



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

December 9, 2009

**Project# 1008060**

09DRB-70344 VACATION OF PUBLIC UTILITY EASEMENT  
09DRB-70345 MINOR - PRELIMINARY/ FINAL PLAT APPROVAL

SURV-TEK INC agent(s) for 6301 UPTOWN LLC request(s) the referenced/above action(s) for all or a portion of Lot(s) A-2-B-1 & B-1-A, **DALE J BELLAMAH'S JEANNEDALE UNIT 5**, zoned SU-3/ MIXED USE-UPT, located on the north side of UPTOWN BLVD NE between SAN PEDRO DR NE and AMERICA'S PKWY NE containing approximately 4.4842 acre(s). (H-18)[*Deferred from 12/2/09*]

At the December 9, 2009 Development Review Board meeting, the vacation was approved as shown on Exhibit B in the Planning file per section 14-14-7-2(A)(1) and (B)(1)(3) of the Subdivision Ordinance.

(A)(1) The public easement vacation request was filed by the owners of a majority of the footage of land abutting the proposed vacation.

(B)(1) The public welfare is in no way served by retaining the public easements.

(B)(3) There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

**CONDITIONS:**

1. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

The preliminary/final plat was approved with final sign off delegated to the Planning department for AMAFCA signature, AGIS DXF file and to record.

If you wish to appeal this decision, you must do so by December 24, 2009 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision.

The date the determination in question is issued is not included in the 15-day period for filing an appeal.

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If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)



Jack Cloud, AICP, DRB Chair

Cc: Surv-Tek Inc. – 9384 Valley View Dr. NW – Albuquerque, NM 87114

Cc: 6301 Uptown LLC – P.O. Box 70125 – Albuquerque, NM 87197

Marilyn Maldonado

Scott Howell

File



COMPLETED 01/08/10 3th  
DRB CASE ACTION LOG (Prel / Final)  
REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 09DRB-70845 Project # 1008060  
Project Name: DALE J. BELLAMAH'S JEANNEDALE UNIT 5  
Agent: SUBN-TRK Phone No.:

Your request was approved on 12-9-09 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: \_\_\_\_\_
- UTILITIES: \_\_\_\_\_
- CITY ENGINEER / AMAFCA: \_\_\_\_\_
- PARKS / CIP: \_\_\_\_\_
- PLANNING (Last to sign): AM NECK sig nature

- Planning must record this plat. Please submit the following items:
- The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
  - Tax printout from the County Assessor.
  - 3 copies of the approved site plan. Include all pages.
  - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
  - Property Management's signature must be obtained prior to Planning Department's signature.
  - AGIS DXF File approval required. OK
  - Copy of recorded plat for Planning.

Created On:

**8060**

### DXF Electronic Approval Form

DRB Project Case #: 1008060

Subdivision Name: JEANNEDALE--DALE J BELLAMAHS UNIT 5 TRACTS A2B1A & B1A1

Surveyor: RUSS P HUGG

Contact Person: RUSS P HUGG

Contact Information: 897-3366

DXF Received: 12/9/2009

Hard Copy Received: 12/9/2009

Coordinate System: NMSP Grid (NAD 83)

  
Approved

12-9-2009  
Date

\* The DXF file cannot be accepted (at this time) for the following reason(s):

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**AGIS Use Only**  
Copied fc **8060** to agiscov on **12/10/2009** Contact person notified on **12/10/2009**





## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

December 9, 2009

**Project# 1008060**

09DRB-70344 VACATION OF PUBLIC UTILITY EASEMENT  
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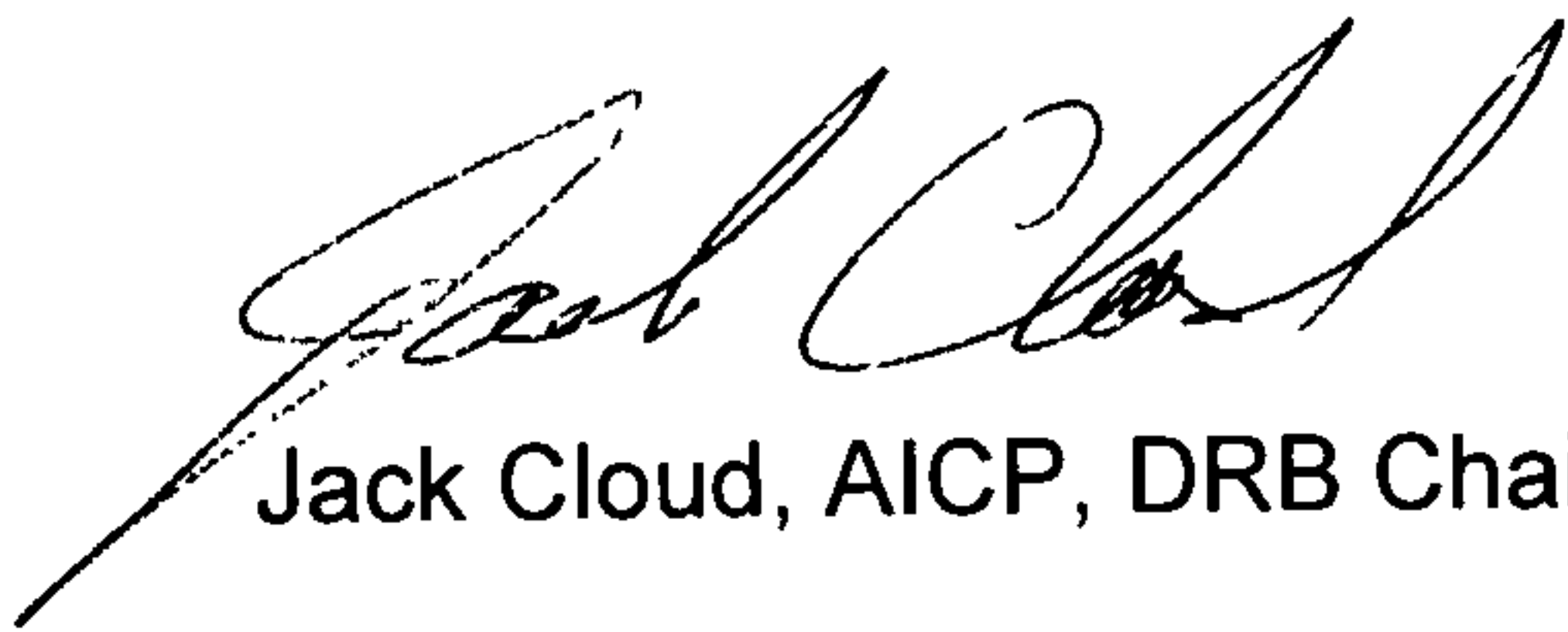
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Jack Cloud, AICP, DRB Chair

Cc: Surv-Tek Inc. – 9384 Valley View Dr. NW – Albuquerque, NM 87114

Cc: 6301 Uptown LLC – P.O. Box 70125 – Albuquerque, NM 87197

Marilyn Maldonado

Scott Howell

File

# DRB PUBLIC HEARING SIGN IN SHEETS

PROJECT #: 1008060 AGENDA# 5 DATE: 12/9/09

1. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
2. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
3. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
4. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
5. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
6. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
7. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
8. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
9. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
10. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
11. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
12. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
13. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
14. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
15. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
16. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
17. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

# SURV TEK, INC.

## Consulting Surveyors

9384 Valley View Drive, NW Albuquerque, New Mexico 87114  
Phone: 505-897-3366 Fax: 505-897-3377 E-mail: russhugg@survtek.com

December 1, 2009

Albuquerque Development Review Board  
P O Box 1293  
Albuquerque, New Mexico 87103

Attention : Angela Gomez, DRB Administrative Assistant

Re: DRB-Project No. 1008060: Tracts A-2-B-1 and B-1-A, Dale J. Bellamah's Jeannedale Unit 5, City of Albuquerque, Bernalillo County, New Mexico. Located at 6301 Uptown Boulevard NE. Zone Atlas page H-18.

Dear Angela:

Please defer the public hearing on this project to December 9, 2009 to allow time for discussions with Public Service Company and Qwest Communications on the vacation of public easement.

Sincerely,



Russ P. Hugg, PS  
Surv-Tek, Inc.

*Paid \$110.<sup>00</sup>*



3. **Project# 1006602**  
09DRB-70347 VACATION OF PUBLIC UTILITY EASEMENT
- BOHANNAN HUSTON INC agent(s) for DOUGLAS H PETERSON request(s) the referenced/above action(s) for all or a portion of **PARCEL A, VENTURA PLAZA** zoned SU-2/C-1, located on the southwest corner of PASEO DEL NORTE NE and VENTURA AVE NE containing approximately 3.28 acre(s). (D-20) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE.**
4. ~~Project# 1008060~~  
09DRB-70344 VACATION OF PUBLIC UTILITY EASEMENT  
09DRB-70345 MINOR - PRELIMINARY/FINAL PLAT APPROVAL
- SURV-TEK INC agent(s) for 6301 UPTOWN LLC request(s) the referenced/above action(s) for all or a portion of Lot(s) A-2-B-1 & B-1-A, **DALE J BELLAMAH'S JEANNEDALE UNIT 5**, zoned SU-3/ MIXED USE-UPT, located on the north side of UPTOWN BLVD NE between SAN PEDRO DR NE and AMERICA'S PKWY NE containing approximately 4.4842 acre(s).(H-18)**DEFERRED TO 12/9/09 AT THE AGENTS REQUEST.**
5. **Project# 1003366**  
09DRB-70336 MAJOR - 2YEAR EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT (2YR SIA)
- FELIX RABADI request(s) the referenced/ above action(s) for all or a portion of Tract(s) T-1-A-2-A & T-1-A-2-B, **TOWN OF ALAMEDA GRANT (to be known as RABADI COMPLEX)**, zoned SU-1 FOR PRD, located on the west side of GOLF COORSE RD NW between IRVING BLVD NW and the CALBACILLAS ARROYO containing approximately 8.5 acre(s). (A-12, B-12) *[Deferred from 11/18/09]* **THE TWO YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS APPROVED.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

6. **Project# 1003565**  
08DRB-70534 EPC APPROVED SDP FOR SUBDIVISION  
09DRB- MINOR - PRELIMINARY/FINAL PLAT APPROVAL
- JOSH SKARSGARD agent(s) for ART GARDENSWARTZ request(s) the above action(s) for all or a portion of Lot(s) 1 & 2, Block(s) 8, **MIRAMONTES PARK Unit(s) 1**, zoned C-1, SU-1 C-2 USES AND WAREHOUSE, located on SAN MATEO BLVD NE BETWEEN CLAREMONT AVE NE AND PHOENIX AVE NE (H-1) *[Deferred from 1/7/09, 7/29/09, 8/12/09, 8/19/09, 9/2/09, 11/12/09]*. **DEFERRED TO 12/9/09 AT THE AGENTS REQUEST.**

# DRB PUBLIC HEARING SIGN IN SHEETS

PROJECT #: 1008060 AGENDA# 4 DATE: 12/2/09

1. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
2. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
3. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
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CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

December 2, 2008

**Project# 1008060**

09DRB-70344 VACATION OF PUBLIC UTILITY EASEMENT  
09DRB-70345 MINOR - PRELIMINARY/ FINAL PLAT APPROVAL

SURV-TEK INC agent(s) for 6301 UPTOWN LLC request(s) the referenced/above action(s) for all or a portion of Lot(s) A-2-B-1 & B-1-A, **DALE J BELLAMAH'S JEANNEDALE UNIT 5**, zoned SU-3/ MIXED USE-UPT, located on the north side of UPTOWN BLVD NE between SAN PEDRO DR NE and AMERICA'S PKWY NE containing approximately 4.4842 acre(s). (H-18)

**AMAFCA**

No comment.

**COG**

Uptown Loop has been identified in the ITS Regional Architecture as an ITS Corridor. Please contact DMD at 291-6220 for detailed planning information and implementation schedule.

