

**LEGEND**

SIGN LOCATIONS ARE APPROXIMATE. ALL TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH CITY OF ALBUQUERQUE AND MUTCD STANDARDS

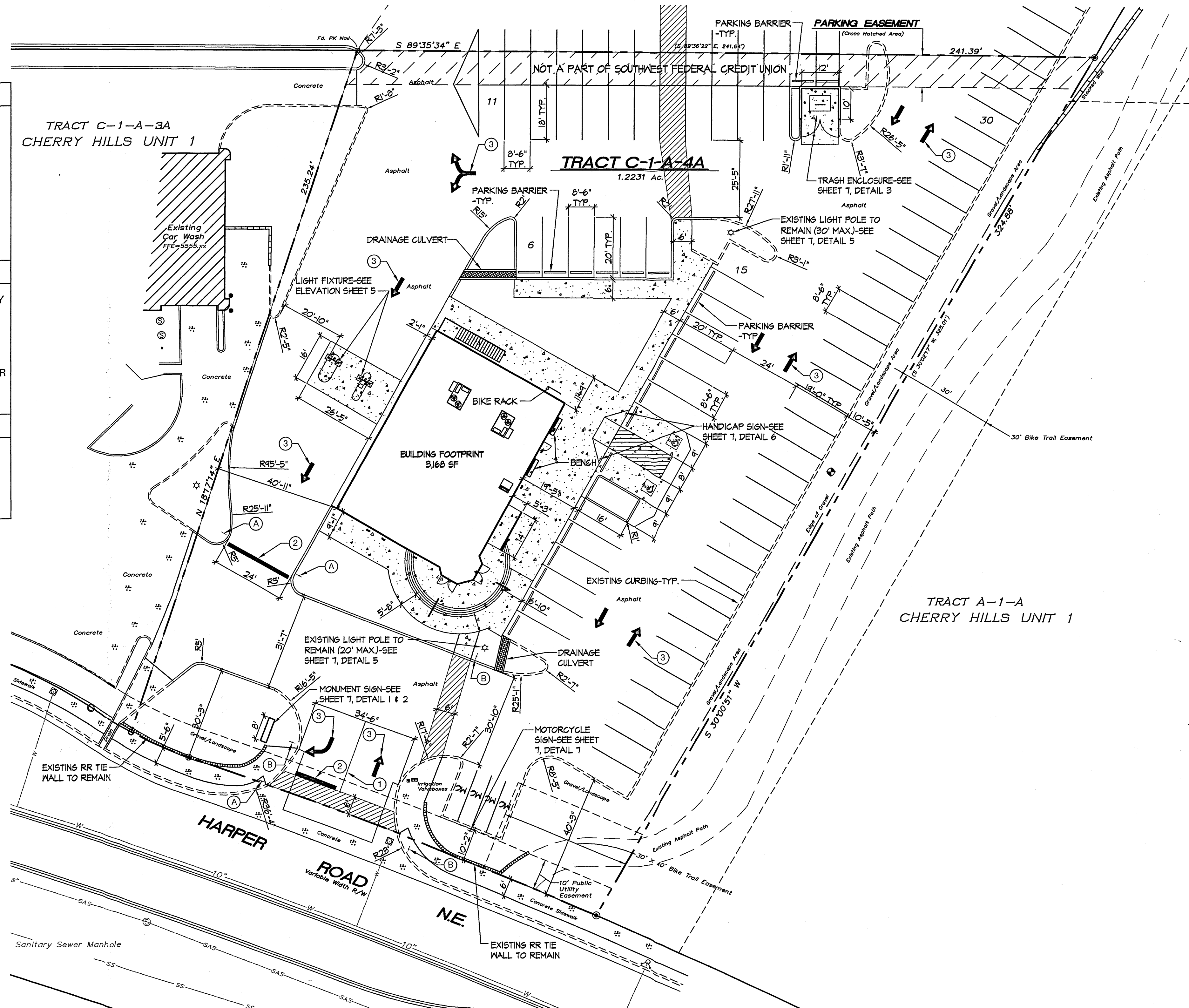


**GENERAL NOTES**

1. THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR CONSTRUCTION.
2. CONTRACTOR SHALL REFERENCE ARCHITECTURAL SHEETS FOR ALL DEMOLITION WORK.
3. ALL STRIPING AND SIGNING SHALL CONFORM TO MUTCD STANDARDS OR CITY OF ALBUQUERQUE STANDARDS WHICHEVER IS MORE RESTRICTIVE.

**KEY NOTES**

- ① RETROREFLECTORIZED 4" SOLID WHITE STRIP.
- ② 12" WIDE PAINTED WHITE STOP BAR.
- ③ DIRECTION OF TRAVEL ARROW PAINTED ON ROADWAY.



**SITE DATA:**

LEGAL DESCRIPTION: TRACT C-1-A-4A, CHERRY HILLS-UNIT 1 (BEING A REPLAT OF TRACTS C-1-A-1 THRU C-1-A-5, CHERRY HILLS-UNIT 1).

ZONING: SU-1 FOR C-1 PERMISSIVE USES, TWO DRIVE-UP FACILITIES AND PACKAGE LIQUOR SALES AS AN ANCILLARY USE LIMITED TO ONE RETAIL ESTABLISHMENT NOT EXCEEDING 25% OF THE GROSS FLOOR AREA, BUT IN NO CASE LARGER THAN 5,000 S.F. FOR TRACTS C1A1 THROUGH C1A5 INCLUSIVE.

LAND USE: 2-STORY CREDIT UNION WITH DRIVE IN FACILITIES AND ATM.

BUILDING AREA: 5,956 S.F. (NET LEASABLE)

SETBACK: MINIMUM BUILDING SETBACK FROM HARPER ROAD IS 20 FEET.  
MINIMUM LANDSCAPE SETBACK FROM HARPER ROAD IS 20 FEET.

BUILDING HEIGHT: MAXIMUM BUILDING HEIGHT IS 26 FEET.

SITE AREA: 1.2231 ACRES

PARKING: REQUIRED PARKING: 2,914 S.F. 1ST FLOOR @ 1 PER 200 S.F. = 15  
2,914 S.F. 2ND FLOOR @ 1 PER 300 S.F. = 10

TOTAL PROVIDED PARKING: 25

HANDICAPPED REQUIRED: 2  
HANDICAPPED PROVIDED: 2  
MOTORCYCLE REQUIRED: 2  
MOTORCYCLE PROVIDED: 4  
BICYCLE REQUIRED: 2  
BICYCLE PROVIDED: 2

VEHICULAR ACCESS: VEHICULAR ACCESS TO THIS SITE IS PROVIDED FROM THE EXISTING CURB CUT ON HARPER ROAD AND FROM THE ADJACENT DEL NORTE CENTER.

TRANSIT ACCESS: THERE ARE FOUR BUS STOPS ALONG WYOMING BOULEVARD THAT ARE WITHIN WALKING DISTANCE (LESS THAN 1/4 OF A MILE) FROM THE SUBJECT SITE. WYOMING BOULEVARD IS AN ENHANCED TRANSIT CORRIDOR SERVING ABQ RIDE ROUTES 48 AND 31.

INTERNAL CIRCULATION: INTERNAL CIRCULATION AROUND THE PROPOSED BUILDING WILL BE DIRECTED BY TRAFFIC SIGNAGE. PEDESTRIAN CONNECTIONS TO THIS SITE EXIST ALONG HARPER ROAD, AND THERE IS AN EXISTING ASPHALT TRAIL BETWEEN THE SUBJECT SITE AND THE CHERRY HILLS LIBRARY TO THE EAST.

**GENERAL NOTES:**

1. ALL UTILITIES SERVING THE SITE ARE EXISTING AND WILL NOT REQUIRE ANY MODIFICATION.
2. ONE MONUMENT SIGN IS PROPOSED AT THE SOUTHWEST CORNER OF THE PROPERTY THAT IS LIMITED TO 24 S.F. PER FACE.
3. WALL SIGNS SHALL NOT EXCEED 6% OF "THE AREA OF THE FACADE TO WHICH IT IS RELATED".
4. NO OFF-PREMISE SIGNS ARE PERMITTED.
5. LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 14-16-3-9, AREA LIGHTING REGULATIONS.
6. ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED.
7. THE MECHANICAL SYSTEMS (HEATING AND COOLING) AND BUILDING ENVELOPE (WALLS, ROOF, AND WINDOWS) SHALL BE DESIGNED AND MAINTAINED TO PROMOTE THE EFFICIENT USE OF ENERGY.
8. THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT SHALL COMPLY WITH THE APPROVED SITE DEVELOPMENT PLAN FOR SUBDIVISION FOR TRACTS C1A1A THROUGH C1A5A (Z-43-95).
9. VIDEO SURVEILLANCE CAMERAS SHALL BE INSTALLED TO VIEW EXTERIOR PROPERTY AREAS AND MAIN ENTRANCES.
10. RAINWATER HARVESTING MEASURES, SUCH AS CURB CUTS AND SWALES IN THE LANDSCAPE BUFFER ON HARPER, SHALL BE PROVIDED.
11. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
12. RECYCLING CARTS SHALL BE PROVIDED IN THE BUILDING AND PICKED UP THROUGH A PRIVATE CONTRACTOR.

PROJECT NUMBER: 100814Z  
Application Number:

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated June 10, 2010 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes (X) No If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

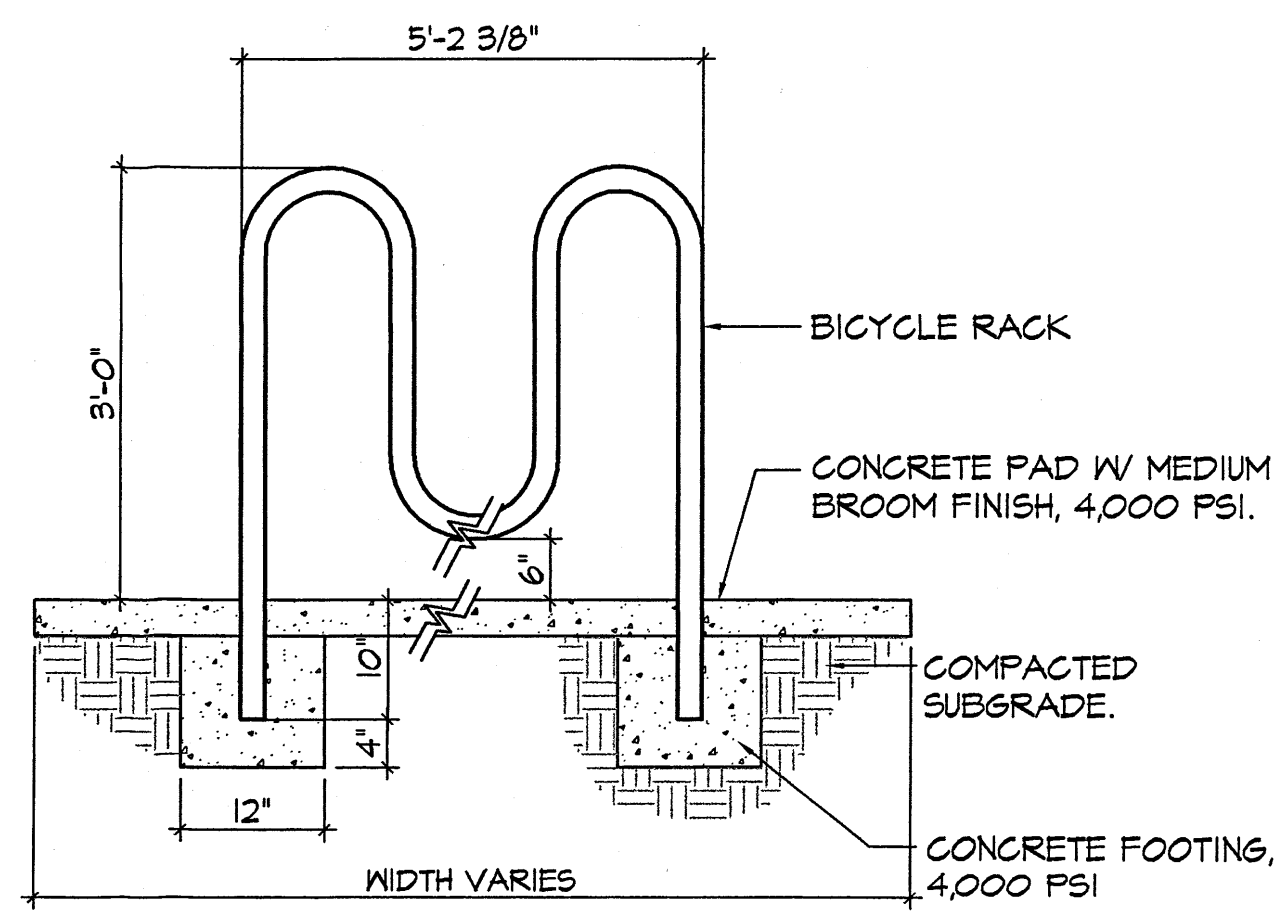
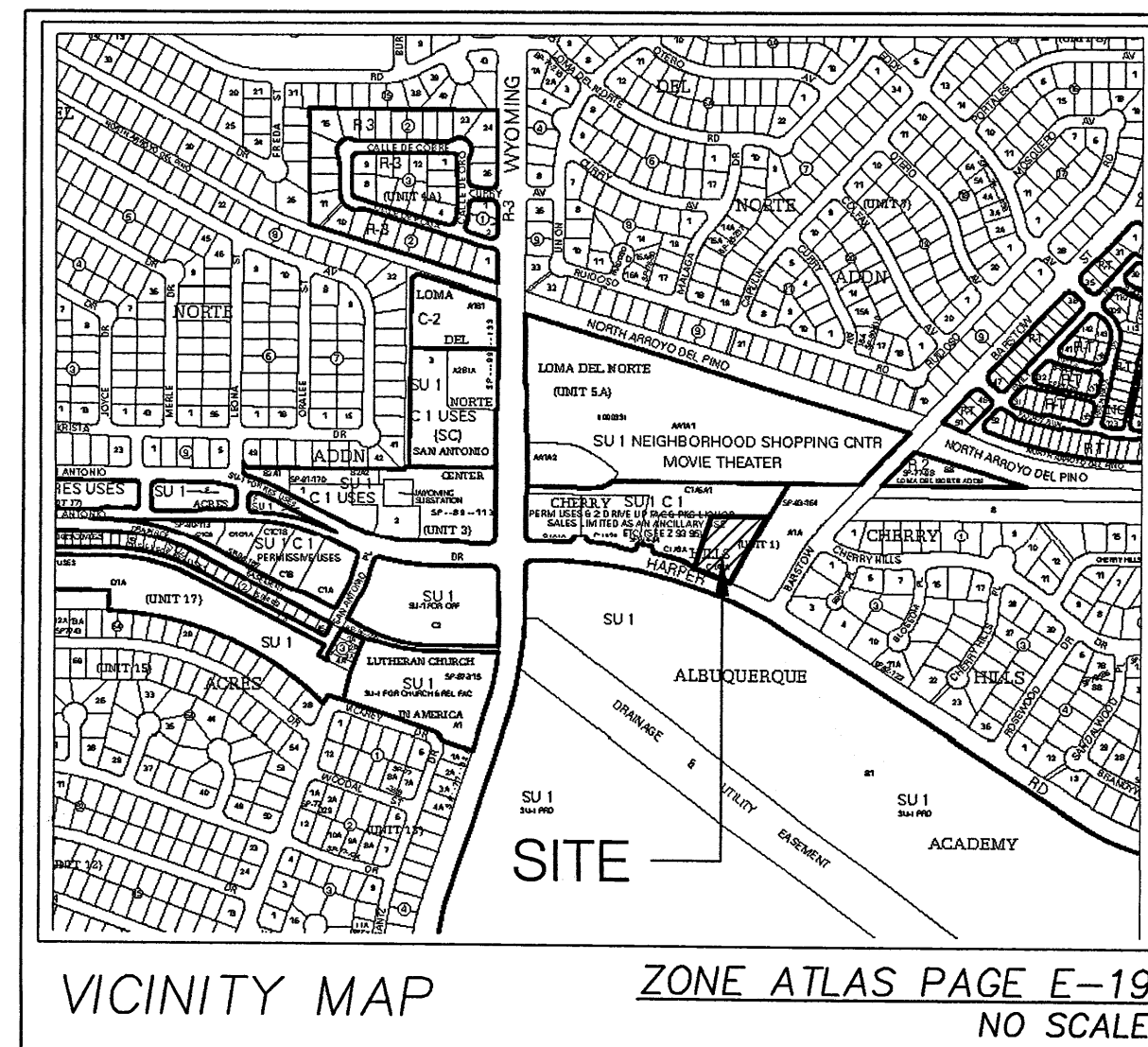
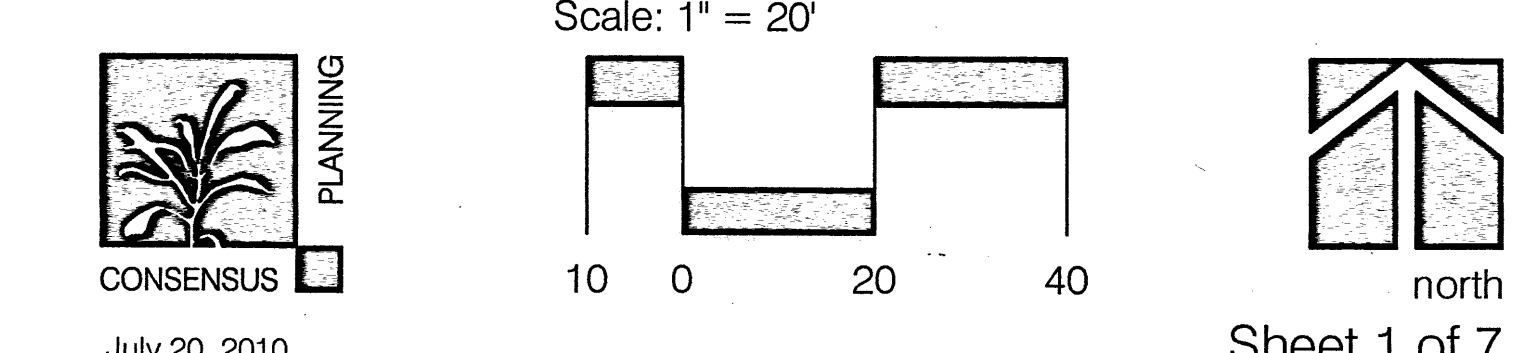
Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

