

**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT**

**June 4, 2014  
DRB Comments**

**ITEM # 12**

**PROJECT # 1008265**

**APPLICATION # 14-70183**

**RE: Tracts A-1-A, A-2-A & A-3-A, Journal Center Phase 2**

The access thru A-1-A to the new buildings should remain generally located as is, and not placed between A-1-A building and parking, Tracts A-2-A and A-3-A will need to be replatted into a single lot. Relocated shade structure may be required to be on one lot only – verification is needed from Building Permit.

Journal Center Architectural Approval needs to be obtained prior to application to DRB for public hearing.

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Jack Cloud, DRB Chairman  
924-3880/ [jcloud@cabq.gov](mailto:jcloud@cabq.gov)

3. **Project# 1008265**  
10DRB-70109 MAJOR – SITE  
DEVELOPMENT PLAN FOR BUILDING  
PERMIT

CLAUDIO VIGIL ARCHITIECTS agent(s) for  
BRUNACINI DEVELOPMENT LLC request(s) the  
referenced/ above action(s) for all or a portion of Lots  
A-2-A and A-3-A, **JOURNAL CENTER PHASE 2,  
UNIT 2** zoned IP, located north of RUTLEDGE RD NE  
and west of SNAPROLL ST NE containing  
approximately 5.41 acre(s). (D-16, D-17) [*Deferred from*  
*5/5/10, 6/2/10, 8/25/10, 11/17/10, 2/23/11, 5/4/11, 8/24/1,*  
*11/16/11, 1/25/12*]**INDEFINITELY DEFERRED.**

4. **Project# 1003272**  
11DRB-70074 MAJOR – SITE  
DEVELOPMENT PLAN FOR  
BUILDING PERMIT

DAC ENTERPRISES, INC agent(s) for LEGACY  
HOSPITALITY request(s) the referenced/ above  
action(s) for all or a portion of Lot(s) 4-A-1-A,  
**ALBUQUERQUE WEST Unit(s) 2**, zoned SU-1 PDA  
& C-3, located on HIGH ASSETS WAY NW bewteen  
ALL SAINTS RD NW and EAGLE RANCH RD NW,  
south of PASEO DEL NORTE NW containing  
approximately 1.5401 acre(s). (C-13) [*Deferred from*  
*4/27/11, 5/11/11, 6/1/11, 6/8/11, 6/15/1,*  
*7/13/11, 7/27/11, 8/10/11, 8/24/11, 8/31/11, 9/28/11,*  
*10/12/11,11/2/11, 11/30/11, 12/7/11, 1/4/12, 2/1/12, 2/29/12,*  
*3/7/12, 3/21/12, 4/11/12, 4/18/12*]**THE SITE  
DEVELOPMENT PLAN FOR SUBDIVISION WAS  
APPROVED WITH FINAL SIGN-OFF DELEGATED TO  
CITY ENGINEER FOR SIA AND TO PLANNING FOR  
15 DAY APPEAL PERIOD.**

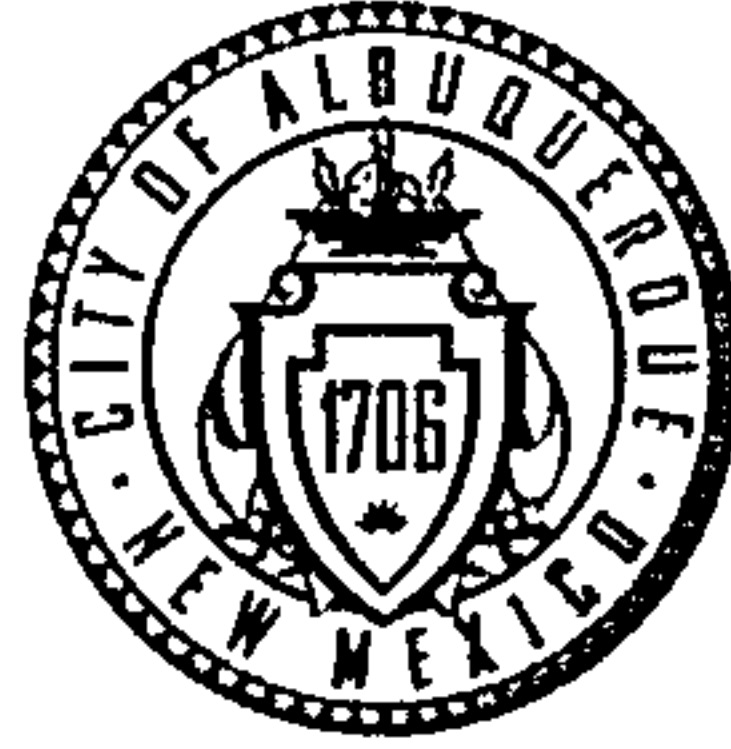
**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

5. **Project# 1003684**  
12DRB-70124 EXT OF SIA FOR TEMP  
DEFR SDWK CONST

MARK GOODWIN AND ASSOCIATES, P.A. agent(s)  
for PAUL ALLEN HOMES request(s) the above action(s)  
for all or a portion of Lot(s) SEE APPLICATION,  
Tract(s) SEE APPLICATION, **ANASAZI RIDGE  
Unit(s) 1 & 2**, zoned R-1, located on MCMAHON  
BETWEEN ANASAZI RIDGE AND WESTSIDE  
containing approximately 40.349 acre(s). (A-10) **A TWO  
YEAR EXTENSION TO THE AGREEMENT FOR THE  
DEFERRAL OF SIDEWALKS WAS APPROVED.**

6. **Project# 1004607**  
12DRB-70123 AMENDMENT TO  
INFRASTRUCTURE LIST

WILSON AND COMPANY INC agent(s) for KB HOME,  
NM INC request(s) the above action(s) for all or a portion  
of **VISTA VIEJA UNITS 3 & 4** zoned RD, located on  
GROUNDSEL RD NW BETWEEN ALBERICOQUE  
AND VISTA TERRAZA DR NW containing  
approximately 77.85 acre(s). (D-9)**THE AMENDMENT TO  
THE INFRASTRUCTURE LIST WAS APPROVED.**