Uptown Loop has a functional classification of Urban Collector.

**TRANSIT**

Adjacent and nearby routes

Route#34, San Pedro Commuter route, passes the site on Uptown Blvd., situated south of the property. Routes#3, Louisiana route, Route#8, Menaul route, and Route#157, Montano route pass the site on Americas Pkwy situated on the east side of the property.

Adjacent bus stops

The Uptown Transit Center is situated 300' south of the southeast corner of the property. Bus stops for Route#3 and Route #157 are located on Americas Parkway 250 feet south from the southeast corner of the property.

Site plan requirements

None

Large site TDM suggestions

None.

Other information

None.

**ZONING ENFORCEMENT**

No comment.

**NEIGHBORHOOD COORDINATION**

Letters sent to: *Uptown NA List consisting of the following: Alvarado Park NA (R),*

*Classic Uptown NA (R), Inez NA (R), Jerry Cline Park NA (R), Snow Heights NA (R), Uptown Progress Team, Inc. (R), Winrock South NA (R), Zuni NA (R)*

**APS**

No comment.

**POLICE DEPARTMENT**

**FIRE DEPARTMENT**

No comment.

**PNM ELECTRIC & GAS**

**Vacation of a Public Utility Easement:** PNM will not vacate the easement it supports existing underground facilities.

**COMCAST**

No comment.

**QWEST**

Concerning the subject case number(s), Qwest cannot comment on the vacation of the public utility easement(s) as submitted; Qwest has existing buried facilities in this area which provides service to addresses 6301 and 6201. Qwest will request the developer to call for locates before the engineer approves of the vacation. If the utilities are found to be within the PUE Qwest will relocate if payment is received for the relocation. Prior to any final plat approval, we will need a copy for review. If specific information is required concerning the requested easement vacation, please contact Richard Redman at 245-6098.

**ENVIRONMENTAL HEALTH**

No comment.

**M.R.G.C.D**

No Adverse Comments.

**OPEN SPACE DIVISION**

Open Space has no adverse comments

**CITY ENGINEER**

The Hydrology section has no objection to the vacation request. No adverse comments on plat.

**TRANSPORTATION DEVELOPMENT**

No objection to vacation request.  
Provide an exhibit showing the location of sidewalk and defining the distance from face of curb to the property line. Right of way dedication may be required.

**PARKS AND RECREATION**

**ABCWUA**

**PLANNING DEPARTMENT**

Refer to comments from affected agencies plus any public hearing comments regarding proposed vacation.

**IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING**





**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, December 2, 2009, beginning at 9:00 a.m.** for the purpose of considering the following:

**Project# 1000060**  
09DRB-70346 MAJOR - 2YEAR  
EXTENSION OF SUBDIVISION  
IMPROVEMENTS AGREEMENT  
(2YR SIA)

MODREWALL SPERLING LAWYERS agent(s) for SANDIA FOUNDATION request(s) the referenced/above action(s) for all or a portion of **GATEWAY SUBDIVISION** zoned SU-2/ C-3, located on the north side of LOMAS BLVD NE and the west side of INTERSTATE 25 containing approximately 24.8365 acre(s). (J-15)

**Project# 1006505**  
09DRB-70343 MAJOR - 2YEAR  
EXTENSION OF SUBDIVISION  
IMPROVEMENTS AGREEMENT  
(2YR SIA)

APPLIED ENGINEERING AND SURVEYING INC agent(s) for EDDIE CORLEY, JR AND SR, LLC request(s) the referenced/above action(s) for all or a portion of Lot(s) 17A, Block(s) 9, Tract A, Unit B **NORTH ALBUQUERQUE ACRES** zoned SU-2/ IP, located on the north side of EAGLE ROCK AVE NE between I-25/ PAN AMERICAN FREEWAY NE and SAN PEDRO BLVD NE containing approximately 3.9321 acre(s). (C-18)

**Project# 1006602**  
09DRB-70347 VACATION OF PUBLIC  
UTILITY EASEMENT

BOHANNAN HUSTON INC agent(s) for DOUGLAS H PETERSON request(s) the referenced/above action(s) for all or a portion of **PARCEL A, VENTURA PLAZA** zoned SU-2/C-1, located on the southwest corner of PASEO DEL NORTE NE and VENTURA AVE NE containing approximately 3.28 acre(s). (D-20)

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Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Angela Gomez, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.

  
Jack Cloud, AICP, DRB Chair  
Development Review Board

**TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, November 16, 2009.**



**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
PROPERTY OWNERSHIP LIST**

**Meeting Date:** December 2, 2009  
**Zone Atlas Page:** H-18  
**Notification Radius:** 100 Ft.

**Project#** 1008060  
**App#** 09DRB-70344  
09DRB-70345

Cross Reference and Location: UPTOWN BLVD NE BETWEEN SAN PEDRO DR NE  
AND LOUISIANA BLVD NE

**Applicant:** 6301 UPTOWN LLC  
PO BOX 70125  
ALBUQUERQUE, NM 87197

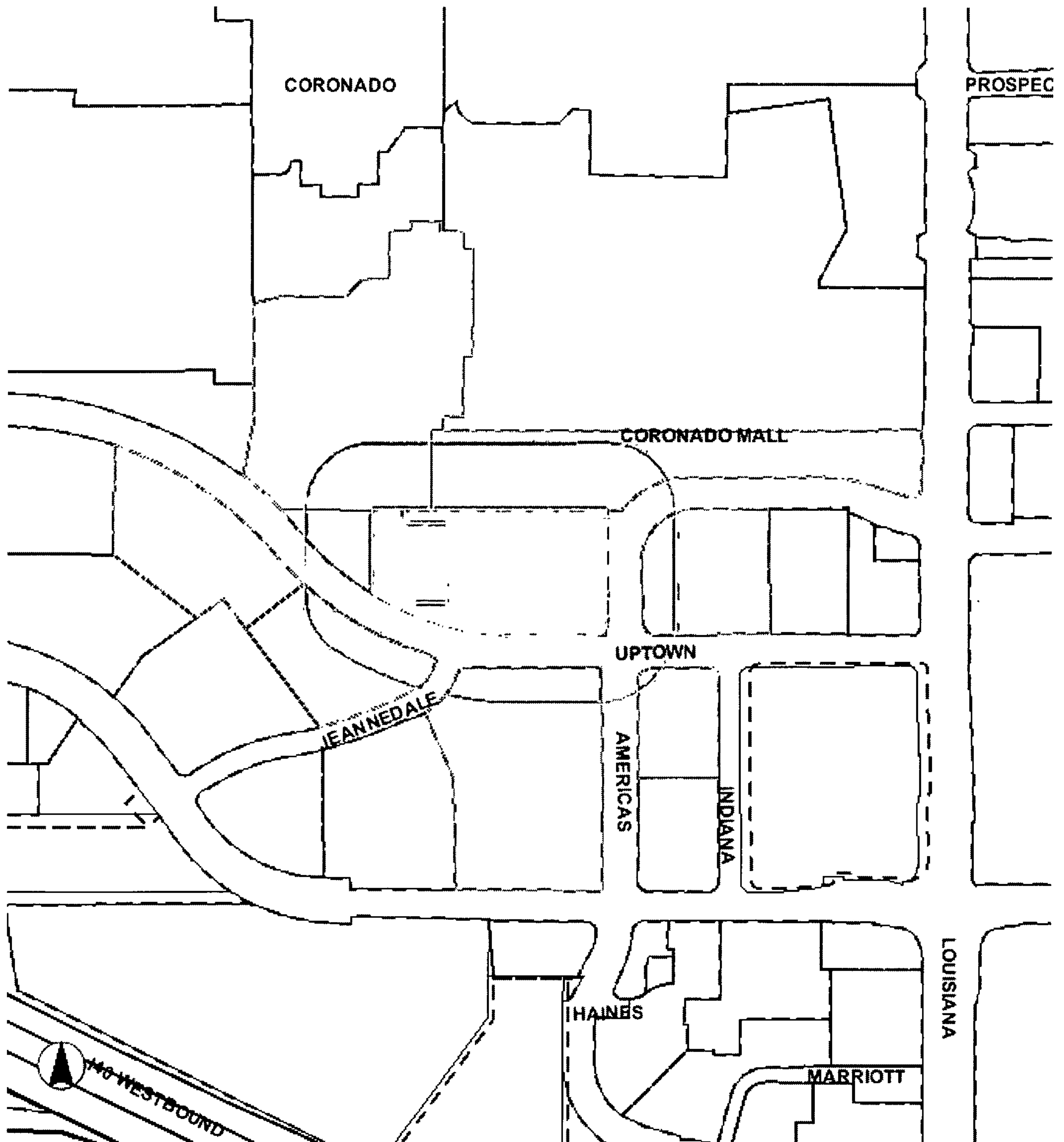
**Agent:** SURV-TEK INC  
9384 VALLEY VIEW DR NW  
ALBUQUERQUE, NM 87114

**Special Instructions:**

**Notice must be mailed from the  
City's 15 day's prior to the meeting.**

**Date Mailed:** NOVEMBER 13, 2009  
**Signature:** ERIN TREMLIN

R e c	UPC CODE	OWNER	OWNER ADDRESS	OWN ER CITY	O W N E R S T A T E	O W N E R Z I P C O D E	PR OP ERT Y CL AS S	TA X DIS TRI CT	LEGAL
1	101805 937013 740213	JC PENNEY INC #6010- 3 PROPERTY TA X OFFICE	PO BOX 100 01	DALL AS	TX	75 30 1	C	A1 A	FEDERATED TRACT "A" UNIT 5A DALE J BELLAMAH'S JEANNEDALE CORONAD O CENTER CONT 7.9579 AC M/L
2	101805 944711 840205	CORONADO CENTER LLC C/O GENERAL GROWTH P ROPERTIES INC	PO BOX 617 905	CHIC AGO	IL	60 66 1	C	A1 A	LOT 7-A-1 PLAT OF LTS 1A1 & 2- 1 UNIT 6 & LT 7A1 UNIT 5A DALE J BELL AMAH'S JEANNEDALE CORONADO CEN TER CONT 4.9765 AC M/L
3	101805 946508 940203	UPTOWN SQUARE VENTU RE ETAL % RON NELSON OR JOHN WHISENANT	6605 UPTO WN BLV NE S-340	ALBU QUE RQU E	N M	87 11 0	C	A1 A	TRACT C-1-B- 1 SUMMARY PLAT OF TR C-1-B- 1 DALE J BELLAMAH'S JEANNEDALE UN IT #5 CONT 2.5674 C M/L
4	101805 945505 040410	CITY OF ALBUQUERQUE R EAL ESTATE OFFICE	PO BOX 129 3	ALBU QUE RQU E	N M	87 10 3	V	A1 A	TR E-2A1 PLAT OF TRS E-2A1 & E- 2A2JEANNEDALE ADDN CONT 1.4507 A C M/L
5	101805 941808 940202	6401 UPTOWN LLC	PO BOX 701 25	ALBU QUE RQU E	N M	87 19 7	C	A1 A	TR B-1-A PLAT OF TRACTS A-2-B-1 & B- 1- A DALE J BELLAMAH'SJEANNEDALE UN IT 5 CONT 3.4377 AC
6	101805 938708 740201	6301 UPTOWN LLC	PO BOX 701 25	ALBU QUE RQU E	N M	87 19 7	C	A1 A	TR A-2-B-1 PLAT OF TRACTS A-2-B- 1 & B-1- A DALE J BELLAMAH'SJEANNEDALE UN IT 5 CONT 1.0492 AC
7	101805 936509 640225	T J B L K LLC	6201 UPTO WN BLVD N E SUITE 100	ALBU QUE RQU E	N M	87 11 0	C	A1 A	TRACT A-2-A OF PLAT OF TRS A-2- A & A-2- B DALE J BELLAMAH'S JEANNE DALE U NI T 5
8	101805 932309 540303	UPTOWN BLVD OPERATIN G ASSOCIATES	330 GARFIE LD ST	SANT A FE	N M	87 50 1	C	A1 A	TR 2-B-2 PLAT OF TRS 2-B-1 2-B-2 & 2- B-3 BELLAMAH OFFICE ADD
9	101805 941503 340404	BOARD OF EDUCATION	PO BOX 257 04	ALBU QUE RQU E	N M	87 12 5	C	A1 A	TRACT G ALSO KNOWN AS TRACT Z UN IT 4 DALE J BELLAMAH'S JEANNEDALE ADDITION
1 0	101805 936106 440304	6200 UPTOWN LLC	PO BOX 701 25	ALBU QUE RQU E	N M	87 19 7	C	A1 A	TR 2-B-3 PLAT OF TRS 2-B-1 2-B-2 & 2- B-3 BELLAMAH OFFICE ADD



