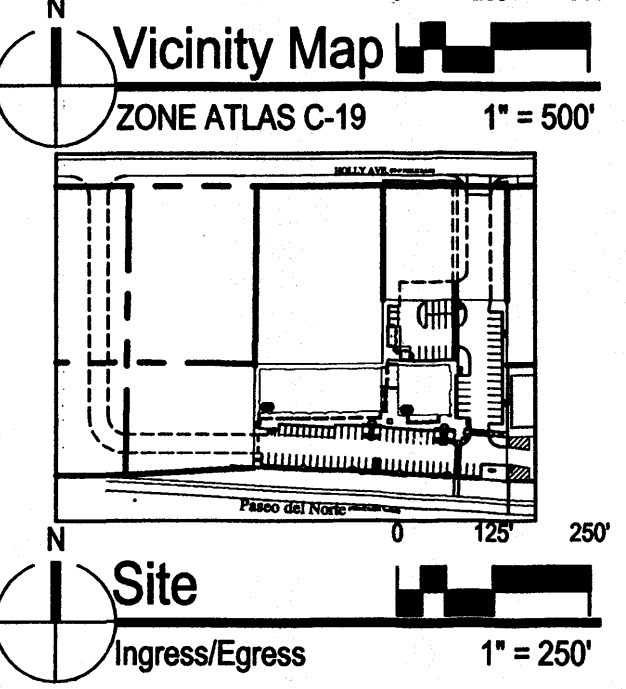
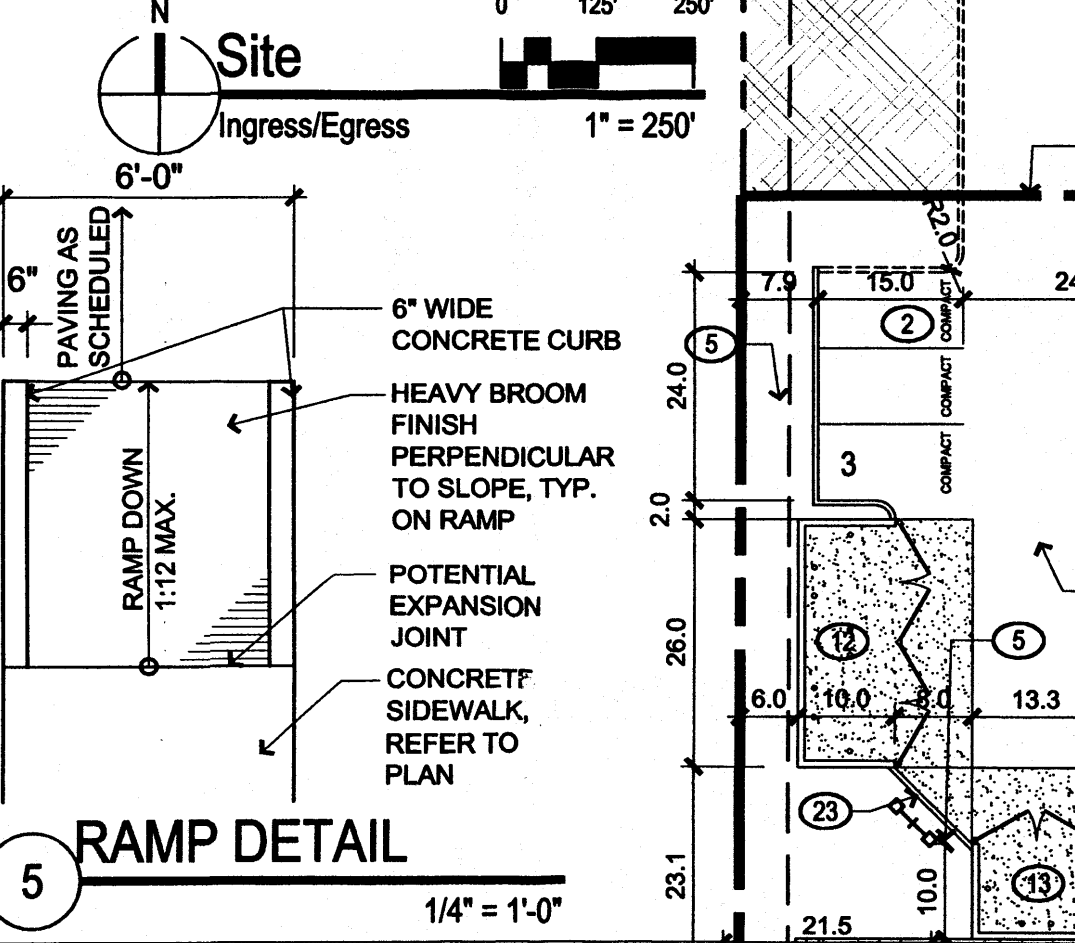
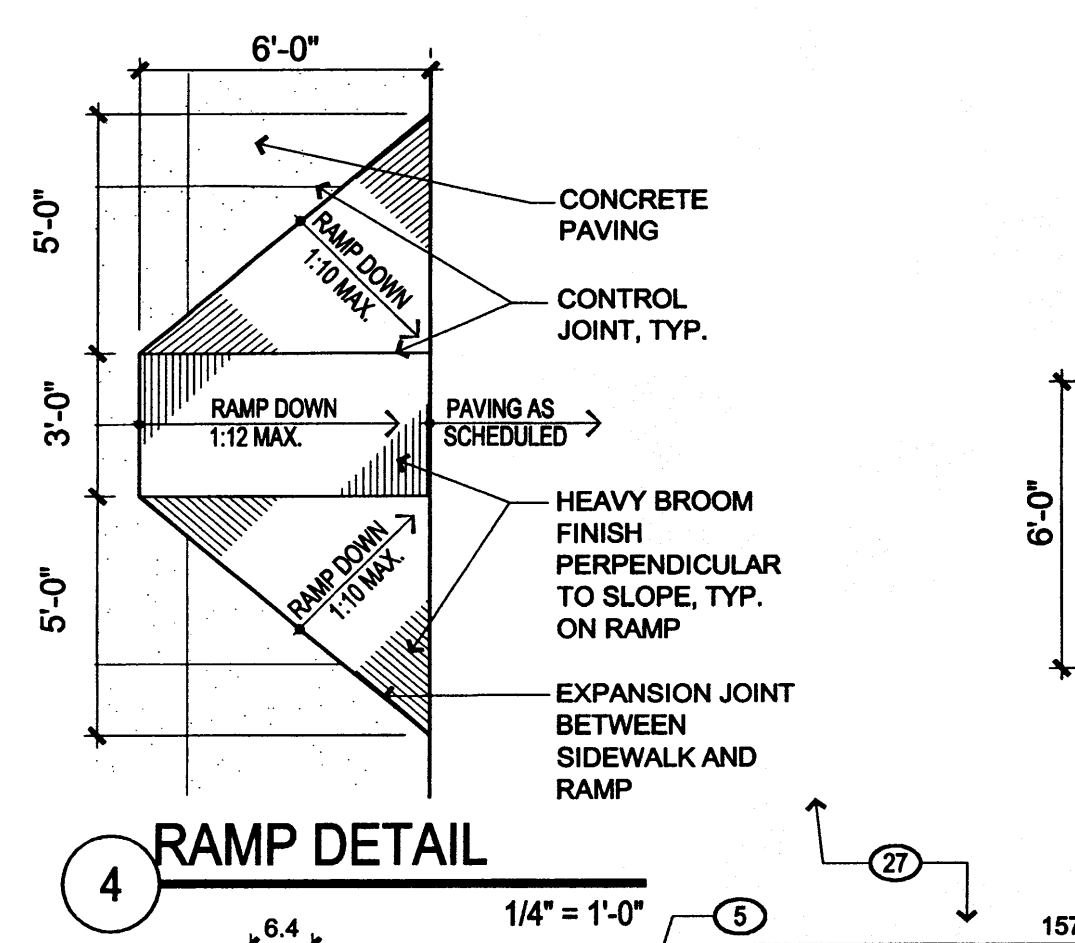
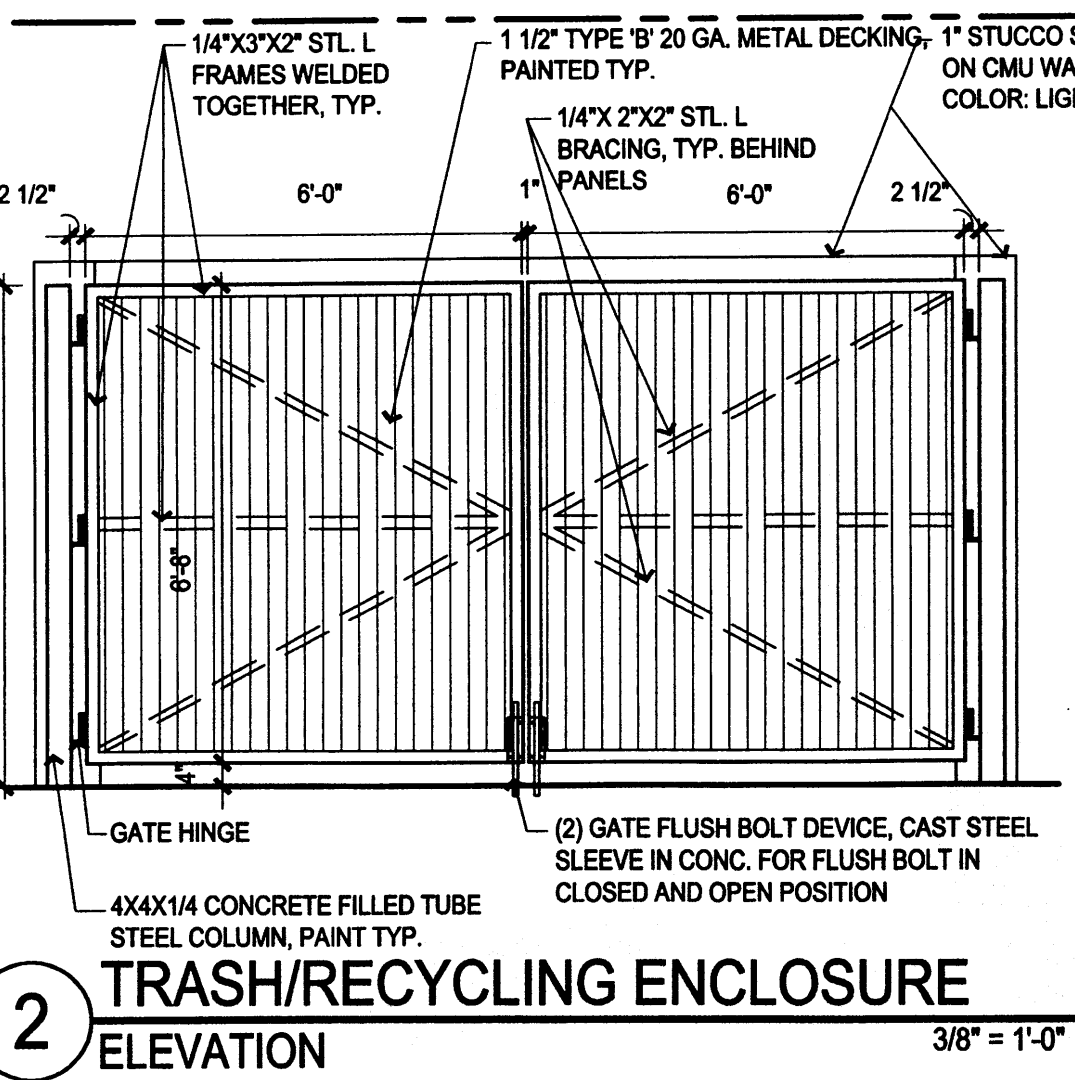
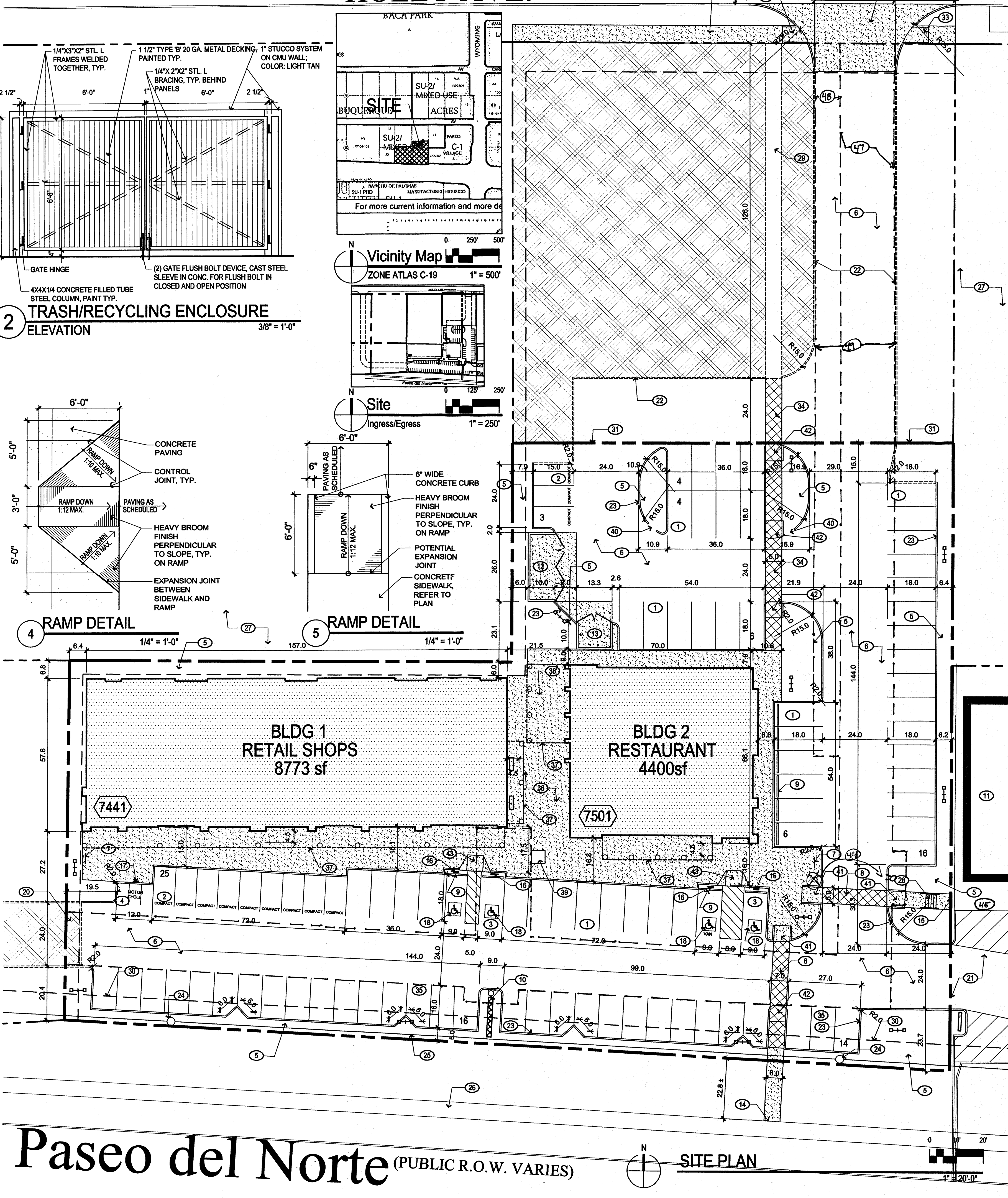