**DEVELOPMENT REVIEW BOARD**  
**Action Sheet**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

January 25, 2012 9:00 am

MEMBERS:

**Jack Cloud, DRB Chair**  
**Angela Gomez, Administrative Assistant**

**Kristal Metro, P.E., Transportation Development**


**Allan Porter, P.E., Albuquerque/ Bernalillo Co.WUA**

**Curtis Cherne, P.E., Hydrology**

**Carol Dumont, Parks/Municipal Development**

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project# 1004540**  
11DRB-70366 MAJOR - AMENDMENT  
TO PRELIMINARY PLAT 

WILSON AND COMPANY INC agent(s) for AMAFCA request(s) the referenced/ above action(s) for all or a portion of Block(s) 2 & 5, Unit 25 and Block 2, Unit 14 **VOLCANO CLIFFS SUBDIVISION & Tract D, VISTA VIEJA SUBDIVISION UNIT 2** [approved and TBKA **BOCA NEGRA DETENTION DAM**], zoned R-1 & R-D, located at the 81ST ST NW BETWEEN UNSER BLVD NW AND COMPASS DR NW containing approximately 26.9937 acre(s). (D-9&-10) **THE AMENDED PRELIMINARY PLAT APPROVED. THIS AMENDMENT DOES NOT EXTEND THE EXPIRATION DATE OF THE ALREADY APPROVED PRELIMINARY PLAT.**

2. **Project# 1008265**  
10DRB-70109 MAJOR – SITE  
DEVELOPMENT PLAN FOR BUILDING  
PERMIT

CLAUDIO VIGIL ARCHITIECTS agent(s) for BRUNACINI DEVELOPMENT LLC request(s) the referenced/ above action(s) for all or a portion of Lots A-2-A and A-3-A, **JOURNAL CENTER PHASE 2, UNIT 2** zoned IP, located north of RUTLEDGE RD NE and west of SNAPROLL ST NE containing approximately 5.41 acre(s). (D-16, D-17) [Deferred from 5/5/10, 6/2/10, 8/25/10, 11/17/10, 2/23/11, 5/4/11, 8/24/1, 11/16/11] **DEFERRED TO 4/25/12 AT THE AGENT'S REQUEST.**



**DEVELOPMENT REVIEW BOARD  
Action Sheet**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

November 16, 2011 9:00 AM

MEMBERS:

**Jack Cloud, DRB Chairman, Planning Department**

**Angela Gomez, Administrative Assistant**

**Kristal Metro, P.E., Transportation Development  
Curtis Cherne, P.E., Hydrology**

**Allan Porter, P.E., Albuquerque/ Bernalillo Co.WUA  
Carol Dumont, Parks/Municipal Development**

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

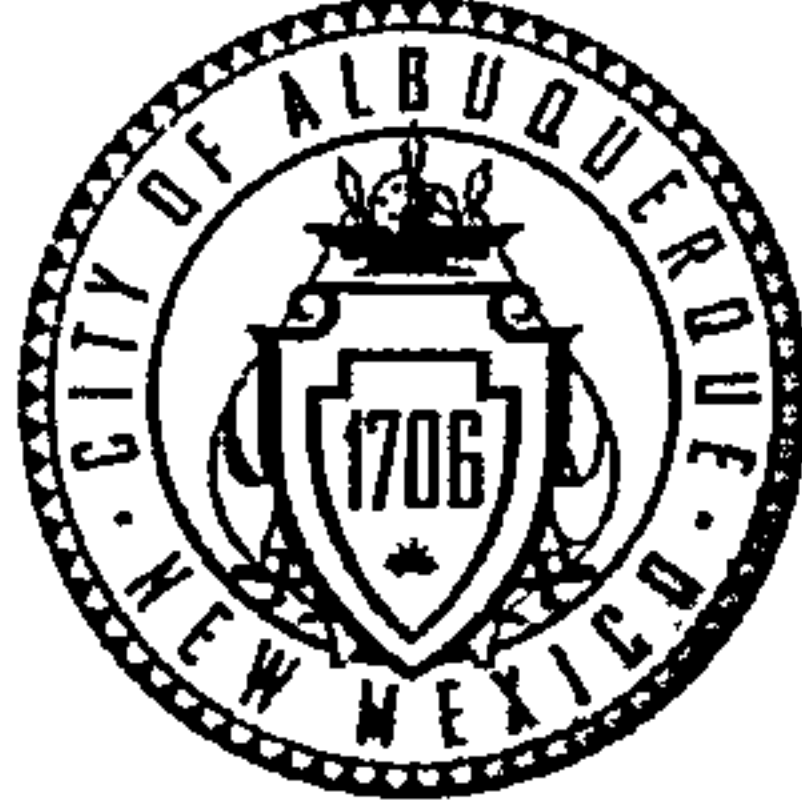
**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project# 1008265**  
10DRB-70109 MAJOR – SITE  
DEVELOPMENT PLAN FOR BUILDING  
PERMIT  
  
**[To Be Deferred to 1/25/11]**  
  
CLAUDIO VIGIL ARCHITIECTS agent(s) for  
BRUNACINI DEVELOPMENT LLC request(s) the  
referenced/ above action(s) for all or a portion of Lots A-2-  
A and A-3-A, **JOURNAL CENTER PHASE 2, UNIT 2**  
zoned IP, located north of RUTLEDGE RD NE and west  
of SNAPROLL ST NE containing approximately 5.41  
acre(s). (D-16, D-17) [*Deferred from 5/5/10, 6/2/10, 8/25/10,*  
*11/17/10, 2/23/11, 5/4/11, 8/24/11*] **DEFERRED TO 1/25/11.**
2. **Project# 1003366**  
11DRB-70300 MAJOR - 2YEAR  
EXTENSION OF SUBDIVISION  
IMPROVEMENTS AGREEMENT (2YR  
SIA)  
  
