CURB RADI TO PASS FLOW. SEE SHEET CG-102 FOR DETAIL.
13. CONSTRUCT 2' WIDE (BOTTOM WIDTH) COVERED SIDEWALK CULVERT PER C.O.A. STD. DWG. 2236 TO PASS FLOW. SLOPE = 2%. SEPARATE PERMIT REQUIRED FOR CONSTRUCTION WITHIN PUBLIC R.O.W. (SEE S.O.19 NOTICE THIS SHEET).
14. INSTALL TWO 2 IN. PIPES THROUGH WALK THIS AREA TO PASS FLOW TO PAVEMENT.
15. DOCK RETAINING WALL. DESIGN BY OTHERS.
16. CONSTRUCT HC PAVING PAVEMENT TO ADA STANDARDS. MAX. 2% SLOPE IN ANY DIRECTION.
17. TRANSITION ASPHALT / CONCRETE WALK RELATIONSHIP (0" TO 6") AT ELEVATIONS SHOWN TO MAINTAIN POSITIVE DRAINAGE TO SIDEWALK CULVERT.

**S.O.19 : NOTICE TO CONTRACTORS**

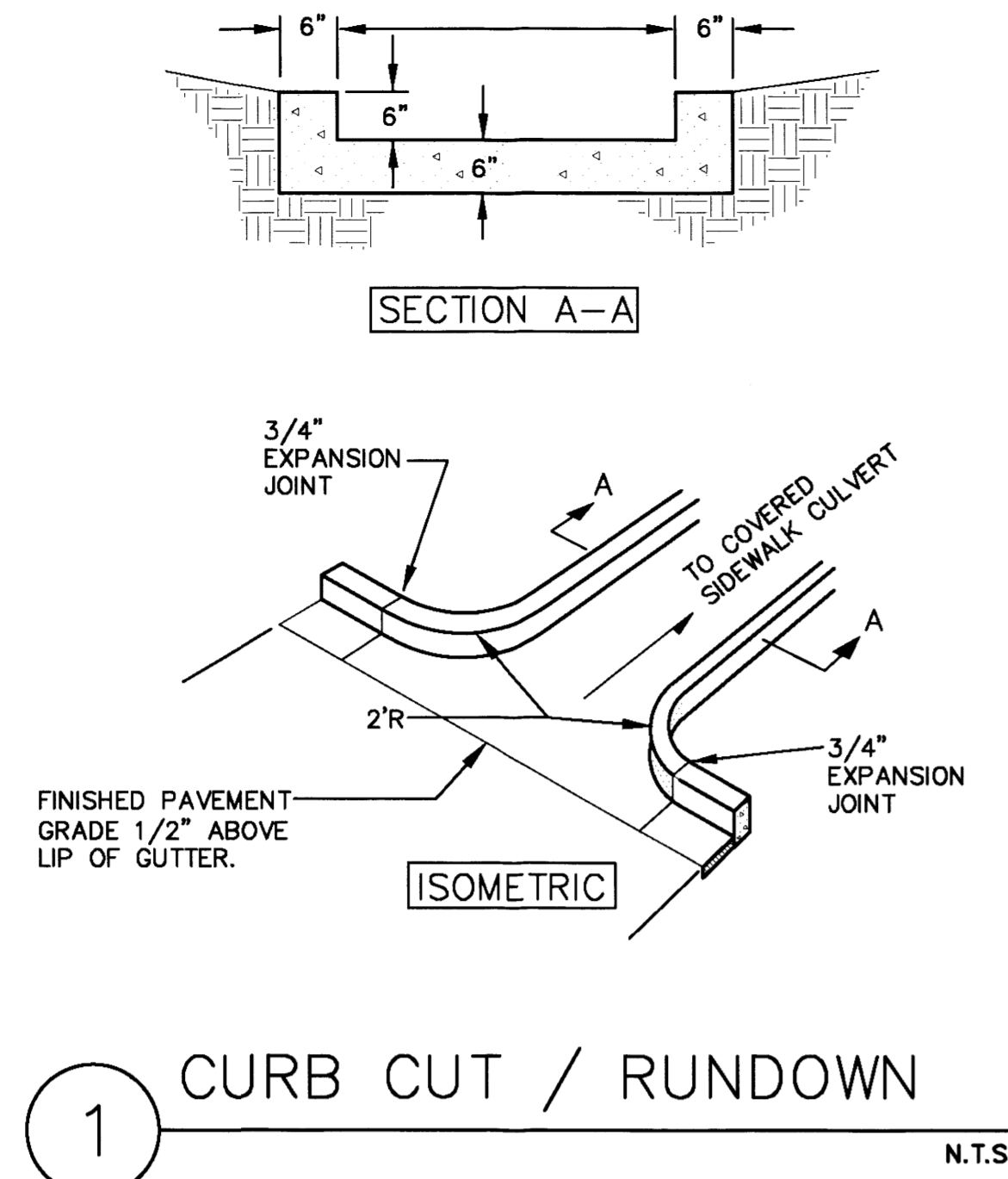
1. AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1988 EDITION AS REVISED THROUGH UPDATE #7 AMENDMENT 1.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC / STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

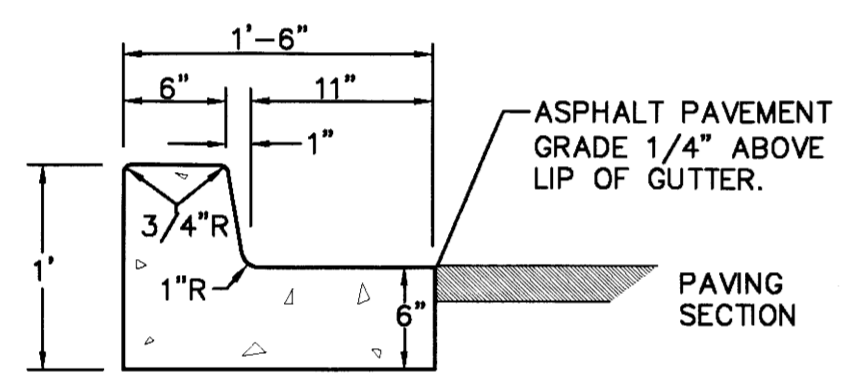
**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 Fax. 505-268-2632  
1745 CG-101.dwg Jan 07,2010

