

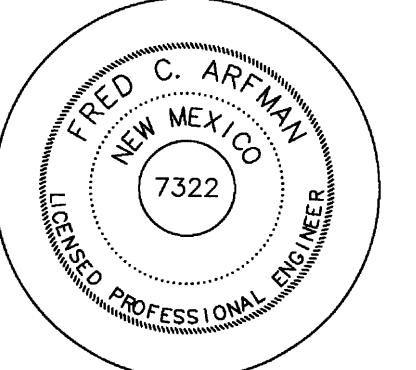
LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- ◆ 55.5 PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 67.5 FINISH FLOOR ELEVATION
- FL=54.0 FLOWLINE ELEVATION
- INV=72.5 INVERT ELEVATION
- TW=57.5 TOP OF RETAINING WALL ELEVATION

MECHENBIER
CONSTRUCTION INC.
OFFICE/ WAREHOUSE
DEVELOPMENT AT
5454 VENICE AVE. N.E.

S I A G L E
H E R R

ARCHITECTS
1600 rio grande nw
albuquerque
new mexico 87104
505-244-8879
fax 505-246-0437
slagle@arr.com



KEYED NOTES

1. CONSTRUCT SITE ENTRANCE PER C.O.A. STANDARDS. MATCH EXISTING FLOWLINE ELEVATIONS TO PROVIDE A SMOOTH RIDING TRANSITION. CONSTRUCT CONCRETE VALLEY GUTTER / HANDICAP RAMPS (PER C.O.A. STD. DWG. 2426) MATCHING EXISTING TOP OF WALK / FLOWLINE ELEVATIONS. TRANSITION CURB HEIGHT FROM 8" TO 6" OVER LENGTH OF RADIUS. SEE ARCHITECTURAL FOR DIMENSIONS / DETAILS / DEMOLITION OF EXISTING CURBS.
2. PROPOSED ASPHALT PAVING. SEE ARCHITECTURAL FOR SECTIONS, PARKING LAYOUT, DIMENSIONS, STRIPING, ETC.
3. PROPOSED CONCRETE PAVING. SEE ARCHITECTURAL FOR JOINT INFORMATION, DIMENSIONS, ETC.
4. CONSTRUCT 6" HIGH MEDIAN CURB AND GUTTER AT ALL ON-SITE LOCATIONS. SEE SHEET CG-102 FOR DETAIL.
5. CONSTRUCT TURNED DOWN CONCRETE WALK THIS AREA. SEE ARCHITECTURAL FOR DETAIL.
6. CONSTRUCT ADA ACCESS RAMP. SEE ARCHITECTURAL FOR RAMP LOCATIONS / DIMENSIONS AND ADDITIONAL INFORMATION.
7. PAVING HIGH POINT THIS AREA.
8. CONSTRUCT STEM WALL TRANSITIONS AS REQUIRED TO ACHIEVE GRADE DIFFERENCES SHOWN. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION (DESIGN BY OTHERS).
9. CONSTRUCT LOADING DOCK SUMP PUMP INLET THIS AREA. SEE DETAIL SHEET CG-102. NOTE: ELECTRICITY REQUIRED. SEE ARCHITECTURAL.
10. ROOF FLOW TO NORTH, EAST AND WEST TO BE PASSED TO ASPHALT PAVEMENT VIA 'U' SHAPED CONCRETE CHANNEL WITH COVERED SIDEWALK CULVERT. FLOWLINE ELEVATION (FL) AND TOP OF CHANNEL CURB (TC) AT BUILDING SHOWN. MINIMUM SLOPE = 1% TO ASPHALT.
11. ROOF FLOW TO SOUTH SIDE TO BE COLLECTED AND RELEASED DIRECTLY TO PAVEMENT. SEE ARCHITECTURAL FOR SPECIFIC OUTFALL POINTS.
12. CONSTRUCT 2' WIDE (BOTTOM WIDTH) 'U' SHAPED CONCRETE RUNDOWN WITH 2' CURB RADI TO PASS FLOW. SEE SHEET CG-102 FOR DETAIL.
13. CONSTRUCT 2' WIDE (BOTTOM WIDTH) COVERED SIDEWALK CULVERT PER C.O.A. STD. DWG. 2236 TO PASS FLOW. SLOPE = 2% SEPARATE PERMIT REQUIRED FOR CONSTRUCTION WITHIN PUBLIC R.O.W. (SEE S.O.19 NOTICE THIS SHEET).
14. INSTALL TWO 2 IN. PIPES THROUGH WALK THIS AREA TO PASS FLOW TO PAVEMENT.
15. DOCK RETAINING WALL. DESIGN BY OTHERS.
16. CONSTRUCT HC PARKING PAVEMENT TO ADA STANDARDS. MAX. 2% SLOPE IN ANY DIRECTION.
17. TRANSITION ASPHALT / CONCRETE WALK RELATIONSHIP (0" TO 6") AT ELEVATIONS SHOWN TO MAINTAIN POSITIVE DRAINAGE TO SIDEWALK CULVERT.

S.O.19 : NOTICE TO CONTRACTORS

1. AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7 AMENDMENT 1.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC / STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

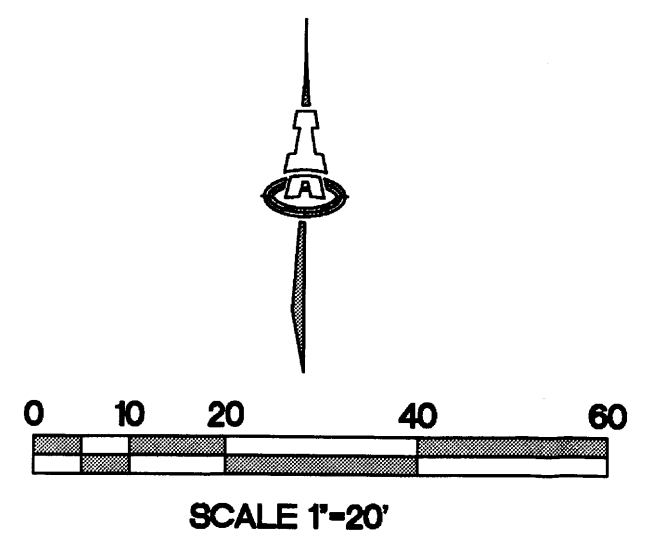
ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1745 CG-101.dwg Jan 07,2010

GRADING AND DRAINAGE PLAN

revisions:

date:
01/08/10
sheet:

CG-101

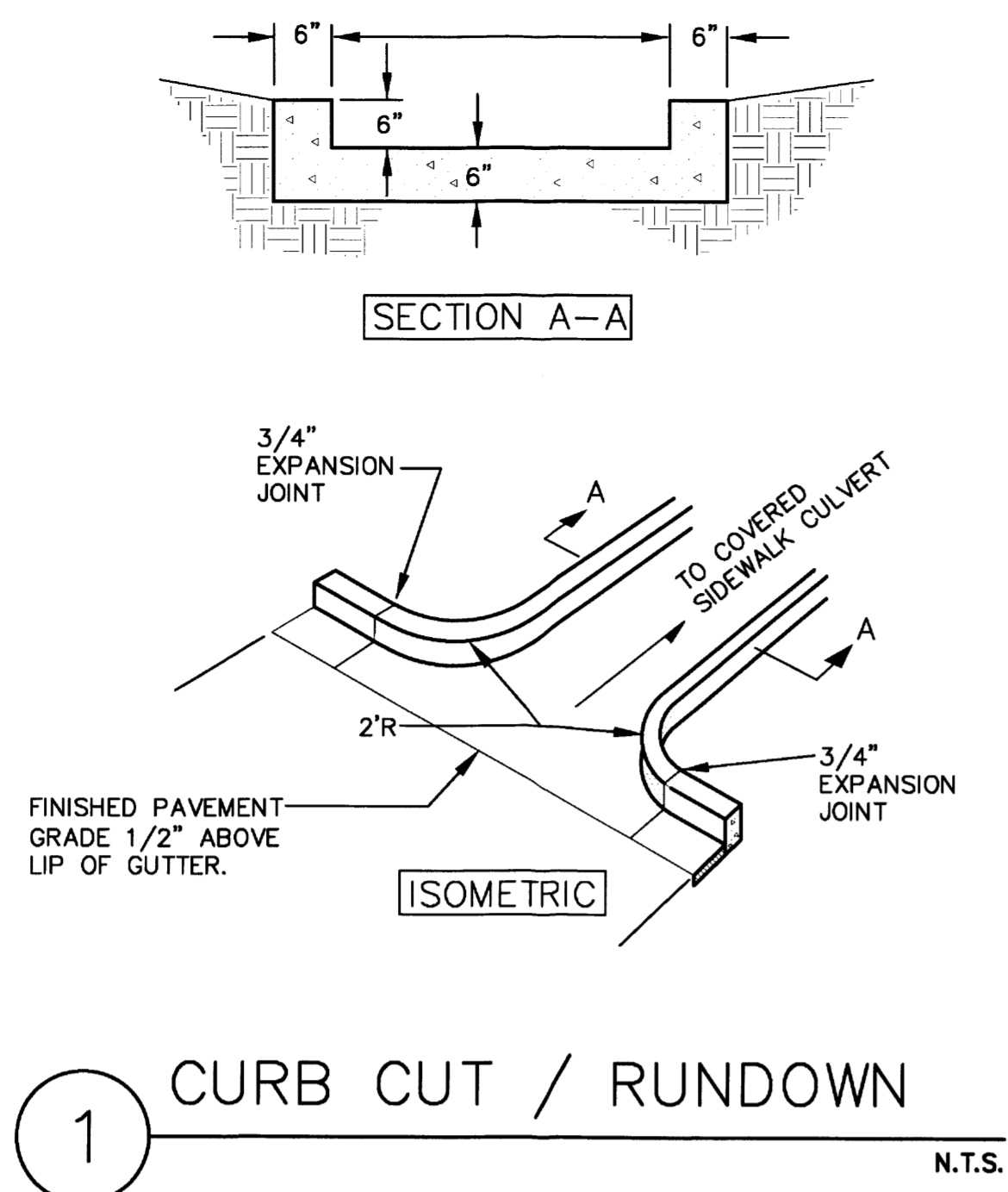


30
ict A, Unit B
erque Acres
24, 1936
age 130

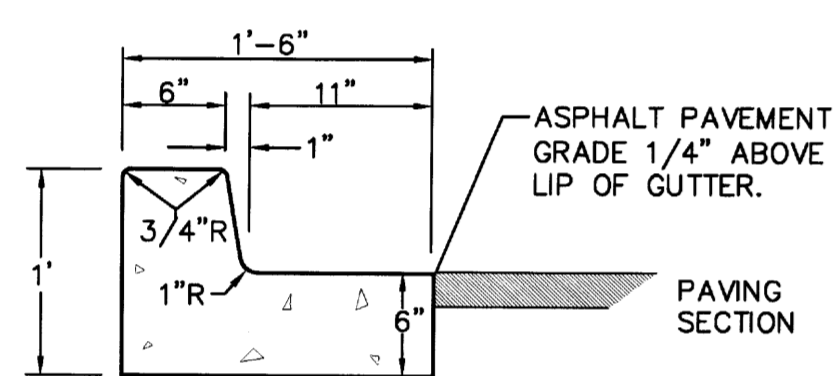
Lot 29
Block 4, Tract A, Unit B
North Albuquerque Acres
filed April 24, 1936
Book D, Page 130

Lot 28
Block 4, Tract A, Unit B
North Albuquerque Acres
filed April 24, 1936
Book D, Page 130

Lot 27
Block 4, Tract A, Unit B
North Albuquerque Acres
filed April 24, 1936
Book D, Page 130

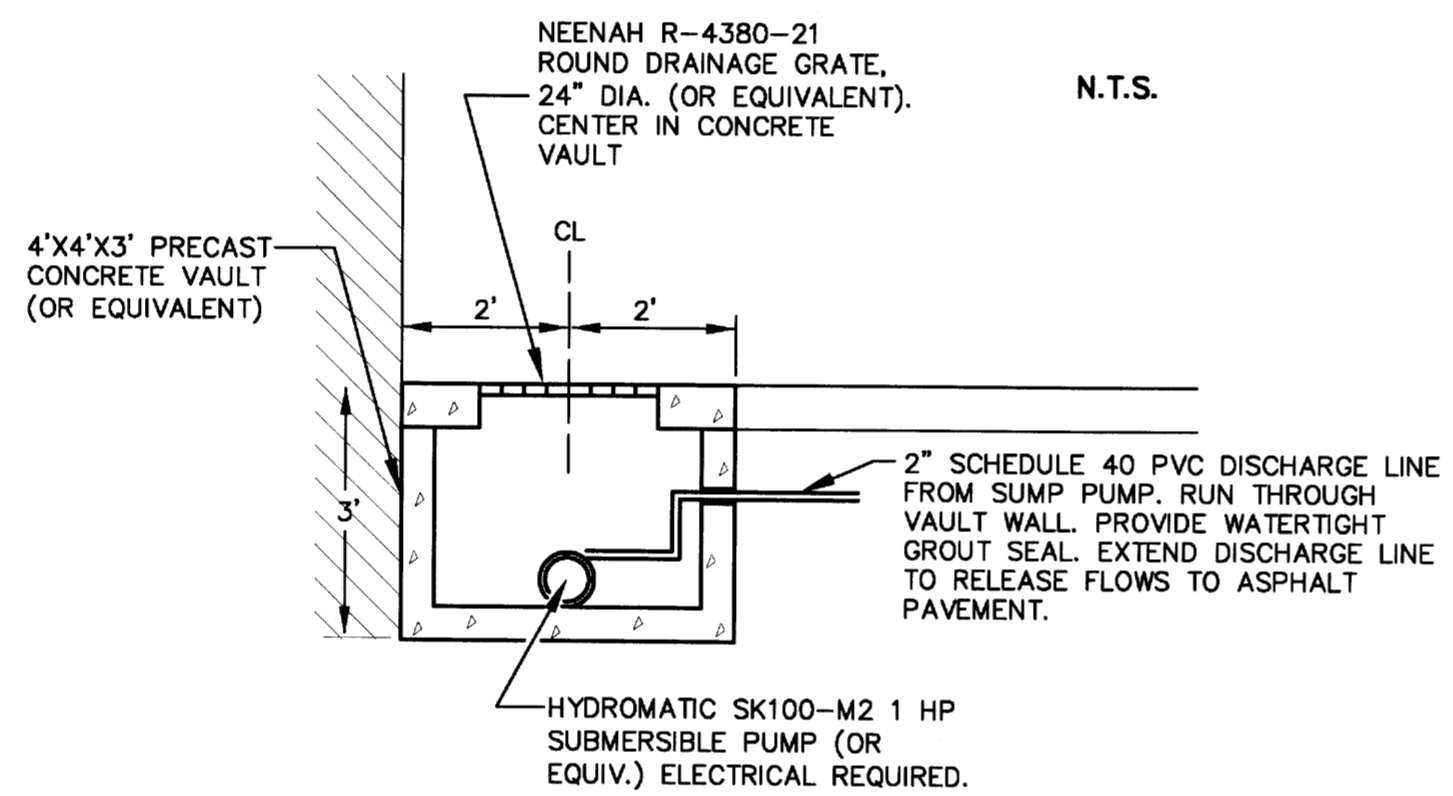


1 CURB CUT / RUNDOWN
N.T.S.



- GENERAL NOTES
- PROVIDE CONST. CONTROL JOINTS @ 6' O.C. MAX. AND 1/2" EXPANSION JOINTS @ 48' O.C. MAX
 - EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL
 - MEDIAN C & G REQUIRE FULL FORM ON ALL FACES

2 MEDIAN CURB AND GUTTER
N.T.S.



3 LOADING DOCK SUMP PUMP
N.T.S.

EROSION CONTROL NOTES	PROJECT NOTES	GENERAL NOTES
<p>A. ALL COBBLE EROSION PROTECTION TO BE 6" AVG. DIA. ANGULAR FACED ROCK OVER PERMANENT EROSION CONTROL MATERIAL.</p> <p>B. OWNER SHALL INSPECT AND MAINTAIN DRAINAGE AND WATER HARVESTING IMPROVEMENTS ON AN ON-GOING BASIS. IN ADDITION, OWNER SHALL INSTALL / MAINTAIN ADDITIONAL EROSION PROTECTION ELEMENTS BASED ON ACTUAL EROSION PATTERNS WHICH DEVELOP OVER TIME.</p> <p>C. ALL DRAINAGE IMPROVEMENTS SHOWN ON THE APPROVED GRADING AND DRAINAGE PLAN MUST BE COMPLETED BEFORE AN ENGINEER'S CERTIFICATION CAN BE ISSUED.</p>	<p>PROPERTY: THE SITE IS A 2.7 ACRE UNDEVELOPED COMMERCIAL PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP B-18. THE SITE IS BOUND TO THE EAST, WEST AND SOUTH BY DEVELOPED COMMERCIAL PROPERTIES AND TO THE NORTH BY VENICE BLVD.</p> <p>PROPOSED IMPROVEMENTS: INCLUDE APPROX. 39,100 SF COMMERCIAL BUILDING WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, AND LANDSCAPING.</p> <p>LEGAL: LOTS NUMBERED FOUR (4), FIVE (5), AND SIX (6) IN BLOCK NUMBERED FOUR (4), OF TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 24, 1936 IN PLAT BOOK D, FOLIO 130.</p> <p>BENCHMARK: CITY OF ALBUQUERQUE 6-817. AN ALUMINUM DISK ON CONCRETE CURB, WNW QUADRANT OF SAN MATEO BLVD. NE & SAN DIEGO AVE. NE ELEVATION: 5153.322 NAVD88.</p> <p>OFF-SITE: SITE NOT AFFECTED BY OFF-SITE DRAINAGE</p> <p>FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #129, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.</p> <p>DRAINAGE PLAN CONCEPT: ALL SITE FLOW WILL FREE DISCHARGE TO THE ADJACENT PUBLIC STREET. DISCHARGE TO VENICE BLVD. WILL CONTINUE WEST A SHORT DISTANCE AND ENTER THE EXISTING STORM DRAIN SYSTEM.</p> <p>FORMER LANDFILL: THE SUBJECT PROPERTY IS LOCATED ON A FORMER LANDFILL. CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE INTERIM GUIDELINES FOR DEVELOPMENT WITHIN CITY DESIGNATED LANDFILL BUFFER ZONES) SHALL BE CONSULTED.</p>	<p>A. ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.</p> <p>B. ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.</p> <p>C. FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS MATERIAL THICKNESSES.</p> <p>D. MAXIMUM SLOPES SHALL BE 3:1 AND MINIMUM SLOPES SHALL BE 1% UNLESS OTHERWISE NOTED.</p> <p>E. FIVE (5) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990, FOR LOCATION OF EXISTING UTILITIES. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.</p> <p>F. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT / ENGINEER AND VERIFY THE ARCHITECT / ENGINEER'S INTENT BEFORE PROCEEDING.</p> <p>G. OWNER HAS ESTABLISHED PROPERTY BOUNDARY CORNERS. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT CONTRACTOR'S SOLE EXPENSE.</p> <p>H. OWNER WILL PROVIDE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND INSPECTION. CONTRACTOR SHALL COMPLY WITH THE BEST MANAGEMENT PRACTICES (BMP'S) AS SPECIFIED IN THE SWPPP, AND WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS.</p> <p>I. COORDINATE WORK WITH SITE PLAN, UTILITY PLAN AND LANDSCAPE PLAN.</p> <p>J. ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES, TYPICAL.</p> <p>K. ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS TO DRAIN TOWARD EXISTING AND / OR PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS MATCH-OR '±', TRANSITIONS SHALL BE SMOOTH AND LEVEL. ANY NEW PAVING SURFACE HOLDING WATER (BIRDBATH) SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S SOLE EXPENSE.</p> <p>L. ALL AREAS REFERENCING EROSION PROTECTION SHALL BE 6" AVG. DIA. FRACTURED FACE ROCK (F.F. ROCK) PLACED OVER GEOTEX 50 NON-WOVEN GEOTEXTILE.</p> <p>M. SIDESLOPES STEEPER THAN 3:1 BUT LESS THAN 2:1 MUST HAVE PERMANENT EROSION CONTROL (FRACTURED FACE ROCK [F.F. ROCK] INSTALLED. NO SLOPE SHALL BE STEEPER THAN 2:1.</p> <p>N. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE RESEED WITH NATIVE GRASS PER C.O.A. SPECIFICATIONS SECTION 1012 (FOR SANDY SOILS) OR AS SPECIFIED ON THE LANDSCAPE PLAN.</p> <p>O. OWNER SHALL MAINTAIN EROSION PROTECTION ELEMENTS. OWNER SHALL INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.</p>

CALCULATIONS

Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

ON-SITE

AREA OF SITE: 116017.75 SF = 2.7

HISTORIC FLOWS:			DEVELOPED FLOWS:			EXCESS PRECIP:		
Area	Treatment SF	%	Area	Treatment SF	%	Zone	Excess Precip	
Area A	0	0%	Area A	0	0%	3	E _A	0.66
Area B	0	0%	Area B	5801	5%		E _B	0.92
Area C	116017.75	100%	Area C	11602	10%		E _C	1.29
Area D	0	0%	Area D	98615	85%		E _D	2.36
Total Area	116017.75	100%	Total Area	116017.75	100%			

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)

$$\text{Weighted } E = \frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$$

Historic E = 1.29 in. | Developed E = 2.18 in.