OR CURRENT RESIDENT  
101805941503340404  
BOARD OF EDUCATION  
PO BOX 25704  
ALBUQUERQUE, NM 87125

OR CURRENT RESIDENT  
101805932309540303  
UPTOWN BLVD OPERATING  
ASSOCIATES  
330 GARFIELD ST  
SANTA FE, NM 87501

OR CURRENT RESIDENT  
101805936106440304  
6200 UPTOWN LLC  
PO BOX 70125  
ALBUQUERQUE, NM 87197

Project# 1008060  
BILL STERCHI  
Alvarado Park NA  
5607 PRINCESS JEANNE NE  
ALBUQUEQRUE, NM 87110

Project# 1008060  
PATRICIA FLANAGAN  
Classic Uptown NA  
2716 ESPANOLA NE  
ALBUQUEQRUE, NM 87110

Project# 1008060  
JULIE JONES  
Jerry Cline Park NA  
7625 WINTER AVE NE  
ALBUQUEQRUE, NM 87110

Project# 1008060  
NISSA PATTERSON  
Snow Heights  
7708 MCKNIGHT NE  
ALBUQUEQRUE, NM 87110

Project# 1008060  
RICHARD PETERSON  
Winrock South NA  
7110 CONSTITUTION AVE NE  
ALBUQUEQRUE, NM 87110

Project# 1008060  
ALLAN SMITH  
Zuni NA  
7522 EUCLID NE  
ALBUQUEQRUE, NM 87110

OR CURRENT RESIDENT  
101805944711840205  
CORONADO CENTER LLC C/O  
GENERAL GROWTH PROPERTIES INC  
PO BOX 617905  
CHICAGO, IL 60661

OR CURRENT RESIDENT  
101805946508940203  
UPTOWN SQUARE VENTURE ETAL  
RON NELSON OR JOHN WHISENANT  
6605 UPTOWN BLV NE S-340  
ALBUQUERQUE, NM 87110

Project# 1008060  
SURV-TEK, INC  
9384 VALLEY VIEW DR NW  
ALBUQUERQUE, NM 87114

Project# 1008060  
NATASHA CARTY  
Alvarado Park NA  
5907 PRINCESS JEANNE NE  
ALBUQUEQRUE, NM 87110

Project# 1008060  
EVELYN B FELTNER  
Inez NA  
2014 UTAH ST NE  
ALBUQUEQRUE, NM 87110

Project# 1008060  
RON GOLDSMITH  
Jerry Cline Park NA  
1216 ALCAZAR ST NE  
ALBUQUEQRUE, NM 87110

Project# 1008060  
MARTI PARTRIDGE  
Uptown Progress Team Inc  
2424 LOUISIANA NE # 300  
ALBUQUERQUE, NM 87110

Project# 1008060  
VIRGINIA KINNEY  
Winrock South NA  
7110 CONSTITUTION AVE NE  
ALBUQUEQRUE, NM 87110

Project# 1008060  
LAURA HEITMAN  
Snow Heights  
8011 PRINCESS JEANNE NE  
ALBUQUERQUE, NM 87110

OR CURRENT RESIDENT  
101805936509640225  
T J B L K LLC  
6201 UPTOWN BLVD NE SUITE 100  
ALBUQUERQUE, NM 87110

OR CURRENT RESIDENT  
101805937013740213  
JC PENNEY INC #6010-3 PROPERTY TA  
X OFFICE  
PO BOX 10001  
DALLAS, TX 75301

Project# 1008060  
6301 UPTOWN LLC  
PO BOX 70125  
ALBUQUERQUE, NM 87197

Project# 1008060  
STEPHEN VERCHINSKI  
Classic Uptown NA  
2700 ESPANOLA NE  
ALBUQUEQRUE, NM 87110

Project# 1008060  
BETTE WEBER  
Inez NA  
1927 VIRGINIA ST NE  
ALBUQUEQRUE, NM 87110

Project# 1008060  
WINNIE SCHNIDT  
Quigley Park NA  
2916 CUERVO DR NE  
ALBUQUEQRUE, NM 87110

Project# 1008060  
MARCY COOK  
Uptown Progress Team Inc  
6565 AMERICAS PARKWAY NE #200  
ALBUQUEQRUE, NM 87110

Project# 1008060  
RON BERLINT  
Zuni NA  
7516 EUCLID NE  
ALBUQUEQRUE, NM 87110

Project# 1008060  
MARIA YOUNG  
2932 MADEIRA DR NE  
ALBUQUERQUE, NM 87110

**Rusty Hugg**

---

**From:** Vigil, Fernando [Fernando.Vigil@pnm.com]

**Sent:** Tuesday, December 08, 2009 9:20 AM

**To:** Rusty Hugg

**Subject:** RE: Tracts A-2-B-1 and B-1-A, Dale J Bellamah's Jeannedale Unit 5- 6301 Uptown

This is acceptable to PNM. Thank you for making these adjustments.

Fernando Vigil SR/WA  
PNM, Land Services Department  
(505)241-4434

---

**From:** Rusty Hugg [mailto:russhugg@survtek.com]

**Sent:** Tuesday, December 08, 2009 9:04 AM

**To:** George Rainhart; Vigil, Fernando

**Subject:** Tracts A-2-B-1 and B-1-A, Dale J Bellamah's Jeannedale Unit 5- 6301 Uptown

Morning Gentlemen

Per your request we have had the line spotted and located the existing transformer. I have created a new public utility easement to cover said infrastructure (see attached). Please let me know if this is agreeable to you as soon as possible so that I may get corrected copies to DRB for tomorrow mornings hearing.

Thanks

## ***Surv-Tek, Inc.***

*Rusty Hugg*

*9384 Valley View Drive, Albuquerque, NM 87114*

*Phone (505) 897-3366 Fax (505) 897-3377*

*russhugg@survtek.com*

12/8/2009



# City of Albuquerque Planning Department

## One Stop Shop – Development and Building Services

12/03/2009 Issued By: E08375 60543

**Permit Number: 2009 070 344**

**Category Code 910**

**Application Number:** 09DRB-70344, Vacation Of Public Easement

**Address:**

**Location Description:** UPTOWN BLVD NE BETWEEN SAN PEDRO DR NE AND LOUISIANA BLVD NE

**Project Number:** 1008060

**Applicant**  
6301 Uptown Llc

Po Box 70125  
Albuquerque NM 87197  
880-8228

**Agent / Contact**

Surv-Tek Inc  
Russ Hugg  
9384 Valley View Dr Nw  
Albuquerque NM 87114

russhugg@survtek.com

### Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	
441006/4983000	Deferral fee	\$110.00
<b>TOTAL:</b>		<b>\$110.00</b>

City Of Albuquerque  
Treasury Division

12/3/2009 12:09PM LOC: ANNX  
WS# 006 TRANS# 0028  
RECEIPT# 00113234-00113234  
PERMIT# 2009070344 TRSDMG  
Trans Amt \$110.00  
DRB Actions \$110.00  
CK \$110.00  
CHANGE \$0.00

Thank You

**City of Albuquerque Planning Department**  
**One Stop Shop – Development and Building Services**

11/08/2009 Issued By: E08375 60553

-----  
**Permit Number: 2009 070 345** **Category Code 910**

**Application Number:** 09DRB-70345, Minor - Preliminary/ Final Plat Approval

**Address:**

**Location Description:** UPTOWN BLVD NE BETWEEN SAN PEDRO DR NE AND LOUISIANA BLVD NE

**Project Number:** 1008060

**Applicant**  
6301 Uptown Llc

Po Box 70125  
Albuquerque NM 87187  
880-8228

**Agent / Contact**

Surv-Tek Inc  
Russ Hugg  
9384 Valley View Dr Nw  
Albuquerque NM 87114

russhugg@survtek.com

**Application Fees**

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	
441006/4983000	DRB Actions	\$285.00
<b>TOTAL:</b>		<b>\$285.00</b>

City Of Albuquerque  
Treasury Division

11/6/2009 9:46AM LOC: ANAX  
LSH 006 TRANS# C011  
RECEIPT# C0112274-00112284  
PERMIT# 2009070345 TRST#  
Trans Amt \$-25.00  
DRB Actions \$285.00

Thank You

# City of Albuquerque Planning Department

## One Stop Shop – Development and Building Services

11/06/2009 Issued By: E08375 60543

**Permit Number: 2009 070 344** **Category Code 910**

**Application Number: 09DRB-70344, Vacation Of Public Easement**

**Address:**

**Location Description: UPTOWN BLVD NE BETWEEN SAN PEDRO DR NE AND LOUISIANA BLVD NE**

**Project Number: 1008060**

**Applicant**  
6301 Uptown Llc  
  
Po Box 70125  
Albuquerque NM 87197  
880-8228

**Agent / Contact**  
Surv-Tek Inc  
Russ Hugg  
9384 Valley View Dr Nw  
Albuquerque NM 87114  
  
russhugg@survtek.com

**Application Fees**

441018/4971000	Public Notification	\$75.00
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$45.00
<b>TOTAL:</b>		<b>\$140.00</b>

City Of Albuquerque  
Treasury Division

11/5/2009 9:4640 LOC: AMX  
 WSH 006 TRANCH 0011  
 RECEIPT# 00112284-00112285  
 PERMIT# 2009070344 TRSDMC  
 Trans Amt \$425.00  
 AFN Fee \$75.00  
 Conflict Mgmt. Fee \$20.00  
 DRB Action \$45.00  
 CHARGE \$425.00  
 TOTAL \$140.00

Thank You





**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

Supplemental form

**S Z ZONING & PLANNING**

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): SURV-TEK, INC PHONE: 897-3366  
 ADDRESS: 9384 VALLEY VIEW DR. NW FAX: 897-3377  
 CITY: ALBUQ STATE NM ZIP 87114 E-MAIL: RUSSHUGG@SURVTEK

APPLICANT: 6301 UPTOWN LLC PHONE: 880-8228  
 ADDRESS: PO BOX 70125 FAX: \_\_\_\_\_  
 CITY: ALBUQ STATE NM ZIP 87197 E-MAIL: \_\_\_\_\_

Proprietary interest in site: OWNERS List all owners: JEROME AND MARILYN BETTMAN

DESCRIPTION OF REQUEST: VACATION OF A PUBLIC UTILITY EASEMENT AND MINOR PRELIMINARY/FINAL PLAT APPROVAL

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Tract No. A-2-B-1 AND B-1-A Block: — Unit: 5  
 Subdiv/Addn/TBKA: DALE J. BELLAMAH'S JEANNEDALE UNIT 5  
 Existing Zoning: SU-3 MU-UPT Proposed zoning: SAME MRGCD Map No N/A  
 Zone Atlas page(s): H-18 UPC Code: \_\_\_\_\_

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): \_\_\_\_\_

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? N/A  
 No. of existing lots: 2 No. of proposed lots: 2 Total area of site (acres): 4.4842  
 LOCATION OF PROPERTY BY STREETS: On or Near: UPTOWN BOULEVARD NE  
 Between: SAN PEDRO DR NE and LOUISIANA BOULEVARD NE

