

Zone Atlas Page: **K-12-Z**

Selected Symbols:

- SECTOR PLANS
- Overlay Zone
- 2 Mile Airport Zone
- City Historic Zone
- 1 Mile Buffer Zone
- Wall Overlay Zone
- Photograph Map

AGIS

Map amended through: 1/10/2013

PHASING SCHEDULE

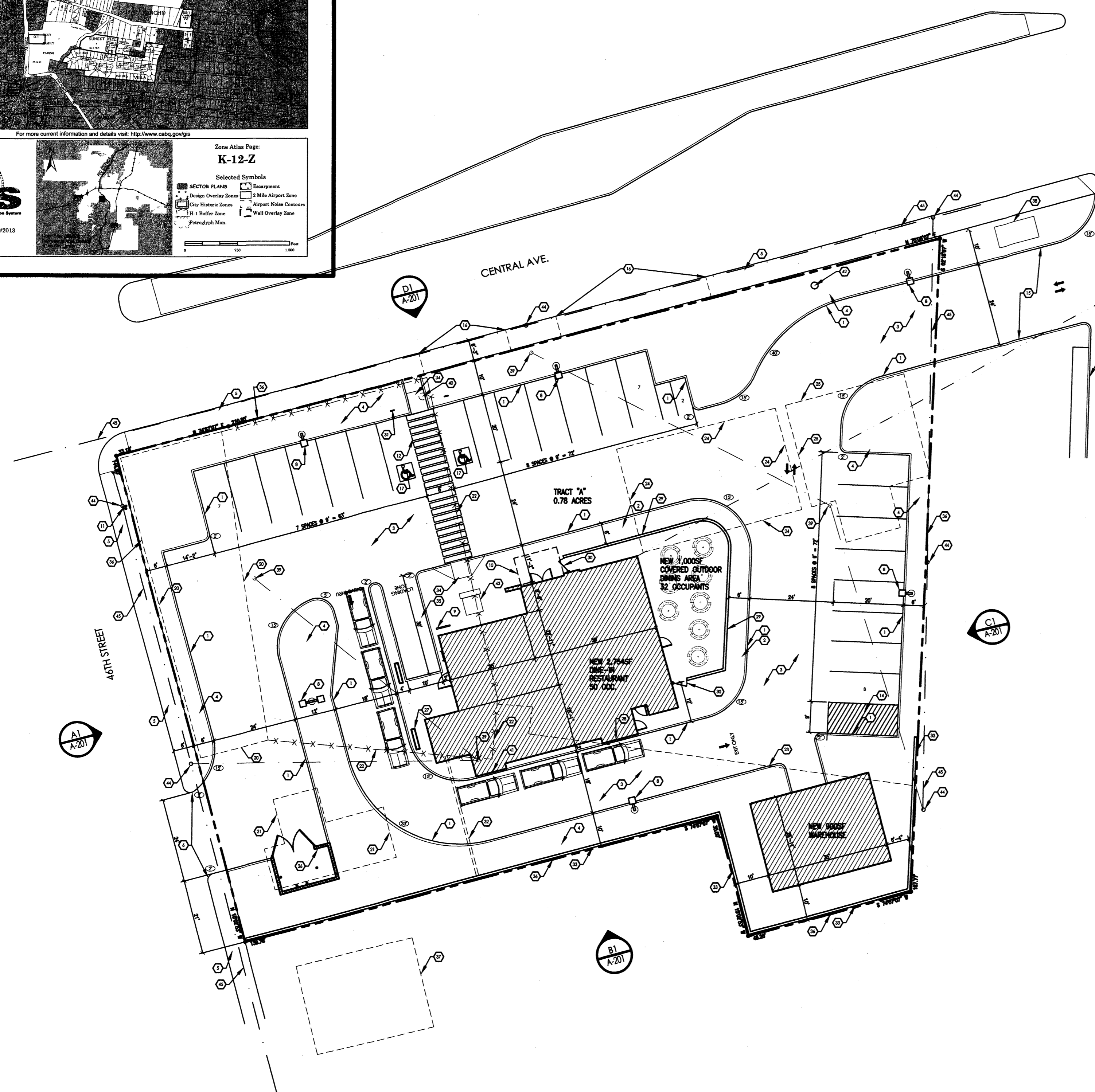
- PHASE 1: CONSTRUCT NEW WAREHOUSE BUILDING
- PHASE 2: DEMOLISH EXISTING WAREHOUSE BUILDING & RESIDENCE
- PHASE 3: CONSTRUCT NEW RESTAURANT FACILITY
- PHASE 4: DEMOLISH EXISTING RESTAURANT AND CANOPY STRUCTURES
- PHASE 5: CONSTRUCT ALL SITE WORK, PARKING AREAS AND DRIVE AISLES.

GENERAL NOTES

- A. PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED
- B. COORDINATE CURB CUTS FOR WATER DRAINAGE WITH CIVIL GRADING & DRAINAGE PLAN.

KEYED NOTES

1. NEW 6" CONCRETE CURB.
2. NEW CONCRETE SIDEWALK.
3. NEW ASPHALT PAVING. SEE GEOTECHNICAL REPORT FOR PAVING SECTION.
4. LANDSCAPE AREA.
5. EXISTING CITY OF ALBUQUERQUE SIDEWALK WITH EXISTING HANDICAP RAMPS TO REMAIN.
6. NEW CURB CUT.
7. EXISTING CURB CUT TO REMAIN AS IS. ACCESS GRANTED TO TRACT "A" BY "PLAT OF TRACT A - 8931982 LANDS OF M.R.G.C.D. MAP NO 39 SITUATE WITHIN PROJECTED SECTION 24, T.10N, R.2E., N.M.P.M. CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, JULY, 1988" WITH FINAL SIGN OFF AUGUST 10TH 1988, BY FRANKLIN E. WILSON, RECORDED IN VOL. C-38, PAGE 195.
8. NEW SIGHT LIGHT. SEE A1/AS-102.
9. BICYCLE RACK. SEE D5/AS-102.
10. LINE OF ENTRY CANOPY ABOVE.
11. EXISTING FIRE HYDRANT.
12. HANDICAP ACCESS AISLE STRIPING. SEE A2/AS-102.
13. EXISTING FIRE HYDRANT LOCATED ON CENTRAL IN FRONT OF NEIGHBORING RESTAURANT APPROXIMATELY 300' FROM PROPOSED NEW CONSTRUCTION.
14. ASPHALT STRIPING FOR "NO PARKING" AREA AND VEHICLE TURN-AROUND.
15. ACCESS EASEMENT GRANTED TO TRACT "A" BY "PLAT OF TRACT A 8931982 LANDS OF M.R.G.C.D. MAP NO 39 SITUATE WITHIN PROJECTED SECTION 24, T.10N, R.2E., N.M.P.M. CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, JULY, 1988" WITH FINAL SIGN OFF AUGUST 10TH 1988, BY FRANKLIN E. WILSON, RECORDED IN VOL. C-38, PAGE 195.
16. EXISTING CURB CUTS TO BE REMOVED AND INFILLED TO BE FLUSH WITH ADJACENT CONCRETE C.O.A. SIDEWALK.
17. NEW PAVEMENT HANDICAP SIGN. SEE C2/AS-102.
18. EXISTING CONCRETE CURB TO REMAIN.
19. EXISTING ASPHALT PAVING.
20. EXISTING WAREHOUSE STRUCTURE TO BE DEMOLISHED COMPLETELY. REMOVE ANY AND ALL INFRASTRUCTURE INCLUDING UTILITIES, MECHANICAL, ELECTRICAL, PLUMBING, AND FOUNDATIONS.
21. EXISTING HOUSE STRUCTURE TO BE DEMOLISHED COMPLETELY. REMOVE ANY AND ALL INFRASTRUCTURE INCLUDING UTILITIES, MECHANICAL, ELECTRICAL, PLUMBING, AND FOUNDATIONS.
22. EXISTING FENCE TO BE DEMOLISHED COMPLETELY INCLUDING ALL FOUNDATIONS.
23. LINE OF EXISTING ASPHALT PAVING. ALL PAVING TO BE DEMOLISHED AND REPLACED NEW. REFER TO PHASING PLAN FOR DETAILS.
24. EXISTING CANOPY STRUCTURE TO BE DEMOLISHED COMPLETELY. REMOVE ANY AND ALL INFRASTRUCTURE INCLUDING, ELECTRICAL AND FOUNDATIONS.
25. EXISTING RESTAURANT TO BE DEMOLISHED COMPLETELY. REMOVE ANY AND ALL INFRASTRUCTURE INCLUDING UTILITIES, MECHANICAL, ELECTRICAL, PLUMBING, AND FOUNDATIONS. SALVAGE ALL EQUIPMENT TO OWNER. REFER TO PHASING PLAN FOR DETAILS.
26. NEW 12' WIDE x 10' DEEP INSIDE CLEAR BY 6' HIGH CMU DUMPSTER ENCLOSURE WITH A 4' WIDE x 10' DEEP INSIDE CLEAR RECYCLING AREA. GATES TO BE PAINTED TUBE STEEL WITH METAL PANEL INSERTS. SEE B4/AS-102.
27. NEW DRIVE-UP ORDER MENU.
28. DRIVE-UP FOOD PICK-UP WINDOW.
29. NEW 4' HIGH PATIO/YARD WALL.
30. NEW CUSTOM GATE TO OUTDOOR DINING.
31. NEW POLE MOUNTED ACCESSIBLE PARKING SIGNAGE. SEE C1/AS-102.
32. EXISTING WALL TO BE DEMOLISHED COMPLETELY INCLUDING ALL FOUNDATIONS.
33. NEW 6' HIGH CMU SCREEN WALL. SEE D4/AS-102.
34. NEW RAMP FOR HC ACCESS FROM CITY SIDEWALK. SEE C3/AS-102.
35. NEW TRUCK LOADING/UNLOADING ZONE.
36. EXISTING PROPERTY LINES.
37. EXISTING RESIDENCE TO BE DEMOLISHED COMPLETELY.
38. EXISTING PUBLIC BUS STOP AND EXISTING COVERED SHELTER.
39. LIGHT POLE AND OVERHEAD LINES TO BE REMOVED COMPLETELY.
40. EXISTING SIGN TO BE REMOVED COMPLETELY.
41. NEW DRIVE-UP PAY WINDOW.
42. EXISTING RESTAURANT SIGN TO REMAIN.
43. LANDSCAPE PLANTER AND BENCH. REFER TO LS-101.
44. EXISTING POWER POLE TO REMAIN.
45. EXISTING OVERHEAD POWER LINES TO REMAIN.



A2 CONCEPTUAL SITE PLAN

SCALE: 1" = 20'

TRUE NORTH

AFD PLANS CHECKING OFFICE
824-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
DATE: 06/12/13
SIGNATURE & DATE

DESIGN CRITERIA

- MAXIMUM BUILDING HEIGHT: = 26' BUILDING HEIGHT
- MINIMUM BUILDING SETBACKS:
- NORTH = 5' PER COA 14-16-2-15(E)
 - EAST = 5' PER COA 14-16-2-15(E)
 - WEST = 5' PER COA 14-16-2-15(E)
 - SOUTH = 5' PER COA 14-16-2-15(E)
- SIGNAGE: ALL SIGNAGE SHALL COMPLY WITH THE C-2 COMMERCIAL ZONE 14-16-2-17 C-2 AND THE WEST ROUTE 66 SECTOR DEVELOPMENT PLAN. THE CENTRAL AVENUE NEON SIGN DESIGN OVERLAY ZONE HAS BEEN CONSIDERED WITH THE PLACEMENT OF NEON/LED ACCENTS AND BUILDING SIGNAGE.
- LANDSCAPE BUFFERS:
- NORTH = 10' PER COA 14-16-3-10(E)
 - EAST = 6' PER COA 14-16-3-10(E)
 - WEST = 6' PER COA 14-16-3-10(E)
 - SOUTH = 10' PER COA 14-16-3-10(E)

PARKING CALCULATIONS

PARKING REQUIRED:

PER C.O.A. ZONING 14-16-3-1(A)26 RESTAURANT: 1 SPACE/4 SEATS 82 OCCUPANTS MAX = 21 SPACES

TOTAL PARKING REQUIRED: = 21 SPACES

PER C.O.A. ZONING 14-16-3-1(C)1 MOTORCYCLE PARKING = 1 SPACE

PER C.O.A. ZONING 14-16-3-1(F)9a HANDICAP PARKING = 1 (1 VAN)

PER C.O.A. ZONING 14-16-3-1(B)3 BICYCLE SPACES 1 PER 20 VEHICLES = 2 SPACES

PARKING REDUCTIONS:

PER C.O.A. 14-16-3-1(E)6a TRANSIT REDUCTIONS 10% REDUCTION IF PROPERTY IS LOCATED WITHIN 300' OF TRANSIT ROUTE.

TOTAL PARKING REQUIRED AFTER TRANSIT REDUCTIONS = 19 SPACES

PARKING PROVIDED = 24 SPACES

MOTORCYCLE PARKING PROVIDED = 2 SPACES

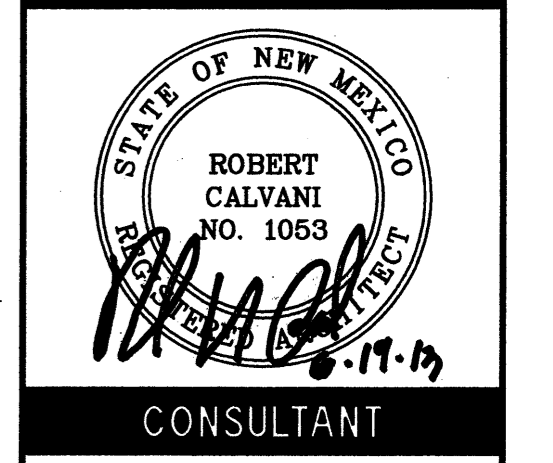
HANDICAP PARKING PROVIDED INCLUDING = 2 SPACES

BICYCLE SPACES PROVIDED = 7 SPACES

RADIUS INFO:

TURNING RADIUS @ EACH CURB LOCATION

PROJECT #: 1008131
DATE: 7-17-14
APP #: 13-70599(KSB)



PROJECT TITLE

**BOB'S BURGERS
W. CENTRAL
&
46TH STREET**

ALBUQUERQUE
NEW MEXICO

REVISIONS:

MK	DATE	DESCRIPTION

DRAWN BY: MG CHECKED BY: LA

PROJECT NUMBER: A13.04

DATE: JUNE 2013

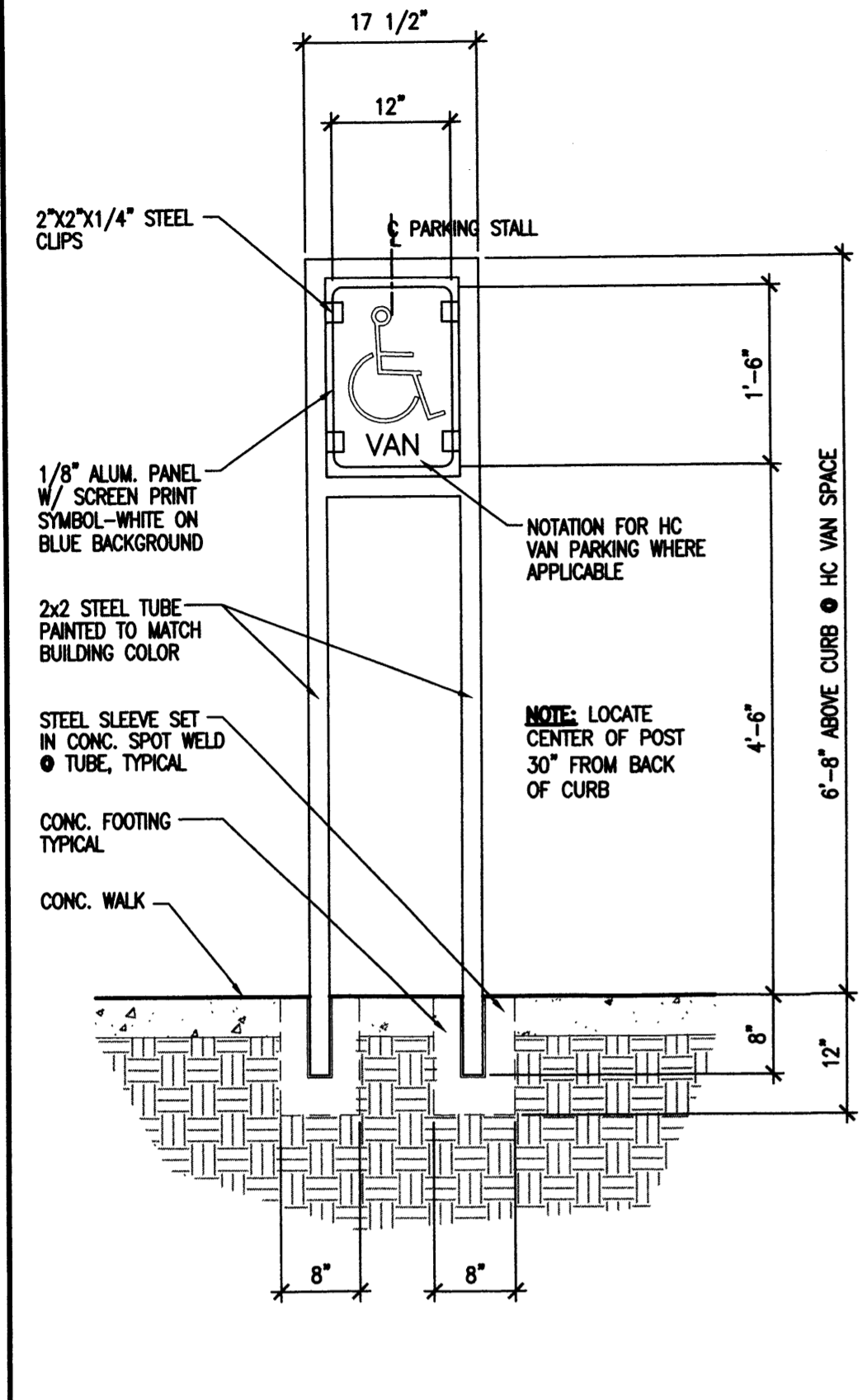
SHEET TITLE:

ARCHITECTURAL
SITE PLAN

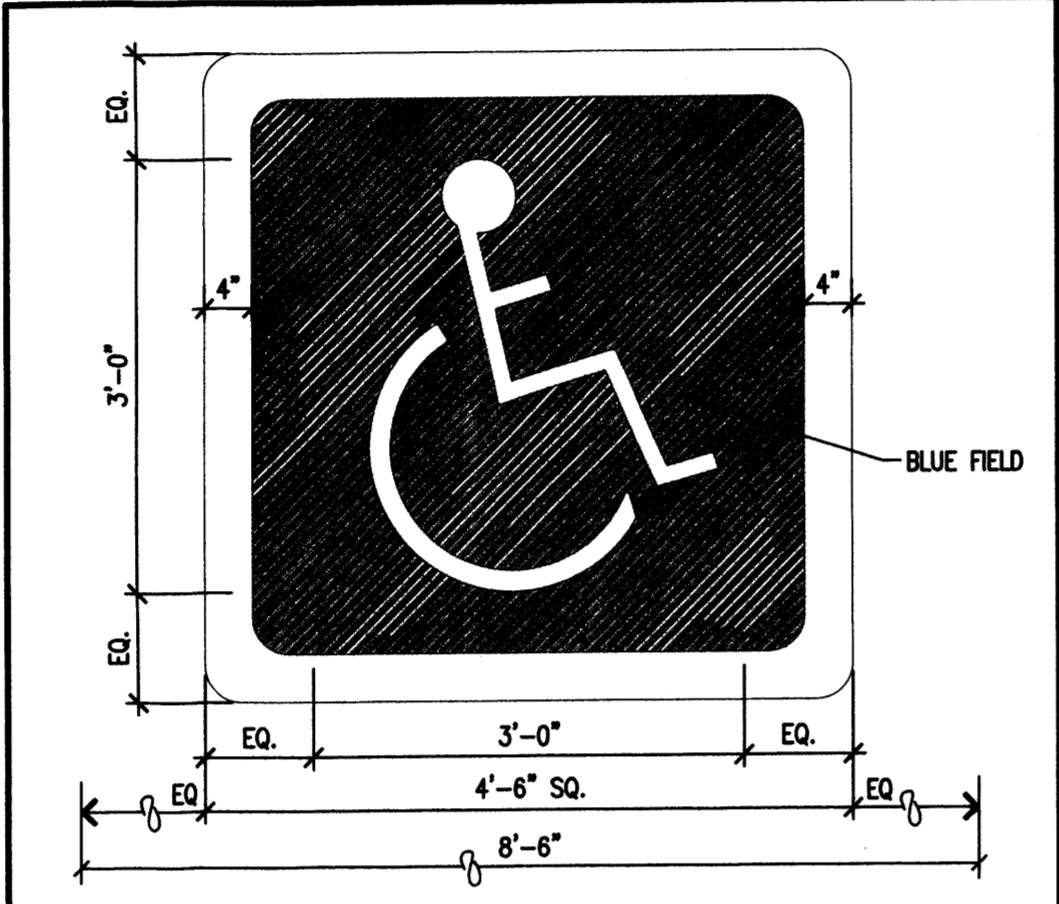
SHEET NO:
AS-101

APPLICATION NUMBER:	PROJECT NUMBER:
CITY APPROVALS:	
DRG CHAIRPERSON, PLANNING DEPARTMENT	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE DEPARTMENT	DATE

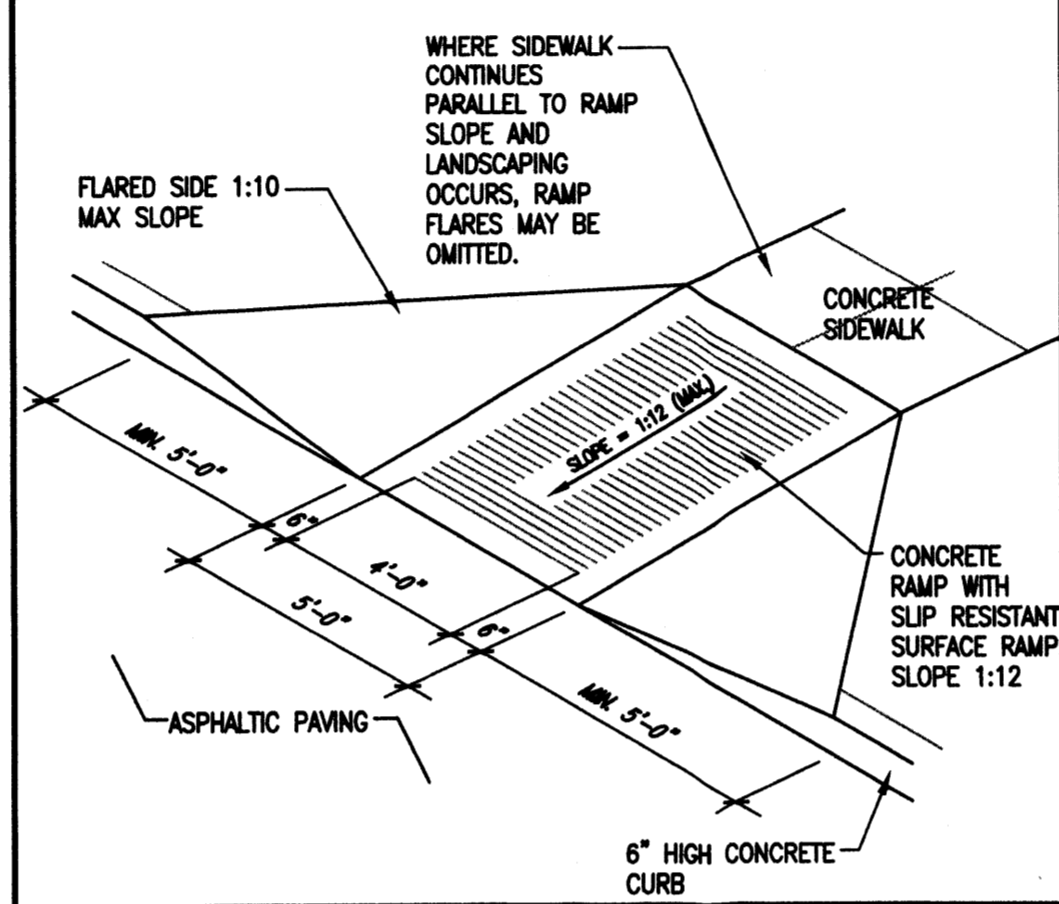
6-21-2013



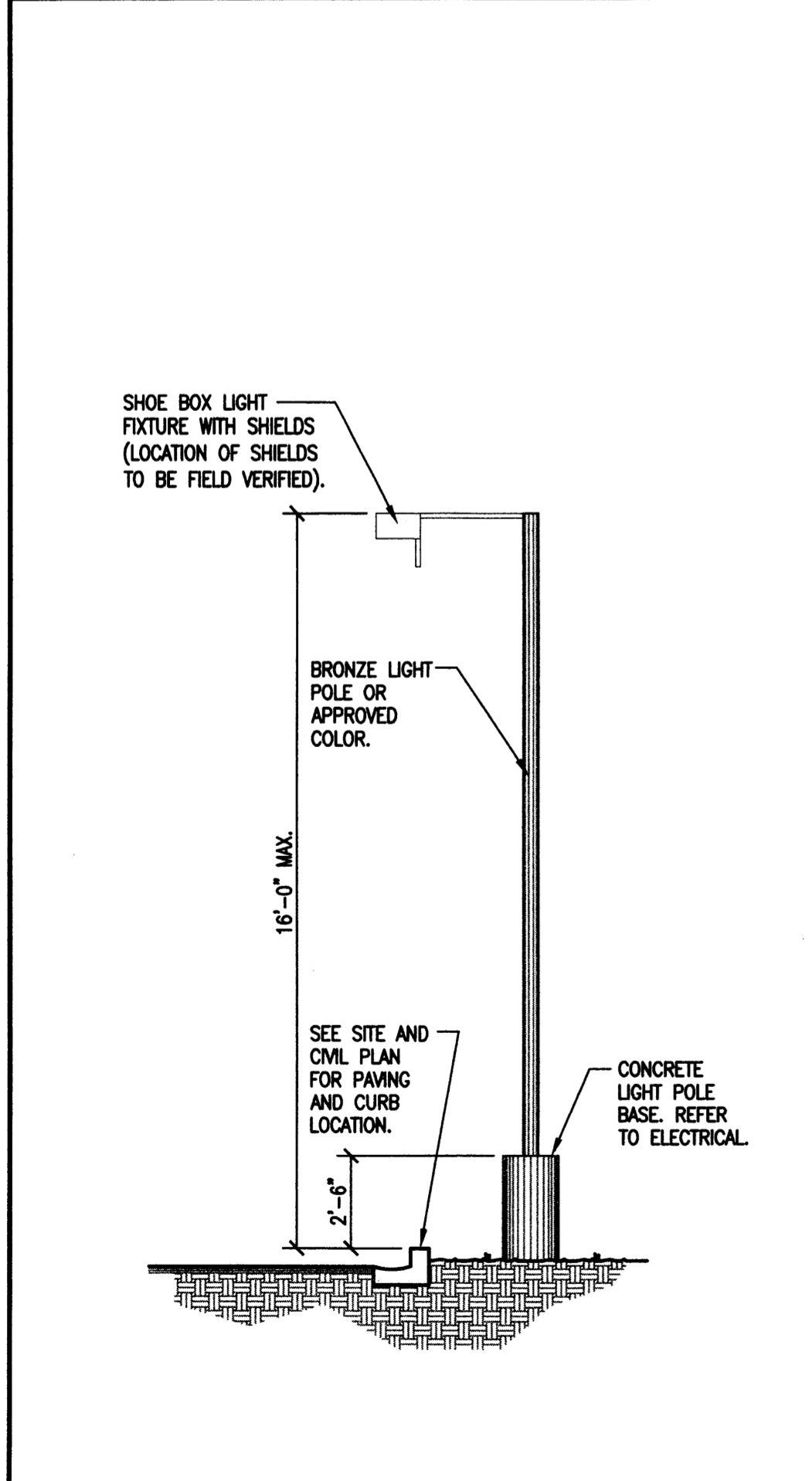
C1 HC PARKING SIGNAGE ELEVATION
3/4"=1'-0"



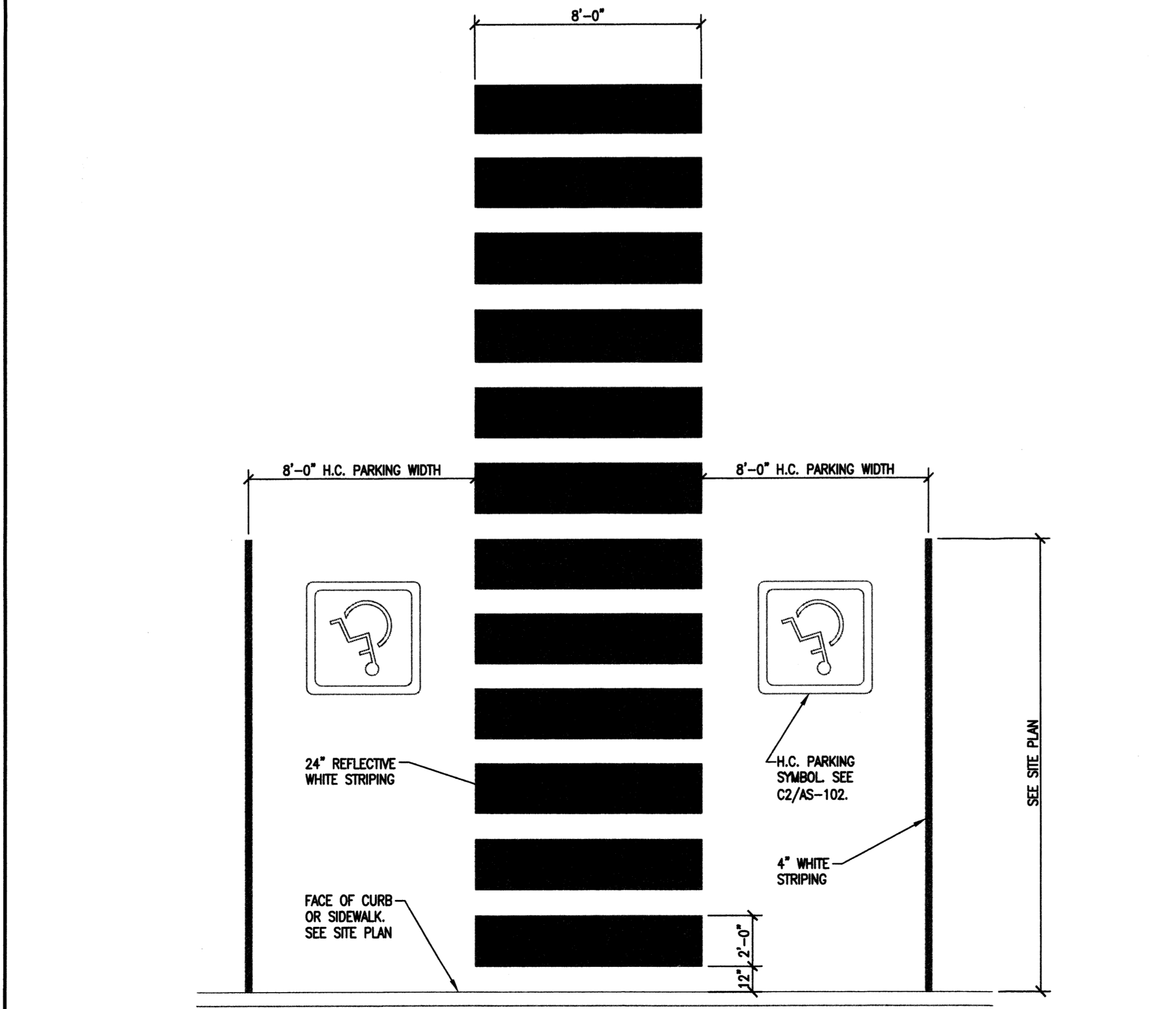
C2 HC PAVEMENT MARKING PLAN
3/4"=1'-0"



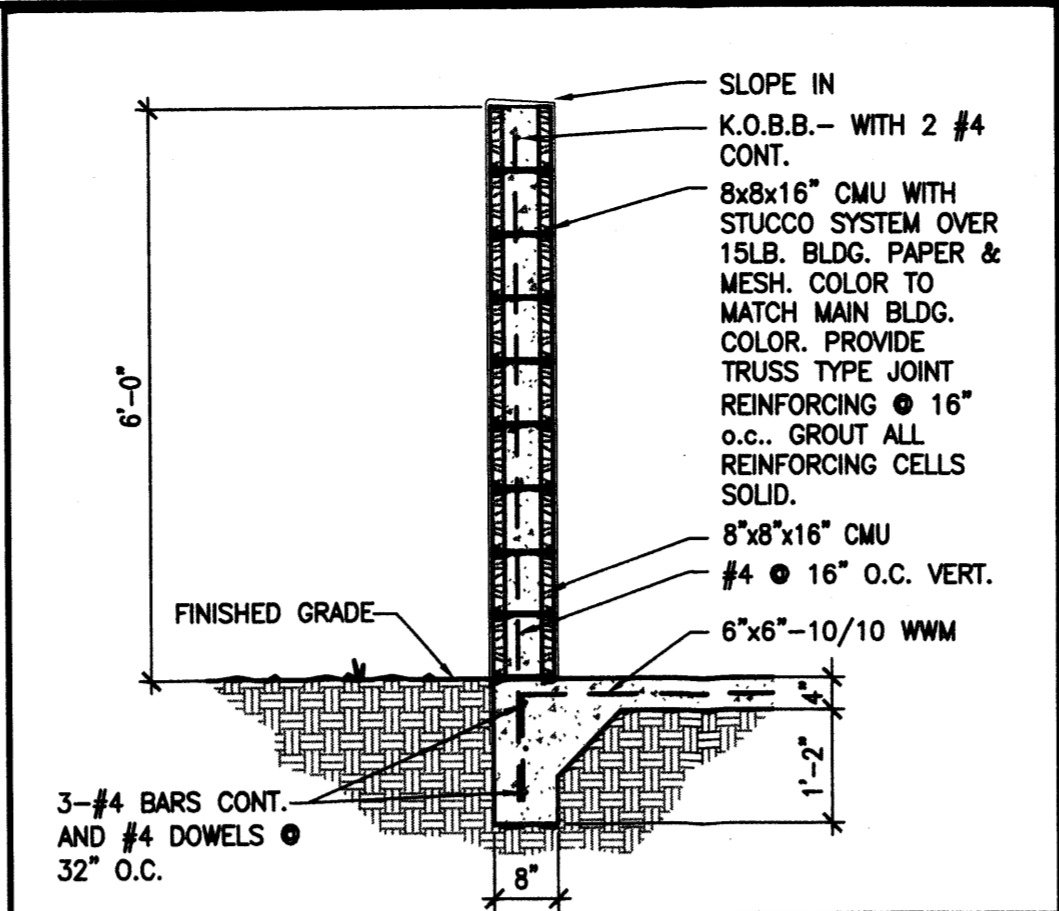
C3 HANDICAP RAMP ISOMETRIC
N.T.S.