# HOLLY AVE. (60'-0" PUBLIC R.O.W.)



## GENERAL NOTES

- A. SITE PLAN SHALL BE DESIGNED & BUILT TO CURRENT DPM STANDARDS.
- B. SEE CIVIL PLANS FOR ADDITIONAL GRADING, DRAINAGE AND UTILITY INFORMATION.
- C. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- D. ALL CURBS AND ACCESSIBLE RAMP SHALL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- E. ALL FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT, THE CITY OF ALBUQUERQUE ZONING CODE, SECTION 14-16-3-9 AREA LIGHTING REGULATIONS, AND THE LA CUEVA SDP LIGHTING REGULATIONS.
- F. LIGHTING WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE SUBJECT TO THE STANDARDS AND REVIEW OF PNM, UNLESS MAINTENANCE FOR RIGHT-OF-WAY LIGHTING IS THE FULL RESPONSIBILITY OF OTHER PARTIES.
- G. LIGHTING DESIGN FOR PARKING AREAS SHALL BE LIGHTED TO PROVIDE FUNCTIONAL, ATTRACTIVE, AND UNIFIED LIGHTING THROUGHOUT THE LOT AND BE EXTINGUISHED ONE HOUR AFTER THE CLOSE OF BUSINESS, EXCEPT AS NEEDED TO PROVIDE FOR MINIMUM SECURITY LEVELS.
- H. THE CLOSEST BUS STOP IS LOCATED ON THE NORTHWEST SIDE OF THE HOLLY AVE. AND WYOMING BLVD. INTERSECTION; APPROXIMATELY 700 FT. FROM THE SITE.
- J. BUILDING PARAPETS SHALL TOTALLY SCREEN ALL ROOF TOP UNITS AND EQUIPMENT FROM SIGHT.
- K. THE MAXIMUM INDIVIDUAL LETTER SIZE OF ALL BUILDING MOUNTED SIGNAGE SHALL NOT EXCEED 2'-0" IN HEIGHT. LOGO DESIGN SIGNS SHALL COMPLY WITH 13R-9 OF THE LA CUEVA SDP. ALL SIGNS SHALL FOLLOW THE LA CUEVA SDP SIGNAGE REGULATIONS.
- L. ALL NEW UTILITIES SHALL BE PLACED UNDERGROUND PER 11R-2 OF THE LA CUEVA SDP.
- M. IF A FREE STANDING SIGN ON LOT 20 IS APPROVED BY ZHE, THE TOTAL SIGN FACE AREA OF BUILDING MOUNTED SIGNS ON LOT 20 SHALL NOT EXCEED 12.5% OF THE TOTAL FACADE AREA FOR THE SOUTHERN ELEVATIONS AND 10% OF THE TOTAL FACADE AREA FOR THE OTHER ELEVATIONS. THE TOTAL SIGN FACE AREA OF EACH TENANT'S BUILDING MOUNTED SIGNS SHALL NOT EXCEED 12.5% OF THE FACADE AREA OF EACH TENANT'S PREMISES FOR SOUTH ELEVATIONS AND 10% FOR OTHER ELEVATIONS.
- N. ALL SIGNAGE TO PROVIDE MINIMUM CONTRAST OF 70% BETWEEN GRAPHICS AND BACKGROUND PER ADA.
- P. EXISTING UTILITY EASEMENTS OR RIGHT-OF-WAY SHALL BE DETERMINED IF THEY ARE LOCATED ON OR ADJACENT TO THE PROPERTY AND TO ABIDE BY ANY CONDITIONS OR TERMS OF THOSE EASEMENTS OR AGREEMENTS.
- Q. PNM'S NEW SERVICE DELIVERY DEPARTMENT SHALL BE CONTACTED TO COORDINATE ELECTRIC SERVICE.
- R. SCREENING SHALL BE DESIGNED TO ALLOW ACCESS TO UTILITY FACILITIES. ADEQUATE CLEARANCE SURROUNDING GROUND MOUNTED UTILITIES FOR SAFE OPERATION AND MAINTENANCE SHALL BE 10 FT. FRONT OF DOOR AND 5 FT. ON THE OTHER SIDES.
- S. PNM'S NEW SERVICE DELIVERY DEPARTMENT SHALL BE CONTACTED REGARDING COORDINATION OF PROPOSED TREE SPECIES, PLACEMENT, MATURITY HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES AND TO AVOID INTERFERENCE WITH THE EXISTING DISTRIBUTION FACILITIES ALONG PASEO DEL NORTE AND THE SOUTHERN BOUNDARY OF THE SITE.
- T. USES SHALL COMPLY AT MINIMUM WITH SU-2/MIXED USE ZONING (SECTION 5.4.5, LA CUEVA SDP 2000, REVISED 2003).
- U. THE FREE STANDING SIGN SHOWN ON THE SITE DEVELOPMENT PLAN IS NOT ALLOWED UNLESS A VARIANCE IS OBTAINED FROM THE ZHE.

## KEYED NOTES

1. TYPICAL PARKING SPACE; 9'-0"x18'-0"
2. TYPICAL COMPACT PARKING SPACE; 8'-0"x15'-0"
3. TYPICAL ADA PARKING SPACE; 9'-0"x20'-0"
4. TYPICAL MOTORCYCLE PARKING SPACE; 4'-0"x8'-0"
5. LANDSCAPED AREA; REFER TO LANDSCAPE PLAN
6. ASPHALT PAVING
7. METAL BIKE RACK
8. 6'-0" WIDE PEDESTRIAN CROSSWALK. COLOR AND TEXTURE PATTERN TO DIFFERENTIATE FROM SURROUNDING ASPHALT PAVING.
9. CONCRETE WHEEL STOP TYPICAL
10. PROPOSED MONUMENT SIGN; ELEVATIONS SUBMITTED TO ZHE FOR APPROVAL.
11. EXISTING RETAIL BUILDING
12. REFUSE ENCLOSURE FOR SOLID WASTE DISPOSAL; REFER 2/SHT.1
13. REFUSE ENCLOSURE FOR RECYCLABLE MATERIAL DISPOSAL; REFER 2/SHT.1
14. 6'-0" WIDE CONCRETE SIDEWALK TO CONNECT TO EXISTING SIDEWALK ALONG STREET.
15. 6'-0" WIDE CONCRETE SIDEWALK TO CONNECT TO EXISTING CONCRETE SIDEWALK IN ADJACENT DEVELOPMENT.
16. POLE MOUNTED ADA SIGNAGE
17. POLE MOUNTED MOTORCYCLE PARKING SIGNAGE
18. PAINTED ADA PAVEMENT SIGNAGE
19. CONCRETE DRIVEPAD, SEE COA STANDARD DRAWING #2426
20. FUTURE SITE INGRESS/EGRESS; CONNECT DRIVE TO HOLLY AVE. THROUGH ADJACENT UNDEVELOPED PROPERTY. CONNECTION WILL ALSO INCLUDE PEDESTRIAN ACCESS.
21. SITE INGRESS/EGRESS; CONNECT TO EXISTING ADJACENT RETAIL DEVELOPMENT PARKING AREA. ADD CONCRETE CURB AROUND EXISTING FREESTANDING SIGN, CLEAR 24 FT. WIDE DRIVE THROUGH EXISTING STRIPED AREA TO CONNECT TO RETAIL PARKING AREA.
22. TEMPORARY ASPHALT CURB.
23. CONCRETE CURB
24. EXISTING UTILITY POLE
25. EXISTING OVERHEAD UTILITIES
26. EXISTING CONCRETE SIDEWALK
27. UNDEVELOPED PROPERTY
28. CONCRETE STAIRS WITH PAINTED METAL HAND RAIL.
29. TEMPORARY ASPHALT PEDESTRIAN PATH
30. EXISTING 10'-0" PUBLIC UTILITY EASEMENT
31. PROPOSED NEW LOT LINE ADJUSTMENT PER THIS SUBMITTAL.
32. NEW 6'-0" WIDE CONCRETE SIDEWALK FRONTING HOLLY AVE.
33. NEW CONCRETE ADA RAMP WITH TRUNCATED DOMES PER COA STANDARD DRAWING #2426. 1:12 MAXIMUM SLOPE.
34. 6'-0" PEDESTRIAN PATHWAY. COLOR AND TEXTURE PATTERN TO DIFFERENTIATE FROM SURROUNDING ASPHALT PAVING.
35. TYPICAL PARKING SPACE FRONTING PASEO DEL NORTE; 9'-0"x16'-0".
36. PLAZA AREA WITH BENCHES; 1320 sf TOTAL OUTDOOR SPACE INCLUDING RESTAURANT PATIO.
37. STEEL TRELLIS ABOVE.
38. COVERED PATIO AREA FOR RESTAURANT.
39. LANDSCAPE AREA FOR SHADE TREE.
40. CONCRETE CURB CUT FOR WATER RUNOFF STORAGE.
41. NEW CONCRETE RAMP; REFER DETAIL 5/SHEET 1.
42. SIMILAR NEW CONCRETE RAMP; REFER DETAIL 5/SHEET 1.
43. NEW CONCRETE RAMP; REFER DETAIL 4/SHEET 1.
44. REDUCED FIRE HYDRANT

## SITE DATA

**LEGAL DESCRIPTION:**  
PART OF LOT 13, LOTS 20 AND 21, BLOCK 10, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

**ZONE:**  
SU-2 Mixed Use

**GROSS F.A.R. (GBA/SITE AREA):**  
13,173sf/61,345sf = 0.214

**SITE AREA:**  
61,345sf - 1.40 ACRES

**GROSS BUILDING AREA:**  
RETAIL BLDG. (1-STORY) - 8,773sf  
RESTAURANT (1-STORY) - 4,400sf  
TOTAL (GBA) - 13,173sf

## PARKING INFORMATION

**PARKING REQUIRED:**  
RETAIL BLDG. (M OCCUP.) - 8,600 net sf/200 = 43 SPACES  
RESTAURANT (A-2 OCCUP.) - 4,400sf/204 SEATS (1 PER 4) = 51 SPACES  
TOTAL SPACES REQUIRED - 94  
PARKING PROVIDED: 94 SPACES  
(MORE SPACES PROVIDED WITH SHARED PARKING AGREEMENT WITH ADJACENT RETAIL DEVELOPMENT).