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_

SIGNATURE [Signature] DATE 10.30.09  
 (Print) RUSS HUGG Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

09DRB - 70344  
09DRB - 70345

Action

VPE  
P&F  
ADV  
CMF

Form revised 4/07

S.F.	Fees
—	\$ <u>45.00</u>
—	\$ <u>285.00</u>
—	\$ <u>75.00</u>
—	\$ <u>20.00</u>
—	\$ _____
Total	
—	\$ _____

Hearing date December 2, 2009

[Signature] 11.6.09  
 Planner signature / date

Project # 10080100

FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (DRB04)** (PUBLIC HEARING CASE)
    - \_\_\_ Application for Minor Plat on FORM S-3, including those submittal requirements. 24 copies
    - \_\_\_ Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
    - \_\_\_ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
    - \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
    - \_\_\_ Sign Posting Agreement
    - \_\_\_ Fee (see schedule)
    - \_\_\_ List any original and/or related file numbers on the cover application
- DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- VACATION OF PUBLIC EASEMENT (DRB27)**
  - VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**
    - The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**  
(Not required for City owned public right-of-way.)
    - Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
    - Zone Atlas map with the entire property(ies) clearly outlined
    - Letter briefly describing, explaining, and justifying the request
    - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
    - Sign Posting Agreement
    - \_\_\_ Fee (see schedule)
    - List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.  
**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

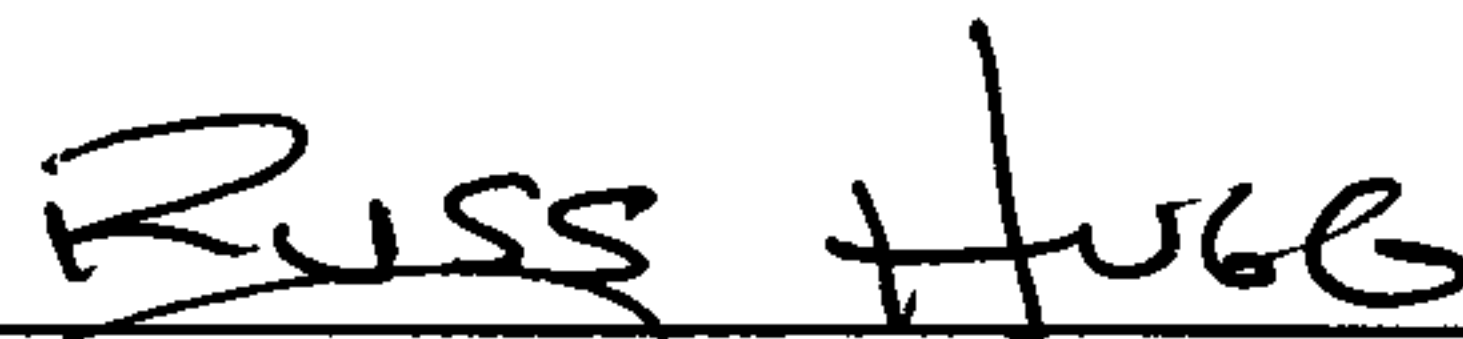

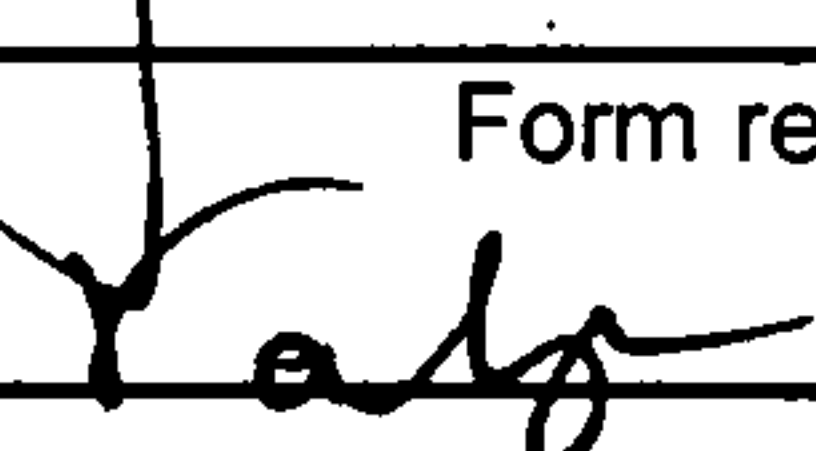
- SIDEWALK VARIANCE (DRB20)**
  - SIDEWALK WAIVER (DRB21)**
    - \_\_\_ Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") 6 copies
    - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
    - \_\_\_ Letter briefly describing, explaining, and justifying the variance or waiver
    - \_\_\_ List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
    - \_\_\_ Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
    - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
    - \_\_\_ Letter briefly describing, explaining, and justifying the variance
    - \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
    - \_\_\_ Sign Posting Agreement
    - \_\_\_ Fee (see schedule)
    - \_\_\_ List any original and/or related file numbers on the cover application
- DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
  - EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)**
    - \_\_\_ Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
    - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
    - \_\_\_ Letter briefly describing, explaining, and justifying the deferral or extension
    - \_\_\_ List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- VACATION OF PRIVATE EASEMENT (DRB26)**
  - VACATION OF RECORDED PLAT (DRB29)**
    - \_\_\_ The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
    - \_\_\_ Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
    - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
    - \_\_\_ Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
    - \_\_\_ Letter of authorization from the grantors and the beneficiaries (private easement only)
    - \_\_\_ Fee (see schedule)
    - \_\_\_ List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.  
**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

  
 Applicant name (print) Russ Hugg  
  
 Applicant signature / date 10.30.09  
 Form revised 4/07  
  
 Planner signature / date 11.6.09  
 Project # 1008060



- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
040RB - 70344  
 \_\_\_\_\_ - \_\_\_\_\_  
 \_\_\_\_\_ - \_\_\_\_\_



**FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING**

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

**SKETCH PLAT REVIEW AND COMMENT (DRB22)** Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

**EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)** Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Copy of DRB approved infrastructure list
- Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
- List any original and/or related file numbers on the cover application

**Extension of preliminary plat approval expires after one year.**

**MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.


**MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** Your attendance is required.

- ~~N/A~~ 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- ~~N/A~~ Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- ~~N/A~~ Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- ~~N/A~~ Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- ~~N/A~~ Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

**AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** Your attendance is required.

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
  - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

  
 Applicant name (print) Russ Hugg  
 Applicant signature / date [Signature] 10.30.09



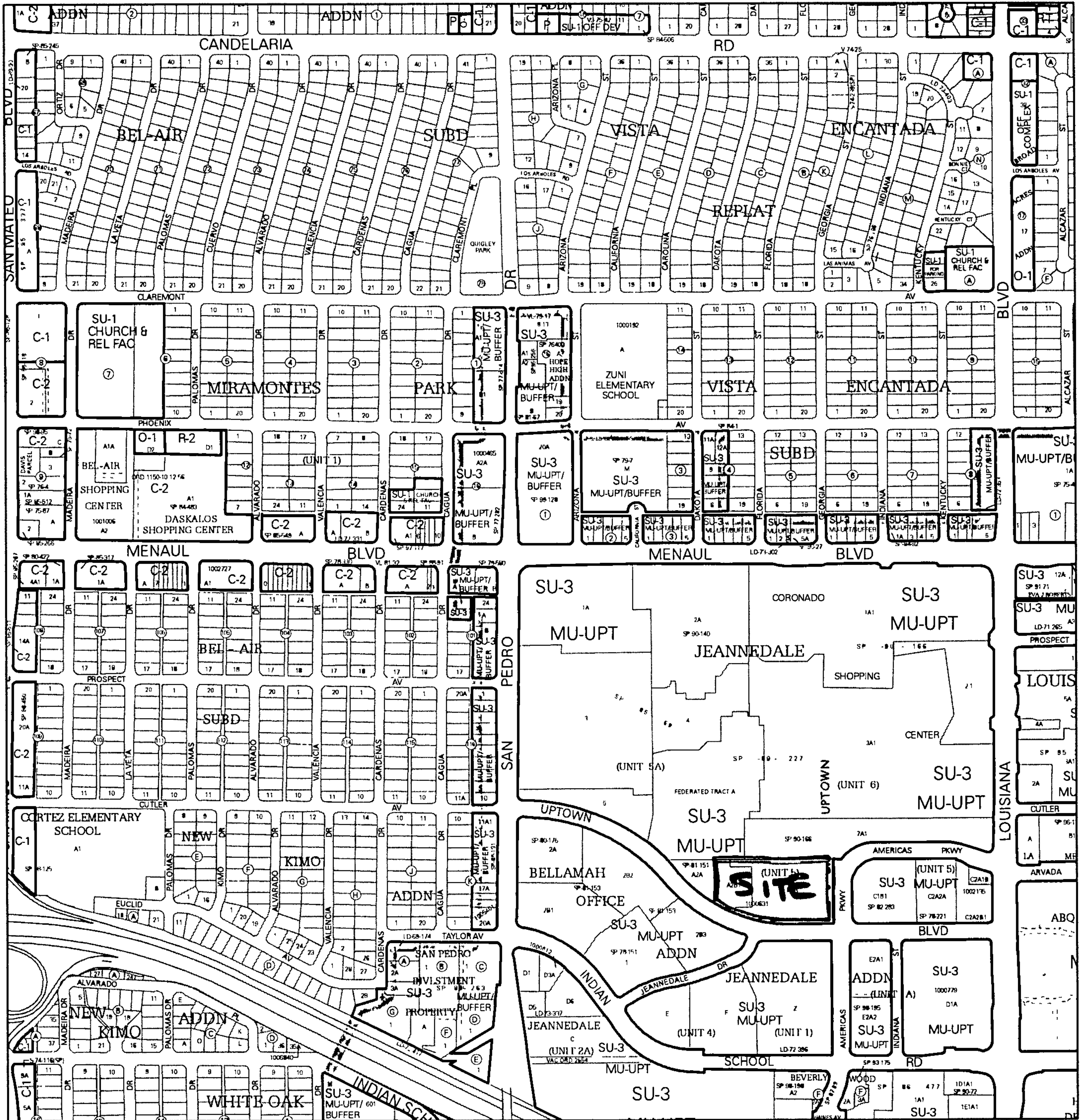
Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
09DRB - 70345

Valp 11.6.09  
 Planner signature / date  
 Project # 1008060





For more current information and more details visit <http://www.cabq.gov/gis>

Map amended through: 3/10/2009

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**H-18-Z**

Selected Symbols


Feet  
0 750 1,500

# **SURV TEK, INC.**

## **Consulting Surveyors**

9384 Valley View Drive, NW Albuquerque, New Mexico 87114  
Phone: 505-897-3366 Fax: 505-897-3377 E-mail: russhugg@survtek.com

November 5, 2009

Albuquerque Development Review Board  
PO Box 1293  
Albuquerque, New Mexico 87103

Attention: Mr. Jack Cloud, Chair

RE: *Vacation of a Public Utility Easement and a Minor Preliminary/Final Plat of Tracts A-2-B-1 and B-1-A of Dale J. Bellamah's Jeannedale, Unit 5, City of Albuquerque, Bernalillo County, New Mexico. City Zone Atlas page H-18.*

Dear Mr. Cloud

The owners of the above captioned property, 6301 Uptown, LLC are hereby filing application with the City of Albuquerque Development Review Board for a *Vacation of a Public Utility Easement* and Minor Preliminary/Final plat approval to show said vacated easement and to adjust the interior tract line between existing Tracts A-2-B-1 and B-1-A.