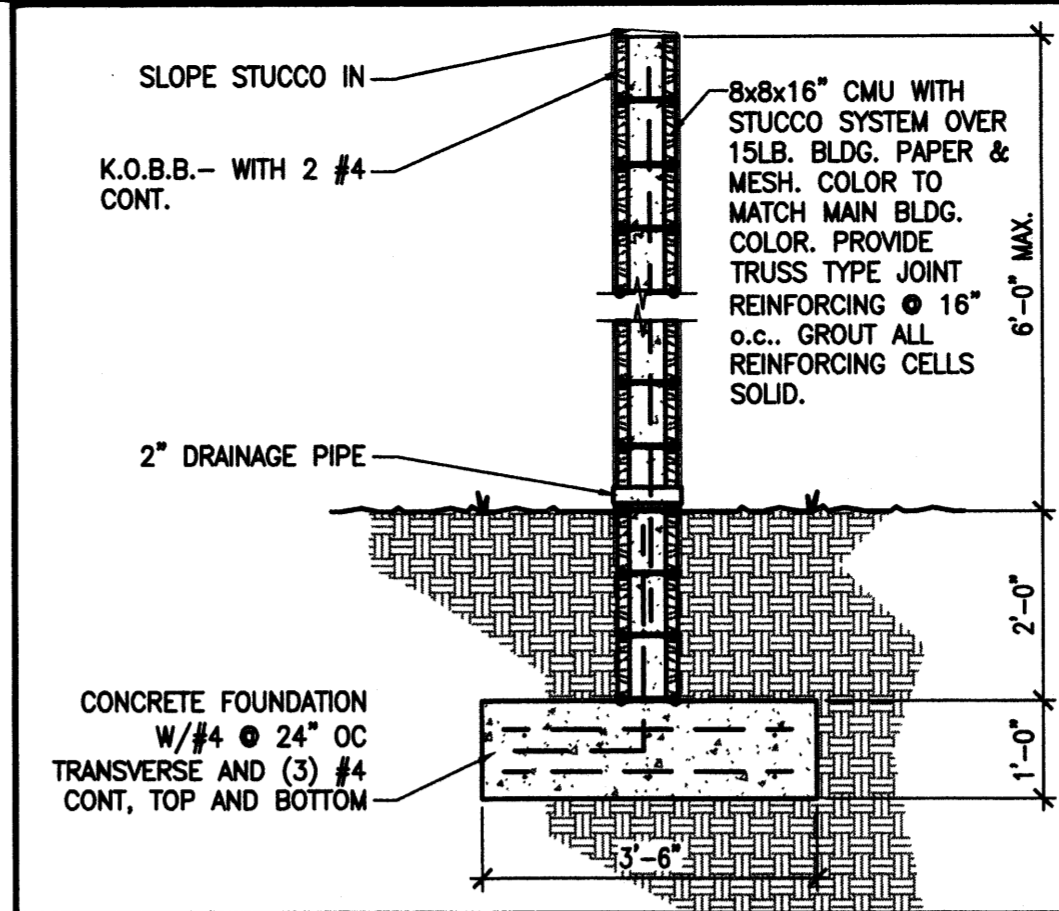
A1 HANDICAP RAMP ISOMETRIC
1/4"=1'-0"



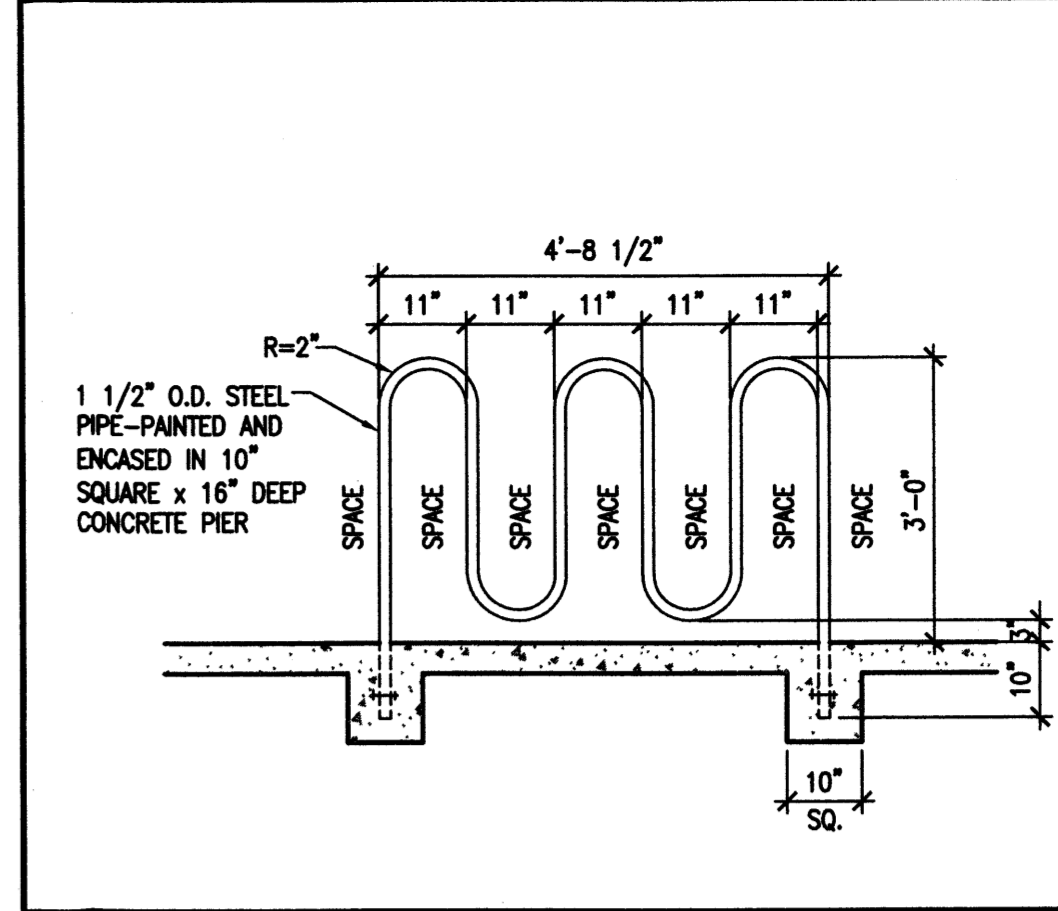
A2 HC PARKING STRIPING DETAIL PLAN
1/4"=1'-0"



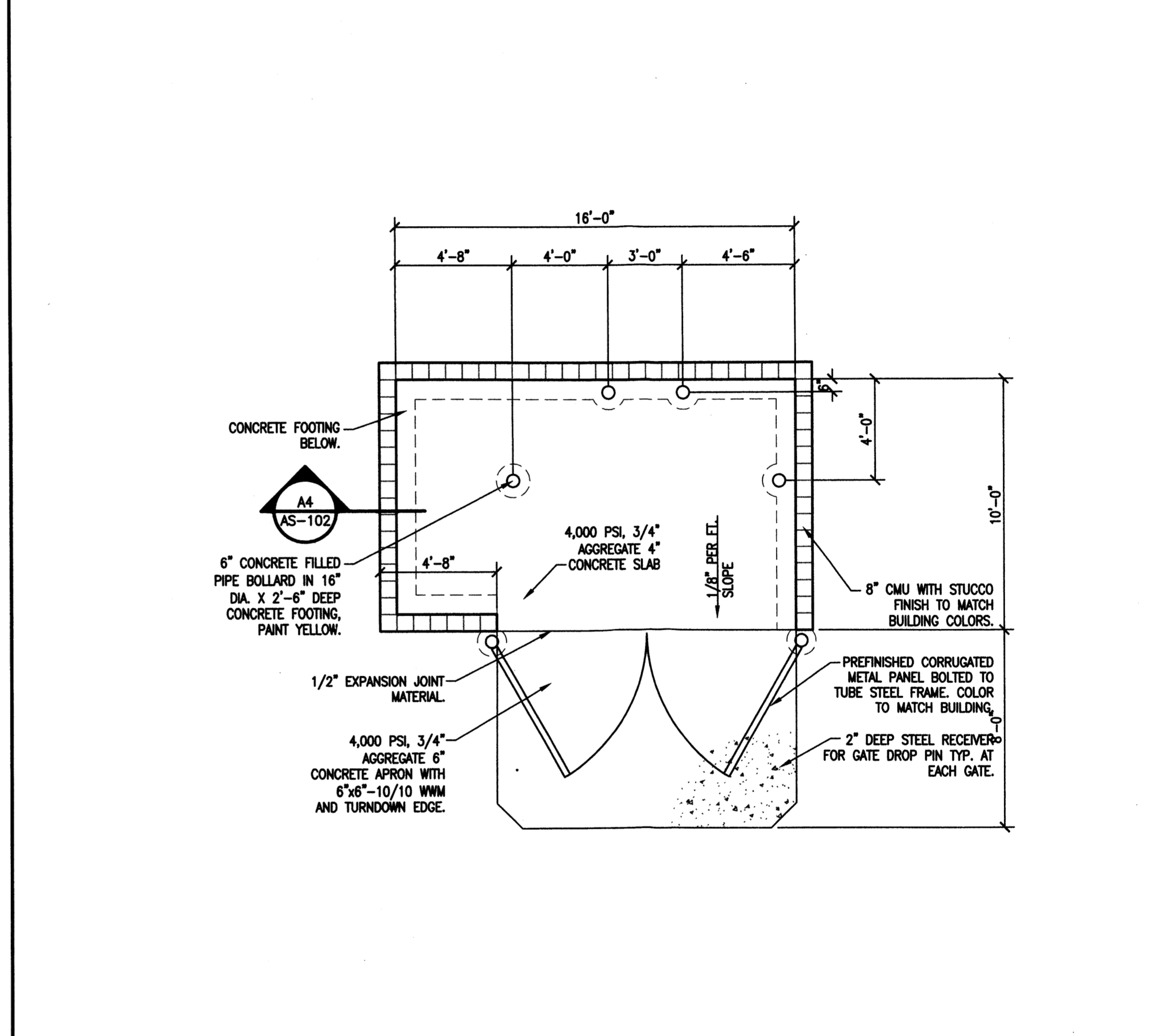
D3 REFUSE ENCLOSURE SECTION
1/2"=1'-0"



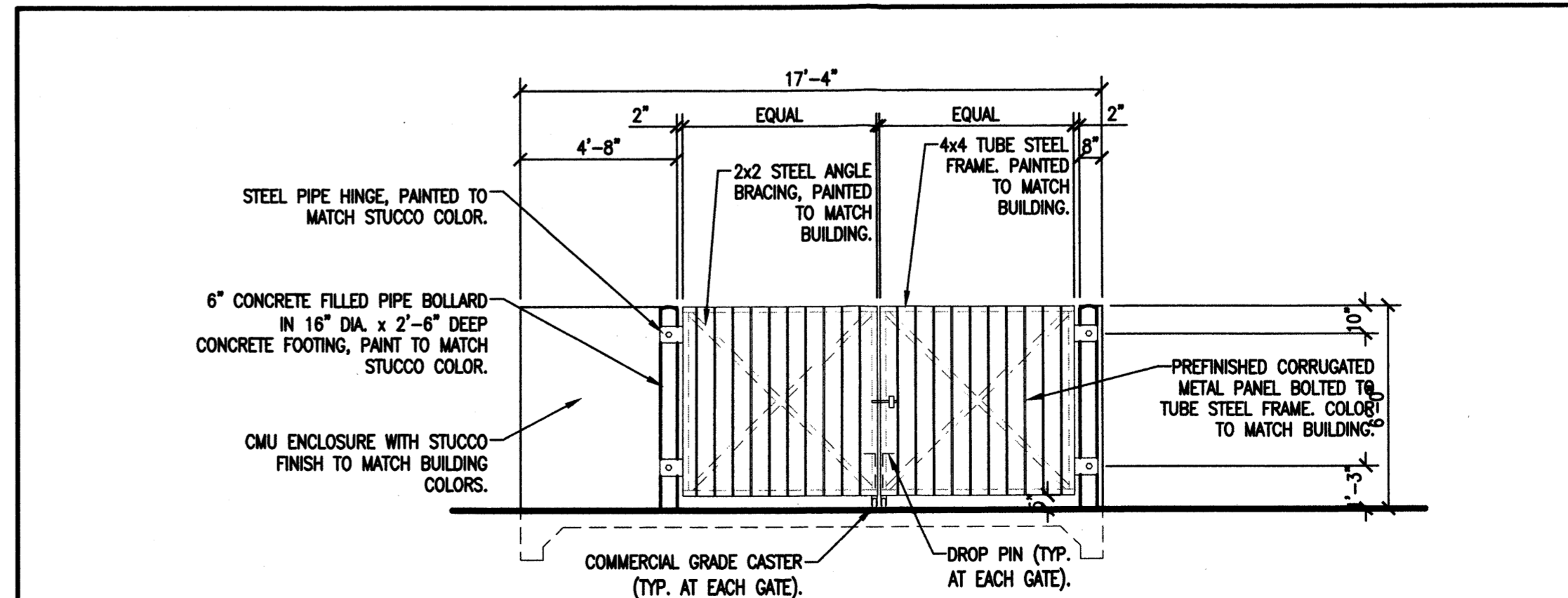
D4 SITE WALL SECTION
1/2"=1'-0"



D5 BIKE RACK ELEVATION
1/2"=1'-0"



B5 REFUSE ENCLOSURE W/ RECYCLE AREA PLAN
1/4"=1'-0"



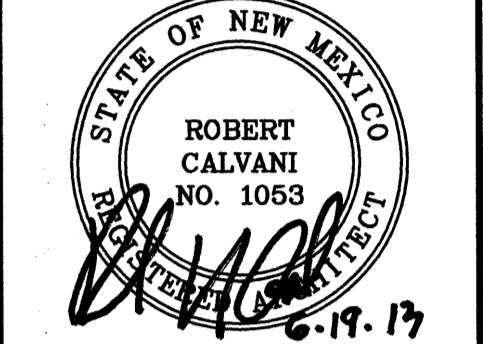
A5 REFUSE ENCLOSURE W/ RECYCLE AREA ELEVATION
1/4"=1'-0"



ARCHITECTS - PLANNERS - AIA

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ARCHITECT



CONSULTANT

PROJECT TITLE

**BOB'S BURGERS
W. CENTRAL
&
46TH STREET**

**ALBUQUERQUE
NEW MEXICO**

REVISIONS:

NO.	DATE	DESCRIPTION

MK DATE DESCRIPTION

DRAWN BY: CHECKED BY:

MG LA

PROJECT NUMBER:

A13.04

DATE:

JUNE 2013

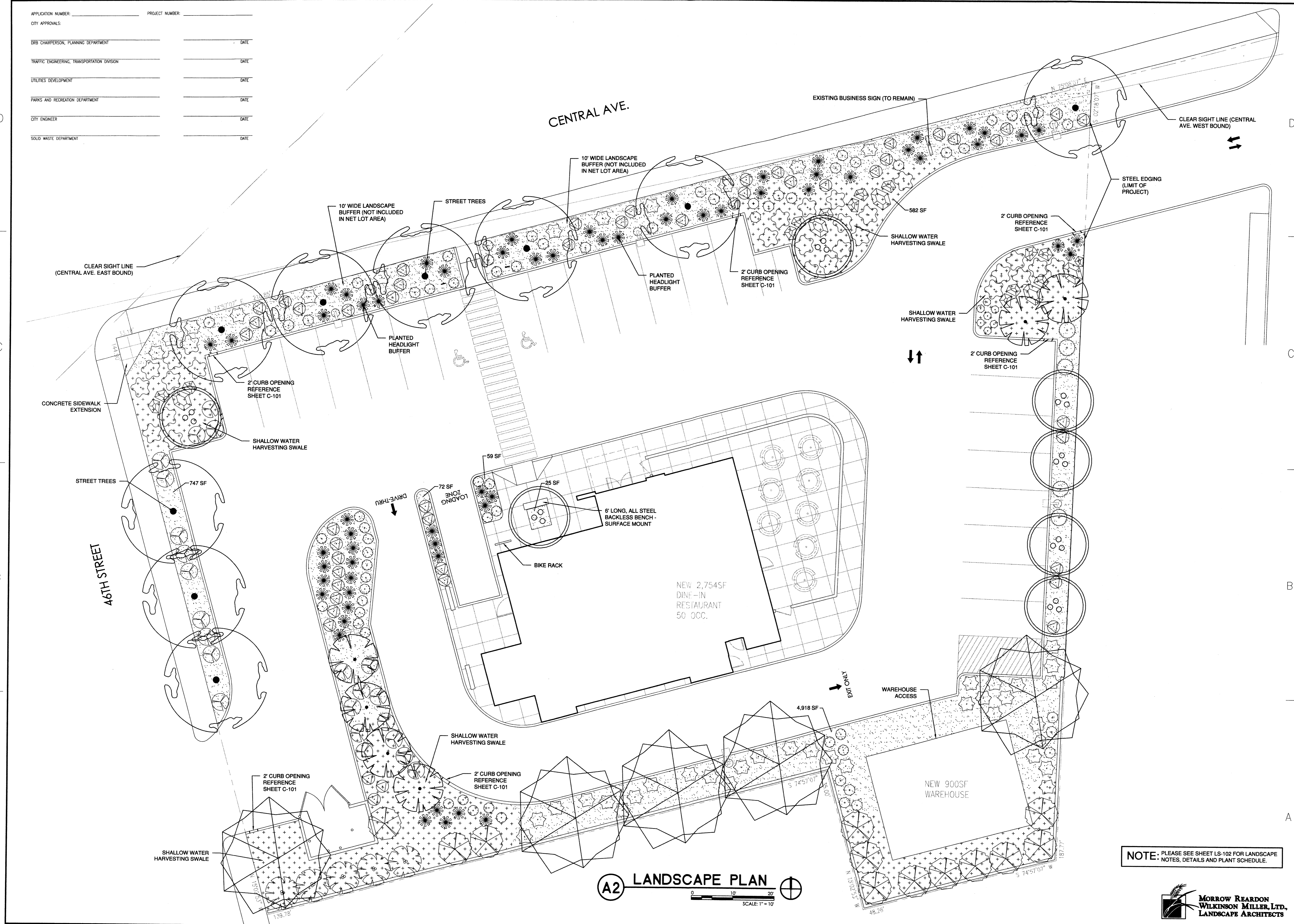
SHEET TITLE:

**SITE PLAN
FOR
BUILDING PERMIT
DETAILS**

SHEET NO.

AS-102

APPLICATION NUMBER: _____ PROJECT NUMBER: _____
 CITY APPROVALS:
 DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____
 TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____
 UTILITIES DEVELOPMENT _____ DATE _____
 PARKS AND RECREATION DEPARTMENT _____ DATE _____
 CITY ENGINEER _____ DATE _____
 SOLID WASTE DEPARTMENT _____ DATE _____



A2 LANDSCAPE PLAN
 SCALE: 1" = 10'

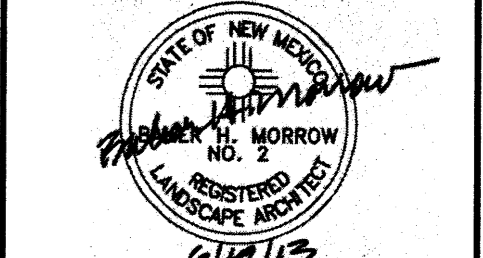
NOTE: PLEASE SEE SHEET LS-102 FOR LANDSCAPE NOTES, DETAILS AND PLANT SCHEDULE.



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 PROJECT TITLE

**BOB'S BURGERS
 W. CENTRAL
 &
 46TH STREET**

ALBUQUERQUE
 NEW MEXICO

REVISIONS:

MK	DATE	DESCRIPTION

DRAWN BY: _____ CHECKED BY: _____

AA BHM

PROJECT NUMBER:
 A13.04

DATE:
 JUNE 2013

SHEET TITLE:
 LANDSCAPE PLAN

LANDSCAPE PLAN

SHEET NO:

LS-101



APPLICATION NUMBER: _____ PROJECT NUMBER: _____
 CITY APPROVALS: _____ DATE: _____
 DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE: _____
 TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE: _____
 UTILITIES DEVELOPMENT _____ DATE: _____
 PARKS AND RECREATION DEPARTMENT _____ DATE: _____
 CITY ENGINEER _____ DATE: _____
 SOLID WASTE DEPARTMENT _____ DATE: _____

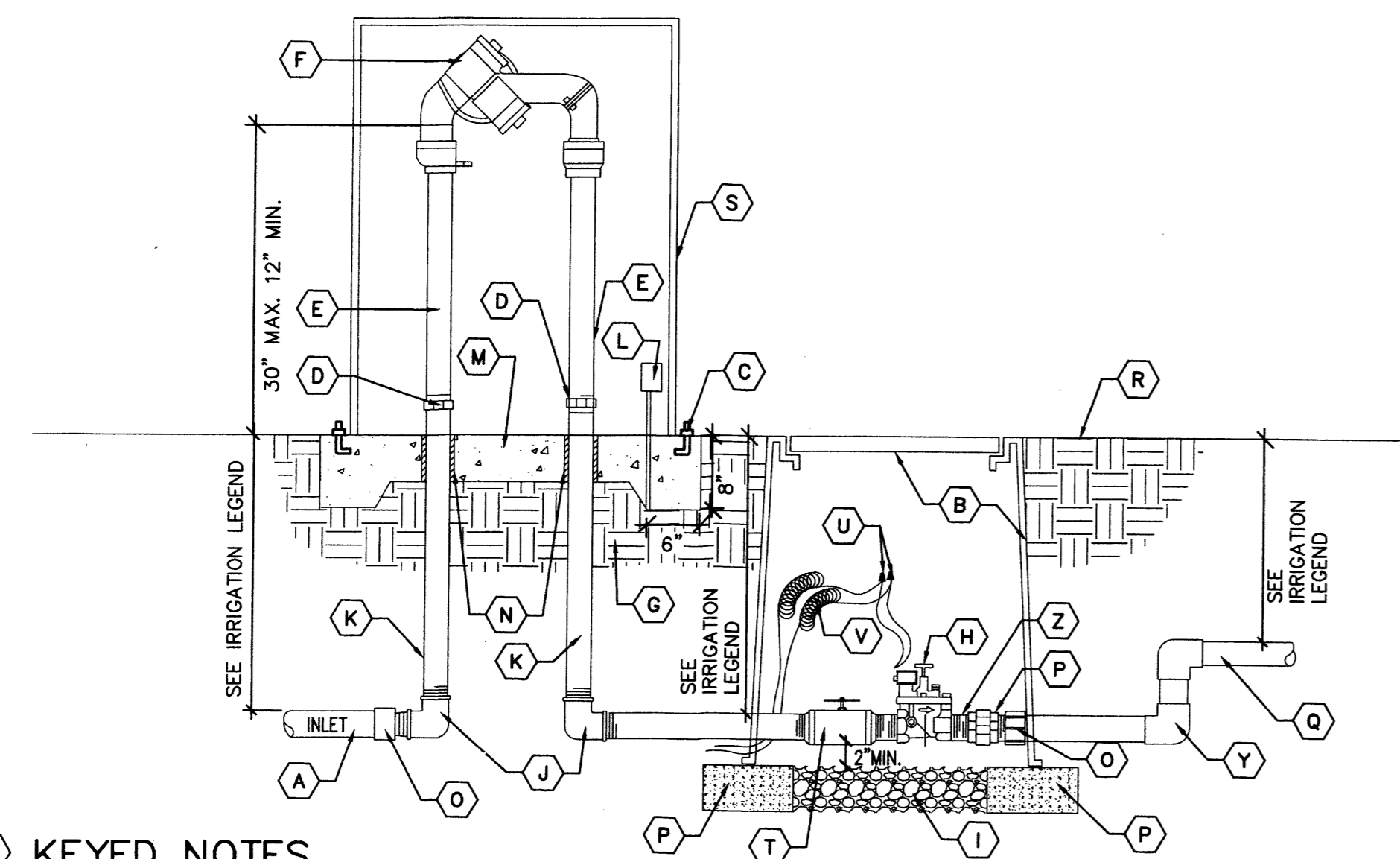
LANDSCAPE AREA	
NET LOT AREA:	
TOTAL LOT AREA	33,960 SF
LESS TOTAL BUILDING AREA	3,654 SF
LESS ROW LANDSCAPING	2,255 SF
NET LOT AREA	28,051 SF
LANDSCAPE AREA REQUIREMENT: (15% OF NET LOT AREA)	4,208 SF
TOTAL LANDSCAPE AREA PROVIDED: (23% OF NET LOT AREA)	6,403 SF

LEGEND	
	BOULDER. SEE NOTE #8.
	SMALL GRAVEL MULCH. SEE NOTE #7.
	LARGE GRAVEL MULCH. SEE NOTE #10.

- ### LANDSCAPE NOTES
- THIS PLAN IS IN COMPLIANCE WITH THE CITY OF ALBUQUERQUE REQUIREMENTS AS FOLLOWS:
 - LANDSCAPE ORDINANCE
 - WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE
 - POLLEN ORDINANCE
 - STREET TREE ORDINANCE
 - THIS PLAN HAS NO TURF OR HIGH WATER-USE LANDSCAPING (0%).
 - AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED FOR ALL PLANT MATERIAL. TREES AND SHRUBS SHALL BE IRRIGATED WITH A BUBBLER SYSTEM. TWO .5 GPM BUBBLERS PER TREE AND ONE 0.25 GPM BUBBLER PER SHRUB WILL BE PROVIDED. A BACKFLOW PREVENTER WILL BE PROVIDED TO PROTECT THE DOMESTIC WATER LINE FROM CROSS-CONTAMINATION PER DETAIL A1, THIS SHEET.
 - THE OWNER WILL ASSUME RESPONSIBILITY FOR MAINTENANCE OF THE LANDSCAPE.
 - TREES AND SHRUBS SHALL BE PLANTED PER DETAILS A3 AND A5, THIS SHEET
 - SMALL GRAVEL MULCH SHALL BE A 3" DEPTH OF 3/8"-5/8" WARM TONE CRUSHED GRAVEL MULCH ('CANYON GOLD' OR EQUAL) WITH FILTER FABRIC UNDER AND SHALL BE INSTALLED THROUGHOUT PLANTING BEDS, EXCEPT WHERE MULCH IS NOTED LARGE GRAVEL MULCH.
 - BOULDERS SHALL BE 12 C.F. TO 18 C.F. MOSS ROCK BURIED 1/4 TO 1/3 OF MASS.
 - SEE THE UTILITY PLAN FOR LOCATIONS OF ALL EXISTING AND PROPOSED UTILITIES.
 - LARGE GRAVEL MULCH SHALL BE A 4" DEPTH OF 2"-4" WARM TONE CRUSHED GRAVEL MULCH ('CANYON GOLD' OR EQUAL) WITH FILTER FABRIC UNDER AND SHALL BE INSTALLED AS SHOWN ON THE PLAN.
 - SEE SHEET SHEET C-101 FOR TOPOGRAPHIC INFORMATION AND CONCEPTUAL GRADING.
 - SEE SHEET C-101 FOR EXISTING AND PROPOSED UTILITY INFORMATION.

