



Completed
2/10

DRB CASE ACTION LOG (Preliminary/Final Plat)

This sheet *must* accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

DRB Application No.: 10DRB- 70015 Project # 1008059
Project Name: North Albuquerque Acres Unit B
Agent: Slagle Herr Architects Phone No.: _____

Your request was approved on 01-20-10 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED:

TRANSPORTATION: _____

ABCWUA: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): - site plan sign-off
- Env. Health

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
- Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

OK
→



Complete 2-3-10

924-3933
Folkner
Randal

DRB CASE ACTION LOG (EPC - Site Plan for Building Permit)

This sheet **must** accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

DRB Application No.: 10DRB-70008

Project # 1008059

Project Name: *North Albuquerque Acres Unit B*

Agent: *Slagle Herr Architects*

Phone No.:

Your request was approved on 01-20-10 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED:

TRANSPORTATION: *- address comments*

ABCWUA:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): *case planner approval*

catalina, carol, randal planning commission

*Randal Folkner
3rd floor*

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
- Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

924-3880
Sack Cloud



DRB CASE ACTION LOG
(EPC - Site Plan for Building Permit)

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

DRB Application No.: 10DRB- 70008

Project # 1008059

Project Name: *North Albuquerque Acres Unit B*

Agent: *Slagle Herr Architects*

Phone No.:

Your request was approved on 01-20-18 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED:

TRANSPORTATION: - address comments

ABCWUA: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): case planner approval

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
- Tax printout from the County Assessor.

- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**



DRB CASE ACTION LOG *(Preliminary/Final Plat)*

This sheet **must** accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

| | |
|---|-------------------|
| DRB Application No.: 10DRB- 70015 | Project # 1008059 |
| Project Name: <i>North Albuquerque Acres Unit B</i> | |
| Agent: <i>Slagle Herr Architects</i> | Phone No.: |

Your request was approved on 01-20-10 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED:

- TRANSPORTATION: _____

- ABCWUA: _____

- CITY ENGINEER / AMAFCA: _____

- PARKS / CIP: _____

- PLANNING (Last to sign): *- site plan sign-off*
- Env. Health

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
- Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

8059

DXF Electronic Approval Form

DRB Project Case #: 1008059

Subdivision Name: NORTH ALBUQUERQUE ACRES UNIT B TRACT A BLOCK 4 LOT 6A

Surveyor: RONALD A FORSTBAUER

Contact Person: RONALD A FORSTBAUER

Contact Information: 268-2112

DXF Received: 1/12/2010

Hard Copy Received: 1/12/2010

Coordinate System: Ground rotated to NMSP Grid


Approved

01-12-2010
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only
Copied fc **8059** to agiscov on **1/12/2010** Contact person notified on **1/12/2010**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

3. **Project# 1008059**
10DRB-70008 EPC APPROVED SDP
FOR BUILD PERMIT
10DRB-70015 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- SLAGLE HERR ARCHITECTS agent(s) for
MECHENBIER CONSTRUCTION INC & A.
MEADOWS LLC request(s) the above action(s) for all or a
portion of Lot(s) 4-6, Block(s) 4, Tract(s) A, **NORTH
ALBUQUERQUE ACRES Unit(s) B**, zoned IP, located
on 5454 VENCE NE BETWEEN SAN MATEO BLVD NE
AND I-25 containing approximately 2066 acre(s). (B-18)
FORSTBAUER SURVEYING CO LLC agent(s) for
CORONADO LAND LLC request(s) the above action(s)
for all or a portion of Lot(s) 4-6, Block(s) 4, Tract(s) A,
NORTH ALBUQUERQUE ACRES Unit(s) B, zoned IP,
located on VENCE AVE NE BETWEEN SAN MATEO
BLVD NE AND I-25 containing approximately 3.0042
acre(s). (B-18) **THE SITE DEVELOPMENT PLAN FOR
BUILDING PERMIT WAS APPROVED WITH FINAL
SIGN-OFF DELEGATED TO TRANSPORTATION TO
ADDRESS COMMENTS AND TO PLANNING FOR CASE
PLANNER APPROVAL AND 3 COPIES. THE
PRELIMINARY/FINAL PLAT WAS APPROVED WITH
FINAL SIGN OFF DELEGATED TO PLANNING FOR
SITE PLAN SIGN OFF AND ENVIRONMENTAL HEALTH
APPROVAL.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

4. **Project# 1004233**
10DRB-70004 EXT OF SIA FOR TEMP
DEFER SDWK CONST
10DRB-70006 EXT OF SIA FOR TEMP
DEFER SDWK CONST
10DRB-70007 EXT OF SIA FOR TEMP
DEFER SDWK CONST
- WESTLAND DEVELOPMENT CO LP request(s) the
above action(s) for all or a portion of **STORMCLOUD
Unit(s) 1, 2, & 3**, zoned RLT, located on TIERRA
PINTADA BLVD NW BETWEEN ARROYO VISTA
BLVD NW AND ARKANSAS RD NW containing
approximately 107 acre(s). (J-08, 09 & H-08, 09) **THE
TWO YEAR EXTENSIONS TO THE 4-YEAR
AGREEMENTS FOR THE DEFERRAL OF SIDEWALKS
WAS APPROVED.**

City of Albuquerque
Planning Department
Inter-Office Memorandum

TO: Jack Cloud, DRB Chair

FROM: Randall Falkner, Planner

SUBJECT: Project # 1008059

On December 18, 2009, the Environmental Planning Commission approved Project # 1008059 09EPC-40061, a Site Development Plan for Building Permit, for all or a portion of Lots 4-6, Block 4, Tract A, Unit B, North Albuquerque Acres, located on Venice Avenue NE between San Mateo Blvd NE and I-25 containing approximately 2.66 acres.

The applicant has satisfied the EPC conditions of approval for the site development plan for building permit with the following exception:

Condition 5: The applicant shall cluster trees together to minimize conflicts between lighting and trees around the perimeter of the site, while still meeting all the requirements of the Zoning Code and the Street Tree Ordinance.

The 2nd most easterly light pole along Venice Avenue needs to be moved approximately 10 feet to the east so that it is in between the Autumn Purple Ash and the Honey Locust trees.

Compliance with City Engineer conditions should be verified with the City Engineer. If you should have any questions regarding this case, please do not hesitate to call me at 924-3933.

Thank you.

Subj: Project No. 1008059
Date: 1/12/2010 1:11:50 P.M. Mountain Standard Time
From: dmzamora@cabq.gov
To: ForstSurv@aol.com

The .dxf file for Project No. 1008059 (NAA Unit B Tract A Block 4 Lot 6a) has been approved.

In the future, please include vacated or dedicated areas in your .dxf file. We try to keep track of all dedications/vacations. I went ahead and added it to this project, just something to keep in mind for next time.

Thank you.

David M. Zamora
GIS Coordinator - AGIS
Planning Department
City Of Albuquerque
924-3929 phone
924-3812 fax
www.cabq.gov/gis
dmzamora@cabq.gov

HEARING DATE 1/20/10 (P&F)

City of Albuquerque Planning Department

One Stop Shop – Development and Building Services

01/08/2010 Issued By: PLNSDH 65208

11
11
11

Permit Number: 2010 070 008 **Category Code 910**

Application Number: 10DRB-70008, Epc Approved Sdp For Build Permit

Address:

Location Description: 5454 VENCE NE BETWEEN SAN MATEO BLVD NE AND I-25

Project Number: 1008059

Applicant
 Mechenbier Construction Inc & A. Meadows Llc
 John Mechenbier
 8500 Washington St Ne Ste A-6
 Albuquerque NM 87113
 314-7700

Agent / Contact
 Slagle Herr Architects
 1600 Rio Grande Nw
 Albuquerque NM 87104
 246-0870

Application Fees

| | | |
|----------------|---------------------|----------------|
| 441018/4971000 | Public Notification | |
| 441032/3424000 | Conflict Mgmt Fee | \$20.00 |
| 441006/4983000 | DRB Actions | |
| TOTAL: | | \$20.00 |

City Of Albuquerque
 Treasury Division

1/8/2010 10:55AM LOC: ANN
 WSH 008 TRANSM 0007
 RECEIPT# 00114193-00114193
 PERMIT# 2010070008 TRSBLC
 Trans Amt \$20.00
 Conflict Manaq. Fee \$20.00
 CK \$20.00
 CHANGE \$0.00

Thank You

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

01/12/2010 Issued By: PLNSDH 65457

Permit Number: 2010 070 015

Category Code 910

Application Number: 10DRB-70015, Minor - Preliminary/ Final Plat Approval

Address:

Location Description: VENCE AVE NE BETWEEN SAN MATEO BLVD NE AND I-25

Project Number: 1008059

Applicant

Coronado Land Llc

8500 Washington Ne A-8
Albuquerque NM 87113
314-7700

Agent / Contact

Forstbauer Surveying Co Llc

Terese Forstbauer

4116 Lomas Blvd Ne
Albuquerque NM 87110

forstsurv@aol.com

Application Fees

| | | |
|----------------|---------------------|-----------------|
| 441018/4971000 | Public Notification | |
| 441032/3424000 | Conflict Mgmt Fee | \$20.00 |
| 441006/4983000 | DRB Actions | \$215.00 |
| TOTAL: | | \$235.00 |

City Of Albuquerque
Treasury Division

1/12/2010 11:14AM LOC: ANNX
WSH 007 TRANS# 0017
RECEIPT# 00125706-00125706
PERMIT# 2010070015 TRSCXG
Trans Amt \$235.00
Conflict Manag. Fee \$20.00
DRB Actions \$215.00
CK \$235.00
CHANGE \$0.00

Thank You

slagleherr.com

January 8, 2010

Development Review Board
Plaza del Sol Building
600 2nd Street NW
Albuquerque, NM 87102

RE: PROPOSED DEVELOPMENT AT 5454 VENICE NE, BETWEEN SAN MATEO NE AND I-25
FREEWAY, ALBUQUERQUE, NM

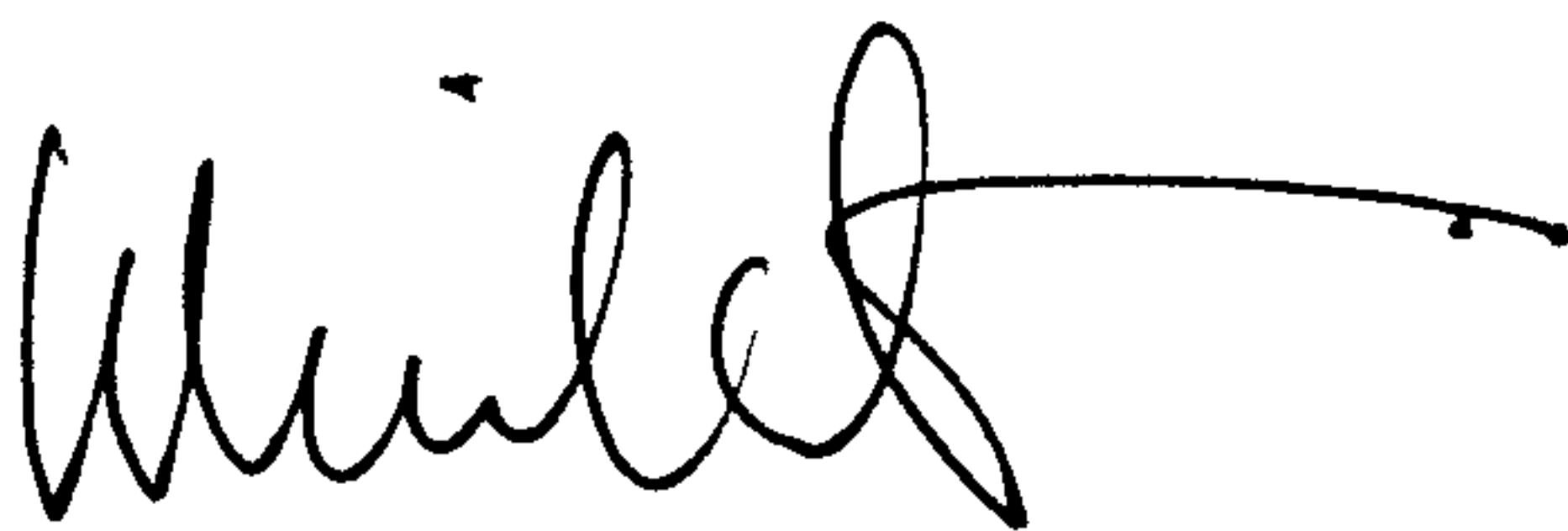
Dear Development Review Board Members:

This submittal is for Site Development Plan for Building Permit for a proposed development at the property described above. The legal description of the property is lots 4, 5, and 6, Block 4, Tract A, Unit B, North Albuquerque Acres, Albuquerque, New Mexico. The property is currently zoned IP. The zone map page is B-18 and the property contains approximately 2.66 acres.

The proposed development consists of a single story speculative office/warehouse/flex space. The building will comprise 37,931 s.f. of space and will provide a secure screened loading area at the rear of the building. The development will also include all associated site work. The property is currently three separate parcels, which will be replatted into a single parcel.

The project is designed in accordance with the current zoning requirements and will use energy efficient design elements such as low-E glass, and shade devices. The façade is stepped to break up the mass of the building and improve the scale at the street front. The project will incorporate premium materials such as synthetic stucco and burnished masonry for a clean, contemporary look. Should you have any questions or require any additional information regarding the project, please do not hesitate to contact me.

Sincerely,



Bill Kleinschmidt, Architect
slagleHERR Architects, Inc.

*Randall -
please review for
compliance w/EPC
Conditions of Approval
Tx - Jack*

slagle

HERR

Architects

slagleherr.com

January 8, 2010

Development Review Board
Plaza del Sol Building
600 2nd Street NW
Albuquerque, NM 87102

**RE: PROPOSED DEVELOPMENT AT 5454 VENICE NE, BETWEEN SAN MATEO NE AND I-25
FREEWAY, ALBUQUERQUE, NM**

**FILE: PROJECT #1008059
09EPC-40061 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

Response to EPC Conditions:

Condition 3: The color of the 8' CMU wall has been added to Sheet A002.

Condition 4: The sidewalk in front of building has been widened to 8'.

Condition 5: Tree locations have been adjusted to minimize conflicts with light poles.

Condition 6a: The Landscape Plan has been updated to show 16 street trees required and 15 street trees provided. One additional tree has been added along Venice Avenue.

Condition 6b: The area calculations on Landscape Plan and on Site Plan have been adjusted to match.

Condition 6c: The Vitex on Sheet L1 has been updated to the height required by the conditions.

Condition 7: Five 6' long benches have been added along the north façade to meet the outdoor seating requirements.

Condition 8: The monument sign has been removed from the Site Plan.

Condition 9a: All known easements on the property are shown on the Site Plan.

Condition 9b: The Developer will contact PNM to coordinate electric service installation and determine requirements for any public utility easements.

Condition 9c: The proposed electrical transformer location provides a minimum of ten-foot of clearance all around.

Condition 10a: The Developer accepts responsibility for improvements to transportation facilities adjacent to the site as may be determined by the DRB.

slagle

HERR

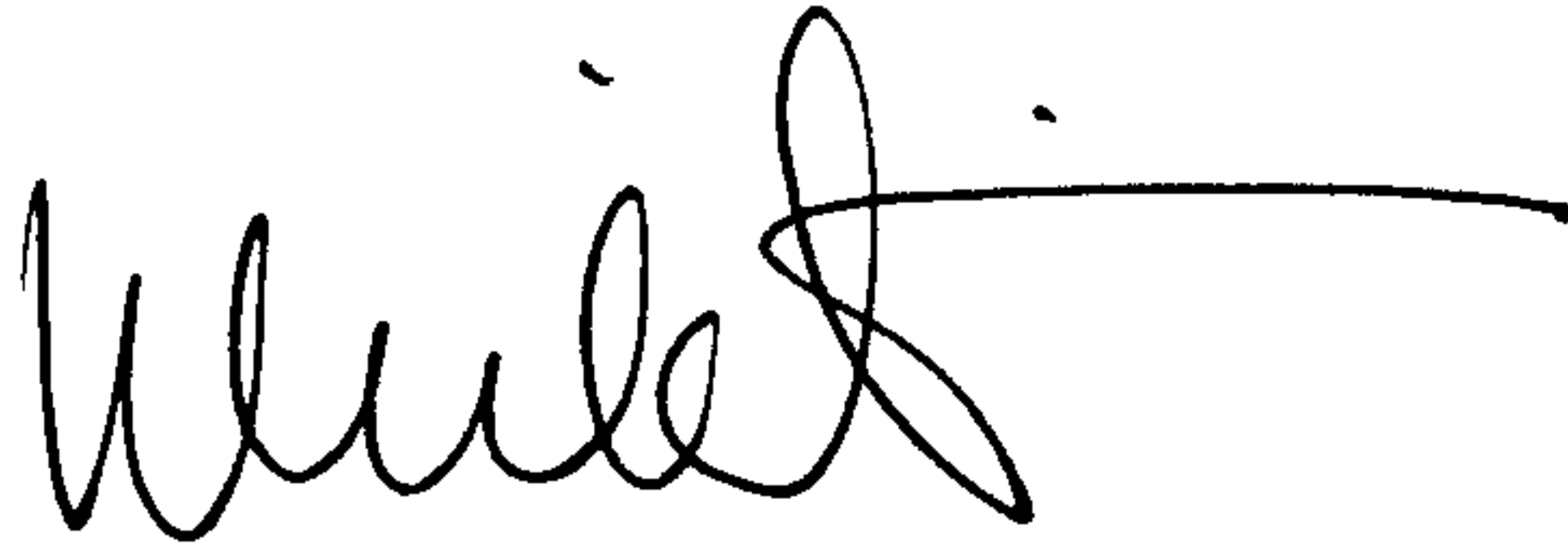
Architects

Condition 10b: A truck route has been added to the site plan showing circulation of truck traffic from the street to the rear loading area. Curb radii at the curbs at the southeast and southwest corners of the building have been increased to 25' radius. The type of trucks accessing the property will be primarily medium-size delivery trucks. Access by full-size tractor-trailers will be rare.

Condition 10c: The Site Plan is designed per DPM Standards.

Please contact me with any questions regarding the proposed development at 246-0870.

Sincerely,

A handwritten signature in black ink, appearing to read "Bill Kleinschmidt", with a long horizontal flourish extending to the right.

Bill Kleinschmidt, Architect
slagleHERR Architects, Inc.



City of Albuquerque
Planning Department
Current Planning Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: December 18, 2009

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project# 1008059***
09EPC-40061 SITE DEVELOPMENT -
BUILDG PRMT

John Mechenbier
Mechenbier Construction Inc.
8500 Washington St. NE
Suite A-6
Albuquerque, NM 87113

LEGAL DESCRIPTION: SLAGLEHERR
ARCHITECTS agents for MECHENBIER
CONSTRUCTION INC request the above action
for all or a portion of lots 4-6, block 4, tract A,
Unit B, NORTH ALBUQUERQUE ACRES,
zoned IP located on 5300 VENICE NE
BETWEEN SAN MATEO NE AND I-25
containing approximately 2.66 acres. (B-18)
Randall Falkner, Staff Planner

On December 17, 2009 the Environmental Planning Commission voted to **APPROVE** Project 1008059 / 09EPC-40061, a site development plan for building permit for all or a portion of lots 4-6, block 4, tract A, Unit B, NORTH ALBUQUERQUE ACRES, zoned IP, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for a site development plan for building permit of approximately 2.6 acres located on Venice Avenue NE, between San Mateo Boulevard NE and I-25.
2. The Albuquerque/Bernalillo County Comprehensive Plan, the North Valley Area Plan, the North I-25 Sector Development Plan, and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
3. The subject site is within the Developing Urban Area of the Comprehensive Plan.
4. The request furthers the following Comprehensive Plan policies for Developing and Established Urban Areas:

- a. Policy II.B.5d – The location, intensity, and design of the proposed development would respect existing neighborhood values, natural environmental conditions and carrying capacities. The proposed development is bounded by vacant land to the south and west, and by warehousing and storage land use to the north and east. The request would not have a substantial effect on the average weekday traffic flow of Venice Avenue or surrounding streets. Residential neighborhoods are not in close proximity to the subject site.
 - b. Policy II.B.5e – Full urban services are currently available to the proposed subject site, and the integrity of the existing neighborhoods can be ensured. The request would provide infill development in an area that could benefit from growth.
5. The request furthers Developed Landscape Policy II.C.8d of the Comprehensive Plan by using landscaping that would help to control water erosion and dust, creating a more pleasing environment than currently exists, and by means of low water use vegetation that would help to conserve water.
6. The request furthers the following Economic Development policies of the Comprehensive Plan:
 - a. Policy II.D.6a – The request would offer new employment opportunities with a wide range of occupational skills and salary levels to this part of the City.
 - b. Policy II.D.6c – The request would provide opportunities for improvement in occupational skills and advancement with the proposed business.
7. The request furthers the following goals of the North Valley Area Plan:
 - a. Goal 6 – Quality commercial/industrial development is encouraged in an area that already has developed/established industrial zoning. The zoning of the subject site and the area immediately surrounding the site is IP, and land uses in the area include warehousing and storage, office, and manufacturing.
 - b. Goal 11 – The speculative office/warehouse subject site is located within the I-25 corridor. The subject site is also located in an Industrial Park zone.
8. The request furthers the North I-25 Sector Development Plan objective to encourage reassembly, replatting and annexation of lands in the plan area. The property currently consists of three separate parcels, and is proposed to be replatted into a single parcel.
9. There is no known opposition to the project and not letters of opposition have been received. A facilitated public meeting was not held due to technical difficulties and was not requested by the neighborhoods.
10. A traffic impact study (T.I.S.) is required by the North I-25 Sector Development Plan, but is not technically warranted for the proposed uses on the subject site. The EPC finds that the request would not have a substantial effect on the average weekday traffic flow of Venice Avenue or surrounding streets and a T.I.S. is not necessary.

11. An eight foot wide pedestrian sidewalk along the entire length of the major façade is appropriate for this site, given the proposed office and warehouse uses. The EPC finds that the intent of the General Building and Site Design Regulations to enhance the visual appearance and pedestrian environment are met.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The specific color of the 8' CMU wall shall be identified on Sheet A002.
4. The front of the building is required to have a 8' sidewalk per Section 14-16-3-18 (C)(1)(a) of the Zoning Code.
5. The applicant shall cluster trees together to minimize conflicts between lighting and trees around the perimeter of the site, while still meeting all the requirements of the Zoning Code and the Street Tree Ordinance.
6. Landscaping:
 - a. The Landscaping Plan (Sheet L2 of L2) shall show 16 street trees required and 15 street trees provided. One additional street tree (can be an accent tree) shall be added to the landscape plan along Venice Avenue.
 - b. The landscape calculations (including total lot area, total buildings area, net lot area, and total landscape provided) on Sheet L2 of L2 shall be consistent with those on Sheet A001.
 - c. The Vitex on Sheet L1 of L2 shall meet the Zoning Code size requirement at time of planting of 10'-12' feet in height.
7. The primary façade (north side) shall incorporate outdoor seating that meets the requirements found in Section 14-16-3-18 (C)(3).
8. The monument sign shall be eliminated as it is not allowed per Section 14-16-2-19(A)(25)(b)(2).
9. Recommended Conditions from Public Service Company of New Mexico:

- a. It is the applicant's obligation to determine if existing utility easements or rights-of-way are located on or adjacent to the property and to abide by any conditions or terms of those easements or agreements.
- b. It is necessary for the developer to contact PNM's New Service Delivery Department to coordinate electric service regarding this project. Any existing or proposed public utility easements are to be indicated on the site plan utility sheet prior to DRB review. PNM's standard for public utility easements for distribution is 10 feet in width to ensure adequate, safe clearances.
- c. Screening should be designed to allow for access to utility facilities. It is necessary to provide adequate clearance of ten feet surrounding all ground-mounted utilities for safe operation, maintenance and repair purposes.

10. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT and NMDOT:

- a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).
- b. Provide truck circulation information (i.e. proposed truck route, type of vehicles using the loading area, etc.). Additional comments may be required after that information is provided.
- c. Site plan shall comply and be designed per DPM Standards.