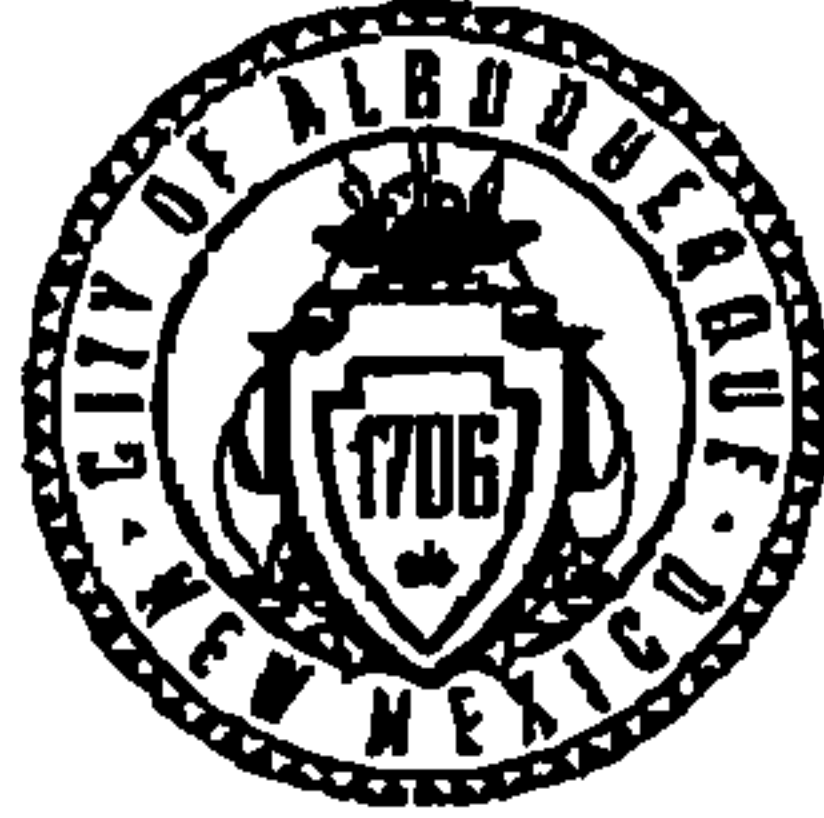
If you have any questions concerning this request, please feel free to contact me at your convenience.

Sincerely,



Russ P. Hugg, PS  
Surv-Tek, Inc.





## City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

November 4, 2009

Russ Hugg  
Surv-Tek, Inc.  
9384 Valley View Dr. NW/87114  
Phone: 505-897-3366/Fax: 505-897-3377

Dear Russ:

Thank you for your inquiry of November 4, 2009 requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **(DRB SUBMITTAL) - TRACTS A-2-B-1 AND B-1-A, DALE J. BELLAMAH'S JEANNEDALE, UNIT 5, LOCATED ON UPTOWN BOULEVARD NE BETWEEN UPTOWN LOOP NE AND SAN PEDRO DRIVE NE** zone map **H-18**.

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

**See attached Uptown NA List for names of neighborhood contacts for this DRB submittal – siw**

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov) or by fax at (505) 924-3913.

Sincerely,

**Stephani J. Winklepleck**

Stephani I. Winklepleck  
Neighborhood Liaison  
OFFICE OF NEIGHBORHOOD COORDINATION  
Planning Department

**PLEASE NOTE:** The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

**LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATION.**

# UPTOWN NEIGHBORHOOD ASSOCIATION LIST

(as of January 27, 2009)

## Alvarado Park Neighborhood Association "R"

Bill Sterchi 5607 Princess Jeanne NE/87110 255-0579 (h) 417-4529 (c)	Natasha Carty 5907 Princess Jeanne NE/87110 268-5049 (h)
---	---

## Classic Uptown Neighborhood Association "R"

Stephen Verchinski 2700 Espanola NE/87110 238-2398 (c)	Patricia Flanagan 2716 Espanola NE/87110 323-2168 (h)
---	--

## Inez Neighborhood Association "R"

Evelyn B. Feltner 2014 Utah St. NE/87110 271-9027 (h)	Bette Weber 1927 Virginia St. NE/87110 292-1756 (h)
--	--

## Jerry Cline Park Neighborhood Association "R"

Julie Jones 7625 Winter Ave. NE/87110 232-4638 (h)	Ron Goldsmith 1216 Alcazar St. NE/87110 232-9516 (h)
---	---

## Quigley Park Neighborhood Association "R"

Winnie Schmidt 2916 Cuervo Dr. NE/87110-3106 881-2155 (h)	Maria Young 2932 Madeira Dr. NE/87110 883-0218 (h)
--	---

## Snow Heights Neighborhood Association "R"

Laura Heitman 8011 Princess Jeanne NE/87110 507-8834 (c)	Nissa Patterson 7708 McKnight NE/87110 259-2074 (c)
---	--

## Uptown Progress Team, Inc. "R"

Marti Partridge 2424 Louisiana NE #300/87110 883-7676 (w)	Marcy Cook 6565 Americas Parkway NE #200/87110 563-5969 (w)
--	--

## Winrock South Neighborhood Association "R"

Richard Peterson 7110 Constitution Ave. NE/87110-7122 321-5432 (message #)	Virginia Kinney 7110 Constitution Ave. NE/87110-7122 321-5432 (message)
---	--

## Zuni Neighborhood Association "R"

Ron Berlnt 7516 Euclid NE/87110 875-1137 (h)	Allan Smith 7522 Euclid NE/87110 837-1752 (h)
---	--



# SURV TEK, INC.

## Consulting Surveyors

9384 Valley View Drive, NW Albuquerque, New Mexico 87114  
Phone: 505-897-3366 Fax: 505-897-3377 E-mail: russhugg@survtek.com

November 5, 2009

### CERTIFIED MAIL - RETURN RECEIPT REQUESTED

Uptown Progress Team, Inc.  
2424 Louisiana NE, Suite 300  
Albuquerque, NM 87110  
Attention: Marti Partridge

RE: Vacation Action for Vacation of a Public Utility Easement within Tract A-2-B-1 of Dale J. Bellamah's Jeannedale, Unit 5, City of Albuquerque, Bernalillo County, New Mexico. City Zone Atlas page H-18.

The owner of the above captioned property, 6301 Uptown, LLC is hereby filing application with the City of Albuquerque Development Review Board for Vacation of an existing 14' Public Utility easement within Tract A-2-B-1 of Dale J. Bellamah's Jeannedale, Unit 5. (See attached Vacation Exhibit)

The application will require a public hearing before the Development Review Board in the DRB Meeting Room in the basement floor of the Plaza Del Sol Building at Second and Roma N.W. The Chair of the Development Review Board, Mr. Jack Cloud, may be contacted at 924-3880 or by mail at P.O. Box 1293, Albuquerque, New Mexico 87103.

If you have any questions or comments on this matter please contact:

Sincerely,

Russ P. Hugg, PS, Agent

Surv-Tek, Inc.  
9384 Valley View Drive N.W.  
Albuquerque, New Mexico 87114  
505 897 3366

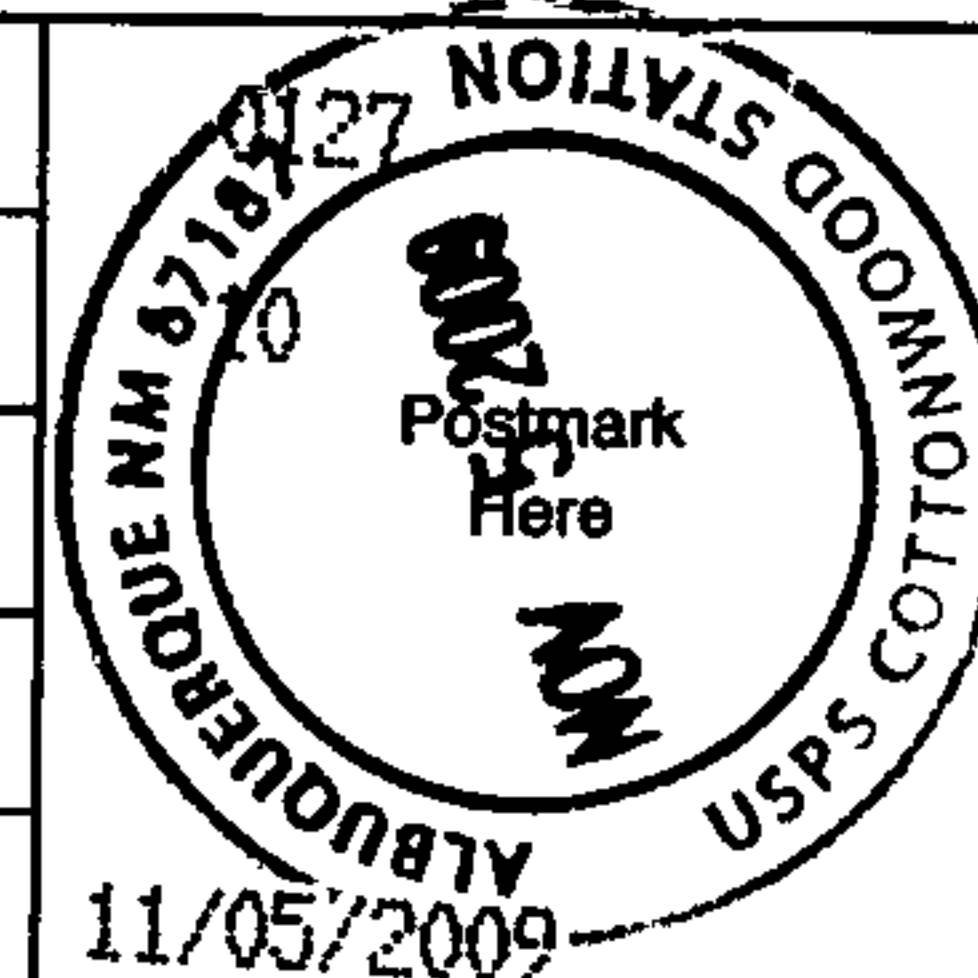
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MARTI PARTRIDGE@UPTOWN PROGRESS TEAM, INC  
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City, State, ZIP+4  
ALBUQUERQUE, NM 87110  
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Consulting Surveyors

9384 Valley View Drive, NW Albuquerque, New Mexico 87114
Phone: 505-897-3366 Fax: 505-897-3377 E-mail: russhugg@survtek.com

November 5, 2009

CERTIFIED MAIL - RETURN RECEIPT REQUESTED

Alvarado Park Neighborhood Association
5607 Princess Jeanne NE
Albuquerque, NM 87110
Attention: Bill Sterchi

RE: Vacation Action for Vacation of a Public Utility Easement
within Tract A-2-B-1 of Dale J. Bellamah's Jeannedale, Unit
5, City of Albuquerque, Bernalillo County, New Mexico. City
Zone Atlas page H-18.

The owner of the above captioned property, 6301 Uptown, LLC is
hereby filing application with the City of Albuquerque Development
Review Board for Vacation of an existing 14' Public Utility easement
within Tract A-2-B-1 of Dale J. Bellamah's Jeannedale, Unit 5.
(See attached Vacation Exhibit)

The application will require a public hearing before the Development
Review Board in the DRB Meeting Room in the basement floor of the
Plaza Del Sol Building at Second and Roma N.W. The Chair of the
Development Review Board, Mr. Jack Cloud, may be contacted at 924-
3880 or by mail at P.O. Box 1293, Albuquerque, New Mexico 87103.

If you have any questions or comments on this matter please contact:

Sincerely,

Russ P. Hugg, PS, Agent

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505 897 3366

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# SURV TEK, INC.

## Consulting Surveyors

9384 Valley View Drive, NW Albuquerque, New Mexico 87114  
Phone: 505-897-3366 Fax: 505-897-3377 E-mail: russhugg@survtek.com

November 5, 2009

### CERTIFIED MAIL - RETURN RECEIPT REQUESTED

Classic Uptown Neighborhood Association  
2700 Espanola NE  
Albuquerque, NM 87110  
Attention: Stephen Verchinski

RE: Vacation Action for Vacation of a Public Utility Easement within Tract A-2-B-1 of Dale J. Bellamah's Jeannedale, Unit 5, City of Albuquerque, Bernalillo County, New Mexico. City Zone Atlas page H-18.

