

#5



Complete  
5-18-10  
RS

# DRB CASE ACTION LOG

REVISED 10/08/07

(EPC - Site Plan - Building Permit)

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 10DRB-70095 Project # 1008137  
Project Name: Westgate Heights Subd.  
Agent: DSA Architects LLC Phone No.: 342-6200

Your request was approved on 3-31-10 by the DRB with delegation of signature(s) to the following departments.

### OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

UTILITIES: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

CITY ENGINEER / AMAFCA: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PARKS / CIP: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

→

PLANNING (Last to sign): case planner approval  
\_\_\_\_\_

Jul 4-7-10

- Planning must record this plat. Please submit the following items:**
  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** \_\_\_\_\_
  - Tax printout from the County Assessor.
  - 3 copies of the approved site plan. Include all pages.**
    - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
    - Property Management's signature must be obtained prior to Planning Department's signature.
    - AGIS DXF File approval required.
    - Copy of recorded plat for Planning.

→

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CITY ENGINEER / AMAFCA: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PARKS / CIP: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

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  - Copy of recorded plat for Planning.

Created On:

3. **Project# 1007871**  
 09DRB-70379 MAJOR - PRELIMINARY  
 PLAT APPROVAL  
 09DRB-70380 SIDEWALK WAIVER  
 09DRB-70381 SUBDIVISION DESIGN  
 VARIANCE FROM MIN DPM STDS

ISAACSON AND ARFMAN PA agent(s) for BISHOP'S COMPOUND, LLC request(s) the referenced/ above action(s) for all or a portion of Lot(s) 2 & 3, **ALVARADO GARDENS UNIT 3 [TBKA BISHOP'S COMPOUND]**, zoned R-LT, located on CANDELARIA RD NW between RIO GRANDE BLVD NW and CALLE SAN YSIDRO NW containing approximately 1.3379 acre(s). (G-12) *[Deferred from 1/6/10, 1/27/10, 2/17/10, 3-10-10]* **DEFERRED TO 4/7/10 AT THE AGENT'S REQUEST.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

4. **Project# 1008086**  
 10DRB-70054 EPC APPROVED SDP  
 FOR BUILD PERMIT  
 10DRB-70055 EPC APPROVED SDP  
 FOR SUBDIVISION

MCELHENY ARCHITECTS agent(s) for GOODWILL INDUSTRIES OF NEW MEXICO request(s) the above action(s) for all or a portion of Lot(s) 6, 28 & 27, Block(s) 10, Tract(s) 2, **NORTH ALBUQUERQUE ACRES Unit(s) 3**, zoned SU-2 FOR MIXED USES, located on PASEO DEL NORTE NE BETWEEN WYOMING NE AND LOUISIANA NE containing approximately 1.84 acre(s). (C-19) *[Deferred from 3-10-10, 3-17-10]* **DEFERRED TO 4/7/10 AT THE AGENT'S REQUEST.**

- Project# 1008086**  
 10DRB-70094 MINOR - PRELIMINARY/  
 FINAL PLAT APPROVAL

CARTESIAN SURVEYS INC agent(s) for PETER EACOTT request(s) the above action(s) for all or a portion of Lot(s) 6, 27 & 28, Block(s) 10, Tract(s) 2, **NORTH ALBUQUERQUE ACRES (to be known as LOT 6-A) Unit(s) 3**, zoned SU-2 MIXED USE, located on PASEO DEL NORTE NE BETWEEN LOUISIANA BLVD NE AND WYOMING BLVD NE containing approximately 1.9479 acre(s). (C-19) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO COMPLETE SITE PLANS AND COPY OF AGIS DXF.**

5. ~~**Project# 1008137**~~  
 10DRB-70095 EPC APPROVED SDP  
 FOR BUILDING PERMIT

DSA ARCHITECTS LLC agent(s) for SANTUARIO DE SAN MARTIN CHURCH request(s) the above action(s) for all or a portion of Tract(s) A, **WESTGATE HEIGHTS SUBDIVISION** zoned SU-1 FOR CHURCH, located on UNSER BLVD AND GIBSON BLVD BETWEEN SUMMERFIELD PL AND CAMINO SAN MARTIN containing approximately 4.7 acre(s). (M-10) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR CASE PLANNER APPROVAL. 3 COPIES OF THE APPROVED SITE PLAN MUST BE PROVIDED TO PLANNING.**

HEARING DATE 3-31-10 (SRP)



**City of Albuquerque Planning Department**  
**One Stop Shop – Development and Building Services**

03/23/2010 Issued By: E08375 71522

**Permit Number: 2010 070 095** **Category Code 910**

**Application Number:** 10DRB-70095, Minor - Sdp For Building Permit

**Address:**

**Location Description:** UNSER BLVD AND GIBSON BLVD BETWEEN SUMMERFIELD PL AND CAMINO SAN MARTIN

**Project Number:** 1008137

**Applicant**  
Santuario De San Martin Church

**Agent / Contact**  
Dsa Architects Llc

8321 Camino San Martin St Sw  
Albuquerque NM 87121  
838-4676

4700 Lincoln Rd Ne Suite 111  
Albuquerque NM 87109  
505-342-8200

**Application Fees**

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$385.00
<b>TOTAL:</b>		<b>\$405.00</b>

City Of Albuquerque  
Treasury Division

3/23/2010 10:08AM LCC: ANNX  
WSH 006 TRANS# 0010  
RECEIPT# 00117739-00117739  
PERMIT# 2010070095 TRSLJS  
Trans Amt \$405.00  
Conflict Manag. Fee \$20.00  
DRB Actions \$385.00  
CK \$405.00  
CHANGE \$0.00

Thank You

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

### SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

### SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

### STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

### S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

### APPLICATION INFORMATION:

Professional/Agent (if any): DSA Architects, LLC. PHONE: 505-342-6200  
 ADDRESS: 4700 Lincoln Road NE, Suite 111 FAX: \_\_\_\_\_  
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: angela.b@dsaabq.com

APPLICANT: Santuario de San Martin Church PHONE: 505-836-4676  
 ADDRESS: 8321 Camino San Martin SW FAX: \_\_\_\_\_  
 CITY: Albuquerque STATE NM ZIP 87121 E-MAIL: lpadget2000@catholic  
 Proprietary interest in site: Occupant/Owner List all owners: Archdiocese of Santa Fe .org

DESCRIPTION OF REQUEST: Building Permit Amendment to add a fellowship hall, parking, landscaping and a future office building.

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

### SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract A Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv/Addn/TBKA: Westgate Heights Subdivision  
 Existing Zoning: SU-1 for Church Proposed zoning: Same MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): M-10 UPC Code: \_\_\_\_\_

### CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_, Z\_, V\_, S\_, etc.):  
10EPC-40004 (Project No. 1008137) Z-79-137-1980 SDP Approval

### CASE INFORMATION:

Within city limits?  Yes  No Within 1000FT of a landfill? No  
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): 4.7 acres  
 LOCATION OF PROPERTY BY STREETS: On or Near: Unser Blvd. and Gibson Blvd.  
 Between: Summerfield Place and Camino San Martin

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team  Date of review: Nov. 17, 2009

SIGNATURE Angela M. Benson, DSA Architects DATE 3-10-2010  
 (Print) Angela M. Benson, DSA Architects. Applicant:  Agent:

### FOR OFFICIAL USE ONLY

Form revised 4/07

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>10DRB - 70095</u>	<u>SBP</u>		<u>\$365.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CME</u>		<u>\$20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned				\$
<input checked="" type="checkbox"/> AGIS copy has been sent				\$
<input checked="" type="checkbox"/> Case history #s are listed				\$
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$
<input type="checkbox"/> F.H.D.P. density bonus				Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate				<u>\$405.00</u>

Hearing date 3-31-10

[Signature] 3-23-10  
 Planner signature / date

Project # 1008137



**FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)**

**SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**  
 \_\_\_ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**  
 \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined  
 \_\_\_ Letter briefly describing, explaining, and justifying the request  
 \_\_\_ List any original and/or related file numbers on the cover application  
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**  
 \_\_\_ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval  
 \_\_\_ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**  
 \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined  
 \_\_\_ Letter briefly describing, explaining, and justifying the request  
 \_\_\_ Letter of authorization from the property owner if application is submitted by an agent  
 \_\_\_ Copy of the document delegating approval authority to the DRB  
 \_\_\_ Completed Site Plan for Subdivision Checklist  
 \_\_\_ Infrastructure List, if relevant to the site plan  
 \_\_\_ Fee (see schedule)  
 \_\_\_ List any original and/or related file numbers on the cover application  
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**  
 \_\_\_ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval  
 ✓ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**  
 ✓ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**  
 ✓ Solid Waste Management Department signature on Site Plan  
 ✓ Zone Atlas map with the entire property(ies) clearly outlined  
 ✓ Letter briefly describing, explaining, and justifying the request  
 ✓ Letter of authorization from the property owner if application is submitted by an agent  
 ✓ Copy of the document delegating approval authority to the DRB  
 N/A Infrastructure List, if relevant to the site plan  
 ✓ Completed Site Plan for Building Permit Checklist  
 ✓ Copy of Site Plan with Fire Marshal's stamp  
 ✓ Fee (see schedule)  
 ✓ List any original and/or related file numbers on the cover application  
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

**AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**  
 **AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**  
 \_\_\_ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**  
 \_\_\_ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**  
 \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined  
 \_\_\_ Letter briefly describing, explaining, and justifying the request  
 \_\_\_ Letter of authorization from the property owner if application is submitted by an agent  
 \_\_\_ Infrastructure List, if relevant to the site plan  
 \_\_\_ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)  
 \_\_\_ Fee (see schedule)  
 \_\_\_ List any original and/or related file numbers on the cover application  
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

**FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**  
 **FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**  
 ✓ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval  
 ✓ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**  
 ✓ Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**  
 ✓ Solid Waste Management Department signature on Site Plan for Building Permit  
 ✓ Zone Atlas map with the entire property(ies) clearly outlined  
 ✓ Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision  
 N/A Infrastructure List, if relevant to the site plan  
 ✓ Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)  
 ✓ List any original and/or related file numbers on the cover application  
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Angela M. Benson, DSA Architects  
 Applicant name (print)  
Angela M. Benson, DSA Architects  
 Applicant signature / date



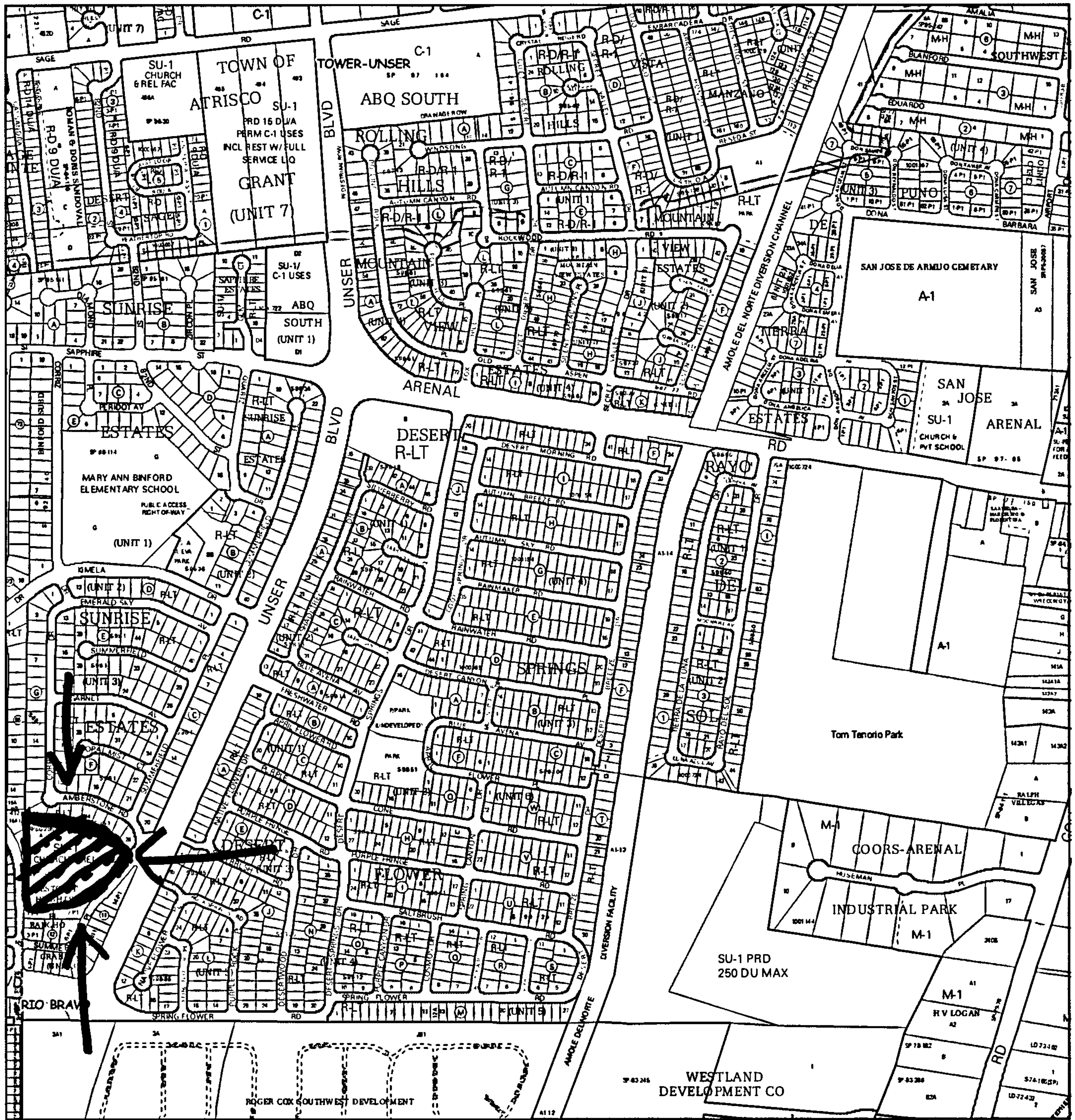
Form revised October 2007

Checklists complete  
 Fees collected  
 Case #s assigned  
 Related #s listed

Application case numbers  
 1008137 - 70095

[Signature] 3-23-10  
 Planner signature / date  
 Project # 1008137





For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 2/18/2007

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**M-10-Z**

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet





March 21, 2010

Mr. Jack Cloud, Chair  
Development Review Board  
600 2<sup>nd</sup> St. NW  
City of Albuquerque  
Albuquerque, New Mexico

**FILE: Project 1008137  
10EPC-40004 Amended Site Development Plan for Building Permit**

**RE: San Martin de Porres Parish – 8301 Camino San Martin SW**

Dear Mr. Cloud,

This is a request for approval of an Amended Site Development Plan for Building Permit for the San Martin de Porres Parish expansion project. This Amended Site Development Plan was approved by the EPC on February 19, 2010 (1008137/10EPC-40004).