FELIX RABADI request(s) the referenced/ above action(s)  
for all or a portion of Tract(s) T-1-A-2-A & T-1-A-2-B,  
**TOWN OF ALAMEDA GRANT (to be known as**  
**RABADI COMPLEX)**, zoned SU-1 FOR PRD, located on  
the west side of GOLF COORSE RD NW between  
IRVING BLVD NW and the CALBACILLAS ARROYO  
containing approximately 8.5 acre(s). (A-12, B-12) **THE**  
**TWO YEAR EXTENSION OF THE SUBDIVISION**  
**IMPROVEMENT AGREEMENT (SIA) WAS APPROVED.**

3. **Project# 1003272**  
11DRB-70074 MAJOR – SITE  
DEVELOPMENT PLAN FOR  
BUILDING PERMIT
- DAC ENTERPRISES, INC agent(s) for LEGACY HOSPITALITY request(s) the referenced/ above action(s) for all or a portion of Lot(s) 4-A-1-A, **ALBUQUERQUE WEST Unit(s) 2**, zoned SU-1 PDA & C-3, located on HIGH ASSETS WAY NW bewteen ALL SAINTS RD NW and EAGLE RANCH RD NW, south of PASEO DEL NORTE NW containing approximately 1.5401 acre(s). (C-13) [Deferred from 4/27/11, 5/11/11, 6/1/11, 6/8/11, 6/15/1, 7/13/11, 7/27/11, 8/10/11 ] **DEFERRED TO 9/31/11 AT THE AGENTS' REQUEST.**
4. **Project# 1008830**  
11DRB-70143 MAJOR -- SITE  
DEVELOPMENT PLAN FOR  
BUILDING PERMIT
- GARCIA/ KRAEMER & ASSOC. agent(s) for S.M. QURAIHI/ AFRA CONSTRUCTION request(s) the referenced/ above action for Tract 3E, **TOWN OF ATRISCO GRANT, ROW 2, UNIT A**, zoned SU-1 FOR C-2 USES AND CAMP GROUND, located on the north side of VOLCANO RD NW between 98<sup>TH</sup> ST NW and 102<sup>ND</sup> ST NW containing approximately 5.3103 acre(s). (K-8, K-9) [Deferred from 6/29/11, 7/20/11, 8/3/11, 8/10/11] **DEFERRED TO 9/14/11 AT THE AGENTS' REQUEST.**
5. **Project# 1008265**  
10DRB-70109 MAJOR – SITE  
DEVLOPMENT PLAN FOR BUILDING  
PERMIT
- CLAUDIO VIGIL ARCHITIECTS agent(s) for BRUNACINI DEVELOPMENT LLC request(s) the referenced/ above action(s) for all or a portion of Lots A-2-A and A-3-A, **JOURNAL CENTER PHASE 2, UNIT 2** zoned IP, located north of RUTLEDGE RD NE and west of SNAPROLL ST NE containing approximately 5.41 acre(s). (D-16, D-17) [Deferred from 5/5/10, 6/2/10, 8/25/10, 11/17/10, 2/23/11, 5/4/11] **DEFERRED TO 11/16/11 AT THE AGENTS' REQUEST.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

6. **Project# 1002254**  
11DRB-70229 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL
- RIO GRANDE ENGINEERING agent(s) for SAN PEDRO BEEHIVE request(s) the above action(s) for all or a portion of located on SAN PEDRO NE BETWEEN CORONA AVE NE AND WILSHIRE AVE NE containing approximately 2.53 acre(s). **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR DIMENSIONAL EXHIBIT AND RIGHT-OF-WAY IF REQUIRED AND TO PLANNING FOR FLOODPLAN NOTE; EXHIBIT SHOWING NO ENCROACHMENT AND AGIS DXF.**



**DEVELOPMENT REVIEW BOARD**

**Action Sheet**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

May 4, 2011 9:00 AM

MEMBERS:

Jack Cloud, DRB Chairman, Planning Department

Angela Gomez, Administrative Assistant

Kristal Metro, P.E., Transportation Development  
Curtis Cherne, P.E., Acting Hydrology P.E.

Allan Porter, P.E., Albuquerque/ Bernalillo Co.WUA  
Christina Sandoval, Parks/Municipal Development

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project# 1003790**  
11DRB-70087 MAJOR - 2 YEAR  
EXTENSION OF SUBDIVISION  
IMPROVEMENTS AGREEMENT (2YR  
SIA)  
  
MARK GOODWIN AND ASSOCIATES, P.A. agent(s)  
for MCT INDUSTRIES, INC. request(s) the referenced/  
above action(s) for all or a portion of Tract(s) C-2-A and  
B-1, **NORTH GATEWAY SUBDIVISION** zoned SU-2/  
IP, located on the north side of BALLOON FIESTA  
PARKWAY NE bewteen SAN MATEO BLVD NE and I-  
25 containing approximately 14.7539 acre(s). (B-18) **THE  
TWO YEAR EXTENSION OF THE SUBDIVISION  
IMPROVEMENT AGREEMENT (SIA) WAS APPROVED.**
  
2. **Project# 1008265**  
10DRB-70109 MAJOR – SITE  
DEVLOPMENT PLAN FOR BUILDING  
PERMIT  
  
CLAUDIO VIGIL ARCHITIECTS agent(s) for  
BRUNACINI DEVELOPMENT LLC request(s) the  
referenced/ above action(s) for all or a portion of Lots A-2-  
A and A-3-A, **JOURNAL CENTER PHASE 2, UNIT 2**  
zoned IP, located north of RUTLEDGE RD NE and west  
of SNAPROLL ST NE containing approximately 5.41  
acre(s). (D-16, D-17) [Deferred from 5/5/10, 6/2/10, 8/25/10,  
11/17/10, 2/23/11] **DEFERRED TO 8/24/11 AT THE  
AGENTS REQUEST.**