APPEAL: IF YOU WISH TO APPEAL A FINAL DECISION, YOU MUST DO SO BY JANUARY 4, 2010 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

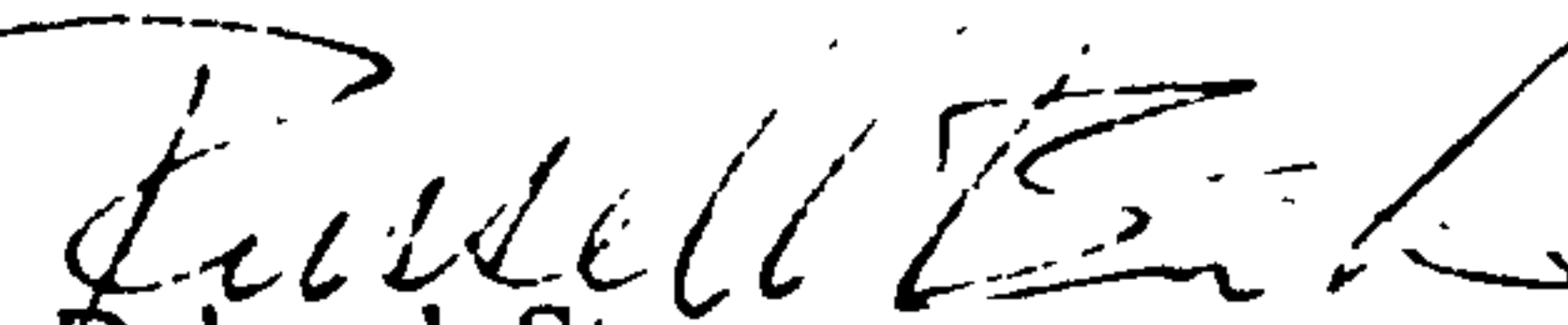
YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER

REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Deferral requests by the applicant for map amendments and site development plans are subject to a \$110 fee per item (Zoning Code Section 14-16-4-1(B)). Failure of the applicant to pay such fees and provide proof of payment prior to the date the case(s) are deferred to may result in further deferral of the item(s) until the required fee(s) are paid.

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC.

Sincerely,



Deborah Stover
Planning Director

DS/RF/ma

cc: Bill Kleinschmidt, Slagleherr Architects, 1600 Rio Grande NW, Albuquerque, NM 87104
Larry Caudill, Wildflower N.A., 4915 Watercress Dr. NE, Albuquerque, NM 87113
John Gaydos, Wildflower N.A., 4911 Watercress Dr. NE, Albuquerque, NM 87113
Chris Catechis, North Valley Coalition, 5733 Guadalupe Tr. NW, Albuquerque, NM 87107
Claude Morelli, North Valley Coalition, P.O. Box 70352, Albuquerque, NM 87197



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- D L A APPEAL / PROTEST of...**
- Decision by DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): SLAGLE HERB ARCHITECTS PHONE: 246-0870
 ADDRESS: 1600 RIO GRANDE NW FAX: 246-0937
 CITY: ALBUQUERQUE STATE NM ZIP 87104 E-MAIL: BILL@SLAGLEHERB.COM
 APPLICANT: JOHN E. MECHENBIE, MECHENBIE CONSTRUCTION, INC. AND AMERICUS LLC PHONE: 314-7700
 ADDRESS: 8500 WASHINGTON ST. NE, SUITE A-6 FAX: 314-7799
 CITY: ALBUQUERQUE STATE NM ZIP 87113 E-MAIL: _____

Proprietary interest in site: OWNER List all owners: _____

DESCRIPTION OF REQUEST: APPROVAL OF SITE DEVELOPMENT PLAN FOR BUILDING PERMIT FOR SPECULATIVE OFFICE/WAREHOUSE NEW DEVELOPMENT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOTS 4, 5, 6, TRACT A Block. 4 Unit. B
 Subdiv/Addn/TBKA: NORTH ALBUQUERQUE ACRES
 Existing Zoning: IP Proposed zoning: IP MRGCD Map No. _____
 Zone Atlas page(s): B18 UPC Code: LOT 4: 101806505924930923
WT 5: 101806507424930922
WT 6: 101806509124830921

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj, App., DRB, AX, Z, V, S, etc.):
PROJ EOT NO. 1008059, 09EPC-40061

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? YES
 No. of existing lots: 3 No. of proposed lots: 1 Total area of site (acres): 2.66 AC
 LOCATION OF PROPERTY BY STREETS. On or Near. 5454 VENICE NE
 Between: SAN MATEO NE and I-25 FREEWAY

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 1/8/2010
 (Print) WILLIAM KLEINSCHMIDT Applicant: Agent:

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

| Application case numbers | Action | SF | Fees |
|------------------------------|------------|----|-----------------------|
| <u>1008059</u> | <u>SBP</u> | | <u>\$ 0</u> |
| <u>10008</u> | <u>CME</u> | | \$ |
| | | | \$ |
| | | | \$ |
| | | | \$ |
| | | | \$ |
| | | | \$ |
| Hearing date <u>01/20/10</u> | | | Total \$ <u>20.00</u> |

Planner signature / date [Signature] Project # 1008059



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): FORSTBAUER SURVEYING LLC PHONE: 268-2112
 ADDRESS: 4116 LOMAS BL NE FAX: 268-2032
 CITY: ALBQ STATE NM ZIP 87110 E-MAIL: FORSTSURV@AOL.COM
 APPLICANT: CORONADO LAND LLC PHONE: 314-7700
 ADDRESS: 8500 WASHINGTON NE A-6 FAX: _____
 CITY: ALBQ STATE NM ZIP 87113 E-MAIL: _____
 Proprietary interest in site: OWNER List all owners: _____

DESCRIPTION OF REQUEST: CONSOLIDATE 3 LOTS INTO 1 LOT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 4, 5 & 6 Block: 4, TR. A Unit: B
 Subdiv/Addn/TBKA: NORTH ALBUQUERQUE ACRES
 Existing Zoning: IP Proposed zoning: N/A MRGCD Map No. _____
 Zone Atlas page(s): B18 UPC Code: _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): _____

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? YES
 No. of existing lots: 3 No. of proposed lots: 1 Total area of site (acres): 3.0042
 LOCATION OF PROPERTY BY STREETS (On or Near): VENICE AV NE
 Between: SAN MATEO BL and I-25

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE TENESE C. FORSTBAUER DATE 1/12/2010
 (Print) TENESE C. FORSTBAUER, FORSTBAUER SURVEYING LLC Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

| Application case numbers | Action | S.F. | Fees |
|--------------------------|----------------|-------------|------------------|
| <u>10 DRB - 70015</u> | <u>P&E</u> | <u>5(3)</u> | <u>\$ 215.00</u> |
| _____ | _____ | _____ | <u>\$ 20.00</u> |
| _____ | _____ | _____ | \$ _____ |
| _____ | _____ | _____ | \$ _____ |
| _____ | _____ | _____ | \$ _____ |
| Total | | | <u>\$ 235.00</u> |

Hearing date 01/20/10

Sandy Handley 01/12/10
 Planner signature / date

Project # 1008059

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Completed Site Plan for Subdivision Checklist
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
- ~~NA~~ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Solid Waste Management Department signature on Site Plan for Building Permit
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
 - ~~NA~~ Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

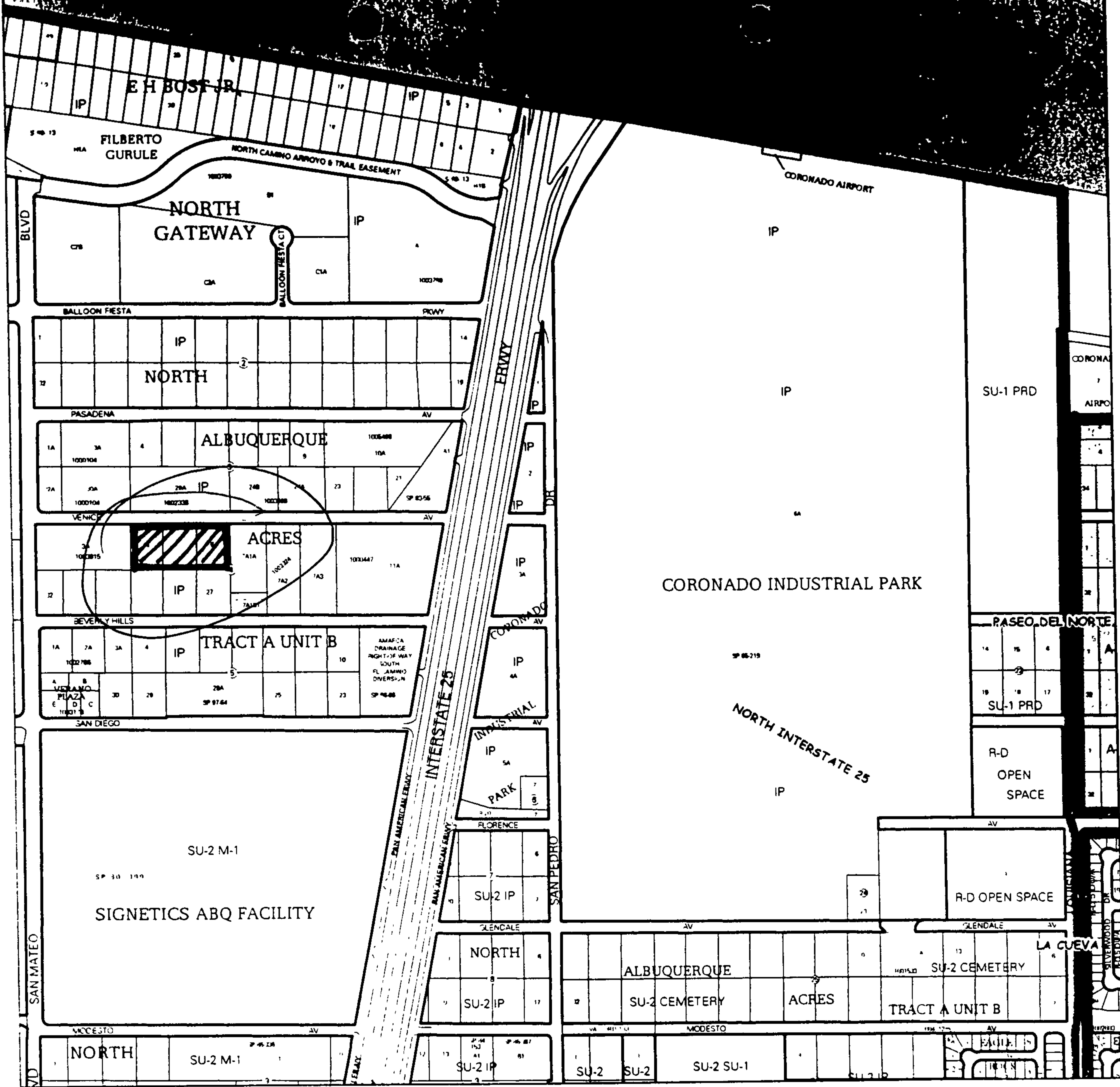
WILLIAM KUBINSCHMIDT
Applicant name (print)

William 1-2-2010
Applicant signature / date



Form revised October 2007

| | | |
|--|--------------------------|------------------------------|
| <input type="checkbox"/> Checklists complete | Application case numbers | <u>Sandy Harder</u> 01/08/10 |
| <input type="checkbox"/> Fees collected | <u>10 DEB - 70008</u> | Planner signature / date |
| <input type="checkbox"/> Case #s assigned | _____ | Project # <u>1008059</u> |
| <input type="checkbox"/> Related #s listed | _____ | |



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
B-18-Z

Selected Symbols

| | |
|----------------------|------------------------|
| SECTOR PLANS | Escarpment |
| Design Overlay Zones | 2 Mile Airport Zone |
| City Historic Zones | Airport Noise Contours |
| H-1 Buffer Zone | Wall Overlay Zone |
| Petroglyph Mon | |

0 750 1500 Feet

Map amended through 3/10/2009

s l a g l e h e r r . c o m

January 8, 2010

Development Review Board
Plaza del Sol Building
600 2nd Street NW
Albuquerque, NM 87102

**RE: PROPOSED DEVELOPMENT AT 5454 VENICE NE, BETWEEN SAN MATEO NE AND I-25
FREEWAY, ALBUQUERQUE, NM**

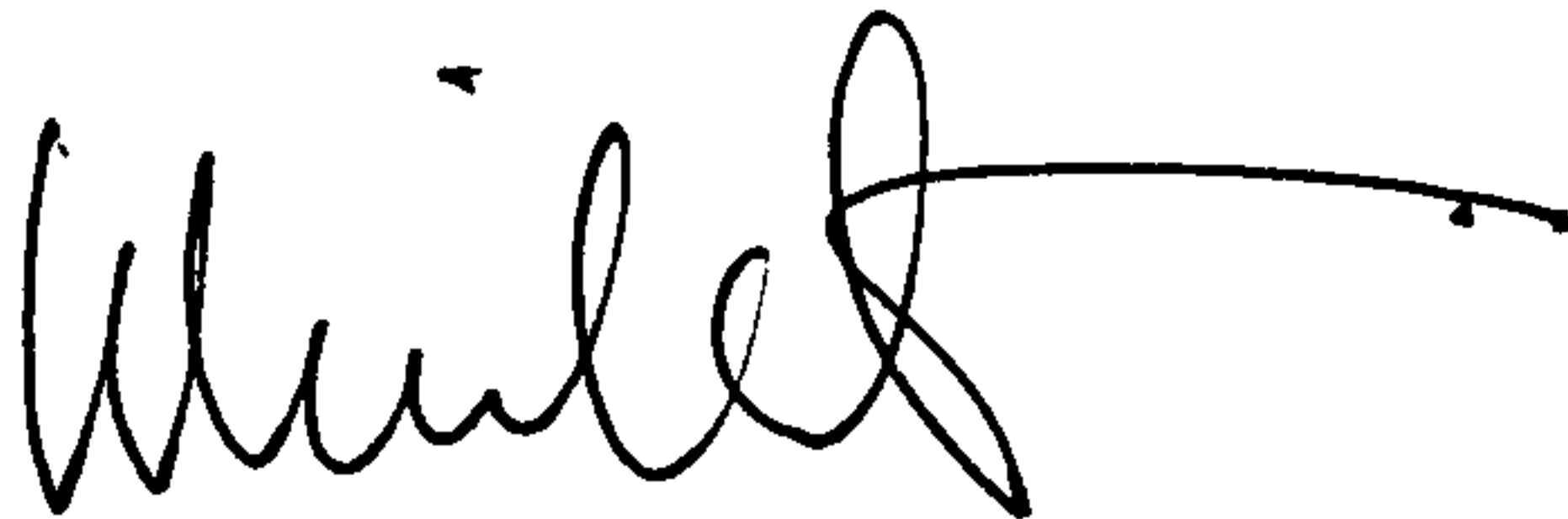
Dear Development Review Board Members:

This submittal is for Site Development Plan for Building Permit for a proposed development at the property described above. The legal description of the property is lots 4, 5, and 6, Block 4, Tract A, Unit B, North Albuquerque Acres, Albuquerque, New Mexico. The property is currently zoned IP. The zone map page is B-18 and the property contains approximately 2.66 acres.

The proposed development consists of a single story speculative office/warehouse/flex space. The building will comprise 37,931 s.f. of space and will provide a secure screened loading area at the rear of the building. The development will also include all associated site work. The property is currently three separate parcels, which will be replatted into a single parcel.

The project is designed in accordance with the current zoning requirements and will use energy efficient design elements such as low-E glass, and shade devices. The façade is stepped to break up the mass of the building and improve the scale at the street front. The project will incorporate premium materials such as synthetic stucco and burnished masonry for a clean, contemporary look. Should you have any questions or require any additional information regarding the project, please do not hesitate to contact me.

Sincerely,



Bill Kleinschmidt, Architect
slagleHERR Architects, Inc.

s l a g l e

HERR

A r c h i t e c t s

1600 rio grande nw albuquerque
fax 505 246 0437 new mexico 87104

505 246 0870

January 8, 2010

Development Review Board
Plaza del Sol Building
600 2nd Street NW
Albuquerque, NM 87102

**RE: PROPOSED DEVELOPMENT AT 5454 VENICE NE, BETWEEN SAN MATEO NE AND I-25
FREEWAY, ALBUQUERQUE, NM**

**FILE: PROJECT #1008059
09EPC-40061 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

Response to EPC Conditions:

Condition 3: The color of the 8' CMU wall has been added to Sheet A002.

Condition 4: The sidewalk in front of building has been widened to 8'.

Condition 5: Tree locations have been adjusted to minimize conflicts with light poles.

Condition 6a: The Landscape Plan has been updated to show 16 street trees required and 15 street trees provided. One additional tree has been added along Venice Avenue.

Condition 6b: The area calculations on Landscape Plan and on Site Plan have been adjusted to match.

Condition 6c: The Vitex on Sheet L1 has been updated to the height required by the conditions.

Condition 7: Five 6' long benches have been added along the north façade to meet the outdoor seating requirements.

Condition 8: The monument sign has been removed from the Site Plan.

Condition 9a: All known easements on the property are shown on the Site Plan.

Condition 9b: The Developer will contact PNM to coordinate electric service installation and determine requirements for any public utility easements.

Condition 9c: The proposed electrical transformer location provides a minimum of ten-feet of clearance all around.

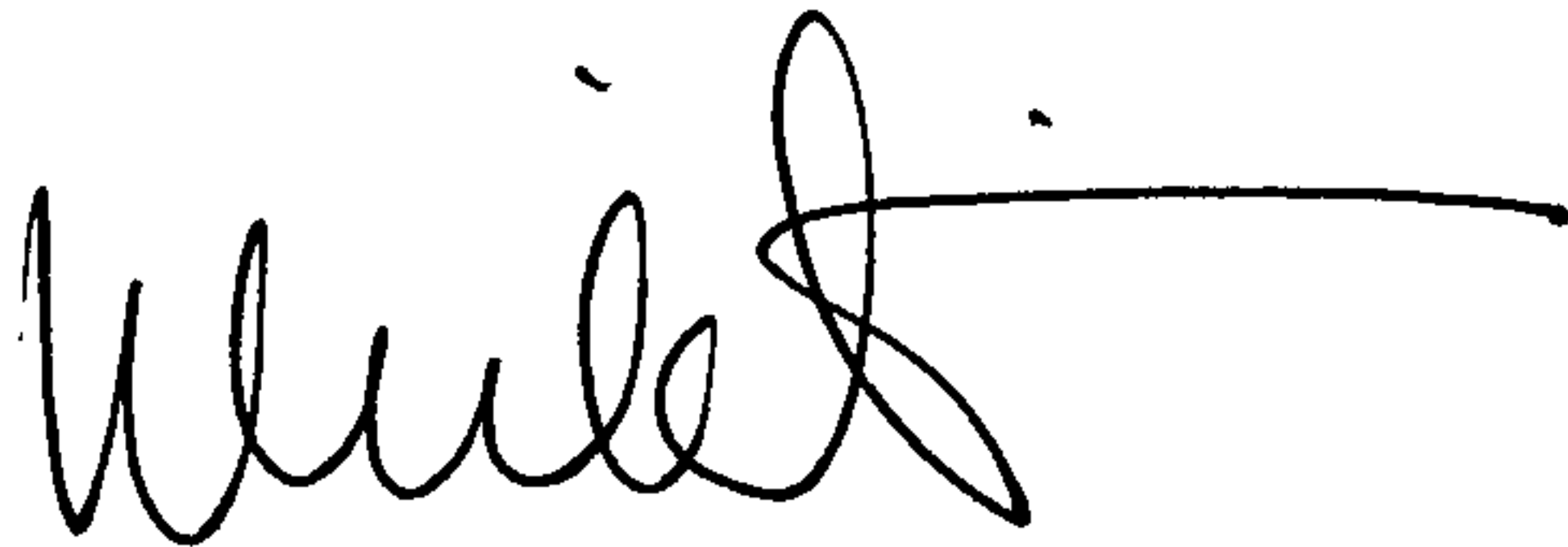
Condition 10a: The Developer accepts responsibility for improvements to transportation facilities adjacent to the site as may be determined by the DRB.

Condition 10b: A truck route has been added to the site plan showing circulation of truck traffic from the street to the rear loading area. Curb radii at the curbs at the southeast and southwest corners of the building have been increased to 25' radius. The type of trucks accessing the property will be primarily medium-size delivery trucks. Access by full-size tractor-trailers will be rare.

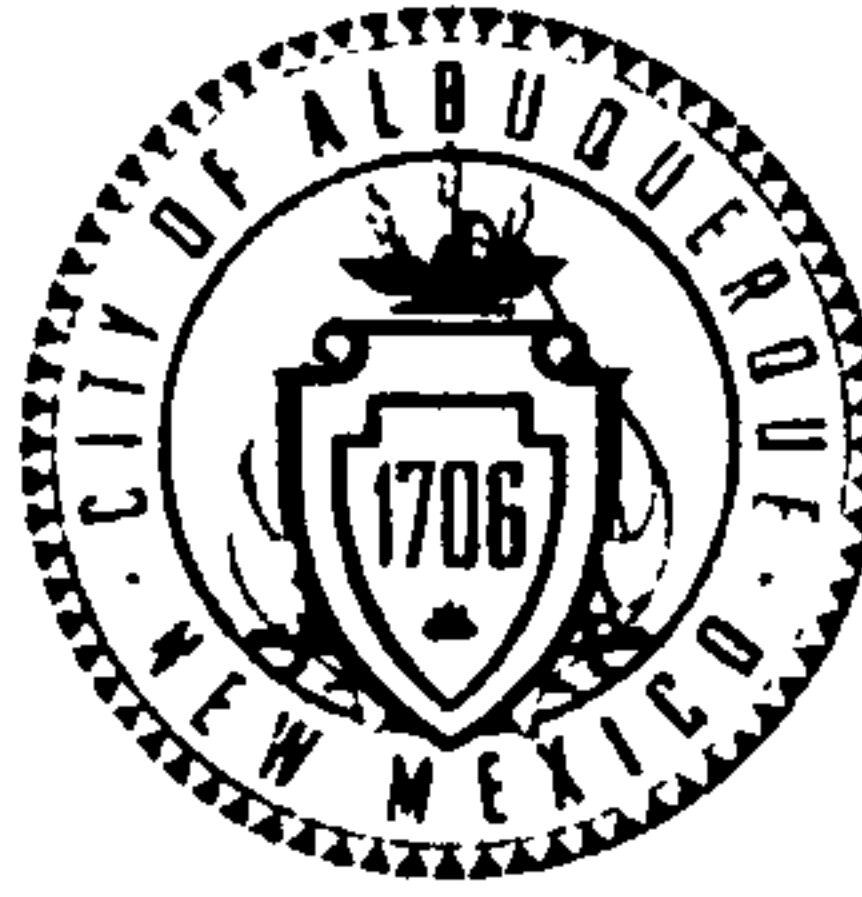
Condition 10c: The Site Plan is designed per DPM Standards.

Please contact me with any questions regarding the proposed development at 246-0870.

Sincerely,

A handwritten signature in black ink, appearing to read 'Bill Kleinschmidt', with a long horizontal flourish extending to the right.

Bill Kleinschmidt, Architect
slagleHERR Architects, Inc.



City of Albuquerque
Planning Department
Current Planning Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: December 18, 2009

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project# 1008059***
09EPC-40061 SITE DEVELOPMENT -
BUILDG PRMT

John Mechenbier
Mechenbier Construction Inc.
8500 Washington St. NE
Suite A-6
Albuquerque, NM 87113

LEGAL DESCRIPTION: SLAGLEHERR
ARCHITECTS agents for MECHENBIER
CONSTRUCTION INC request the above action
for all or a portion of lots 4-6, block 4, tract A,
Unit B, NORTH ALBUQUERQUE ACRES,
zoned IP located on 5300 VENICE NE
BETWEEN SAN MATEO NE AND I-25
containing approximately 2.66 acres. (B-18)
Randall Falkner, Staff Planner

On December 17, 2009 the Environmental Planning Commission voted to **APPROVE** Project 1008059 / 09EPC-40061, a site development plan for building permit for all or a portion of lots 4-6, block 4, tract A, Unit B, NORTH ALBUQUERQUE ACRES, zoned IP, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for a site development plan for building permit of approximately 2.6 acres located on Venice Avenue NE, between San Mateo Boulevard NE and I-25.
2. The Albuquerque/Bernalillo County Comprehensive Plan, the North Valley Area Plan, the North I-25 Sector Development Plan, and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
3. The subject site is within the Developing Urban Area of the Comprehensive Plan.
4. The request furthers the following Comprehensive Plan policies for Developing and Established Urban Areas:

- a. Policy II.B.5d – The location, intensity, and design of the proposed development would respect existing neighborhood values, natural environmental conditions and carrying capacities. The proposed development is bounded by vacant land to the south and west, and by warehousing and storage land use to the north and east. The request would not have a substantial effect on the average weekday traffic flow of Venice Avenue or surrounding streets. Residential neighborhoods are not in close proximity to the subject site.
 - b. Policy II.B.5e – Full urban services are currently available to the proposed subject site, and the integrity of the existing neighborhoods can be ensured. The request would provide infill development in an area that could benefit from growth.
5. The request furthers Developed Landscape Policy II.C.8d of the Comprehensive Plan by using landscaping that would help to control water erosion and dust, creating a more pleasing environment than currently exists, and by means of low water use vegetation that would help to conserve water.
6. The request furthers the following Economic Development policies of the Comprehensive Plan:
 - a. Policy II.D.6a – The request would offer new employment opportunities with a wide range of occupational skills and salary levels to this part of the City.
 - b. Policy II.D.6c – The request would provide opportunities for improvement in occupational skills and advancement with the proposed business.
7. The request furthers the following goals of the North Valley Area Plan:
 - a. Goal 6 – Quality commercial/industrial development is encouraged in an area that already has developed/established industrial zoning. The zoning of the subject site and the area immediately surrounding the site is IP, and land uses in the area include warehousing and storage, office, and manufacturing.
 - b. Goal 11 – The speculative office/warehouse subject site is located within the I-25 corridor. The subject site is also located in an Industrial Park zone.
8. The request furthers the North I-25 Sector Development Plan objective to encourage reassembly, replatting and annexation of lands in the plan area. The property currently consists of three separate parcels, and is proposed to be replatted into a single parcel.
9. There is no known opposition to the project and not letters of opposition have been received. A facilitated public meeting was not held due to technical difficulties and was not requested by the neighborhoods.
10. A traffic impact study (T.I.S.) is required by the North I-25 Sector Development Plan, but is not technically warranted for the proposed uses on the subject site. The EPC finds that the request would not have a substantial effect on the average weekday traffic flow of Venice Avenue or surrounding streets and a T.I.S. is not necessary.