With this submittal, we are requesting approval of the Site Plan for Building Permit with delegation. We understand delegation will require adherence to the Design Standards submitted and approved by the Environmental Planning Commission.

**AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

**CONDITIONS:**

1. The conditions of delegation to the DRB for the Amended Site Development Plan for Building Permit are understood and will be adhered to in accordance with the approval.
2. Our team has met with Carol Toffaleti, Staff Planner.
3. The conditions of delegation to the DRB for the future office building are understood and will be adhered to in accordance with the approval.
4. Conditions from City Engineer, Municipal Development and NMDOT:
  - a. There are no transportations facilities adjacent to the site.
  - b. We respectfully request that the client be granted authorization to relocate the fence within the property line at the time a building permit is issued for the expansion project. The sign has been relocated on the Amended Site Plan within the property line of San Martin.
  - c. The Site Plan shall comply with the DPM standards.
5. Site Development Plan (sheet 1-AS-101)

- a. The word "office" has been added to specify the use and the gross square footage has been added.
  - b. The free-standing sign has been relocated within the property line and called out on the Site Plan.
  - c. The curb cut detail and cross-section have been moved to sheet (AS-501).
6. Parking
- a. Calculations
    - i. We have specified "fellowship hall" and "office" to identify the uses of the buildings.
    - ii. The number of seats in the sanctuary has been added.
    - iii. The number of motorcycle and bicycle spaces required has been added.
    - iv. The number of total parking spaced provided has been corrected.
  - b. The number of new parking spaces on the upper level and proposed spaces on the lower level has been called out.
  - c. One motorcycle parking space has been added in a location visible from the main entrance to the church.
  - d. Keyed Note 8 has been changed.
  - e. The existing disabled parking signs in front of the church have been called out.
7. Pedestrian access and circulation:
- a. A gate and walkway have been added to the fence on Summerfield Place.
  - b. The crosswalks have been changed to thermoplastic.
  - c. The bike rack has been repositioned to maintain a minimum 6' clear.
8. Lighting
- a. General Note B on sheet AS-101 has been changed
  - b. General Note F has been added to sheet AS-101.
  - c. Existing light poles being retained or removed have been called out.
  - d. Building mounted lighted has been added to sheet A-201.
9. Landscaping
- a. Existing landscaping on the north part of the site has been hatched.
  - b. Parking area tree calculations have been corrected.
  - c. The SAS easement note has been enlarged.
  - d. Landscaping calculations have been revised and clarified.
  - e. Square footage figures are consistent throughout the submittal.
  - f. Calculations for Phase II have been added.
10. Outdoor Amenities:
- a. Seating has been added along the circular frontage of the fellowship hall.
  - b. Two patio areas have been added with seating and shade trees.
11. Utility equipment
- a. General Note C has been changed
  - b. General Notes per PNM
    - i. General Note D has been added per PNM.



ii. General Note E has been added per PNM.

12. Grading & Drainage Plan

- a. Finished floor elevations have been added
- b. Preliminary drainage information for Phase II has been added.

13. Architecture: The metallic roof has been noted as low-reflective.

14. Design Standards:

- a. Design Standards have been added to sheet G-002.
  - i. Materials and colors wording has been changed.
  - ii. Building height text has been changed.
- b. A note has been added to sheet AS-101 stating delegation of the future office building.
- c. General Note C has been added to sheet AS-101.
- d. The bullet points in the Lighting section have been added to sheet AS-101.
- e. The wording for "the future building being proposed" has been replaced with "all Buildings"

As stated in the Official Notice of Decision dated February 19, 2010 the applicant has incorporated all comments made by the Planning Staff and the EPC. A subsequent meeting was held with Carol Toffaleti, Staff Planner to ensure that all conditions of approval placed by the EPC have been satisfied.

Respectfully submitted,

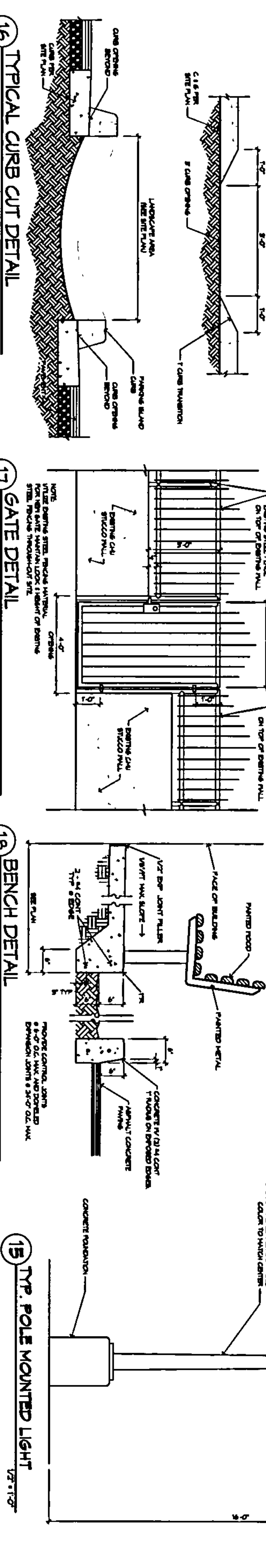
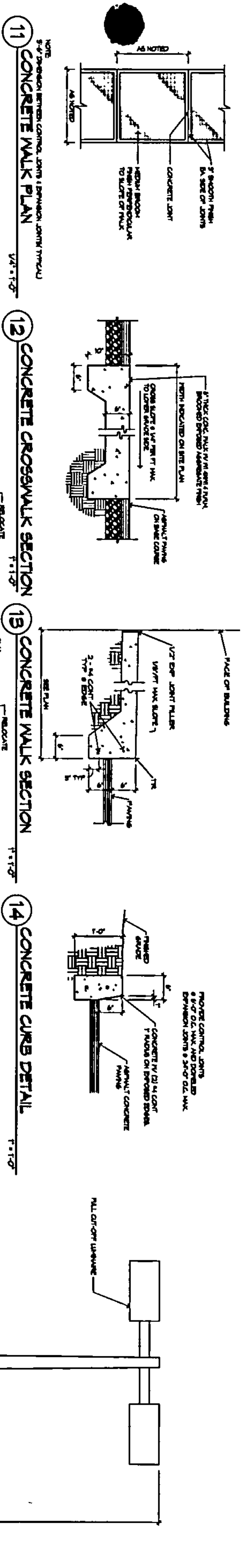
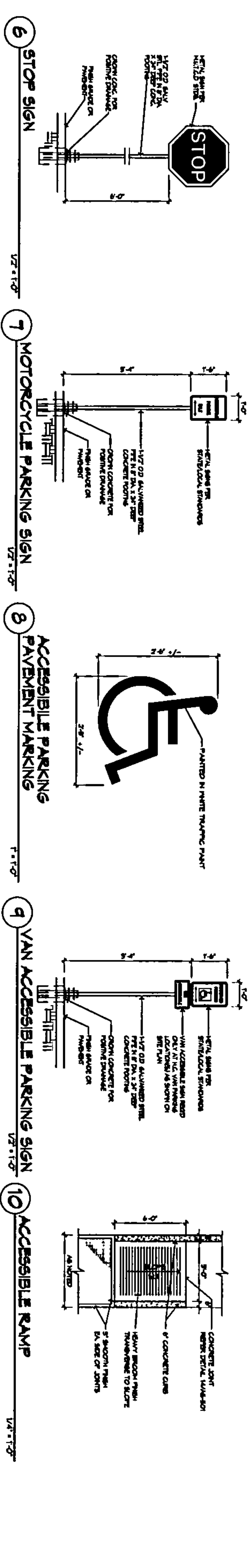
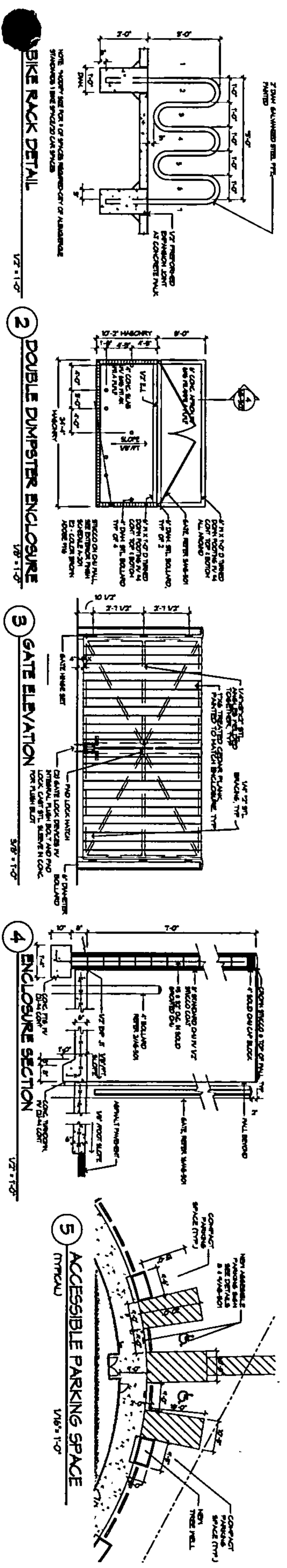


Angela Benson  
DSA Architects, LLC  
Agent of Record

Cc: Father Leo Padget, San Martin de Porres Parish





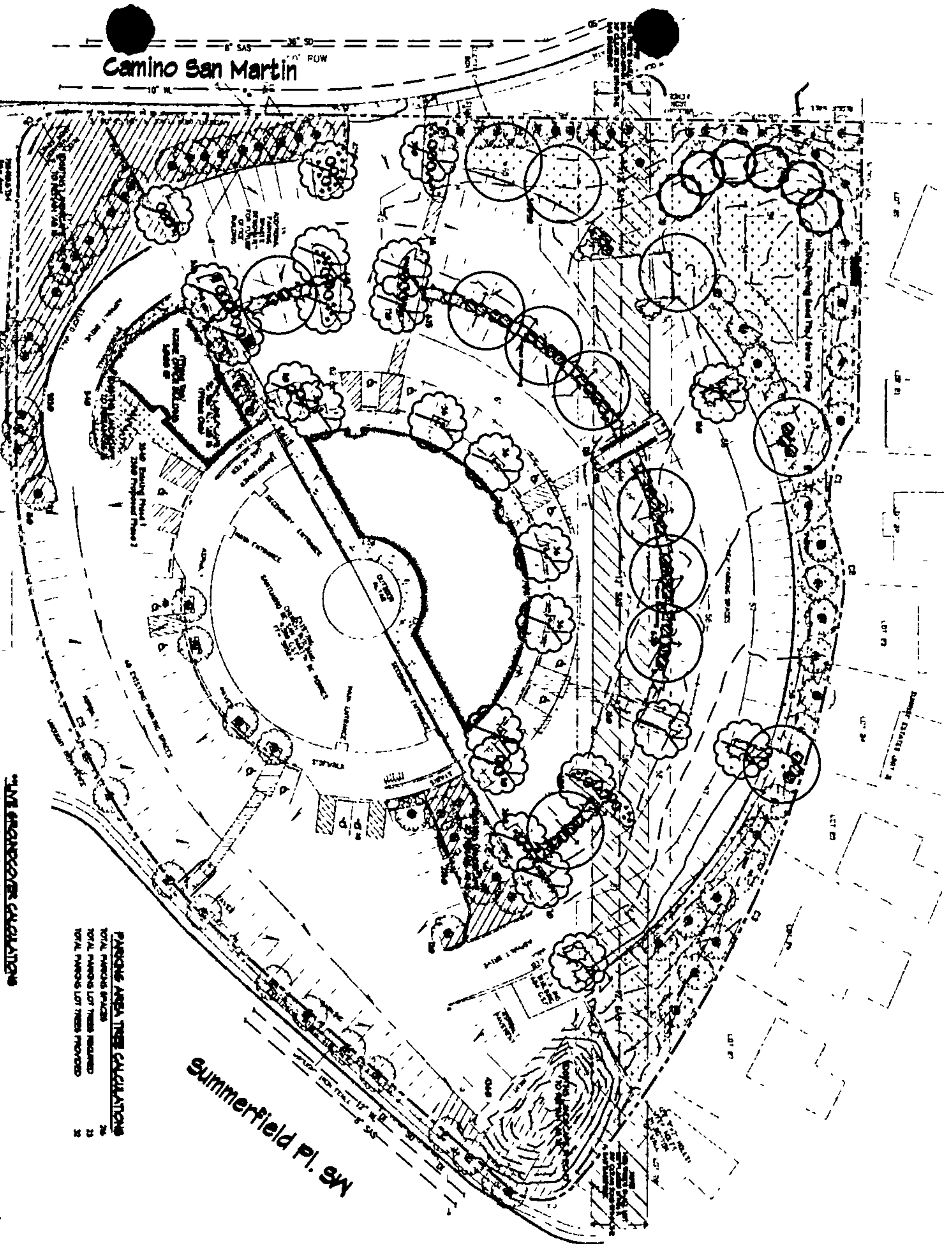


Santuario de San Martin de Porres  
 8301 Camino San Martin  
 Westgate Heights  
 Albuquerque, New Mexico

**DSIA**  
 Darren Sowell  
 Architects  
 1001 Lomas N.E. Suite 111  
 Albuquerque, NM 87106  
 Phone: (505) 242-4889  
 Fax: (505) 242-4888

Project Number: \_\_\_\_\_  
 Date: \_\_\_\_\_  
 Drawing Title: JANUARY 28, 2022  
 SITE PLAN DETAILS  
 AS-501  
 5/27/22