PROPOSED PLANT SCHEDULE

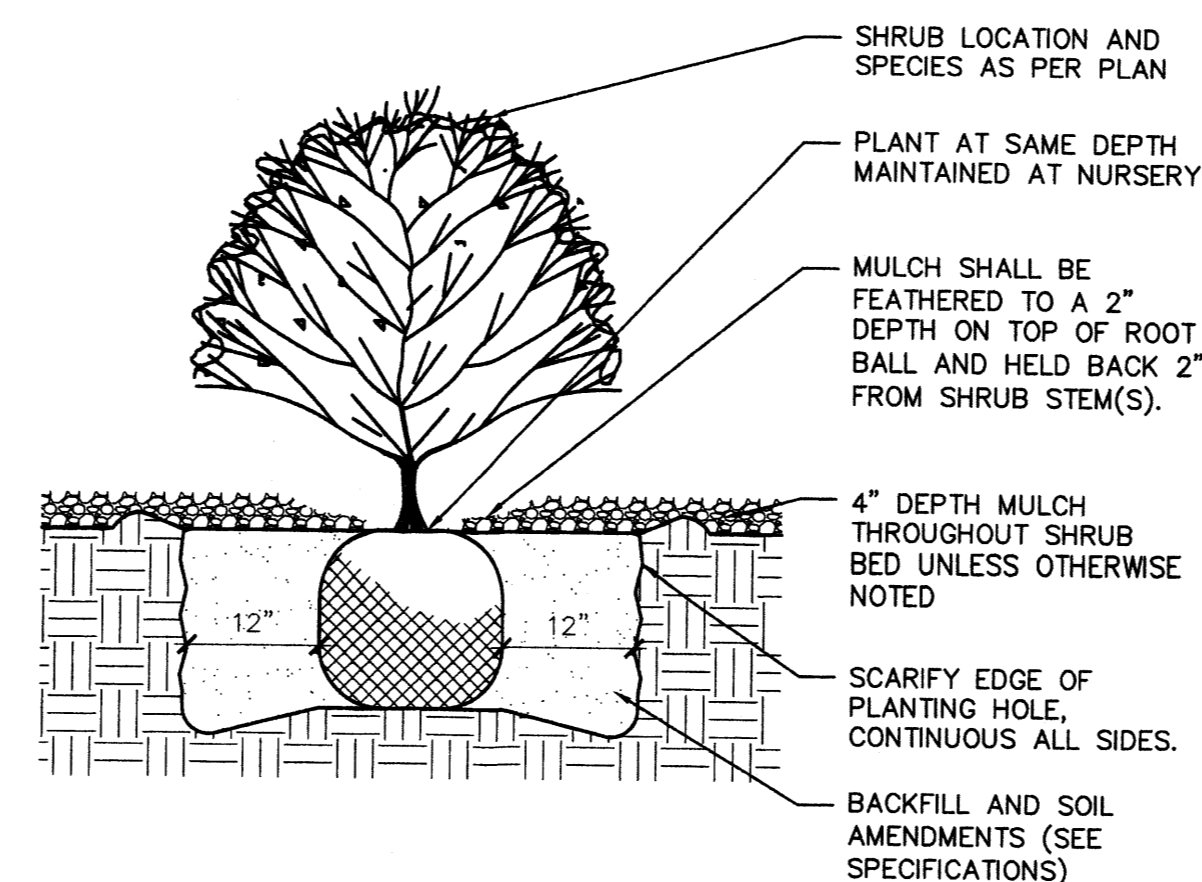
SYMBOL	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE		CONDITION	WATER USE
				INSTALLED	MATURE		
TREES							
	Alghan Pine	<i>Pinus eldarica</i>	5	Min. 6' ht.	40' ht. & 25' spd.	B & B	L
	Desert Willow	<i>Chilopsis linearis</i>	7	5'-7' ht.	15' ht. & 15' spd.	B & B Multi-trunk	L
	Honey Locust	<i>Gleditsia triacanthos inermis 'Imperial'</i>	9	2" cal. 12-14" ht.	30' ht. & 25' spd.	B & B	M
	Mexican Elder	<i>Sambucus mexicana</i>	6	Min. 4' ht.	15' ht. & 12' spd.	#15	M
SHRUBS/ORNAMENTAL GRASSES							
	Apache Plume	<i>Fallugia paradoxa</i>	5	Min. 18" ht.	4' ht. & spd.	1-gal	L
	Bearberry Cotoneaster	<i>Cotoneaster dammeri</i>	43	Min. 18" spd.	4' ht. & spd.	1-gal	L
	Coral Flowered Yucca	<i>Hesperaloe parviflora</i>	61	Min. 12" ht.	3' ht. & spd.	1-gal	L
	Creeping Sand Cherry	<i>Prunus besseyi 'Pawnee Buttes'</i>	23	Min. 18" spd.	1.5' ht. & 4' spd.	1-gal	L
	Crimson Pygmy Barberry	<i>Berberis thunbergii 'Crimson Pygmy'</i>	42	Min. 8" ht.	2.5' ht. & spd.	1-gal	M
	Dwarf Rabbitbrush	<i>Chrysothamnus nauseosus nauseosus</i>	34	Min. 8" ht.	2' ht. & 2.5' spd.	1-gal	L
	Gro-Low Sumac	<i>Rhus aromatica 'Gro-Low'</i>	27	Min. 12" spd.	2.5' ht. & 4' spd.	1-gal	L
	Rosewood	<i>Vaquelinia californica</i>	12	Min. 18" ht.	15' ht. & 8' spd.	5-gal	L
	Turpentine Bush	<i>Ericameria laricifolia</i>	49	Min. 12" ht.	3' ht. & spd.	1-gal	L
	Silver Berry	<i>Elaeagnus pungens</i>	5	Min. 24" ht.	6' ht. & 8' spd.	5-gal	L



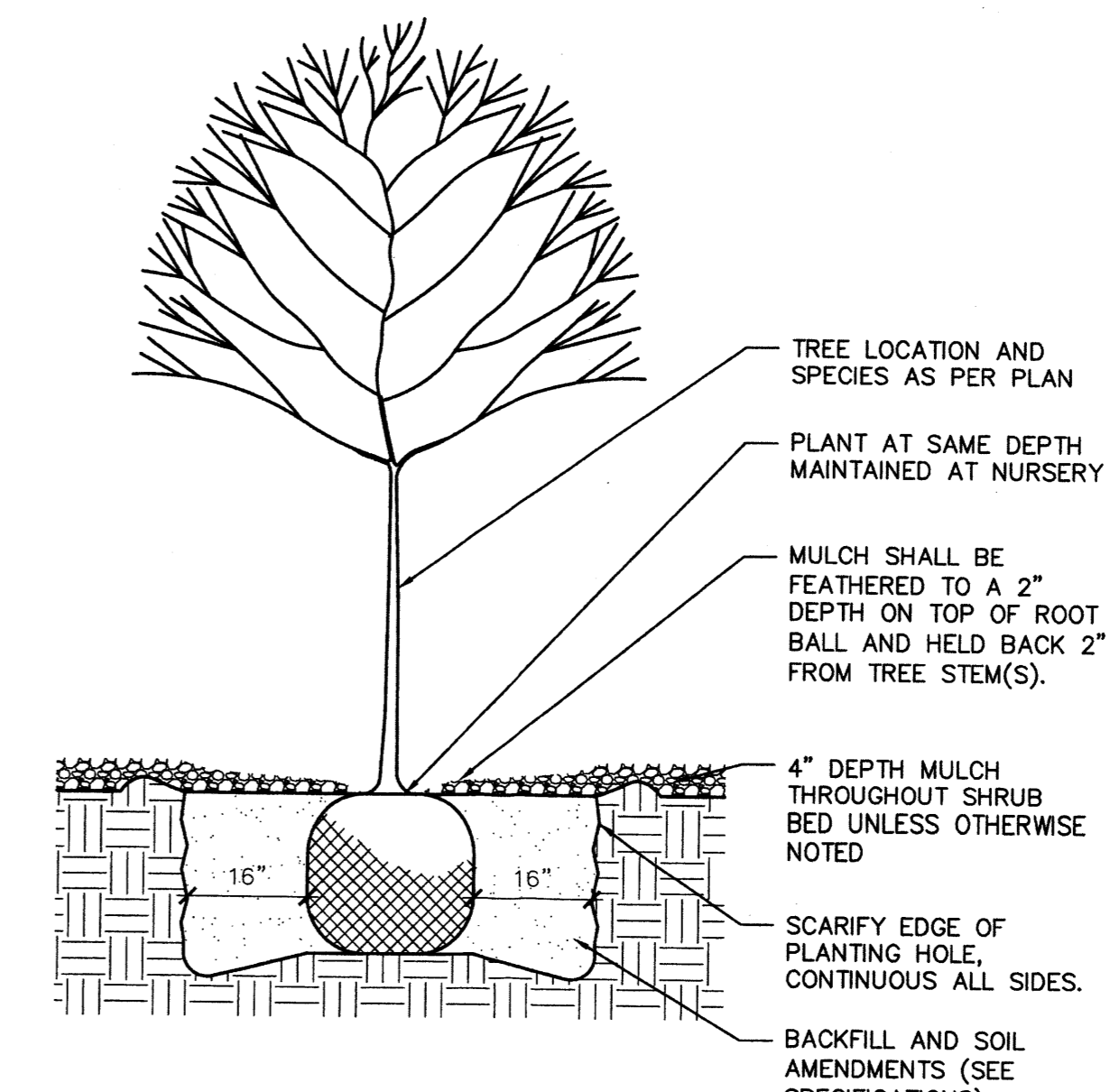
KEYED NOTES

- | | |
|-------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------|
| A. PVC MAINLINE | M. MIN. 4" THICK 4000 PSI CONCRETE SLAB WITH TURNDOWN EDGE. |
| B. APPLIED ENGINEERING PRODUCTS 1730-P2P VALVE BOX W/ ABS BOLT DOWN FLUSH COVER AND EXTENSIONS AS REQUIRED. COLOR: TAN. | N. PVC SLEEVING & INSULATION (MIN. 1" THICK). |
| C. 1/2"x6" ANCHOR BOLTS, FOUR PER BOX | O. SCH. 40 PVC MALE ADAPTER. |
| D. GALVANIZED UNION (MIN. 4" ABOVE GRADE) | P. 8" x 8" x 16" SOLID CMU BLOCK, FOUR PER BOX. |
| E. GALVANIZED NIPPLE | Q. NON-CONSTANT PRESSURE IRRIGATION MAINLINE. |
| F. REDUCED PRESSURE BACKFLOW PREVENTER. SEE IRRIGATION LEGEND. | R. FINISH GRADE. |
| G. 95% COMPACTED SUBGRADE | S. PROTECTIVE BACKFLOW ENCLOSURE - SEE IRRIGATION LEGEND. |
| H. MASTER VALVE - SEE IRRIGATION LEGEND | T. SPEARS TRUE UNION SCH. 80 PVC BALL VALVE. |
| I. 6" DEPTH, 1" ROUND GRAVEL | U. WATERPROOF WIRE SPLICE. |
| J. GALVANIZED ELL | V. 36" WIRE LOOPS. |
| K. GALVANIZED RISER | W. GALVANIZED NIPPLE, 36" LENGTH. |
| L. 110V ELECTRICAL OUTLET FOR HEATED PROTECTIVE ENCLOSURE. PLACE AWAY FROM RELIEF VALVE. | X. SPEARS SCH. 80 PVC UNION. |
| | Y. MAIN LINE ELL, 90 DEG. |
| | Z. SCH. 80 PVC NIPPLE, 3" LENGTH. |

A1 BACKFLOW PREVENTER & MASTER VALVE ASSEMBLY
SCALE: N.T.S.



A3 SHRUB PLANTING
SCALE: N.T.S.



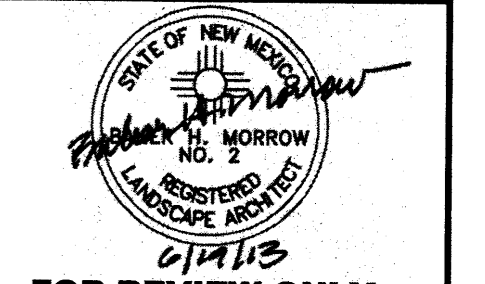
A5 TREE PLANTING
SCALE: N.T.S.



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ARCHITECT

CONSULTANT



FOR REVIEW ONLY
NOT FOR CONSTRUCTION
PROJECT TITLE

**BOB'S BURGERS
W. CENTRAL
&
46TH STREET**

ALBUQUERQUE
NEW MEXICO

REVISIONS:

MK	DATE	DESCRIPTION

DRAWN BY: CHECKED BY:
AA BHM

PROJECT NUMBER:
A13.04

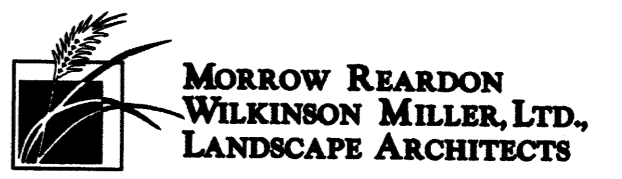
DATE:
JUNE 2013

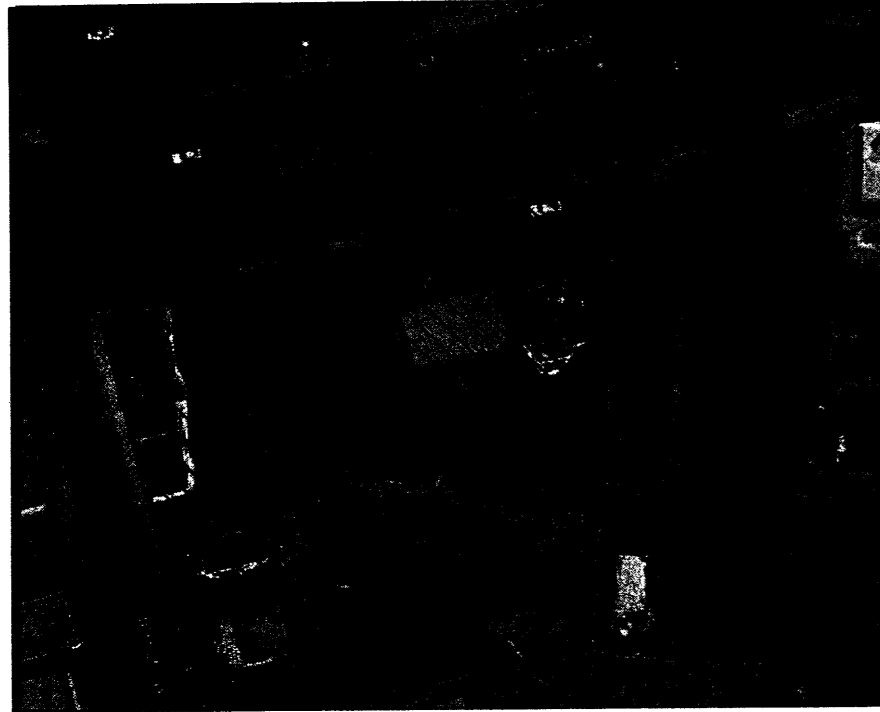
SHEET TITLE:

**LANDSCAPE
PLANT SCHEDULE,
LANDSCAPE NOTES,
& DETAILS**

SHEET NO.

LS-102

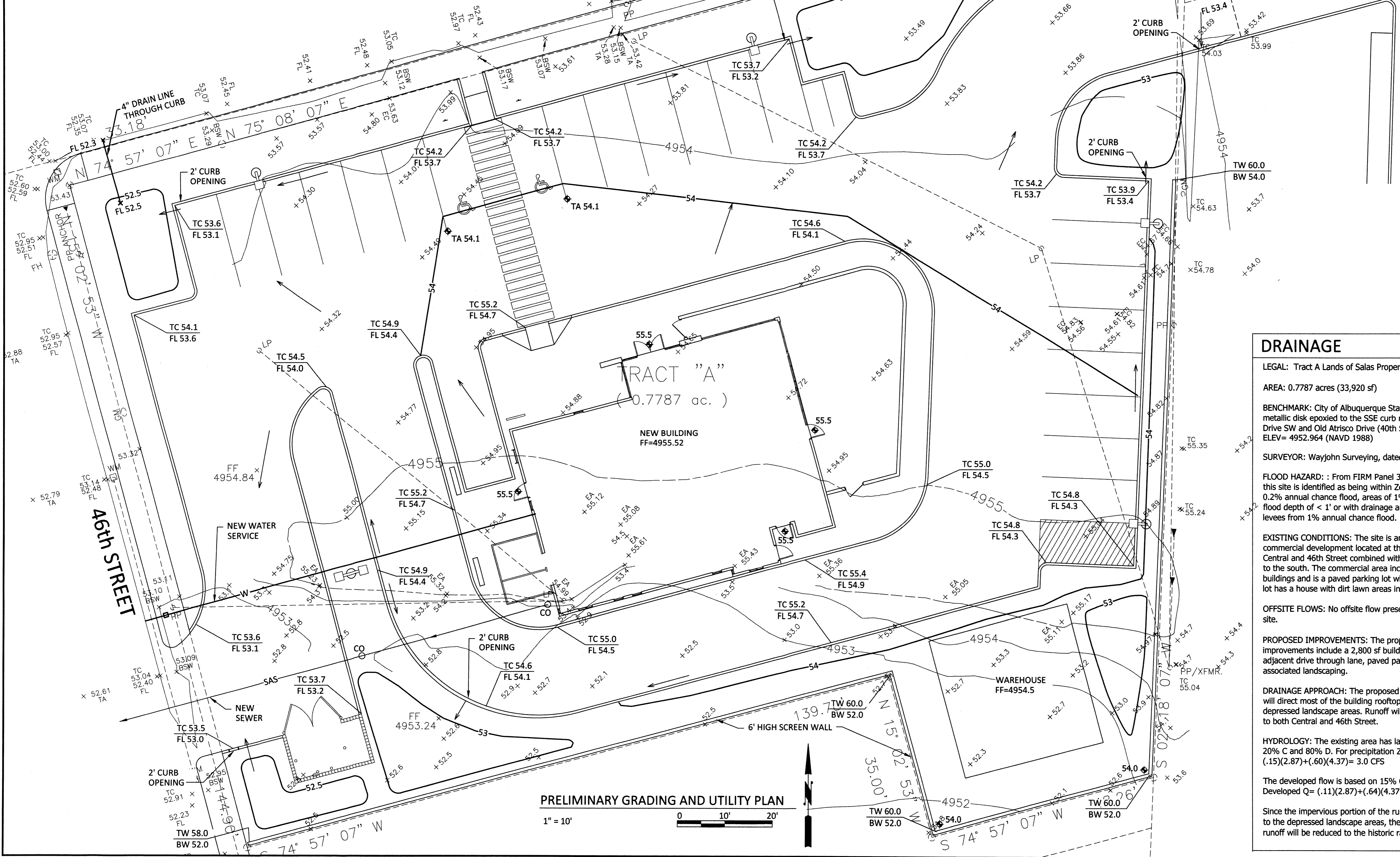




LEGEND

---	EXISTING CONTOUR LINE
x 54.27	EXISTING GRADE
---	NEW CONTOUR LINE
TC	TOP OF CURB
FL	FLOW LINE
FF = 4955.2	FINISH FLOOR ELEVATION
59.8	PROPOSED SPOT ELEVATION
TW	TOP OF WALL ELEVATION
BW	BOTTOM OF WALL ELEVATION

VICINITY MAP K-12



DRAINAGE

LEGAL: Tract A Lands of Salas Properties LLC

AREA: 0.7787 acres (33,920 sf)

BENCHMARK: City of Albuquerque Station '27-K12' a metallic disk epoxied to the SSE curb return of Atrisco Drive SW and Old Atrisco Drive (40th Street extended). ELEV= 4952.964 (NAVD 1988)

SURVEYOR: Wayjohn Surveying, dated June 2013

FLOOD HAZARD: : From FIRM Panel 329 (8/16/12), this site is identified as being within Zone 'X'; areas of 0.2% annual chance flood, areas of 1% annual chance flood depth of < 1' or with drainage areas protected by levees from 1% annual chance flood.

EXISTING CONDITIONS: The site is an existing commercial development located at the SE corner of Central and 46th Street combined with a residential lot to the south. The commercial area includes two existing buildings and is a paved parking lot while the adjacent lot has a house with dirt lawn areas in front and back.

OFFSITE FLOWS: No offsite flow presently enters the site.

PROPOSED IMPROVEMENTS: The proposed improvements include a 2,800 sf building with an adjacent drive through lane, paved parking, and associated landscaping.

DRAINAGE APPROACH: The proposed drainage plan will direct most of the building rooftop flow toward depressed landscape areas. Runoff will then discharge to both Central and 46th Street.

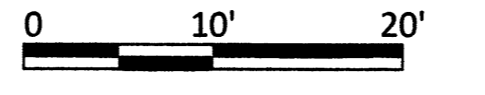
HYDROLOGY: The existing area has land treatment of 20% C and 80% D. For precipitation Zone 1 --- $Q = (.15)(2.87) + (.60)(4.37) = 3.0$ CFS

The developed flow is based on 15% C and 85% D Developed $Q = (.11)(2.87) + (.64)(4.37) = 3.1$ CFS

Since the impervious portion of the runoff is discharged to the depressed landscape areas, the effective site runoff will be reduced to the historic rate.

PRELIMINARY GRADING AND UTILITY PLAN

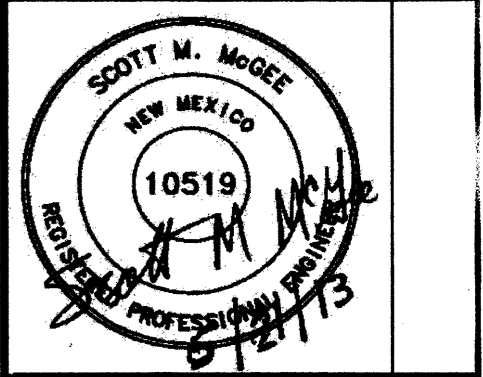
1" = 10'



1306 RIO GRANDE BLVD NW
ALBUQUERQUE, NM 87104
505-255-6400 505-288-6954 FAX
WWW.NCA-ARCHITECTS.COM

ARCHITECT

CONSULTANT



PROJECT TITLE

**BOB'S BURGERS
W. CENTRAL
&
46TH STREET**

**ALBUQUERQUE
NEW MEXICO**

REVISIONS:

MK	DATE	DESCRIPTION

DRAWN BY: CHECKED BY:

CB SM

PROJECT NUMBER:

A13.04

DATE:

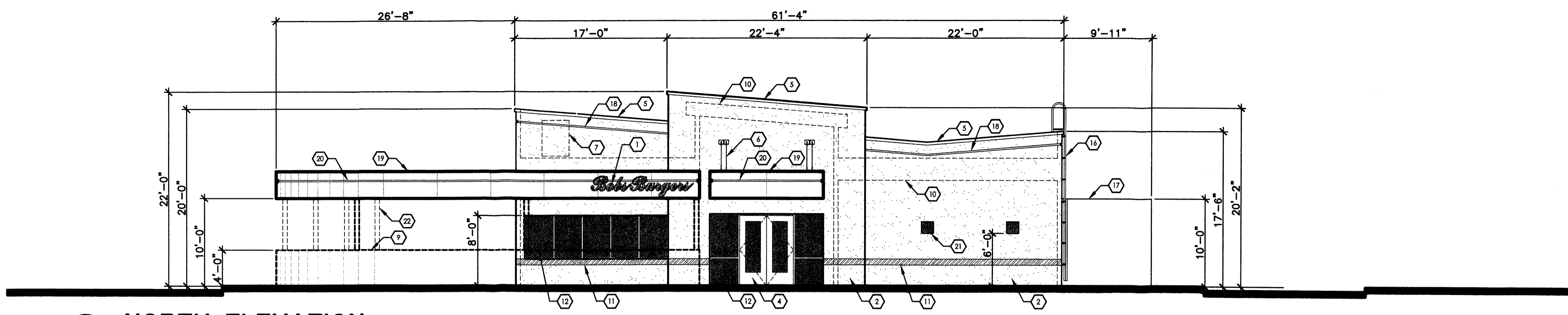
JUNE 19, 2013

SHEET TITLE:

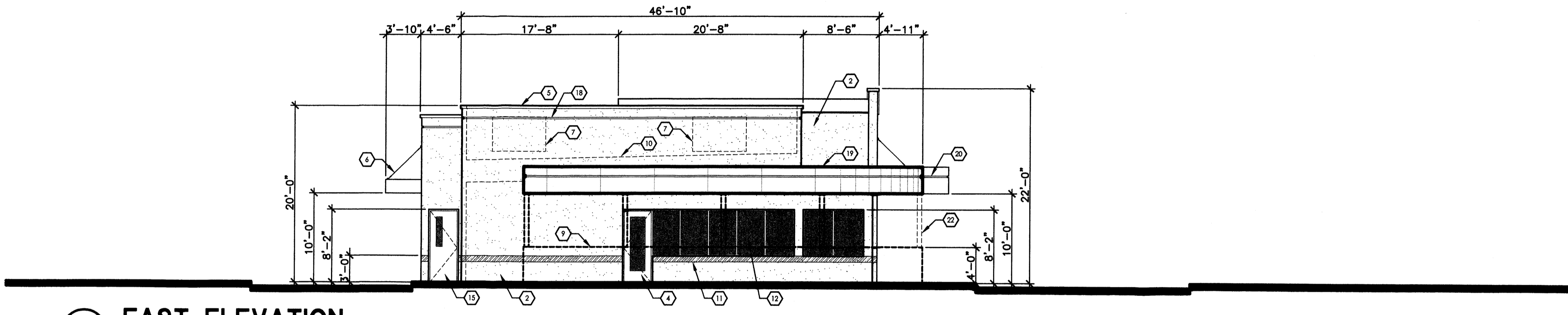
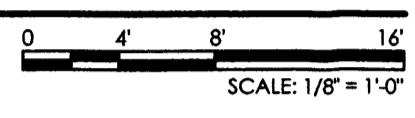
**PRELIMINARY
GRADING AND
UTILITY PLAN**

SHEET NO.:

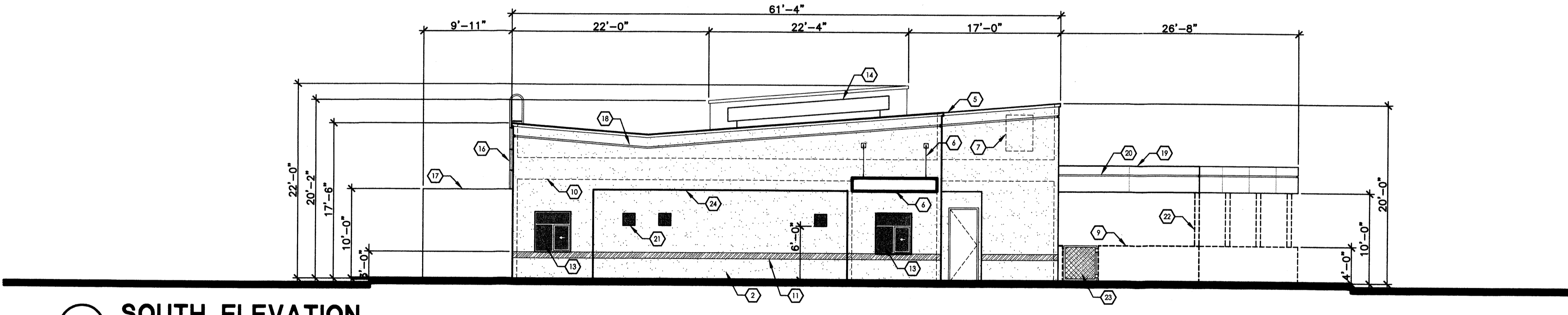
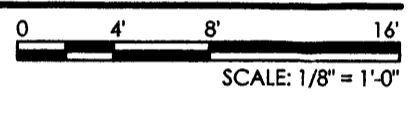
C-101



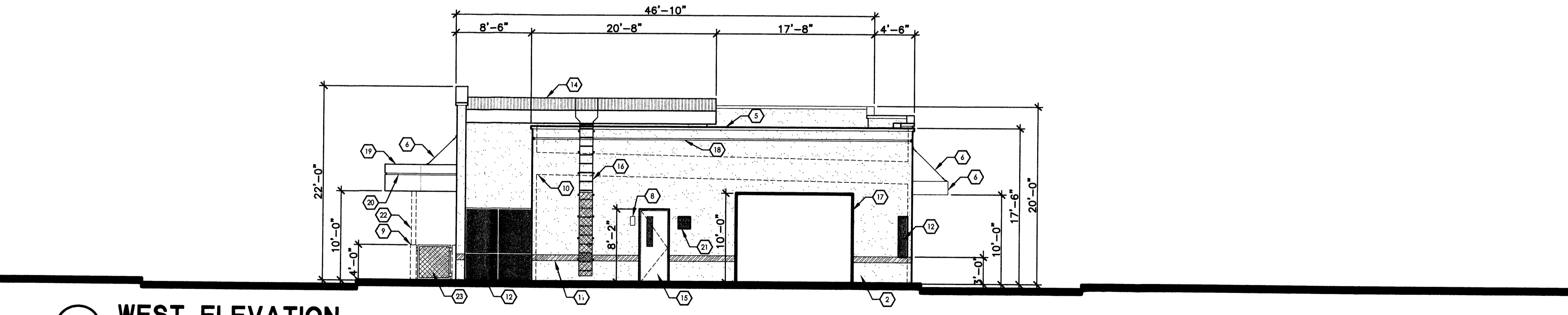
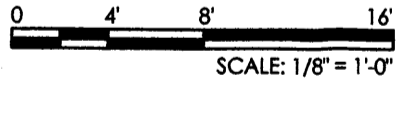
D1 NORTH ELEVATION



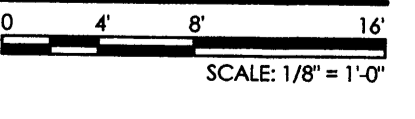
C1 EAST ELEVATION



B1 SOUTH ELEVATION



A1 WEST ELEVATION



GENERAL NOTES

A. ALL DIMENSIONS ARE GIVEN FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.

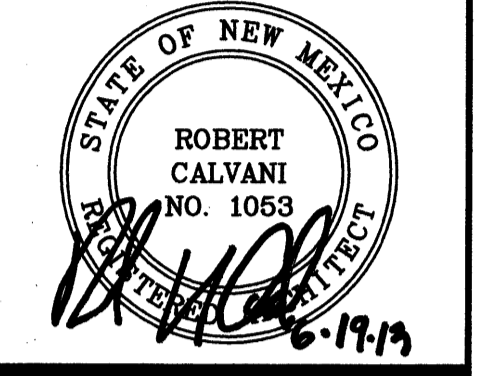
KEYED NOTES

1. NEON SIGNAGE BY OWNER. 36 SQUARE FEET @ 12X3'.
2. E.I.F.S. OUTSULATION STUCCO SYSTEM. COLOR TO WHITE.
3. NOT USED.
4. ALUMINUM STOREFRONT DOOR. COLOR TO MATCH COMPANY BRANDING "RED".
5. PRE-FINISHED BREAK METAL PARAPET CAP. COLOR TO MATCH COMPANY BRANDING "RED".
6. PAINTED STEEL FOR EXTERIOR CANOPY. COLOR TO MATCH COMPANY BRANDING "RED". RECESSED LIGHTS WITHIN CANOPY.
7. MECHANICAL UNITS BEYOND.
8. PRE-FINISHED WALL MOUNTED UP/DOWN LIGHT FIXTURE. COLOR TO BE DETERMINED.
9. 48" HIGH INTEGRATED STUCCO SITE WALL. COLOR TO MATCH BUILDING COLOR. LINES SHOWN DASHED FOR CLARITY.
10. LINE OF BUILDING STRUCTURE BEYOND.
11. STUCCO ACCENT COLOR TO MATCH COMPANY BRANDING "RED".
12. ALUMINUM STOREFRONT WINDOW SYSTEM WITH 1" INSULATED GLAZING. FRAME COLOR TO MATCH COMPANY BRANDING "RED". GLAZING TYPE TO BE DETERMINED.
13. DRIVE-UP WINDOW.
14. ROOF STRUCTURE FOR OPEN VOLUME SPACE BEYOND.
15. HOLLOW METAL DOOR. COLOR TO MATCH BUILDING.
16. ROOF ACCESS LADDER. PAINTED STEEL TO MATCH BUILDING COLOR.
17. RESTAURANT WALK-IN REFRIGERATOR/FREEZER.
18. 2" STUCCO REVEL FOR LED/NEON STRIP LIGHTING.
19. PATIO ROOF STRUCTURE. METAL PANEL FINISH. COLOR TO MATCH COMPANY BRANDING "RED".
20. 2" METAL PANEL REVEL FOR LED/NEON STRIP LIGHTING.
21. GLASS BLOCK WINDOW.
22. COLUMN SUPPORTS FOR COVERED PATIO STRUCTURE. LINES SHOWN DASHED FOR CLARITY.
23. STEEL GATE. COLOR TO MATCH COMPANY BRANDING "RED".
24. OVERHEAD SOFFIT WITH BUILT-IN DOWN LIGHTING FOR DRIVE-UP ILLUMINATION.