11. An eight foot wide pedestrian sidewalk along the entire length of the major façade is appropriate for this site, given the proposed office and warehouse uses. The EPC finds that the intent of the General Building and Site Design Regulations to enhance the visual appearance and pedestrian environment are met.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The specific color of the 8' CMU wall shall be identified on Sheet A002.
4. The front of the building is required to have a 8' sidewalk per Section 14-16-3-18 (C)(1)(a) of the Zoning Code.
5. The applicant shall cluster trees together to minimize conflicts between lighting and trees around the perimeter of the site, while still meeting all the requirements of the Zoning Code and the Street Tree Ordinance.
6. Landscaping:
 - a. The Landscaping Plan (Sheet L2 of L2) shall show 16 street trees required and 15 street trees provided. One additional street tree (can be an accent tree) shall be added to the landscape plan along Venice Avenue.
 - b. The landscape calculations (including total lot area, total buildings area, net lot area, and total landscape provided) on Sheet L2 of L2 shall be consistent with those on Sheet A001.
 - c. The Vitex on Sheet L1 of L2 shall meet the Zoning Code size requirement at time of planting of 10'-12' feet in height.
7. The primary façade (north side) shall incorporate outdoor seating that meets the requirements found in Section 14-16-3-18 (C)(3).
8. The monument sign shall be eliminated as it is not allowed per Section 14-16-2-19(A)(25)(b)(2).
9. Recommended Conditions from Public Service Company of New Mexico:

- a. It is the applicant's obligation to determine if existing utility easements or rights-of-way are located on or adjacent to the property and to abide by any conditions or terms of those easements or agreements.
- b. It is necessary for the developer to contact PNM's New Service Delivery Department to coordinate electric service regarding this project. Any existing or proposed public utility easements are to be indicated on the site plan utility sheet prior to DRB review. PNM's standard for public utility easements for distribution is 10 feet in width to ensure adequate, safe clearances.
- c. Screening should be designed to allow for access to utility facilities. It is necessary to provide adequate clearance of ten feet surrounding all ground-mounted utilities for safe operation, maintenance and repair purposes.

10. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT and NMDOT:

- a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).
- b. Provide truck circulation information (i.e. proposed truck route, type of vehicles using the loading area, etc.). Additional comments may be required after that information is provided.
- c. Site plan shall comply and be designed per DPM Standards.

APPEAL: IF YOU WISH TO APPEAL A FINAL DECISION, YOU MUST DO SO BY JANUARY 4, 2010 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.


YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER

REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Deferral requests by the applicant for map amendments and site development plans are subject to a \$110 fee per item (Zoning Code Section 14-16-4-1(B)). Failure of the applicant to pay such fees and provide proof of payment prior to the date the case(s) are deferred to may result in further deferral of the item(s) until the required fee(s) are paid.

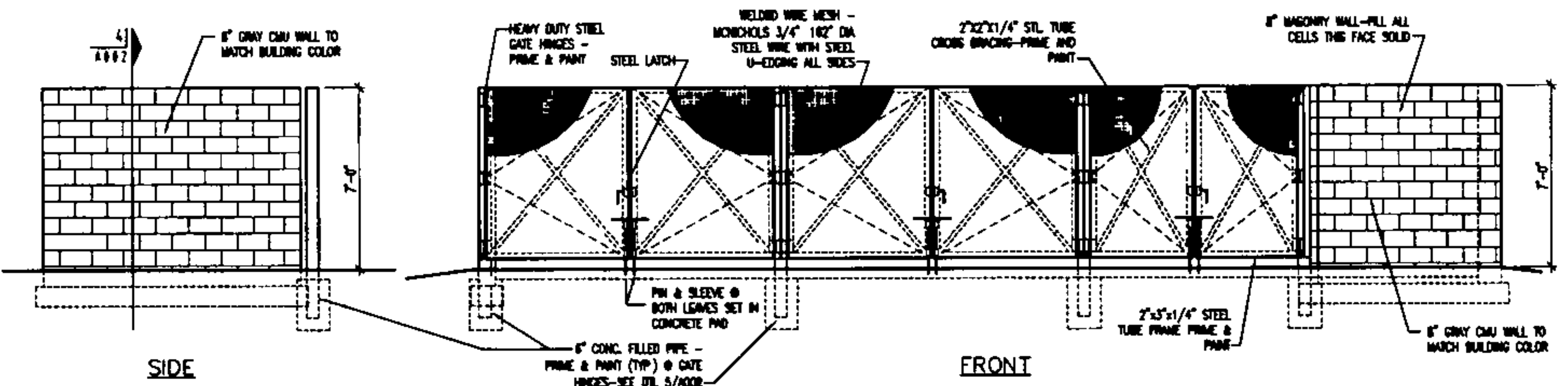
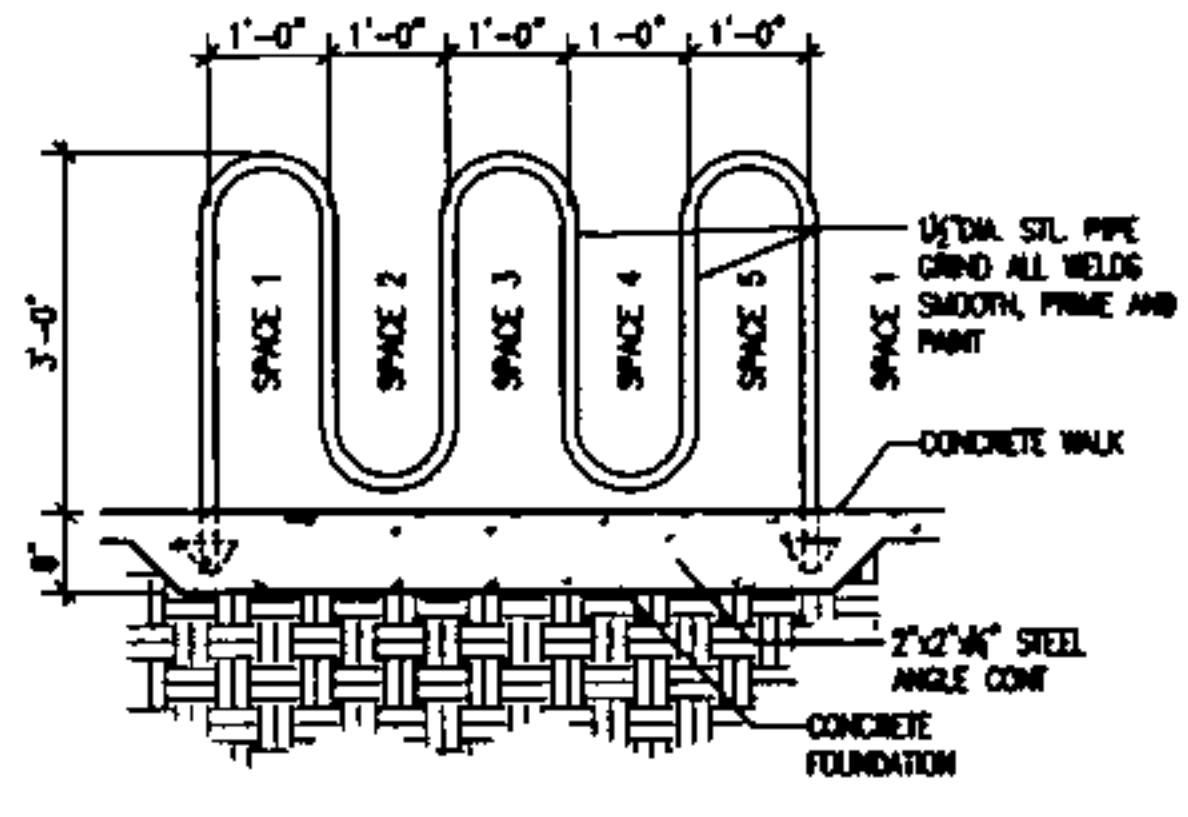
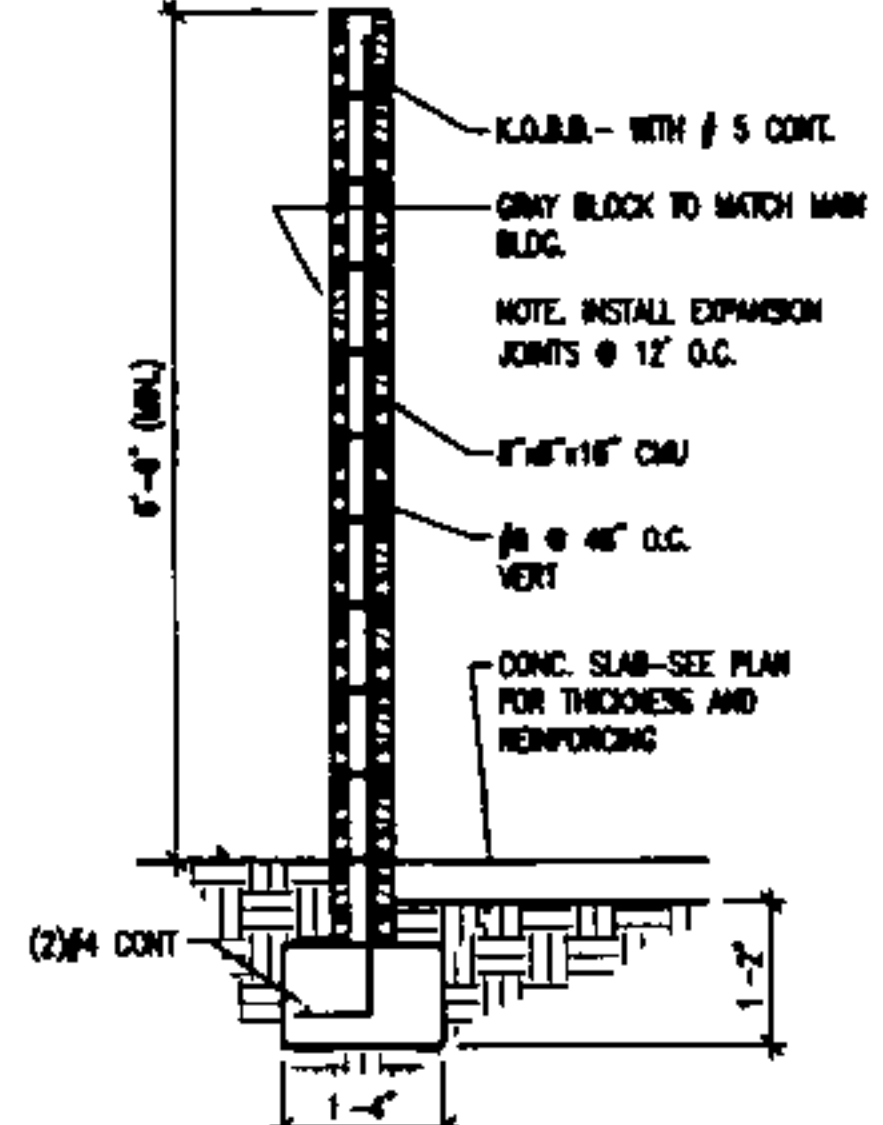
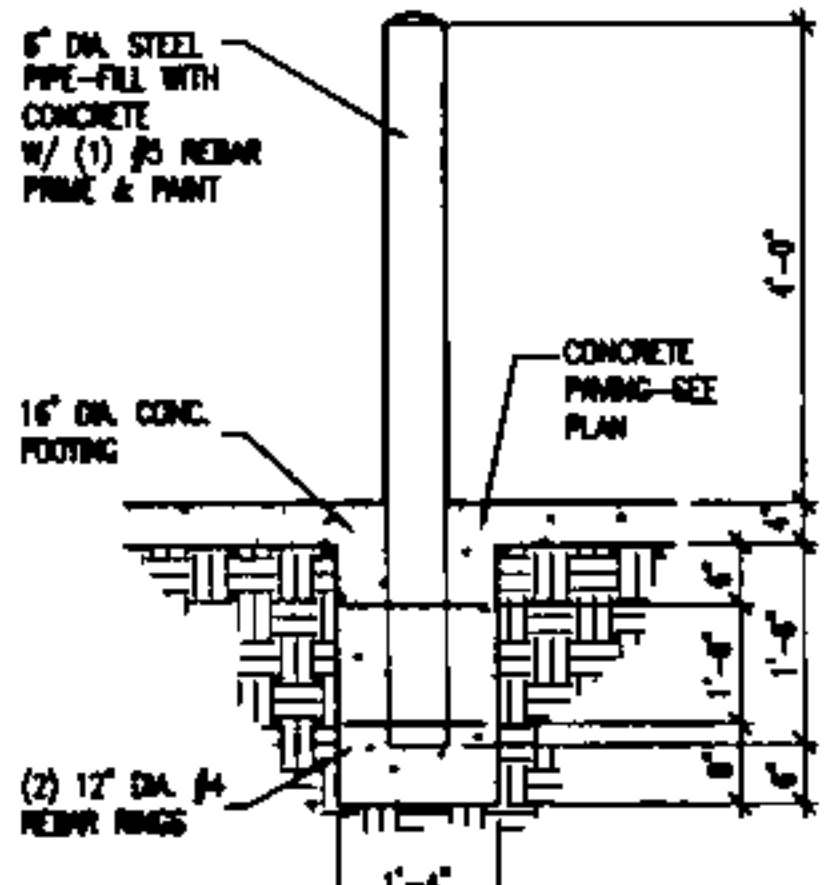
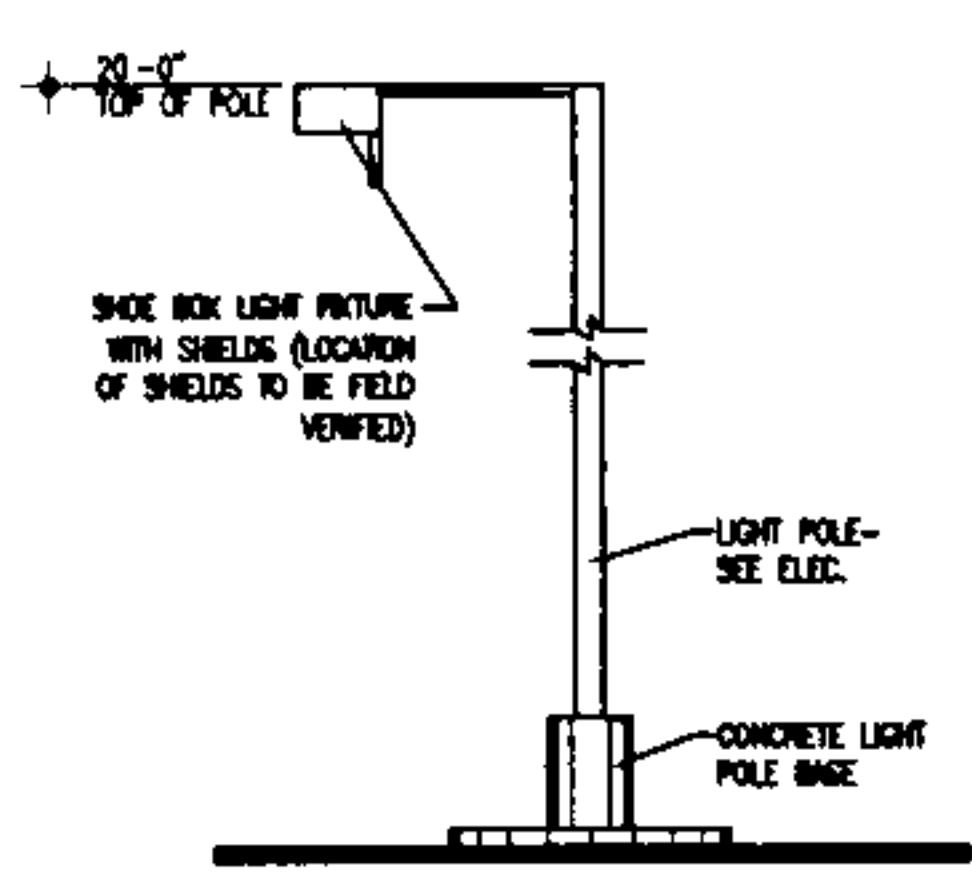
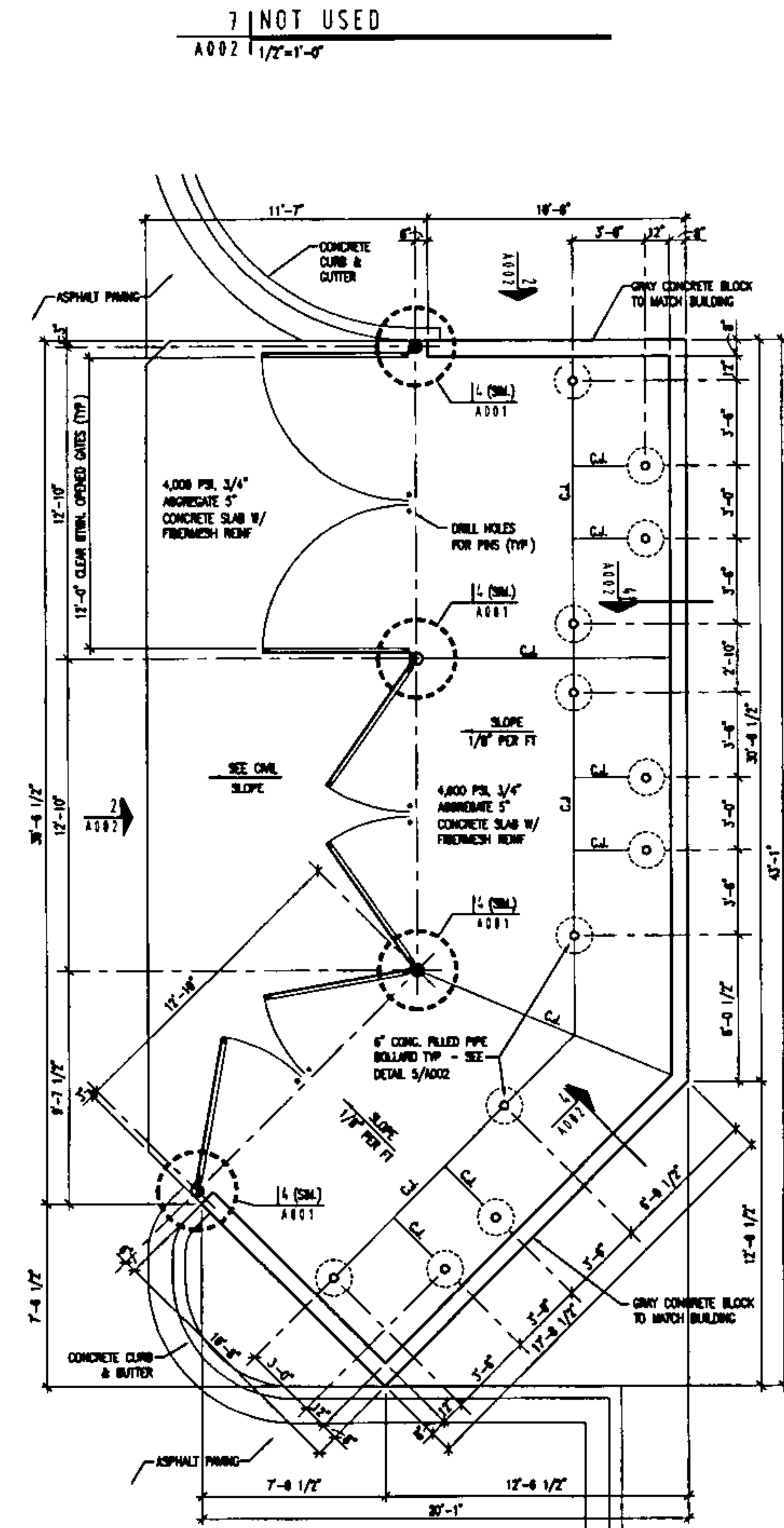
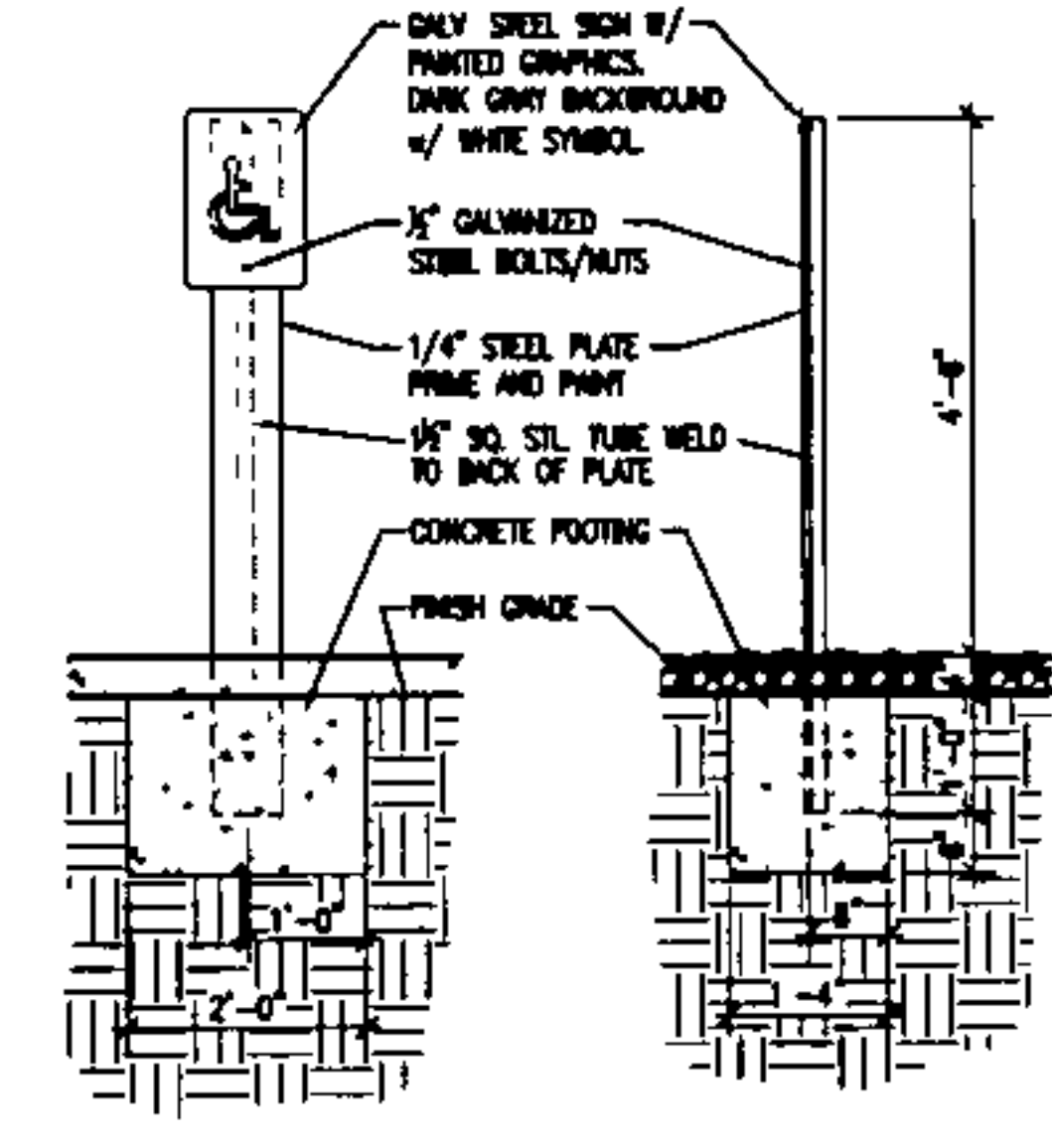
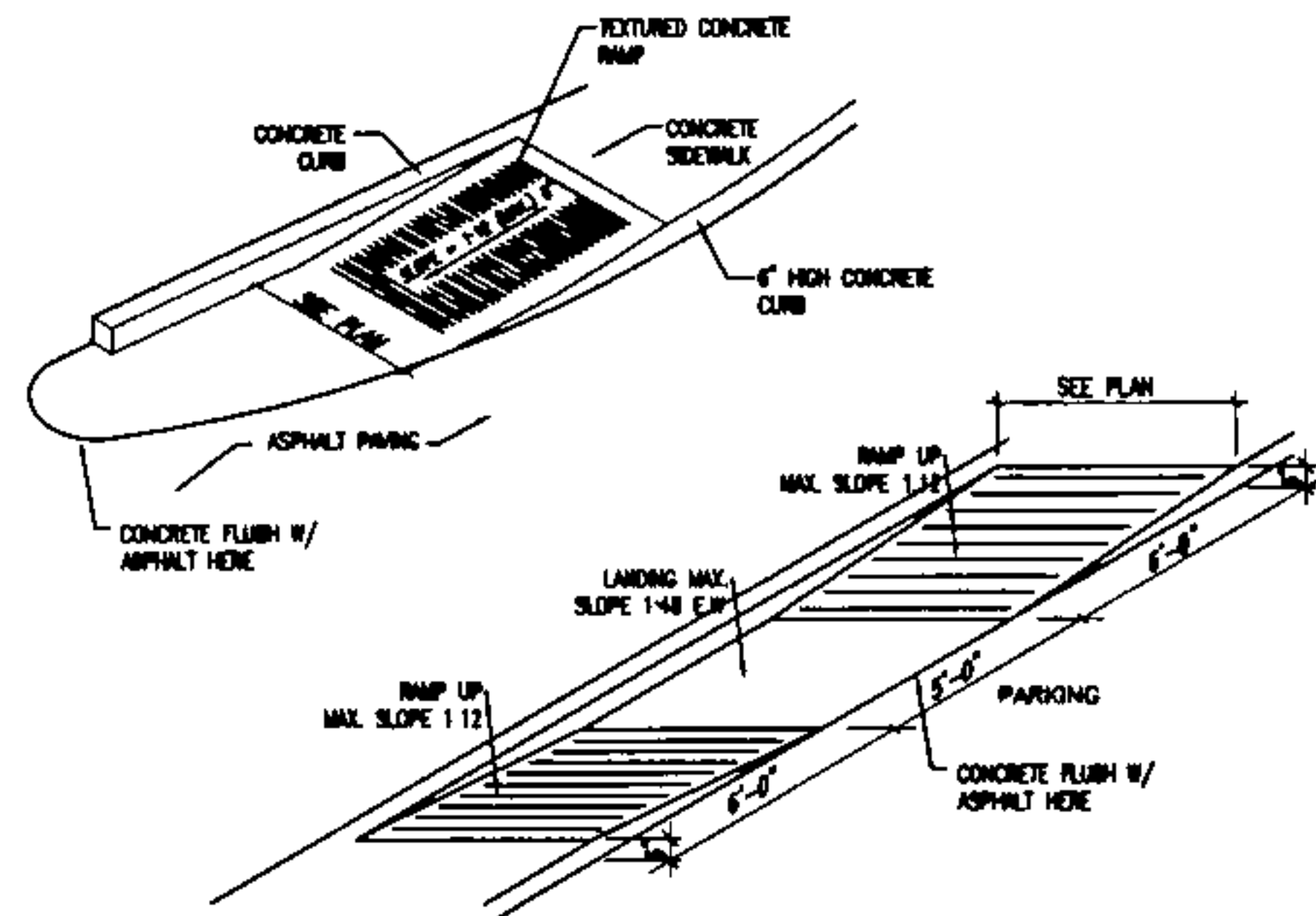
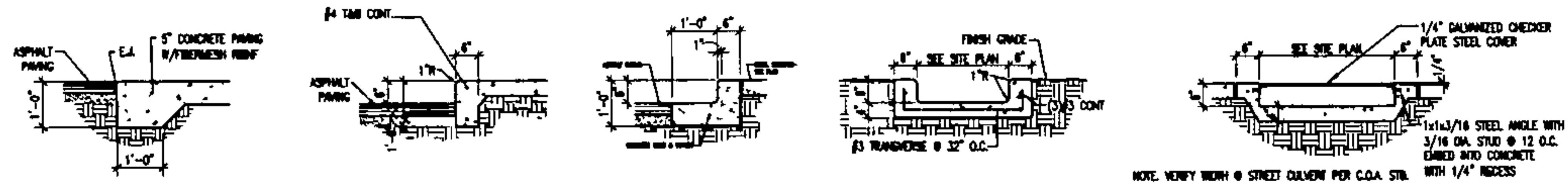
Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC.

