



DRB CASE ACTION LOG *(Preliminary/Final Plat)*

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

DRB Application No.: 10DRB-70267

Project # 1008256

Project Name:

Agent: *Brasher and Lorenz*

Phone No.:

Your request was approved on 9-15-10 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED:

- TRANSPORTATION: _____

- ABCWUA: _____

- CITY ENGINEER / AMAFCA: _____

- PARKS / CIP: _____

- PLANNING (Last to sign): _____

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
- Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - ~~AGIS DXF File approval required~~
 - Copy of recorded plat for Planning.**

O/K



COMPLETED 10/01/10 SH
DRB CASE ACTION LOG
(Site Plan for Building Permit)

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

DRB Application No.: 10DRB-70268 Project # 1008256
 Project Name: _____
 Agent: Brasher and Lorenz Inc. Phone No.: _____

Your request was approved on 9-15-10 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED:

- TRANSPORTATION:** address comments
- ABCWUA:** _____
- CITY ENGINEER / AMAFCA:** _____
- PARKS / CIP:** _____
- PLANNING (Last to sign):** case planner initial

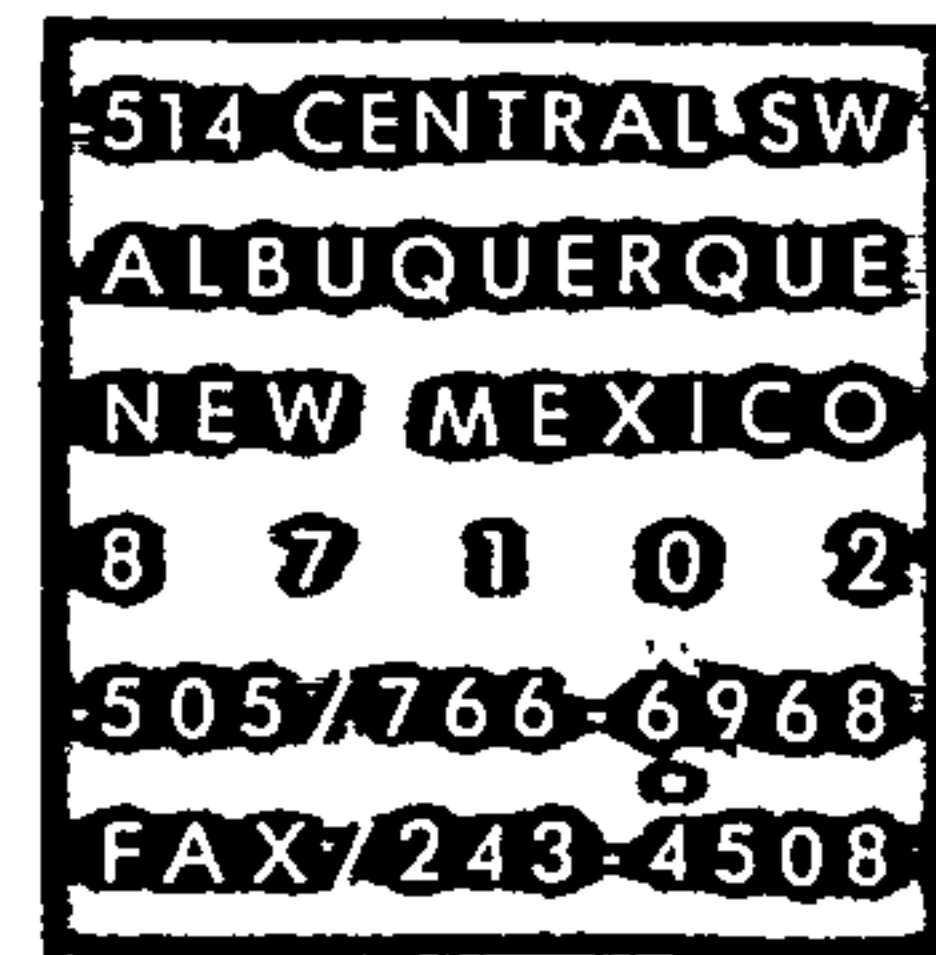
Planning must record this plat. Please submit the following items:

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- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

DISTR. 10/01/10 stt

E-MAIL: rjacob@garrett-smith-ltd.com



TRANSMITTAL

TO JACK CLOUD

DATE/TIME 30 SEP 10

ATTN: DRB CHAIRMAN

FROM RON JACOB

REGARDING LUNA LODGE DRB

WE ARE SENDING YOU

ATTACHED

VIA FAX:

THE FOLLOWING:

SHOP DRAWINGS

CHANGE ORDER

PRINTS

SPECIFICATIONS

PAY REQUEST

LETTER

COPIES

DATE

NO.

DESCRIPTION

3 DRB SUBMITTAL DRAWINGS

1 DRB CASE LOG

THESE ARE TRANSMITTED AS CHECKED BELOW:

FOR APPROVAL

APPROVED AS SUBMITTED

RESUBMIT

FOR YOUR USE

APPROVED AS NOTED

RETURN

AS REQUESTED

RETURNED FOR CORRECTION

SUBMIT

FOR REVIEW AND COMMENT

RETAIN ONE COPY FOR YOUR FILE

REMARKS

COPY TO:

SIGNED

SHEET

OF

INCLUDING THIS SHEET

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

3. **Project#-1008256**
10DRB-70268 EPC APPROVED SDP
FOR BUILD PERMIT
10DRB-70266 VACATION OF PRIVATE
EASEMENT
10DRB-70267 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- BRASHER AND LORENZ INC agent(s) for SURESH A PATEL request(s) the above action(s) for all or a portion of Lot(s) 6-13 & Y, zoned C-2, located on CENTRAL AVE NE BETWEEN GENREAL HODGES NE AND GENERAL STILWELL NE containing approximately 1.0543 acre(s). (K-20) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION TO ADDRESS COMMENTS AND TO PLANNING FOR CASE PLANNER INITIALS. THE PRELIMINARY/FINAL PLAT WAS APPROVED. A COPY OF THE RECORDED PLAT MUST BE PROVIDED TO THE PLANNING DEPARTMENT.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

4. **Project# 1004675**
10DRB-70265 EXT OF SIA FOR TEMP
DEFR SDWK CONST
- KCRW PROPERTIES LLC agent(s) for KCRW PROPERTIES LLC request(s) the above action(s) for all or a portion of Lot(s) 23,24,13-16,46-54, 57-61, 30-33, 13-17, 20-23, Block(s) A & B, **VISTA DEL LA LUZ** zoned SU-1 PRD, located on COORS BLVD NW AND SEVILLE NW (F-11) **A TWO YEAR EXTENSION TO THE AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**
5. **Project# 1008498**
10DRB-70269 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- ALPHA PROFESSIONAL SURVEYING INC agent(s) for HOMES BY KIM BROOKS INC request(s) the above action(s) for all or a portion of Lot(s) 12 & 13, Block(s) 17, **JUAN TABO HILLS UNIT 1 Unit(s) 1**, zoned R-D, located on SMARTY JONES ST SE BETWEEN GALLANT FOX RD SE AND SIR BARTON SE containing approximately .2652 acre(s). (M-22) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 50 FT. WIDE LOT OR VARIANCE.**



DRB CASE ACTION LOG
(Site Plan for Building Permit)

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

DRB Application No.: 10DRB-70268

Project # 1008256

Project Name:

Agent: *Brasher and Lorenz Inc.*

Phone No.:

Your request was approved on 9-15-10 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED:

TRANSPORTATION: address comments

ABCWUA:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): case planner initial

Planning must record this plat. Please submit the following items:

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 - AGIS DXF File approval required.**
 - Copy of recorded plat for Planning.**



DRB CASE ACTION LOG *(Preliminary/Final Plat)*

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

DRB Application No.: 10DRB-70267

Project # 1008256

Project Name: _____

Agent: *Brasher and Lorenz*

Phone No.: _____

Your request was approved on 9-15-10 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED:

- TRANSPORTATION: _____

- ABCWUA: _____

- CITY ENGINEER / AMAFCA: _____

- PARKS / CIP: _____

- PLANNING (Last to sign): _____

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 - Copy of recorded plat for Planning.**


OK

M E M O

Date: September 14, 2010

To: Jack Cloud, DRB Chair

cc: Ron Jacob, Garrett Smith Ltd;
Jim Strozier, Consensus Planning, Inc.

From: Carol Toffaleti, Senior Planner 
Long Range Planning Division, tel. 924-3345, cgtoffaleti@cabq.gov

Re: Project #1008256, 10EPC-40018, 10DRB-70268, SDP for Building Permit, Luna Lodge, Central Ave. NE

The site development plan was approved by the EPC on May 13, 2010, subject to 19 conditions.

The conditions have been met with the following exceptions:

- 4.d The number of dwelling units with 1 bedroom and with 2 bedroom shall be added.
- 8. The curb returns at the site drive shall be tightened to ensure motorists slow down before entering or exiting the site and thereby improve pedestrian safety, per the intent of the EPC.
- 11. The location of the bike rack at the east of the site drive shall be adjusted to maintain a 6' clear pedestrian path.
- 14.i The provided landscape area shall be amended to reflect 3,000 sf of usable outdoor area, and the live vegetative cover calculations shall be amended accordingly.

In addition:

- the pedestrian path east of the site drive shall be adjusted to meet the sidewalk on Central instead of the ADA ramp.
- the shuffleboard area in the new courtyard shall be deleted.
- a note shall be added stating that the location of the wrought iron fence along the Central frontage is subject to historic preservation requirements.

Staff has discussed these outstanding issues with the applicant's architect and agent. Staff agreed that the changes to the site plan (AS-101) can be made manually on the mylar and that a revised landscape plan (L1) will be submitted to the DRB.

Feel free to contact me with any questions.

HEARING DATE 9-15-10 (VPRE, PIF)

12. **Project# 1008256**
10DRB-70189 SKETCH PLAT REVIEW
AND COMMENT

BRASHER & LORNEZ agent(s) for NEW LIFE HOMES
INC request(s) the above action(s) for all or a portion of
Lot(s) 6-13, **WAGGOMAN-DENISON ADDITION**
zoned C-2, located on CENTRAL AVE NE BETWEEN
GENERAL STILLWELL NE AND GENERAL HODGES
NE containing approximately 1.06 acre(s). (K-20) **THE
ABOVE ITEM WAS REVIEWED AND COMMENTS WERE
PROVIDED.**

13. Approval of the Development Review Board Minutes for 7/14/10
Other Matters: None.
ADJOURNED: 9:50

HEARING DATE 7-21-10 (SK)

8256

DXF Electronic Approval Form

DRB Project Case #: 1008256

Subdivision Name: LUNA LODGE MOTEL TRACT A

Surveyor: LENORE ARMIJO

Contact Person: LENORE ARMIJO

Contact Information: 888-6088

DXF Received: 9/2/2010

Hard Copy Received: 9/2/2010

Coordinate System: NMSP Grid (NAD 83)


Approved

09.07.2010
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only
Copied fc8256 to agiscov on 9/7/2010 Contact person notified on 9/7/2010

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

09/03/2010 Issued By: PLNSDH 86682

Permit Number: 2010 070 267 **Category Code 910**

Application Number: 10DRB-70267, Minor - Preliminary/ Final Plat Approval

Address:

Location Description: CENTRAL AVE NE BETWEEN GENREAL HODGES NE AND GENERAL STILWELL
NE

Project Number: 1008256

Applicant
SURESH A PATEL

PO BOX 92213
ALBUQUERQUE NM 87199
301-3998

Agent / Contact
Brasher And Lorenz Inc
Dennis Lorenz
2201 San Pedro Ne- Bld #1- Ste 220
Albuquerque NM 87110

dennisl@brasherlorenz.com

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	
441008/4983000	DRB Actions	\$215.00
TOTAL:		\$215.00

City Of Albuquerque
Treasury Division

9/3/2010 1:53PM LOC: ANNX
WS# 006 TRANS# 0055
RECEIPT# 00124559-00124559
PERMIT# 2010070267 TRSASR
Trans Amt \$280.00
DRB Actions \$215.00

Thank You

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

09/03/2010 Issued By: PLNSDH 86681

Permit Number: 2010 070 266 **Category Code 910**

Application Number: 10DRB-70266, Vacation Of Private Easement

Address:

Location Description: CENTRAL AVE NE BETWEEN GENREAL HODGES NE AND GENERAL STILWELL NE

Project Number: 1008258

Applicant
 SURESH A PATEL

 PO BOX 92213
 ALBUQUERQUE NM 87199
 301-3998

Agent / Contact
 Brasher And Lorenz Inc
 Dennis Lorenz
 2201 San Pedro Ne- Bld #1- Ste 220
 Albuquerque NM 87110

 dennisl@brasherlorenz.com

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$45.00
TOTAL:		\$65.00

City Of Albuquerque
 Treasury Division

9/3/2010 1:53PM LOC: ANNX
 WSH 006 TRANS# 0055
 RECEIPT# 00124559-00124560
 PERMIT# 2010070266 TRSASR
 Trans Amt \$290.00
 Conflict Manag. Fee \$20.00
 DRB Actions \$45.00
 CK \$280.00
 CHANGE \$0.00

Thank You

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

09/07/2010 Issued By: E08375 88800

Permit Number: 2010 070 268

Category Code 910

Application Number: 10DRB-70268, Epc Approved Sdp For Build Permit

Address:

Location Description: CENTRAL AVE NE BETWEEN GENERAL STILLWELL AND GENERAL HODGES

Project Number: 1008258

Applicant
NEW LIFE HOMES

PO BOX 51055
ALBUQUERQUE NM 87181
293-7553

Agent / Contact
Consensus Planning
James Strozier
302 8th St Nw
Albuquerque NM 87102

cp@consensusplanning

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	
TOTAL:		\$20.00

City Of Albuquerque
Treasury Division
#####00124583-00124583#####00000000:00000000
9/7/2010 11:37AM LOC: ANNX
WS# 006 TRANS# 0013
RECEIPT# 00124583-00124583
PERMIT# 2010070268 TRSASR
Trans Amt \$20.00
Conflict Manag. Fee \$20.00
VI \$20.00
CHANGE \$0.00

Thank You

Lenore Armijo

From: Zamora, David M. [dmzamora@cabq.gov]
Sent: Tuesday, September 07, 2010 9:34 AM
To: Lenore Armijo
Subject: Project No. 1008256

The .dxf file for Project No. 1008256 (Luna Lodge Motel) has been approved.

David M. Zamora
GIS Coordinator - AGIS
City of Albuquerque
Planning Department
505.924.3929 phone
505.924.3812 fax
www.cabq.gov/planning/agis/
dmzamora@cabq.gov



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Consensus Planning, Inc PHONE: 764-9801
 ADDRESS: 302 8th Street NW FAX: 842-5495
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: cp@consensusplanning.com
 APPLICANT: New Life Homes PHONE: 293-7553
 ADDRESS: P.O. Box 51055 FAX: 293-7649
 CITY: Albuquerque STATE NM ZIP 87181 E-MAIL: john@newlifehomesnm.com
 Proprietary interest in site: Purchaser List all owners: Patel

DESCRIPTION OF REQUEST: DRB Sign-off for EPC Approved Site Plan

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. A portion of 6-13 Block: 5 Unit: _____
 Subdiv/Addn/TBKA: Waccaman Penison Addn.
 Existing Zoning: SO-1 for C-2/RD Proposed zoning: WR MRGCD Map No _____
 Zone Atlas page(s): K-20 UPC Code: 102005714104830204

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): 1008256, 10EPC 40017 & 40018, AC-10-8, 10DRB 70266 & 70267

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 8 No. of proposed lots: 1 Total area of site (acres): ± 1.0 acre
 LOCATION OF PROPERTY BY STREETS: On or Near: Central Ave, NE
 Between: General Stillwell and General Hodges
 Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: 3/23/10

SIGNATURE [Signature] DATE 9/7/10
 (Print) James K Storz, AICP Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
10DRB - 702108	SBP		\$ 0
	CME		\$ 20.00
			\$
			\$
			\$
			\$
			\$
			Total
			\$ 20.00

Hearing date September 15, 2010.