**GRADING AND DRAINAGE PLAN**



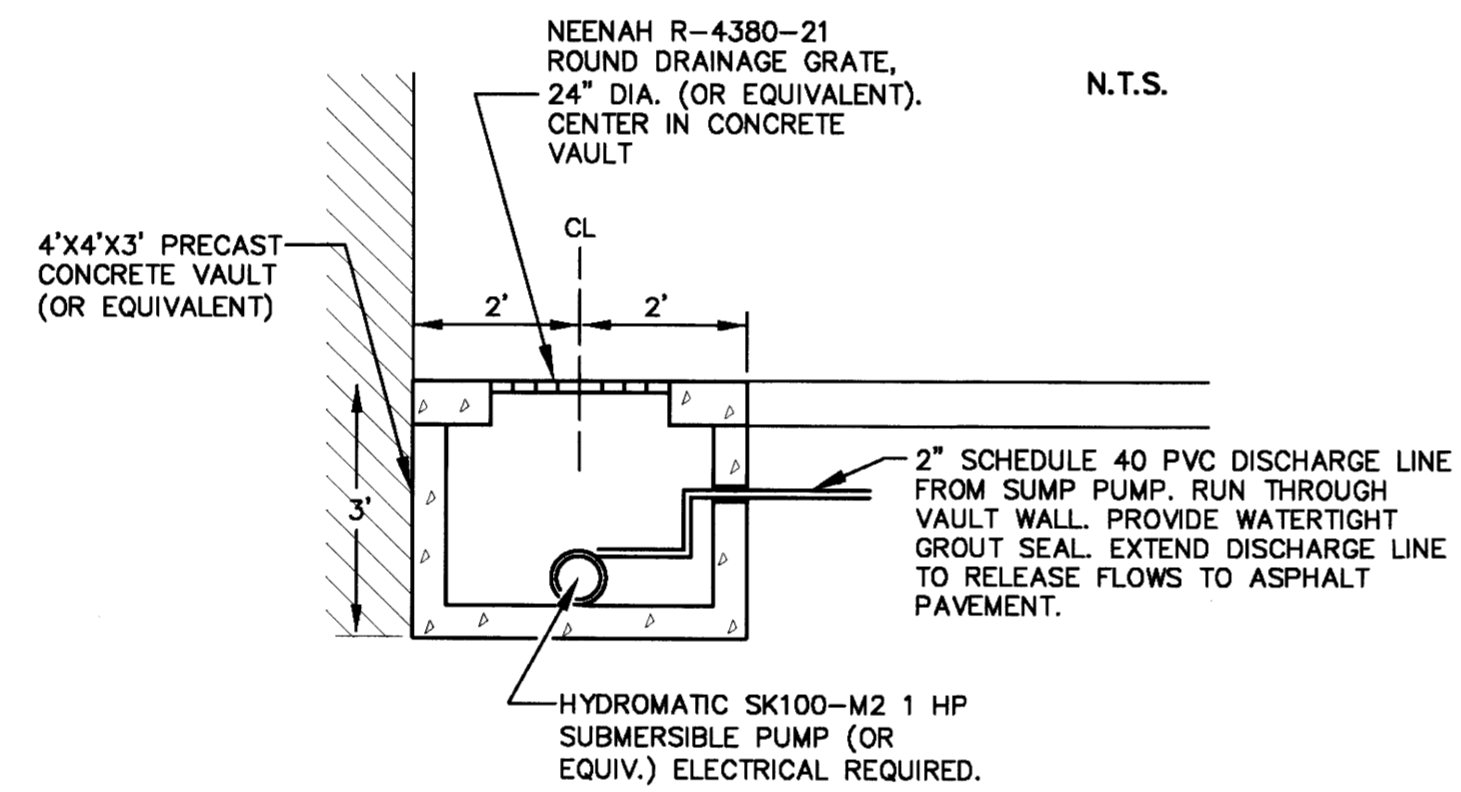


1 CURB CUT / RUNDOWN N.T.S.



- GENERAL NOTES
- PROVIDE CONST. CONTROL JOINTS @ 6' O.C. MAX. AND 1/2" EXPANSION JOINTS @ 48' O.C. MAX
  - EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL
  - MEDIAN C & G REQUIRE FULL FORM ON ALL FACES

2 MEDIAN CURB AND GUTTER N.T.S.



3 LOADING DOCK SUMP PUMP N.T.S.

EROSION CONTROL NOTES	PROJECT NOTES	GENERAL NOTES
<p>A. ALL COBBLE EROSION PROTECTION TO BE 6" AVG. DIA. ANGULAR FACED ROCK OVER PERMANENT EROSION CONTROL MATERIAL.</p> <p>B. OWNER SHALL INSPECT AND MAINTAIN DRAINAGE AND WATER HARVESTING IMPROVEMENTS ON AN ON-GOING BASIS. IN ADDITION, OWNER SHALL INSTALL / MAINTAIN ADDITIONAL EROSION PROTECTION ELEMENTS BASED ON ACTUAL EROSION PATTERNS WHICH DEVELOP OVER TIME.</p> <p>C. ALL DRAINAGE IMPROVEMENTS SHOWN ON THE APPROVED GRADING AND DRAINAGE PLAN MUST BE COMPLETED BEFORE AN ENGINEER'S CERTIFICATION CAN BE ISSUED.</p>	<p>PROPERTY: THE SITE IS A 2.7 ACRE UNDEVELOPED COMMERCIAL PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP B-18. THE SITE IS BOUND TO THE EAST, WEST AND SOUTH BY DEVELOPED COMMERCIAL PROPERTIES AND TO THE NORTH BY VENICE BLVD.</p> <p>PROPOSED IMPROVEMENTS: INCLUDE APPROX. 39,100 SF COMMERCIAL BUILDING WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, AND LANDSCAPING.</p> <p>LEGAL: LOTS NUMBERED FOUR (4), FIVE (5), AND SIX (6) IN BLOCK NUMBERED FOUR (4), OF TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 24, 1936 IN PLAT BOOK D, FOLIO 130.</p> <p>BENCHMARK: CITY OF ALBUQUERQUE 6-817. AN ALUMINUM DISK ON CONCRETE CURB, WNW QUADRANT OF SAN MATEO BLVD. NE &amp; SAN DIEGO AVE. NE ELEVATION: 5153.322 NAVD88.</p> <p>OFF-SITE: SITE NOT AFFECTED BY OFF-SITE DRAINAGE</p> <p>FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #129, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.</p> <p>DRAINAGE PLAN CONCEPT: ALL SITE FLOW WILL FREE DISCHARGE TO THE ADJACENT PUBLIC STREET. DISCHARGE TO VENICE BLVD. WILL CONTINUE WEST A SHORT DISTANCE AND ENTER THE EXISTING STORM DRAIN SYSTEM.</p> <p>FORMER LANDFILL: THE SUBJECT PROPERTY IS LOCATED ON A FORMER LANDFILL. CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE INTERIM GUIDELINES FOR DEVELOPMENT WITHIN CITY DESIGNATED LANDFILL BUFFER ZONES) SHALL BE CONSULTED.</p>	<p>A. ALL TRASH, DEBRIS, &amp; SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.</p> <p>B. ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.</p> <p>C. FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS MATERIAL THICKNESSES.</p> <p>D. MAXIMUM SLOPES SHALL BE 3:1 AND MINIMUM SLOPES SHALL BE 1% UNLESS OTHERWISE NOTED.</p> <p>E. FIVE (5) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990, FOR LOCATION OF EXISTING UTILITIES. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.</p> <p>F. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT / ENGINEER AND VERIFY THE ARCHITECT / ENGINEER'S INTENT BEFORE PROCEEDING.</p> <p>G. OWNER HAS ESTABLISHED PROPERTY BOUNDARY CORNERS. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT CONTRACTOR'S SOLE EXPENSE.</p> <p>H. OWNER WILL PROVIDE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND INSPECTION. CONTRACTOR SHALL COMPLY WITH THE BEST MANAGEMENT PRACTICES (BMP'S) AS SPECIFIED IN THE SWPPP, AND WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS.</p> <p>I. COORDINATE WORK WITH SITE PLAN, UTILITY PLAN AND LANDSCAPE PLAN.</p> <p>J. ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES, TYPICAL.</p> <p>K. ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS TO DRAIN TOWARD EXISTING AND / OR PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS MATCH-OR "±", TRANSITIONS SHALL BE SMOOTH AND LEVEL. ANY NEW PAVING SURFACE HOLDING WATER (BIRDBATH) SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S SOLE EXPENSE.</p> <p>L. ALL AREAS REFERENCING EROSION PROTECTION SHALL BE 6" AVG. DIA. FRACTURED FACE ROCK (F.F. ROCK) PLACED OVER GEOTEX 50 NON-WOVEN GEOTEXTILE.</p> <p>M. SIDESLOPES STEEPER THAN 3:1 BUT LESS THAN 2:1 MUST HAVE PERMANENT EROSION CONTROL (FRACTURED FACE ROCK [F.F. ROCK] INSTALLED. NO SLOPE SHALL BE STEEPER THAN 2:1.</p> <p>N. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE RESEDED WITH NATIVE GRASS PER C.O.A. SPECIFICATIONS SECTION 1012 (FOR SANDY SOILS) OR AS SPECIFIED ON THE LANDSCAPE PLAN.</p> <p>O. OWNER SHALL MAINTAIN EROSION PROTECTION ELEMENTS. OWNER SHALL INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.</p>

### CALCULATIONS

Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

ON-SITE:		DEVELOPED FLOWS:		EXCESS PRECIP:	
AREA OF SITE:	116017.75 SF = 2.7	Area A =	Treatment SF %	Area B =	Treatment SF %
HISTORIC FLOWS:		Area A =	0 0%	Area B =	5801 5%
		Area C =	116017.75 100%	Area C =	11602 10%
		Area D =	0 0%	Area D =	98615 85%
		Total Area =	116017.75 100%	Total Area =	116017.75 100%

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)

Weighted E =  $\frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$

Historic E = 1.29 in. | Developed E = 2.18 in.

On-Site Volume of Runoff:  $V_{360} = \frac{E \cdot A}{12}$

Historic  $V_{360} = 12472$  CF | Developed  $V_{360} = 21086$  CF

On-Site Peak Discharge Rate:  $Q_p = \frac{Q_{pA} A_A + Q_{pB} A_B + Q_{pC} A_C + Q_{pD} A_D}{43.560}$

For Precipitation Zone 3

$Q_{pA} = 1.87$  |  $Q_{pB} = 2.60$  |  $Q_{pC} = 3.45$  |  $Q_{pD} = 5.02$

Historic  $Q_p = 9.2$  CFS | Developed  $Q_p = 12.6$  CFS

ALL SITE DISCHARGE WILL FREE DISCHARGE TO VENICE AVE. ALL DISCHARGE WILL ENTER THE EXISTING PUBLIC STORM DRAIN SYSTEM.