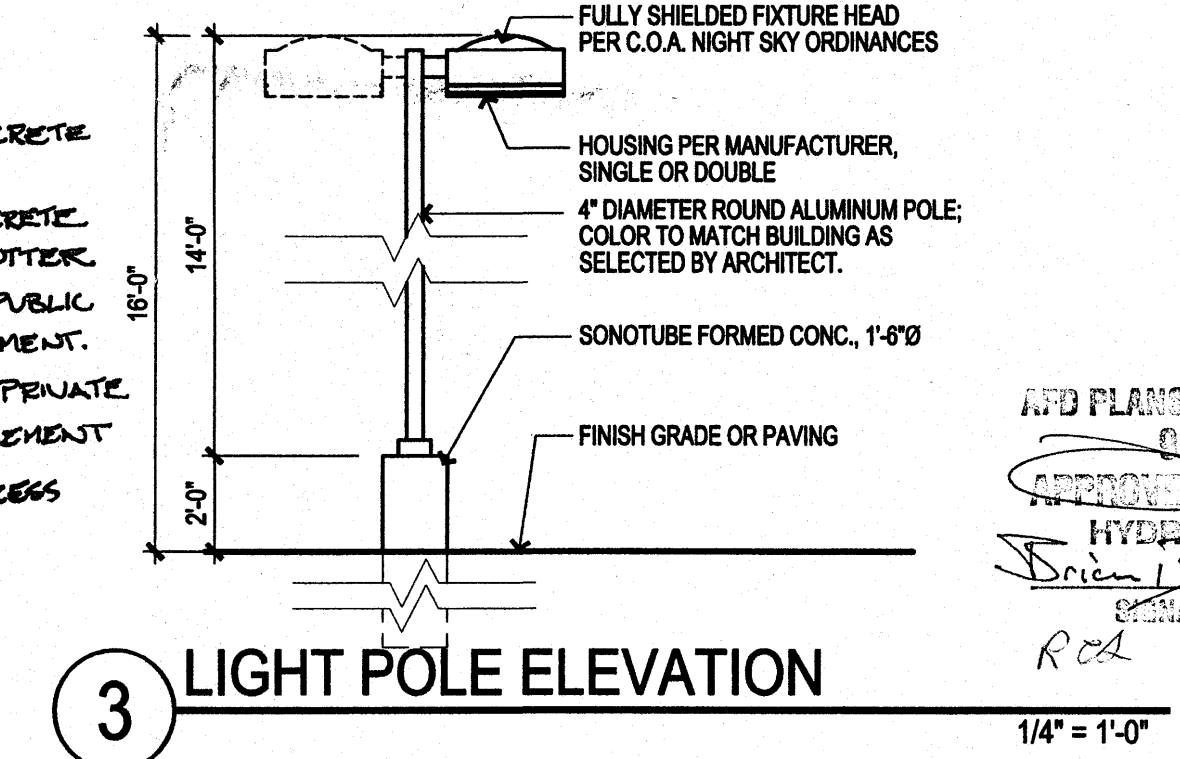
**ACCESSIBLE PARKING REQUIRED:**  
51-100 SPACES = 4 ACCESSIBLE SPACES  
**ACCESSIBLE PARKING PROVIDED:**  
4 SPACES, 2 VAN ACCESSIBLE

**MOTORCYCLE PARKING REQUIRED:**  
51-100 SPACES = 3 SPACES  
**MOTORCYCLE PARKING PROVIDED:**  
3 SPACES

**BICYCLE PARKING REQUIRED:**  
1:20 AUTOMOBILES = 5 SPACES  
**BICYCLE PARKING PROVIDED:**  
5 SPACES

## LEGEND

- PROPERTY LINE
- - - BUILDING SETBACK
- [Hatched] EXTENT OF CONCRETE WORK
- [Symbol] POLE MOUNTED PARKING LIGHT; 16'-0" MAX. HEIGHT. RE: DETAIL 3/SHEET 1.
- [Symbol] FIRE HYDRANT
- [Symbol] POTENTIAL FUTURE PHASE PROPERTY



**FORMER PROJECT NUMBER:** 1003532  
**PROJECT NUMBER:** 1008069  
**APPLICATION NUMBER:** 09EPC-40063/10DRB-70026

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated December 17, 2009 and the findings and conditions in the official notification of decision are satisfied.

Is an Infrastructure List Required? (X) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

## DRB SITE DEVELOPMENT PLAN APPROVAL:

APPROVED BY	DATE
<i>[Signature]</i>	02/17/10
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	
<i>[Signature]</i>	2/17/10
ABCWUA	
<i>[Signature]</i>	2/17/10
PARKS AND RECREATION DEPARTMENT	
<i>[Signature]</i>	5/17/10
CITY ENGINEER	
<i>[Signature]</i>	2-1-10
SOLID WASTE MANAGEMENT	
<i>[Signature]</i>	05-17-10
DRB CHAIRPERSON, PLANNING DEPARTMENT	

**Paseo del Norte (PUBLIC R.O.W. VARIES)**

## SITE PLAN

**Dekker Perich Sabatini**

7601 Jefferson NE Suite 100  
Albuquerque, NM 87109  
505 761-9700  
fax 761-4222  
dps@dpsdesign.org

ARCHITECT

ENGINEER

PROJECT

APPROVED FOR HYDRAULIC(S) ONLY  
*[Signature]*  
2/11/10

**REVISIONS**

NO.	DATE	DESCRIPTION
1	1/4/2010	EPC Conditions of Approval

**DRAWN BY**  
**REVIEWED BY**  
**DATE** February 2, 2010  
**PROJECT NO.** 09-0055  
**DRAWING NAME**

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

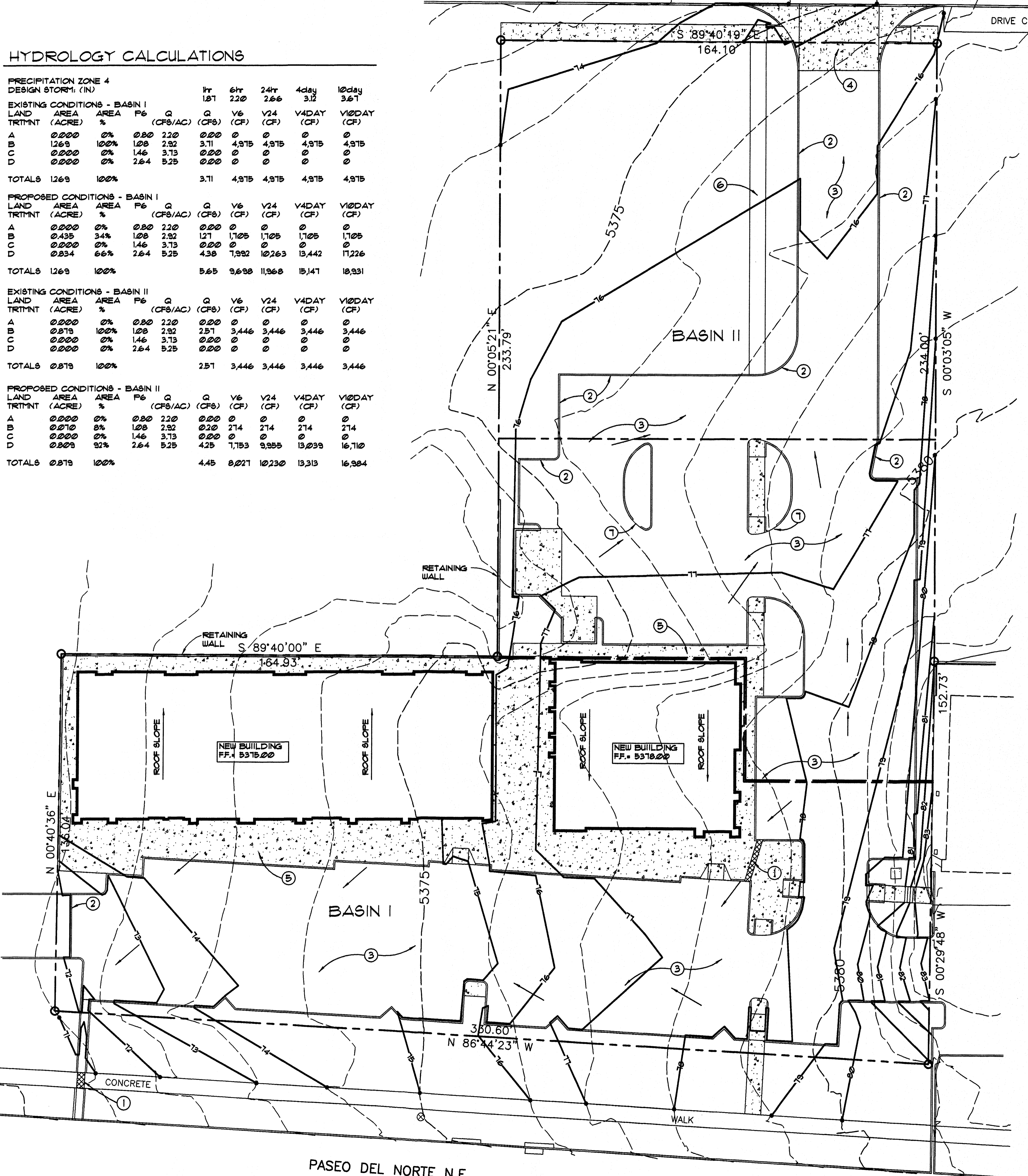
**SHEET NO.**

PROJECT # 1008069

7441 & 7501  
Paseo Del Norte  
Albuquerque, New Mexico 87113

**HYDROLOGY CALCULATIONS**

PRECIPITATION ZONE 4 DESIGN STORM: (IN)									
EXISTING CONDITIONS - BASIN I		1hr	6hr	24hr	4day	10day			
LAND TRMT	AREA (ACRE)	F6 (%)	Q (CF8/AC)	Q (CF8)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)	
A	0.000	0%	0.20	2.20	0.00	0	0	0	0
B	1.269	100%	1.08	2.92	3.71	4.975	4.975	4.975	4.975
C	0.000	0%	1.46	3.73	0.00	0	0	0	0
D	0.000	0%	2.64	5.25	0.00	0	0	0	0
<b>TOTALS</b>	<b>1.269</b>	<b>100%</b>			<b>3.71</b>	<b>4.975</b>	<b>4.975</b>	<b>4.975</b>	<b>4.975</b>
PROPOSED CONDITIONS - BASIN I									
LAND TRMT	AREA (ACRE)	F6 (%)	Q (CF8/AC)	Q (CF8)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)	
A	0.000	0%	0.20	2.20	0.00	0	0	0	0
B	0.435	34%	1.08	2.92	1.21	1,105	1,105	1,105	1,105
C	0.000	0%	1.46	3.73	0.00	0	0	0	0
D	0.834	66%	2.64	5.25	4.38	7,992	10,263	13,442	17,226
<b>TOTALS</b>	<b>1.269</b>	<b>100%</b>			<b>5.65</b>	<b>9,698</b>	<b>11,968</b>	<b>15,141</b>	<b>18,931</b>
EXISTING CONDITIONS - BASIN II									
LAND TRMT	AREA (ACRE)	F6 (%)	Q (CF8/AC)	Q (CF8)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)	
A	0.000	0%	0.20	2.20	0.00	0	0	0	0
B	0.879	100%	1.08	2.92	2.91	3,446	3,446	3,446	3,446
C	0.000	0%	1.46	3.73	0.00	0	0	0	0
D	0.000	0%	2.64	5.25	0.00	0	0	0	0
<b>TOTALS</b>	<b>0.879</b>	<b>100%</b>			<b>2.91</b>	<b>3,446</b>	<b>3,446</b>	<b>3,446</b>	<b>3,446</b>
PROPOSED CONDITIONS - BASIN II									
LAND TRMT	AREA (ACRE)	F6 (%)	Q (CF8/AC)	Q (CF8)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)	
A	0.000	0%	0.20	2.20	0.00	0	0	0	0
B	0.070	8%	1.08	2.92	0.20	214	214	214	214
C	0.000	0%	1.46	3.73	0.00	0	0	0	0
D	0.809	92%	2.64	5.25	4.25	7,753	9,955	13,039	16,710
<b>TOTALS</b>	<b>0.879</b>	<b>100%</b>			<b>4.45</b>	<b>8,221</b>	<b>10,230</b>	<b>13,313</b>	<b>16,934</b>

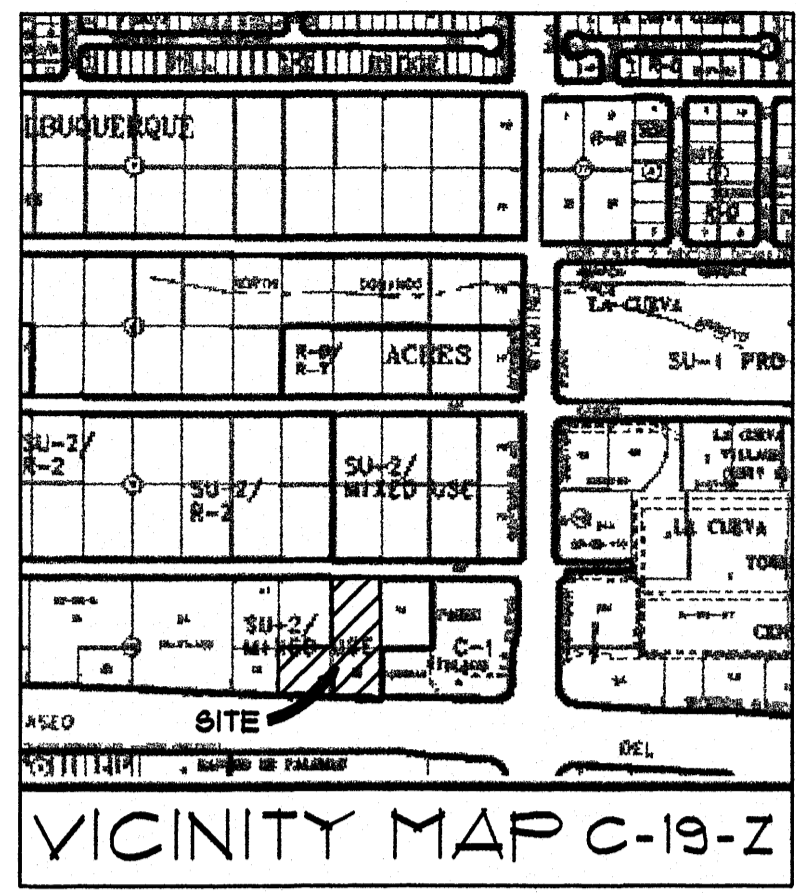


**KEYED NOTES**

- 1 SIDEWALK CULVERT
- 2 TEMPORARY ASPHALT CURB
- 3 ASPHALT PAVING
- 4 CONCRETE DRIVE PAD
- 5 CONCRETE SIDEWALK
- 6 TEMPORARY ASPHALT PATH
- 7 4'-0" WIDE CURB BREAK AT LANDSCAPE ISLAND FOR RUNOFF STORAGE

**DESIGN NARRATIVE**

THIS SITE IS 2.148 ACRES AND IS CURRENTLY UNIMPROVED. THE SITE WILL BE DEVELOPED FOR RETAIL BUILDINGS AND PARKING. THE DEVELOPED SITE WILL BE GRADED TO DIRECT RUNOFF TO IMPROVED DOWNSTREAM STORM DRAIN FACILITIES IN PASEO DEL NORTE AND HOLLY AVE. BASIN I STORM RUNOFF WILL ENTER PASEO DEL NORTE VIA A CONCRETE RUNDOWN AND SIDEWALK CULVERT. BASIN II RUNOFF DIRECTED NORTH WILL FLOW TO STREET IMPROVEMENTS IN HOLLY AVE. VIA THE PAVED ACCESS ROAD.