Camino San Martin



**LANDSCAPE CALCULATIONS**

TOTAL SITE AREA	10,000
TOTAL BUILDING AREA (A)	- 3,000
NET LOT AREA (A)	7,000
LANDSCAPE REQUIREMENT (R)	1,400
TOTAL PROVIDED LANDSCAPE PROVIDED (A) (See Legend)	1,400
TOTAL DEFICIENT LANDSCAPE PROVIDED (A) (See Legend)	0
TOTAL LANDSCAPE PROVIDED (A) (See Legend)	1,400

**PHASE TWO LANDSCAPE CALCULATIONS**

TOTAL SITE AREA	10,000
TOTAL BUILDING AREA (A) (On Area Only)	- 3,000
NET LOT AREA (A)	7,000
LANDSCAPE REQUIREMENT (R)	1,400
TOTAL PROVIDED LANDSCAPE PROVIDED (A) (See Legend)	1,400
TOTAL DEFICIENT LANDSCAPE PROVIDED (A) (See Legend)	0
TOTAL LANDSCAPE PROVIDED (A) (See Legend)	1,400

**PLANT SPECIFICATIONS**

PLANT	QUANTITY	REMARKS
1.00	10	1.00
1.01	10	1.01
1.02	10	1.02
1.03	10	1.03
1.04	10	1.04
1.05	10	1.05
1.06	10	1.06
1.07	10	1.07
1.08	10	1.08
1.09	10	1.09
1.10	10	1.10
1.11	10	1.11
1.12	10	1.12
1.13	10	1.13
1.14	10	1.14
1.15	10	1.15
1.16	10	1.16
1.17	10	1.17
1.18	10	1.18
1.19	10	1.19
1.20	10	1.20

**PARKING AREA TREE CALCULATIONS**

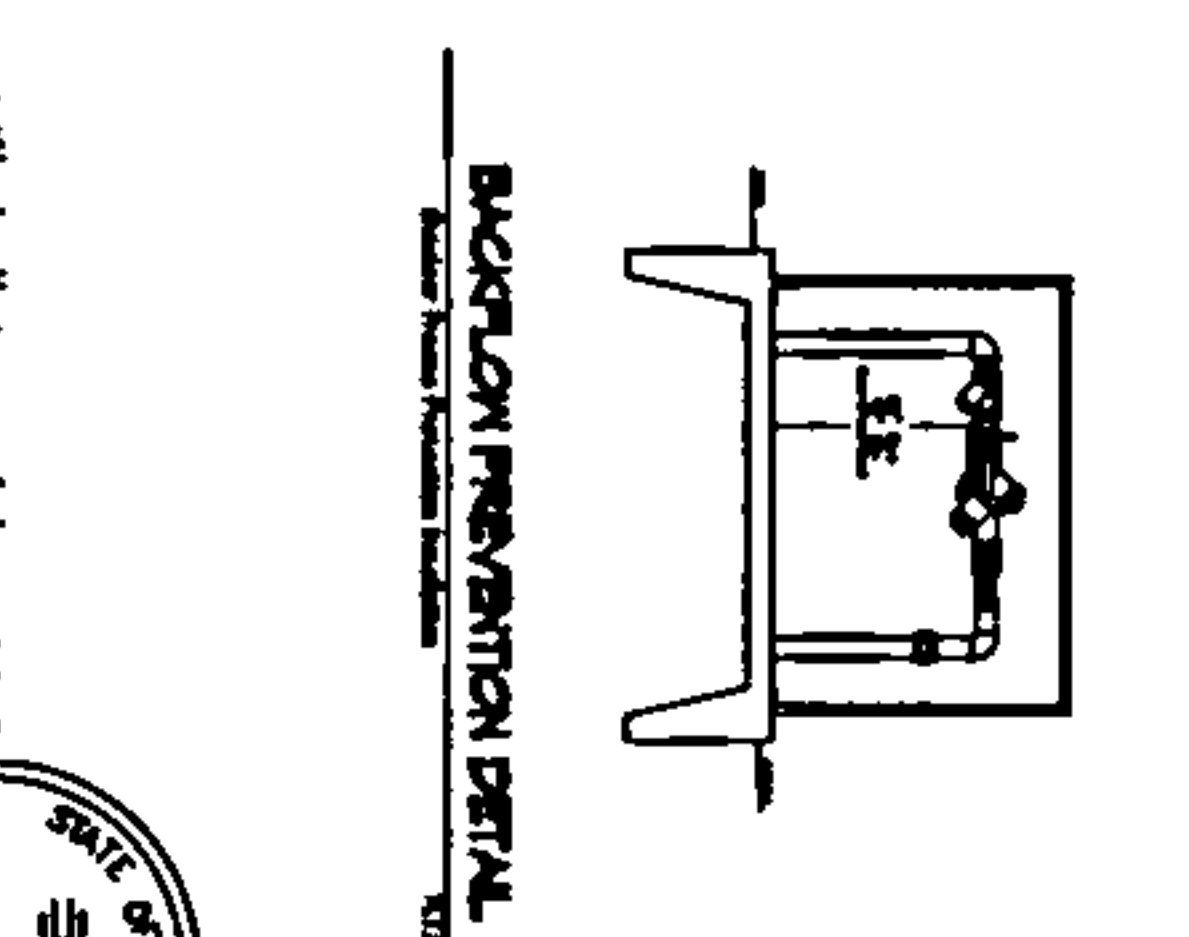
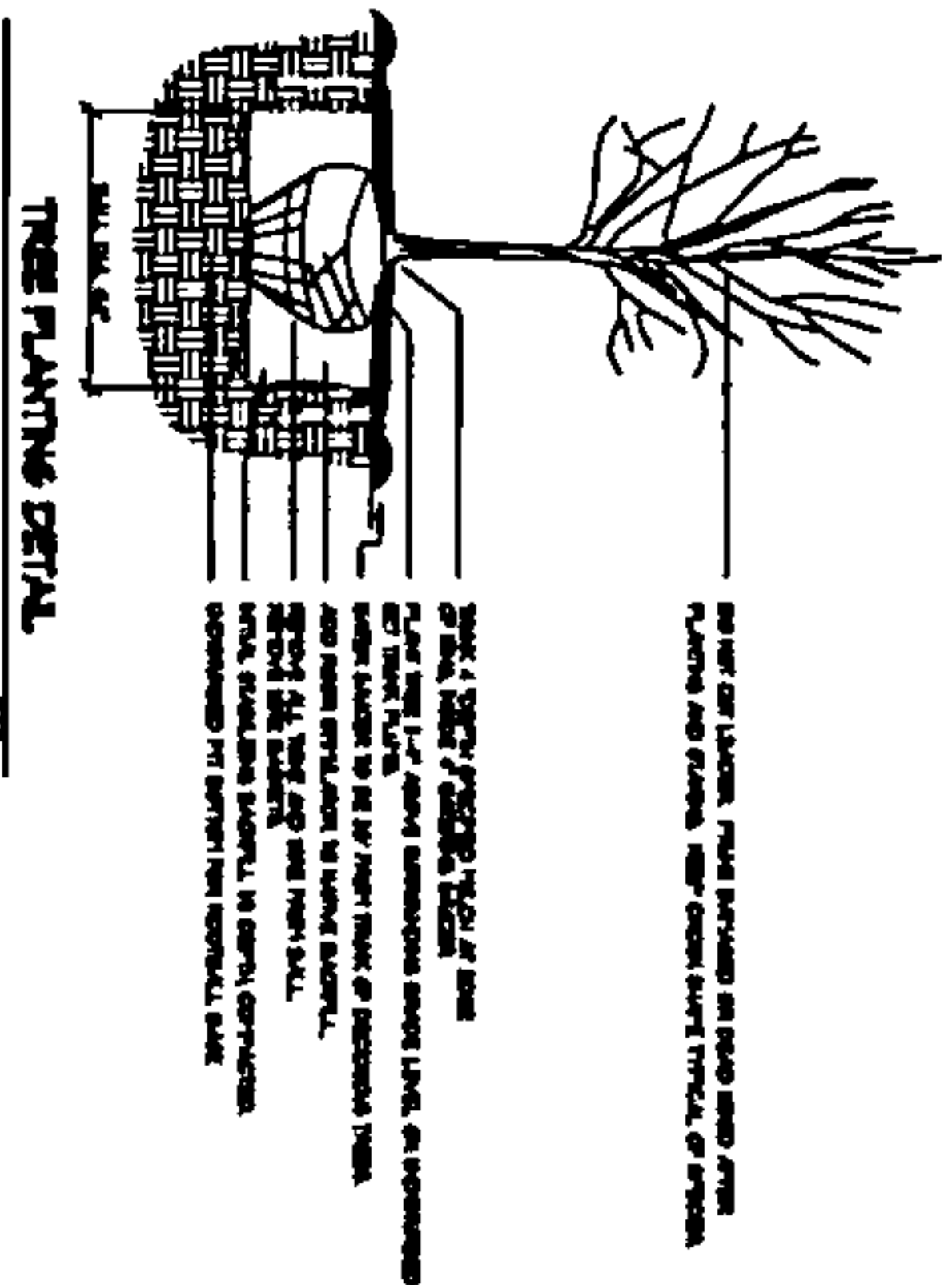
TOTAL PARKING AREA	2,000
TOTAL PARKING LOT TREES REQUIRED	20
TOTAL PARKING LOT TREES PROVIDED	20

**LIVE SPRINKLER CALCULATIONS**

Site: 8301 Camino San Martin, 1000 sq ft  
 Live Sprinkler Required (R) 100 sq ft  
 Live Sprinkler Provided (A) 100 sq ft

**LANDSCAPE LEGEND**

SYMBOL	DESCRIPTION	AMOUNT	AMOUNT
1	1.00	10	10
2	2.00	10	10
3	3.00	10	10
4	4.00	10	10
5	5.00	10	10
6	6.00	10	10
7	7.00	10	10
8	8.00	10	10
9	9.00	10	10
10	10.00	10	10
11	11.00	10	10
12	12.00	10	10
13	13.00	10	10
14	14.00	10	10
15	15.00	10	10
16	16.00	10	10
17	17.00	10	10
18	18.00	10	10
19	19.00	10	10
20	20.00	10	10



**LANDSCAPE NOTES**

Owner is responsible for maintenance of landscape and irrigation system.

Landscape shall be installed by a complete underground irrigation system operated by automatic timer. Trees shall have bubblers and shrubs shall have a minimum of 2 emitters per shrub. Trees and shrubs shall be spaced separately. Point of connection for irrigation system shall be coordinated between the Landscape Contractor and the General Contractor of the project prior to construction.

All landscape areas shall be covered in 2-3" of landscape gravel, and commercial grade seed barrier fabric approved by the Owner's representative, prior to placement.

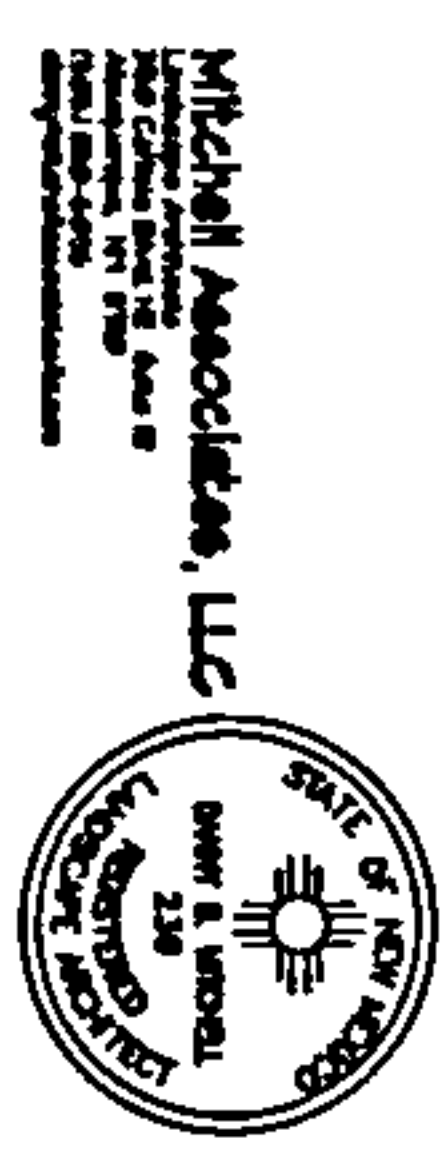
It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Residential Development, Revised 6/07.

Landscaping shall be installed according to the approved plan.

Landscape areas in excess of 36 square feet shall be planted so as to achieve 5% Live Ground Cover at maturity.

Approval of this plan does not constitute or imply exemption from other applicable provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the property owner.

The plan shall comply with the Street Tree Ordinance 6-2-21.