[Signature] 9-7-10
 Planner signature / date

Project # 1008256

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
 - ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Completed Site Plan for Subdivision Checklist
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
 - ___ Solid Waste Management Department signature on Site Plan
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist
 - ___ Copy of Site Plan with Fire Marshal's stamp
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
 - ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies - in set**
 - Solid Waste Management Department signature on Site Plan for Building Permit
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan - *see plat*
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - List any original and/or related file numbers on the cover application

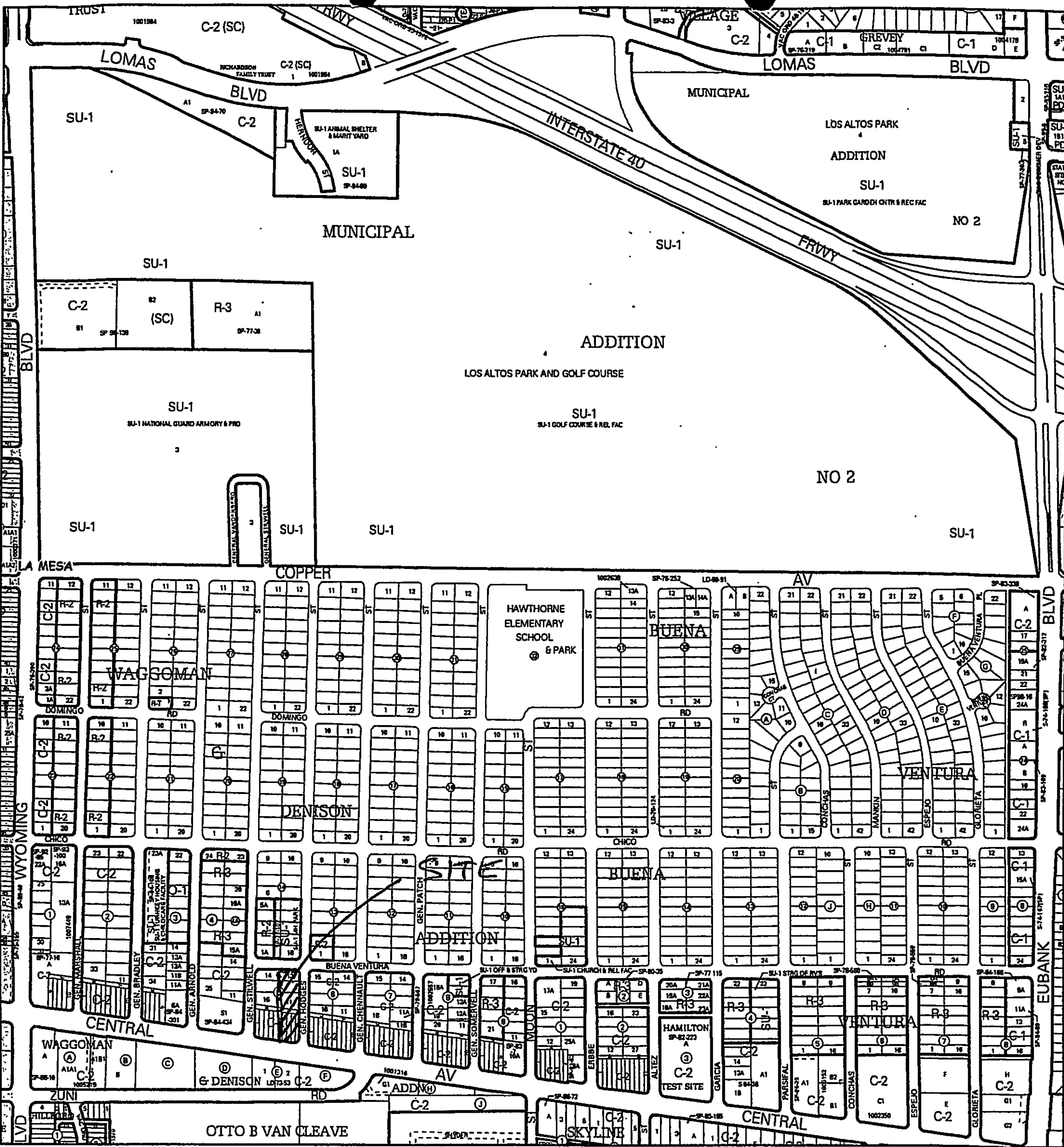
Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

James K. Strozic, ADP
 Applicant name (print)
[Signature]
 Applicant signature / date
 Form revised October 2007
[Signature] 9-7-10
 Planner signature / date
 Project # 1008256



- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
10DRB - - 702168



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 3/10/2009

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
K-20-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0 750 1,500 Feet



City of Albuquerque
Planning Department
Current Planning Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: May 14, 2010

OFFICIAL NOTIFICATION OF DECISION

FILE: Project # 1008256
10EPC-40017 AMNDT TO ZONE MAP (ESTB
ZONING/ZONE CHG)
10EPC-40018 SITE DEVELOPMENT -
BUILDG PRMT

New Life Homes
P.O. Box 51055
Albuquerque, NM 87181

**LEGAL DESCRIPTION: CONSENSUS
PLANNING agent for NEWLIFE HOMES
requests the above actions for all or a portion of
Lots 6-13 and Lot Y, Block 5, WAGGOMAN
DENISON ADDITION, zoned C-2 to SU-1 FOR
C-2/R-2 PERMISSIVE USES located on
CENTRAL AVE NE BETWEEN GENERAL
STILWELL NE AND GENERAL HODGES
NE containing approximately 1 acre. (K-20)
Carol Toffaleti, Staff Planner**

On May 13, 2010 the Environmental Planning Commission voted to **APPROVE** Project 1008256 / 10EPC-40017, a zone map amendment for all or a portion of Lots 6-13, & Lot Y, Block 5, WAGGOMAN DENISON ADDITION, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. The zone map amendment is to rezone Lots 6-13 & Lot Y, Block 5, Waggoman Denison Addition, a site of approximately 1 acre located at 9119 Central Ave. NE east of Wyoming Blvd., from C-2 to SU-1 for R-2 and C-2 permissive uses. The proposed use for the property is 30 affordable apartments and incidental uses, including an office, community room with a kitchen and community laundry.
2. The request is accompanied by a site development plan for building permit (#1008256, 10EPC-40018).

OFFICIAL NOTICE OF DECISION

MAY 13, 2010

PROJECT 1008256

PAGE 2 OF 9

3. The site is in the Established Urban Area of the Comprehensive Plan, adjacent to Central Ave., an Enhanced Transit Corridor, and within the boundaries of the Near Heights Metropolitan Redevelopment Area Plan.
4. The Albuquerque/Bernalillo County Comprehensive Plan, the Near Heights Metropolitan Redevelopment Area Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
5. The site includes the lots on which the Luna Lodge is located. Completed in 1952, Luna Lodge is listed on the State Register of Cultural Properties and the National Register of Historic Properties as one of the best examples of a largely unaltered tourist court remaining along historic Route 66 in New Mexico.
6. The zone change is justified per R-270-1980:
 - A. The zone change will facilitate the redevelopment of a vacant property and will not jeopardize the health, safety and welfare of the city, nor burden public facilities and services.
 - B. The request will not destabilize land use and zoning because it will allow redevelopment for residential use, which is similar to the previous extended-stay motel use, and retain an option for C-2 uses, which is a subset of uses allowed in the existing zone. The applicant provided a sound justification for the zone change.
 - C. The proposed change furthers a preponderance of adopted elements of the Comprehensive Plan (CP) and of the policy criteria for projects in the Near Heights Metropolitan Redevelopment Area Plan (NHMRAP), including:
 - The proposed zone allows higher density housing, which is appropriate on this site located on an Enhanced Transit Corridor and in an area with an established mixed density pattern and adequate infrastructure. (CP Established Urban Area policy II.B.5.h)
 - The zone change will facilitate redevelopment of a vacant motel in the Near Heights MRA that will help rehabilitate this older neighborhood. (CP Established Urban Area policy II.B.5.o)
 - The additional dwelling units allowed by the proposed zone will add to transit ridership in an Enhanced Transit Corridor and help revitalize, not destabilize, the adjacent neighborhood. (CP Transportation and Transit policy II.D.4.c)
 - The rezoning of the vacant motel on Route 66 will both increase the supply of affordable housing and preserve a historic property. (CP Housing goal and policies II.D.5.a II.D.5.c)
 - The change will facilitate non-profit investment in a motel re-use project that will eliminate blight, help revitalize Route 66 and provide quality affordable housing and landscaping, which will change the image and public perception of the Metropolitan Redevelopment Area. (NHMRAP Vision Statement and project criteria)
 - D. The applicant demonstrated that the existing zoning is inappropriate because the proposed SU-1 zone for R-2 and C-2 permissive uses is more advantageous to the community, as articulated

OFFICIAL NOTICE OF DECISION

MAY 13, 2010

PROJECT 1008256

PAGE 3 OF 9

in elements of city plans discussed in Section C. The addition of residential uses is appropriate in this location on Central Ave. and will satisfy demand for affordable housing, while the zone will also retain an option for commercial use.

- E. The proposed change does not allow permissive uses that would be harmful to adjacent property, the neighborhood, or the community. The commercial component of the proposed zone is more restrictive than the existing C-2 zone; and the additional R-2 uses are similar to the previous extended stay motel and will be compatible with the adjacent apartments and mobile home parks.
 - F. The change does not require any capital expenditures by the city.
 - G. The cost of land or other economic considerations pertaining to the applicant are not the determining factor for a change of zone.
 - H. While the location on Central is not the justification for this request, it is a consideration, because the access to transit and services on this major street reinforces the appropriateness of adding residential uses to the site.
 - I. Although SU-1 zoning is considered a "spot zone," the change will facilitate realization of the City's Comprehensive Plan and Near Heights MRA Plan, and the proposed addition of R-2 uses is compatible with the residential uses to the north and east of the site.
 - J. The zone change request is not for "strip zoning".
7. Property-owners within 100', the South Los Altos Neighborhood Association (NA) and the District 6 Coalition of NAs were notified. The South Los Altos NA and the Southeast Heights Health Coalition support the request. One property-owner in the area has expressed opposition to it.

CONDITIONS:

1. Concurrent platting action required.
2. DRB sign-off of the accompanying site development plan for building permit within 6 months.

On May 13, 2010 the Environmental Planning Commission voted to **APPROVE** Project 1008256 / 10EPC-40018, a site development plan for building permit, for all or a portion of Lots 6-13 & Lot Y, Block 5, WAGGOMAN DENISON ADDITION, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. The site development plan for building permit is for Lots 6-13 & Lot Y, Block 5, Waggoman Denison Addition, a site of approximately 1 acre located at 9119 Central Ave. NE east of Wyoming Blvd., to be zoned SU-1 for R-2 and C-2 permissive uses. The proposed use of the property is 30 affordable apartments and incidental uses, including an office, community room with a kitchen and community laundry.

2. The request is accompanied by a zone map amendment (#1008256, 10EPC- 40017).
3. The site is in the Established Urban Area of the Comprehensive Plan, adjacent to Central Ave., an Enhanced Transit Corridor, and within the boundaries of the Near Heights Metropolitan Redevelopment Area Plan.
4. The Albuquerque/Bernalillo County Comprehensive Plan, the Near Heights Metropolitan Redevelopment Area Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
5. The site includes the lots on which the Luna Lodge is located. Completed in 1952, Luna Lodge is listed on the State Register of Cultural Properties and the National Register of Historic Properties as one of the best examples of a largely unaltered tourist court remaining along historic Route 66 in New Mexico.
6. The project furthers a preponderance of applicable goals and policies in the Comprehensive Plan (CP) and the Near Heights Metropolitan Redevelopment Area Plan (NHMRAP):
 - a. The site and building design is of quality and will preserve a historic property that contributes to the identity of the Near Heights area, offer housing choice and create a visually pleasing environment (Established Urban Area goal and policy II.B.5.1, Historic Resources goal and policy II.C.5.b)
 - b. The project is an example of cost-effective redevelopment in a metropolitan redevelopment area, because the applicant is a non-profit organization and they will seek funding from a variety of sources (CP Policy II.B.5.p, NHMRAP project criteria)
 - c. The proposed off-street parking provision, floor-area ratio and density of this affordable housing complex meet the development form standards for sites on East Central Ave., an Enhanced Transit Corridor (Transportation and Transit Policy II.D.4.a)
 - d. The project will both renovate an existing motel and create a new building to provide quality housing in a deteriorating neighborhood (Housing Policy II.D.5.b)
7. The site development plan does not specify how the vehicular and pedestrian gates will be operated to help ensure a safe and secure environment, in order to meet the CP Public Safety goal and policy II.D.9.d. A condition has been added to clarify this issue.
8. The off-street parking provided for 24 vehicles is considered adequate for the proposed affordable housing use in this location that is well-served by transit. If a different use or combination of uses is proposed in the future, the change in use and associated parking requirement would be reviewed as for any amendment to an SU-1 site development plan, per §14-16-2-22 (A)(6).
9. The SU-1 site development plan needs more information and some corrections, in order to strengthen compliance with City requirements, such as transportation, landscaping and safety, and to provide sufficient clarity to make it enforceable by the City, e.g. regarding historic signage.

10. A 25' wide entry at Central is adequate and is necessary to preserve the historic scale of the project.
11. Property-owners within 100', the South Los Altos Neighborhood Association (NA) and the District 6 Coalition of NAs were notified. The South Los Altos NA and the Southeast Heights Health Coalition support the request. One property-owner in the area has expressed opposition to it.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. Approval of the accompanying zone map amendment (10EPC-40017).
4. Add the following data to the site plan in a table:
 - a. the acreage;
 - b. "Listed: State Register of Cultural Properties and National Register of Historic Places. Boundary includes the lots on which the Luna Lodge are located."
 - c. the new zoning and the proposed use, "affordable apartments and incidental uses";
 - d. the number of dwelling units, and a breakdown by number of bedrooms and baths;
 - e. the maximum building height of the new building, i.e. 26';
 - f. calculations for the total required and total provided usable open space;
 - g. the floor area ratio.
5. Dimension the side and rear yard setbacks of the new building on the site plan.
6. The site plan and detail of the dumpster enclosure shall provide sufficient capacity for refuse, as required by the Solid Waste Department. Additional space for a recycling bin shall be provided within an enclosure on General Hodges Street for private pick up, or a note on the site plan shall state that residential recycling carts shall be accommodated on Central for city pick up.

7. Relocate the wrought iron fence on Central closer to the buildings to improve the visibility of the historic tourist court.
8. At the EPC-approved 25' wide site drive, provide adequate curb return radii to facilitate continuity of pedestrian traffic along the sidewalk.
9. **CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT and NMDOT:**
 - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).
 - b. Dimension one way drive aisle and angle of parking.
 - c. For site drive and dumpster enclosure curb cut, illustrate ADA ramps on site plan.
 - d. Locate vehicular gate approximately 50' from face of curb. Provide more detail about gate operation (i.e. card reader, remote, will it remain open during specific hours, fire knox box, etc.).
 - e. Concurrence by AFD required.
 - f. Site plan shall comply as approved by the EPC and DPM standards where applicable.
 - g. Concurrent platting action required.

10. Parking

- a. Add a note to the site development plan stating: "Any changes to the site development plan, including a change to R-2 and/or C-2 permissive uses with a different parking demand, shall be reviewed by the City per standard SU-1 procedures (§14-16-2-22 (A)(6))."
 - b. In the calculations, insert "per applicant" after "Parking required".
 - c. The site development plan shall call out the on-street parking spaces abutting the property. Half the number shown shall correspond to the number of on-street spaces in the parking calculations.
11. Additional parking for 10 bikes shall be provided within the residential development and shall be placed to maintain 6' clear pedestrian pathways when the bike racks are in use.
 12. The bus stop in front of the adjoining lot to the west shall be upgraded to a shelter per Transit Department requirements, provided the applicant can make the necessary arrangements with the adjacent property-owner.

13. Lighting and Security

- a. A note on the lighting detail shall state that all lighting shall comply with area lighting regulations in the Zoning Code.

- b. Wall-mounted fixtures shall be added to the new building to illuminate entrances.
- c. A note on the site plan shall state that property access shall be limited to residents and their guests at night, e.g. between 10 pm and 7 am, and that pedestrian and vehicular gates shall be locked during that period.

14. Landscaping

- a. Replace the paragraph on Street Trees with "Central Avenue Frontage: In order to preserve the visibility of the historic property, street trees shall be limited to 2 large shade trees placed near the east and west edges of the property; and shrubs between the buildings and Central shall be limited to 3' high at maturity."
 - b. Replace the Spanish Broom and Beargrass on the Central frontage with a species that does not exceed 3' high at maturity.
 - c. The Raywood Ash on Central shall be replaced with a shade tree species attaining a minimum height and spread of 40' x 30' at maturity, such as Robinia (Black Locust) or Japanese Zelkova.
 - d. Replace Tilia cordata with a deciduous tree species that is low or medium water use.
 - e. Replace trees under overhead distribution lines with species that do not exceed 20' high at maturity.
 - f. The landscaped bed north of the refuse enclosures along General Hodges Street shall include shrubs and groundcover.
 - g. The proposed landscaped bed along the historic building on General Hodges Street shall be limited to gravel or equivalent.
 - h. Provide tree calculations for the parking area and multi-family residential use, and demonstrate compliance with the Zoning Code.
 - i. Provide calculations for 75% live vegetative cover and demonstrate that the site plan is in compliance, by increasing the number of plants if necessary.
 - j. Make the following corrections: the total site area in square feet shall correspond to 0.982 acres; the off-site landscaped area along General Hodges St. shall be corrected; the turf areas in the legend and calculations shall be the same.
 - k. Add notes stating:
 - i. "Any vegetation surrounding ground-mounted transformers and utility pads shall allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides."
 - ii. "Maintain 10' clearance around utility poles."
15. Call out any amenities provided in the center of the new courtyard on both the site plan and landscape plan. Include outdoor seating around the courtyard for seasonal sun and shade.

