

VICINITY MAP No. C-19



LEGAL DESCRIPTION

A CERTAIN TRACT OF LAND BEING THE REMAINING PORTIONS OF LOTS NUMBERED TWENTY (20) AND TWENTY-ONE (21) AND ALL OF LOT NUMBERED THIRTEEN (13) IN BLOCK NUMBERED TEN (10) IN TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 10, 1931 IN VOLUME D, FOLIO 201, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT, BEING A POINT ON THE NORTHERLY LINE OF PASEO DEL NORTE, WHENCE CITY OF ALBUQUERQUE CONTROL MONUMENT "HEAVEN UNDERGROUND" HAVING NEW MEXICO STATE PLANE COORDINATES OF (CENTRAL ZONE, NAD 1983) X=1,547,297.145 AND Y=1,518,799.515 BEARS S 02°53'23" W, A DISTANCE OF 177.65 FEET RUNNING THENCE N 86°44'23" W, ALONG THE NORTHERLY LINE OF PASEO DEL NORTE, A DISTANCE OF 330.60 FEET TO THE SOUTHWEST CORNER;
 THENCE N 00°40'36" E, A DISTANCE OF 136.04 FEET TO A POINT;
 THENCE S 89°40'00" E, A DISTANCE OF 164.93 FEET TO A POINT;
 THENCE N 00°05'21" E, A DISTANCE OF 233.79 FEET TO THE NORTHWEST CORNER, BEING A POINT ON THE SOUTH LINE OF HOLLY AVENUE;
 THENCE S 89°40'19" E, ALONG THE SOUTH LINE OF HOLLY AVENUE, A DISTANCE OF 164.10 FEET TO THE NORTHEAST CORNER;
 THENCE S 00°03'05" W, A DISTANCE OF 234.00 FEET TO A POINT;
 THENCE S 00°29'48" W, A DISTANCE OF 152.73 FEET TO THE SOUTHEAST CORNER AND PLACE OF BEGINNING CONTAINING 1.9790 ACRES MORE OR LESS

**PLAT OF
 LOTS 20-A AND 21-A, BLOCK 10
 TRACT 2, UNIT 3
 NORTH ALBUQUERQUE ACRES**

WITHIN
 ELENA GALLEGOS LAND GRANT
 PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2010

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

CITY APPROVALS:

CITY SURVEYOR: [Signature] DATE: 1-19-10

*REAL PROPERTY DIVISION (CONDITIONAL) DATE _____

**ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) DATE _____

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE _____

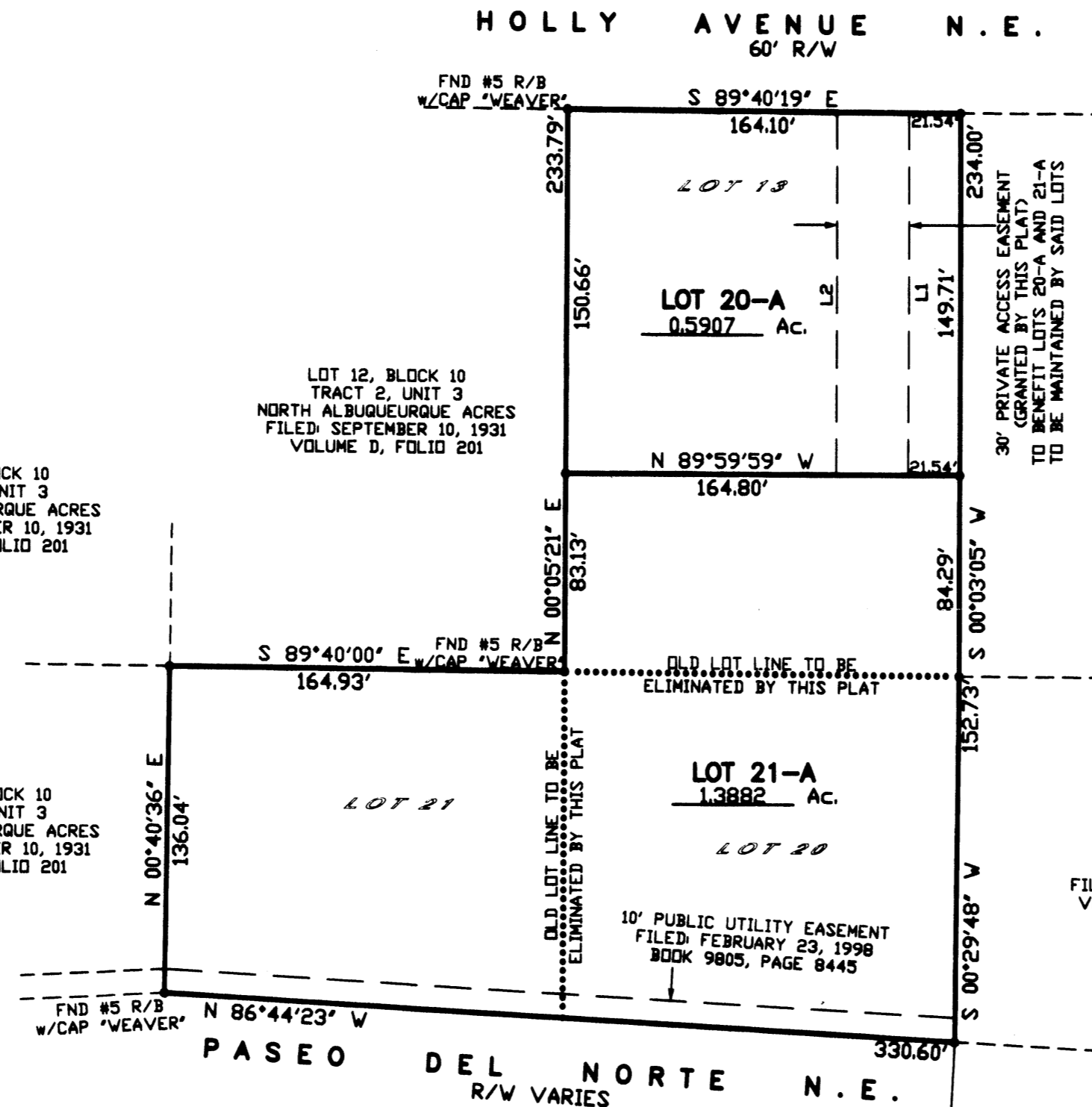
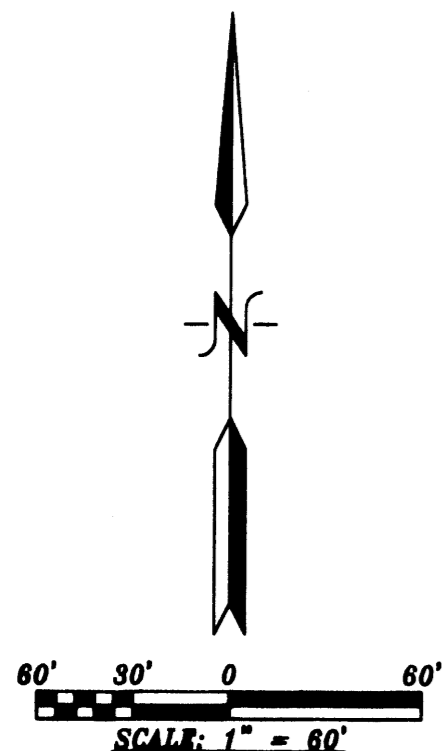
ABCWUA DATE _____

PARKS AND RECREATION DEPARTMENT DATE _____

AMAFCA DATE _____

CITY ENGINEER DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE _____



PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS TO COMBINE LOTS 13, 20 AND 21 INTO 2 LOTS AND GRANT ANY EASEMENTS AS SHOWN.

GENERAL NOTES:

- UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
- THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- TOTAL AREA OF PROPERTY: 1.9790 ACRES.
- TALOS LOG NO. 2010030876
- BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1983.
- DISTANCES ARE GROUND, BEARINGS ARE GRID.
- BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
- DATE OF FIELD WORK: AUGUST, 2009
- NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT

LOT 11, BLOCK 10
 TRACT 2, UNIT 3
 NORTH ALBUQUERQUE ACRES
 FILED: SEPTEMBER 10, 1931
 VOLUME D, FOLIO 201

LOT 22, BLOCK 10
 TRACT 2, UNIT 3
 NORTH ALBUQUERQUE ACRES
 FILED: SEPTEMBER 10, 1931
 VOLUME D, FOLIO 201

FREE CONSENT

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

[Signature] 1/15/10
 JAMES R. ACHEN CO-MANAGING MEMBER FOR
 RESOLUTIONS EQUITIES LLC

[Signature] 1/15/2010
 GORDON L. SKARSGARD CO-MANAGING MEMBER FOR
 RESOLUTIONS EQUITIES LLC

ACKNOWLEDGMENT
 STATE OF NEW MEXICO) S.S.
 COUNTY OF BERNALILLO)



THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC
 THIS 15TH DAY OF January 20 10

BY: James R. Achen and Gordon L. Skarsgard
 OWNERS NAME

MY COMMISSION EXPIRES: 4/10/2013 BY: [Signature]
 NOTARY PUBLIC

ACS STATION "HEAVEN UNDERGROUND"
 X=1,547,297.145
 Y=1,518,799.515
 GRD TO GRID=0.999655810
 Δα = -00° 10' 46.22"
 CENTRAL ZONE, NAD 1983

SURVEYORS CERTIFICATE:

STATE OF NEW MEXICO) S.S.
 COUNTY OF BERNALILLO)

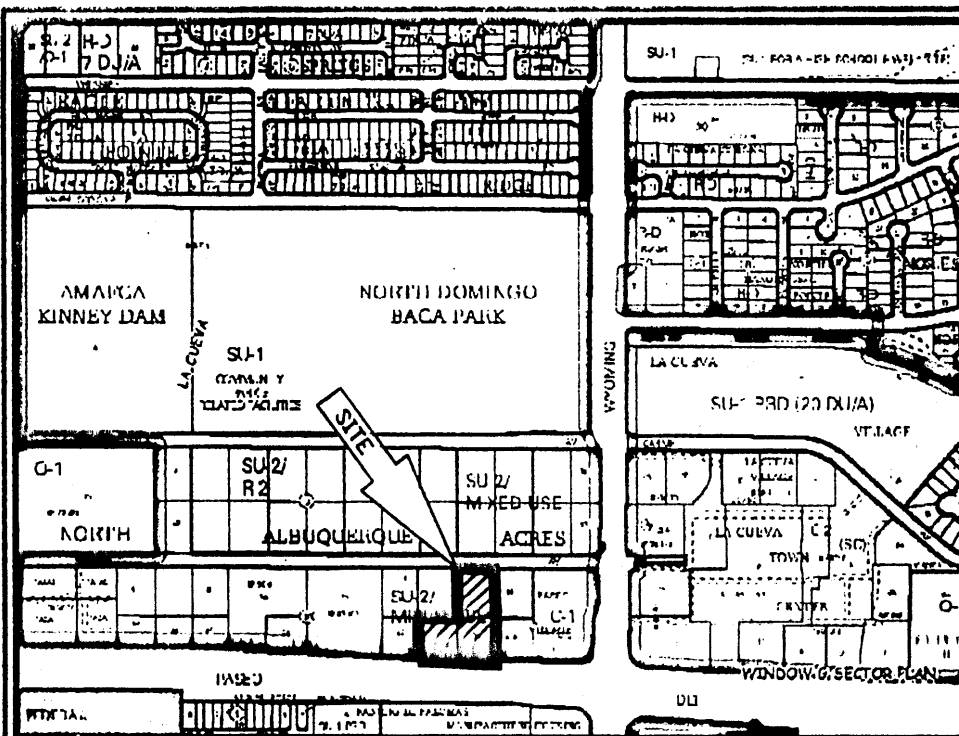
I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LICENSED LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,
 THIS 19th DAY OF January, 2010.

[Signature]
 ANTHONY L. HARRIS, P.S. # 11463

HARRIS SURVEYING, INC.
 2415-D MONROE STREET N.E.
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE: (505) 888-8866
 FAX: (505) 888-8845

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
 UPC# _____
 PROPERTY OWNER OF RECORD: _____
 BERNALILLO CO. TREASURER'S OFFICE: _____



VICINITY MAP No. C-19

N.T.S.

LEGAL DESCRIPTION

A CERTAIN TRACT OF LAND BEING THE REMAINING PORTIONS OF LOTS NUMBERED TWENTY (20) AND TWENTY-ONE (21) AND ALL OF LOT NUMBERED THIRTEEN (13) IN BLOCK NUMBERED TEN (10) IN TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 10, 1931 IN VOLUME D, FOLIO 201, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT, BEING A POINT ON THE NORTHERLY LINE OF PASEO DEL NORTE, WHENCE CITY OF ALBUQUERQUE CONTROL MONUMENT "HEAVEN UNDERGROUND" HAVING NEW MEXICO STATE PLANE COORDINATES OF (CENTRAL ZONE, NAD 1983) X=1,547,297.145 AND Y=1,518,799.515 BEARS S 02°53'23" W, A DISTANCE OF 177.65 FEET RUNNING THENCE N 86°44'23" W, ALONG THE NORTHERLY LINE OF PASEO DEL NORTE, A DISTANCE OF 330.60 FEET TO THE SOUTHWEST CORNER;
 THENCE N 00°40'36" E, A DISTANCE OF 136.04 FEET TO A POINT;
 THENCE S 89°40'00" E, A DISTANCE OF 164.93 FEET TO A POINT;
 THENCE N 00°05'21" E, A DISTANCE OF 263.79 FEET TO THE NORTHWEST CORNER, BEING A POINT ON THE SOUTH LINE OF HOLLY AVENUE;
 THENCE S 89°40'19" E, ALONG THE SOUTH LINE OF HOLLY AVENUE, A DISTANCE OF 164.70 FEET TO THE NORTHEAST CORNER;
 THENCE S 00°03'05" W, A DISTANCE OF 264.00 FEET TO A POINT;
 THENCE S 00°29'48" W, A DISTANCE OF 152.73 FEET TO THE SOUTHEAST CORNER AND PLACE OF BEGINNING CONTAINING 2.0924 ACRES MORE OR LESS

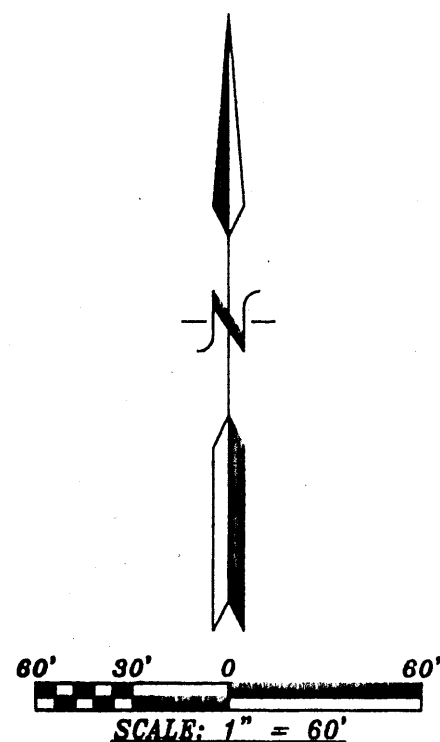
**PLAT OF
 LOTS 20-A AND 21-A, BLOCK 10
 TRACT 2, UNIT 3
 NORTH ALBUQUERQUE ACRES**

WITHIN
 ELENA GALLEGOS LAND GRANT
 PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2010

PROJECT NUMBER: 1008069
 APPLICATION NUMBER: 10 DRB-70028

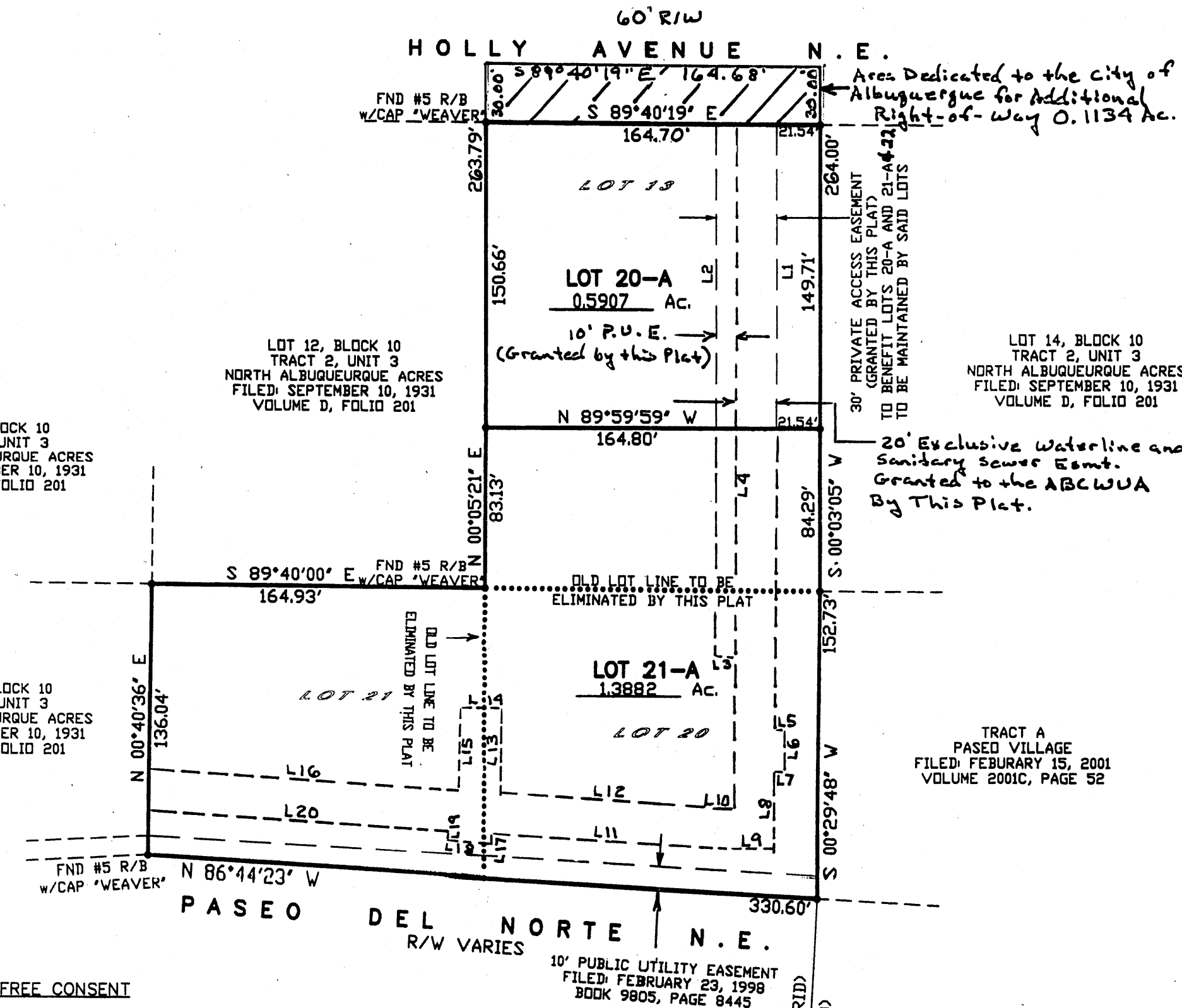
CITY APPROVALS:

CITY SURVEYOR: [Signature] DATE: 1-19-10
 REAL PROPERTY DIVISION (CONDITIONAL) DATE: N/A
 ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) DATE: N/A
 TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE: 02/17/10
 ABCWUA DATE: 2/17/10
 AMAFCA DATE: 2/17/10
 PARKS AND RECREATION DEPARTMENT DATE: 2/17/10
 CITY ENGINEER DATE: 2/17/10
 DRB CHAIRPERSON, PLANNING DEPARTMENT DATE: 05-17-10



LOT 11, BLOCK 10
 TRACT 2, UNIT 3
 NORTH ALBUQUERQUE ACRES
 FILED: SEPTEMBER 10, 1931
 VOLUME D, FOLIO 201

LOT 22, BLOCK 10
 TRACT 2, UNIT 3
 NORTH ALBUQUERQUE ACRES
 FILED: SEPTEMBER 10, 1931
 VOLUME D, FOLIO 201



PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS TO COMBINE LOTS 13, 20 AND 21 INTO 2 LOTS AND GRANT ANY EASEMENTS AS SHOWN AND Dedicate Additional Right-of-Way.

GENERAL NOTES:

- UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
- THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- TOTAL AREA OF PROPERTY: 2.0924 ACRES.
- TALOS LOG NO. 2010030876
- BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1983.
- DISTANCES ARE GROUND, BEARINGS ARE GRID.
- BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
- DATE OF FIELD WORK: AUGUST, 2009
- NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT

FREE CONSENT

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED. And do hereby dedicate additional Right of Way to the City of Albuquerque in fee 1/15/10 Simple w/ warranty covenants

JAMES R. ACHEN CO-MANAGING MEMBER FOR RESOLUTIONS EQUITIES LLC DATE: 1/15/2010
 GORDON L. SKARSGARD CO-MANAGING MEMBER FOR RESOLUTIONS EQUITIES LLC DATE: 1/15/2010

ACKNOWLEDGMENT
 STATE OF NEW MEXICO) S.S.
 COUNTY OF BERNALILLO)

OFFICIAL SEAL
 Trisha A. Lopes
 NOTARY PUBLIC
 STATE OF NEW MEXICO
 My Commission Expires: 4/10/2013

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC THIS 15TH DAY OF January 20 10
 BY: James R. Achen and Gordon L. Skarsgard
 OWNERS NAME

MY COMMISSION EXPIRES: 4/10/2013 BY: [Signature]
 NOTARY PUBLIC

LINE TABLE

NUMBER	DIRECTION	DISTANCE
L1	S 00°03'05" W	304.57'
L2	S 00°03'05" W	267.99'
L3	S 89°56'55" E	10.00'
L4	S 00°03'05" W	343.05'
L5	S 89°56'55" E	5.00'
L6	S 00°03'05" W	20.00'
L7	S 89°56'55" E	5.00'
L8	S 00°03'05" W	38.48'
L9	N 89°56'55" W	25.70'
L10	N 89°56'55" W	5.14'
L11	N 86°43'56" W	114.61'
L12	N 86°43'56" W	109.50'
L13	S 00°03'05" W	41.96'
L14	S 89°56'55" E	20.00'
L15	S 00°03'05" W	40.84'
L16	N 86°43'56" W	155.05'
L17	S 03°16'04" W	5.00'
L18	N 86°43'56" W	20.00'
L19	N 03°16'04" E	5.00'
L20	N 86°43'56" W	149.63'

ACS STATION "HEAVEN UNDERGROUND"
 X=1,547,297.145
 Y=1,518,799.515
 GRD TO GRID=0.999655810
 Δα = -00° 10' 46.22"
 CENTRAL ZONE, NAD 1983

SURVEYORS CERTIFICATE:

STATE OF NEW MEXICO) S.S.
 COUNTY OF BERNALILLO)

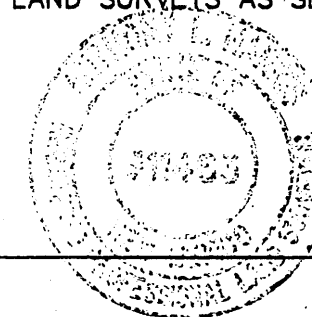
I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LICENSED LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,
 THIS 19th DAY OF January 2010.