# SOUTHWEST FEDERAL CREDIT UNION

## SITE PLAN FOR BUILDING PERMIT

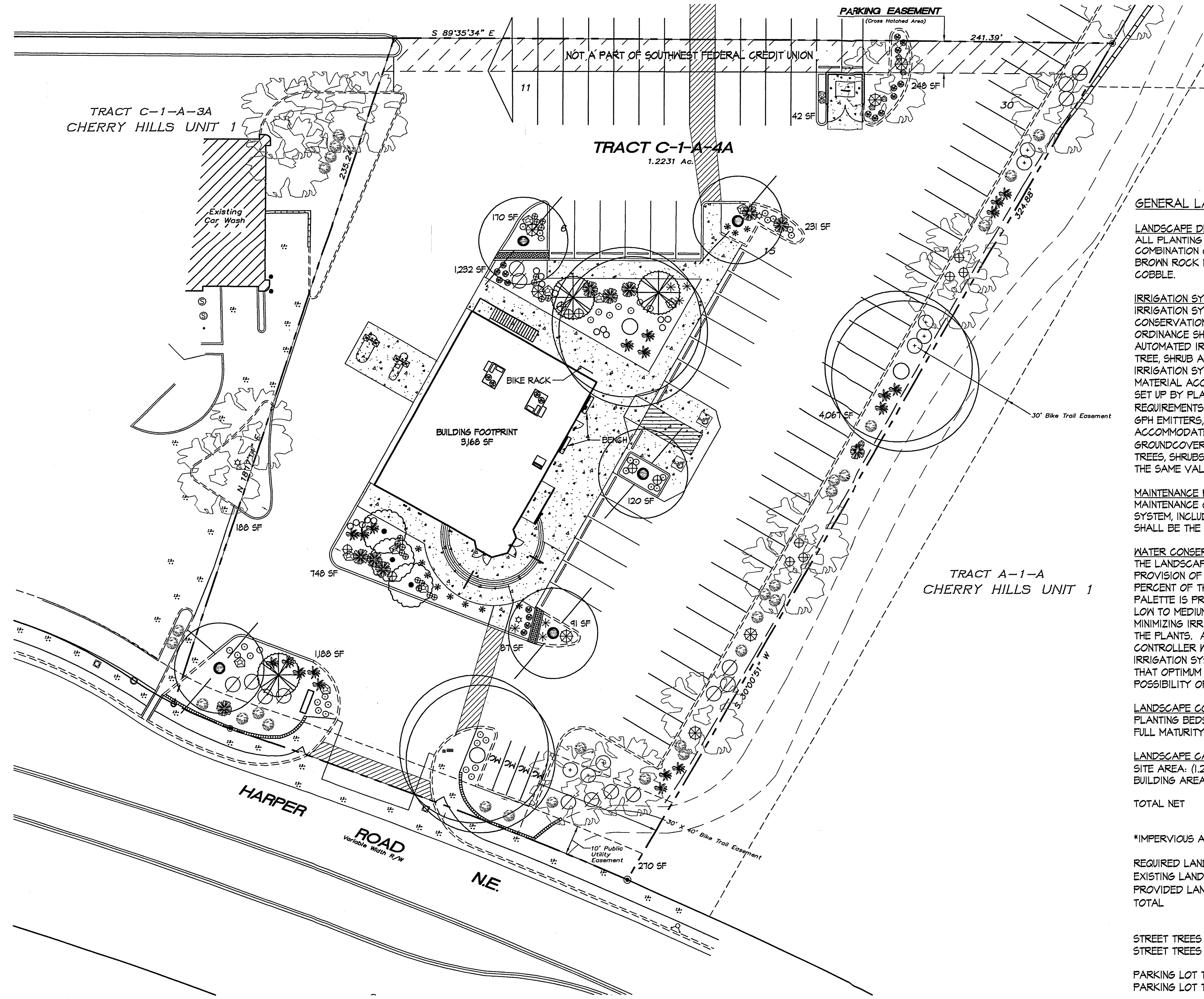
Prepared for: Southwest Federal Credit Union  
PO Box 2247  
Albuquerque, NM 87103-2247

Prepared by: Consensus Planning, Inc.  
Miller Engineering Consultants  
NABS, Inc.



BIKE RACK DETAIL NOT TO SCALE





**GENERAL LANDSCAPE NOTES**

**LANDSCAPE DESIGN**  
 ALL PLANTING AREAS SHALL BE TOP DRESSED WITH A COMBINATION OF SANTA ANA TAN ROCK MULCH, SANTA FE BROWN ROCK MULCH AND 2"-4" BUILDOLGY BROWN COBBLE.

**IRRIGATION SYSTEM**  
 IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUNDCOVER PLANTING AREAS. THE IRRIGATION SYSTEM WILL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPOD ON THE SAME VALVE.

**MAINTENANCE RESPONSIBILITY**  
 MAINTENANCE OF THE LANDSCAPING AND IRRIGATION SYSTEM, INCLUDING THOSE AREAS WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE OWNER.

**WATER CONSERVATION ORDINANCE COMPLIANCE**  
 THE LANDSCAPE PLAN FOR THIS SITE SHALL LIMIT THE PROVISION OF HIGH WATER USE TURF TO A MAXIMUM OF 20 PERCENT OF THE REQUIRED LANDSCAPE AREA. THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

**LANDSCAPE COVERAGE**  
 PLANTING BEDS SHALL HAVE 75% LIVING GROUNDCOVER AT FULL MATURITY.

**LANDSCAPE CALCULATIONS**  
 SITE AREA: (1,2231 AC.) 53,270 S.F.  
 BUILDING AREA: 3,160 S.F.

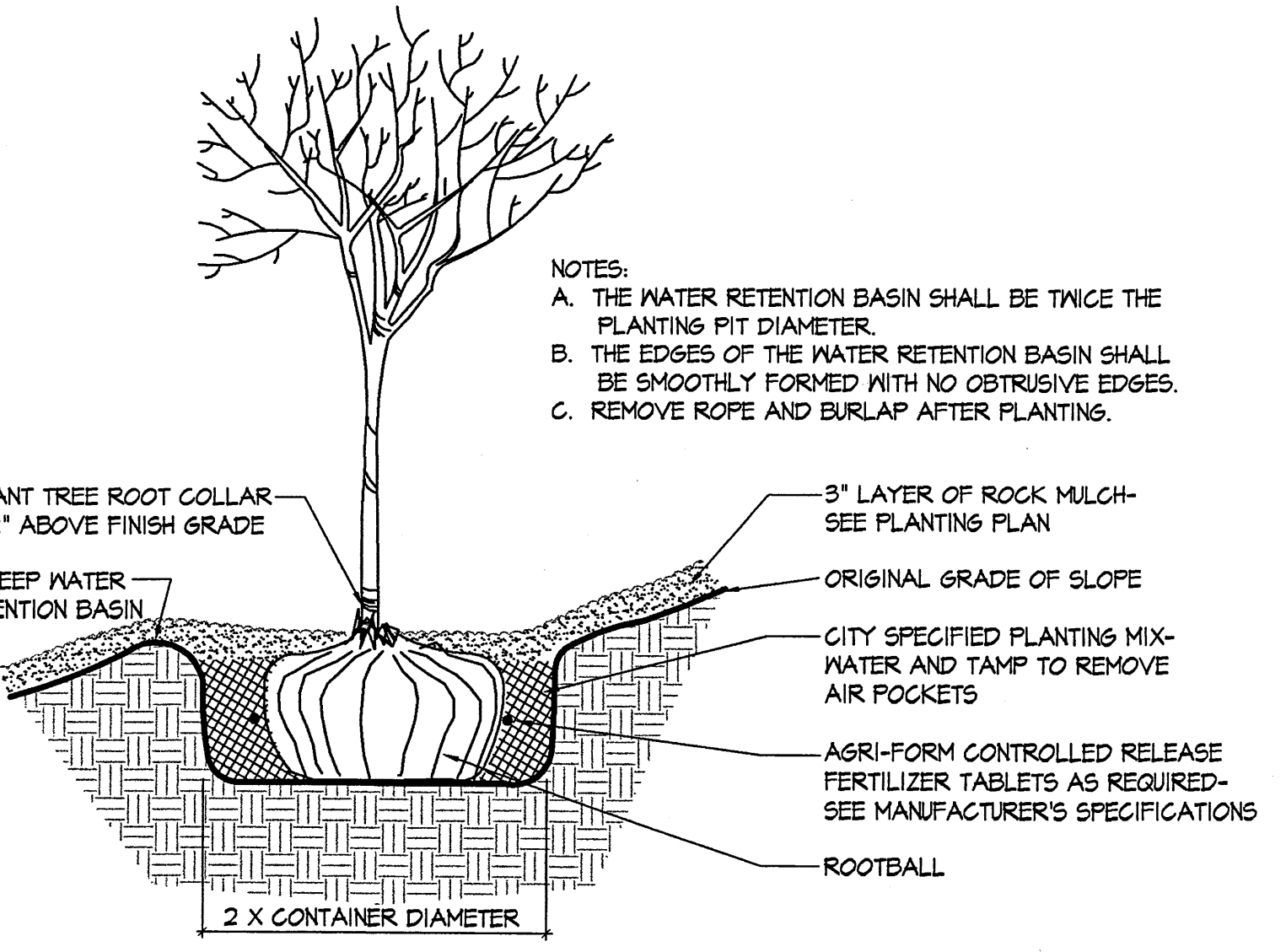
TOTAL NET	50,110 S.F.
*IMPERVIOUS AREA	41,520 S.F.
REQUIRED LANDSCAPE: (15%)	7,517 S.F.
EXISTING LANDSCAPE:	5,666 S.F. (11%)
PROVIDED LANDSCAPE:	2,924 S.F. (6%)
TOTAL	8,590 S.F. (17%)

STREET TREES REQUIRED:	4
STREET TREES PROVIDED:	5
PARKING LOT TREES REQUIRED:	7
PARKING LOT TREES PROVIDED:	16

**PLANT LEGEND**

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
9	(Symbol)	EXISTING TREES TO REMAIN			
23	(Symbol)	EXISTING SHRUBS TO REMAIN			
<b>TREES</b>					
5	(Symbol)	SUMMIT GREEN ASH FRAXINUS PENNSYLVANICA 'SUMMIT'	2" CAL.	16' HT. X 6' SFR 50' HT. X 30' SFR	MEDIUM
3	(Symbol)	AUTUMN BLAZE FLOWERING PEAR PYRUS CALLERYANA 'AUTUMN BLAZE'	15-GAL.	8' HT. X 6' SFR 25' HT. X 15' SFR	MEDIUM +
3	(Symbol)	HONEY LOCUST GLEDITSIA TRIANGANTHOS	B4B	16' HT. X 6' SFR 60' HT. X 50' SFR	MEDIUM +
3	(Symbol)	HOT WINGS MAPLE ACER TARTARICUM 'HOT WINGS'	24" BOX	8' HT. X 4' SFR 15' HT. X 15' SFR	MEDIUM
<b>SHRUBS/GROUNDCOVERS/ORNAMENTAL GRASSES</b>					
19	(Symbol)	ERICAMERIA LARICIFOLIA 'AGUIRRE' TURPENTINE BUSH	1-GAL.	2' O.C. 2' HT. X 2' SFR	LOW
13	(Symbol)	SALVIA GREGGII CHERRY SAGE	1-GAL.	3' O.C. 3' HT. X 3' SFR	MEDIUM
15	(Symbol)	DELOSPERMA NUBIGENUM HARDY YELLOW ICEPLANT	1-GAL.	2' O.C. 3' HT. X 2' SFR	LOW
16	(Symbol)	RUSSIAN SAGE PEROVSKIA ATRIFLICIFOLIA	5-GAL.	5' O.C. 4' HT. X 5' SFR	MEDIUM
8	(Symbol)	CHRYSOETHAMNUS NAUSEOSUS CHAMISA	5-GAL.	5' O.C. 5' HT. X 5' SFR	LOW
7	(Symbol)	MUGO PINE PINUS MUGO	5-GAL.	4' O.C. 4' HT. X 4' SFR	MEDIUM
18	(Symbol)	FENSTEMON PINIFOLIUS FINELEAF FENSTEMON	1-GAL.	2' O.C. 1' HT. X 2' SFR	LOW
18	(Symbol)	DWARF HEAVENLY BAMBOO NANDINA DOMESTICA	1-GAL.	2' O.C. 2' HT. X 2' SFR	MEDIUM
20	(Symbol)	ROSMARINUS OFFICINALIS 'UPRIGHT' UPRIGHT ROSEMARY	5-GAL.	4' O.C. 4' HT. X 4' SFR	LOW
18	(Symbol)	SEDUM TELEPHIUM AUTUMN JOY SEDUM	1-GAL.	2' O.C. 2' HT. X 2' SFR	LOW
11	(Symbol)	CALAMAGROSTIS X ACUTIFLORA KARL FORESTER	1-GAL.	2' O.C. 3' HT. X 2' SFR	MEDIUM
<b>DESERT ACCENTS</b>					
10	(Symbol)	NOLINA MICROCARPA BEARGRASS	5-GAL.	5' O.C. 4' HT. X 5' SFR	LOW
6	(Symbol)	HESPERALOE PARVIFLORA RED YUCCA	5-GAL.	3' O.C. 3' HT. X 3' SFR	LOW
11	(Symbol)	MOSS ROCK BOULDER (3' X 3' MIN.)			

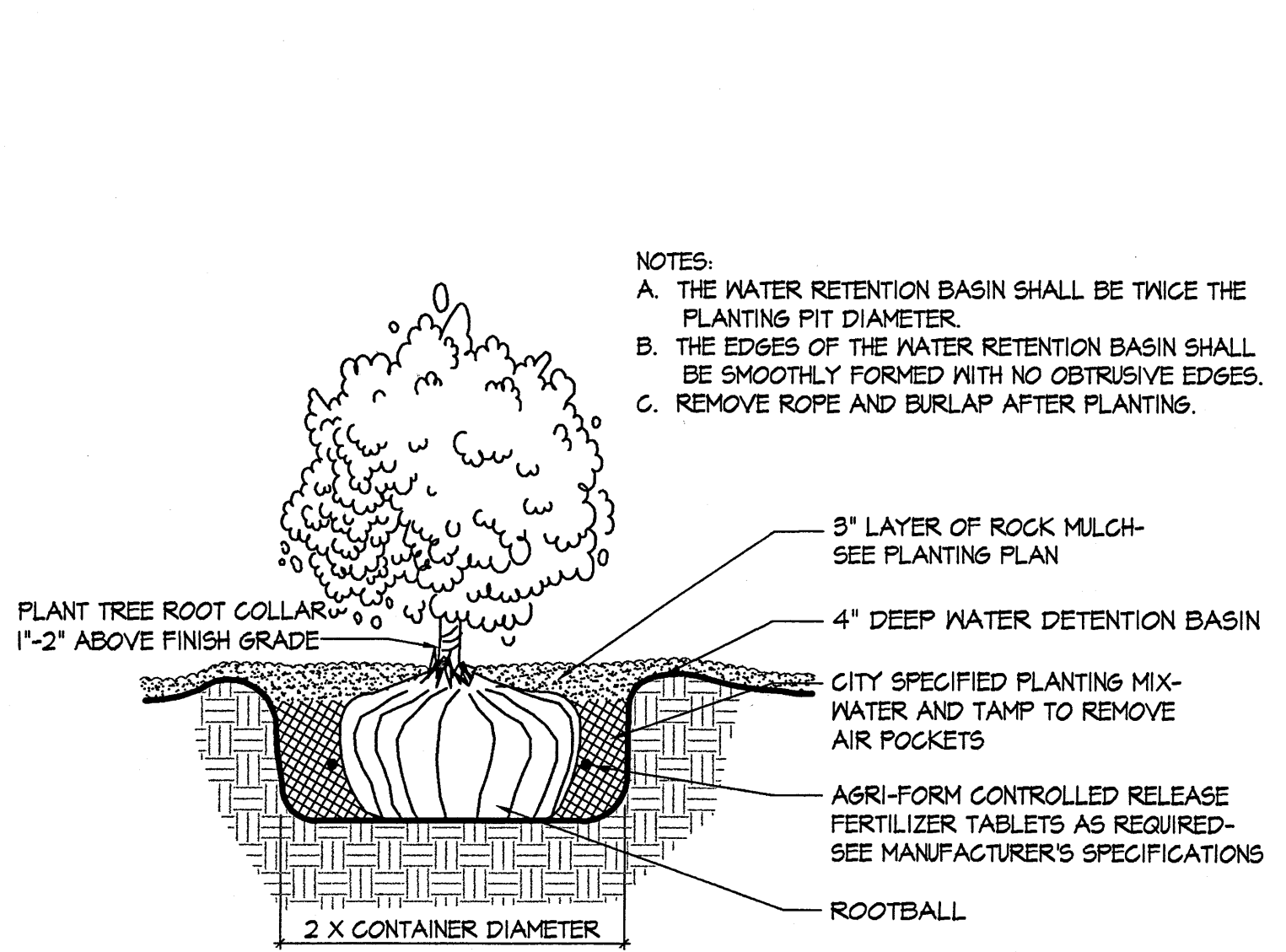
**NOTES:**  
 A. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER.  
 B. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.  
 C. REMOVE ROPE AND BURLAP AFTER PLANTING.