1306 RIO GRANDE BLVD NW
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ARCHITECT



CONSULTANT

PROJECT TITLE

**BOB'S BURGERS
W. CENTRAL
&
46TH STREET**

**ALBUQUERQUE
NEW MEXICO**

REVISIONS:

MK	DATE	DESCRIPTION

DRAWN BY: MG CHECKED BY: LA

PROJECT NUMBER:

A13.04

DATE:

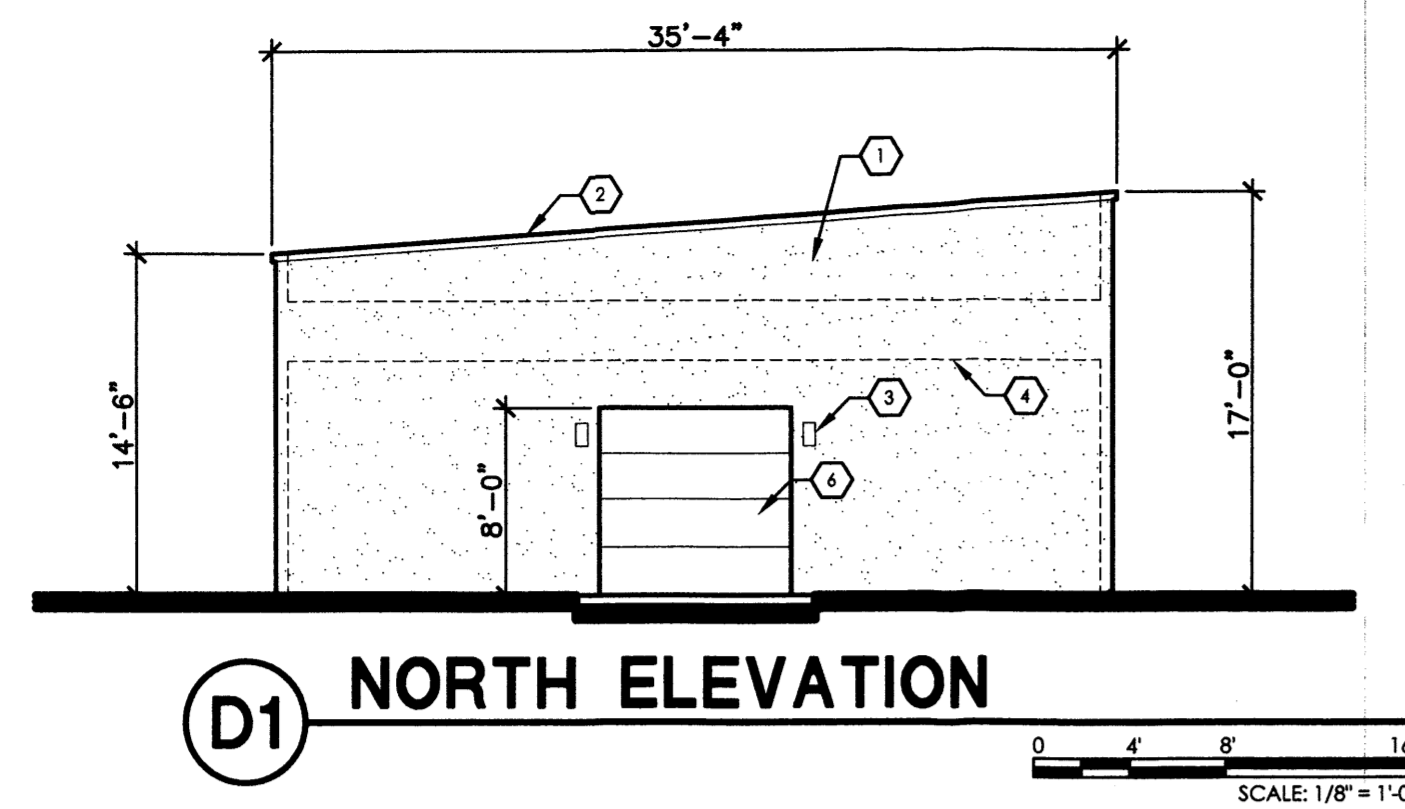
JUNE 2013

SHEET TITLE:

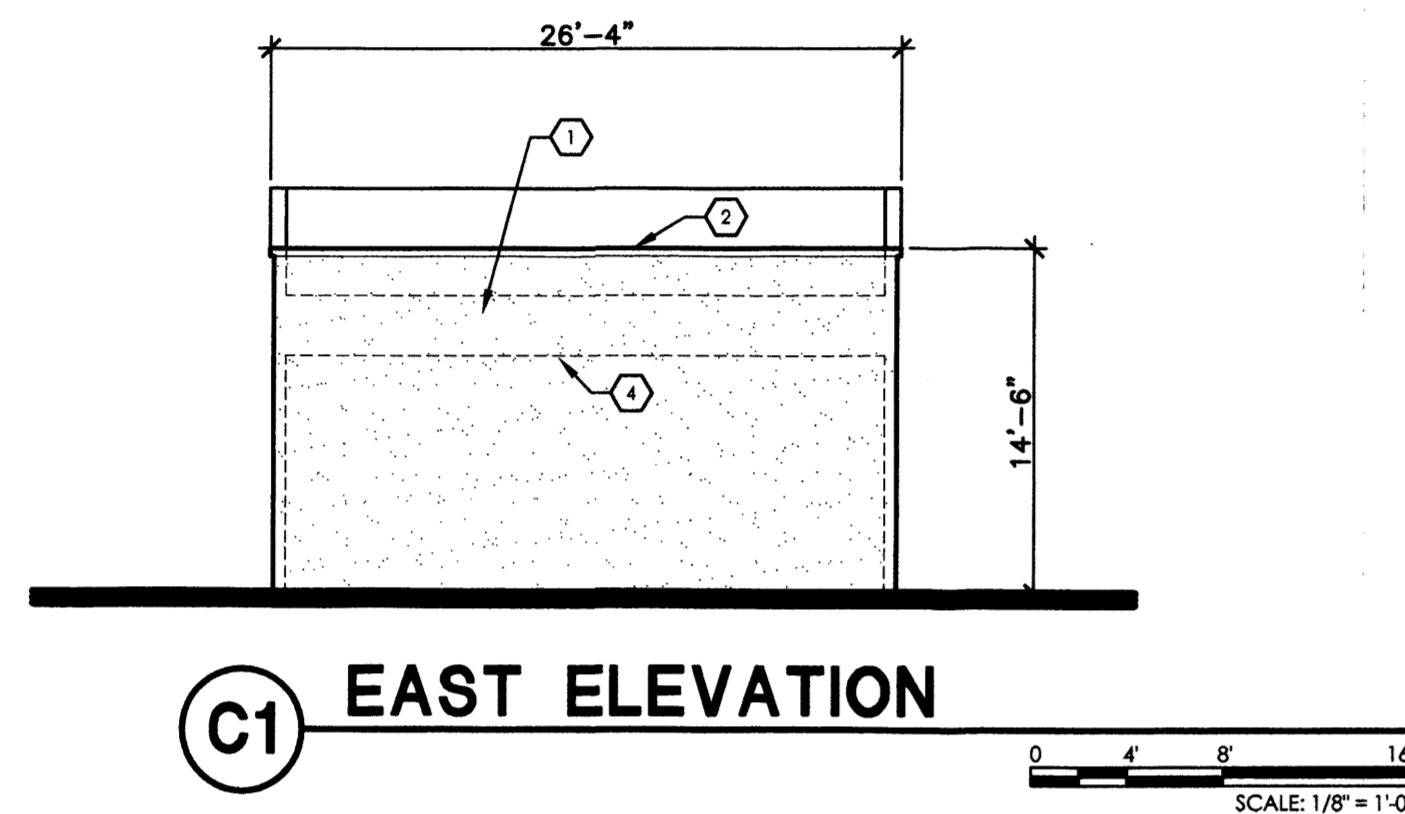
**ARCHITECTURAL
ELEVATIONS**

SHEET NO.:

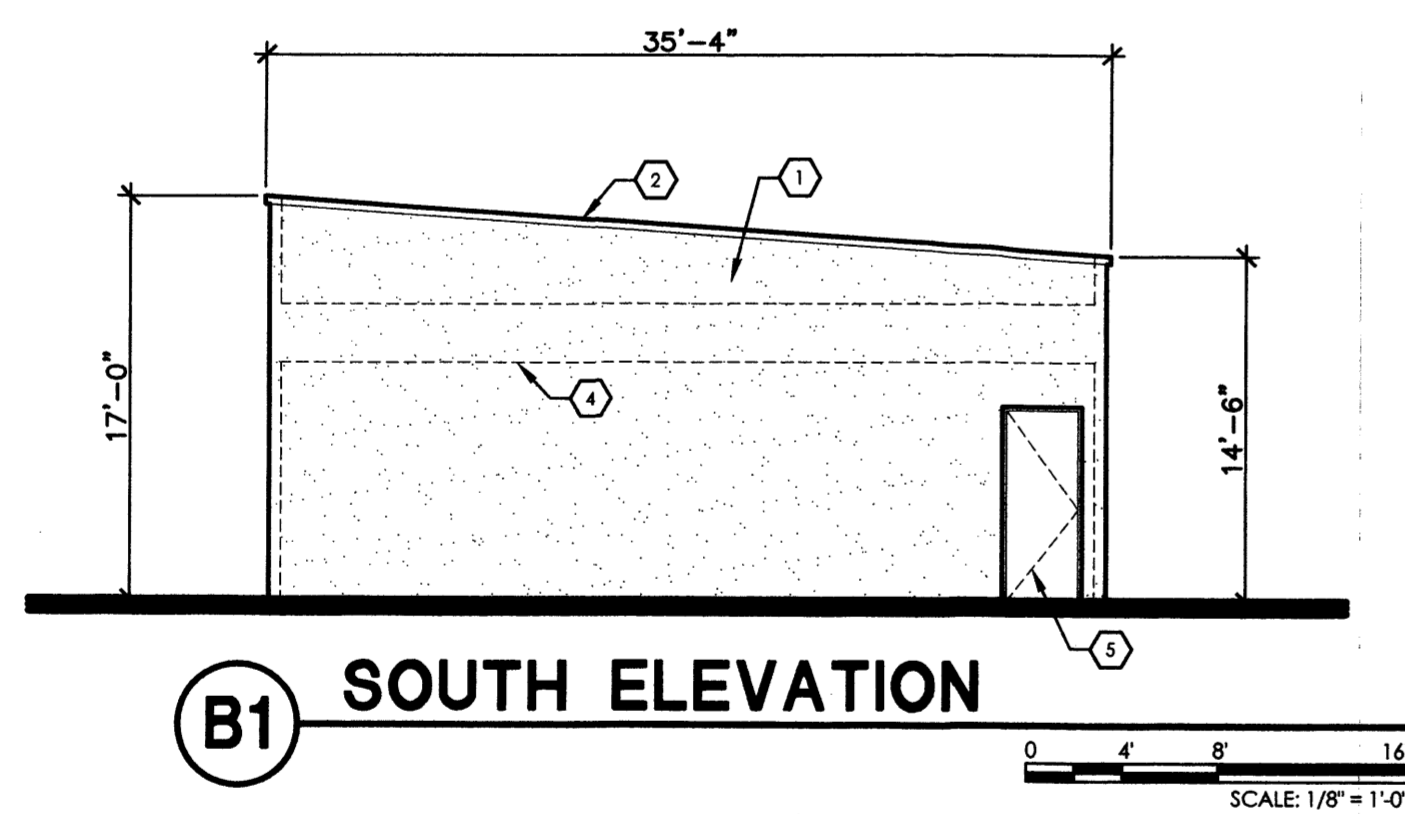
A-201



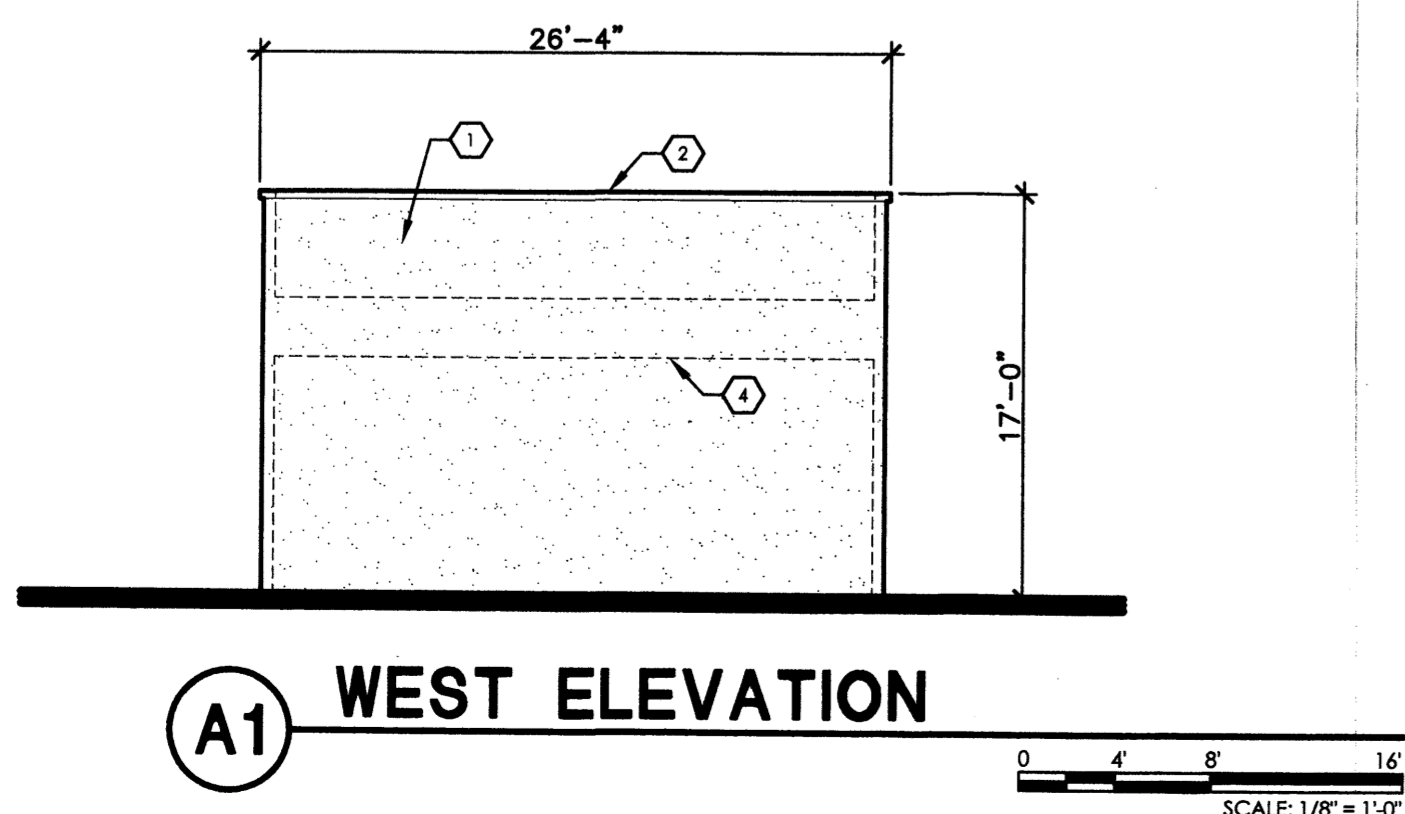
D1 NORTH ELEVATION



C1 EAST ELEVATION



B1 SOUTH ELEVATION



A1 WEST ELEVATION

GENERAL NOTES

A. ALL DIMENSIONS ARE GIVEN FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.

KEYED NOTES

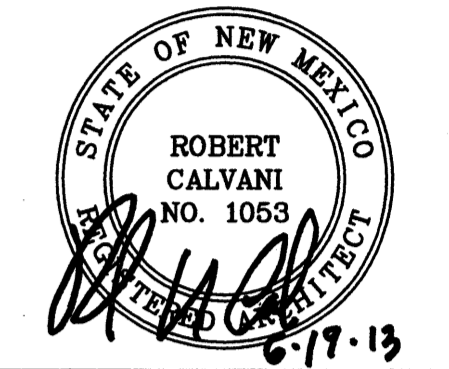
1. E.I.F.S. INSULATION STUCCO SYSTEM. COLOR TO WHITE.
2. PRE-FINISHED BREAK METAL PARAPET CAP. COLOR TO MATCH COMPANY BRANDING "RED".
3. PRE-FINISHED WALL MOUNTED UP/DOWN LIGHT FIXTURE. COLOR TO BE DETERMINED.
4. LINE OF BUILDING STRUCTURE BEYOND.
5. HOLLOW METAL DOOR. COLOR TO MATCH BUILDING.
6. OVERHEAD DOOR. COLOR TO MATCH BUILDING.



ARCHITECTS - PLANNERS - AIA

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ARCHITECT



CONSULTANT

PROJECT TITLE

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W. CENTRAL
&
46TH STREET**

**ALBUQUERQUE
NEW MEXICO**

REVISIONS:

NO.	DATE	DESCRIPTION

DRAWN BY: CHECKED BY:

MG LA

PROJECT NUMBER:

A13.04

DATE:

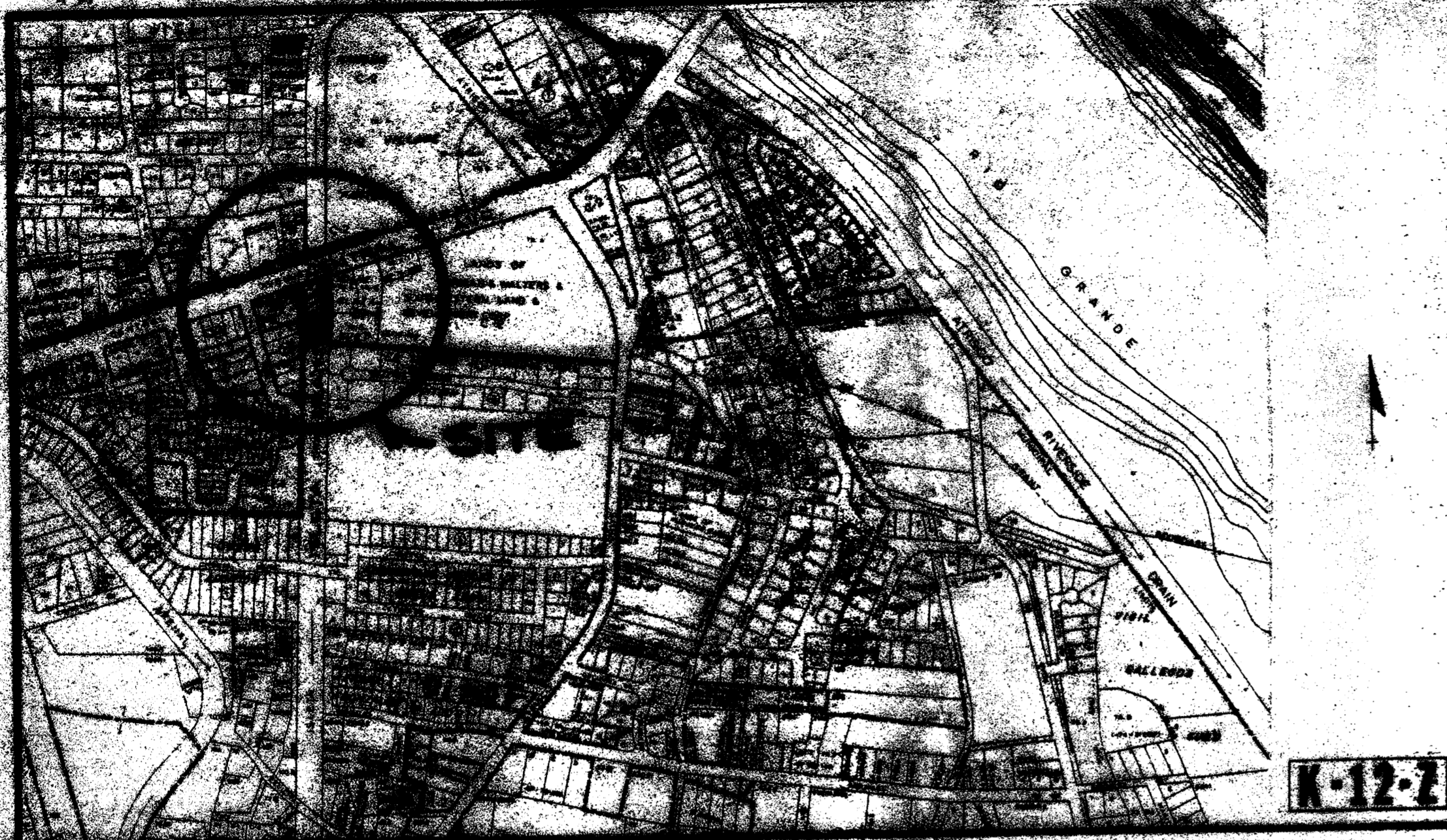
JUNE 2013

SHEET TITLE:

**ARCHITECTURAL
ELEVATIONS
FOR
WAREHOUSE**

SHEET NO.:

A-202



- GENERAL NOTES:**
- (1) Basis of bearings = MILNE PLAZA SUBDIVISION, filed November 28, 1973, Book 88, Page 124.
 - (2) Plat shows all easements of record.
 - (3) Corners set are cedar with cap stamped "L.S. 6446".
 - (4) All distances are ground.
 - (5) Tie to stake plants to show location of survey.
 - (6) Rotate bearing clockwise 06° 52' 00" to adjust to New Mexico State Plane Coordinate system.

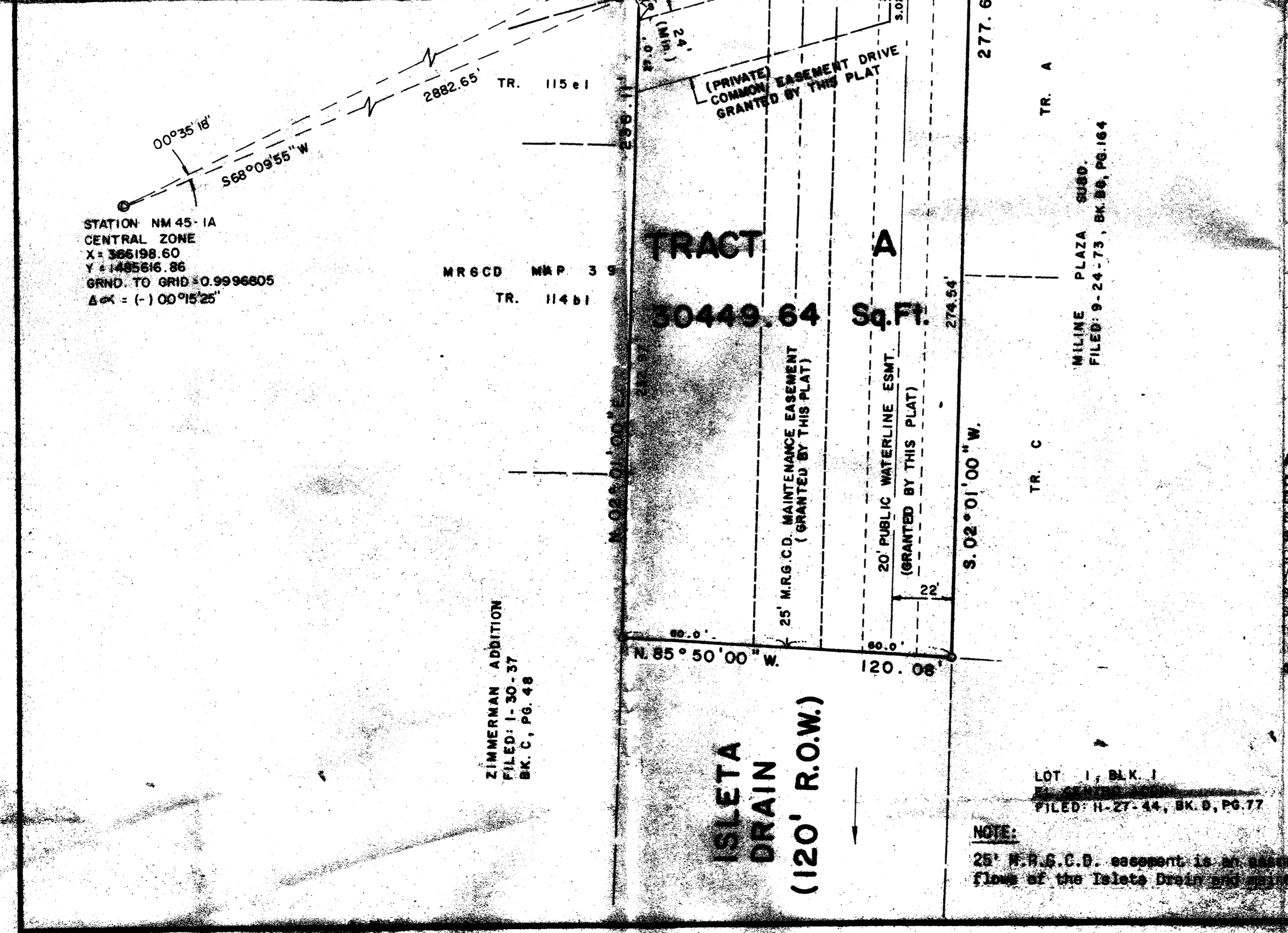
DISCLOSURE STATEMENT

The purpose of this plat is to provide a legal description for a portion of Isleta Drain as surveyed and annexed to the City of Albuquerque and to complete vacation action V-88-89, vacation of a portion of M.R.G.C.D. Right-Of-Way.

WEST CENTRAL AVENUE (100' R.O.W.)

The private driveway easement granted by this plat is for the benefit and use by and for the owners of Tracts A and Tracts B, and is hereby dedicated by the owners of said parcels and the City of Albuquerque by this plat.

NOTE: 3' Additional right-of-way hereby dedicated to the City of Albuquerque by this plat.



APPROVED on the condition that all rights of the Middle Rio Grande Conservancy District in easements, rights of way, assessments and liens, are fully reserved to said District, and that if provision for irrigation source and easements are not provided for by the subdivider for the subdivision, addition, or plat, said District is absolved of all obligations to furnish irrigation waters and services to any portions thereof, other than from existing turnouts.

APPROVED *A.F.R.L.* DATE 1-11-89

PLAT OF TRACT A 8931983
LANDS OF M.R.G.C.D. MAP NO. 39
SITUATE WITHIN PROJECTED SECTION 24,
T. 10 N., R. 2 E., N.M.P.M.
CITY OF ALBUQUERQUE, BERNALILLO COUNTY,
NEW MEXICO
JULY, 1988

State of New Mexico
 County of Bernalillo
 This instrument was filed for record on
 APR 06 1989
 M. J. Wilson, Notary Public
 of records of said County file # 115
 Survey to the General Land Office

The undersigned, Franklin E. Wilson, a duly qualified and licensed Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision in accordance with the minimum requirements of monumentation and surveys of the Albuquerque City Ordinance, and that it is true and correct to the best of my knowledge and belief.

Franklin E. Wilson, N.M. Professional Land Surveyor
 Southwest Surveying Co., Inc., 87102 (505) 247-4444

ACKNOWLEDGEMENT
 STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO)
 The foregoing instrument was acknowledged before me this _____ day of _____, 1988, by _____.

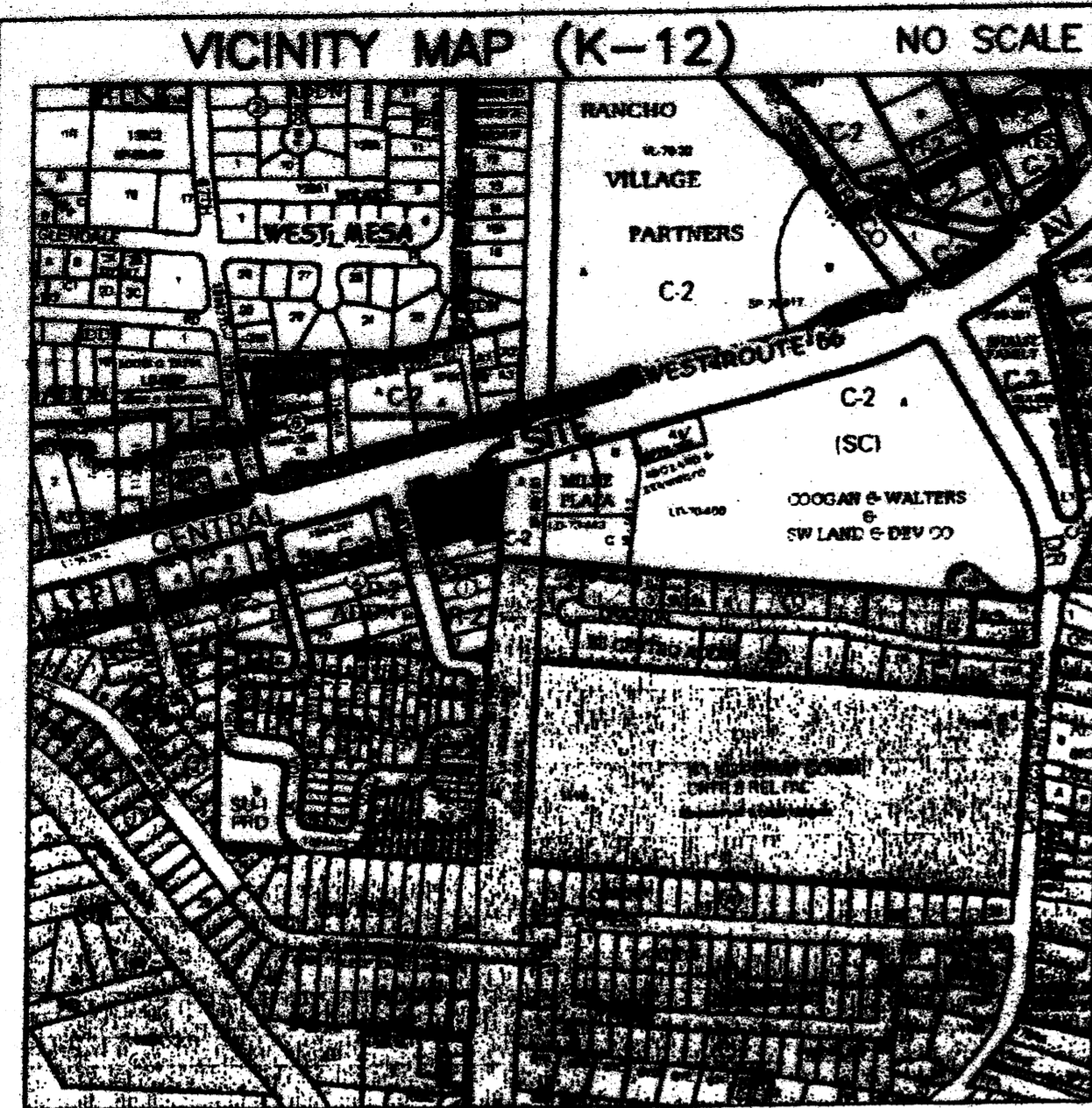
CITY/COUNTY APPROVALS:

Property Management	<i>[Signature]</i>	Date	4-6-89
City Survey	<i>[Signature]</i>	Date	02-03-89
City Water Resources	<i>[Signature]</i>	Date	3-21-89
City Engineer	<i>[Signature]</i>	Date	2/7/89
A.N.A.F.C.A. Traffic Engineer	<i>[Signature]</i>	Date	4/7/89
Parks and Recreation	<i>[Signature]</i>	Date	2-7-89
City Planning Director	<i>[Signature]</i>	Date	4-6-89

SURVEYOR'S CERTIFICATION
 I, Franklin E. Wilson, a duly qualified and licensed Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision in accordance with the minimum requirements of monumentation and surveys of the Albuquerque City Ordinance, and that it is true and correct to the best of my knowledge and belief.

Franklin E. Wilson, N.M. Professional Land Surveyor
 Southwest Surveying Co., Inc., 87102 (505) 247-4444

ACKNOWLEDGEMENT
 STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO)
 The foregoing instrument was acknowledged before me this _____ day of _____, 1988, by Franklin E. Wilson.
 My Commission Expires _____
 Notary Public



DOC# 2010041021
 05/12/2010 02:12 PM Page: 1 of 2
 PLAT R: 112.00 B: 2010C P: 0000 R: Taurus Olivera, Bernalillo Cou
 COUNTY CLERK RECORDING LABEL HERE

PLAT OF
TRACT A, LANDS OF SALAS PROPERTIES LLC
 A REPLAT OF TRACTS 114-B-1, 114-B-2, 115-E-1, & 115-E-2 M.R.G.C.D. MAP 39;
 TOGETHER WITH LOTS A AND B, BLOCK 1, ZIMMERMAN ADDITION
 WITHIN PROJECTED SECTION 24, T. 10 N., R. 2 E., N.M.P.M.
 WITHIN THE TOWN OF ATRISCO GRANT
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY 2010

SURVEY LEGAL DESCRIPTION

A certain tract of land within Projected Section 24, Township 10 North, Range 2 East, N.M.P.M., within the Town of Atrisco Grant, City of Albuquerque, Bernalillo County, New Mexico, comprising Tracts 114-B-1, 114-B-2, 115-E-1 and 115-E-2, of the Middle Rio Grande Conservancy District Property Map No. 39, together with Lots lettered "A" and "B", Block numbered One (1) of the Zimmerman Addition, as the same is shown and designated on the Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on March 27, 1941, in Plat Book A, Page 25; Excepting therefrom that portion of the above described property that was acquired by the City of Albuquerque and Bernalillo County through condemnation proceedings held under District Court Cause Numbers 57803 and 57093, recorded May 15, 1954 in the District Court Office, and being more particularly described as follows:
 BEGINNING at the Northeast corner of the property herein described, being a point on the Southerly Right-of-way line of Central Avenue West, from whence the ACS Monument "15_112" (x=1,531,214.742, y=1,487,534.543, NMSF Central Zone, NAD 83) bears N 60° 40' 44" E, 2261.90 feet distant;
 THENCE leaving said Right-of-way line, S 02° 18' 07" W, 187.77 feet to the Southeast corner;
 THENCE S 74° 57' 07" W, 48.28 feet;
 THENCE N 15° 02' 53" W, 35.00 feet;
 THENCE S 74° 57' 07" W, 139.78 feet to the Southwest corner, being a point on the Easterly Right-of-way line of 46th Street, SW;
 THENCE along said Easterly Right-of-way line, N 15° 02' 53" W, 144.90 feet to the Northwest corner, being the point of intersection of the Easterly Right-of-way line of 46th Street, SW and the Southerly Right-of-way line of Central Avenue West;
 THENCE leaving said Easterly Right-of-way line and along said Southerly Right-of-way line, N 74° 57' 07" E, 33.18 feet;
 THENCE continuing along said Southerly Right-of-way line, N 75° 08' 07" E, 210.85 feet to the Point of Beginning and containing 0.7787 acres, more or less.

PROJECT NUMBER: 1008217
 Application Number: 10-70055

City Approvals:

	<u>3-10-10</u>
City Surveyor	Date
	<u>05/11/10</u>
Traffic Engineering, Transportation Division	Date
	<u>05/24/10</u>
ABCWA	Date
	<u>3/24/10</u>
Parks and Recreation Department	Date
	<u>5/11/10</u>
AMAFCA	Date
	<u>3-10-10</u>
City Engineer	Date
	<u>5/11/10</u>
Chairperson, Planning Department	Date

SUBDIVISION DATA

- DRB Proj. No. 1008217
- Zone Atlas Index No. K-12
- Gross acreage 0.7787 Ac.
- Existing number of lots 6
Replatted number of lots 1
LOG NO. 2009394135
- PURPOSE OF PLAT**
This plat has been prepared for the purpose of creating one tract from six parcels

NOTES

- Bearings shown on this plat, are New Mexico State Plane Grid, Central Zone, NAD 83. Bearings and distances in parenthesis are from existing plat.
- Perimeter distances are field measurements made on the ground.
- Monuments recovered and accepted or reset are noted on inscribed plat.
- No property within the area of requested plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat.
- Additional Right-of-way for Central Avenue, SW, acquired by condemnation proceedings by the City of Albuquerque and Bernalillo County, under Cause Numbers 57803 and 55073, District Court, Bernalillo County, New Mexico.

