BUILDING AREA: 5,356 S.F. (NET LEASABLE)

SETBACK: MINIMUM BUILDING SETBACK FROM HARPER ROAD IS 20 FEET. MINIMUM LANDSCAPE SETBACK FROM HARPER ROAD IS 20 FEET.

BUILDING HEIGHT: MAXIMUM BUILDING HEIGHT IS 26 FEET.

SITE AREA: 1.2231 ACRES

SITE DATA:

REQUIRED PARKING: 2,914 S.F. IST FLOOR @ | PER 200 S.F. = 15 2,914 S.F. 2ND FLOOR @ | PER 300 S.F. = 10

TOTAL PROVIDED PARKING

HANDICAPPED REQUIRED: HANDICAPPED PROVIDED: MOTORCYCLE REQUIRED: MOTORCYCLE PROVIDED: BICYCLE REQUIRED: BICYCLE PROVIDED:

VEHICULAR ACCESS: VEHICULAR ACCESS TO THIS SITE IS PROVIDED FROM THE EXISTING CURB CUT ON HARPER ROAD AND FROM THE ADJACENT DEL NORTE CENTER

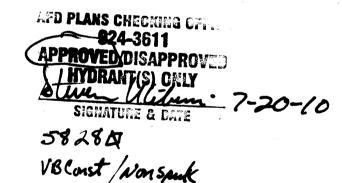
TRANSIT ACCESS: THERE ARE FOUR BUS STOPS ALONG WYOMING BOULEVARD THAT ARE WITHIN

WALKING DISTANCE (LESS THAN 1/4 OF A MILE) FROM THE SUBJECT SITE. MYOMING BOULEVARD IS AN ENHANCED TRANSIT CORRIDOR SERVING ABO RIDE ROUTES 98 AND 31.

INTERNAL CIRCULATION: INTERNAL CIRCULATION AROUND THE PROPOSED BUILDING WILL BE DIRECTED BY TRAFFIC SIGNAGE. PEDESTRIAN CONNECTIONS TO THIS SITE EXIST ALONG HARPER ROAD, AND THERE IS AN EXISTING ASPHALT TRAIL BETWEEN THE SUBJECT SITE AND THE CHERRY HILLS LIBRARY TO THE

GENERAL NOTES:

- 1. ALL UTILITIES SERVING THE SITE ARE EXISTING AND WILL NOT REQUIRE ANY MODIFICATION. 2. ONE MONUMENT SIGN IS PROPOSED AT THE SOUTHWEST CORNER OF THE PROPERTY THAT IS
- LIMPTED TO 24 S.F. PER FACE. 3. WALL SIGNS SHALL NOT EXCEED 6% OF "THE AREA OF THE FACADE TO WHICH IT IS RELATED
- 4. NO OFF-PREMISE SIGNS ARE PERMITTED.
- 5. LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 14-16-3-9, AREA LIGHTING REGULATIONS. 6. ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED.
- 7. THE MECHANICAL SYSTEMS (HEATING AND COOLING) AND BUILDING ENVELOPE (WALLS, ROOF, AND WINDOWS) SHALL BE DESIGNED AND MAINTAINED TO PROMOTE THE EFFICIENT USE OF
- 8. THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT SHALL COMPLY WITH THE APPROVED SITE DEVELOPMENT PLAN FOR SUBDIVISION FOR TRACTS CIAIA THROUGH CIA5A (Z-93-95)
- 9. VIDEO SURVEILLANCE CAMERAS SHALL BE INSTALLED TO VIEW EXTERIOR PROPERTY AREAS AND MAIN ENTRANCES.
- 10. RAINWATER HARVESTING MEASURES, SUCH AS CURB CUTS AND SWALES IN THE LANDSCAPE BUFFER ON HARPER, SHALL BE PROVIDED.
- II. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW IO FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
- 12. RECYCLING CARTS SHALL BE PROVIDED IN THE BUILDING AND PICKED UP THROUGH A PRIVATE CONTRACTOR.