**LEGAL DESCRIPTION**

LOTS 13, 20, AND 21, BLOCK 10, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

**BENCHMARK**

ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "THE AVEN UNDERGROUND", HAVING AN ELEVATION OF 5218.235

**LEGEND**

- PROPERTY LINE
- NEW BUILDING LINE
- 5380 --- EXISTING CONTOUR
- - - NEW CONTOUR
- 10.35 \* NEW SPOT ELEVATION
- X G=5376.81 EXISTING SPOT ELEVATION
- NEW FLOW DIRECTION ARROW
- TA TOP OF ASPHALT
- TC TOP OF CONCRETE
- FG FINISHED GRADE
- [Pattern] NEW CONCRETE PAVING
- [Pattern] NEW AC PAVING
- ▲ ROOF DRAIN LOCATION
- BOC BACK OF CURB (EXISTING)
- EC EDGE OF CONCRETE (EXISTING)
- G GRADE (EXISTING)
- FL FLOW LINE
- TG TOP OF GRATE

architecture  
interiors  
landscape  
planning  
engineering

**Dekker Perich Sabatini**

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505 761-9700  
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dps@dpsdesign.org

ARCHITECT

ENGINEER

PROJECT

**7441 & 7501**  
**Paseo Del Norte**  
**Albuquerque, New Mexico 87113**

**REVISIONS**

△	1/4/2010	EPC Conditions of Approval
△		
△		
△		

DRAWN BY	LEK
REVIEWED BY	MJW
DATE	February 17, 2010
PROJECT NO.	09-0055
DRAWING NAME	

**CONCEPTUAL GRADING and DRAINAGE PLAN**

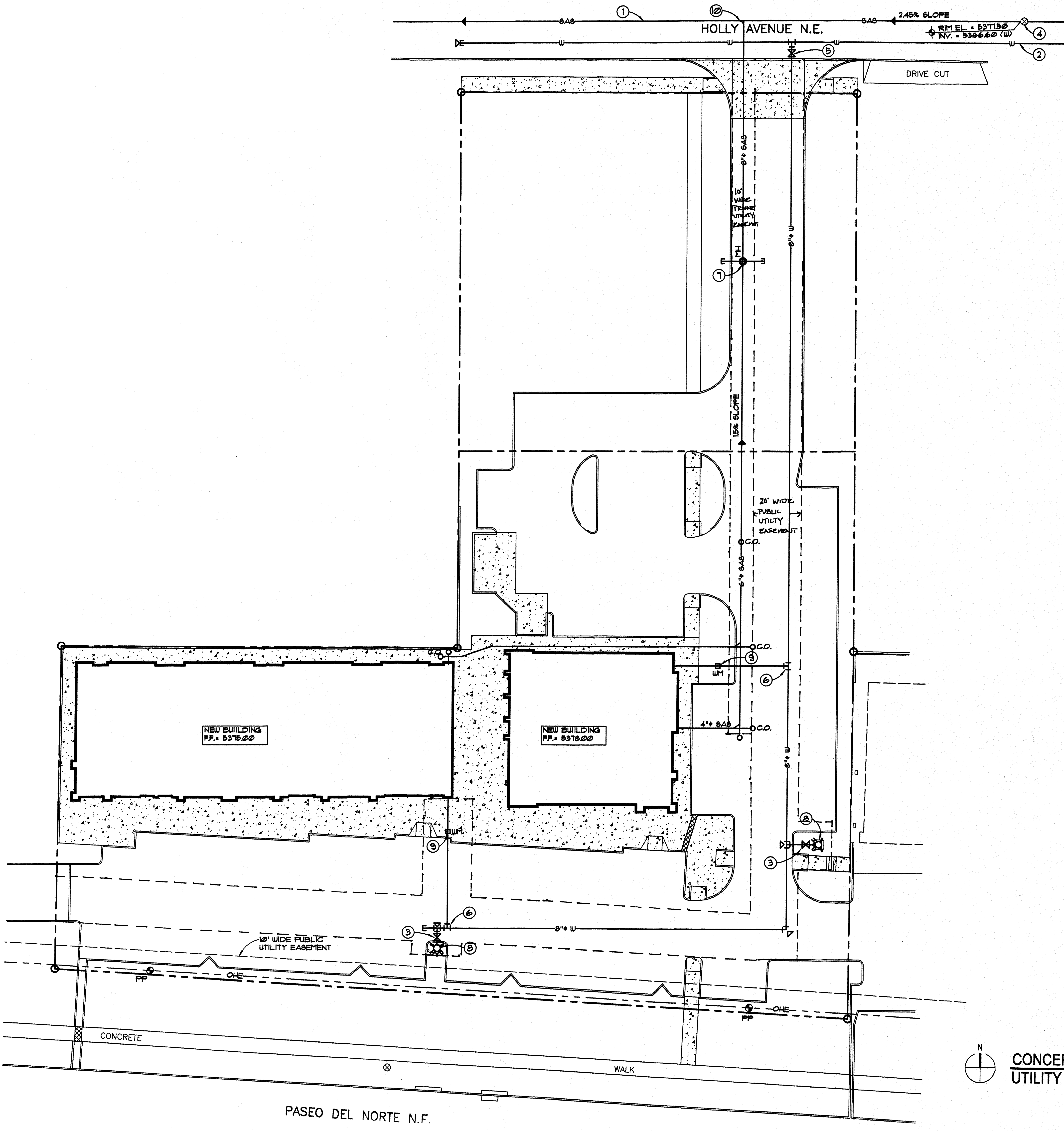
**Walla** Structural Engineering  
ENGINEERING LTD  
Civil Engineering  
5100 Indian School Road NE Suite 210  
Albuquerque, New Mexico 87110  
881-3008 • Facsimile 884-5390

**CONCEPTUAL GRADING and DRAINAGE PLAN**

1" = 20'-0"



**7441 & 7501**  
**Paseo Del Norte**  
**Albuquerque, New Mexico 87113**



**KEYED NOTES**

- 1 EXISTING 8" SANITARY SEWER - PVC
- 2 NEW 8" PVC WATER LINE EXTENSION
- 3 6" GATE VALVE AND VALVE BOX
- 4 EXISTING MANHOLE
- 5 8" GATE VALVE AND VALVE BOX PER C.O.A. STD. DRAWINGS 2326 AND 2333
- 6 WATER SERVICE CONNECTION PER C.O.A. STD. DRAWING 2362
- 7 4'-0" DIA. PRECAST CONCRETE MANHOLE, TYPE "C" PER C.O.A. STD. DRAWING 2101
- 8 NEW FIRE HYDRANT PER C.O.A. STD. DRAWING 2340
- 9 NEW WATER METER AND BOX PER C.O.A. STD. DRAWING 2361
- 10 SEWER SERVICE CONNECTION

**LEGEND**

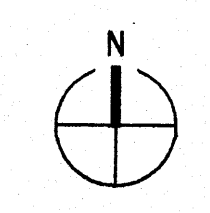
- SANITARY SEWER MANHOLE
- SANITARY SEWER LINE
- WATER LINE
- WATER METER
- PROPERTY LINE
- SEWER CLEAN OUT
- FIRE HYDRANT
- WATER LINE VALVE
- CONCRETE BLOCKING
- OVERHEAD ELECTRICITY UTILITY
- POWER POLE
- MANHOLE

REVISIONS

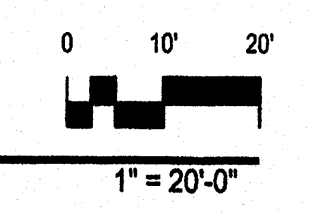
1	1/4/2010	EPC Conditions of Approval

DRAWN BY	LEK
REVIEWED BY	MJW
DATE	February 17, 2010
PROJECT NO.	09-0055
DRAWING NAME	

**CONCEPTUAL  
SITE UTILITY PLAN**



**CONCEPTUAL SITE  
UTILITY PLAN**



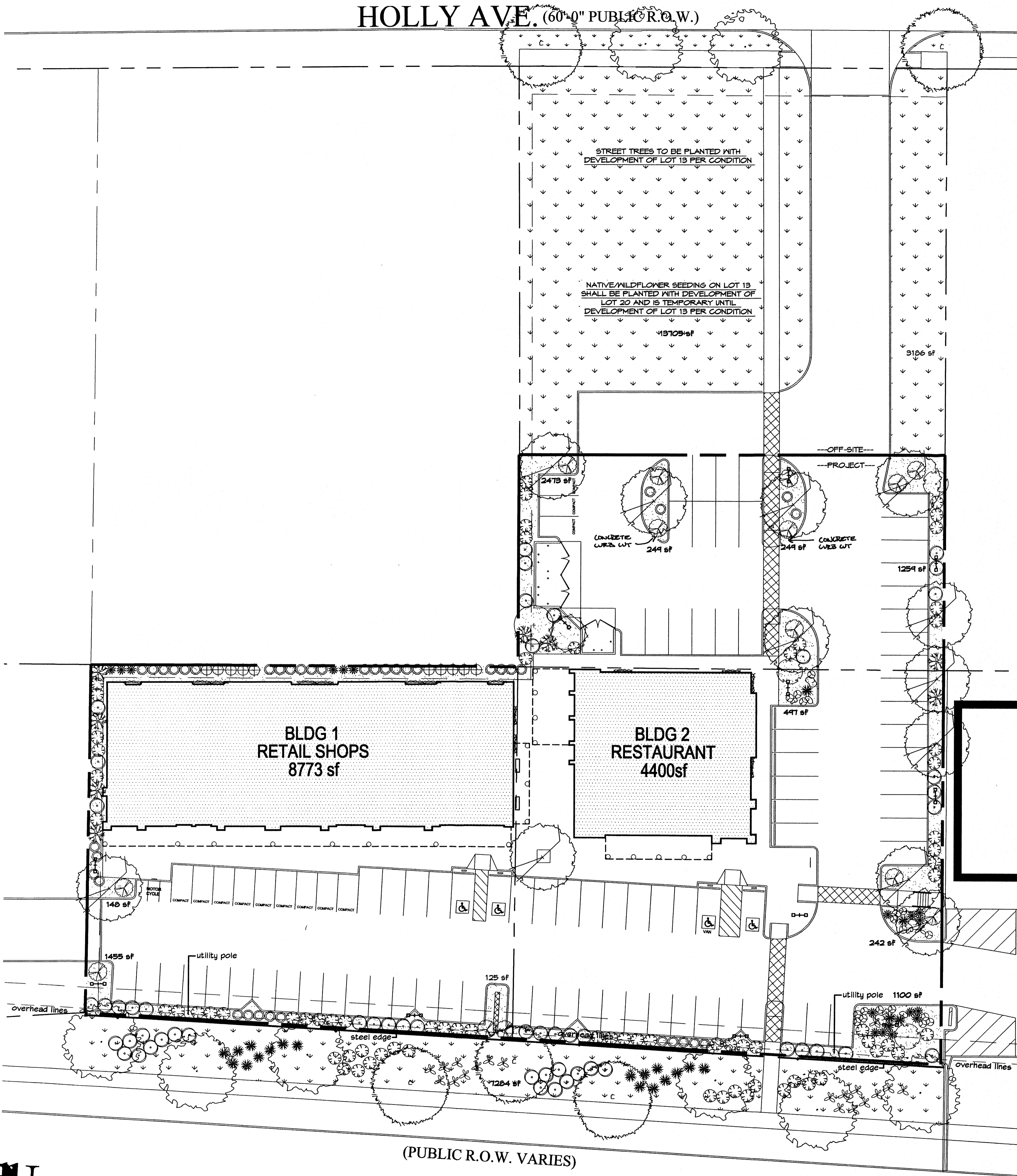
**Walla** Structural Engineering  
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6100 Indian School Road NE, Suite 210  
Albuquerque, New Mexico 87110  
881-5008 • Facsimile 884-5390

SHEET NO.

**C102**  
OF

PASEO DEL NORTE N.E.

HOLLY AVE. (60'-0" PUBLIC R.O.W.)