16. Provide elevations for the east façades of the community room building and Building II, and for the west façade of Building I.

17. Signage:

- a. The site development plan and elevations shall call out the historic signs and neon, to the extent that they are required by the State Historic Preservation Officer to be retained, i.e.: the neon tube "wave" and canopy "office" sign on the west wing; the cut-tile "LUNA LODGE" wall sign on the south façade of Building III; the free-standing "LUNA LODGE" box and the arrow "MOTEL" signs.
- b. The site development plan shall include a note stating: "Signage shall comply with §14-16-3-5, including regulations for signs in residential zones (C), except where general sign regulations conflict with historic preservation requirements."
- c. On the Community Building, delete the "RESTAURANT" wall sign on the west elevation and the roof sign on the south elevation.

18. Mechanical equipment/Utilities -

- a. Add notes to the site development plan stating:
 - i. Roof-top equipment on the new building shall be screened from the public ROW by parapet walls or structural features, per §14-16-3-18 (C)(6). New roof-top equipment on the historic buildings, of a different type or larger than existing equipment, shall be screened, but not necessarily with material and color to match the building.
 - ii. All screening and vegetation surrounding ground-mounted transformers and utility pads shall allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides.
 - iii. 10' clearance shall be maintained around electrical utility poles.
- b. Call out a 10 ft wide PUE for the electrical overhead distribution line along the northwest side of the property, on the site development plan and landscape plan.
- c. The applicant shall contact PNM's New Service Delivery Department to coordinate electric service and load requirements.

19. An ADA-compliant crosswalk of a permanent material shall be provided at the site drive on Central.

APPEAL: IF YOU WISH TO APPEAL A FINAL DECISION, YOU MUST DO SO BY MAY 28, 2010 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an

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PROJECT 1008256

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appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Deferral requests by the applicant for map amendments and site development plans are subject to a \$110 fee per item (Zoning Code Section 14-16-4-1(B)). Failure of the applicant to pay such fees and provide proof of payment prior to the date the case(s) are deferred to may result in further deferral of the item(s) until the required fee(s) are paid.

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC.

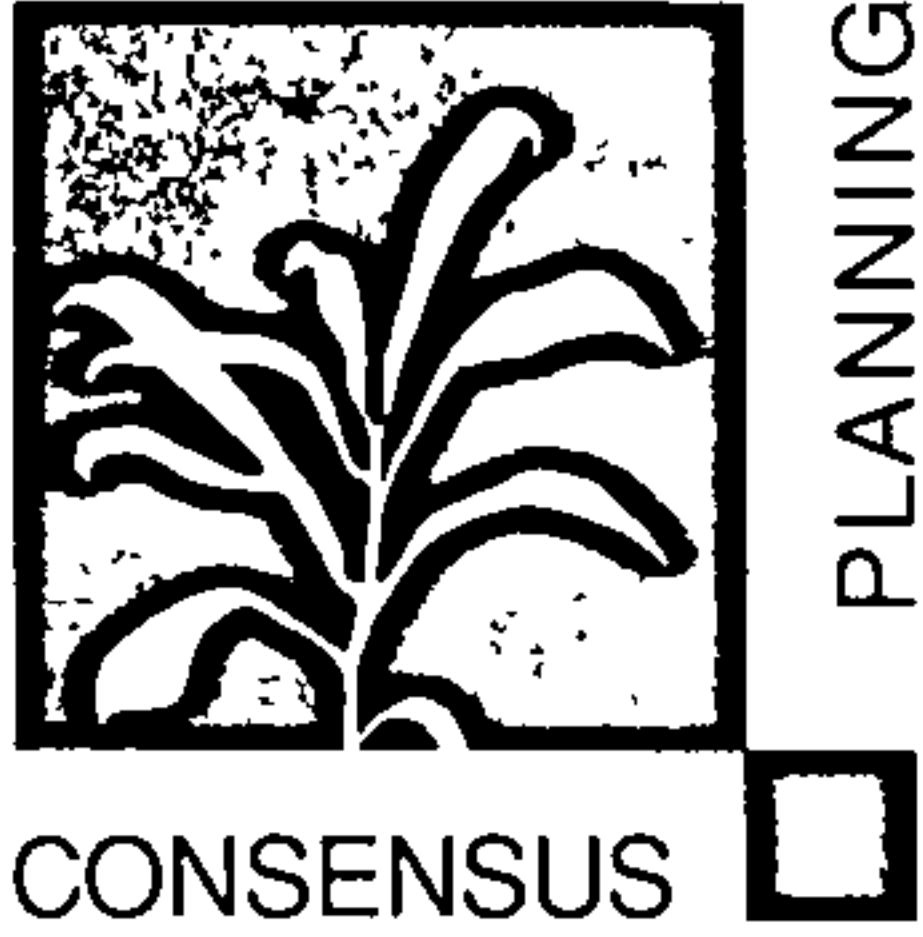
Sincerely,



for Deborah Stover
Planning Director

DS/CT

cc: Consensus Planning, 302 8th Street NW, Albuquerque, NM 87102
Ana Beall, South Los Altos N.A., 424 General Chennault NE, Albuquerque, NM 87123
Ginger Ahrend, South Los Altos N.A., 304 General Bradley NE, Albuquerque, NM 87123
Nancy Bearce, District 6 Coalition of N.A.s, 600 San Pablo St. NE, Albuquerque, NM 87108
Claude Lewis, District 6 Coalition of N.A.s, 465 Jefferson NE, Albuquerque, NM 87108
Enrique Cardiel, Southeast Heights Health Coalition, 420 Indiana SE, Albuquerque, NM 87108
Carl Reazin, 1600 Rita Dr. NE, Albuquerque, NM 87106



September 7, 2010

Jack Cloud, AICP, Chairman
Development Review Board
City of Albuquerque
600 2nd St. NW
Albuquerque, NM 87103

RE: Request for Final Sign-Off for Luna Lodge Ubuntu, Project #1008256

Landscape Architecture
Urban Design
Planning Services

Dear Chairman Cloud,

On behalf of the applicants, we request a final DRB sign-off for the property legally described as. On May 13, 2010 the EPC conditionally approved a Zone Map Amendment (from C-2 to SU-1 for C-2 and R-2 Permissive Uses) and an accompanying Site Development Plan for Building Permit. This document outlines how each EPC condition has been met. *Conditions are italicized*; applicant comments are in normal text.

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495

cp@consensusplanning.com
www.consensusplanning.com

On May 13, 2010 the Environmental Planning Commission voted to **APPROVE** Project 1008256/ 10EPC-40017, a zone map amendment for all or portion of Lots 6-13, & Lot Y, Block 5, WAGGOMAN DENISON ADDITION, based on the following Findings and subject to the following conditions:

CONDITIONS:

1. *Concurrent Platting action required.*
Agreed, the plat vacating the existing parcels is being heard concurrently with this request.
2. *DRB sign-off of the accompanying site development plan for building permit within 6 months.*
Agreed.

On May 13, 2010 the Environmental Planning Commission voted to **APPROVE** project 1008256/10EPC-40018, a site development plan for building permit, for all or a portion of Lots 6-13 & Lots Y, Block 5, WAGGOMAN DENISON ADDITION, based on the following Findings and subject to the following Conditions:

CONDITIONS:

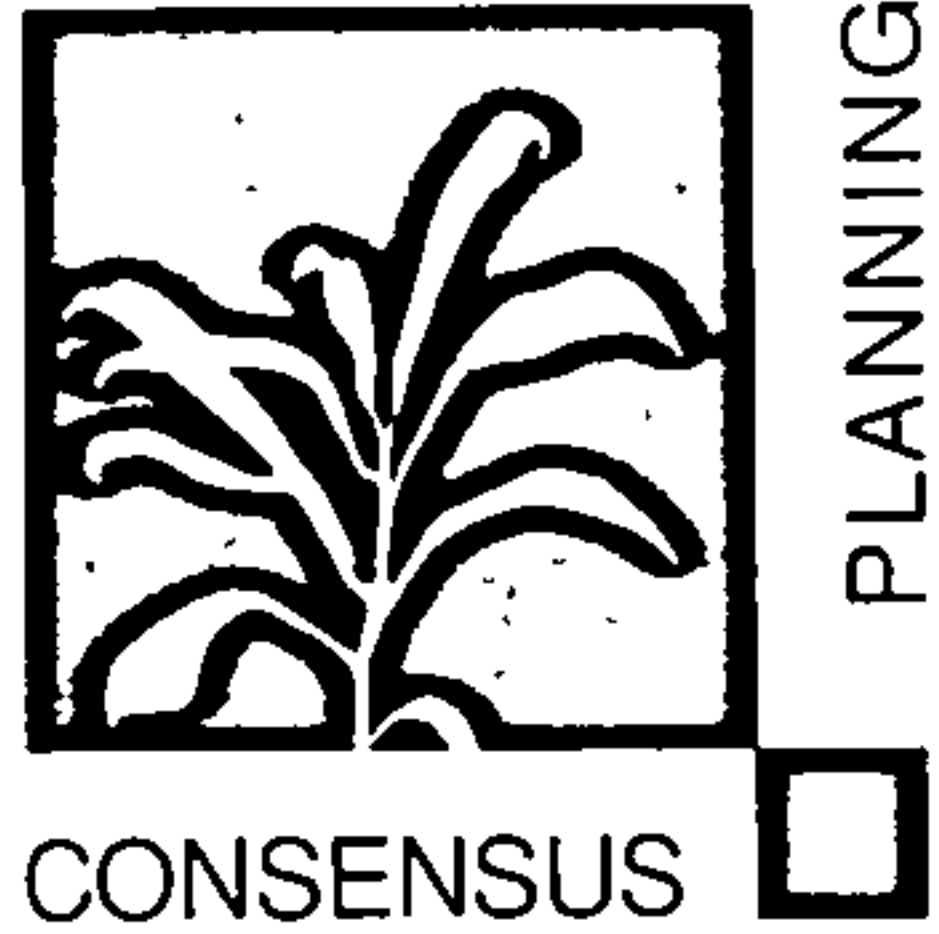
1. *The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.*
Agreed.

PRINCIPALS

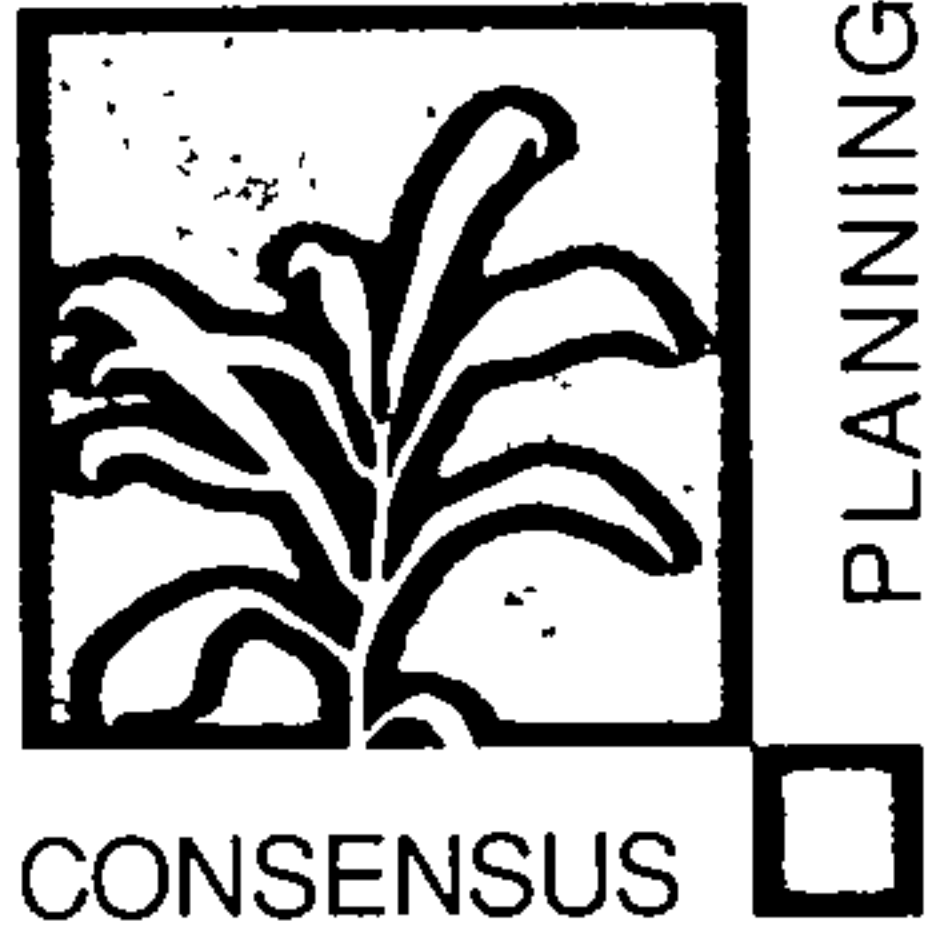
Karen R. Marcotte, AICP
James K. Strozier, AICP
Christopher J. Green, ASLA

ASSOCIATES

Jacqueline Fishman, AICP



2. *Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.*
Agreed, we met with Carol Toffaleti on July 15, 2010.
3. *Approval of the accompanying zone map amendment (10EPC-40017).*
Agreed, the zone map amendment was approved.
4. *Add the following data to the site plan in a table:*
 - a. *the acreage;*
 - b. *“Listed”: State Register of Cultural Properties and National Register of Historic Places. Boundary includes the lots on which the Luna Lodge is located.”*
 - c. *the new zoning and the proposed use, “affordable apartments and incidental uses”;*
 - d. *the number of dwelling units, and a breakdown by number of bedrooms and baths;*
 - e. *the maximum building height of the new building, i.e. 26’;*
 - f. *calculations for the total required and total provided usable open space; and*
 - g. *the floor area ratio.*Agreed, this information has been updated and provided on Sheet 1 – Site Plan.
5. *Dimension the side and rear yard setbacks of the new building on the site plan.*
Agreed, setback dimensions have been added to Sheet 1 – Site Plan.
6. *The site plan and detail of the dumpster enclosure shall provide sufficient capacity for refuse as required by the Solid Waste Department. Additional space for a recycling bin shall be provided within an enclosure on General Hodges Street for private pick up, or a note on the site plan shall state that residential recycling carts shall be accommodated on Central for city pick up.*
Agreed, Sheet 1 – Site Plan has been revised to address Solid Waste comments.
7. *Relocate the wrought iron fence on Central closer to the buildings to improve the visibility of the historic tourist court.*
Agreed, the fence has been relocated and coordination continues with the SHPO regarding the new fencing.
8. *At the EPC-approved 25’ wide site drive, provide adequate curb return radii to facilitate continuity of pedestrian traffic along the sidewalk.*
The width of the drive is per existing conditions, radii have been dimensioned, and the pedestrian crossing provided, see Sheet 1 – Site Plan.