**REVISIONS**

NO.	DATE	DESCRIPTION
1	01/15/20	ISSUED FOR PERMITS
2	01/15/20	ISSUED FOR PERMITS
3	01/15/20	ISSUED FOR PERMITS

**PROJECT INFORMATION**

Project Name: 8301 Camino San Martin  
 Owner: Mitchell Associates, LLC  
 Date: 01/15/20  
 Scale: 1/8" = 1'-0"

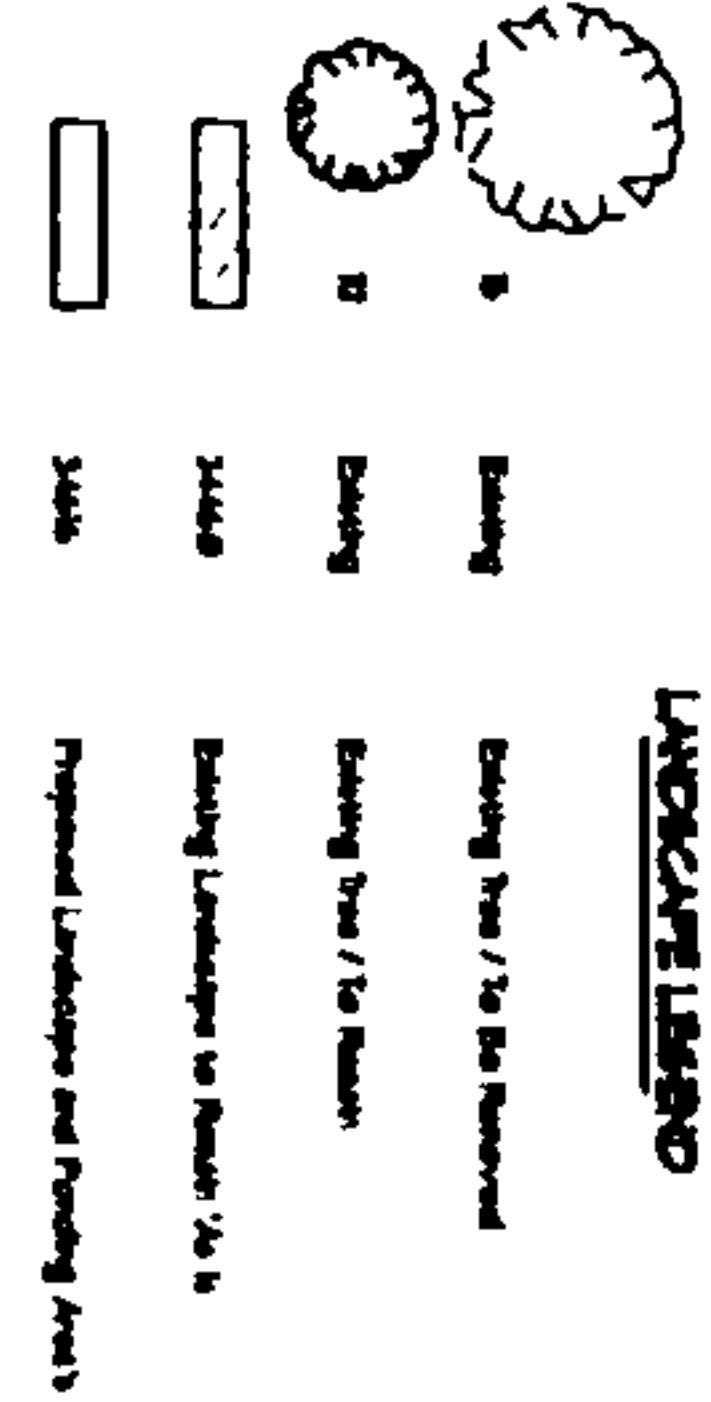
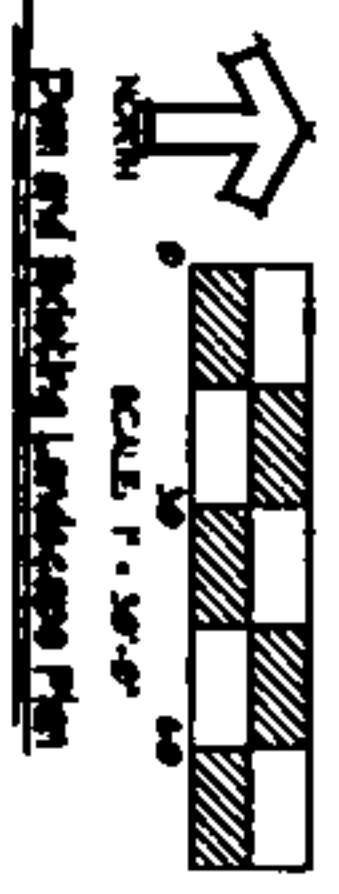
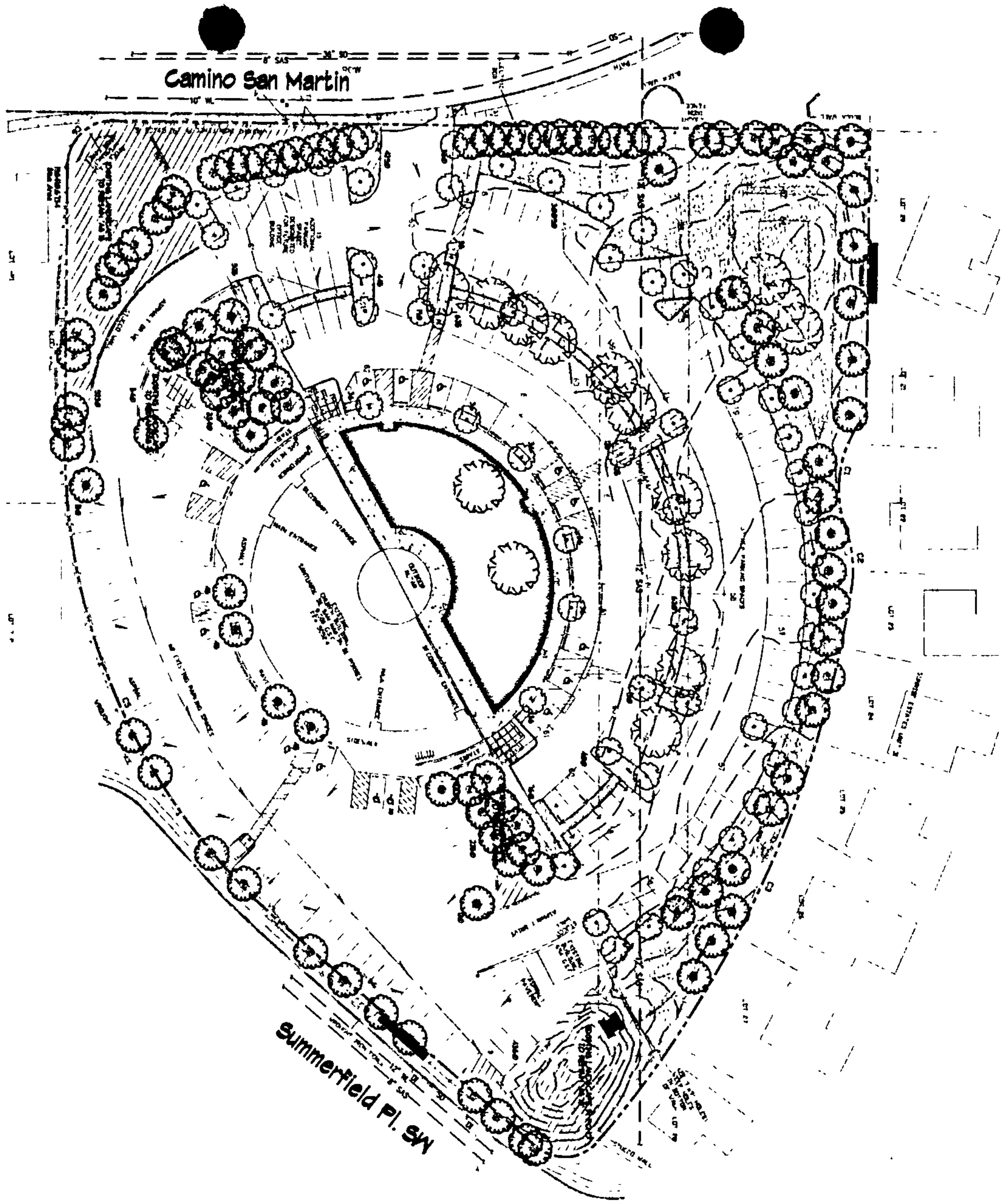
**PROPOSED LANDSCAPE PLAN**

Sheet No. L-100

Santuario de San Martin de Porres  
 8301 Camino San Martin  
 Westgate Heights  
 Albuquerque, New Mexico

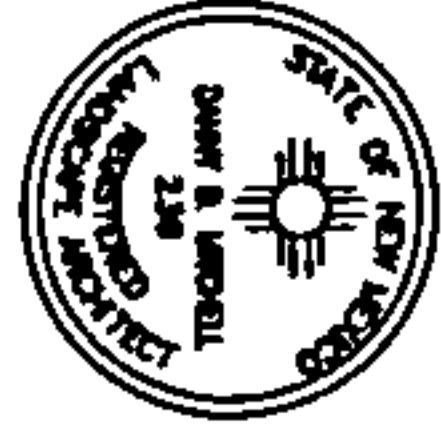






**LANDSCAPE LEGEND**

Mitchell Associates, LLC  
 4700 Lomas N.E., Suite 1111  
 Albuquerque, NM 87110  
 Phone: (505) 243-4200  
 Fax: (505) 243-4201



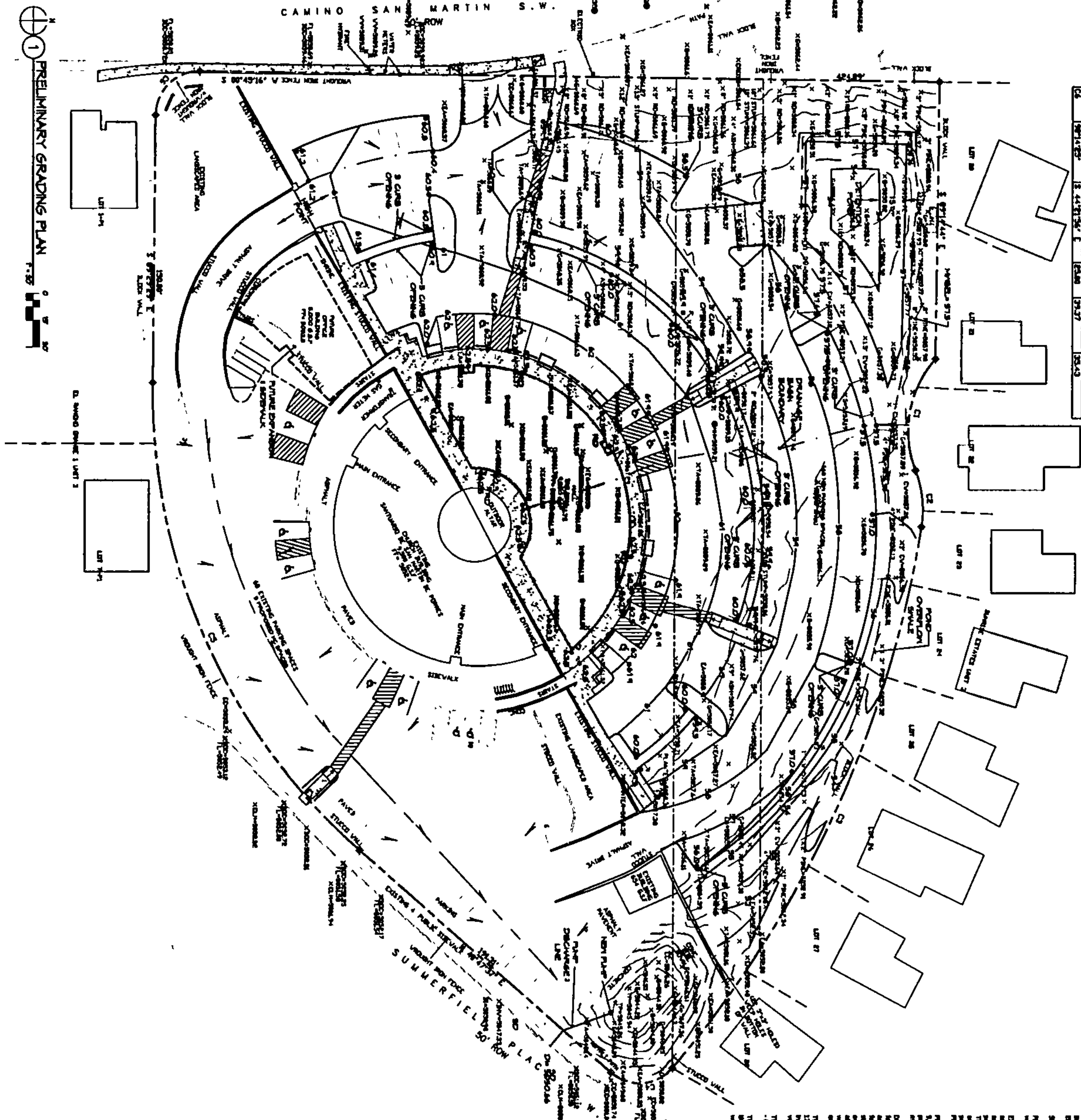
8/14/2008  
 Approved by Darrell S. Mitchell, License No. 12345  
 Darrell S. Mitchell  
 Licensed Professional Landscape Architect  
 No. 12345  
 State of New Mexico  
 Darrell S. Mitchell  
 4700 Lomas N.E., Suite 1111  
 Albuquerque, NM 87110  
 Phone: (505) 243-4200  
 Fax: (505) 243-4201

**Santuario de San Martin de Porres**  
 8301 Camino San Martin  
 Westgate Heights  
 Albuquerque, New Mexico

**DSIA**  
 Darren Sowell  
 ARCHITECTS  
 4700 Lomas N.E., Suite 1111  
 Albuquerque, NM 87110  
 Phone: (505) 243-4200  
 Fax: (505) 243-4201

**L-101**

LINE NO.	LINE TYPE	START STATION	END STATION	LENGTH	GRADE
1	1" x 4" DIA.	0+00	0+10	10.00	1.50
2	1" x 4" DIA.	0+10	0+20	10.00	1.50
3	1" x 4" DIA.	0+20	0+30	10.00	1.50
4	1" x 4" DIA.	0+30	0+40	10.00	1.50
5	1" x 4" DIA.	0+40	0+50	10.00	1.50
6	1" x 4" DIA.	0+50	0+60	10.00	1.50
7	1" x 4" DIA.	0+60	0+70	10.00	1.50
8	1" x 4" DIA.	0+70	0+80	10.00	1.50
9	1" x 4" DIA.	0+80	0+90	10.00	1.50
10	1" x 4" DIA.	0+90	1+00	10.00	1.50



PRELIMINARY GRADING PLAN  
1" = 20'

**DRAINAGE NOTES**

1. The drainage system shall be installed in accordance with the City of Albuquerque Storm Drainage Ordinance, Chapter 21-1-1 N.M.C. and the City of Albuquerque Engineering Department Standard Specifications for Storm Drainage, 2007 Edition.

2. The drainage system shall be installed in accordance with the City of Albuquerque Engineering Department Standard Specifications for Storm Drainage, 2007 Edition.

3. The drainage system shall be installed in accordance with the City of Albuquerque Engineering Department Standard Specifications for Storm Drainage, 2007 Edition.

4. The drainage system shall be installed in accordance with the City of Albuquerque Engineering Department Standard Specifications for Storm Drainage, 2007 Edition.

5. The drainage system shall be installed in accordance with the City of Albuquerque Engineering Department Standard Specifications for Storm Drainage, 2007 Edition.