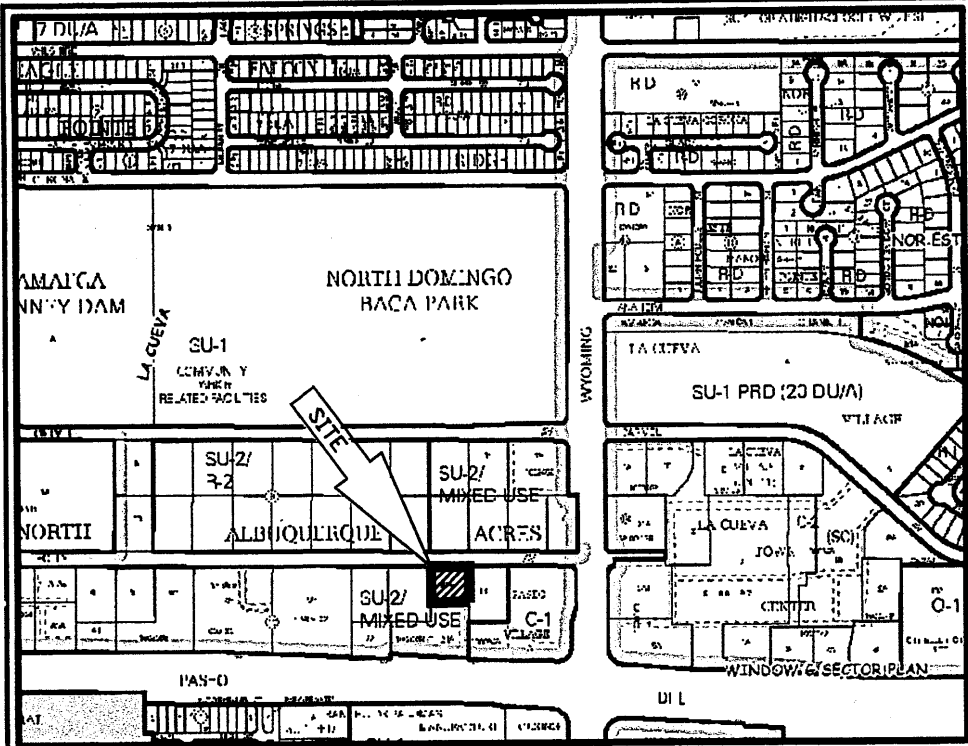
[Signature]
 ANTHONY L. HARRIS, P.S. # 11463

HARRIS SURVEYING, INC.
 2412 MONROE STREET N.E.
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE: (505) 889-8056
 FAX: (505) 889-8645

DOCH 2010047178
 05/26/2010 10:27 AM Page 1 of 1
 PLAT R: 37 00 B 2010C P: 0063 M Toulouse Olivere, Bernalillo Coun



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
 UPC# 019-6-301-12
 PROPERTY OWNER OF RECORD: North Albuquerque Acres
 BERNALILLO CO. TREASURER'S OFFICE: [Signature]



VICINITY MAP No. C-19

LEGAL DESCRIPTION
 LOT NUMBERED TWENTY-A (20-A) IN BLOCK NUMBERED TEN (10), TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MAY 26, 2010 IN MAP BOOK 2010C, FOLIO 63

**PLAT OF
 LOT 20-A-1, BLOCK 10
 TRACT 2, UNIT 3
 NORTH ALBUQUERQUE ACRES**

WITHIN
 ELENA GALLEGOS LAND GRANT
 PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2012

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

UTILITY APPROVALS:

PUBLIC SERVICE COMPANY OF NEW MEXICO _____ DATE _____

NEW MEXICO GAS COMPANY _____ DATE _____

QWEST CORPORATION D/B/A CENTURYLINK QC _____ DATE _____

COMCAST _____ DATE _____

CITY APPROVALS:

[Signature] _____ **9-24-12**
 CITY SURVEYOR _____ DATE _____

*REAL PROPERTY DIVISION (CONDITIONAL) _____ DATE _____

**ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) _____ DATE _____

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____

ABCWUA _____ DATE _____

PARKS AND RECREATION DEPARTMENT _____ DATE _____

AMAFCA _____ DATE _____

CITY ENGINEER _____ DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS TO VACATE 3' OF THE 30' PRIVATE ACCESS EASEMENT AND GRANT ANY EASEMENTS AS SHOWN.

GENERAL NOTES:

- UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
- THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- TOTAL AREA OF PROPERTY: 0.5680 ACRES.
- BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1983.
- DISTANCES ARE GROUND, BEARINGS ARE GRID.
- DATE OF FIELD WORK: JUNE, 2012
- NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico** ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company** for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest** for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV** for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat. Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

Disclaimer
 In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

FREE CONSENT

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

[Signature] _____ DATE **9-18-12**



ACKNOWLEDGMENT

STATE OF NEW MEXICO) S.S.
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC THIS 18 DAY OF September 2012.

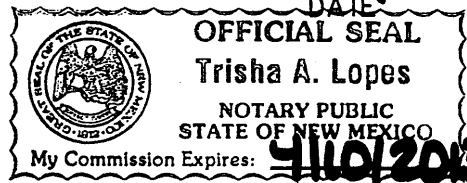
BY: Gordon L. Skarsgard, Co-Managing Member
 OWNERS NAME Resolution Equities LLC

MY COMMISSION EXPIRES: 4/10/2013 BY: *[Signature]* NOTARY PUBLIC

FREE CONSENT

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

[Signature] _____ DATE **9-18-12**



ACKNOWLEDGMENT
 STATE OF NEW MEXICO) S.S.
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC THIS 18 DAY OF September 2012.

BY: James R. Achen, Co-Managing Member
 OWNERS NAME Resolution Equities LLC

MY COMMISSION EXPIRES: 4/10/2013 BY: *[Signature]* NOTARY PUBLIC

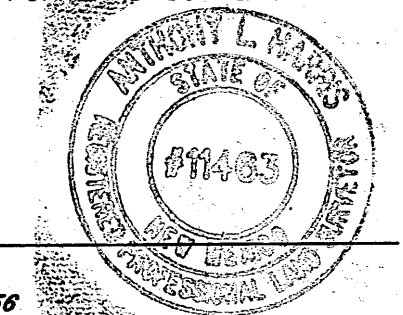
SURVEYORS CERTIFICATE:

STATE OF NEW MEXICO) S.S.
 COUNTY OF BERNALILLO)

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LICENSED LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO, THIS 17th DAY OF September 2012.

[Signature] _____
 ANTHONY L. HARRIS, P.S. # 11463



HARRIS SURVEYING, INC.
 3415-B BOYD STREET N.E. ALBUQUERQUE, NEW MEXICO 87110
 PHONE: (505) 889-8056 FAX: (505) 889-8645

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON

UPC# _____

PROPERTY OWNER OF RECORD: _____

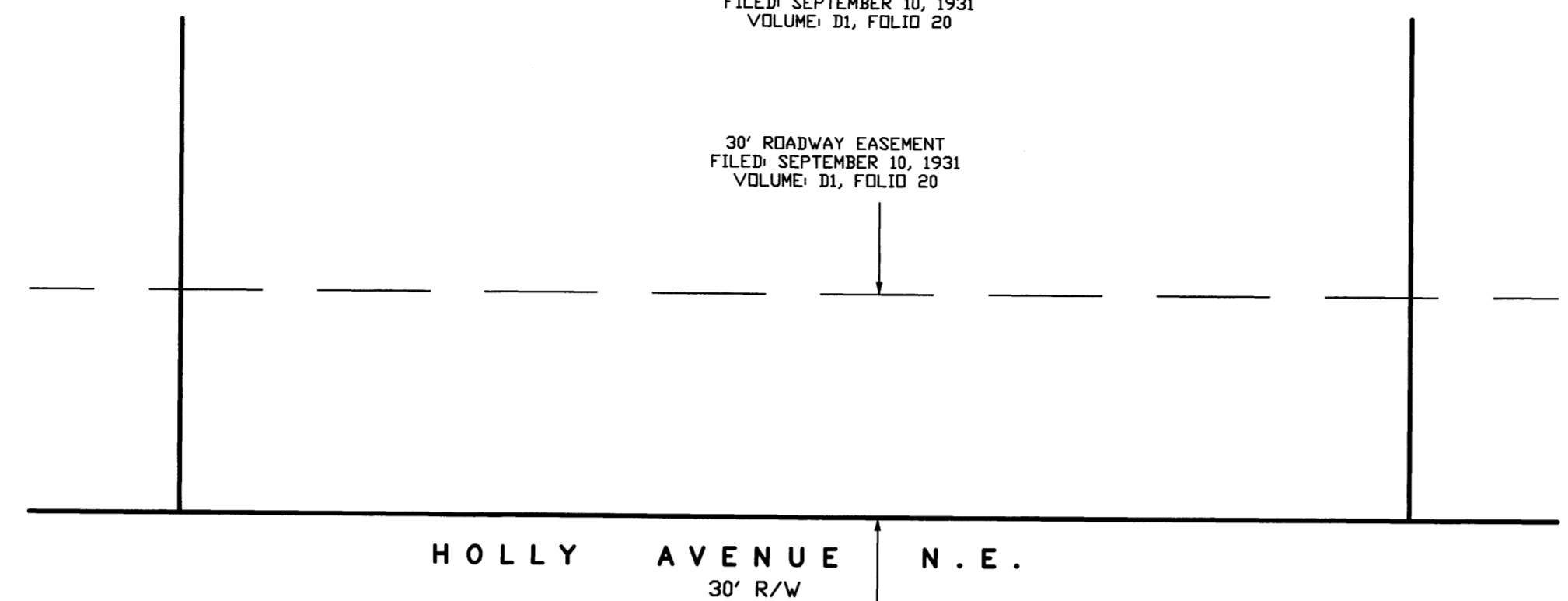
BERNALILLO CO. TREASURER'S OFFICE: _____

PLAT OF
LOT 20-A-1, BLOCK 10
TRACT 2, UNIT 3
NORTH ALBUQUERQUE ACRES

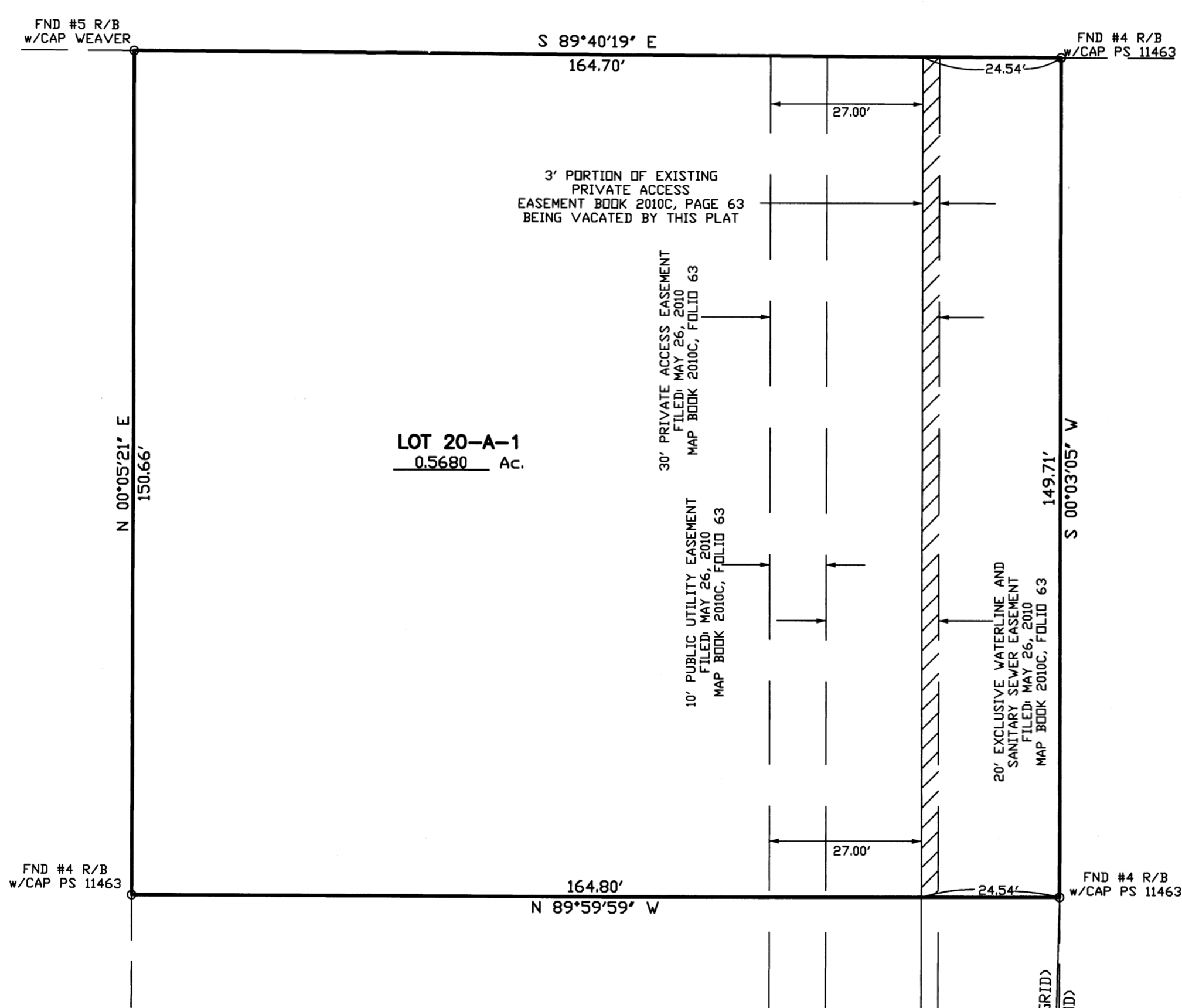
WITHIN
 ELENA GALLEGOS LAND GRANT
 PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2012

LOT 20, BLOCK 9
 TRACT 2, UNIT 3
 NORTH ALBUQUERQUE ACRES
 FILED: SEPTEMBER 10, 1931
 VOLUME: D1, FOLIO 20

30' ROADWAY EASEMENT
 FILED: SEPTEMBER 10, 1931
 VOLUME: D1, FOLIO 20



HOLLY AVENUE N.E.
 30' R/W



LOT 20-A-1
 0.5680 Ac.

3' PORTION OF EXISTING
 PRIVATE ACCESS
 EASEMENT BOOK 2010C, PAGE 63
 BEING VACATED BY THIS PLAT

30' PRIVATE ACCESS EASEMENT
 FILED: MAY 26, 2010
 MAP BOOK 2010C, FOLIO 63

10' PUBLIC UTILITY EASEMENT
 FILED: MAY 26, 2010
 MAP BOOK 2010C, FOLIO 63

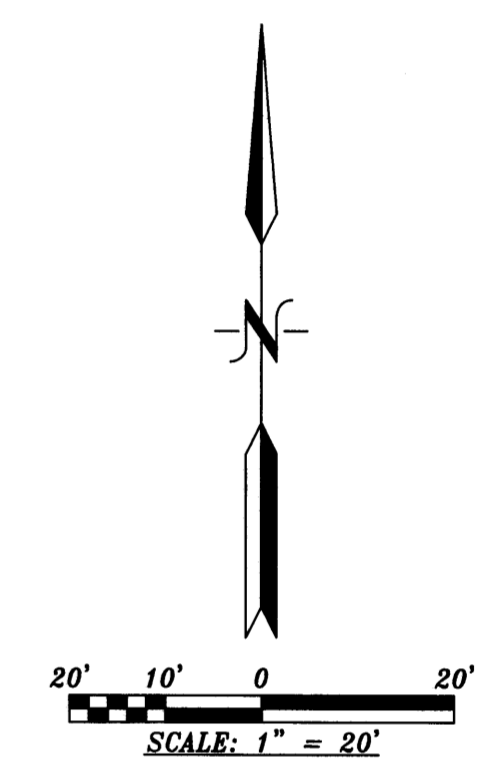
20' EXCLUSIVE WATERLINE AND
 SANITARY SEWER EASEMENT
 FILED: MAY 26, 2010
 MAP BOOK 2010C, FOLIO 63

LOT 12, BLOCK 10
 TRACT 2, UNIT 3
 NORTH ALBUQUERQUE ACRES
 FILED: SEPTEMBER 10, 1931
 VOLUME: D, FOLIO 201

LOT 14, BLOCK 10
 TRACT 2, UNIT 3
 NORTH ALBUQUERQUE ACRES
 FILED: SEPTEMBER 10, 1931
 VOLUME: D, FOLIO 201

LOT 21-A, BLOCK 10
 TRACT 2, UNIT 3
 NORTH ALBUQUERQUE ACRES
 FILED: MAY 26, 2010
 BOOK 2010C, PAGE 63

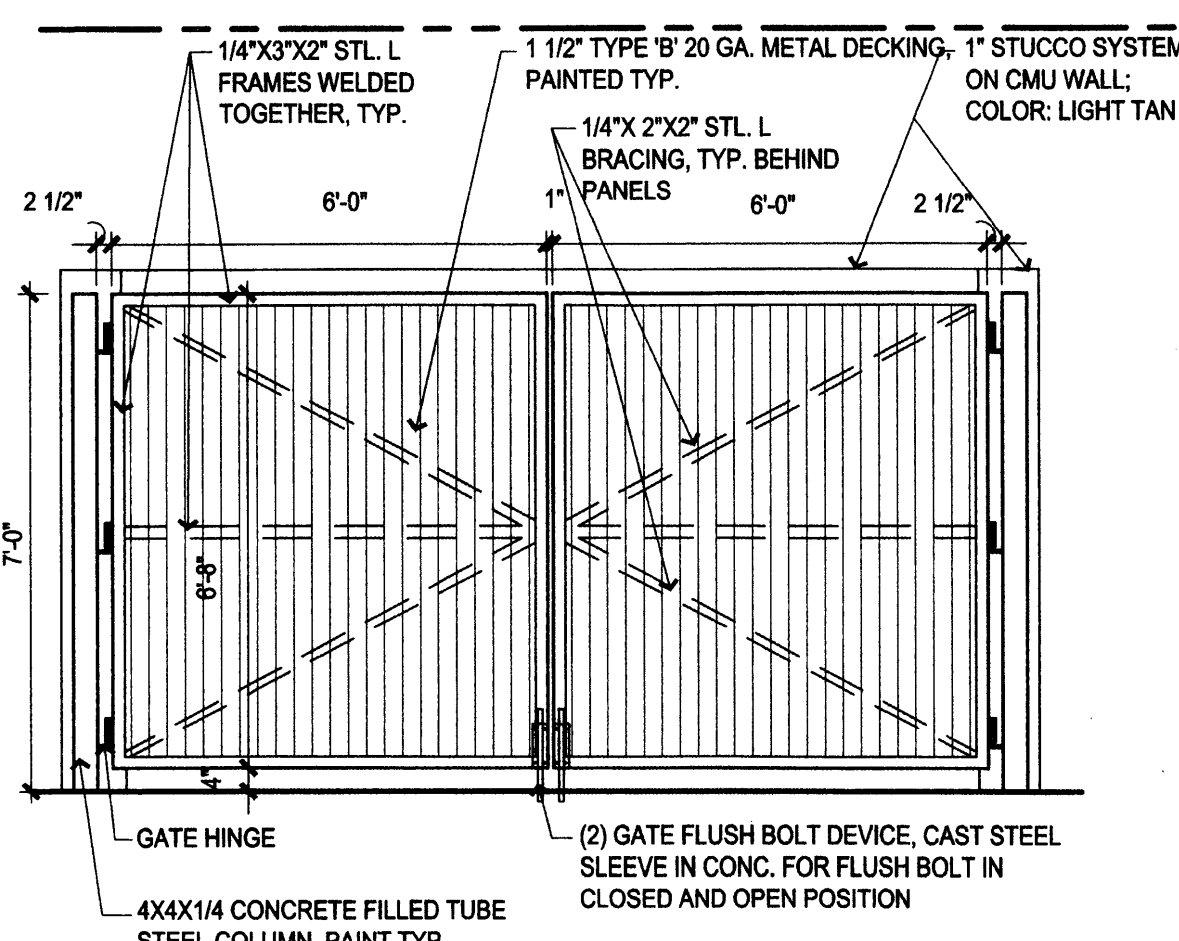
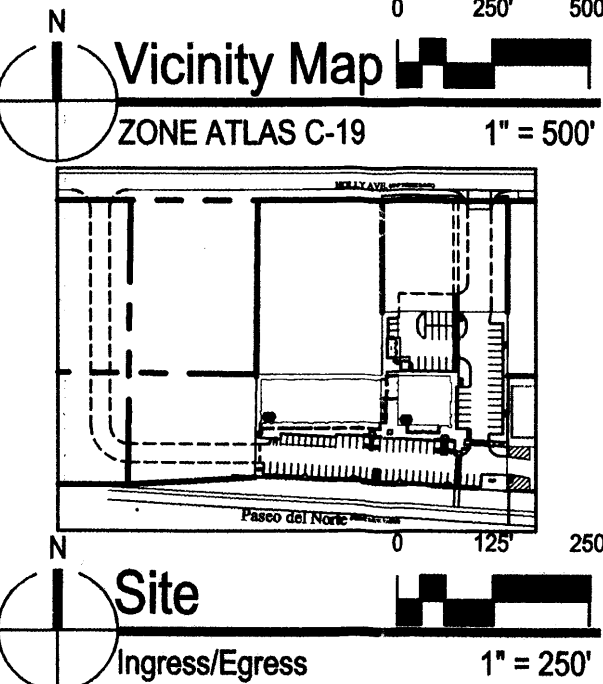
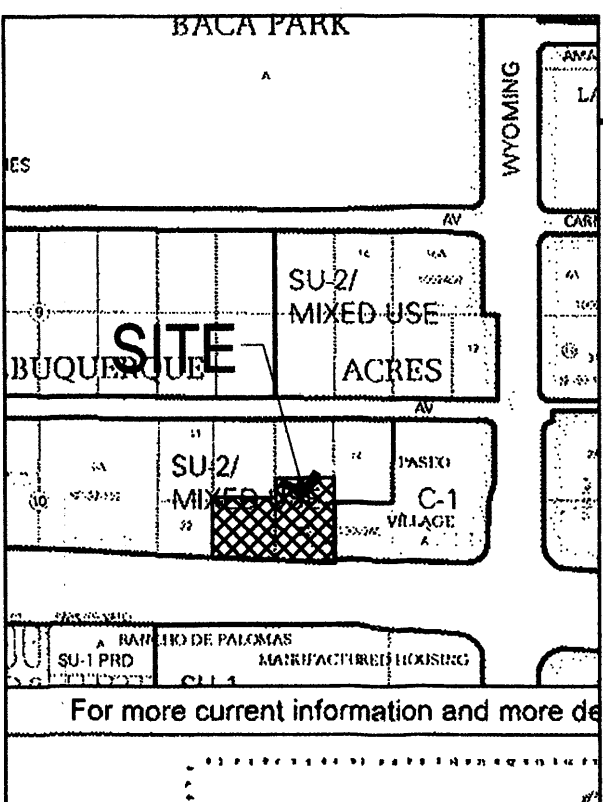
ACS STATION "HEAVEN UNDERGROUND"
 X=1,547,297.145
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 GRD TO GRID=0.999655810
 $\Delta x = -00' 10' 46.22''$
 CENTRAL ZONE, NAD 1983