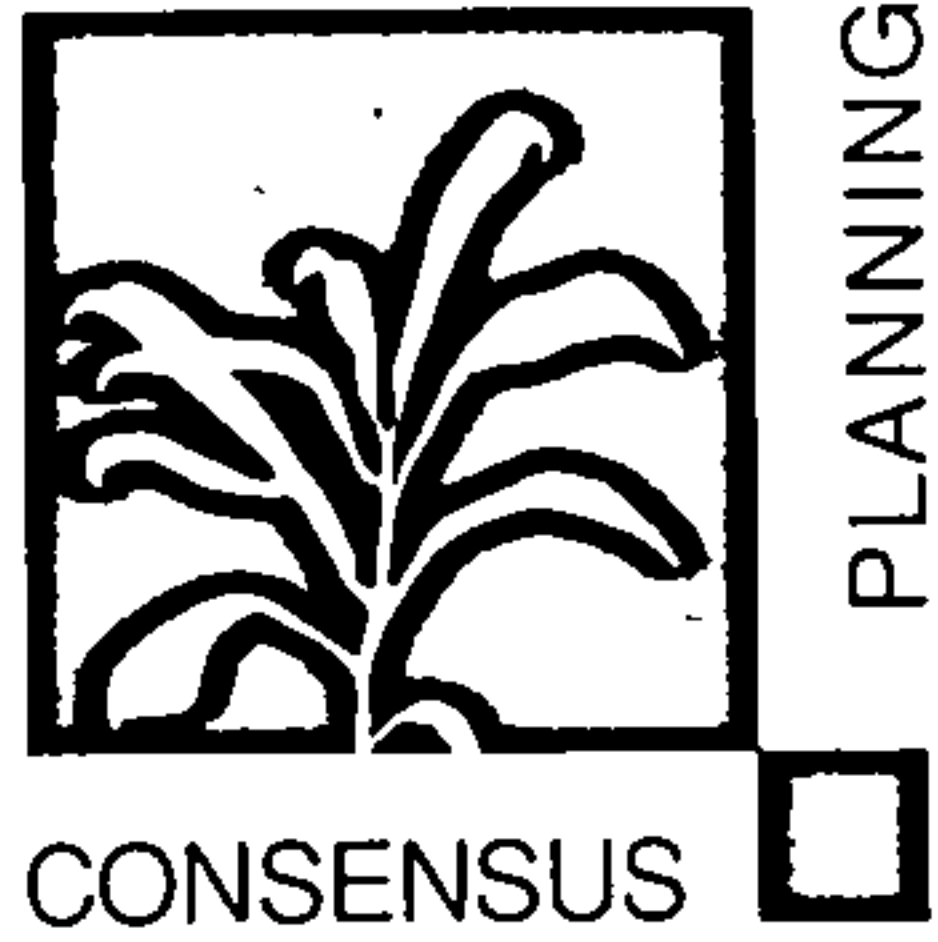


9. **CONDITION FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT and NMDOT:**

- a. *The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).*
Agreed, all adjacent facilities are existing.
- b. *Dimension one way drive aisle and angle of parking.*
Agreed, Sheet 1 – Site Plan has been amended to reflect these dimensions.
- c. *For site drive and dumpster enclosure curb cut, illustrate ADA ramps on site plan.*
Agreed, see notes and reference to standard city detail on Sheet 1 – Site Plan.
- d. *Locate vehicular gate approximately 50' from face of curb. Provide more detail about gate operation (i.e. card reader, remote, will it remain open during specific hours, fire know box, etc.).*
Agreed, the gate was relocated to 48 feet (maximum permitted by site constraints) from the face of curb, details have been provided along with hours of operation.
- e. *Concurrence by AFC required.*
Agreed.
- f. *Site plan shall comply as approved by the EPC and DPM standards where applicable.*
Agreed.
- g. *Concurrent platting action required.*
Agreed.

10. **Parking:**

- a. *Add a note to the site development plan stating: "Any changes to the site development plan, including a change to R-2 and/or C-2 permissive use with a different parking demand, shall be reviewed by the City per standard SU-1 procedures (§14-16-2-22 (A)(6))."*
Agreed, see note on Sheet 1 – Site Plan.
- b. *In the calculations, insert "per applicant" after "Parking required".*
Agreed, see Sheet 1 – Site Plan.
- c. *The site development plan shall call out the on-street parking spaces abutting the property. Half the number shown shall correspond to the number of on-street spaces in the parking calculations.*
Agreed, see Sheet 1 – Site Plan.



11. *Additional parking for 10 bikes shall be provided within the residential development and shall be placed to maintain 6' clear pedestrian pathways when the bike racks are in use.*

Additional bicycle racks have been provided, see Sheet 1 – Site Plan.

12. *The bus stop in front of the adjoining lot to the west shall be upgraded to a shelter per Transit Department requirements, provided the applicant can make the necessary arrangements with the adjacent property-owner.*

Agreed, the applicant is working with City Transit, however, the adjacent property owner is opposed to the project.

13. *Lighting and Security:*

a. *A note on the lighting detail shall state that all lighting shall comply with area lighting regulations in the Zoning Code.*

Agreed, see Sheet 1 – Site Plan, Lighting and Security Notes.

b. *Wall-mounted fixtures shall be added to the new building to illuminate entrances.*

Agreed, see building elevations.

c. *A note on the site plan shall state that property access shall be limited to residents and their guests at night, e.g. between 10 pm and 7 am, and that pedestrian and vehicular gates shall be locked during that period.*

Agreed, see Sheet 1 – Site Plan, Lighting and Security Notes.

14. *Landscaping:*

a. *Replace the paragraph on Street Trees with "Central Avenue Frontage: In order to preserve the visibility of the historic property, street trees shall be limited to 2 large shade trees placed near the east and west edges of the property, and shrubs between the buildings and Central shall be limited to 3' high at maturity."*

Agreed, the paragraph has been revised.

b. *Replace the Spanish Broom and Beargrass on the Central frontage with a species that does not exceed 3' high at maturity,"*

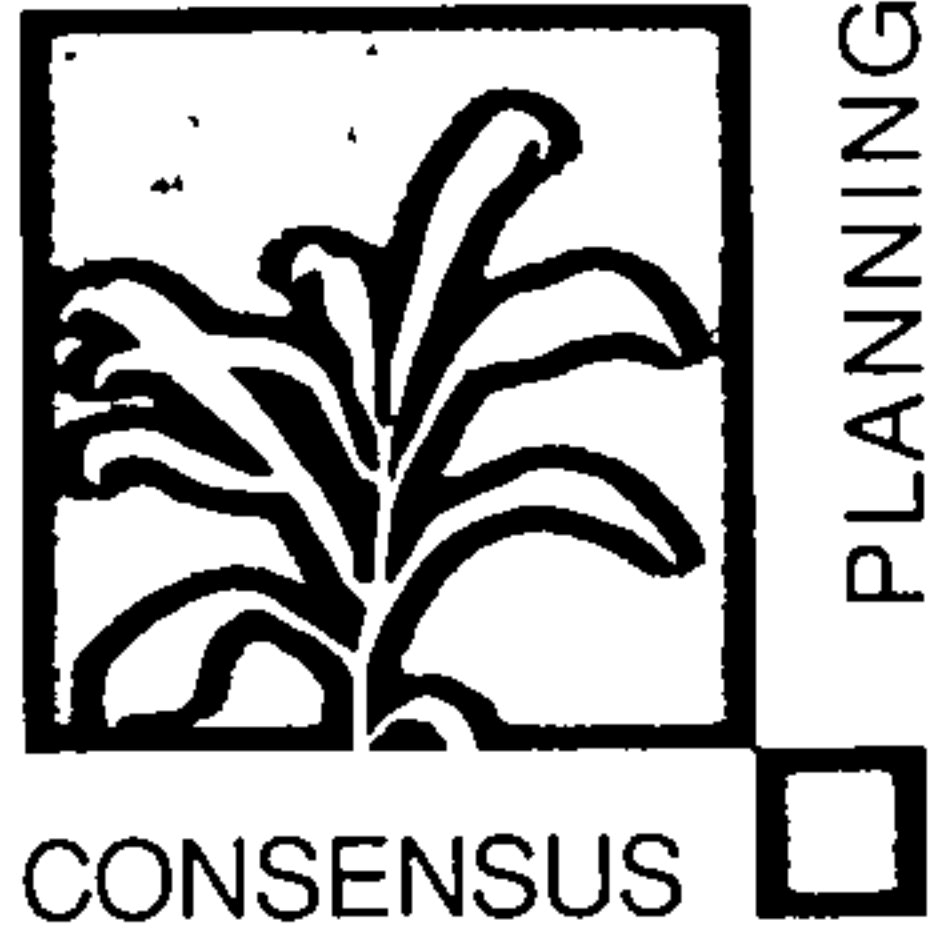
Agreed, all shrubs along the Central frontage have been replaced with shrubs and groundcovers that do not exceed 3' in height at maturity.

c. *The Raywood Ash on Central shall be replaced with a shade tree species attaining a minimum height and spread of 40' c 30' at maturity, such as Robina (Black Locust) or Japanese Zelkova.*

Agreed, the Raywood Ash have been replaced with Black Locust.

d. *Replace Tilia cordata with a deciduous tree species that is low or medium water use.*

Agreed. All tree species are medium water use.



- e. *Replace trees under overhead distribution lines with species that do not exceed 20' high at maturity.*
Based upon a site visit, the trees and shrubs that conflicted with the power poles have been relocated.
- f. *The landscaped bed north of the refuse enclosures along General Hodges Street shall include shrubs and groundcover.*
With the required changes by Solid Waste there is no longer room for landscape on the north side of the enclosure. Several ornamental grass plants have been added to the west side facing the plaza.
- g. *The proposed landscaped bed along the historic building on General Hodges Street shall be limited to gravel or equivalent.*
Agreed, the portions of this area that are too narrow for plants are shown as gravel mulch.
- h. *Provide tree calculations for the parking area and multi-family residential use, and demonstrate compliance with the Zoning Code.*
Agreed, tree calculations have been added to Sheet 2 – Landscape Plan and labeled “for multi-family residential”. The calculations show compliance with parking lot trees and 1st and 2nd story units.
- i. *Provide calculations for 75% live vegetative cover and demonstrate that the site plans in compliance, by increasing the number of plants if necessary.*
Agreed, vegetative cover calculations have been added to Sheet 2 – Landscape Plan. Shrubs and groundcovers have been added to the planting plan to meet the Live Vegetative Cover requirements. Landscape surface treatments have been added to the legend to clarify the landscape materials being used throughout the project.
- j. *Make the following corrections: the total site area in square feet shall correspond to 0.982 acres; the off-site landscaped area along General Hodges St. shall be corrected; the Turf areas in the legend and calculations shall be the same.*
The site and landscape area calculations have been updated based on the new survey prepared for the property and are reflected on Sheet 2 – Landscape Plan. The total site area is 1.05 acres and the on-site and off-site landscape areas have been called out separately. There are no turf areas proposed.
- k. *Add notes stating:*
- i. *“Any vegetation surrounding ground-mounted transformers and utility pads shall allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides.*
 - ii. *“Maintain 10’ clearance around utility poles.”*

Agreed, these notes have been added to Sheet 2 – Landscape Plan.



PLANNING

CONSENSUS



15. *Call out any amenities provided in the center of the new courtyard on both the site plan and landscape plan Include outdoor seating around the courtyard for seasonal sun and shade.*

Agreed, see revised Sheets 1 and 2, Site Plan and Landscape Plan.

16. *Provide elevations for the east facades of the community room building and Building II, and for the west façade of Building I.*

Agreed, see revised building elevations.

17. *Signage:*

- a. *The site development plan and elevations shall call out the historic signs and neon, to the extent that they are required by the State Historic Preservation Officer to be retained, i.e.: the neon tube "wave" and canopy "office" sign on the west wing; the cut-tile "LUNA LODGE" wall sign on the south façade of Building III; the free-standing "LUNA LODGE" box and the arrow "MOTEL" signs.*

Agreed, the sign is being reviewed in the context of the historic properties review.

- b. *The site development plan shall include a note stating; "Signage shall comply with §14-16-3-5, including regulations for signs in residential zones (C), except where general sign Regulations conflict with historic preservation requirements."*

Agreed, see note under Project Data, Sheet 1 – Site Plan.

- c. *On the Community Building, delete the "RESTAURANT" wall sign on the west elevation and the roof sign on the south elevation.*

Agreed, see revised building elevations.

18. *Mechanical equipment/Utilities:*

- a. *Add notes to the site development plan stating:*

- i. *Roof-top equipment on the new building shall be screened from the public ROW by parapet walls or structural features, per 14-16-3-18 (C)(6). New roof-top equipment on the historic buildings, of a different type or larger than existing equipment, shall be screened, but not necessarily with material and color to match the building.*

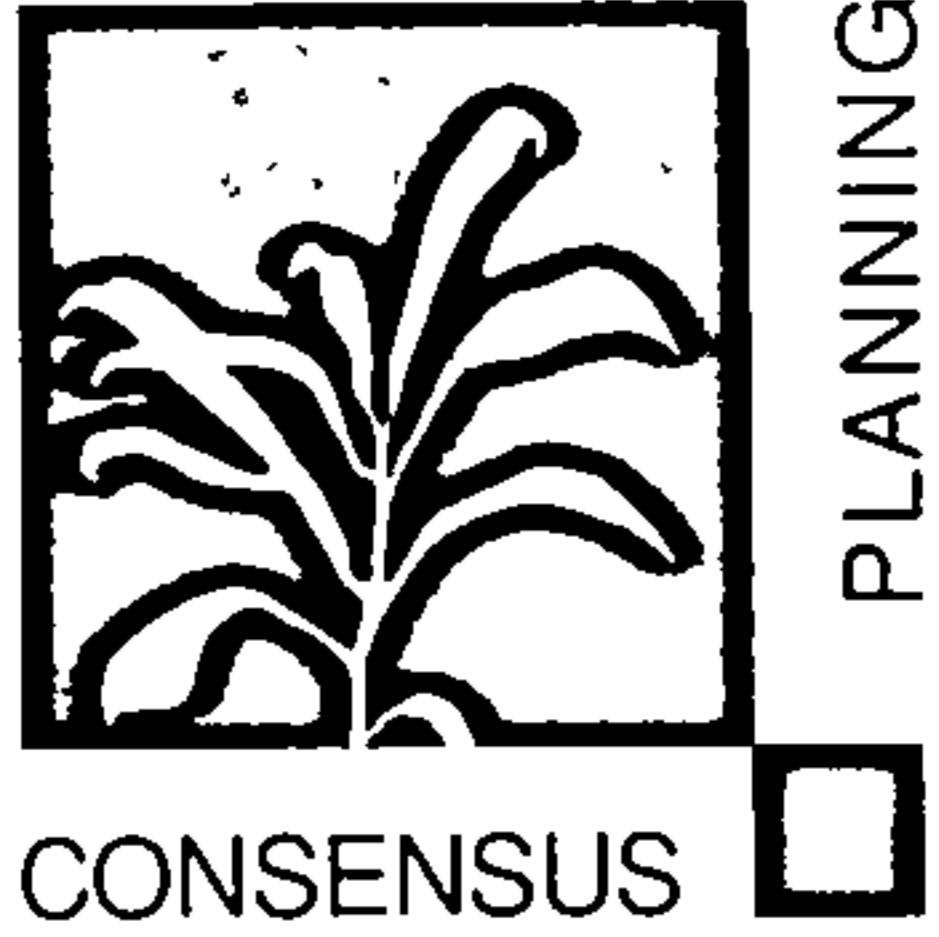
Agreed.

- ii. *All screening and vegetation surrounding ground-mounted transformers and utility pads shall allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides.*

Agreed.

- iii. *10' clearance shall be maintained around electrical utility poles.*

Agreed.



b. *Call out a 10 ft. wide PUE for the electrical overhead distribution line along the northwest side of the property, on the site development plan and landscape plan.*

Agreed, see plat being processed as a concurrent action.

c. *The applicant shall contact PNM'S New Service Delivery Department to coordinate electric service and load requirements.*

Agreed.

19. *An ADA-compliant crosswalk of a permanent material shall be provided at the site drive on Central.*

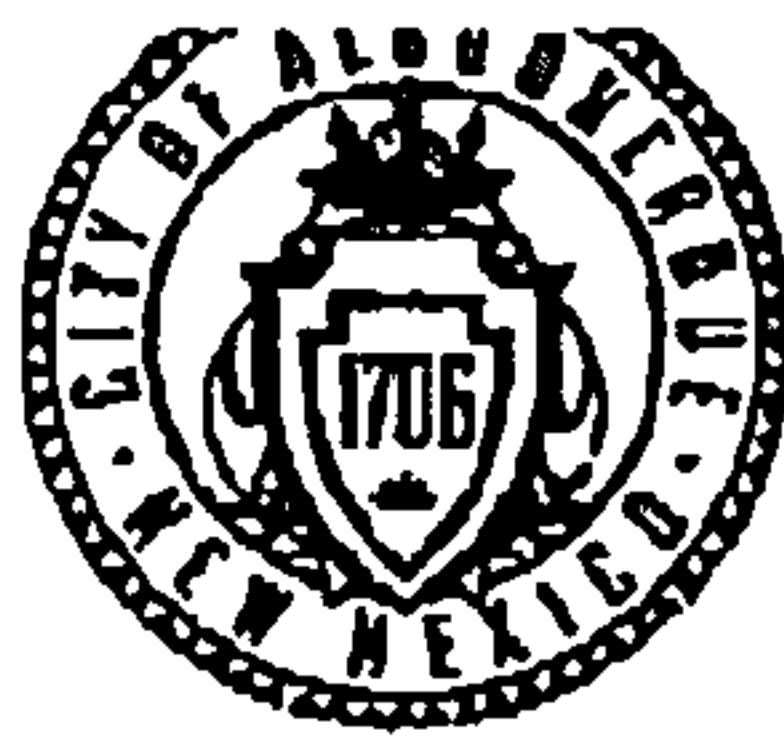
Agreed, see revised Sheet 1 – Site Plan.

If you have any questions or require any additional information, do not hesitate to call me at 764-9801.

Sincerely,

A handwritten signature in black ink, appearing to read 'James K. Strozier', written over a large, loopy scribble.

