

PHASING SCHEDULE

NONE

GENERAL NOTES

- A. PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED
- B. COORDINATE CURB CUTS FOR WATER DRAINAGE WITH CIVIL GRADING & DRAINAGE PLAN
- C. ALL EXISTING FENCING TO BE REMOVED COMPLETELY. NEW SOLID SCREEN WALL TO BE CONSTRUCTED AS SHOWN.

KEYED NOTES

1. NEW 6" CONCRETE CURB.
2. NEW CONCRETE SIDEWALK.
3. NEW ASPHALT PAVING. SEE GEOTECHNICAL REPORT FOR PAVING SECTION.
4. LANDSCAPE AREA.
5. EXISTING CITY OF ALBUQUERQUE SIDEWALK WITH EXISTING HANDICAP RAMP TO REMAIN.
6. NEW CURB CUT, CITY OF ALBUQUERQUE STANDARD DRIVEPAD DETAIL #2425.
7. EXISTING CURB CUT TO REMAIN AS IS. ACCESS GRANTED TO TRACT "A" BY "PLAT OF TRACT A - 8931982 LANDS OF M.R.G.C.D. MAP NO 39 SITUATE WITHIN PROJECTED SECTION 24, T.10N., R.2E., N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO JULY, 1988" WITH FINAL SIGN OFF AUGUST 10TH 1988, BY FRANKLIN E. WILSON, RECORDED IN VOL. C-38, PAGE 195.
8. NEW SIGHT LIGHT. SEE A1/AS-102.
9. BICYCLE RACK. SEE D5/AS-102.
10. LINE OF ENTRY CANOPY ABOVE.
11. EXISTING FIRE HYDRANT.
12. HANDICAP ACCESS AISLE STRIPING. SEE A2/AS-102
13. EXISTING FIRE HYDRANT LOCATED ON CENTRAL IN FRONT OF NEIGHBORING RESTAURANT APPROXIMATELY 308' FROM PROPOSED NEW CONSTRUCTION.
14. ASPHALT STRIPING FOR "NO PARKING" AREA AND VEHICLE TURN-AROUND. ACCESS EASEMENT GRANTED TO TRACT "A" BY "PLAT OF TRACT A 8931982 LANDS OF M.R.G.C.D. MAP NO 39 SITUATE WITHIN PROJECTED SECTION 24, T.10N., R.2E., N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO JULY, 1988" WITH FINAL SIGN OFF AUGUST 10TH 1988, BY FRANKLIN E. WILSON, RECORDED IN VOL. C-38, PAGE 195 .
15. EXISTING CURB CUTS TO BE REMOVED AND INFILLED TO BE FLUSH WITH ADJACENT CONCRETE C.O.A. SIDEWALK.
16. NEW PAVEMENT HANDICAP SIGN. SEE C2/AS-102.
17. EXISTING CONCRETE CURB TO REMAIN.
18. EXISTING ASPHALT PAVING.
19. EXISTING WAREHOUSE STRUCTURE TO BE DEMOLISHED COMPLETELY. REMOVE ANY AND ALL INFRASTRUCTURE INCLUDING UTILITIES, MECHANICAL, ELECTRICAL, PLUMBING, AND FOUNDATIONS.
20. EXISTING HOUSE STRUCTURE TO BE DEMOLISHED COMPLETELY. REMOVE ANY AND ALL INFRASTRUCTURE INCLUDING UTILITIES, MECHANICAL, ELECTRICAL, PLUMBING, AND FOUNDATIONS.
21. EXISTING RESTAURANT TO BE DEMOLISHED COMPLETELY. REMOVE ANY AND ALL INFRASTRUCTURE INCLUDING UTILITIES, MECHANICAL, ELECTRICAL, PLUMBING, AND FOUNDATIONS. SALVAGE ALL EQUIPMENT TO OWNER. REFER TO PHASING PLAN FOR DETAILS.
22. NEW 12' WIDE x 10' DEEP INSIDE CLEAR BY 6' HIGH CMU DUMPSTER ENCLOSURE WITH A 4' WIDE x 10' DEEP INSIDE CLEAR RECYCLING AREA. GATES TO BE PAINTED TUBE STEEL WITH METAL PANEL INSERTS. SEE B4/AS-102.
23. NEW DRIVE-UP ORDER MENU.
24. DRIVE-UP FOOD PICK-UP WINDOW.
25. NEW 4' HIGH PATIO/YARD WALL.
26. NEW CUSTOM GATE TO OUTDOOR DINING.
27. NEW POLE MOUNTED ACCESSIBLE PARKING SIGNAGE. SEE C1/AS-102.
28. EXISTING WALL TO BE DEMOLISHED COMPLETELY INCLUDING ALL FOUNDATIONS.
29. NEW 6' HIGH CMU SCREEN WALL. SEE D4/AS-102.
30. NEW RAMP FOR HC ACCESS FROM CITY SIDEWALK. SEE C3/AS-102
31. NEW TRUCK LOADING/UNLOADING ZONE.
32. EXISTING PROPERTY LINES.
33. EXISTING RESIDENCE TO BE DEMOLISHED COMPLETELY.
34. EXISTING PUBLIC BUS STOP AND EXISTING COVERED SHELTER.
35. LIGHT POLE AND OVERHEAD LINES TO BE REMOVED COMPLETELY.
36. EXISTING SIGN TO BE REMOVED COMPLETELY.
37. NEW DRIVE-UP PAY WINDOW.
38. EXISTING RESTAURANT SIGN TO REMAIN.
39. LANDSCAPE PLANTER AND BENCH. REFER TO LS-101.
40. EXISTING POWER POLE TO REMAIN.
41. EXISTING OVERHEAD POWER LINES TO REMAIN.

RADIUS INFO:
TURNING RADIUS @ EACH CURB LOCATION

DESIGN CRITERIA

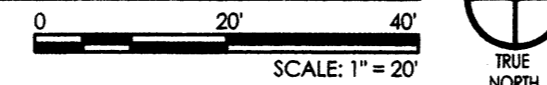
- MAXIMUM BUILDING HEIGHT: = 26' BUILDING HEIGHT
 MINIMUM BUILDING SETBACKS: NORTH = 5' PER COA 14-16-2-15(E)
 EAST = 5' PER COA 14-16-2-15(E)
 WEST = 5' PER COA 14-16-2-15(E)
 SOUTH = 5' PER COA 14-16-2-15(E)
- SIGNAGE: ALL SIGNAGE SHALL COMPLY WITH THE C-2 COMMERCIAL ZONE 14-16-2-17 C-2 AND THE WEST ROUTE 66 SECTOR DEVELOPMENT PLAN. THE CENTRAL AVENUE NEON SIGN DESIGN OVERLAY ZONE HAS BEEN CONSIDERED WITH THE PLACEMENT OF NEON/LED ACCENTS AND BUILDING SIGNAGE.
- LANDSCAPE BUFFERS: NORTH = 10' PER COA 14-16-3-10(E)
 EAST = 6' PER COA 14-16-3-10(E)
 WEST = 6' PER COA 14-16-3-10(E)
 SOUTH = 10' PER COA 14-16-3-10(E)