FREE CONSENT

The platting of the property as described above is with the free consent and in accordance with the desires of the undersigned owner. Said owner warrants that he holds complete and indefeasible title in fee simple to the land subdivided.

Robert J. Salas, Managing Member, Salas Properties LLC, a New Mexico Limited Liability Company
3-10-10 Date

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) ss

On this 10th day of MARCH, 2010, the foregoing instrument was acknowledged before me by Robert J. Salas, Managing Member, Salas Properties LLC, a New Mexico Limited Liability Company on behalf of said Company.

My Commission expires 1/9/2011

 Notary Public

SURVEYOR'S CERTIFICATE

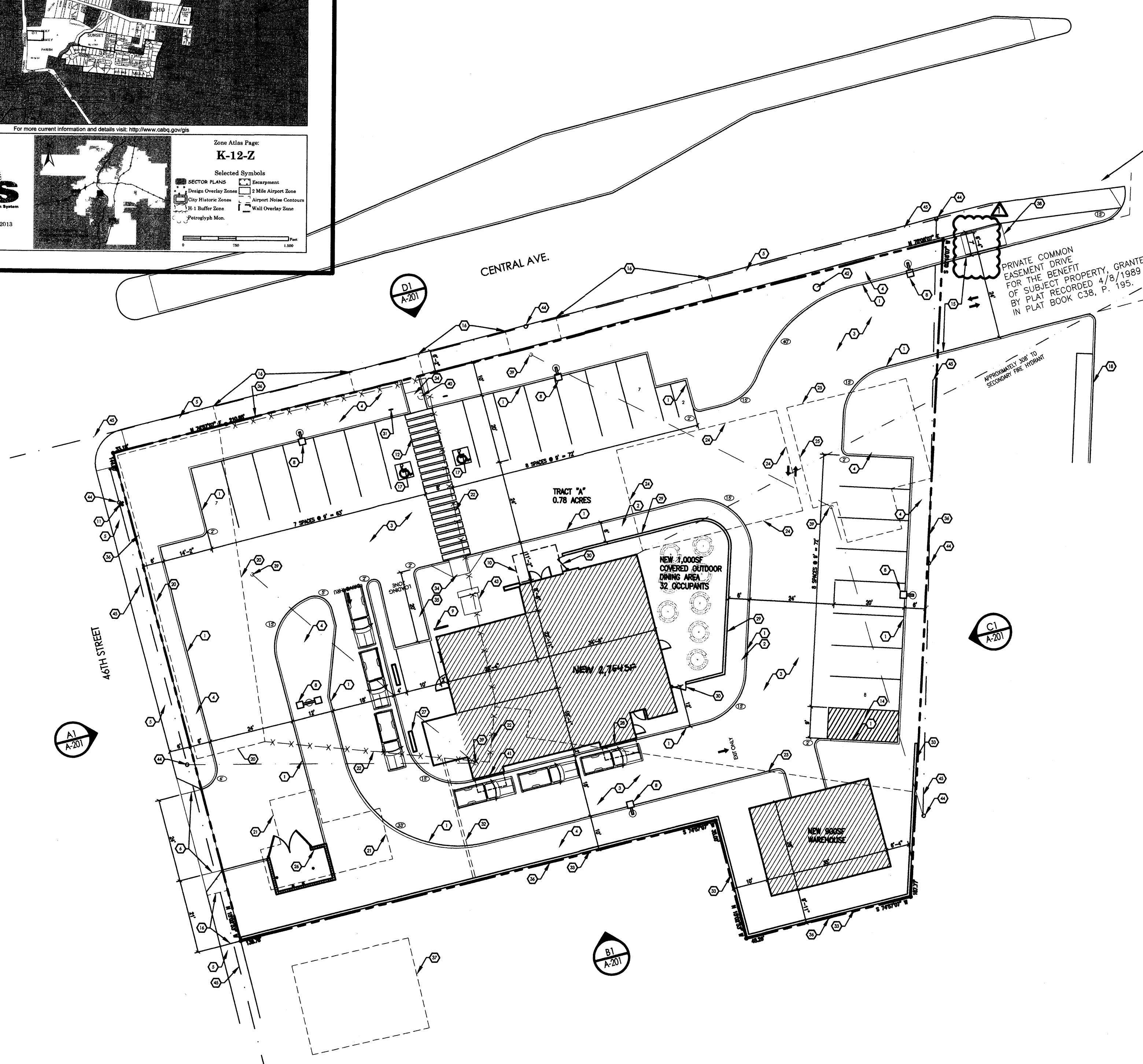
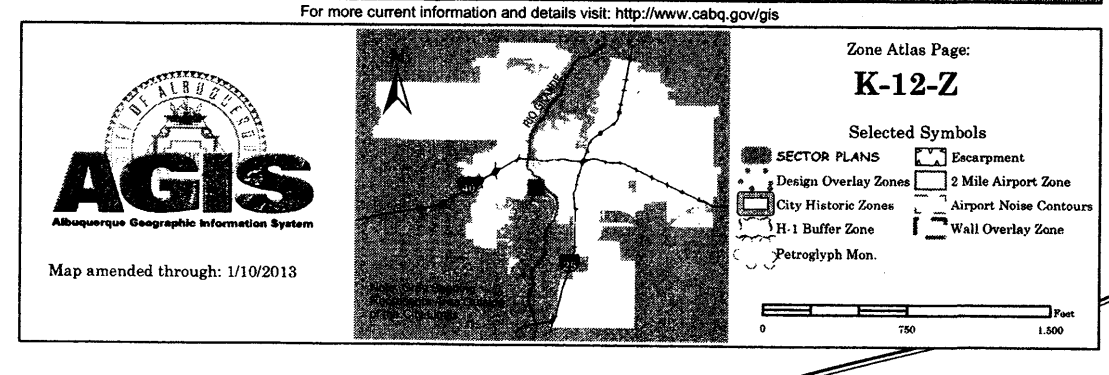
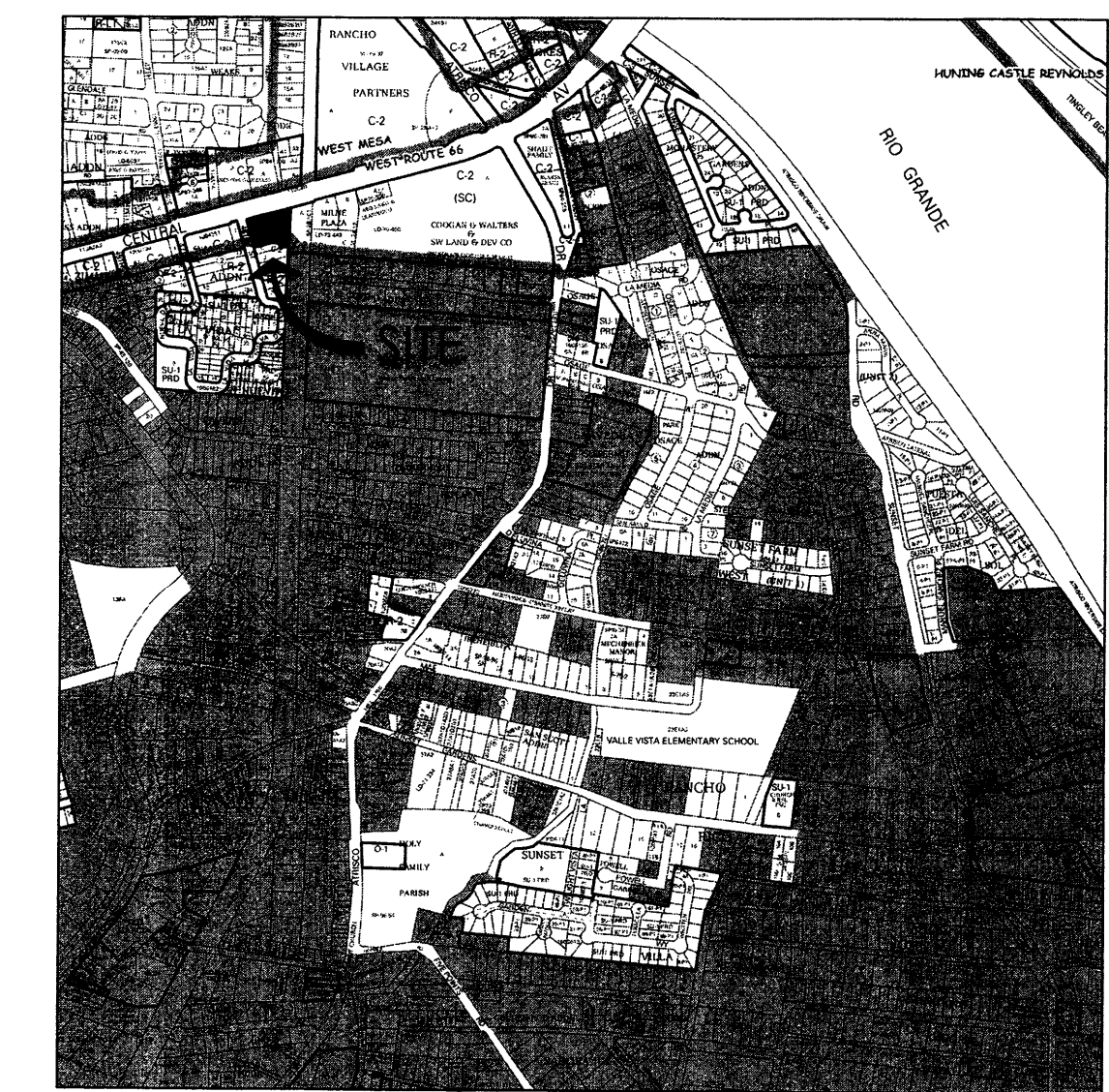
I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys as adopted by the New Mexico State Board of Licensure for Professional Engineers and Surveyors, effective May 1, 2007 and is true and correct to the best of my knowledge and belief.

Thomas D. Johnston, N.M.P.S. No. 14269
3-10-10 Date

	330 LOUISIANA BLVD., N.E. ALBUQUERQUE, N.M. 87108 PHONE: (505) 255-2052 FAX: (505) 255-2887		
INDEXING INFORMATION FOR COUNTY CLERK OWNER: SALAS PROPERTIES LLC LOCATION: SEC. 24 T. 10 N., R. 2 E., N.M.P.M. ZIMMERMAN ADDITION/MRGC0 MAP 39	DRAWN: T D J CHECKED: T D J DRAWING NO. SP110109.DWG	SCALE: 1" = 20' 12 NOV 2009	FILE NO. SP-11-01-2009 SHEET 1 OF 2

FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY
 THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
 UPC# 1 012 057 097 425 21811, 1 012 057 108 423 21810,
 1 012 057 091 423 21812, 1 012 057 094 416 21813, 1 012 057 094 182 21809
 PROPERTY OWNER OF RECORD:
 SALAS PROPERTIES LLC
 BERNALILLO COUNTY TREASURER'S OFFICE

05-12-10



A2 CONCEPTUAL SITE PLAN
 SCALE: 1" = 20'
 TRUE NORTH

AFD PLANS CHECKING OFFICE
 924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
 SIGNATURE & DATE

PHASING SCHEDULE

- PHASE 1: CONSTRUCT NEW WAREHOUSE BUILDING
- PHASE 2: DEMOLISH EXISTING WAREHOUSE BUILDING & RESIDENCE
- PHASE 3: CONSTRUCT NEW RESTAURANT FACILITY
- PHASE 4: DEMOLISH EXISTING RESTAURANT AND CANOPY STRUCTURES
- PHASE 5: CONSTRUCT ALL SITE WORK, PARKING AREAS AND DRIVE AISLES.

GENERAL NOTES

- A. PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED
- B. COORDINATE CURB CUTS FOR WATER DRAINAGE WITH CIVIL GRADING & DRAINAGE PLAN
- C. ALL EXISTING FENCING TO BE REMOVED COMPLETELY. NEW SOLID SCREEN WALL TO BE CONSTRUCTED AS SHOWN

KEYED NOTES

1. NEW 6" CONCRETE CURB.
2. NEW CONCRETE SIDEWALK.
3. NEW ASPHALT PAVING. SEE GEOTECHNICAL REPORT FOR PAVING SECTION.
4. LANDSCAPE AREA.
5. EXISTING CITY OF ALBUQUERQUE SIDEWALK WITH EXISTING HANDICAP RAMPS TO REMAIN.
6. NEW CURB CUT. CITY OF ALBUQUERQUE STANDARD DRIVEPAD DETAIL #2425.
7. EXISTING CURB CUT TO REMAIN AS IS. ACCESS GRANTED TO TRACT "A" BY "PLAT OF TRACT A - 8931982 LANDS OF M.R.G.C.D. MAP NO 39 SITUATE WITHIN PROJECTED SECTION 24, T.10N., R.2E., N.M.P.M. CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO JULY, 1988" WITH FINAL SIGN OFF AUGUST 10TH 1988, BY FRANKLIN E. WILSON. RECORDED IN VOL. C-38, PAGE 195.
8. NEW SIGHT LIGHT. SEE A1/AS-102.
9. BICYCLE RACK. SEE D5/AS-102.
10. LINE OF ENTRY CANOPY ABOVE.
11. EXISTING FIRE HYDRANT.
12. HANDICAP ACCESS AISLE STRIPING. SEE A2/AS-102.
13. EXISTING FIRE HYDRANT LOCATED ON CENTRAL IN FRONT OF NEIGHBORING RESTAURANT APPROXIMATELY 308' FROM PROPOSED NEW CONSTRUCTION.
14. ASPHALT STRIPING FOR "NO PARKING" AREA AND VEHICLE TURN-AROUND. ACCESS EASEMENT GRANTED TO TRACT "A" BY "PLAT OF TRACT A 8931982 LANDS OF M.R.G.C.D. MAP NO 39 SITUATE WITHIN PROJECTED SECTION 24, T.10N., R.2E., N.M.P.M. CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO JULY, 1988" WITH FINAL SIGN OFF AUGUST 10TH 1988, BY FRANKLIN E. WILSON. RECORDED IN VOL. C-38, PAGE 195.
15. EXISTING CURB CUTS TO BE REMOVED AND INFILLED TO BE FLUSH WITH ADJACENT CONCRETE C.O.A. SIDEWALK.
16. NEW PAVEMENT HANDICAP SIGN. SEE C2/AS-102.
17. EXISTING CONCRETE CURB TO REMAIN.
18. EXISTING ASPHALT PAVING.
19. EXISTING WAREHOUSE STRUCTURE TO BE DEMOLISHED COMPLETELY. REMOVE ANY AND ALL INFRASTRUCTURE INCLUDING UTILITIES, MECHANICAL, ELECTRICAL, PLUMBING, AND FOUNDATIONS.
20. EXISTING HOUSE STRUCTURE TO BE DEMOLISHED COMPLETELY. REMOVE ANY AND ALL INFRASTRUCTURE INCLUDING UTILITIES, MECHANICAL, ELECTRICAL, PLUMBING, AND FOUNDATIONS.
21. EXISTING FENCE TO BE DEMOLISHED COMPLETELY INCLUDING ALL FOUNDATIONS.
22. LINE OF EXISTING ASPHALT PAVING. ALL PAVING TO BE DEMOLISHED AND REPLACED NEW. REFER TO PHASING PLAN FOR DETAILS.
23. EXISTING CANOPY STRUCTURE TO BE DEMOLISHED COMPLETELY. REMOVE ANY AND ALL INFRASTRUCTURE INCLUDING, ELECTRICAL AND FOUNDATIONS.
24. EXISTING RESTAURANT TO BE DEMOLISHED COMPLETELY. REMOVE ANY AND ALL INFRASTRUCTURE INCLUDING UTILITIES, MECHANICAL, ELECTRICAL, PLUMBING, AND FOUNDATIONS. SALVAGE ALL EQUIPMENT TO OWNER. REFER TO PHASING PLAN FOR DETAILS.
25. NEW 12' WIDE X 10' DEEP INSIDE CLEAR BY 6' HIGH CMU DUMPSTER ENCLOSURE WITH A 4' WIDE X 10' DEEP INSIDE CLEAR RECYCLING AREA. GATES TO BE PAINTED TUBE STEEL WITH METAL PANEL INSERTS. SEE B4/AS-102.
26. NEW DRIVE-UP ORDER MENU.
27. DRIVE-UP FOOD PICK-UP WINDOW.
28. NEW 4' HIGH PATIO/YARD WALL.
29. NEW CUSTOM GATE TO OUTDOOR DINING.
30. NEW POLE MOUNTED ACCESSIBLE PARKING SIGNAGE. SEE C1/AS-102.
31. EXISTING WALL TO BE DEMOLISHED COMPLETELY INCLUDING ALL FOUNDATIONS.
32. NEW 6' HIGH CMU SCREEN WALL. SEE D4/AS-102.
33. NEW RAMP FOR HC ACCESS FROM CITY SIDEWALK. SEE C3/AS-102.
34. NEW TRUCK LOADING/UNLOADING ZONE.
35. EXISTING PROPERTY LINES.
36. EXISTING RESIDENCE TO BE DEMOLISHED COMPLETELY.
37. EXISTING PUBLIC BUS STOP AND EXISTING COVERED SHELTER.
38. LIGHT POLE AND OVERHEAD LINES TO BE REMOVED COMPLETELY.
39. EXISTING SIGN TO BE REMOVED COMPLETELY.
40. NEW DRIVE-UP PAY WINDOW.
41. EXISTING RESTAURANT SIGN TO REMAIN.
42. LANDSCAPE PLANTER AND BENCH. REFER TO LS-101.
43. EXISTING POWER POLE TO REMAIN.
44. EXISTING OVERHEAD POWER LINES TO REMAIN.

DESIGN CRITERIA

- MAXIMUM BUILDING HEIGHT: NORTH = 26' BUILDING HEIGHT
- MINIMUM BUILDING SETBACKS: EAST = 5' PER COA 14-16-2-15(E)
 WEST = 5' PER COA 14-16-2-15(E)
 SOUTH = 5' PER COA 14-16-2-15(E)
- SIGNAGE: ALL SIGNAGE SHALL COMPLY WITH THE C-2 COMMERCIAL ZONE 14-16-2-17 C-2 AND THE WEST ROUTE 44 SECTOR DEVELOPMENT PLAN. THE CENTRAL AVENUE NEON SIGN DESIGN OVERLAY ZONE HAS BEEN CONSIDERED WITH THE PLACEMENT OF NEON/LED ACCENTS AND BUILDING SIGNAGE.
- LANDSCAPE BUFFERS: NORTH = 10' PER COA 14-16-3-10(E)
 EAST = 6' PER COA 14-16-3-10(E)
 WEST = 6' PER COA 14-16-3-10(E)
 SOUTH = 10' PER COA 14-16-3-10(E)

PARKING CALCULATIONS

PARKING REQUIRED:

PER C.O.A. ZONING 14-16-3-1(A)26 RESTAURANT:	1 SPACE/4 SEATS 82 OCCUPANTS MAX	= 21 SPACES
TOTAL PARKING REQUIRED:		= 21 SPACES
PER C.O.A. ZONING 14-16-3-1(c)1 MOTORCYCLE PARKING		= 1 SPACE
PER C.O.A. ZONING 14-16-3-1(F)9g HANDICAP PARKING		= 1 (1 VAN)
PER C.O.A. ZONING 14-16-3-1(B)3 BICYCLE SPACES 1 PER 20 VEHICLES		= 2 SPACES

PARKING REDUCTIONS:

PER C.O.A. 14-16-3-1(E)6g TRANSIT REDUCTIONS 10% REDUCTION IF PROPERTY IS LOCATED WITHIN 300' OF TRANSIT ROUTE.		
TOTAL PARKING REQUIRED AFTER TRANSIT REDUCTIONS		= 19 SPACES

PARKING PROVIDED:

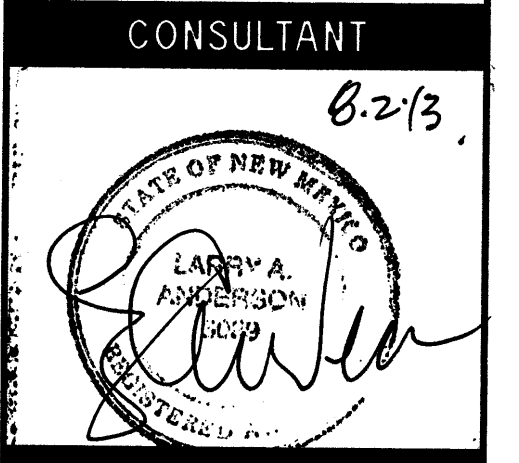
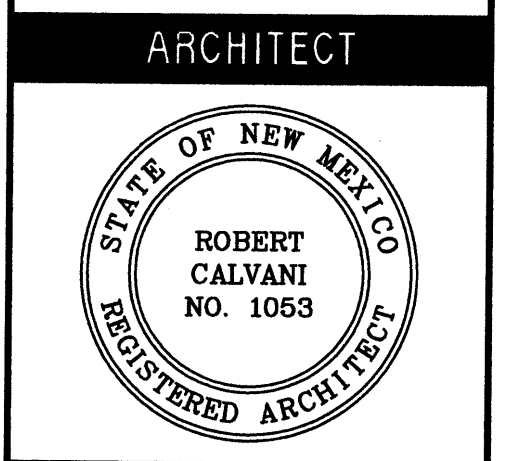
MOTORCYCLE PARKING PROVIDED	= 2 SPACES
HANDICAP PARKING PROVIDED INCLUDING	= 2 SPACES
BICYCLE SPACES PROVIDED	= 7 SPACES
TOTAL PARKING PROVIDED	= 24 SPACES

RADIUS INFO:
 TURNING RADIUS @ EACH CURB LOCATION

APPLICATION NUMBER:	PROJECT NUMBER:
CITY APPROVALS:	
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE DEPARTMENT	DATE



1306 RIO GRANDE BLVD NW
 ALBUQUERQUE, NM 87104
 505-255-8400 505-268-8954 FAX
 WWW.NCA-ARCHITECTS.COM



PROJECT TITLE
**BOB'S BURGERS
 W. CENTRAL
 &
 46TH STREET**
 ALBUQUERQUE
 NEW MEXICO

REVISIONS:

MK	DATE	DESCRIPTION

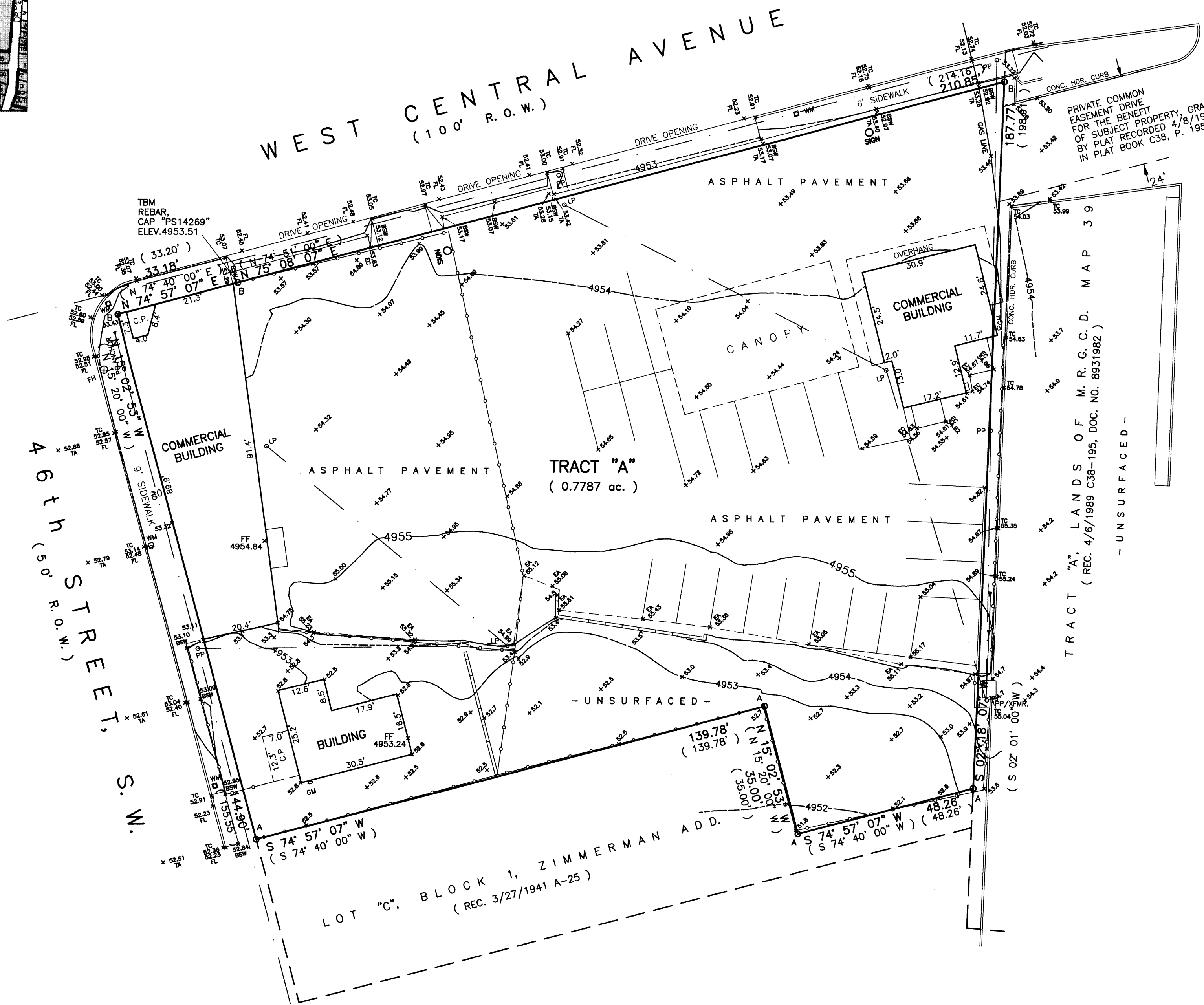
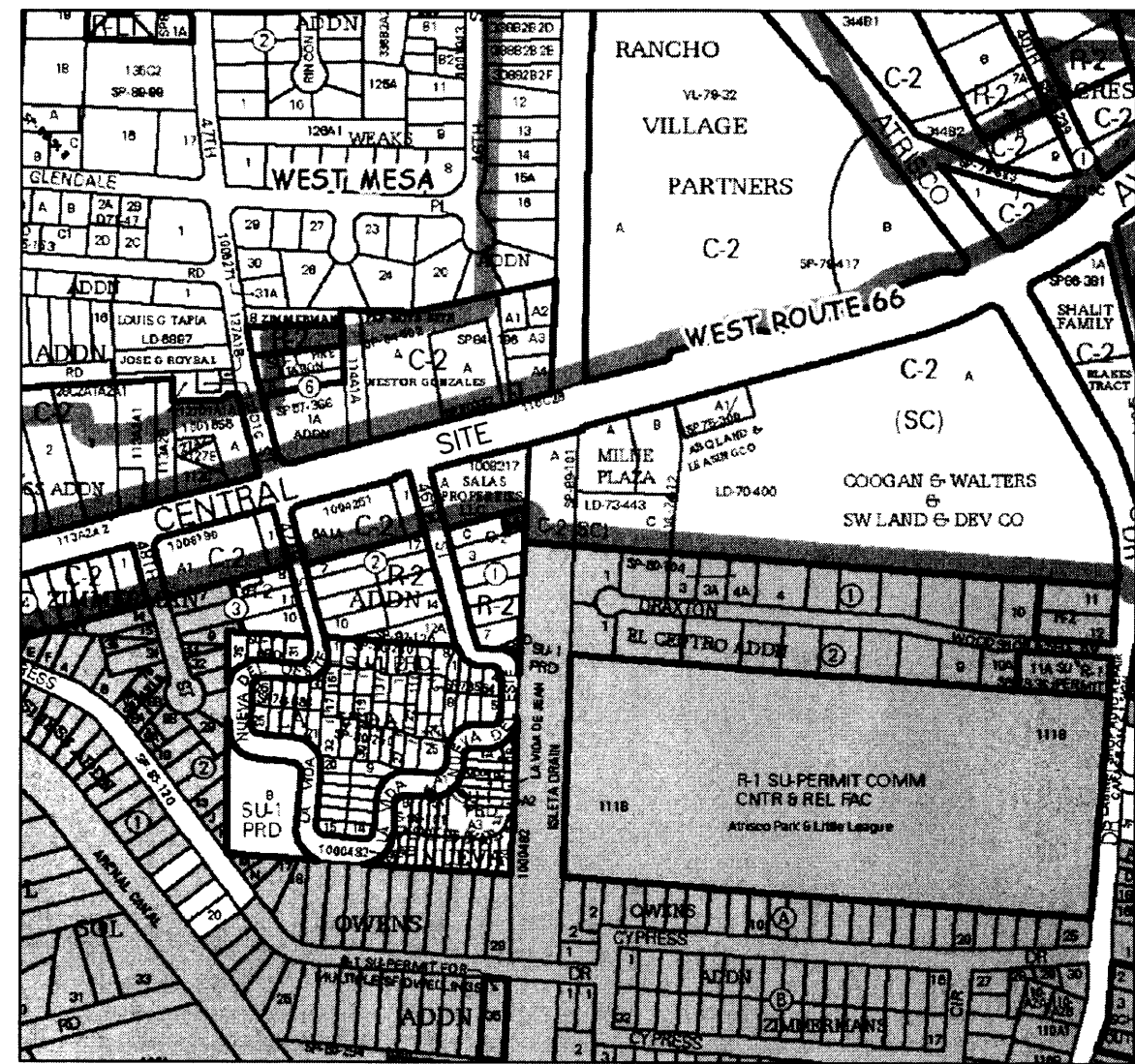
7.26.2013 PER DRB COMMENTS
 DRAWN BY: MG CHECKED BY: LA
 PROJECT NUMBER:
 A13.04
 DATE:
 JUNE 2013
 SHEET TITLE:

**ARCHITECTURAL
 SITE PLAN**
 SHEET NO:
AS-101

TRACT A

LANDS OF SALAS PROPERTIES, LLC
WITHIN PROJECTED SECTION 10, T.10N., R.2E., N.M.P.M.
WITHIN THE TOWN OF ATRISCO GRANT
ALBUQUERQUE, BERNALILLO COUNTY, NM
JUNE 2013

VICINITY MAP



LEGEND

- EM ELECTRIC METER
- GM GAS METER
- WV WATER VALVE
- WM WATER METER
- MH SANITARY SEWER MANHOLE
- OC SEWER CLEANOUT
- IRR IRRIGATION CONTROL VALVE/BOX
- FH FIRE HYDRANT
- PP POWER POLE
- ANCH ANCHOR
- LP LIGHT POLE
- SPOT ELEVATION
UNLESS OTHERWISE INDICATED, SPOT ELEVATIONS ARE TO NOTED SURFACE
- EA EDGE OF ASPHALT
- TA TOP OF ASPHALT
- TC TOP OF CURB / CONCRETE
- FL FLOWLINE
- TW TOP OF WALK OR WALL
- CHAIN LINK FENCE
- CONCRETE BLOCK WALL
- OVERHEAD POWER LINE
- GAS LINE
- 4955 INDEX CONTOURS @ 5' INTERVALS
- 4954 INTERMEDIATE CONTOURS @ 1' INTERVALS

SURVEY LEGAL DESCRIPTION

Tract lettered "A", LANDS OF SALAS PROPERTIES, LLC, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on May 12, 2010 in Book 2010C, page 58.

GENERAL NOTES

- Bearings are New Mexico State Plane Grid, based upon Albuquerque Control System Monumentation. All bearings and distances shown hereon are field measured. All bearings and distances shown in parenthesis are from the plat of record. All found and accepted monuments tagged with metal disk "PS 14269" where applicable.
- All distances are ground.
- Date of field survey: May 28, 2013
This survey is a retracement survey based upon found monuments and the plat of record. All title information regarding this property was provided by the property owner(s) of record. No Title Search was performed or provided to Wayjohn Surveying for use in this survey. Owner(s): Bob Salas
- PLAT/DEED INFORMATION:
a: Plat of Tract A, LANDS OF SALAS PROPERTIES, LLC, recorded on May 12, 2010, in Book 2010C, page 58.

It is hereby certified that this property is NOT located within a 100 year flood hazard boundary in accordance with current HUD Federal Administration Flood Hazard Boundary Maps. Zone X, Panel 350002 0329 H (August 16, 2012).