James K. Strozier, AICP
Principal



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

August 24, 2010

Lenore Armijo
Brasher and Lorenz, Inc.
2201 San Pedro Drive NE, Bldg. 1, Ste. 1300
Phone: 505-888-6088/Fax: 505-888-6188

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Dear Lenore:

Thank you for your inquiry of August 24, 2010 requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **(DRB SUBMITTAL) LOTS 6 THROUGH 13 AND LOT Y, BLOCK 5, WAGGOMAN-DENISON ADDITION, LOCATED ON CENTRAL AVENUE NE BETWEEN GENERAL HODGES NE AND GENERAL STILWELL NE** Zone Map: **K-20.**

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

SOUTH LOS ALTOS N.A. (SLA) "R"
Georgia Montoya
337 Garcia NE/87123 294-6947 (h)
Ginger Ahrend
304 General Bradley NE/87123 554-2276 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT!** Failure of adequate notification may result in your **Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani Winklepleck
Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATION.

planningmaform(05/22/08)

7005 0390 0006 3702 2479

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OFFICIAL USE

Postage	\$	\$1.56
Certified Fee		\$2.80
Return Receipt Fee (Endorsement Required)		\$2.30
Restricted Delivery Fee (Endorsement Required)		\$0.00
Total Postage & Fees	\$	\$6.66



Sent To **GINGER AHREND**

Street, Apt. No.;
or PO Box No. **304 GENERAL BRADLEY NE**

City, State, ZIP+4 **Alb NM 87123**

Certified Mail Provides:

- A mailing receipt
- A unique identifier for your mailpiece
- A record of delivery kept by the Postal Service for two years

PS Form 3800, June 2002 (Reverse)

Important Reminders:

- Certified Mail may **ONLY** be combined with First-Class Mail® or Priority Mail®.
- Certified Mail is *not* available for any class of international mail.
- **NO INSURANCE COVERAGE IS PROVIDED** with Certified Mail. For valuables, please consider Insured or Registered Mail.
- For an additional fee, a *Return Receipt* may be requested to provide proof of delivery. To obtain Return Receipt service, please complete and attach a Return Receipt (PS Form 3811) to the article and add applicable postage to cover the fee. Endorse mailpiece "Return Receipt Requested". To receive a fee waiver for a duplicate return receipt, a USPS® postmark on your Certified Mail receipt is required.
- For an additional fee, delivery may be restricted to the addressee or addressee's authorized agent. Advise the clerk or mark the mailpiece with the endorsement "*Restricted Delivery*".
- If a postmark on the Certified Mail receipt is desired, please present the article at the post office for postmarking. If a postmark on the Certified Mail receipt is not needed, detach and affix label with postage and mail.

IMPORTANT: Save this receipt and present it when making an inquiry. Internet access to delivery information is not available on mail addressed to APOs and FPOs.



BRASHER & LORENZ, INC.
CONSULTING ENGINEERS

2201 San Pedro NE Bldg 1 Suite 1300 • Albuquerque, NM 87110 • Phone (505) 888-6088 • Fax (505) 888-6188 • www.brasherlorenz.com

August 30, 2010

Georgia Montoya
South Los Altos N.A. (SLA)
337 Garcia NE
Albuquerque, New Mexico 87123

SUBJECT: LOTS 6 THRU 13, and LOT Y, WAGGOMAN – DENISON ADDITION
Preliminary/Final Plat
ZAP K-20

Dear Ms. Montoya:

Enclosed please find one copy of the proposed Final Plat and one copy of the ALTA/ACSM Land Title Survey for the subject property. These lots are located on 9119 Central Ave. NE between General Hodges NE and General Stilwell NE. The project proposes to eliminate lot lines to create one tract and vacate the 25 foot set back on General Hodges NE. There is an existing historic building within that set back.

As a condition of approval of the Site Plan for Building Permit and Zone Map Amendment, the project consists of the re-platting of 9 existing parcels into a single parcel. The property will be redeveloped into 30 affordable apartments and incidental uses, as shown by the Site Plan for Building Permit, approved by EPC.

A meeting should be scheduled in approximately 30 days. We encourage you to attend that public hearing.

If you have any questions, or if I can be of any assistance, please feel free to call.

Sincerely,

BRASHER & LORENZ, INC.

Lenore Armijo, P.S.
Land Surveyor

/dl/10520
encl

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

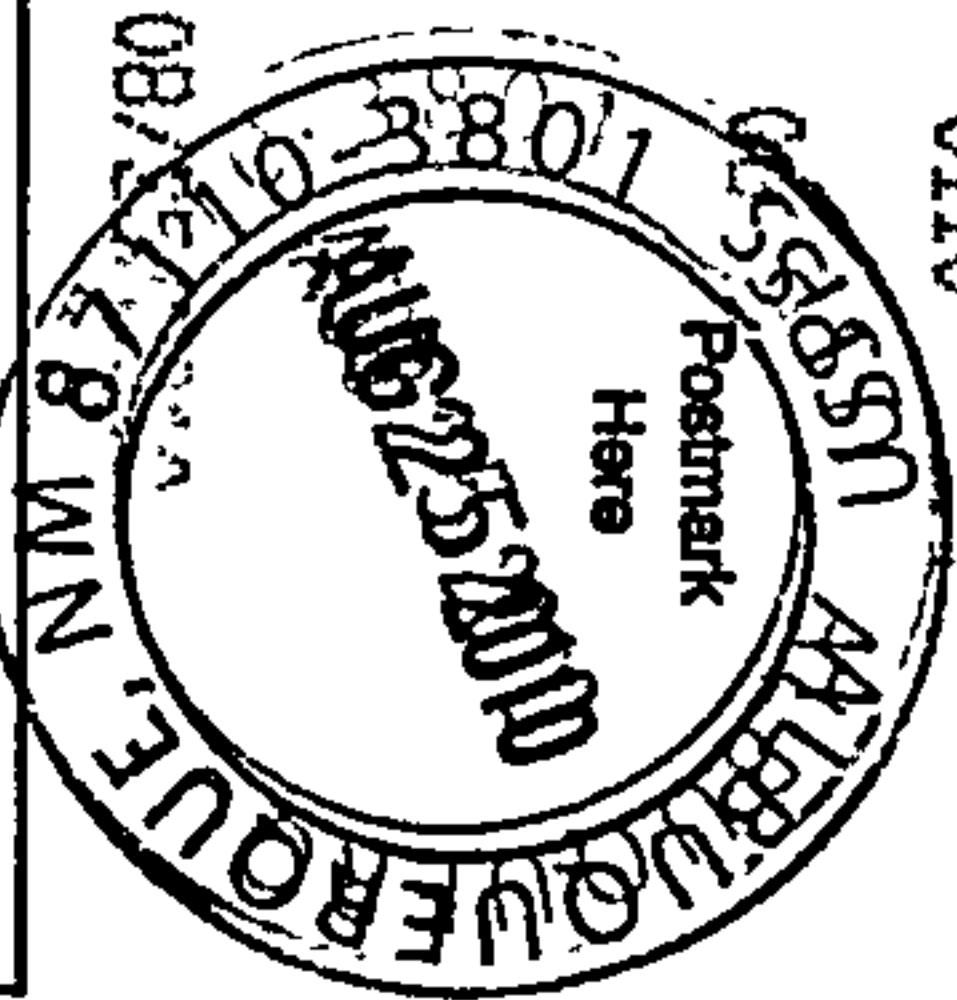
For delivery information visit our website at www.usps.com

OFFICIAL USE

ALQUICOLA 853

Postage	\$ 1.56
Certified Fee	\$ 2.80
Return Receipt Fee (Endorsement Required)	\$ 2.30
Restricted Delivery Fee (Endorsement Required)	\$ 0.00
Total Postage & Fees	\$ 6.66

0110



Sent To **GEORGINA MONTOYA**
 Street, Apt. No.,
 or PO Box No. **337 GARCIA NE**
 City, State, ZIP+4 **ALBUQUERQUE NM 87123**

25 24 23 22 21 20 19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1

Certified Mail Provides:

PS Form 3800, June 2002 (Reverse)

- A mailing receipt
- A unique identifier for your mailpiece
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CONSULTING ENGINEERS

2201 San Pedro NE Bldg 1 Suite 1300 • Albuquerque, NM 87110 • Phone (505) 888-6088 • Fax (505) 888-6188 • www.brasherlorenz.com

August 30, 2010

Georgia Montoya
South Los Altos N.A. (SLA)
337 Garcia NE
Albuquerque, New Mexico 87123

SUBJECT: LOTS 6 THRU 13, and LOT Y, WAGGOMAN – DENISON ADDITION
Preliminary/Final Plat
ZAP K-20

Dear Ms. Montoya:

Enclosed please find one copy of the proposed Final Plat and one copy of the ALTA/ACSM Land Title Survey for the subject property. These lots are located on 9119 Central Ave. NE between General Hodges NE and General Stilwell NE. The project proposes to eliminate lot lines to create one tract and vacate the 25 foot set back on General Hodges NE. There is an existing historic building within that set back.

As a condition of approval of the Site Plan for Building Permit and Zone Map Amendment, the project consists of the re-platting of 9 existing parcels into a single parcel. The property will be redeveloped into 30 affordable apartments and incidental uses, as shown by the Site Plan for Building Permit, approved by EPC.

A meeting should be scheduled in approximately 30 days. We encourage you to attend that public hearing.

If you have any questions, or if I can be of any assistance, please feel free to call.

Sincerely,

BRASHER & LORENZ, INC.

Lenore Armijo, P.S.
Land Surveyor

/dl/10520
encl



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): BRASHER & LORENZ INC. PHONE: 888 6088
 ADDRESS: 2201 San Pedro NE, Bldg. 1, Ste. 1300 FAX: 888 6188
 CITY: Albuquerque STATE NM ZIP 87110 E-MAIL: _____

APPLICANT: SURESH A. PATEL PHONE: 301-3998
 ADDRESS: PO Box 92213 FAX: _____
 CITY: Albuquerque STATE NM ZIP 87199 E-MAIL: _____

Proprietary interest in site: OWNER List all owners: SURESH A. and JAYALAXMI PATEL

DESCRIPTION OF REQUEST: ELIMINATE EXISTING LOT LINES TO CREATE ONE TRACT AND VACATE SET BACK LINE.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOTS 6-13 AND LOT Y Block: 5 Unit: _____
 Subdiv/Addn/TBKA: WAGGOMAN-DENISON ADDITION
 Existing Zoning: C-2 Proposed zoning: C-2 MRGCD Map No _____
 Zone Atlas page(s): K-20 UPC Code: 102005714104630204

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): _____
City Proj. # 1008256

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 9 No. of proposed lots: 1 Total area of site (acres): 1.0543 AC.

LOCATION OF PROPERTY BY STREETS: On or Near: CENTRAL AVE. NE
 Between: GENERAL HODGES NE and GENERAL STILWELL NE

Check-off if project was previously reviewed by Sketch Plat/Plan M, or Pre-application Review Team . Date of review: 7/21/2010

SIGNATURE Lenore Armijo DATE 9-3-2010
 (Print) LENORE ARMILLO Applicant: Agent:

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>10DRB 70266</u>	<u>VPRF</u>		<u>\$ 45.00</u>
<u>10DRB 70267</u>	<u>P&F</u>		<u>\$ 215.00</u>
	<u>CMF</u>		<u>\$ 20.00</u>
			\$ _____
			\$ _____
			\$ _____
			Total
			<u>\$ 280.00</u>

Hearing date 09/15/10
Sandy Handley 09/03/10 Project # 1008256
 Planner signature / date

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.**

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls 3 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) Your attendance is required.

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) 3 copies
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (verify with DRB Engineer)
- DXF file and hard copy of final plat data for AGIS is required.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) Your attendance is required.

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

LENORE ARMINO
 Applicant name (print)
Lenore Armino 9-3-10
 Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
10DRB 70267

Sandy Handley 09/03/10
 Planner signature / date
 Project # 008256

FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (DRB04)** (PUBLIC HEARING CASE)
 - ___ Application for Minor Plat on FORM S-3, including those submittal requirements. **24 copies**
 - ___ Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
 - ___ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Sign Posting Agreement
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- ~~VACATION OF PUBLIC EASEMENT (DRB27)~~
 - VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**
 - ___ The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**
(Not required for City owned public right-of-way.)
 - ___ Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Sign Posting Agreement
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- SIDEWALK VARIANCE (DRB20)**
 - SIDEWALK WAIVER (DRB21)**
 - ___ Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the variance or waiver
 - ___ List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
 - ___ Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the variance
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Sign Posting Agreement
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
 - EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)**
 - ___ Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the deferral or extension
 - ___ List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- ~~VACATION OF PRIVATE EASEMENT (DRB26)~~
 - VACATION OF RECORDED PLAT (DRB29)**
 - ___ The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
 - ___ Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
 - ___ Letter of authorization from the grantors and the beneficiaries (private easement only)
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