Sincerely,


Deborah Stover
Planning Director

DS/RF/ma

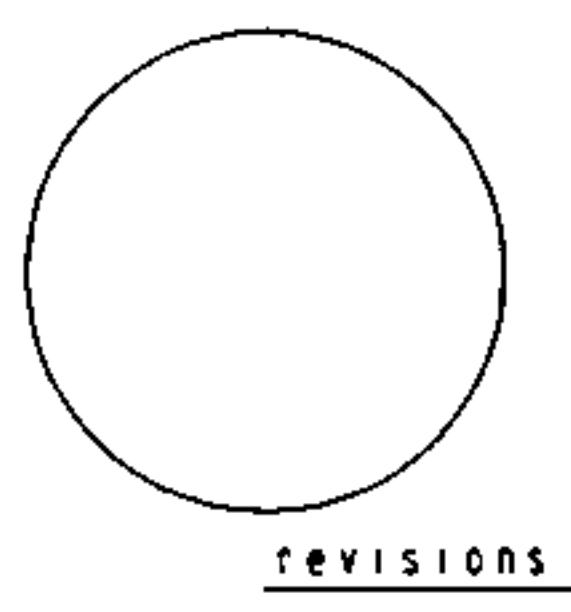
cc: Bill Kleinschmidt, Slagleherr Architects, 1600 Rio Grande NW, Albuquerque, NM 87104
Larry Caudill, Wildflower N.A., 4915 Watercress Dr. NE, Albuquerque, NM 87113
John Gaydos, Wildflower N.A., 4911 Watercress Dr. NE, Albuquerque, NM 87113
Chris Catechis, North Valley Coalition, 5733 Guadalupe Tr. NW, Albuquerque, NM 87107
Claude Morelli, North Valley Coalition, P.O. Box 70352, Albuquerque, NM 87197



MECHENBIER
CONSTRUCTION INC.
OFFICE/ WAREHOUSE
DEVELOPMENT AT
5454 VENICE AVE. N.E.

slagle
HERR
A. P. C. H. I. N. T. S.
1100 PLOGRANDE AV
ALBUQUERQUE
NEW MEXICO 87102
TEL: 505.263.0337
FAX: 505.263.0337
SLAGLE.HERR@COM

SITE DETAILS



date
1/8/10
sheet

A002

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Series Fe Drench gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (30' length) with 5 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 1.0 gph. Shrubs to receive (2) 1.0 gph Drip Emitters. Drip and Bubble systems to be tied to 1/2" polyline with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 5 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

STREET TREE REQUIREMENTS - Minimum 2' Caliper

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: Venice NE
Required = 15 Provided = 15

PARKING LOT TREE REQUIREMENTS - Minimum 2' Caliper

Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

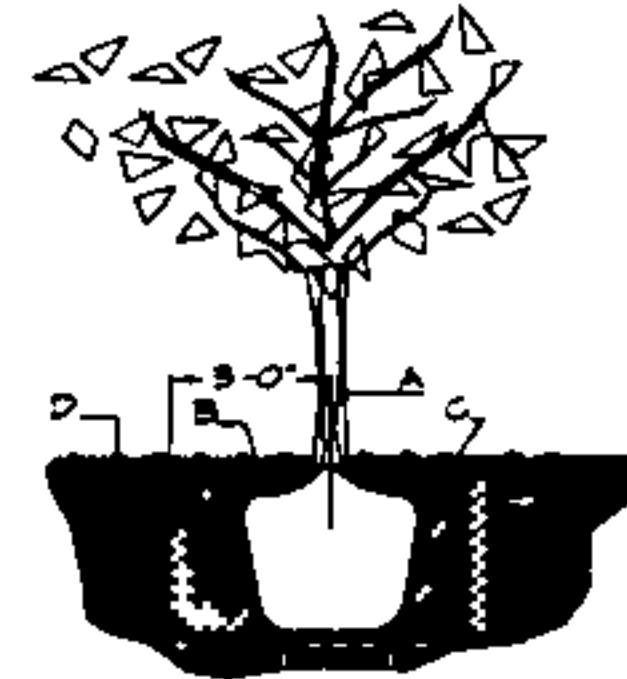
1 Shade tree per 10 spaces
Required = 15 Provided = 15

LANDSCAPE CALCULATIONS

| | | |
|--|---------------|-------------|
| TOTAL LOT AREA | 115826 | square feet |
| TOTAL BUILDING AREA | 37605 | square feet |
| NET LOT AREA | 78218 | square feet |
| LANDSCAPE REQUIREMENT | 15% | |
| TOTAL LANDSCAPE REQUIREMENT | 11732 | square feet |
| TOTAL BED PROVIDED | 12449 | square feet |
| GROUND COVER REQ | 75% | square feet |
| TOTAL GROUND COVER REQUIREMENT | 8336 | square feet |
| TOTAL GROUND COVER PROVIDED | 4551 (17%) | square feet |
| TOTAL SOD AREA (max. 20% of landscape required) | 0 | square feet |
| TOTAL LANDSCAPE PROVIDED | 12449 (15.4%) | square feet |

NOTE TO CLIENT:

Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1 if the grades are greater than what was originally designed. We will request an in-field change-order to lay cobblestone or rip-rap in lieu of the specified gravel to stabilize the slope. All vegetative material shall remain per plan.



TREE PLANTING DETAIL

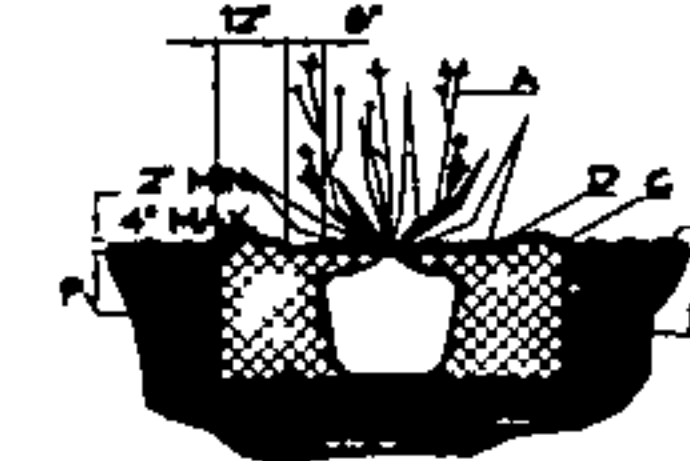
NTS

GENERAL NOTES:

1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE HAS GROWN AND DIG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:

- A. TREE
- B. BACKFILL WITH EXISTING SOIL
- C. 3" DEPTH OF GRAVEL MULCH
- D. UNDISTURBED SOIL



SHRUB PLANTING DETAIL

NTS

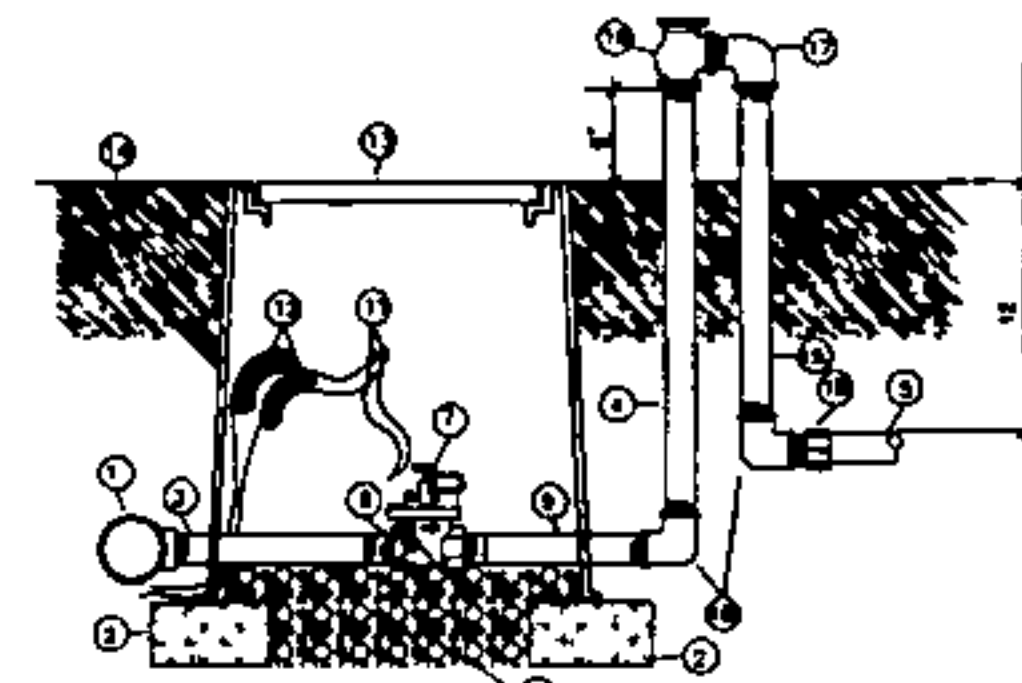
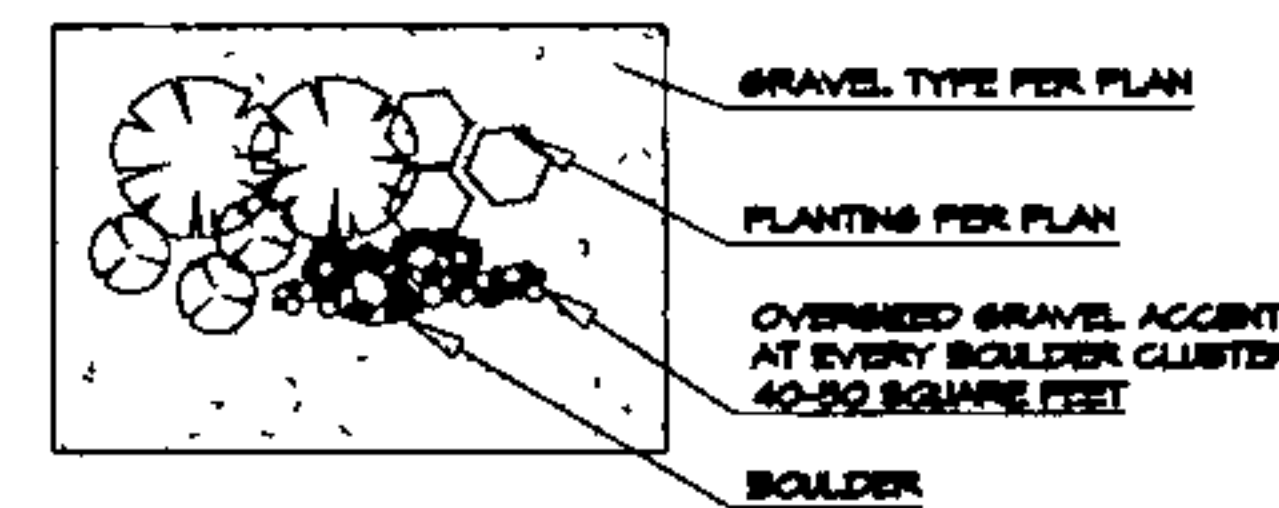
GENERAL NOTES:

1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE THREE TIMES THE DIAMETER OF THE SHRUB PLANTING PIT.

CONSTRUCTION NOTES:

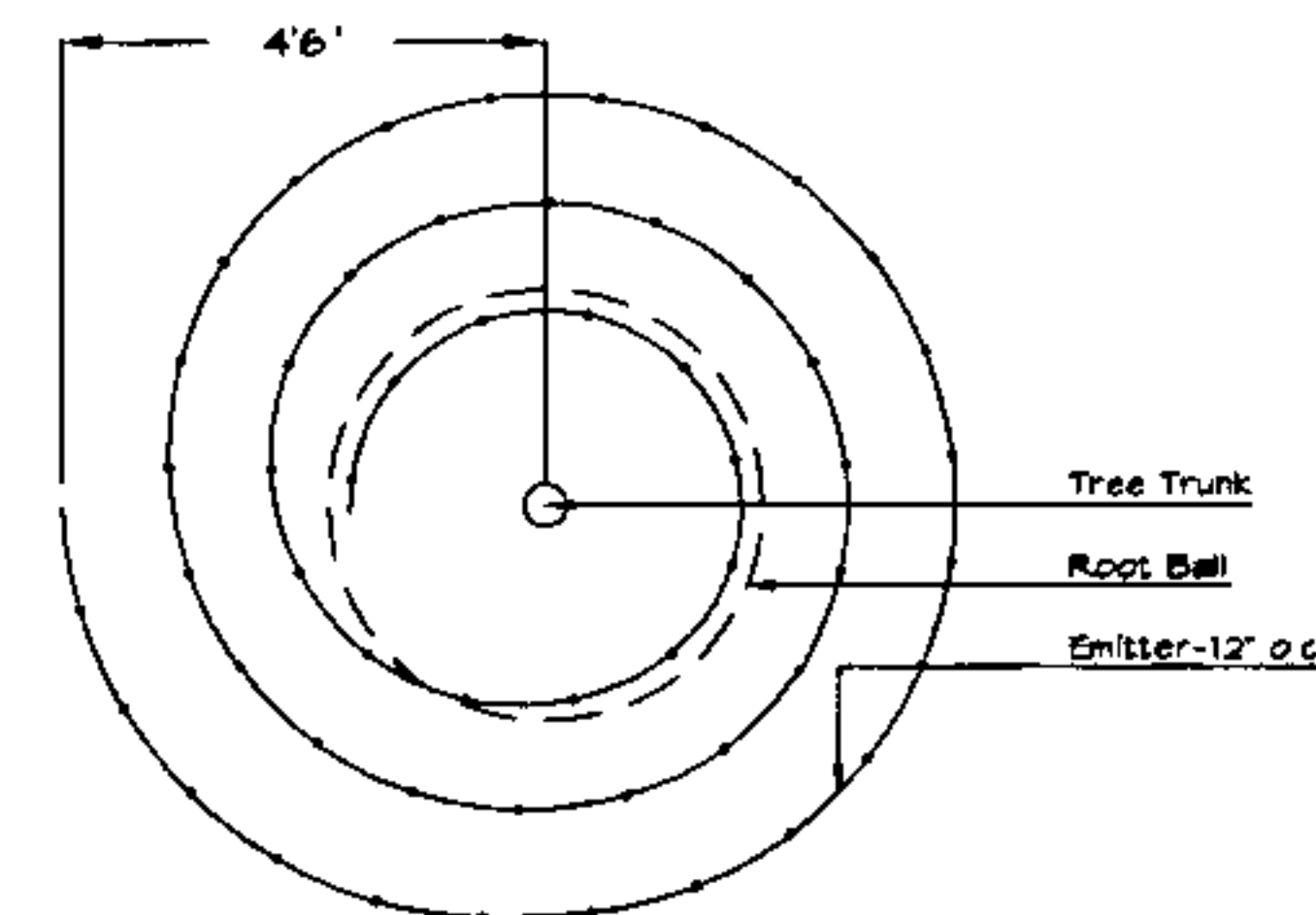
- A. SHRUB
- B. BACKFILL WITH EXISTING SOIL
- C. EARTH BERM AROUND WATER RETENTION BASIN
- D. 3" DEPTH OF GRAVEL MULCH
- E. FINISH GRADE
- F. UNDISTURBED SOIL

GRAVEL ACCENT DETAIL



- 1 HANDLE FITTING
- 2 BALL BEARING
- 3 GALVANIZED HAPPLE
- 4 2" TO 3" GALVANIZED HAPPLE
- 5 LATERAL PIPE
- 6 RELEASE BUSHING
- 7 PLASTIC WAX (SEE LEGEND)
- 8 GRAVEL
- 9 GALVANIZED HAPPLE
- 10 GALVANIZED FLANGE
- 11 WATERPROOF WIRE CONNECTOR
- 12 WIRE COPPERION LIPS
- 13 VALVE BOX
- 14 TRENCH BRACK
- 15 GALVANIZED HAPPLE - 1/2" TO 3/4" LENGTH
- 16 ATMOSPHERIC VACUUM BREAKER
- 17 GALVANIZED STREET TIE
- 18 THE HAPPLE OR WALE ADAPTER

AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER



Netafim Spiral Detail

The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont Lic #26458
7909 Edith N.E.
Albuquerque NM 87184
Ph (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com

MECHENBIER
CONSTRUCTION INC
OFFICE/ WAREHOUSE
DEVELOPMENT AT
5454 VENICE AVE. N.E.

slagle
HERR
Architects
1600 Rio Grande Blvd
Albuquerque, NM
New Mexico 87104
So 5 246 087
Fax So 5 246 0
slagleherr.com