3. **Project# 1007317**  
11DRB-70022 SUBDIVISION DESIGN  
VARIANCE

NM DEPT. OF TRANSPORTATION request(s) a Variance for Overhead Electrical Line on or adjacent to Tract(s) A-1A-1 & A-2A-1, **LUEKING PARK COMPLEX**, zoned SU-1, located on the east side of INTERSTATE 25 bewteen COMNACHE RD NE and MONTGOMERY BLVD NE. (G-16)**APPLICATION REQUEST WAS DENIED.**

4. **Project# 1008265**  
10DRB-70109 MAJOR – SITE  
DEVELOPMENT PLAN FOR BUILDING  
PERMIT  
**TO BE DEFERRED TO 5/4/11**  
**AT THE AGENT’S REQUEST.**

CLAUDIO VIGIL ARCHITIECTS agent(s) for BRUNACINI DEVELOPMENT LLC request(s) the referenced/ above action(s) for all or a portion of Lots A-2-A and A-3-A, **JOURNAL CENTER PHASE 2, UNIT 2** zoned IP, located north of RUTLEDGE RD NE and west of SNAPROLL ST NE containing approximately 5.41 acre(s). (D-16, D-17) [*Deferred from 5/5/10, 6/2/10, 8/25/10, 11/17/10*] **DEFERRED TO 5/4/11 AT THE AGENT’S REQUEST.**

5. **Project# 1002962**  
11DRB-70003 MAJOR – 2 YEAR  
EXTENSION OF SUBDIVISION  
IMPROVEMENTS AGREEMENT (2YR  
SIA)

THE TRAILS LLC request(s) the referenced/ above action(s) for **HERITAGE AT THE TRAILS Unit(s) I & 2, plus SANTA FE, TAOS, & RESERVE AT THE TRAILS** [Tract(s) A, B, C, D, & F of THE TRAILS], zoned RD, located on either side of RAINBOW BLVD NW between PASEO DEL NORTE NW and WOODMONT AVE NW containing approximately 76 acre(s). (C-9) [*Deferred from 2/9/11*] **DEFERRED TO 3/9/11 AT THE AGENT’S REQUEST.**

6. **Project# 1004353**  
11DRB-70004 MAJOR - 2 YEAR  
EXTENSION OF SUBDIVISION  
IMPROVEMENTS AGREEMENT (2YR  
SIA)

LONGFORD HOMES request(s) the referenced/ above action(s) for **SANTA FE 2 AT THE TRAILS UNIT 2**, zoned R-D, located on the west side of OAKRIDGE ST NW between TREE LINE AVE NW and WOODMONT AVE NW containing approximately 17.0028 acre(s). (C-9) [*Deferred from 2/9/11*] **DEFERRED TO 3/9/11 AT THE AGENT’S REQUEST.**



**DEVELOPMENT REVIEW BOARD**  
**Action Sheet**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

November 17, 2010 9:00 AM  
MEMBERS:

**Jack Cloud, AICP, DRB Chairman, Planning Department**  
**Angela Gomez, Administrative Assistant**

**Kristal Metro, P.E. , Transportation Development**      **Allan Porter, P.E., Albuquerque/ Bernalillo Co.WUA**  
**Brad Bingham, P.E., Hydrology/ Alternate City Engineer**      **Christina Sandoval, Parks/Municipal Development**

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**  
**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

- 1. Project# 1003674**  
10DRB-70260 VACATION OF PUBLIC DRAINAGE EASEMENTS

CARA HAMMOND request(s) the referenced/above action(s) for all or a portion Lot 9, **RICH COURT SUBDIVISION**, zoned RD, located on RICH CT NE north of ALAMEDA BLVD NE between BARSTOW ST NE and VENTURA ST NE containing approximately .168 acre(s). (C-20)[*Deferred from 9/29/10, 10-6-10, 10/13/10,10/27/10*] **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE.**
- 2. Project# 1008265**  
10DRB-70109 MAJOR – SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

CLAUDIO VIGIL ARCHITIECTS agent(s) for BRUNACINI DEVELOPMENT LLC request(s) the referenced/ above action(s) for all or a portion of Lots A-2-A and A-3-A, **JOURNAL CENTER PHASE 2, UNIT 2** zoned IP, located north of RUTLEDGE RD NE and west of SNAPROLL ST NE containing approximately 5.41 acre(s). (D-16, D-17) [*Deferred from 5/5/10, 6/2/10, 8/25/10*] **DEFERRED TO 2/3/11 AT THE AGENT’S REQUEST.**
- 3. Project# 1008560**  
10DRB-70301 VACATION OF PUBLIC EASEMENT

MARK GOODWIN AND ASSOCIATES PA agent(s) for BERNALILLO COUNTY request(s) vacation of a City of Albuquerque Public Utility Easement on Lot(s) 15 & 24, Block(s) 32, **VALLEY VIEW ADDITION**, zoned CCR-3, located on the south side of CENTRAL AVE SE between MONROE ST SE and QUINCY ST SE. (K-17) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE.**





**DEVELOPMENT REVIEW BOARD**

**Action Sheet**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

August 25, 2010 9:00 AM

MEMBERS:

Jack Cloud, AICP, DRB Chairman, Planning Department

Angela Gomez, Administrative Assistant

Kristal Metro, P.E., Transportation Development  
Brad Bingham, P.E., Hydrology/ Alternate City Engineer

Allan Porter, P.E., Albuquerque/ Bernalillo Co.WUA  
Christina Sandoval, Parks/Municipal Development