#### BASIN 1 CULVERT EQUATION

**CURB OPENING CAPACITY CALCULATION**

Weir equation:  $Q = CLH^{3/2}$

Constant C = 3.33

Curb height H = 0.5 feet

Opening Length L = 2.00 feet

**Q = 2.4 cfs**

---

#### BASIN 2 CULVERT EQUATION

**CURB OPENING CAPACITY CALCULATION**

Weir equation:  $Q = CLH^{3/2}$

Constant C = 3.33

Curb height H = 0.5 feet

Opening Length L = 6.00 feet

**Q = 7.1 cfs**

#### CULVERT BASINS

BASIN NO.	DESCRIPTION	Area of basin flows =	SF	Ac
1		21422		0.5
2		33798		0.8

The following calculations are based on Treatment areas as shown in table to the right

LAND TREATMENT	A =	B =	C =	D =
Basin 1	0%	5%	10%	85%
Basin 2	0%	5%	10%	85%

Sub-basin Weighted Excess Precipitation (see formula above)

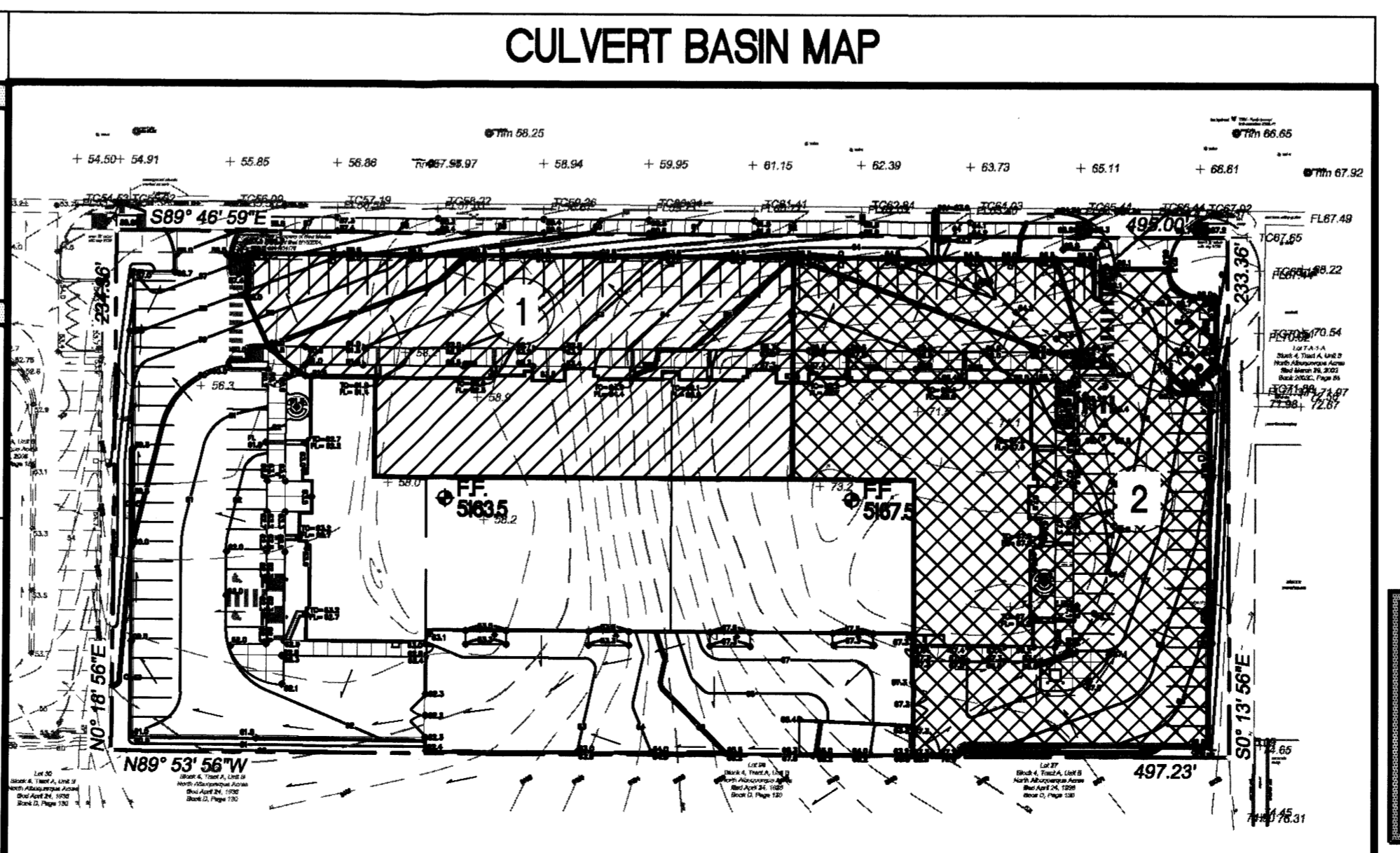
Weighted E = 2.18 in.

Sub-basin Volume of Runoff (see formula above)

$V_{360} = 3893$  CF

Sub-basin Peak Discharge Rate: (see formula above)

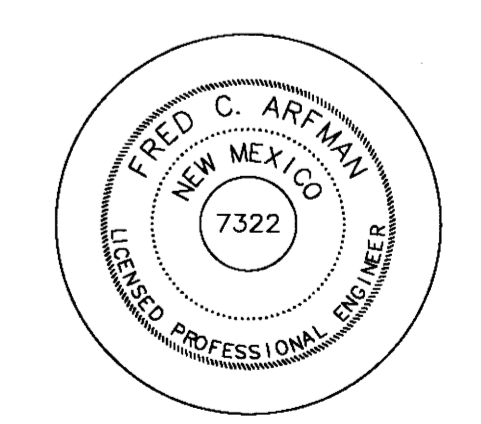
$Q_p = 2.3$  cfs



**MECHENBIER**  
CONSTRUCTION INC.

OFFICE/ WAREHOUSE  
DEVELOPMENT AT  
5454 VENICE AVE. N.E.

1600 rio grande nw  
albuquerque  
new mexico 87104  
fax 505 246 0437



**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates

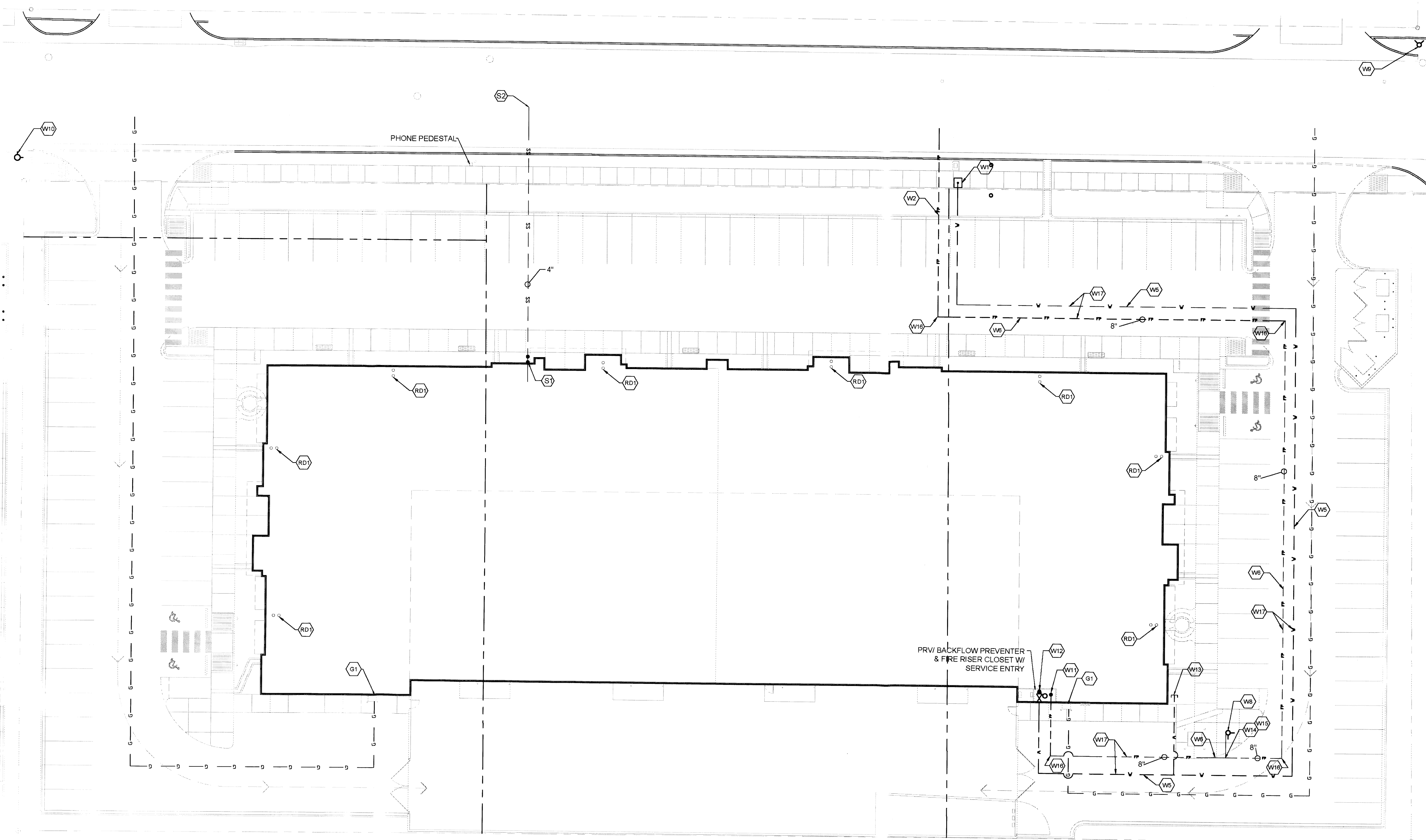
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 Fax. 505-268-2632  
1745 CG-101.dwg Jan 07,2010