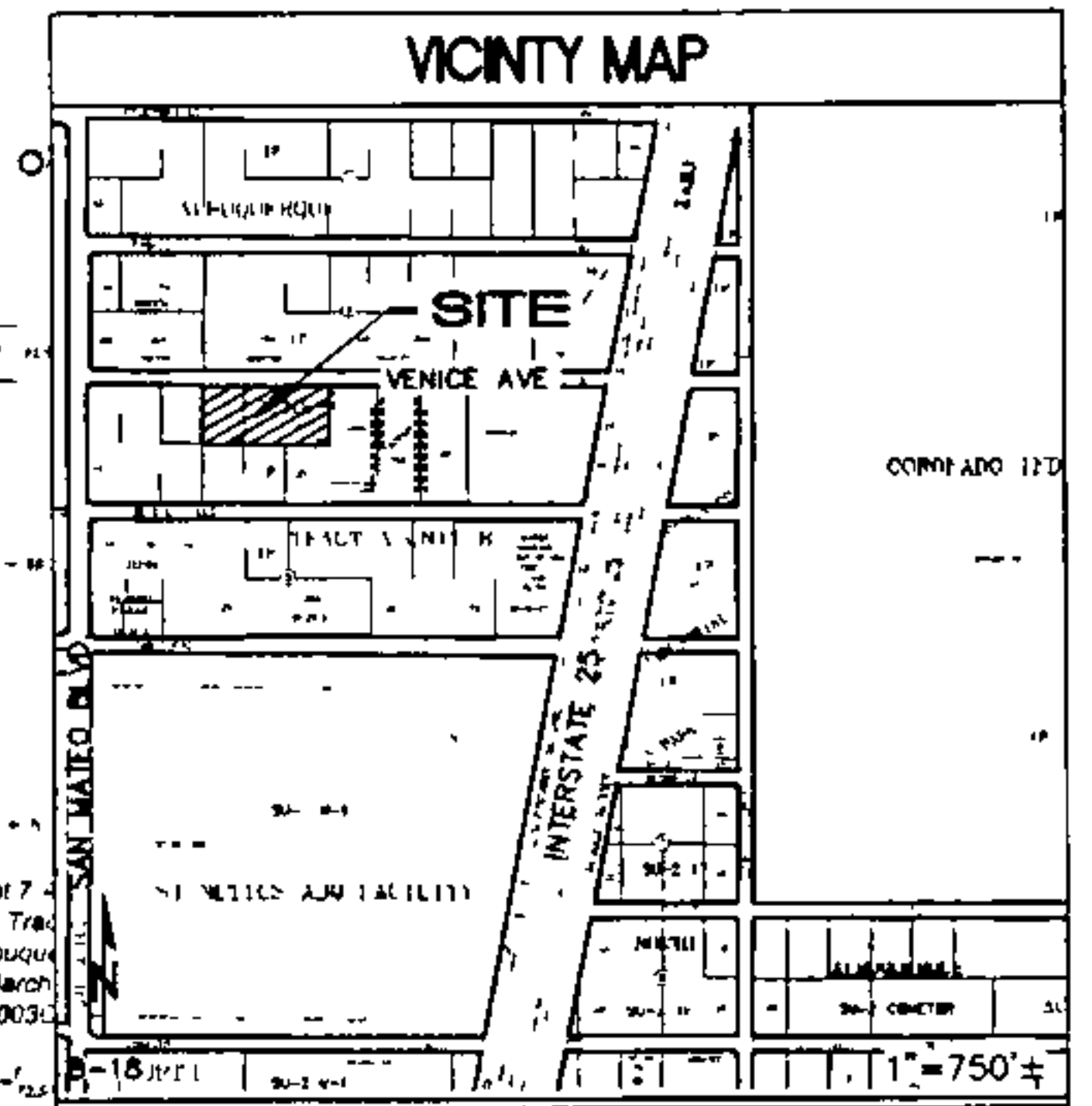
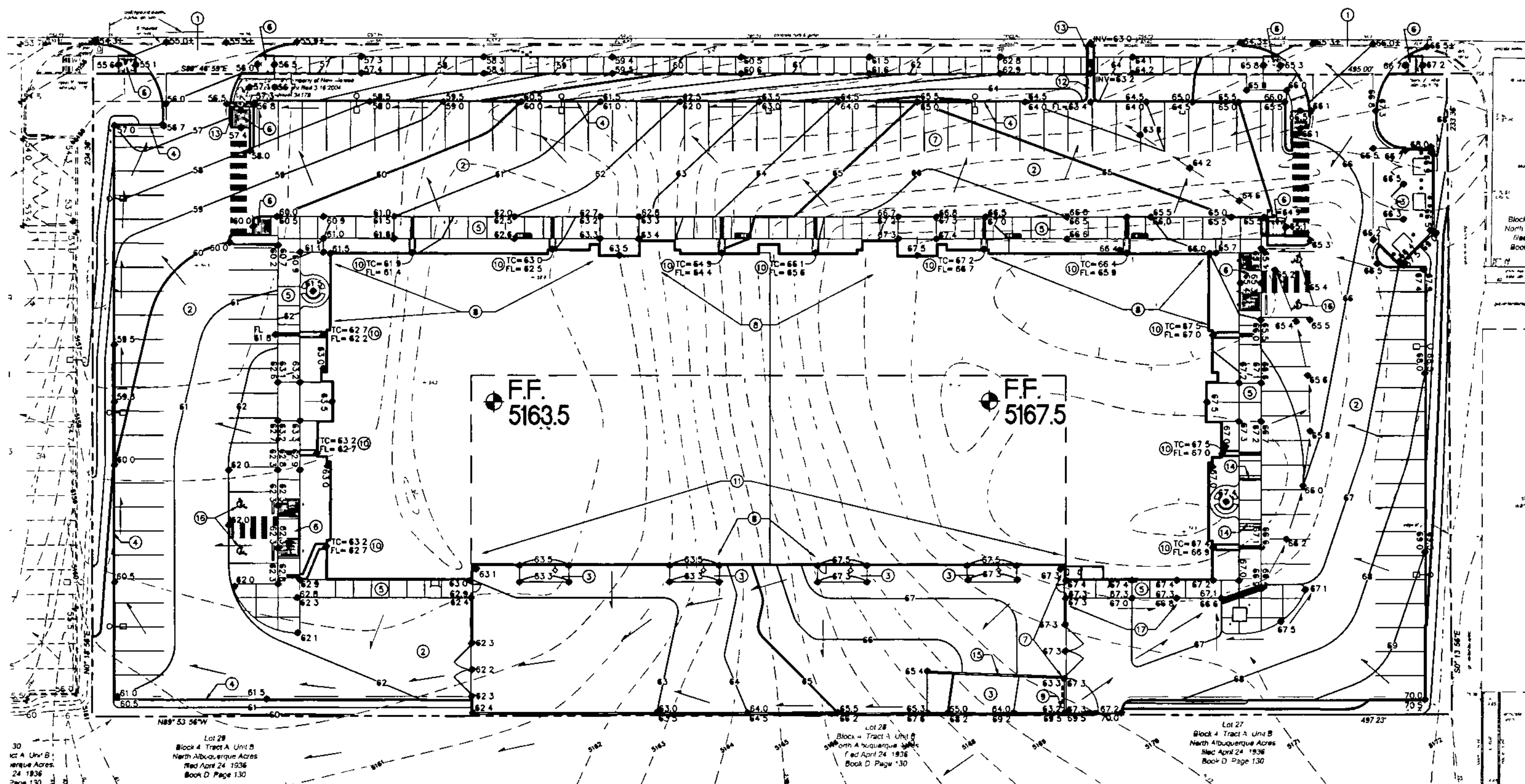


1/8/10

revisions:
1/11-30-09 cmj
2/1-8-10 cmj

date:
1/8/10
sheet:

L2 of L2

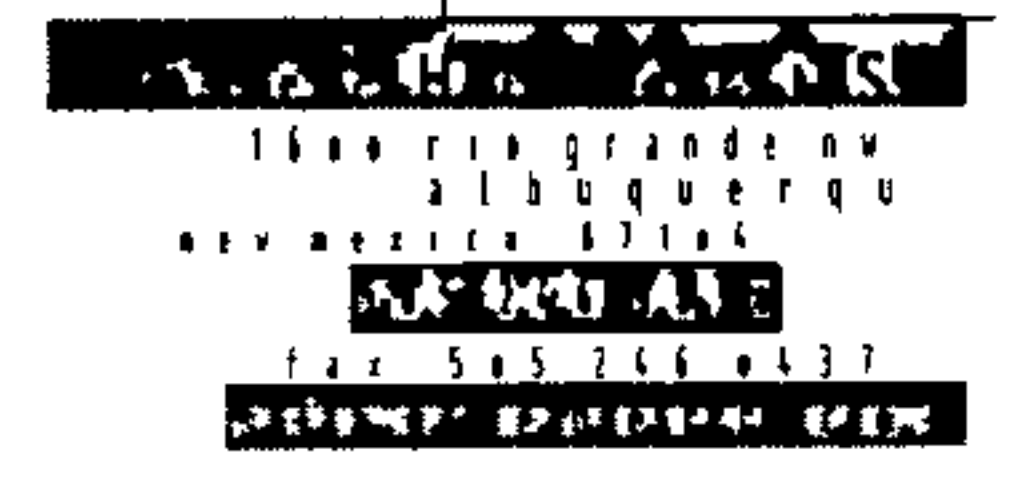


LEGEND

- EXISTING CONTOUR
- - - PROPOSED CONTOUR
- 50.5 PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 67.5 FINISH FLOOR ELEVATION
- FL=54.0 FLOWLINE ELEVATION
- INV=72.5 INVERT ELEVATION
- TW=57.5 TOP OF RETAINING WALL ELEVATION

MECHENBIER CONSTRUCTION INC
 OFFICE/ WAREHOUSE
 DEVELOPMENT AT
 5454 VENICE AVE. N.E.

slagle
HERR



REVISIONS

date
 01/08/10
 sheet

CG-101

KEYED NOTES

- 1 CONSTRUCT SITE ENTRANCE PER C.O.A. STANDARDS MATCH EXISTING FLOWLINE ELEVATIONS TO PROVIDE A SMOOTH RIDING TRANSITION CONSTRUCT CONCRETE VALLEY GUTTER / HANDICAP RAMPS (PER C.O.A. STD DWG 2426) MATCHING EXISTING TOP OF WALK / FLOWLINE ELEVATIONS TRANSITION CURB HEIGHT FROM 8" TO 6" OVER LENGTH OF RADIUS SEE ARCHITECTURAL FOR DIMENSIONS / DETAILS / DEMOLITION OF EXISTING CURBS.
- 2 PROPOSED ASPHALT PAVING SEE ARCHITECTURAL FOR SECTIONS, PARKING LAYOUT DIMENSIONS, STRIPING ETC
- 3 PROPOSED CONCRETE PAVING SEE ARCHITECTURAL FOR JOINT INFORMATION DIMENSIONS, ETC
- 4 CONSTRUCT 6" HIGH MEDIAN CURB AND GUTTER AT ALL ON-SITE LOCATIONS SEE SHEET CG-102 FOR DETAIL
- 5 CONSTRUCT TURNED DOWN CONCRETE WALK THIS AREA SEE ARCHITECTURAL FOR DETAIL
- 6 CONSTRUCT ADA ACCESS RAMP SEE ARCHITECTURAL FOR RAMP LOCATIONS / DIMENSIONS AND ADDITIONAL INFORMATION
- 7 PAVING HIGH POINT THIS AREA.
- 8 CONSTRUCT STEM WALL TRANSITIONS AS REQUIRED TO ACHIEVE GRADE DIFFERENCES SHOWN SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION (DESIGN BY OTHERS)
- 9 CONSTRUCT LOADING DOCK SUMP PUMP INLET THIS AREA SEE DETAIL SHEET CG-102 NOTE ELECTRICITY REQUIRED SEE ARCHITECTURAL.
- 10 ROOF FLOW TO NORTH EAST AND WEST TO BE PASSED TO ASPHALT PAVEMENT VIA U' SHAPED CONCRETE CHANNEL WITH COVERED SIDEWALK CULVERT FLOWLINE ELEVATION (FL) AND TOP OF CHANNEL CURB (TC) AT BUILDING SHOWN MINIMUM SLOPE = 1% TO ASPHALT
- 11 ROOF FLOW TO SOUTH SIDE TO BE COLLECTED AND RELEASED DIRECTLY TO PAVEMENT SEE ARCHITECTURAL FOR SPECIFIC OUTFALL POINTS
- 12 CONSTRUCT 2' WIDE (BOTTOM WIDTH) U SHAPED CONCRETE RUNDOWN WITH 2' CURB RADI TO PASS FLOW SEE SHEET CG-102 FOR DETAIL.
- 13 CONSTRUCT 2' WIDE (BOTTOM WIDTH) COVERED SIDEWALK CULVERT PER C.O.A. STD DWG 2236 TO PASS FLOW SLOPE = 2% SEPARATE PERMIT REQUIRED FOR CONSTRUCTION WITHIN PUBLIC R.O.W. (SEE S.O.19 NOTICE THIS SHEET)
- 14 INSTALL TWO 2" IN PIPES THROUGH WALK THIS AREA TO PASS FLOW TO PAVEMENT
- 15 DOCK RETAINING WALL DESIGN BY OTHERS.
- 16 CONSTRUCT HC PARKING PAVEMENT TO ADA STANDARDS MAX 2% SLOPE IN ANY DIRECTION
- 17 TRANSITION ASPHALT / CONCRETE WALK RELATIONSHIP (0" TO 6") AT ELEVATIONS SHOWN TO MAINTAIN POSITIVE DRAINAGE TO SIDEWALK CULVERT

S.O.19 NOTICE TO CONTRACTORS

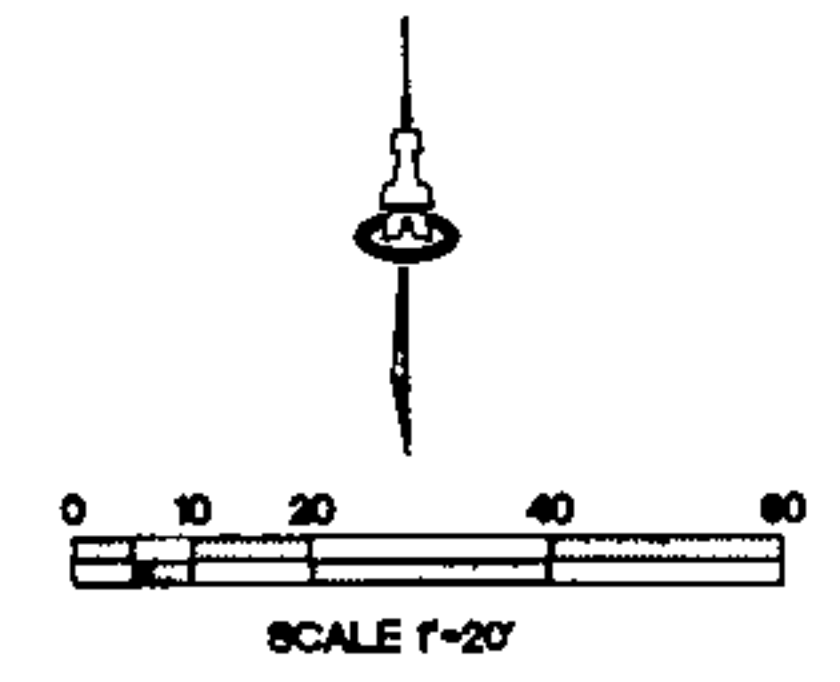
- 1 AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY
- 2 ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 1986 EDITION AS REVISED THROUGH UPDATE #7 AMENDMENT 1
- 3 TWO WORKING DAYS PRIOR TO ANY EXCAVATION THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- 4 PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY
- 5 BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC / STREET USE.
- 6 MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED
- 7 WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL NAME _____ DATE _____

INSPECTOR _____

ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 126 Monroe Street N.E.
 Albuquerque New Mexico 87108
 Ph 505-264-5828 Fax 505-264-3632
 1745 CC-181 eng Jan 07,2010

GRADING AND DRAINAGE PLAN



30
 Lot A Unit B
 North Albuquerque Acres
 24 1936
 Page 130

Lot 28
 Block 4 Tract A Unit B
 North Albuquerque Acres
 24 1936
 Book D Page 130

Lot 28
 Block 4 Tract A Unit B
 North Albuquerque Acres
 24 1936
 Book D Page 130

Lot 27
 Block 4 Tract A Unit B
 North Albuquerque Acres
 24 1936
 Book D Page 130

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** Your attendance is required.
 - Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application

- EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)** Your attendance is required.
 - Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application

Extension of preliminary plat approval expires after one year.

- MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** Your attendance is required.
 - Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
 - Design elevations & cross sections of perimeter walls 3 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - Copy of recorded SIA
 - Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - List any original and/or related file numbers on the cover application
 - DXF file and hard copy of final plat data for AGIS is required.

- MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** Your attendance is required.
 - 5 Acres or more: Certificate of No Effect or Approval
 - Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
 - Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
 - Design elevations and cross sections of perimeter walls (11" by 17" maximum) 3 copies
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
 - Infrastructure list if required (verify with DRB Engineer)
 - DXF file and hard copy of final plat data for AGIS is required.

- AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** Your attendance is required.

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

 - Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application

Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

TERESE C. FORSTRAVER
 FORSTRAVER SURVEYING LLC
 Applicant name (print)
 TERESE C. FORSTRAVER 1/12/2010
 Applicant signature / date



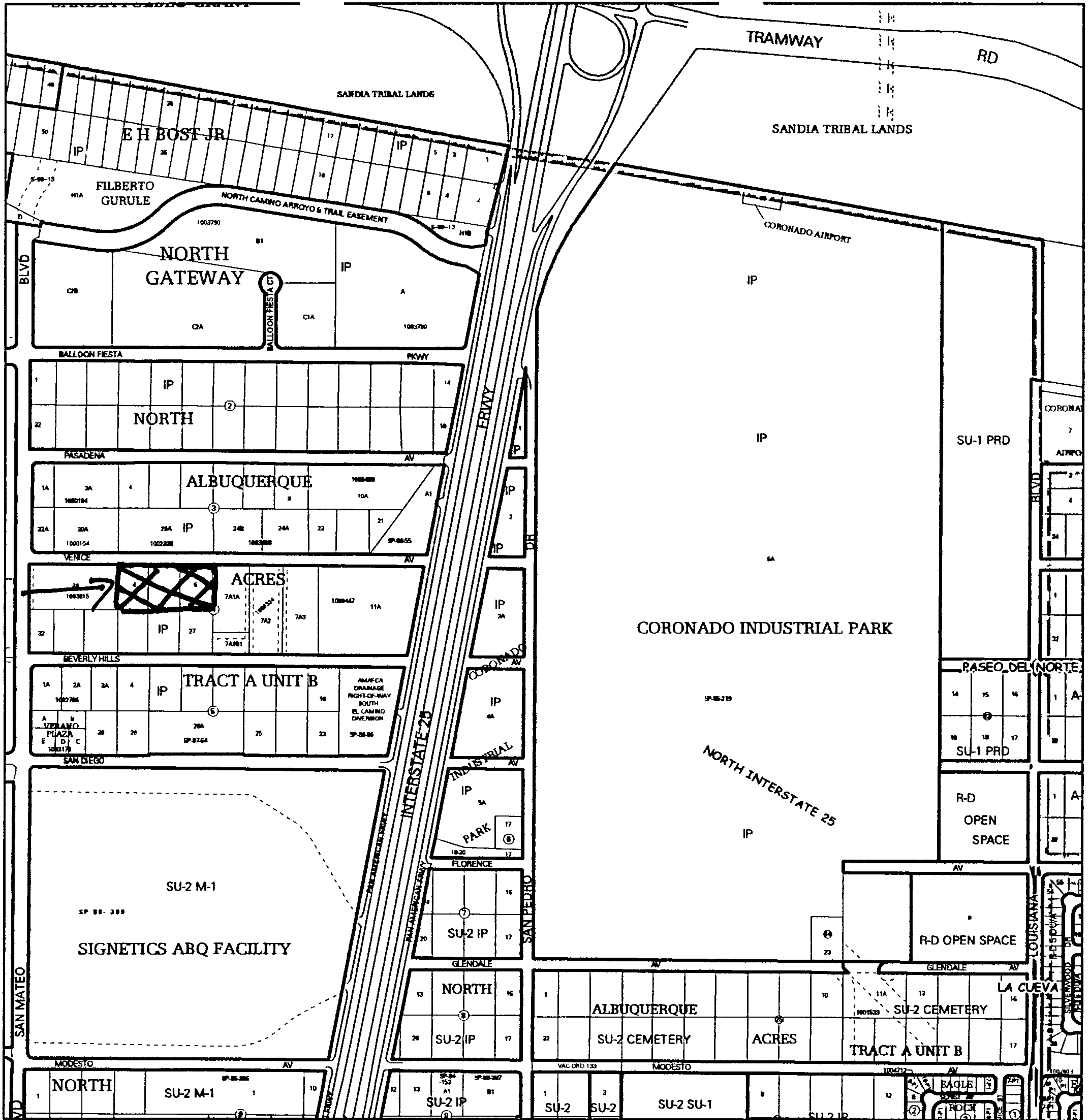
Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed


Application case numbers
 10 DRB - 70015

Sandy Handley 01/12/10
 Planner signature / date
 Project # 1008059

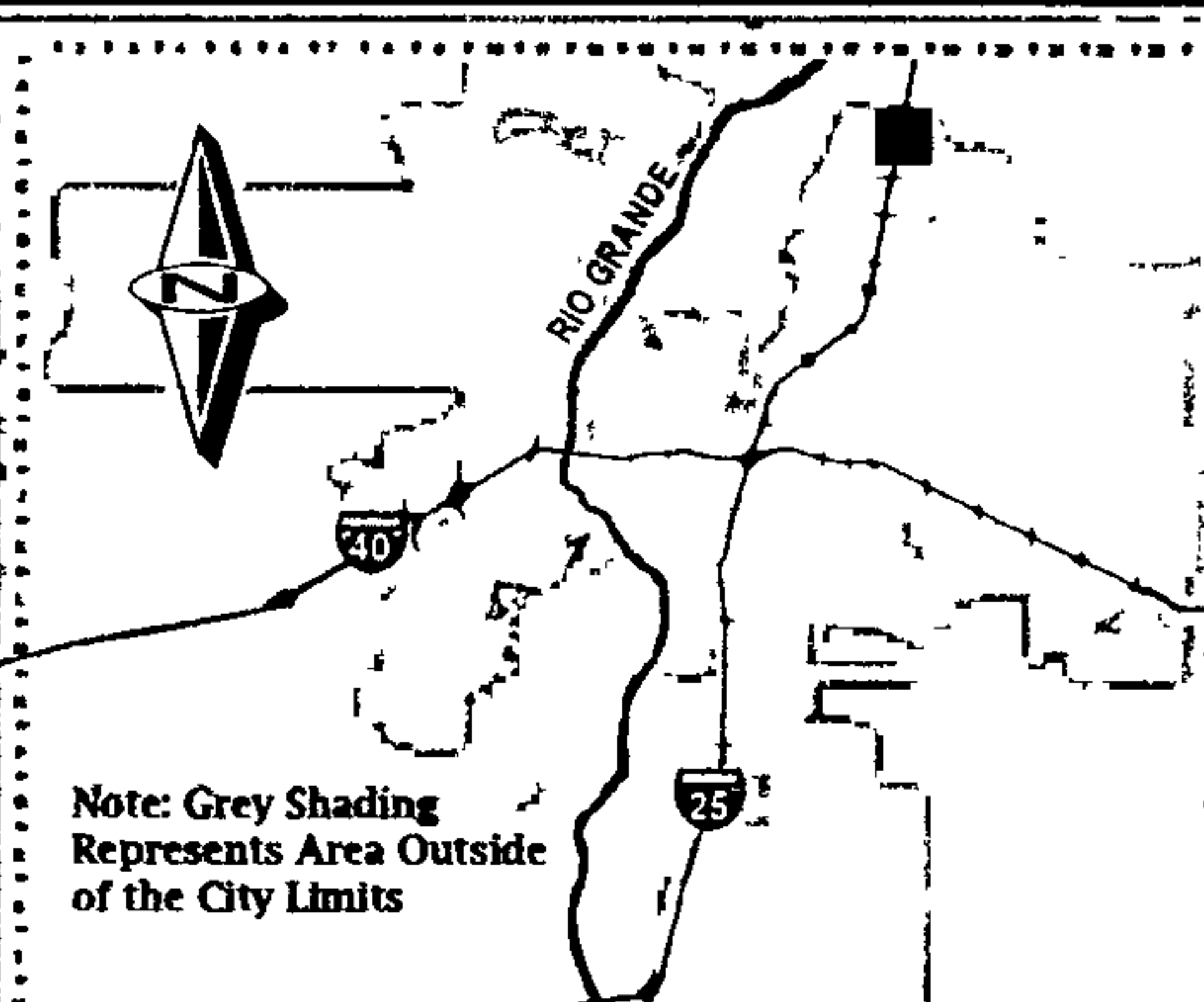
SITE



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 3/10/2009



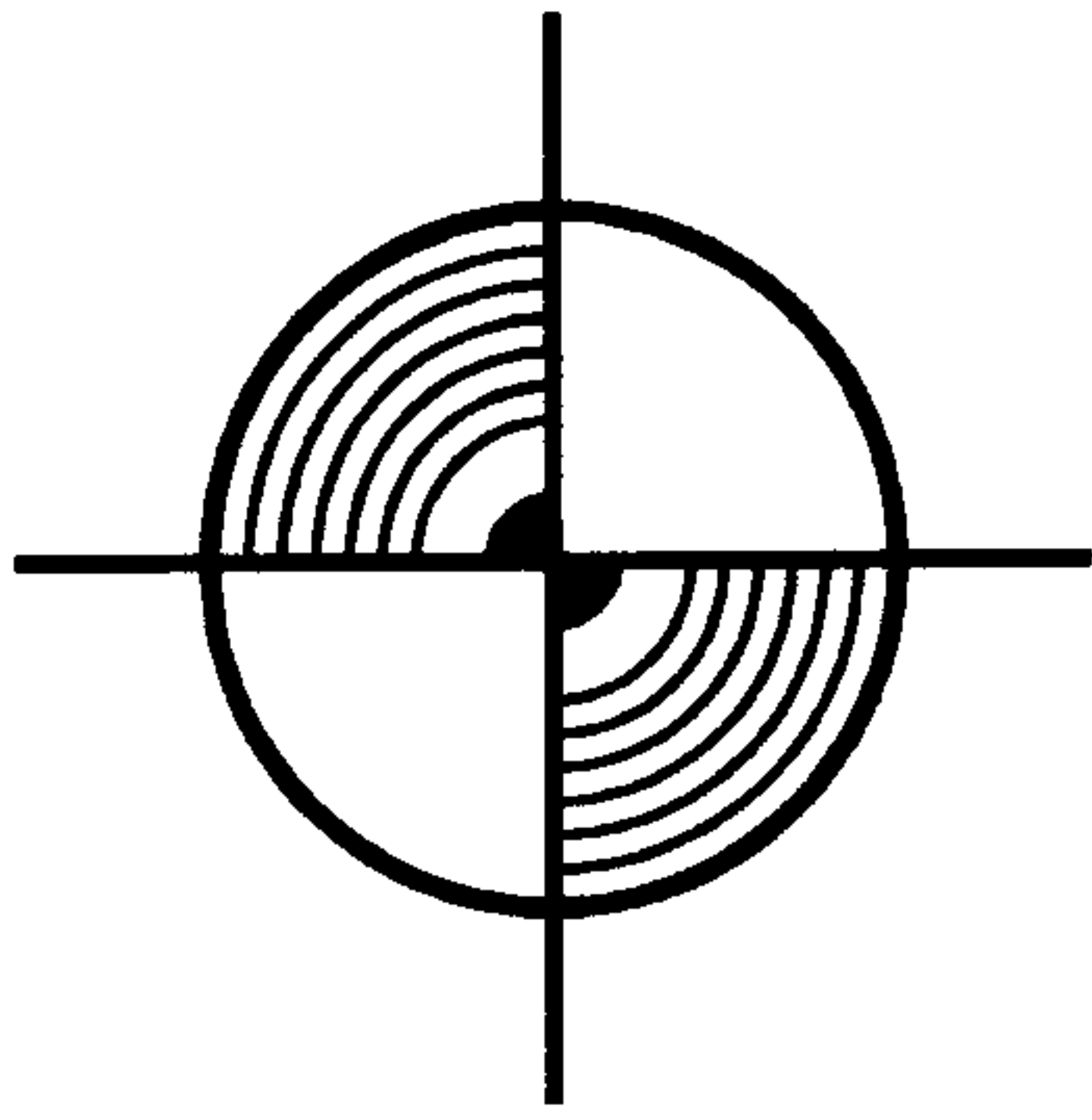
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
B-18-Z