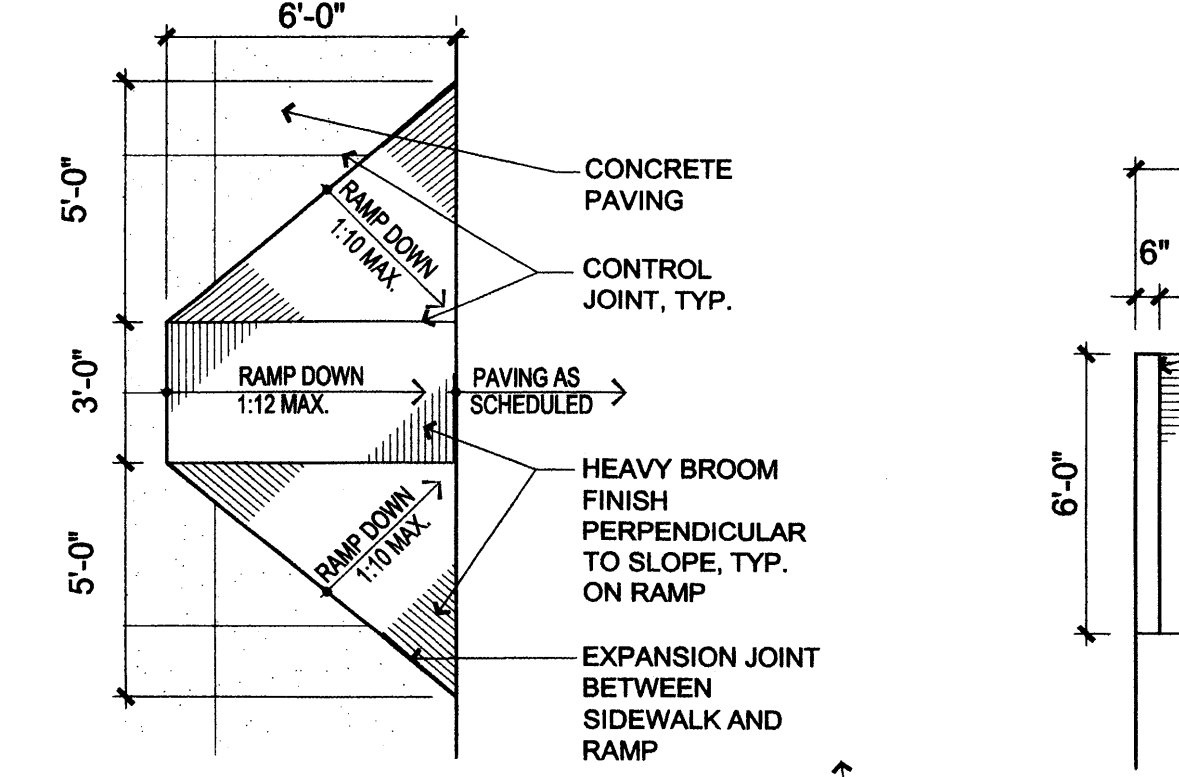
12-0323.DWG (AUGUST, 2012)

Created by Neevia docuPrinter trial version

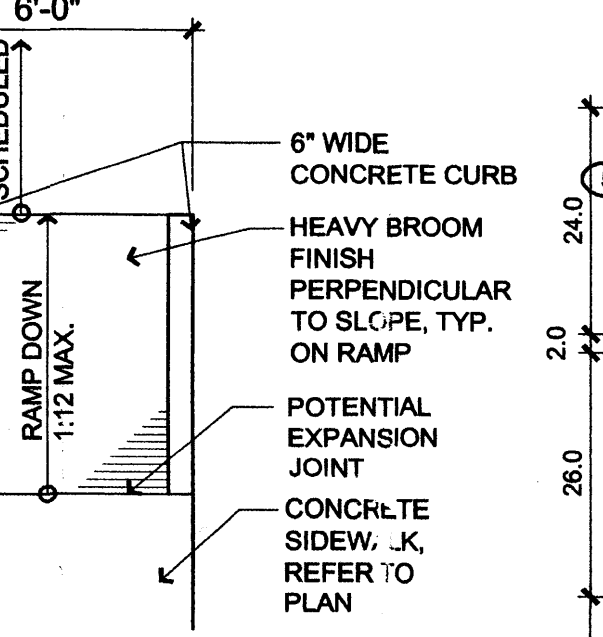
HOLLY AVE. (60'-0" PUBLIC R.O.W.)



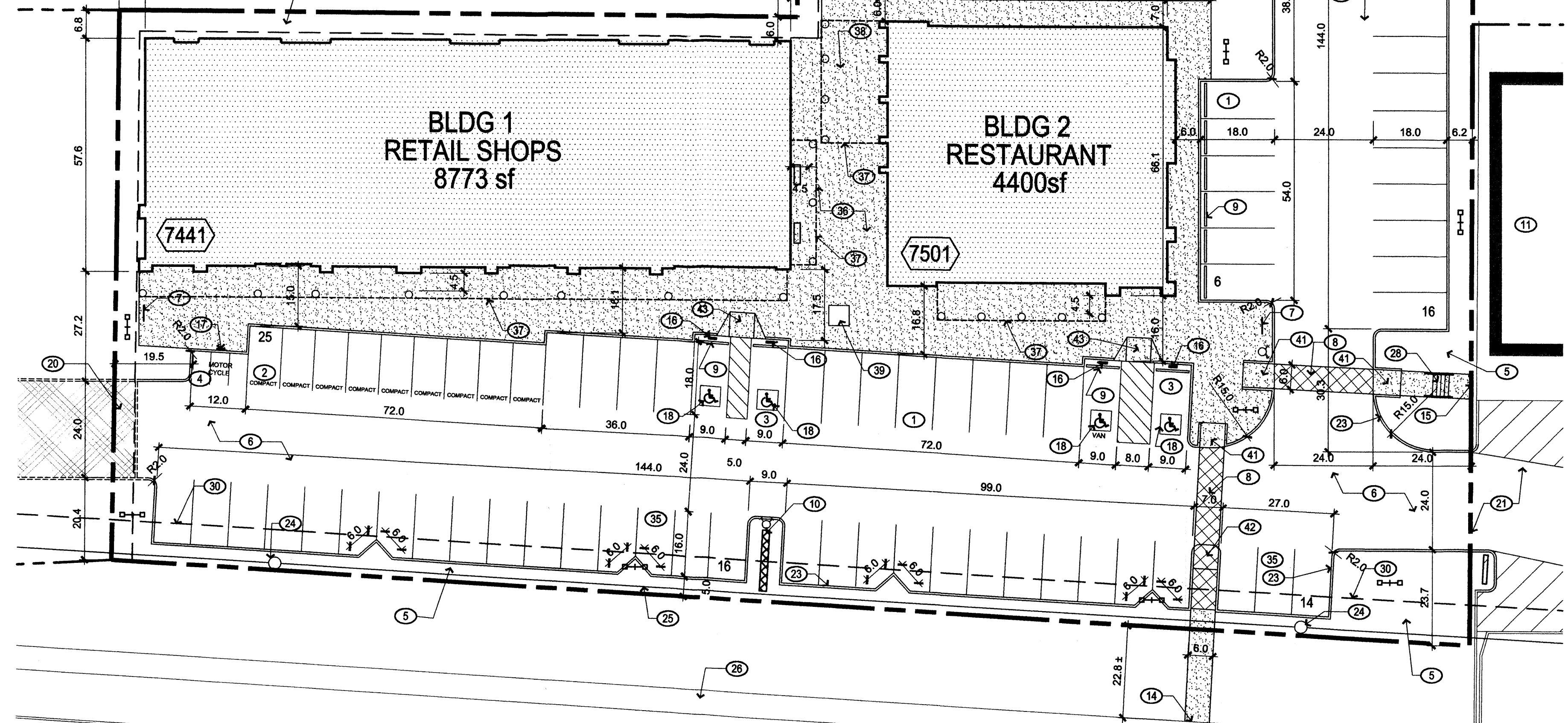
2 TRASH/RECYCLING ENCLOSURE ELEVATION
3/8" = 1'-0"



4 RAMP DETAIL
1/4" = 1'-0"



5 RAMP DETAIL
1/4" = 1'-0"



Paseo del Norte (PUBLIC R.O.W. VARIES)
SITE PLAN
1" = 20'-0"

GENERAL NOTES

- A. SITE PLAN SHALL BE DESIGNED & BUILT TO CURRENT DPM STANDARDS.
- B. SEE CIVIL PLANS FOR ADDITIONAL GRADING, DRAINAGE AND UTILITY INFORMATION.
- C. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- D. ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- E. ALL FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT, THE CITY OF ALBUQUERQUE ZONING CODE, SECTION 14-16-3-9 AREA LIGHTING REGULATIONS, AND THE LA CUEVA SDP LIGHTING REGULATIONS.
- F. LIGHTING WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE SUBJECT TO THE STANDARDS AND REVIEW OF PNM, UNLESS MAINTENANCE FOR RIGHT-OF-WAY LIGHTING IS THE FULL RESPONSIBILITY OF OTHER PARTIES.
- G. LIGHTING DESIGN FOR PARKING AREAS SHALL BE LIGHTED TO PROVIDE FUNCTIONAL, ATTRACTIVE, AND UNIFIED LIGHTING THROUGHOUT THE LOT AND BE EXTINGUISHED ONE HOUR AFTER THE CLOSE OF BUSINESS, EXCEPT AS NEEDED TO PROVIDE FOR MINIMUM SECURITY LEVELS.
- H. THE CLOSEST BUS STOP IS LOCATED ON THE NORTHWEST SIDE OF THE HOLLY AVE. AND WYOMING BLVD. INTERSECTION; APPROXIMATELY 700 FT. FROM THE SITE.
- J. BUILDING PARAPETS SHALL TOTALLY SCREEN ALL ROOF TOP UNITS AND EQUIPMENT FROM SIGHT.
- K. THE MAXIMUM INDIVIDUAL LETTER SIZE OF ALL BUILDING MOUNTED SIGNAGE SHALL NOT EXCEED 2'-0" IN HEIGHT. LOGO DESIGN SIGNS SHALL COMPLY WITH 13R-9 OF THE LA CUEVA SDP. ALL SIGNS SHALL FOLLOW THE LA CUEVA SDP SIGNAGE REGULATIONS.
- L. ALL NEW UTILITIES SHALL BE PLACED UNDERGROUND PER 11R-2 OF THE LA CUEVA SDP.
- M. IF A FREE STANDING SIGN ON LOT 20 IS APPROVED BY ZHE, THE TOTAL SIGN FACE AREA OF BUILDING MOUNTED SIGNS ON LOT 20 SHALL NOT EXCEED 12.5% OF THE TOTAL FACADE AREA. FOR THE SOUTHERN ELEVATIONS AND 10% OF THE TOTAL FACADE AREA FOR THE OTHER ELEVATIONS. THE TOTAL SIGN FACE AREA OF EACH TENANT'S BUILDING MOUNTED SIGNS SHALL NOT EXCEED 12.5% OF THE FACADE AREA OF EACH TENANT'S PREMISES FOR SOUTH ELEVATIONS AND 10% FOR OTHER ELEVATIONS.
- N. ALL SIGNAGE TO PROVIDE MINIMUM CONTRAST OF 70% BETWEEN GRAPHICS AND BACKGROUND PER ADA.
- P. EXISTING UTILITY EASEMENTS OR RIGHT-OF-WAY SHALL BE DETERMINED IF THEY ARE LOCATED ON OR ADJACENT TO THE PROPERTY AND TO ABIDE BY ANY CONDITIONS OR TERMS OF THOSE EASEMENTS OR AGREEMENTS.
- Q. PNM'S NEW SERVICE DELIVERY DEPARTMENT SHALL BE CONTACTED TO COORDINATE ELECTRIC SERVICE.
- R. SCREENING SHALL BE DESIGNED TO ALLOW ACCESS TO UTILITY FACILITIES. ADEQUATE CLEARANCE SURROUNDING GROUND MOUNTED UTILITIES FOR SAFE OPERATION AND MAINTENANCE SHALL BE 10 FT. FRONT OF DOOR AND 5 FT. ON THE OTHER SIDES.
- S. PNM'S NEW SERVICE DELIVERY DEPARTMENT SHALL BE CONTACTED REGARDING COORDINATION OF PROPOSED TREE SPECIES, PLACEMENT, MATURITY HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES AND TO AVOID INTERFERENCE WITH THE EXISTING DISTRIBUTION FACILITIES ALONG PASEO DEL NORTE AND THE SOUTHERN BOUNDARY OF THE SITE.
- T. USES SHALL COMPLY AT MINIMUM WITH SU-2/MIXED USE ZONING (SECTION 5.4.5, LA CUEVA SDP 2000, REVISED 2003).
- U. THE FREE STANDING SIGN SHOWN ON THE SITE DEVELOPMENT PLAN IS NOT ALLOWED UNLESS A VARIANCE IS OBTAINED FROM THE ZHE.

KEYED NOTES

1. TYPICAL PARKING SPACE; 9'-0"x18'-0"
2. TYPICAL COMPACT PARKING SPACE; 8'-0"x15'-0"
3. TYPICAL ADA PARKING SPACE; 9'-0"x20'-0"
4. TYPICAL MOTORCYCLE PARKING SPACE; 4'-0"x8'-0"
5. LANDSCAPED AREA; REFER TO LANDSCAPE PLAN
6. ASPHALT PAVING
7. METAL BIKE RACK
8. 6'-0" WIDE PEDESTRIAN CROSSWALK. COLOR AND TEXTURE PATTERN TO DIFFERENTIATE FROM SURROUNDING ASPHALT PAVING.
9. CONCRETE WHEEL STOP TYPICAL
10. PROPOSED MONUMENT SIGN; ELEVATIONS SUBMITTED TO ZHE FOR APPROVAL
11. EXISTING RETAIL BUILDING
12. REFUSE ENCLOSURE FOR SOLID WASTE DISPOSAL; REFER 2/SHT.1
13. REFUSE ENCLOSURE FOR RECYCLABLE MATERIAL DISPOSAL; REFER 2/SHT.1
14. 6'-0" WIDE CONCRETE SIDEWALK TO CONNECT TO EXISTING SIDEWALK ALONG STREET.
15. 6'-0" WIDE CONCRETE SIDEWALK TO CONNECT TO EXISTING CONCRETE SIDEWALK IN ADJACENT DEVELOPMENT.
16. POLE MOUNTED ADA SIGNAGE
17. POLE MOUNTED MOTORCYCLE PARKING SIGNAGE
18. PAINTED ADA PAVEMENT SIGNAGE
19. CONCRETE DRIVEPAD, SEE COA STANDARD DRAWING #2426
20. FUTURE SITE INGRESS/EGRESS; CONNECT DRIVE TO HOLLY AVE. THROUGH ADJACENT UNDEVELOPED PROPERTY. CONNECTION WILL ALSO INCLUDE PEDESTRIAN ACCESS.
21. SITE INGRESS/EGRESS; CONNECT TO EXISTING ADJACENT RETAIL DEVELOPMENT PARKING AREA. ADD CONCRETE CURB AROUND EXISTING FREESTANDING SIGN, CLEAR 24 FT. WIDE DRIVE THROUGH EXISTING STRIPED AREA TO CONNECT TO RETAIL PARKING AREA.
22. TEMPORARY ASPHALT CURB.
23. CONCRETE CURB
24. EXISTING UTILITY POLE
25. EXISTING OVERHEAD UTILITIES
26. EXISTING CONCRETE SIDEWALK
27. UNDEVELOPED PROPERTY
28. CONCRETE STAIRS WITH PAINTED METAL HAND RAIL.
29. TEMPORARY ASPHALT PEDESTRIAN PATH
30. EXISTING 10'-0" PUBLIC UTILITY EASEMENT
31. PROPOSED NEW LOT LINE ADJUSTMENT PER THIS SUBMITTAL.
32. NEW 6'-0" WIDE CONCRETE SIDEWALK FRONTING HOLLY AVE.
33. NEW CONCRETE ADA RAMP WITH TRUNCATED DOMES PER COA STANDARD DRAWING #2426. 1:12 MAXIMUM SLOPE.
34. 6'-0" PEDESTRIAN PATHWAY. COLOR AND TEXTURE PATTERN TO DIFFERENTIATE FROM SURROUNDING ASPHALT PAVING.
35. TYPICAL PARKING SPACE FRONTING PASEO DEL NORTE; 9'-0"x16'-0".
36. PLAZA AREA WITH BENCHES; 1320 sf TOTAL OUTDOOR SPACE INCLUDING RESTAURANT PATIO.
37. STEEL TRELLIS ABOVE.
38. COVERED PATIO AREA FOR RESTAURANT.
39. LANDSCAPE AREA FOR SHADE TREE.
40. CONCRETE CURB CUT FOR WATER RUNOFF STORAGE.
41. NEW CONCRETE RAMP; REFER DETAIL 5/SHEET 1.
42. SIMILAR NEW CONCRETE RAMP; REFER DETAIL 5/SHEET 1.
43. NEW CONCRETE RAMP; REFER DETAIL 4/SHEET 1.

SITE DATA

LEGAL DESCRIPTION:
PART OF LOT 13, LOTS 20 AND 21, BLOCK 10, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

ZONE:
SU-2 Mixed Use

GROSS F.A.R. (GBA/SITE AREA):
13,173sf/61,345sf = 0.214

SITE AREA:
61,345sf - 1.40 ACRES

GROSS BUILDING AREA:
RETAIL BLDG. (1-STORY) - 8,773sf
RESTAURANT (1-STORY) - 4,400sf
TOTAL (GBA) - 13,173sf

PARKING INFORMATION

PARKING REQUIRED:
RETAIL BLDG. (M OCCUP.) - 8,600 net sf/200 = 43 SPACES
RESTAURANT (A-2 OCCUP.) - 4,400sf/204 SEATS (1 PER 4) = 51 SPACES
TOTAL SPACES REQUIRED - 94

PARKING PROVIDED: 94 SPACES
(MORE SPACES PROVIDED WITH SHARED PARKING AGREEMENT WITH ADJACENT RETAIL DEVELOPMENT).

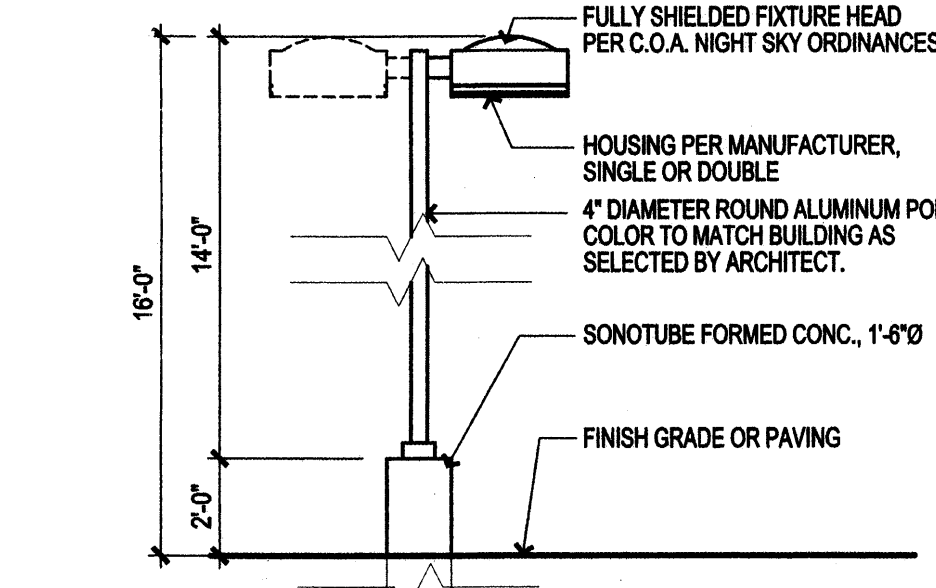
ACCESSIBLE PARKING REQUIRED:
51-100 SPACES = 4 ACCESSIBLE SPACES
ACCESSIBLE PARKING PROVIDED:
4 SPACES, 2 VAN ACCESSIBLE

MOTORCYCLE PARKING REQUIRED:
51-100 SPACES = 3 SPACES
MOTORCYCLE PARKING PROVIDED:
3 SPACES

BICYCLE PARKING REQUIRED:
1:20 AUTOMOBILES = 5 SPACES
BICYCLE PARKING PROVIDED:
5 SPACES

LEGEND

- PROPERTY LINE
- - - BUILDING SETBACK
- [Hatched] EXTENT OF CONCRETE WORK
- [Symbol] POLE MOUNTED PARKING LIGHT; 16'-0" MAX. HEIGHT. RE: DETAIL 3/SHEET 1.
- [Symbol] FIRE HYDRANT
- [Hatched] POTENTIAL FUTURE PHASE PROPERTY



3 LIGHT POLE ELEVATION
1/4" = 1'-0"

FORMER PROJECT NUMBER: 1003532

PROJECT NUMBER: 1008069

APPLICATION NUMBER: 09EPC-40063/10DRB-70026

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated December 17, 2009 and the findings and conditions in the official notification of decision are satisfied.