**TREE PLANTING ON GRADE**

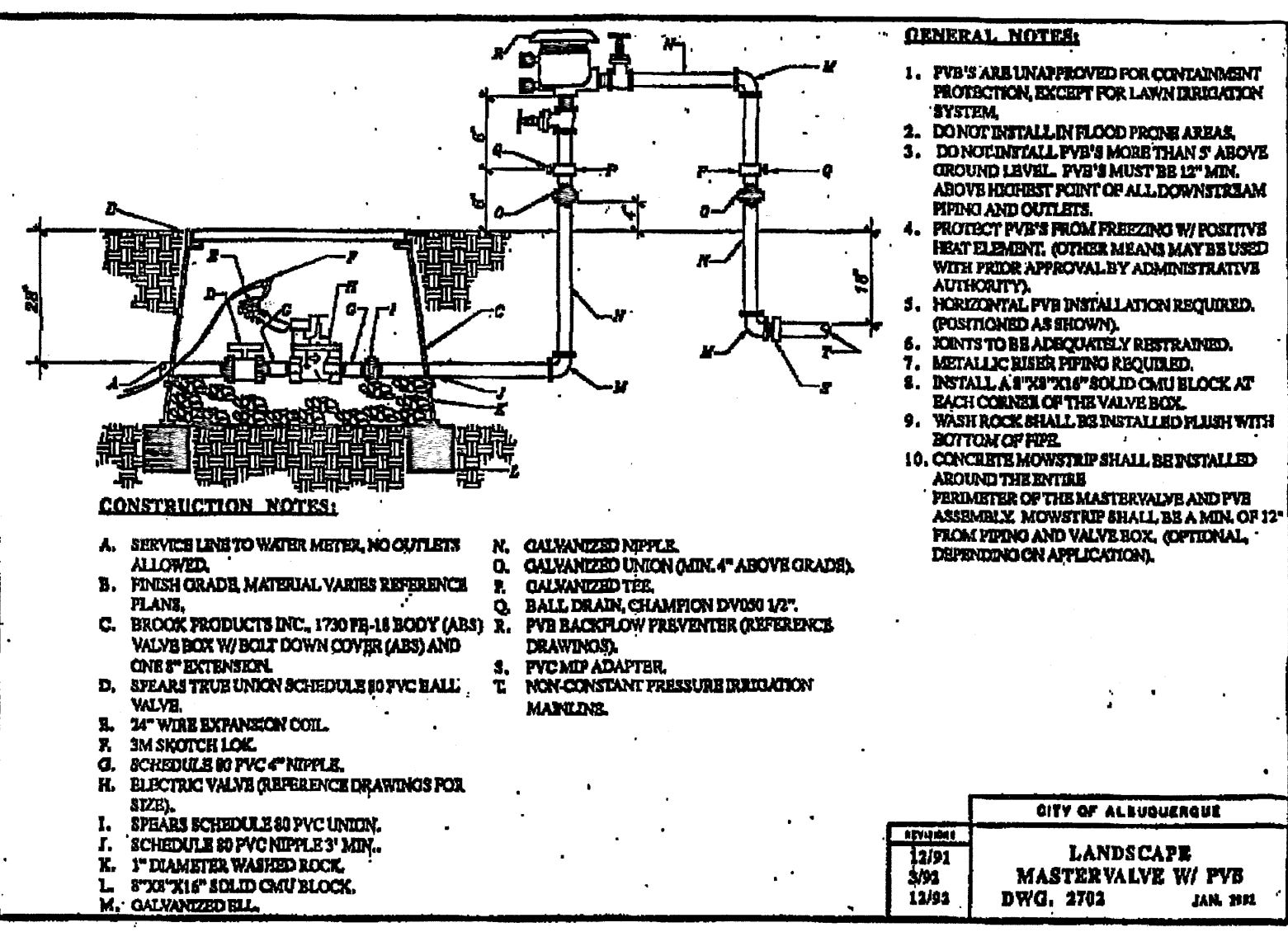
Not to Scale

**NOTES:**  
 A. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER.  
 B. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.  
 C. REMOVE ROPE AND BURLAP AFTER PLANTING.



**SHRUB PLANTING ON GRADE**

Not to Scale



- CONSTRUCTION NOTES:**
- SERVICES LESS TO WATER METER, NO OUTLETS ALLOWED.
  - FRESH GRADE MATERIAL VARIES REFERENCE PLAN.
  - BRICK PRODUCTS INC. 1700 PPS-18 BODY (ABS) VALVE BOX W/ICE DOWN COVER (ABS) AND ONE" EXTENSION.
  - SPEAR TRUB UNION SCHEDULE 40 PVC BALL VALVE.
  - 3/4" WIRE EXPANSION COIL.
  - 3M SMOOTH LOC.
  - SCHEDULE 40 PVC 1/2" PIPE.
  - ELECTRIC VALVE (REFERENCE DRAWINGS FOR SIZE).
  - SCHEDULE 40 PVC UNION.
  - SCHEDULE 40 PVC NIPPLES 3" MIN.
  - 1" DIAMETER WARPED LOCK.
  - 1/2" FLEXIBLE HOSE OR VALVE BLOCK.
  - GALVANIZED BOLL.
  - GALVANIZED NIPPLE.
  - GALVANIZED UNION (MIN. 4" ABOVE GRADE).
  - GALVANIZED FITTER.
  - BALL BEARING CHAMFERED DRYER 1/2".
  - PPS BACKFLOW PREVENTER (REFERENCE DRAWINGS).
  - PVC 1/2" ADAPTER.
  - NON-CORROSIIVE PRESSURE DURATION MAINLINE.

**GENERAL NOTES:**

- PVS ARE UNAPPROVED FOR CONTAMINANT PROTECTION, EXCEPT FOR LAWN IRRIGATION SYSTEMS.
- DO NOT INSTALL IN FLOOD PRONE AREAS.
- DO NOT INSTALL PVS MORE THAN 5' ABOVE GROUND LEVEL. PVS MUST BE 5" MIN. ABOVE HIGHEST POINT OF ALL DOWNSLOPE RUNS AND OUTLETS.
- PROTECT PVS FROM FREEZING W/ POSITIVE HEAT ELEMENT. OTHER MEANS MAY BE USED WITH PRIOR APPROVAL BY ADMINISTRATIVE AGENCIES.
- HORIZONTAL PVS INSTALLATION REQUIRED. POSITIONED AS SHOWN.
- ENTS TO BE ADEQUATELY RESTRAINED.
- METALLIC BEER PIPING REQUIRED.
- INSTALL 1/2" FLEXIBLE HOSE OR VALVE BLOCK AT EACH CORNER OF THE VALVE BOX.
- WASH ROCK SHALL BE INSTALLED PLAIN WITH BOTTOM OFFICE.
- CONCRETE MOUNTING SHALL BE INSTALLED AROUND THE ENTIRE PERIMETER OF THE MASTER VALVE AND PVS ASSEMBLY. MOUNTING SHALL BE A MIN. OF 12" FROM PVS AND VALVE BOX. (OPTIONAL. REFER TO SPECIFICATION APPLICATION).

**SOUTHWEST FEDERAL CREDIT UNION LANDSCAPE PLAN**

Prepared for:  
 Southwest Federal Credit Union  
 PO Box 2247  
 Albuquerque, NM 87103-2247

Prepared by:  
 Consensus Planning, Inc.  
 Miller Engineering Consultants  
 NABS, Inc.

Scale: 1" = 20'

CITY OF ALBUQUERQUE  
 LANDSCAPE MASTER VALVE W/ PVS DWG. 2702 JAN 2011

Scale: 1" = 20'

10 0 20 40

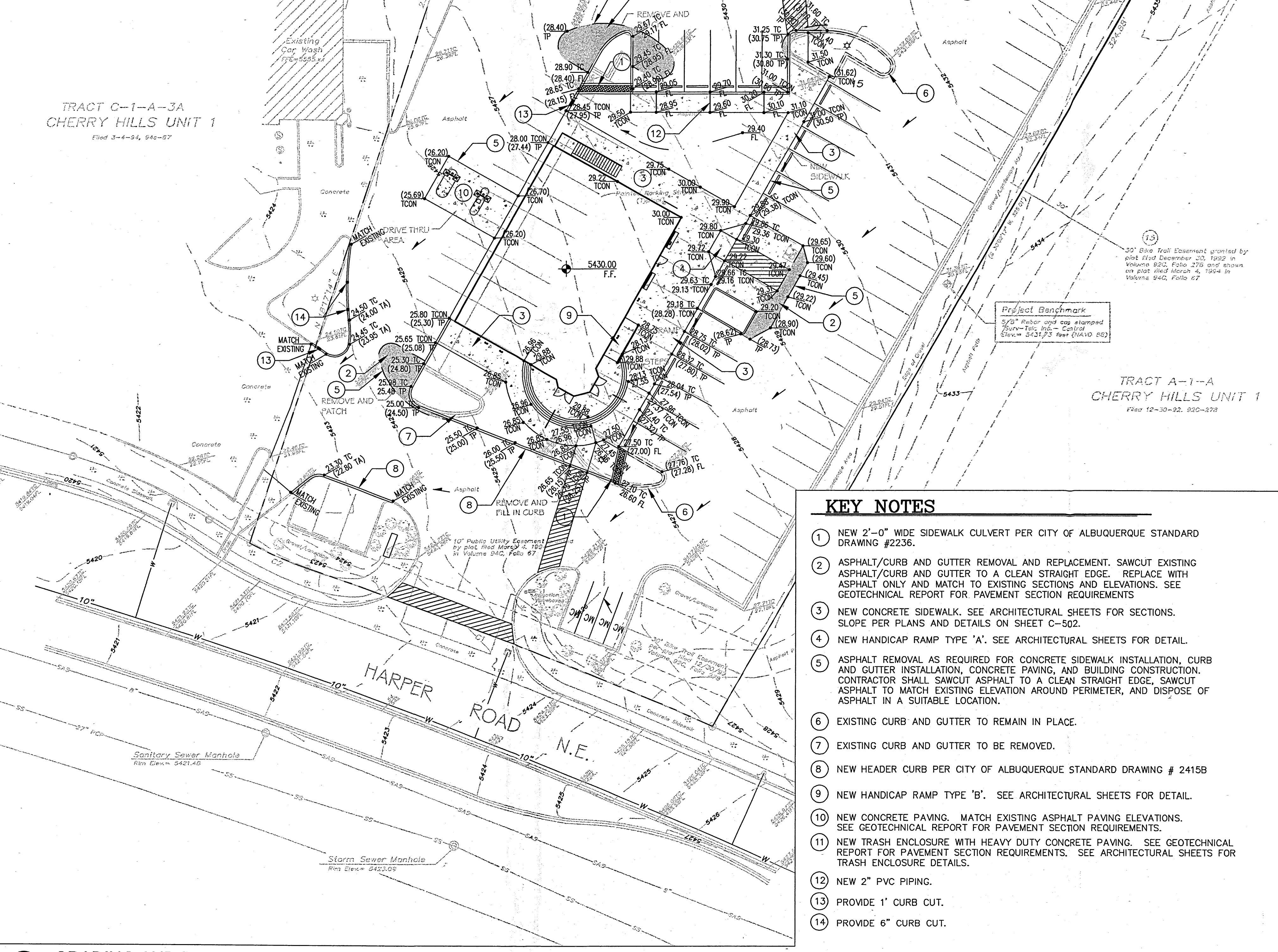
north

Sheet 2 of 7



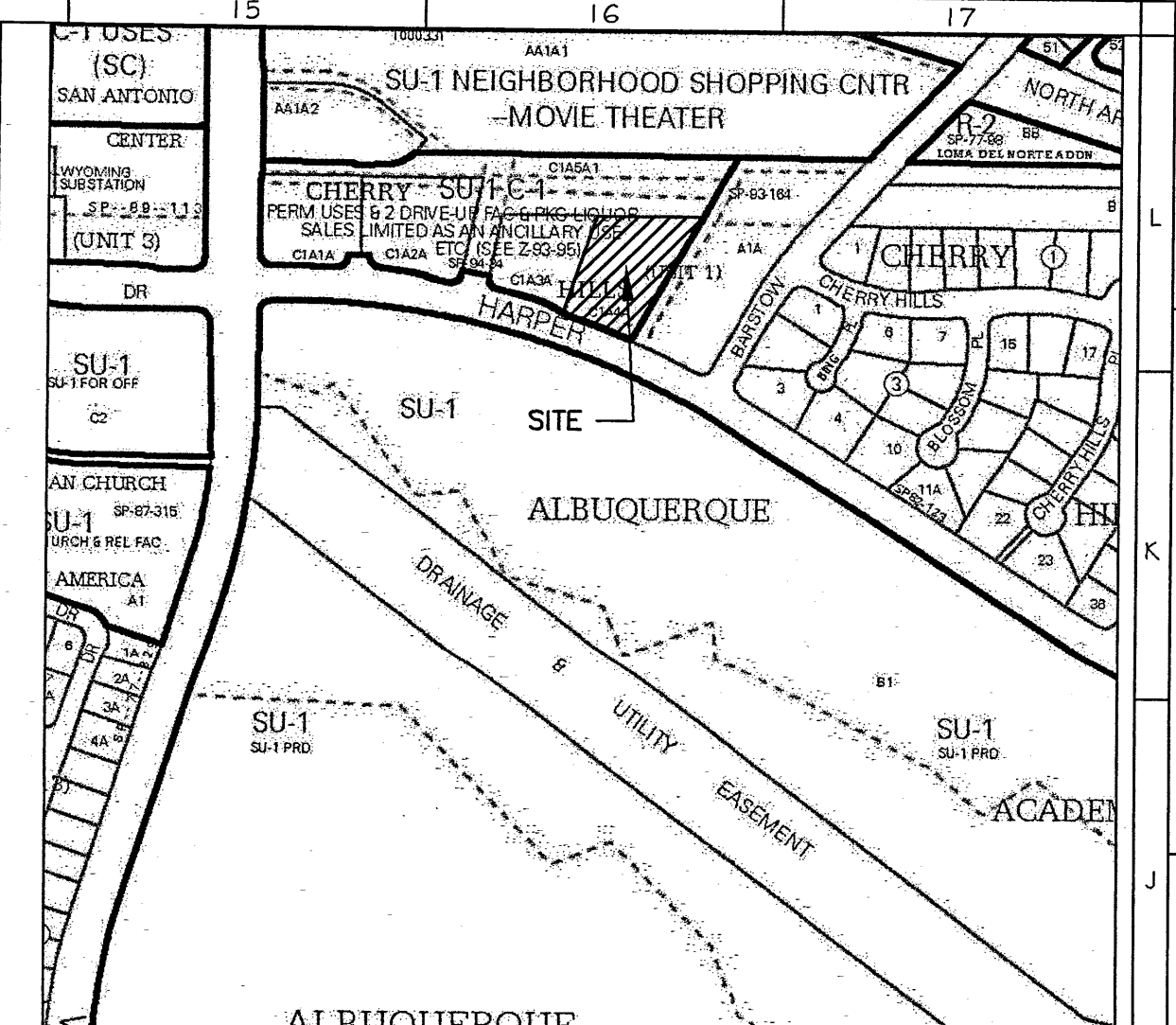
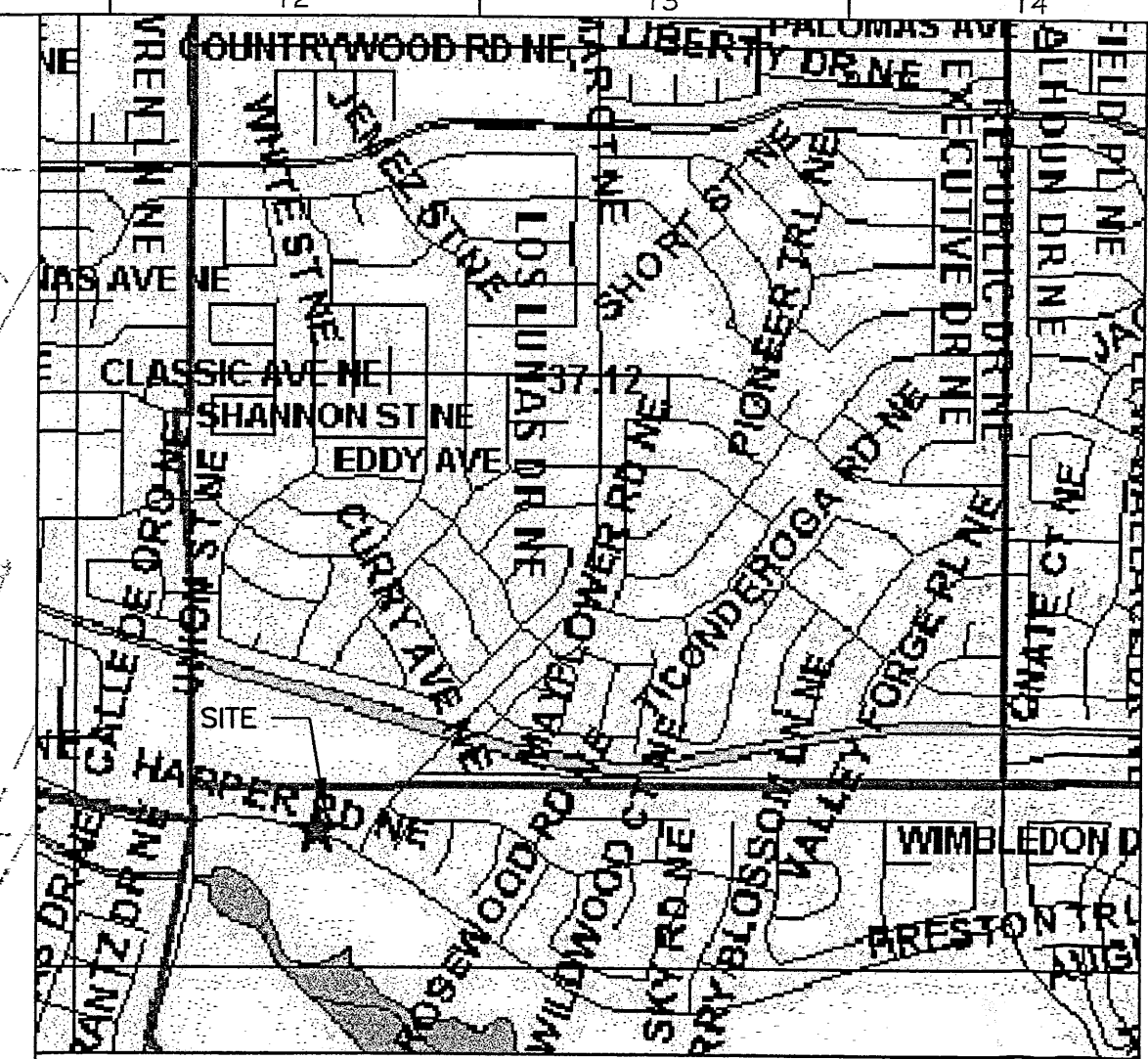
### LEGEND