Selected Symbols

| | |
|----------------------|------------------------|
| SECTOR PLANS | Escarpment |
| Design Overlay Zones | 2 Mile Airport Zone |
| City Historic Zones | Airport Noise Contours |
| H-1 Buffer Zone | Wall Overlay Zone |
| Petroglyph Mon. | |

0 750 1,500 Feet



Forstbauer Surveying Company, LLC

*Professional Surveyor
New Mexico • Arizona • Colorado
United States Mineral Surveyor*

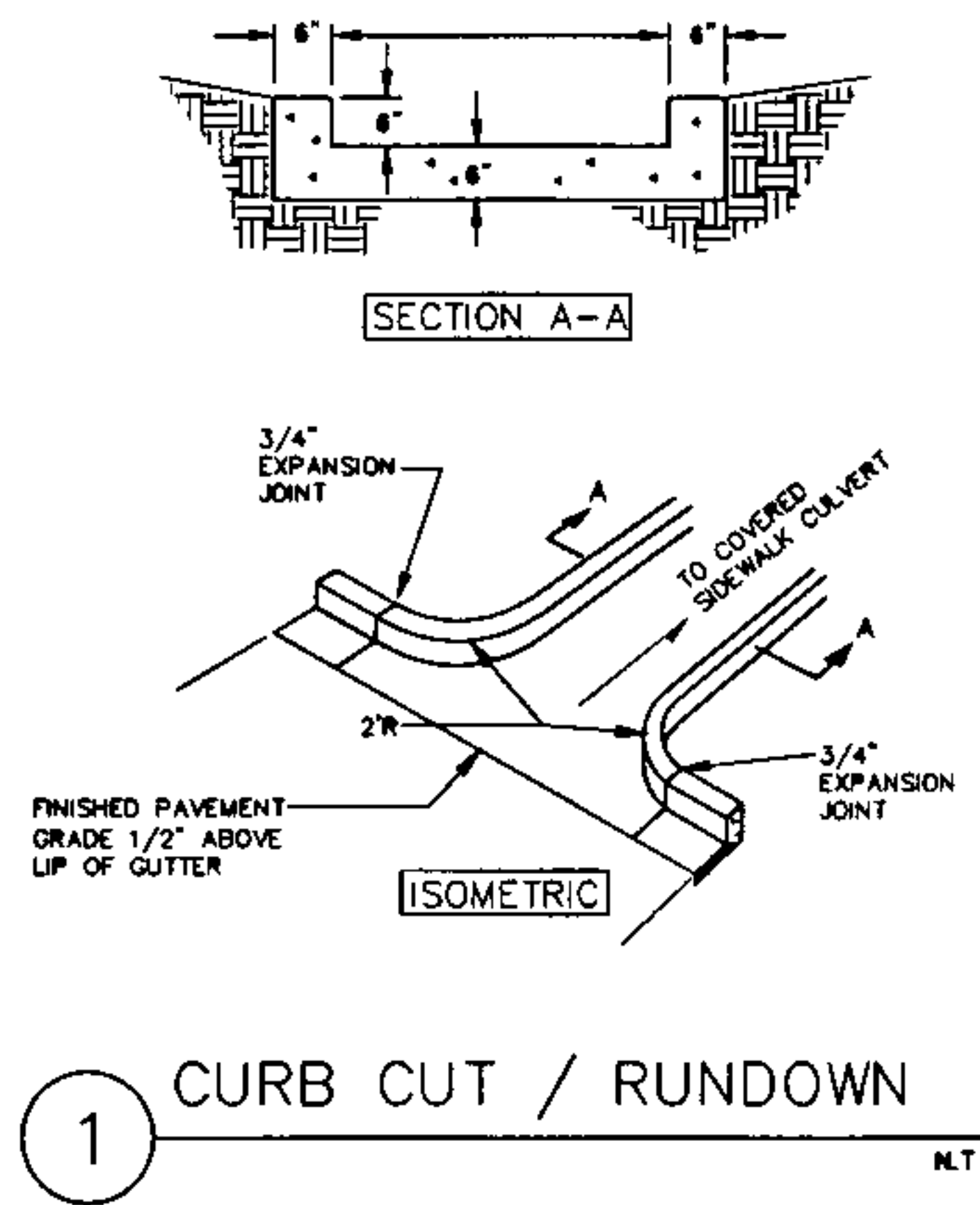
January 12, 2010

To: Development Review Board

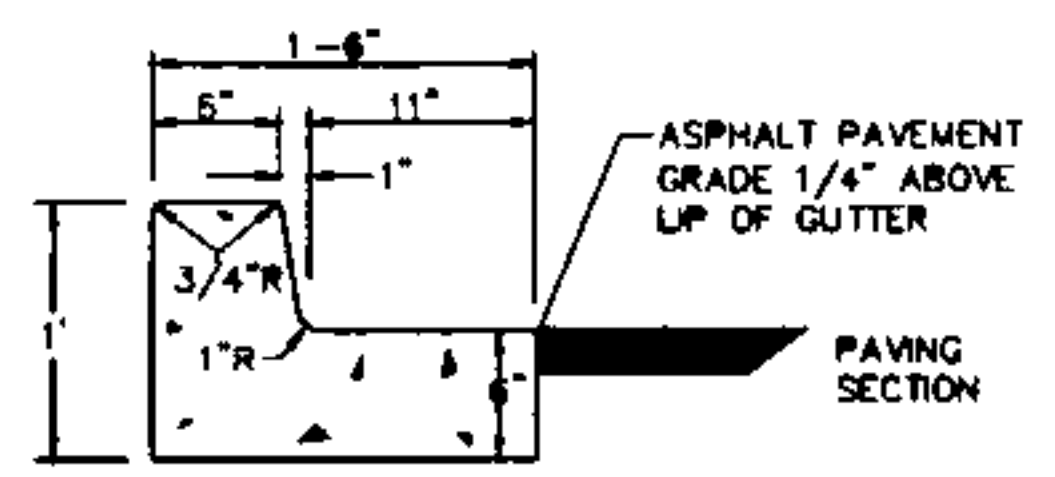
From: Terese C. Forstbauer

**Re: Replat of Lots 4, 5 and 6, Block 4, Tract A, Unit B, North Albuquerque
Acres, Albuquerque, NM**

Forstbauer Surveying LLC, agent for Coronado Land LLC, requests Preliminary / Final Plat approval for the above referenced replat consolidating said Lots 4, 5 and 6 into one lot. The replat is necessary to allow for future development.

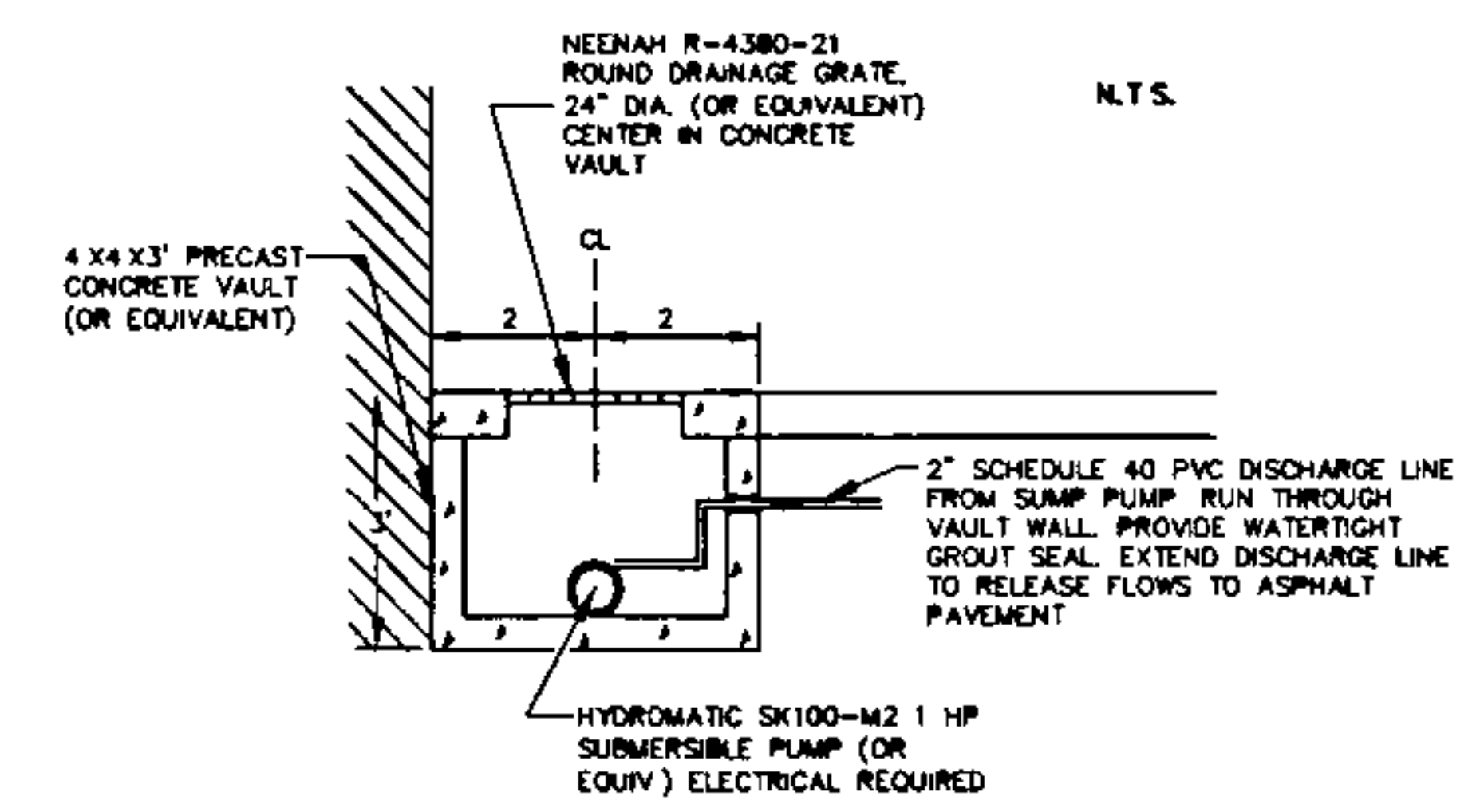


1 CURB CUT / RUNDOWN N.T.S.



- GENERAL NOTES**
- 1 PROVIDE CONST CONTROL JOINTS @ 6' O.C MAX AND 1/2" EXPANSION JOINTS @ 48' O.C MAX
 - 2 EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL
 - 3 MEDIAN C & G REQUIRE FULL FORM ON ALL FACES

2 MEDIAN CURB AND GUTTER N.T.S.



3 LOADING DOCK SUMP PUMP N.T.S.

| EROSION CONTROL NOTES | PROJECT NOTES | GENERAL NOTES |
|---|---|--|
| <p>A ALL COBBLE EROSION PROTECTION TO BE 6" AVG DIA. ANGULAR FACED ROCK OVER PERMANENT EROSION CONTROL MATERIAL.</p> <p>B OWNER SHALL INSPECT AND MAINTAIN DRAINAGE AND WATER HARVESTING IMPROVEMENTS ON AN ON-GOING BASIS. IN ADDITION, OWNER SHALL INSTALL / MAINTAIN ADDITIONAL EROSION PROTECTION ELEMENTS BASED ON ACTUAL EROSION PATTERNS WHICH DEVELOP OVER TIME</p> <p>C ALL DRAINAGE IMPROVEMENTS SHOWN ON THE APPROVED GRADING AND DRAINAGE PLAN MUST BE COMPLETED BEFORE AN ENGINEER'S CERTIFICATION CAN BE ISSUED</p> | <p>PROPERTY THE SITE IS A 2.7 ACRE UNDEVELOPED COMMERCIAL PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP B-18. THE SITE IS BOUND TO THE EAST WEST AND SOUTH BY DEVELOPED COMMERCIAL PROPERTIES AND TO THE NORTH BY VENICE BLVD</p> <p>PROPOSED IMPROVEMENTS, INCLUDE APPROX. 39,100 SF COMMERCIAL BUILDING WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING AND LANDSCAPING</p> <p>LEGAL LOTS NUMBERED FOUR (4) FIVE (5), AND SIX (6) IN BLOCK NUMBERED FOUR (4), OF TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 24 1936 IN PLAT BOOK D FOLIO 130</p> <p>BENCHMARK CITY OF ALBUQUERQUE 6-817 AN ALUMINUM DISK ON CONCRETE CURB WNW QUADRANT OF SAN MATEO BLVD NE & SAN DIEGO AVE NE ELEVATION 5153.322 NAVD88</p> <p>OFF-SITE SITE NOT AFFECTED BY OFF-SITE DRAINAGE</p> <p>FLOOD HAZARD PER BERNALILLO COUNTY FIRM MAP #129, THE SITE IS LOCATED WITHIN FLOODZONE X DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN</p> <p>DRAINAGE PLAN CONCEPT ALL SITE FLOW WILL FREE DISCHARGE TO THE ADJACENT PUBLIC STREET DISCHARGE TO VENICE BLVD WILL CONTINUE WEST A SHORT DISTANCE AND ENTER THE EXISTING STORM DRAIN SYSTEM</p> <p>FORMER LANDFILL THE SUBJECT PROPERTY IS LOCATED ON A FORMER LANDFILL CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE INTERIM GUIDELINES FOR DEVELOPMENT WITHIN CITY DESIGNATED LANDFILL BUFFER ZONES) SHALL BE CONSULTED</p> | <p>A ALL TRASH DEBRIS & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE</p> <p>B ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS</p> <p>C FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.) CONTRACTOR SHALL GRADE, COMPACT SUBGRADE, AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS MATERIAL THICKNESSES.</p> <p>D MAXIMUM SLOPES SHALL BE 3:1 AND MINIMUM SLOPES SHALL BE 1% UNLESS OTHERWISE NOTED</p> <p>E FIVE (5) WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990, FOR LOCATION OF EXISTING UTILITIES. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES</p> <p>F IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT / ENGINEER AND VERIFY THE ARCHITECT / ENGINEER'S INTENT BEFORE PROCEEDING</p> <p>G OWNER HAS ESTABLISHED PROPERTY BOUNDARY CORNERS. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT CONTRACTOR'S SOLE EXPENSE</p> <p>H OWNER WILL PROVIDE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND INSPECTION. CONTRACTOR SHALL COMPLY WITH THE BEST MANAGEMENT PRACTICES (BMP'S) AS SPECIFIED IN THE SWPPP, AND WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS.</p> <p>I COORDINATE WORK WITH SITE PLAN, UTILITY PLAN AND LANDSCAPE PLAN</p> <p>J ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES, TYPICAL</p> <p>K ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS TO DRAIN TOWARD EXISTING AND / OR PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS MATCH-OR '±' TRANSITIONS SHALL BE SMOOTH AND LEVEL. ANY NEW PAVING SURFACE HOLDING WATER (BIRDBATH) SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S SOLE EXPENSE</p> <p>L ALL AREAS REFERENCING EROSION PROTECTION SHALL BE 6" AVG DIA FRACTURED FACE ROCK (F.F. ROCK) PLACED OVER GEOTEX 50 NON-WOVEN GEOTEXTILE.</p> <p>M SIDESLOPES STEEPER THAN 3:1 BUT LESS THAN 2:1 MUST HAVE PERMANENT EROSION CONTROL (FRACTURED FACE ROCK [F.F. ROCK] INSTALLED. NO SLOPE SHALL BE STEEPER THAN 2:1</p> <p>N ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE RESEED WITH NATIVE GRASS PER C.O.A. SPECIFICATIONS SECTION 1012 (FOR SANDY SOILS) OR AS SPECIFIED ON THE LANDSCAPE PLAN</p> <p>O OWNER SHALL MAINTAIN EROSION PROTECTION ELEMENTS. OWNER SHALL INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES</p> |

CALCULATIONS

Based on Drainage Design Criteria for City of Albuquerque Section 22.2 DPM Vol 2 dated Jan. 1993

ON SITE

AREA OF SITE: 116017.75 SF = 2.7

100-year 6-hour DEVELOPED FLOWS

| Area | Treatment SF | % | Area | Treatment SF | % | EXCESS PRECIP. Precip. Zone 3 |
|------------|--------------|------|------------|--------------|------|-------------------------------|
| Area A | 0 | 0% | Area A | 0 | 0% | F ₁ = 0.66 |
| Area B | 0 | 0% | Area B | 5801 | 5% | E ₂ = 0.92 |
| Area C | 116017.75 | 100% | Area C | 11602 | 10% | E ₃ = 1.29 |
| Area D | 0 | 0% | Area D | 98615 | 85% | E ₄ = 2.36 |
| Total Area | 116017.75 | 100% | Total Area | 116017.75 | 100% | |

On-Site Weighted Excess Precipitation (100-Year 6-Hour Storm)

Weighted E = $E_1A_1 + E_2A_2 + E_3A_3 + E_4A_4$

$A_1 + A_2 + A_3 + A_4$

Maximum E = 1.29 in. / Developed E = 2.18 in.

On-Site Volume of Runoff V₁₀₀ = E*A / 12

Maximum V₁₀₀ = 12472 CF / Developed V₁₀₀ = 21066 CF

On-Site Peak Discharge Rate Q_p = $Q_{p1}A_1 + Q_{p2}A_2 + Q_{p3}A_3 + Q_{p4}A_4 / 43,560$

For Precipitation Zone 3

Q_{p1} = 1.87 Q_{p2} = 3.45

Q_{p3} = 2.60 Q_{p4} = 4.02

Maximum Q_p = 9.2 CFS / Developed Q_p = 12.6 CFS

ALL SITE DISCHARGE WILL FREE DISCHARGE TO TO VENICE AVE. ALL DISCHARGE WILL ENTER THE EXISTING PUBLIC STORM DRAIN SYSTEM

BASIN 1 CULVERT EQUATION

CULVERT BASIN 1

Area of basin flows = 21423 SF = 0.5 AC

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)

Weighted E = 2.18 in.

Sub-basin Volume of Runoff (see formula above)

V₁₀₀ = 1891 CF

Sub-basin Peak Discharge Rate (see formula above)

Q_p = 2.3 cfs

LAND TREATMENT

A = 0%

B = 4%

C = 10%

D = 85%

WEIR EQUATION: $Q = CLH^{3/2}$

Constant C = 3.33

Curb height H = 0.5 feet

Opening Length L = 2.00 feet

Q = 2.4 cfs

BASIN 2 CULVERT EQUATION

CULVERT BASIN 2

Area of basin flows = 13709 SF = 0.3 AC

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)

Weighted E = 2.18 in.

Sub-basin Volume of Runoff (see formula above)

V₁₀₀ = 8147 CF

Sub-basin Peak Discharge Rate (see formula above)

Q_p = 9.7 cfs

LAND TREATMENT

A = 0%

B = 4%

C = 10%

D = 85%

WEIR EQUATION: $Q = CLH^{3/2}$

Constant C = 3.33

Curb height H = 0.5 feet

Opening Length L = 6.00 feet

Q = 7.1 cfs

CULVERT BASINS

BASIN #1

Area of basin flows = 21423 SF = 0.5 AC

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)

Weighted E = 2.18 in.

Sub-basin Volume of Runoff (see formula above)

V₁₀₀ = 1891 CF

Sub-basin Peak Discharge Rate (see formula above)

Q_p = 2.3 cfs

LAND TREATMENT

A = 0%

B = 4%

C = 10%

D = 85%

BASIN #2

Area of basin flows = 13709 SF = 0.3 AC

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)

Weighted E = 2.18 in.

Sub-basin Volume of Runoff (see formula above)

V₁₀₀ = 8147 CF

Sub-basin Peak Discharge Rate (see formula above)

Q_p = 9.7 cfs

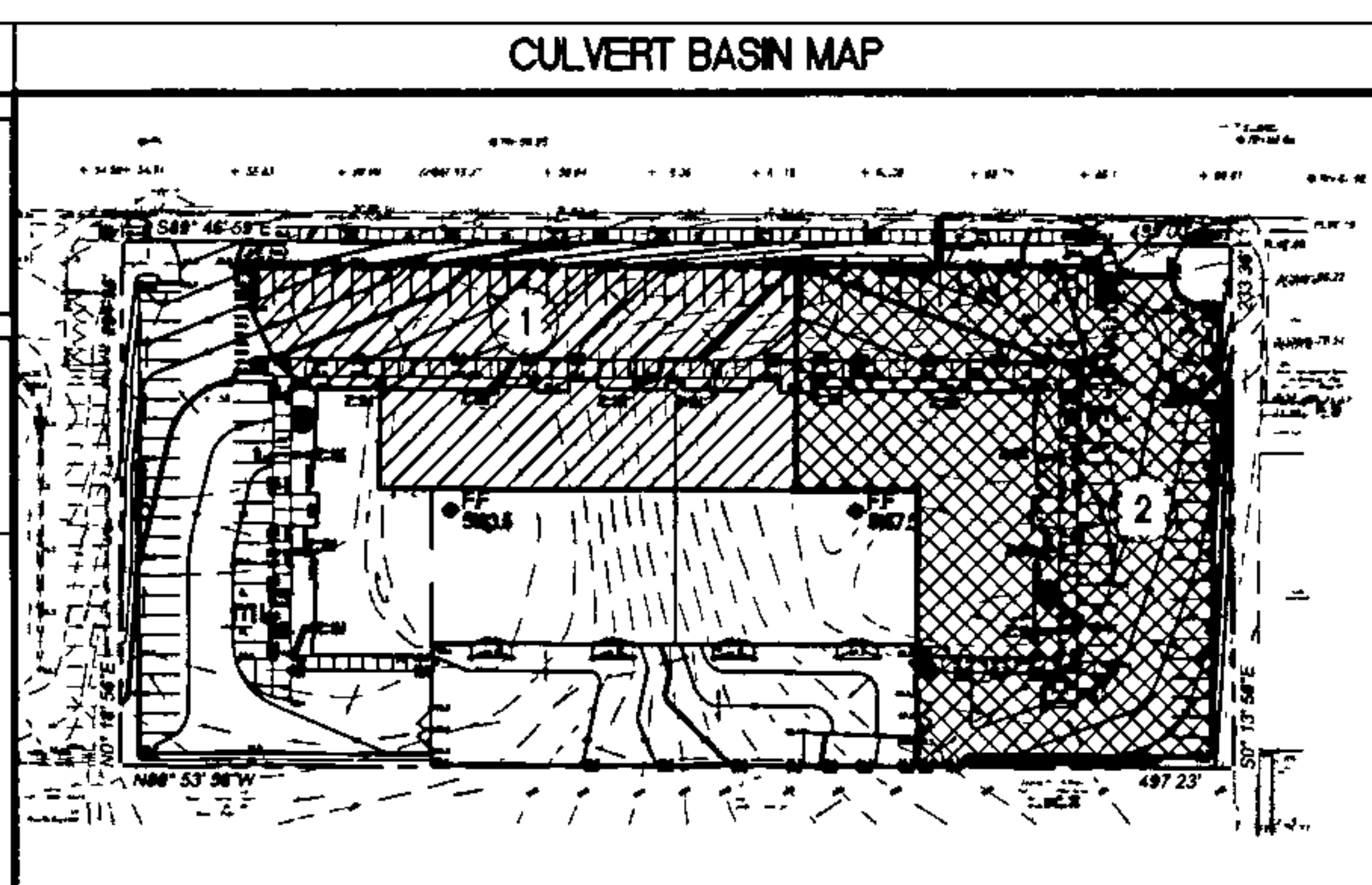
LAND TREATMENT

A = 0%

B = 4%

C = 10%

D = 85%



ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 125 Monroe Street NE
 Albuquerque, New Mexico 87108
 Ph 505-268-8823 Fax 505-268-2632
 1743 CG-101-ENG Jan 07 2010

MECHENBIER CONSTRUCTION INC.
 OFFICE / WAREHOUSE
 DEVELOPMENT AT
 5454 VENICE AVE N.E.

slagle
HER

1600 Rio Grande NW
 Albuquerque
 New Mexico 87104
 505-268-8823
 Fax 505-268-2632
 1743 CG-101-ENG



REVISIONS

date 01/08/10
 sheet

CG-102

GRADING AND DRAINAGE PLAN

REVISIONS

| | | |
|-----|------|-------------|
| NO. | DATE | DESCRIPTION |
| | | |
| | | |

SCALE: 1" = 20'-0"