PARKING CALCULATIONS

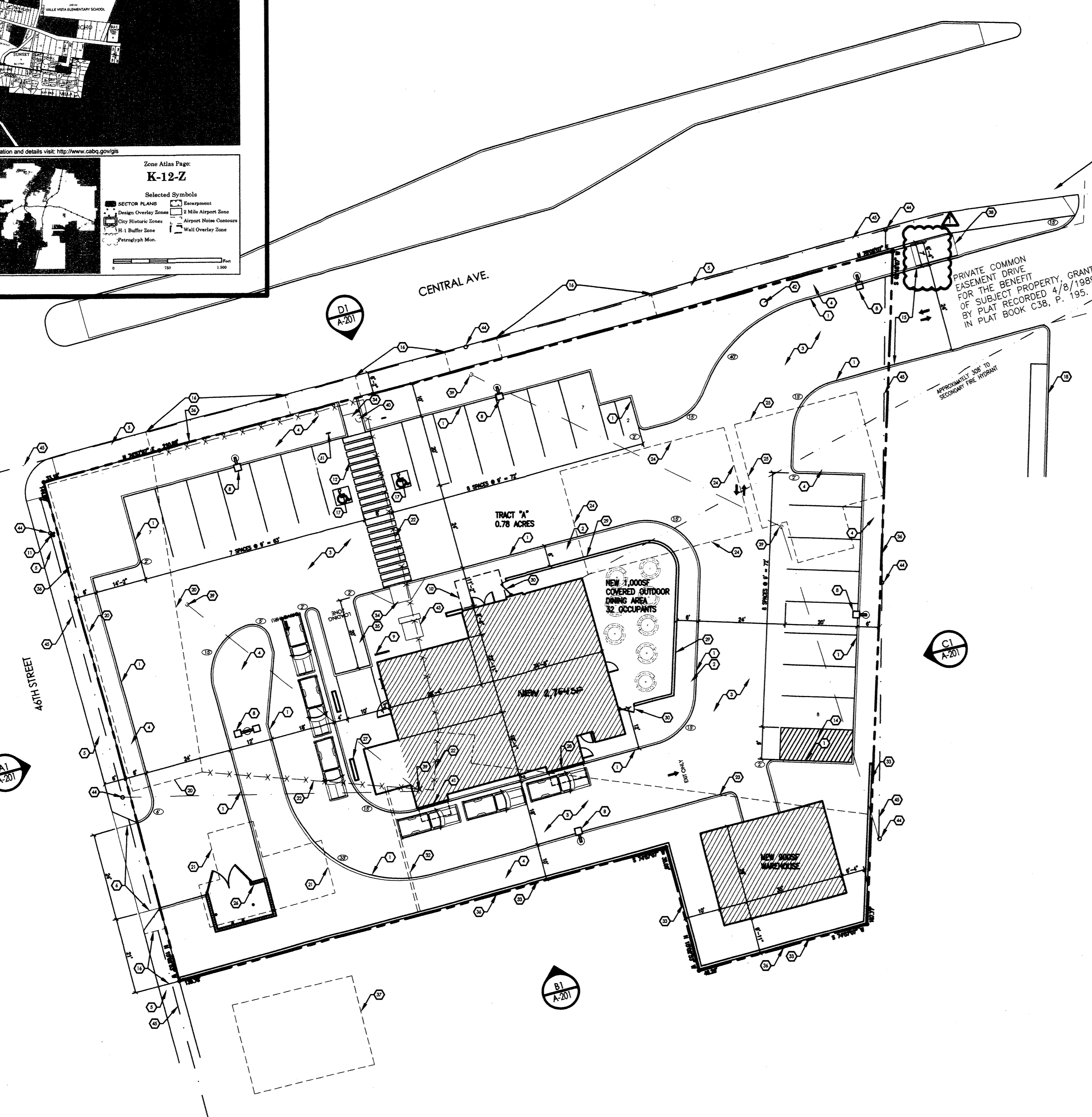
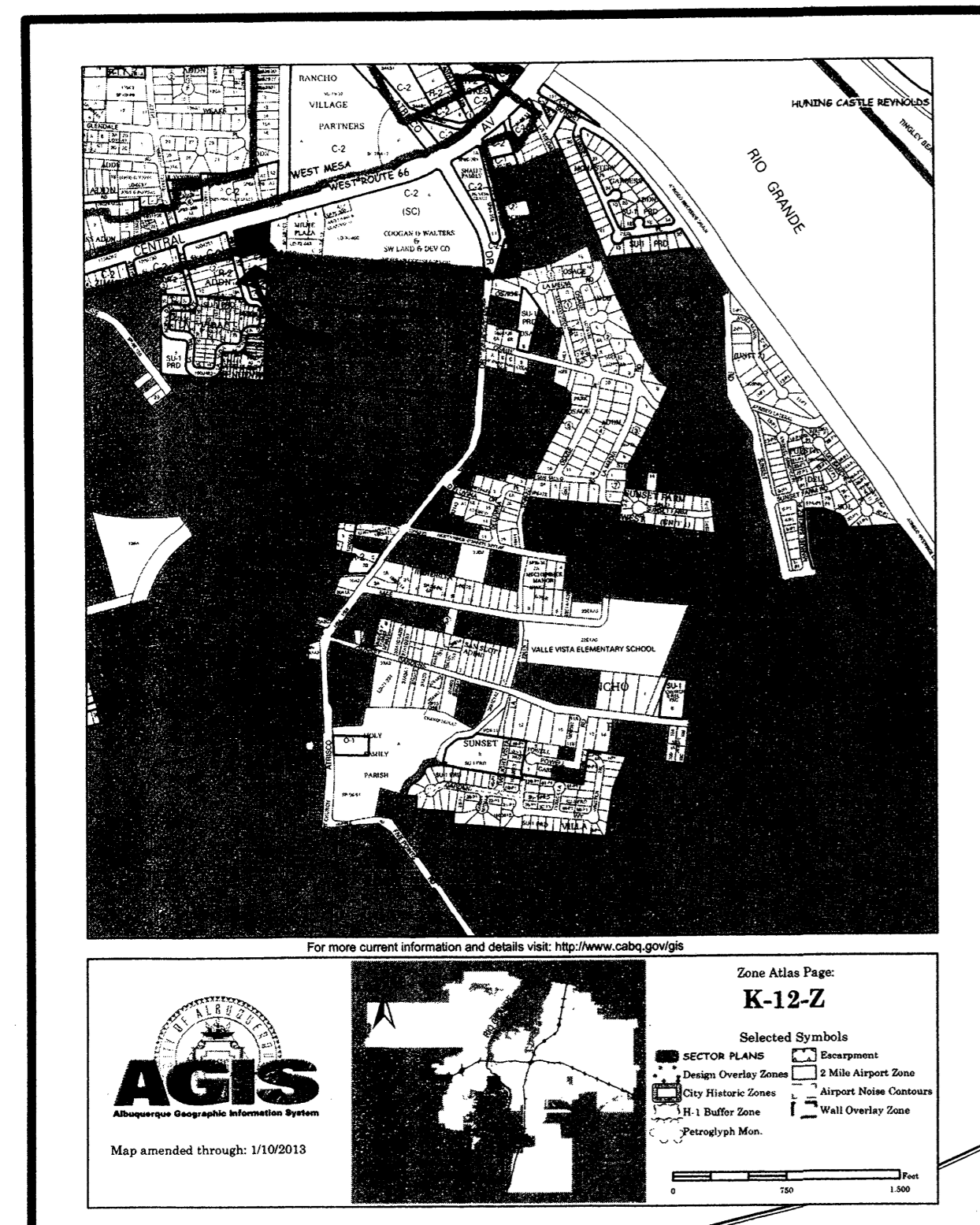
PARKING REQUIRED:

PER C.O.A. ZONING 14-16-3-1(A)26 RESTAURANT:	1 SPACE/4 SEATS 82 OCCUPANTS MAX	= 21 SPACES
TOTAL PARKING REQUIRED:		= 21 SPACES
PER C.O.A. ZONING 14-16-3-1(c)1 MOTORCYCLE PARKING		= 1 SPACE
PER C.O.A. ZONING 14-16-3-1(F)9a HANDICAP PARKING		= 1 (1 VAN)
PER C.O.A. ZONING 14-16-3-1(B)3 BICYCLE SPACES 1 PER 20 VEHICLES		= 2 SPACES
PARKING REDUCTIONS:		
PER C.O.A. 14-16-3-1(E)4a TRANSIT REDUCTIONS 10% REDUCTION IF PROPERTY IS LOCATED WITHIN 300' OF TRANSIT ROUTE.		
TOTAL PARKING REQUIRED AFTER TRANSIT REDUCTIONS		= 19 SPACES
PARKING PROVIDED		
MOTORCYCLE PARKING PROVIDED		= 2 SPACES
HANDICAP PARKING PROVIDED INCLUDING		= 2 SPACES = 2 VAN
BICYCLE SPACES PROVIDED		= 7 SPACES

A2 CONCEPTUAL SITE PLAN



AFD PLANS CHECKING OFFICE
 824-3611
 APPROVED/DISAPPROVED
 HYDRANT(S) ONLY
 R.C. Smith 8-1-2013
 SIGNATURE & DATE



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ARCHITECT

CONSULTANT

PROJECT TITLE

**BOB'S BURGERS
 W. CENTRAL
 &
 46TH STREET**

**ALBUQUERQUE
 NEW MEXICO**

REVISIONS:

MK	DATE	DESCRIPTION
7.26.2013	PER DRB COMMENTS	

DRAWN BY: CHECKED BY:

MG	LA
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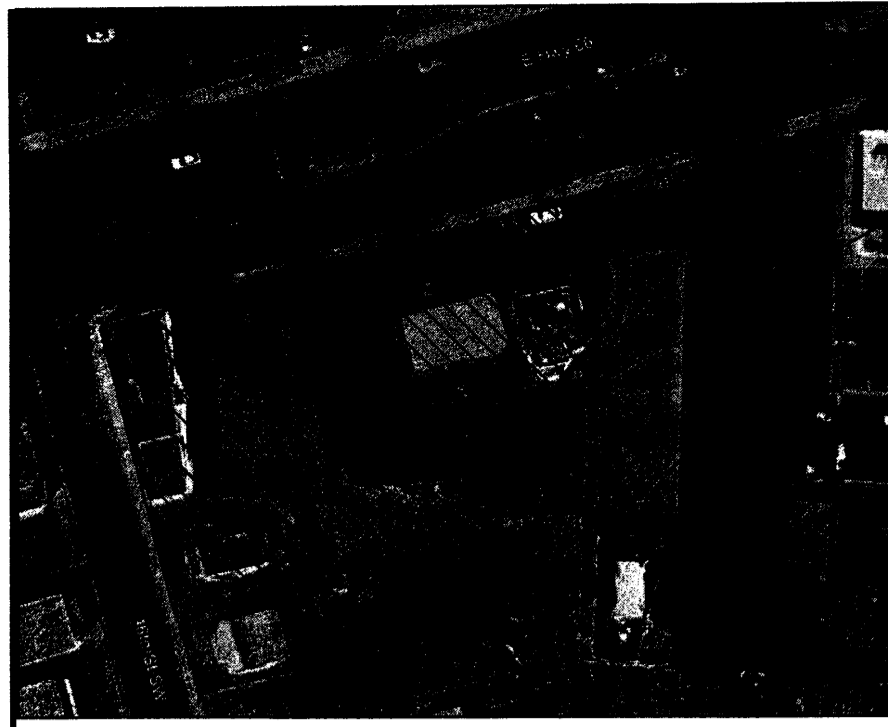
PROJECT NUMBER:
A13.04

DATE:
JUNE 2013

SHEET TITLE:
**ARCHITECTURAL
 SITE PLAN**

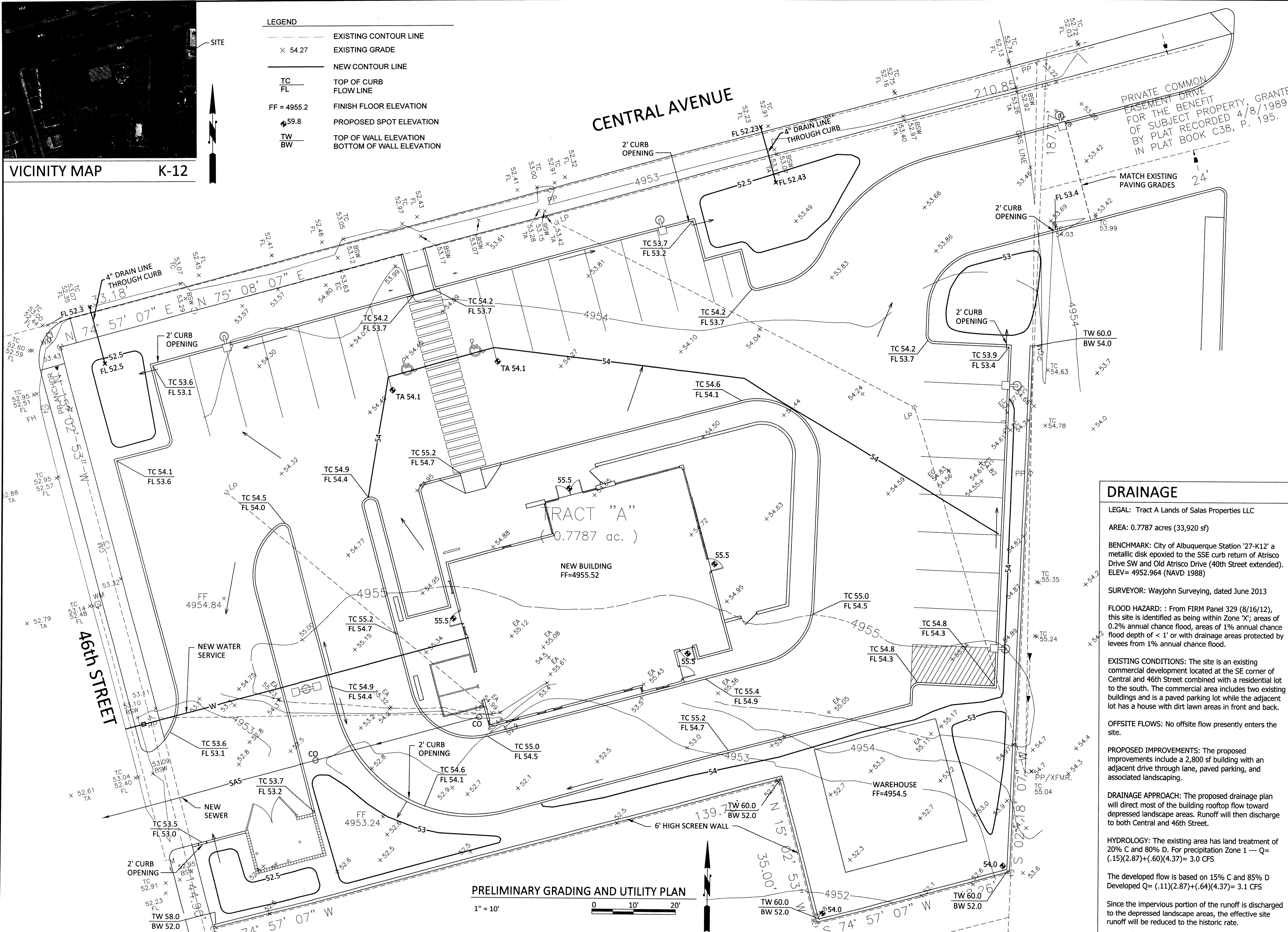
SHEET NO.
AS-101

1008134



VICINITY MAP K-12

- LEGEND**
- EXISTING CONTOUR LINE
 - x 54.27 EXISTING GRADE
 - NEW CONTOUR LINE
 - TC TOP OF CURB
 - FL FLOW LINE
 - FF = 4955.2 FINISH FLOOR ELEVATION
 - 59.8 PROPOSED SPOT ELEVATION
 - TW TOP OF WALL ELEVATION
 - BW BOTTOM OF WALL ELEVATION



DRAINAGE

LEGAL: Tract A Lands of Salas Properties LLC

AREA: 0.7787 acres (33,920 sf)

BENCHMARK: City of Albuquerque Station '27-K12' a metallic disk epoxied to the SSE curb return of Atrisco Drive SW and Old Atrisco Drive (40th Street extended). ELEV= 4952.964 (NAVD 1988)

SURVEYOR: Wayjohn Surveying, dated June 2013

FLOOD HAZARD: : From FIRM Panel 329 (8/16/12), this site is identified as being within Zone 'X'; areas of 0.2% annual chance flood, areas of 1% annual chance flood depth of < 1' or with drainage areas protected by levees from 1% annual chance flood.

EXISTING CONDITIONS: The site is an existing commercial development located at the SE corner of Central and 46th Street combined with a residential lot to the south. The commercial area includes two existing buildings and is a paved parking lot while the adjacent lot has a house with dirt lawn areas in front and back.

OFFSITE FLOWS: No offsite flow presently enters the site.

PROPOSED IMPROVEMENTS: The proposed improvements include a 2,800 sf building with an adjacent drive through lane, paved parking, and associated landscaping.

DRAINAGE APPROACH: The proposed drainage plan will direct most of the building rooftop flow toward depressed landscape areas. Runoff will then discharge to both Central and 46th Street.

HYDROLOGY: The existing area has land treatment of 20% C and 80% D. For precipitation Zone 1 --- Q= (.15)(2.87)+(0.60)(4.37)= 3.0 CFS

The developed flow is based on 15% C and 85% D
Developed Q= (.11)(2.87)+(0.64)(4.37)= 3.1 CFS

Since the impervious portion of the runoff is discharged to the depressed landscape areas, the effective site runoff will be reduced to the historic rate.