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Russ P. Hugg, PS, Agent

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Street, Apt. No.;  
or PO Box No. 2700 ESPANOLA NE  
City, State, ZIP+4  
ALBUQUERQUE, N M 87110

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## Consulting Surveyors

9384 Valley View Drive, NW Albuquerque, New Mexico 87114  
Phone: 505-897-3366 Fax: 505-897-3377 E-mail: russhugg@survtek.com

November 5, 2009

### CERTIFIED MAIL - RETURN RECEIPT REQUESTED

Alvarado Park Neighborhood Association  
5907 Princess Jeanne NE  
Albuquerque, NM 87110  
Attention: Natasha Carty

RE: Vacation Action for Vacation of a Public Utility Easement within Tract A-2-B-1 of Dale J. Bellamah's Jeannedale, Unit 5, City of Albuquerque, Bernalillo County, New Mexico. City Zone Atlas page H-18.

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Sincerely,

Russ P. Hugg, PS, Agent

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9384 Valley View Drive N.W.  
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or PO Box No. 5907 PRINCESS JEANNE NE  
City, State, ZIP+4  
ALBUQUERQUE, NM 87110

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# SURV TEK, INC.

## Consulting Surveyors

9384 Valley View Drive, NW Albuquerque, New Mexico 87114  
Phone: 505-897-3366 Fax: 505-897-3377 E-mail: russhugg@survtek.com

November 5, 2009

### CERTIFIED MAIL - RETURN RECEIPT REQUESTED

Classic Uptown Neighborhood Association  
2716 Espanola NE  
Albuquerque, NM 87110  
Attention: Patricia Flanagan

RE: Vacation Action for Vacation of a Public Utility Easement within Tract A-2-B-1 of Dale J. Bellamah's Jeannedale, Unit 5, City of Albuquerque, Bernalillo County, New Mexico. City Zone Atlas page H-18.

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If you have any questions or comments on this matter please contact:

Sincerely,

Russ P. Hugg, PS, Agent

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Albuquerque, New Mexico 87114  
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City, State, ZIP+4  
ALBUQUERQUE, NM 87110

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Phone: 505-897-3366 Fax: 505-897-3377 E-mail: russhugg@survtek.com

November 5, 2009

### CERTIFIED MAIL - RETURN RECEIPT REQUESTED

Inez Neighborhood Association  
2014 Utah Street NE  
Albuquerque, NM 87110  
Attention: Evelyn Feltner

RE: Vacation Action for Vacation of a Public Utility Easement within Tract A-2-B-1 of Dale J. Bellamah's Jeannedale, Unit 5, City of Albuquerque, Bernalillo County, New Mexico. City Zone Atlas page H-18.

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If you have any questions or comments on this matter please contact:

Sincerely,

Russ P. Hugg, PS, Agent

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9384 Valley View Drive, NW Albuquerque, New Mexico 87114  
Phone: 505-897-3366 Fax: 505-897-3377 E-mail: russhugg@survtek.com

November 5, 2009

### CERTIFIED MAIL - RETURN RECEIPT REQUESTED

Inez Neighborhood Association  
1927 Virginia Street NE  
Albuquerque, NM 87110  
Attention: Bette Weber

RE: Vacation Action for Vacation of a Public Utility Easement within Tract A-2-B-1 of Dale J. Bellamah's Jeannedale, Unit 5, City of Albuquerque, Bernalillo County, New Mexico. City Zone Atlas page H-18.

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If you have any questions or comments on this matter please contact:

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Russ P. Hugg, PS, Agent

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November 5, 2009

### CERTIFIED MAIL - RETURN RECEIPT REQUESTED

Jerry Cline Park Neighborhood Association  
7625 Winter Avenue NE  
Albuquerque, NM 87110  
Attention: Julie Jones

RE: Vacation Action for Vacation of a Public Utility Easement within Tract A-2-B-1 of Dale J. Bellamah's Jeannedale, Unit 5, City of Albuquerque, Bernalillo County, New Mexico. City Zone Atlas page H-18.

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Russ P. Hugg, PS, Agent

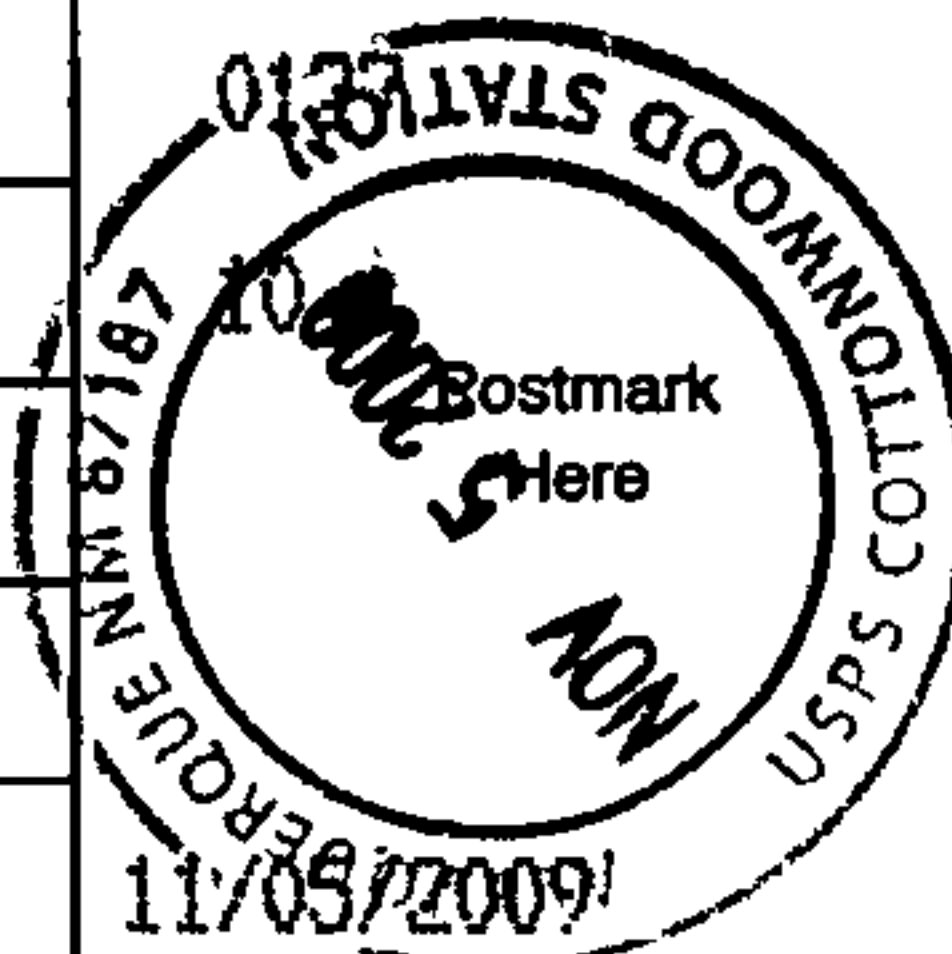
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Street, Apt. No.;  
or PO Box No. 7625 WINTER AVENUE NE  
City, State, ZIP+4  
ALBUQUERQUE, NM 87110



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## Consulting Surveyors

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Phone: 505-897-3366 Fax: 505-897-3377 E-mail: russhugg@survtek.com

November 5, 2009

### CERTIFIED MAIL - RETURN RECEIPT REQUESTED

Zuni Neighborhood Association  
7522 Euclid NE  
Albuquerque, NM 87110  
Attention: Allan Smith

RE: Vacation Action for Vacation of a Public Utility Easement within Tract A-2-B-1 of Dale J. Bellamah's Jeannedale, Unit 5, City of Albuquerque, Bernalillo County, New Mexico. City Zone Atlas page H-18.

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PS Form 3800, June 2002 See Reverse for Instructions



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## Consulting Surveyors

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Phone: 505-897-3366 Fax: 505-897-3377 E-mail: russhugg@survtek.com

November 5, 2009

### CERTIFIED MAIL - RETURN RECEIPT REQUESTED

Winrock South Neighborhood Association  
7110 Constitution Avenue NE  
Albuquerque, NM 87110  
Attention: Virginia Kinney

RE: Vacation Action for Vacation of a Public Utility Easement within Tract A-2-B-1 of Dale J. Bellamah's Jeannedale, Unit 5, City of Albuquerque, Bernalillo County, New Mexico. City Zone Atlas page H-18.

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City, State, ZIP+4  
ALBUQUERQUE, NM 87110

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Phone: 505-897-3366 Fax: 505-897-3377 E-mail: russhugg@survtek.com

November 5, 2009

### CERTIFIED MAIL - RETURN RECEIPT REQUESTED

Winrock South Neighborhood Association  
7110 Constitution Avenue NE  
Albuquerque, NM 87110  
Attention: Richard Peterson

RE: Vacation Action for Vacation of a Public Utility Easement within Tract A-2-B-1 of Dale J. Bellamah's Jeannedale, Unit 5, City of Albuquerque, Bernalillo County, New Mexico. City Zone Atlas page H-18.

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Albuquerque, New Mexico 87114  
505 897 3366

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Restricted Delivery Fee (Endorsement Required)	\$0.00
<b>Total Postage &amp; Fees</b>	<b>\$ 6.32</b>
	
11/05/2009	
Sent To RICHARD PETERSON WINROCK SOUTH NEIGHBORHOOD ASSOC Street, Apt. No.; or PO Box No. 7110 CONSTITUTION AVE NE City, State, ZIP+4 ALBUQUERQUE, NM 87110	
PS Form 3800, June 2002 See Reverse for Instructions	

# SURV TEK, INC.

## Consulting Surveyors

9384 Valley View Drive, NW Albuquerque, New Mexico 87114  
Phone: 505-897-3366 Fax: 505-897-3377 E-mail: russhugg@survtek.com

November 5, 2009

### CERTIFIED MAIL - RETURN RECEIPT REQUESTED

Zuni Neighborhood Association  
7516 Euclid NE  
Albuquerque, NM 87110  
Attention: Ron Berlint

RE: Vacation Action for Vacation of a Public Utility Easement within Tract A-2-B-1 of Dale J. Bellamah's Jeannedale, Unit 5, City of Albuquerque, Bernalillo County, New Mexico. City Zone Atlas page H-18.

The owner of the above captioned property, 6301 Uptown, LLC is hereby filing application with the City of Albuquerque Development Review Board for Vacation of an existing 14' Public Utility easement within Tract A-2-B-1 of Dale J. Bellamah's Jeannedale, Unit 5. (See attached Vacation Exhibit)

The application will require a public hearing before the Development Review Board in the DRB Meeting Room in the basement floor of the Plaza Del Sol Building at Second and Roma N.W. The Chair of the Development Review Board, Mr. Jack Cloud, may be contacted at 924-3880 or by mail at P.O. Box 1293, Albuquerque, New Mexico 87103.

If you have any questions or comments on this matter please contact:

Sincerely,

Russ P. Hugg, PS, Agent

Surv-Tek, Inc.  
9384 Valley View Drive N.W.  
Albuquerque, New Mexico 87114  
505 897 3366

818 3418  
5002 0713 0000 0151 0750 0151 3418 818

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<b>ALBUQUERQUE NM 87110 SPECIAL USE</b>	
Postage	\$ 1.05
Certified Fee	\$ 2.80
Return Receipt Fee (Endorsement Required)	\$ 2.30
Restricted Delivery Fee (Endorsement Required)	\$ 0.00
<b>Total Postage &amp; Fees</b>	<b>\$ 6.15</b>

11/05/2009

Sent To  
RON BERLINT@ ZUNI NEIGHBORHOOD ASSOCIATION  
Street, Apt. No.;  
or PO Box No. 7516 EUCLID NE  
City, State, ZIP+4  
ALBUQUERQUE, NM 87110

PS Form 3800, June 2002 See Reverse for Instructions



# SURV TEK, INC.

## Consulting Surveyors

9384 Valley View Drive, NW Albuquerque, New Mexico 87114  
Phone: 505-897-3366 Fax: 505-897-3377 E-mail: russhugg@survtek.com

November 5, 2009

### CERTIFIED MAIL - RETURN RECEIPT REQUESTED

Uptown Progress Team, Inc.  
6565 Americas Parkway NE, Suite 200  
Albuquerque, NM 87110  
Attention: Marcy Cook

RE: Vacation Action for Vacation of a Public Utility Easement within Tract A-2-B-1 of Dale J. Bellamah's Jeannedale, Unit 5, City of Albuquerque, Bernalillo County, New Mexico. City Zone Atlas page H-18.