On-Site Volume of Runoff: $V_{360} = E \cdot A / 12$

Historic $V_{360} = 12472$ CF | Developed $V_{360} = 21086$ CF

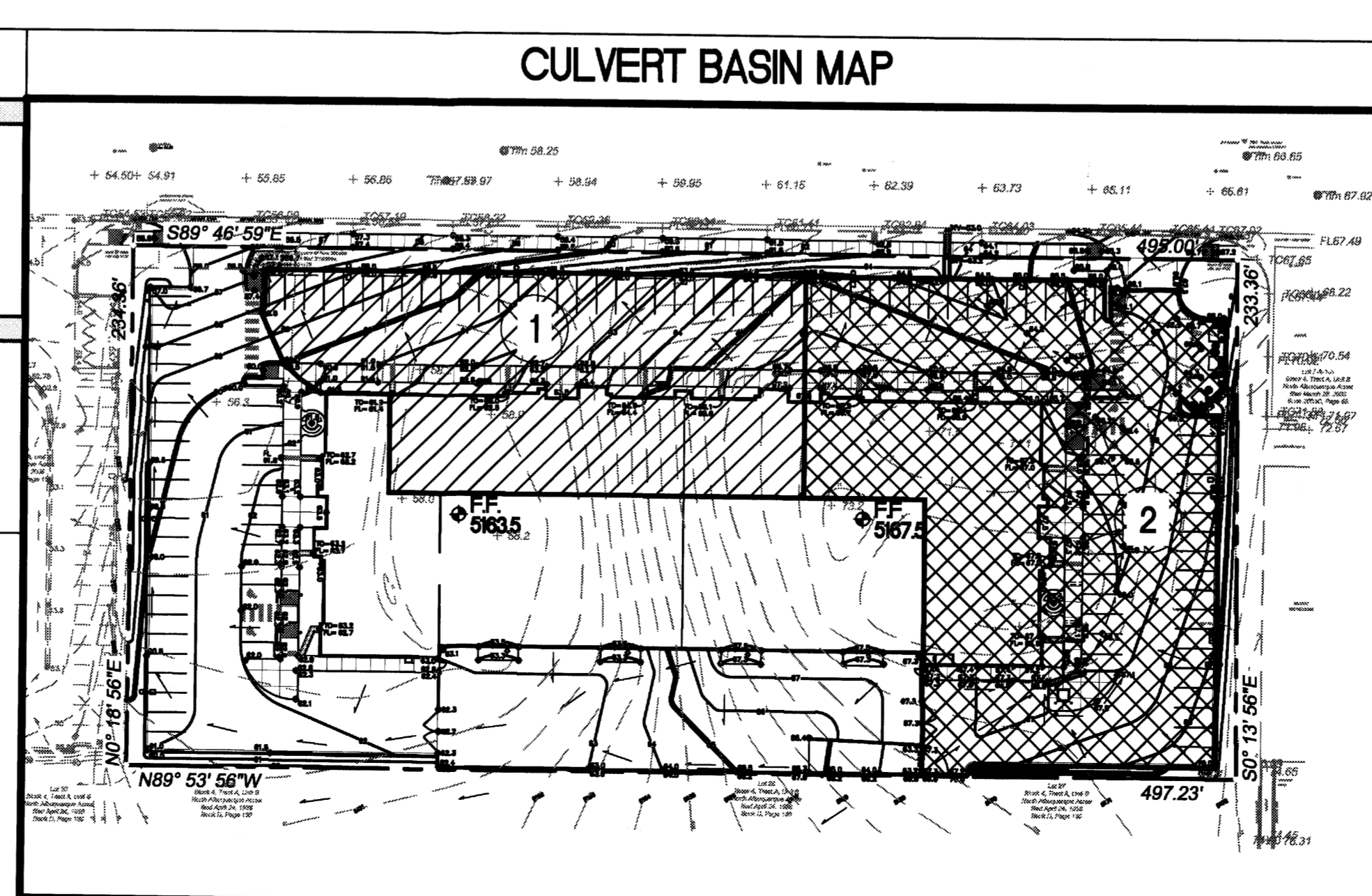
On-Site Peak Discharge Rate: $Q_p = Q_{pA} A_A + Q_{pB} A_B + Q_{pC} A_C + Q_{pD} A_D / 43,560$

For Precipitation Zone 3

Q_{pA}	1.87	Q_{pC}	3.45
Q_{pB}	2.60	Q_{pD}	5.02
Historic Q_p	9.2 CFS	Developed Q_p	12.6 CFS

ALL SITE DISCHARGE WILL FREE DISCHARGE TO VENICE AVE. ALL DISCHARGE WILL ENTER THE EXISTING PUBLIC STORM DRAIN SYSTEM.

BASIN 1 CULVERT EQUATION	CULVERT BASINS	
CURB OPENING CAPACITY CALCULATION Weir equation: $Q = CLH^{3/2}$ Constant: C = 3.33 Curb height: H = 0.5 feet Opening Length: L = 2.00 feet Q = 2.4 cfs	BASIN NO. 1	DESCRIPTION
	Area of basin flows = 21422 SF	= 0.5 Ac.
	The following calculations are based on Treatment areas as shown in table to the right	
	Sub-basin Weighted Excess Precipitation (see formula above)	LAND TREATMENT
	Weighted E = 2.18 in.	A = 0%
Sub-basin Volume of Runoff (see formula above)	B = 5%	
$V_{360} = 3893$ CF	C = 10%	
Sub-basin Peak Discharge Rate: (see formula above)	D = 85%	
$Q_p = 2.3$ cfs		
BASIN 2 CULVERT EQUATION CURB OPENING CAPACITY CALCULATION Weir equation: $Q = CLH^{3/2}$ Constant: C = 3.33 Curb height: H = 0.5 feet Opening Length: L = 6.00 feet Q = 7.1 cfs	BASIN NO. 2	DESCRIPTION
	Area of basin flows = 33798 SF	= 0.8 Ac.
	The following calculations are based on Treatment areas as shown in table to the right	
	Sub-basin Weighted Excess Precipitation (see formula above)	LAND TREATMENT
	Weighted E = 2.18 in.	A = 0%
Sub-basin Volume of Runoff (see formula above)	B = 5%	
$V_{360} = 6143$ CF	C = 10%	
Sub-basin Peak Discharge Rate: (see formula above)	D = 85%	
$Q_p = 3.7$ cfs		

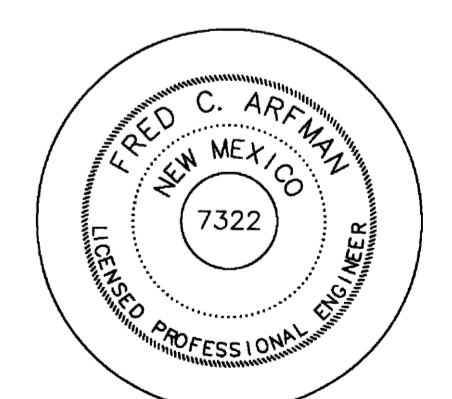


ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph. 505-268-8828 Fax. 505-268-2632
 1745 CG-101.dwg Jan 07,2010

MECHENBIER CONSTRUCTION INC.
 OFFICE/ WAREHOUSE DEVELOPMENT AT
 5454 VENICE AVE. N.E.

SLAGLE HERB

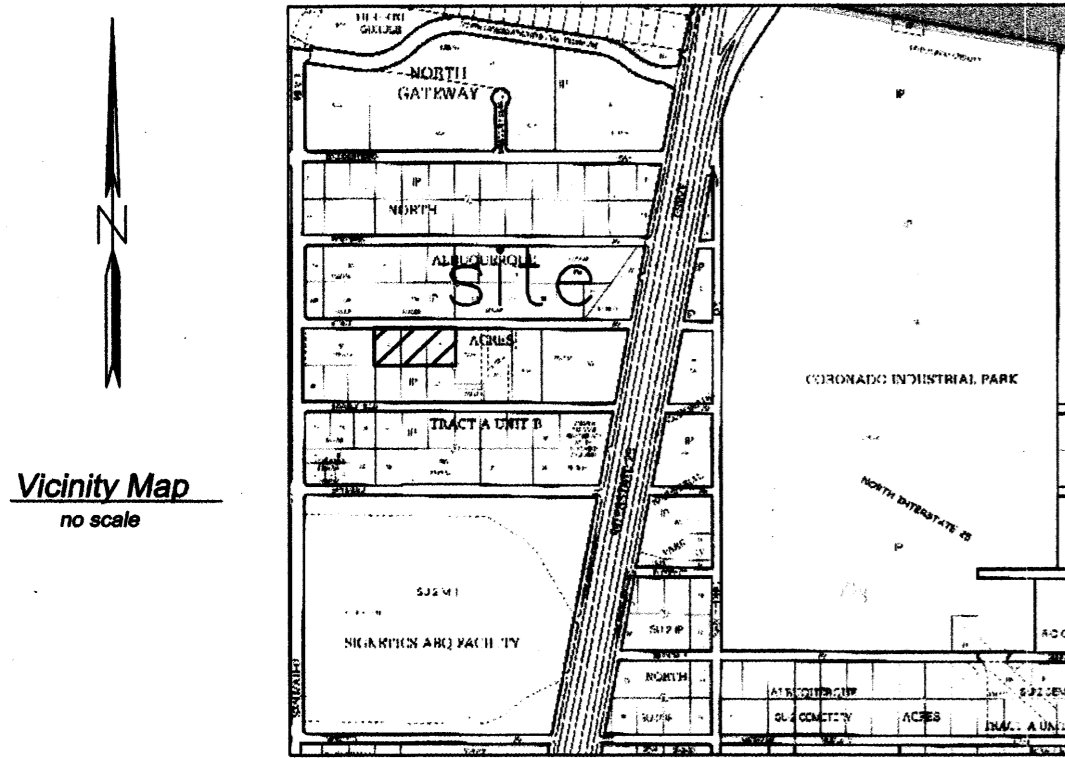
ARCHITECTS
 1600 RIO GRANDENW
 ALBUQUERQUE
 NEW MEXICO 87104
 505-246-8070
 fax 505-246-0437
 slagleherb.com



revisions:

date: 01/08/10
 sheet:

Lot 6-A
 Being a Replat of
 Lots 4, 5 & 6, Block 4
 Tract A, Unit B
 North Albuquerque Acres
 Elena Gallegos Grant
 Projected Section 13
 T.11N., R.3E. N.M.P.M.
 City of Albuquerque
 Bernalillo County, New Mexico
 December 2009



Vicinity Map
no scale

Zone Atlas Page Number B-18
 Talos Log Number 2009451942

SUBDIVISION DATA

- Total gross acreage: 3.0042 acres
- Total number of existing lots - 3. No additional lots are being created by this plat.
- Total mileage of streets created - 0.
- The basis of bearings for this survey is the New Mexico State Plane Grid, Central Zone.
- Where measured distances differ from record, () indicates record distances. The plat filed April 24, 1936 contains no bearings.
- Unless otherwise indicated all corners are set 1/2" rebar w/cap LS 6126.
- Date of field survey: October, 2009.
- Documents used in the preparation of this survey: Plat of Tract A, Unit B, North Albuquerque Acres, filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 24, 1936, in Plat Book D, page 130. Title Commitment issued by Commonwealth Land Title Insurance Company, File No. 6217001100 dated September 10, 2009 and documents referenced therein. Warranty Deed filed 4/30/2008, Document No. 2008048742 and Warranty Deed filed 1/21/2009, Document No. 2009005552. Boundary Survey Plat of Lots 4, 5, 6, 27, 28 & 29, Block 4, Tract A, Unit B, North Albuquerque Acres, Bernalillo County, New Mexico filed 8/4/2008 in Book 2008S, Page 113.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- New Mexico Gas Company for installation, maintenance and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- Public Service Company of New Mexico for the installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment, fixtures, structures and related facilities reasonable necessary to provide electrical service.
- Qwest for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- Comcast, Inc. for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with free access to, from, and over said right of way and easement, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, and to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon.

Disclaimer

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

NOTE REGARDING INSTALLATION OF SOLAR COLLECTORS

Section 14-14-4-7(B) "No property within the area of this plat shall at any time be subject to a deed restriction, covenant or building agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of the proposed plat. The foregoing requirement shall be a condition to approval of this plat."

LEGAL DESCRIPTION

Lots numbered Four (4), Five (5) and Six (6), in Block numbered Four (4), Tract lettered A, Unit lettered B, North Albuquerque Acres as the same are shown and designated on the Plat of said Addition filed in the office of the County Clerk of Bernalillo County, New Mexico on April 24, 1936 in Book D, Page 130 and being more particularly described by metes and bounds as follows:

BEGINNING at the southwest corner of said Lot 4 and the identical southwest corner of the parcel herein described; Thence, N 00° 18' 56" W, a distance of 264.36 feet to the northwest corner of the parcel herein described; Thence, S 89° 46' 59" E, a distance of 494.71 feet to the northeast corner of the parcel herein described; Thence, S 00° 13' 56" E, a distance of 263.36 feet to the southeast corner of said Lot 6 and the identical southeast corner of the parcel herein described; Thence, N 89° 53' 56" W, a distance of 497.23 feet to the southwest corner and point of beginning of the parcel herein described and containing 3.0042 acres, more or less.

FREE CONSENT AND DEDICATION

The platting of the land comprising Lot 6-A as shown hereon and all easements shown hereon are with the free consent of and in accordance with the wishes and desires of the undersigned owners and proprietors thereof. Said owners do hereby grant all easements shown hereon, including the right of ingress and egress and the right to trim interfering trees. Said owner does hereby dedicate the 30' right-of-way of Venice Avenue NE as shown hereon to the City of Albuquerque in fee simple. Said owners warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

CORONADO LAND, LLC A NEW MEXICO LIMITED LIABILITY COMPANY

John E. Mechenbier
 JOHN E. MECHENBIER, MANAGING MEMBER

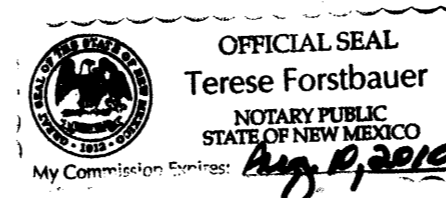
ACKNOWLEDGMENT

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) SS

This instrument was acknowledged before me on December 14, 2009, by John E. Mechenbier, Managing Member, Coronado Land, LLC.

My Commission Expires: August 10, 2010

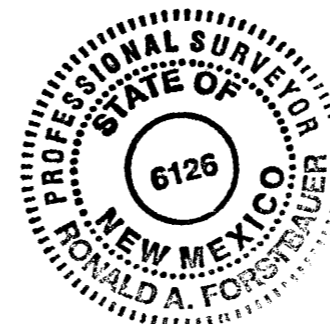
Terese Forstbauer
 Notary Public



SURVEYOR'S AFFIDAVIT

I, Ronald A. Forstbauer, registered New Mexico Land Surveyor No. 6126, do hereby certify that the plat shown hereon was prepared by me or under my direct supervision from an actual field survey and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance and the City Detailed Design Standards for surveying and meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico Board of Licensure for Professional Engineers and Professional Land Surveyors effective May 1, 2007 and shows easements of record as indicated on Title Commitment No. 6217001100, effective September 10, 2009 issued by Commonwealth Land Title Insurance Company, countersigned by Commonwealth Lawyers Title Company of New Mexico, and that the information shown hereon is true and correct to the best of my knowledge and belief.

Ronald A. Forstbauer
 Ronald A. Forstbauer Date 12/15/2009
 N.M.P.S. No. 6126



PROJECT NUMBER _____
 Application Number _____

The purpose of this plat is to consolidate Lots 4, 5 & 6 into one lot and to dedicate the right-of-way of Venice Avenue NE.

PLAT APPROVAL

Utility Approvals:

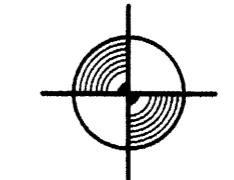
PNM ELECTRIC SERVICES _____ DATE _____
 NEW MEXICO GAS COMPANY _____ DATE _____
 QWEST TELECOMMUNICATIONS _____ DATE _____
 COMCAST, INC. _____ DATE _____

City Approvals:

John B. Ford _____ 12-17-09
 CITY SURVEYOR _____ DATE _____
 REAL PROPERTY DIVISION _____ DATE _____
 ENVIRONMENTAL HEALTH DEPARTMENT _____ DATE _____
 TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____
 ABCWUA _____ DATE _____
 PARKS & RECREATION DEPARTMENT _____ DATE _____
 A.M.A.F.C.A. _____ DATE _____
 CITY ENGINEER _____ DATE _____
 DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

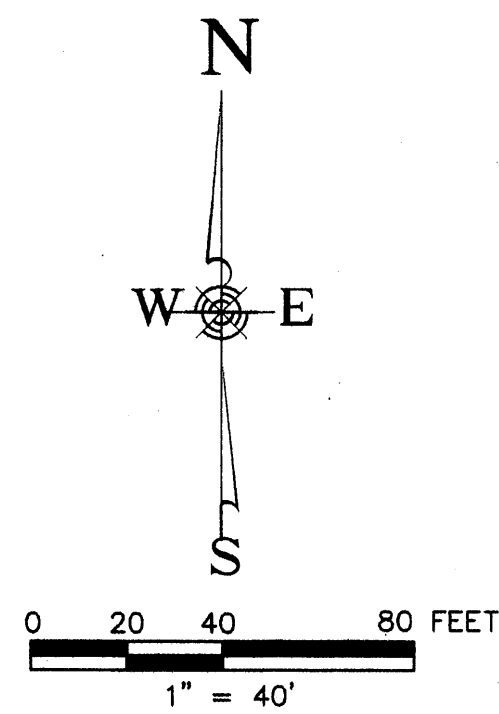
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
 UPC #: _____
 PROPERTY OWNER OF RECORD: _____

 BERNALILLO COUNTY TREASURER'S OFFICE:



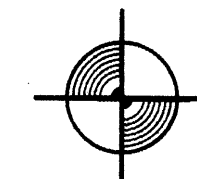
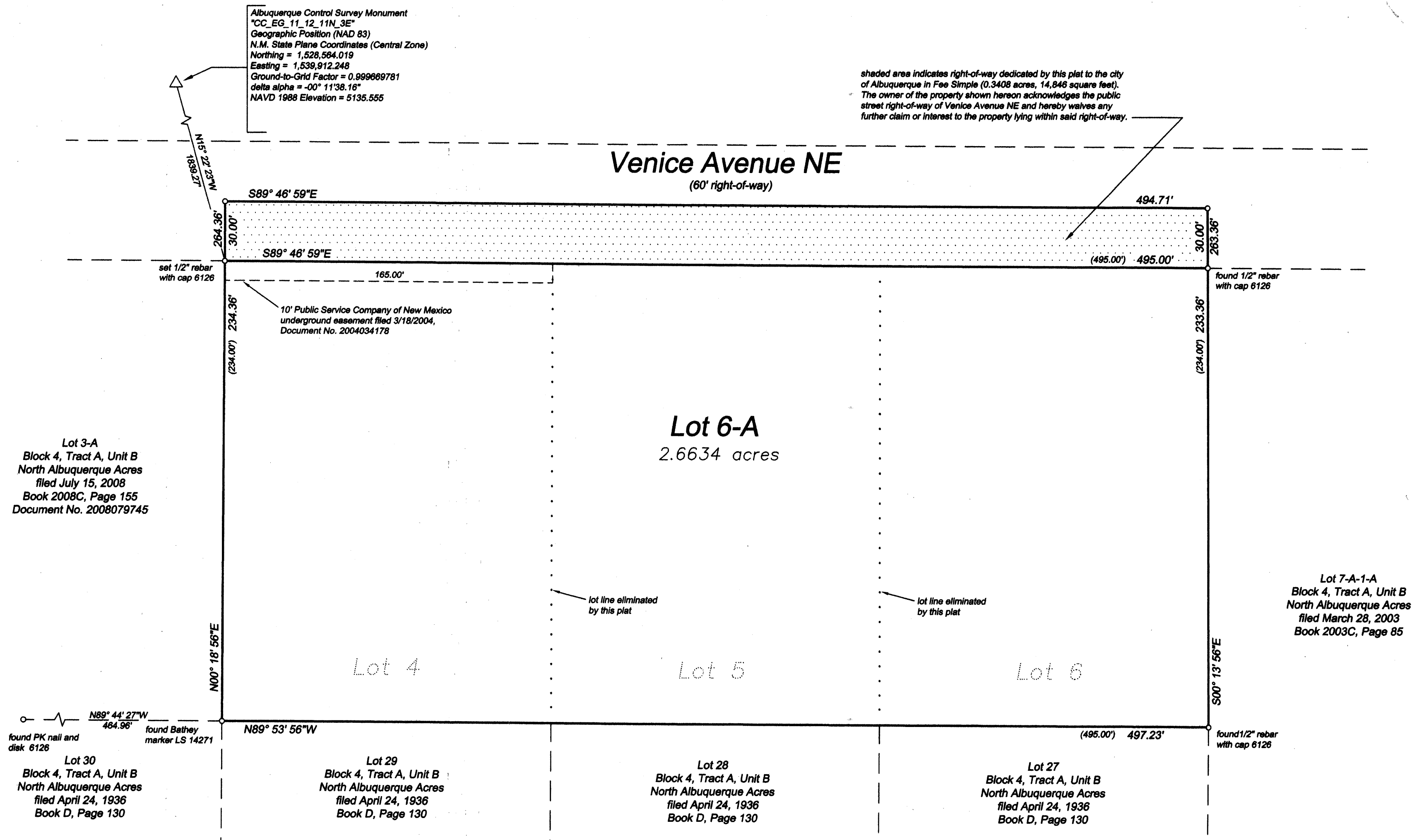
Forstbauer Surveying, L.L.C.
 4116 Lomas Boulevard NE
 Albuquerque, New Mexico 87110
 (505) 268-2112 Fax 268-2032

Lot 6-A
 Being a Replat of
 Lots 4, 5 & 6, Block 4
 Tract A, Unit B
 North Albuquerque Acres
 Elena Gallegos Grant
 Projected Section 13
 T.11N., R.3E. N.M.P.M.
 City of Albuquerque
 Bernalillo County, New Mexico
 December 2009



Albuquerque Control Survey Monument
 "CC_EG_11_12_11N_3E"
 Geographic Position (NAD 83)
 N.M. State Plane Coordinates (Central Zone)
 Northing = 1,528,564,019
 Easting = 1,539,912,248
 Ground-to-Grid Factor = 0.999669781
 delta alpha = -00° 11'38.16"
 NAVD 1988 Elevation = 5135.555

shaded area indicates right-of-way dedicated by this plat to the city of Albuquerque in Fee Simple (0.3408 acres, 14,846 square feet). The owner of the property shown hereon acknowledges the public street right-of-way of Venice Avenue NE and hereby waives any further claim or interest to the property lying within said right-of-way.