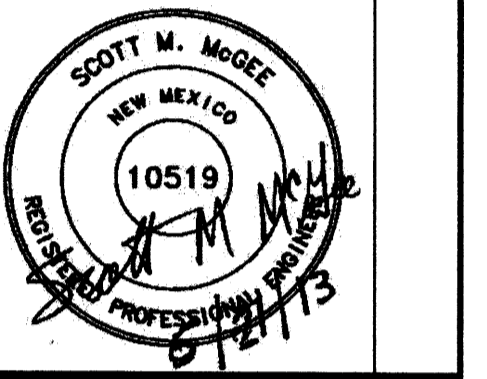
PRELIMINARY GRADING AND UTILITY PLAN
1" = 10'



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PROJECT TITLE

**BOB'S BURGERS
W. CENTRAL
&
46TH STREET**

ALBUQUERQUE
NEW MEXICO

REVISIONS:

MK	DATE	DESCRIPTION

DRAWN BY: CB
CHECKED BY: SM

PROJECT NUMBER:
A13.04

DATE:
JUNE 19, 2013

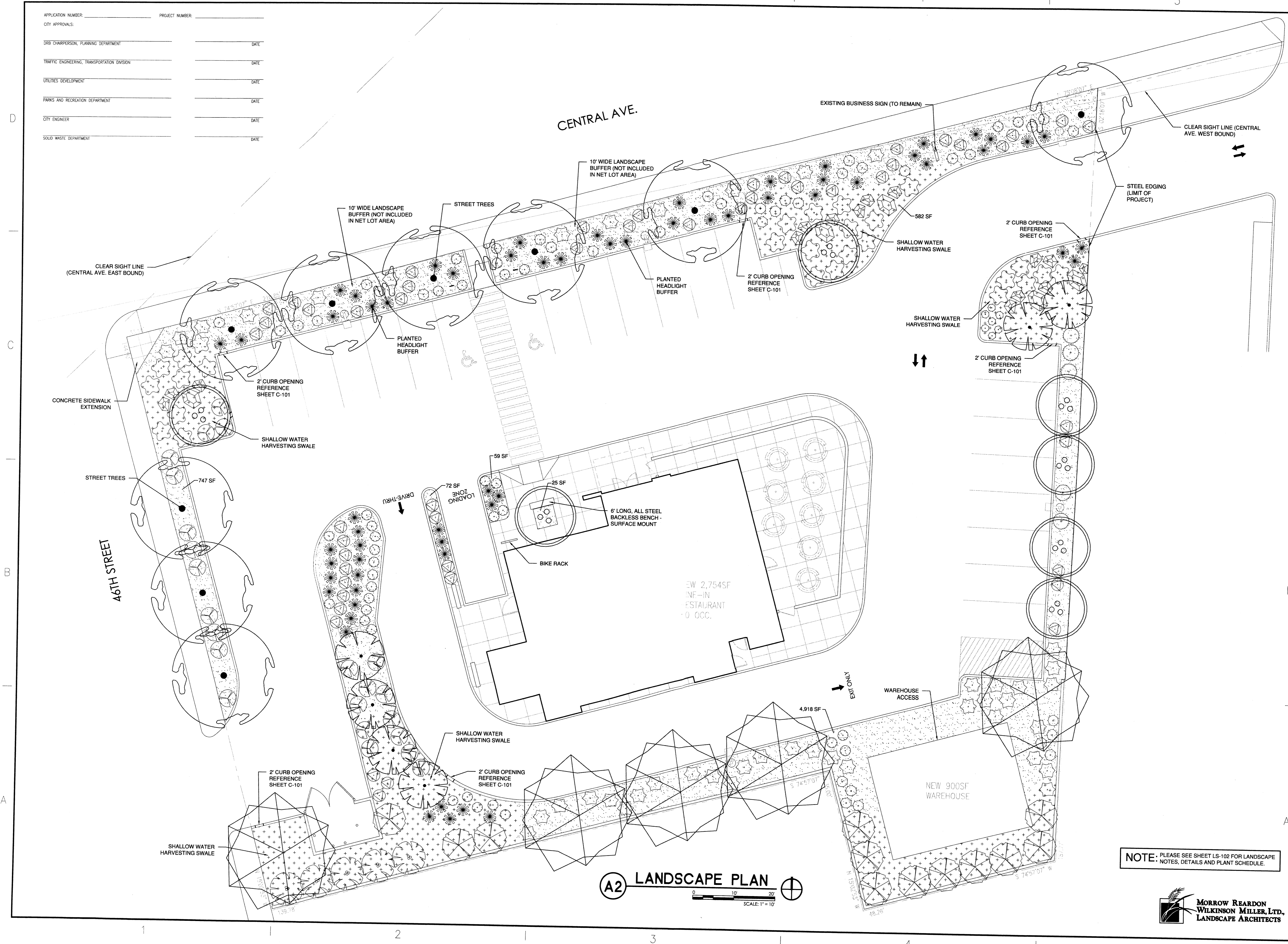
SHEET TITLE:

**PRELIMINARY
GRADING AND
UTILITY PLAN**

SHEET NO.:

C-101

APPLICATION NUMBER: _____ PROJECT NUMBER: _____
 CITY APPROVALS: _____
 DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____
 TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____
 UTILITIES DEVELOPMENT _____ DATE _____
 PARKS AND RECREATION DEPARTMENT _____ DATE _____
 CITY ENGINEER _____ DATE _____
 SOLID WASTE DEPARTMENT _____ DATE _____



(A2) LANDSCAPE PLAN
 SCALE: 1" = 10'

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CONSULTANT



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 PROJECT TITLE

**BOB'S BURGERS
 W. CENTRAL
 &
 46TH STREET**

ALBUQUERQUE
 NEW MEXICO

REVISIONS:

MK	DATE	DESCRIPTION

DRAWN BY: AA CHECKED BY: BHM

PROJECT NUMBER:
 A13.04

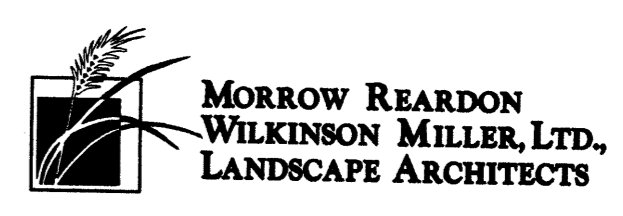
DATE:
 JUNE 2013

SHEET TITLE:

LANDSCAPE PLAN

SHEET NO:

LS-101



APPLICATION NUMBER: _____ PROJECT NUMBER: _____
 CITY APPROVALS:
 DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____
 TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____
 UTILITIES DEVELOPMENT _____ DATE _____
 PARKS AND RECREATION DEPARTMENT _____ DATE _____
 CITY ENGINEER _____ DATE _____
 SOLID WASTE DEPARTMENT _____ DATE _____

LANDSCAPE AREA	
NET LOT AREA:	
TOTAL LOT AREA	33,960 SF
LESS TOTAL BUILDING AREA	3,654 SF
LESS ROW LANDSCAPING	2,255 SF
NET LOT AREA	28,051 SF
LANDSCAPE AREA REQUIREMENT: (15% OF NET LOT AREA)	4,208 SF
TOTAL LANDSCAPE AREA PROVIDED: (23% OF NET LOT AREA)	6,403 SF