(PUBLIC R.O.W. VARIES)

PLANT LEGEND

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

- \* DENOTES EVERGREEN PLANT MATERIAL
- STREET SHADE TREES**
- AUTUMN PURPLE ASH 6  
*Fraxinus americana*  
2" Cal., 12-14" Inst./60' x 60' maturity  
Water (M) Allergy (H) 0sf
- BUR OAK 3  
*Quercus macrocarpa*  
2" Cal., 12-14" Inst./60' x 60' maturity  
Water (M) Allergy (M) 0sf
- PARKING LOT SHADE TREE**
- CHINESE PISTACHE 12  
*Pistachia chinensis*  
2" Cal., 8-10" Inst./40' x 30' maturity  
Water (M) Allergy (L) 0sf
- SHRUBS**
- DESERT WILLOW 1  
*Chilopsis linearis*  
5 Gal., 4-10" Inst./20' x 25' maturity  
Water (L+) Allergy (L) 225sf
- NEW MEXICO OLIVE 1  
*Forestiera neomexicana*  
5 Gal., 4-10" Inst./15' x 15' maturity  
Water (M) Allergy (L) 225sf
- BUTTERFLY BUSH 3  
*Buddleia davidii*  
5 Gal., 12-30" Inst./10' x 10' maturity  
Water (M) Allergy (L) 100sf
- \* RED YUCCA 22  
*Hesperaloe parviflora*  
5 Gal., 18-30" Inst./3' x 4' maturity  
Water (L+) Allergy (L) 16sf
- \* PRICKLY PEAR 20  
*Opuntia macrocentra*  
5 Gal., 12-30" Inst./3' x 3' maturity  
Water (L) Allergy (L) 9sf
- \* SPANISH BROOM 53  
*Genista hispanica*  
5 Gal., 2-4" Inst./4' x 4' maturity  
Water (M) Allergy (L) 16sf
- \* BROOM BACCHARIS 72  
*Baccharis sarothroides*  
5 Gal., 2-4" Inst./10' x 10' maturity  
Water (L+) Allergy (L) 100sf
- \* TURPENTINE BUSH 40  
*Ericameria laricifolia*  
1 Gal., 6-15" Inst./3' x 4' maturity  
Water (L+) Allergy (L) 16sf
- POTENTILLA 10  
*Potentilla fruticosa*  
1 Gal., 6-15" Inst./3' x 3' maturity  
Water (M+) Allergy (L) 9sf
- BLUE AVENA/OAT GRASS 18  
*Helictotrichon sempervirens*  
1 Gal., 3-15" Inst./2' x 1' maturity  
Water (M) Allergy (L) 1sf
- WILDFLOWER 17  
1 Gal., 3-15" Inst./varies at maturity  
Water (varies) Allergy (varies) 4sf
- GROUNDCOVERS**
- \* HONEYSUCKLE 14  
*Lonicera japonica 'Halliana'*  
1 Gal., 6-15" Inst./3' x 12' maturity  
Water (M) Allergy (L) 144sf  
Unstaked-Groundcover
- WINTER JASMINE 5  
*Jasminum nudiflorum*  
1 Gal., 6-15" Inst./4' x 6' maturity  
Water (L+) Allergy (L) 36sf
- VINES**
- \* ENGLISH IVY 9  
*Hedera helix*  
1 Gal., 6-15" Inst./climbing to 40'  
Water (M) Allergy (L)
- \* BANKS ROSE 5  
*Rosa banksiae*  
1 Gal., 6-15" Inst./climbing to 20'  
Water (M) Allergy (L)
- HARDSCAPES**
- OVERSIZED GRAVEL  
4 9 BOULDERS
- 3/4" GRAY GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
- UN-IRRIGATED CRIMP STRAWNATIVE SEED AND WILDFLOWERS (SEEDED BETWEEN MAY 15TH-SEPTEMBER)

PLANT LEGEND OFF-SITE

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

- \* DENOTES EVERGREEN PLANT MATERIAL
- STREET SHADE TREES- TO BE PLANTED WITH DEVELOPMENT OF LOT 13 PER CONDITION**
- AUTUMN PURPLE ASH 2  
*Fraxinus americana*  
2" Cal., 12-14" Inst./60' x 60' maturity  
Water (M) Allergy (H) 0sf
- BUR OAK 2  
*Quercus macrocarpa*  
2" Cal., 12-14" Inst./60' x 60' maturity  
Water (M) Allergy (M) 0sf
- CRIMP STRAWNATIVE SEED AND WILDFLOWERS (SEEDED BETWEEN MAY 15TH-SEPTEMBER 15TH, FOR BEST GERMINATION). LOT 13 SEED SHALL BE WATERED BY AN ABOVEGROUND TEMPORARY IRRIGATION SYSTEM WITH LARGE AREA IRRIGATION HEADS NO MORE THAN 35' O.C. TO ENSURE 75% LIVE GROUNDCOVER GERMINATION.**

architecture  
interiors  
landscape  
planning  
engineering

# Dekker Perich Sabatini

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ARCHITECT

ENGINEER

PROJECT

7441 & 7501  
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REVISIONS

△	140210	EPC Conditions of Approval
△		
△		
△		

DRAWN BY rmc 8-3-09  
REVIEWED BY cmj  
DATE February 2, 2010  
PROJECT NO. 09-0055  
DRAWING NAME

## The Hilltop

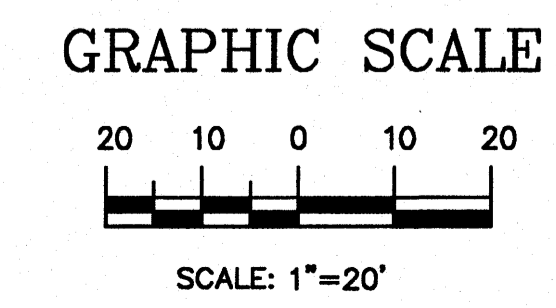
LANDSCAPE ARCHITECTS & CONTRACTORS  
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Ph. (505) 898-9690  
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cmj@hilltoplandscaping.com

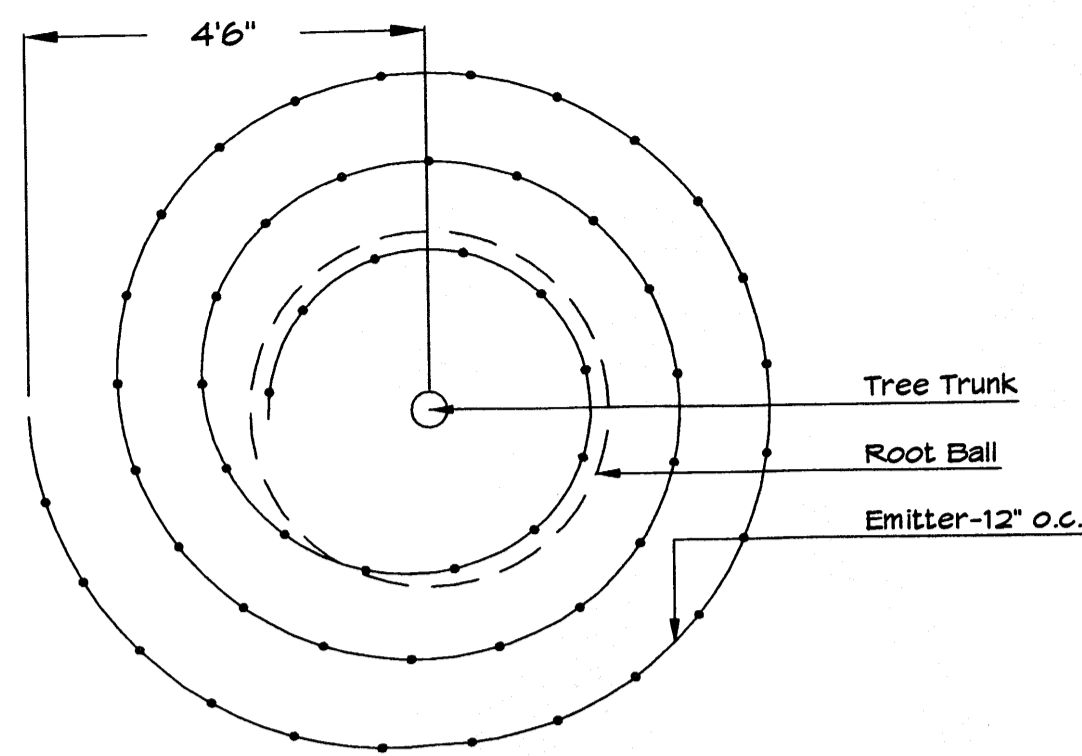
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LANDSCAPE PLAN

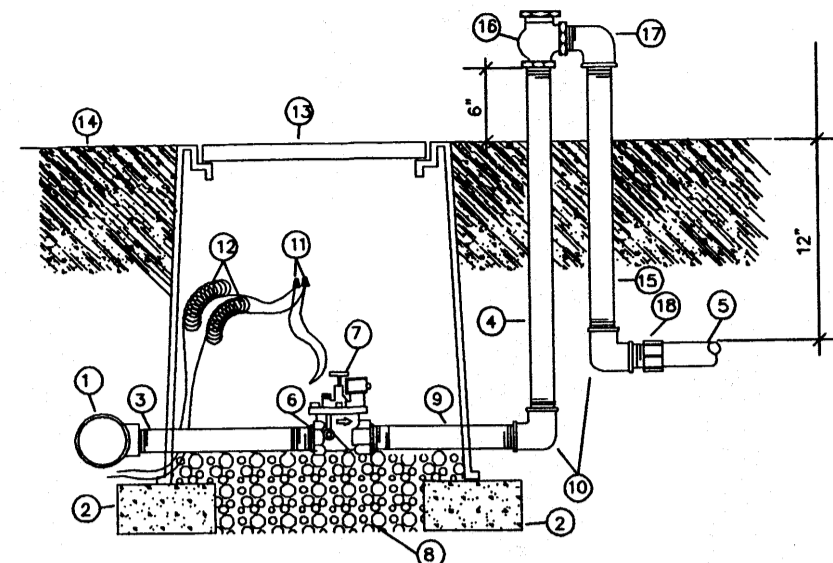
SHEET NO.  
**LOO1**  
Of LOO2

SEE SHEET LOO2 FOR NOTES, DETAILS AND CALCULATIONS

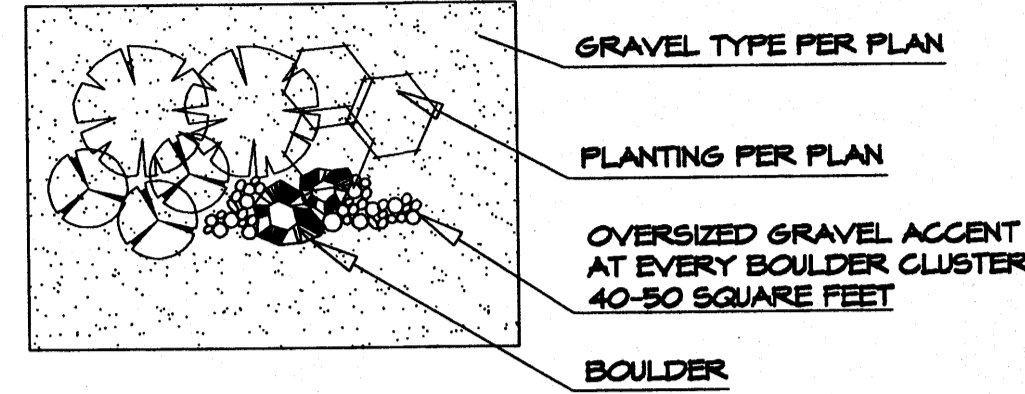




Netafim Spiral Detail

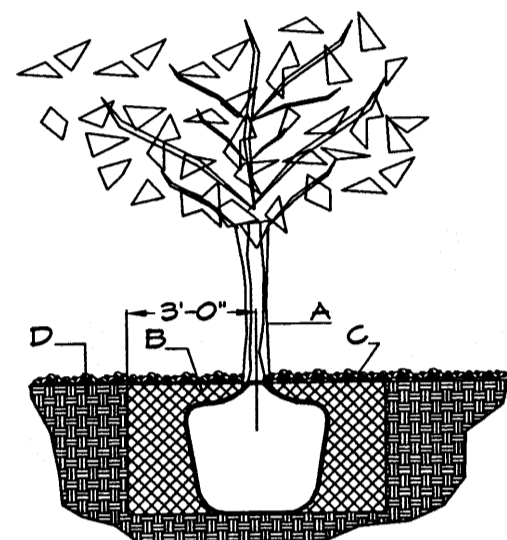


GRAVEL ACCENT DETAIL



- 1 MAINLINE FITTING
- 2 GMI BLOCK
- 3 GALVANIZED NIPPLE
- 4 24" TO 36" GALVANIZED NIPPLE
- 5 LATERAL PIPE
- 6 REDUCER BUSHING
- 7 AUTOMATIC VALVE (SEE LEGEND)
- 8 GRAVEL
- 9 GALVANIZED NIPPLE
- 10 GALVANIZED ELBOW
- 11 WATERPROOF WIRE CONNECTOR
- 12 WIRE EXPANSION LOOPS
- 13 VALVE BOX
- 14 FINISH GRADE
- 15 GALVANIZED NIPPLE - 18" TO 24" LENGTH
- 16 ATMOSPHERIC VACUUM BREAKER
- 17 GALVANIZED STREET ELL
- 18 TOE NIPPLE OR MALE ADAPTER

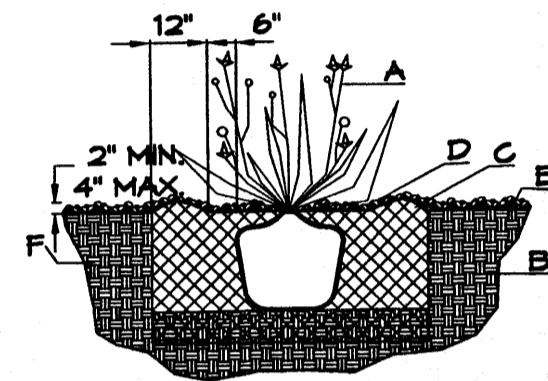
AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER N13



TREE PLANTING DETAIL

- GENERAL NOTES:
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
  2. TOP OF ROOT COLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
  3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
  4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

- CONSTRUCTION NOTES:
- A. TREE
  - B. BACKFILL WITH EXISTING SOIL.
  - C. 3" DEPTH OF GRAVEL MULCH.
  - D. UNDISTURBED SOIL.