- LEGEND**
- BOC - BACK OF CURB
  - TA - TOP OF ASPHALT
  - DI - DRAINAGE INLET
  - NO - SUBMAN GLEVE
  - FL - FLOW LINE
  - EA - EDGE OF ASPHALT
  - IV - WATER VALVE
  - SAV - SANITARY SEWER MANHOLE
  - TP - TOP OF P.C. PIPE
  - CLM - CENTERLINE MONUMENT
  - HW - H/WAY
  - S - SLOPE
  - DRAINAGE CONTOUR
  - PROPOSED CONTOUR
  - FLOW ARROW
  - ROOF DRAIN
  - DRAINAGE BASH BOUNDARY



VICINITY MAP M-10-Z  
N TO SOUT

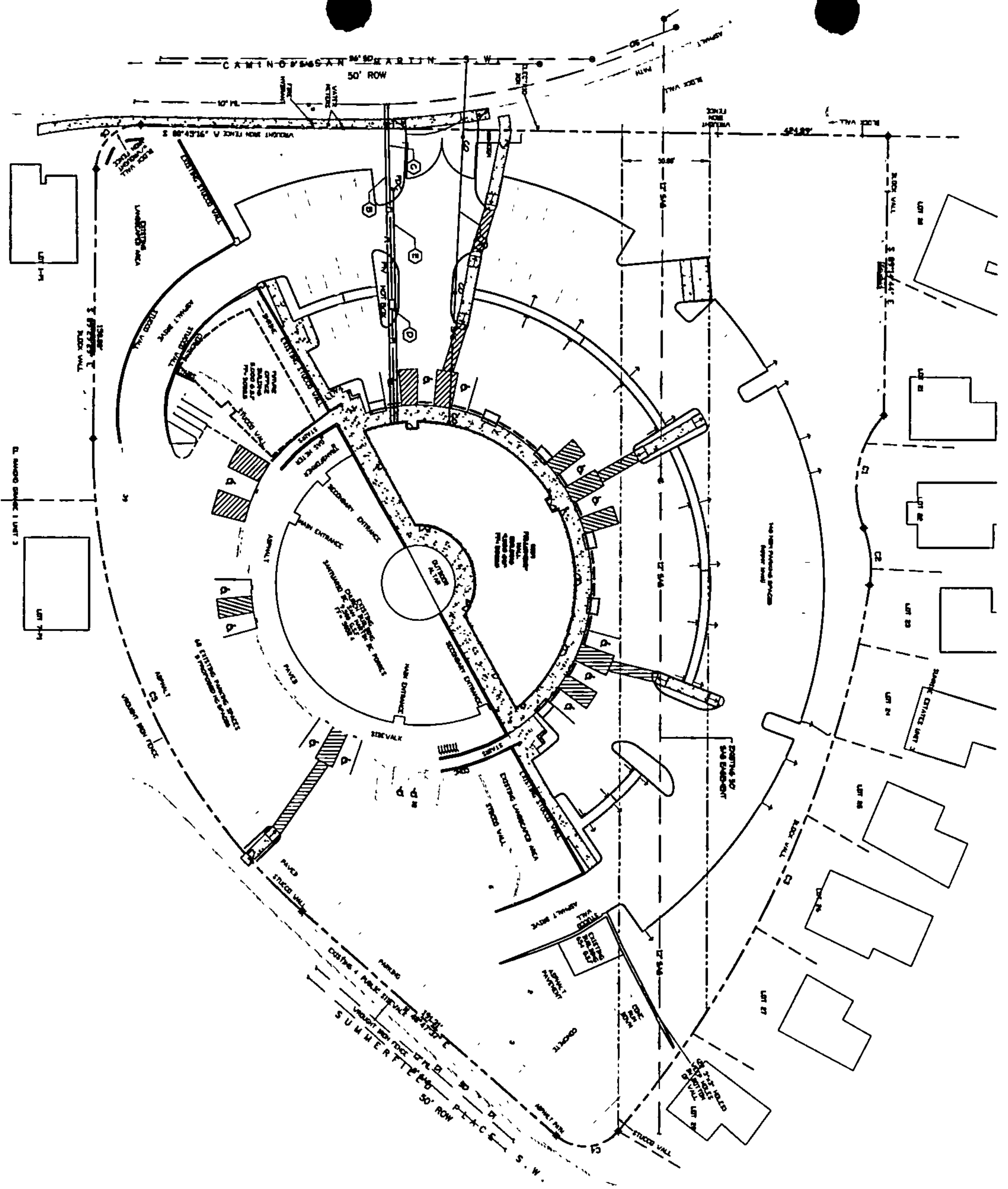
**Santuario de San Martin de Porres**  
8301 Camino San Martin  
Westgate Heights  
Albuquerque, New Mexico

**IDSIA**  
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CG-101  
SHEET 6 OF 8



1 PRELIMINARY UTILITY PLAN



2 VICINITY MAP M-10-Z



- UTILITY NOTES**
- A. NEW 12" SANITARY SEWER SERVICE FROM AERIAL MAIN
  - B. NEW 4" DOMESTIC WATER SERVICE FROM AERIAL MAIN
  - C. NEW 18" STORM DRAIN SERVICE FROM AERIAL MAIN
  - D. NEW 12" GAS SERVICE FROM AERIAL MAIN
  - E. NEW 12" GAS SERVICE FROM AERIAL MAIN

- LEGEND**
- W.P.L. — EXISTING WATER MAIN 12" DIA.
  - S.W. — EXISTING SANITARY SEWER 12" DIA.
  - S.D. — EXISTING STORM DRAIN 18" DIA.
  - G.M. — EXISTING GAS MAIN 12" DIA.
  - S.W. — EXISTING WATER MAIN 12" DIA.
  - S.D. — EXISTING STORM DRAIN 18" DIA.
  - G.M. — EXISTING GAS MAIN 12" DIA.
  - S.W. — EXISTING WATER MAIN 12" DIA.
  - S.D. — EXISTING STORM DRAIN 18" DIA.
  - G.M. — EXISTING GAS MAIN 12" DIA.

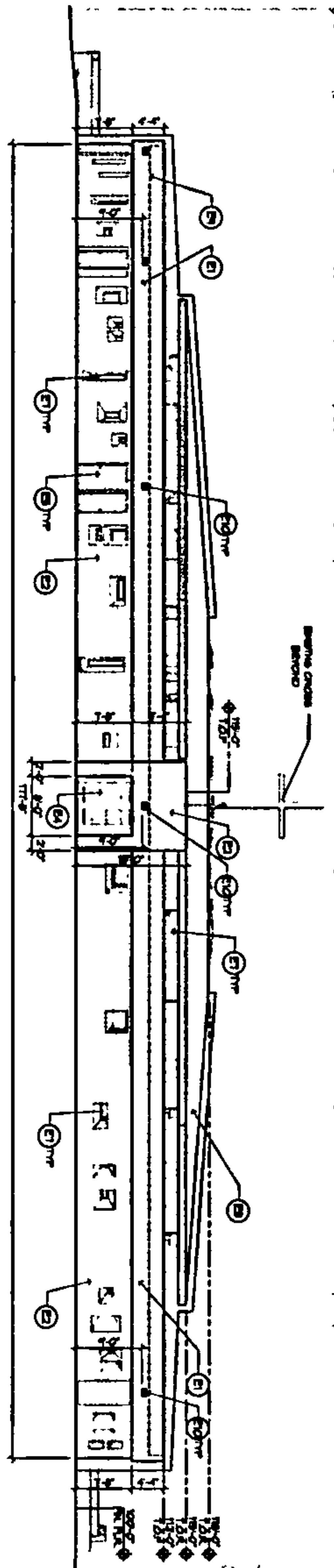
Santuario de San Martin de Porres  
 8301 Camino San Martin  
 Westgate Heights  
 Albuquerque, New Mexico

**DSIA**  
 Darren Sowell  
 ARCHITECTS  
 1701 Louisiana NE, Suite 111  
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 Fax: (505) 342-4281

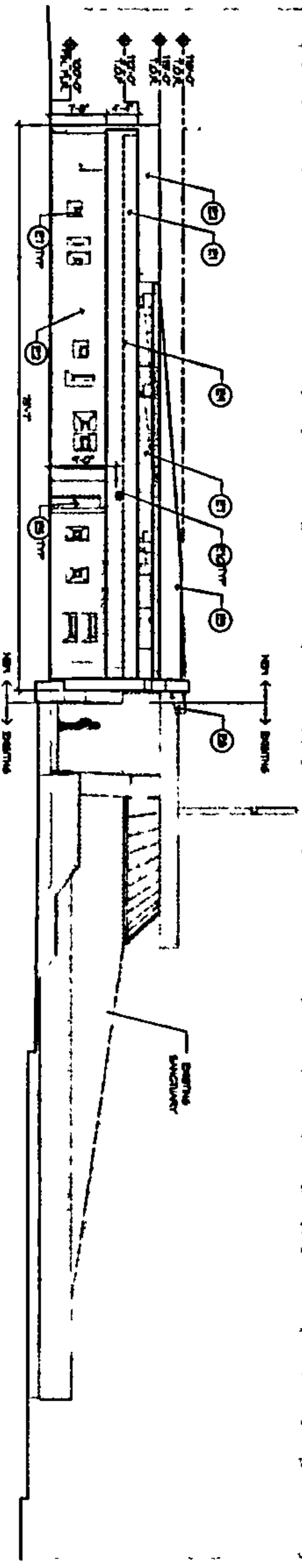
Project Number	
Drawn By	JANUARY 25, 2002
Checked By	
Scale	
Sheet Title	PRELIMINARY UTILITY PLAN
Sheet Number	CG-102

EXTERIOR FINISH SCHEDULE				
ID	MATERIAL / DESCRIPTION	FIN.	COMMON COLOR NAME	NOTE
01	BRICKWORK	BL. GR. KENTILE	TKA	
02	BRICKWORK	BL. GR. KENTILE	BROWN	WALTON BRICKING COLOR ON STRUCTURE
03	SPANDREL BRIM	LITTLA BRIM	VERTICAL COLOR	LOFT NEUTRALTONE
04	TRUCK BODY PANELS	HANSEN	BROWN	BRICKING COLOR ON STRUCTURE
05	TRUCK BODY PANELS	HANSEN	BROWN	BRICKING COLOR ON STRUCTURE
06	TRUCK BODY PANELS	HANSEN	BROWN	BRICKING COLOR ON STRUCTURE
07	TRUCK BODY PANELS	HANSEN	BROWN	BRICKING COLOR ON STRUCTURE
08	TRUCK BODY PANELS	HANSEN	BROWN	BRICKING COLOR ON STRUCTURE
09	TRUCK BODY PANELS	HANSEN	BROWN	BRICKING COLOR ON STRUCTURE
10	TRUCK BODY PANELS	HANSEN	BROWN	BRICKING COLOR ON STRUCTURE
11	TRUCK BODY PANELS	HANSEN	BROWN	BRICKING COLOR ON STRUCTURE
12	TRUCK BODY PANELS	HANSEN	BROWN	BRICKING COLOR ON STRUCTURE
13	TRUCK BODY PANELS	HANSEN	BROWN	BRICKING COLOR ON STRUCTURE
14	TRUCK BODY PANELS	HANSEN	BROWN	BRICKING COLOR ON STRUCTURE
15	TRUCK BODY PANELS	HANSEN	BROWN	BRICKING COLOR ON STRUCTURE
16	TRUCK BODY PANELS	HANSEN	BROWN	BRICKING COLOR ON STRUCTURE
17	TRUCK BODY PANELS	HANSEN	BROWN	BRICKING COLOR ON STRUCTURE
18	TRUCK BODY PANELS	HANSEN	BROWN	BRICKING COLOR ON STRUCTURE
19	TRUCK BODY PANELS	HANSEN	BROWN	BRICKING COLOR ON STRUCTURE
20	TRUCK BODY PANELS	HANSEN	BROWN	BRICKING COLOR ON STRUCTURE

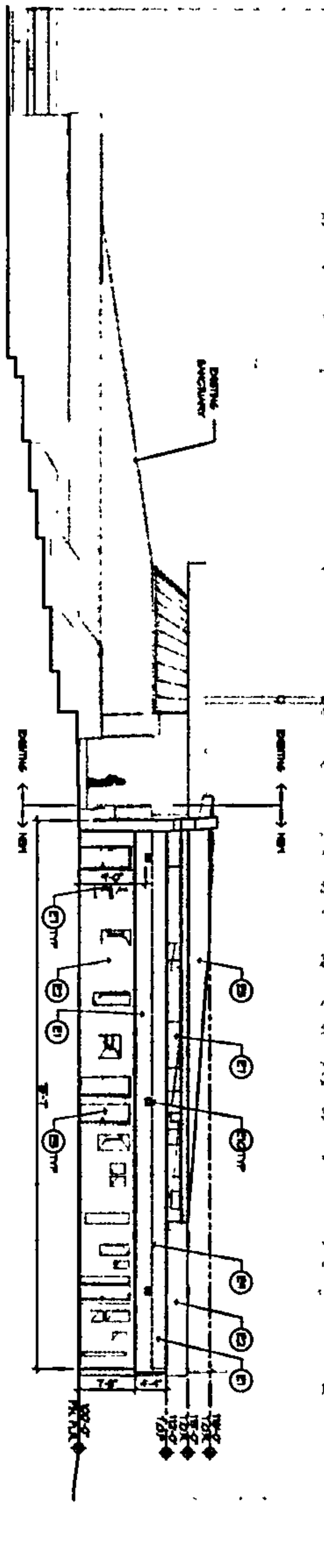
NOTE: SEE ALSO SEE BUILDING ELEVATIONS TO WHICH REFERENCED TOOLS & SYSTEMS.