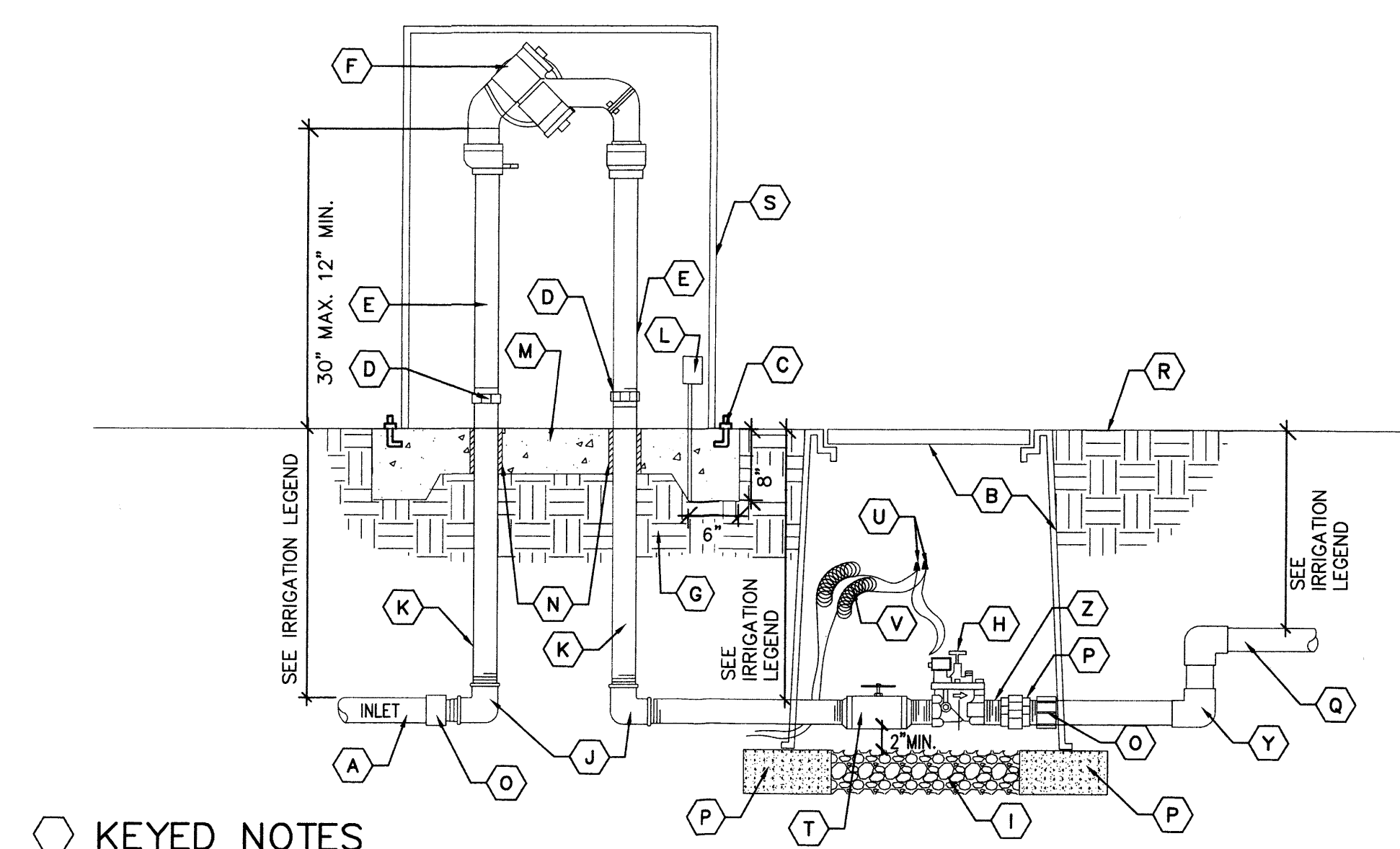
LEGEND	
	BOULDER. SEE NOTE #8.
	SMALL GRAVEL MULCH. SEE NOTE #7.
	LARGE GRAVEL MULCH. SEE NOTE #10.

LANDSCAPE NOTES

- THIS PLAN IS IN COMPLIANCE WITH THE CITY OF ALBUQUERQUE REQUIREMENTS AS FOLLOWS:
 - LANDSCAPE ORDINANCE
 - WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE
 - POLLEN ORDINANCE
 - STREET TREE ORDINANCE
- THIS PLAN HAS NO TURF OR HIGH WATER-USE LANDSCAPING (0%).
- AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED FOR ALL PLANT MATERIAL. TREES AND SHRUBS SHALL BE IRRIGATED WITH A BUBBLER SYSTEM. TWO .5 GPM BUBBLERS PER TREE AND ONE 0.25 GPM BUBBLER PER SHRUB WILL BE PROVIDED. A BACKFLOW PREVENTER WILL BE PROVIDED TO PROTECT THE DOMESTIC WATER LINE FROM CROSS-CONTAMINATION PER DETAIL A1, THIS SHEET.
- THE OWNER WILL ASSUME RESPONSIBILITY FOR MAINTENANCE OF THE LANDSCAPE.
- TREES AND SHRUBS SHALL BE PLANTED PER DETAILS A3 AND A5, THIS SHEET
- SMALL GRAVEL MULCH SHALL BE A 3" DEPTH OF 3/8"-5/8" WARM TONE CRUSHED GRAVEL MULCH ('CANYON GOLD' OR EQUAL) WITH FILTER FABRIC UNDER AND SHALL BE INSTALLED THROUGHOUT PLANTING BEDS, EXCEPT WHERE MULCH IS NOTED LARGE GRAVEL MULCH.
- BOULDERS SHALL BE 12 C.F. TO 18 C.F. MOSS ROCK BURIED 1/4 TO 1/3 OF MASS.
- SEE THE UTILITY PLAN FOR LOCATIONS OF ALL EXISTING AND PROPOSED UTILITIES.
- LARGE GRAVEL MULCH SHALL BE A 4" DEPTH OF 2"-4" WARM TONE CRUSHED GRAVEL MULCH ('CANYON GOLD' OR EQUAL) WITH FILTER FABRIC UNDER AND SHALL BE INSTALLED AS SHOWN ON THE PLAN.
- SEE SHEET SHEET C-101 FOR TOPOGRAPHIC INFORMATION AND CONCEPTUAL GRADING.
- SEE SHEET C-101 FOR EXISTING AND PROPOSED UTILITY INFORMATION.