Is an Infrastructure List Required? (X) Yes () No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
ABCWUA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

architecture
interiors
landscape
planning
engineering

Dekker Perich Sabatini

7601 Jefferson NE Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsdesign.org

ARCHITECT

ENGINEER

PROJECT

7441 & 7501
Paseo Del Norte
Albuquerque, New Mexico 87113

REVISIONS

NO.	DATE	DESCRIPTION
1	1/4/2010	EPC Conditions of Approval

DRAWN BY

REVIEWED BY

DATE February 2, 2010

PROJECT NO. 09-0055

DRAWING NAME

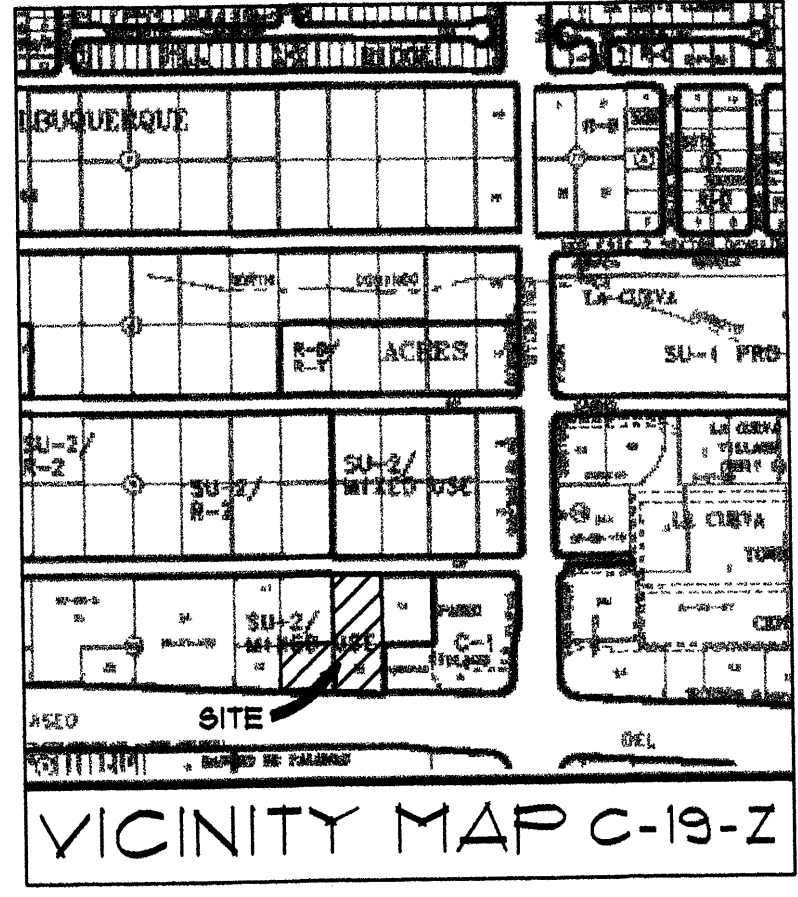
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

SHEET NO. 1

HOLLY AVENUE N.E.

KEYED NOTES

- 1 SIDEWALK CULVERT
- 2 TEMPORARY ASPHALT CURB
- 3 ASPHALT PAVING
- 4 CONCRETE DRIVE PAD
- 5 CONCRETE SIDEWALK
- 6 TEMPORARY ASPHALT PATH
- 7 4'-0" WIDE CURB BREAK AT LANDSCAPE ISLAND FOR RUNOFF STORAGE



DESIGN NARRATIVE

THIS SITE IS 1.37 ACRES AND IS CURRENTLY UNIMPROVED. THE SITE WILL BE DEVELOPED FOR RETAIL BUILDINGS AND PARKING. THE DEVELOPED SITE WILL BE GRADED TO DIRECT RUNOFF TO IMPROVED DOWNSTREAM STORM DRAIN FACILITIES IN PASEO DEL NORTE AND HOLLY AVE. THE MAJORITY OF STORM RUNOFF FROM THE SITE WILL ENTER PASEO DEL NORTE VIA A CONCRETE RUNDOWN AND SIDEWALK CULVERT. THE RUNOFF DIRECTED NORTH WILL FLOW TO STREET IMPROVEMENTS IN HOLLY AVE. VIA THE PAVED ACCESS ROAD.

LEGAL DESCRIPTION

LOTS 13, 20, AND 21, BLOCK 10, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BENCHMARK

ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "HEAVEN UNDERGROUND", HAVING AN ELEVATION OF 5278.235

ENGINEER

PROJECT

LEGEND

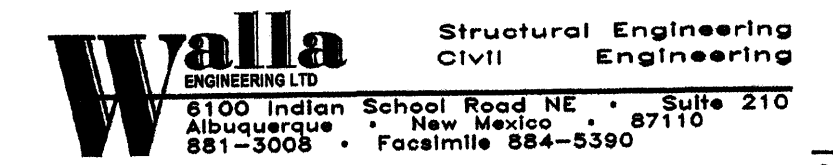
- PROPERTY LINE
- NEW BUILDING LINE
- - - 5380 - - - EXISTING CONTOUR
- NEW CONTOUR
- NEW SPOT ELEVATION
- X G=5376.81 EXISTING SPOT ELEVATION
- NEW FLOW DIRECTION ARROW
- TA TOP OF ASPHALT
- TC TOP OF CONCRETE
- FG FINISHED GRADE
- NEW CONCRETE PAVING
- NEW AC PAVING
- ROOF DRAIN LOCATION
- BOC BACK OF CURB (EXISTING)
- EC EDGE OF CONCRETE (EXISTING)
- G GRADE (EXISTING)
- FL FLOW LINE
- TG TOP OF GRATE

REVISIONS

1	1/14/2010	EPC Conditions of Approval
2		
3		
4		

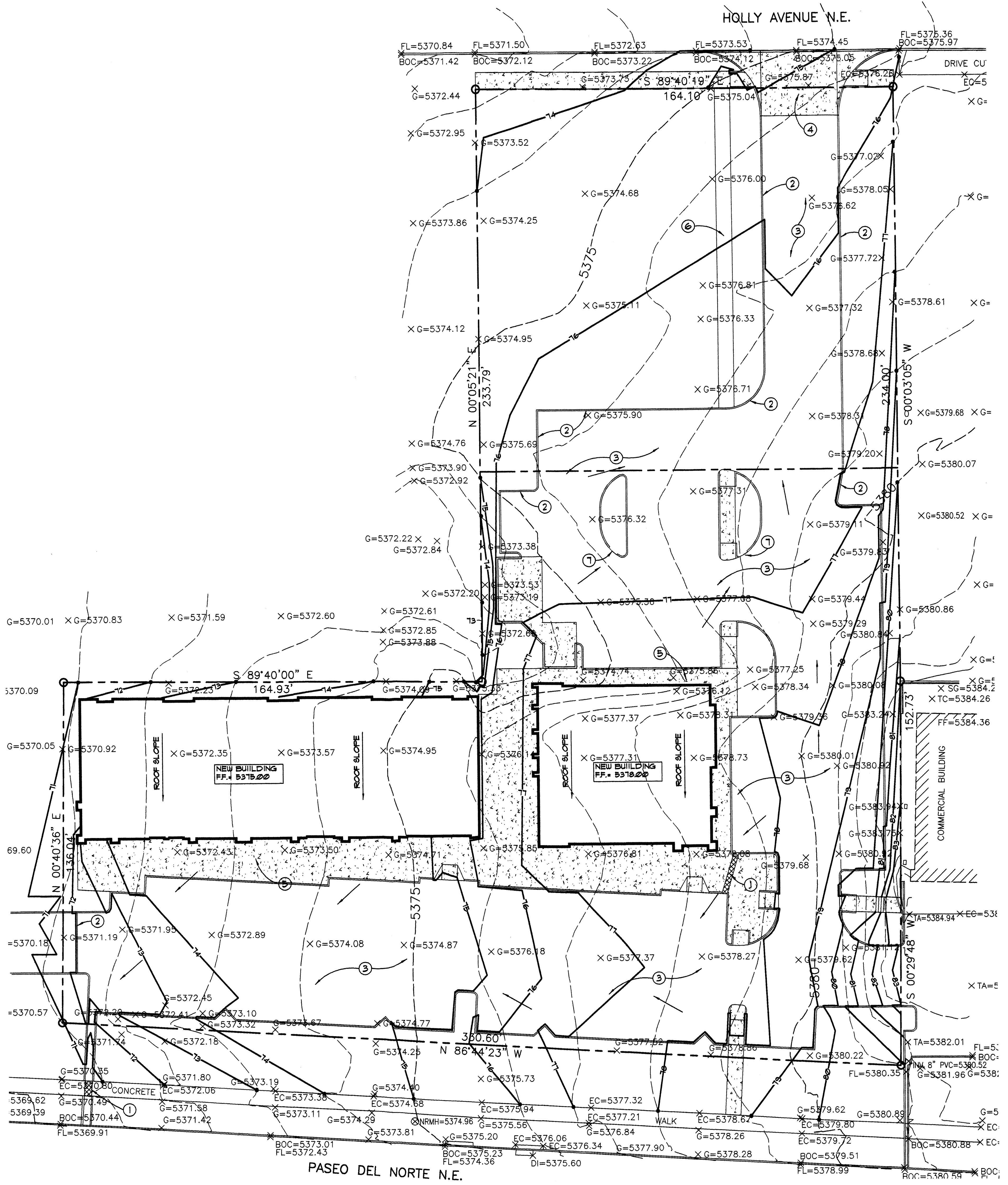
DRAWN BY	LEK
REVIEWED BY	MJW
DATE	February 2, 2010
PROJECT NO.	09-0055
DRAWING NAME	

CONCEPTUAL GRADING and DRAINAGE PLAN

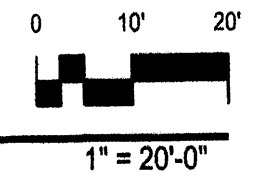


SHEET NO.

C101
OF



CONCEPTUAL GRADING and DRAINAGE PLAN

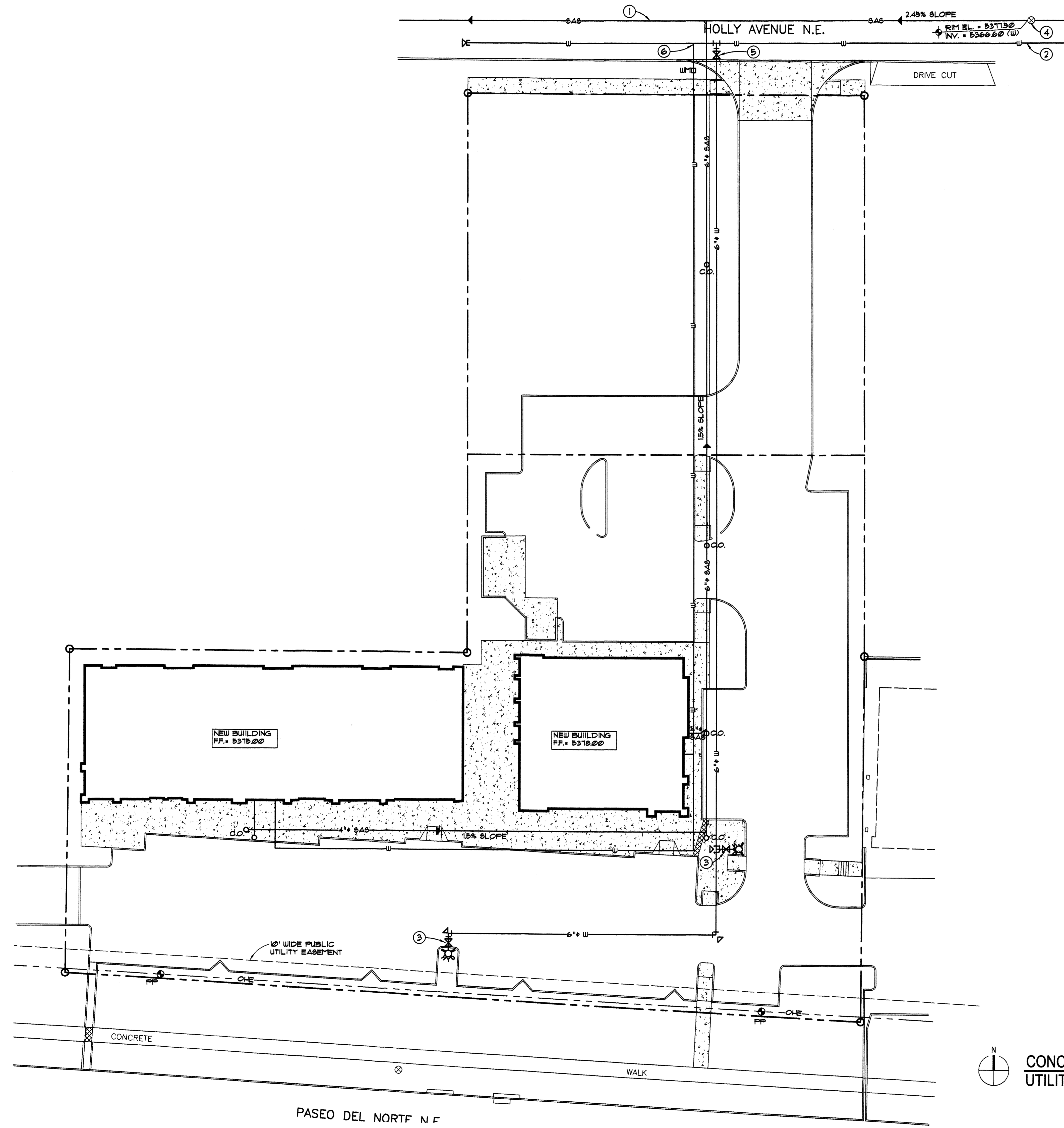


PASEO DEL NORTE N.E.

REVISIONS	
△	1/14/2010 EPC Conditions of Approval
△	
△	
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DRAWN BY	LEK
REVIEWED BY	MJW
DATE	February 2, 2010
PROJECT NO.	09-0055
DRAWING NAME	

CONCEPTUAL
SITE UTILITY PLAN

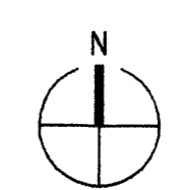


KEYED NOTES

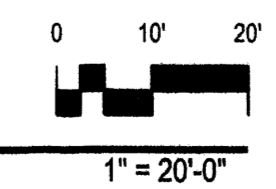
- 1 EXISTING 8" SANITARY SEWER - PVC
- 2 NEW 8" PVC WATER LINE EXTENSION
- 3 6" GATE VALVE AND VALVE BOX
- 4 EXISTING MANHOLE
- 5 8" GATE VALVE AND VALVE BOX
- 6 WATER SERVICE CONNECTION

LEGEND

- SANITARY SEWER MANHOLE
- SANITARY SEWER LINE
- WATER LINE
- WATER METER
- PROPERTY LINE
- SEWER CLEAN OUT
- FIRE HYDRANT
- WATER LINE VALVE
- CONCRETE BLOCKING
- OVERHEAD ELECTRICITY UTILITY
- POWER POLE

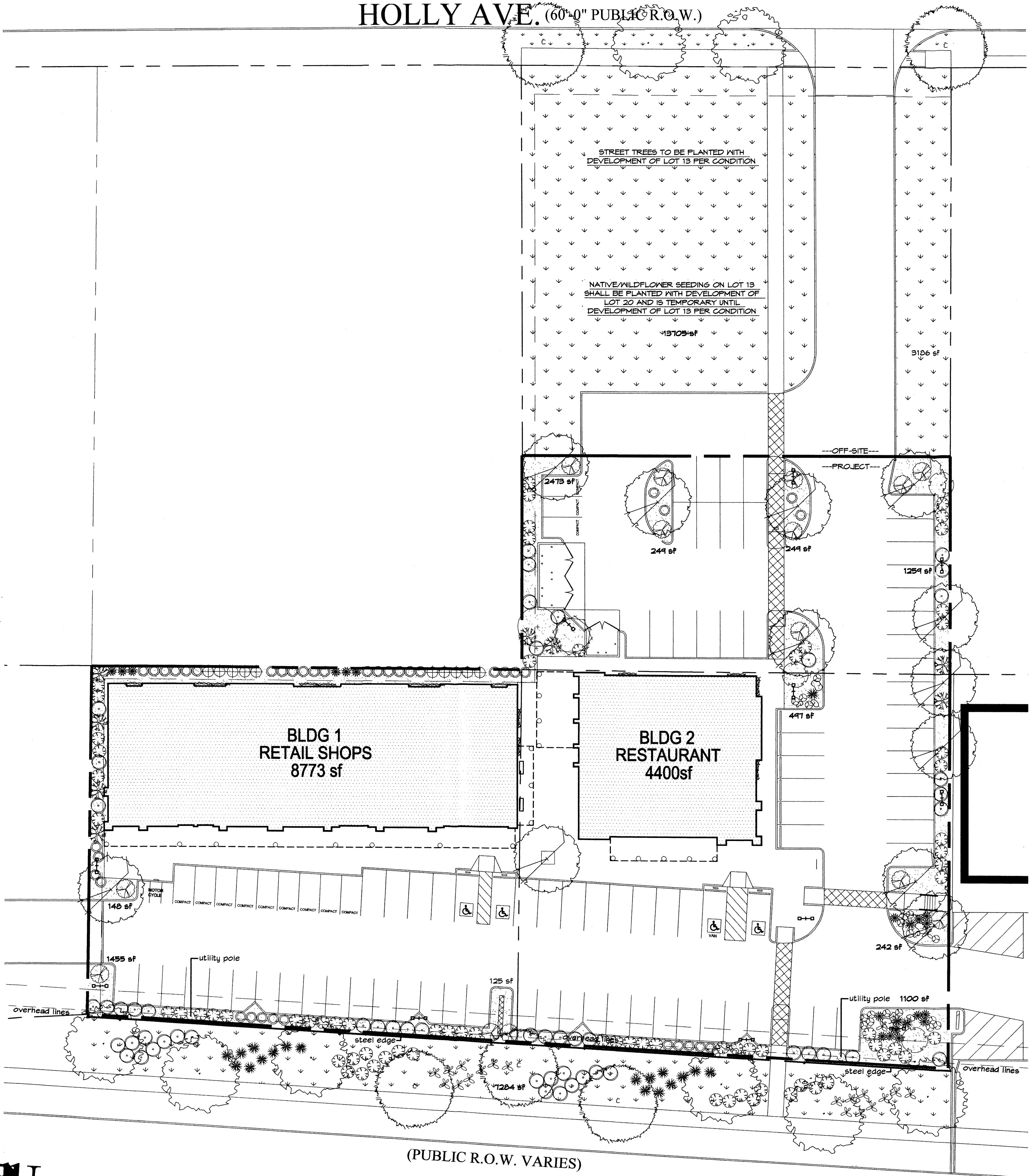


CONCEPTUAL SITE
UTILITY PLAN



PASEO DEL NORTE N.E.

HOLLY AVE. (60'-0" PUBLIC R.O.W.)



(PUBLIC R.O.W. VARIES)

PLANT LEGEND

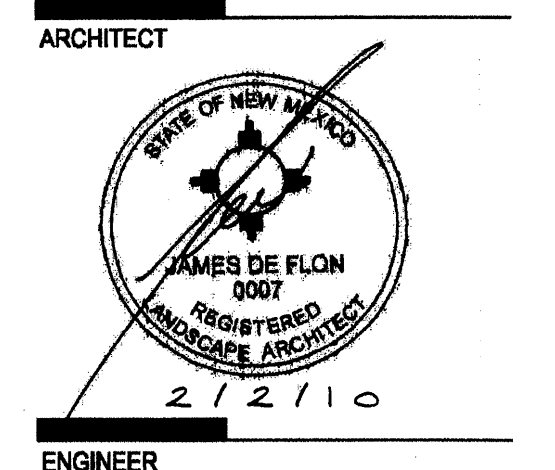
All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.
 * DENOTES EVERGREEN PLANT MATERIAL

- STREET SHADE TREES**
 - AUTUMN PURPLE ASH 6
Fraxinus americana
2" Cal., 12-14" Inst./60' x 60' maturity
Water (M) Allergy (H) Osf
 - BUR OAK 3
Quercus macrocarpa
2" Cal., 12-14" Inst./60' x 60' maturity
Water (M) Allergy (M) Osf
- PARKING LOT SHADE TREE**
 - CHINESE PISTACHE 12
Platanus chinensis
2" Cal., 8-10" Inst./40' x 30' maturity
Water (M) Allergy (L) Osf
- SHRUBS**
 - DESERT WILLOW 1
Chilopsis linearis
5 Gal., 4-10" Inst./20' x 25' maturity
Water (L+) Allergy (L) 225sf
 - NEW MEXICO OLIVE 1
Forestiera neomexicana
5 Gal., 4-10" Inst./15' x 15' maturity
Water (M) Allergy (L) 225sf
 - BUTTERFLY BUSH 3
Buddleia davidii
5 Gal., 12-3" Inst./10' x 10' maturity
Water (M) Allergy (L) 100sf
 - RED YUCCA 22
Hebe parviflora
5 Gal., 18-3" Inst./3' x 4' maturity
Water (L+) Allergy (L) 16sf
 - PRICKLY PEAR 20
Opuntia macrocentra
5 Gal., 12-3" Inst./3' x 3' maturity
Water (L) Allergy (L) 4sf
 - SPANISH BROOM 53
Genista hispanica
5 Gal., 2-4" Inst./4' x 4' maturity
Water (M) Allergy (L) 16sf
 - BROOM BACCHARIS 12
Baccharis sarothroides
5 Gal., 2-4" Inst./10' x 10' maturity
Water (L+) Allergy (L) 100sf
 - TURPENTINE BUSH 40
Ericameria laricifolia
1 Gal., 6-15" Inst./3' x 4' maturity
Water (L+) Allergy (L) 16sf
 - POTENTILLA 10
Potentilla fruticosa
1 Gal., 6-15" Inst./3' x 3' maturity
Water (M+) Allergy (L) 4sf
 - BLUE AVENA/OAT GRASS 18
Helictotrichon sempervirens
1 Gal., 3-15" Inst./2' x 1' maturity
Water (M) Allergy (L) 1sf
 - WILDFLOWER 17
1 Gal., 3-15" Inst./varies at maturity
Water (varies) Allergy (varies) 4sf
- GROUNDCOVERS**
 - HONEYSUCKLE 14
Lonicera japonica 'Halliana'
1 Gal., 6-15" Inst./3' x 12' maturity
Water (M) Allergy (L) 144sf
Unstaked-Groundcover
 - WINTER JASMINE 8
Jasminum nudiflorum
1 Gal., 6-15" Inst./4' x 6' maturity
Water (L+) Allergy (L) 36sf
- VINES**
 - ENGLISH IVY 4
Hedera helix
1 Gal., 6-15" Inst./climbing to 40'
Water (M) Allergy (L)
 - BANKS ROSE 5
Rose banksiae
1 Gal., 6-15" Inst./climbing to 20'
Water (M) Allergy (L)
- HARDSCAPES**
 - OVERSIZED GRAVEL
4 9' BOULDERS
 - 3/4" GRAY GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
 - UN-IRRIGATED CRIMP STRAWNATIVE SEED AND WILDFLOWERS (SEEDED BETWEEN MAY 15TH-SEPTEMBER)

PLANT LEGEND OFF-SITE

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.
 * DENOTES EVERGREEN PLANT MATERIAL

- STREET SHADE TREES - TO BE PLANTED WITH DEVELOPMENT OF LOT 13 PER CONDITION**
 - AUTUMN PURPLE ASH 2
Fraxinus americana
2" Cal., 12-14" Inst./60' x 60' maturity
Water (M) Allergy (H) Osf
 - BUR OAK 2
Quercus macrocarpa
2" Cal., 12-14" Inst./60' x 60' maturity
Water (M) Allergy (M) Osf
- CRIMP STRAWNATIVE SEED AND WILDFLOWERS (SEEDED BETWEEN MAY 15TH-SEPTEMBER 15TH, FOR BEST GERMINATION). LOT 13 SEED SHALL BE WATERED MANUALLY TO ENSURE 75% LIVE GROUNDCOVER GERMINATION.**



PROJECT

7441 & 7501
Paseo Del Norte
Albuquerque, New Mexico 87113

REVISIONS

1	142010	EPC Conditions of Approval
2		
3		
4		

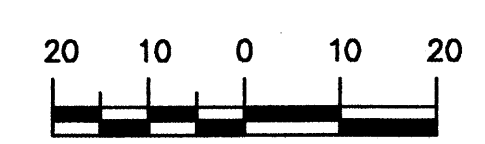
DRAWN BY rmc 8-3-09
REVIEWED BY cmj
DATE February 2, 2010
PROJECT NO. 09-0055
DRAWING NAME



LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com

LANDSCAPE PLAN
SHEET NO.