GENERAL NOTES:

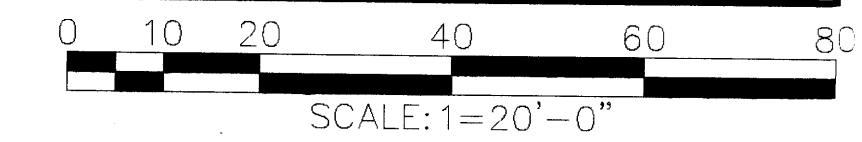
- A. ALL UTILITY TRENCHES TO BE COMPACTED TO 95% MINIMUM AND TESTED AT A MAXIMUM OF TWELVE INCH (12") VERTICAL LIFTS.

KEYED NOTES:

- W1. EXISTING 1" DOUBLE WATER METER SERVICE. CONNECT TO EXISTING WATER METER AT WEST SERVICE STUB.
- W2. CONNECT TO EXISTING 8" WATER LINE STUBBED INTO LOT FOR FIRE HYDRANT AND BUILDING FIRE PROTECTION SYSTEM.
- W3. NOT USED.
- W4. NOT USED.
- W5. 1/2" "WRSBOWAQUAPIX".
- W6. FIRE PROTECTION LINE SIZED AS NOTED ON PLAN.
- W7. NOT USED.
- W8. INSTALL NEW PRIVATE FIRE HYDRANT PER COA STANDARDS.
- W9. EXISTING FIRE HYDRANT.
- W10. PROPOSED FIRE HYDRANT.
- W11. 8" STUB 1' A.F.F. FOR FIRE SPRINKLERS 2" INSIDE OF BOTH WALLS.
- W12. INSTALL REDUCED PRESSURE BACKFLOW PREVENTER (WATTS #909 O.A.E.) @ POTABLE WATER SERVICE WITH A 3" DRAIN TO OUTSIDE.
- W13. 1 1/4" X 1 1/4" X 1" TEE @ MAIN. TERMINATE SPRINKLER STUB WITH A 1" FIP ADP. PLUGGED. LANDSCAPE CONTRACTOR TO INSTALL A VACUUM BREAKER ON IRRIGATION LINE. WATTS SERIES 188A.
- W14. 8" X 8" X 6" TEE WITH 6" STUB TO FIRE HYDRANT.
- W15. 6" STUB TO FIRE HYDRANT.
- W16. 8" 90 DEGREE ELBOW WITH THRUST BLOCK.
- W17. MINIMUM OF FIVE FOOT (5'-0") SEPARATION.
- S1. 4" 2-WAY SANITARY CLEANOUT.
- S2. CONNECT TO EXISTING 4" SANITARY SEWER STUBBED INTO SITE.
- G1. GAS METERS, 1 OF 2 TOTAL LOCATIONS. FOUR (4) METERS AT EACH LOCATION FOR A TOTAL OF EIGHT (8) METERS.
- RD1. ROUTE 4" ROOF DRAIN AND OVERFLOW TO SIDEWALK CULVERT, TYPICAL AT 8 LOCATIONS. REFER TO ARCHITECTURAL.



A PLUMBING SITE PLAN  
SCALE = 1" = 20'-0"



PLUMBING SITE PLAN



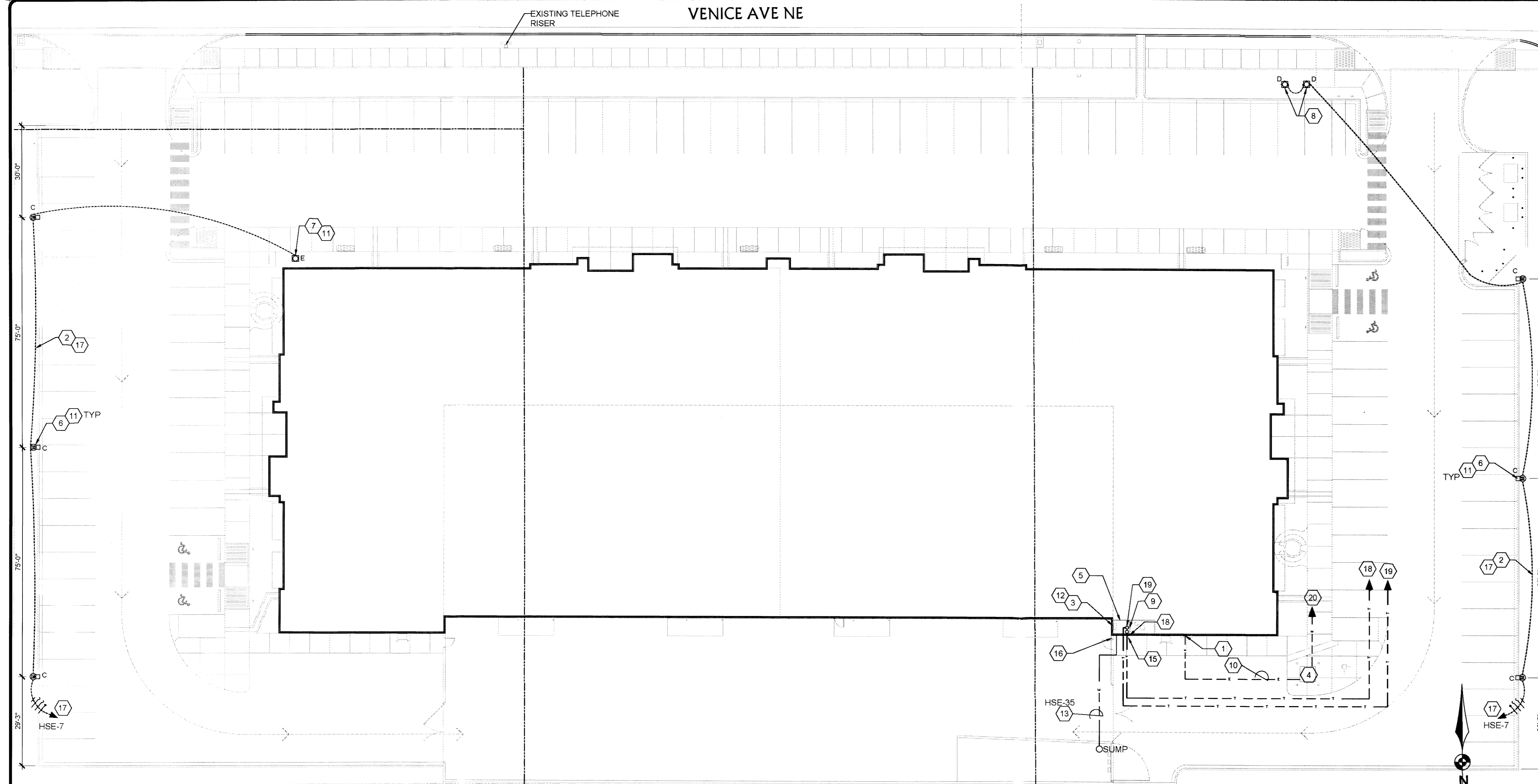
REVISIONS:

SCALE:  
SEE PLAN  
PLAN DATE:  
JAN 8, 2010  
FILENAME:  
ELEC SITE  
DRAWN BY:  
L. KUENN

OFFICE/WAREHOUSE SPEC  
5454 VENICE AVE NE  
ALBUQUERQUE, NEW MEXICO 87113

MECHENBER  
CONSTRUCTION INC.  
8800 WASHINGTON BLVD SUITE A  
ALBUQUERQUE, NM 87120  
OFFICE: (505) 347-7700  
FAX: (505) 347-7774  
WWW.MECHENBER.COM