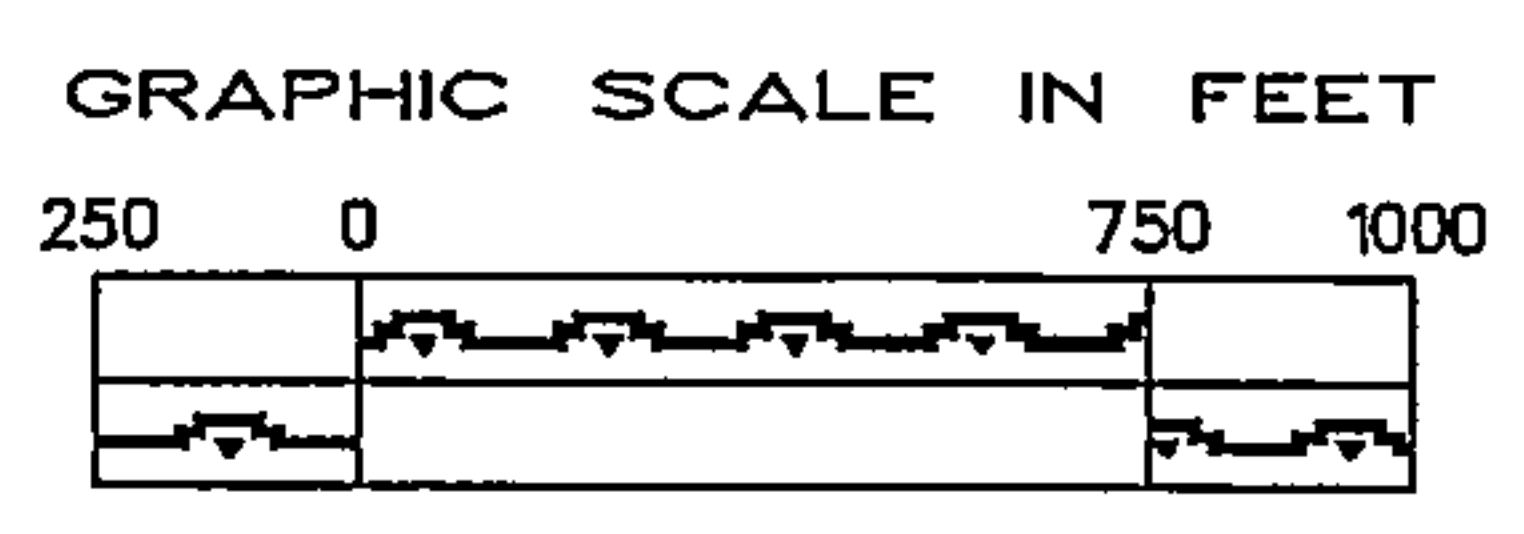
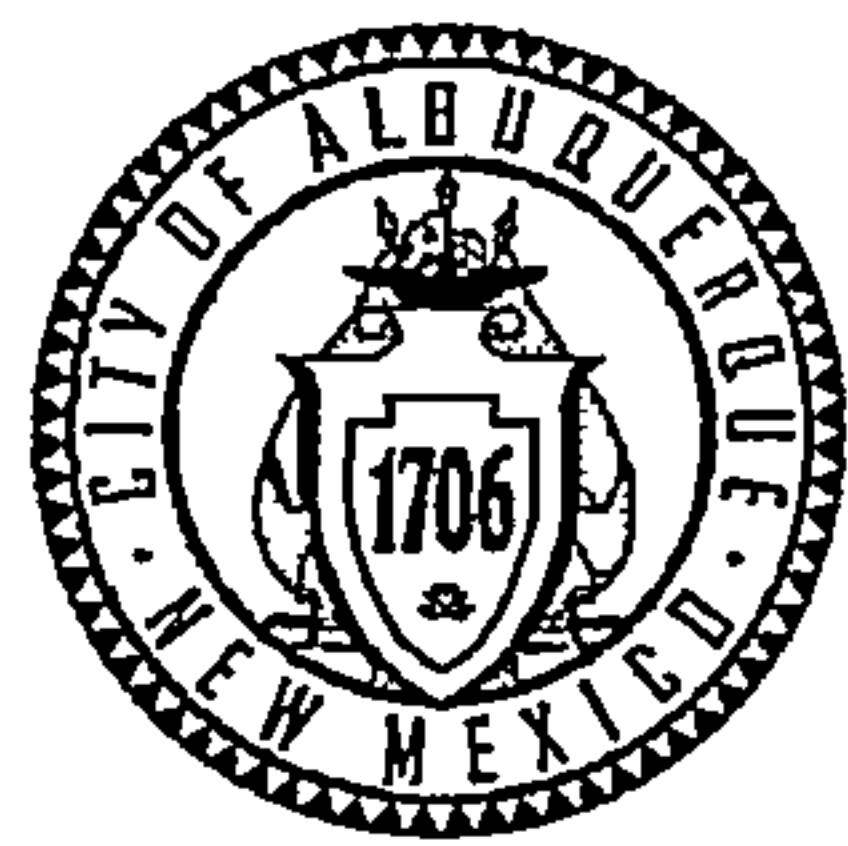
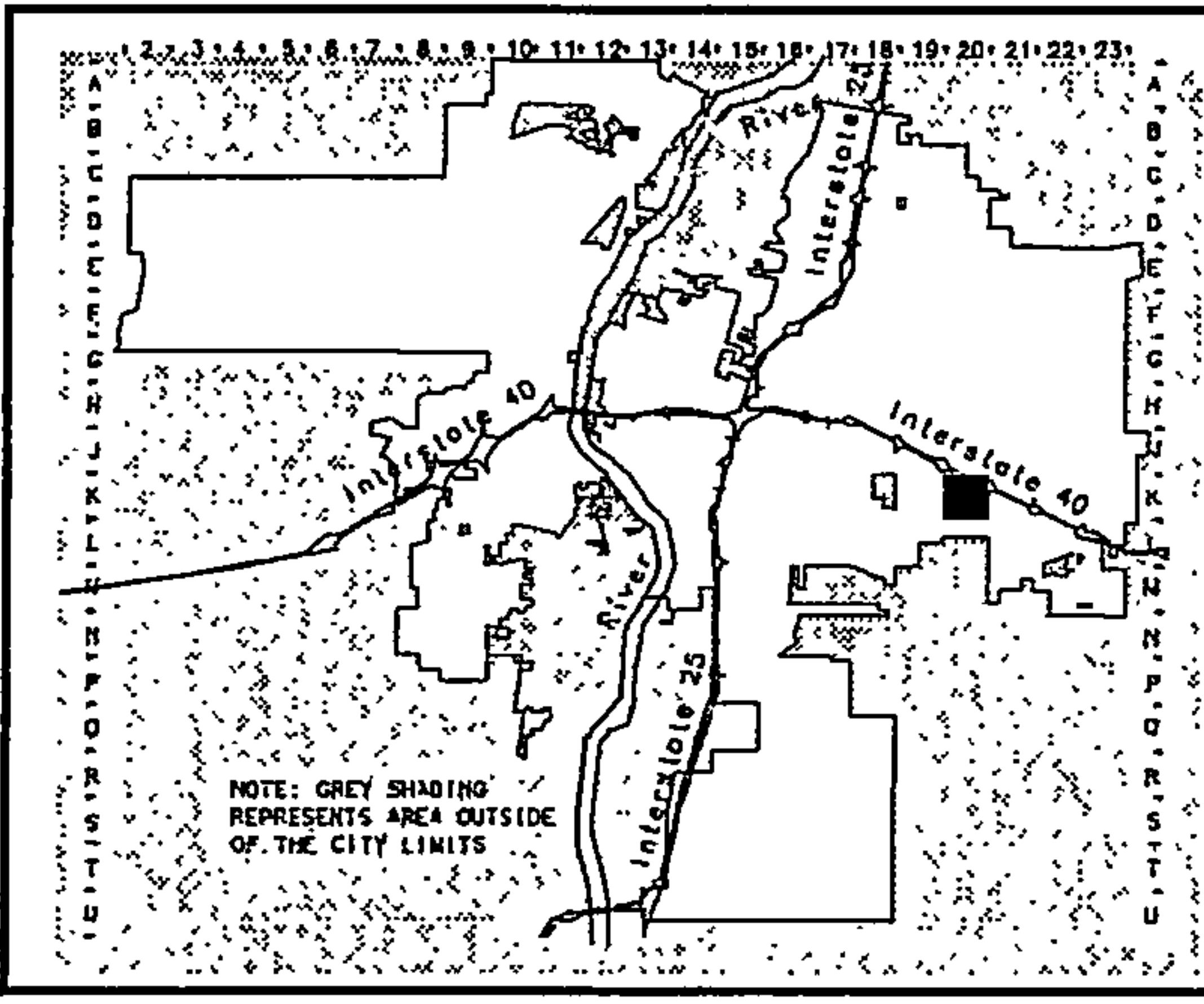
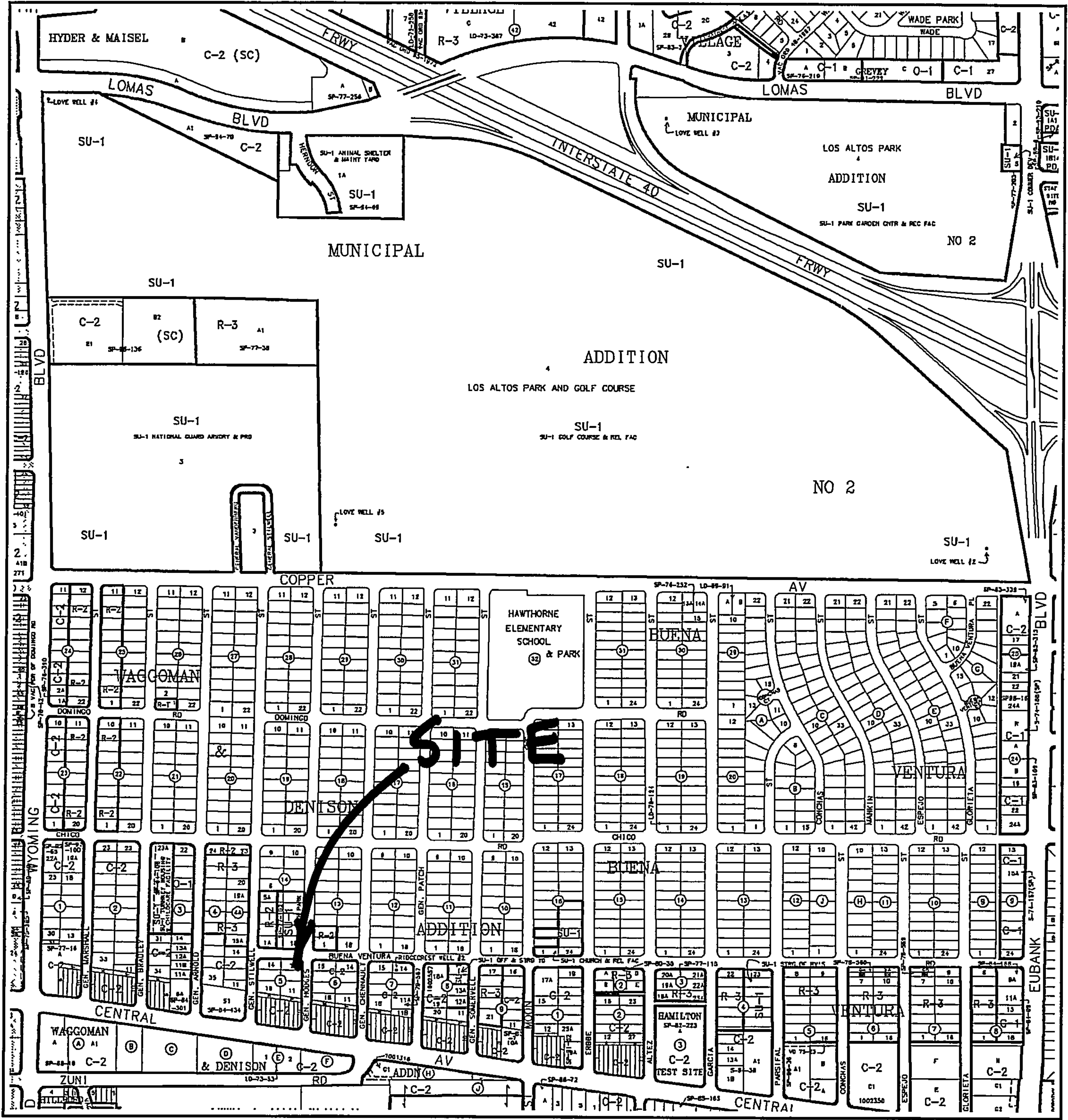
KENORE ARMIJO
 Applicant name (print)
Kenore Armijo 9-3-10
 Applicant signature / date
 Form revised 4/07



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
102713 - 102716

Sandy Handley 09/03/10
 Planner signature / date
 Project # 1008256



Abuquerque **G**eographic **I**nformation **S**ystems
PLANNING DEPARTMENT
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Zone Atlas Page
K-20-Z
Map Amended through November 01, 2003



BRASHER & LORENZ, INC.
CONSULTING ENGINEERS

2201 San Pedro NE Bldg 1 Suite 1300 • Albuquerque, NM 87110 • Phone (505) 888-6088 • Fax (505) 888-6188 • www.brasherlorenz.com

August 30, 2010

Jack Cloud, Chair
Development Review Board
City of Albuquerque
Plaza Del Sol, 600 2nd St. NW
Albuquerque, New Mexico 87102

SUBJECT: LOTS 6 THRU 13, and LOT Y, WAGGOMAN – DENISON ADDITION
Preliminary/Final Plat
ZAP K-20

Dear Mr. Cloud:

Submitted herewith for Preliminary/Final Plat review and comment are the following:

1. DRB Application
2. 6 copies of the Preliminary/Final Plat
3. 6 copies of the ALTA for your use.
4. One copy of current Zone Atlas page K-20 depicting the project location.

As a condition of approval of the Site Plan for Building Permit and Zone Map Amendment, the project consists of the re-platting of 9 existing parcels into a single parcel. The property will be redeveloped into 30 affordable apartments and incidental uses, as shown by the Site Plan for Building Permit, approved by EPC.

We are also requesting to vacate a 25 foot wide set-back that appears on the recorded plat dated May 24, 1945. As you can see on the ALTA, an existing historic building is built within that set-back. Along with the request to vacate, we are also submitting the following:

1. 24 copies of the plat that created the set-back
2. 24 copies of a letter size drawing showing the set-back to be vacated.
3. Office of Community & Neighborhood Coordination inquiry response, notifying letter and certified mail receipts.

This case was heard as a Sketch Plat on July 21, 2010, as Project #1008256. If you have any questions, or if I can be of any assistance, please feel free to call.

Sincerely,

BRASHER & LORENZ, INC.


Lenore Armijo, P.S.
Principal

BUENA VENTURA ROAD N.E.
(50' R.O.W.)

RIGHT-OF-WAY
TO THE CITY
(BY THIS PLAT)

S88°46'47"E
(S89°46'30"E)

125.01'
(125.01')

19.97'

19.97'

(374.46')
374.46'

FOUND REBAR (NO CAP)
360.20'
(360.20')

FOUND 2" PIPE

LOT 14

LOT 13

(LOT LINE ELIMINATED
BY THIS PLAT)

5' PUBLIC UTILITY EASEMENT
(03/10/1954, Bk. D272, Pg.234)

LOT 15

LOT 12

(LOT LINE ELIMINATED
BY THIS PLAT)

TRACT A

45,924 sq.ft.
1.0542 acres

25' FRONT SETBACK
VACATED WITH THIS PLAT
(04/24/1945, Bk. C, Pg. 191)

BLOCK 5, WAGGOMAN-DENISON ADDITION (04/24/1945, Bk. C, Pg. 191)

LOT 16

LOT 11

(LOT LINE ELIMINATED
BY THIS PLAT)

LOT X

FOUND REBAR (NO CAP)

LOT Y

(LOT LINE ELIMINATED
BY THIS PLAT)

FOUND REBAR (NO CAP)

GENERAL HODGES STREET N.E.

(50' R.O.W.)

WAGGOMAN-DENISON ADDITION

73630
MAY 24 1945
May Cleghorn

ALBUQUERQUE, NEW MEXICO

SCALE: 1 inch = 200 feet

SURVEY-B PLAT BY ROSS-BEYER ENGINEERING OFFICE
APRIL 13-26, 1945 E.R. E.B., E.K.E.

FILED IN THE OFFICE OF THE
COUNTY CLERK OF
BERNALILLO COUNTY, NEW MEXICO
MAY 24 1945

LAND OF CITY OF ALBUQUERQUE



NOTES: Dotted lines in Blocks 1 to 32, inclusive, indicate "Set-Back" Lines for Building, 75 feet from front of each Lot. Dotted lines in Blocks A, B, C, D, E, F, G, H and J indicate Easements 25 feet in width, on each side of the lines between respective Blocks, for use as public streets when desired.

Dimensions of Lots along N. Line of E. Central Avenue, Blocks 1 to 9, inclusive:
 Lots 1, 2, 4, 5, 7, 8 ----- 25.16' Lot 10, Blks. 1 to 9, Inc., ----- 25.15'
 Lots 3, 6, 9 ----- 25.17' Lot 10, Blk. 9 ----- S. line, 26.10'; N. line, 22.46'

The above and foregoing subdivision of these two certain tracts of land situate in the Southwest Quarter of Section 20, Township 10 North, Range 4 East, N.M.P.M., in School District No. 13, Bernalillo County, New Mexico, and more particularly described by survey as follows:
TRACT A (comprising all of said SW 1/4 of Section 20 which lies North of E. Central Avenue and East of W. Wyoming Street) -- Beginning at the center of Section 20, T. 10 N., R. 4 E., N.M.P.M., and running thence S. 0° 45' 30" E. along the Northern and Southern center-line of said Section 20, 2539.29 feet; thence N. 82° 47' W. along the Northern line of E. Central Avenue (U.S. Highway 66), 8508.44 feet; thence N. 0° 43' E. along the Eastern line of North Wyoming Street, 2191.26 feet; thence N. 89° 46' 30" E. along the Eastern and Western center-line of said Section 20, 2516.08 feet to the place of beginning.

TRACT B (comprising all of said SW 1/4 of Section 20 which lies South of E. Central Avenue and East of S. Wyoming Street) -- Beginning at the point of intersection of the Southern line of E. Central Avenue (U.S. Highway 66) with the South line of said Section 20 (said point being 46.92 feet, S. 89° 17' W. along said Section-line from the South 1/4 corner of said Section 20), and running thence N. 82° 47' W. along the Southern line of E. Central Avenue, 2609.81 feet; thence S. 0° 20' W. along the Eastern line of S. Wyoming Street, 356.24 feet; thence N. 89° 17' E. along the South line of said Section 20, 2591.24 feet to the place of beginning; surveyed, platted and subdivided as the same appear hereon, comprising BLOCKS 1 to 32, inclusive and BLOCKS A, B, C, D, E, F, G, H and J of the WAGGOMAN-DENISON ADDITION, Albuquerque, New Mexico, is with the free consent and in accordance with the desires of the interested owners and proprietors hereof.

Robert Waggoner
Walter L. Denison
 Owners and Proprietors

State of New Mexico,)
 County of Bernalillo,) ss.
 On this 18th day of May, 1945, before me, a Notary Public in and for said County, personally appeared R. B. Waggoner and Helen B. Waggoner his wife, and Walter L. Denison and Louise Denison his wife, to me known to be the persons described in and who executed the foregoing instrument, and acknowledged that they executed the same as their free act and deed.

Edmund Ross
 Notary Public
 My commission expires February 23rd, 1947

I, Edmund Ross, County Surveyor of Bernalillo County, New Mexico, hereby certify that I have examined the plat of the WAGGOMAN-DENISON ADDITION and approved the same this 8th day of May, 1945.

Edmund Ross
 County Surveyor

I, May Cleghorn, County Clerk of Bernalillo County, New Mexico, hereby certify that the plat of the WAGGOMAN-DENISON ADDITION was approved and accepted for filing by the Board of County Commissioners of said County at its regular meeting held on the 24th day of May, 1945.

May Cleghorn
 County Clerk

C-191

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): BRASHER + LORENZ PHONE: 888-6088
 ADDRESS: 2201 SAN PEDRO NE FAX: 888-6188
 CITY: ABQ STATE NM ZIP 87110 E-MAIL: DENNISL@BRASHERLORENZ.COM
 APPLICANT: NEW LIFE HOMES INC PHONE: 293-7553
 ADDRESS: 7408 YARWOOD NE FAX: -
 CITY: ABQ STATE NM ZIP 87109 E-MAIL: BOOGIS@MSN.COM
 Proprietary interest in site: OWNER UNDER CONT. List all owners: SURESH A. PATEL
 DESCRIPTION OF REQUEST: SKETCH PLAT REVIEW

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ___ Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOTS 6-13 + TRACT Y Block: _____ Unit: _____
 Subdiv/Addn/TBKA: WAGGOMAN - DENISON ADDITION
 Existing Zoning: C-2 Proposed zoning: SU-1 FOR R2/C2 MRGCD Map No. NA
 Zone Atlas page(s): K20 UPC Code: SEE ATTACHED

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.):
PROJ 1008256, 10 EPC-40017, 10 EPC-40018

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 9 No. of proposed lots: 1 Total area of site (acres): 1.06 AC
 LOCATION OF PROPERTY BY STREETS: On or Near: CENTRAL AVE NE
 Between: GENERAL STILLWELL and GENERAL HODGES

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team Date of review: _____

SIGNATURE [Signature] DATE 7-7-10
 (Print) DENNIS A. LORENZ Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
10DRB-70189	SK	5(3)	\$0
_____	_____	_____	\$_____
_____	_____	_____	\$_____
_____	_____	_____	\$_____
_____	_____	_____	\$_____
Hearing date <u>07/21/10</u>			Total
			\$ <u>0</u>

Sandy Handley 07/07/10
 Planner signature / date

Project # 1008256

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** Your attendance is required.
 - Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application

- EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)** Your attendance is required.
 - Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application

Extension of preliminary plat approval expires after one year.

- MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** Your attendance is required.
 - Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
 - Design elevations & cross sections of perimeter walls **3 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - Copy of recorded SIA
 - Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - List any original and/or related file numbers on the cover application
 - DXF file and hard copy of final plat data for AGIS is required.

- MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** Your attendance is required.
 - 5 Acres or more: Certificate of No Effect or Approval
 - Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
 - Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
 - Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
 - Infrastructure list if required (**verify with DRB Engineer**)
 - DXF file and hard copy of final plat data for AGIS is required.

- AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** Your attendance is required.

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

 - Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application

Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

DENNIS A. LORENZ

 Applicant name (print)

 Applicant signature date



- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 10DRB - 70189

Form revised October 2007

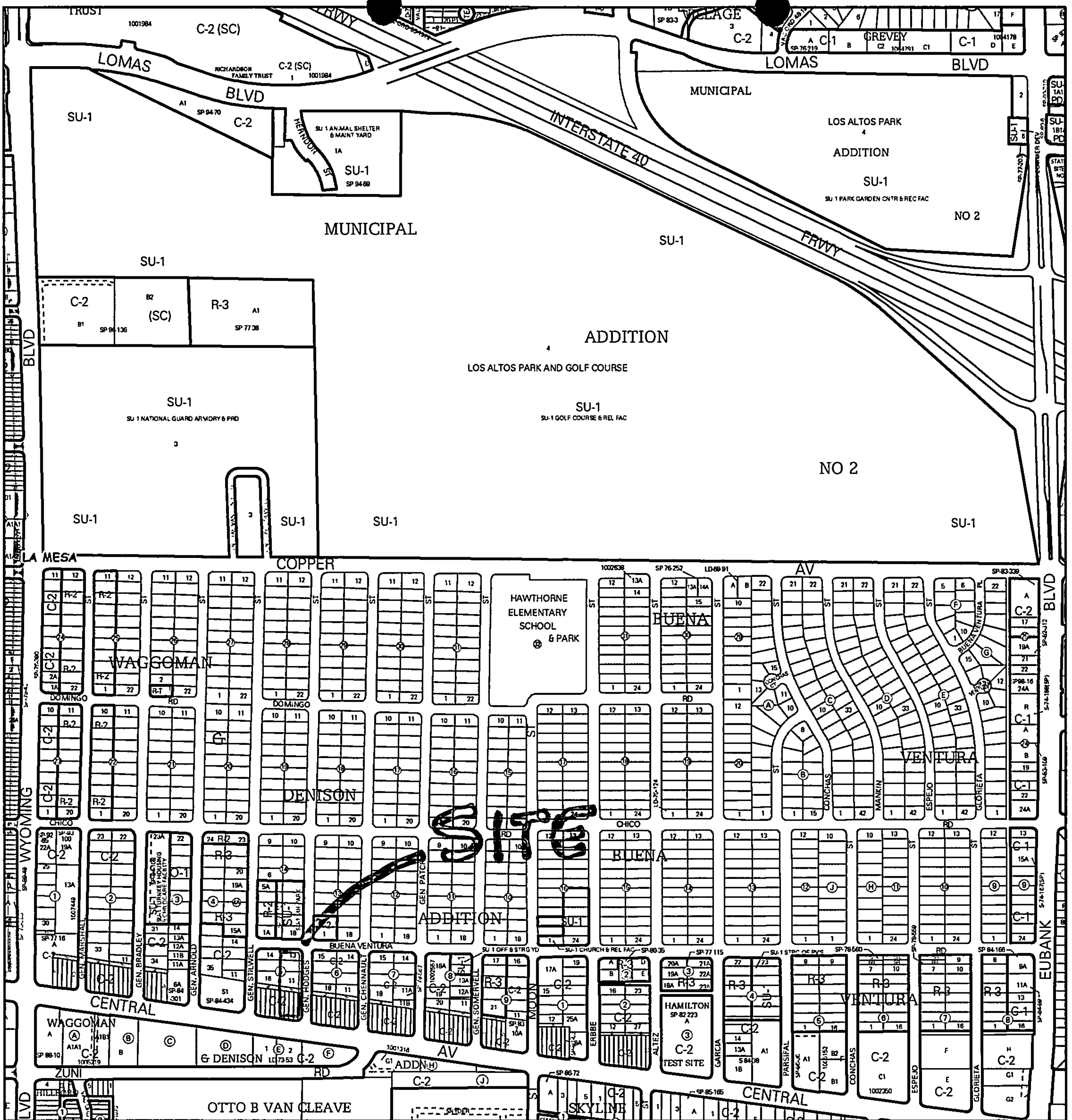
 Planner signature / date
 Project # 1008256

LEGAL DESCRIPTIONS

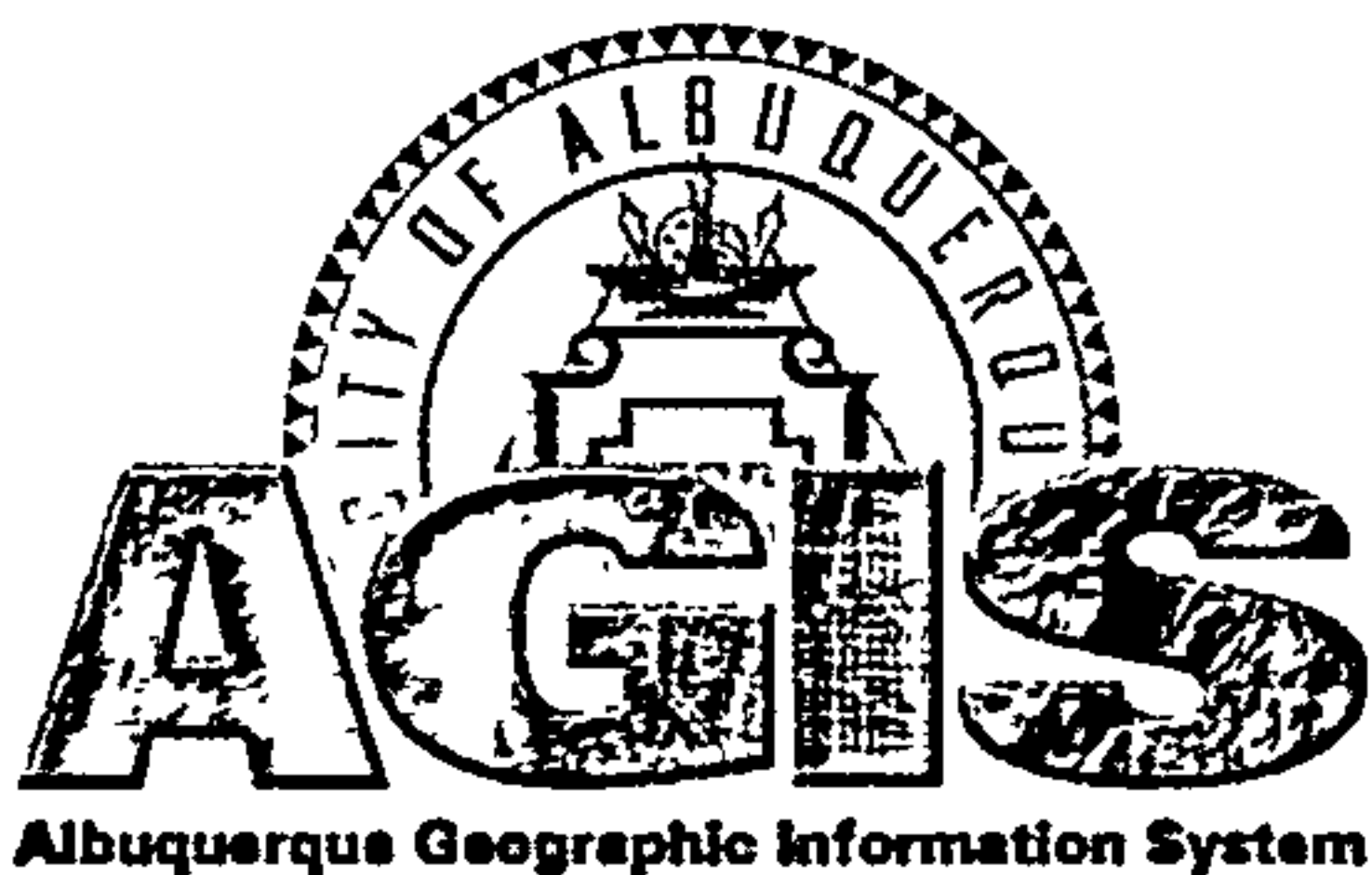
Legal Description

UPC

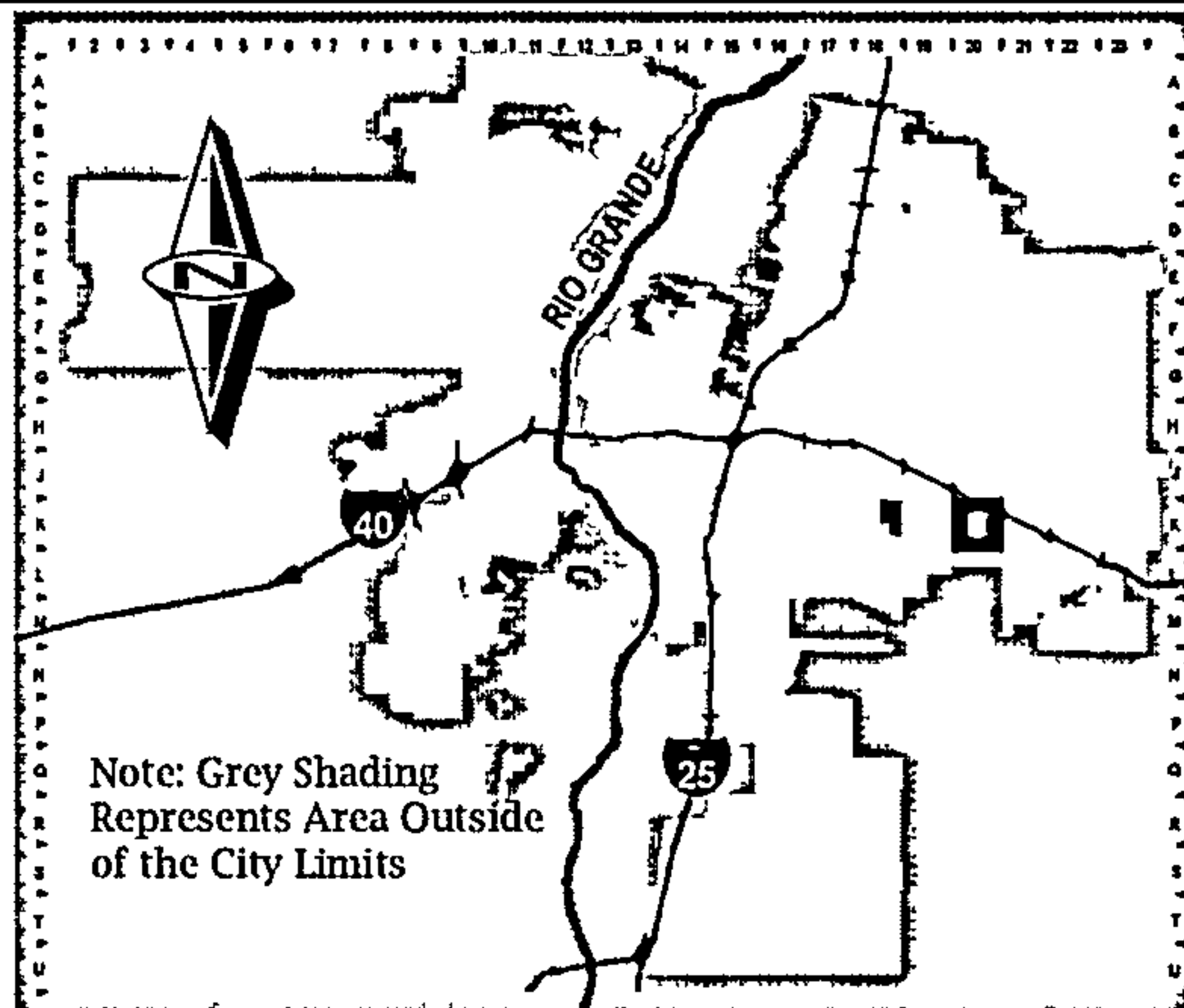
Waggoman-Denison Addition, Block 5, Lot 6	102005714104630204
Waggoman-Denison Addition, Block 5, Lot 7	102005714104630204
Waggoman-Denison Addition, Block 5, Lot 8	102005714104630204
Waggoman-Denison Addition, Block 5, Lot 9	102005714104630204
Waggoman-Denison Addition, Block 5, Lot 10	102005714104630204
Waggoman-Denison Addition, Block 5, Lot 11	102005714104630204
Waggoman-Denison Addition, Block 5, Lot 12	102005714104630204
Waggoman-Denison Addition, Block 5, Lot 13	102005714104630204
Waggoman-Denison Addition, Block 5, Tract Y	102005714104630204



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 2/4/2010



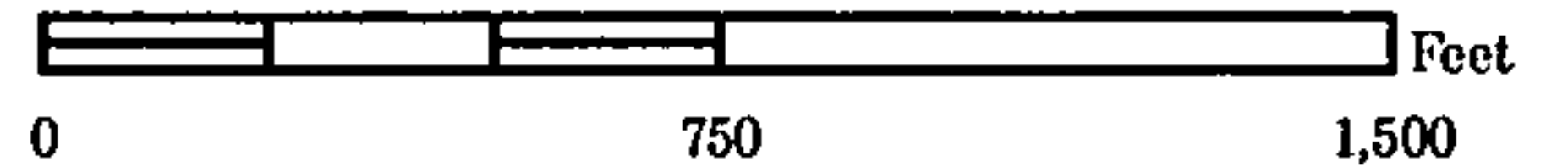
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:

K-20-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone





BRASHER & LORENZ, INC.
CONSULTING ENGINEERS

2201 San Pedro NE Bldg 1 Suite 1300 • Albuquerque, NM 87110 • Phone (505) 888-6088 • Fax (505) 888-6188 • www.brasherlorenz.com

July 6, 2010

Jack Cloud, Chair
Development review Board
City of Albuquerque
Plaza Del Sol
Albuquerque, New Mexico 87102

SUBJECT: LOTS 6 THRU 13, TRACT Y, WAGGOMAN – DENISON ADDITION
Sketch Plat
ZAP K-20

Dear Mr Cloud:

Submitted herewith for Sketch Plat review and comment are the following:

1. DRB Application
2. 6 copies of the Sketch Plat
3. 6 copies of the ALTA for your use.
4. One copy of current Zone Atlas page K-20 depicting the project location.
5. One copy of the EPC Official Notice of Decision.

As a condition of approval of the Site Plan for Building Permit and Zone Map Amendment, the project consists of the re-platting of 9 existing parcels into a single parcel. The property will be redeveloped into 30 affordable apartments and incidental uses, as shown by the Site Plan for Building Permit, approved by EPC.