GRAPHIC SCALE



SCALE: 1"=20'

SEE SHEET LO02 FOR NOTES, DETAILS AND CALCULATIONS

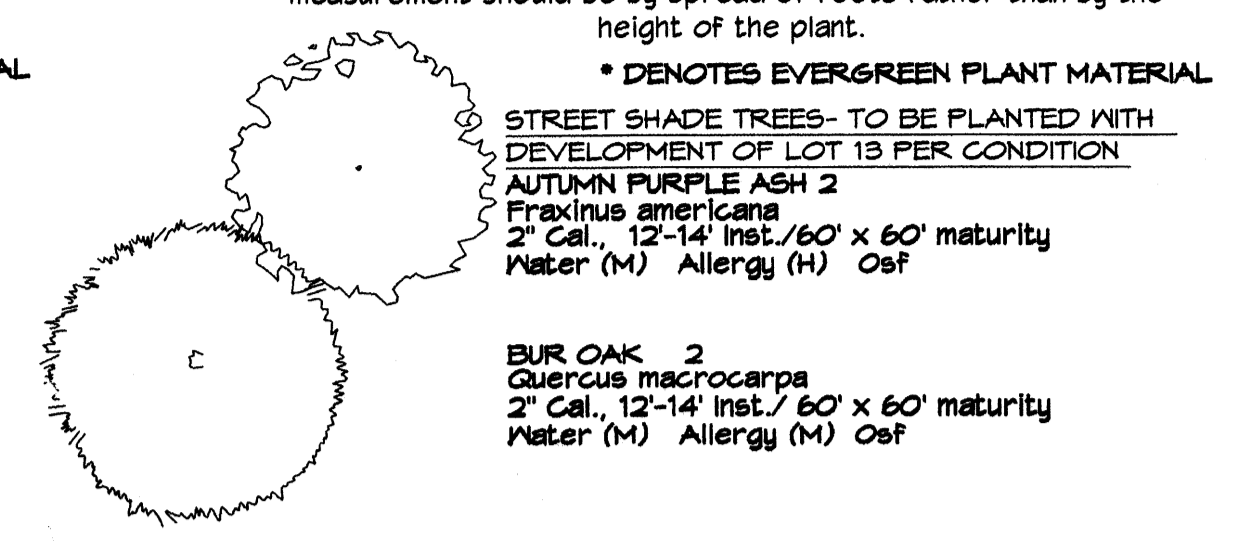
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LO01

Of LO02

PLANT LEGEND

OFF-SITE
All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.
• DENOTES EVERGREEN PLANT MATERIAL



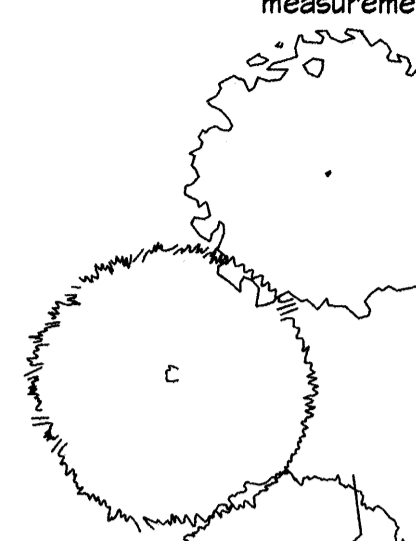
STREET SHADE TREES- TO BE PLANTED WITH DEVELOPMENT OF LOT 19 PER CONDITION
AUTUMN PURPLE ASH 2
Fraxinus americana
2" Cal., 12-14" Inst./60' x 60' maturity
Water (M) Allergy (H) Osf

BUR OAK 2
Quercus macrocarpa
2" Cal., 12-14" Inst./60' x 60' maturity
Water (M) Allergy (M) Osf

CRIMP STRAWNATIVE SEED AND WILDFLOWERS (SEEDS BETWEEN MAY 15TH-SEPTEMBER 15TH, FOR BEST GERMINATION). LOT 19 SEED SHALL BE WATERED MANUALLY TO ENSURE 75% LIVE GROUND COVER GERMINATION.

PLANT LEGEND

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.
• DENOTES EVERGREEN PLANT MATERIAL



STREET SHADE TREES
AUTUMN PURPLE ASH 6
Fraxinus americana
2" Cal., 12-14" Inst./60' x 60' maturity
Water (M) Allergy (H) Osf

BUR OAK 3
Quercus macrocarpa
2" Cal., 12-14" Inst./60' x 60' maturity
Water (M) Allergy (M) Osf

PARKING LOT SHADE TREE
CHINESE PISTACHE 12
Pistachia chinensis
2" Cal., 8-10" Inst./40' x 30' maturity
Water (M) Allergy (L) Osf

SHRUBS
DESERT WILLOW 1
Chilopsis linearis
5 Gal., 4-10" Inst./20' x 25' maturity
Water (L+) Allergy (L) 225sf

NEW MEXICO OLIVE 1
Forestiera neomexicana
5 Gal., 4-10" Inst./15' x 15' maturity
Water (M) Allergy (L) 225sf

BUTTERFLY BUSH 3
Buddleia davidii
5 Gal., 12-3" Inst./10' x 10' maturity
Water (M) Allergy (L) 100sf

RED YUCCA 22
Hesperaloe parviflora
5 Gal., 18-3" Inst./3' x 4' maturity
Water (L+) Allergy (L) 16sf

PRICKLY PEAR 20
Opuntia macrocentra
5 Gal., 12-3" Inst./3' x 3' maturity
Water (L) Allergy (L) 4sf

SPANISH BROOM 53
Genista hispanica
5 Gal., 2-4" Inst./4' x 4' maturity
Water (M) Allergy (L) 16sf

BROOM BACCHARIS 12
Baccharis sarothroides
5 Gal., 2-4" Inst./10' x 10' maturity
Water (L+) Allergy (L) 100sf

TURPENTINE BUSH 40
Ericameria laricina
1 Gal., 6-15" Inst./3' x 4' maturity
Water (L+) Allergy (L) 16sf

POTENTILLA 10
Potentilla fruticosa
1 Gal., 6-15" Inst./3' x 3' maturity
Water (M+) Allergy (L) 4sf

BLUE AVENA/OAT GRASS 10
Helictotrichon sempervirens
1 Gal., 3-15" Inst./2' x 1' maturity
Water (M) Allergy (L) 1sf

WILDFLOWER 17
1 Gal., 3-15" Inst./varies at maturity
Water (varies) Allergy (varies) 4sf

GROUNDCOVERS
• HONEYSUCKLE 14
Lonicera japonica 'Halliana'
1 Gal., 6-15" Inst./3' x 12' maturity
Water (M) Allergy (L) 144sf
Unstaked-Groundcover

WINTER JASMINE 0
Jasminum nudiflorum
1 Gal., 6-15" Inst./4' x 6' maturity
Water (L+) Allergy (L) 36sf

VINES
• ENGLISH IVY 9
Hedera helix
1 Gal., 6-15" Inst./climbing to 40'
Water (M) Allergy (L)

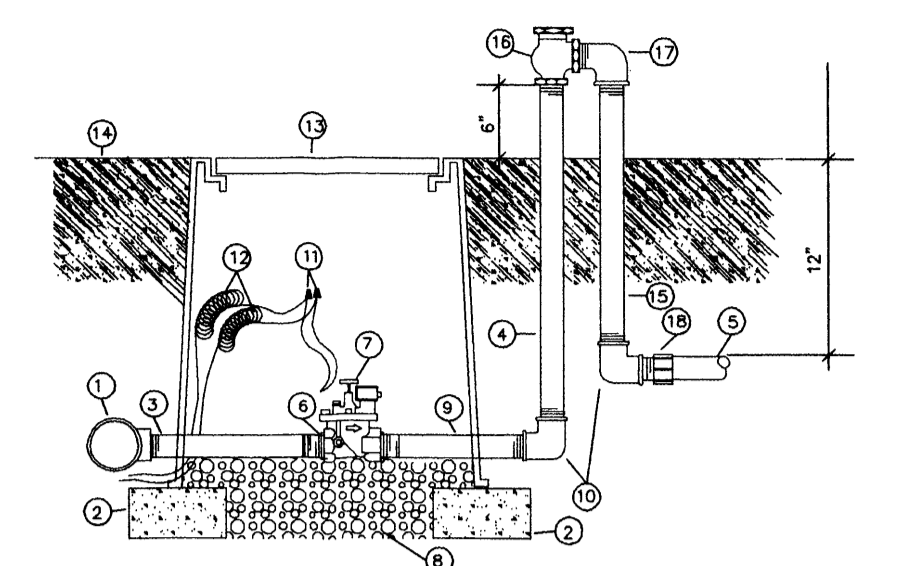
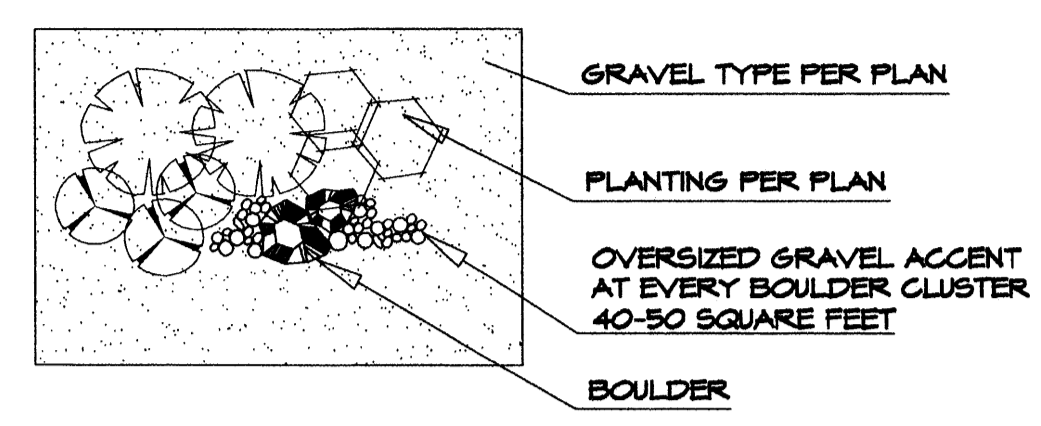
• BANK'S ROSE 5
Rosa banksiae
1 Gal., 6-15" Inst./climbing to 20'
Water (M) Allergy (L)

HARDSCAPES
OVERSIZED GRAVEL
4 9 BOULDERS

3/4" GRAY GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH

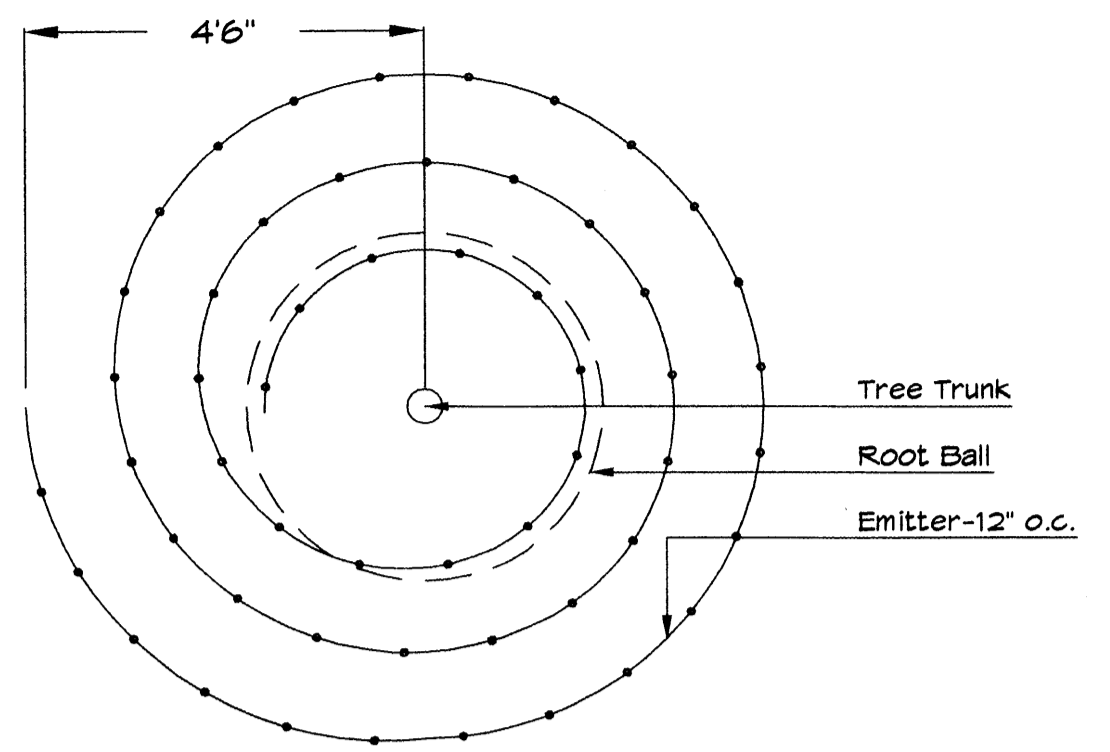
UN-IRRIGATED CRIMP STRAWNATIVE SEED AND WILDFLOWERS (SEEDS BETWEEN MAY 15TH-SEPTEMBER

GRAVEL ACCENT DETAIL

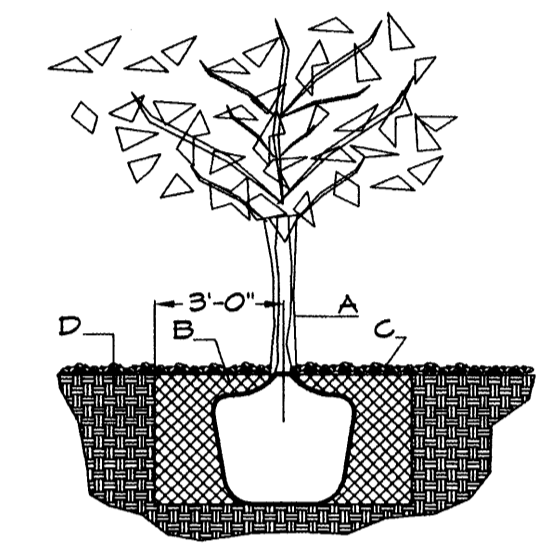


- 1 MANLINE FITTING
- 2 OMI BLOCK
- 3 GALVANIZED NIPPLE
- 4 24" TO 36" GALVANIZED NIPPLE
- 5 LATERAL PIPE
- 6 REDUCER BUSHING
- 7 AUTOMATIC VALVE (SEE LEGEND)
- 8 GRAVEL
- 9 GALVANIZED NIPPLE
- 10 GALVANIZED ELBOW
- 11 WATERPROOF WIRE CONNECTOR
- 12 WIRE EXPANSION LOOPS
- 13 VALVE BOX
- 14 FINISH GRADE
- 15 GALVANIZED NIPPLE - 18" TO 24" LENGTH
- 16 ATMOSPHERIC VACUUM BREAKER
- 17 GALVANIZED STREET ELL
- 18 TOE NIPPLE OR MALE ADAPTER

AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER NTS

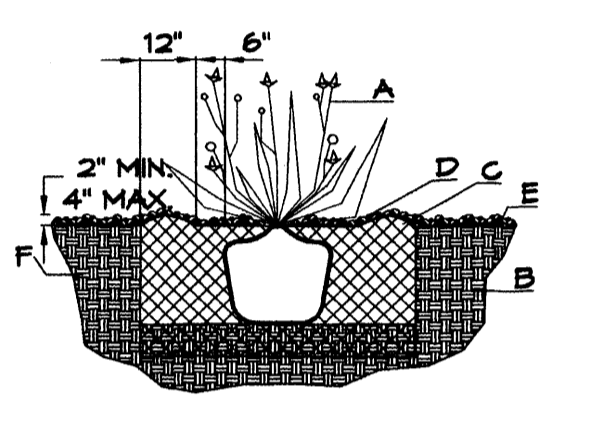


Netafim Spiral Detail



TREE PLANTING DETAIL

- NTS
GENERAL NOTES:
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOT COLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
CONSTRUCTION NOTES:
A. TREE
B. BACKFILL WITH EXISTING SOIL.
C. 3" DEPTH OF GRAVEL MULCH.
D. UNDISTURBED SOIL.



SHRUB PLANTING DETAIL

- NTS
GENERAL NOTES:
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
CONSTRUCTION NOTES:
A. SHRUB.
B. BACKFILL WITH EXISTING SOIL.
C. EARTH BERM AROUND WATER RETENTION BASIN.
D. 3" DEPTH OF GRAVEL MULCH.
E. FINISH GRADE.
F. UNDISTURBED SOIL.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	61345	square feet
TOTAL BUILDINGS AREA	13173	square feet
NET LOT AREA	48172	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	7225	square feet
TOTAL BED PROVIDED	7197	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	5847	square feet
TOTAL GROUNDCOVER PROVIDED	7197 (100%)	square feet
TOTAL NATIVE SEED AREA	7284	square feet
TOTAL LANDSCAPE PROVIDED	15021 (31%)	square feet
TOTAL OFFSITE BED PROVIDED	0	square feet
TOTAL OFFSITE NATIVE SEED PROVIDED	16091	square feet
TOTAL OFFSITE LANDSCAPE PROVIDED	16091	square feet

STREET TREE REQUIREMENTS - Minimum 2" Caliper

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:
Name of Street: Paseo del Norte
Required # 9 Provided # 9
Name of Street: Holly
Required # 4 Provided # 4

PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper

Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:
1 Shade tree per 10 spaces
Required # 10 Provided # 12

NOTE TO CLIENT:

Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received. The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

NATIVE SEED MIX-STANDARD COA MIX

COMMON NAME	PLS/ACRE
EAST OF RIVER MIX:	
"PALOMA" INDIAN RICE GRASS	3.0
"VIVA" GALLETIA GRASS	3.0
"NINER" SIDEOATS GRAMA	3.0
"HATCHITA" BLUE GRAMA	5.0
SAND DROPSSEED	2.0
FOURWIND SALTBUSH	2.0
TOTAL RATE	18.0 LBS/AC

NATIVE SEED MIX ADD-IN: HIGH DESERT WILDFLOWER MIX

SEED MIX INCLUDES:	TOTAL RATE
PURPLE ASTER, DESERT MARIGOLD, ROCKY MTN BEEPLANT, PLAINS COREOPSIS, BROOM DALEA, MEXICAN GOLD POPPY, FIREWHEEL, BLANKETFLOWER, BLUE FLAX, DESERT FOUR O'CLOCK, MEXICAN EVENING PRIMROSE, SAND PENSTEMON, WILD PINK SNAPDRAGON, CALIFORNIA BLUEBELLS, MEXICAN HAT AND YELLOW PRAIRIE CONEFLOWER, HEIGHT 2-3'	2.0 LBS/AC

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

3/4" Crushed Grey Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from trees trunk, pruned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