SHRUB PLANTING DETAIL

- GENERAL NOTES:
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
- CONSTRUCTION NOTES:
- A. SHRUB
  - B. BACKFILL WITH EXISTING SOIL.
  - C. EARTH BERM AROUND WATER RETENTION BASIN.
  - D. 3" DEPTH OF GRAVEL MULCH.
  - E. FINISH GRADE.
  - F. UNDISTURBED SOIL.

LANDSCAPE CALCULATIONS

		LOT 20
TOTAL LOT AREA	61345	square feet
TOTAL BUILDINGS AREA	13173	square feet
NET LOT AREA	48172	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	7225	square feet
TOTAL BED PROVIDED	7197	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	5047	square feet
TOTAL GROUNDCOVER PROVIDED	7197 (100%)	square feet
TOTAL NATIVE SEED AREA	7284	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	5463	square feet
TOTAL GROUNDCOVER PROVIDED	7284 (100%)	square feet

		LOT 15
TOTAL LANDSCAPE PROVIDED	15021 (31%)	square feet
100% GROUNDCOVER PROVIDED IN BED AREA & 75-100% GROUNDCOVER EXPECTED IN NATIVE SEED AREAS		
TOTAL OFFSITE BED PROVIDED	0	square feet
TOTAL OFFSITE NATIVE SEED PROVIDED	16091	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	12662	square feet
TOTAL GROUNDCOVER PROVIDED	16091 (100%)	square feet

		LOT 15
TOTAL OFFSITE LANDSCAPE PROVIDED	16091	square feet
75-100% GROUNDCOVER EXPECTED IN NATIVE SEED AREAS		

STREET TREE REQUIREMENTS - Minimum 2" Caliper

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: Paseo del Norte  
Required # 9 Provided # 9

PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper

Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces  
Required # 10 Provided # 12

NOTE TO CLIENT:  
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an in-field change-order to lay cobblestone or rip-rap. In lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

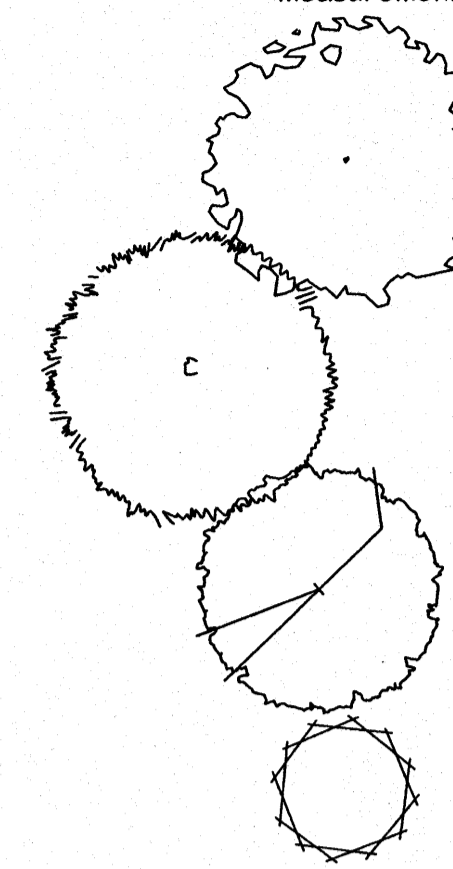
NATIVE SEED MIX-STANDARD COA MIX

COMMON NAME	PLS/ACRE
*PALOMA* INDIAN RICE GRASS	3.0
*VIVA* GALLETIA GRASS	3.0
*NINER* SIDCOATS GRAMA	3.0
*HATCHITA* BLUE GRAMA	5.0
SAND DROPSSEED	2.0
FOURWIND SALTBUCH	2.0
TOTAL RATE	18.0 LBS/AC

PLANT LEGEND

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

\* DENOTES EVERGREEN PLANT MATERIAL



STREET SHADE TREES  
AUTUMN PURPLE ASH 6  
Fraxinus americana  
2" Cal., 12-14" Inst./60' x 60' maturity  
Water (M) Allergy (H) Osf

BUR OAK 3  
Quercus macrocarpa  
2" Cal., 12-14" Inst./60' x 60' maturity  
Water (M) Allergy (M) Osf

PARKING LOT SHADE TREE  
CHINESE PISTACHE 12  
Pistachia chinensis  
2" Cal., 8-10" Inst./40' x 30' maturity  
Water (M) Allergy (L) Osf

SHRUBS  
DESERT WILLOW 1  
Chilopsis linearis  
5 Gal., 4-10" Inst./20' x 25' maturity  
Water (L+) Allergy (L) 225sf

NEW MEXICO OLIVE 1  
Forestiera neomexicana  
5 Gal., 4-10" Inst./15' x 15' maturity  
Water (M) Allergy (L) 225sf

BUTTERFLY BUSH 3  
Buddleia davidii  
5 Gal., 12-3" Inst./10' x 10' maturity  
Water (M) Allergy (L) 100sf

\* RED YUCCA 22  
Hesperaloe parviflora  
5 Gal., 18"-5" Inst./3' x 4' maturity  
Water (L+) Allergy (L) 16sf

\* PRICKLY PEAR 20  
Opuntia macrocentra  
5 Gal., 12"-3" Inst./3' x 3' maturity  
Water (L) Allergy (L) 4sf

\* SPANISH BROOM 53  
Genista hispanica  
5 Gal., 2-4" Inst./4' x 4' maturity  
Water (M) Allergy (L) 16sf

\* BROOM BACCHARIS 72  
Baccharis sarothroides  
5 Gal., 2-4" Inst./10' x 10' maturity  
Water (L+) Allergy (L) 100sf

\* TURPENTINE BUSH 40  
Ericameria laricifolia  
1 Gal., 6"-15" Inst./3' x 4' maturity  
Water (L+) Allergy (L) 16sf

POTENTILLA 10  
Potentilla fruticosa  
1 Gal., 6"-15" Inst./3' x 3' maturity  
Water (M+) Allergy (L) 4sf

BLUE AVENA/OAT GRASS 10  
Helictotrichon sempervirens  
1 Gal., 3"-15" Inst./2' x 1' maturity  
Water (M) Allergy (L) 1sf

WILDFLOWER 17  
1 Gal., 3"-15" Inst./varies at maturity  
Water (varies) Allergy (varies) 4sf

GROUNDCOVERS  
\* HONEYSUCKLE 14  
Lonicera japonica Halliana  
1 Gal., 6"-15" Inst./3' x 12' maturity  
Water (M) Allergy (L) 144sf  
Unstaked-groundcover

WINTER JASMINE 0  
Jasminum nudiflorum  
1 Gal., 6"-15" Inst./4' x 6' maturity  
Water (L+) Allergy (L) 36sf

VINES  
\* ENGLISH IVY 9  
Hedera helix  
1 Gal., 6"-15" Inst./climbing to 40'  
Water (M) Allergy (L)

\* BANK'S ROSE 5  
Rosa banksiae  
1 Gal., 6"-15" Inst./climbing to 20'  
Water (M) Allergy (L)

HARDSCAPES  
OVERSIZED GRAVEL  
4 9 BOULDERS

3/4" GRAY GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH

UN-IRRIGATED GRIMP STRAWNATIVE SEED AND WILDFLOWERS (SEEDED BETWEEN MAY 15TH-SEPTEMBER

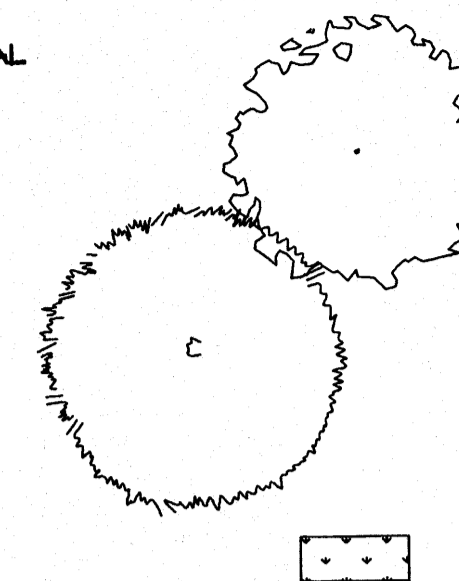
NATIVE SEED MIX ADD-IN: HIGH DESERT WILDFLOWER MIX

SEED MIX INCLUDES:	
PURPLE ASTER, DESERT MARIGOLD, ROCKY MTN BEEPLANT, PLAINS COREOPSIS, BROOM DALEA, MEXICAN GOLD POPPY, FIREWHEEL, BLANKETFLOWER, BLUE FLAX, DESERT FLOCCLOCK, MEXICAN EVENING PRIMROSE, SAND PENSTEMON, WILD PINK SNAPDRAGON, CALIFORNIA BLUEBELLS, MEXICAN HAT AND YELLOW PRAIRIE CONEFLOWER, HEIGHT 2-3'	TOTAL RATE 2.0 LBS/AC

PLANT LEGEND OFF-SITE

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\* DENOTES EVERGREEN PLANT MATERIAL

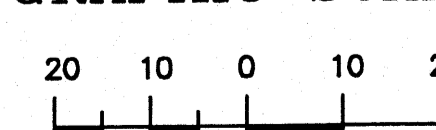


STREET SHADE TREES- TO BE PLANTED WITH DEVELOPMENT OF LOT 13 PER CONDITION  
AUTUMN PURPLE ASH 2  
Fraxinus americana  
2" Cal., 12-14" Inst./60' x 60' maturity  
Water (M) Allergy (H) Osf

BUR OAK 2  
Quercus macrocarpa  
2" Cal., 12-14" Inst./60' x 60' maturity  
Water (M) Allergy (M) Osf

GRIMP STRAWNATIVE SEED AND WILDFLOWERS (SEEDED BETWEEN MAY 15TH-SEPTEMBER 15TH, FOR BEST GERMINATION). LOT 13 SEED SHALL BE WATERED BY AN ABOVEGROUND TEMPORARY IRRIGATION SYSTEM WITH LARGE AREA IRRIGATION HEADS NO MORE THAN 30' O.C. TO ENSURE 75% LIVE GROUNDCOVER GERMINATION.

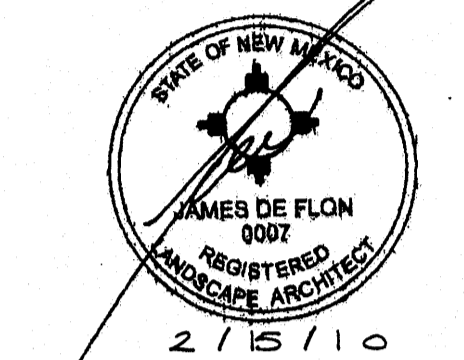
GRAPHIC SCALE



SCALE: 1"=20'

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ARCHITECT



ENGINEER

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REVISIONS

1	1/4/2010	EPC Conditions of Approval
2		
3		
4		

DRAWN BY rmc 0-3-09

REVIEWED BY cmj

DATE February 2, 2010

PROJECT NO. 09-0055

DRAWING NAME

LANDSCAPE PLAN

SHEET NO.