- TBM, TEMPORARY BENCH MARK
- NEW FLOW ARROW
- EXISTING PROPERTY LINE
- EXISTING FENCE LINE
- EXISTING INDEX CONTOUR LINE
- EXISTING INTERMEDIATE CONTOUR LINE
- NEW ASPHALT PATCHING
- NEW CONCRETE PAVING OR SIDEWALK
- MATCH EXISTING ELEVATION
- EXISTING ELEVATION (FIELD VERIFY)
- NEW SPOT ELEVATION
- FINISHED GRADE
- FLOW LINE
- INVERT ELEVATION
- TOP OF CURB
- TOP OF CONCRETE
- TOP OF ASPHALT



- ### KEY NOTES
- 1 NEW 2'-0" WIDE SIDEWALK CULVERT PER CITY OF ALBUQUERQUE STANDARD DRAWING #2236.
  - 2 ASPHALT/CURB AND GUTTER REMOVAL AND REPLACEMENT. SAWCUT EXISTING ASPHALT/CURB AND GUTTER TO A CLEAN STRAIGHT EDGE. REPLACE WITH ASPHALT ONLY AND MATCH TO EXISTING SECTIONS AND ELEVATIONS. SEE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.
  - 3 NEW CONCRETE SIDEWALK. SEE ARCHITECTURAL SHEETS FOR SECTIONS. SLOPE PER PLANS AND DETAILS ON SHEET C-502.
  - 4 NEW HANDICAP RAMP TYPE 'A'. SEE ARCHITECTURAL SHEETS FOR DETAIL.
  - 5 ASPHALT REMOVAL AS REQUIRED FOR CONCRETE SIDEWALK INSTALLATION, CURB AND GUTTER INSTALLATION, CONCRETE PAVING, AND BUILDING CONSTRUCTION. CONTRACTOR SHALL SAWCUT ASPHALT TO A CLEAN STRAIGHT EDGE, SAWCUT ASPHALT TO MATCH EXISTING ELEVATION AROUND PERIMETER, AND DISPOSE OF ASPHALT IN A SUITABLE LOCATION.
  - 6 EXISTING CURB AND GUTTER TO REMAIN IN PLACE.
  - 7 EXISTING CURB AND GUTTER TO BE REMOVED.
  - 8 NEW HEADER CURB PER CITY OF ALBUQUERQUE STANDARD DRAWING # 24158
  - 9 NEW HANDICAP RAMP TYPE 'B'. SEE ARCHITECTURAL SHEETS FOR DETAIL.
  - 10 NEW CONCRETE PAVING. MATCH EXISTING ASPHALT PAVING ELEVATIONS. SEE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.
  - 11 NEW TRASH ENCLOSURE WITH HEAVY DUTY CONCRETE PAVING. SEE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS. SEE ARCHITECTURAL SHEETS FOR TRASH ENCLOSURE DETAILS.
  - 12 NEW 2" PVC PIPING.
  - 13 PROVIDE 1' CURB CUT.
  - 14 PROVIDE 6" CURB CUT.

**A1 GRADING AND DRAINAGE PLAN**  
SCALE: 1" = 20'



### EXISTING ON-SITE CONDITIONS

THE PROJECT SITE IS CURRENTLY BEING UTILIZED AS A PARKING LOT. THE PROJECT SITE HAS A HIGH POINT LOCATED AT THE NORTHEAST CORNER. THE ENTIRE SITE SLOPES GRADUALLY FROM THE NORTHEAST TO THE SOUTHWEST CORNER INTO A SIDEWALK CULVERT WHICH OUTLETS TO HARPER ROAD. THE TOTAL AREA OF THE SITE IS 0.95 ACRES. THE EXISTING LAND TREATMENTS ARE CATEGORIZED AS: 0% A, 10% B, 0% C AND 90% D.

### PROPOSED DEVELOPMENT

THE PROPOSED IMPROVEMENTS WILL CONSIST OF A NEW TWO STORY BUILDING THAT HAS A BUILDING FOOTPRINT OF APPROXIMATELY 3,905 S.F. AND IS APPROXIMATELY 7,810 S.F. IN SIZE. APPROXIMATELY 400 S.F. OF LANDSCAPED AREAS WITHIN EXISTING ISLANDS LOCATED IN THE PARKING LOT WILL BE PAVED. APPROXIMATELY 625 S.F. OF IMPERVIOUS AREA WILL BE LANDSCAPED. THE SITE HAS BEEN DELINEATED INTO ONE DRAINAGE BASIN, A. THE LAND TREATMENTS FOR BASIN A ARE PROVIDED IN THE HYDROLOGY TABLES BELOW.

### STORM WATER ROUTING

STORM WATER FROM THE SITE WILL CONTINUE TO DRAIN TOWARDS THE SIDEWALK CULVERT LOCATED AT THE SOUTHWEST CORNER OF THE SITE AND FREE DISCHARGE TO HARPER ROAD LOCATED ALONG THE SOUTH END OF THE PROPERTY.

### OFFSITE FLOWS

THIS PROJECT SITE DOES NOT RECEIVE ANY SIGNIFICANT OFFSITE FLOWS.

### LEGAL DESCRIPTION

TRACT "C-1-A-4A", CHERRY HILLS- UNIT 1 (BEING A REPLAT OF TRACTS C-1-A-1 THRU C-1-A-5, CHERRY HILLS- UNIT 1) CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE REPLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 4, 1994, RECORDED IN PLAT BOOK 94C, FOLIO 67.

### CONCLUSION

THE IMPERVIOUS AREAS FOR PROPOSED CONDITIONS IS LESS THAN THE LANDSCAPED AREAS FOR PROPOSED CONDITIONS. BASIN A WILL CONTINUE TO FREE DISCHARGE TO HARPER ROAD ALONG THE SOUTH EDGE OF THE PROPERTY. THERE IS NOT AN INCREASE IN PEAK DISCHARGE FROM BASIN A DUE TO THE DEVELOPMENT.

### DRAINAGE DATA

### HYDROLOGY:

APPROVAL	NAME	DATE
INSPECTOR		

### GENERAL NOTES:

1. ALBUQUERQUE CONTROL SURVEY MONUMENT "2-D20A" NEW MEXICO STATE PLANE COORDINATES, CENTRAL ZONE (NAD83) AS PUBLISHED:  
NORTHING = 1,516,172.782  
EASTING = 1,550,464.276  
GROUND TO GRID FACTOR = 0.999651528  
DELTA ALPHA = -00'10"24.08"  
ELEVATION = 5469.19 (NAVD 1988)
2. COORDINATES ARE GROUND/PROJECT VALUES BASED ON NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 83 DATUM.
3. THE BASIS OF ELEVATIONS IS ACS MONUMENT "2-F19", HAVING A PUBLISHED ELEVATION OF 5386.837 FEET (NAVD 88).
4. THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES DURING THE CONSTRUCTION PHASE.
5. THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR CONSTRUCTION.
6. CONTRACTOR SHALL OBTAIN A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO ANY GRADING OR CONSTRUCTION.
7. TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 811, FOR LOCATION OF EXISTING UTILITIES.
8. BACKFILL AND COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
9. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER(S) OF THE PROPERTY SERVED.
10. ALL CONCRETE SHALL BE A MINIMUM OF 3000 P.S.I.
11. ALL EXISTING TOPOGRAPHIC DATA SHOWN ON THESE PLANS HAS BEEN PROVIDED BY SURV-TEK, INC. MILLER ENGINEERING CONSULTANT HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS INFORMATION.
12. THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
13. THE SUBJECT PROPERTY, AS SHOWN ON ALTA SURVEY PREPARED BY SURV-TEK, INC. APPEARS TO LIE WITHIN "ZONE X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP 35001C0141G, MAP REVISED SEPTEMBER 26, 2008.

### GRAPHIC SCALE

( IN FEET )  
1 inch = 20 ft.

**MILLER ENGINEERING CONSULTANTS**  
Engineers • Planners  
3500 COMANCHE BLVD NE  
BUILDING  
ALBUQUERQUE, NM 87110  
(505) 888-7500, (505) 888-3800 (FAX)

REVISIONS: DATE: BY: [Table with 3 columns and 4 rows]

ISSUE DATE: [Blank]

DRAWN BY: JAL  
DRAWN ON: 04/28/10  
PROJECT#: 84-09-4866  
SHEET TITLE: GRADING AND DRAINAGE PLAN  
SHEET: C-101  
SHT: 3 OF 7

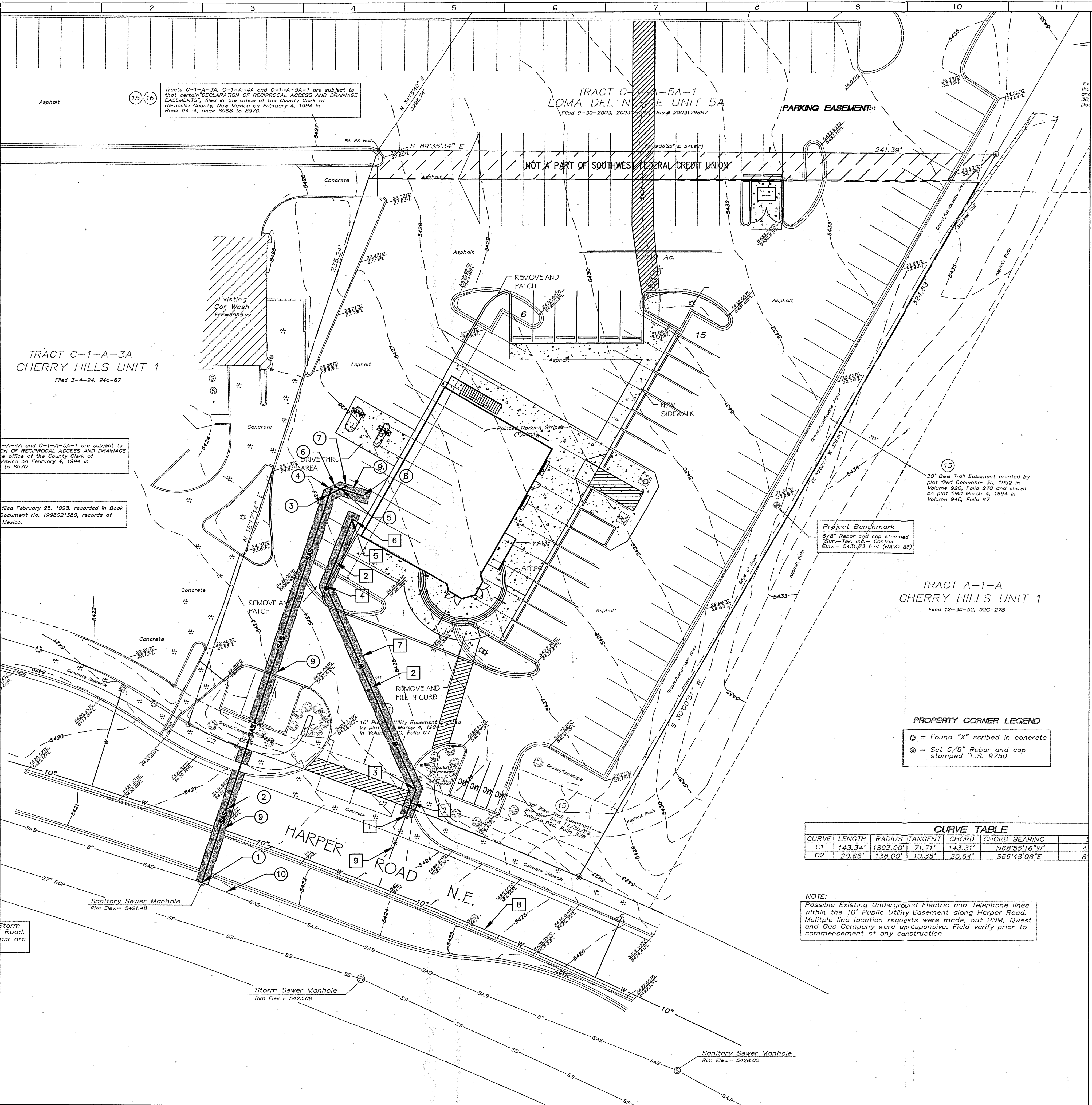
DISCLAIMER: This drawing has been prepared by the undersigned professional engineer for the location, nature and extent of the work shown hereon. It is not to be construed as a warranty or a representation of any kind. The engineer assumes no responsibility for the accuracy or completeness of the information furnished by others. The engineer's liability is limited to the professional services rendered by him or her.

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SEAL  
PRELIMINARY

SOUTHWEST FEDERAL CREDIT UNION  
ALBUQUERQUE, NEW MEXICO





**A1 SITE UTILITY PLAN**  
SCALE: 1" = 20'

Tracts C-1-A-3A, C-1-A-4A and C-1-A-5A-1 are subject to that certain DECLARATION OF RECIPROCAL ACCESS AND DRAINAGE EASEMENTS, filed in the office of the County Clerk of Bernalillo County, New Mexico on February 4, 1994 in Book 94-4, page 8968 to 8970.

TRACT C-1-A-3A  
CHERRY HILLS UNIT 1  
Filed 3-4-94, 94c-67

A-1-A and C-1-A-5A-1 are subject to that certain DECLARATION OF RECIPROCAL ACCESS AND DRAINAGE EASEMENTS, filed in the office of the County Clerk of Bernalillo County, New Mexico on February 4, 1994 in Book 94-4, page 8968 to 8970.

Filed February 25, 1998, recorded in Book Document No. 1998021380, records of Bernalillo County, New Mexico.

TRACT C-1-A-5A-1  
LOMA DEL NORTE UNIT 5A  
Filed 9-30-2003, 2003c-179887

TRACT A-1-A  
CHERRY HILLS UNIT 1  
Filed 12-30-92, 92c-278

**CURVE TABLE**

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING
C1	143.34'	1893.00'	71.71'	143.31'	N68°55'16"W
C2	20.66'	138.00'	10.35'	20.64'	S66°48'08"E

**NOTE:**  
Possible Existing Underground Electric and Telephone lines within the 10' Public Utility Easement along Harper Road. Multiple line location requests were made, but PNM, Qwest and Gas Company were unresponsive. Field verify prior to commencement of any construction.

**PROPERTY CORNER LEGEND**  
 ○ = Found "X" scribed in concrete  
 ⊗ = Set 5/8" Rebar and cap stamped "L.S. 9750"

**LEGEND**

— W —	PROPOSED WATER SERVICE LINE
— SAS —	PROPOSED SEWER SERVICE LINE
- - - W - - -	EXISTING WATER SERVICE LINE
- - - SAS - - -	EXISTING SEWER SERVICE LINE
⊠	PROPOSED WATER METER
⊡	PROPOSED PRV AND BACKFLOW PREVENTER
⊙	PROPOSED BAR SCREEN
⊚	PROPOSED POST INDICATOR VALVE
⊞	PROPOSED DOUBLE CLEANOUT
⊠	PROPOSED FIRE HYDRANT

**GENERAL NOTES**

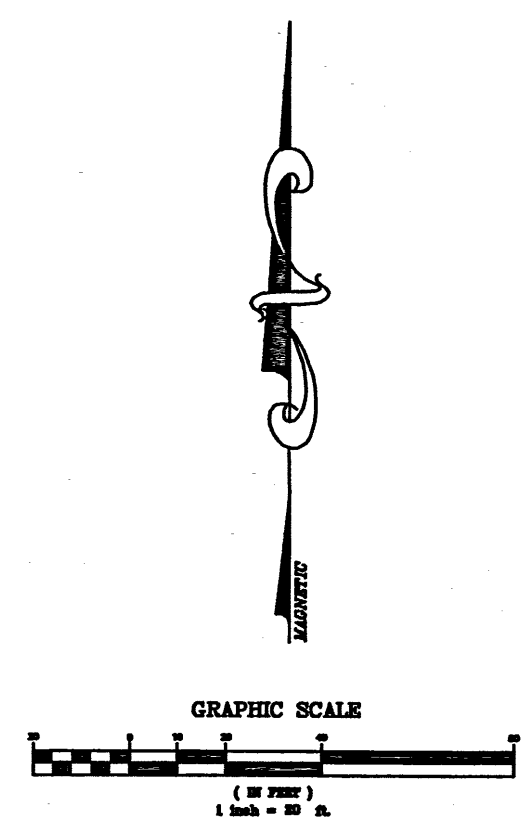
- A. CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF EXISTING UTILITIES INCLUDING INVERT ELEVATIONS. CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER OF ANY CONFLICTS IN THE PROPOSED DESIGN, PRIOR TO CONSTRUCTION.
- B. CONTRACTOR SHALL PROVIDE A 3" MINIMUM COVER ON ALL NEW UTILITY LOCATIONS.
- C. CONTRACTOR SHALL NOTIFY UTILITY COMPANIES 48 HOURS PRIOR TO ANY UTILITY WORK.
- D. FOR ALL WATER AND SEWER SERVICE INSTALLATION AND CONNECTIONS CONTRACTOR SHALL ADHERE TO CITY OF ALBUQUERQUE SPECIFICATIONS, THE UNIFORM PLUMBING CODE, AND/OR APWA STANDARDS, WHICHEVER IS MORE STRINGENT.
- E. IF THERE IS A CONFLICT BETWEEN PROPOSED SEWER SERVICE OR WATER SERVICE LINES, THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER, PRIOR TO CONSTRUCTION.