VENICE AVE NE

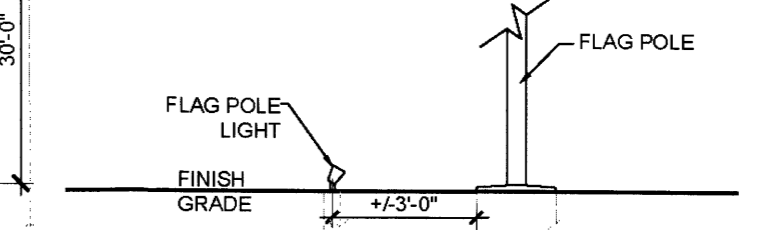


ELECTRICAL SPECIFICATIONS

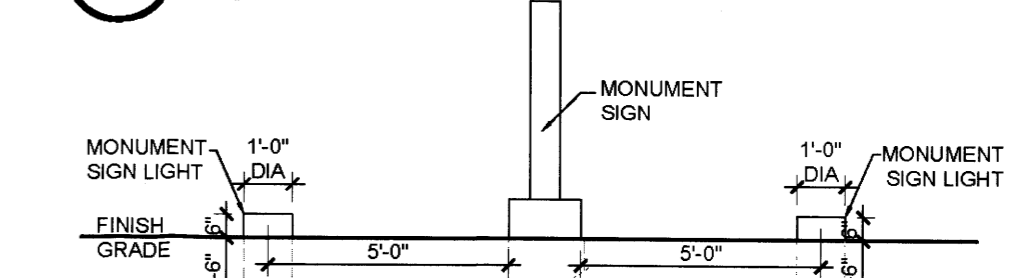
- A. THE INSTALLATION SHALL COMPLY WITH ALL LOCAL AND STATE LAWS, AMERICANS WITH DISABILITIES ACT APPLYING TO ELECTRICAL INSTALLATIONS AND WITH THE REQUIREMENTS OF THE LATEST ISSUE OF THE NATIONAL ELECTRICAL CODE (NEC), NATIONAL ELECTRICAL SAFETY CODE, FEDERAL AND STATE REQUIREMENTS INCLUDING O.S.W.A. WHICH SHALL BE CONSIDERED AS MINIMUM REQUIREMENTS. THE ELECTRICAL CONTRACTOR SHALL PAY FOR AND OBTAIN ALL PERMITS AND LICENSES REQUIRED BY LOCAL AND STATE AUTHORITIES.
- B. ALL MATERIALS SHALL BE LISTED (UL) AND NEW EXCEPT WHERE NOTED OTHERWISE. ALL WORK SHALL PRESENT A NEAT AND MECHANICAL APPEARANCE WHEN COMPLETED AND SHALL BE EXECUTED IN A WORKMANLIKE MANNER.
- C. COMPLY WITH THE REQUIREMENTS OF AND COORDINATE WITH THE SERVING UTILITY COMPANY AS TO METERING AND ELECTRIC SERVICE INSTALLATION.
- D. ALL CONDUCTORS SHALL BE COPPER, #12 AWG MINIMUM SIZE, THHN/THWN INSULATION UNLESS NOTED OTHERWISE AND SHALL BE COLOR CODED AS FOLLOWS: PHASE A-BLACK, PHASE B-RED, PHASE C-BLUE, NEUTRAL-WHITE, EQUIPMENT GROUND-GREEN. INCREASE WIRE SIZE AS REQUIRED TO PREVENT EXCESSIVE VOLTAGE DROP AS FOLLOWS: 60' TO 100' - #10 AWG; OVER 100' - #8 AWG.
- E. THE CONDUIT SYSTEM AND NEUTRAL CONDUCTOR OF THE WIRING SYSTEM SHALL BE GROUNDED IN ACCORDANCE WITH THE NEC AND ALL LOCAL CODES AND ORDINANCES. GROUNDING SHALL COMPLY WITH ALL THE REQUIREMENTS THAT APPLY TO THIS PROJECT IN ARTICLE 250 OF THE NEC.
- F. COORDINATE WITH THE HVAC CONTRACTOR AND EACH EQUIPMENT SUPPLIER WITH REGARDS TO BE INSTALLED, VERIFY RATINGS AND MAKE ADJUSTMENTS AS TO WIRE AND CONDUIT SIZE, CIRCUIT BREAKER RATINGS AS NECESSARY. ELECTRICAL SUBCONTRACTOR TO SUPPLY DISCONNECTS AT ROOF TOP EQUIPMENT.
- G. PROVIDE CONDUIT AND CONDUCTORS FOR THERMOSTATS AND CONTROLS REQUIRED TO OPERATE THE COOLING AND HEATING UNITS.
- H. ALL 90 DEGREE ELBOWS BELOW GRADE SHALL BE R.G.S. (RIGID GALVANIZED STEEL) P.V.C. COATED.

KEYED NOTES:

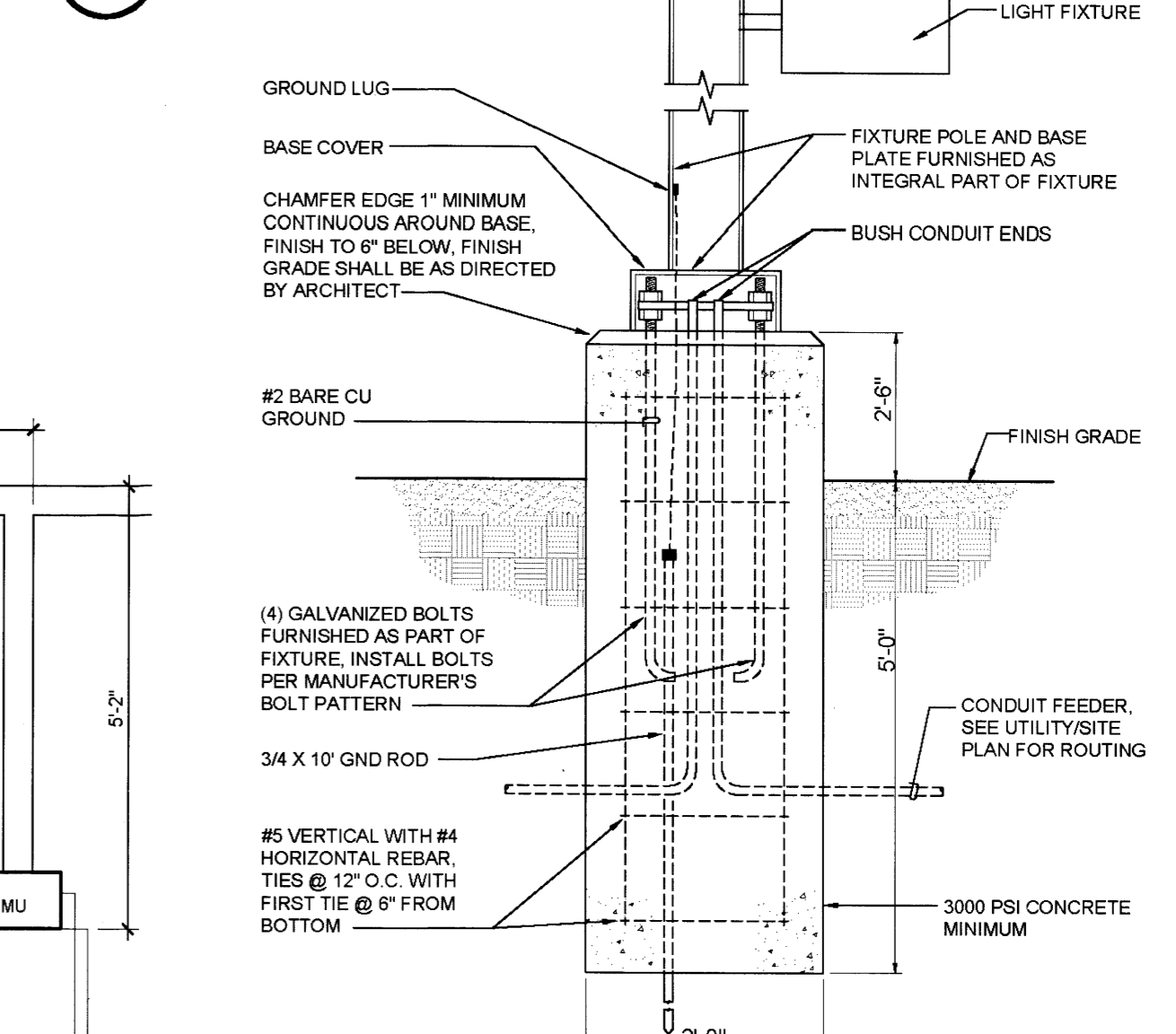
- 1) ELECTRIC METER LOCATION (4 HIGH X 3 WIDE, 12 TOTAL METERS). ONE HOUSE PANEL PLUS ELEVEN SUITE PANELS, PLUS DISCONNECT.
- 2) 1" CONDUIT UNDERGROUND.
- 3) HOUSE PANEL LOCATION (PANEL "HSE"). SEE E101.
- 4) TRANSFORMER LOCATION. PAD MOUNTED TRANSFORMER BY PNM. PROVIDE GUARD POSTS AS INDICATED.
- 5) ELECTRICAL & TELEPHONE DEMARCATION PANEL CLOSET.
- 6) POLE LIGHT. REFER TO DETAIL 6/A002 & POLE BASE DETAIL C/E100.
- 7) FLAG POLE LIGHT. REFER TO DETAIL A/E100.
- 8) MONUMENT SIGN LIGHTING. SEE DETAIL B/E100.
- 9) TELEPHONE DEMARCATION PANEL.
- 10) UNDERGROUND SECONDARY - REFER TO PANEL RISER DIAGRAM THIS SHEET.
- 11) ALL EXTERIOR LIGHTS CONTROLLED BY CONTROLLER AND PHOTO CELL. SEE E101, ELECTRICAL FLOOR PLAN, KEYNOTE 4, FOR LOCATION.
- 12) EXTERIOR IRRIGATION CONTROL BY OTHERS, CONNECTION BY ELECTRICAL SUBCONTRACTOR.
- 13) 3/4" CONDUIT, UNDERGROUND, FOR SUMP PUMP.
- 14) NOT USED.
- 15) MAIN SERVICE DISCONNECT. SEE POWER RISER DIAGRAM.
- 16) INSTALL A 1" CONDUIT FROM HOUSE PANEL BENEATH SLAB TO OUTSIDE FOR CONTINUATION TO EXTERIOR POLE LIGHTS, ETC.
- 17) PROVIDE MINIMUM #8 CONDUCTORS AND MINIMUM 1" C FOR EXTERIOR LIGHTING BRANCH CIRCUITS.
- 18) ROUTE ONE (1) - 4" CONDUIT, A MINIMUM OF 36" BELOW GRADE, WITH LONG SWEEP ELBOWS AND PULL ROPE FROM WEST PEDESTAL/POLE TO MAIN TELEPHONE BOARD LOCATED IN RM 113. ALL PER QWEST REQUIREMENTS. CONDUIT TO TERMINATE @ 36" A.F.F.
- 19) ROUTE ONE (1) 4" CONDUIT TO COMCAST PEDESTAL, A MINIMUM OF 36" BELOW GRADE, WITH LONG SWEEP ELBOWS AND PULL ROPE FROM COMCAST PEDESTAL/POLE TO MAIN TELEPHONE BOARD LOCATED IN RM 113. ALL PER COMCAST REQUIREMENTS. CONDUIT TO TERMINATE @ 36" A.F.F.
- 20) EXTEND TWO (2) 4" CONDUITS RIGID GALVANIZED STEEL, MINIMUM 3'-0" BELOW GRADE PER PNM DWG. #DS-7-16.7. PROVIDE RIGID GALVANIZED STEEL CONDUIT ELBOWS. COORDINATE WITH PNM AND COMPLY AS REQUIRED.