LO02

Of 002

The Hilltop

LANDSCAPE ARCHITECTS & CONTRACTORS

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ARCHITECT

ENGINEER

PROJECT

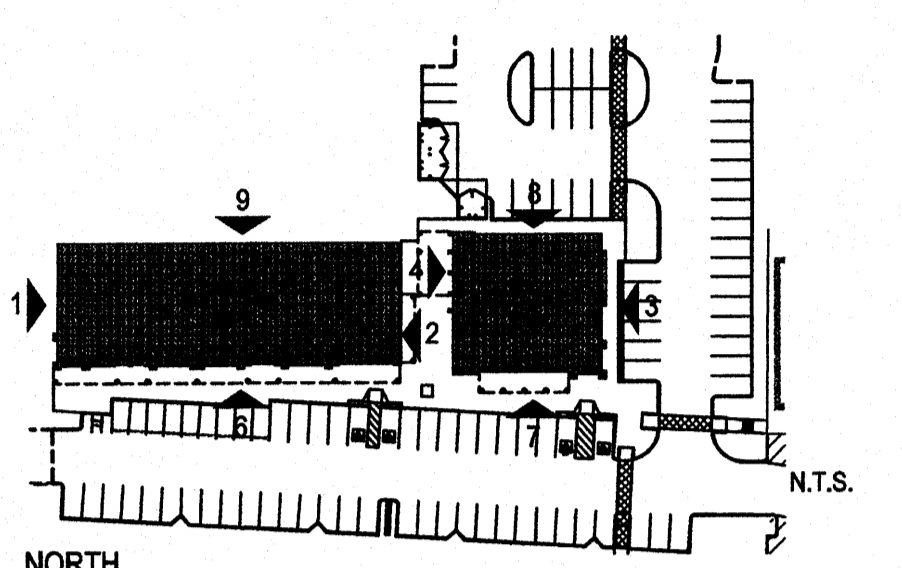
**GENERAL NOTES**

A. SIGNAGE: THE GOAL IS TO PROVIDE CONSISTENCY IN APPEARANCE AND QUALITY THAT COMPLIMENTS THE VISUAL CHARACTER OF THE DEVELOPMENT. ALL BUILDING MOUNTED SIGNS SHALL COMPLY WITH SU-2 MIXED USE AND COMMON DESIGN REGULATIONS FOR SU-2 ZONED PROPERTIES IN THE LA CUEVA SECTOR DEVELOPMENT PLAN. ALL BUILDING MOUNTED SIGNS SHALL BE SUBMITTED UNDER SEPARATE PERMIT.

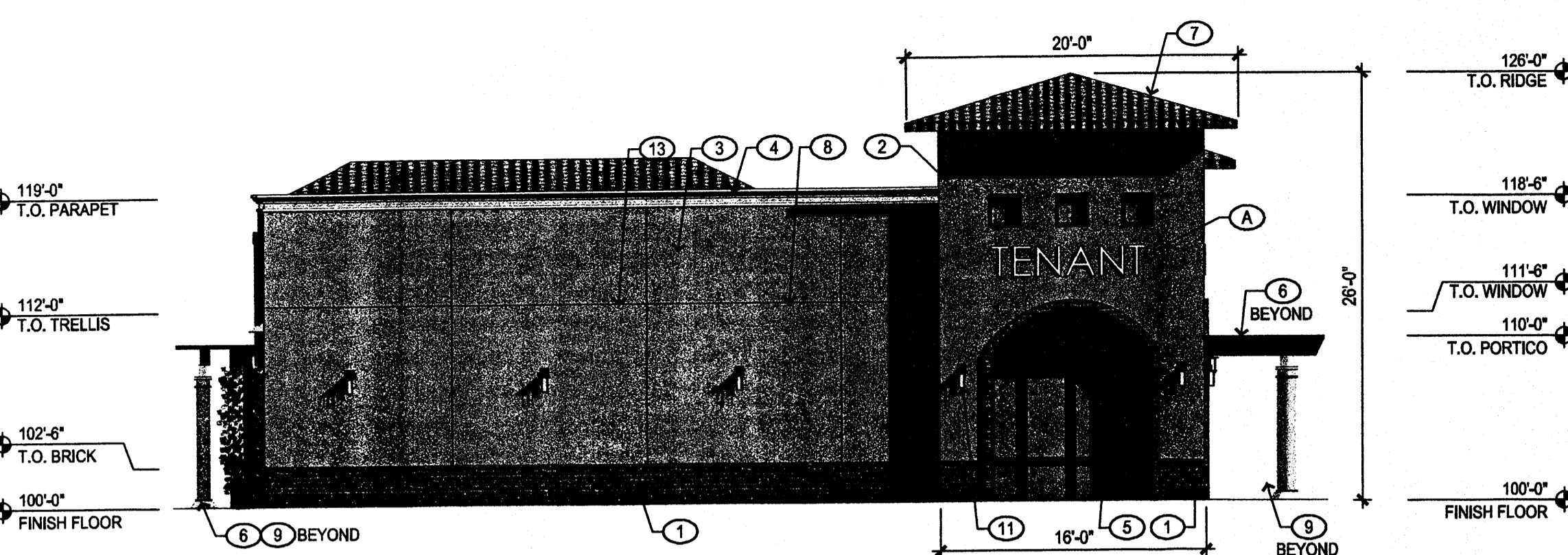
B. FLAT PORTION OF BUILDING ROOFS SHALL BE AN ENERGY EFFICIENT COLOR AND MATERIAL PER 99-3 OF THE LA CUEVA SDP.

**KEYED NOTES**

1. QUEEN SIZE BRICK, COLOR: REDISH BROWN
2. TWO-COAT SYNTHETIC STUCCO SYSTEM, COLOR: LIGHT BROWN
3. TWO-COAT SYNTHETIC STUCCO SYSTEM, COLOR: TAN
4. TWO-COAT SYNTHETIC STUCCO SYSTEM, COLOR: WHITE
5. ALUMINUM STOREFRONT, COLOR: BRONZE
6. STEEL PORTICO WITH METAL DECK, COLOR: BROWN
7. CONCRETE TILE ROOF, COLOR: REDISH BROWN
8. STEEL TRELLIS, COLOR: BROWN
9. COLUMN, WITH TWO-COAT SYNTHETIC STUCCO SYSTEM, COLOR: WHITE
10. HOLLOW METAL DOOR, COLOR: BROWN
11. WALL SCONCE
12. DOWNSPOUT/OUTLET, COLOR TO MATCH ADJACENT STUCCO
13. CONTROL JOINT
14. 8" BUILDING ADDRESS IDENTIFICATION NUMBERS; COLOR: BLACK
15. INTERNALLY ILLUMINATED ALUMINUM CABINET WITH DIVIDER BARS TEXTURED TO MATCH ADJACENT STUCCO.
16. FREEZER; PAINT TO MATCH ADJACENT STUCCO COLOR
17. RECESSED FACADE; COLOR: LIGHT BROWN
18. STEEL AWNING, COLOR: BROWN

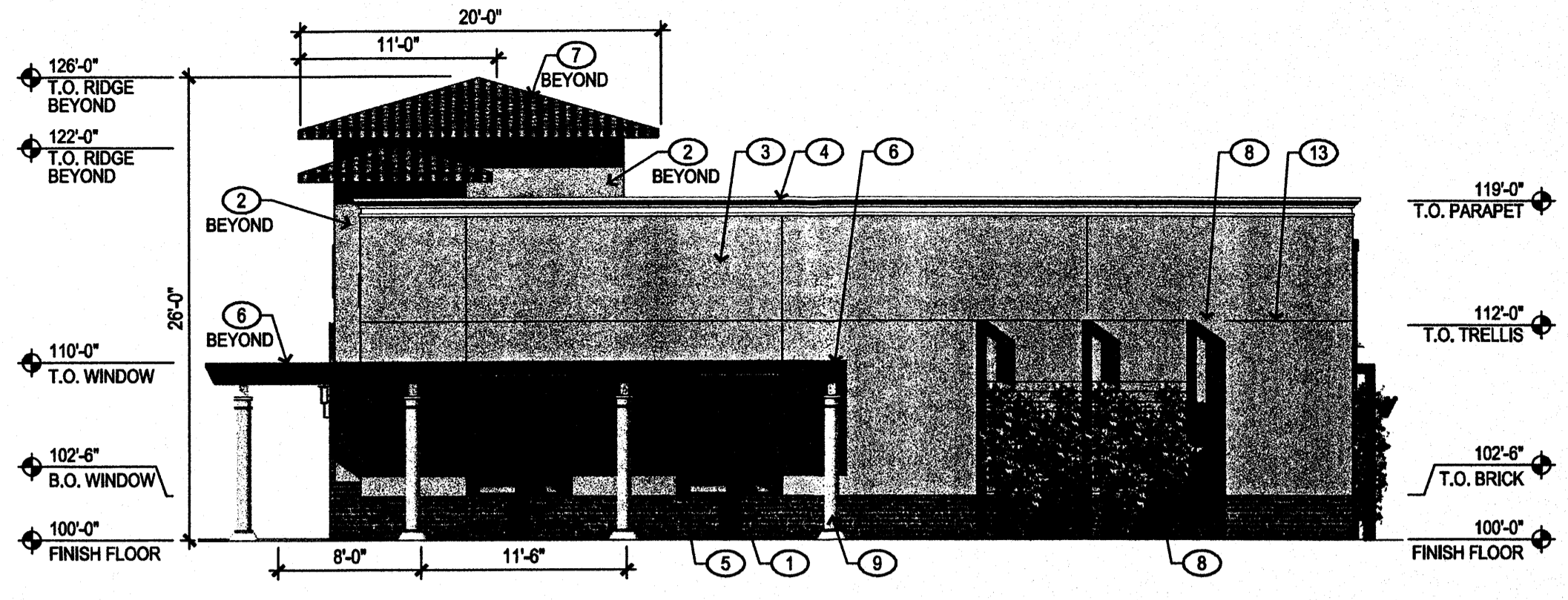


**KEY PLAN**



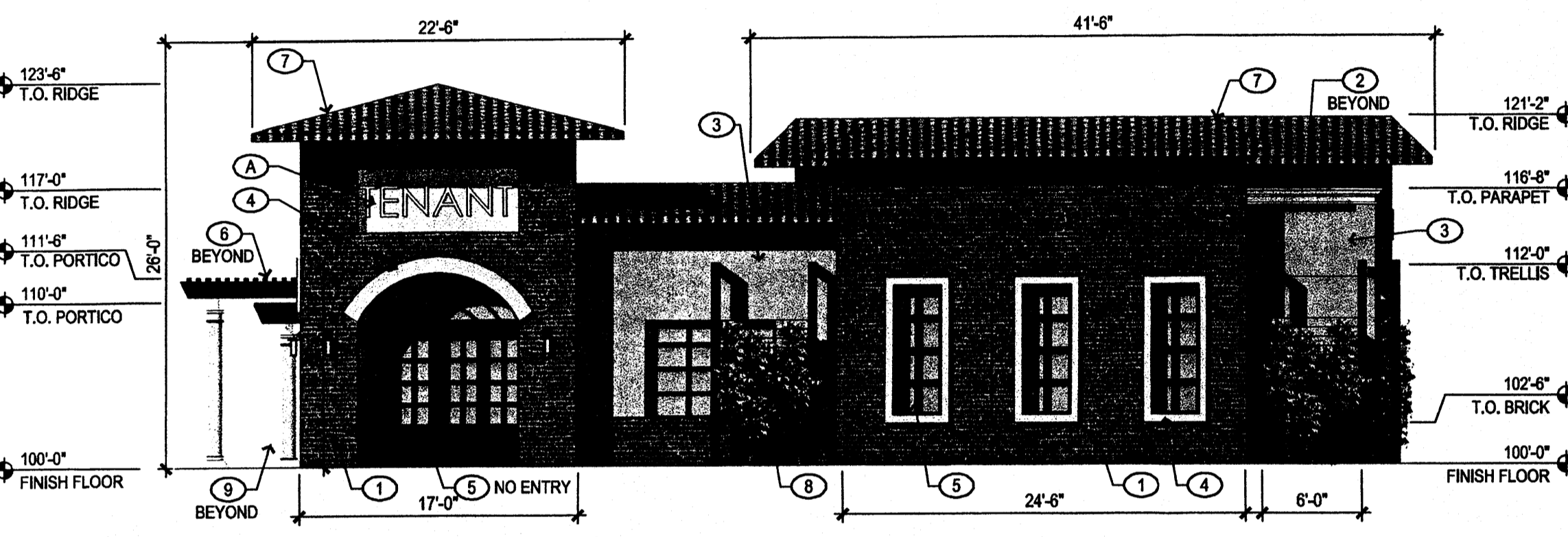
**1 WEST ELEVATION (BUILDING 1)  
LOOKING EAST**

SCALE: 1/8" = 1'-0"



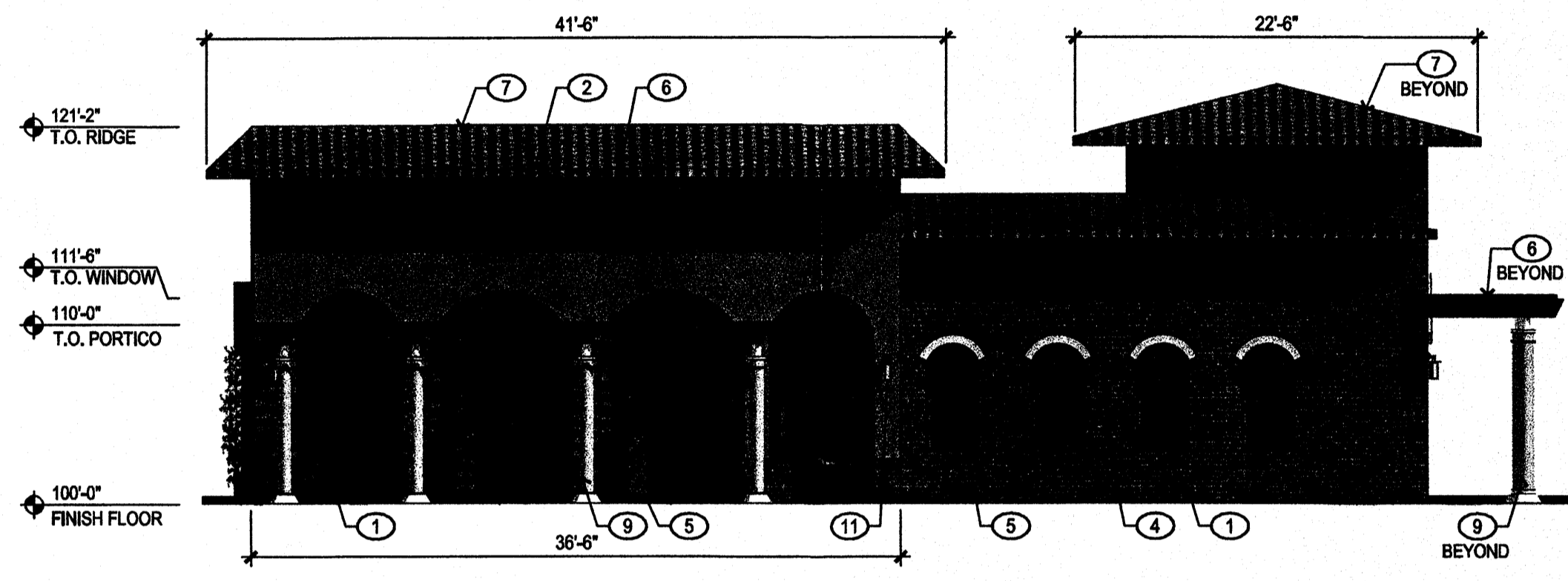
**2 EAST ELEVATION (BUILDING 1)  
LOOKING WEST**