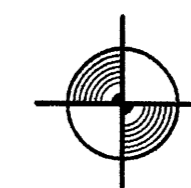
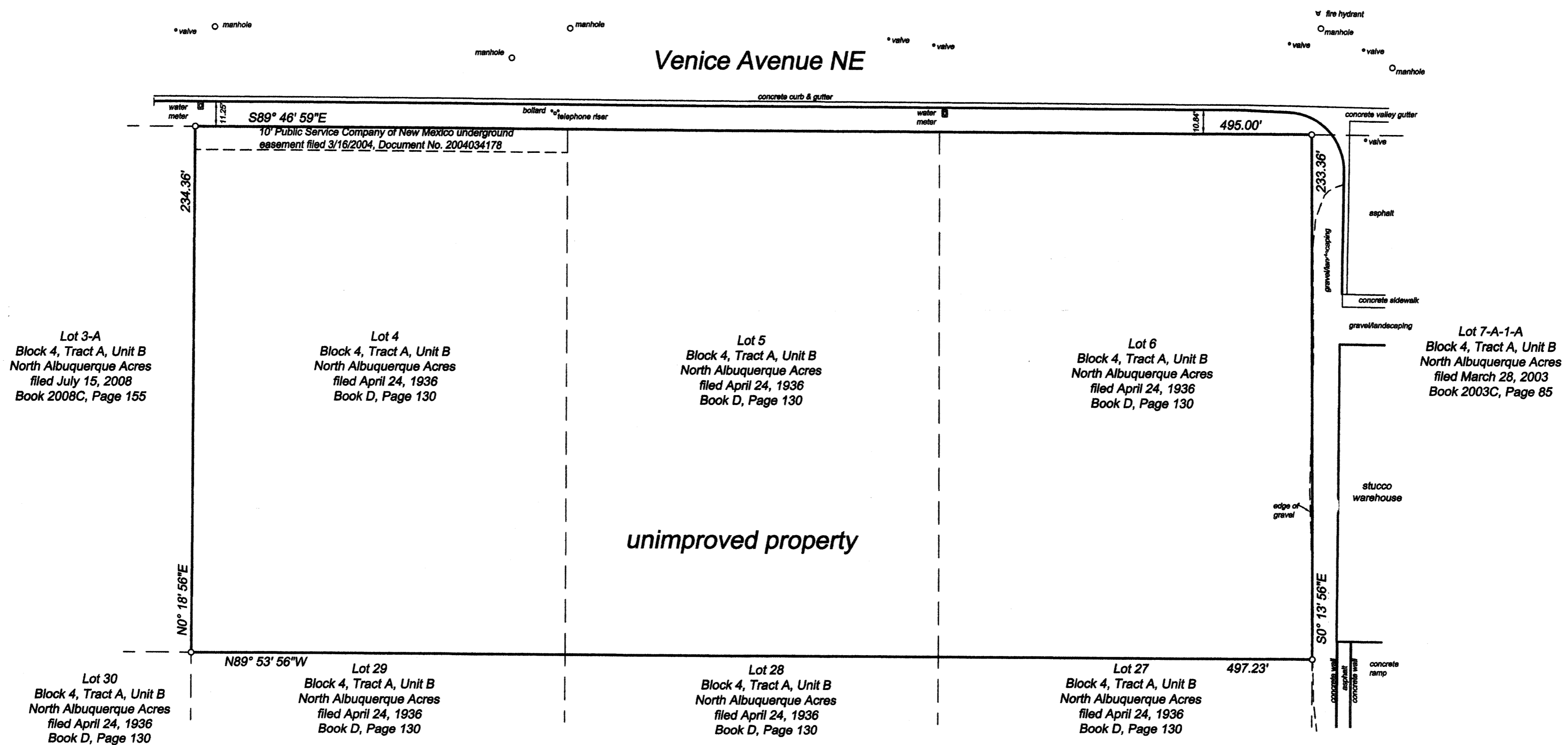
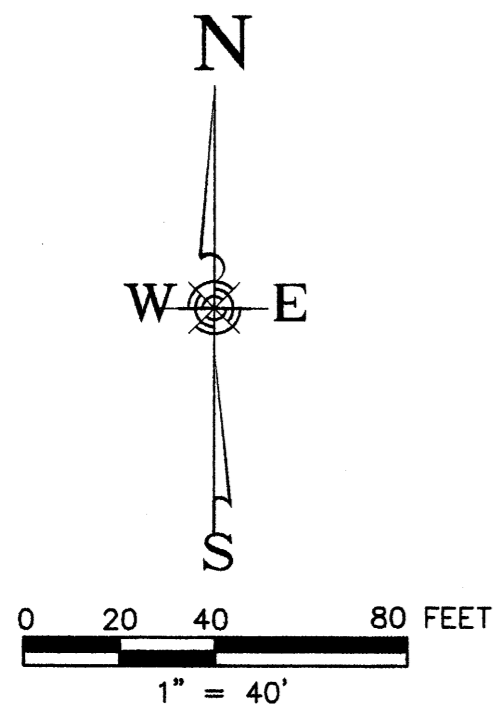


Forstbauer Surveying, L.L.C.
 4116 Lomas Boulevard NE
 Albuquerque, New Mexico 87110
 (505) 268-2112 Fax 268-2032

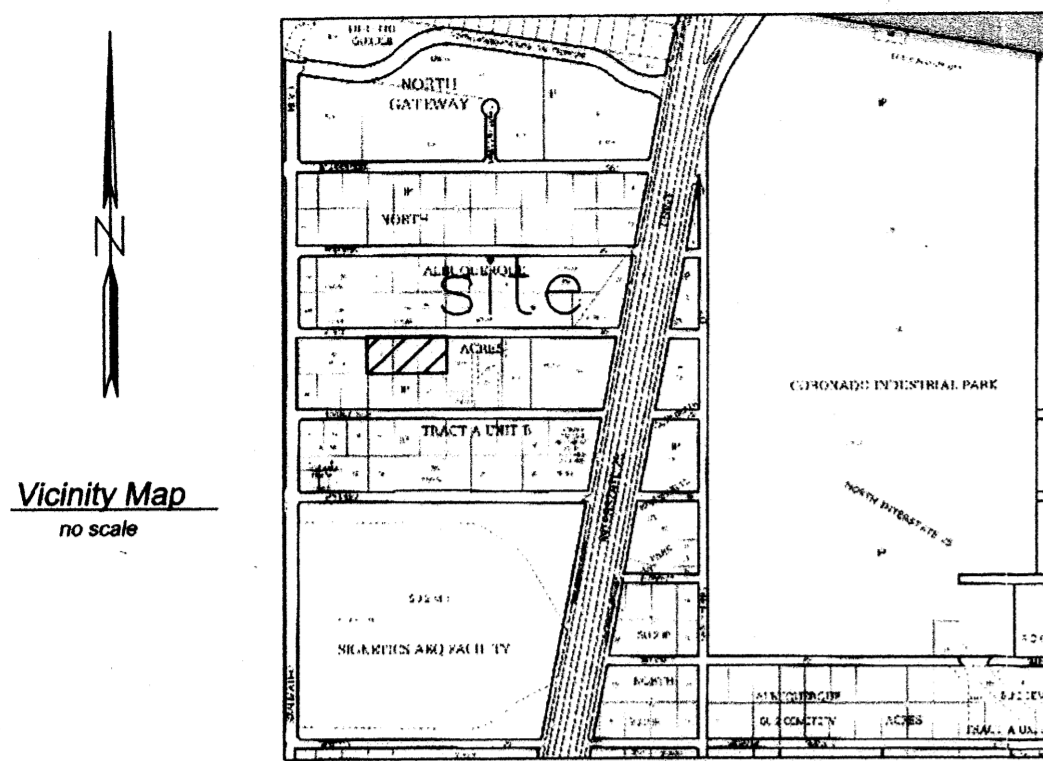
Site Sketch
 Proposed Lot 6-A, Block 4
 Tract A, Unit B
 North Albuquerque Acres
 City of Albuquerque
 Bernalillo County, New Mexico
 December 2009

LEGAL DESCRIPTION

Lots numbered Four (4), Five (5), and Six (6) in Block numbered Four (4), of Tract A, Unit B, North Albuquerque Acres, Bernalillo County, New Mexico, as the same are shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on April 24, 1936 in Plat Book D, folio 130.



Forstbauer Surveying, L.L.C.
 4116 Lomas Boulevard NE
 Albuquerque, New Mexico 87110
 (505) 268-2112 Fax 268-2032



Vicinity Map
no scale

Zone Atlas Page Number B-18
Talos Log Number 2009451942

SUBDIVISION DATA

- Total gross acreage: 3.0042 acres
- Total number of existing lots - 3. No additional lots are being created by this plat.
- Total mileage of streets created - 0.
- The basis of bearings for this survey is the New Mexico State Plane Grid, Central Zone.
- Where measured distances differ from record, () indicates record distances. The plat filed April 24, 1936 contains no bearings.
- Unless otherwise indicated all corners are set 1/2" rebar w/cap LS 6126.
- Date of field survey: October, 2009.
- Documents used in the preparation of this survey: Plat of Tract A, Unit B, North Albuquerque Acres, filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 24, 1936, in Plat Book D, page 130. Title Commitment issued by Commonwealth Land Title Insurance Company, File No. 6217001100 dated September 10, 2009 and documents referenced therein. Warranty Deed filed 4/30/2008, Document No. 2008048742 and Warranty Deed filed 1/21/2009, Document No. 2009005552. Boundary Survey Plat of Lots 4, 5, 6, 27, 28 & 29, Block 4, Tract A, Unit B, North Albuquerque Acres, Bernalillo County, New Mexico filed 8/4/2008 in Book 2008S, Page 113.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- New Mexico Gas Company for installation, maintenance and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- Public Service Company of New Mexico for the installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment, fixtures, structures and related facilities reasonable necessary to provide electrical service.
- Qwest for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- Comcast, Inc. for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with free access to, from, and over said right of way and easement, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, and to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon.

Disclaimer

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

NOTE REGARDING INSTALLATION OF SOLAR COLLECTORS

Section 14-14-4-7(B) "No property within the area of this plat shall at any time be subject to a deed restriction, covenant or building agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of the proposed plat. The foregoing requirement shall be a condition to approval of this plat."

LEGAL DESCRIPTION

Lots numbered Four (4), Five (5) and Six (6), in Block numbered Four (4), Tract lettered A, Unit lettered B, North Albuquerque Acres as the same are shown and designated on the Plat of said Addition filed in the office of the County Clerk of Bernalillo County, New Mexico on April 24, 1936 in Book D, Page 130 and being more particularly described by metes and bounds as follows:

BEGINNING at the southwest corner of said Lot 4 and the identical southwest corner of the parcel herein described; Thence, N 00° 18' 56" W, a distance of 264.36 feet to the northwest corner of the parcel herein described; Thence, S 89° 46' 59" E, a distance of 494.71 feet to the northeast corner of the parcel herein described; Thence, S 00° 13' 56" E, a distance of 263.36 feet to the southeast corner of said Lot 6 and the identical southeast corner of the parcel herein described; Thence, N 89° 53' 56" W, a distance of 497.23 feet to the southwest corner and point of beginning of the parcel herein described and containing 3.0042 acres, more or less.

FREE CONSENT AND DEDICATION

The platting of the land comprising Lot 6-A as shown hereon and all easements shown hereon are with the free consent of and in accordance with the wishes and desires of the undersigned owners and proprietors thereof. Said owners do hereby grant all easements shown hereon, including the right of ingress and egress and the right to trim interfering trees. Said owner does hereby dedicate the 30' right-of-way of Venice Avenue NE as shown hereon to the City of Albuquerque in fee simple. Said owners warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

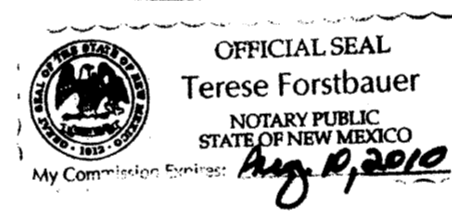
CORONADO LAND, LLC A NEW MEXICO LIMITED LIABILITY COMPANY

John E. Mechenbier
JOHN E. MECHENBIER, MANAGING MEMBER

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

This instrument was acknowledged before me on December 14, 2009,
by John E. Mechenbier, Managing Member, Coronado Land, LLC.
My Commission Expires: August 10, 2010
Terese Forstbauer
Notary Public



SURVEYOR'S AFFIDAVIT

I, Ronald A. Forstbauer, registered New Mexico Land Surveyor No. 6126, do hereby certify that the plat shown hereon was prepared by me or under my direct supervision from an actual field survey and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance and the City Detailed Design Standards for surveying and meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico Board of Licensure for Professional Engineers and Professional Land Surveyors effective May 1, 2007 and shows easements of record as indicated on Title Commitment No. 6217001100, effective September 10, 2009 issued by Commonwealth Land Title Insurance Company, countersigned by Commonwealth Lawyers Title Company of New Mexico, and that the information shown hereon is true and correct to the best of my knowledge and belief.

Ronald A. Forstbauer
Ronald A. Forstbauer Date 12/15/2009
N.M.P.S. No. 6126



Landfill Disclosure Statement

The subject property is located near a former landfill. Due to the subject property being near a former landfill, certain precautionary measures may need to be taken to ensure health and safety of the public. Recommendation made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the Interim Guidelines for Development within City Designated Landfill Buffer Zones) shall be consulted prior to development of the site.

Lot 6-A
Being a Replat of
Lots 4, 5 & 6, Block 4
Tract A, Unit B
North Albuquerque Acres
Elena Gallegos Grant
Projected Section 13
T.11N., R.3E. N.M.P.M.
City of Albuquerque
Bernalillo County, New Mexico
December 2009

PROJECT NUMBER 1008059
Application Number 10 DRB - 70015

The purpose of this plat is to consolidate Lots 4, 5 & 6 into one lot and to dedicate the right-of-way of Venice Avenue NE.

PLAT APPROVAL

Utility Approvals:

N/A	PNM ELECTRIC SERVICES	DATE
N/A	NEW MEXICO GAS COMPANY	DATE
N/A	QWEST TELECOMMUNICATIONS	DATE
N/A	COMCAST, INC.	DATE

City Approvals:

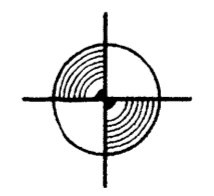
<i>John B. Forstbauer</i>	CITY SURVEYOR	<u>12-17-09</u>	DATE
N/A	REAL PROPERTY DIVISION	DATE	
<i>Terese Forstbauer</i>	ENVIRONMENTAL HEALTH DEPARTMENT	<u>01/20/10</u>	DATE
<i>Terese Forstbauer</i>	TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	<u>01/20/10</u>	DATE
<i>Allan P. Viter</i>	ABCWUA	<u>01/20/10</u>	DATE
<i>Christina Sandoval</i>	PARKS & RECREATION DEPARTMENT	<u>1/20/10</u>	DATE
<i>Bradley D. Bingham</i>	A.M.A.F.C.A.	<u>1/20/10</u>	DATE
<i>Bradley D. Bingham</i>	CITY ENGINEER	<u>1/20/10</u>	DATE
<i>Jack Cloud</i>	DRB CHAIRPERSON, PLANNING DEPARTMENT	<u>02-05-10</u>	DATE

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON

UPC #: 101801509124830921

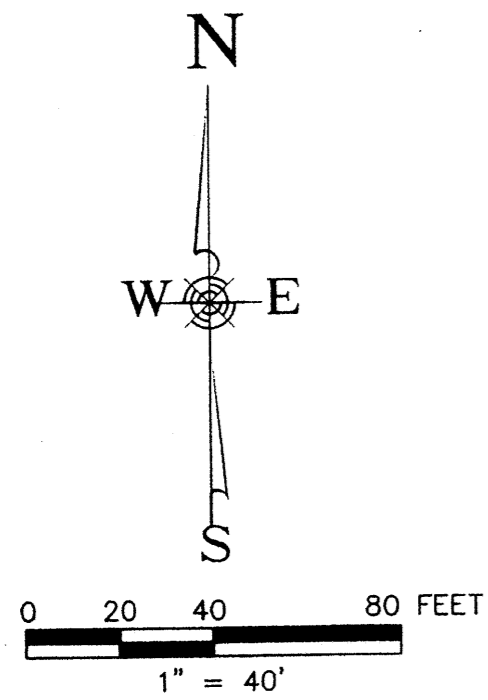
PROPERTY OWNER OF RECORD: CORONADO LAND LLC

BERNALILLO COUNTY TREASURER'S OFFICE:
John P. ... 28-10



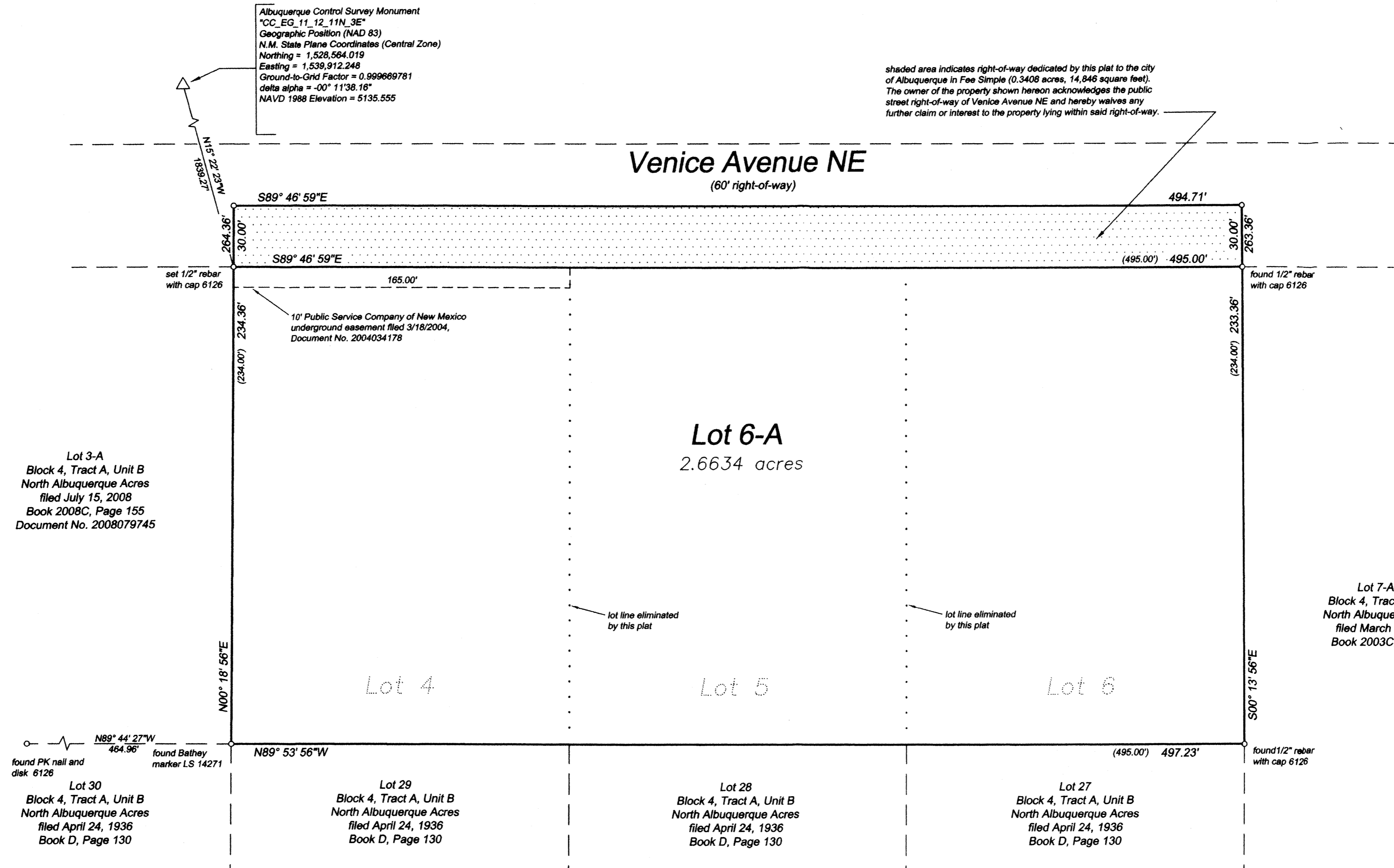
Forstbauer Surveying, L.L.C.
4116 Lomas Boulevard NE
Albuquerque, New Mexico 87110
(505) 268-2112 Fax 268-2032

Lot 6-A
 Being a Replat of
 Lots 4, 5 & 6, Block 4
 Tract A, Unit B
 North Albuquerque Acres
 Elena Gallegos Grant
 Projected Section 13
 T.11N., R.3E. N.M.P.M.
 City of Albuquerque
 Bernalillo County, New Mexico
 December 2009



Albuquerque Control Survey Monument
 TCC_EG_11_12_11N_3E
 Geographic Position (NAD 83)
 N.M. State Plane Coordinates (Central Zone)
 Northing = 1,528,564.019
 Easting = 1,539,912.248
 Ground-to-Grid Factor = 0.999689781
 delta alpha = -00° 11'38.18"
 NAVD 1988 Elevation = 5135.555

shaded area indicates right-of-way dedicated by this plat to the city of Albuquerque in Fee Simple (0.3408 acres, 14,846 square feet). The owner of the property shown hereon acknowledges the public street right-of-way of Venice Avenue NE and hereby waives any further claim or interest to the property lying within said right-of-way.



Lot 3-A
 Block 4, Tract A, Unit B
 North Albuquerque Acres
 filed July 15, 2008
 Book 2008C, Page 155
 Document No. 2008079745

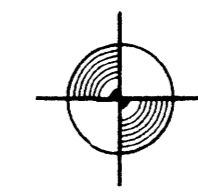
Lot 7-A-1-A
 Block 4, Tract A, Unit B
 North Albuquerque Acres
 filed March 28, 2003
 Book 2003C, Page 85

Lot 30
 Block 4, Tract A, Unit B
 North Albuquerque Acres
 filed April 24, 1936
 Book D, Page 130

Lot 29
 Block 4, Tract A, Unit B
 North Albuquerque Acres
 filed April 24, 1936
 Book D, Page 130