20 lelgom 2 Fui hydrents

Prepared by:

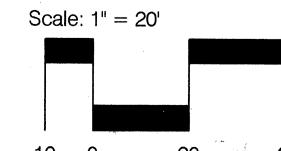
SOUTHWEST FEDERAL CREDIT UNION

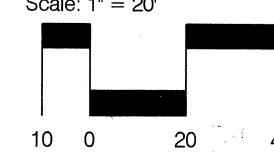
SITE PLAN FOR BUILDING PERMIT

Prepared for: Southwest Federal Credit Union PO Box 2247

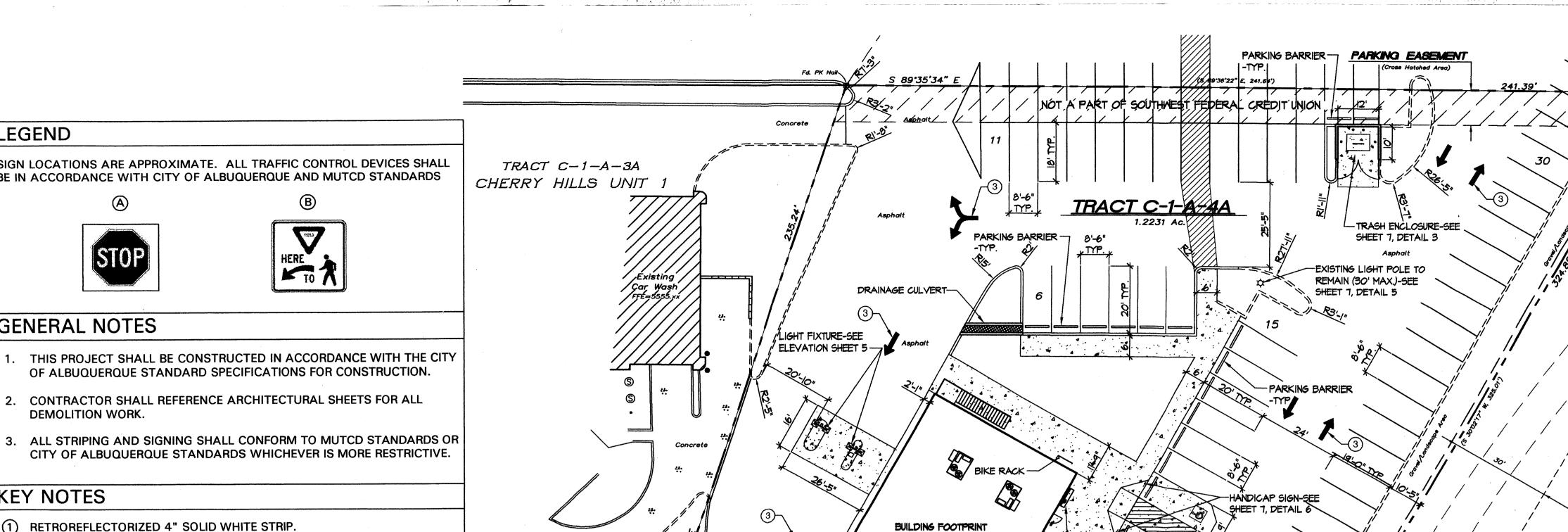
Albuquerque, NM 87103-2247

Consensus Planning, Inc. Miller Engineering Consultants NABS, Inc.









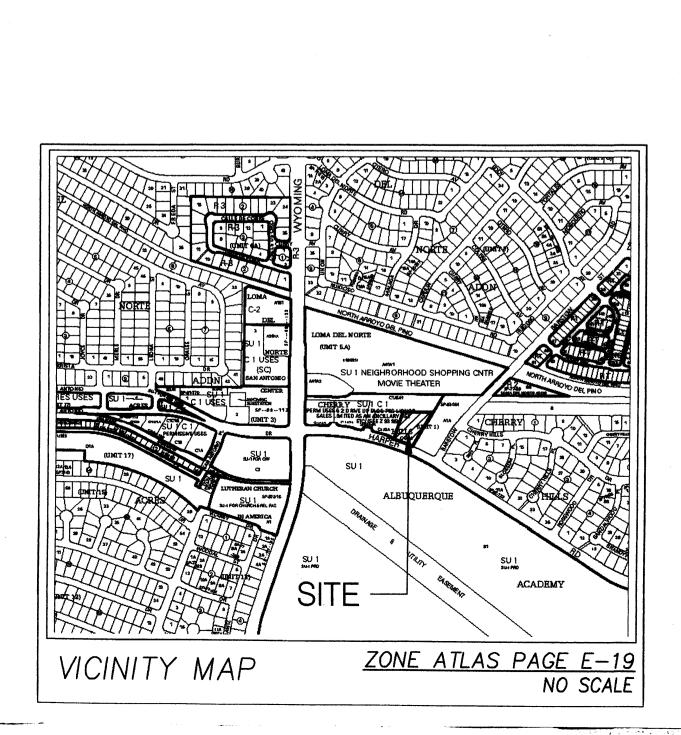
CULVERT

-MOTORCYCLE

Existing Hydrant

3,168 SF

N.E.