SCALE: 1/8" = 1'-0"



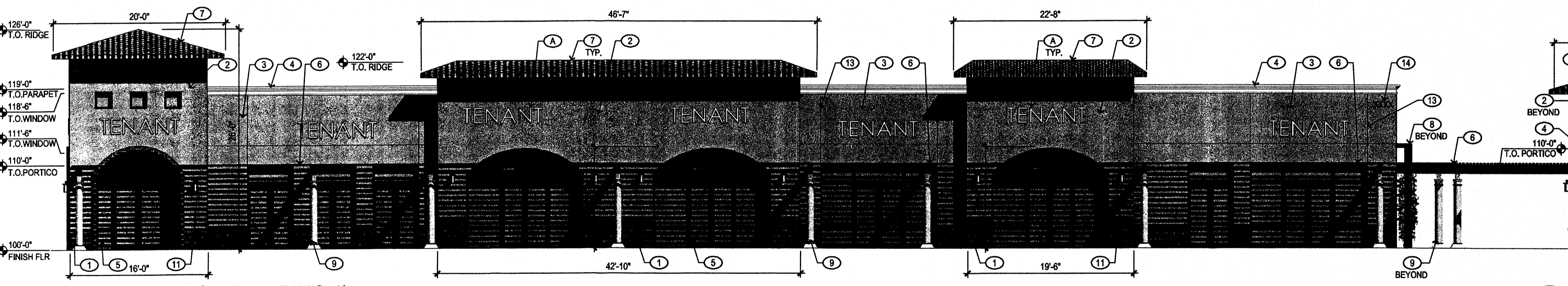
**3 EAST ELEVATION (BUILDING 2)  
LOOKING WEST**

SCALE: 1/8" = 1'-0"



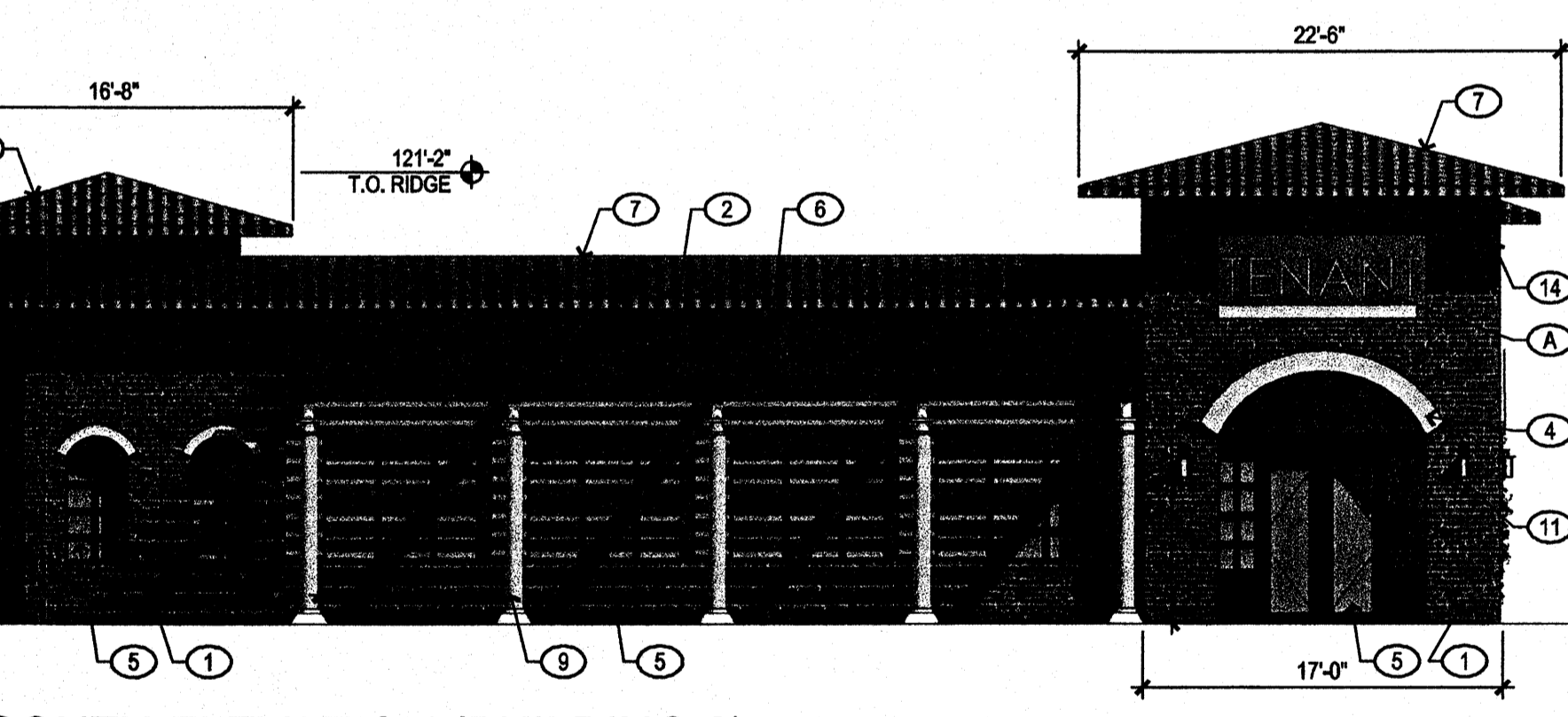
**4 WEST ELEVATION (BUILDING 2)  
LOOKING EAST**

SCALE: 1/8" = 1'-0"



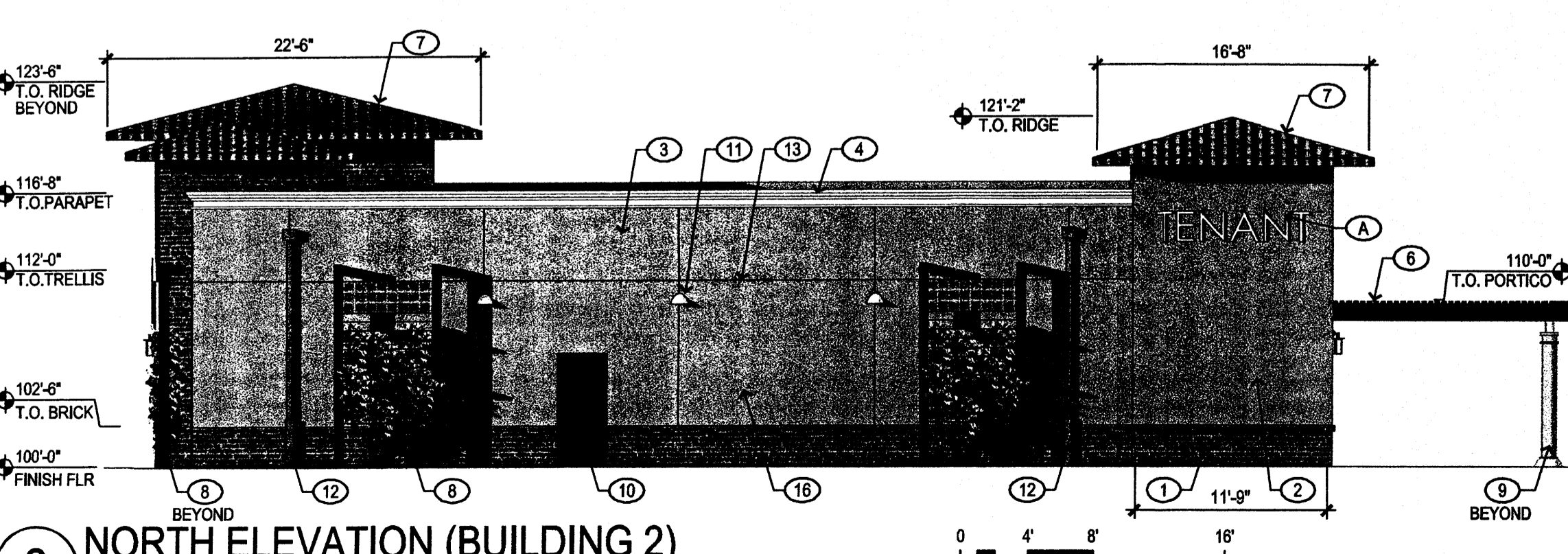
**6 SOUTH ELEVATION (BUILDING 1)  
LOOKING NORTH**

SCALE: 1/8" = 1'-0"



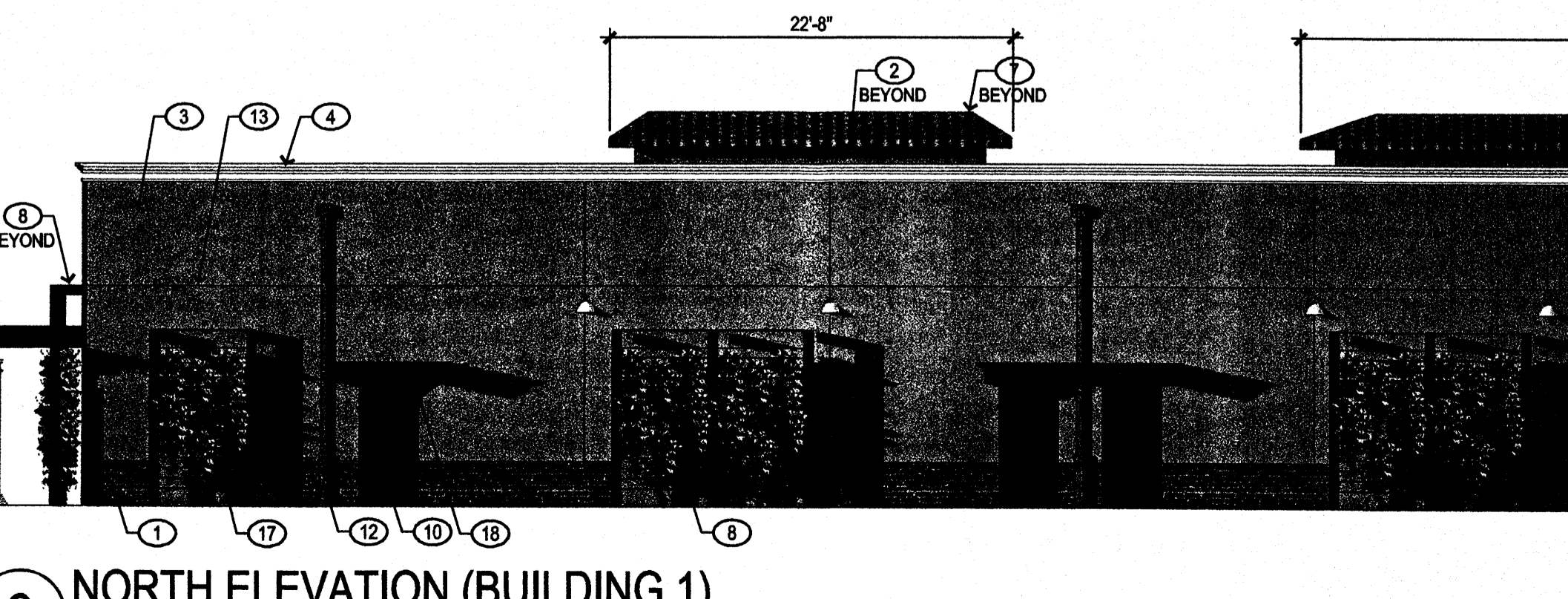
**7 SOUTH ELEVATION (BUILDING 2)  
LOOKING NORTH**

SCALE: 1/8" = 1'-0"



**8 NORTH ELEVATION (BUILDING 2)  
LOOKING SOUTH**

SCALE: 1/8" = 1'-0"



**9 NORTH ELEVATION (BUILDING 1)  
LOOKING SOUTH**

SCALE: 1/8" = 1'-0"

**REVISIONS**

1/4/2010	EPC Conditions of Approval
----------	----------------------------

DRAWN BY  
REVIEWED BY  
DATE February 2, 2010  
PROJECT NO. 09-0055  
DRAWING NAME

**EXTERIOR ELEVATIONS  
BUILDING 1 and 2**

SHEET NO.

**7441 & 7501  
Paseo Del Norte  
Albuquerque, New Mexico 87113**