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project# 1008265**  
10DRB-70109 MAJOR – SITE  
DEVELOPMENT PLAN FOR BUILDING  
PERMIT

**\* TO BE DEFERRED TO 11/17/10\***

CLAUDIO VIGIL ARCHITIECTS agent(s) for  
BRUNACINI DEVELOPMENT LLC request(s) the  
referenced/ above action(s) for all or a portion of Lots A-2-  
A and A-3-A, **JOURNAL CENTER PHASE 2, UNIT 2**  
zoned IP, located north of RUTLEDGE RD NE and west  
of SNAPROLL ST NE containing approximately 5.41  
acre(s). (D-16, D-17) [Deferred from 5/5/10, 6/2/10]  
**DEFERRED TO 11/17/10 AT THE AGENT'S REQUEST.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND  
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

2. **Project# 1003532**  
10DRB-70234 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL  
10DRB-70235 EPC APPROVED SDP  
FOR BUILD PERMIT  
10DRB-70236 EPC APPROVED SDP  
FOR SUBDIVISION

GREAT BASIN ENGINEERING agent(s) for SMITH  
FOOD & DRUG CENTER request(s) the above action(s)  
for all or a portion of Lot(s) 17 & 18, Block(s) 9, Tract(s) 2,  
**N ALBUQUERQUE ACRES Unit(s) 3**, zoned SU-2  
MIXED USE, located on NW CORNER OF HOLLY NE &  
WYOMING NE containing approximately 1.61 acre(s).  
(C-19)**DEFERRED TO 9/8/10 AT THE AGENT'S  
REQUEST.**

3. **Project# 1008265**  
10DRB-70109 MAJOR – SITE  
DEVELOPMENT PLAN FOR BUILDING  
PERMIT

CLAUDIO VIGIL ARCHITIECTS agent(s) for  
BRUNACINI DEVELOPMENT LLC request(s) the  
referenced/ above action(s) for all or a portion of Lots A-2-  
A and A-3-A, **JOURNAL CENTER PHASE 2, UNIT 2**  
zoned IP, located north of RUTLEDGE RD NE and west  
of SNAPROLL ST NE containing approximately 5.41  
acre(s). (D-16, D-17) [Deferred from 5/5/10] **DEFERRED  
TO 8/25/10 AT THE AGENT'S REQUEST.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

4. **Project# 1007963**  
10DRB-70148 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

ADVANCED ENGR. AND CONSULT. request(s) the  
above action(s) for all or a portion of Lot(s) 17-20, Block(s)  
3, **ROMERO ADDITION**, zoned S-R, located on 518  
KINLEY AVE NE BETWEEN 5TH ST NW AND 6TH  
NW containing approximately 0.33 acre(s). (J-14) **WITH  
THE SIGNING OF THE INFRASTRUCTURE LIST DATED  
6/2/10, THE PRELIMINARY PLAT WAS APPROVED.  
THE FINAL PLAT WAS INDEFINITELY DEFERRED.**

5. **Project# 1008357**  
10DRB-70143 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

CARTESIAN SURVEYS INC agent(s) for RYAN  
CENTERWALL request(s) the above action(s) for all or a  
portion of Tract(s) A, **BRENTWOOD PARK  
COMPLEX** zoned SU-1 PRD, located on CHELWOOD  
PARK BLVD NE BETWEEN PHOENIX AVE NE AND  
MENAUL BLVD NE containing approximately 1.6194  
acre(s). (H-22) **INDEFINITELY DEFERRED AT THE  
AGENT'S REQUEST.**

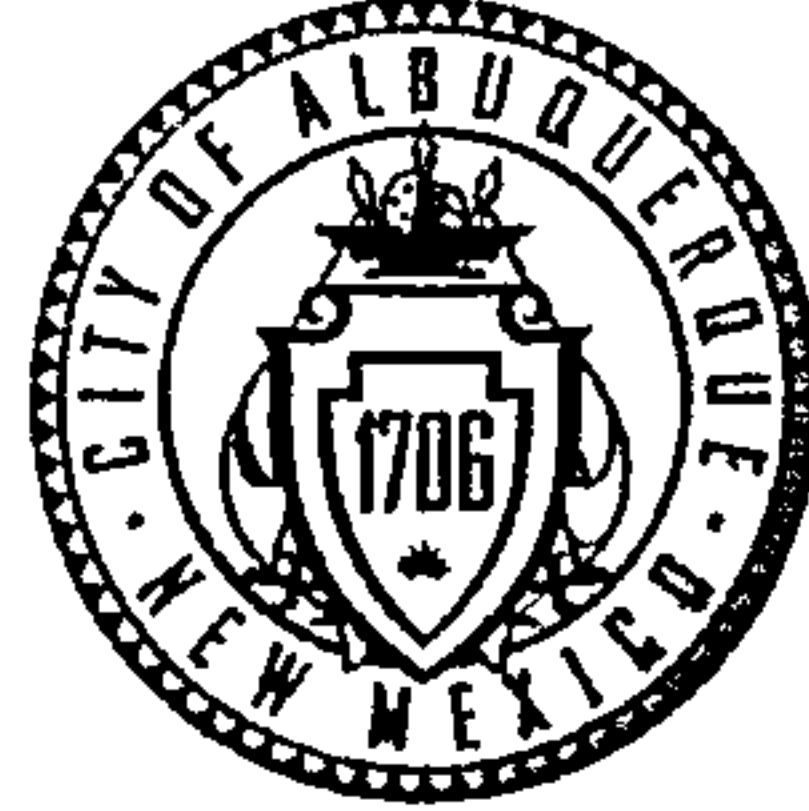
**NO ACTION IS TAKEN ON THESE CASES:  
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