BENCH MARK

- BM: 27_K12, 1-3/4" metallic disc epoxied to the top of the SSE curb return of the intersection of Atrisco Dr. and Old Atrisco Dr. (40th Street extended) SW, Stamped "ACS BM 27-K12", ELEV. 4952.964 NAVD 1988
- TBM: Rebar, cap "PS14269", located on North property line of site ELEV. 4953.51

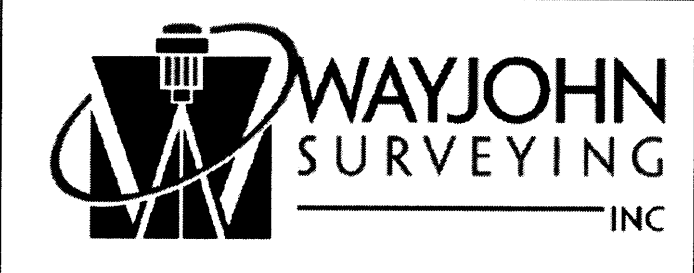
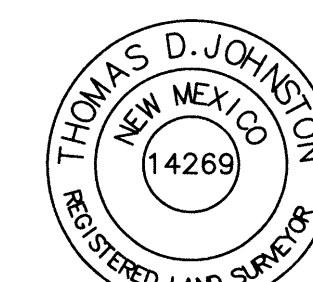
SURVEYOR'S CERTIFICATION

I, Thomas D. Johnston, a Registered Professional Surveyor licensed under the laws of the State of New Mexico, do hereby certify that this survey was performed by me or under my direct supervision, that all buildings, structures, and improvements on the property are shown hereon, that all easements of record or made known to me by the owner of record or by the title company are shown hereon, and that this survey was performed to the Minimum Standards for Land Surveys in the State of New Mexico as adopted May 1, 2007, and is true and correct to the best of my knowledge and belief. I further certify that this survey and plat do not meet the requirements of the City of Albuquerque or Bernalillo County Subdivision Ordinances, and is not intended to subdivide any parcel.

Thomas D. Johnston
Thomas D. Johnston, PS 14269

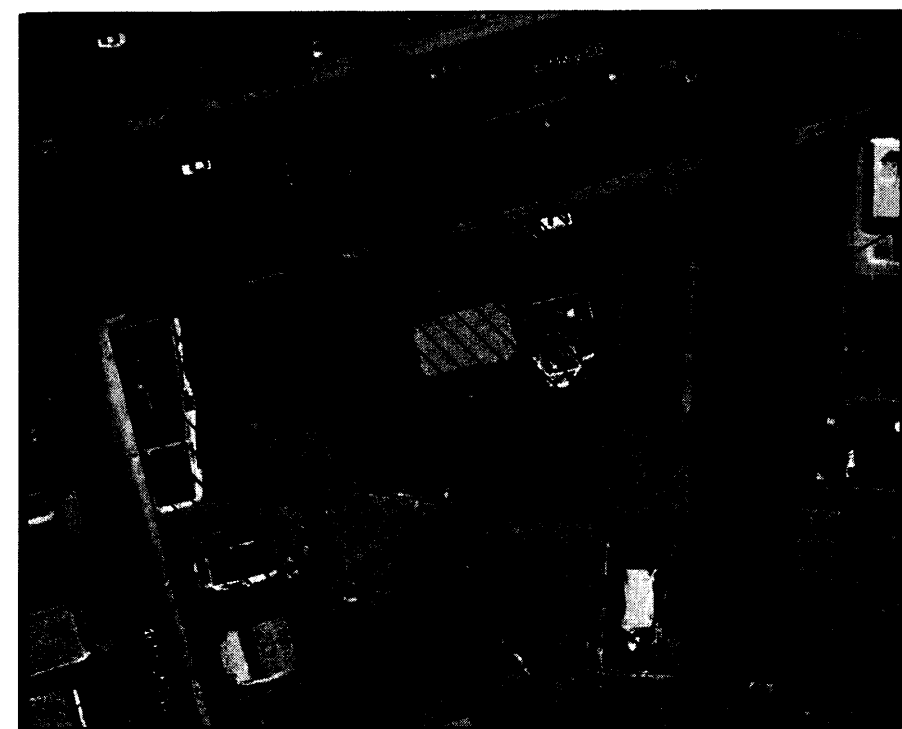
6/13/2013

Date

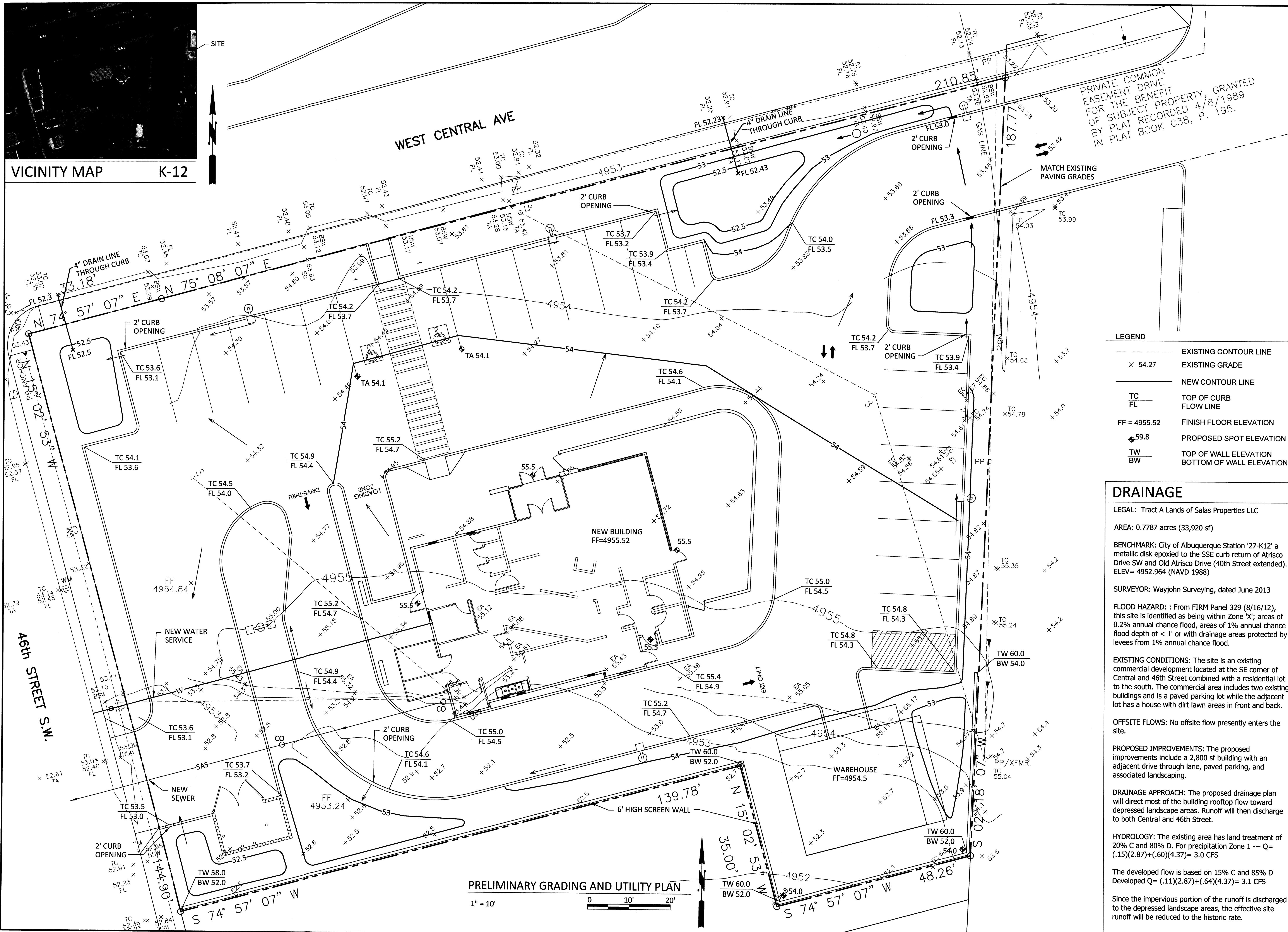


330 LOUISIANA BLVD., N.E.
ALBUQUERQUE, N.M. 87108
PHONE: (505) 255-2052 FAX: (505) 255-2887

DRAWN: E W K	SCALE: 1" = 20'	FILE NO. SC-5-07-13
CHECKED: T D J	DATE: 7/25/2013	SHEET 1 OF 1
DRAWING NO. SC50713.DWG		

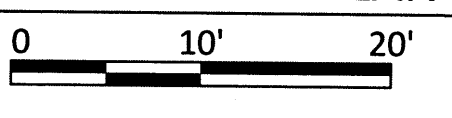


VICINITY MAP K-12



PRELIMINARY GRADING AND UTILITY PLAN

1" = 10'



PRIVATE COMMON EASEMENT DRIVE FOR THE BENEFIT OF SUBJECT PROPERTY, GRANTED BY PLAT BOOK C38, P. 195.

LEGEND

---	EXISTING CONTOUR LINE
x 54.27	EXISTING GRADE
---	NEW CONTOUR LINE
TC	TOP OF CURB
FL	FLOW LINE
FF = 4955.52	FINISH FLOOR ELEVATION
PS	PROPOSED SPOT ELEVATION
TW	TOP OF WALL ELEVATION
BW	BOTTOM OF WALL ELEVATION

DRAINAGE

LEGAL: Tract A Lands of Salas Properties LLC
AREA: 0.7787 acres (33,920 sf)
BENCHMARK: City of Albuquerque Station '27-K12' a metallic disk epoxied to the SSE curb return of Atrisco Drive SW and Old Atrisco Drive (40th Street extended). ELEV= 4952.964 (NAVD 1988)
SURVEYOR: Wayjohn Surveying, dated June 2013
FLOOD HAZARD: From FIRM Panel 329 (8/16/12), this site is identified as being within Zone 'X'; areas of 0.2% annual chance flood, areas of 1% annual chance flood depth of < 1' or with drainage areas protected by levees from 1% annual chance flood.
EXISTING CONDITIONS: The site is an existing commercial development located at the SE corner of Central and 46th Street combined with a residential lot to the south. The commercial area includes two existing buildings and is a paved parking lot while the adjacent lot has a house with dirt lawn areas in front and back.
OFFSITE FLOWS: No offsite flow presently enters the site.
PROPOSED IMPROVEMENTS: The proposed improvements include a 2,800 sf building with an adjacent drive through lane, paved parking, and associated landscaping.
DRAINAGE APPROACH: The proposed drainage plan will direct most of the building rooftop flow toward depressed landscape areas. Runoff will then discharge to both Central and 46th Street.
HYDROLOGY: The existing area has land treatment of 20% C and 80% D. For precipitation Zone 1 --- Q = (.15)(2.87) + (.60)(4.37) = 3.0 CFS
 The developed flow is based on 15% C and 85% D Developed Q = (.11)(2.87) + (.64)(4.37) = 3.1 CFS
 Since the impervious portion of the runoff is discharged to the depressed landscape areas, the effective site runoff will be reduced to the historic rate.



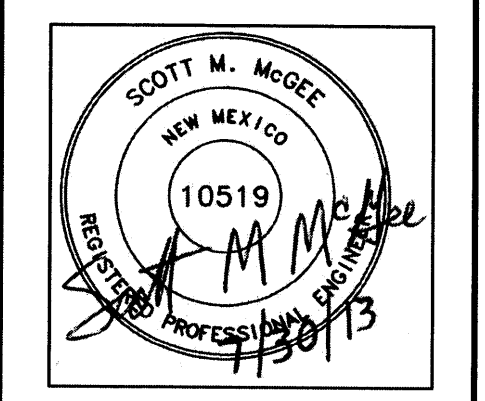
1306 RIO GRANDE BLVD NW
 ALBUQUERQUE, NM 87104
 505-265-6400 505-268-6954 FAX
 WWW.NCA-ARCHITECTS.COM

ARCHITECT
 CONSULTANT

PROJECT TITLE

**BOB'S BURGERS
 W. CENTRAL
 &
 46TH STREET**

**ALBUQUERQUE
 NEW MEXICO**



REVISIONS:

MK	DATE	DESCRIPTION

DRAWN BY: CB CHECKED BY: SM

PROJECT NUMBER:

A13.04

DATE:

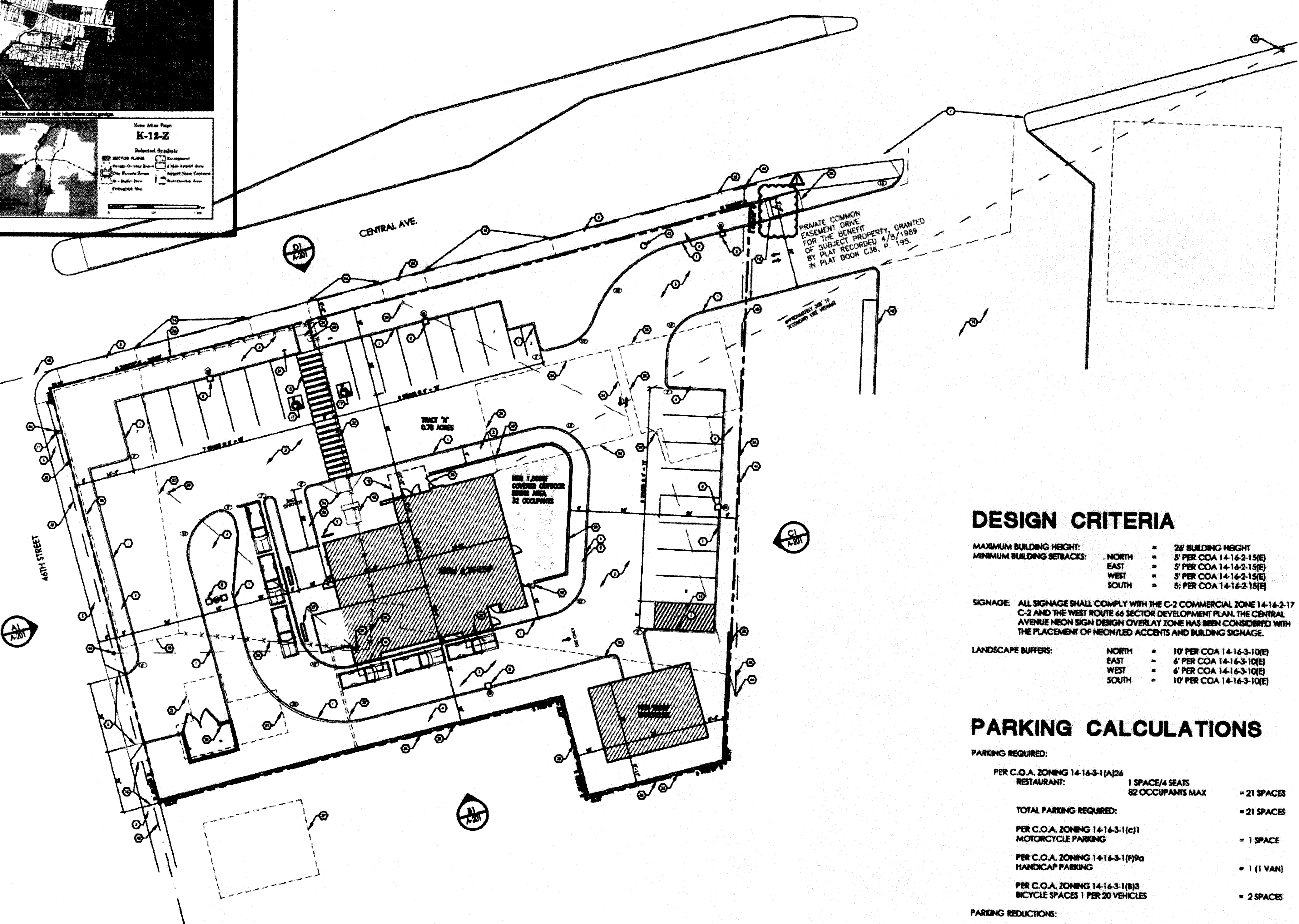
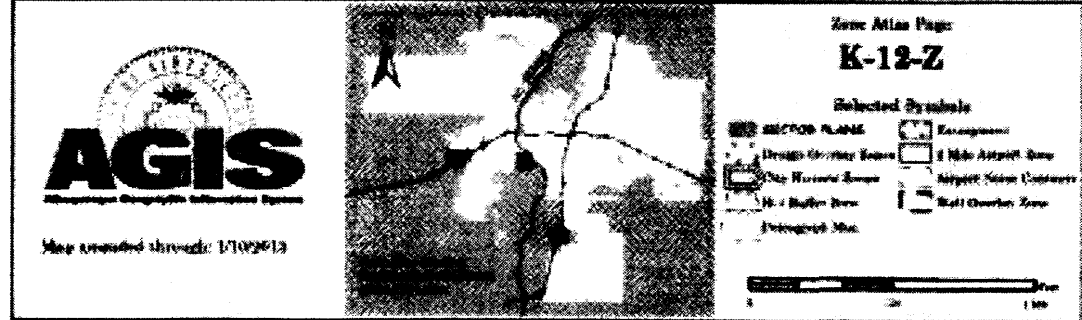
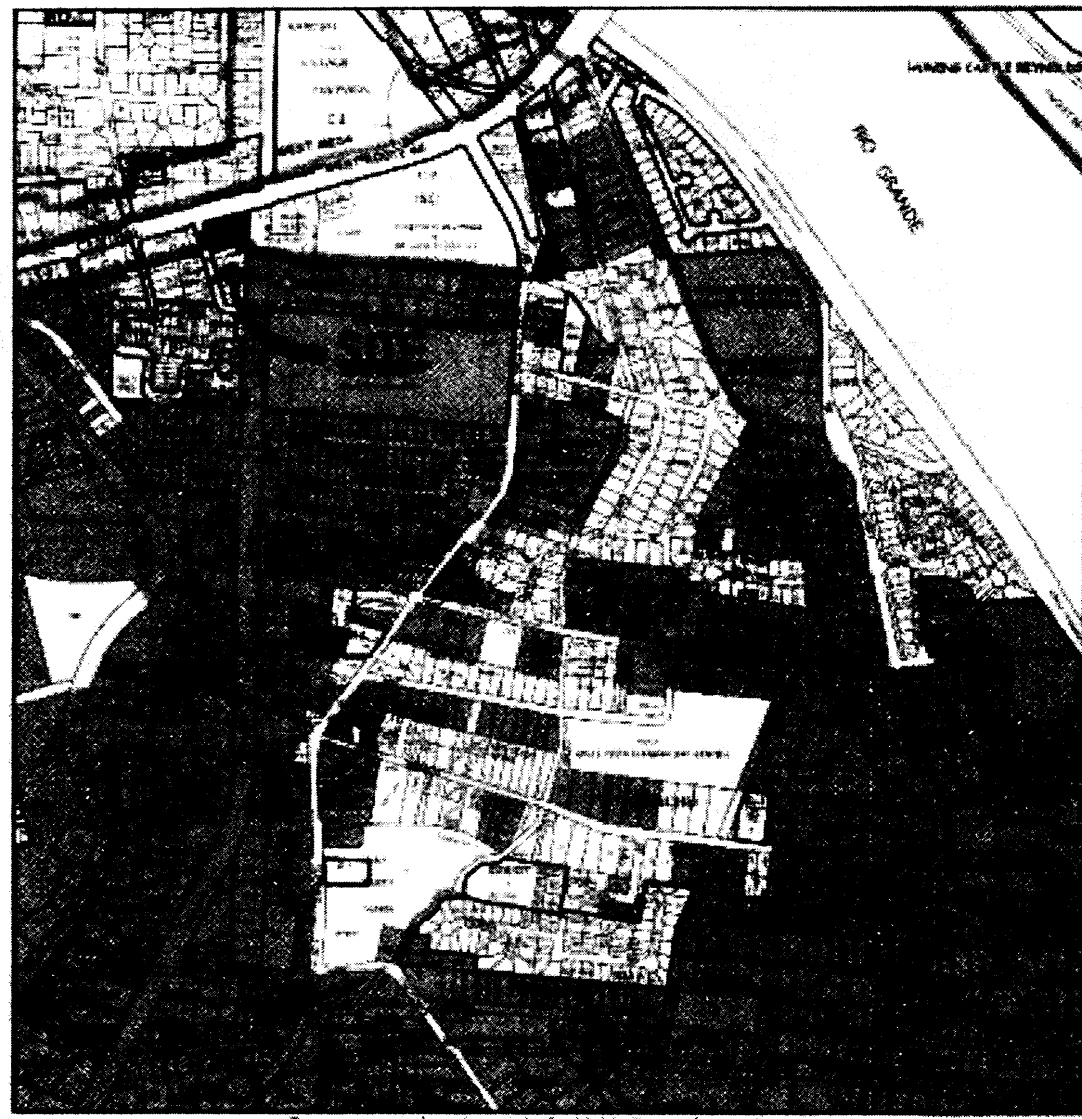
JUNE 19, 2013

SHEET TITLE:

PRELIMINARY GRADING AND UTILITY PLAN

SHEET NO.:

C-101



A2 CONCEPTUAL SITE PLAN
SCALE 1" = 20'

AFB PLANS ENGINEERING OFFICE
834-3811
APPROVED/UNAPPROVED
HYDRANT(S) ONLY
8-1-13
SIGNATURE & DATE

DESIGN CRITERIA

- MAXIMUM BUILDING HEIGHT:** NORTH = 28' BUILDING HEIGHT
MINIMUM BUILDING SETBACKS: NORTH = 5' PER COA 14-16-2-15(E)
 EAST = 5' PER COA 14-16-2-15(E)
 WEST = 5' PER COA 14-16-2-15(E)
 SOUTH = 5' PER COA 14-16-2-15(E)
- SIGNAGE:** ALL SIGNAGE SHALL COMPLY WITH THE C-2 COMMERCIAL ZONE 14-16-2-17 C-2 AND THE WEST ROUTE 66 SECTOR DEVELOPMENT PLAN. THE CENTRAL AVENUE NEON SIGN DESIGN OVERLAY ZONE HAS BEEN CONSIDERED WITH THE PLACEMENT OF NEON/LED ACCENTS AND BUILDING SIGNAGE.
- LANDSCAPE BUFFERS:** NORTH = 10' PER COA 14-16-3-10(E)
 EAST = 6' PER COA 14-16-3-10(E)
 WEST = 6' PER COA 14-16-3-10(E)
 SOUTH = 10' PER COA 14-16-3-10(E)

PARKING CALCULATIONS

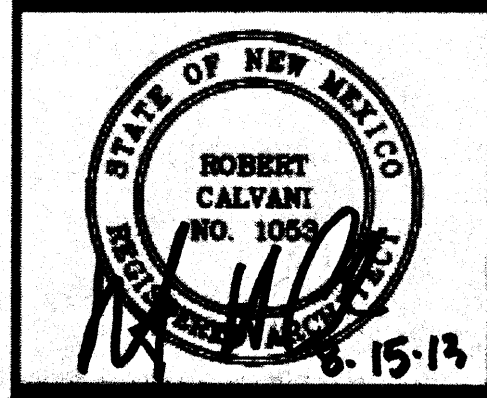
- PARKING REQUIRED:**
- PER C.O.A. ZONING 14-16-3-1(A)26 RESTAURANT: 1 SPACE/4 SEATS 82 OCCUPANTS MAX = 21 SPACES
 - TOTAL PARKING REQUIRED: = 21 SPACES
 - PER C.O.A. ZONING 14-16-3-1(C)1 MOTORCYCLE PARKING = 1 SPACE
 - PER C.O.A. ZONING 14-16-3-1(P)9a HANDICAP PARKING = 1 (1 VAN)
 - PER C.O.A. ZONING 14-16-3-1(B)3 BICYCLE SPACES 1 PER 20 VEHICLES = 2 SPACES
- PARKING REDUCTIONS:**
- PER C.O.A. 14-16-3-1(E)4a TRANSIT REDUCTIONS 10% REDUCTION IF PROPERTY IS LOCATED WITHIN 300' OF TRANSIT ROUTE.
 - TOTAL PARKING REQUIRED AFTER TRANSIT REDUCTIONS = 19 SPACES
- PARKING PROVIDED:**
- TOTAL PARKING PROVIDED = 24 SPACES
 - MOTORCYCLE PARKING PROVIDED = 2 SPACES
 - HANDICAP PARKING PROVIDED INCLUDING = 2 SPACES
 - BICYCLE SPACES PROVIDED = 7 SPACES

- GENERAL NOTES**
- A. PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - B. COORDINATE CURB CUTS FOR WATER DRAINAGE WITH CIVIL GRADING & DRAINAGE PLAN.
 - C. ALL EXISTING FENCING TO BE REMOVED COMPLETELY. NEW SOLID SCREEN WALL TO BE CONSTRUCTED AS SHOWN.
- KEYED NOTES**
1. NEW 6" CONCRETE CURB.
 2. NEW CONCRETE SIDEWALK.
 3. NEW ASPHALT PAVING. SEE GEOTECHNICAL REPORT FOR PAVING SECTION.
 4. LANDSCAPE AREA.
 5. EXISTING CITY OF ALBUQUERQUE SIDEWALK WITH EXISTING HANDICAP RAMP TO REMAIN.
 6. NEW CURB CUT. CITY OF ALBUQUERQUE STANDARD DRIVE/PAD DETAIL #2423.
 7. EXISTING CURB CUT TO REMAIN AS B. ACCESS GRANTED TO TRACT "A" BY "PLAT OF TRACT A - 8931982 LANDS OF M.R.G.C.D. MAP NO 39 SITUATE WITHIN PROJECTED SECTION 24, T.10N.R.2E., N.M.P.M. CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO JULY, 1988" WITH FINAL SIGN OFF AUGUST 10TH 1988, BY FRANKLIN E. WILSON, RECORDED IN VOL. C-38, PAGE 195.
 8. NEW SIGHT LIGHT. SEE A1/AS-102.
 9. BICYCLE RACK. SEE D5/AS-102.
 10. LINE OF ENTRY CANOPY ABOVE.
 11. EXISTING FIRE HYDRANT.
 12. HANDICAP ACCESS AISLE STRIPING. SEE A2/AS-102.
 13. EXISTING FIRE HYDRANT LOCATED ON CENTRAL IN FRONT OF NEIGHBORING RESTAURANT APPROXIMATELY 300' FROM PROPOSED NEW CONSTRUCTION.
 14. ASPHALT STRIPING FOR "NO PARKING" AREA AND VEHICLE TURN-AROUND. ACCESS EASEMENT GRANTED TO TRACT "A" BY "PLAT OF TRACT A 8931982 LANDS OF M.R.G.C.D. MAP NO 39 SITUATE WITHIN PROJECTED SECTION 24, T.10N.R.2E., N.M.P.M. CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO JULY, 1988" WITH FINAL SIGN OFF AUGUST 10TH 1988, BY FRANKLIN E. WILSON, RECORDED IN VOL. C-38, PAGE 195.
 15. EXISTING CURB CUTS TO BE REMOVED AND INFILLED TO BE FLUSH WITH ADJACENT CONCRETE C.O.A. SIDEWALK.
 16. NEW PAVEMENT HANDICAP SIGN. SEE C2/AS-102.
 17. EXISTING CONCRETE CURB TO REMAIN.
 18. EXISTING ASPHALT PAVING.
 19. EXISTING WAREHOUSE STRUCTURE TO BE DEMOLISHED COMPLETELY. REMOVE ANY AND ALL INFRASTRUCTURE INCLUDING UTILITIES, MECHANICAL, ELECTRICAL, PLUMBING, AND FOUNDATIONS.
 20. EXISTING HOUSE STRUCTURE TO BE DEMOLISHED COMPLETELY. REMOVE ANY AND ALL INFRASTRUCTURE INCLUDING UTILITIES, MECHANICAL, ELECTRICAL, PLUMBING, AND FOUNDATIONS.
 21. EXISTING FENCE TO BE DEMOLISHED COMPLETELY INCLUDING ALL FOUNDATIONS.
 22. LINE OF EXISTING ASPHALT PAVING. ALL PAVING TO BE DEMOLISHED AND REPLACED NEW. REFER TO PHASING PLAN FOR DETAILS.
 23. EXISTING CANOPY STRUCTURE TO BE DEMOLISHED COMPLETELY. REMOVE ANY AND ALL INFRASTRUCTURE INCLUDING ELECTRICAL AND FOUNDATIONS.
 24. EXISTING RESTAURANT TO BE DEMOLISHED COMPLETELY. REMOVE ANY AND ALL INFRASTRUCTURE INCLUDING UTILITIES, MECHANICAL, ELECTRICAL, PLUMBING, AND FOUNDATIONS. SALVAGE ALL EQUIPMENT TO OWNER. REFER TO PHASING PLAN FOR DETAILS.
 25. NEW 12' WIDE x 10' DEEP INSIDE CLEAR BY 6' HIGH CMU DUMPSTER ENCLOSURE WITH A 4' WIDE x 10' DEEP INSIDE CLEAR RECYCLING AREA. GATES TO BE PAINTED TUBE STEEL WITH METAL PANEL INSERTS. SEE B4/AS-102.
 26. NEW DRIVE-UP ORDER MENU.
 27. DRIVE-UP FOOD PICK-UP WINDOW.
 28. NEW 4' HIGH PATIO/YARD WALL.
 29. NEW CUSTOM GATE TO OUTDOOR DINING.
 30. NEW POLE MOUNTED ACCESSIBLE PARKING SIGNAGE. SEE C1/AS-102.
 31. EXISTING WALL TO BE DEMOLISHED COMPLETELY INCLUDING ALL FOUNDATIONS.
 32. NEW 6' HIGH CMU SCREEN WALL. SEE D4/AS-102.
 33. NEW RAMP FOR HC ACCESS FROM CITY SIDEWALK. SEE C3/AS-102.
 34. NEW TRUCK LOADING/UNLOADING ZONE.
 35. EXISTING PROPERTY LINES.
 36. EXISTING RESIDENCE TO BE DEMOLISHED COMPLETELY.
 37. EXISTING PUBLIC BUS STOP AND EXISTING COVERED SHELTER.
 38. EXISTING LIGHT POLE AND OVERHEAD LINES TO BE REMOVED COMPLETELY.
 39. EXISTING SIGN TO BE REMOVED COMPLETELY.
 40. NEW DRIVE-UP PA WINDOW.
 41. EXISTING RESTAURANT SIGN TO REMAIN.
 42. LANDSCAPE PLANTER AND BENCH. REFER TO LS-101.
 43. EXISTING POWER POLE TO REMAIN.
 44. EXISTING OVERHEAD POWER LINES TO REMAIN.
- RADIUS INFO:**
- TURNING RADIUS @ EACH CURB LOCATION

APPROVAL NUMBER	PROJECT NUMBER
CITY APPROVALS:	
DESIGN PROFESSIONAL PLANNING REVIEW/REVISION	DATE
WWW ENGINEERING, WASHINGTON DESIGN	DATE
LANDSCAPE DEVELOPMENT	DATE
PLANS AND REVISIONS MANAGEMENT	DATE
CITY COMMENTS:	
ADD COMMENTS	DATE
DATE SUBMITTED	DATE



1308 RIO GRANDE BLVD NW
ALBUQUERQUE, NM 87104
505-255-8400 505-288-0854 FAX
WWW.NCA-ARCHITECTS.COM



**BOB'S BURGERS
W. CENTRAL
&
46TH STREET
ALBUQUERQUE
NEW MEXICO**

MK	DATE	DESCRIPTION

MG LA
A13.04
JUNE 2013

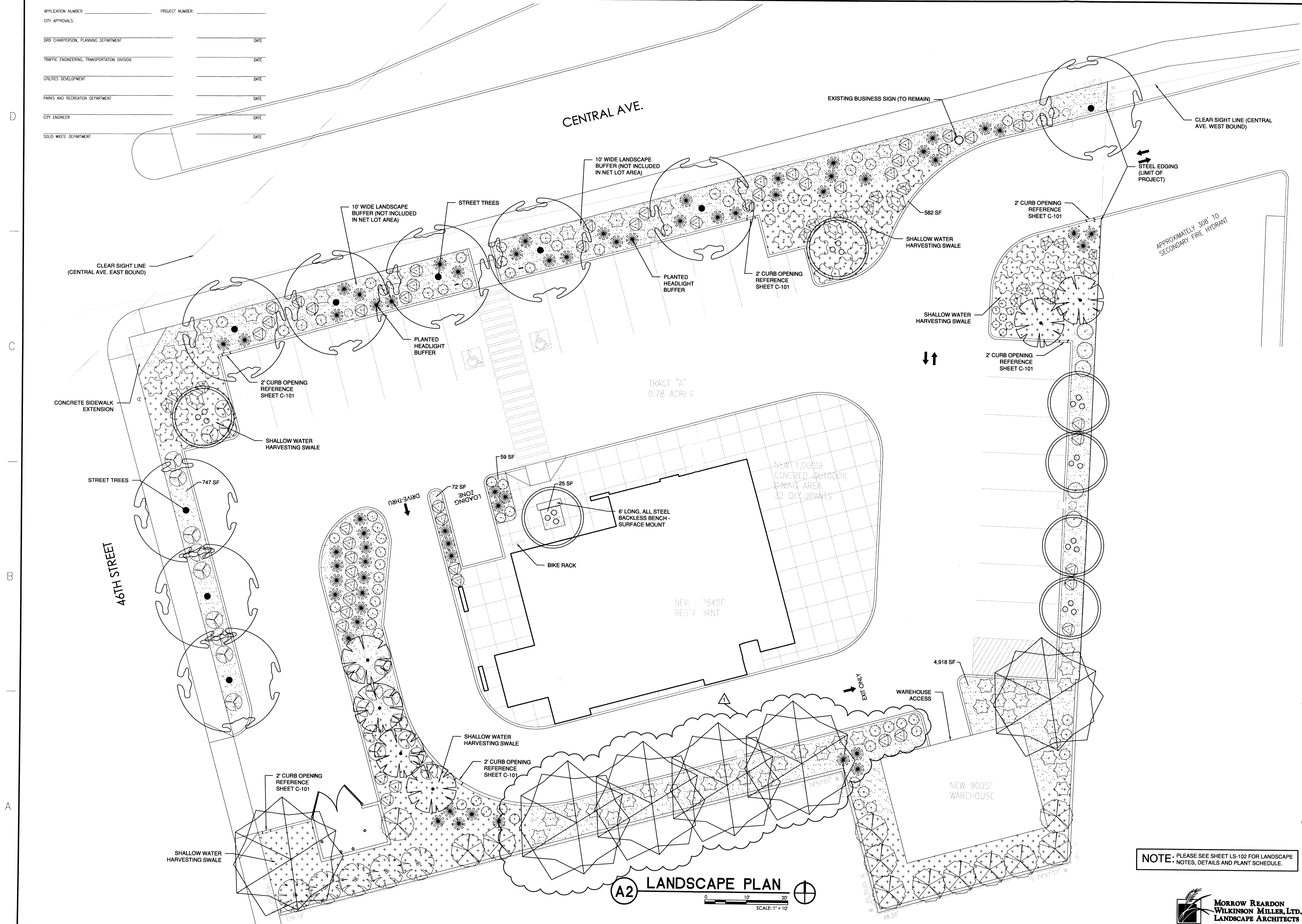
**ARCHITECTURAL
SITE PLAN**

AS-101

APPLICATION NUMBER: _____ PROJECT NUMBER: _____
 CITY APPROVALS:
 DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____
 TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____
 UTILITIES DEVELOPMENT _____ DATE _____
 PARKS AND RECREATION DEPARTMENT _____ DATE _____
 CITY ENGINEER _____ DATE _____
 SOLID WASTE DEPARTMENT _____ DATE _____

D
C
B
A

1 2 3 4 5



A2 LANDSCAPE PLAN
 SCALE: 1" = 10'

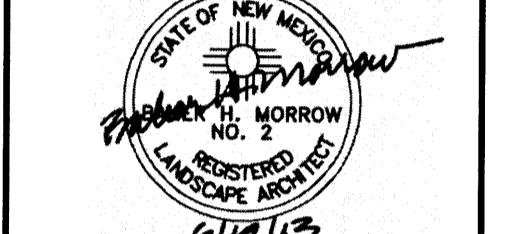
NOTE: PLEASE SEE SHEET LS-102 FOR LANDSCAPE NOTES, DETAILS AND PLANT SCHEDULE.