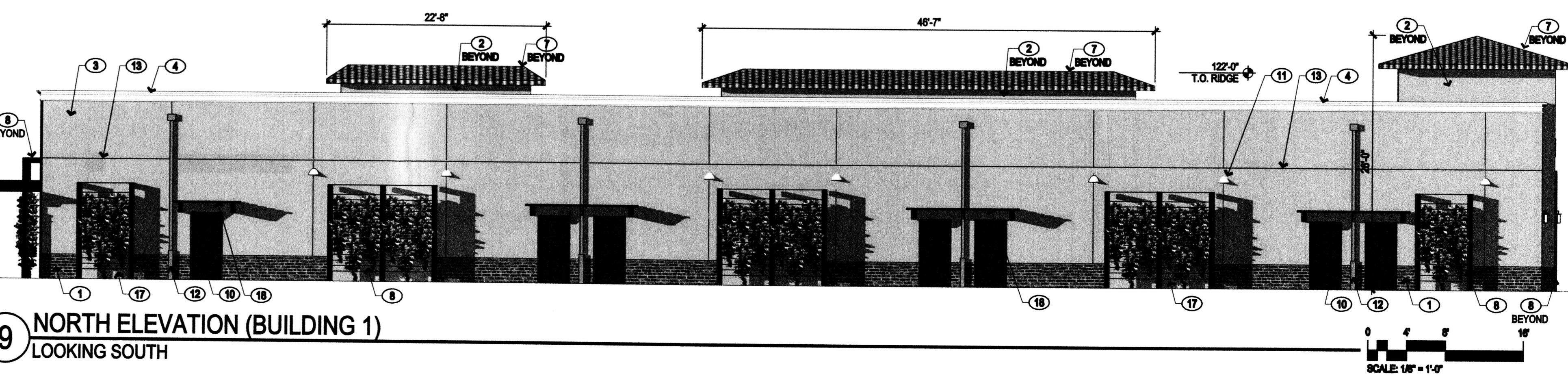
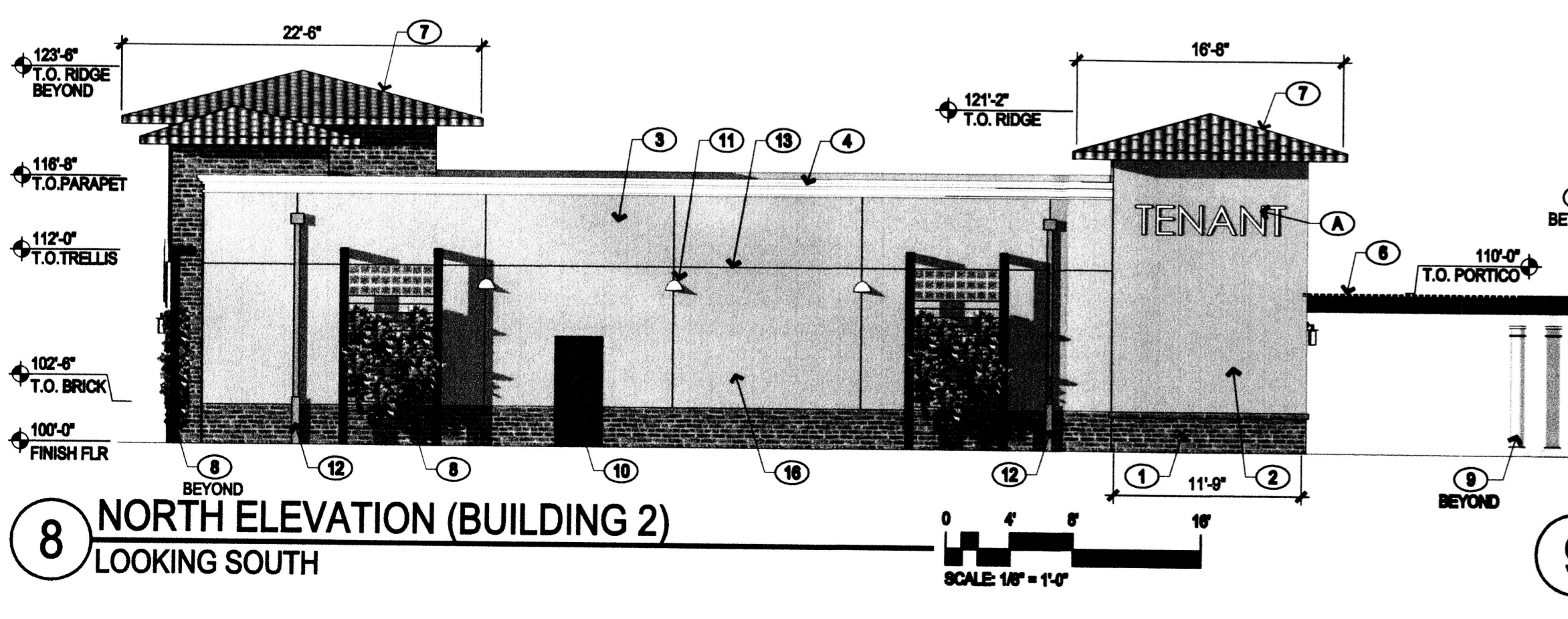
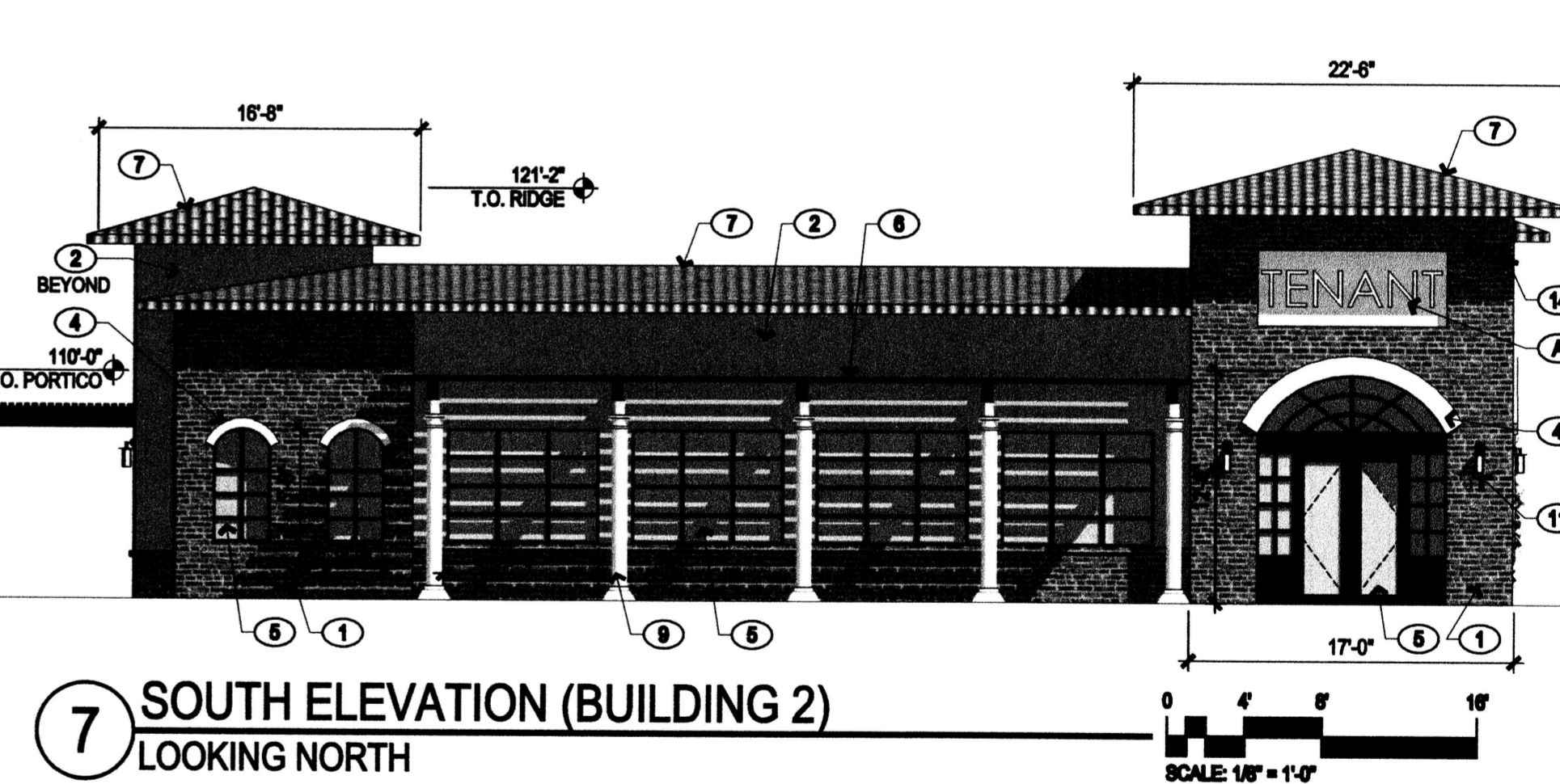
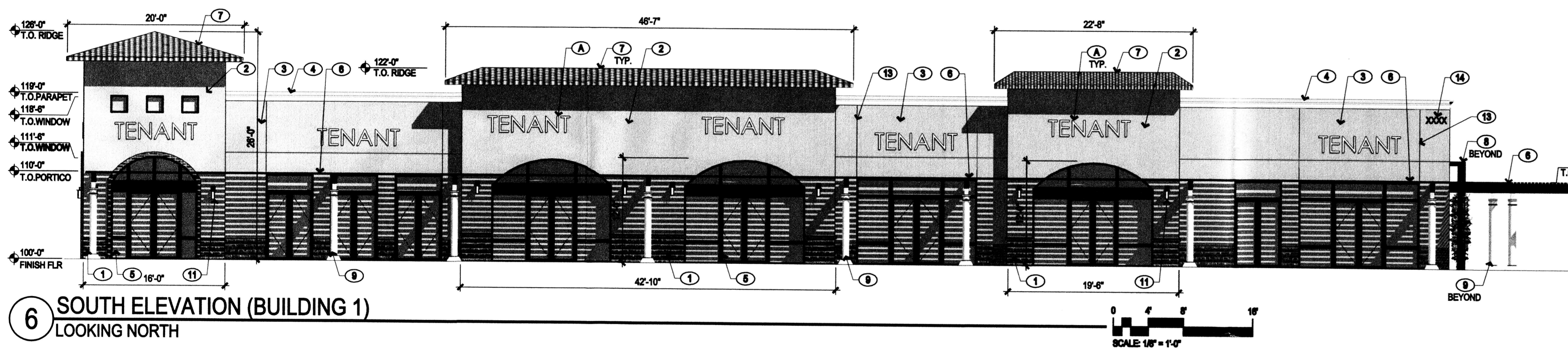
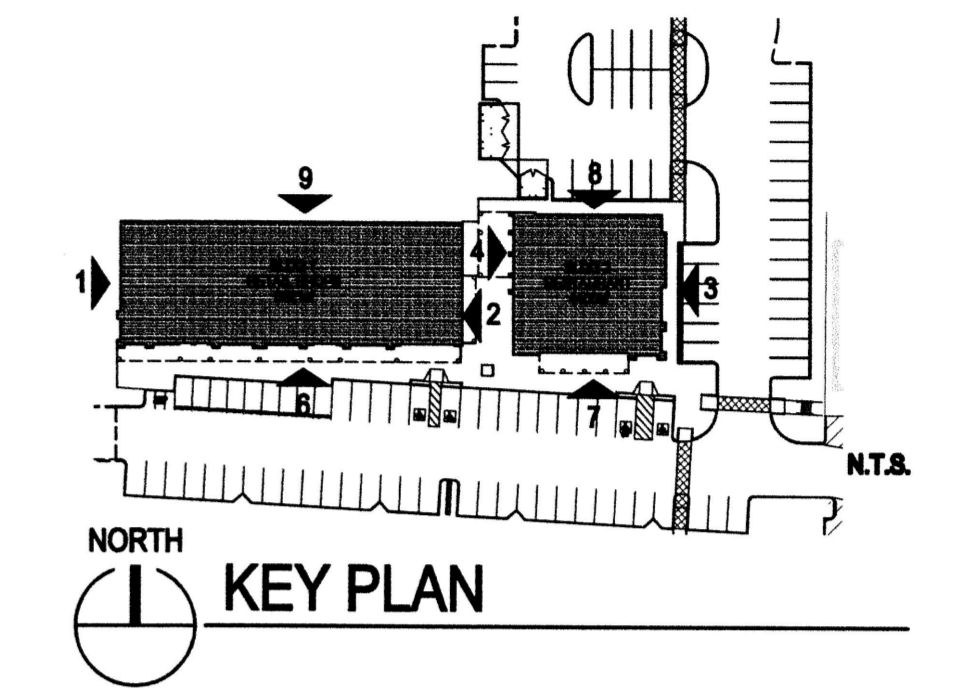
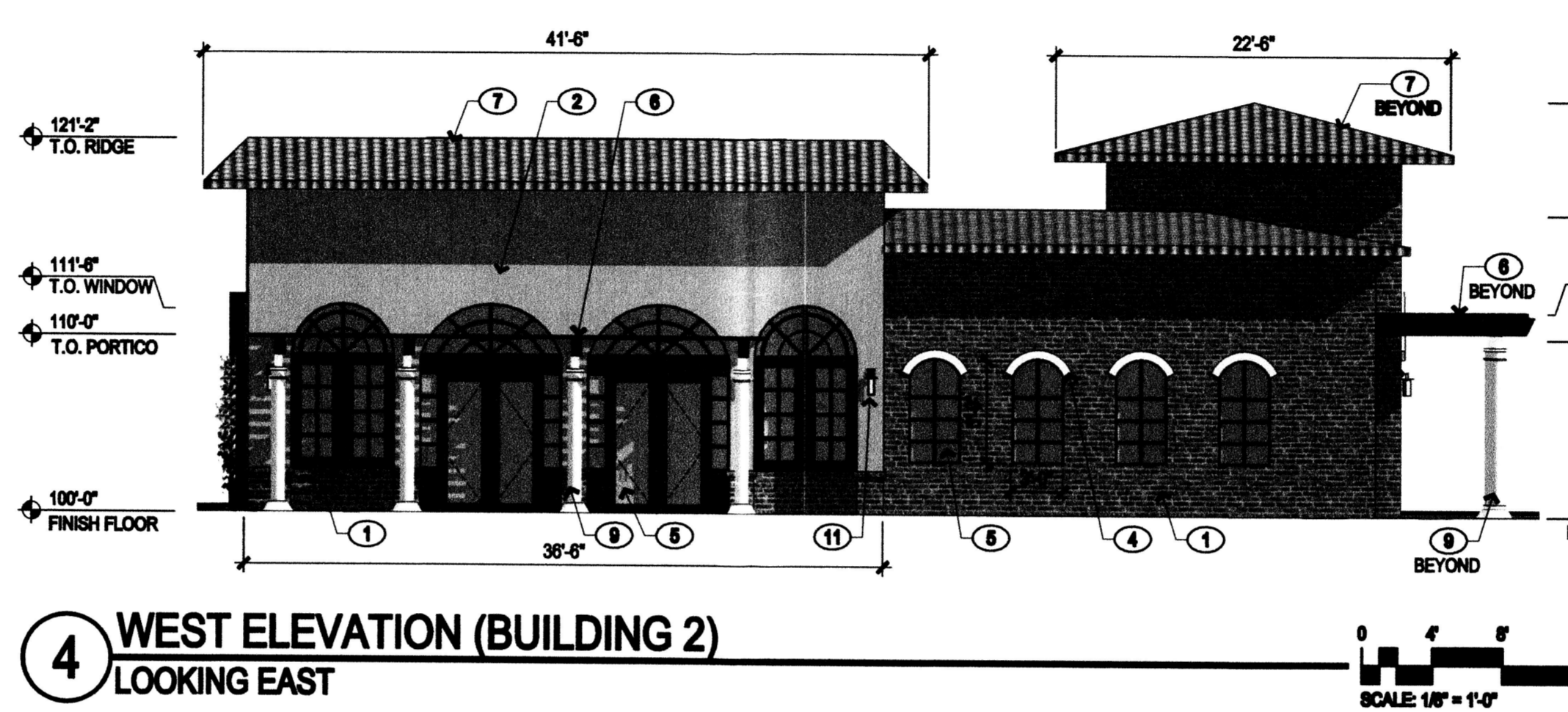
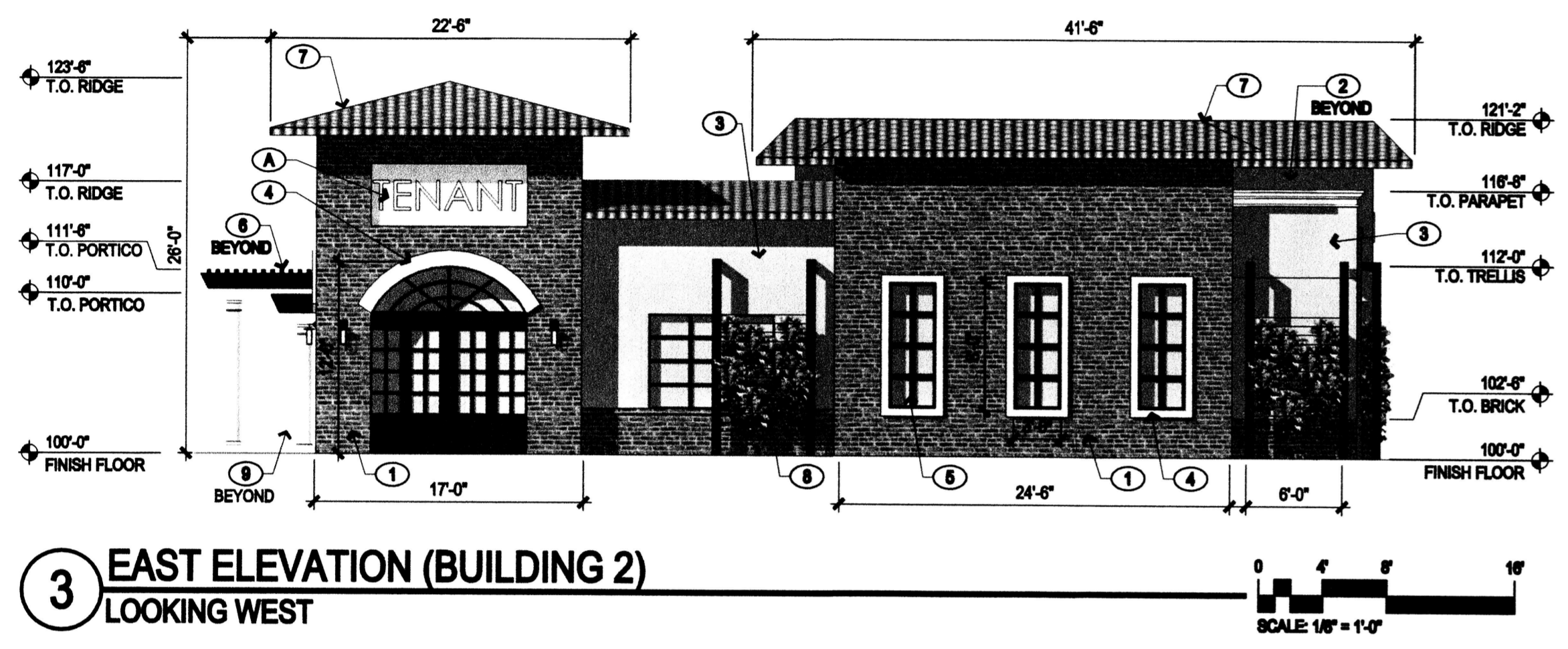
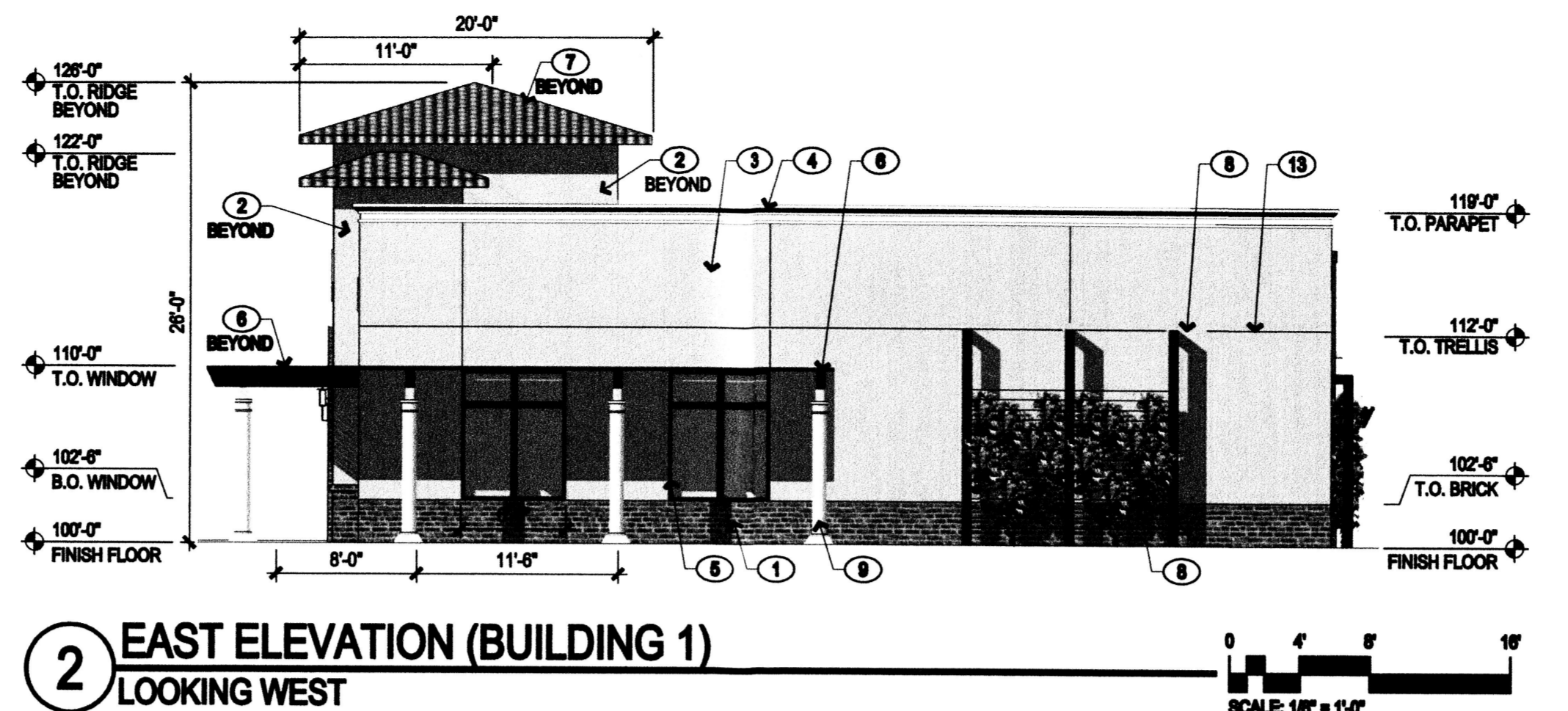
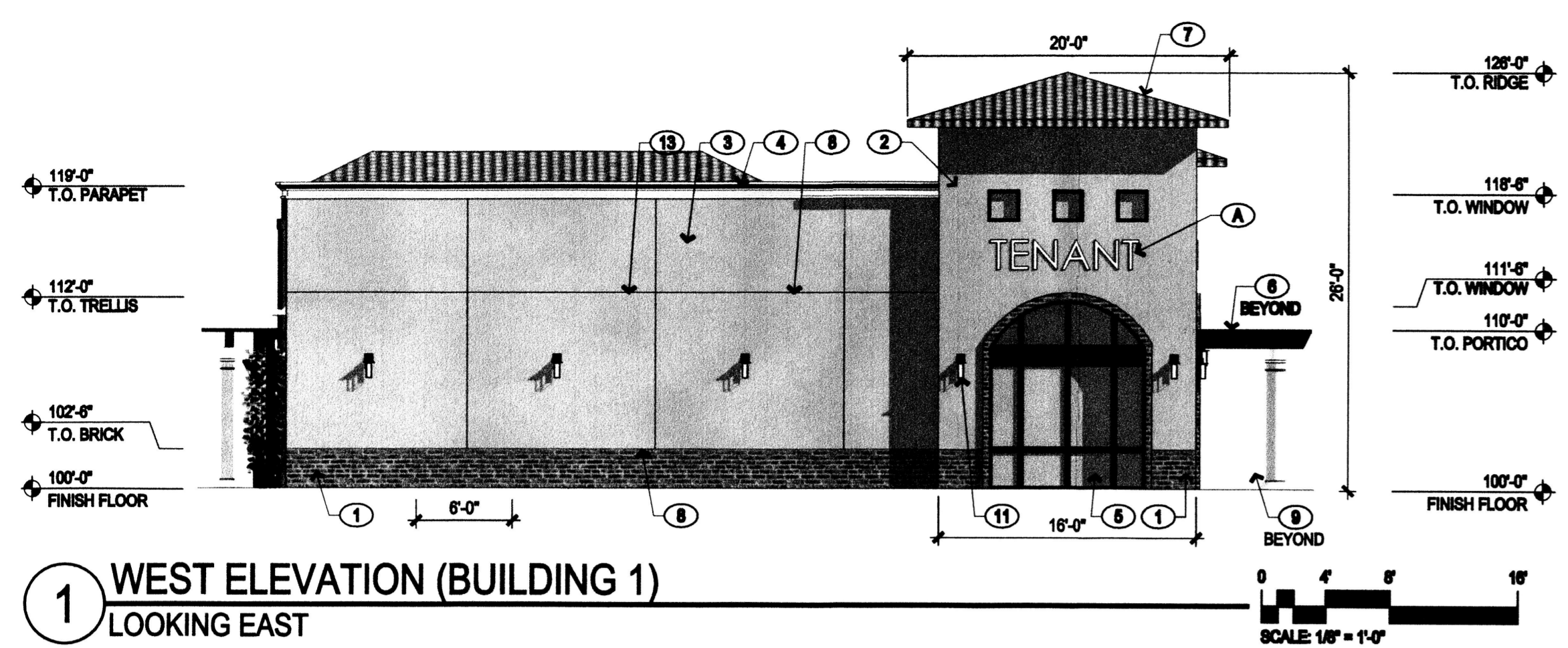
Water and Power source shall be the responsibility of the Developer/Builder.