6. **Project# 1008360**  
10DRB-70149 SKETCH PLAT REVIEW  
AND COMMENT

INTERGRATED DESIGN & ARCHITECTURE agent(s)  
for GREATER ALBUQUERQUE HOUSING  
PARTNERSHIP request(s) the above action(s) for all or a  
portion of Lot(s) 1-12 & 14-24, Block(s) 14, **EMIL  
MANN ADDITION** zoned R-2, located on BELL AVE  
SE BETWEEN SAN PABLO SE AND ESPANOLA ST  
SE containing approximately 3.55 acre(s). (L-19) **THE  
ABOVE ITEM WAS REVIEWED AND COMMENTS WERE  
GIVEN.**

7. Approval of the Development Review Board Minutes for 5/26/10.

Other Matters: None  
ADJOURNED: 9:25



**DEVELOPMENT REVIEW BOARD**  
**Action Sheet**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

May 5, 2010 9:00 AM  
MEMBERS:

**Jack Cloud, AICP, DRB Chairman, Planning Department**  
**Angela Gomez, Administrative Assistant**

**Kristal Metro, P.E., Transportation Development**      **Allan Porter, P.E., Albuquerque/ Bernalillo Co.WUA**  
**Brad Bingham, P.E., Hydrology/ Alternate City Engineer**      **Christina Sandoval, Parks/Municipal Development**

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**  
**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

- 1. Project# 1008265**  
10DRB-70109 MAJOR – SITE  
DEVELOPMENT PLAN FOR BUILDING  
PERMIT

CLAUDIO VIGIL ARCHITIECTS agent(s) for  
BRUNACINI DEVELOPMENT LLC request(s) the  
referenced/ above action(s) for all or a portion of Lots A-2-  
A and A-3-A, **JOURNAL CENTER PHASE 2, UNIT 2**  
zoned IP, located north of RUTLEDGE RD NE and west  
of SNAPROLL ST NE containing approximately 5.41  
acre(s). (D-16, D-17) **DEFERRED TO 6/2/10 AT THE  
AGENT'S REQUEST.**
- 2. Project# 1008281**  
10DRB-70119 VACATION OF PUBLIC  
RIGHT-OF-WAY

TIERRA WEST LLC agent(s) for BROGDON, LLC  
request(s) the referenced/ above action(s) for the east-west  
alley adjacent to Lot(s) 1, 2, 3A, 6, & 23, Block(s) 10,  
**FAIR GROUNDS ADDITION** located south of ACOMA  
RD SE between CALIFORNIA ST SE and ARIZONA ST  
SE containing approximately 1.37 acre(s). (K-18) **THE  
VACATION WAS APPROVED AS SHOWN ON EXHIBIT  
B IN THE PLANNING FILE PER SECTION 14-14-7-2(A)  
(1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE.**



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, May 5, 2010**, beginning at **9:00 a.m.** for the purpose of considering the following:

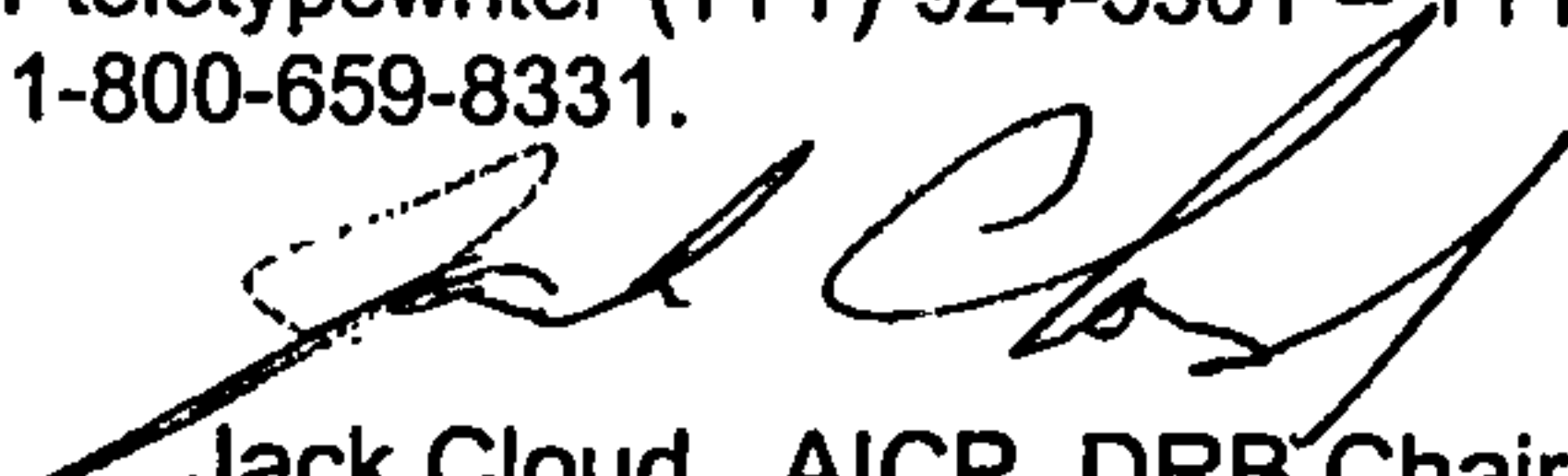
**Project# 1008265**  
10DRB-70109 MAJOR – SITE  
DEVELOPMENT PLAN FOR BUILDING  
PERMIT

CLAUDIO VIGIL ARCHITECTS agent(s) for  
BRUNACINI DEVELOPMENT LLC request(s) the  
referenced/ above action(s) for all or a portion of Lots A-2-A  
and A-3-A, **JOURNAL CENTER PHASE 2, UNIT 2**  
zoned IP, located north of RUTLEDGE RD NE and west of  
SNAPROLL ST NE containing approximately 5.41 acre(s).  
(D-16, D-17)

**Project# 1008281**  
10DRB-70119 VACATION OF PUBLIC  
RIGHT-OF-WAY

TIERRA WEST LLC agent(s) for BROGDON, LLC  
request(s) the referenced/ above action(s) for the east-west  
alley adjacent to Lot(s) 1, 2, 3A, 6, & 23, Block(s) 10, **FAIR  
GROUNDS ADDITION** located south of ACOMA RD SE  
between CALIFORNIA ST SE and ARIZONA ST SE  
containing approximately 1.37 acre(s). (K-18)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Angela Gomez, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.