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If you have any questions or comments on this matter please contact:

Sincerely,

Russ P. Hugg, PS, Agent

Surv-Tek, Inc.  
9384 Valley View Drive N.W.  
Albuquerque, New Mexico 87114  
505 897 3366

7005 3110 0000 0151 3425

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ALBUQUERQUE NM 87110	
Postage	\$ 1.22
Certified Fee	\$2.80
Return Receipt Fee (Endorsement Required)	\$2.30
Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$ 6.32

ALBUQUERQUE NM 87110 10 NOV 5 2009 POSTMARK HERE

SENT TO: MARCY COOK (UPTOWN PROGRESS TEAM, INC)  
Street, Apt. No.; or PO Box No. 6565 AMERICAS PARKWAY NE, STE 200  
City, State, ZIP+4 ALBUQUERQUE, NM 87110

PS Form 3800, June 2002 See Reverse for Instructions



## Consulting Surveyors

9384 Valley View Drive, NW Albuquerque, New Mexico 87114  
Phone: 505-897-3366 Fax: 505-897-3377 E-mail: russhugg@survtek.com

November 5, 2009

### CERTIFIED MAIL - RETURN RECEIPT REQUESTED

Jerry Cline Park Neighborhood Association  
1216 Alcazar Street NE  
Albuquerque, NM 87110  
Attention: Ron Goldsmith

RE: Vacation Action for Vacation of a Public Utility Easement within Tract A-2-B-1 of Dale J. Bellamah's Jeannedale, Unit 5, City of Albuquerque, Bernalillo County, New Mexico. City Zone Atlas page H-18.

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If you have any questions or comments on this matter please contact:

Sincerely,

Russ P. Hugg, PS, Agent

Surv-Tek, Inc.  
9384 Valley View Drive N.W.  
Albuquerque, New Mexico 87114  
505 897 3366

9662 7966  
4474 4144  
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E000 2003

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Return Receipt Fee (Endorsement Required)	\$2.30
Restricted Delivery Fee (Endorsement Required)	\$0.00
<b>Total Postage &amp; Fees</b>	<b>\$ 6.15</b>

ALBUQUERQUE NM 87110  
ALBUQUERQUE NM 87110  
NOV 5 2009  
USPS COTTONWOOD STATION

Sent To  
RON GOLDSMITH@ JERRY CLINE NEIGHBORHOOD ASSOC  
Street, Apt. No.,  
or PO Box No. 1216 ALCAZAR STREET NE  
City, State, ZIP+4  
ALBUQUERQUE NM 87110

PS Form 3800, June 2002 See Reverse for Instructions

# SURV TEK, INC.

## Consulting Surveyors

9384 Valley View Drive, NW Albuquerque, New Mexico 87114  
Phone: 505-897-3366 Fax: 505-897-3377 E-mail: russhugg@survtek.com

November 5, 2009

### CERTIFIED MAIL - RETURN RECEIPT REQUESTED

Quigley Park Neighborhood Association  
2916 Cuervo Drive NE  
Albuquerque, NM 87110  
Attention: Winnie Schmidt

RE: Vacation Action for Vacation of a Public Utility Easement within Tract A-2-B-1 of Dale J. Bellamah's Jeannedale, Unit 5, City of Albuquerque, Bernalillo County, New Mexico. City Zone Atlas page H-18.

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If you have any questions or comments on this matter please contact:

Sincerely,

Russ P. Hugg, PS, Agent

Surv-Tek, Inc.  
9384 Valley View Drive N.W.  
Albuquerque, New Mexico 87114  
.505 897 3366

7003 1010 0002 8675 4802

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<b>OFFICIAL USE</b>	
Postage	\$ 1.05
Certified Fee	\$ 2.80
Return Receipt Fee (Endorsement Required)	\$ 2.30
Restricted Delivery Fee (Endorsement Required)	\$ 0.00
<b>Total Postage &amp; Fees</b>	<b>\$ 6.15</b>

0127 NM 87187  
10  
Post Office  
Here  
NOV 5 2009  
USPS  
11/05/2009  
NWOOD STATION

Sent To  
WINNIE SCHMIDT@QUIGLEY PARK NEIGHBORHOOD ASSOC  
Street, Apt. No.;  
or PO Box No. 2916 CUERVO DRIVE NE  
City, State, ZIP+4  
ALBUQUERQUE, NM 87110

PS Form 3800, June 2002 See Reverse for Instructions

# SURV TEK, INC.

## Consulting Surveyors

9384 Valley View Drive, NW Albuquerque, New Mexico 87114  
Phone: 505-897-3366 Fax: 505-897-3377 E-mail: russhugg@survtek.com

November 5, 2009

### CERTIFIED MAIL - RETURN RECEIPT REQUESTED

Quigley Park Neighborhood Association  
2932 Madeira Drive NE  
Albuquerque, NM 87110  
Attention: Maria Young

RE: Vacation Action for Vacation of a Public Utility Easement within Tract A-2-B-1 of Dale J. Bellamah's Jeannedale, Unit 5, City of Albuquerque, Bernalillo County, New Mexico. City Zone Atlas page H-18.

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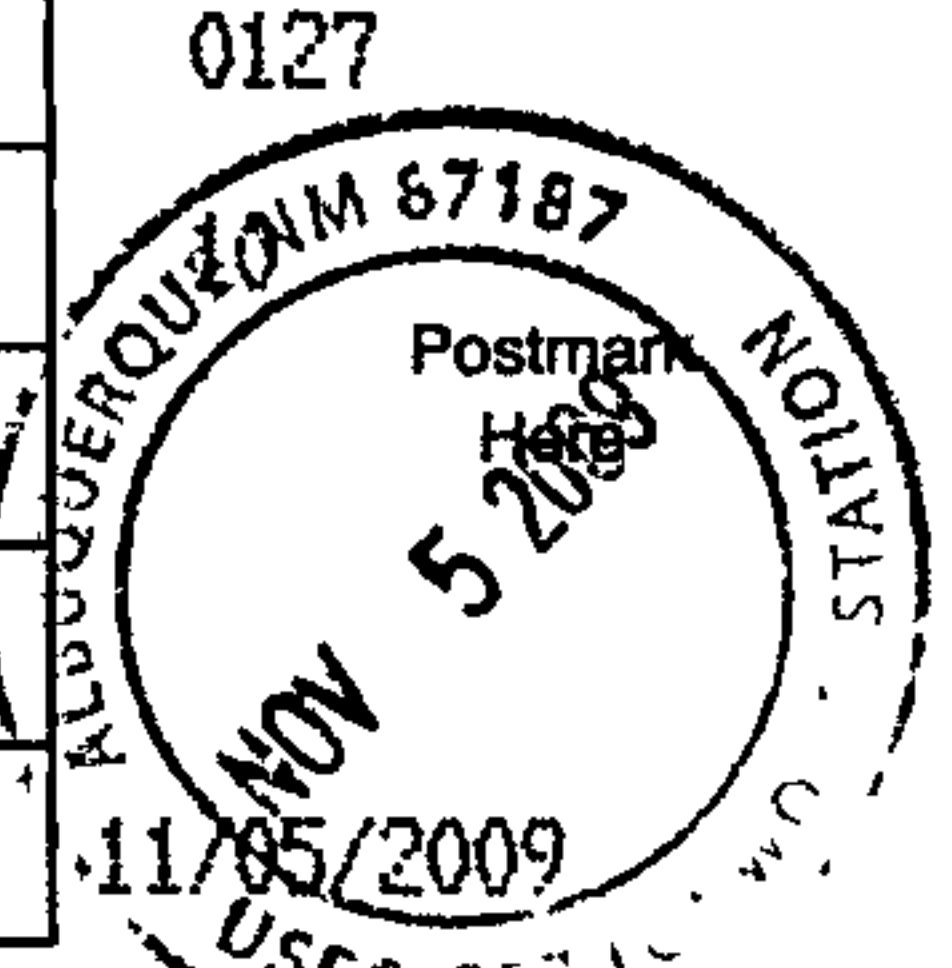
If you have any questions or comments on this matter please contact:

Sincerely,

Russ P. Hugg, PS, Agent

Surv-Tek, Inc.  
9384 Valley View Drive N.W.  
Albuquerque, New Mexico 87114  
505 897 3366

9579 5299 8675 2000 0101 0002

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Postage	\$ 1.05	0127 
Certified Fee	\$2.80	
Return Receipt Fee (Endorsement Required)	\$2.30	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
<b>Total Postage &amp; Fees</b>	<b>\$ 6.15</b>	
Sent To MARIA YOUNG @ QUIGLEY PARK NEIGHBORHOOD ASSOC Street, Apt. No.; or PO Box No. 2932 MADERIA DRIVE NE City, State, ZIP+4 ALBUQUERQUE, NM 87110		
PS Form 3800, June 2002		See Reverse for Instructions





Consulting Surveyors

9384 Valley View Drive, NW Albuquerque, New Mexico 87114
Phone: 505-897-3366 Fax: 505-897-3377 E-mail: russhugg@survtek.com

November 5, 2009

CERTIFIED MAIL - RETURN RECEIPT REQUESTED

Snow Heights Neighborhood Association
8011 Princess Jeanne NE
Albuquerque, NM 87110
Attention: Laura Heitman

RE: Vacation Action for Vacation of a Public Utility Easement
within Tract A-2-B-1 of Dale J. Bellamah's Jeannedale, Unit
5, City of Albuquerque, Bernalillo County, New Mexico. City
Zone Atlas page H-18.

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hereby filing application with the City of Albuquerque Development
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within Tract A-2-B-1 of Dale J. Bellamah's Jeannedale, Unit 5.
(See attached Vacation Exhibit)

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Plaza Del Sol Building at Second and Roma N.W. The Chair of the
Development Review Board, Mr. Jack Cloud, may be contacted at 924-
3880 or by mail at P.O. Box 1293, Albuquerque, New Mexico 87103.

If you have any questions or comments on this matter please contact:

Sincerely,

Russ P. Hugg, PS, Agent

Surv-Tek, Inc.
9384 Valley View Drive N.W.
Albuquerque, New Mexico 87114
505 897 3366

7003 1010 0002 8675 4826

U.S. Postal Service CERTIFIED MAIL RECEIPT
(Albuquerque, NM 87110)
Postage \$1.05, Certified Fee \$2.80, Return Receipt Fee \$2.30, Restricted Delivery Fee \$0.00, Total \$6.15
Postmark: NOV 5 2009
Sent To: LAURA HEITMAN @ SNOW HEIGHTS NEIGHBORHOOD ASSOC
8011 PRINCESS JEANNE NE
ALBUQUERQUE, NM 87110



Consulting Surveyors

9384 Valley View Drive, NW Albuquerque, New Mexico 87114
Phone: 505-897-3366 Fax: 505-897-3377 E-mail: russhugg@suvtek.com

November 5, 2009

CERTIFIED MAIL - RETURN RECEIPT REQUESTED

Snow Heights Neighborhood Association
7708 McKnight NE
Albuquerque, NM 87110
Attention: Nissa Patterson

RE: Vacation Action for Vacation of a Public Utility Easement
within Tract A-2-B-1 of Dale J. Bellamah's Jeannedale, Unit
5, City of Albuquerque, Bernalillo County, New Mexico. City
Zone Atlas page H-18.