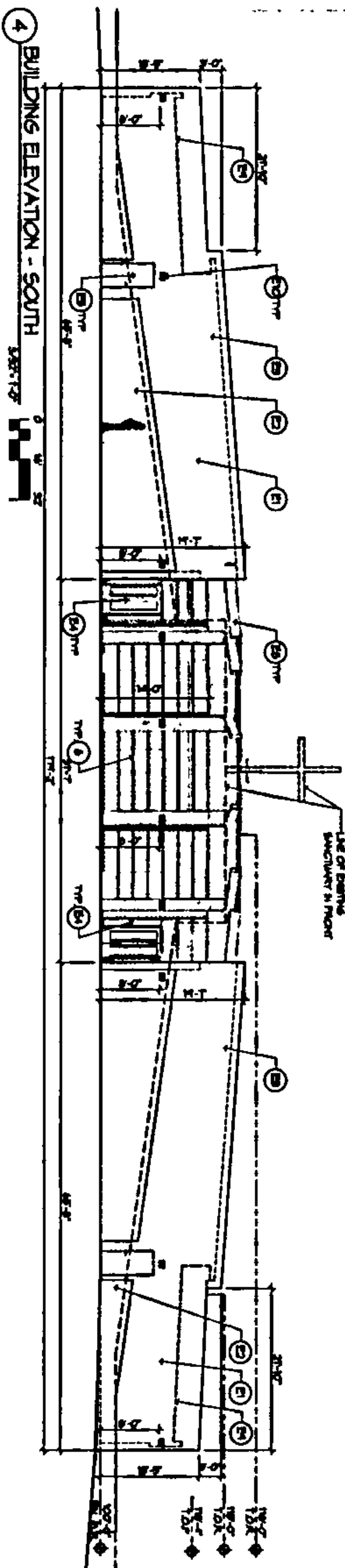
1 BUILDING ELEVATION - NORTH



2 BUILDING ELEVATION - WEST



3 BUILDING ELEVATION - EAST



4 BUILDING ELEVATION - SOUTH

Santuario de San Martin de Porres  
 8301 Camino San Martin  
 Westgate Heights  
 Albuquerque, New Mexico

Project Number	
Drawn By	
Checked By	
Issue Date	JANUARY 21, 2012
BUILDING ELEVATION	
Scale	AS SHOWN
A-201	
SHEET 1 OF 3	





Darren Sowell  
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Santuario de San Martin de Porres  
8301 Camino San Martin  
Westgate Heights  
Albuquerque, New Mexico

INTRODUCTION

THE FOLLOWING DESIGN STANDARDS FOR SANTUARIO DE SAN MARTIN DE PORRES ARE ATTACHED TO AND MADE PART OF THE SITE PLAN FOR BUILDING PERMIT THESE DESIGN STANDARDS ARE INTENDED TO ADDRESS AREAS OF THE SITE SHOWN FOR ILLUSTRATIVE PURPOSES AND ARE PROVIDED TO ENSURE A CONSISTENT LEVEL OF DEVELOPMENT THROUGHOUT SANTUARIO DE SAN MARTIN DE PORRES. ALL SITE PLANS FOR BUILDING PERMIT MUST BE CONSISTENT WITH THESE STANDARDS. SITE PLANS FOR BUILDING PERMIT WHICH ARE IN COMPLIANCE WITH THE DESIGN STANDARDS AND ILLUSTRATIVE SITE PLANS SHALL BE DELEGATED TO THE DEVELOPMENT REVIEW BOARD (DRB).

1. OVERALL DESIGN THEME

THE STYLE AND ARCHITECTURE OF SANTUARIO DE SAN MARTIN DE PORRES HAS INSPIRED BY A SMALL VILLAGE CHURCH IN PERU WHICH THE FATHER AND MEMBERS OF THE SANTUARIO DE SAN MARTIN CONGREGATION VISITED IN THE 1970S. FROM THERE, A "REPLICATED" DESIGN HAS CREATED AND A SITE DEVELOPMENT PLAN WAS APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION IN JUNE 1980 (PROJECT # 2-74-1584). THIS PROJECT IS A CONTINUATION OF THAT VISION, RE-CREATING THE VILLAGE CHURCH VISITED SO LONG AGO IN PERU.

2. PERMITTED USES

SU-1 FOR CHURCH AND RELATED FACILITIES

SANTUARIO DE SAN MARTIN DE PORRES WILL BE A CHURCH AND WILL COMPLY WITH ALL PLANS ZONES AFFECTING THIS PROPERTY.

3. DESIGN STANDARDS

A. INTRODUCTION

THESE DESIGN STANDARDS ARE ESTABLISHED TO PROVIDE ASSURANCE THAT FUTURE DESIGN AND CONSTRUCTION WILL MEET THE COHESIVE STANDARDS OF QUALITY ESTABLISHED BY WHICH THESE ORIGINAL STRUCTURES ARE PRODUCED. THESE STANDARDS WILL ASSIST IN CREATING AN ATTRACTIVE CHURCH FACILITY AND WILL DEFINE A UNIFIED IMAGE FOR ARCHITECTURAL AND LANDSCAPE DESIGN THAT CREATES A DISTINCTIVE VISUAL IDENTITY.

B. STREETScape

THE DEVELOPMENT OF AN IDENTITY THAT SYMBOLIZES THE MISSION AND HERITAGE OF SANTUARIO DE SAN MARTIN DE PORRES IS PARAMOUNT TO THE PARISHIONERS OF THE CHURCH. THE COMMITMENT IT SERVES AND THE ARCHDIOCESE OF SANTA FE.

- LANDSCAPE BUFFERS SHALL BE PROVIDED TO ENSURE FLEXIBILITY FOR ENTRY LANDSCAPING SIDEWALK DEVELOPMENT AND OTHER PEDESTRIAN AMENITIES, AS WELL AS OPPORTUNITIES FOR VISUAL SCREENING AND ENVIRONMENTAL AMENITIES.
LIVING PLANT MATERIALS SHALL COVER A MINIMUM OF 75 PERCENT OF THE REQUIRED LANDSCAPE AREA.
LOW WATER USE TURF MAY BE PROVIDED AT A MAXIMUM OF 40 PERCENT OF THE REQUIRED LANDSCAPE AREA.
HIGH WATER USE TURF IS NOT ALLOWED.
MATERIALS FOR THE SEPARATION OF TURF AND PLANTING BEDS MAY BE CONCRETE, BRICK, OR SIMILAR QUALITY MATERIAL. STEEL EDGING IS NOT ALLOWED.

C. PARKING

THE INTENT OF THE STANDARDS FOR THE DEVELOPMENT OF PARKING AREAS IS TO PROVIDE ACCESSIBLE, SAFE CIRCULATION WITHIN AND ADJACENT TO THE PARKING AREAS.

- NO ON-STREET PARKING SHALL BE PROVIDED.
PARKING SPACE STANDARDS SHALL BE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE'S COMPREHENSIVE ZONING CODE.
ADA-COMPLIANT PARKING SHALL BE LOCATED ADJACENT TO MAIN BUILDING ENTRANCES.
LANDSCAPED ISLANDS SHALL BE DISTRIBUTED THROUGHOUT PARKING AREAS. PARKING AREAS VISIBLE FROM THE PUBLIC STREET SHALL INCLUDE AT LEAST ONE TREE FOR EVERY SIX PARKING SPACES. AND THE MAXIMUM DISTANCE FROM ANY PARKING SPACE TO A TREE SHALL BE 50 FEET.
MOTORCYCLE, MOPED, AND MOTOR SCOOTER PARKING SHALL BE PROVIDED CLOSE TO BUILDING ENTRANCES FOR CITY REGULATION DM-16-8-1 AND SHALL BE VISIBLE FROM BUILDING ENTRANCES.

D. BICYCLE FACILITIES

- BICYCLE PARKING FOR PARISHIONERS SHALL BE PROVIDED TO PROMOTE ALTERNATIVE VEHICLE USE. ONE BICYCLE RACK SPACE PER 30 PARKING SPACES IS REQUIRED AND SHALL BE CONVENIENTLY LOCATED NEAR BUILDING ENTRANCES, BUT NOT WITHIN PEDESTRIAN PATHWAYS OR LANDSCAPE AREAS.

E. SITE LANDSCAPE

LANDSCAPED AREAS SERVE TO ENHANCE THE VISUAL DYNAMICS OF THE DEVELOPMENT AND ADD IN REINFORCING THE ENVIRONMENT.

THE PLANT PALETTE FOR SANTUARIO DE SAN MARTIN DE PORRES SHALL PROVIDE YEAR-ROUND COLOR. THE OWNER AND SHALL CONSIST OF REASONABLY APPROPRIATE, LOW WATER USE PLANTS. A PALETTE OF HARDSCAPE MATERIALS WILL ALSO BE SELECTED FOR THE ENTIRE SITE TO FURTHER CONTRIBUTE TO THE SENSE OF VISUAL IDENTITY.

- ALL LANDSCAPE PLANS SHALL COMPLY WITH THE CITY'S WATER CONSERVATION ORDINANCE AND POLLEN ORDINANCE, AND ZONING CODE 14-16-8-10.
WATER HARVESTING TECHNIQUES INCLUDING SOME COMBINATION OF CURB CUTS FOR DRAINAGE TO LANDSCAPED AREAS, BIOSPALES TO SLOPE AND TREAT STORM WATER RUNOFF OR OTHER INNOVATIVE TECHNOLOGIES ARE REQUIRED.
LIVE PLANT MATERIALS SHALL COVER A MINIMUM OF 75 PERCENT OF ALL REQUIRED LANDSCAPED AREAS.
LANDSCAPE HEADERS SHALL BE USED TO SEPARATE TURF AND PLANTING BEDS. HEADERS MAY BE CONCRETE, BRICK, STONE OR OTHER SIMILAR QUALITY MATERIAL. STEEL EDGING IS NOT ALLOWED.
GRAVEL, MULCH, COBBLE, AND SIMILAR MATERIALS ARE ACCEPTABLE AS A TOP DRESSING FOR LANDSCAPED AREAS, BUT ORGANIC MULCHES SHALL BE ENCOURAGED WHERE THE GRADE ALLOWS.
AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM IS REQUIRED TO SUPPORT SITE LANDSCAPING. THE SYSTEM SHALL BE DESIGNED TO MANAGE EFFICIENCY AND AVOID OVER-SPRAYING ONTO WALLS, BUILDINGS, FENCES, WALLS, ETC.
ALL PLANT MATERIAL SHALL BE MAINTAINED BY THE OWNER IN A LIVING, ATTRACTIVE CONDITION. THIS INCLUDES PROPER MAINTENANCE OF THE IRRIGATION SYSTEM AND REMOVAL OF NEEDS TRASH OR DEBRIS.
MINIMUM PLANT MATERIAL SIZES AT THE TIME OF INSTALLATION SHALL BE AS FOLLOWS:
CANOPY TREES - 2" CALIPER S&B OR BOWED EVERGREEN TREES - 8 FOOT MINIMUM HEIGHT
ACCENT TREES - 1 1/2" CALIPER S&B OR BOWED
MULTITRUNK TREES - 18-GALLON MINIMUM BRUSHES, ORNAMENTAL SHRUBS AND GROUND COVERS - 1 GALLON MINIMUM.

F. ARCHITECTURE

IN GENERAL, ALL BUILDINGS SHALL COMPLY WITH THE CURRENT CITY OF ALBUQUERQUE ZONING CODE AND ALL APPLICABLE SECTOR PLAN POLICIES AND ORDINANCES. HOWEVER, IN CASES WHERE THE SANTUARIO DE SAN MARTIN DE PORRES REQUIREMENTS EXCEED THE ZONING CODE, THE SANTUARIO DE SAN MARTIN DE PORRES CENTER STANDARDS WILL GOVERN. THE FOCUS OF THESE ARCHITECTURAL STANDARDS AND GUIDELINES IS TO PROMOTE CONSISTENCY AND CONTINUITY IN RELATION TO BUILDING AESTHETICS AND DESIGN.

G. MATERIALS AND COLORS

BUILDINGS SHOULD CONVEY SOLIDITY AND DURABILITY AND EMPLOY HIGH QUALITY MATERIALS. MATERIALS AND COLORS SHOULD PAY HOMAGE TO THE VERNACULAR ARCHITECTURE OF THE EXISTING SANTUARIO DE SAN MARTIN DE PORRES BUILDING. ACCEPTABLE MATERIALS INCLUDE STUCCO, PAINTED METAL, WOOD, AND STONE. ARCHITECTS SHALL USE THOSE MATERIALS TRADITIONALLY USED IN THE ALBUQUERQUE OR NEW MEXICO AREA.

ACCEPTABLE COLORS INCLUDE: TAN (#D2 STRAY) BRUSH (#16 ACCENT) AND BRUSH (#BATTI SHOCKY TOPAZ) BRONZE ANODIZE. THE USE OF ACCENT COLORS AND MATERIALS IS ENCOURAGED TO BRING OUT DETAILS TO BETTER ARTICULATE OR GIVE SCALE TO A BUILDING. HOOD TRUCK PAINT, METAL, ETC.

NO METAL OR PLAN CONCRETE BUILDINGS SHALL BE ALLOWED.

- PROHIBITED BUILDING MATERIALS INCLUDE THE FOLLOWING:
PLASTIC OR VINYL BUILDING PANELS,
APRONS, OR CANOPIES,
EXPOSED UNTREATED PEBBLEBLOCK OR HOOD,
HIGHLY REFLECTIVE SURFACES.

H. BUILDING HEIGHTS

BUILDING HEIGHT MAXIMUM 36 FT

I. CONTEXT

NEW BUILDINGS SHALL BE DESIGNED TO HARMONIZE WITH ADJACENT BUILDINGS.

J. BUILDING ARTICULATION/DESIGN

BUILDINGS SHALL CONVEY AN IMAGE APPROPRIATE TO A NEIGHBORHOOD CHURCH AND RELATED FACILITIES.

- BUILDINGS SHALL BE SENSITIVE TO THE LOCAL CHARACTER OF THE REGION AND THE VERNACULAR ELEMENTS OF BUILDINGS.

K. EQUIPMENT

ALL ROOF TOP EQUIPMENT AND APPURTENANCES SHALL BE BELOW THE TOP OF THE PARAPET, OR ARCHITECTURALLY SCREENED WITH A VISUALLY SURROUND THAT IS COMPATIBLE WITH THE PREDOMINANT BUILDING MATERIALS AND COLOR. ROOF PENETRATIONS THAT ARE NOT ARCHITECTURALLY SCREENED WITH A VISUALLY SURROUND SHALL BE PAINTED TO MATCH ROOF COLOR OR GENERAL BUILDING COLOR.

ALL GROUND EQUIPMENT SHALL BE ARCHITECTURALLY SCREENED AND ENCLOSED WITH THE TOP OF THE EQUIPMENT BELOW THE TOP OF THE SCREEN. THIS INCLUDES BUT IS NOT LIMITED TO: WATER BACKFLOW PREVENTERS, GAS METERS, ELECTRIC METERS, EXPOSED CONDUIT, GASLINES, AND PIPING.