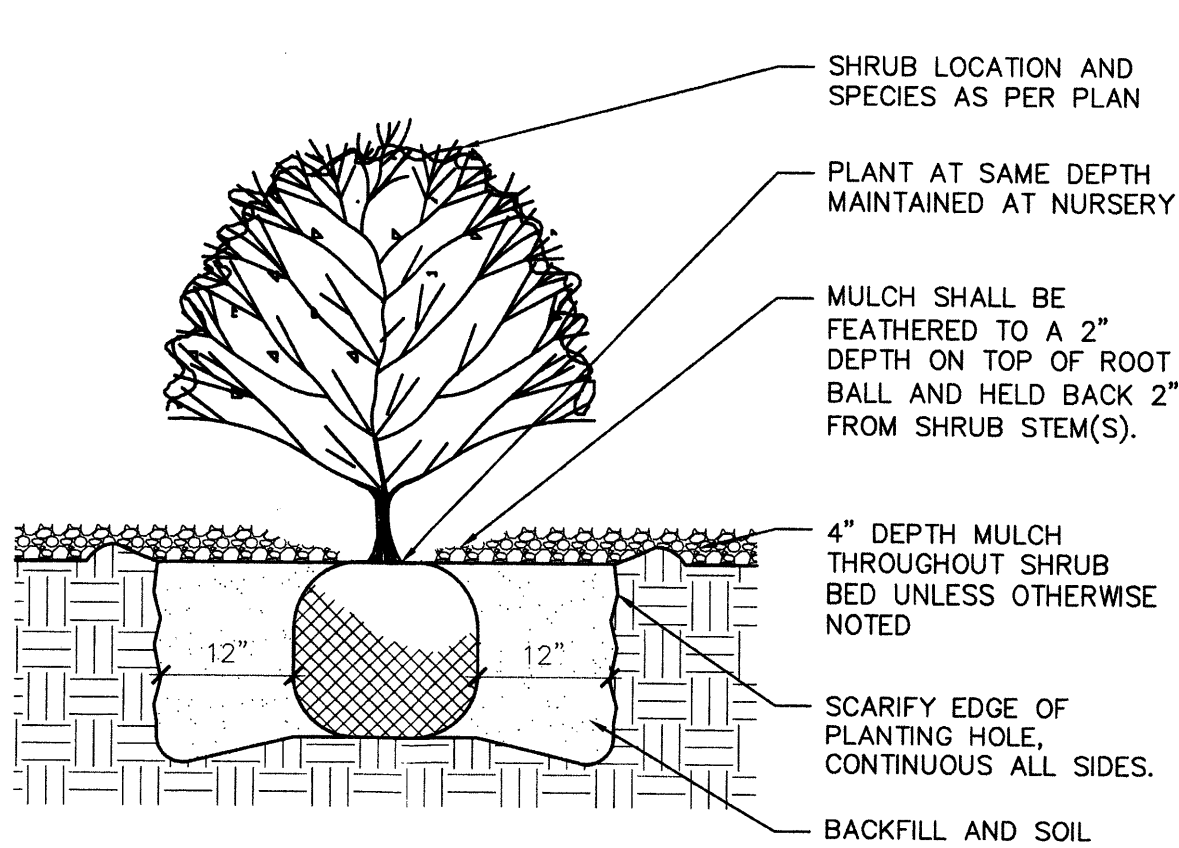
PROPOSED PLANT SCHEDULE

SYMBOL	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE		CONDITION	WATER USE
				INSTALLED	MATURE		
TREES							
	Alghan Pine	Pinus eldarica	5	Min. 6' ht.	40' ht. & 25' spd.	B & B	L
	Desert Willow	Chilopsis linearis	7	5'-7' ht.	15'ht. & 15' spd.	B & B Multi-trunk	L
	Honey Locust	Gleditia triacanthos inermis 'Imperial'	9	2' cal. 12-14' ht.	30'ht. & 25' spd.	B & B	M
	Mexican Elder	Sambucus mexicana	6	Min. 4' ht.	15'ht. & 12' spd.	#15	M
SHRUBS/ORNAMENTAL GRASSES							
	Apache Plume	Fallugia paradoxa	5	Min. 18" ht.	4' ht. & spd.	1-gal	L
	Bearberry Cotoneaster	Cotoneaster dammeri	43	Min. 18" spd.	4' ht. & spd.	1-gal	L
	Coral Flowered Yucca	Hesperaloe parviflora	61	Min. 12" ht.	3' ht. & spd.	1-gal	L
	Creeping Sand Cherry	Prunus besseyi 'Pawnee Buttes'	23	Min. 18" spd.	1.5' ht. & 4' spd.	1-gal	L
	Crimson Pygmy Barberry	Berberis thunbergii 'Crimson Pygmy'	42	Min. 8" ht.	2.5' ht. & spd.	1-gal	M
	Dwarf Rabbitbrush	Chrysothamnus nauseosus nauseosus	34	Min. 8" ht.	2' ht. & 2.5' spd.	1-gal	L
	Gro-Low Sumac	Rhus aromatica 'Gro-Low'	27	Min. 12" spd.	2.5' ht. & 4' spd.	1-gal	L
	Rosewood	Vaquelinia californica	12	Min. 18" ht.	15' ht. & 8' spd.	5-gal	L
	Turpentine Bush	Ericameria laricifolia	49	Min. 12" ht.	3' ht. & spd.	1-gal	L
	Silver Berry	Elaeagnus pungens	5	Min. 24" ht.	6' ht. & 8' spd.	5-gal	L

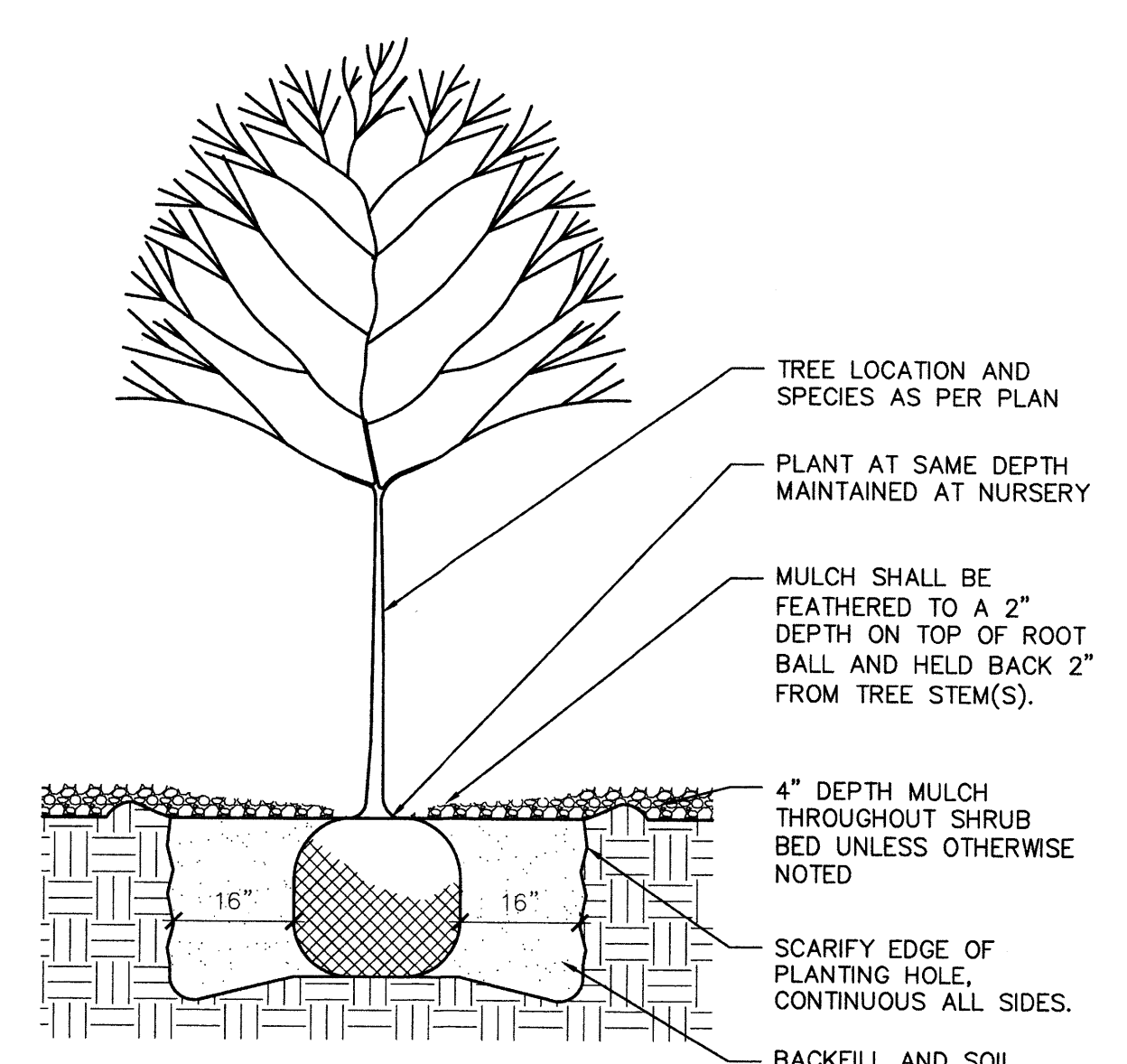


- KEYED NOTES**
- A. PVC MAINLINE
 - B. APPLIED ENGINEERING PRODUCTS 1730-P2P VALVE BOX W/ ABS BOLT DOWN FLUSH COVER AND EXTENSIONS AS REQUIRED. COLOR: TAN.
 - C. 1/2"x6" ANCHOR BOLTS, FOUR PER BOX
 - D. GALVANIZED UNION (MIN. 4" ABOVE GRADE)
 - E. GALVANIZED NIPPLE
 - F. REDUCED PRESSURE BACKFLOW PREVENTER. SEE IRRIGATION LEGEND.
 - G. 95% COMPACTED SUBGRADE
 - H. MASTER VALVE - SEE IRRIGATION LEGEND
 - I. 6" DEPTH, 1" ROUND GRAVEL
 - J. GALVANIZED ELL
 - K. GALVANIZED RISER
 - L. 110V ELECTRICAL OUTLET FOR HEATED PROTECTIVE ENCLOSURE. PLACE AWAY FROM RELIEF VALVE.
 - M. MIN. 4" THICK 4000 PSI CONCRETE SLAB WITH TURNDOWN EDGE.
 - N. PVC SLEEVING & INSULATION (MIN. 1" THICK).
 - O. SCH. 40 PVC MALE ADAPTER.
 - P. 8" x 8" x 16" SOLID CMU BLOCK, FOUR PER BOX.
 - Q. NON-CONSTANT PRESSURE IRRIGATION MAINLINE.
 - R. FINISH GRADE.
 - S. PROTECTIVE BACKFLOW ENCLOSURE - SEE IRRIGATION LEGEND.
 - T. SPEARS TRUE UNION SCH. 80 PVC BALL VALVE.
 - U. WATERPROOF WIRE SPLICE.
 - V. 36" WIRE LOOPS.
 - W. GALVANIZED NIPPLE, 36" LENGTH.
 - X. SPEARS SCH. 80 PVC UNION.
 - Y. MAIN LINE ELL, 90 DEG.
 - Z. SCH. 80 PVC NIPPLE, 3" LENGTH.

A1 BACKFLOW PREVENTER & MASTER VALVE ASSEMBLY
SCALE: N.T.S.



A3 SHRUB PLANTING
SCALE: N.T.S.



A5 TREE PLANTING
SCALE: N.T.S.