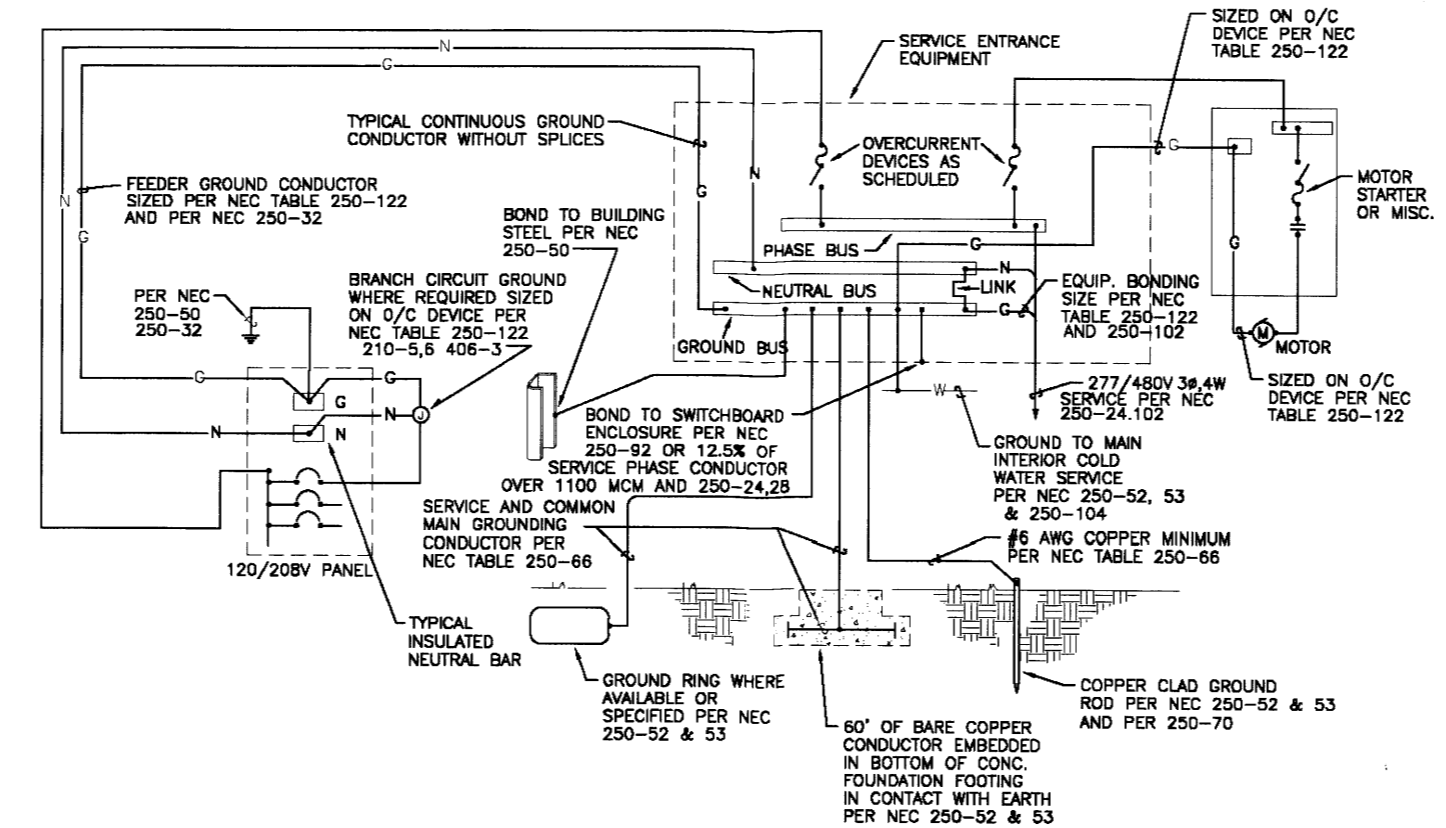
A FLAG POLE LIGHTING  
N.T.S.



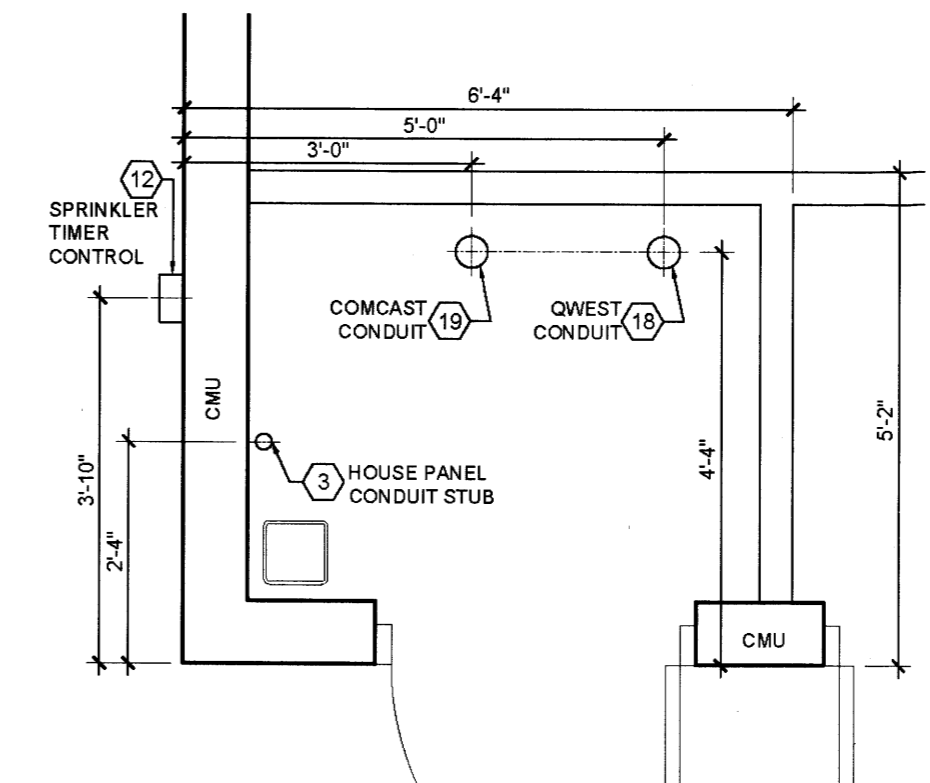
B MONUMENT LIGHTING  
N.T.S.