TRANSFORMERS, UTILITY PADS AND TELEPHONE BOXES SHALL BE APPROPRIATELY SCREENED WITH WALLS AND/OR VEGETATION WHEN VIEWED FROM THE PUBLIC RIGHT-OF-WAY BUT IN SUCH A MANNER THAT IS ACCEPTABLE TO THE AFFECTED SERVICE PROVIDER TO ENSURE SAFETY AND ACCESS FOR MAINTENANCE, REPAIR, AND REPLACEMENT OF EQUIPMENT.

L. PORTABLE BUILDINGS

PERMANENT PORTABLE BUILDINGS ARE NOT ALLOWED IN SANTUARIO DE SAN MARTIN DE PORRES.

- PERMANENT PORTABLE BUILDINGS SHALL BE FINISHED TO MATCH THE PRIMARY MATERIALS OF THE OVERALL BUILDING.

M. SUSTAINABILITY

GREEN ARCHITECTURAL DESIGN AND CONSTRUCTION HAS BEEN IMPLEMENTED WHEREVER POSSIBLE. SANTUARIO DE SAN MARTIN DE PORRES USES SUSTAINABLE DESIGN PRINCIPLES, ENVIRONMENTALLY RESPONSIBLE BUILDING CONCEPTS AND PRACTICES, AND EARTH-FRIENDLY PRODUCTS.

- LOW WATER USE TURF MAY BE PROVIDED AT A MAXIMUM OF 40 PERCENT OF THE LANDSCAPED AREA.
HIGH WATER USE TURF WILL NOT BE ALLOWED.
ALL LANDSCAPE PLANS SHALL COMPLY WITH THE CITY'S WATER CONSERVATION ORDINANCE AND POLLEN ORDINANCE.
WATER HARVESTING TECHNIQUES INCLUDING SOME COMBINATION OF CURB CUTS FOR DRAINAGE TO LANDSCAPED AREAS, BIOSPALES TO SLOPE AND TREAT STORM WATER RUNOFF ARE REQUIRED.
AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM SHALL BE INSTALLED TO SUPPORT SITE LANDSCAPING. THE SYSTEM SHALL BE DESIGNED TO MANAGE EFFICIENCY AND AVOID OVER-SPRAYING ONTO WALLS, BUILDINGS, FENCES, WALLS, ETC.

N. LIGHTING

A CONSISTENT THEME FOR THE LIGHTING FIXTURES WILL CONTRIBUTE SIGNIFICANTLY TO SANTUARIO DE SAN MARTIN'S OVERALL AESTHETIC CHARACTER. SAFETY AND SECURITY SHALL BE THE PRIMARY DESIGN CONSIDERATION, AS WELL AS THE DAYTIME APPEARANCE OF THE LIGHT FIXTURES.

- LIGHTING SHALL BE FULLY SHIELDED HORIZONTAL LAMPS SO THAT NO PUNY LIGHT MAY ESCAPE BEYOND THE PROPERTY LINE AND NO LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER.
LIGHT FIXTURES SHALL NOT EXCEED 16' IN HEIGHT.

THE PATTERN OF LIGHT POOLING FROM EACH FIXTURE SHALL AVOID GLARE OR REFLECTION ON ADJACENT PROPERTIES, BUILDINGS OR ROADWAYS.

- THE USE OF ENERGY EFFICIENT LIGHTING IS REQUIRED.

O. SCREENING/BUFFERING

MECHANICAL EQUIPMENT (NEITHER ON ROOF AREAS OR AT STREET LEVEL) SHALL BE FULLY SCREENED FROM PEDESTRIANS OR MOTORISTS. SCREENING SHALL BE COMPATIBLE WITH MATERIALS AND DESIGN OF THE BUILDING.

THE USE OF BARBED WIRE, HOOD FENCING OR PLASTIC VINYL FENCING IS NOT PERMITTED.

- REFUSE ENCLOSURES SHALL BE SCREENED WITH WALLS OF THE SAME MATERIAL AS THE BUILDING ITSELF.

Project Number
Drawn By
Checked By
Issue Date JANUARY 21, 2010
DESIGN STANDARDS

Scale: AS SHOWN



City of Albuquerque  
Planning Department  
Current Planning Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: February 19, 2010

**OFFICIAL NOTIFICATION OF DECISION**

FILE: **Project 1008137**  
10EPC-40004 AMEND SITE  
DEVELOPMENT - BUILDG PRMT

Rev. Leo Padget  
San Martin de Porres Parish  
8301 Camino San Martin SW  
Albuquerque, NM 87121

LEGAL DESCRIPTION: DSA ARCHITECTS, LLC agents for SANTUARIO DE SAN MARTIN CHURCH request the above action for all or a portion of Tract A, WESTGATE HEIGHTS SUBDIVISION zoned SU-1 for Church and Related Facilities located on CAMINO SAN MARTIN SW BETWEEN UNSER BLVD SW AND GIBSON BLVD SW containing approximately 4.7 acres. (M-10) Carol Toffaleti, Staff Planner

On February 18, 2010 the Environmental Planning Commission voted to **APPROVE** Project 1008137 / 10EPC-40004, an amendment to site development plan for building permit for Tract A, Westgate Heights Subdivision zoned SU-1 for Church and Related Facilities, based on the following Findings and subject to the following Conditions:

**FINDINGS:**

1. The site development plan for building permit amendment is for Tract A, Westgate Heights Subdivision, a site of approximately 4.7 acres zoned SU-1 for Church and Related Facilities, located on Camino San Martin between Unser Blvd. and Gibson Blvd. SW. The site currently contains a 9,500 sf church, parking, landscaping and detention ponds. The architecture of the church was inspired by the design of a church in Peru and the applicant proposes to construct a 9,500 sf fellowship hall, and a future 3,000 sf office building in the same style.
2. The subject site is in the Developing Urban Area of the Comprehensive Plan and within the boundaries of the West Side Strategic Plan, including the Southwest Albuquerque Strategic Action Plan.



3. The Albuquerque/Bernalillo County Comprehensive Plan, the West Side Strategic Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
4. The subject site is on two levels: the finished floor of the existing church is at 5,052.4 ft and the finished floor of the proposed fellowship hall is at 5,062.5 ft, a grade difference of 10.1 ft. A future office building would be at approximately the same level as the church.
5. The site is surrounded on three sides by residential zones (R-LT and R-D), which are developed with single-family homes.
6. The site was rezoned from R-1 to its current zoning in 1979 (Z-79-137, 11/15/1979) and a site development plan for the church received final sign-off on 7/2/1980. As a condition of approval, the EPC required sidewalks and shade trees along all streets. In addition, the site development plan required direct pedestrian access from the future street along the east property line.
7. The request furthers the following goals and policies of the Comprehensive Plan (CP) and the West Side Strategic Plan (WSSP), which includes the Southwest Albuquerque Strategic Area Plan (SWASAP):
  - a. The proposed site and building design respects neighborhood values and scenic resources, is appropriate to the plan area and will improve the visual quality of the site (CP policies II.B.5.d., l., & m.)
  - b. The proposed landscaping throughout the upper parking area and along pedestrian pathways will control water erosion and dust and improve the appearance of the site. Some native vegetation is proposed. (CP policy II.C.8.d)
  - c. An existing on-site detention pond and swale will be enlarged to accommodate runoff from the proposed development and will be appropriately landscaped, and a portion of the runoff will supplement irrigation in landscaped strips within the parking area (CP Policies II.D.2.a. & b.)
  - d. The additional buildings and land uses will result in an appropriate development density for the church site and its residential context. Increased runoff from the development is handled through on-site detention and some infiltration, which conserves water (WSSP objective 6)
  - e. The proposed fellowship hall provides space for new educational and social opportunities, which helps create a more complete neighborhood in the Westgate Heights area (SWASAP Goal 1).
8. The request conflicts or partially conflicts with the following goals and policies of the Comprehensive Plan (CP) and the West Side Strategic Plan (WSSP), which includes the Southwest Albuquerque Strategic Area Plan (SWASAP):
  - a. Pedestrian and bicycle opportunities are integrated into the upper level of the site, but there is no ADA-compliant connection with the lower level and no direct access to it from the

abutting street. As a result, there is no link to the existing trail and proposed bike lane on Unser Blvd. (CP Transportation & Transit Goal and Policy II.D.4.g, WSSP Objective 11 & Policy 4.10, SWASAP Goal 5)

- b. Lighting around the perimeter of the new buildings is not adequate to ensure pedestrian safety and security (WSSP policy 4.6/Lighting).
9. Deficiencies in the site development plan can be addressed through conditions that will strengthen compliance with city goals, policies and regulations, including the addition of a pedestrian connection and lighting for walkways along the new buildings.
10. The applicant is requesting delegation of approval for the office building to the DRB, which would be acceptable with minor changes to the proposed design standards.
11. Property-owners within 100', the Westgate Heights Neighborhood Association (NA), South Valley Coalition of NAs, South West Alliance of Neighbors (SWAN) and Westside Coalition of NAs were notified of the proposal. A written comment was received from a property owner, who does not object to this request. There is no known opposition to the request.

**CONDITIONS:**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The EPC delegates approval of the future office building to the DRB according to this site development plan, as amended by the following conditions.
4. **RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT and NMDOT:** Conditions of approval for the proposed Site Development Plan for Building Permit shall include:
  - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).
  - b. If applicable, provide encroachment agreements for fencing and signage located within City of Albuquerque right-of-way.
  - c. Site plan shall comply and be designed per DPM Standards.



5. Site Development Plan (sheet 1 –AS-101)

- a. In the label for the future building, include “office” to specify the use, and include the gross square footage instead of the net leasable area.
- b. Call out the existing free-standing sign on Camino San Martin “to be removed onto subject property.” There shall be no other free standing signs.
- c. Move the curb cut detail and cross-section to sheet 2 (AS-501).

6. Parking

a. Calculations

- i. Specify “fellowship hall” and “office” to identify the uses of the two buildings.
  - ii. Provide the number of seats in the sanctuary, which shall correspond to the number of spaces required.
  - iii. Provide the number of motorcycle and bicycle spaces required by the church and future office use.
  - iv. Correct the total number of parking spaces provided.
- b. On the site plan, call out the number of new parking spaces (149) on the upper level of the site and the number of existing (75) and proposed spaces (69) on the lower level.
  - c. Add one motorcycle parking space in a location visible from a main entrance to the church.
  - d. Add the following text to Keyed Note 30: “Motorcycle parking spaces for each building on the site shall be located to comply with 14-16-3-1(C).”
  - e. Call out the existing disabled parking signs in front of the church.

7. Pedestrian access and circulation:

- a. Create an opening in the wall and fence on Summerfield Place to provide an ADA-compliant pedestrian connection to the walkway at the front of the church. The opening may have a gate that can be locked except during church services and related activities.
- b. The crosswalks shall be textured colored concrete, thermoplastic or similar material.
- c. The bike rack at the west corner of the fellowship shall be repositioned to maintain a minimum 6' clear pedestrian path around the rack when it is in use.

8. Lighting:

- a. General Note B on sheet 1 (AS-101) shall also state that the location of site lighting shall be coordinated with the landscape plan and grading & drainage plan to avoid conflict with shade trees and stormwater flows.
- b. Add a General Note to sheet 1 (AS-101) stating that area lighting shall comply with 14-16-3-9 of the Zoning Code.
- c. Call out any existing lightpoles that are being retained or removed.

- d. Bollard and/or building-mounted lighting shall be added along facades of the fellowship hall and future office building to improve safety and security.

9. Landscaping:

- a. The area of existing landscaping to remain "as is" in the north part of the site shall be hatched and its square footage shall be indicated on the site plan.
- b. Correct parking area tree calculations to reflect the actual number of parking spaces and trees provided.
- c. Improve the legibility of the note concerning the 30' clear zone in the SAS easement. Relocate the Honey Locust in the northeast corner of the site outside this zone.
- d. In landscape calculations, clarify which areas are included in the "total proposed" and "total existing" landscape provided.
- e. Ensure that square footage figures denoting the same landscaped areas are identical throughout the landscape plan.
- f. Add calculations for the Phase II development (future office building).

10. Outdoor amenities:

- a. Seating shall be added along the circular frontage of the fellowship hall to comply with 14-16-3-18(C)(3). Seating may include benches in combination with the proposed tree planters, provided a 6' clear pedestrian path and any rainwater harvesting measures are maintained.
- b. A patio area or wider walkway with, at minimum, seating and 25% shade shall replace a portion of the parking adjacent to the fellowship hall (max. 18 spaces) and be located to complement indoor uses of the building. Parking calculations shall be adjusted accordingly.

11. Utility equipment

- a. Insert "per 14-16-3-18(C)(6)" in General Note C. Add a second sentence: "Any structural features used to screen equipment shall match the predominant materials and colors used in the buildings."
- b. Add the following as General Notes per PNM:
  - i. It is the applicant's obligation to determine if existing utility easements or rights-of-way are located on or adjacent to the property and to abide by any conditions or terms of those easements or agreements.
  - ii. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes.

12. Grading & Drainage Plan:



- a. Call out the square footage and finished floor elevation of the fellowship hall on the building footprint.
- b. Provide preliminary drainage information for the Phase II development (future office building).

13. Architecture: On the elevations sheet, the metallic roof shall be noted as "low-reflective" to prevent unnecessary glare to surrounding properties. Standing seam metal roofing with the metallic color silver is acceptable under this condition.

#### 14. Design Standards

- a. Move the design standards to the site plan or elevations (sheet 1 or 7) as amended below:
  - i. Materials and Colors: insert "wood" after "metal"; insert "bronze anodize" after "Fopaz".
  - ii. Building height: replace text with "maximum 26 ft".
- b. Add a note to sheet 1 (AS-101) stating that the EPC delegates approval of the future office building to the DRB, per the Design Standards on [appropriate sheet].
- c. Move sentence in the Equipment section that begins "Roof penetrations..." to General Note C on sheet 1.
- d. Move the following bullet points in the Lighting section to the General Notes on sheet 1 (AS-101): bullet points beginning with "Controlled...", "Fixture...", "Exterior...", "Uplighting..."
- e. The following words from the introduction shall be struck: "The future building being proposed" and replaced with, "all Buildings".