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**BOB'S BURGERS
W. CENTRAL
&
46TH STREET**

ALBUQUERQUE
NEW MEXICO

REVISIONS:

MK	DATE	DESCRIPTION
AA		BHM

PROJECT NUMBER:
A13.04

DATE:
JUNE 2013

SHEET TITLE:
**LANDSCAPE
PLANT SCHEDULE,
LANDSCAPE NOTES,
& DETAILS**

SHEET NO:
LS-102

MORROW REARDON
WILKINSON MILLER, LTD.
LANDSCAPE ARCHITECTS

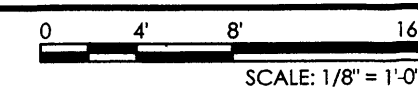
GENERAL NOTES

A. ALL DIMENSIONS ARE GIVEN FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.

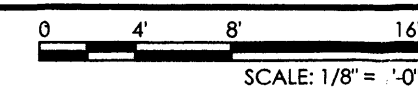
KEYED NOTES

1. NEON SIGNAGE BY OWNER. 36 SQUARE FEET @ 12X3'.
2. E.I.F.S. OUTSULATION STUCCO SYSTEM. COLOR TO WHITE.
3. NOT USED.
4. ALUMINUM STOREFRONT DOOR. COLOR TO MATCH COMPANY BRANDING "RED".
5. PRE-FINISHED BREAK METAL PARAPET CAP. COLOR TO MATCH COMPANY BRANDING "RED".
6. PAINTED STEEL FOR EXTERIOR CANOPY. COLOR TO MATCH COMPANY BRANDING "RED". RECESSED LIGHTS WITHIN CANOPY.
7. MECHANICAL UNITS BEYOND.
8. PRE-FINISHED WALL MOUNTED UP/DOWN LIGHT FIXTURE. COLOR TO BE DETERMINED.
9. 48" HIGH INTEGRATED STUCCO SITE WALL. COLOR TO MATCH BUILDING COLOR. LINES SHOWN DASHED FOR CLARITY.
10. LINE OF BUILDING STRUCTURE BEYOND.
11. STUCCO ACCENT COLOR TO MATCH COMPANY BRANDING "RED".
12. ALUMINUM STOREFRONT WINDOW SYSTEM WITH 1" INSULATED GLAZING. FRAME COLOR TO MATCH COMPANY BRANDING "RED". GLAZING TYPE TO BE DETERMINED.
13. DRIVE-UP WINDOW.
14. ROOF STRUCTURE FOR OPEN VOLUME SPACE BEYOND.
15. HOLLOW METAL DOOR. COLOR TO MATCH BUILDING.
16. ROOF ACCESS LADDER. PAINTED STEEL TO MATCH BUILDING COLOR.
17. RESTAURANT WALK-IN REFRIGERATOR/FREEZER.
18. 2" STUCCO REVEL FOR LED/NEON STRIP LIGHTING.
19. PATIO ROOF STRUCTURE. METAL PANEL FINISH. COLOR TO MATCH COMPANY BRANDING "RED".
20. 2" METAL PANEL REVEL FOR LED/NEON STRIP LIGHTING.
21. GLASS BLOCK WINDOW.
22. COLUMN SUPPORTS FOR COVERED PATIO STRUCTURE. LINES SHOWN DASHED FOR CLARITY.
23. STEEL GATE. COLOR TO MATCH COMPANY BRANDING "RED".
24. OVERHEAD SOFFIT WITH BUILT-IN DOWN LIGHTING FOR DRIVE-UP ILLUMINATION.

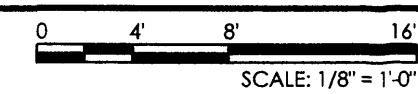
D1 NORTH ELEVATION



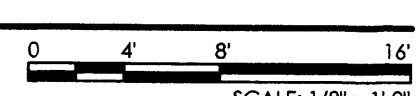
C1 EAST ELEVATION



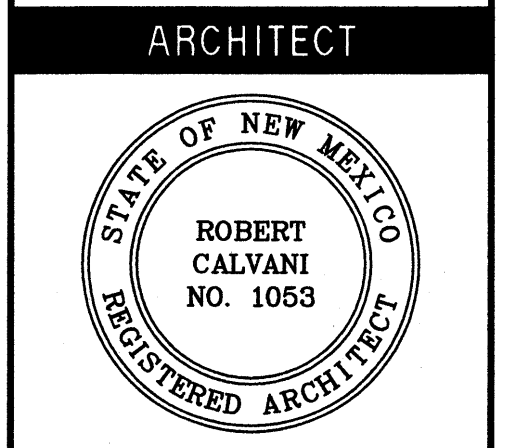
B1 SOUTH ELEVATION



A1 WEST ELEVATION



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W. CENTRAL
&
46TH STREET**

**ALBUQUERQUE
NEW MEXICO**

REVISIONS:

MK	DATE	DESCRIPTION

DRAWN BY: CHECKED BY:

MG LA

PROJECT NUMBER:

A13.04

DATE:

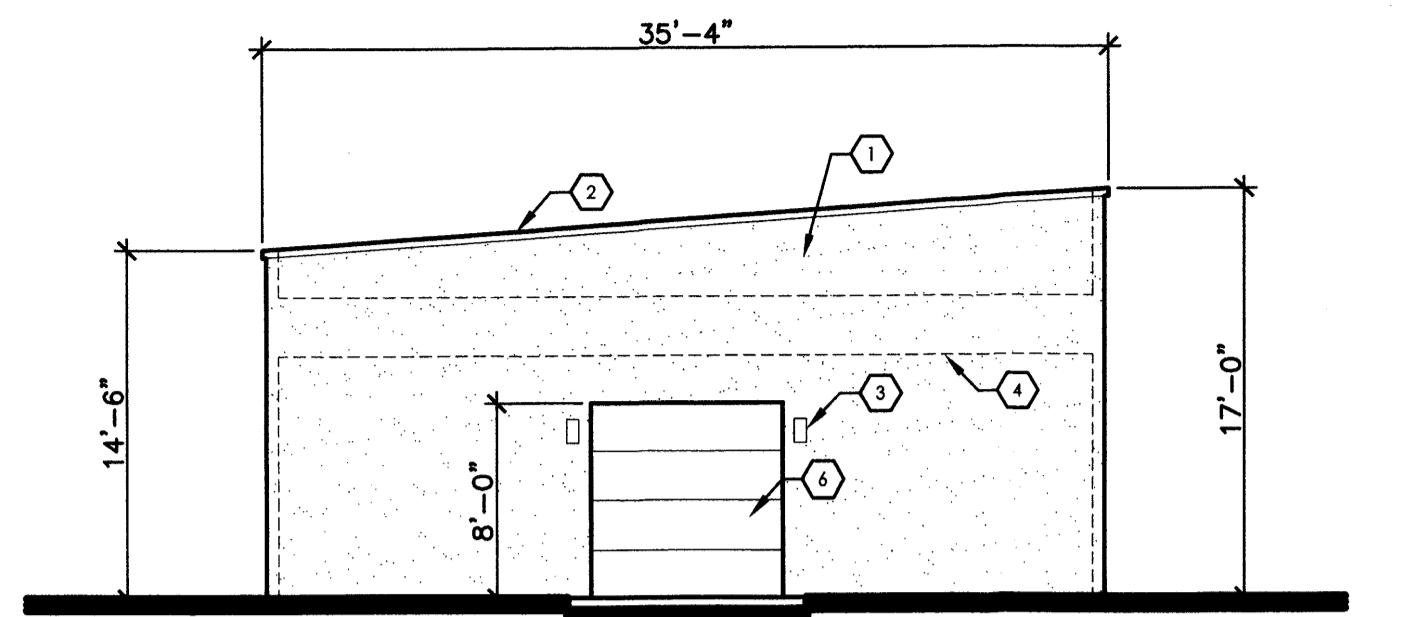
SEPTEMBER 2013

SHEET TITLE:

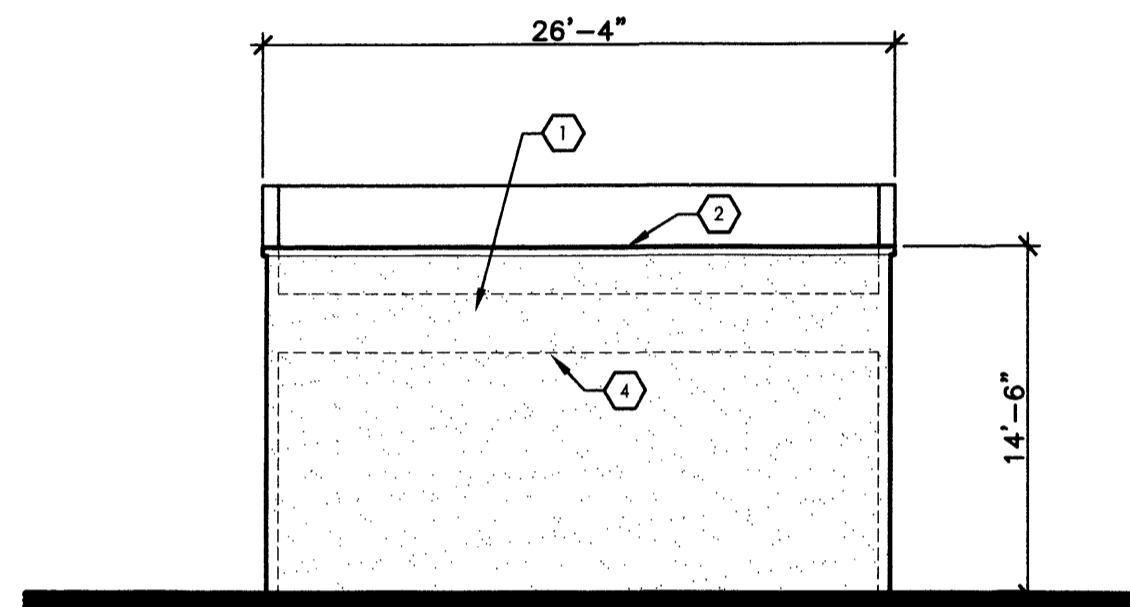
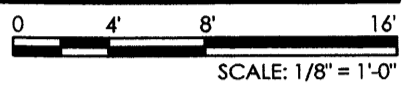
**ARCHITECTURAL
ELEVATIONS**