C POLE BASE DETAIL TYPICAL FOR TYPE C FIXTURES  
SCALE = N.T.S.



D TYPICAL BUS GROUNDING DETAIL  
N.T.S. PER NEC 2005



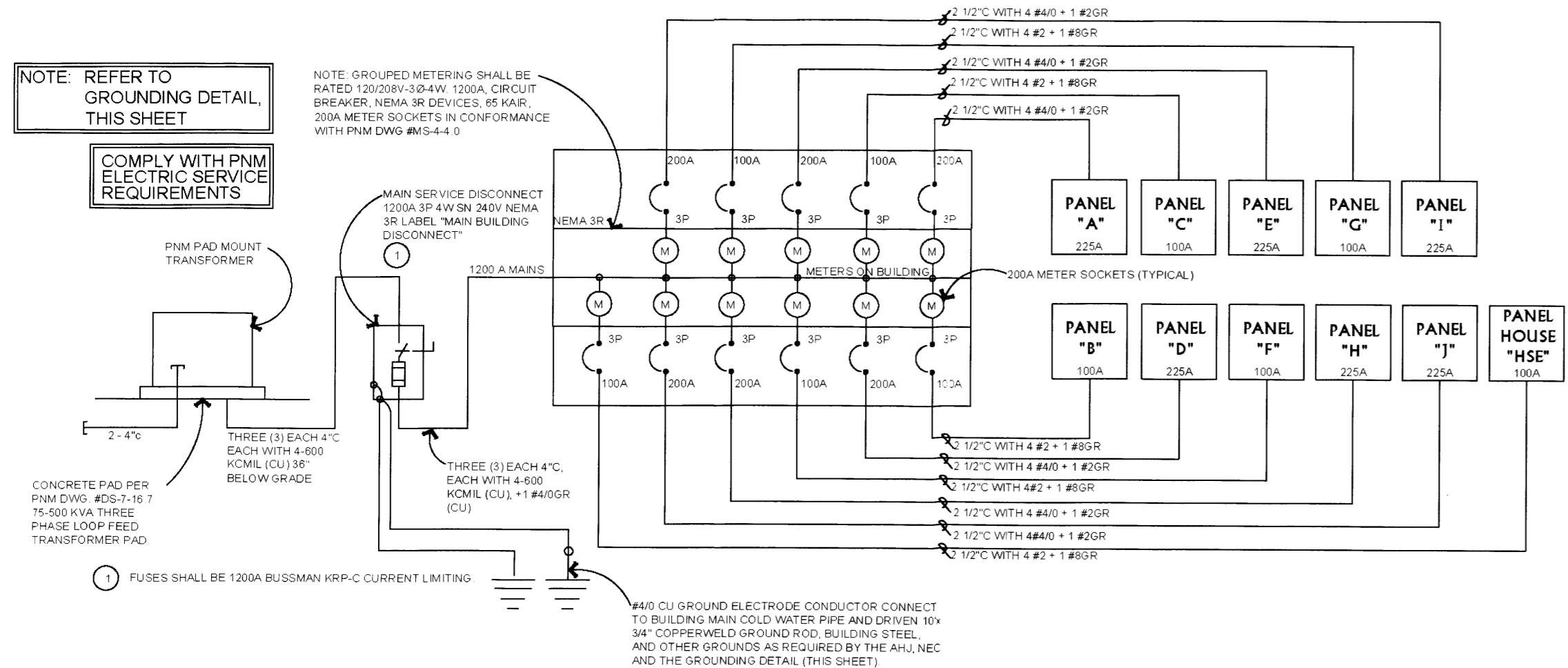
D CONDUIT, ELECTRICAL ROOM  
SCALE = 1/2" = 1'-0"

ELECTRICAL SITE PLAN

SCALE = 1" = 20'-0"

EXTERIOR LIGHT FIXTURE SCHEDULE

ITEM #	FIXTURE/MODEL/DESCRIPTION	VOLT	GENERAL PLACEMENT	MOUNTING
A	BUILDING WALL PACK 175W MH	208	FRONT WALL PACKS	WALL
B	RECESSED CAN, 75 WATT FLOURESCENT (EXTERIOR RATED)	120	ENTRIES	RECESSED
C	250W MH LIGHT ON 19' POLE	208	PERIMETER POLE LIGHT	SEE DETAIL
D	SIGN LIGHT, 70 W MH	208	MONUMENT SIGN	GROUND
E	FLAG POLE LIGHT, 35 W MH PAR	208	FLAG POLE	GROUND
F	BUILDING WALL PACK 250W MH	208	REAR WALL PACKS	WALL

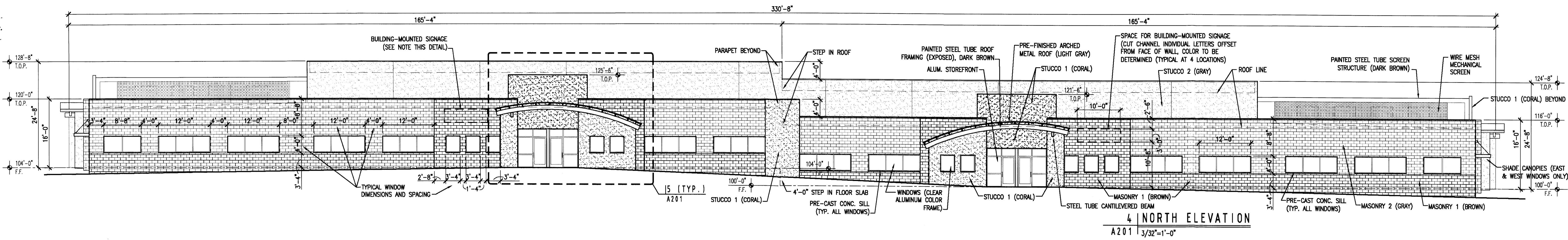


E ELECTRICAL POWER RISER DIAGRAM  
SCALE = N.T.S.

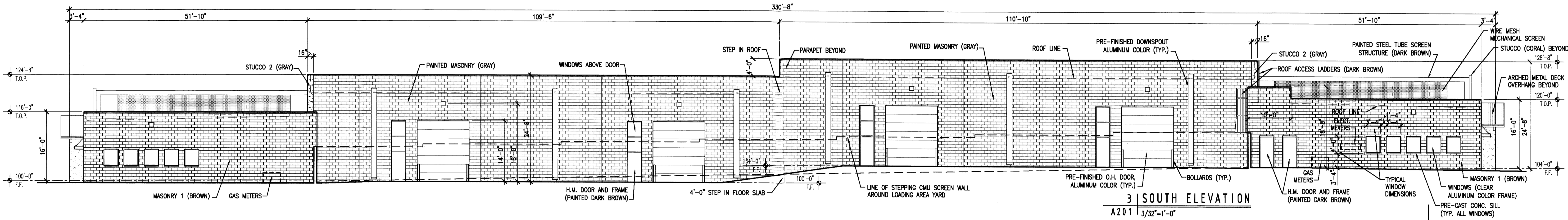
ELECTRICAL SITE PLAN

SCALE = N.T.S.