**APPEAL: IF YOU WISH TO APPEAL A FINAL DECISION, YOU MUST DO SO BY MARCH 5, 2010 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.**

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

OFFICIAL NOTICE OF DECISION  
FEBRUARY 18, 2010  
PROJECT 1008137  
PAGE 7 OF 7

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

**Deferral requests by the applicant for map amendments and site development plans are subject to a \$110 fee per item (Zoning Code Section 14-16-4-1(B)). Failure of the applicant to pay such fees and provide proof of payment prior to the date the case(s) are deferred to may result in further deferral of the item(s) until the required fee(s) are paid.**

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC.

Sincerely,



Deborah Stover  
Planning Director

DS/CT/ma

cc: John A. Huchmala, Archdiocese of Santa Fe, 4000 St. Joseph's Place NW, Albuquerque, NM 87120  
DSA Architects, LLC, 4700 Lincoln Rd NE, Ste 111, Albuquerque, NM 87109  
Frederick Gentry, Westgate Heights NA, 10213 DeTrevis SW, Albuquerque, NM 87121  
Matthew Archuleta, Westgate Heights NA, 1628 Summerfield SW, Albuquerque, NM 87121  
Susan White, South Valley Coalition of NAs, 2736 Los Padillas SW, Albuquerque, NM 87105  
Marcia Fernandez, South Valley Coalition of NAs, 2401 Violet SW, Albuquerque, NM 87105  
Klarissa Peña, Southwest Alliance of Neighbors, 6301 Sunset Gardens, Albuquerque, NM 87121  
Louis Tafuya, Southwest Alliance of Neighbors, 6411 Avalon Rd NW, Albuquerque, NM 87105  
Brett Lopez, Westside Coalition of NAs, 4815 Northern Trail NW, Albuquerque, NM 87120  
Candelaria Patterson, Westside Coalition of NAs, 7608 Elderwood NW, Albuquerque, NM 87120



## SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

**I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.**

*Angela M. Benson, DSA Architects*  
 Applicant or Agent Signature / Date 3/10/2010

**NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".**

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**
6. **Previously approved Development Plan (if applicable)**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.**

**Accompanying Material**

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

### SHEET #1 - SITE PLAN

**A. General Information**

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less      1" = 10'  
    1.0 - 5.0 acres            1" = 20'  
    Over 5 acres                    1" = 50'  
    Over 20 acres                 1" = 100'                      *[Other scales as approved by staff]*
- 3. Bar scale
- 4. North arrow
- 5. Scaled vicinity map
- 6. Property lines (clearly identify)
- 7. Existing and proposed easements (identify each)
- 8. Phases of development including location and square footages of structures, circulation, parking and landscaping

✓

## SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

### B. Proposed Development (If supplemental Sheets are used please indicate sheet #)

#### 1. Structural

- A. Location of existing & proposed structures (distinguish between existing & proposed, include phasing)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Site amenities including patios, benches, tables, (indicating square footage of patios/ plazas).

#### 2. Parking and Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
  - 1. **Location and typical dimensions**, including handicapped spaces
  - 2. **Calculations:** spaces required: \_\_\_\_\_ provided: \_\_\_\_\_Handicapped spaces (included in required total) required: \_\_\_\_\_ provided: \_\_\_\_\_  
Motorcycle spaces (in addition to required total) required: \_\_\_\_\_ provided: \_\_\_\_\_

- B. Bicycle parking & facilities
  - 1. Bicycle racks, spaces required: \_\_\_\_\_ provided: \_\_\_\_\_
  - 2. Bikeways and other bicycle facilities, if applicable

- N/A C. Public Transit
  - \_\_\_\_\_ 1. Bus facilities, including routes, bays and shelters existing or required

- D. Pedestrian Circulation
  - 1. Location and dimensions of all sidewalks and pedestrian paths
  - 2. Location and dimension of drive aisle crossings, including paving treatment

- E. Vehicular Circulation (Refer to Chapter 23 of DPM)
  - 1. Ingress and egress locations, including width and curve radii dimensions
  - 2. Drive aisle locations, including width and curve radii dimensions
  - 3. End aisle locations, including width and curve radii dimensions
  - 4. Location & orientation of refuse enclosure, with dimensions
  - 5. Curb cut locations and dimensions
  - 6. Existing and proposed street widths, right-of-way widths and curve radii
  - 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
  - 8. Location of traffic signs and signals related to the functioning of the proposal
  - 9. Identify existing and proposed medians and median cuts



## SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

### 3. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

## SHEET #2 LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
  - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
  - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
  - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
  - A. Existing, indicating whether it is to be preserved or removed.
  - B. Proposed, to be established for general landscaping.
  - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Backflow prevention detail
- 10. Planting Beds, indicating square footage of each bed
- 11. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 12. Responsibility for Maintenance (statement)
- 13. Statement of compliance with Water Conservation...Ordinance, see article 6-1-1-1.
- 14. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 15. Landscaped area provided; square footage and percent (specify clearly on plan)
- 16. Planting or tree well detail
- 17. Street Tree Plan as defined in the Street Tree Ord.

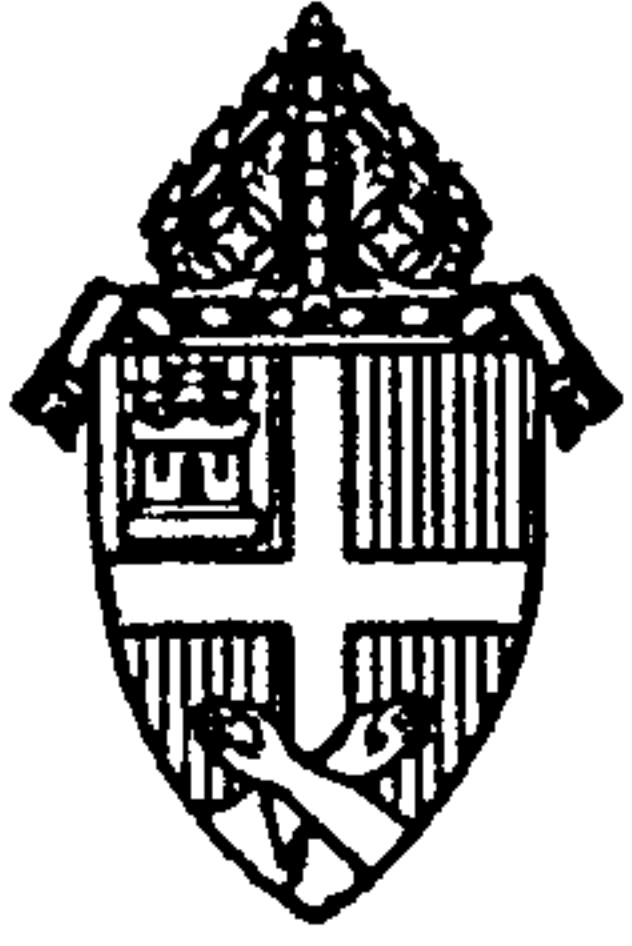
## SHEET # 3 PRELIMINARY GRADING PLAN

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1 with written approval from the Planning Department Staff.

### A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements



# ARCHDIOCESE OF SANTA FE

The Catholic Center

December 8, 2009

Planning Department  
Development Services Division  
Russell Brito, Division Manager  
600 Second Street NW  
Albuquerque, NM 87103

**RE: Santuario de San Martin de Porres**

Dear Mr. Brito,

The purpose of this letter is to authorize DSA Architects, LLC to act as our agent of record on this submittal for a Site Development Plan for Building Permit. The Roman Catholic Archdiocese of Santa Fe is the owner of the property located at 8301 Camino San Martin Road SW, Lot A, Block 000, Westgate Heights Subdivision.

Please feel free to contact me with any questions or concerns at (505) 831-8241 or email me at [jhuchmala@archdiosf.org](mailto:jhuchmala@archdiosf.org).

Respectfully,

A handwritten signature in cursive script that reads "John A. Huchmala".

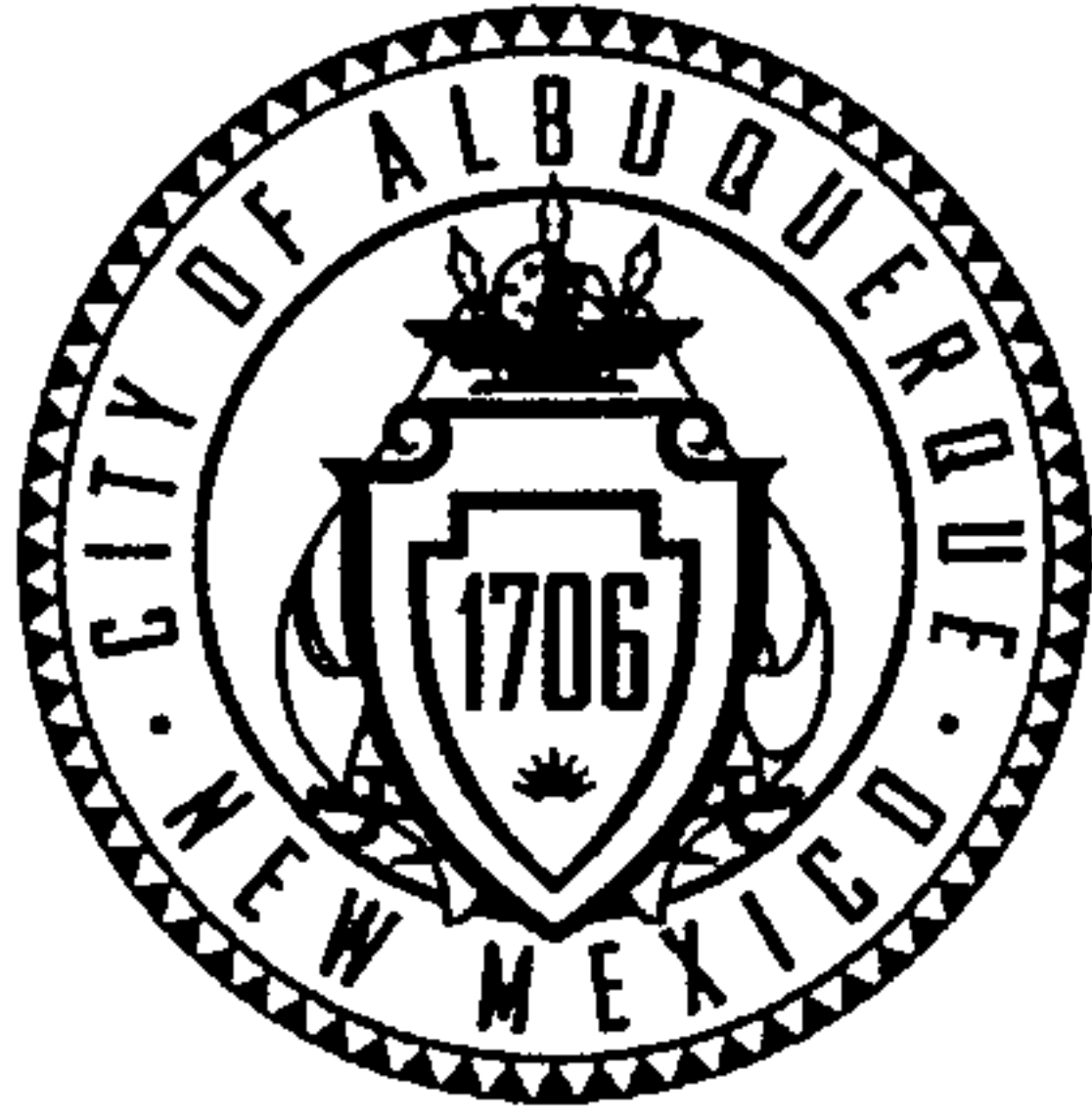
John A. Huchmala

Property/Construction Manager

cc:

Rev. Leo Padget, Pastor, San Martin De Porres Parish





City of Albuquerque  
P.O. Box 1293 Albuquerque, New Mexico 87103

## Planning Department

Martin J. Chavez, Mayor

Richard Dineen, Director

### Interoffice Memorandum

November 12, 2009

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**SUBJECT: ALBUQUERQUE ARCHAEOLOGICAL ORDINANCE—Compliance Documentation**

**Project Number(s):**

**Case Number(s):**

**Agent:** Angela Benson, DSA Architects

**Applicant:** Santuario de San Martin de Porres Church

**Legal Description:** Lot A, Block 000, Westgate Heights Subdivision

**Zoning:** S-U1 for Church and related purposes

**Acreage:** 4.66 acres

**Zone Atlas Page:** M-10

**CERTIFICATE OF NO EFFECT:** Yes  No

**CERTIFICATE OF APPROVAL:** Yes  No

**TREATMENT PLAN REVIEW:**  
**DISCOVERY:**

**SUPPORTING DOCUMENTATION:** AGIS 2008 aerial photograph

**SITE VISIT:** n/a

**RECOMMENDATION(S):**

- ***CERTIFICATE OF NO EFFECT IS ISSUED (ref O-07-72 Section 4B(2)—extensive previous land disturbance) .***

**SUBMITTED:**

Matthew Schmader, PhD  
Superintendent, Open Space Division  
City Archaeologist

## INTERNAL MEMO

**Date:** March 30, 2010

**To:** Jack Cloud, DRB Chair

**cc:** Angela Benson, DSA Architects

**From:** Carol Toffaleti, Planner  
Current Planning Division, City of Albuquerque Planning Department  
Tel 924-3345, [cgtoffaleti@cabq.gov](mailto:cgtoffaleti@cabq.gov)

**Re:** Project #1008137, 10EPC-40004, Site Development Plan for Building Permit Amendment

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At the February 18, 2010 hearing, the EPC approved the request subject to 14 conditions of approval.

The DRB submittal satisfies the conditions with the following exceptions:

- 6.e The existing signs for the existing disabled parking spaces need to be called out.
- 9.f Please explain how the proposed landscaping in Phase II will exceed the proposed landscaping in Phase I, or make the appropriate correction.
- 12.b Although the future office building is shown on the Grading & Drainage Plan, it is not reflected in the narrative. Staff delegates any appropriate change to the City Hydrologist.

In addition, staff recommends the following changes for clarity and consistency:

- 4.b Regarding the existing fence that will be moved out of the ROW, add “to be relocated out of the public ROW” in keyed note 27.

In the Design Standards, strike the following which are inconsistent with the site plan approved by the EPC or internally inconsistent:

C. Parking – delete the sentence beginning “Parking areas visible from the public street...”

Portable Buildings – delete the bullet point and text, which conflicts with the previous paragraph.

Feel free to contact me if you have any questions or concerns.