**WATER NOTES**

1. CONNECT NEW 3" DOMESTIC WATER SERVICE LINE TO EXISTING WATER SERVICE LINE. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.  
N=1513718.38, E=1549160.47
2. INSTALL NEW 3" DOMESTIC WATER SERVICE LINE.  
N=1513728.55, E=1549164.39
3. INSTALL NEW 3", 45° ELBOW FITTING.  
N=1513807.65, E=1549129.29
4. INSTALL NEW 3", 90° ELBOW FITTING.  
N=1513834.04, E=1549139.45
5. POINT OF CONNECTION FOR NEW 3" DOMESTIC WATER SERVICE LINE. SEE MECHANICAL/PLUMBING SHEETS FOR EXACT LOCATION OF BUILDING STUBOUT.  
N=1513833.56, E=1549140.69
6. REMOVE ASPHALT PAVING, CURB AND GUTTER, OR CONCRETE AS REQUIRED TO INSTALL NEW WATER LINE. REPLACE ASPHALT PAVING, CURB AND GUTTER, OR CONCRETE TO MATCH EXISTING SECTIONS AND PRE-EXISTING CONDITIONS.
7. EXISTING WATER DISTRIBUTION LINE. CONTRACTOR SHALL FIELD VERIFY THE ACTUAL LOCATION OF EXISTING UTILITIES.

**SEWER NOTES**

1. CONNECT NEW 6" PVC SANITARY SEWER LINE TO EXISTING SANITARY SEWER MANHOLE.  
INV=21.58, N=1513692.19, E=1549080.99
2. INSTALL NEW 6" PVC SANITARY SEWER SERVICE LINE.  
INV=22.60, N=1513843.69, E=1549130.56
3. INSTALL NEW 45° ELBOW FITTING.  
N=1513845.83, E=1549131.26
4. INSTALL NEW 45° ELBOW FITTING.  
INV=22.80, N=1513845.95, E=1549135.01
5. INSTALL NEW 6" CLEANOUT.  
N=1513846.65, E=1549132.88
6. INSTALL NEW 6" CLEANOUT.  
N=1513846.97, E=1549137.02
7. POINT OF CONNECTION FOR NEW 6" PVC SANITARY SEWER. SEE MECHANICAL/PLUMBING SHEETS FOR CONTINUATION OF SAS LINE AND REQUIRED CONNECTIONS.  
N=1513843.08, E=1549143.81
8. REMOVE ASPHALT PAVING, CURB AND GUTTER, OR CONCRETE AS REQUIRED TO INSTALL NEW SANITARY SEWER LINE. REPLACE ASPHALT PAVING, CURB AND GUTTER, OR CONCRETE TO MATCH EXISTING SECTIONS AND PRE-EXISTING CONDITIONS.
9. EXISTING SANITARY SEWER MAIN.



**DISCLAIMER**  
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**PRELIMINARY**

**SOUTHWEST FEDERAL CREDIT UNION**  
ALBUQUERQUE, NEW MEXICO

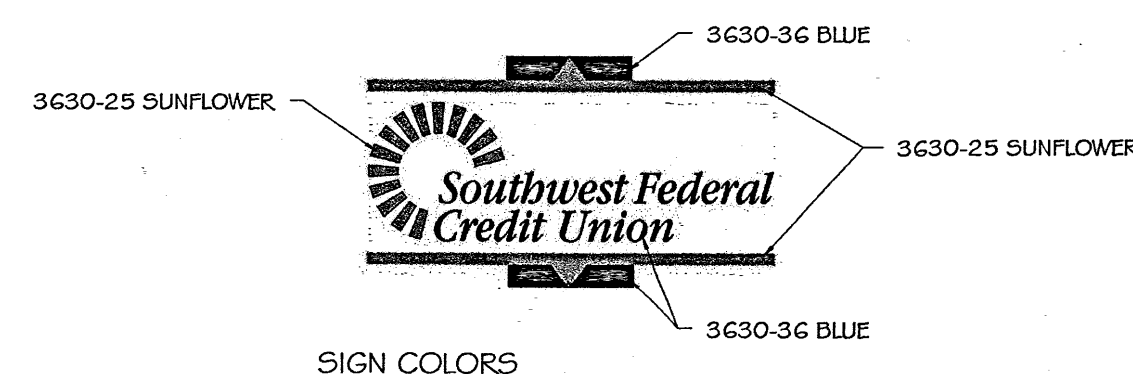
**REVISIONS**  
DATE: BY:  
NO.

**ISSUE DATE**

**DRAWN BY:** JAL  
**DRAWN ON:** 04/28/10  
**PROJECT#:** 84-09-4866  
**SHEET TITLE:** SITE UTILITY PLAN  
**SHEET:** C-102  
**SHT:** 4 OF 7

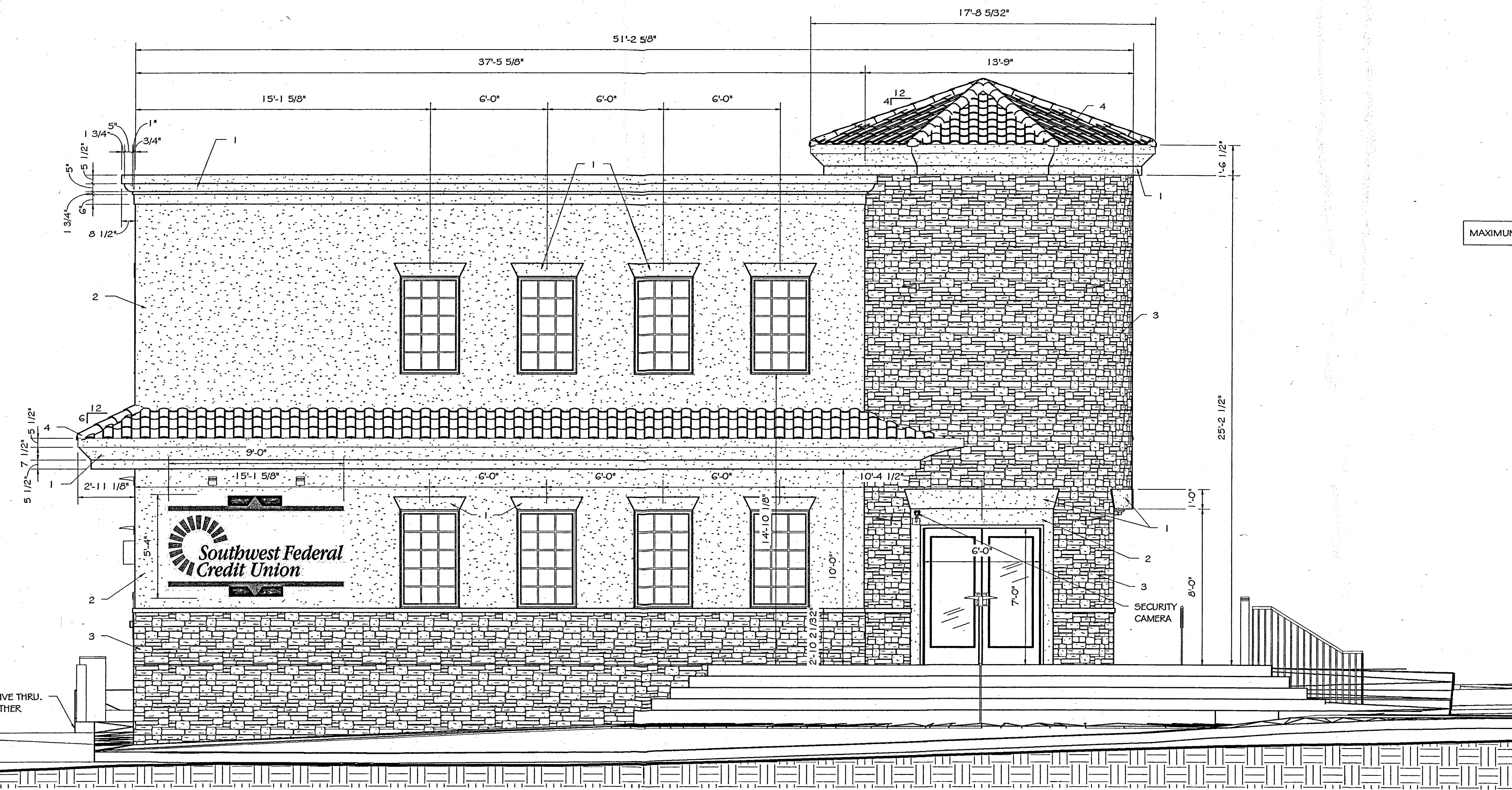
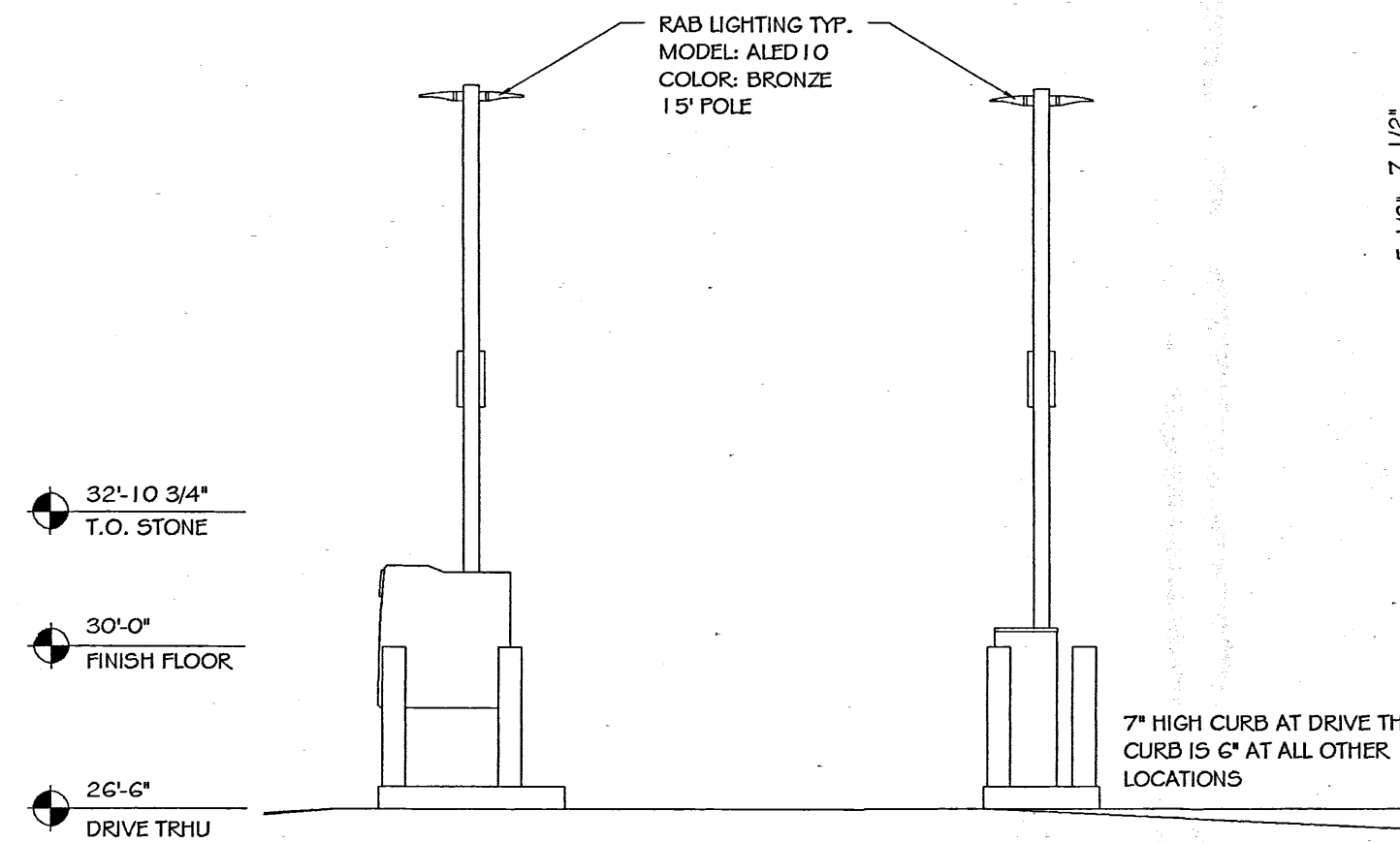
**MILLER ENGINEERING CONSULTANTS**  
Engineers + Planners  
3500 COMANCHE BLVD NE  
ALBUQUERQUE, NM 87107  
(505) 888-7500, (505) 888-3800 (FAX)





SIGN COLORS

FACADE AREA = 1382.95 SQ. FT.  
SIGN AREA = 48 SQ. FT.



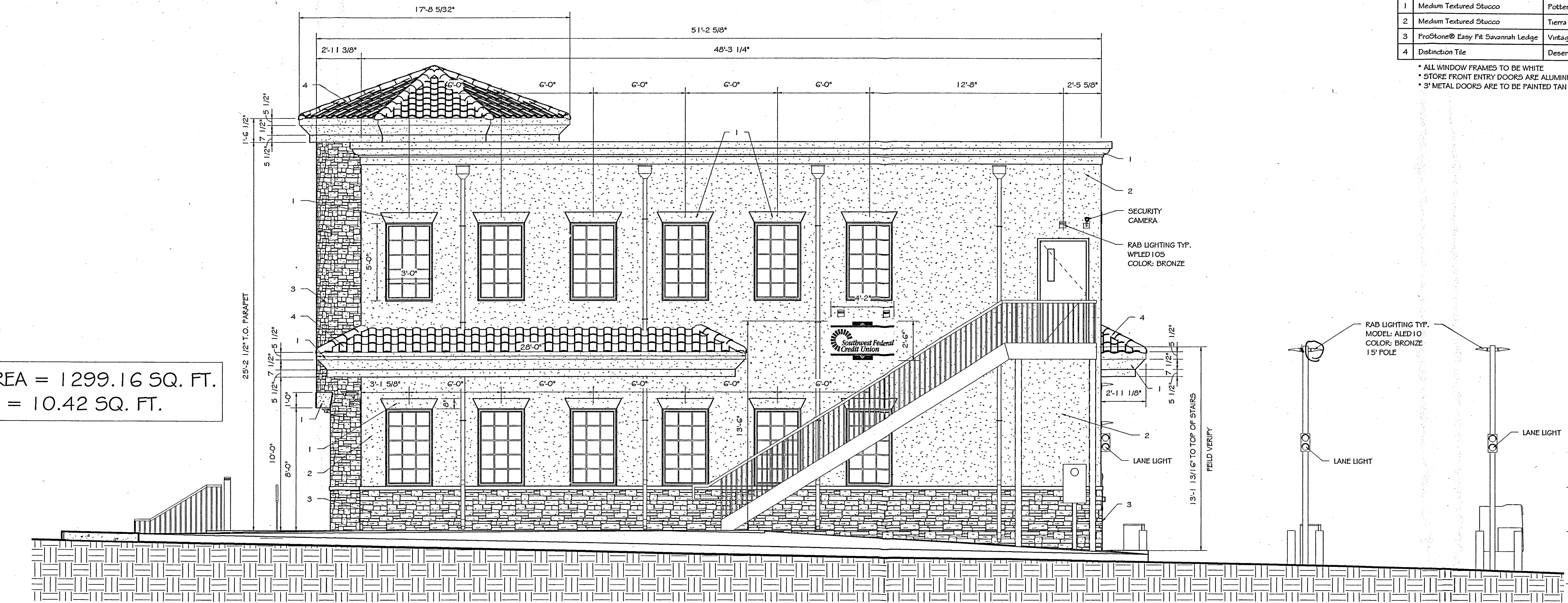
MAXIMUM BUILDING HEIGHT OF 26'

1 A-302 SOUTHWEST ELEVATION SCALE: 1/4" = 1'-0"

EXTERIOR FINISHES		
MATERIAL/PRODUCT	COLOR/STYLE	MANUFACTURE
1 Medium Textured Stucco	Pottery (Dark Tan)	El Rey Stucco
2 Medium Textured Stucco	Tierra (Tan)	El Rey Stucco
3 ProStone® Easy Fit Savannah Ledge	Vintage Wine (Mixed Browns)	Owens Corning
4 Distinction Tile	Desert Red (Red)	Trimline Building Products

- \* ALL WINDOW FRAMES TO BE WHITE
- \* STORE FRONT ENTRY DOORS ARE ALUMINUM
- \* 3\"/>

FACADE AREA = 1299.16 SQ. FT.  
SIGN AREA = 10.42 SQ. FT.