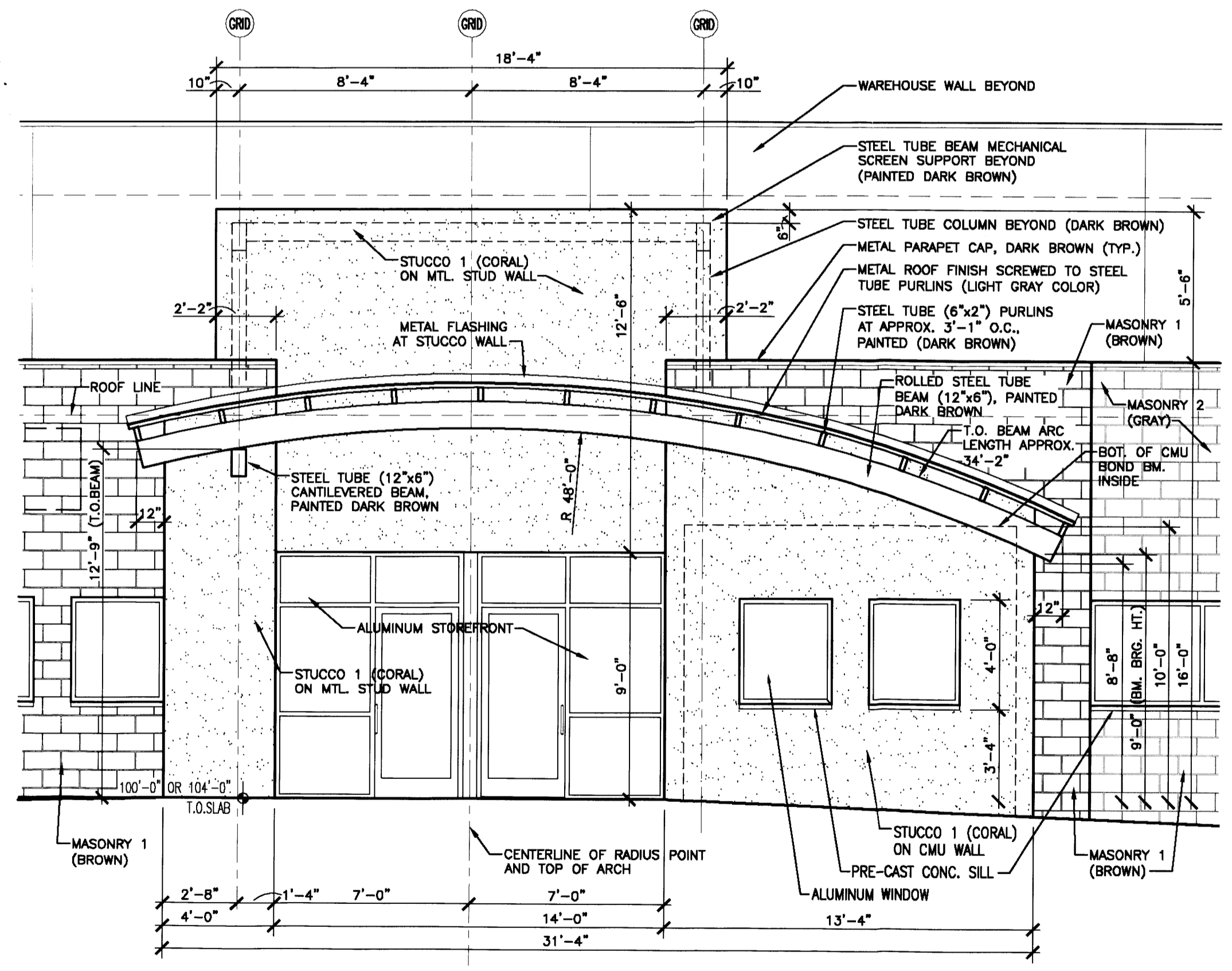




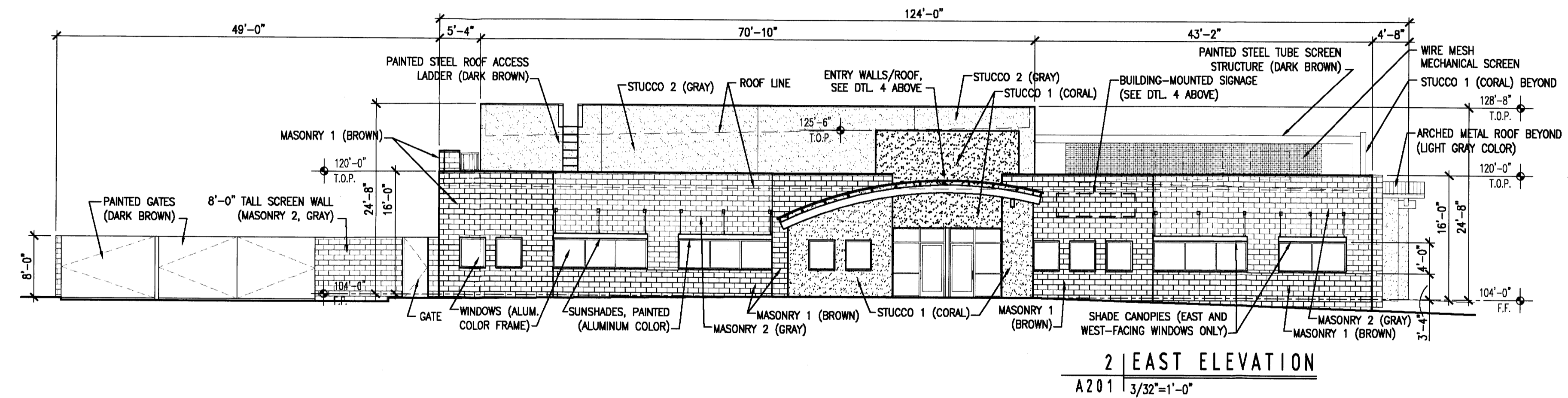
4 NORTH ELEVATION  
A201 3/32"=1'-0"



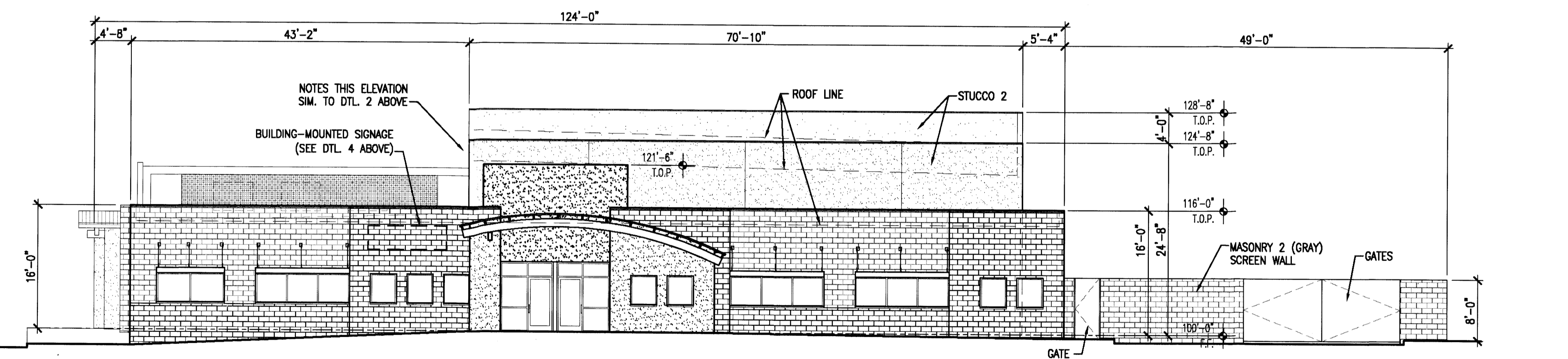
3 SOUTH ELEVATION  
A201 3/32"=1'-0"



5 ENTRY ELEVATION DETAIL  
A201 1/4"=1'-0"



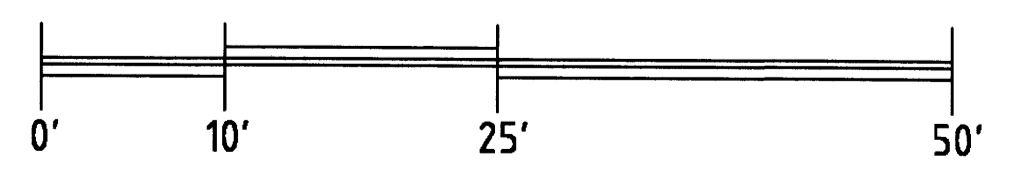
2 EAST ELEVATION  
A201 3/32"=1'-0"



1 WEST ELEVATION  
A201 3/32"=1'-0"

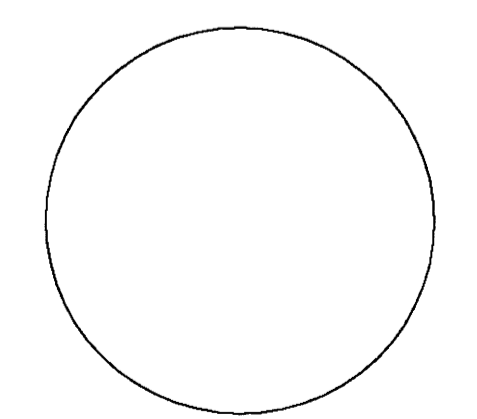
**SIGN TABLE**

WALL ELEVATION	TOTAL WALL AREA	TOTAL SIGN AREA	SIGN % OF WALL AREA
WEST	2,523 S.F.	30 S.F.	1.2%
NORTH	7,051 S.F.	60 S.F.	0.8%
EAST	2,523 S.F.	30 S.F.	1.2%



**MECHENBIER**  
CONSTRUCTION INC.  
OFFICE/WAREHOUSE  
DEVELOPMENT AT  
5454 VENICE AVE. N.E.

slagle  
**HER**  
ARCHITECTS  
1600 RIOGRANDE NW  
ALBUQUERQUE  
NEW MEXICO 87104  
505.246.6777  
fax 505.246.0437  
slagleher.com  
EXTERIOR ELEVATIONS



revisions:

date:  
1/8/10  
sheet:  
A201