LEGEND

GENERAL NOTES

DEMOLITION WORK.

(1) RETROREFLECTORIZED 4" SOLID WHITE STRIP.

(3) DIRECTION OF TRAVEL ARROW PAINTED ON ROADWAY.

(2) 12" WIDE PAINTED WHITE STOP BAR.

KEY NOTES

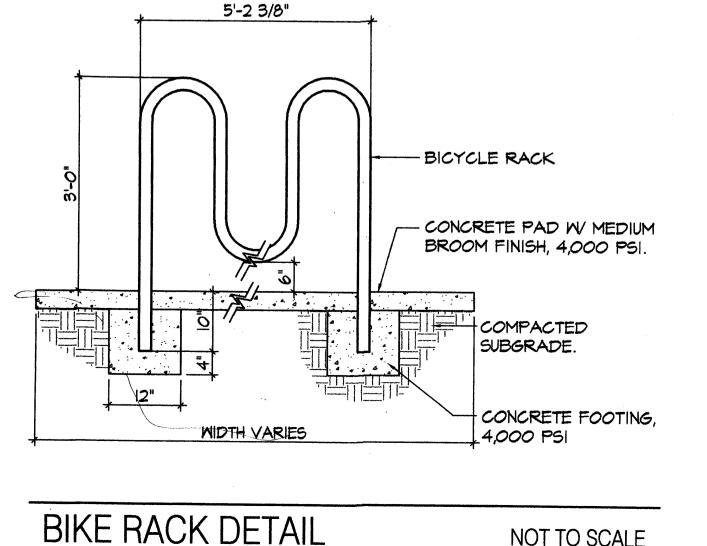
SIGN LOCATIONS ARE APPROXIMATE. ALL TRAFFIC CONTROL DEVICES SHALL

1. THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR CONSTRUCTION.

CITY OF ALBUQUERQUE STANDARDS WHICHEVER IS MORE RESTRICTIVE.

2. CONTRACTOR SHALL REFERENCE ARCHITECTURAL SHEETS FOR ALL

BE IN ACCORDANCE WITH CITY OF ALBUQUERQUE AND MUTCD STANDARDS



R95'-5"

HARPER

EXISTING RR TIE

WALL TO REMAIN

EXISTING LIGHT POLE TO REMAIN (20' MAX.)-SEE

- MONUMENT SIGN-SEE

SHEET T, DETAIL | \$ 2

SHEET 7, DETAIL 5

Variable Marin R. M.

Right-of-Way or for construction of public improvements. DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL: 08-09-10 Traffic Engineering, Transportation Division 07/28/10 7/28/10 7/28/10 7-19-10 8-9-10 cm DBB Chairperson, Planning Department

This Plan is consistent with the specific Site Development Plan approved by the

and Conditions in the Official Notification of Decision are satisfied.

Environmental Planning Commission (EPC), dated June 10, 2010 and the Findings

Is an Infrastructure List required? () Yes (X) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public