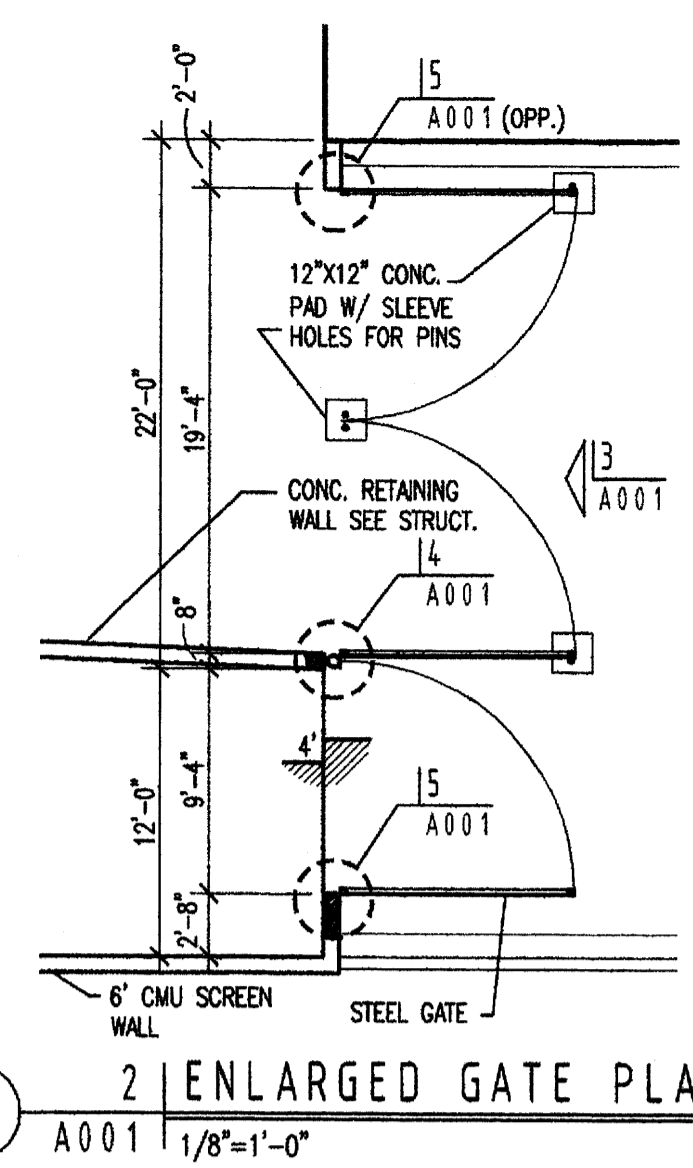
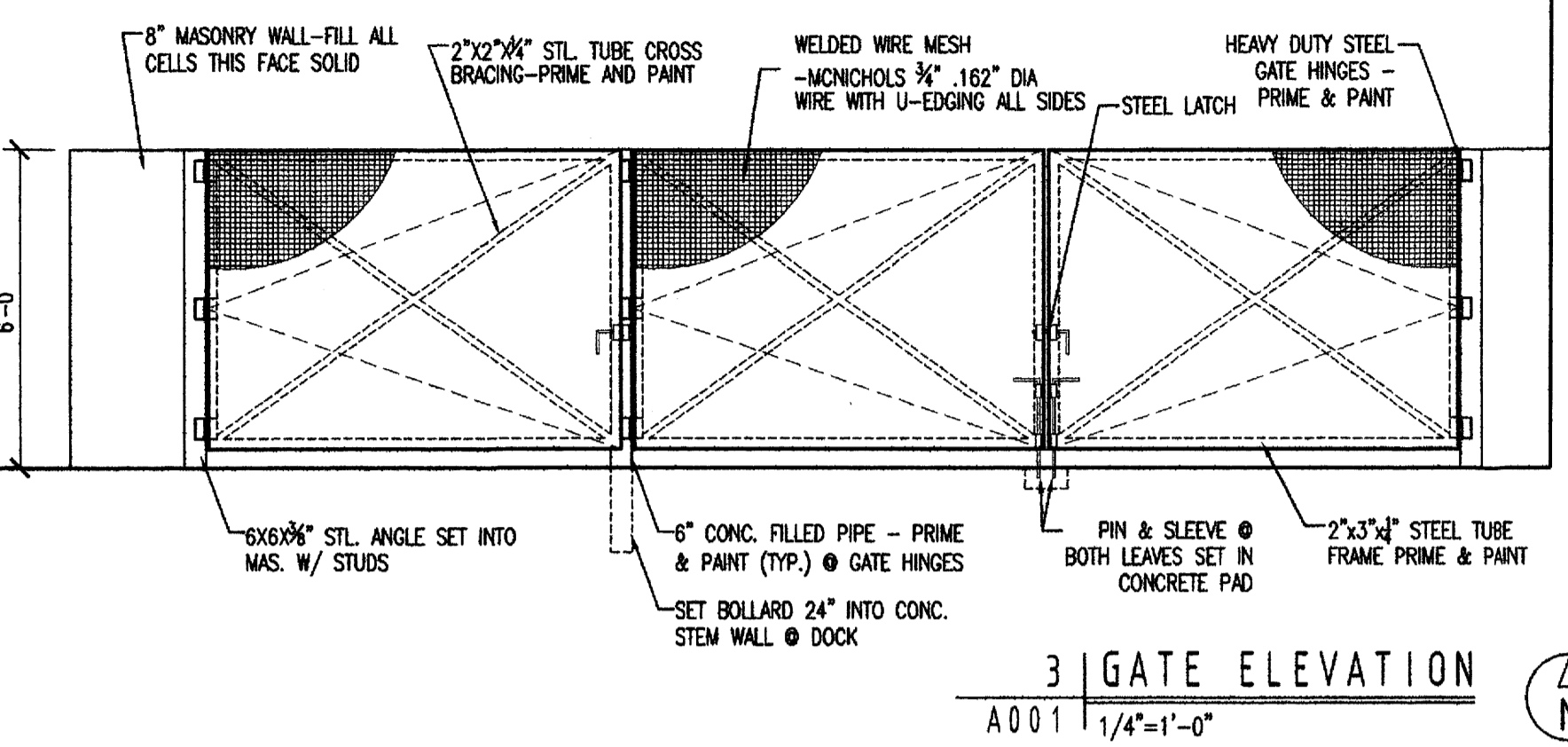
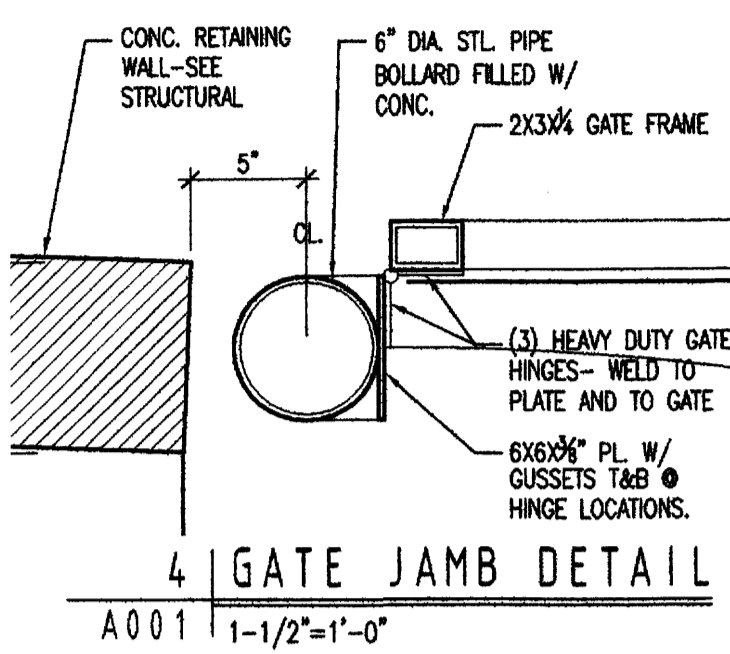
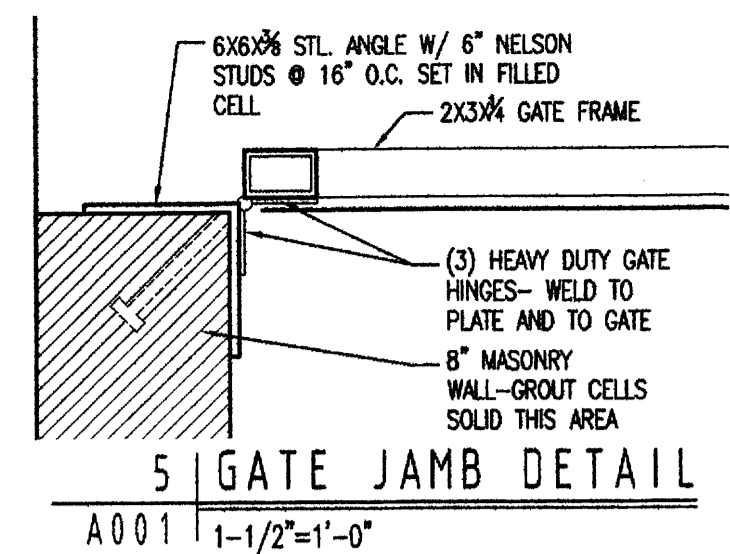
Lot 28
 Block 4, Tract A, Unit B
 North Albuquerque Acres
 filed April 24, 1936
 Book D, Page 130

Lot 27
 Block 4, Tract A, Unit B
 North Albuquerque Acres
 filed April 24, 1936
 Book D, Page 130



Forstbauer Surveying, L.L.C.
 4116 Lomas Boulevard NE
 Albuquerque, New Mexico 87110
 (505) 268-2112 Fax 268-2032

DOCH 2010010849
 02/08/2010 10:46 AM Page: 2 of 2
 CityPLAT R:\$12.00 B: 2010C P: 0017 M. Toulouse Olivere, Bernalillo Co.

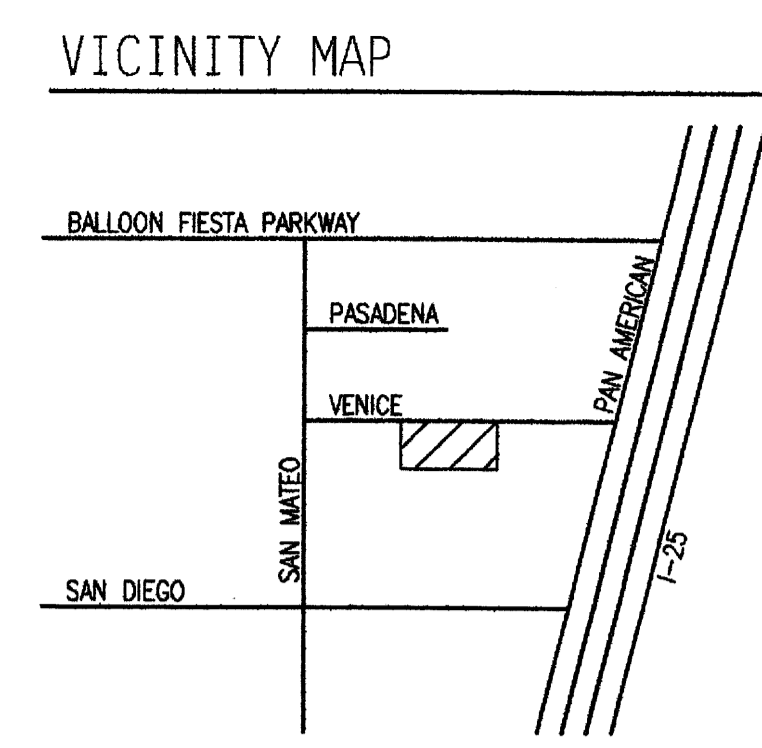


SIGNATURE BLOCK

PROJECT NUMBER _____
 APPLICATION NUMBER _____
 Is an infrastructure list required? () yes () no If yes, then a set of approved DRC plans with a work order is required for any construction within public right-of-way or for construction of public improvements.

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE: _____
 UTILITIES DEVELOPMENT DATE: _____
 PARKS AND RECREATION DATE: _____
 CITY ENGINEER DATE: _____
 ENVIRONMENTAL HEALTH DEPT. (if required) DATE: _____
 SOLID WASTE MANAGEMENT DATE: _____
 DRB CHAIRPERSON, PLANNING DEPARTMENT DATE: _____

Joe White
 DATE: 1-6-10



- GENERAL NOTES**
- VERIFY SITE UTILITY ROUTING AND NEW UTILITY CONNECTIONS WITH UTILITY PROVIDERS
 - CURBS DIMENSIONED TO FACE OF CURB U.N.O.
 - PATCH & REPAIR OR REPLACE EXISTING CURB & GUTTER ALONG STREET FRONTAGES AS NECESSARY IN COORDINATION W/ DRIVEWAY CONSTRUCTION
 - VERIFY ALL NEW DRIVEWAY REQ.'S W/ CITY OF ALBUQUERQUE STANDARDS
 - SITE LIGHTING PROVIDED FROM BUILDING FACADES TO BE OUT-OFF TYPE ANGLED TO BE NON-INTRUSIVE TO ADJACENT PROPERTIES AND RIGHT-OF-WAYS.

SITE DATA

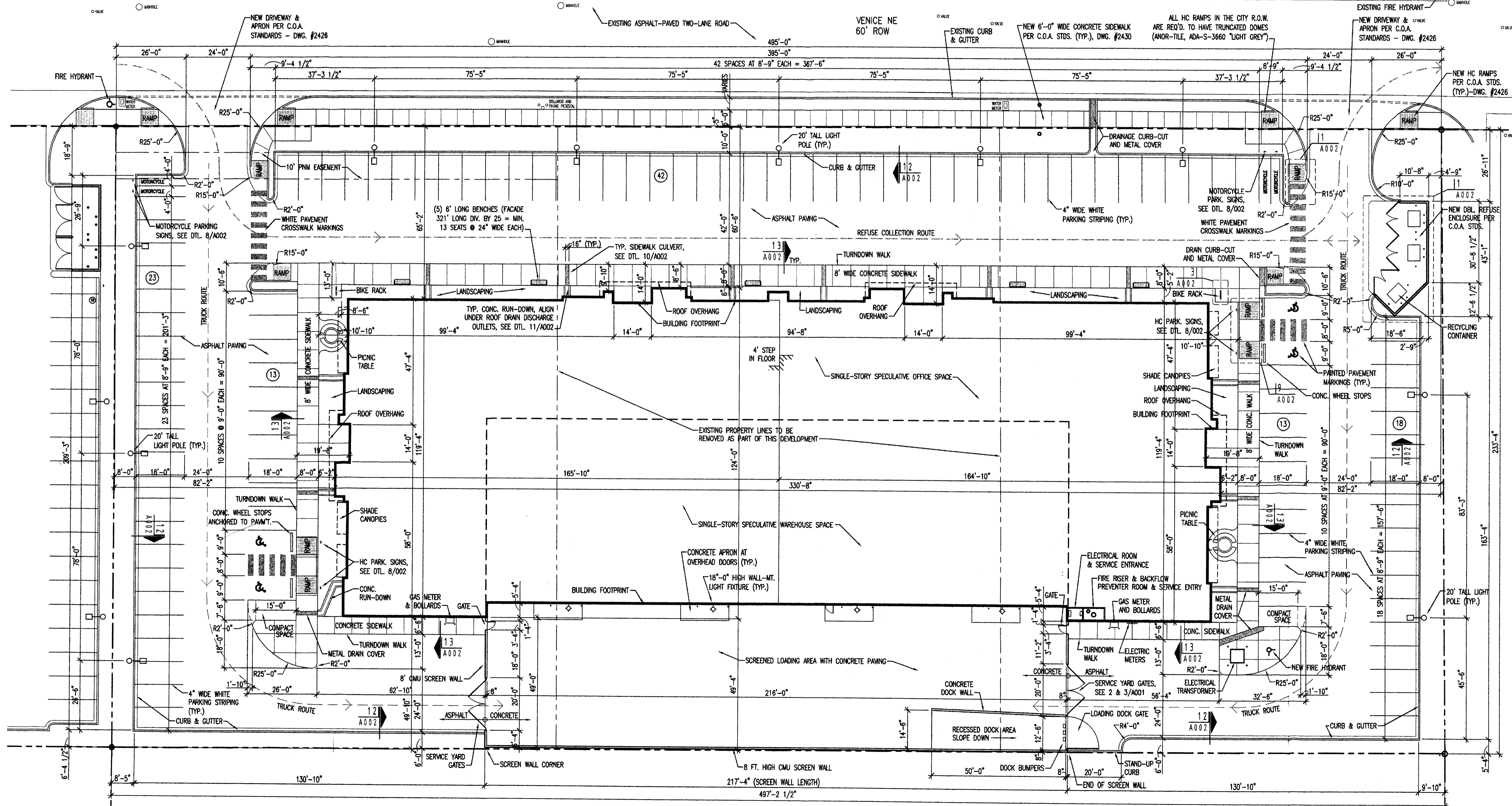
LOCATION: 5454 VENICE AVE. NE
 ALBUQUERQUE, NM 87113

OWNER: MECHENBIER CONSTRUCTION
 8500 WASHINGTON ST. NE, SUITE A-6
 ALBUQUERQUE, NM 87113

LEGAL DESCRIPTION: LOTS 4,5,6, BLOCK 4, TRACT A, UNIT B
 NORTH ALBUQUERQUE ACRES

UPC #: 10180650924930923
 101806507424930922
 101806509124830921

CURRENT ZONING: IP
 ZONE ATLAS PAGE: B-18
 CONSTRUCTION TYPE: 2-B, SPRINKLED
 APPLICABLE CODE: 2006 IBC
 TOTAL LOT AREA: (2,659 AC) 115,826 S.F.
 BUILDING FOOTPRINT AREA: 37,608 S.F.
 NET LOT AREA: 78,218 S.F.
 HARDSCAPE AREA (PAVING AND SIDEWALKS): 65,769 S.F.
 LANDSCAPE AREA: 12,449 S.F.
 LANDSCAPE % OF NET LOT AREA: 15.9 %
 LANDSCAPE TO HARDSCAPE AREA RATIO: 1 : 5.28
 REQUIRED PARKING: 96 SPACES
 OFFICE: (22,418 SF x 0.8) / 200 = 90 SPACES
 WAREHOUSE: (15,190 SF x 0.8) / 2000 = 6 SPACES
 PARKING PROVIDED: 109 SPACES
 H.C. PARKING PROVIDED (4 REQUIRED): 4 SPACES
 COMPACT SPACES ALLOWED (25% OF 96): 24 SPACES
 COMPACT SPACES PROVIDED: 2 SPACES
 REQUIRED BICYCLE PARKING: 5 SPACES
 BICYCLE PARKING PROVIDED: 10 SPACES
 MOTORCYCLE PARKING PROVIDED (3 REQUIRED): 4 SPACES



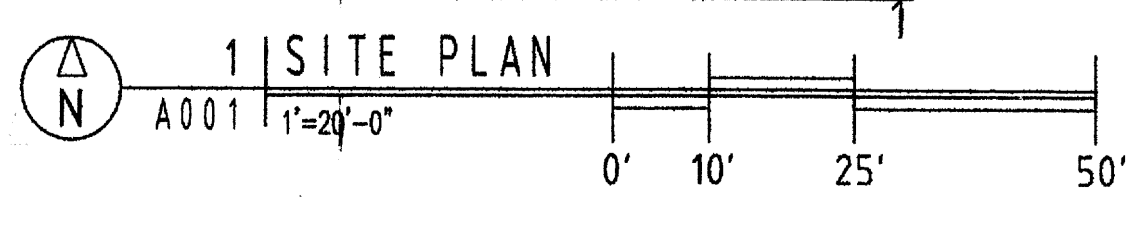
MECHENBIER CONSTRUCTION INC.
 OFFICE/ WAREHOUSE DEVELOPMENT AT
 5454 VENICE AVE. N.E.

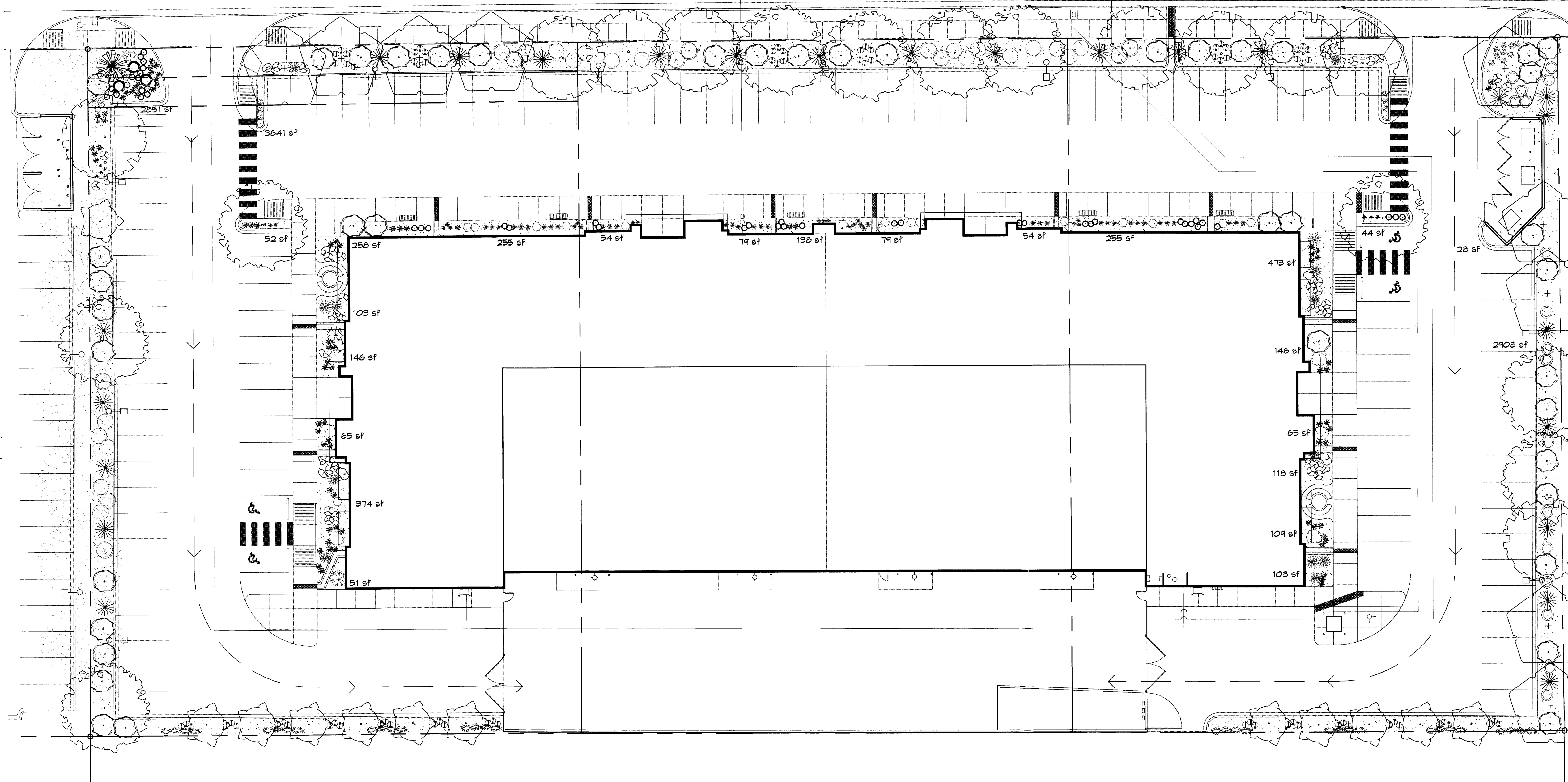
SLAGLE HER
 ARCHITECTS
 1600 riograndenue
 albuquerque
 new mexico 87104
 505.246.0170
 fax 505.246.0437
 slagleher.com

SITE PLAN CODE / ZONING DATA

revisions: _____

date: 1/8/10
 sheet: A001





PLANT LEGEND

All plants shall be sized per American Standard For Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

* DENOTES EVERGREEN PLANT MATERIAL

- AUTUMN PURPLE ASH 10
Fraxinus americana
2" Cal., 12-14" inst./60' x 60' maturity
Water (M) Allergy (H) 0sf
- HONEY LOCUST 8
Gleditsia triacanthos
2" Cal., 12-14" inst./60' x 60' maturity
Water (M+) Allergy (L) 0sf
- COMMON HACKBERRY 10
Celtis occidentalis
2" Cal., 12-14" inst./40' x 40' maturity
Water (M) Allergy (L) 0sf

DESERT ACCENTS

- * PALM YUCCA 1
Yucca faxonia
4-8" inst., 15' x 6' maturity
Water (L) Allergy (L) 0sf
- * BEARGRASS 24
Nolina microcarpa
5 Gal., 18"-3' inst./3' x 6' maturity
Water (L+) Allergy (L) 36sf
- * MUGO PINE 3
Pinus mugo
5 Gal., 12"-3' inst./3' x 3' maturity
Water (M) Allergy (L) 4sf
- * OCOTILLO 2
Fouquieria splendens
4-6" inst./15' x 10' maturity
Water (L) Allergy (L) 0sf

- * RED YUCCA 13
Hesperaloe parviflora
5 Gal., 18"-3' inst./3' x 4' maturity
Water (L+) Allergy (L) 16sf
- SHRUBS/ORNAMENTAL TREES
FIFTEEN GAL.
- VITEX 12
Vitex agnus-castus
15 Gal., 10-12" inst./20' x 20' maturity
Water (M) Allergy (L) 225sf
- SHRUBS/ORNAMENTAL GRASSES
FIVE GAL.
- RUSSIAN SAGE 11
Perovskia atriplicifolia
5 Gal., 18"-3' inst./6' x 6' maturity
Water (M) Allergy (L) 36sf
- APACHE PLUME 14
Fallugia paradoxa
5 Gal., 18"-3' inst./6' x 7' maturity
Water (L) Allergy (L) 49sf
- REED GRASS 42
Calamagrostis x acutiflora
5 Gal., 18"-3' inst./4' x 2' maturity
Water (M) Allergy (L) 4sf
- ONE GAL.
- * POINIS CASTLE SAGE 6
Artemisia x Pouis Castle
1 Gal., 6"-15" inst./2' x 3' maturity
Water (L+) Allergy (L) 25sf
- * TURPENTINE BUSH 17
Ericameria laricifolia
1 Gal., 6"-15" inst./3' x 4' maturity
Water (L+) Allergy (L) 16sf
- AUTUMN SAGE 18
Salvia greggii
1 Gal., 3"-15" inst./2' x 3' maturity
Water (M) Allergy (L) 4sf