2 A-302 NORTHEAST ELEVATION SCALE: 1/4" = 1'-0"

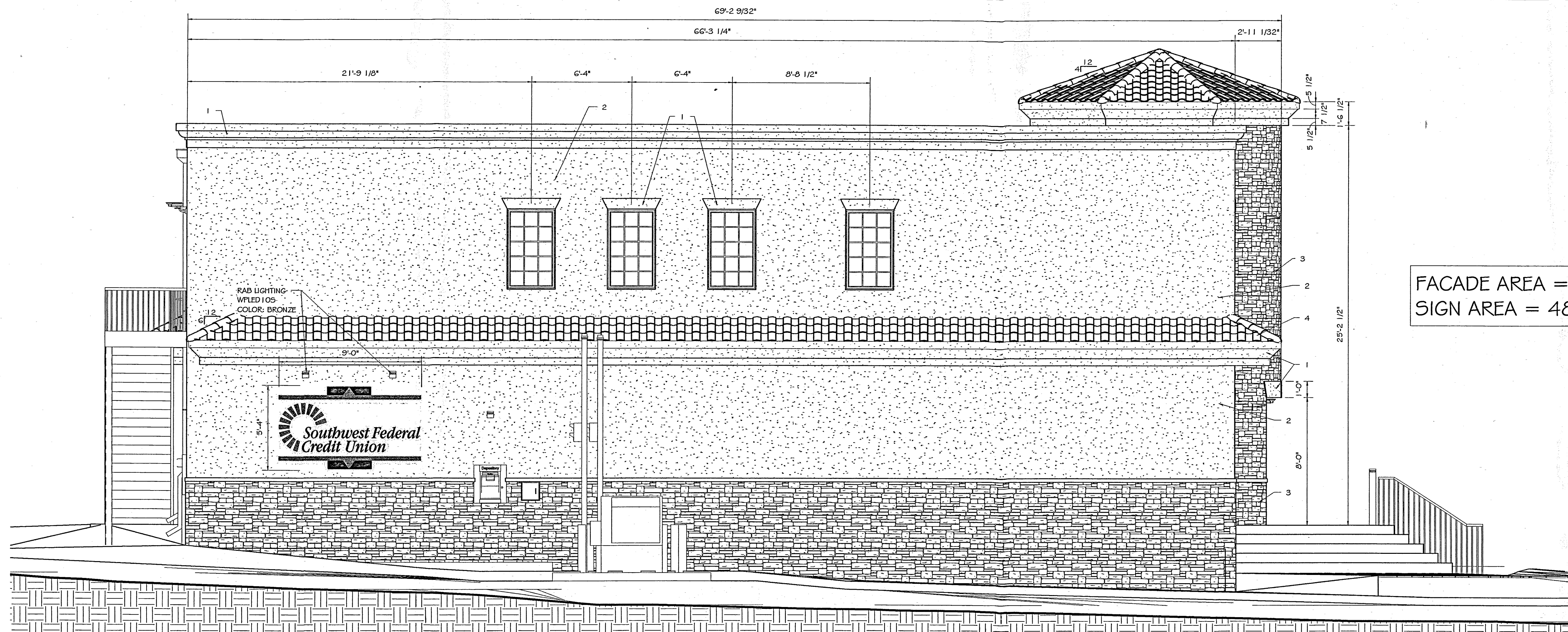
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ALBUQUERQUE, NEW MEXICO

REVISIONS	BY:	
DATE:	06/20/10	C. GLASS
NO.	1	
ISSUE DATE		
DRAWN BY:	C. GLASS	
DRAWN ON:	05/31/10	
PROJECT#:	84-09-4866	
SHEET TITLE:	EXT ELEVATIONS	
SHEET:	A-302	
SHT:	5 OF 7	



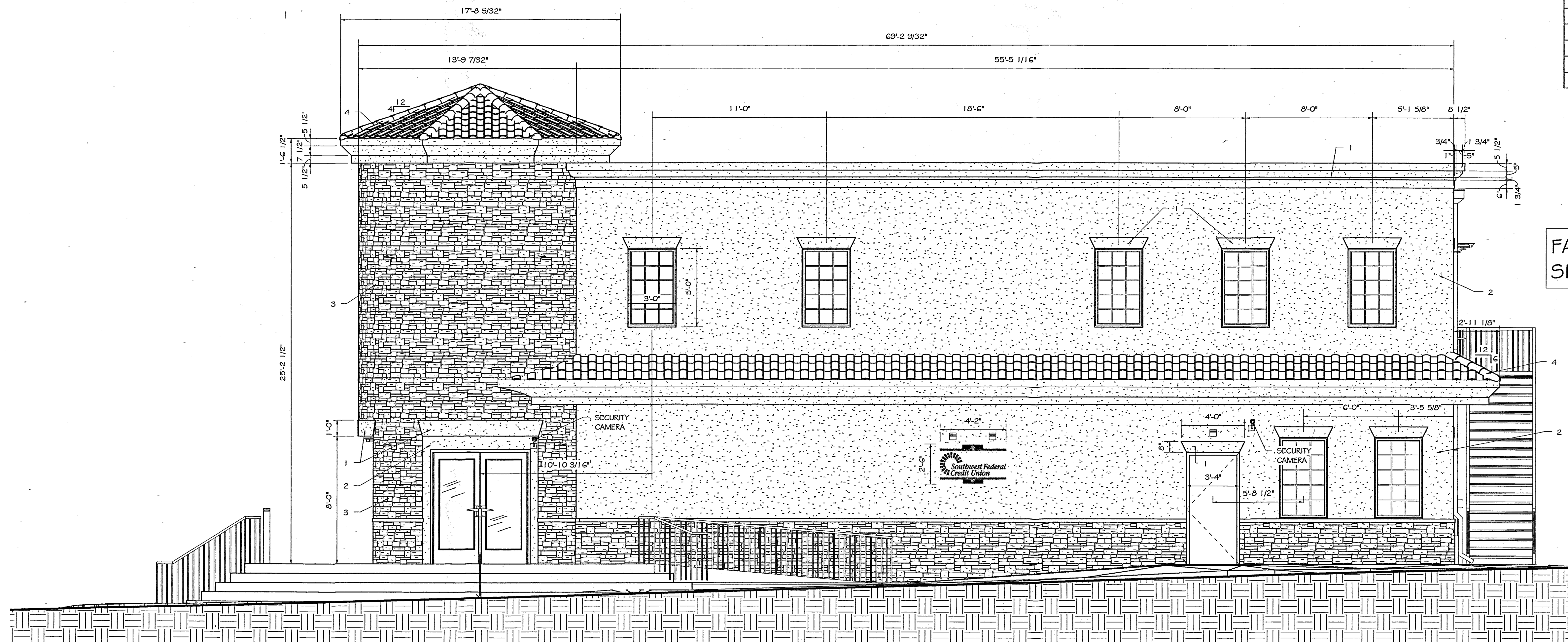


FACADE AREA = 1870.21 SQ. FT.  
SIGN AREA = 48 SQ. FT.

1 NORTHWEST ELEVATION  
A-303 SCALE: 1/4" = 1'-0"

EXTERIOR FINISHES		
MATERIAL/PRODUCT	COLOR/STYLE	MANUFACTURE
1 Medium Textured Stucco	Pottery (Dark Tan)	El Rey Stucco
2 Medium Textured Stucco	Tierra (Tan)	El Rey Stucco
3 ProStone® Easy Fit Savannah Ledge	Vintage Wine (Mixed Browns)	Owens Corning
4 Distinction Tile	Desert Red (Red)	Trimline Building Products

- \* ALL WINDOW FRAMES TO BE WHITE.
- \* STORE FRONT ENTRY DOORS ARE ALUMINUM
- \* 3" METAL DOORS ARE TO BE PAINTED TAN



FACADE AREA = 1418.72 SQ. FT.  
SIGN AREA = 10.42 SQ. FT.

2 SOUTHEAST ELEVATION  
A-303 SCALE: 1/4" = 1'-0"

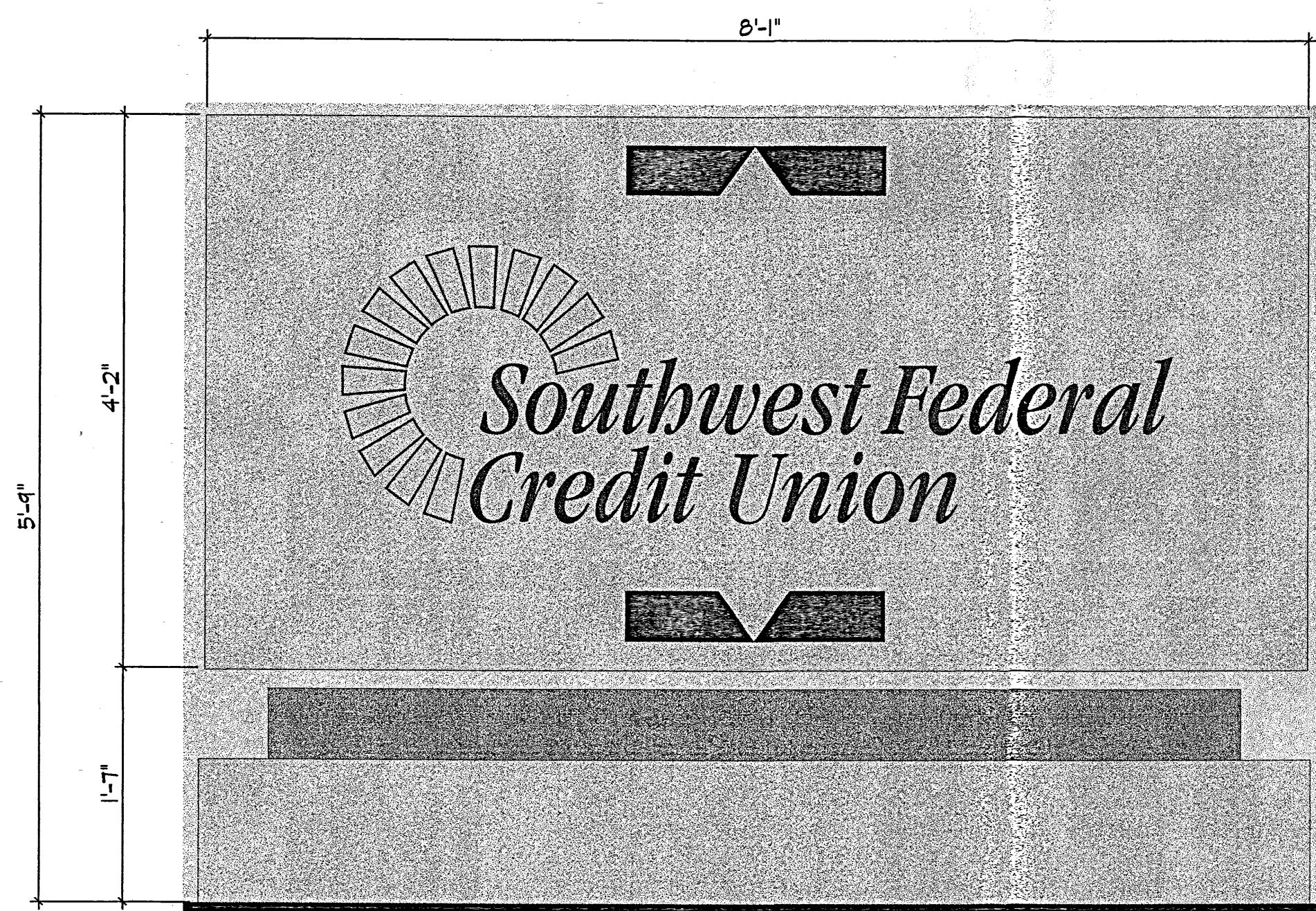
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SOUTHWEST FEDERAL CREDIT UNION  
ALBUQUERQUE, NEW MEXICO

REVISIONS	DATE:	BY:
NO.	06/08/10	C. GLASS
ISSUE DATE		
DRAWN BY: C. GLASS		
DRAWN ON: 05/31/10		
PROJECT#: 84-09-4866		
SHEET TITLE: EXT ELEVATIONS		
SHEET: A-303		
SHT: 6 OF 7		

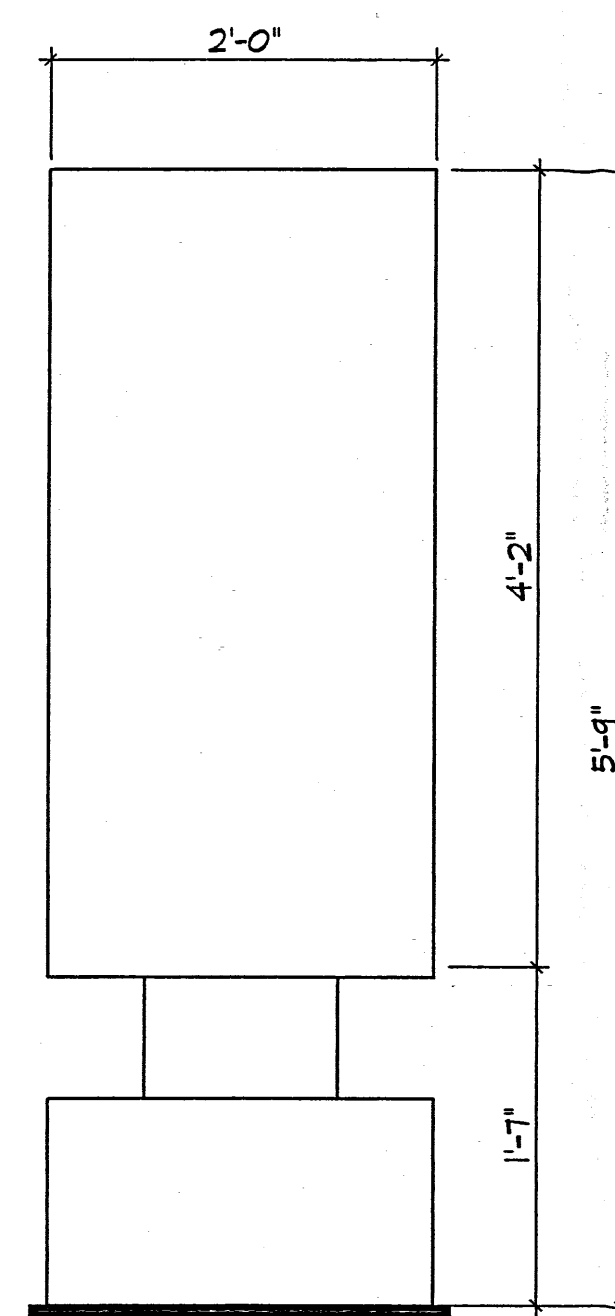




1 DOUBLE FACE MONUMENT SIGN  
A-301

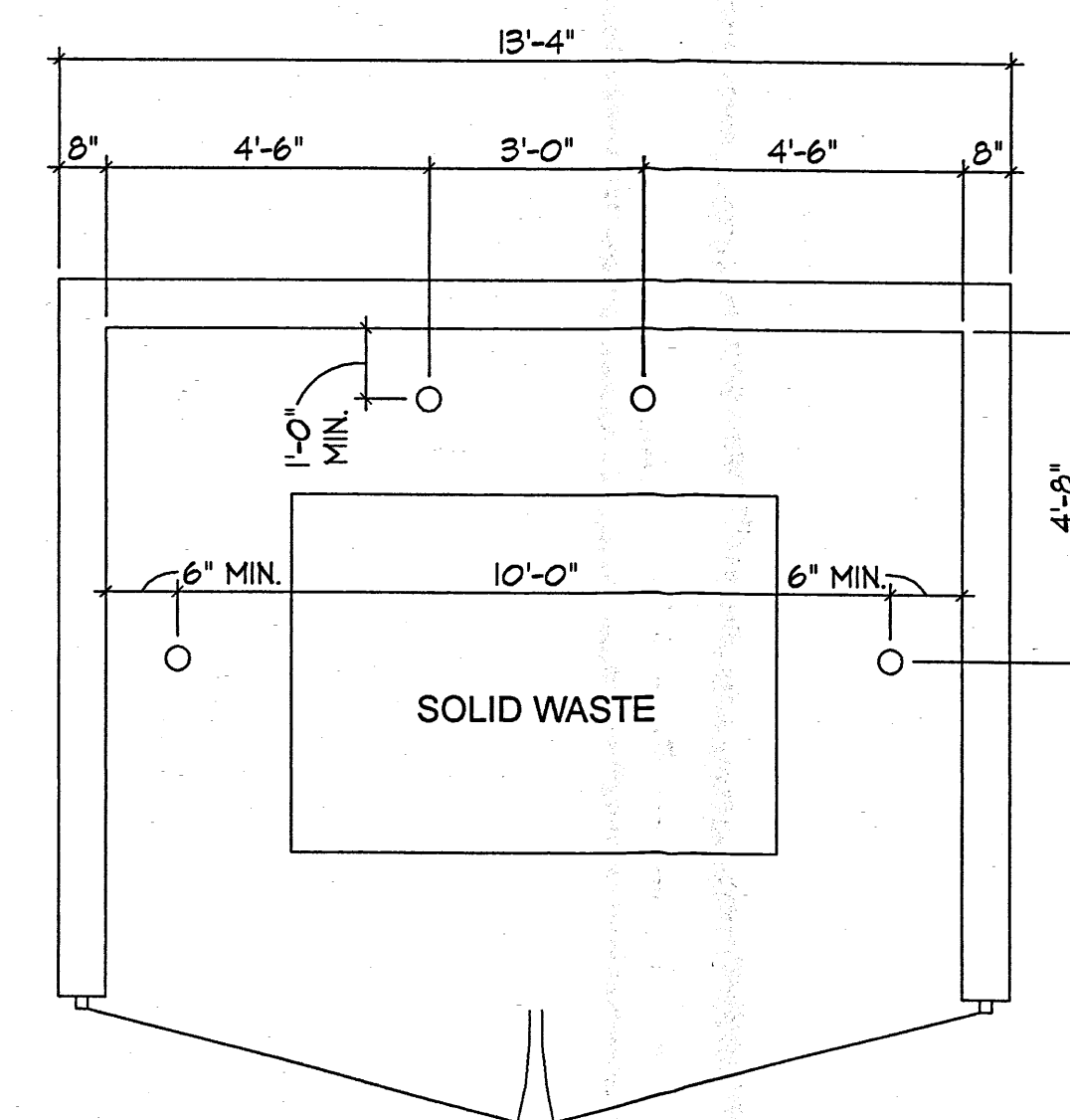
NOT TO SCALE

D/F DISPLAY-INTERIOR ILLUM.  
ROUTED ALUMINUM FACES  
FINISHED TO MATCH  
STO 1501 TORREON  
LETTERS TO HAVE WHITE FLEX BACKER  
WITH VINYL OVERLAY  
USE CALON 25 SUNFLOWER AND  
36 DK. BLUE  
REVEAL FINISHED TO MATCH  
STO 4180 CIMARRON  
BASE FINISHED TO MATCH  
STO 1501 TORREON