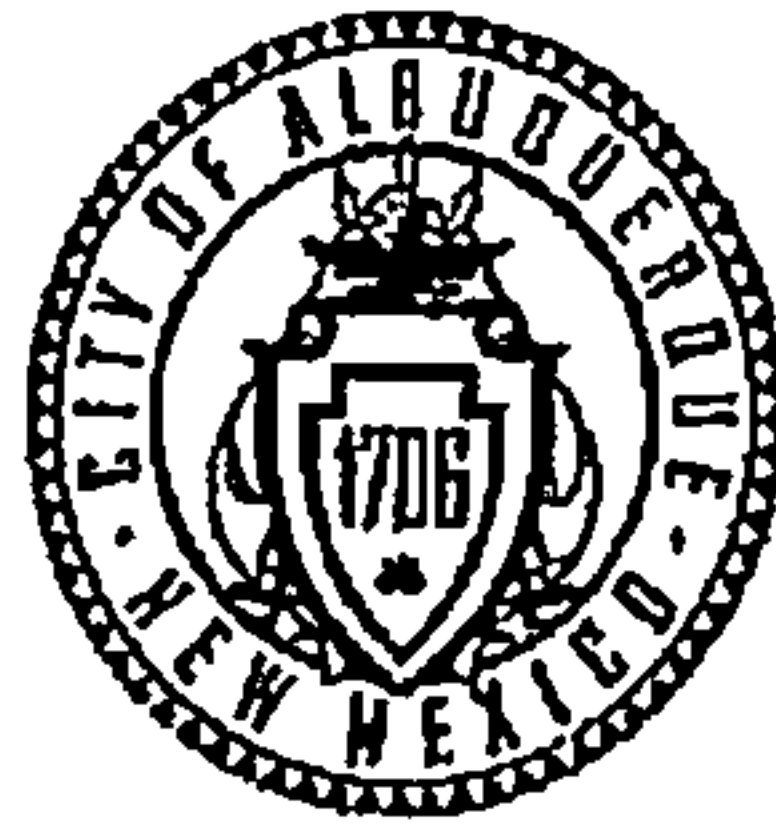
If you have any questions, or if I can be of any assistance, please feel free to call.

Sincerely,

BRASHER & LORENZ, INC.


Dennis A. Lorenz, PE
Principal

/dl/10520
encl



City of Albuquerque
Planning Department
Current Planning Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: May 14, 2010

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1008256**
10EPC-40017 AMNDT TO ZONE MAP (ESTB
ZONING/ZONE CHG)
10EPC-40018 SITE DEVELOPMENT -
BUILDG PRMT

New Life Homes
P.O. Box 51055
Albuquerque, NM 87181

LEGAL DESCRIPTION: CONSENSUS
PLANNING agent for NEWLIFE HOMES
requests the above actions for all or a portion of
Lots 6-13 and Lot Y, Block 5, WAGGOMAN
DENISON ADDITION, zoned C-2 to SU-1 FOR
C-2/R-2 PERMISSIVE USES located on
CENTRAL AVE NE BETWEEN GENERAL
STILWELL NE AND GENERAL HODGES
NE containing approximately 1 acre. (K-20)
Carol Toffaleti, Staff Planner

On May 13, 2010 the Environmental Planning Commission voted to **APPROVE** Project 1008256 /
10EPC-40017, a zone map amendment for all or a portion of Lots 6-13, & Lot Y, Block 5,
WAGGOMAN DENISON ADDITION, based on the following Findings and subject to the following
Conditions:

FINDINGS:

1. The zone map amendment is to rezone Lots 6-13 & Lot Y, Block 5, Waggoman Denison Addition, a site of approximately 1 acre located at 9119 Central Ave. NE east of Wyoming Blvd., from C-2 to SU-1 for R-2 and C-2 permissive uses. The proposed use for the property is 30 affordable apartments and incidental uses, including an office, community room with a kitchen and community laundry.
2. The request is accompanied by a site development plan for building permit (#1008256, 10EPC-40018).

3. The site is in the Established Urban Area of the Comprehensive Plan, adjacent to Central Ave., an Enhanced Transit Corridor, and within the boundaries of the Near Heights Metropolitan Redevelopment Area Plan.
4. The Albuquerque/Bernalillo County Comprehensive Plan, the Near Heights Metropolitan Redevelopment Area Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
5. The site includes the lots on which the Luna Lodge is located. Completed in 1952, Luna Lodge is listed on the State Register of Cultural Properties and the National Register of Historic Properties as one of the best examples of a largely unaltered tourist court remaining along historic Route 66 in New Mexico.
6. The zone change is justified per R-270-1980:
 - A. The zone change will facilitate the redevelopment of a vacant property and will not jeopardize the health, safety and welfare of the city, nor burden public facilities and services.
 - B. The request will not destabilize land use and zoning because it will allow redevelopment for residential use, which is similar to the previous extended-stay motel use, and retain an option for C-2 uses, which is a subset of uses allowed in the existing zone. The applicant provided a sound justification for the zone change.
 - C. The proposed change furthers a preponderance of adopted elements of the Comprehensive Plan (CP) and of the policy criteria for projects in the Near Heights Metropolitan Redevelopment Area Plan (NHMRAP), including:
 - The proposed zone allows higher density housing, which is appropriate on this site located on an Enhanced Transit Corridor and in an area with an established mixed density pattern and adequate infrastructure. (CP Established Urban Area policy II.B.5.h)
 - The zone change will facilitate redevelopment of a vacant motel in the Near Heights MRA that will help rehabilitate this older neighborhood. (CP Established Urban Area policy II.B.5.o)
 - The additional dwelling units allowed by the proposed zone will add to transit ridership in an Enhanced Transit Corridor and help revitalize, not destabilize, the adjacent neighborhood. (CP Transportation and Transit policy II.D.4.c)
 - The rezoning of the vacant motel on Route 66 will both increase the supply of affordable housing and preserve a historic property. (CP Housing goal and policies II.D.5.a II.D.5.c)
 - The change will facilitate non-profit investment in a motel re-use project that will eliminate blight, help revitalize Route 66 and provide quality affordable housing and landscaping, which will change the image and public perception of the Metropolitan Redevelopment Area. (NHMRAP Vision Statement and project criteria).
 - D. The applicant demonstrated that the existing zoning is inappropriate because the proposed SU-1 zone for R-2 and C-2 permissive uses is more advantageous to the community, as articulated

in elements of city plans discussed in Section C. The addition of residential uses is appropriate in this location on Central Ave. and will satisfy demand for affordable housing, while the zone will also retain an option for commercial use.

- E. The proposed change does not allow permissive uses that would be harmful to adjacent property, the neighborhood, or the community. The commercial component of the proposed zone is more restrictive than the existing C-2 zone; and the additional R-2 uses are similar to the previous extended stay motel and will be compatible with the adjacent apartments and mobile home parks.
 - F. The change does not require any capital expenditures by the city.
 - G. The cost of land or other economic considerations pertaining to the applicant are not the determining factor for a change of zone.
 - H. While the location on Central is not the justification for this request, it is a consideration, because the access to transit and services on this major street reinforces the appropriateness of adding residential uses to the site.
 - I. Although SU-1 zoning is considered a "spot zone," the change will facilitate realization of the City's Comprehensive Plan and Near Heights MRA Plan, and the proposed addition of R-2 uses is compatible with the residential uses to the north and east of the site.
 - J. The zone change request is not for "strip zoning".
7. Property-owners within 100', the South Los Altos Neighborhood Association (NA) and the District 6 Coalition of NAs were notified. The South Los Altos NA and the Southeast Heights Health Coalition support the request. One property-owner in the area has expressed opposition to it.

CONDITIONS:

1. Concurrent platting action required.
 2. DRB sign-off of the accompanying site development plan for building permit within 6 months.
-

On May 13, 2010 the Environmental Planning Commission voted to **APPROVE** Project 1008256 / 10EPC-40018, a site development plan for building permit, for all or a portion of Lots 6-13 & Lot Y, Block 5, WAGGOMAN DENISON ADDITION, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. The site development plan for building permit is for Lots 6-13 & Lot Y, Block 5, Waggoman Denison Addition, a site of approximately 1 acre located at 9119 Central Ave. NE east of Wyoming Blvd., to be zoned SU-1 for R-2 and C-2 permissive uses. The proposed use of the property is 30 affordable apartments and incidental uses, including an office, community room with a kitchen and community laundry.

OFFICIAL NOTICE OF DECISION
MAY 13, 2010
PROJECT 1008256
PAGE 4 OF 9

2. The request is accompanied by a zone map amendment (#1008256, 10EPC- 40017).
3. The site is in the Established Urban Area of the Comprehensive Plan, adjacent to Central Ave., an Enhanced Transit Corridor, and within the boundaries of the Near Heights Metropolitan Redevelopment Area Plan.
4. The Albuquerque/Bernalillo County Comprehensive Plan, the Near Heights Metropolitan Redevelopment Area Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
5. The site includes the lots on which the Luna Lodge is located. Completed in 1952, Luna Lodge is listed on the State Register of Cultural Properties and the National Register of Historic Properties as one of the best examples of a largely unaltered tourist court remaining along historic Route 66 in New Mexico.
6. The project furthers a preponderance of applicable goals and policies in the Comprehensive Plan (CP) and the Near Heights Metropolitan Redevelopment Area Plan (NHMRAP):
 - a. The site and building design is of quality and will preserve a historic property that contributes to the identity of the Near Heights area, offer housing choice and create a visually pleasing environment (Established Urban Area goal and policy II.B.5.1, Historic Resources goal and policy II.C.5.b)
 - b. The project is an example of cost-effective redevelopment in a metropolitan redevelopment area, because the applicant is a non-profit organization and they will seek funding from a variety of sources (CP Policy II.B.5.p, NHMRAP project criteria)
 - c. The proposed off-street parking provision, floor-area ratio and density of this affordable housing complex meet the development form standards for sites on East Central Ave., an Enhanced Transit Corridor (Transportation and Transit Policy II.D.4.a)
 - d. The project will both renovate an existing motel and create a new building to provide quality housing in a deteriorating neighborhood (Housing Policy II.D.5.b)
7. The site development plan does not specify how the vehicular and pedestrian gates will be operated to help ensure a safe and secure environment, in order to meet the CP Public Safety goal and policy II.D.9.d. A condition has been added to clarify this issue.
8. The off-street parking provided for 24 vehicles is considered adequate for the proposed affordable housing use in this location that is well-served by transit. If a different use or combination of uses is proposed in the future, the change in use and associated parking requirement would be reviewed as for any amendment to an SU-1 site development plan, per §14-16-2-22.(A)(6).
9. The SU-1 site development plan needs more information and some corrections, in order to strengthen compliance with City requirements, such as transportation, landscaping and safety, and to provide sufficient clarity to make it enforceable by the City, e.g. regarding historic signage.

10. A 25' wide entry at Central is adequate and is necessary to preserve the historic scale of the project.
11. Property-owners within 100', the South Los Altos Neighborhood Association (NA) and the District 6 Coalition of NAs were notified. The South Los Altos NA and the Southeast Heights Health Coalition support the request. One property-owner in the area has expressed opposition to it.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. Approval of the accompanying zone map amendment (10EPC-40017).
4. Add the following data to the site plan in a table:
 - a. the acreage;
 - b. "Listed: State Register of Cultural Properties and National Register of Historic Places. Boundary includes the lots on which the Luna Lodge are located."
 - c. the new zoning and the proposed use, "affordable apartments and incidental uses";
 - d. the number of dwelling units, and a breakdown by number of bedrooms and baths;
 - e. the maximum building height of the new building, i.e. 26';
 - f. calculations for the total required and total provided usable open space;
 - g. the floor area ratio.
5. Dimension the side and rear yard setbacks of the new building on the site plan.
6. The site plan and detail of the dumpster enclosure shall provide sufficient capacity for refuse, as required by the Solid Waste Department. Additional space for a recycling bin shall be provided within an enclosure on General Hodges Street for private pick up, or a note on the site plan shall state that residential recycling carts shall be accommodated on Central for city pick up.

7. Relocate the wrought iron fence on Central closer to the buildings to improve the visibility of the historic tourist court.
8. At the EPC-approved 25' wide site drive, provide adequate curb return radii to facilitate continuity of pedestrian traffic along the sidewalk.
9. **CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT and NMDOT:**
 - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).
 - b. Dimension one way drive aisle and angle of parking.
 - c. For site drive and dumpster enclosure curb cut, illustrate ADA ramps on site plan.
 - d. Locate vehicular gate approximately 50' from face of curb. Provide more detail about gate operation (i.e. card reader, remote, will it remain open during specific hours, fire knock box, etc.).
 - e. Concurrence by AFD required.
 - f. Site plan shall comply as approved by the EPC and DPM standards where applicable.
 - g. Concurrent platting action required.

10. Parking

- a. Add a note to the site development plan stating: "Any changes to the site development plan, including a change to R-2 and/or C-2 permissive uses with a different parking demand, shall be reviewed by the City per standard SU-1 procedures (§14-16-2-22 (A)(6))."
 - b. In the calculations, insert "per applicant" after "Parking required".
 - c. The site development plan shall call out the on-street parking spaces abutting the property. Half the number shown shall correspond to the number of on-street spaces in the parking calculations.
11. Additional parking for 10 bikes shall be provided within the residential development and shall be placed to maintain 6' clear pedestrian pathways when the bike racks are in use.
12. The bus stop in front of the adjoining lot to the west shall be upgraded to a shelter per Transit Department requirements, provided the applicant can make the necessary arrangements with the adjacent property-owner.

13. Lighting and Security

- a. A note on the lighting detail shall state that all lighting shall comply with area lighting regulations in the Zoning Code.

- b. Wall-mounted fixtures shall be added to the new building to illuminate entrances.
- c. A note on the site plan shall state that property access shall be limited to residents and their guests at night, e.g. between 10 pm and 7 am, and that pedestrian and vehicular gates shall be locked during that period.

14. Landscaping

- a. Replace the paragraph on Street Trees with "Central Avenue Frontage: In order to preserve the visibility of the historic property, street trees shall be limited to 2 large shade trees placed near the east and west edges of the property, and shrubs between the buildings and Central shall be limited to 3' high at maturity."
- b. Replace the Spanish Broom and Beargrass on the Central frontage with a species that does not exceed 3' high at maturity.
- c. The Raywood Ash on Central shall be replaced with a shade tree species attaining a minimum height and spread of 40' x 30' at maturity, such as Robinia (Black Locust) or Japanese Zelkova.
- d. Replace Tilia cordata with a deciduous tree species that is low or medium water use.
- e. Replace trees under overhead distribution lines with species that do not exceed 20' high at maturity.
- f. The landscaped bed north of the refuse enclosures along General Hodges Street shall include shrubs and groundcover.
- g. The proposed landscaped bed along the historic building on General Hodges Street shall be limited to gravel or equivalent.
- h. Provide tree calculations for the parking area and multi-family residential use, and demonstrate compliance with the Zoning Code.
- i. Provide calculations for 75% live vegetative cover and demonstrate that the site plan is in compliance, by increasing the number of plants if necessary.
- j. Make the following corrections: the total site area in square feet shall correspond to 0.982 acres; the off-site landscaped area along General Hodges St. shall be corrected; the turf areas in the legend and calculations shall be the same.
- k. Add notes stating:
 - i. "Any vegetation surrounding ground-mounted transformers and utility pads shall allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides."
 - ii. "Maintain 10' clearance around utility poles."

15. Call out any amenities provided in the center of the new courtyard on both the site plan and landscape plan. Include outdoor seating around the courtyard for seasonal sun and shade.

16. Provide elevations for the east façades of the community room building and Building II; and for the west façade of Building I.

17. Signage:

- a. The site development plan and elevations shall call out the historic signs and neon, to the extent that they are required by the State Historic Preservation Officer to be retained, i.e.: the neon tube "wave" and canopy "office" sign on the west wing; the cut-tile "LUNA LODGE" wall sign on the south façade of Building III; the free-standing "LUNA LODGE" box and the arrow "MOTEL" signs.
- b. The site development plan shall include a note stating: "Signage shall comply with §14-16-3-5, including regulations for signs in residential zones (C), except where general sign regulations conflict with historic preservation requirements."
- c. On the Community Building, delete the "RESTAURANT" wall sign on the west elevation and the roof sign on the south elevation.

18. Mechanical equipment/Utilities -

- a. Add notes to the site development plan stating:
 - i. Roof-top equipment on the new building shall be screened from the public ROW by parapet walls or structural features, per §14-16-3-18 (C)(6). New roof-top equipment on the historic buildings, of a different type or larger than existing equipment, shall be screened, but not necessarily with material and color to match the building.
 - ii. All screening and vegetation surrounding ground-mounted transformers and utility pads shall allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides.
 - iii. 10' clearance shall be maintained around electrical utility poles.
 - b. Call out a 10 ft wide PUE for the electrical overhead distribution line along the northwest side of the property, on the site development plan and landscape plan.
 - c. The applicant shall contact PNM's New Service Delivery Department to coordinate electric service and load requirements.
19. An ADA-compliant crosswalk of a permanent material shall be provided at the site drive on Central.

APPEAL: IF YOU WISH TO APPEAL A FINAL DECISION, YOU MUST DO SO BY MAY 28, 2010 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an

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appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Deferral requests by the applicant for map amendments and site development plans are subject to a \$110 fee per item (Zoning Code Section 14-16-4-1(B)). Failure of the applicant to pay such fees and provide proof of payment prior to the date the case(s) are deferred to may result in further deferral of the item(s) until the required fee(s) are paid.

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC.

Sincerely,



for Deborah Stover
Planning Director

DS/CT

cc: Consensus Planning, 302 8th Street NW, Albuquerque, NM 87102
Ana Beall, South Los Altos N.A., 424 General Chennault NE, Albuquerque, NM 87123
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Enrique Cardiel, Southeast Heights Health Coalition, 420 Indiana SE, Albuquerque, NM 87108
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