TRACT A-1-A

CHERRY HILLS UNIT 1

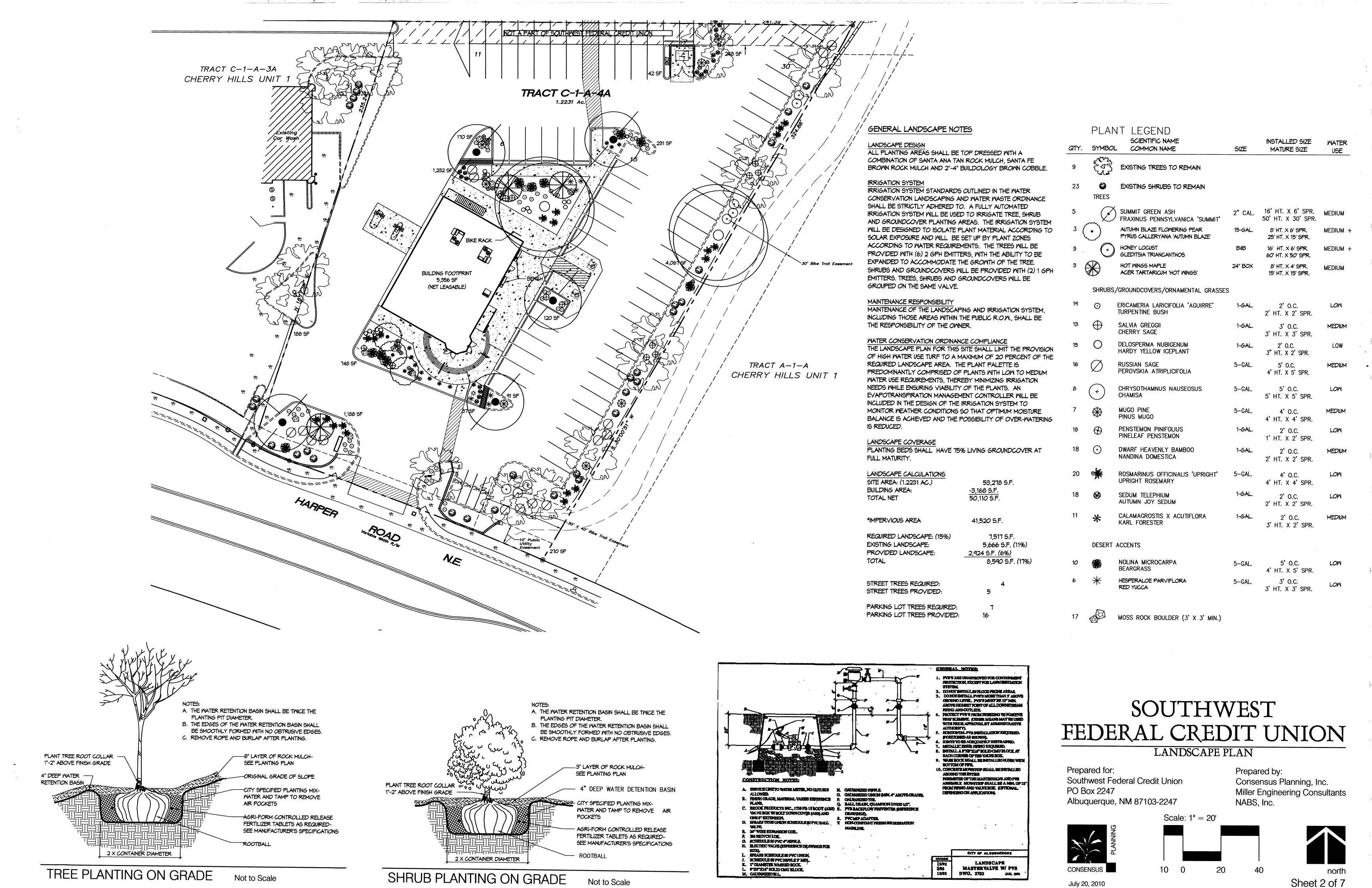
NOT TO SCALE

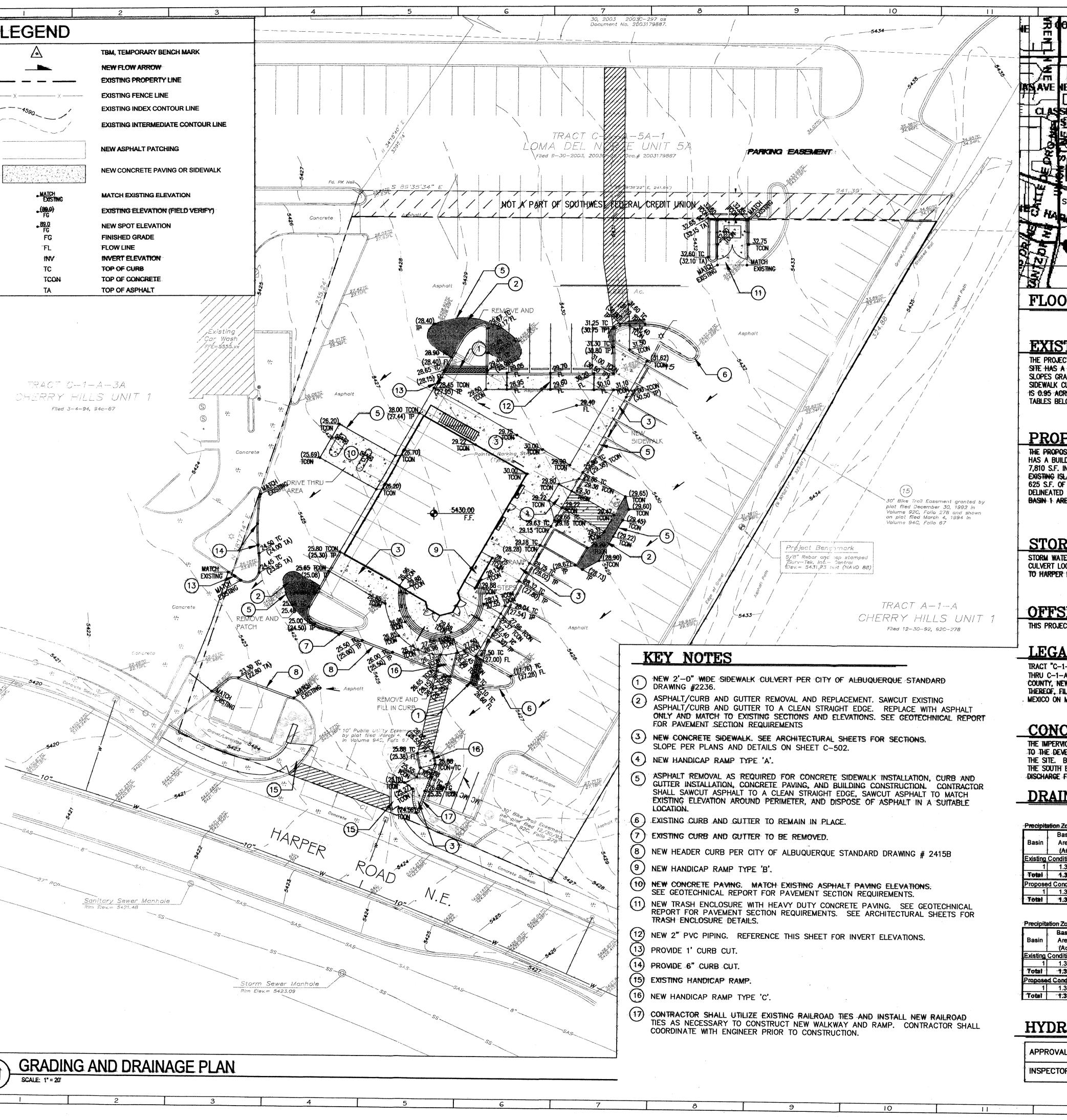
PROJECT NUMBER: 1008147

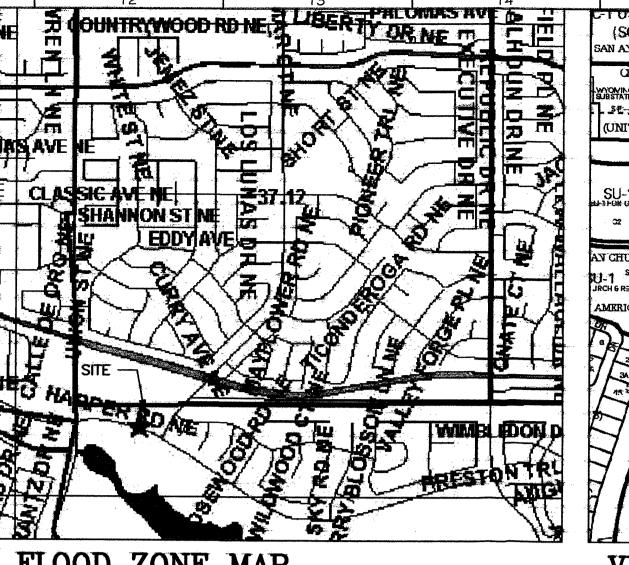
Application Number: 10 DRB - 70 206

July 20, 2010

CONSENSUS







FLOOD ZONE MAP

EXISTING ON—SITE CONDITIONS

THE PROJECT SITE IS CURRENTLY BEING UTILIZED AS A PARKING LOT. THE PROJECT SITE HAS A HIGH POINT LOCATED AT THE NORTHEAST CORNER. THE ENTIRE SITE SLOPES GRADUALLY FROM THE NORTHEAST TO THE SOUTHWEST CORNER INTO A SIDEWALK CULVERT WHICH OUTLETS TO HARPER ROAD. THE TOTAL AREA OF THE SITE IS 0.95 ACRES. THE EXISTING LAND TREATMENTS ARE PROVIDED IN THE HYDROLOGY TABLES BELOW.