GRAPHIC SCALE



SCALE: 1"=20'

- A. SIGNAGE: THE GOAL IS TO PROVIDE CONSISTENCY IN APPEARANCE AND QUALITY THAT COMPLEMENTS THE VISUAL CHARACTER OF THE DEVELOPMENT. ALL BUILDING MOUNTED SIGNS SHALL COMPLY WITH SU-SMOKED USE AND COMMON DESIGN REGULATIONS FOR SU-2 ZONED PROPERTIES IN THE LA CUEVA SECTOR DEVELOPMENT PLAN. ALL BUILDING MOUNTED SIGNS SHALL BE SUBMITTED UNDER SEPARATE PERMIT.**
- B. FLAT PORTION OF BUILDING ROOFS SHALL BE AN ENERGY EFFICIENT COLOR AND MATERIAL PER 99-3 OF THE LA CUEVA SDP.**
1. QUEEN SIZE BRICK, COLOR: REDDISH BROWN
 2. TWO-COAT SYNTHETIC STUCCO SYSTEM, COLOR: LIGHT BROWN
 3. TWO-COAT SYNTHETIC STUCCO SYSTEM, COLOR: TAN
 4. TWO-COAT SYNTHETIC STUCCO SYSTEM, COLOR: WHITE
 5. ALUMINUM STOREFRONT, COLOR: BRONZE
 6. STEEL PORTICO WITH METAL DECK, COLOR: BROWN
 7. CONCRETE TILE ROOF, COLOR: REDDISH BROWN
 8. STEEL TRELLIS, COLOR: BROWN
 9. COLUMN, WITH TWO-COAT SYNTHETIC STUCCO SYSTEM, COLOR: WHITE
 10. HOLLOW METAL DOOR, COLOR: BROWN
 11. WALL SOUNCE
 12. DOWNSPOUT/OUTLET, COLOR TO MATCH ADJACENT STUCCO
 13. CONTROL JOINT
 14. 8" BUILDING ADDRESS IDENTIFICATION NUMBERS; COLOR: BLACK
 15. INTERNALLY ILLUMINATED ALUMINUM CABINET WITH DIVIDER BARS TEXTURED TO MATCH ADJACENT STUCCO.
 16. FREEZER; PAINT TO MATCH ADJACENT STUCCO COLOR
 17. RECESSED FACADE; COLOR: LIGHT BROWN
 18. STEEL AWNING, COLOR: BROWN



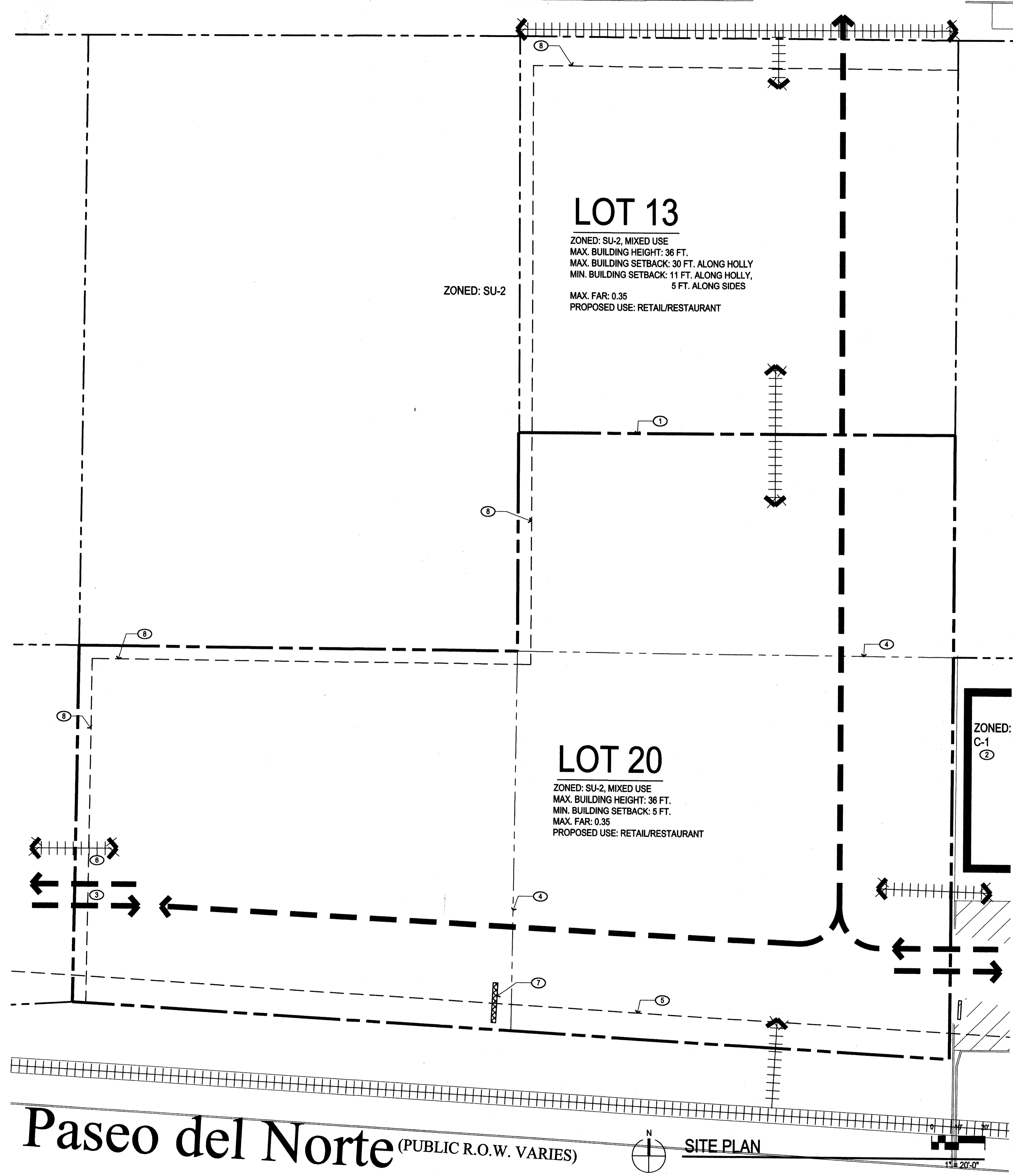
REVISIONS

1	1/4/2010	EPC Conditions of Approval
2		
3		
4		

DRAWN BY
REVIEWED BY
DATE February 2, 201
PROJECT NO. 09-005
DRAWING NAME

**EXTERIOR ELEVATION
BUILDING 1 and 2**

HOLLY AVE. (60'-0" PUBLIC R.O.W.)



SITE DATA

SITE AREA (LOT 13): 24,728sf - 0.57 ACRES
 SITE AREA (LOT 20): 61,345sf - 1.40 ACRES
 TOTAL SITE AREA (LOT 13 & 20): 86,073sf - 1.97 ACRES

KEYED NOTES

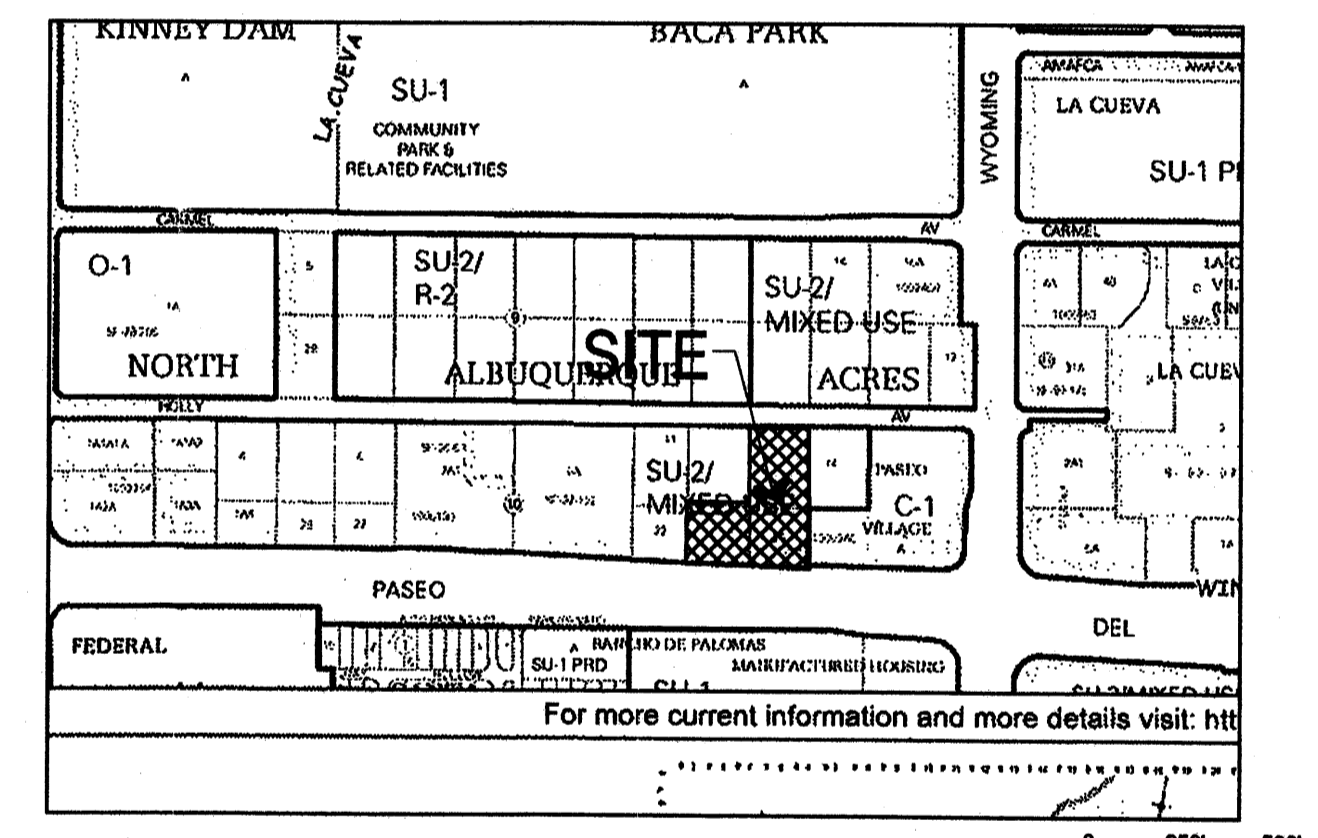
1. NEW PROPERTY LINE
2. EXISTING BUILDING
3. FUTURE VEHICULAR INGRESS/EGRESS
4. OLD PROPERTY LINE TO BE REMOVED
5. EXISTING 10 FT. PUE
6. FUTURE PEDESTRIAN ACCESS
7. PROPOSED MONUMENT SIGN LOCATION
8. BUILDING SETBACK LINE

LEGEND

- — — — — PROPERTY LINE
- - - - - BUILDING SETBACK/PUE
- ⚡ PEDESTRIAN INGRESS/EGRESS
- ← — — — — VEHICULAR INGRESS/EGRESS
- - - - - OLD PROPERTY LINE

GENERAL NOTES

- A. REFER TO CONCEPTUAL UTILITY PLAN FOR PROPOSED AND EXISTING WATER, SEWER, AND STORM DRAINAGE.
- B. PLEASE REFER TO SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (#1008069, 09EPC-40063) FOR FURTHER INFORMATION ON ARCHITECTURAL BUILDING DESIGN STYLE AND SIGNAGE. BUILDING AND SIGNAGE HEIGHT, MASS, COLOR, MATERIALS, AND ARTICULATION CAN BE REFERENCED FROM BUILDING AND SIGNAGE ELEVATIONS. SIGNAGE FACE AREA AND LIGHTING INFORMATION CAN BE FOUND ADDITIONALLY IN THIS SUBMITTAL.
- C. THE REMAINDER OF LOT 13 SHALL BE DEVELOPED IN A FUTURE PHASE ACCORDING TO A SITE DEVELOPMENT PLAN APPROVED BY THE EPC PER THE LA CUEVA SDP (2000, REV. 2003). THE SITE DEVELOPMENT PLAN INCLUDING PEDESTRIAN CIRCULATION, BUILDING ORIENTATION, ARCHITECTURE AND SIGNAGE, SHALL BE DESIGNED TO COORDINATE WITH THE DEVELOPMENT OF LOT 20 TO FORM A COHESIVE RETAIL CENTER.
- D. SITE PLAN SHALL COMPLY AND BE DESIGNED PER DPM STANDARDS.
- E. SITE PLAN SHALL COMPLY WITH THE SU-2, SU-2/MIXED USE ZONE AND COMMON DESIGN REGULATIONS (SECTIONS 5.4, 5.4.5, 5.4.6, LA CUEVA SECTOR DEVELOPMENT PLAN 2000, REVISED 2003).
- F. SIGNAGE: THE GOAL IS TO PROVIDE CONSISTENCY IN APPEARANCE AND QUALITY THAT COMPLIMENTS THE VISUAL CHARACTER OF THE DEVELOPMENT. ALL BUILDING MOUNTED SIGNS SHALL COMPLY WITH SU-2/MIXED USE AND COMMON DESIGN REGULATIONS FOR SU-2 ZONED PROPERTIES IN THE LA CUEVA SECTOR DEVELOPMENT PLAN. ALL BUILDING MOUNTED SIGNS SHALL BE SUBMITTED UNDER SEPARATE PERMIT.
- G. THE MAXIMUM INDIVIDUAL LETTER SIZE OF ALL BUILDING MOUNTED SIGNAGE SHALL NOT EXCEED 2'-0" IN HEIGHT. LOGO DESIGN SIGNS SHALL COMPLY WITH 13R-9 OF THE LA CUEVA SDP. ALL SIGNS SHALL FOLLOW THE LA CUEVA SDP SIGNAGE REGULATIONS.
- H. IF A FREE STANDING SIGN ON LOT 20 IS APPROVED BY THE ZHE, THE TOTAL SIGN FACE OF BUILDING MOUNTED SIGNS ON LOT 20 SHALL NOT EXCEED 12.5% OF THE TOTAL FACADE AREA FOR THE SOUTHERN ELEVATIONS AND 10% OF THE TOTAL FACADE AREA FOR THE OTHER ELEVATIONS. THE TOTAL SIGN FACE AREA OF EACH TENANT'S BUILDING MOUNTED SIGNS SHALL NOT EXCEED 12.5% OF THE FACADE AREA OF EACH TENANT'S PREMISES FOR SOUTH ELEVATIONS AND 10% FOR OTHER ELEVATIONS.
- I. ALL SIGNAGE TO PROVIDE MINIMUM CONTRAST OF 70% BETWEEN GRAPHICS AND BACKGROUND PER ADA.
- J. IF A FREE STANDING SIGN ON LOT 20 IS APPROVED BY THE ZHE THAT INCLUDES ADVERTISING FOR TENANTS ON LOT 13, THE TOTAL SIGN FACE OF BUILDING MOUNTED SIGNS ON LOT 13 SHALL NOT EXCEED 10% OF THE TOTAL FACADE AREA.
- K. THE FREE STANDING SIGN SHOWN ON THE SITE DEVELOPMENT PLAN IS NOT ALLOWED UNLESS A VARIANCE IS OBTAINED FROM THE ZHE.



VICINITY MAP
 zone atlas number C-19
 1" = 500'

FORMER PROJECT NUMBER: 1003532
 PROJECT NUMBER: 1008069
 APPLICATION NUMBER: 09EPC-40064/10DRB-70027

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated December 17, 2009 and the findings and conditions in the official notification of decision are satisfied.

Is an Infrastructure List Required? (X) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
ABCWUA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

REVISIONS

DATE	DESCRIPTION
1/4/2010	EPC Conditions of Approval

DRAWN BY
 REVIEWED BY
 DATE February 2, 2010
 PROJECT NO. 09-0055
 DRAWING NAME

SITE DEVELOPMENT PLAN FOR SUBDIVISION

SHEET NO.

Dekker Perich Sabatini

7601 Jefferson NE Suite 100
 Albuquerque, NM 87109
 505 761-9700
 fax 761-4222
 dps@dpsdesign.org

ARCHITECT
 ENGINEER

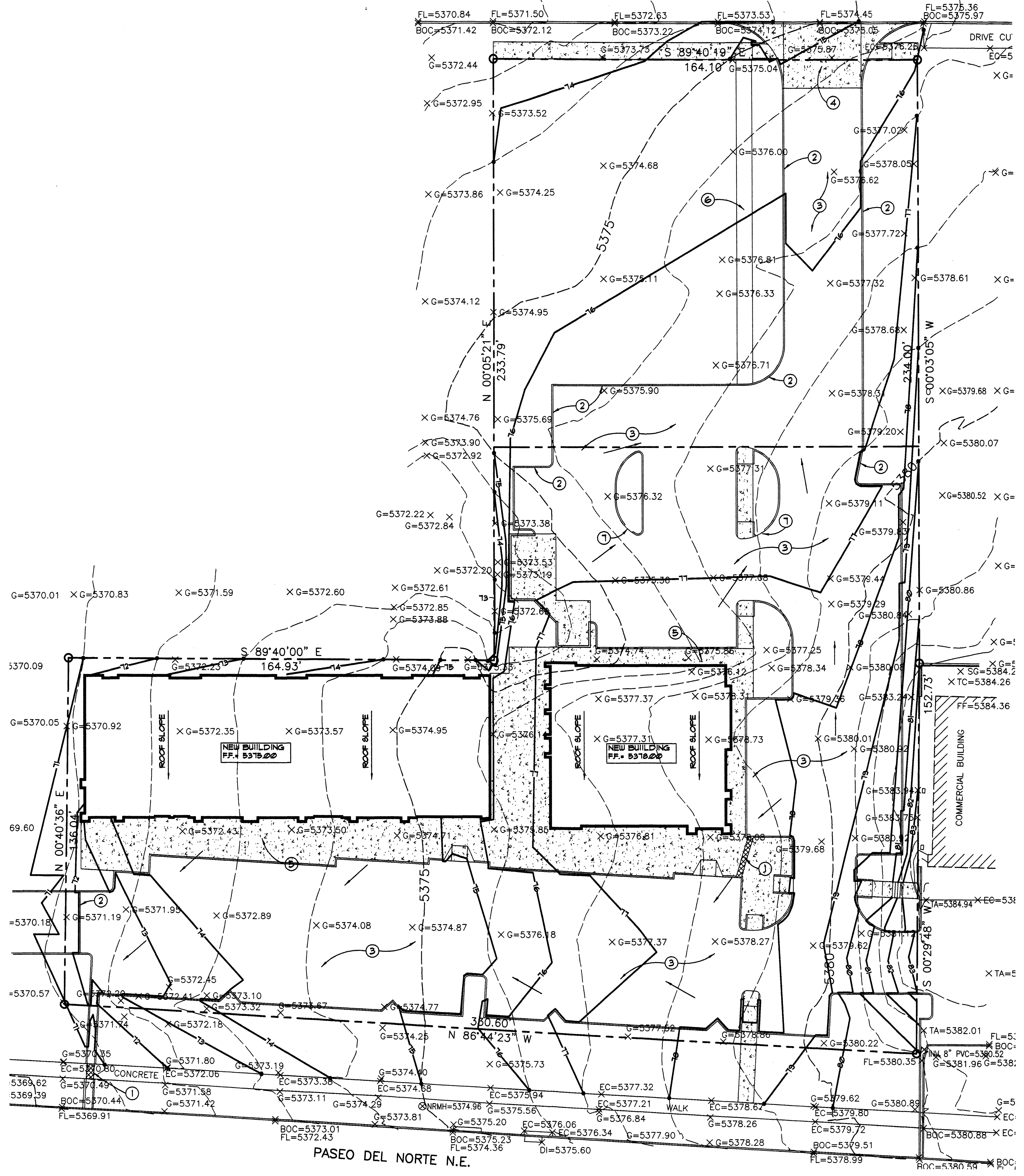
PROJECT

7441 & 7501
 Paseo Del Norte
 Albuquerque, New Mexico 87113

Paseo del Norte (PUBLIC R.O.W. VARIES)

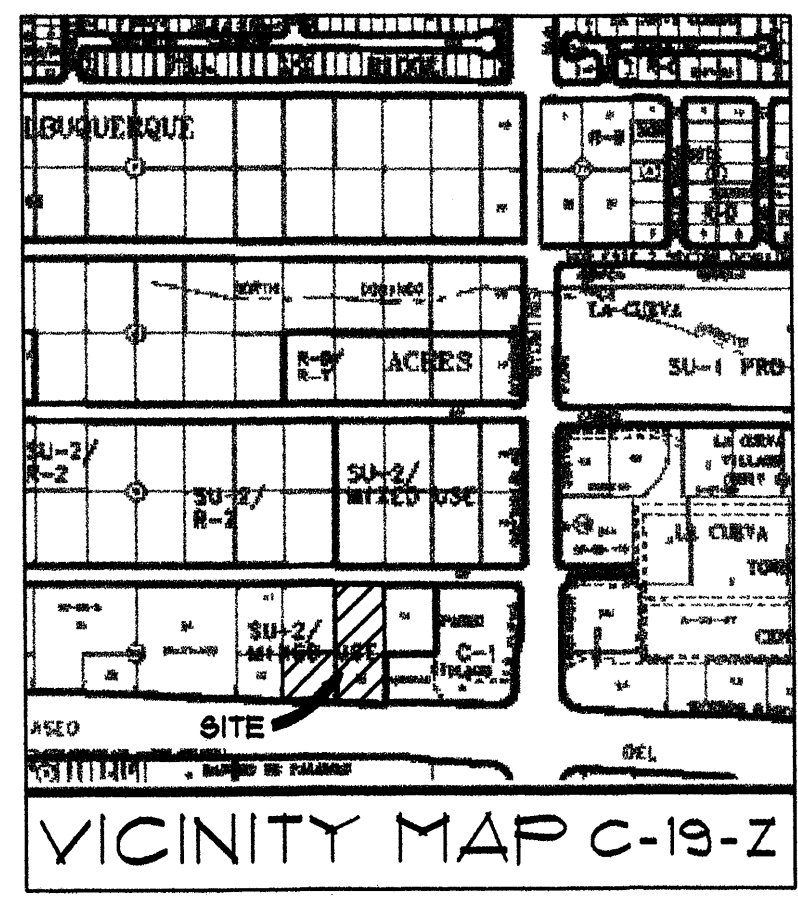
SITE PLAN
 1" = 20'-0"

HOLLY AVENUE N.E.