- VALLEY GRASS 22
Gallardia x grandiflora
1 Gal., 3"-15" inst./3' x 3' maturity
Water (M) Allergy (L) 4sf
- CATMINT 45
Nepeta musini
1 Gal., 3"-15" inst./1' x 2' maturity
Water (M) Allergy (L) 4sf
- DWARF PLUMBAGO 75
LITTLE BLUESTEM
1 Gal., 3"-15" inst./1' x 2' maturity
Water (M) Allergy (L) 4sf
- THREADGRASS 15
Stipa tenuissima
1 Gal., 3"-15" inst./2' x 2' maturity
Water (L+) Allergy (L) 4sf
- * YELLOW ICEPLANT 80
Delosperma nubigenum
1 Gal., 3" inst./3' x 2' maturity
Water (L+) Allergy (L) 4sf
- POPPY MALLOW 11
Callirhoe involucrata
1 Gal., 3"-15" inst./2' x 2' maturity
Water (L+) Allergy (L) 4sf
- BLUE FESCUE 24
Festuca ovina glauca
1 Gal., 3"-15" inst./1' x 1' maturity
Water (M) Allergy (L) 2sf
- GROUNDCOVERS
- * GREEN MOUND JUNIPER 42
Juniperus procumbens 'Green Mound'
1 Gal., 6"-15" inst./8' x 8' maturity
Water (L+) Allergy (H) 64sf
Symbol indicates 3 plants
- VINES
- BOSTON IVY 8
Parthenocissus tricuspidata
1 Gal., 6"-15" inst./climbing to 40'
Water (M) Allergy (L)

HANDSCAPED

- OVERSIZED GRAVEL
11 BOULDERS
- SANTA FE BROWN GRAVEL
WITH FILTER FABRIC
TO A MINIMUM 3" DEPTH
- EXISTING TREE

SEE SHEET L2 FOR NOTES, DETAILS AND CALCULATIONS

The Hilltop

LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com

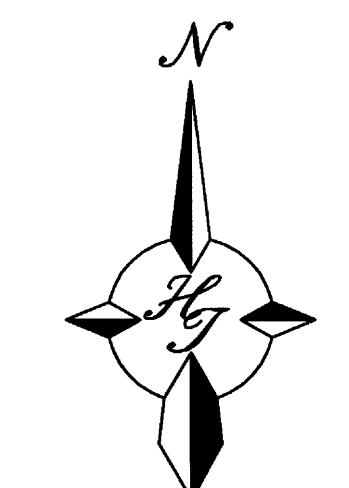
**MECHENBIER
CONSTRUCTION INC**

OFFICE/WAREHOUSE
DEVELOPMENT AT
5454 VENICE AVE. N.E.

slagle
herr

Architects

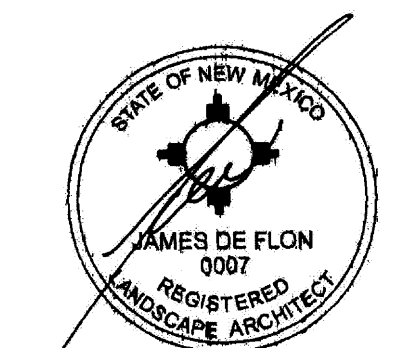
1600 rio grande nw
albuquerque
new mexico 87104
505 246 0870
fax 505 246 0437
slagleherr.com



GRAPHIC SCALE



SCALE: 1"=20'



1/8/10
revisions:
1/11-30-09 cmj
2/1-8-10 cmj

date:
1/8/10
sheet:
L1 of L2

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

STREET TREE REQUIREMENTS - Minimum 2" Caliper

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street: Venice NE
Required # 16 Provided # 15

PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper

Shade trees required under the City Of Albuquerque Parking Lot Tree Ordinance are as follows:

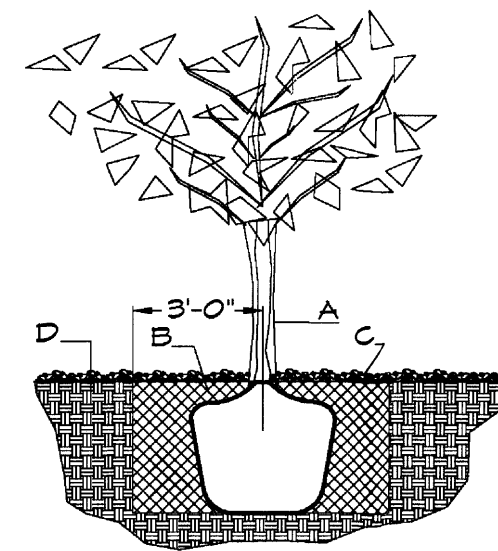
1 Shade tree per 10 spaces
Required # 13 Provided # 13

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	115826	square feet
TOTAL BUILDINGS AREA	97609	square feet
NET LOT AREA	78218	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	11792	square feet
TOTAL BED PROVIDED	12449	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	9336	square feet
TOTAL GROUND COVER PROVIDED	9881 (77%)	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL LANDSCAPE PROVIDED	12449 (15.9%)	square feet

NOTE TO CLIENT:

Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an in-field change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



TREE PLANTING DETAIL

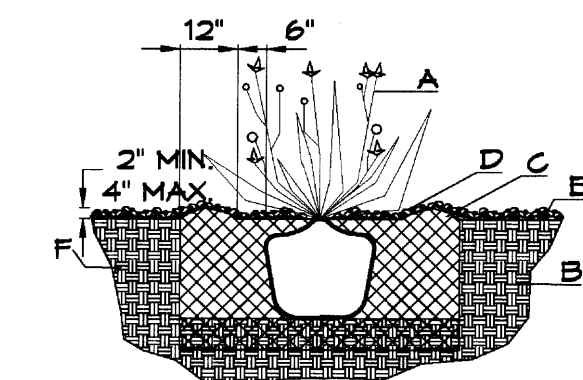
NTS

GENERAL NOTES:

1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:

- A. TREE
- B. BACKFILL WITH EXISTING SOIL.
- C. 3" DEPTH OF GRAVEL MULCH.
- D. UNDISTURBED SOIL.



SHRUB PLANTING DETAIL

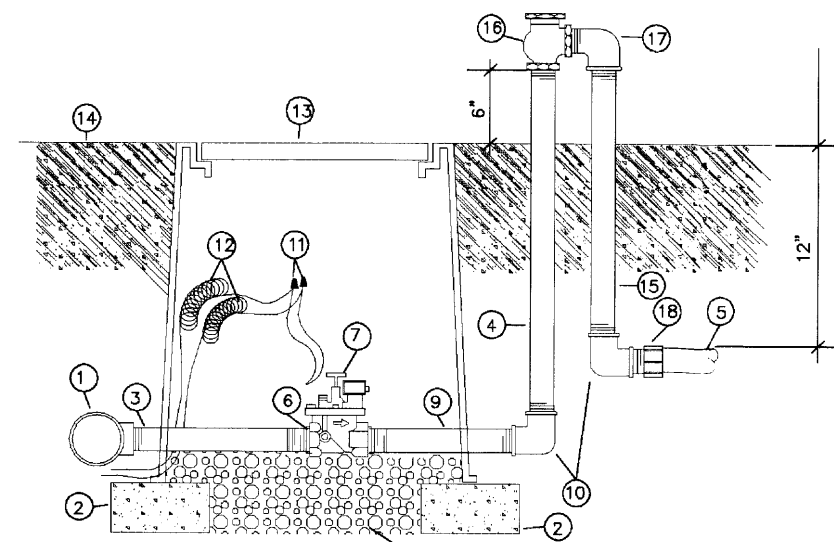
NTS

GENERAL NOTES:

1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

CONSTRUCTION NOTES:

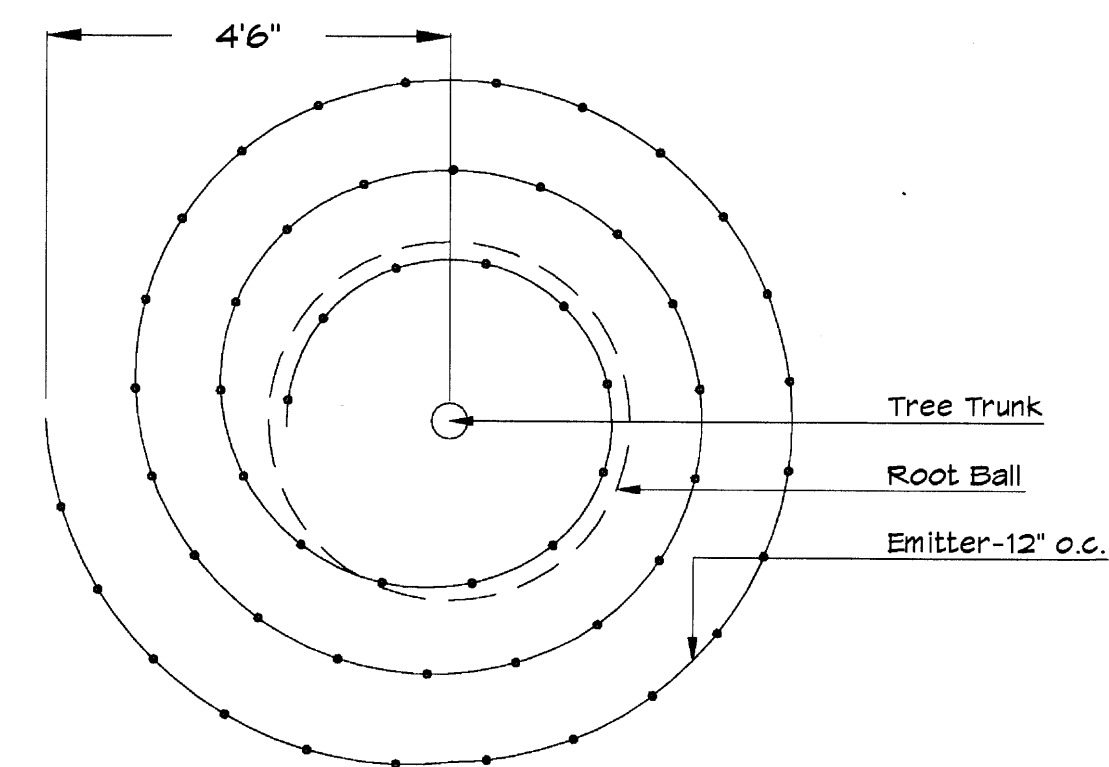
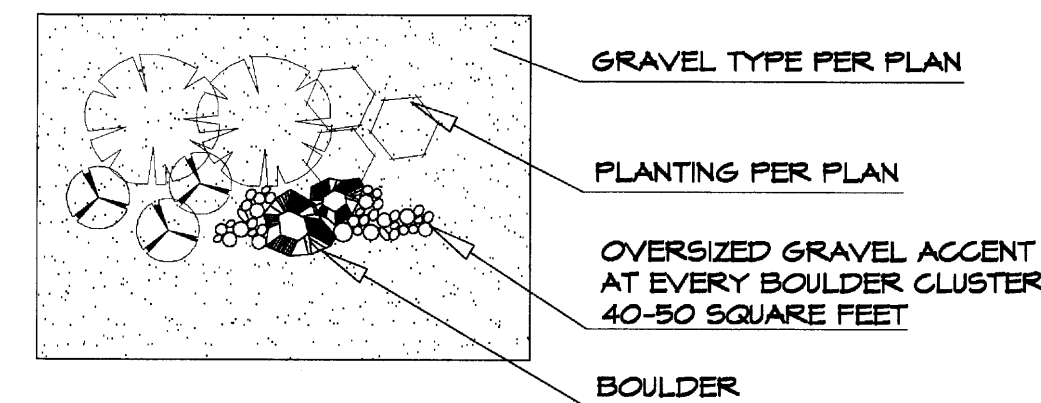
- A. SHRUB.
- B. BACKFILL WITH EXISTING SOIL.
- C. EARTH BERM AROUND WATER RETENTION BASIN.
- D. 3" DEPTH OF GRAVEL MULCH.
- E. FINISH GRADE.
- F. UNDISTURBED SOIL.



- 1 MAINLINE FITTING
- 2 CMU BLOCK
- 3 GALVANIZED NIPPLE
- 4 24" TO 36" GALVANIZED NIPPLE
- 5 LATERAL PIPE
- 6 REDUCER BUSHING
- 7 AUTOMATIC VALVE (SEE LEGEND)
- 8 GRAVEL
- 9 GALVANIZED NIPPLE
- 10 GALVANIZED ELBOW
- 11 WATERPROOF WIRE CONNECTOR
- 12 WIRE EXPANSION LOOPS
- 13 VALVE BOX
- 14 FINISH GRADE
- 15 GALVANIZED NIPPLE - "8" TO 24" LENGTH
- 16 ATMOSPHERIC VACUUM BREAKER
- 17 GALVANIZED STREET EL
- 18 TEE NIPPLE OR MALE ADAPTER

AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER N.T.S.

GRAVEL ACCENT DETAIL



Netafim Spiral Detail

The Hilltop

LANDSCAPE ARCHITECTS & CONTRACTORS

Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed. All plants shall be used per American Standard for Nursery Stock.

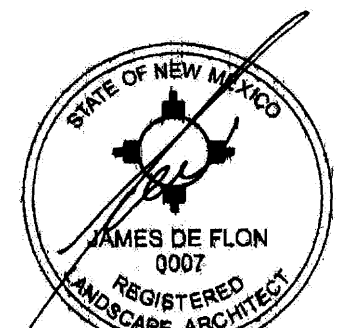
MECHENBIER
CONSTRUCTION INC

OFFICE/ WAREHOUSE
DEVELOPMENT AT
5454 VENICE AVE. N.E.

SLAGLE
HERR

Architects

1600 rio grande nw
albuquerque
new mexico 87104
505 246 0870
fax 505 246 0437
slagleherr.com

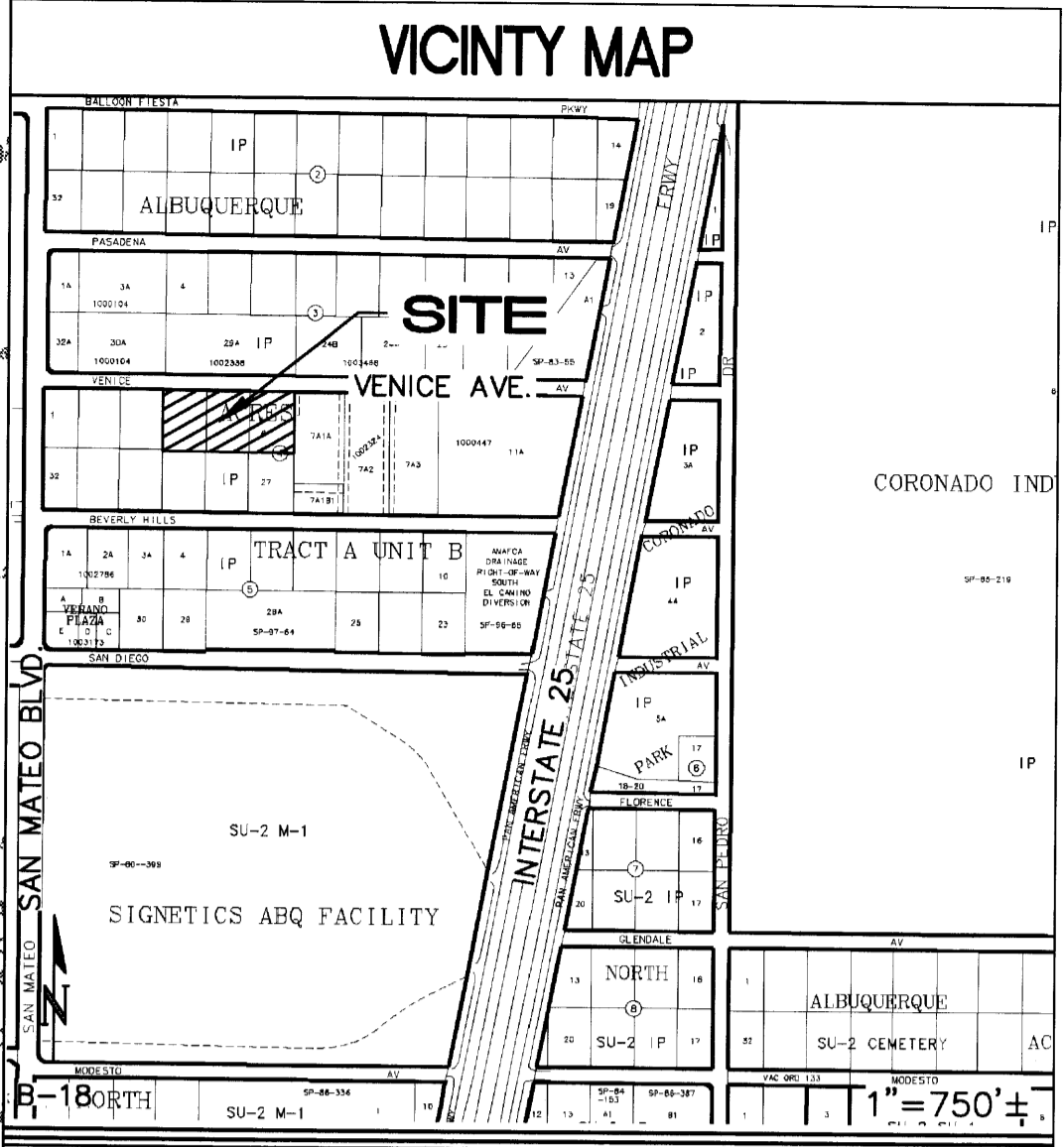
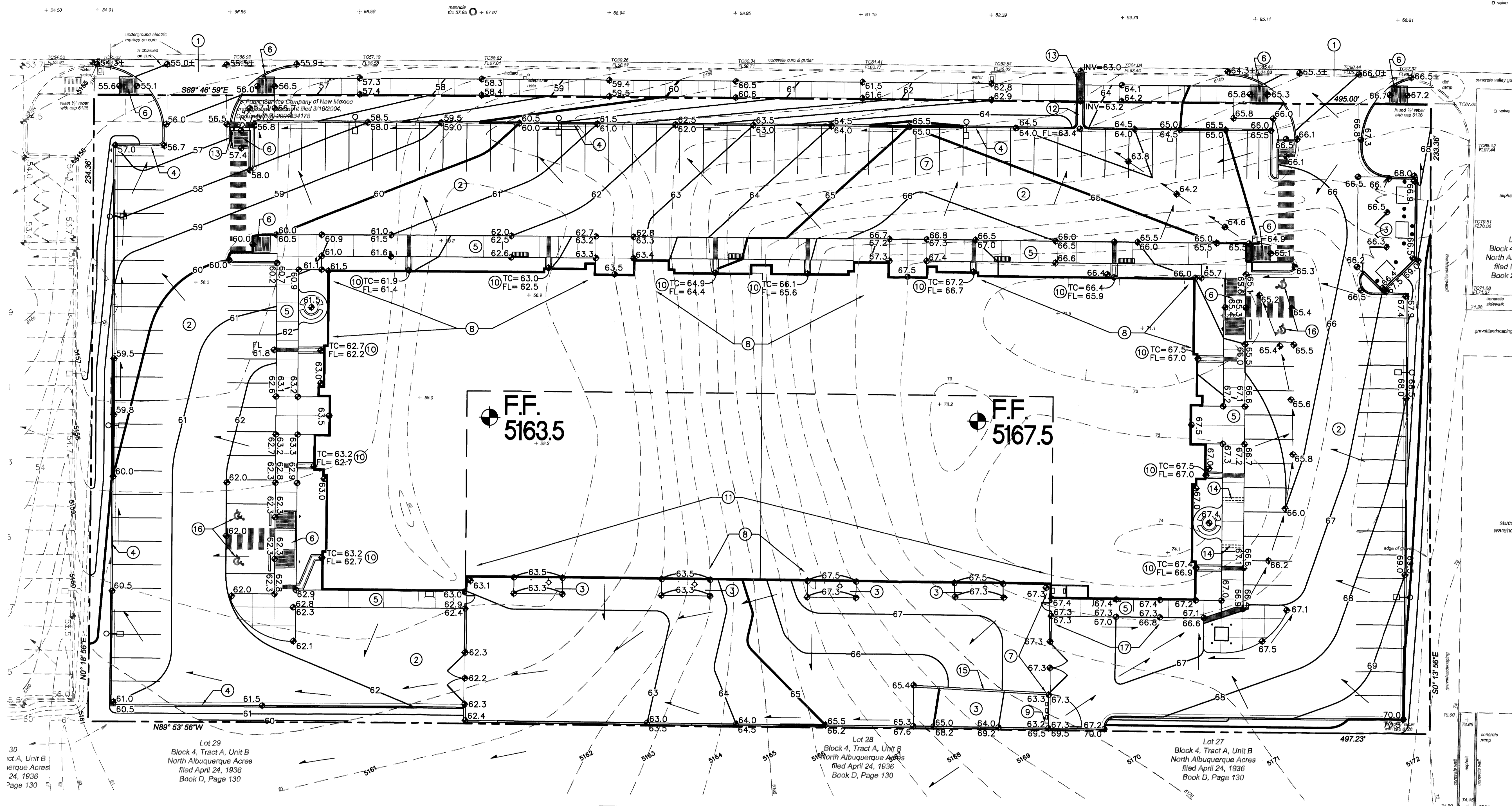


1/8/10

revisions:
1/11-30-09 cmj
2/1-8-10 cmj

date:
1/8/10
sheet:

L2 of L2

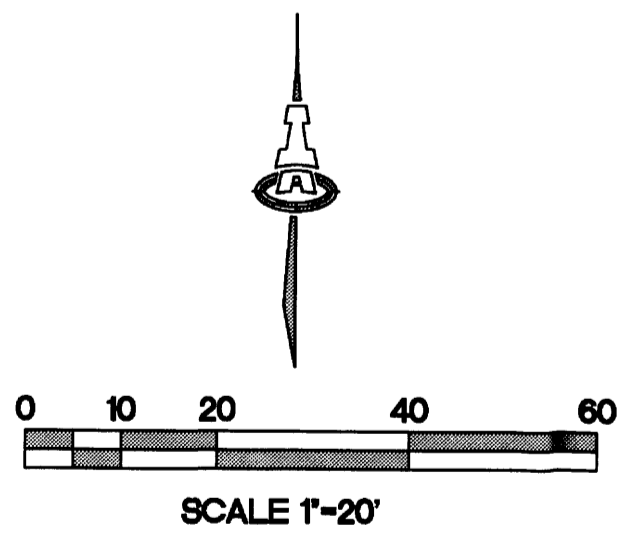
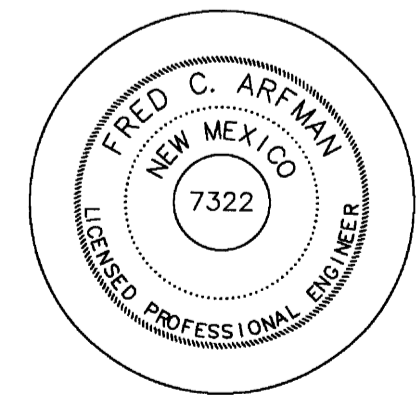


LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- ◆ 55.5 PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 67.5 FINISH FLOOR ELEVATION
- FL=54.0 FLOWLINE ELEVATION
- INV=72.5 INVERT ELEVATION
- TW=57.5 TOP OF RETAINING WALL ELEVATION

MECHENBIER CONSTRUCTION INC.
 OFFICE/ WAREHOUSE
 DEVELOPMENT AT
 5454 VENICE AVE. N.E.