PLAN DATE: JAN 8 2010

FILE NAME: ELEC SITE

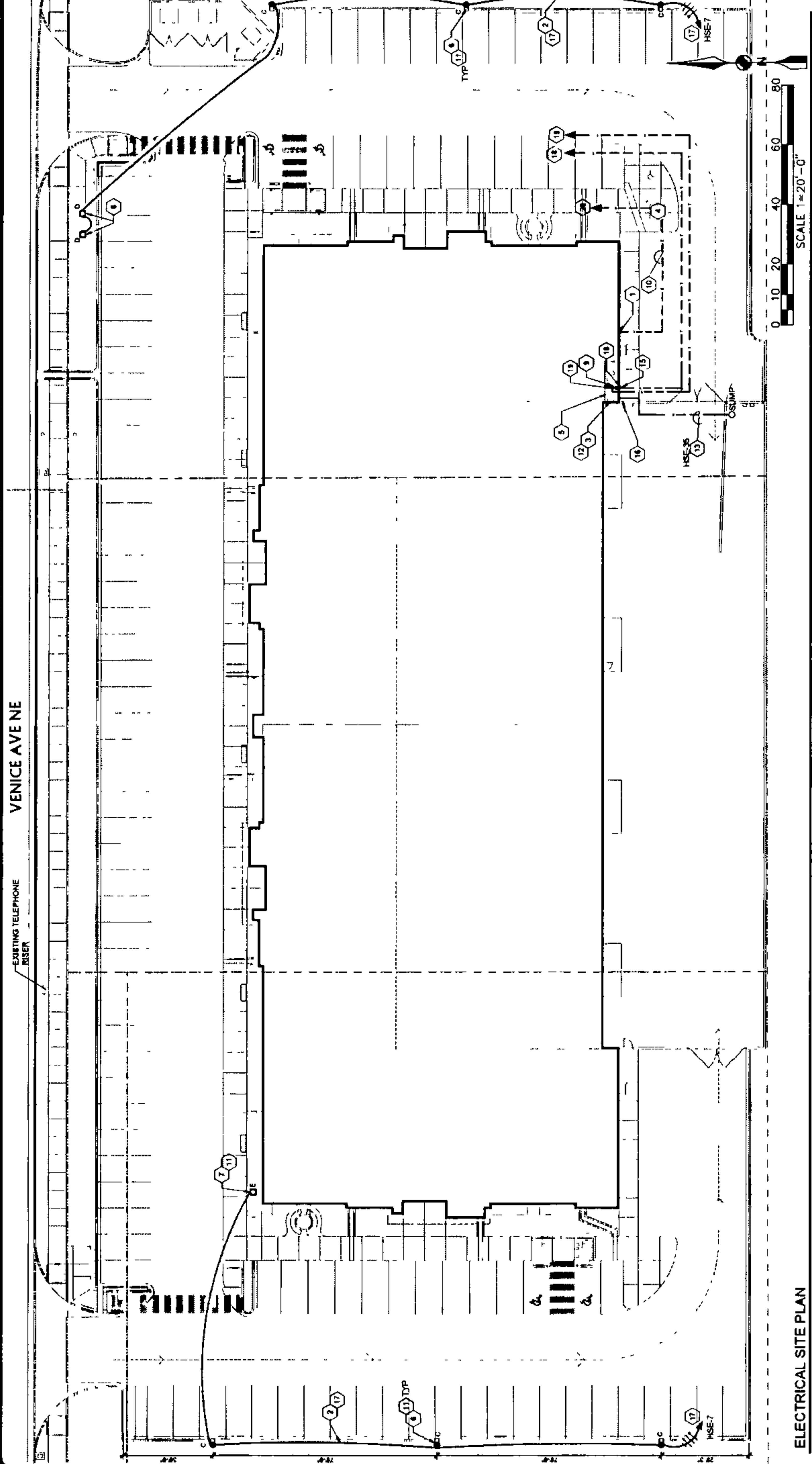
DRAWN BY: L. KUBERN

ELECTRICAL SPECIFICATIONS

- THE INSTALLER SHALL COMPLY WITH ALL LOCAL AND STATE LAWS, AMERICANS WITH DISABILITIES ACT AND THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL ELECTRICAL SAFETY CODE (NFPA 70E) AND THE NATIONAL ELECTRICAL SAFETY CODE (NFPA 70E) AND THE NATIONAL ELECTRICAL SAFETY CODE (NFPA 70E).
- ALL MATERIALS SHALL BE LISTED AND APPROVED BY THE NATIONAL ELECTRICAL SAFETY CODE (NFPA 70E) AND THE NATIONAL ELECTRICAL SAFETY CODE (NFPA 70E) AND THE NATIONAL ELECTRICAL SAFETY CODE (NFPA 70E).
- CONDUIT SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL SAFETY CODE (NFPA 70E) AND THE NATIONAL ELECTRICAL SAFETY CODE (NFPA 70E) AND THE NATIONAL ELECTRICAL SAFETY CODE (NFPA 70E).
- ALL CONDUITS SHALL BE CORROSION RESISTANT AND SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL SAFETY CODE (NFPA 70E) AND THE NATIONAL ELECTRICAL SAFETY CODE (NFPA 70E) AND THE NATIONAL ELECTRICAL SAFETY CODE (NFPA 70E).
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KEYED NOTES:

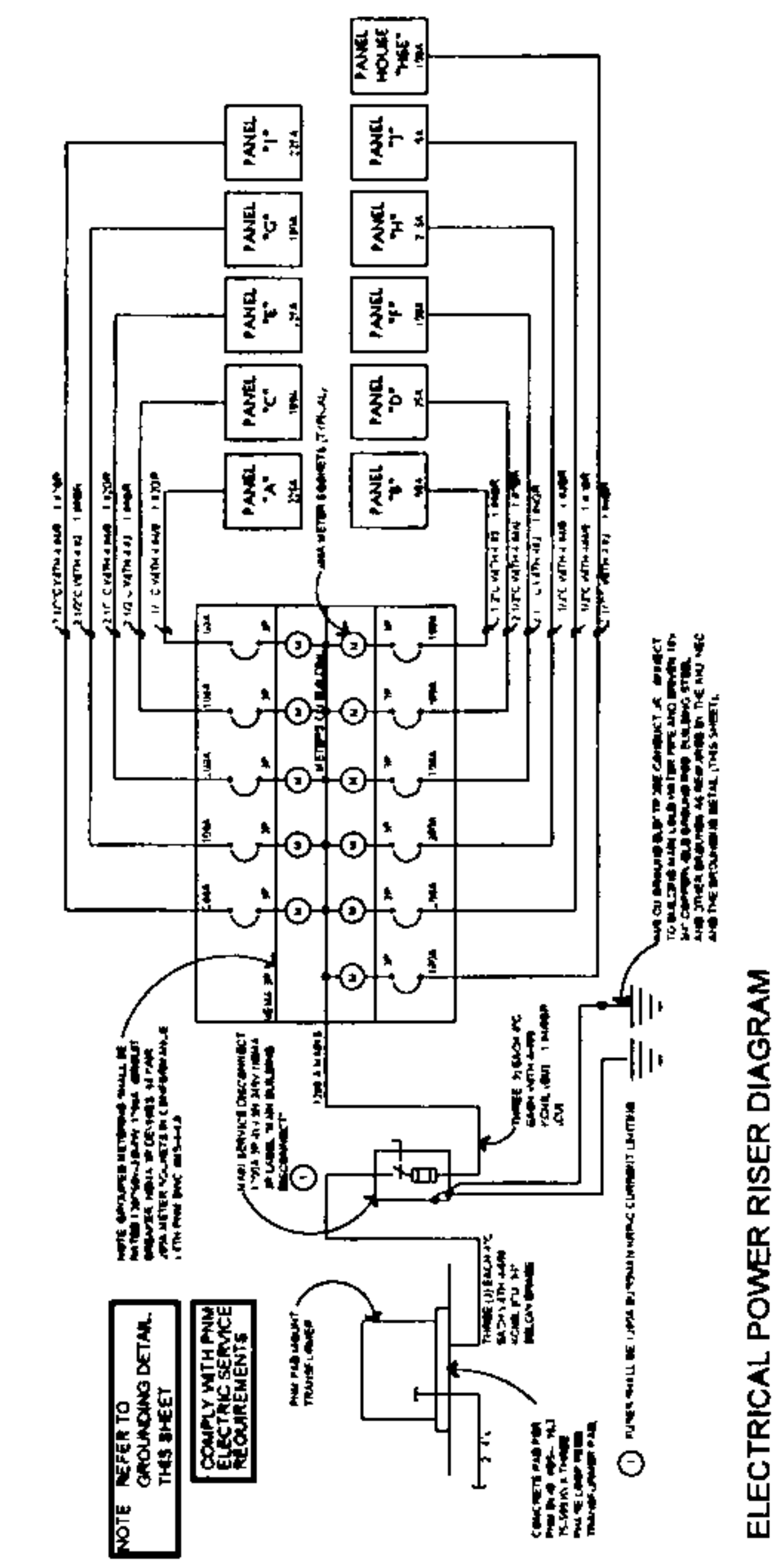
- ELECTRICAL LOCATIONS SHOWN WITHIN A 5' WIDE (10' TOTAL WIDENING) ONE-PHASE PANEL PLUS ELEVATION BUTE PANELS, PLUS DISCONNECT.
- CONDUIT UNDERGROUND.
- HOUSE PANEL LOCATION (PANEL "HSET"). SEE E101.
- TRANSFORMER LOCATION. PAD UNMOUNTED TRANSFORMER BY PANEL. PROVIDE GUARD RAILS AS INDICATED.
- ELECTRICAL & TELEPHONE DEMARCATION PANEL CLIMBET.
- POLE LIGHT REFER TO DETAIL WALL MOUNTED POLE LIGHT BASE DETAIL C101M.
- FLUO POLE LIGHT REFER TO DETAIL C101M.
- MONUMENT LIGHTING. SEE DETAIL B101M.
- TELEPHONE DEMARCATION PANEL.
- UNDERGROUND SERVICE. REFER TO PANEL DEMARCATION THIS SHEET.
- EXTERIOR LIGHTING CONTROL. REFER TO PANEL DEMARCATION THIS SHEET.
- EXTERIOR IRRADIATION CONTROL. BY OTHERS. CONNECTION BY ELECTRICAL SUBCONTRACTOR.
- NOT USED.
- CONDUIT UNDERGROUND PER RUMP PUMP.
- MAIN SERVICE DISCONNECT. SEE PANEL DEMARCATION THIS SHEET.
- INSTALL 1" CONDUIT FROM HOUSE PANEL BENCH TO BUS TO OUTSIDE FOR CONTINUATION TO EXTERIOR POLE LIGHTS, ETC.
- PROVIDE MINIMUM 18" CONDUIT AND UNDERMAIN 1" FOR EXTERIOR LIGHTING BRANCH CIRCUITS.
- ROUTE BASE 1/2" CONDUIT UNDERMAIN 1" FOR EXTERIOR LIGHTING BRANCH CIRCUITS. FROM EXISTING TELEPHONE POLE TO MAIN TELEPHONE BOARD LOCATED IN RM 113. ALL RIGID CONDUIT SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL SAFETY CODE (NFPA 70E) AND THE NATIONAL ELECTRICAL SAFETY CODE (NFPA 70E).
- ROUTE ONE 1/2" CONDUIT TO COMCAST PRECAST A MINIMUM OF 3" BELOW GRADE WITH LOW VOLTAGE BOARD LOCATED IN RM 113. ALL RIGID CONDUIT SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL SAFETY CODE (NFPA 70E) AND THE NATIONAL ELECTRICAL SAFETY CODE (NFPA 70E).
- EXTERIOR LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL SAFETY CODE (NFPA 70E) AND THE NATIONAL ELECTRICAL SAFETY CODE (NFPA 70E).
- PROVIDE 1/2" RIGID GALVANNEED STEEL CONDUIT ELBOWS. COORDINATE WITH PPM AND COMPANY AS REQUIRED.



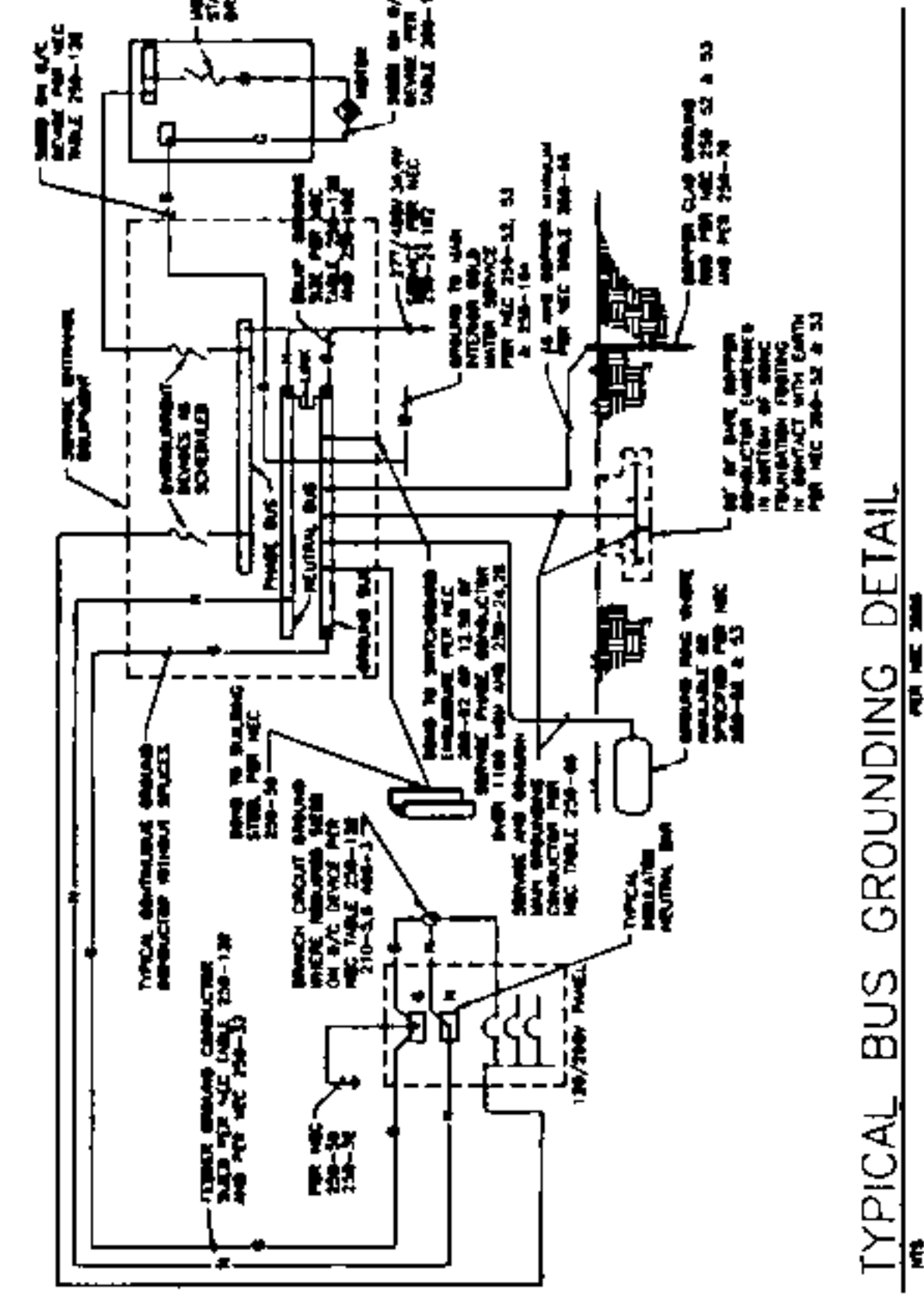
ELECTRICAL SITE PLAN
SCALE: 1" = 20'-0"

EXTERIOR LIGHT FIXTURE SCHEDULE

| ITEM | FIXTURE MODEL/DESCRIPTION | VOLTAGE | GENERAL PLACEMENT | MOUNTING |
|------|--|---------|----------------------|------------|
| A | BUILDING WALL MOUNTED LIGHT | 200V | FRONT WALL PACKS | WALL |
| B | RECESSED CAN. 75 WATT FLUORESCENT EXTERIOR RATED | 120V | ENTRIES | RECESSED |
| C | ARMOUR LIGHT ON 1/2" POLE | 200V | PERIMETER POLE LIGHT | SEE DETAIL |
| D | ARMOUR LIGHT ON 1/2" POLE | 200V | MONUMENT SIGN | GROUND |
| E | FLUO POLE LIGHT. 30 WATT PAK | 200V | FLUO POLE | GROUND |
| F | BUILDING WALL PACK. 3000 LUM | 200V | REAR WALL PACKS | WALL |

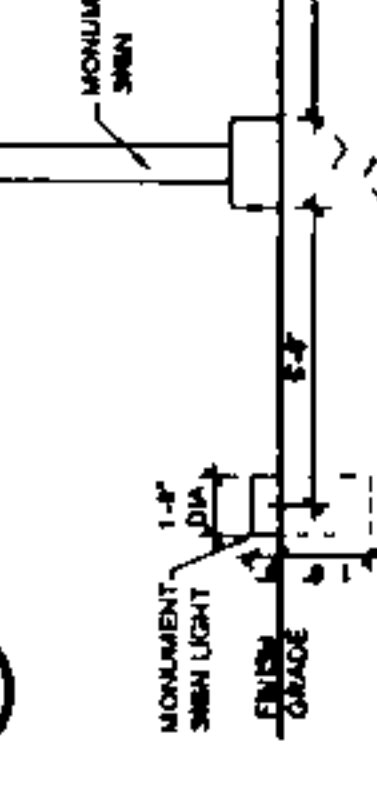


ELECTRICAL POWER RISER DIAGRAM
SCALE: 1" = 1'-0"

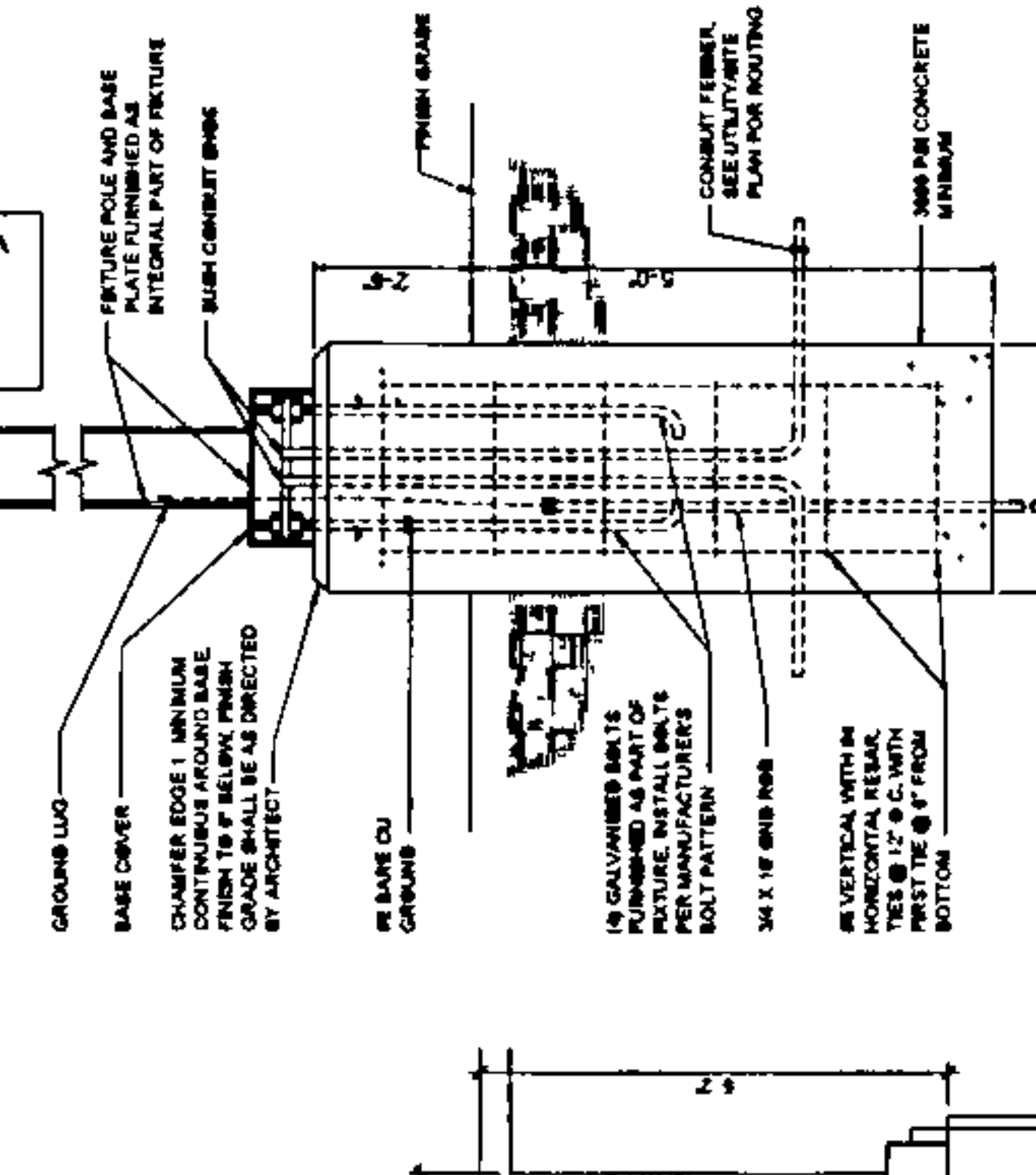


TYPICAL BUS GROUNDING DETAIL
SCALE: 1" = 1'-0"

A FLAG POLE LIGHTING
SCALE: 1" = 1'-0"



B MONUMENT LIGHTING
SCALE: 1" = 1'-0"