KEYED NOTES

- 1 SIDEWALK CULVERT
- 2 TEMPORARY ASPHALT CURB
- 3 ASPHALT PAVING
- 4 CONCRETE DRIVE PAD
- 5 CONCRETE SIDEWALK
- 6 TEMPORARY ASPHALT PATH
- 7 4'-0" WIDE CURB BREAK AT LANDSCAPE ISLAND FOR RUNOFF STORAGE



DESIGN NARRATIVE

THIS SITE IS 1.31 ACRES AND IS CURRENTLY UNIMPROVED. THE SITE WILL BE DEVELOPED FOR RETAIL BUILDINGS AND PARKING. THE DEVELOPED SITE WILL BE GRADED TO DIRECT RUNOFF TO IMPROVED DOWNSTREAM STORM DRAIN FACILITIES IN PASEO DEL NORTE AND HOLLY AVE. THE MAJORITY OF STORM RUNOFF FROM THE SITE WILL ENTER PASEO DEL NORTE VIA A CONCRETE RUNDOWN AND SIDEWALK CULVERT. THE RUNOFF DIRECTED NORTH WILL FLOW TO STREET IMPROVEMENTS IN HOLLY AVE. VIA THE PAVED ACCESS ROAD.

LEGAL DESCRIPTION

LOTS 13, 20, AND 21, BLOCK 10, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BENCHMARK

ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION NO. "HEAVEN UNDERGROUND", HAVING AN ELEVATION OF 5278.235

LEGEND

- PROPERTY LINE
- NEW BUILDING LINE
- - - 5380 - - - EXISTING CONTOUR
- 75 — NEW CONTOUR
- 10.30 * NEW SPOT ELEVATION
- X G=5376.81 EXISTING SPOT ELEVATION
- NEW FLOW DIRECTION ARROW
- TA TOP OF ASPHALT
- TC TOP OF CONCRETE
- FG FINISHED GRADE
- NEW CONCRETE PAVING
- NEW AC PAVING
- ▲ ROOF DRAIN LOCATION
- BOC BACK OF CURB (EXISTING)
- EC EDGE OF CONCRETE (EXISTING)
- G GRADE (EXISTING)
- FL FLOW LINE
- TG TOP OF GRATE

ENGINEER

PROJECT

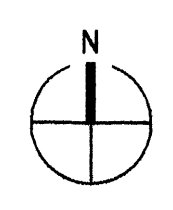
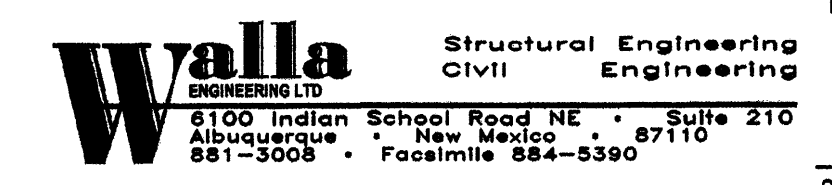
7441 & 7501
Paseo Del Norte
Albuquerque, New Mexico 87113

REVISIONS

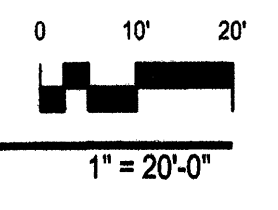
11/2/10	EPC Conditions of Approval
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DRAWN BY	LEK
REVIEWED BY	MJW
DATE	February 2, 2010
PROJECT NO.	09-0055
DRAWING NAME	

CONCEPTUAL GRADING and DRAINAGE PLAN



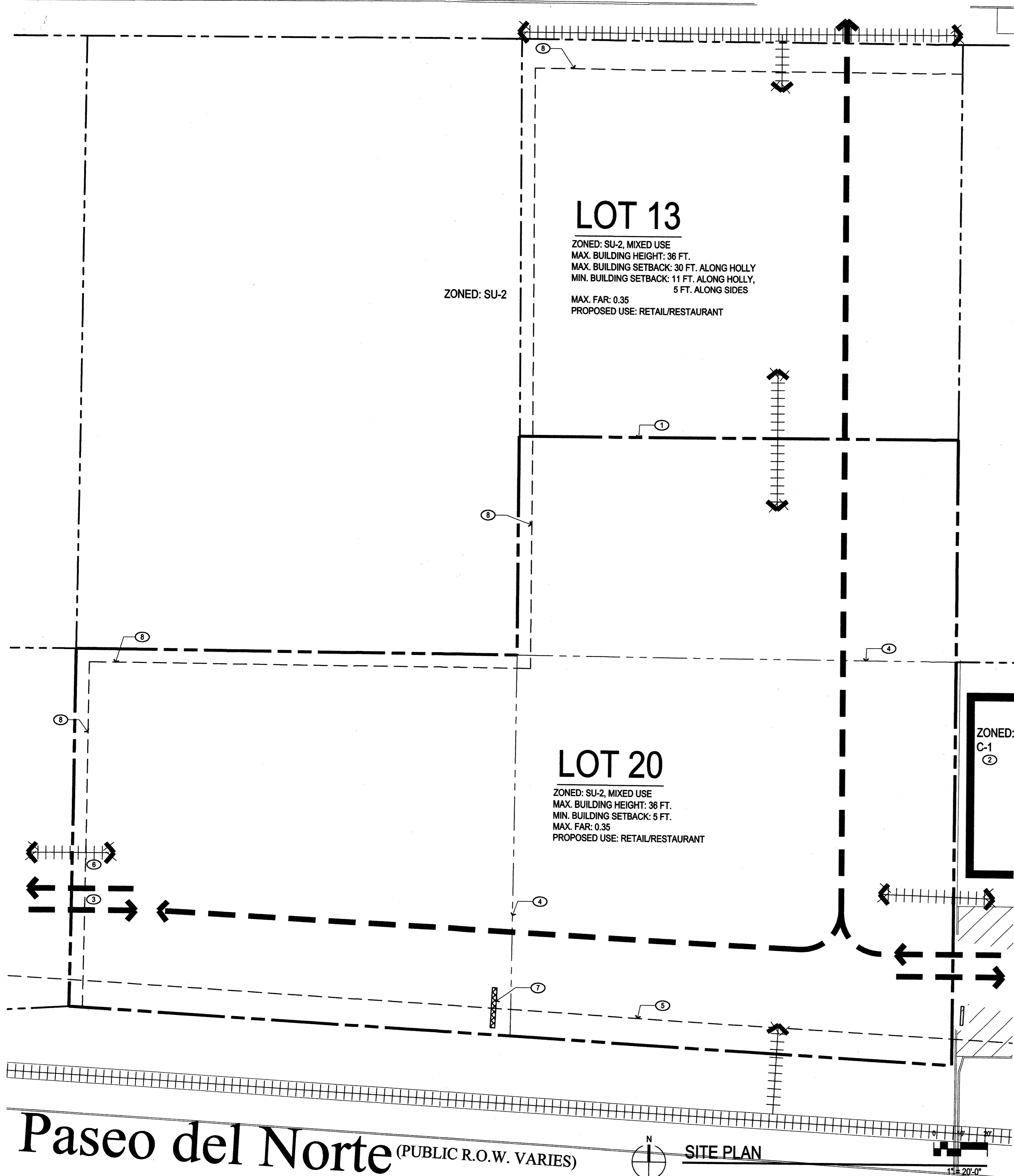
CONCEPTUAL GRADING and DRAINAGE PLAN



SHEET NO.

C101
OF

HOLLY AVE. (60'-0" PUBLIC R.O.W.)



Paseo del Norte (PUBLIC R.O.W. VARIES)

SITE PLAN

SITE DATA

SITE AREA (LOT 13): 24,728sf - 0.57 ACRES
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 TOTAL SITE AREA (LOT 13 & 20): 86,073sf - 1.97 ACRES

KEYED NOTES

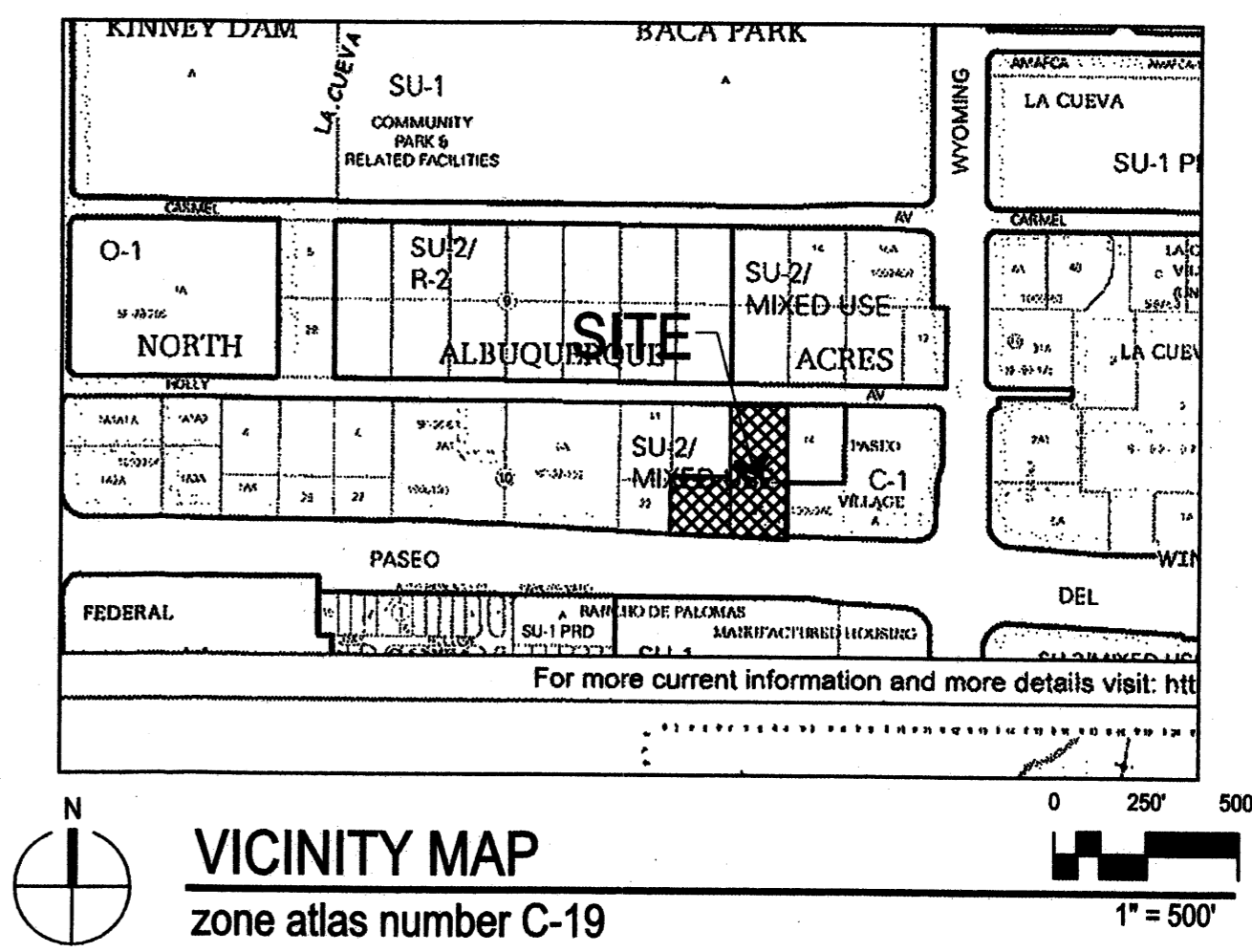
1. NEW PROPERTY LINE
2. EXISTING BUILDING
3. FUTURE VEHICULAR INGRESS/EGRESS
4. OLD PROPERTY LINE TO BE REMOVED
5. EXISTING 10 FT. P.U.E.
6. FUTURE PEDESTRIAN ACCESS
7. PROPOSED MONUMENT SIGN LOCATION
8. BUILDING SETBACK LINE

LEGEND

- PROPERTY LINE
- - - BUILDING SETBACK/PUE
- ← PEDESTRIAN INGRESS/EGRESS
- ← VEHICULAR INGRESS/EGRESS
- OLD PROPERTY LINE

GENERAL NOTES

- A. REFER TO CONCEPTUAL UTILITY PLAN FOR PROPOSED AND EXISTING WATER, SEWER, AND STORM DRAINAGE.
- B. PLEASE REFER TO SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (#1008069, 09EPC-40063) FOR FURTHER INFORMATION ON ARCHITECTURAL BUILDING DESIGN STYLE AND SIGNAGE. BUILDING AND SIGNAGE HEIGHT, MASS, COLOR, MATERIALS, AND ARTICULATION CAN BE REFERENCED FROM BUILDING AND SIGNAGE ELEVATIONS. SIGNAGE FACE AREA AND LIGHTING INFORMATION CAN BE FOUND ADDITIONALLY IN THIS SUBMITTAL.
- C. THE REMAINDER OF LOT 13 SHALL BE DEVELOPED IN A FUTURE PHASE ACCORDING TO A SITE DEVELOPMENT PLAN APPROVED BY THE EPC PER THE LA CUEVA SDP (2000, REV. 2003). THE SITE DEVELOPMENT PLAN INCLUDING PEDESTRIAN CIRCULATION, BUILDING ORIENTATION, ARCHITECTURE AND SIGNAGE, SHALL BE DESIGNED TO COORDINATE WITH THE DEVELOPMENT OF LOT 20 TO FORM A COHESIVE RETAIL CENTER.
- D. SITE PLAN SHALL COMPLY AND BE DESIGNED PER DPM STANDARDS.
- E. SITE PLAN SHALL COMPLY WITH THE SU-2, SU-2/MIXED USE ZONE AND COMMON DESIGN REGULATIONS (SECTIONS 5.4, 5.4.5, 5.4.6, LA CUEVA SECTOR DEVELOPMENT PLAN 2000, REVISED 2003).
- F. SIGNAGE: THE GOAL IS TO PROVIDE CONSISTENCY IN APPEARANCE AND QUALITY THAT COMPLIMENTS THE VISUAL CHARACTER OF THE DEVELOPMENT. ALL BUILDING MOUNTED SIGNS SHALL COMPLY WITH SU-2/MIXED USE AND COMMON DESIGN REGULATIONS FOR SU-2 ZONED PROPERTIES IN THE LA CUEVA SECTOR DEVELOPMENT PLAN. ALL BUILDING MOUNTED SIGNS SHALL BE SUBMITTED UNDER SEPARATE PERMIT.
- G. THE MAXIMUM INDIVIDUAL LETTER SIZE OF ALL BUILDING MOUNTED SIGNAGE SHALL NOT EXCEED 2'-0" IN HEIGHT. LOGO DESIGN SIGNS SHALL COMPLY WITH 13R-9 OF THE LA CUEVA SDP. ALL SIGNS SHALL FOLLOW THE LA CUEVA SDP SIGNAGE REGULATIONS.
- H. IF A FREE STANDING SIGN ON LOT 20 IS APPROVED BY THE ZHE, THE TOTAL SIGN FACE OF BUILDING MOUNTED SIGNS ON LOT 20 SHALL NOT EXCEED 12.5% OF THE TOTAL FACADE AREA FOR THE SOUTHERN ELEVATIONS AND 10% OF THE TOTAL FACADE AREA FOR THE OTHER ELEVATIONS. THE TOTAL SIGN FACE AREA OF EACH TENANT'S BUILDING MOUNTED SIGNS SHALL NOT EXCEED 12.5% OF THE FACADE AREA OF EACH TENANT'S PREMISES FOR SOUTH ELEVATIONS AND 10% FOR OTHER ELEVATIONS.
- I. ALL SIGNAGE TO PROVIDE MINIMUM CONTRAST OF 70% BETWEEN GRAPHICS AND BACKGROUND PER ADA.
- J. IF A FREE STANDING SIGN ON LOT 20 IS APPROVED BY THE ZHE THAT INCLUDES ADVERTISING FOR TENANTS ON LOT 13, THE TOTAL SIGN FACE OF BUILDING MOUNTED SIGNS ON LOT 13 SHALL NOT EXCEED 10% OF THE TOTAL FACADE AREA.
- K. THE FREE STANDING SIGN SHOWN ON THE SITE DEVELOPMENT PLAN IS NOT ALLOWED UNLESS A VARIANCE IS OBTAINED FROM THE ZHE.



FORMER PROJECT NUMBER: 1003532

PROJECT NUMBER: 1008069

APPLICATION NUMBER: 09EPC-40064/10DRB-70027

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated December 17, 2009 and the findings and conditions in the official notification of decision are satisfied.

Is an Infrastructure List Required? (X) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
ABCWUA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

ARCHITECT

ENGINEER

PROJECT

7441 & 7501
 Paseo Del Norte
 Albuquerque, New Mexico 87113

REVISIONS

1/4/2010	EPC Conditions of Approval
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DRAWN BY
 REVIEWED BY
 DATE February 2, 2010
 PROJECT NO. 09-0055
 DRAWING NAME

SITE DEVELOPMENT PLAN FOR SUBDIVISION

SHEET NO.

REVISIONS	
△	1/4/2010 EPC Conditions of Approval
△	
△	
△	

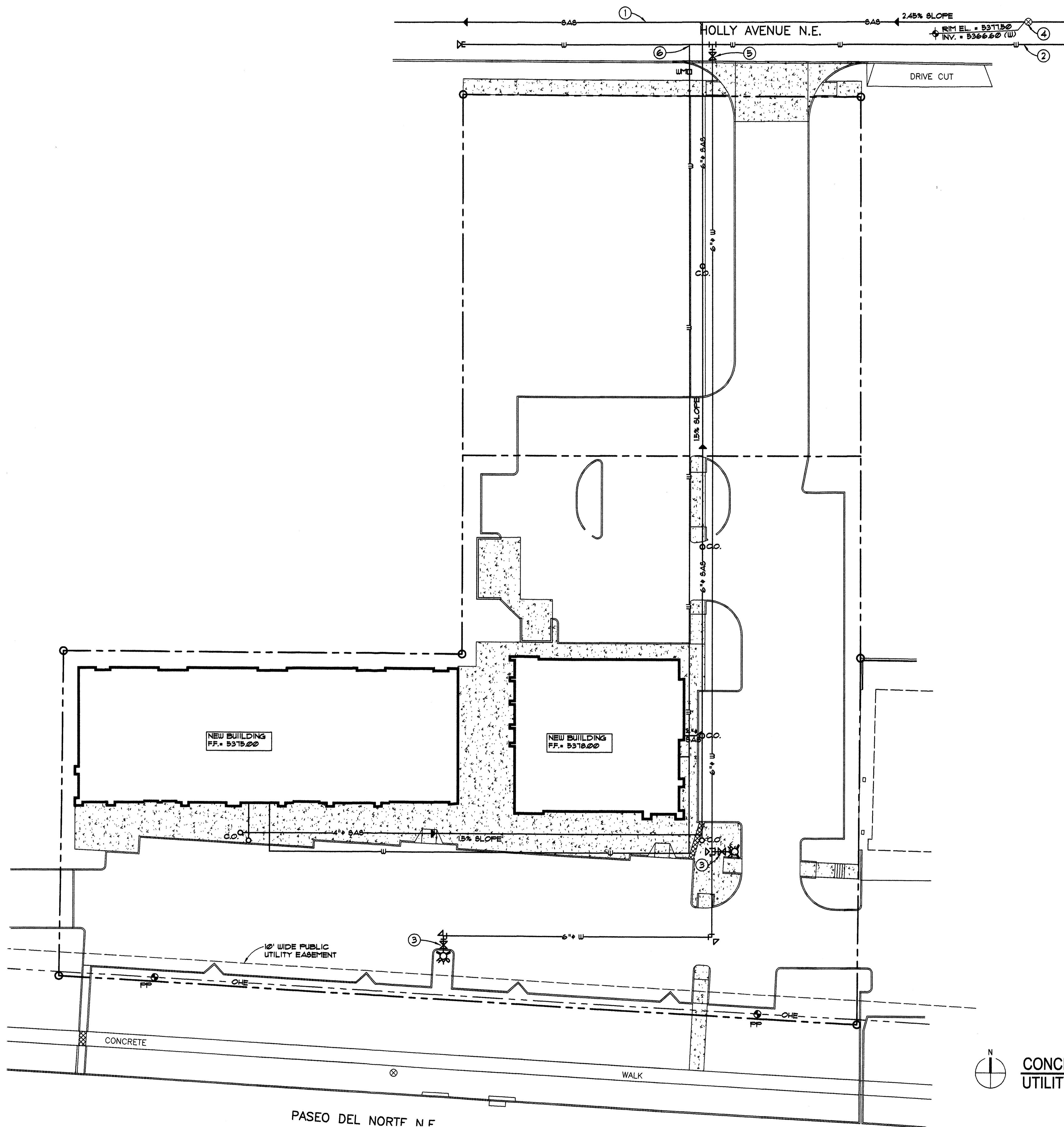
DRAWN BY	LEK
REVIEWED BY	MJW
DATE	February 2, 2010
PROJECT NO.	09-0055
DRAWING NAME	

**CONCEPTUAL
SITE UTILITY PLAN**

Walla Structural Engineering
ENGINEERING LTD. Civil Engineering
2100 Indian School Road NE Suite 210
Albuquerque, New Mexico 87110
881-3008 Facsimile 884-5390

SHEET NO.

C102
OF

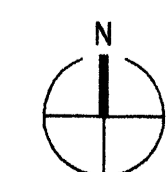


KEYED NOTES

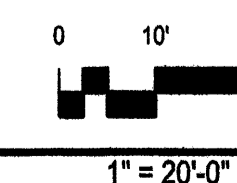
- 1 EXISTING 8" SANITARY SEWER - PVC
- 2 NEW 8" PVC WATER LINE EXTENSION
- 3 6" GATE VALVE AND VALVE BOX
- 4 EXISTING MANHOLE
- 5 8" GATE VALVE AND VALVE BOX
- 6 WATER SERVICE CONNECTION

LEGEND

- SANITARY SEWER MANHOLE
- SANITARY SEWER LINE
- WATER LINE
- WATER METER
- PROPERTY LINE
- SEWER CLEAN OUT
- FIRE HYDRANT
- WATER LINE VALVE
- CONCRETE BLOCKING
- OVERHEAD ELECTRICITY UTILITY
- POWER POLE



**CONCEPTUAL SITE
UTILITY PLAN**



PASEO DEL NORTE N.F