SHEET NO:

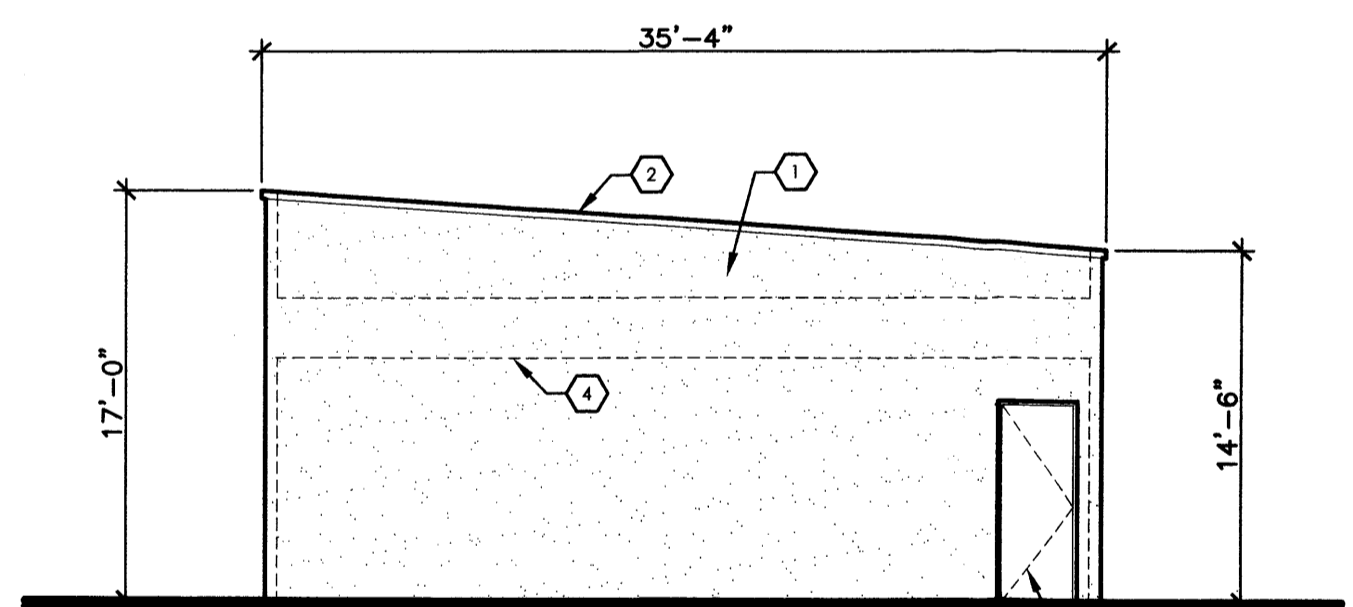
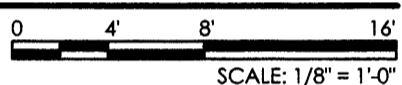
A-201



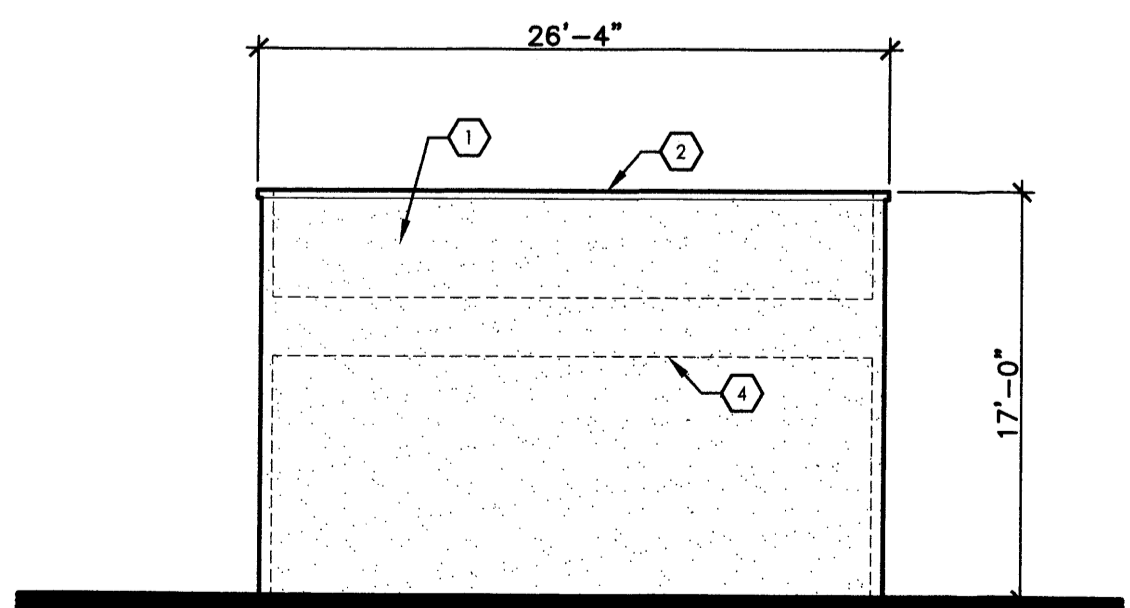
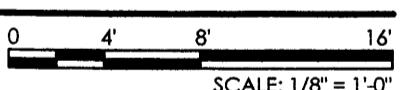
D1 NORTH ELEVATION



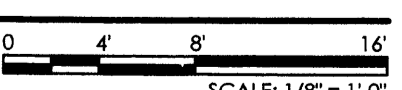
C1 EAST ELEVATION



B1 SOUTH ELEVATION



A1 WEST ELEVATION



GENERAL NOTES

A. ALL DIMENSIONS ARE GIVEN FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.

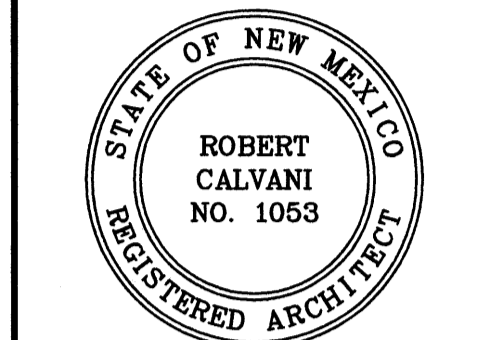
KEYED NOTES

1. E.I.F.S. INSULATION STUCCO SYSTEM. COLOR TO WHITE.
2. PRE-FINISHED BREAK METAL PARAPET CAP. COLOR TO MATCH COMPANY BRANDING "RED".
3. PRE-FINISHED WALL MOUNTED UP/DOWN LIGHT FIXTURE. COLOR TO BE DETERMINED.
4. LINE OF BUILDING STRUCTURE BEYOND.
5. HOLLOW METAL DOOR. COLOR TO MATCH BUILDING.
6. OVERHEAD DOOR. COLOR TO MATCH BUILDING.



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ARCHITECT



CONSULTANT

PROJECT TITLE

**BOB'S BURGERS
W. CENTRAL
&
46TH STREET**

**ALBUQUERQUE
NEW MEXICO**

REVISIONS:

MK	DATE	DESCRIPTION

DRAWN BY: CHECKED BY:

MG LA

PROJECT NUMBER:

A13.04

DATE:

SEPTEMBER 2013

SHEET TITLE:

**ARCHITECTURAL
ELEVATIONS
FOR
WAREHOUSE**

SHEET NO:

A-202