SLAGLE HERA ARCHITECTS
 1600 riograndenw
 albuquerque
 new mexico 87104
 fax 505 246 0437
 slaglehera.com



- KEYED NOTES**
1. CONSTRUCT SITE ENTRANCE PER C.O.A. STANDARDS. MATCH EXISTING FLOWLINE ELEVATIONS TO PROVIDE A SMOOTH RIDING TRANSITION. CONSTRUCT CONCRETE VALLEY GUTTER / HANDICAP RAMPS (PER C.O.A. STD. DWG. 2426) MATCHING EXISTING TOP OF WALK / FLOWLINE ELEVATIONS. TRANSITION CURB HEIGHT FROM 8" TO 6" OVER LENGTH OF RADIUS. SEE ARCHITECTURAL FOR DIMENSIONS / DETAILS / DEMOLITION OF EXISTING CURBS.
 2. PROPOSED ASPHALT PAVING. SEE ARCHITECTURAL FOR SECTIONS, PARKING LAYOUT, DIMENSIONS, STRIPING, ETC.
 3. PROPOSED CONCRETE PAVING. SEE ARCHITECTURAL FOR JOINT INFORMATION, DIMENSIONS, ETC.
 4. CONSTRUCT 6" HIGH MEDIAN CURB AND GUTTER AT ALL ON-SITE LOCATIONS. SEE SHEET CG-102 FOR DETAIL.
 5. CONSTRUCT TURNED DOWN CONCRETE WALK THIS AREA. SEE ARCHITECTURAL FOR DETAIL.
 6. CONSTRUCT ADA ACCESS RAMP. SEE ARCHITECTURAL FOR RAMP LOCATIONS / DIMENSIONS AND ADDITIONAL INFORMATION.
 7. PAVING HIGH POINT THIS AREA.
 8. CONSTRUCT STEM WALL TRANSITIONS AS REQUIRED TO ACHIEVE GRADE DIFFERENCES SHOWN. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION (DESIGN BY OTHERS).
 9. CONSTRUCT LOADING DOCK SUMP PUMP INLET THIS AREA. SEE DETAIL SHEET CG-102. NOTE: ELECTRICITY REQUIRED. SEE ARCHITECTURAL.
 10. ROOF FLOW TO NORTH, EAST AND WEST TO BE PASSED TO ASPHALT PAVEMENT VIA 'U' SHAPED CONCRETE CHANNEL WITH COVERED SIDEWALK CULVERT. FLOWLINE ELEVATION (FL) AND TOP OF CHANNEL CURB (TC) AT BUILDING SHOWN. MINIMUM SLOPE = 1% TO ASPHALT.
 11. ROOF FLOW TO SOUTH SIDE TO BE COLLECTED AND RELEASED DIRECTLY TO PAVEMENT. SEE ARCHITECTURAL FOR SPECIFIC OUTFALL POINTS.
 12. CONSTRUCT 2' WIDE (BOTTOM WIDTH) 'U' SHAPED CONCRETE RUNDOWN WITH 2' CURB RADII TO PASS FLOW. SEE SHEET CG-102 FOR DETAIL.
 13. CONSTRUCT 2' WIDE (BOTTOM WIDTH) COVERED SIDEWALK CULVERT PER C.O.A. STD. DWG. 2236 TO PASS FLOW. SLOPE = 2%. SEPARATE PERMIT REQUIRED FOR CONSTRUCTION WITHIN PUBLIC R.O.W. (SEE S.O.19 NOTICE THIS SHEET).
 14. INSTALL TWO 2 IN. PIPES THROUGH WALK THIS AREA TO PASS FLOW TO PAVEMENT.
 15. DOCK RETAINING WALL. DESIGN BY OTHERS.
 16. CONSTRUCT HC PARKING PAVEMENT TO ADA STANDARDS. MAX. 2% SLOPE IN ANY DIRECTION.
 17. TRANSITION ASPHALT / CONCRETE WALK RELATIONSHIP (0" TO 6") AT ELEVATIONS SHOWN TO MAINTAIN POSITIVE DRAINAGE TO SIDEWALK CULVERT.

S.O.19 : NOTICE TO CONTRACTORS

1. AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7 AMENDMENT 1.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONDUITS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC / STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

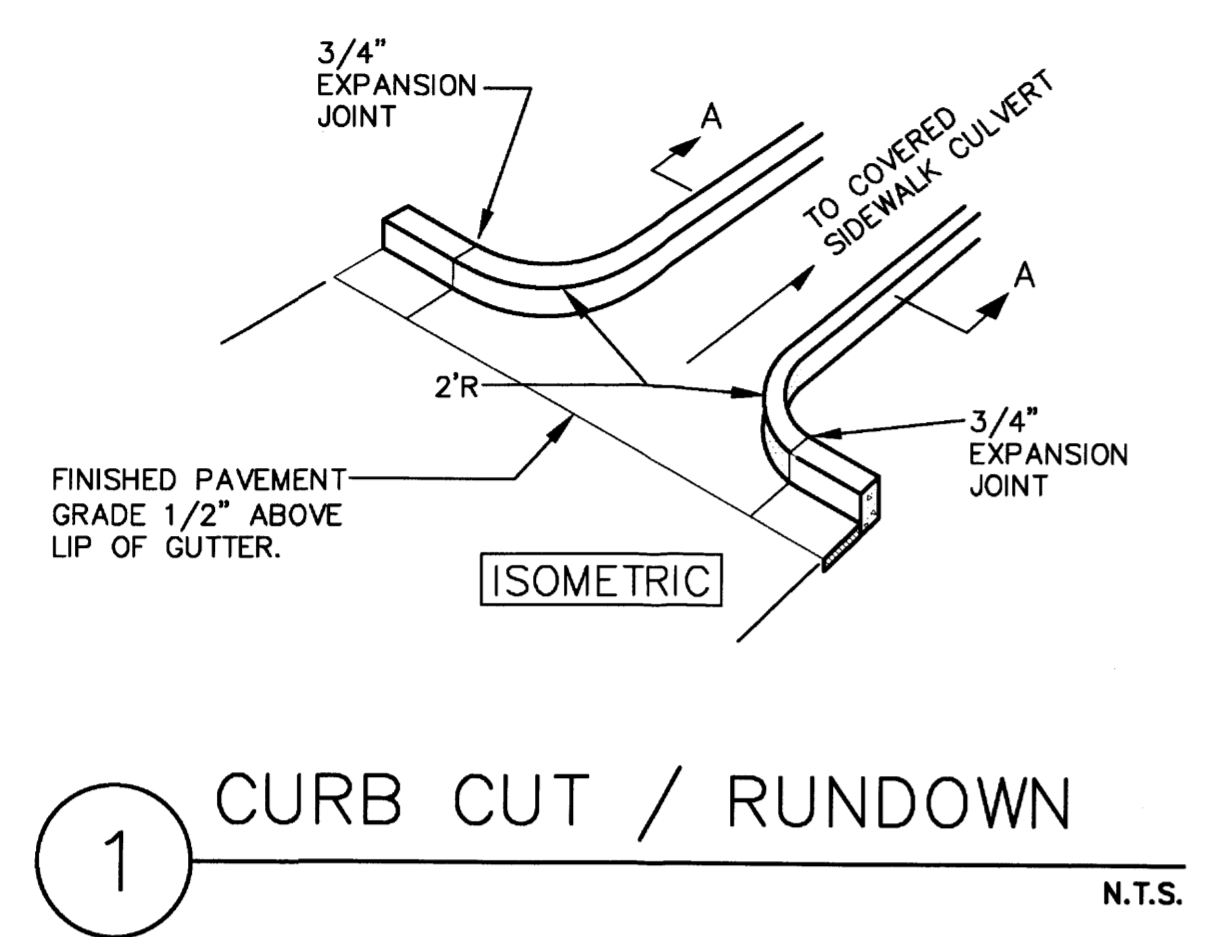
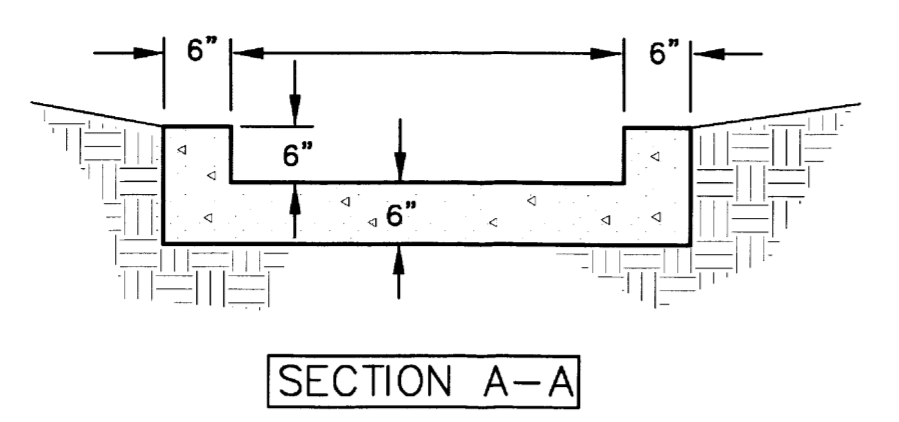
APPROVAL	NAME	DATE
INSPECTOR		

ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph. 505-268-8828 Fax. 505-268-2632
 1745 CG-101.dwg Jan 07, 2010

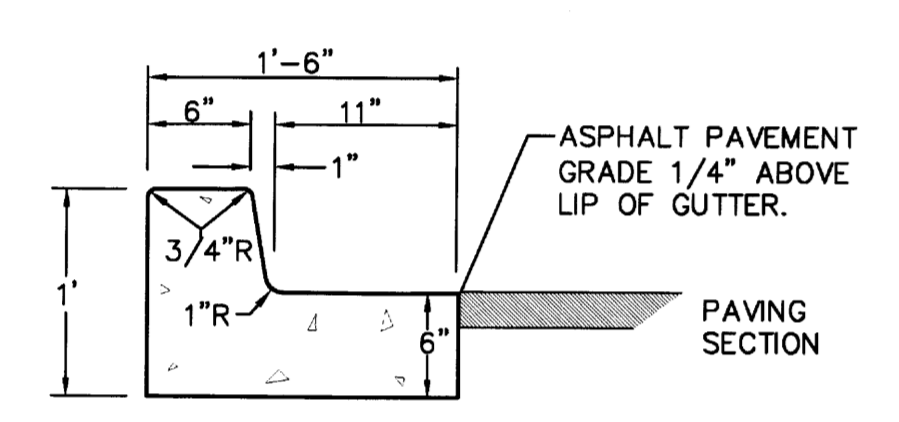
GRADING AND DRAINAGE PLAN

revisions:

date: 01/08/10
 sheet: CG-101

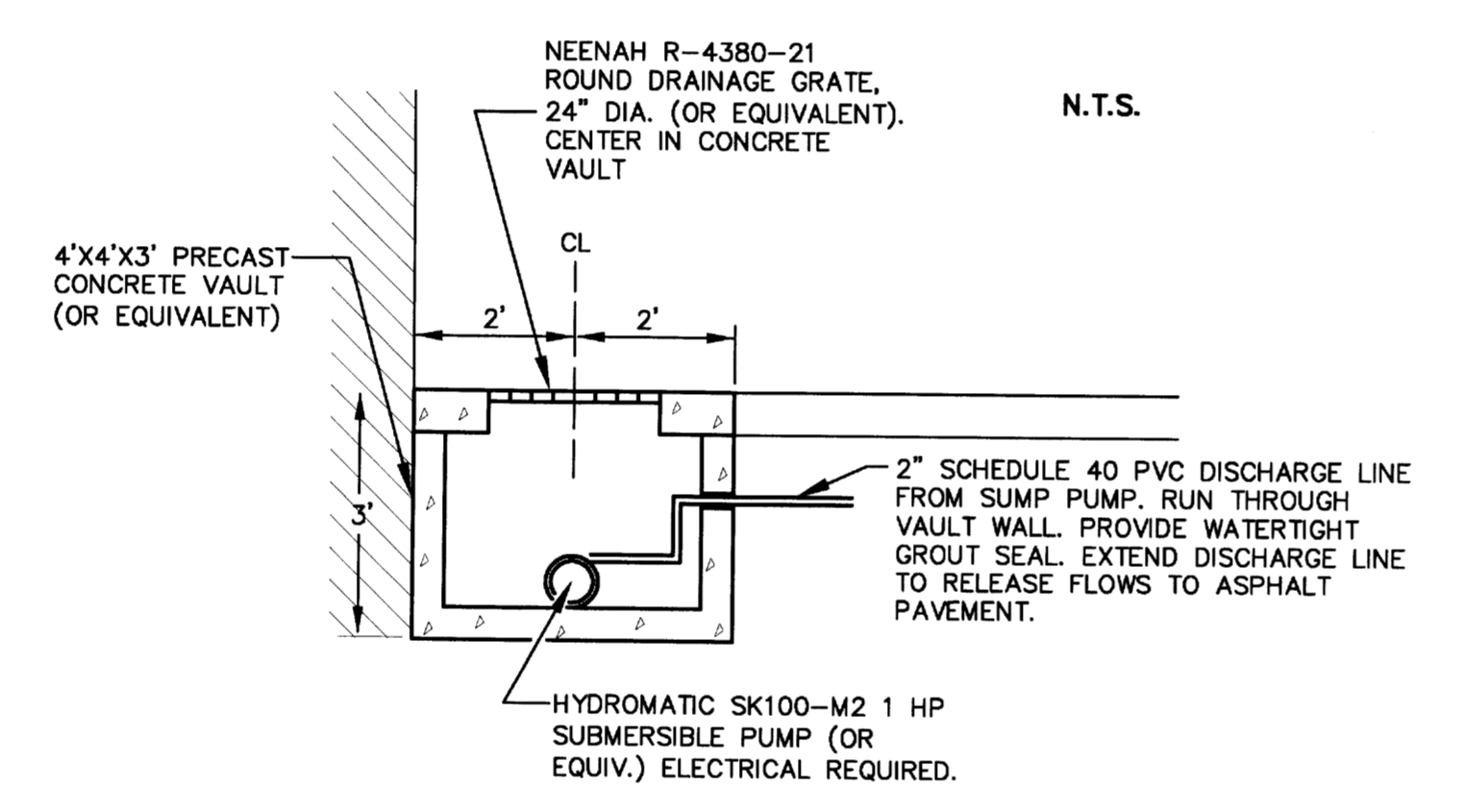


1 CURB CUT / RUNDOWN N.T.S.



- GENERAL NOTES
1. PROVIDE CONST. CONTROL JOINTS @ 6' O.C. MAX. AND 1/2" EXPANSION JOINTS @ 48' O.C. MAX
 2. EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL
 3. MEDIAN C & G REQUIRE FULL FORM ON ALL FACES

2 MEDIAN CURB AND GUTTER N.T.S.



3 LOADING DOCK SUMP PUMP N.T.S.

EROSION CONTROL NOTES	PROJECT NOTES	GENERAL NOTES
<p>A. ALL COBBLE EROSION PROTECTION TO BE 6" AVG. DIA. ANGULAR FACED ROCK OVER PERMANENT EROSION CONTROL MATERIAL.</p> <p>B. OWNER SHALL INSPECT AND MAINTAIN DRAINAGE AND WATER HARVESTING IMPROVEMENTS ON AN ON-GOING BASIS. IN ADDITION, OWNER SHALL INSTALL / MAINTAIN ADDITIONAL EROSION PROTECTION ELEMENTS BASED ON ACTUAL EROSION PATTERNS WHICH DEVELOP OVER TIME.</p> <p>C. ALL DRAINAGE IMPROVEMENTS SHOWN ON THE APPROVED GRADING AND DRAINAGE PLAN MUST BE COMPLETED BEFORE AN ENGINEER'S CERTIFICATION CAN BE ISSUED.</p>	<p>PROPERTY: THE SITE IS A 2.7 ACRE UNDEVELOPED COMMERCIAL PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP B-18. THE SITE IS BOUND TO THE EAST, WEST AND SOUTH BY DEVELOPED COMMERCIAL PROPERTIES AND TO THE NORTH BY VENICE BLVD.</p> <p>PROPOSED IMPROVEMENTS: INCLUDE APPROX. 39,100 SF COMMERCIAL BUILDING WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, AND LANDSCAPING.</p> <p>LEGAL: LOTS NUMBERED FOUR (4), FIVE (5), AND SIX (6) IN BLOCK NUMBERED FOUR (4), OF TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 24, 1936 IN PLAT BOOK D, FOLIO 130.</p> <p>BENCHMARK: CITY OF ALBUQUERQUE 6-B17. AN ALUMINUM DISK ON CONCRETE CURB, WNW QUADRANT OF SAN MATEO BLVD. NE & SAN DIEGO AVE. NE ELEVATION: 5153.322 NAVD88.</p> <p>OFF-SITE: SITE NOT AFFECTED BY OFF-SITE DRAINAGE</p> <p>FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #129, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.</p> <p>DRAINAGE PLAN CONCEPT: ALL SITE FLOW WILL FREE DISCHARGE TO THE ADJACENT PUBLIC STREET DISCHARGE TO VENICE BLVD. WILL CONTINUE WEST A SHORT DISTANCE AND ENTER THE EXISTING STORM DRAIN SYSTEM.</p> <p>FORMER LANDFILL: THE SUBJECT PROPERTY IS LOCATED ON A FORMER LANDFILL. CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE INTERIM GUIDELINES FOR DEVELOPMENT WITHIN CITY DESIGNATED LANDFILL BUFFER ZONES) SHALL BE CONSULTED.</p>	<p>A. ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.</p> <p>B. ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.</p> <p>C. FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS MATERIAL THICKNESSES.</p> <p>D. MAXIMUM SLOPES SHALL BE 3:1 AND MINIMUM SLOPES SHALL BE 1% UNLESS OTHERWISE NOTED.</p> <p>E. FIVE (5) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990, FOR LOCATION OF EXISTING UTILITIES. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.</p> <p>F. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT / ENGINEER AND VERIFY THE ARCHITECT / ENGINEER'S INTENT BEFORE PROCEEDING.</p> <p>G. OWNER HAS ESTABLISHED PROPERTY BOUNDARY CORNERS. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT CONTRACTOR'S SOLE EXPENSE.</p> <p>H. OWNER WILL PROVIDE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND INSPECTION. CONTRACTOR SHALL COMPLY WITH THE BEST MANAGEMENT PRACTICES (BMP'S) AS SPECIFIED IN THE SWPPP, AND WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS.</p> <p>I. COORDINATE WORK WITH SITE PLAN, UTILITY PLAN AND LANDSCAPE PLAN.</p> <p>J. ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES, TYPICAL.</p> <p>K. ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS TO DRAIN TOWARD EXISTING AND / OR PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS MATCH OR 'E', TRANSITIONS SHALL BE SMOOTH AND LEVEL. ANY NEW PAVING SURFACE HOLDING WATER (BIRDBATH) SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S SOLE EXPENSE.</p> <p>L. ALL AREAS REFERENCING EROSION PROTECTION SHALL BE 6" AVG. DIA. FRACTURED FACE ROCK (F.F. ROCK) PLACED OVER GEOTEX 50 NON-WOVEN GEOTEXTILE.</p> <p>M. SIDESLOPES STEEPER THAN 3:1 BUT LESS THAN 2:1 MUST HAVE PERMANENT EROSION CONTROL (FRACTURED FACE ROCK [F.F. ROCK] INSTALLED. NO SLOPE SHALL BE STEEPER THAN 2:1.</p> <p>N. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE RESEDED WITH NATIVE GRASS PER C.O.A. SPECIFICATIONS SECTION 1012 (FOR SANDY SOILS) OR AS SPECIFIED ON THE LANDSCAPE PLAN.</p> <p>O. OWNER SHALL MAINTAIN EROSION PROTECTION ELEMENTS. OWNER SHALL INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.</p>

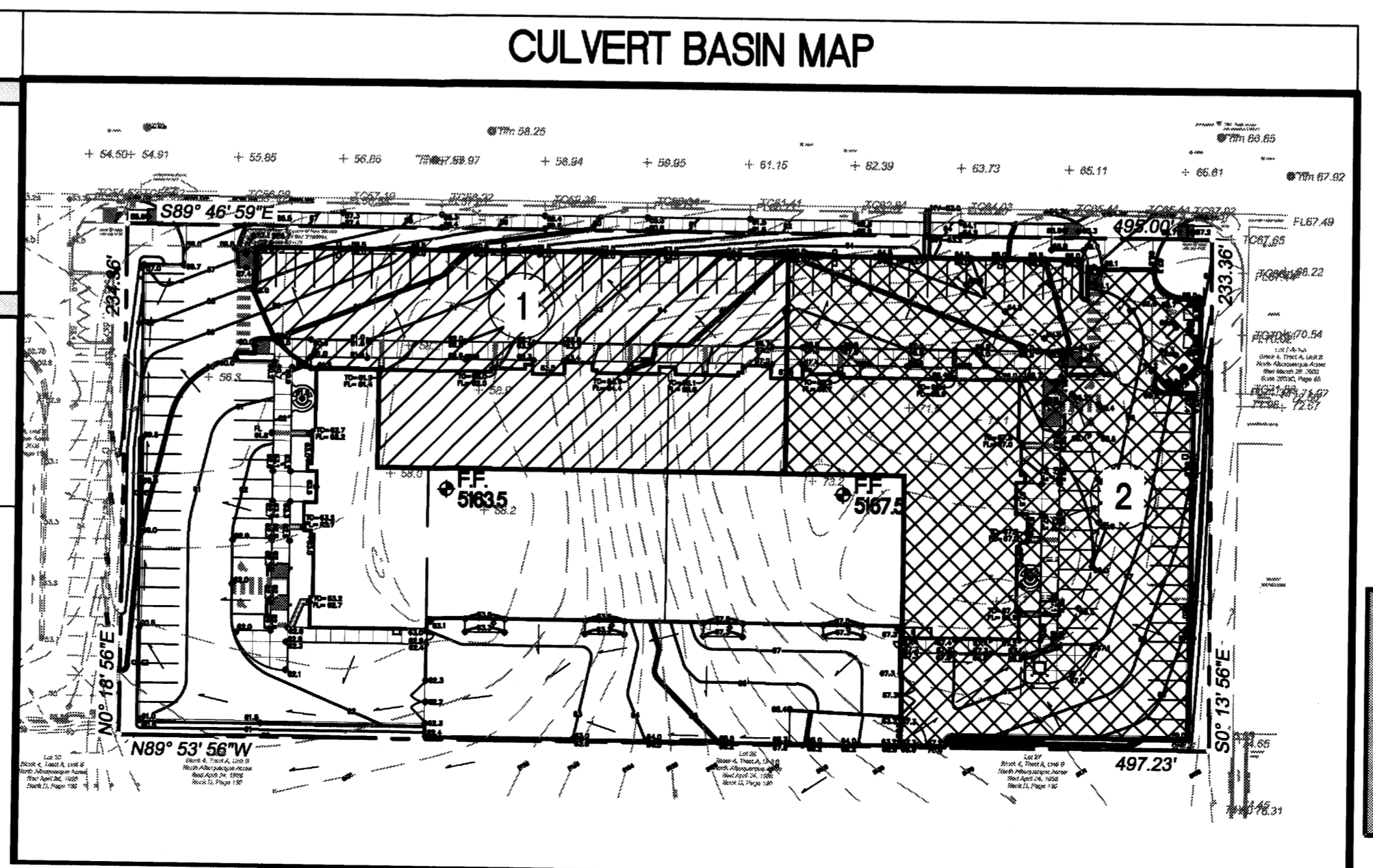
CALCULATIONS

Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

ON-SITE			
AREA OF SITE:	116017.75	SF	= 2.7
100-year, 6-hour			
HISTORIC FLOWS:	DEVELOPED FLOWS:		EXCESS PRECIP:
Treatment SF	%	Treatment SF	% Precip. Zone 3
Area A = 0	0%	Area A = 0	E _A = 0.66
Area B = 0	0%	Area B = 5801	E _B = 0.92
Area C = 116017.75	100%	Area C = 11602	E _C = 1.29
Area D = 0	0%	Area D = 98615	E _D = 2.36
Total Area = 116017.75	100%	Total Area = 116017.75	100%
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)			
Weighted E = $\frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$			
Historic E	= 1.29 in.	Developed E	= 2.18 in.
On-Site Volume of Runoff: V ₃₆₀ = $E^* A / 12$			
Historic V ₃₆₀	= 12472 CF	Developed V ₃₆₀	= 21086 CF
On-Site Peak Discharge Rate: Q _p = $Q_{pA} A_A + Q_{pB} A_B + Q_{pC} A_C + Q_{pD} A_D / 43,560$			
For Precipitation Zone 3			
Q _{pA}	= 1.87	Q _{pC}	= 3.45
Q _{pB}	= 2.60	Q _{pD}	= 5.02
Historic Q _p	= 9.2 CFS	Developed Q _p	= 12.6 CFS

ALL SITE DISCHARGE WILL FREE DISCHARGE TO VENICE AVE. ALL DISCHARGE WILL ENTER THE EXISTING PUBLIC STORM DRAIN SYSTEM.