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within Tract A-2-B-1 of Dale J. Bellamah's Jeannedale, Unit 5.
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If you have any questions or comments on this matter please contact:

Sincerely,

Russ P. Hugg, PS, Agent

Surv-Tek, Inc.
9384 Valley View Drive N.W.
Albuquerque, New Mexico 87114
505 897 3366

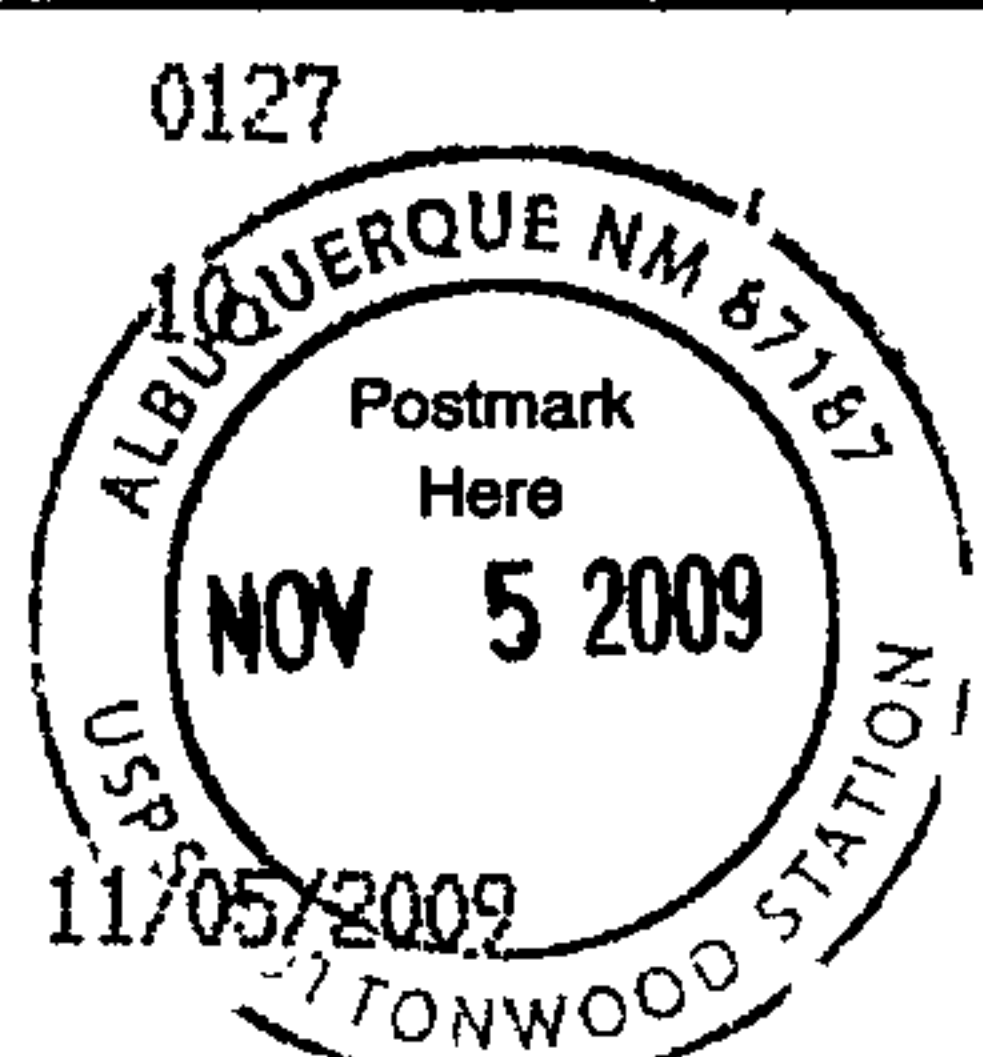
Vertical barcode text: 7002 1010 0002 8675 4833

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ALBUQUERQUE NM 87110 OFFICIAL USE

Table with 2 columns: Fee Type and Amount. Rows include Postage (\$1.05), Certified Fee (\$2.80), Return Receipt Fee (\$2.30), Restricted Delivery Fee (\$0.00), and Total Postage & Fees (\$6.15).



Sent To: NISSA PATTERSON @ SNOW HEIGHTS NEIGHBORHOOD
Street, Apt. No.: 7708 MCKNIGHT NE
City, State, ZIP+4: ALBUQUERQUE NM 87110

October 29, 2009

Mr. Russ Hugg  
Surv-Tek, Inc.  
5643 Paradise Blvd. N.W.  
Albuquerque, New Mexico 87114

RE: Tracts A-2-B-1 and B-1-A of Dale J. Bellamah's  
Jeannedale, Unit 5, City of Albuquerque, Bernalillo  
County, New Mexico.

Dear Russ:

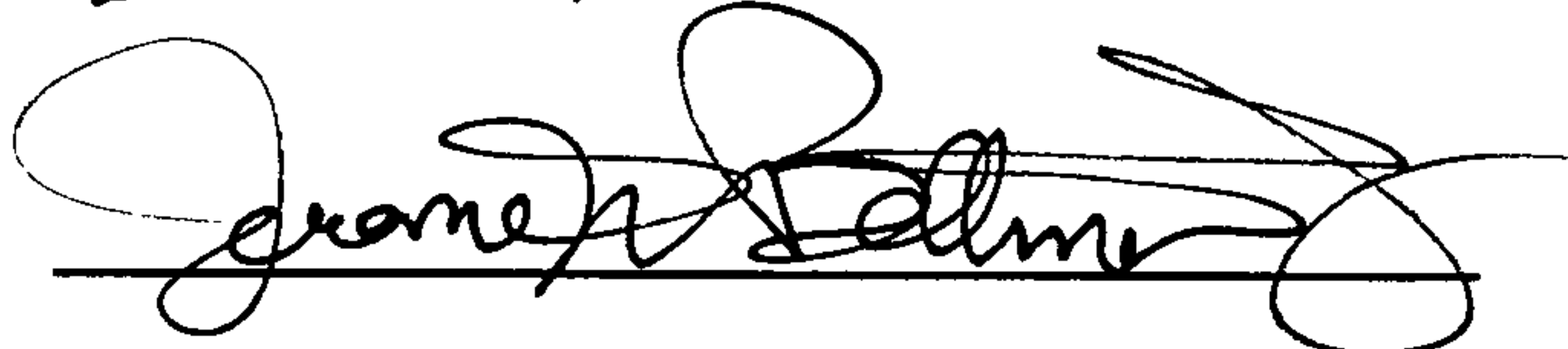
By this letter, I hereby authorize you to act as our agent for  
the purpose of Vacation of an existing 14' Utility Easement  
and subsequent replatting the above described real estate.

Please call me if you have any further questions.

Sincerely,



6301 UPTOWN, LLC



By: Jerome W. Bettman, Jr., Managing member



# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

#### 1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

#### 2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

#### 3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.


#### 4. TIME


Signs must be posted from November 17, 2009 To December 2, 2009

#### 5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

 11-6-09  
(Applicant or Agent) (Date)

I issued 2 signs for this application, 11-6-09   
(Date) (Staff Member)

DRB PROJECT NUMBER: 1008060

# SURV TEK, INC.

Consulting Surveyors

9384 Valley View Dr. NW Albuquerque, New Mexico 87114  
 Phone: 505-897-3366 Fax: 505-897-3377

## LETTER OF TRANSMITTAL

TO DESIGN REVIEW BOARD  
PLAZA DEL SOL BUILDING  
600 2ND STREET NW  
 ATTN: JACK CLOUD - CHAIR

DATE 12.8.09 JOB NO \_\_\_\_\_  
 RE TRACTS A-2-B-1-A AND  
B-1-A-1, DALE J BELLAMAH'S  
JEANNE DALE UNIT 5  
 FROM RUSS HUGG

DRB-1008060

VIA:  Parcel Post  First Class  Air Mail  Special Delivery  Messenger \_\_\_\_\_  
 Air Freight via  RR Express  Other \_\_\_\_\_

GENTLEMEN: WE ARE SENDING YOU  Attached  Under separate cover \_\_\_\_\_  
 Shop drawings  Prints  Plans  Samples  Specifications  
 Copy of letter  Change order  Payrolls  \_\_\_\_\_

QUANT.	DATED	NO.	DESCRIPTION
1-			PRINT OF REVISED PLAT SHEET 3 SHOWING NEW PUE GRANTED
1-			E-MAIL ACCEPTANCE FROM PNM

THESE ARE TRANSMITTED as checked below:

- For approval
- For your use & information
- As requested
- For review and comment
- FOR BIDS DUE \_\_\_\_\_ 20 \_\_\_\_\_
- Approved as submitted
- Approved as noted
- Returned for corrections
- \_\_\_\_\_
- Resubmit
- Submit
- Return
- copies for approval
- copies for distribution
- corrected prints
- PRINTS RETURNED AFTER LOAN TO US

REMARKS \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

COPY TO \_\_\_\_\_ SIGNED \_\_\_\_\_

# SURV TEK, INC.

Consulting Surveyors

9384 Valley View Dr. NW Albuquerque, New Mexico 87114  
 Phone: 505-897-3366 Fax: 505-897-3377

## LETTER OF TRANSMITTAL

DATE 12.8.09 | JOB NO \_\_\_\_\_

RE TRACTS A-2-B-1-A AND

B-1-A-1. DALE J BELLAMAT/S

JEANNEDALE UNIT 5

FROM \_\_\_\_\_

RUSS HUGG

TO DESIGN REVIEW BOARD

PLAZA DEL SOL BUILDING

600 2ND STREET NW

ATTN: JACK CLOUD - CHAIR

DRB 1008060

VIA:  Parcel Post  First Class  Air Mail  Special Delivery  Messenger \_\_\_\_\_  
 Air Freight via \_\_\_\_\_  RR Express  Other \_\_\_\_\_

GENTLEMEN: WE ARE SENDING YOU  Attached  Under separate cover \_\_\_\_\_

- Shop drawings  Prints  Plans  Samples  Specifications
- Copy of letter  Change order  Payrolls  \_\_\_\_\_

QUANT.	DATED	NO.	DESCRIPTION
1-			PRINT OF REVISED PLAT SHEET 3 SHOWING NEW PUE GRANTED
1-			E-MAIL ACCEPTANCE FROM PNM

THESE ARE TRANSMITTED as checked below:

- For approval  Approved as submitted  Resubmit  copies for approval
- For your use & information  Approved as noted  Submit  copies for distribution
- As requested  Returned for corrections  Return  corrected prints
- For review and comment  \_\_\_\_\_
- FOR BIDS DUE \_\_\_\_\_ 20 \_\_\_\_\_  PRINTS RETURNED AFTER LOAN TO US

REMARKS \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

COPY TO \_\_\_\_\_ SIGNED \_\_\_\_\_





# DRB CASE ACTION LOG

REVISED 10/08/07

(Prel / Final)

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 09DRB-70845 Project # 10080610  
 Project Name: DALE J. BELLAMAH'S JEANNEDALE UNIT 5  
 Agent: SUBN-TAK Phone No.:

Your request was approved on 12-9-09 by the DRB with delegation of signature(s) to the following departments.

### OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

UTILITIES: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

CITY ENGINEER / AMAFCA: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PARKS / CIP: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PLANNING (Last to sign): - AM NECK signature  
 \_\_\_\_\_  
 \_\_\_\_\_

- Planning must record this plat. Please submit the following items:**
- The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** \_\_\_\_\_
  - Tax printout from the County Assessor.
  - 3 copies of the approved site plan. Include all pages.**
  - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
  - Property Management's signature must be obtained prior to Planning Department's signature.**
  - AGIS DXF File approval required.**
  - Copy of recorded plat for Planning.**