1306 RIO GRANDE BLVD NW
 ALBUQUERQUE, NM 87104
 505-255-6400 505-268-6954 FAX
 WWW.NCA-ARCHITECTS.COM

ARCHITECT

CONSULTANT



FOR REVIEW ONLY
 NOT FOR
 CONSTRUCTION
 PROJECT TITLE

**BOB'S BURGERS
 W. CENTRAL
 &
 46TH STREET**

ALBUQUERQUE
 NEW MEXICO

REVISIONS:

NO.	DATE	DESCRIPTION

8/15/13 PER DRB COMMENTS
 MK DATE DESCRIPTION

DRAWN BY: AA CHECKED BY: BHM

PROJECT NUMBER:
 A13.04

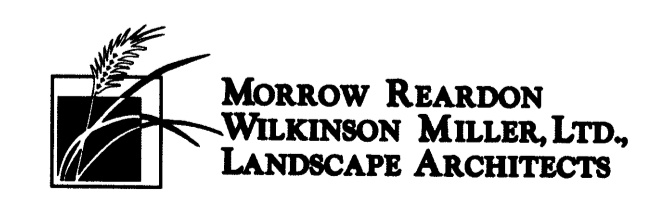
DATE:
 JUNE 2013

SHEET TITLE:
 LANDSCAPE PLAN

LANDSCAPE PLAN

SHEET NO:

LS-101



APPLICATION NUMBER: _____ PROJECT NUMBER: _____
 CITY APPROVALS: _____ DATE: _____
 DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE: _____
 TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE: _____
 UTILITIES DEVELOPMENT _____ DATE: _____
 PARKS AND RECREATION DEPARTMENT _____ DATE: _____
 CITY ENGINEER _____ DATE: _____
 SOLID WASTE DEPARTMENT _____ DATE: _____

LANDSCAPE AREA	
NET LOT AREA:	
TOTAL LOT AREA	33,960 SF
LESS TOTAL BUILDING AREA	3,654 SF
LESS ROW LANDSCAPING	2,255 SF
NET LOT AREA	28,051 SF
LANDSCAPE AREA REQUIREMENT: (15% OF NET LOT AREA)	4,208 SF
TOTAL LANDSCAPE AREA PROVIDED: (23% OF NET LOT AREA)	6,403 SF

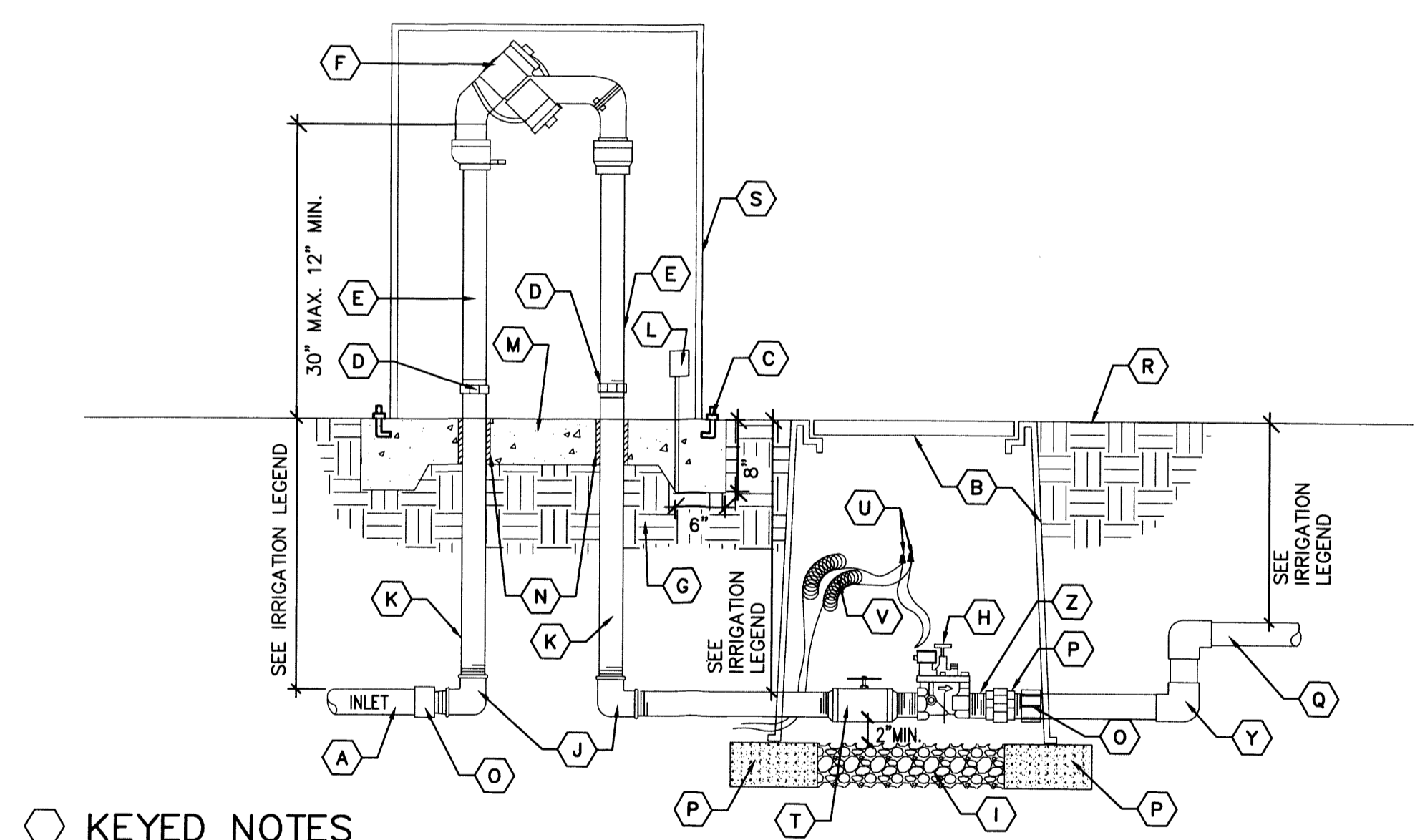
LEGEND	
	BOULDER. SEE NOTE #8.
	SMALL GRAVEL MULCH. SEE NOTE #7.
	LARGE GRAVEL MULCH. SEE NOTE #10.

VEGETATIVE GROUND COVER	
LANDSCAPE AREA REQUIREMENT: (15% OF NET LOT AREA)	4,208 SF
TOTAL VEGETATIVE GROUND COVER AREA PROVIDED: (98% OF REQUIRED LANDSCAPE AREA)	4,138 SF

- LANDSCAPE NOTES**
- THIS PLAN IS IN COMPLIANCE WITH THE CITY OF ALBUQUERQUE REQUIREMENTS AS FOLLOWS:
 - LANDSCAPE ORDINANCE
 - WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE
 - POLLEN ORDINANCE
 - STREET TREE ORDINANCE
 - THIS PLAN HAS NO TURF OR HIGH WATER-USE LANDSCAPING (0%).
 - AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED FOR ALL PLANT MATERIAL. TREES AND SHRUBS SHALL BE IRRIGATED WITH A BUBBLER SYSTEM. TWO .5 GPM BUBBLERS PER TREE AND ONE 0.25 GPM BUBBLER PER SHRUB WILL BE PROVIDED. A BACKFLOW PREVENTER WILL BE PROVIDED TO PROTECT THE DOMESTIC WATER LINE FROM CROSS-CONTAMINATION PER DETAIL A1, THIS SHEET.
 - THE OWNER WILL ASSUME RESPONSIBILITY FOR MAINTENANCE OF THE LANDSCAPE.
 - TREES AND SHRUBS SHALL BE PLANTED PER DETAILS A3 AND A5, THIS SHEET
 - SMALL GRAVEL MULCH SHALL BE A 3" DEPTH OF 3/8"-5/8" WARM TONE CRUSHED GRAVEL MULCH ('CANYON GOLD' OR EQUAL) WITH FILTER FABRIC UNDER AND SHALL BE INSTALLED THROUGHOUT PLANTING BEDS, EXCEPT WHERE MULCH IS NOTED LARGE GRAVEL MULCH.
 - BOULDERS SHALL BE 12 C.F. TO 18 C.F. MOSS ROCK BURIED 1/4 TO 1/3 OF MASS.
 - SEE THE UTILITY PLAN FOR LOCATIONS OF ALL EXISTING AND PROPOSED UTILITIES.
 - LARGE GRAVEL MULCH SHALL BE A 4" DEPTH OF 2"-4" WARM TONE CRUSHED GRAVEL MULCH ('CANYON GOLD' OR EQUAL) WITH FILTER FABRIC UNDER AND SHALL BE INSTALLED AS SHOWN ON THE PLAN.
 - SEE SHEET SHEET C-101 FOR TOPOGRAPHIC INFORMATION AND CONCEPTUAL GRADING.
 - SEE SHEET C-101 FOR EXISTING AND PROPOSED UTILITY INFORMATION.

PROPOSED PLANT SCHEDULE

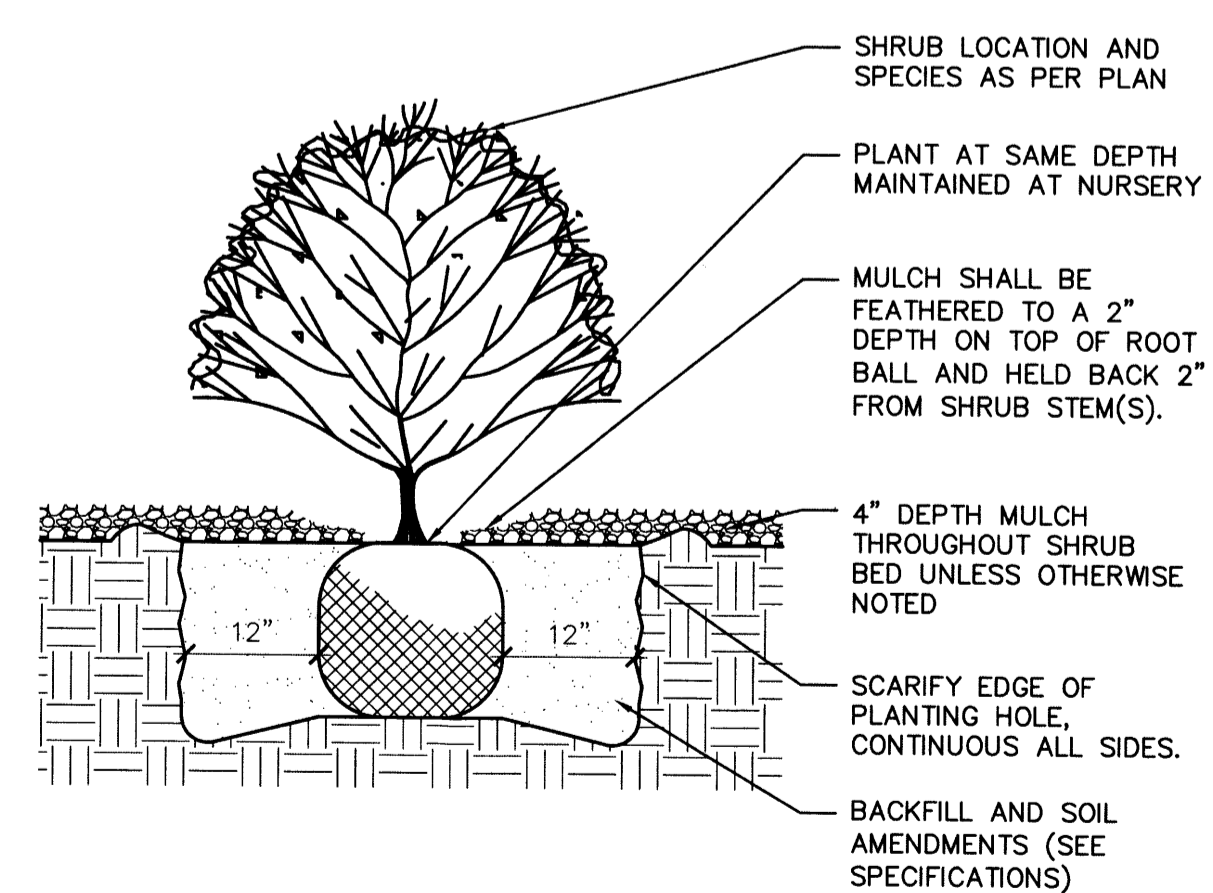
SYMBOL	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE		CONDITION	WATER USE
				INSTALLED	MATURE		
TREES							
	Alghan Pine	<i>Pinus eldarica</i>	6	Min. 6' ht.	40' ht. & 25' spd.	B & B	L
	Desert Willow	<i>Chilopsis linearis</i>	7	5-7' ht.	15' ht. & 15' spd.	B & B Multi-trunk	L
	Honey Locust	<i>Gledisia triacanthos inermis 'Imperial'</i>	9	2" cal. 12-14' ht.	30' ht. & 25' spd.	B & B	M
	Mexican Elder	<i>Sambucus mexicana</i>	6	Min. 4' ht.	15' ht. & 12' spd.	#15	M
SHRUBS/ORNAMENTAL GRASSES							
	Apache Plume	<i>Fallugia paradoxa</i>	5	Min. 18" ht.	4' ht. & spd.	1-gal	L
	Bearberry Cotoneaster	<i>Cotoneaster dammeri</i>	44	Min. 18" spd.	4' ht. & spd.	1-gal	L
	Coral Flowered Yucca	<i>Hesperaloe parviflora</i>	61	Min. 12" ht.	3' ht. & spd.	1-gal	L
	Creeping Sand Cherry	<i>Prunus besseyi 'Pawnee Buttes'</i>	23	Min. 18" spd.	1.5' ht. & 4' spd.	1-gal	L
	Crimson Pygmy Barberry	<i>Berberis thunbergii 'Crimson Pygmy'</i>	42	Min. 8" ht.	2.5' ht. & spd.	1-gal	M
	Dwarf Rabbitbrush	<i>Chrysothamnus nauseosus nauseosus</i>	34	Min. 8" ht.	2' ht. & 2.5' spd.	1-gal	L
	Gro-Low Sumac	<i>Rhus aromatica 'Gro-Low'</i>	27	Min. 12" spd.	2.5' ht. & 4' spd.	1-gal	L
	Rosewood	<i>Vauquelinia californica</i>	12	Min. 18" ht.	15' ht. & 8' spd.	5-gal	L
	Turpentine Bush	<i>Ericameria laricifolia</i>	49	Min. 12" ht.	3' ht. & spd.	1-gal	L
	Silver Berry	<i>Elaeagnus pungens</i>	5	Min. 24" ht.	6' ht. & 8' spd.	5-gal	L



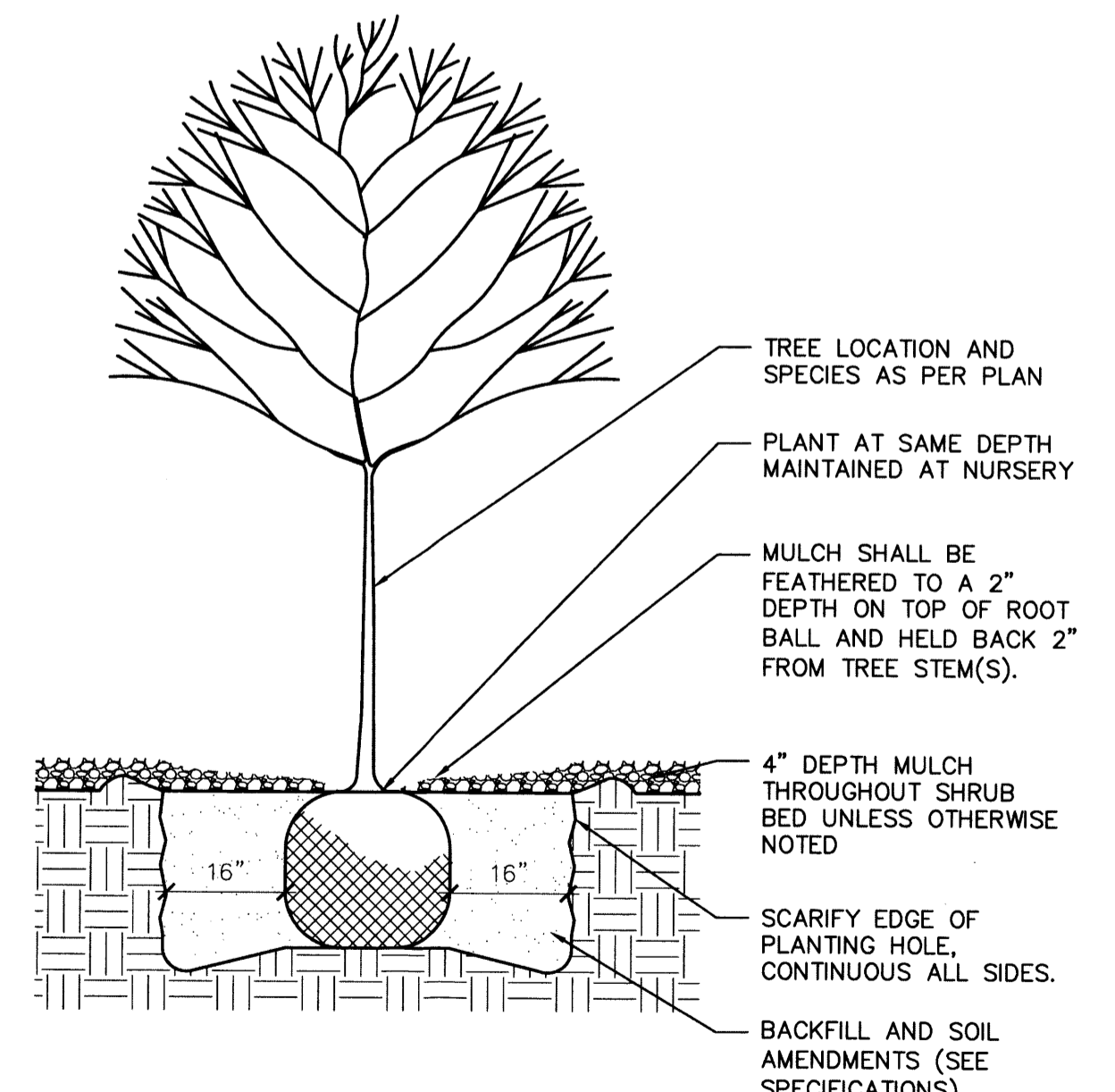
KEYED NOTES

- PVC MAINLINE
- APPLIED ENGINEERING PRODUCTS 1730-P2P VALVE BOX W/ ABS BOLT DOWN FLUSH COVER AND EXTENSIONS AS REQUIRED. COLOR: TAN.
- 2"x6" ANCHOR BOLTS, FOUR PER BOX
- GALVANIZED UNION (MIN. 4" ABOVE GRADE)
- GALVANIZED NIPPLE
- REDUCED PRESSURE BACKFLOW PREVENTER. SEE IRRIGATION LEGEND.
- 95% COMPACTED SUBGRADE
- MASTER VALVE - SEE IRRIGATION LEGEND
- 6" DEPTH, 1" ROUND GRAVEL
- GALVANIZED ELL
- GALVANIZED RISER
- 110V ELECTRICAL OUTLET FOR HEATED PROTECTIVE ENCLOSURE. PLACE AWAY FROM RELIEF VALVE.
- MIN. 4" THICK 4000 PSI CONCRETE SLAB WITH TURNDOWN EDGE.
- PVC SLEEVING & INSULATION (MIN. 1" THICK).
- SCH. 40 PVC MALE ADAPTER.
- 8" x 8" x 16" SOLID CMU BLOCK, FOUR PER BOX.
- NON-CONSTANT PRESSURE IRRIGATION MAINLINE.
- FINISH GRADE.
- PROTECTIVE BACKFLOW ENCLOSURE - SEE IRRIGATION LEGEND.
- SPEARS TRUE UNION SCH. 80 PVC BALL VALVE.
- WATERPROOF WIRE SPLICE.
- 36" WIRE LOOPS.
- GALVANIZED NIPPLE, 36" LENGTH.
- SPEARS SCH. 80 PVC UNION.
- MAIN LINE ELL, 90 DEG.
- SCH. 80 PVC NIPPLE, 3" LENGTH.

A1 BACKFLOW PREVENTER & MASTER VALVE ASSEMBLY
SCALE: N.T.S.



A3 SHRUB PLANTING
SCALE: N.T.S.



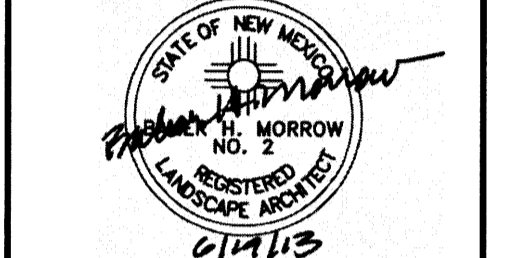
A5 TREE PLANTING
SCALE: N.T.S.



1306 RIO GRANDE BLVD NW
ALBUQUERQUE, NM 87104
505-255-6400 505-268-6954 FAX
WWW.NCA-ARCHITECTS.COM

ARCHITECT

CONSULTANT



FOR REVIEW ONLY
NOT FOR
CONSTRUCTION

PROJECT TITLE

**BOB'S BURGERS
W. CENTRAL
&
46TH STREET**

ALBUQUERQUE
NEW MEXICO

REVISIONS:

NO.	DATE	DESCRIPTION

8/15/13 PER DRB COMMENTS
MK DATE DESCRIPTION

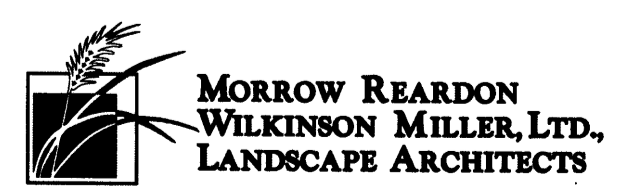
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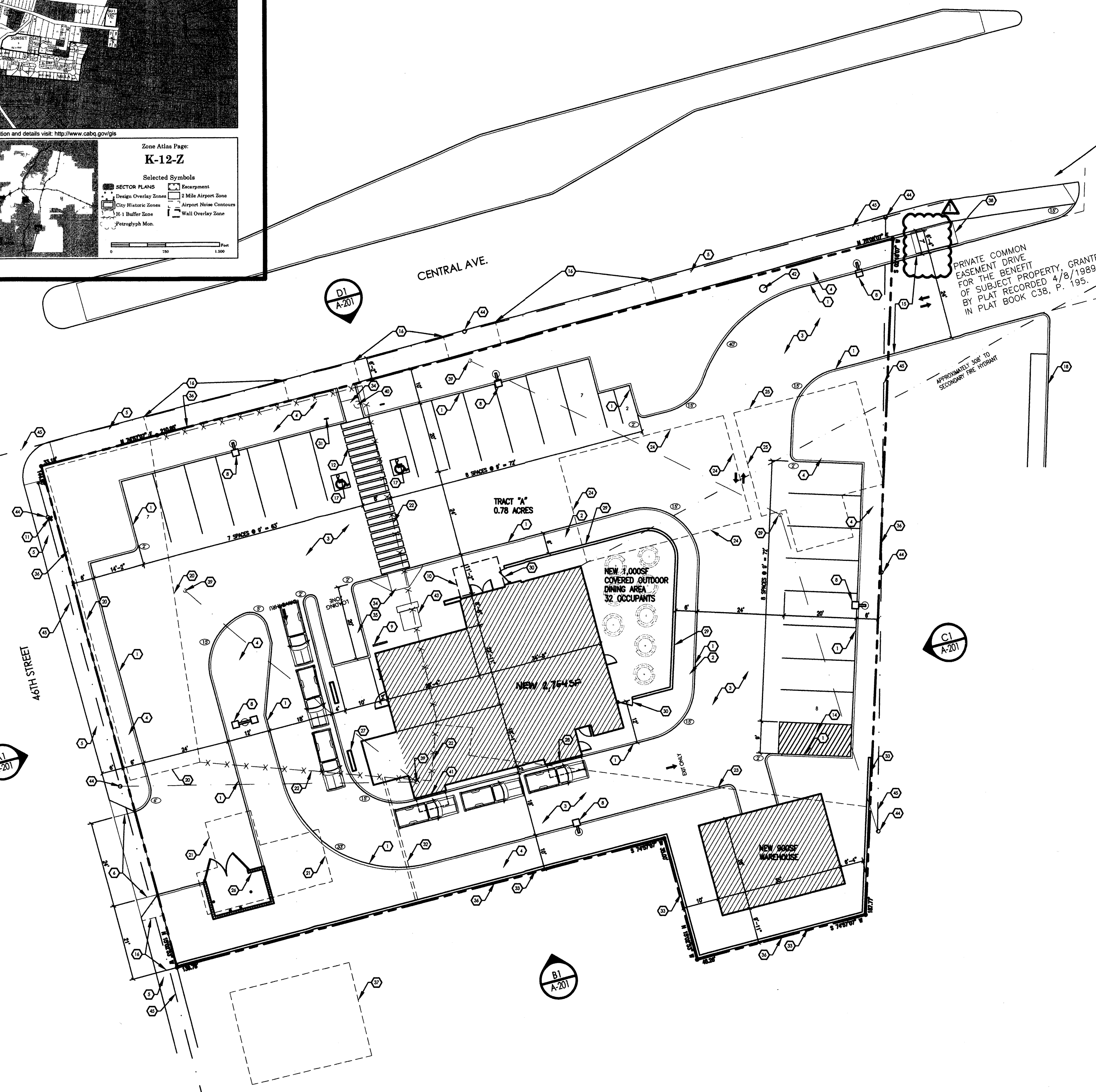
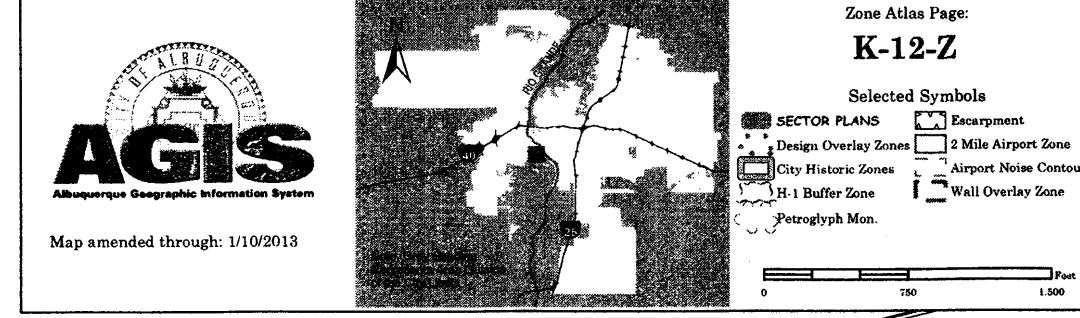
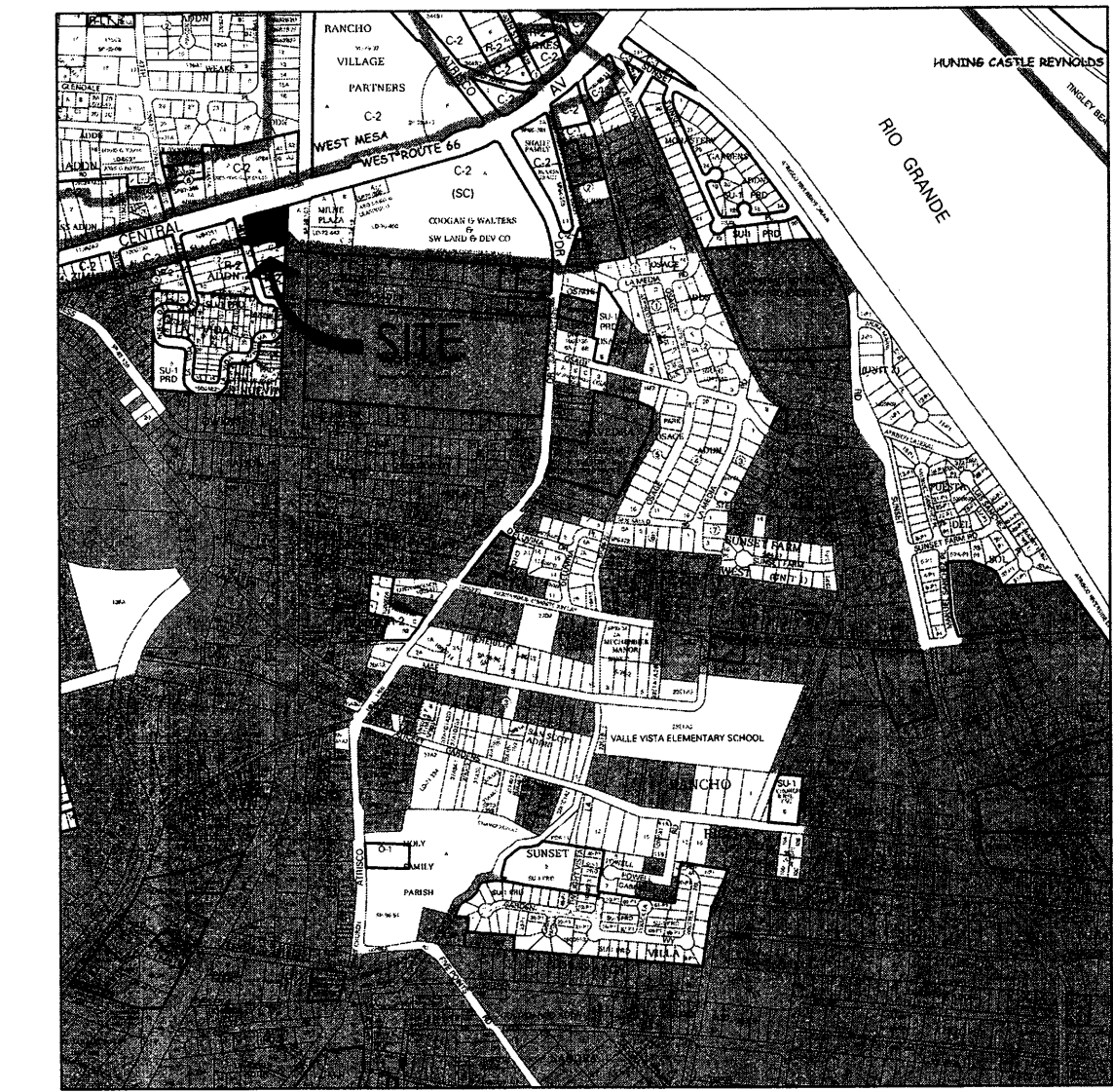
PROJECT NUMBER:
A13.04

DATE:
JUNE 2013

SHEET TITLE:
LANDSCAPE PLANT SCHEDULE,
LANDSCAPE NOTES,
& DETAILS

SHEET NO:
LS-102





(A2) CONCEPTUAL SITE PLAN
SCALE: 1" = 20'
TRUE NORTH

AFD PLANS CHECKING OFFICE
824-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
RC JAV 8-1-2013
SIGNATURE & DATE

PHASING SCHEDULE

- PHASE 1: CONSTRUCT NEW WAREHOUSE BUILDING
- PHASE 2: DEMOLISH EXISTING WAREHOUSE BUILDING & RESIDENCE
- PHASE 3: CONSTRUCT NEW RESTAURANT FACILITY
- PHASE 4: DEMOLISH EXISTING RESTAURANT AND CANOPY STRUCTURES
- PHASE 5: CONSTRUCT ALL SITE WORK, PARKING AREAS AND DRIVE AISLES.