BASIN 1 CULVERT EQUATION		CULVERT BASINS	
CURB OPENING CAPACITY CALCULATION		BASIN NO. 1	DESCRIPTION
Area of basin flows =	21422 SF		0.5 Ac.
Weir equation:	$Q = CLH^{3/2}$	The following calculations are based on Treatment areas as shown in table to the right	
Constant	C = 3.33	Sub-basin Weighted Excess Precipitation (see formula above)	
Curb height	H = 0.5 feet	Weighted E = 2.18 in.	
Opening Length	L = 2.00 feet	Sub-basin Volume of Runoff (see formula above)	
		V ₃₆₀ = 3893 CF	
		Sub-basin Peak Discharge Rate: (see formula above)	
		Q _p = 2.3 cfs	
		Q = 2.4 cfs	
BASIN 2 CULVERT EQUATION		BASIN NO. 2	DESCRIPTION
Area of basin flows =	33798 SF		0.8 Ac.
Weir equation:	$Q = CLH^{3/2}$	The following calculations are based on Treatment areas as shown in table to the right	
Constant	C = 3.33	Sub-basin Weighted Excess Precipitation (see formula above)	
Curb height	H = 0.5 feet	Weighted E = 2.18 in.	
Opening Length	L = 6.00 feet	Sub-basin Volume of Runoff (see formula above)	
		V ₃₆₀ = 6143 CF	
		Sub-basin Peak Discharge Rate: (see formula above)	
		Q _p = 3.7 cfs	
		Q = 7.1 cfs	



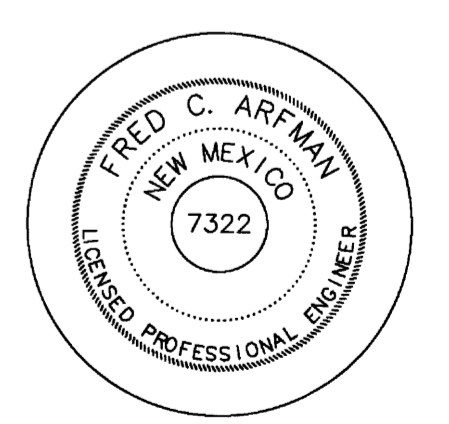
ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph. 505-265-8828 Fax. 505-265-2632
 1745 CG-101.dwg Jan 07, 2010

revisions:

date: 01/08/10
 sheet:

MECHENBIER
 CONSTRUCTION INC.
 OFFICE / WAREHOUSE
 DEVELOPMENT AT
 5454 VENICE AVE. N.E.

Architects
 1600 rio grande nw
 albuquerque
 new mexico 87104
 505.266.8871
 fax 505.246.0437
 slagleherp.com

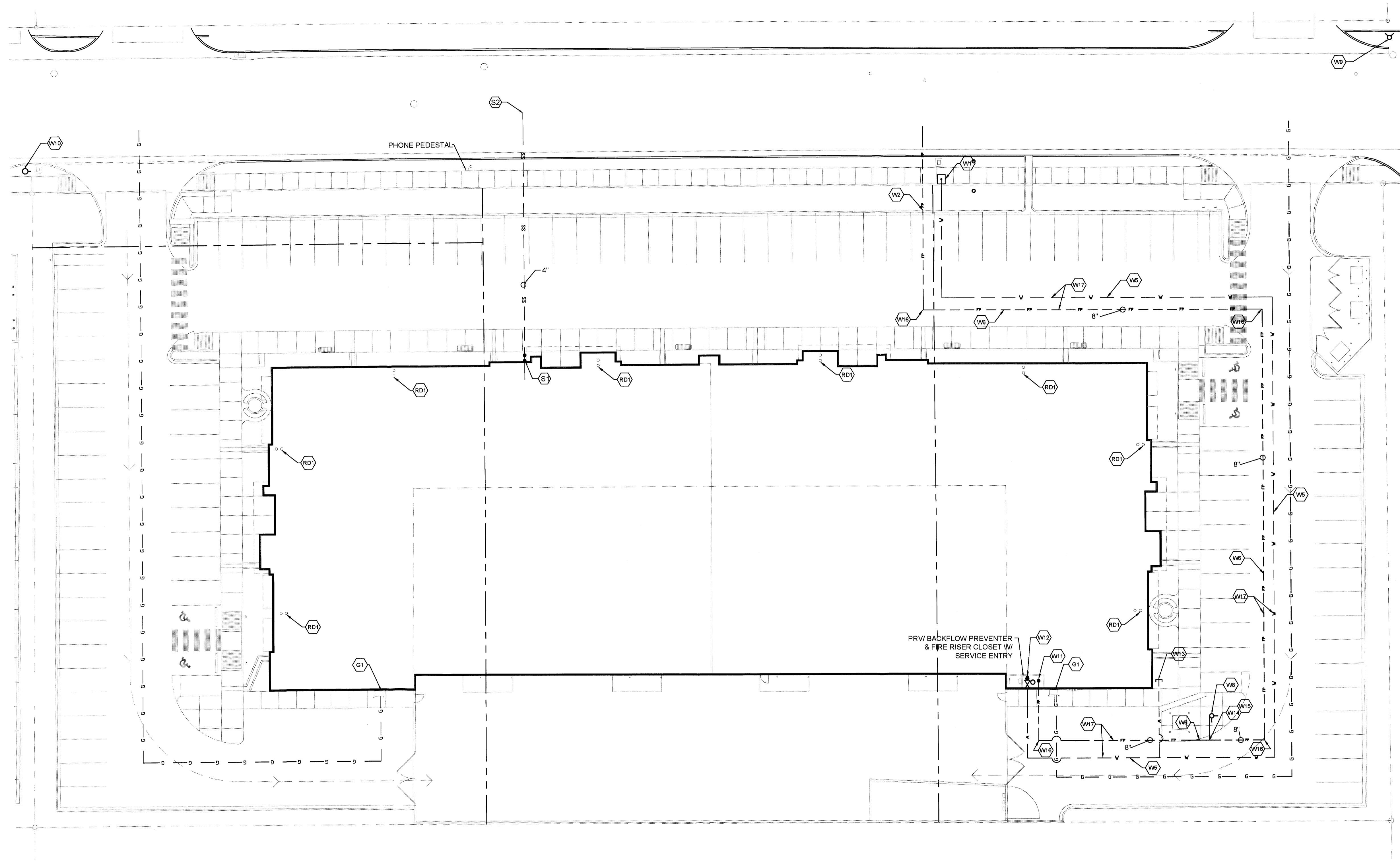


GENERAL NOTES:

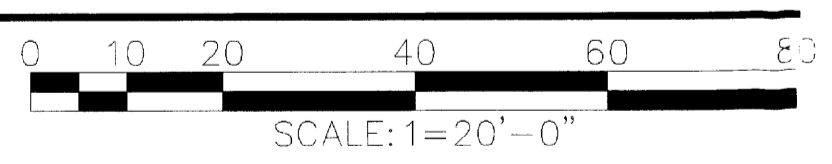
- A. ALL UTILITY TRENCHES TO BE COMPACTED TO 95% MINIMUM AND TESTED AT A MAXIMUM OF TWELVE INCH (12") VERTICAL LIFTS.

KEYED NOTES:

- W1. EXISTING 1" DOUBLE WATER METER SERVICE. CONNECT TO EXISTING WATER METER AT WEST SERVICE STUB.
- W2. CONNECT TO EXISTING 8" WATER LINE STUBBED INTO LOT FOR FIRE HYDRANT AND BUILDING FIRE PROTECTION SYSTEM.
- W3. NOT USED.
- W4. NOT USED.
- W5. 1/2" WRSBO/AQUAPIX.
- W6. FIRE PROTECTION LINE SIZED AS NOTED ON PLAN.
- W7. NOT USED.
- W8. INSTALL NEW PRIVATE FIRE HYDRANT PER COA STANDARDS.
- W9. EXISTING FIRE HYDRANT.
- W10. PROPOSED FIRE HYDRANT.
- W11. 8" STUB 1' A.F.F. FOR FIRE SPRINKLERS 2' INSIDE OF BOTH WALLS.
- W12. INSTALL REDUCED PRESSURE BACKFLOW PREVENTER (WATTS #909 O.A.E.) @ POTABLE WATER SERVICE WITH A 3" DRAIN TO OUTSIDE.
- W13. 1 1/4" X 1 1/4" X 1" TEE @ MAIN. TERMINATE SPRINKLER STUB WITH A 1" FIP ADP. PLUGGED. LANDSCAPE CONTRACTOR TO INSTALL A VACUUM BREAKER ON IRRIGATION LINE. WATTS SERIES 188A.
- W14. 8" X 8" X 6" TEE WITH 6" STUB TO FIRE HYDRANT.
- W15. 6" STUB TO FIRE HYDRANT.
- W16. 90 DEGREE ELBOW WITH THRUST BLOCK.
- W17. MINIMUM OF FIVE FOOT (5'-0") SEPARATION.
- S1. 4" 2-WAY SANITARY CLEANOUT.
- S2. CONNECT TO EXISTING 4" SANITARY SEWER STUBBED INTO SITE.
- G1. GAS METERS, 1 OF 2 TOTAL LOCATIONS. FOUR (4) METERS AT EACH LOCATION FOR A TOTAL OF EIGHT (8) METERS.
- RD1. ROUTE 4" ROOF DRAIN AND OVERFLOW TO SIDEWALK CULVERT, TYPICAL AT 8 LOCATIONS. REFER TO ARCHITECTURAL.

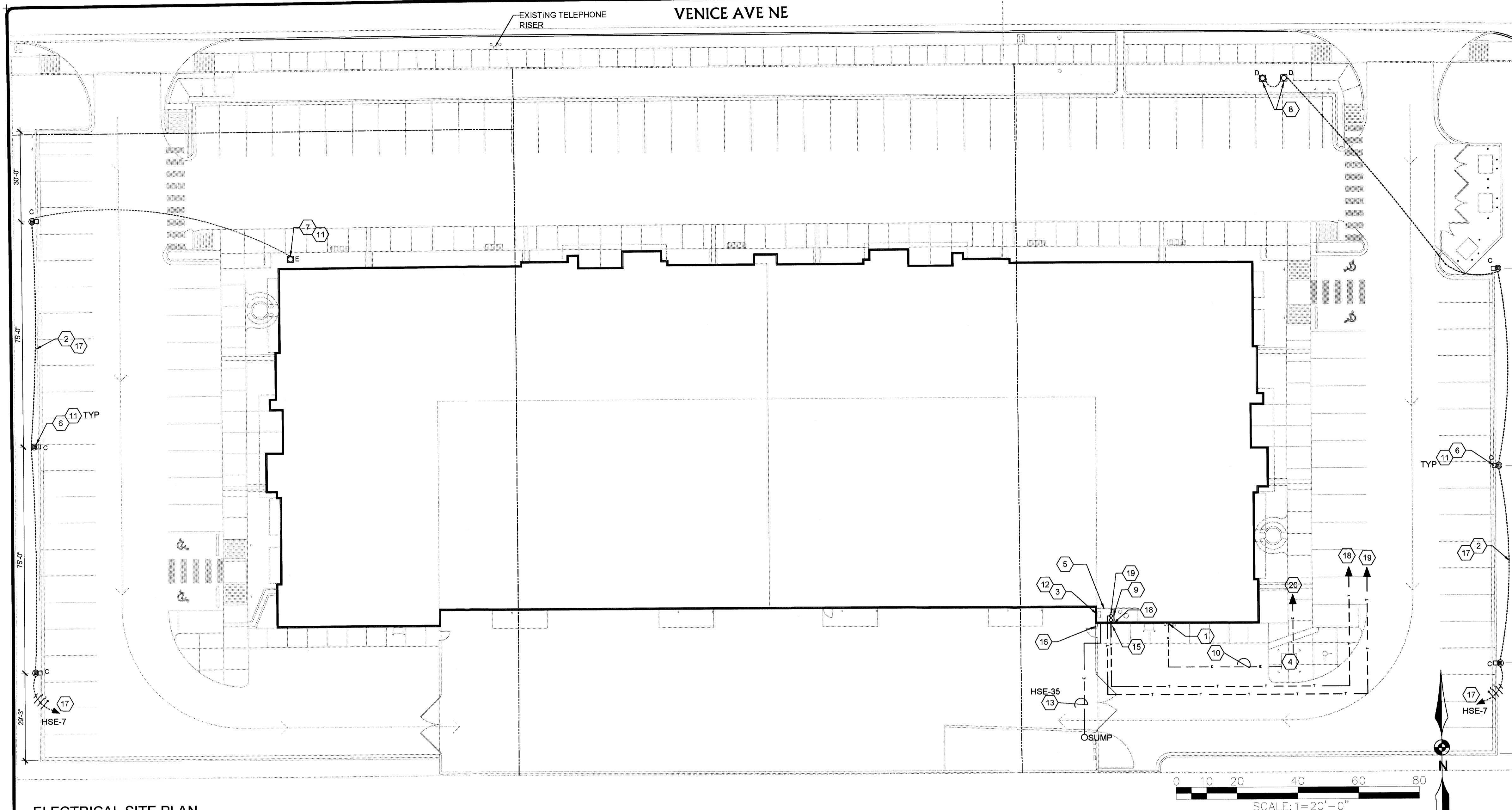


A PLUMBING SITE PLAN
 SCALE = 1" = 20'-0"



PLUMBING SITE PLAN

VENICE AVE NE

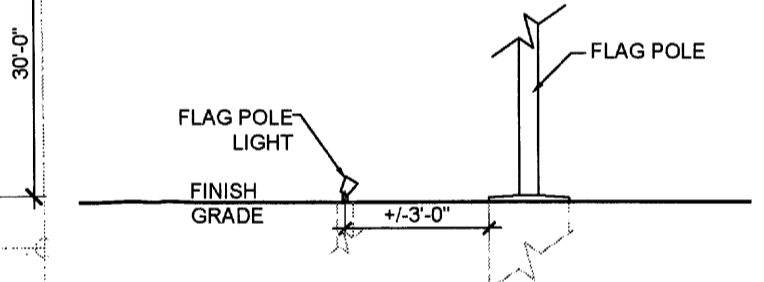


ELECTRICAL SPECIFICATIONS

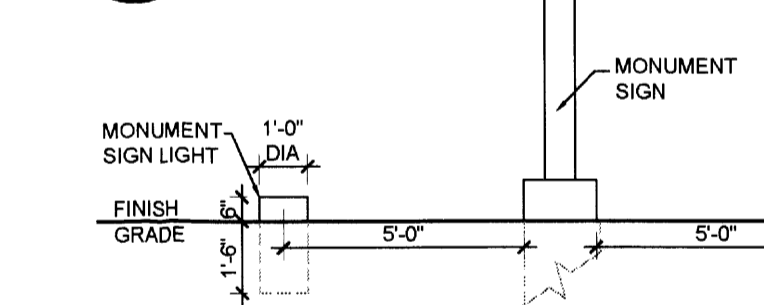
- A. THE INSTALLATION SHALL COMPLY WITH ALL LOCAL AND STATE LAWS, AMERICANS WITH DISABILITIES ACT APPLYING TO ELECTRICAL INSTALLATIONS AND WITH THE REQUIREMENTS OF THE LATEST ISSUE OF THE NATIONAL ELECTRICAL CODE (NEC), NATIONAL ELECTRICAL SAFETY CODE, FEDERAL AND STATE REQUIREMENTS INCLUDING O.S.W.A. WHICH SHALL BE CONSIDERED AS MINIMUM REQUIREMENTS. THE ELECTRICAL CONTRACTOR SHALL PAY FOR AND OBTAIN ALL PERMITS AND LICENSES REQUIRED BY LOCAL AND STATE AUTHORITIES.
- B. ALL MATERIALS SHALL BE LISTED (UL) AND NEW EXCEPT WHERE NOTED OTHERWISE. ALL WORK SHALL PRESENT A NEAT AND MECHANICAL APPEARANCE WHEN COMPLETED AND SHALL BE EXECUTED IN A WORKMANLIKE MANNER.
- C. COMPLY WITH THE REQUIREMENTS OF AND COORDINATE WITH THE SERVING UTILITY COMPANY AS TO METERING AND ELECTRIC SERVICE INSTALLATION.
- D. ALL CONDUCTORS SHALL BE COPPER, #12 AWG MINIMUM SIZE, THHN/THWN INSULATION UNLESS NOTED OTHERWISE AND SHALL BE COLOR CODED AS FOLLOWS: PHASE A-BLACK; PHASE B-RED; PHASE C-BLUE; NEUTRAL-WHITE; EQUIPMENT GROUND-GREEN. INCREASE WIRE SIZE AS REQUIRED TO PREVENT EXCESSIVE VOLTAGE DROP AS FOLLOWS: 60 TO 100' #10 AWG; OVER 100' - #8 AWG.
- E. THE CONDUIT SYSTEM AND NEUTRAL CONDUCTOR OF THE WIRING SYSTEM SHALL BE GROUNDED IN ACCORDANCE WITH THE NEC AND ALL LOCAL CODES AND ORDINANCES. GROUNDING SHALL COMPLY WITH ALL THE REQUIREMENTS THAT APPLY TO THIS PROJECT IN ARTICLE 250 OF THE NEC.
- F. COORDINATE WITH THE HVAC CONTRACTOR AND EACH EQUIPMENT SUPPLIER WITH REGARDS TO EQUIPMENT TO BE INSTALLED, VERIFY RATINGS AND MAKE ADJUSTMENTS AS TO WIRE AND CONDUIT SIZE, CIRCUIT BREAKER RATING AS NECESSARY. ELECTRICAL SUBCONTRACTOR TO SUPPLY DISCONNECTS AT ROOF TOP EQUIPMENT.
- G. PROVIDE CONDUIT AND CONDUCTORS FOR THERMOSTATS AND CONTROLS REQUIRED TO OPERATE THE COOLING AND HEATING UNITS.
- H. ALL 90 DEGREE ELBOWS BELOW GRADE SHALL BE R.G.S. (RIGID GALVANIZED STEEL) P.V.C. COATED.