PROPOSED DEVELOPMENT

THE PROPOSED IMPROVEMENTS WILL CONSIST OF A NEW TWO STORY BUILDING THAT HAS A BUILDING FOOTPRINT OF APPROXIMATELY 3,905 S.F. AND IS APPROXIMATELY 7,810 S.F. IN SIZE. APPROXIMATELY 400 S.F. OF LANDSCAPED AREAS WITHIN EXISTING ISLANDS LOCATED IN THE PARKING LOT WILL BE PAVED. APPROXIMATELY 625 S.F. OF IMPERVIOUS AREA WILL BE LANDSCAPED. THE SITE HAS BEEN DELINEATED INTO ONE DRAINAGE BASIN, BASIN 1. THE LAND TREATMENTS FOR BASIN 1 ARE PROVIDED IN THE HYDROLOGY TABLES BELOW.

STORM WATER ROUTING

STORM WATER FROM THE SITE WILL CONTINUE TO DRAIN TOWARDS THE SIDEWALK CULVERT LOCATED AT THE SOUTHWEST CORNER OF THE SITE AND FREE DISCHARGE TO HARPER ROAD LOCATED ALOND THE SOUTH END OF THE PROPERTY

OFFSITE FLOWS

THIS PROJECT SITE DOES NOT RECEIVE ANY SIGNIFICANT OFFSITE FLOWS.

LEGAL DESCRIPTION

TRACT "C-1-A-4A", CHERRY HILLS- UNIT 1 (BEING A REPLAT OF TRACTS C-1-A-1 THRU C-1-A-5, CHERRY HILLS- UNIT 1) CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE REPLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 4, 1994, RECORDED IN PLAT BOOK 94C, FOLIO 67.

CONCLUSION

THE IMPERVIOUS AREAS FOR THE PROPOSED CONDITIONS WILL BE DECREASED DUE TO THE DEVELOPMENT. THE DEVELOPMENT WILL PROVIDE MORE LANDSCAPING ON THE SITE. BASIN A WILL CONTINUE TO FREE DISCHARGE TO HARPER ROAD ALONG THE SOUTH EDGE OF THE PROPERTY. THERE IS NOT AN INCREASE IN PEAK DISCHARGE FROM BASIN 1 DUE TO THE DEVELOPMENT.

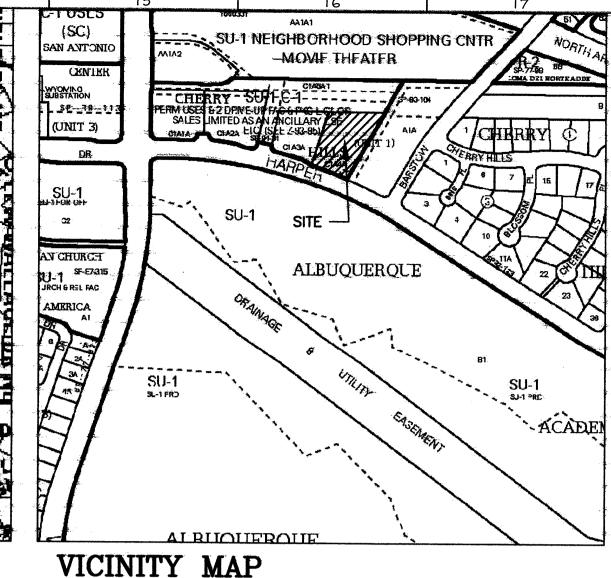
DRAINAGE DATA

			HYDRO	LOGY					
Precipita	ation Zone 3	- 100- yea r	Storm	P(360) =	2.6	in .	P(1440)	3.1	in
	Basin	Land Treatment Factors							
Basin	Area	Α	В	С	D	Ew	V(100-6)	V(100-24)	Q(100)
	(Ac)		(Acres	3)		(in)	(af)	(af)	(cfs)
Existing	Conditions	يدساك والإراسية المد الماجورين والا أراسي مالا المراسية	termentalistic mailet Lieb Lieb.					للمراجعة والمراجعة والمراج	
1	1.38	0.00	0.20	0.00	1.18	2.15	0.247	0.297	6.44
Total	4.38					1	,		6.44
Propose	d Conditions				The state of the s				
1	1.38	0.00	0.25	0.00	1.13	2.10	0.241	0.288	6.32
Total	1.38			* 4		-			6.32