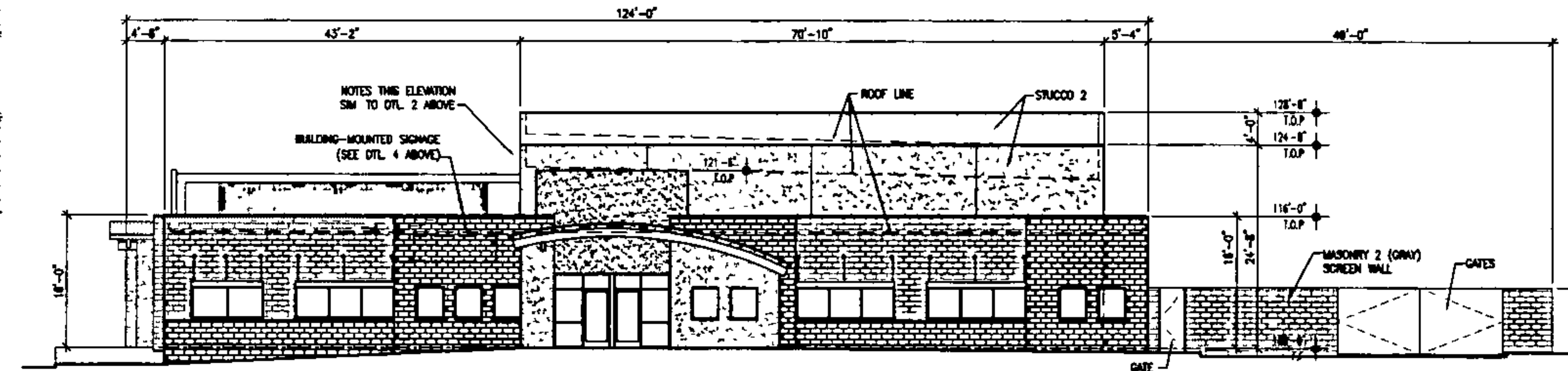
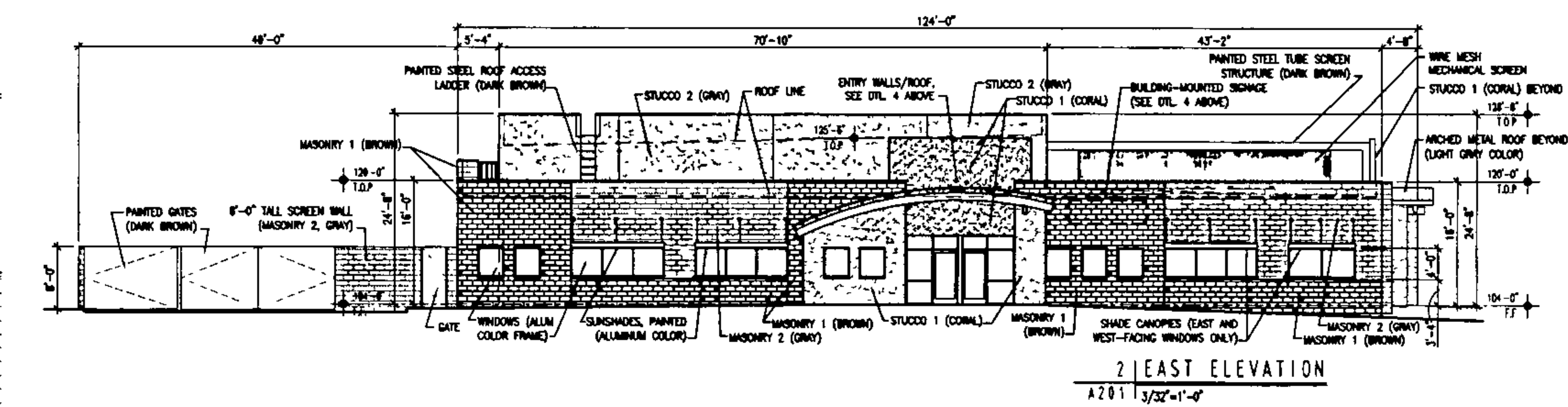
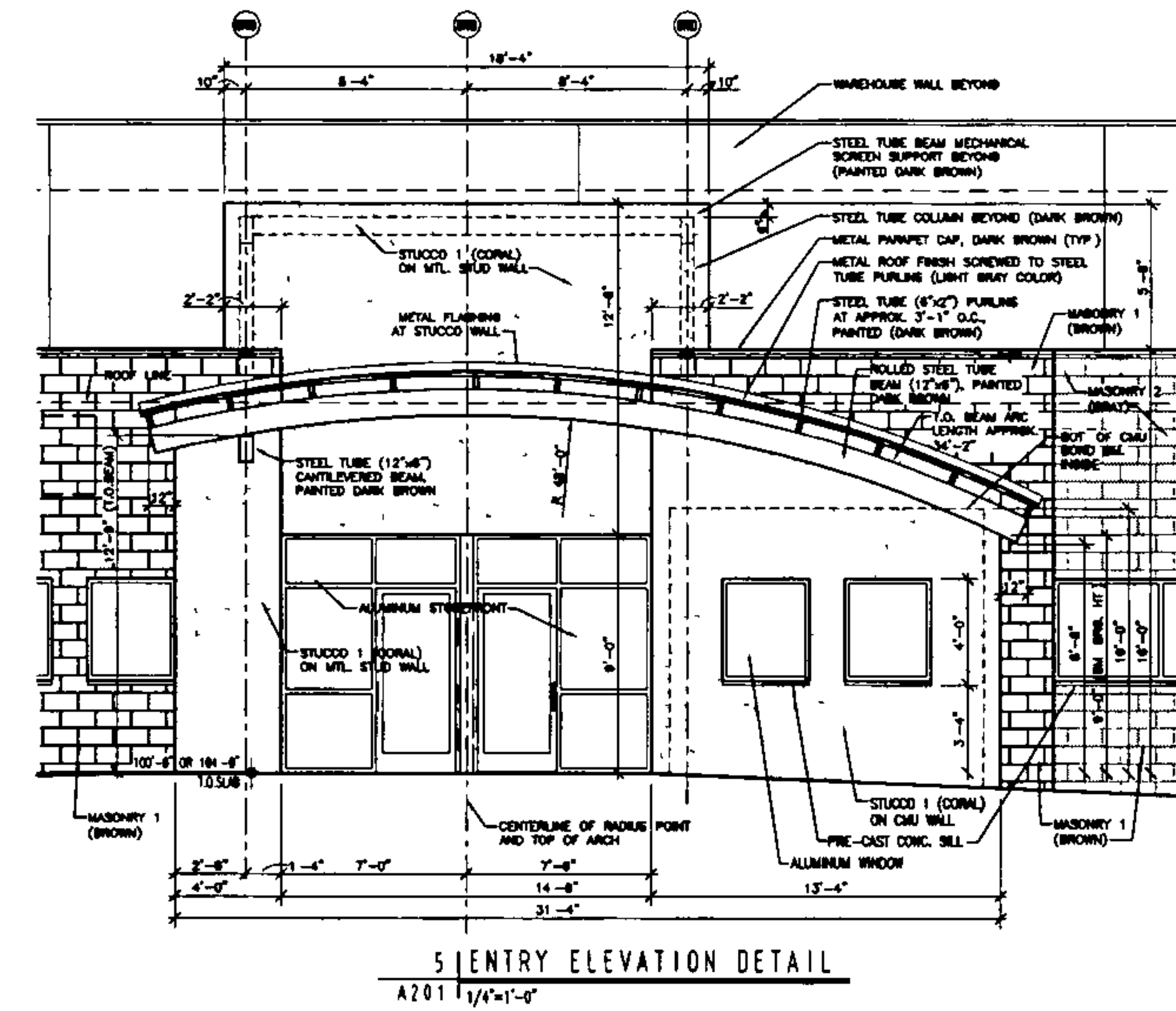
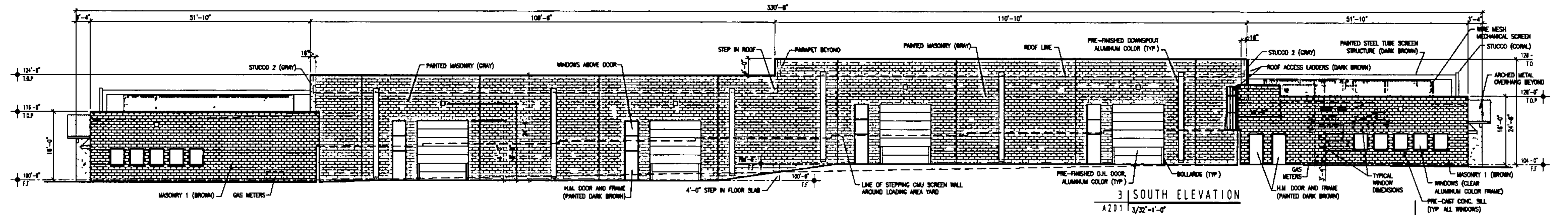
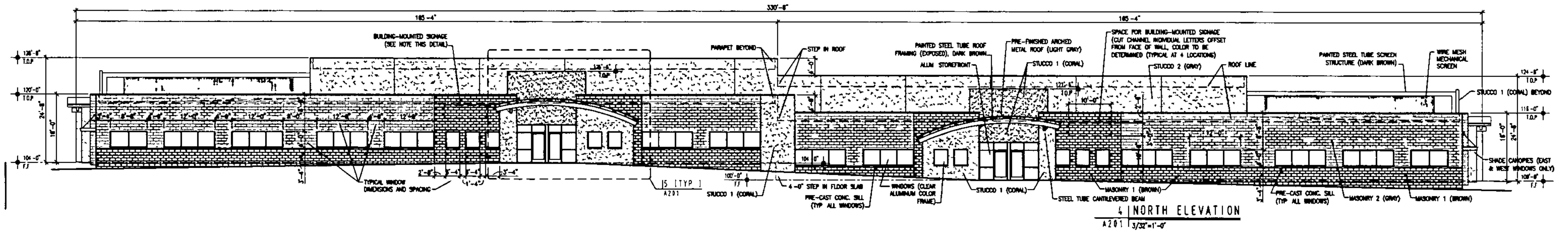
D CONDUIT ELECTRICAL ROOM
SCALE: 1" = 1'-0"



C POLE BASE DETAIL TYPICAL FOR TYPE C FIXTURES
SCALE: 1" = 1'-0"



ELECTRICAL SITE PLAN



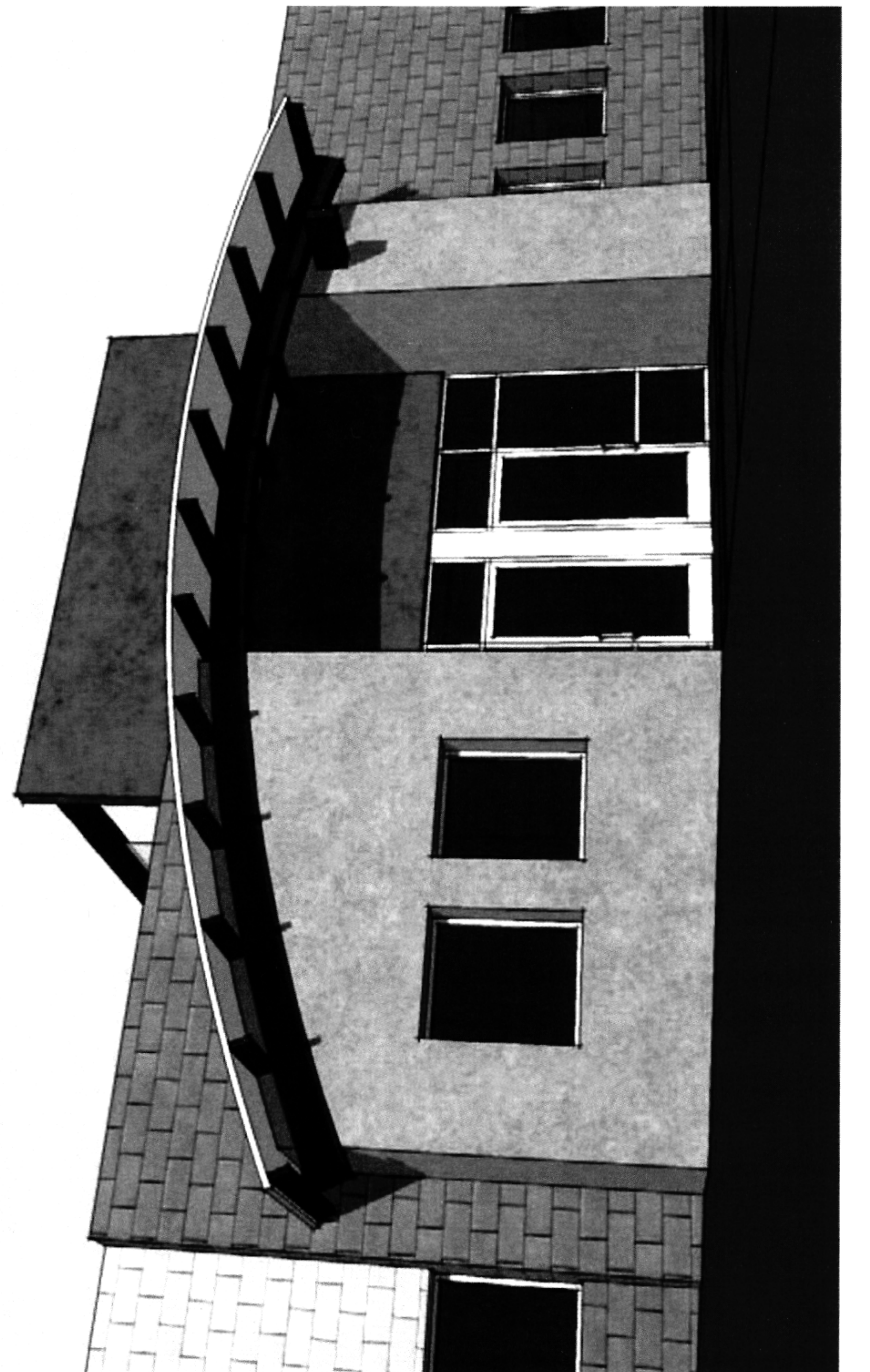
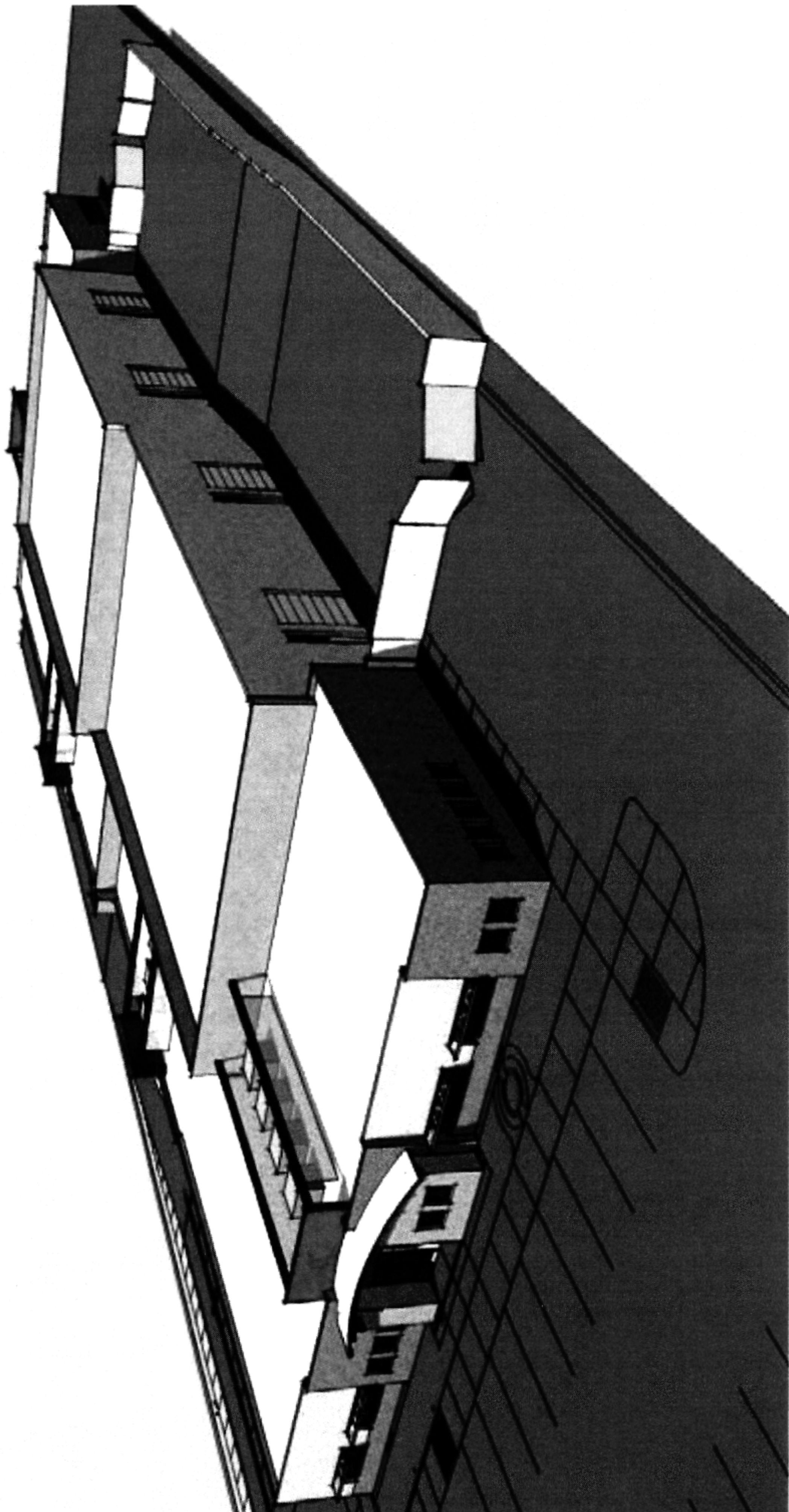
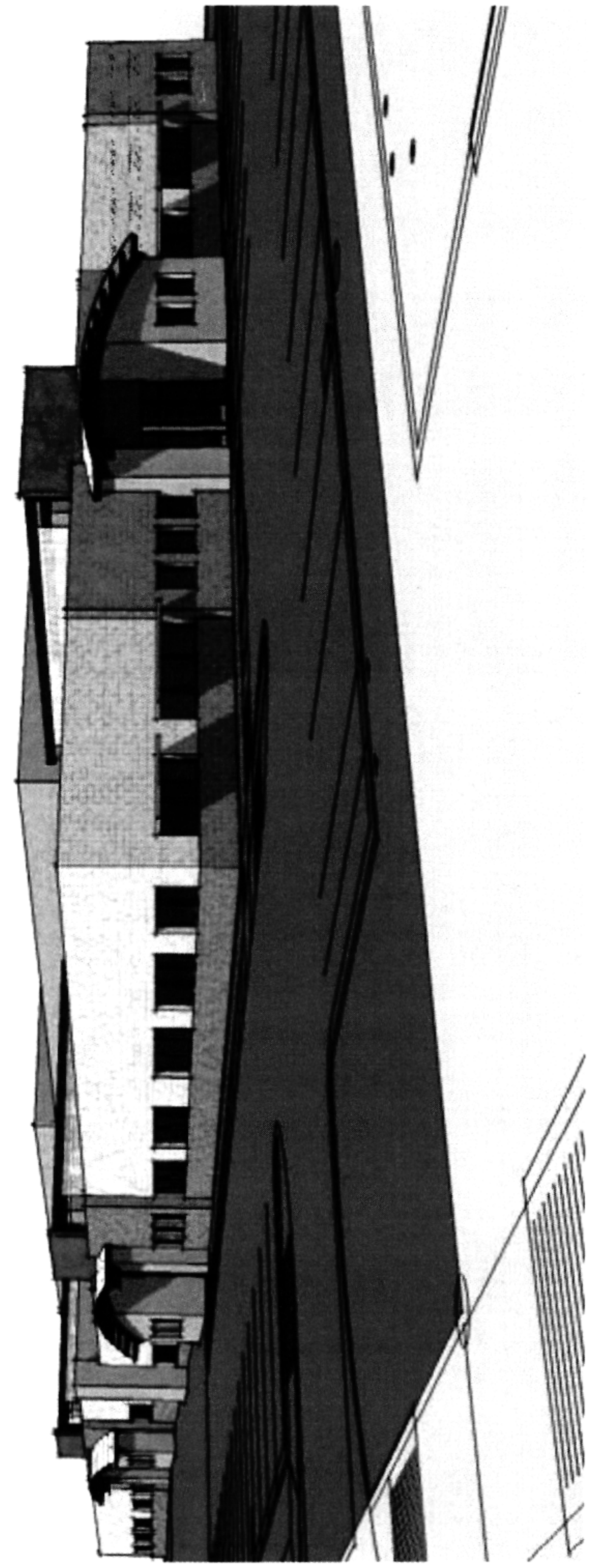
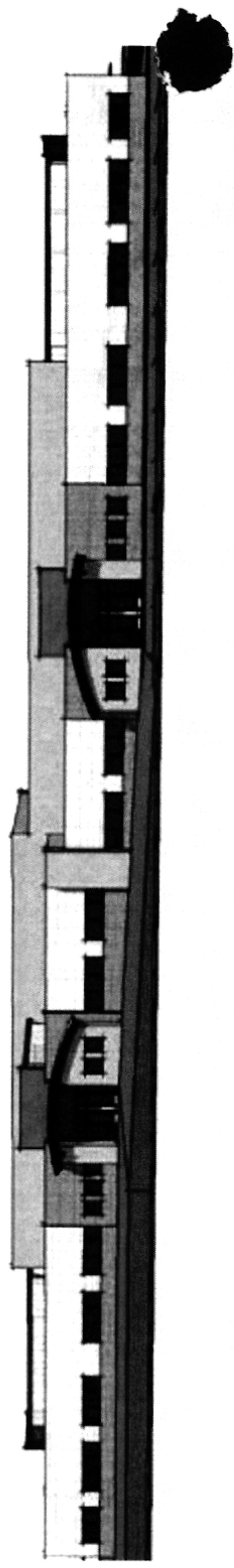
| WALL ELEVATION | TOTAL WALL AREA | TOTAL SIGN AREA | SIGN % OF WALL AREA |
|----------------|-----------------|-----------------|---------------------|
| WEST | 2,523 SF | 30 SF | 1.2% |
| NORTH | 7,061 SF | 80 SF | 0.8% |
| EAST | 2,523 SF | 30 SF | 1.2% |

MECHENBIER
CONSTRUCTION INC.
OFFICE/ WAREHOUSE
DEVELOPMENT AT
5454 VENICE AVE N E

SIAGLO
HERA
Asociación de Arquitectos del
Estado de Sonora
1100 Albuquer
albuquerque
505 226 0437
S. I. A. G. M. E. R. C. O. D.
EXTERIOR ELEVATIONS

REVISIONS

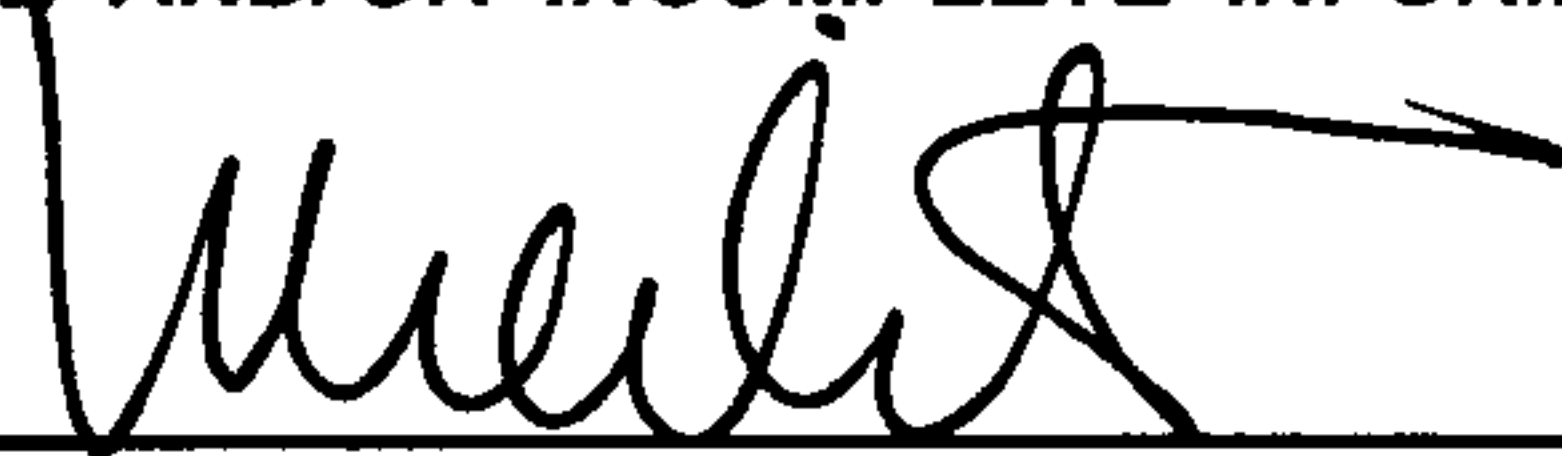
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sheet
A201



SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.


1/8/2010
 Applicant or Agent Signature / Date

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**
6. **Previously approved Development Plan (if applicable)**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'
 1.0 - 5.0 acres 1" = 20'
 Over 5 acres 1" = 50'
 Over 20 acres 1" = 100' [Other scales as approved by staff]
3. Bar scale
4. North arrow
5. Scaled vicinity map
6. Property lines (clearly identify)
7. Existing and proposed easements (identify each)
8. Phases of development including location and square footages of structures, circulation, parking and landscaping

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

B. Proposed Development (If supplemental Sheets are used please indicate sheet #)

1. Structural

- A. Location of existing & proposed structures (distinguish between existing & proposed, include phasing)
- B. Square footage of each structure
- C. Proposed use of each structure
- ~~NA~~ D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- ~~NA~~ I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Site amenities including patios, benches, tables, (indicating square footage of patios/ plazas).

2. Parking and Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: 96 provided: ~~109~~ 109
Handicapped spaces (included in required total) required: 4 provided: 4
Motorcycle spaces (in addition to required total) required: 3 provided: 4
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 5 provided: 10
 - ~~NA~~ 2. Bikeways and other bicycle facilities, if applicable
- C. Public Transit
 - ~~NA~~ 1. Bus facilities, including routes, bays and shelters existing or required
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
- E. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
 - 6. Existing and proposed street widths, right-of-way widths and curve radii
 - ~~NA~~ 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - ~~NA~~ 8. Location of traffic signs and signals related to the functioning of the proposal
 - ~~NA~~ 9. Identify existing and proposed medians and median cuts

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

3. Phasing

- ~~NA~~ A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Backflow prevention detail
- 10. Planting Beds, indicating square footage of each bed
- 11. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 12. Responsibility for Maintenance (statement)
- 13. Statement of compliance with Water Conservation... Ordinance, see article 6-1-1-1.
- 14. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 15. Landscaped area provided; square footage and percent (specify clearly on plan)
- 16. Planting or tree well detail
- 17. Street Tree Plan as defined in the Street Tree Ord.

SHEET # 3 PRELIMINARY GRADING PLAN

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1 with written approval from the Planning Department Staff.

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 UTILITY PLAN

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation (north, south, east, & west).
 - 2. Facade dimensions including overall height and width
 - 3. Location, dimensions, materials, and colors of principle façade elements- windows, doors, etc.
 - 4. For EPC and DRB submittals only – Color renderings or similar (12 copies) illustrations
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.