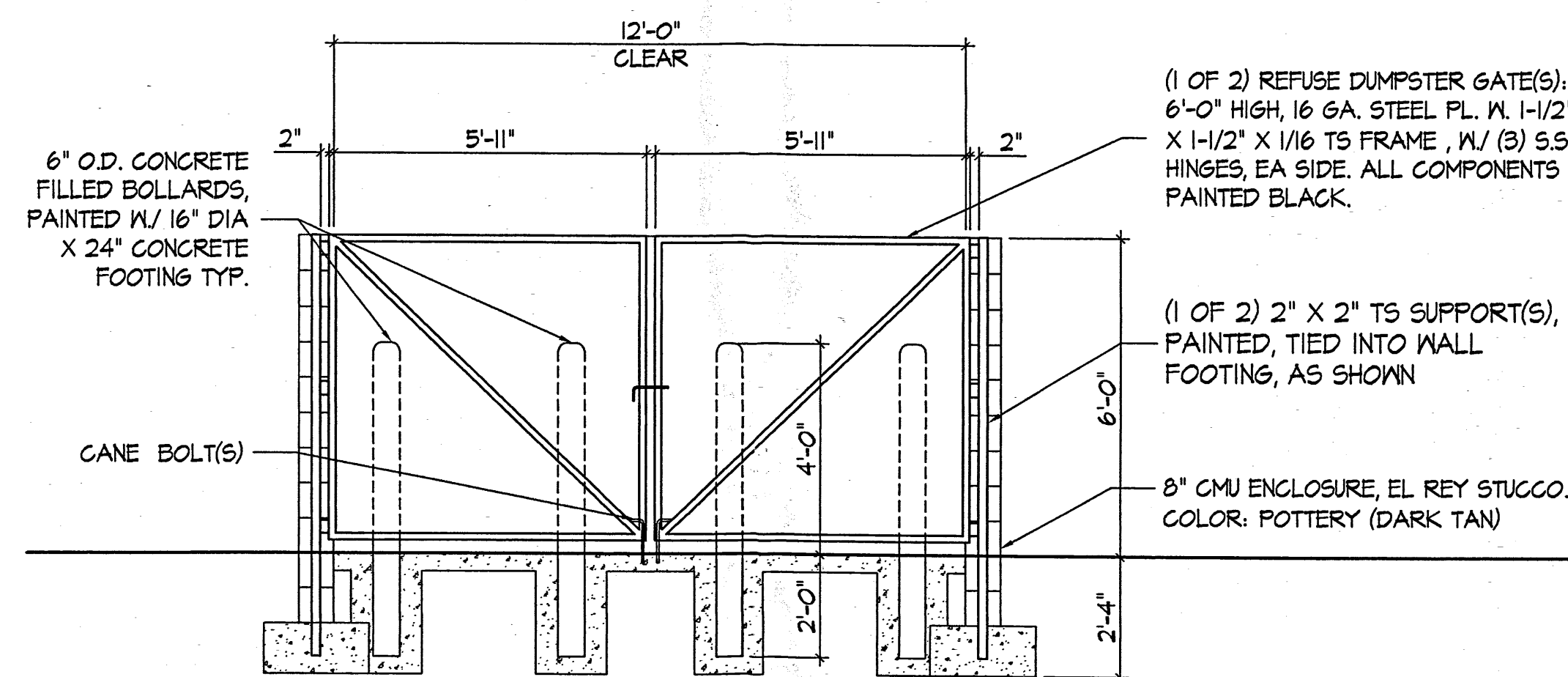


2 DOUBLE FACE MONUMENT SIGN (SIDE VIEW)  
A-301

NOT TO SCALE

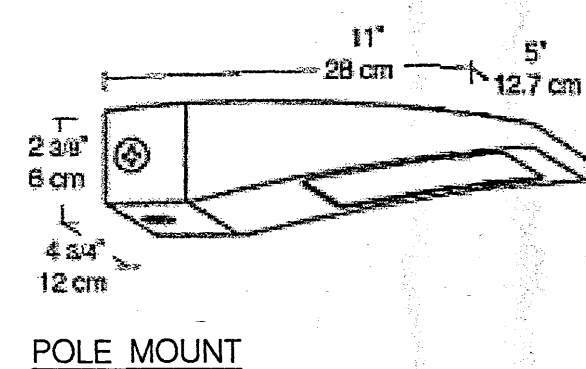


PLAN

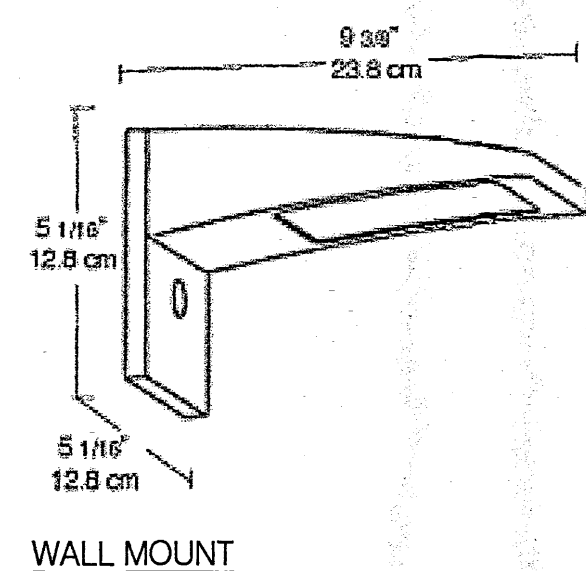


3 TRASH ENCLOSURE DETAIL  
A-301

NOT TO SCALE



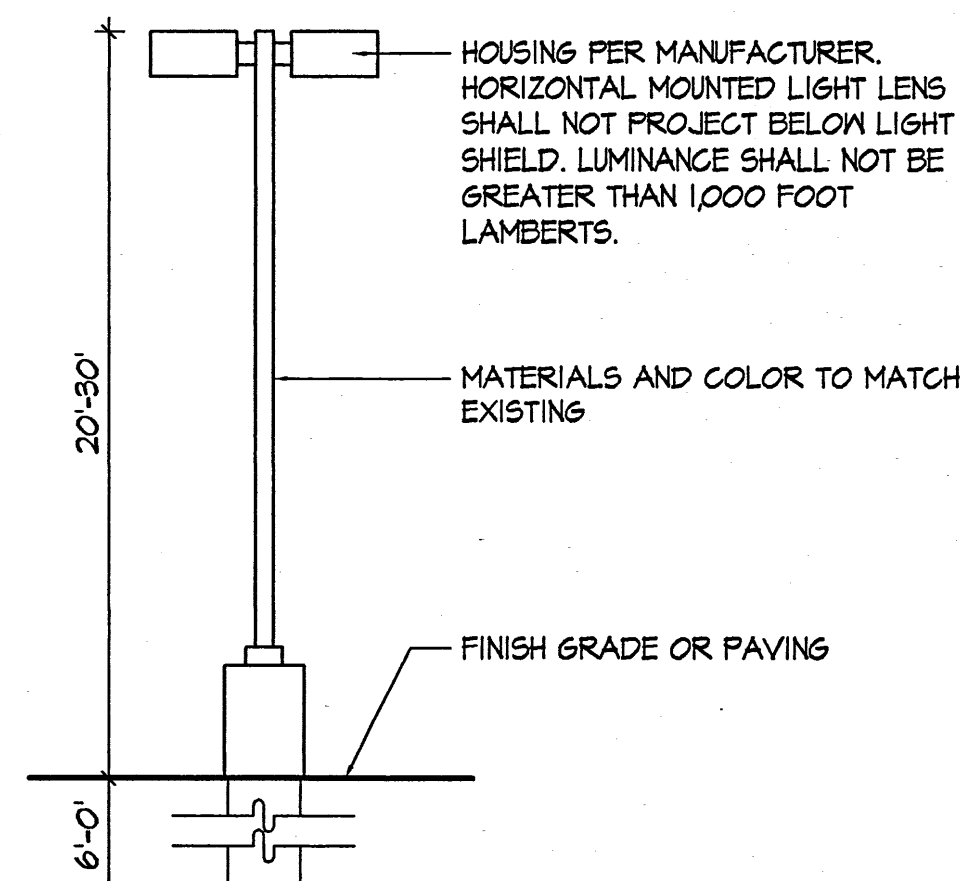
POLE MOUNT



WALL MOUNT

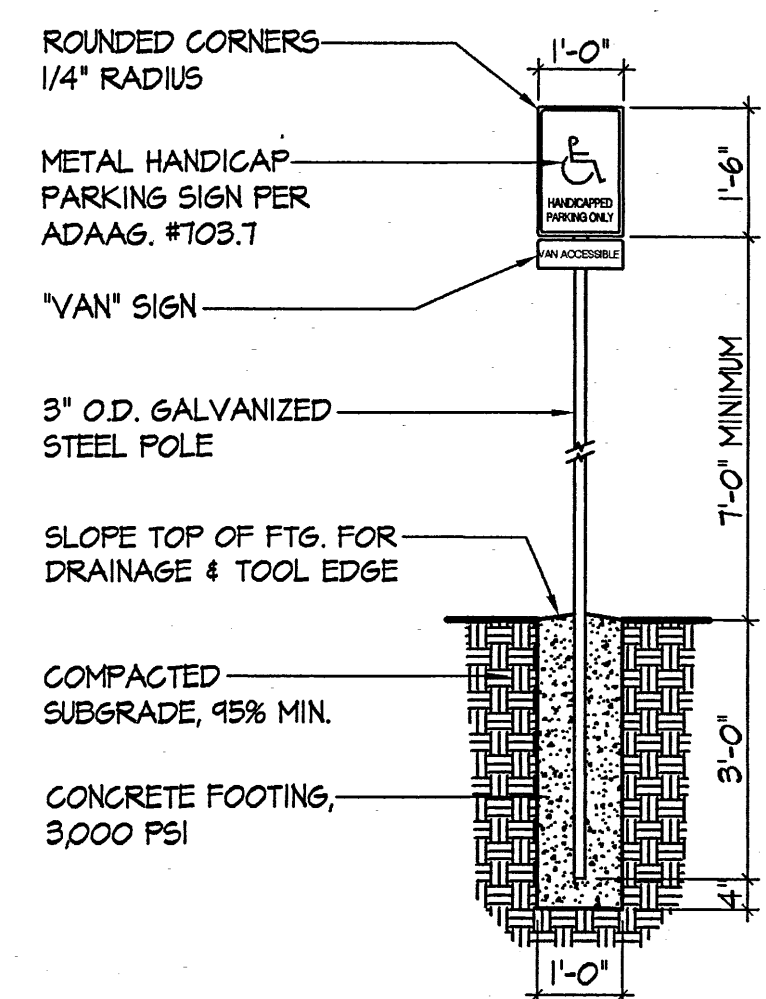
4 WALL/POLE LIGHTING DETAIL (NEW)  
A-301

NOT TO SCALE



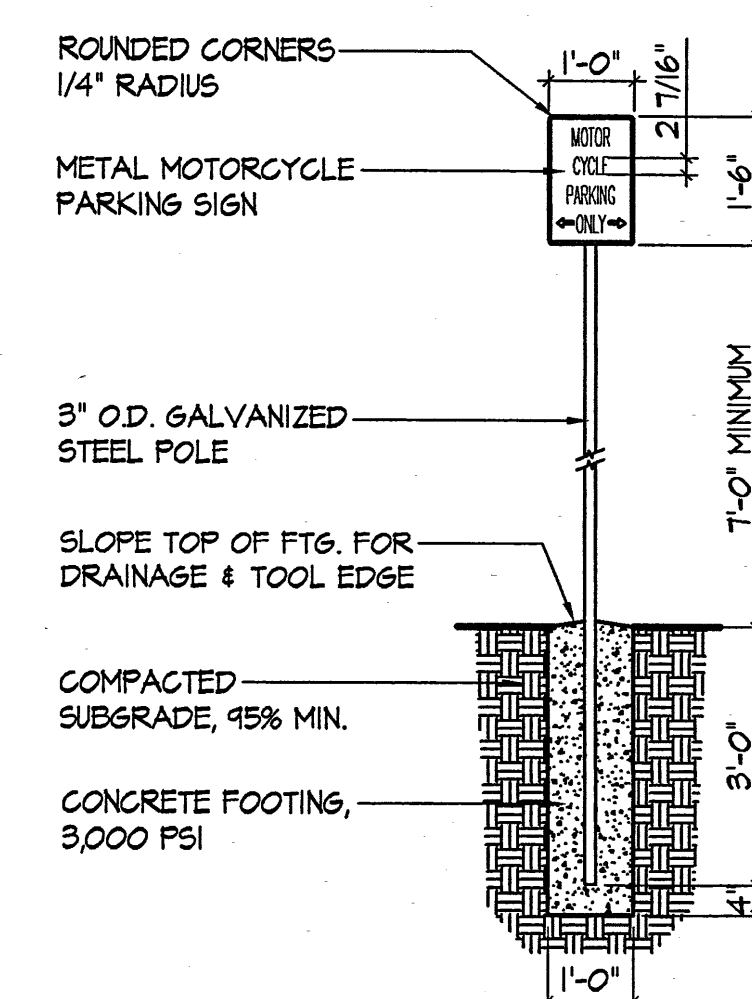
5 LIGHTING DETAIL (EXISTING)  
A-301

NOT TO SCALE



6 HANDICAP SIGN DETAIL  
A-301

NOT TO SCALE



7 MOTORCYCLE SIGN DETAIL  
A-301

NOT TO SCALE

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SOUTHWEST FEDERAL CREDIT UNION  
ALBUQUERQUE, NEW MEXICO

NO.	DATE	BY
1	06/04/10	C. GLASS

ISSUE DATE

DRAWN BY: C. GLASS  
DRAWN ON: 05/03/10  
PROJECT#:

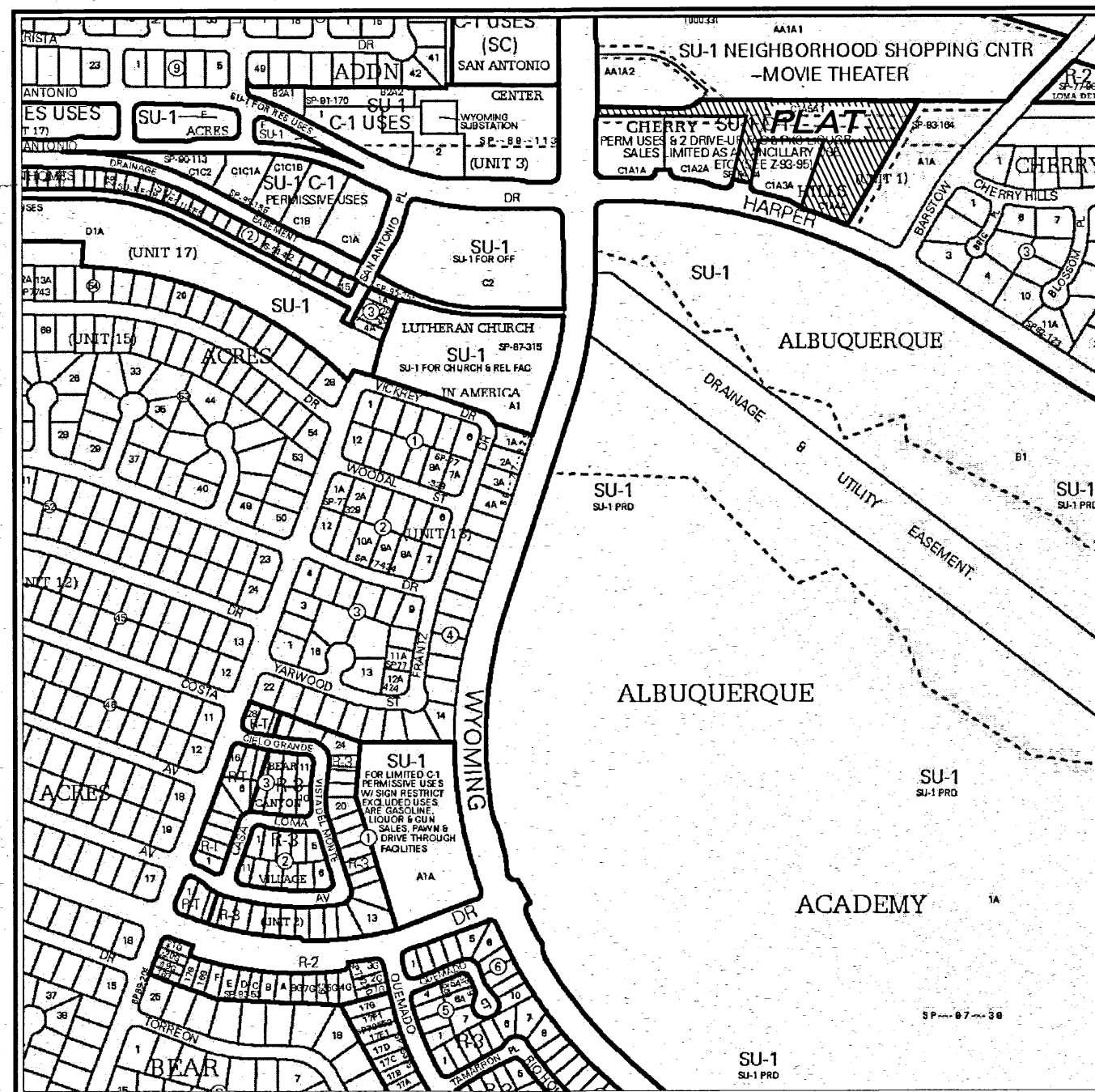
84-09-4866

SHEET TITLE:  
SIGN ELEVATIONS

SHEET:  
A-301

SHT: 7 OF 7





**VICINITY MAP**  
NOT TO SCALE

**GENERAL NOTES**

1. Bearings are New Mexico State Plane Grid Bearings Central Zone - NAD 83
2. Distances are ground.
3. Distances along curved lines are arc lengths.
4. Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ( ).
5. All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
6. All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
7. U.C.L.S. Log Number 2010
8. City of Albuquerque Zone Atlas Page: E-19-Z

**SUBDIVISION DATA**

Total number of existing Tracts: 2  
 Total number of new Tracts created: 2  
 Gross Subdivision acreage: 3.5504 acres

**PURPOSE OF PLAT:**

The purpose of this plat is to adjust the interior Tract line between Tract C-1-A-4A, Cherry Hills Unit 1 and Tract C-1-A-5A-1A, Loma Del Norte Unit 5-A to conform to existing parking islands and parking spaces.