GENERAL NOTES

- A. PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED
- B. COORDINATE CURB CUTS FOR WATER DRAINAGE WITH CIVIL GRADING & DRAINAGE PLAN
- C. ALL EXISTING FENCING TO BE REMOVED COMPLETELY. NEW SOLID SCREEN WALL TO BE CONSTRUCTED AS SHOWN.

KEYED NOTES

- 1. NEW 6" CONCRETE CURB.
- 2. NEW CONCRETE SIDEWALK.
- 3. NEW ASPHALT PAVING. SEE GEOTECHNICAL REPORT FOR PAVING SECTION.
- 4. LANDSCAPE AREA.
- 5. EXISTING CITY OF ALBUQUERQUE SIDEWALK WITH EXISTING HANDICAP RAMPS TO REMAIN.
- 6. NEW CURB CUT, CITY OF ALBUQUERQUE STANDARD DRIVEPAD DETAIL #2425.
- 7. EXISTING CURB CUT TO REMAIN AS IS. ACCESS GRANTED TO TRACT "A" BY "PLAT OF TRACT A - 8931982 LANDS OF M.R.G.C.D., MAP NO 39 SITUATE WITHIN PROJECTED SECTION 24, T.10N., R.2E., N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO JULY, 1988" WITH FINAL SIGN OFF AUGUST 10TH 1988, BY FRANKLIN E. WILSON, RECORDED IN VOL. C-38, PAGE 195.
- 8. NEW SIGHT LIGHT. SEE A1/AS-102.
- 9. BICYCLE RACK. SEE D5/AS-102.
- 10. LINE OF ENTRY CANOPY ABOVE.
- 11. EXISTING FIRE HYDRANT.
- 12. HANDICAP ACCESS AISLE STRIPING. SEE A2/AS-102
- 13. EXISTING FIRE HYDRANT LOCATED ON CENTRAL IN FRONT OF NEIGHBORING RESTAURANT APPROXIMATELY 308' FROM PROPOSED NEW CONSTRUCTION.
- 14. ASPHALT STRIPING FOR "NO PARKING" AREA AND VEHICLE TURN-AROUND, ACCESS EASEMENT GRANTED TO TRACT "A" BY "PLAT OF TRACT A 8931982 LANDS OF M.R.G.C.D., MAP NO 39 SITUATE WITHIN PROJECTED SECTION 24, T.10N., R.2E., N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO JULY, 1988" WITH FINAL SIGN OFF AUGUST 10TH 1988, BY FRANKLIN E. WILSON, RECORDED IN VOL. C-38, PAGE 195.
- 15. EXISTING CURB CUTS TO BE REMOVED AND INFILLED TO BE FLUSH WITH ADJACENT CONCRETE C.O.A. SIDEWALK.
- 16. NEW PAVEMENT HANDICAP SIGN. SEE C2/AS-102.
- 17. EXISTING CONCRETE CURB TO REMAIN.
- 18. EXISTING ASPHALT PAVING.
- 19. EXISTING WAREHOUSE STRUCTURE TO BE DEMOLISHED COMPLETELY. REMOVE ANY AND ALL INFRASTRUCTURE INCLUDING UTILITIES, MECHANICAL, ELECTRICAL, PLUMBING, AND FOUNDATIONS.
- 20. EXISTING HOUSE STRUCTURE TO BE DEMOLISHED COMPLETELY. REMOVE ANY AND ALL INFRASTRUCTURE INCLUDING UTILITIES, MECHANICAL, ELECTRICAL, PLUMBING, AND FOUNDATIONS.
- 21. EXISTING FENCE TO BE DEMOLISHED COMPLETELY INCLUDING ALL FOUNDATIONS.
- 22. LINE OF EXISTING ASPHALT PAVING. ALL PAVING TO BE DEMOLISHED AND REPLACED NEW. REFER TO PHASING PLAN FOR DETAILS.
- 23. EXISTING CANOPY STRUCTURE TO BE DEMOLISHED COMPLETELY. REMOVE ANY AND ALL INFRASTRUCTURE INCLUDING, ELECTRICAL AND FOUNDATIONS.
- 24. EXISTING RESTAURANT TO BE DEMOLISHED COMPLETELY. REMOVE ANY AND ALL INFRASTRUCTURE INCLUDING UTILITIES, MECHANICAL, ELECTRICAL, PLUMBING, AND FOUNDATIONS. SALVAGE ALL EQUIPMENT TO OWNER. REFER TO PHASING PLAN FOR DETAILS.
- 25. NEW 12' WIDE X 10' DEEP INSIDE CLEAR BY 6' HIGH CMU DUMPSTER ENCLOSURE WITH A 4' WIDE X 10' DEEP INSIDE CLEAR RECYCLING AREA. GATES TO BE PAINTED TUBE STEEL WITH METAL PANEL INSERTS. SEE B4/AS-102.
- 26. NEW DRIVE-UP ORDER MENU.
- 27. DRIVE-UP FOOD PICK-UP WINDOW.
- 28. NEW 4' HIGH PATIO/YARD WALL.
- 29. NEW CUSTOM GATE TO OUTDOOR DINING.
- 30. NEW POLE MOUNTED ACCESSIBLE PARKING SIGNAGE. SEE C1/AS-102.
- 31. EXISTING WALL TO BE DEMOLISHED COMPLETELY INCLUDING ALL FOUNDATIONS.
- 32. NEW 6' HIGH CMU SCREEN WALL. SEE D4/AS-102.
- 33. NEW RAMP FOR HC ACCESS FROM CITY SIDEWALK. SEE C3/AS-102
- 34. NEW TRUCK LOADING/UNLOADING ZONE.
- 35. EXISTING PROPERTY LINES.
- 36. EXISTING RESIDENCE TO BE DEMOLISHED COMPLETELY.
- 37. EXISTING PUBLIC BUS STOP AND EXISTING COVERED SHELTER.
- 38. LIGHT POLE AND OVERHEAD LINES TO BE REMOVED COMPLETELY.
- 39. EXISTING SIGN TO BE REMOVED COMPLETELY.
- 40. NEW DRIVE-UP PAY WINDOW.
- 41. EXISTING RESTAURANT SIGN TO REMAIN.
- 42. LANDSCAPE PLANTER AND BENCH. REFER TO LS-101.
- 43. EXISTING POWER POLE TO REMAIN.
- 44. EXISTING OVERHEAD POWER LINES TO REMAIN.
- 45. EXISTING OVERHEAD POWER LINES TO REMAIN.

DESIGN CRITERIA

MAXIMUM BUILDING HEIGHT:	NORTH = 26' BUILDING HEIGHT
MINIMUM BUILDING SETBACKS:	EAST = 5' PER COA 14-16-2-15(E)
	WEST = 5' PER COA 14-16-2-15(E)
	SOUTH = 5' PER COA 14-16-2-15(E)

SIGNAGE: ALL SIGNAGE SHALL COMPLY WITH THE C-2 COMMERCIAL ZONE 14-16-2-17 C-2 AND THE WEST ROUTE 66 SECTOR DEVELOPMENT PLAN. THE CENTRAL AVENUE NEON SIGN DESIGN OVERLAY ZONE HAS BEEN CONSIDERED WITH THE PLACEMENT OF NEON/LED ACCENTS AND BUILDING SIGNAGE.

LANDSCAPE BUFFERS:	NORTH = 10' PER COA 14-16-3-10(E)
	EAST = 6' PER COA 14-16-3-10(E)
	WEST = 6' PER COA 14-16-3-10(E)
	SOUTH = 10' PER COA 14-16-3-10(E)

PARKING CALCULATIONS

PARKING REQUIRED:	
PER C.O.A. ZONING 14-16-3-1(A)26 RESTAURANT:	1 SPACE/4 SEATS 82 OCCUPANTS MAX = 21 SPACES
TOTAL PARKING REQUIRED:	= 21 SPACES
PER C.O.A. ZONING 14-16-3-1(C)1 MOTORCYCLE PARKING:	= 1 SPACE
PER C.O.A. ZONING 14-16-3-1(F)9a HANDICAP PARKING:	= 1 (1 VAN)
PER C.O.A. ZONING 14-16-3-1(B)3 BICYCLE SPACES 1 PER 20 VEHICLES:	= 2 SPACES
PARKING REDUCTIONS:	
PER C.O.A. 14-16-3-1(E)6a TRANSIT REDUCTIONS 10% REDUCTION IF PROPERTY IS LOCATED WITHIN 300' OF TRANSIT ROUTE:	
TOTAL PARKING REQUIRED AFTER TRANSIT REDUCTIONS:	= 19 SPACES
PARKING PROVIDED:	= 24 SPACES
MOTORCYCLE PARKING PROVIDED:	= 2 SPACES
HANDICAP PARKING PROVIDED INCLUDING:	= 2 VAN
BICYCLE SPACES PROVIDED:	= 7 SPACES

RADIUS INFO:
TURNING RADIUS @ EACH CURB LOCATION

APPLICATION NUMBER:	PROJECT NUMBER:
CITY APPROVALS:	
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE DEPARTMENT	DATE

8-1-13

NCA
ARCHITECTS - PLANNERS - AIA

1306 RIO GRANDE BLVD NW
ALBUQUERQUE, NM 87104
505-255-8400 505-268-6954 FAX
WWW.NCA-ARCHITECTS.COM

ARCHITECT

STATE OF NEW MEXICO
REGISTERED ARCHITECT
ROBERT CALVANI
NO. 1053

CONSULTANT

8-2-13

STATE OF NEW MEXICO
REGISTERED ARCHITECT
LARRY A. ANDERSON
5089

PROJECT TITLE

**BOB'S BURGERS
W. CENTRAL
&
46TH STREET**

ALBUQUERQUE
NEW MEXICO

REVISIONS:

DATE	DESCRIPTION
7.26.2013	PER DRB COMMENTS

DRAWN BY: CHECKED BY:
MG LA

PROJECT NUMBER:
A13.04

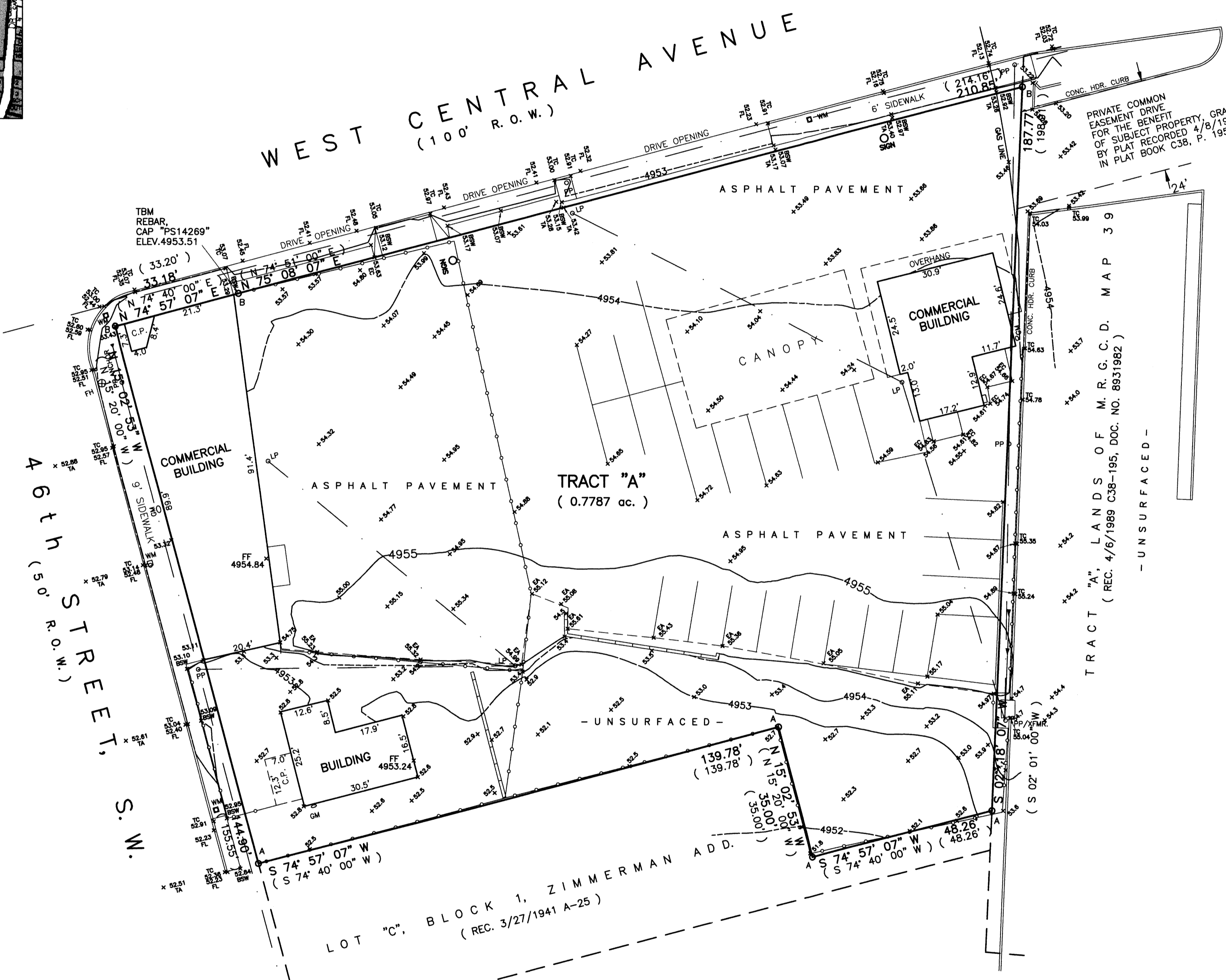
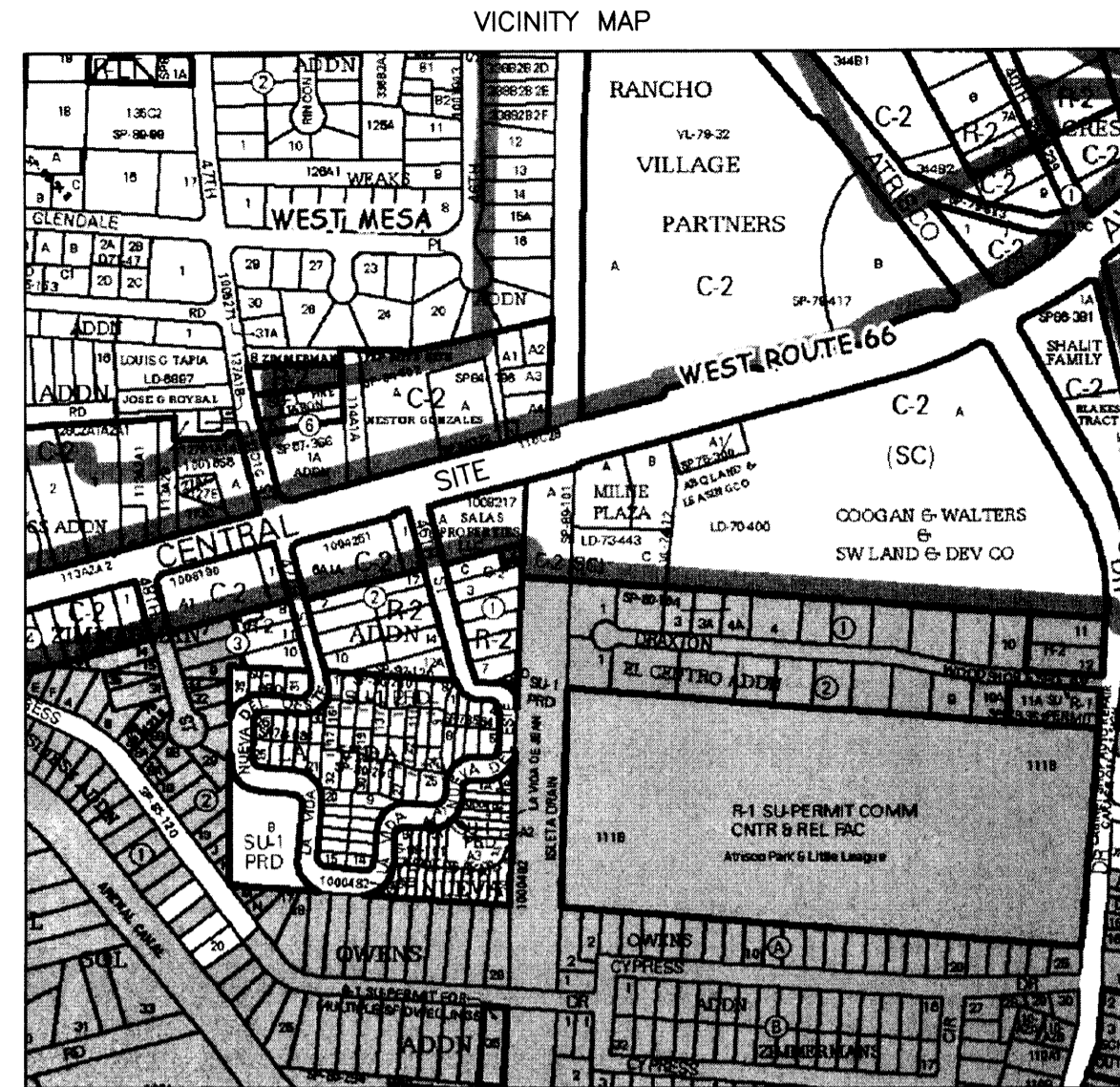
DATE:
JUNE 2013

SHEET TITLE:
ARCHITECTURAL SITE PLAN

SHEET NO:
AS-101

TRACT A

LANDS OF SALAS PROPERTIES, LLC
WITHIN PROJECTED SECTION 10, T.10N., R.2E., N.M.P.M.
WITHIN THE TOWN OF ATRISCO GRANT
ALBUQUERQUE, BERNALILLO COUNTY, NM
JUNE 2013



LEGEND

- EM ELECTRIC METER
GM GAS METER
WV WATER VALVE
WM WATER METER
MH SANITARY SEWER MANHOLE
CD SEWER CLEANOUT
IRR IRRIGATION CONTROL VALVE/BOX
FH FIRE HYDRANT
PP POWER POLE
ANCH ANCHOR
LP LIGHT POLE
SPOT ELEVATION
UNLESS OTHERWISE INDICATED, SPOT ELEVATIONS ARE TO NOTED SURFACE
EA EDGE OF ASPHALT
TA TOP OF ASPHALT
TC TOP OF CURB / CONCRETE
FL FLOWLINE
TW TOP OF WALK OR WALL
CHAIN LINK FENCE
CONCRETE BLOCK WALL
OVERHEAD POWER LINE
GAS LINE

SURVEY LEGAL DESCRIPTION

Tract lettered "A", LANDS OF SALAS PROPERTIES, LLC, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on May 12, 2010 in Book 2010C, page 58.

GENERAL NOTES

- 1. Bearings are New Mexico State Plane Grid, based upon Albuquerque Control System Monumentation. All bearings and distances shown hereon are field measured. All bearings and distances shown in parenthesis are from the plat of record. All found and accepted monuments tagged with metal disk "PS 14269" where applicable.
2. All distances are ground.
3. Date of field survey: May 28, 2013
This survey is a retracement survey based upon found monuments and the plat of record. All title information regarding this property was provided by the property owner(s) of record. No Title Search was performed or provided to Wayjohn Surveying for use in this survey. Owner(s): Bob Salas
4. PLAT/DEED INFORMATION:
a: Plat of Tract A, LANDS OF SALAS PROPERTIES, LLC, recorded on May 12, 2010, in Book. 2010C, page 58.

It is hereby certified that this property is NOT located within a 100 year flood hazard boundary in accordance with current HUD Federal Administration Flood Hazard Boundary Maps. Zone X, Panel 350002 0329 H (August 16, 2012).

BENCH MARK

BM: 27_K12, 1-3/4" metallic disc epoxied to the top of the SSE curb return of the intersection of Atrisco Dr. and Old Atrisco Dr. (40th Street extended) SW, Stamped "AACS BM 27-K12, ELEV. 4952.964 NAVD 1988
TBM: Rebar, cap "PS14269", located on North property line of site ELEV. 4953.51

SURVEYOR'S CERTIFICATION

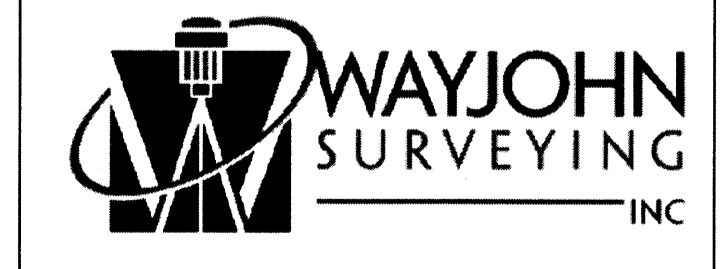
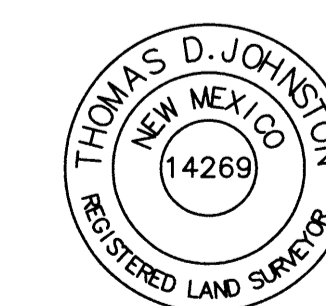
I, Thomas D. Johnston, a Registered Professional Surveyor licensed under the laws of the State of New Mexico, do hereby certify that this survey was performed by me or under my direct supervision, that all buildings, structures, and improvements on the property are shown hereon, that all easements of record or made known to me by the owner of record or by the title company are shown hereon, and that this survey was performed to the Minimum Standards for Land Surveys in the State of New Mexico as adopted May 1, 2007, and is true and correct to the best of my knowledge and belief. I further certify that this survey and plat do not meet the requirements of the City of Albuquerque or Bernalillo County Subdivision Ordinances, and is not intended to subdivide any parcel.

[Signature of Thomas D. Johnston]

Thomas D. Johnston, PS 14269

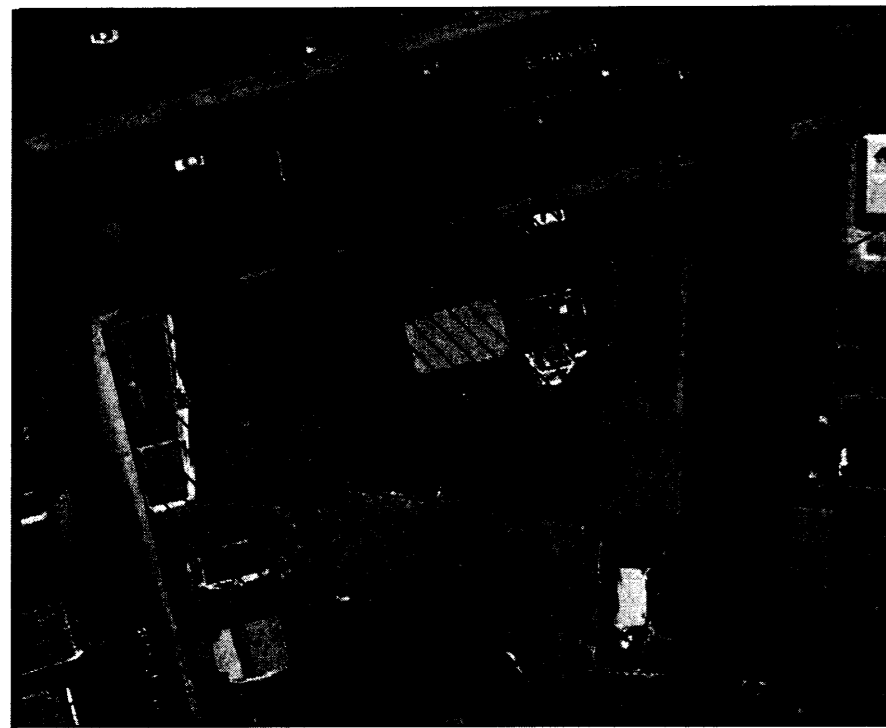
6/13/2013

Date

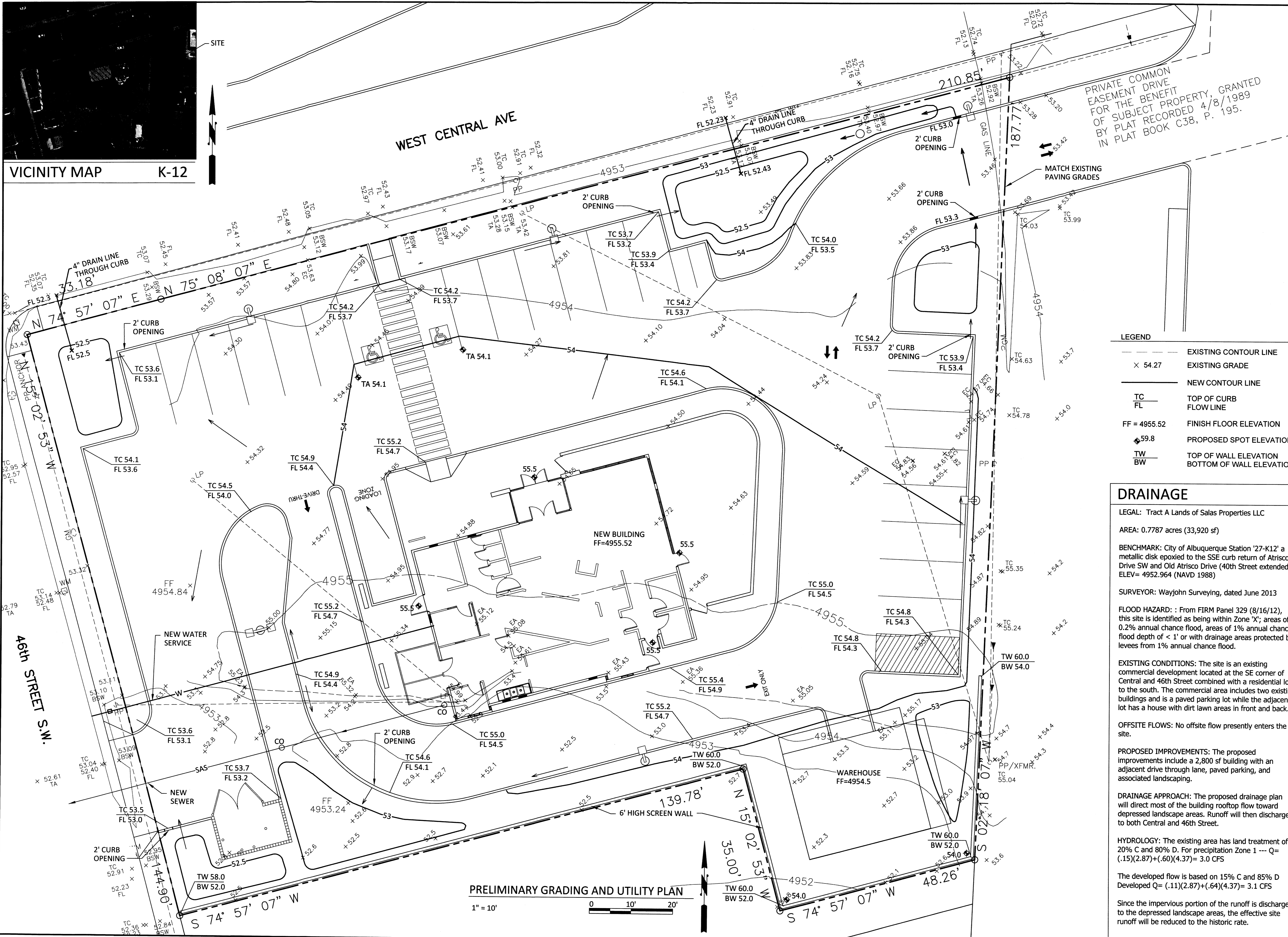


330 LOUISIANA BLVD., N.E.
ALBUQUERQUE, N.M. 87108
PHONE: (505) 255-2052 FAX: (505) 255-2887

Table with 3 columns: DRAWN, CHECKED, DRAWING NO. and 3 columns: SCALE, FILE NO., SHEET. Values include E W K, T D J, SC50713.DWG, 1" = 20', SC-5-07-13, 7/25/2013, SHEET 1 OF 1.



VICINITY MAP K-12



PRELIMINARY GRADING AND UTILITY PLAN
1" = 10'

PRIVATE COMMON EASEMENT DRIVE FOR THE BENEFIT OF SUBJECT PROPERTY, GRANTED BY PLAT RECORDED 4/8/1989 IN PLAT BOOK C38, P. 195.

- LEGEND**
- EXISTING CONTOUR LINE
 - x 54.27 EXISTING GRADE
 - NEW CONTOUR LINE
 - TC TOP OF CURB
 - FL FLOW LINE
 - FF = 4955.52 FINISH FLOOR ELEVATION
 - 59.8 PROPOSED SPOT ELEVATION
 - TW TOP OF WALL ELEVATION
 - BW BOTTOM OF WALL ELEVATION

DRAINAGE

LEGAL: Tract A Lands of Salas Properties LLC

AREA: 0.7787 acres (33,920 sf)

BENCHMARK: City of Albuquerque Station '27-K12' a metallic disk epoxied to the SSE curb return of Atrisco Drive SW and Old Atrisco Drive (40th Street extended). ELEV= 4952.964 (NAVD 1988)

SURVEYOR: Wayjohn Surveying, dated June 2013

FLOOD HAZARD: : From FIRM Panel 329 (8/16/12), this site is identified as being within Zone 'X'; areas of 0.2% annual chance flood, areas of 1% annual chance flood depth of < 1' or with drainage areas protected by levees from 1% annual chance flood.

EXISTING CONDITIONS: The site is an existing commercial development located at the SE corner of Central and 46th Street combined with a residential lot to the south. The commercial area includes two existing buildings and is a paved parking lot while the adjacent lot has a house with dirt lawn areas in front and back.

OFFSITE FLOWS: No offsite flow presently enters the site.

PROPOSED IMPROVEMENTS: The proposed improvements include a 2,800 sf building with an adjacent drive through lane, paved parking, and associated landscaping.

DRAINAGE APPROACH: The proposed drainage plan will direct most of the building rooftop flow toward depressed landscape areas. Runoff will then discharge to both Central and 46th Street.

HYDROLOGY: The existing area has land treatment of 20% C and 80% D. For precipitation Zone 1 --- Q= (.15)(2.87)+(0.60)(4.37)= 3.0 CFS

The developed flow is based on 15% C and 85% D Developed Q= (.11)(2.87)+(0.64)(4.37)= 3.1 CFS

Since the impervious portion of the runoff is discharged to the depressed landscape areas, the effective site runoff will be reduced to the historic rate.



1306 RIO GRANDE BLVD NW
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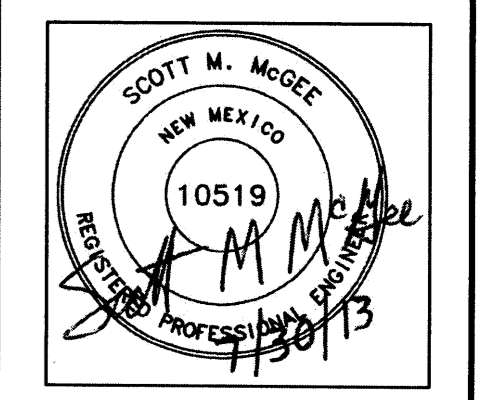
ARCHITECT

CONSULTANT

PROJECT TITLE

**BOB'S BURGERS
W. CENTRAL
&
46TH STREET**

**ALBUQUERQUE
NEW MEXICO**



REVISIONS:

MK	DATE	DESCRIPTION

DRAWN BY: CB CHECKED BY: SM

PROJECT NUMBER:
A13.04

DATE:
JUNE 19, 2013

SHEET TITLE:
PRELIMINARY GRADING AND UTILITY PLAN

SHEET NO.:
C-101