. [,	Basin	Land Treatment Factors			T	1			
Basin	Area	Α	В	С	D	Ew	V(10-6)	V(10-24)	Q(10
	(Ac)	(Acres)			(în)	(af)	(af)	(cfs)	
Existing (Conditions						*************************************		
1	1.38	0.00	0.20	0.00	1.18	1.33	0.154	0.186	4.24
Total	1.38		٠.	-		-			4.24
Propose	d Condition	S.	The same of the sa		The second secon				
1	1.38	0.00	0.25	0.00	1.13	1.29	0.149	0.180	4.13
		1	U	0.00	1.10			J. 100	

HYDROLOGY:

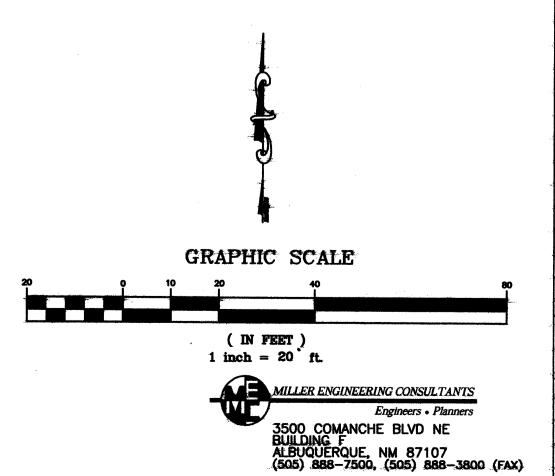
APPROVAL	NAME	DATE
INSPECTOR		



GENERAL NOTES:

ZONE ATLAS MAP E-19-Z

- ALBUQUERQUE CONTROL SURVEY MONUMENT "2-D20A" NEW MEXICO STATE PLANE COORDINATES, CENTRAL ZONE (NAD83) AS PUBLISHED: NORTHING = 1,516,172.782 EASTING = 1,550,464.276GROUND TO GRID FACTOR = 0.999651528 DELTA ALPHA= -00'10'24.08" ELEVATION= 5469.19 (NAVD 1988)
- 2. COORDINATES ARE GROUND/PROJECT VALUES BASED ON NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE,
- 3. THE BASIS OF ELEVATIONS IS ACS MONUMENT "2-F19". HAVING A PUBLISHED ELEVATION OF 5386.837 FEET (NAVD 88).
- 4. THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES DURING THE CONSTRUCTION PHASE.
- 5. THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR
- CONTRACTOR SHALL OBTAIN A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO ANY GRADING OR CONSTRUCTION.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 811, FOR LOCATION OF EXISTING UTILITIES.
- 8. BACKFILL AND COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
- 9. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER(S) OF THE PROPERTY SERVED.
- 10. ALL CONCRETE SHALL BE A MINIMUM OF 3000 P.S.I.
- 11. ALL EXISTING TOPOGRAPHIC DATA SHOWN ON THESE PLANS HAS BEEN PROVIDED BY SURV-TEK, INC. MILLER ENGINEERING CONSULTANT HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS INFORMATION.
- 12. THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- 13. THE SUBJECT PROPERTY, AS SHOWN ON ALTA SURVEY PREPARED BY SURV-TEK, INC., APPEARS TO LIE WITHIN "ZONE X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP 35001C01416, MAP REVISED SEPTEMBER 26, 2008.
- 14. CONTRACTOR SHALL TAKE PRECAUTIONS AS NECESSARY TO PROTECT FROM DAMAGING EXISTING UTILITY LINES, IRRIGATION LINES, WALKWAYS, LANDSCAPING, ETC., WHICH WILL REMAIN AS PART OF THE FINAL SYSTEM. CONTRACTOR SHALL REPAIR AND/OR RESTORE THESE ITEMS AS REQUIRED TO PRE-CONSTRUCTION CONDITION AT THEIR OWN EXPENSE.



ISSUE DATE

 \Box

DRAWN BY: DRAWN ON: 07/19/10 PROJECT#: 84-09-4866 SHEET TITLE: GRADING AND DRAINAGE PLAN

SHT:

SHEET