**SHEET INDEX**

- SHEET 1 - General Notes, Approvals, Surveyor Certification
- SHEET 2 - Legal Description, Acknowledgement
- SHEET 3 - Existing Tracts and Easements

**TREASURERS CERTIFICATION**

This is to certify that taxes are current and paid on the following:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Bernalillo County Treasurer

Date

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico for installation, maintenance, and service of underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

**DISCLAIMER**

In approving this plat, Public Service Company of New Mexico and New Mexico Gas Company did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive nor release any easement or easement rights to which it may be entitled.

**SURVEYOR'S CERTIFICATION**

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my direct supervision; that it meets the Standards for Land Surveys in the State of New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg  
 NMPS No. 9750  
 January 8, 2010

PLAT OF  
**TRACTS C-1-A-5A-1A AND C-1-A-4A-1**  
**LOMA DEL NORTE UNIT 5-A**

(BEING A REPLAT OF TRACT C-1-A-4A, CHERRY HILLS UNIT 1  
 AND TRACT C-1-A-5A-1, LOMA DEL NORTE UNIT 5-A)

SITUATE WITHIN

**THE ELENA GALLEGOS GRANT**

IN

**PROJECTED SECTION 19, TOWNSHIP 11 NORTH, RANGE 4 EAST**  
**NEW MEXICO PRINCIPAL MERIDIAN**

**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO**

JANUARY, 2010

PROJECT NUMBER: \_\_\_\_\_

Application Number: \_\_\_\_\_

**PLAT APPROVAL**

**Utility Approvals:**

Public Service Company of New Mexico \_\_\_\_\_ Date \_\_\_\_\_

New Mexico Gas Company \_\_\_\_\_ Date \_\_\_\_\_

QWest Corporation \_\_\_\_\_ Date \_\_\_\_\_

Comcast \_\_\_\_\_ Date \_\_\_\_\_

**City Approvals:**

City Surveyor \_\_\_\_\_ Date \_\_\_\_\_  
 Department of Municipal Development

Real Property Division \_\_\_\_\_ Date \_\_\_\_\_

Environmental Health Department \_\_\_\_\_ Date \_\_\_\_\_

Traffic Engineering, Transportation Division \_\_\_\_\_ Date \_\_\_\_\_

ABCWUA \_\_\_\_\_ Date \_\_\_\_\_

Parks and Recreation Department \_\_\_\_\_ Date \_\_\_\_\_

AMAFCA \_\_\_\_\_ Date \_\_\_\_\_

City Engineer \_\_\_\_\_ Date \_\_\_\_\_

DRB Chairperson, Planning Department \_\_\_\_\_ Date \_\_\_\_\_

SHEET 1 OF 3

**SURV TEK, INC.**

Consulting Surveyors  
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
 Phone: 505-897-3366 Fax: 505-897-3377



**LEGAL DESCRIPTION**

That certain parcel of land situate within the Elena Gallegos Grant in Projected Section 19, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being and comprising all of Tract C-1-A-5A-1, Loma Del Norte Unit 5-A as the same is shown and designated on the plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico on September 30, 2003 in Volume 2003C, Folio 297 and All of Tract C-1-A-4A, Cherry Hills Unit 1 as the same is shown and designated on the plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico on March 4, 1994 in Volume 94C, Folio 67 more particularly described by survey performed by Russ P. Hugg, New Mexico Professional Surveyor Number 9750 using New Mexico State Plane grid bearings (NAD 83) bearings and ground distances as follows:

BEGINNING at the Northwest corner of said Tract C-1-A-5A-1, a point on the Easterly right of way line of Wyoming Boulevard N.E. whence the Albuquerque Central Survey Monument "20-H18" bears N 45° 01' 55" E, 3689.90 feet distant; Thence Southeasterly and Northeasterly along the Northerly line of said Tract C-1-A-5A-1 for the following six (6) courses:

- S 89° 31' 54" E , 188.90 to a point of curvature; Thence, Southeasterly , 13.83 feet on the arc of a curve to the right (said curve having a radius of 40.00 feet, a central angle of 19° 48' 30" and a chord which bears S 79° 37' 29" E, 13.76 feet) to a point of reverse curvature; Thence,
- Southeasterly , 20.84 feet on the arc of a curve to the left (said curve having a radius of 53.00 feet, a central angle of 22° 32' 01" and a chord which bears S 80° 59' 12" E, 20.71 feet) to a point of tangency; Thence,
- N 87° 44' 40" E , 56.96 feet to a point of curvature; Thence,
- Northeasterly , 71.36 feet on the arc of a curve to the left (said curve having a radius of 97.00 feet, a central angle of 42° 08' 59" and a chord which bears N 66° 40' 11" E, 69.76 feet) to a non tangent point on curve; Thence,
- S 89° 33' 07" E , 730.65 feet to the Northeast corner of said Tract C-1-A-5A-1; Thence,
- S 30° 00' 51" W , 480.53 feet to a point on the Northerly right of way line of Harper Road N.E. and the Southeast corner of said Tract C-1-A-4A; Thence Northwesterly along said Northerly right of way line of Harper Road N.E. for the following two (2) courses:
- Northwesterly , 143.34 feet on the arc of a curve to the left (said curve having a radius of 1893.00 feet, a central angle of 04° 20' 19" and a chord which bears N 68° 55' 16" W, 143.31 feet) to a point of reverse curvature; Thence,
- Northwesterly , 20.66 feet on the arc of a curve to the right (said curve having a radius of 138.00 feet, a central angle of 08° 34' 34" and a chord which bears N 66° 48' 08" W, 20.64 feet) to a non tangent point on curve and the Southwest corner of said Tract C-1-A-4A; Thence,
- N 18° 17' 14" E , 235.24 feet to the Northwest corner of said Tract C-1-A-4A ( a PK nail found in place) said point also being a point on the Southerly line of said Tract C-1-A-5A-1; Thence Northwesterly, Southwesterly and Northeasterly along said Southerly line of Tract C-1-A-5A-1 for the following five (5) courses:
- N 89° 35' 34" W , 214.07 feet to the Northwest corner of Tract C-1-A-3A, Cherry Hills Unit 1; Thence,
- S 11° 49' 18" W , 144.77 feet to a point; Thence,
- N 78° 10' 42" W , 60.00 feet to a point; Thence,
- N 11° 49' 18" E , 213.89 feet to the Northeast corner of Tract C-1-A-2A, Cherry Hills Unit 1; Thence,
- N 89° 35' 34" W , 498.49 feet to a point on said Easterly right of way line of Wyoming Boulevard N.E. and the Northwest corner of Tract C-1-A-1A, Cherry Hills Unit 1; Thence Northeasterly along said Easterly right of way line of Wyoming Boulevard N.E. for the following two (2) courses:
- Northeasterly , 26.61 feet on the arc of a curve to the left (said curve having a radius of 162.00 feet, a central angle of 09° 24' 46" and a chord which bears N 04° 02' 19" E, 26.58 feet) to a point of tangency; Thence,
- N 00° 07' 30" E , 4.64 feet to the point of beginning of the parcel herein described.

Said parcel contains 3.5504 acres, more or less.

PLAT OF  
**TRACTS C-1-A-5A-1A AND C-1-A-4A-1**  
**LOMA DEL NORTE UNIT 5-A**

(BEING A REPLAT OF TRACT C-1-A-4A, CHERRY HILLS UNIT 1 AND TRACT C-1-A-5A-1, LOMA DEL NORTE UNIT 5-A)

SITUATE WITHIN  
**THE ELENA GALLEGOS GRANT**  
IN

**PROJECTED SECTION 19, TOWNSHIP 11 NORTH, RANGE 4 EAST**  
**NEW MEXICO PRINCIPAL MERIDIAN**

**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO**

JANUARY , 2010

**FREE CONSENT AND DEDICATION**

SURVEYED and REPLATTED and now comprising, PLAT OF TRACTS C-1-A-5A-1A AND C-1-A-4A-1, LOMA DEL NORTE UNIT 5-A (BEING A REPLAT OF TRACT C-1-A-4A, CHERRY HILLS UNIT 1 AND TRACT C-1-A-5A-1, LOMA DEL NORTE UNIT 5-A) SITUATE WITHIN THE ELENA GALLEGOS GRANT IN SECTION 19, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant the public easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

DNC, LTD. Partnership

By: Scott Garrett, Partner

**ACKNOWLEDGEMENT**

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on this \_\_\_\_\_

day of \_\_\_\_\_, 2010, by Scott Garrett, on

behalf of DNC, LTD Partnership

Notary Public

My commission expires \_\_\_\_\_

**SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS**  
**ON THE INSTALLATION OF SOLAR COLLECTORS**

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

SHEET 2 OF 3

**SURV TEK, INC.**

Consulting Surveyors Phone: 505-897-3366  
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377

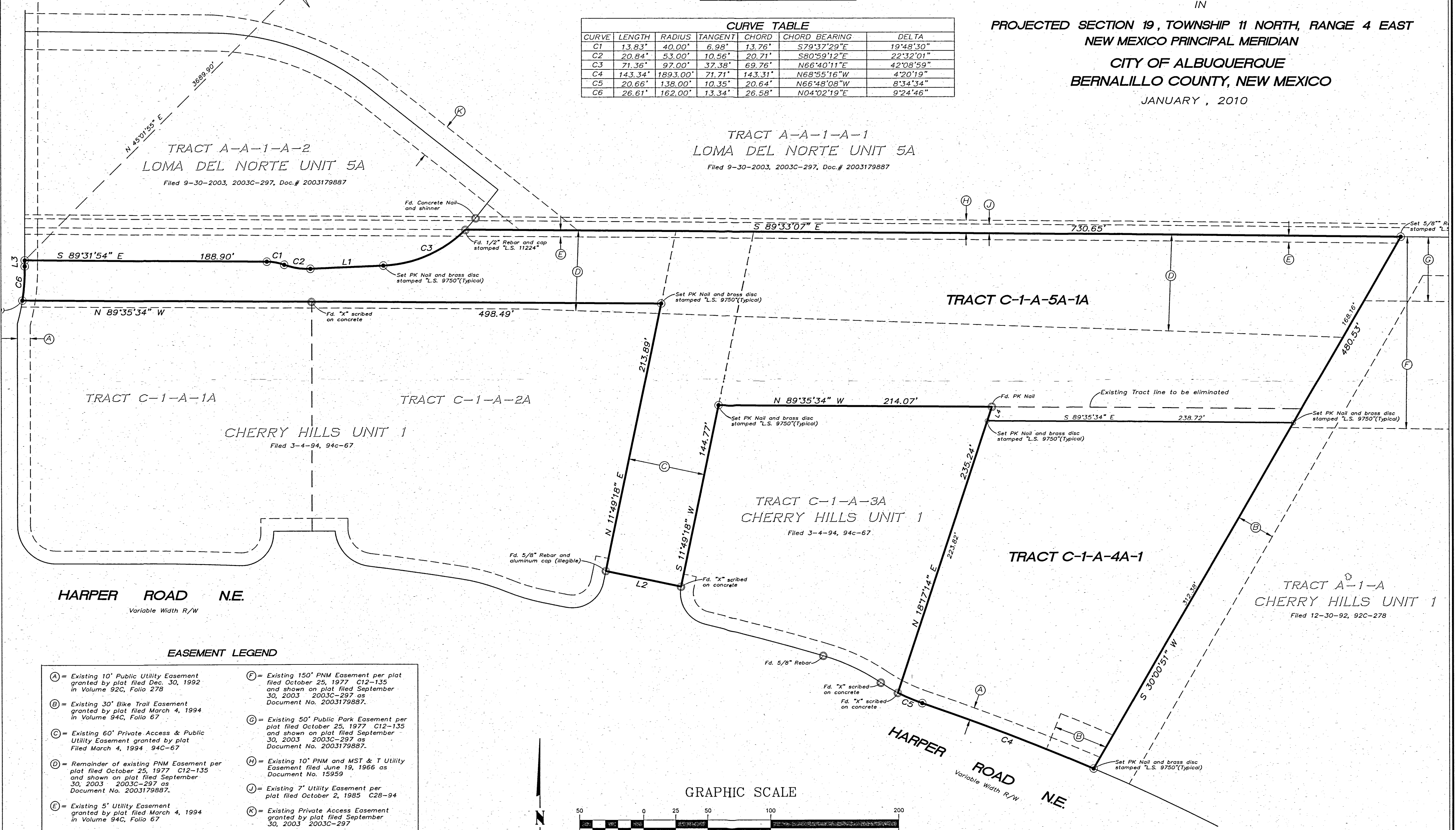


PLAT OF  
**TRACTS C-1-A-5A-1A AND C-1-A-4A-1**  
**LOMA DEL NORTE UNIT 5-A**  
 (BEING A REPLAT OF TRACT C-1-A-4A, CHERRY HILLS UNIT 1  
 AND TRACT C-1-A-5A-1, LOMA DEL NORTE UNIT 5-A)  
 SITUATE WITHIN  
**THE ELENA GALLEGOS GRANT**  
 IN  
**PROJECTED SECTION 19, TOWNSHIP 11 NORTH, RANGE 4 EAST**  
**NEW MEXICO PRINCIPAL MERIDIAN**  
**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO**  
 JANUARY, 2010

Albuquerque Control Survey Monument "20-H18"  
 New Mexico State Plane Coordinates, Central  
 Zone (NAD83) as published:  
 Northing = 1,493,154.978  
 Easting = 1,545,048.210  
 Ground to grid factor = 0.999661580  
 Delta Alpha = -00'11"00.11"  
 Elevation = 5283.222 (NAVD 1988)

LINE TABLE		
LINE	LENGTH	BEARING
L1	56.96	N87°44'40"E
L2	60.00	N78°10'42"W
L3	4.64	N00°07'30"E
L4	11.43	N18°17'14"E

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	13.83'	40.00'	6.98'	13.76'	S79°37'29"E	19°48'30"
C2	20.84'	53.00'	10.56'	20.71'	S80°59'12"E	22°32'01"
C3	71.36'	97.00'	37.38'	69.76'	N66°40'11"E	42°08'59"
C4	143.34'	189.00'	71.71'	143.31'	N68°55'16"W	4°20'19"
C5	20.66'	138.00'	10.35'	20.64'	N66°48'08"W	8°34'34"
C6	26.61'	162.00'	13.34'	26.58'	N04°02'19"E	9°24'46"



TRACT A-A-1-A-2  
 LOMA DEL NORTE UNIT 5A  
 Filed 9-30-2003, 2003C-297, Doc.# 2003179887

TRACT A-A-1-A-1  
 LOMA DEL NORTE UNIT 5A  
 Filed 9-30-2003, 2003C-297, Doc.# 2003179887

**HARPER ROAD NE.**  
 Variable Width R/W

**EASEMENT LEGEND**

- (A) = Existing 10' Public Utility Easement granted by plat filed Dec. 30, 1992 in Volume 92C, Folio 278
- (B) = Existing 30' Bike Trail Easement granted by plat filed March 4, 1994 in Volume 94C, Folio 67
- (C) = Existing 60' Private Access & Public Utility Easement granted by plat filed March 4, 1994, 94C-67
- (D) = Remainder of existing PNM Easement per plat filed October 25, 1977, C12-135 and shown on plat filed September 30, 2003, 2003C-297 as Document No. 2003179887.
- (E) = Existing 5' Utility Easement granted by plat filed March 4, 1994 in Volume 94C, Folio 67
- (F) = Existing 150' PNM Easement per plat filed October 25, 1977, C12-135 and shown on plat filed September 30, 2003, 2003C-297 as Document No. 2003179887.
- (G) = Existing 50' Public Park Easement per plat filed October 25, 1977, C12-135 and shown on plat filed September 30, 2003, 2003C-297 as Document No. 2003179887.
- (H) = Existing 10' PNM and MST & T Utility Easement filed June 19, 1966 as Document No. 15959
- (J) = Existing 7' Utility Easement per plat filed October 2, 1985, C28-94
- (K) = Existing Private Access Easement granted by plat filed September 30, 2003, 2003C-297

Tracts C-1-A-4A and C-1-A-5A-1 are subject to that certain "DECLARATION OF RECIPROCAL ACCESS AND DRAINAGE EASEMENTS", filed in the office of the County Clerk of Bernalillo County, New Mexico on February 4, 1994 in Book 94-4, page 8968 to 8970.

**GRAPHIC SCALE**



( IN FEET )  
 1 inch = 50 ft.

SHEET 3 OF 3

**SURV TEK, INC.**  
 Consulting Surveyors  
 8984 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
 Phone: 505-897-3366  
 Fax: 505-897-3377