KEYED NOTES:

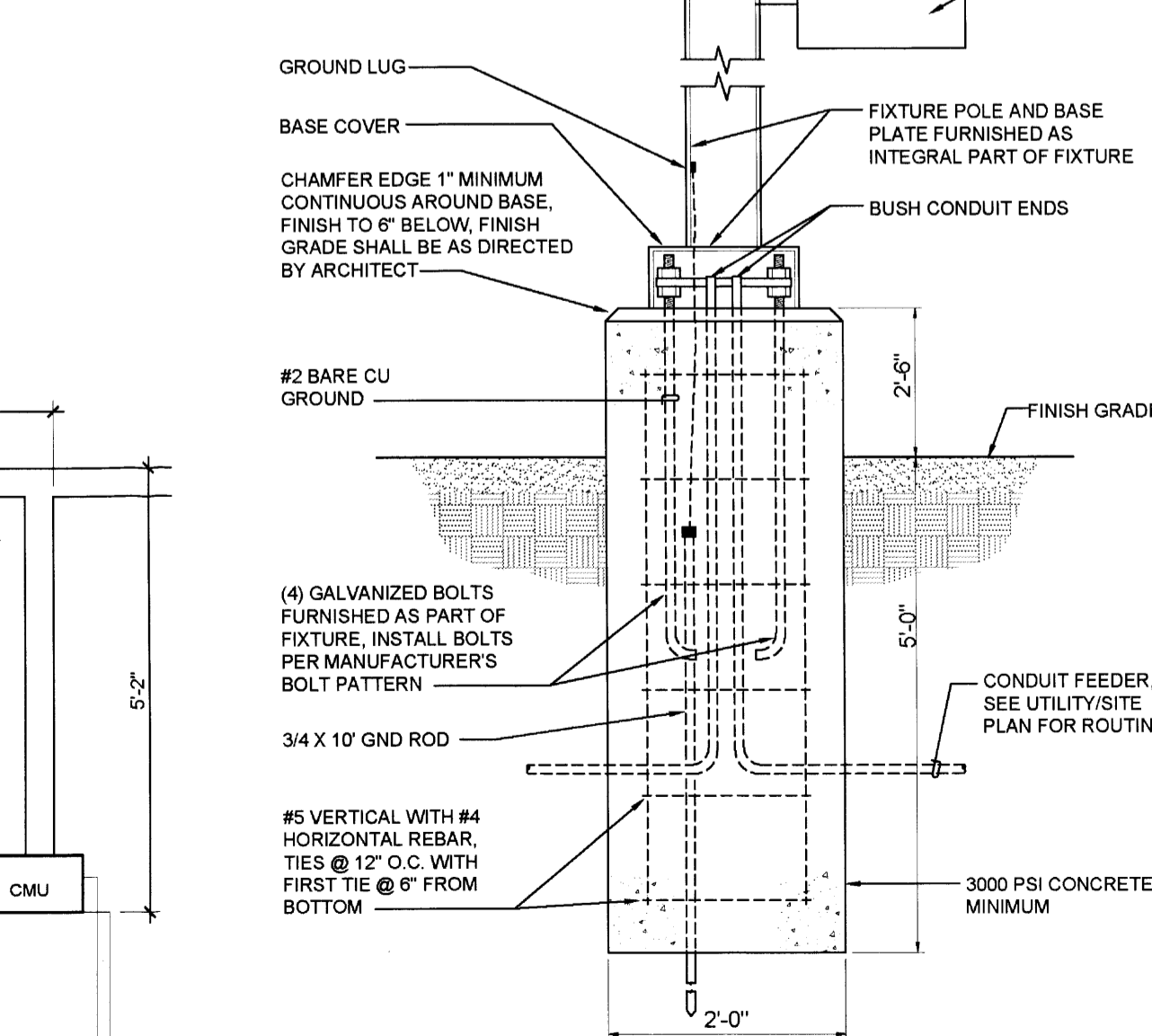
- 1) ELECTRIC METER LOCATION (4 HIGH X 3 WIDE, 12 TOTAL METERS), ONE HOUSE PANEL PLUS ELEVEN SUITE PANELS, PLUS DISCONNECT.
- 2) 1" CONDUIT UNDERGROUND.
- 3) HOUSE PANEL LOCATION (PANEL "HSE"). SEE E101.
- 4) TRANSFORMER LOCATION. PAD MOUNTED TRANSFORMER BY PNM. PROVIDE GUARD POSTS AS INDICATED.
- 5) ELECTRICAL & TELEPHONE DEMARCATON PANEL CLOSET.
- 6) POLE LIGHT. REFER TO DETAIL 6/A002 & POLE BASE DETAIL C/E100.
- 7) FLAG POLE LIGHT. REFER TO DETAIL A/E100.
- 8) MONUMENT SIGN LIGHTING. SEE DETAIL B/E100.
- 9) TELEPHONE DEMARCATON PANEL.
- 10) UNDERGROUND SECONDARY - REFER TO PANEL RISER DIAGRAM THIS SHEET.
- 11) ALL EXTERIOR LIGHTS CONTROLLED BY CONTROLLER AND PHOTO CELL. SEE E101, ELECTRICAL FLOOR PLAN, KEYNOTE 4, FOR LOCATION.
- 12) EXTERIOR IRRIGATION CONTROL BY OTHERS; CONNECTION BY ELECTRICAL SUBCONTRACTOR.
- 13) 3/4" CONDUIT, UNDERGROUND, FOR SUMP PUMP.
- 14) NOT USED.
- 15) MAIN SERVICE DISCONNECT. SEE POWER RISER DIAGRAM.
- 16) INSTALL A 1" CONDUIT FROM HOUSE PANEL BENEATH SLAB TO OUTSIDE FOR CONTINUATION TO EXTERIOR POLE LIGHTS, ETC.
- 17) PROVIDE MINIMUM #8 CONDUCTORS AND MINIMUM 1" FOR EXTERIOR LIGHTING BRANCH CIRCUITS.
- 18) ROUTE ONE (1) 4" CONDUIT, A MINIMUM OF 36" BELOW GRADE, WITH LONG SWEEP ELBOWS AND PULL ROPE FROM WEST PEDESTAL POLE TO MAIN TELEPHONE BOARD LOCATED IN RM 113. ALL PER QWEST REQUIREMENTS. CONDUIT TO TERMINATE @ 36" A.F.F.
- 19) ROUTE ONE (1) 4" CONDUIT TO COMCAST PEDESTAL, A MINIMUM OF 36" BELOW GRADE, WITH LONG SWEEP ELBOWS AND PULL ROPE FROM COMCAST PEDESTAL POLE TO MAIN TELEPHONE BOARD LOCATED IN RM 113. ALL PER COMCAST REQUIREMENTS. CONDUIT TO TERMINATE @ 36" A.F.F.
- 20) EXTEND TWO (2) 4" CONDUITS RIGID GALVANIZED STEEL MINIMUM 3'-6" BELOW GRADE PER PNM DWG. #DS-7-16.7. PROVIDE RIGID GALVANIZED STEEL CONDUIT ELBOWS. COORDINATE WITH PNM AND COMPLY AS REQUIRED.



A FLAG POLE LIGHTING
N.T.S.



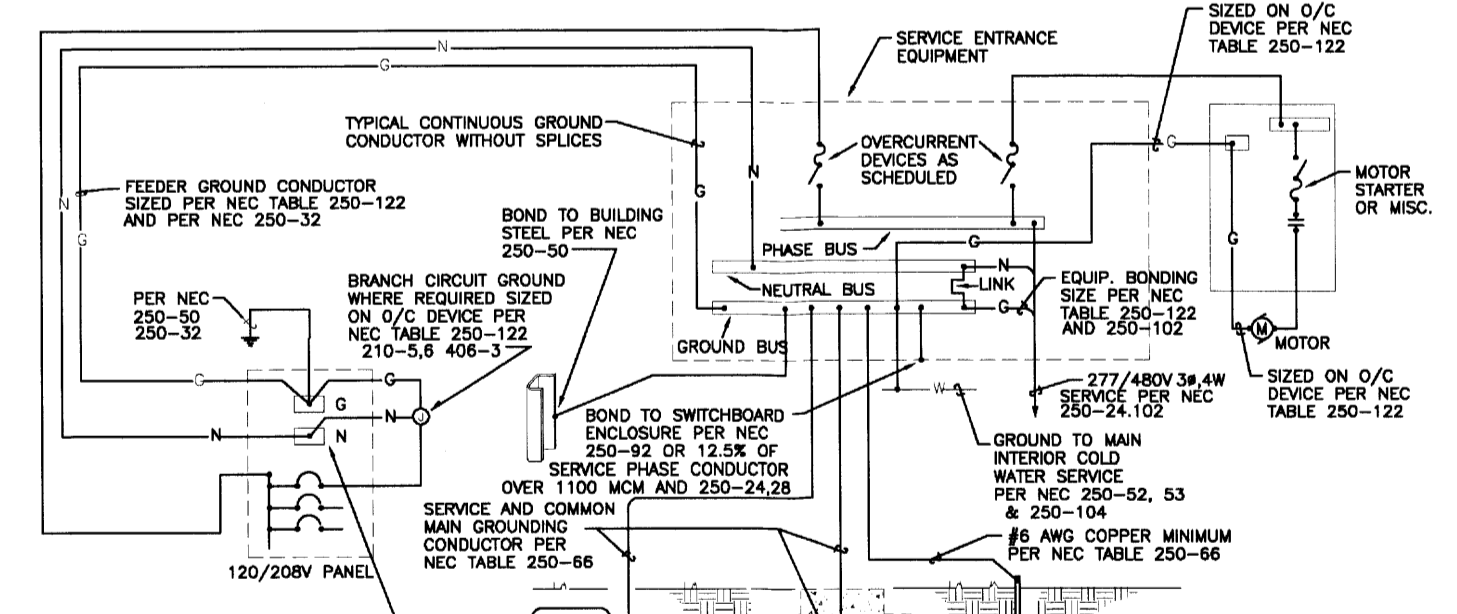
B MONUMENT LIGHTING
N.T.S.



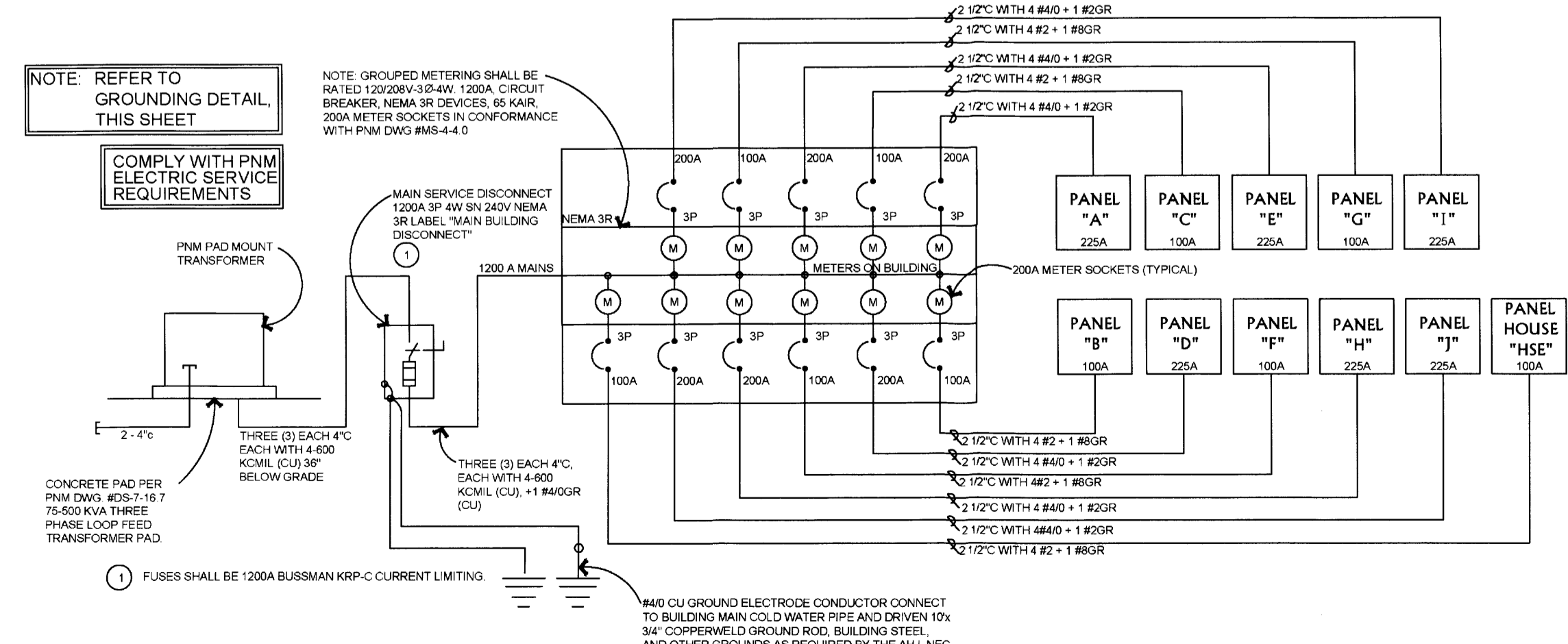
C POLE BASE DETAIL TYPICAL FOR TYPE C FIXTURES
SCALE = N.T.S.
ELECTRICAL SITE PLAN

ELECTRICAL SITE PLAN
SCALE = 1" = 20'-0"

ITEM #	FIXTURE/MODEL/DESCRIPTION	VOLT	GENERAL PLACEMENT	MOUNTING
A	BUILDING WALL PACK 175W MH	208	FRONT WALL PACKS	WALL
B	RECESSED CAN, 75 WATT FLOURESCENT (EXTERIOR RATED)	120	ENTRIES	RECESSED
C	250W MH LIGHT ON 19' POLE	208	PERIMETER POLE LIGHT	SEE DETAIL
D	SIGN LIGHT, 70 WMH	208	MONUMENT SIGN	GROUND
E	FLAG POLE LIGHT, 35 W MH PAR	208	FLAG POLE	GROUND
F	BUILDING WALL PACK 250W MH	208	REAR WALL PACKS	WALL



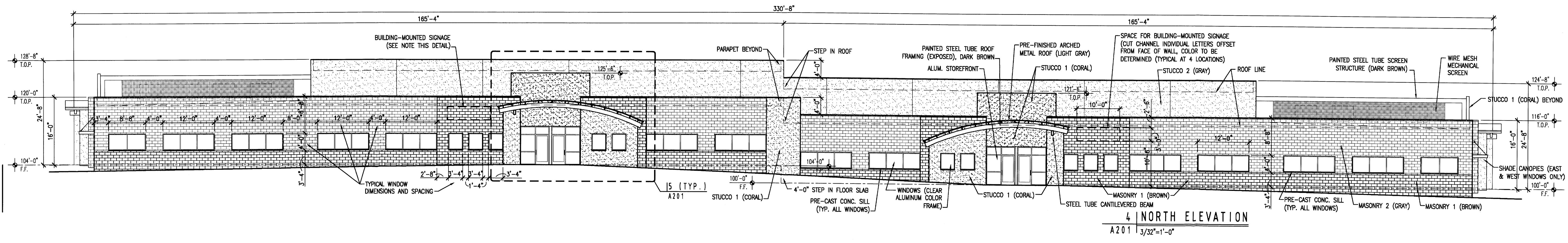
D TYPICAL BUS GROUNDING DETAIL
N.T.S.



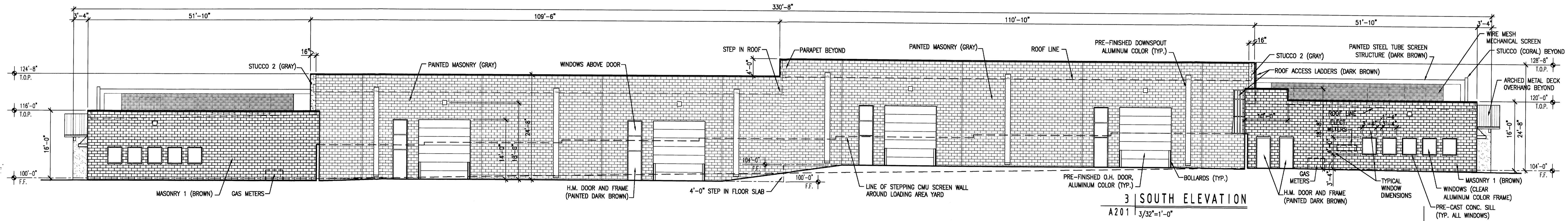
E ELECTRICAL POWER RISER DIAGRAM
SCALE = N.T.S.

D CONDUIT, ELECTRICAL ROOM
SCALE = 1/2" = 1'-0"

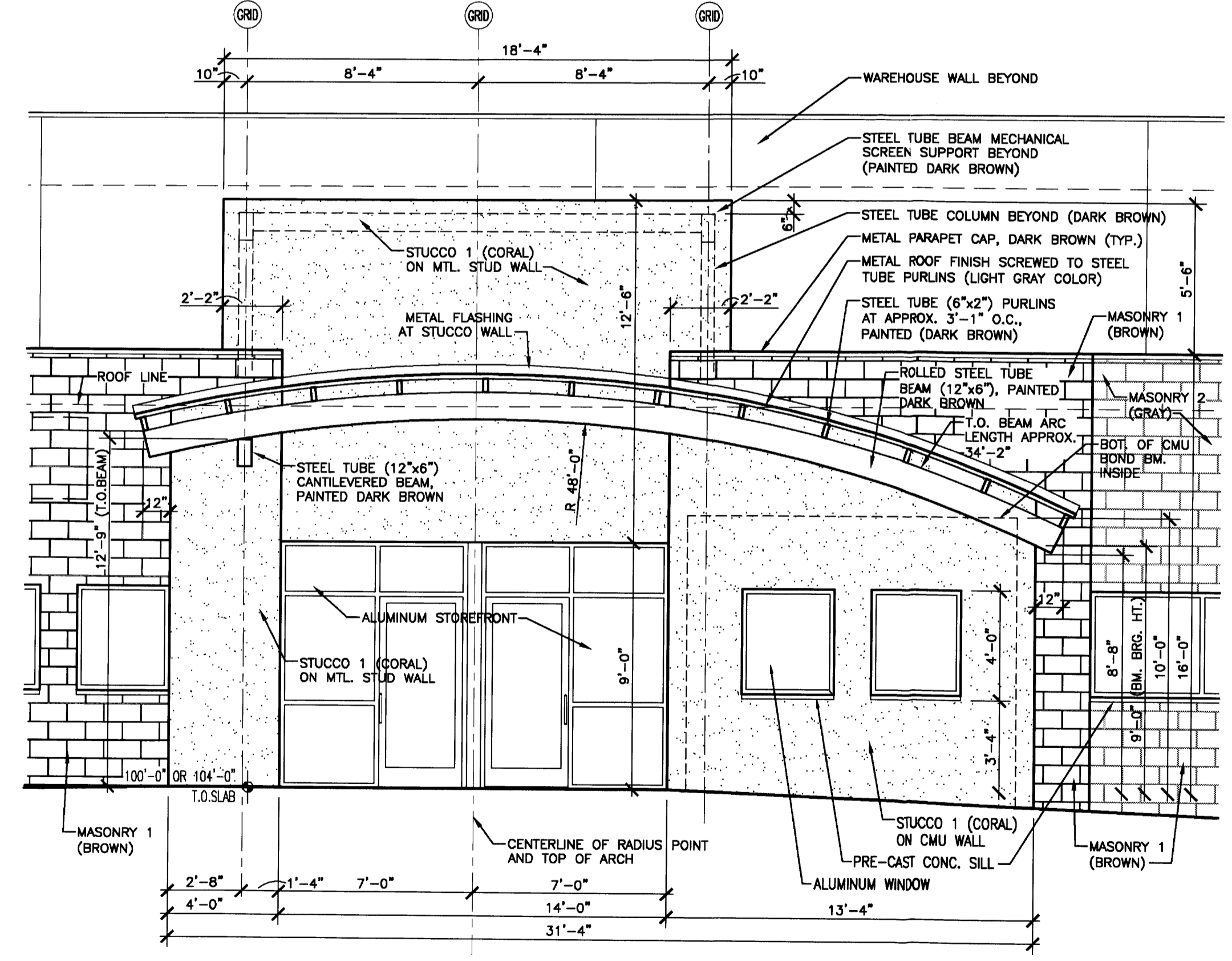
ELECTRICAL POWER RISER DIAGRAM



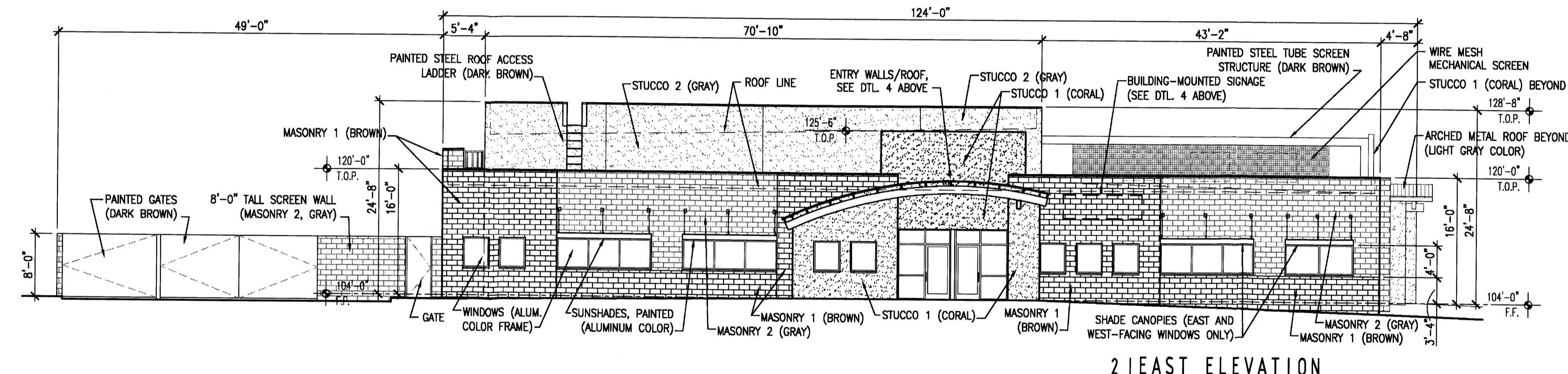
4 NORTH ELEVATION
A201 3/32"=1'-0"



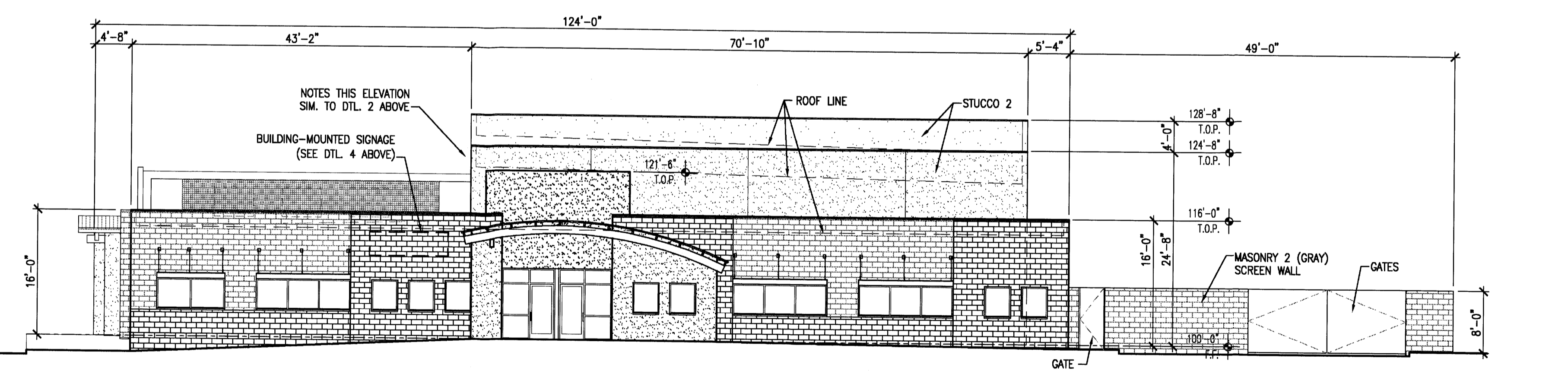
3 SOUTH ELEVATION
A201 3/32"=1'-0"



5 ENTRY ELEVATION DETAIL
A201 1/4"=1'-0"

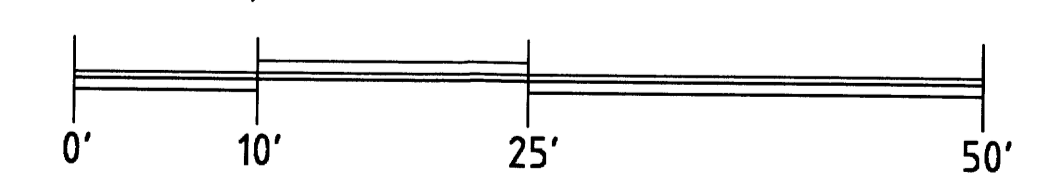


2 EAST ELEVATION
A201 3/32"=1'-0"



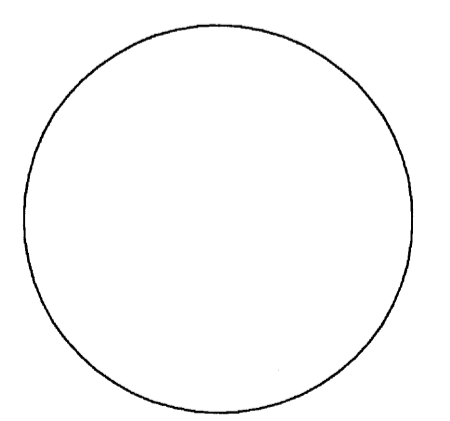
1 WEST ELEVATION
A201 3/32"=1'-0"

SIGN TABLE			
WALL ELEVATION	TOTAL WALL AREA	TOTAL SIGN AREA	SIGN % OF WALL AREA
WEST	2,523 S.F.	30 S.F.	1.2%
NORTH	7,051 S.F.	60 S.F.	0.8%
EAST	2,523 S.F.	30 S.F.	1.2%



MECHENBIER
CONSTRUCTION INC.
OFFICE/WAREHOUSE
DEVELOPMENT AT
5454 VENICE AVE. N.E.

slagle
HERR
Architects
1600 RIO GRANDEN W
ALBUQUERQUE
NEW MEXICO 87104
505 246 0870
fax 505 246 0437
slagleherr.com
EXTERIOR ELEVATIONS



revisions:

date:
1/8/10
sheet:
A201