  
Jack Cloud, AICP, DRB Chair  
Development Review Board

**TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, APRIL 19, 2010.**

# DRB/EPC/LUCC APPLICATION CHECKLIST

A review of DRB Case 1008265 indicates the following problems or crimes may occur or that the following concerns may need to be evaluated or addressed on this site or in this area. These comments do not indicate that a thorough CPTED evaluation has been done, or that other criminal activities may not occur.

- Traffic volume/Explain:
- Traffic control devices/Explain:
- Burglaries/Explain:
- Speeding violations/Explain:
- Lighting issues/Explain: ... Some of the pole mounted lights appear to be in conflict with proposed landscaping. Suggest placing landscaping, particularly trees, that don't conflict with pole lighting. All building entrances, walkways, parking lots and common areas require additional lighting.
- Maintenance of landscaping/Explain:
- Robbery/Explain:
- Assault/Explain:
- Shoplifting/Explain:
- Accidents in the parking lot/Explain:
- A higher probability of crimes during evening/weekend hours/Explain: All other landscaping should be low-level variety and should not obstruct visibility of walkways, parking lots and building entrance. Visibility should be maintained from inside the building looking out, and while approaching.
- Commercial burglary/Explain:
- Rape/Explain:
- Adequate security/Explain:
- Alarm security/Explain:
- Alarm response i.e. false alarms, etc/Explain:
- Transients/Explain:
- Need for neighborhood association/Explain:
- Other: Video cameras should be placed on the exterior of the building to view all entrances, walkways, parking lots and common areas. A camera should also be placed inside the main pedestrian entrance into the building.



CITY OF ALBUQUERQUE  
 PLANNING DEPARTMENT  
 DEVELOPMENT REVIEW BOARD

May 5, 2010

**Project# 1008265**  
 10DRB-70109 MAJOR – SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

CLAUDIO VIGIL ARCHITIECTS agent(s) for BRUNACINI DEVELOPMENT LLC request(s) the referenced/ above action(s) for all or a portion of Lots A-2-A and A-3-A, **JOURNAL CENTER PHASE 2, UNIT 2** zoned IP, located north of RUTLEDGE RD NE and west of SNAPROLL ST NE containing approximately 5.41 acre(s). (D-16, D-17)

<p><b>AMAFCA</b>          Prior to building permit, the drainage outfall to the North Diversion Channel will need to be approved and licensed by AMAFCA.</p>
<p><b>COG</b>          No comments.</p>
<p><b>TRANSIT</b>          No comments.</p>
<p><b>ZONING ENFORCEMENT</b>          No comments provided.</p>
<p><b>NEIGHBORHOOD COORDINATION</b>          Letters sent to: <b>Vista Del Norte Alliance (R)</b>                                    <b>Alameda North Valley Assoc. (R)</b>  <b>*The ONC Inquiry letter should have not been accepted at the Front Desk.</b>          The applicant received the letter on March 3, 2010 and as noted on the upper right corner - it states the following: <i>"The NA/HOA information listed in this letter is valid for one (1) month. IF you haven't filed your application with one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case."</i>   <b>The applicant submitted the application on April 5, 2010, two days after the ONC Inquiry Letter expired. Since there were NO CHANGES in neighborhood association contacts, the letter will be accepted. If there were contact changes then I would have requested the applicant to submit information again to obtain current contact information - swinklepleck/4-23-10</b></p>
<p><b>APS</b>          This will have no adverse impacts to the APS district.</p>
<p><b>POLICE DEPARTMENT</b>          See file for informational comments.</p>
<p><b>FIRE DEPARTMENT</b>          No comments.</p>
<p><b>PNM ELECTRIC &amp; GAS</b>          No comments.</p>
<p><b>COMCAST</b>          No comments.</p>

<p><b>QWEST</b> Concerning the subject case number(s), Qwest has no adverse comments at this time provided all utility easement rights are maintained. Prior to any final plat approval, we will need a copy for review.</p>
<p><b>ENVIRONMENTAL HEALTH</b> No comments.</p>
<p><b>M.R.G.C.D</b> No Adverse Comments.</p>
<p><b>OPEN SPACE DIVISION</b> No comments.</p>
<p><b>CITY ENGINEER</b> No adverse comments.</p>
<p><b>TRANSPORTATION DEVELOPMENT</b> Show all ramps and provide details. Provide recording information for all existing access easements. Call out the width of all drive aisles. Provide appropriate signing/stripping at the intersection of the one directional drive with the parking lot. Call out the width of all sidewalk.</p>
<p><b>PARKS AND RECREATION</b> No objection.</p>
<p><b>ABCWUA</b> ABCUA will require an infrastructure list for public water line items (fire hydrants, valves, etc.).</p>
<p><b>PLANNING DEPARTMENT</b> Previously approved site plan for building permit for this site (Project No. 1003572) needs to be officially withdrawn. A copy of the existing plat or other documents is needed to demonstrate access easements. Proposed site plan does not conform to IP setback (10' side) and landscaping requirements of the Zoning Code (6' buffer for side and rear) – the properties need to be replatted to a single lot, and/or variances would be required. Graphic scales need to be corrected. Parking is adequate, but the Parking Table needs to be corrected to accurately reflect Zoning Code requirements. Pedestrian walkway to street sidewalk connection is needed at least 6' wide Motorcycle spaces should be located in an area that is visible from the entrance of the building. Contact David Kilpatrick with Zoning Enforcement regarding compliance with Zoning Code comments.</p>

**IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING**

HEARINGS DATE 5/5/10 (BBB)





Supplemental Form (SF)

**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
  - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): Claudio Vigil Architects PHONE: 842.1113  
 ADDRESS: 1801 Rio Grande Blvd NW FAX: 842.1330  
 CITY: Albuquerque STATE NM ZIP 87104 E-MAIL: eavila@claudiovigilarchitects.com

APPLICANT: Brunacini Development LLC PHONE: \_\_\_\_\_  
 ADDRESS: PO Box 6363 FAX: \_\_\_\_\_  
 CITY: Albuquerque STATE NM ZIP 87197 E-MAIL: abrunacini@brunacini.com  
 Proprietary interest in site: OWNER List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: OFFICE Development Sketch Plat

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Tracts A.1.A, A.2.A, & A.3.A Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv/Addn/TBKA: Journal Center Phase 2  
 Existing Zoning: IP Proposed zoning: \_\_\_\_\_ MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): D-16-2, D-17-2 UPC Code: Tract A1A 101706310220830120  
Tract A2A 101706310320730428  
Tract A3A 101706310220830120

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc.):  
Drb-96-463, project # 1008265

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? \_\_\_\_\_ 4.733 Acres lot A.1.A  
 No. of existing lots: \_\_\_\_\_ No. of proposed lots: \_\_\_\_\_ Total site area (acres): 5.4 lots A.2.A & A.3.A  
 LOCATION OF PROPERTY BY STREETS: On or Near: Intersection of Snaprof & Rutledge.  
 Between: Snaprof and Rutledge Rd

Check if project was previously reviewed by Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: \_\_\_\_\_

SIGNATURE EAH DATE \_\_\_\_\_  
 (Print Name) Edward Avila Applicant  Agent

**FOR OFFICIAL USE ONLY**

Revised: 4/2012

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>14DRB -70183</u>	<u>SK</u>	_____	\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ <u>0</u>

Hearing date June 4, 2014

[Signature]  
 Staff signature & Date 5-27-14

Project # 1008265

**FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)**

**SKETCH PLAT REVIEW AND COMMENT (DRB22)**

**Maximum Size: 24" x 36"**

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)**

**Maximum Size: 24" x 36"**

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Completed Site Plan for Subdivision Checklist
- Infrastructure List, if relevant to the site plan
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)**

**(DRB17)**

**Maximum Size: 24" x 36"**

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
- Solid Waste Management Department signature on Site Plan
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist
- Copy of Site Plan with Fire Marshal's stamp
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

**AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**

**AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
- DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

**FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**

**FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
- Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
- Solid Waste Management Department signature on Site Plan for Building Permit
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
- Infrastructure List, if relevant to the site plan
- Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Edward Avila  
 Applicant name (print)  
[Signature] 5-27-14  
 Applicant signature / date



Form revised October 2007

- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
 14DRB - 70183

[Signature] 5-27-14  
 Planner signature / date  
 Project # 1008265



Supplemental Form (SF)

**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
  - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

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APPLICANT: Brunacini Development LLC PHONE: \_\_\_\_\_  
 ADDRESS: PO Box 6363 FAX: \_\_\_\_\_  
 CITY: Albuquerque STATE NM ZIP 87197 E-MAIL: abrunacini@brunacini.com

Proprietary interest in site: OWNER List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: OFFICE Development sketch Plat

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Tracts A-1-A, A-2-A, & A-3-A Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv/Addr/TBKA: Journal Center Phase 2  
 Existing Zoning: IP Proposed zoning: \_\_\_\_\_ MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): D-16-2, D-17-2 UPC Code: Tract A1A 101706310220830120  
Tract A2A 101706300320730428  
Tract A3A 101706310220830120

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_V\_S\_ etc.):  
Drb-96-463, project # 1008265

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? \_\_\_\_\_ 4.733 acres lot A-1-A  
 No. of existing lots: \_\_\_\_\_ No. of proposed lots: \_\_\_\_\_ Total site area (acres): 5.4 lots A-2-A & A-3-A  
 LOCATION OF PROPERTY BY STREETS: On or Near: Intersection of Snapiro & Rutledge  
 Between: Snapiro and Rutledge Rd

Check if project was previously reviewed by Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: \_\_\_\_\_

**SIGNATURE**

EAH DATE \_\_\_\_\_  
 (Print Name) Edward Avila Applicant  Agent

**FOR OFFICIAL USE ONLY**

	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> INTERNAL ROUTING				
<input checked="" type="checkbox"/> All checklists are complete	<u>14DRB-70163</u>	<u>SK</u>		<u>\$ 0</u>
<input checked="" type="checkbox"/> All fees have been collected				\$ _____
<input checked="" type="checkbox"/> All case #s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				Total
<input type="checkbox"/> F.H.D.P. fee rebate				\$ <u>0</u>

Hearing date June 4, 2014  
 Staff signature & Date 5-27-14 Project # 1008265

**FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)**

**SKETCH PLAT REVIEW AND COMMENT (DRB22)**

**Maximum Size: 24" x 36"**

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)**

**Maximum Size: 24" x 36"**

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
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- Infrastructure List, if relevant to the site plan
- Fee (see schedule)
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**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)**

**Maximum Size: 24" x 36"**

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
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- Copy of the document delegating approval authority to the DRB
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist
- Copy of Site Plan with Fire Marshal's stamp
- Fee (see schedule)
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Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

**AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)**

**Maximum Size: 24" x 36"**

**AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)**

**Maximum Size: 24" x 36"**

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
- DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
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- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- Fee (see schedule)
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Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

**FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**

**FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
- Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
- Solid Waste Management Department signature on Site Plan for Building Permit
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
- Infrastructure List, if relevant to the site plan
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Edward Avila  
 Applicant name (print)  
[Signature] 5-27-14  
 Applicant signature / date

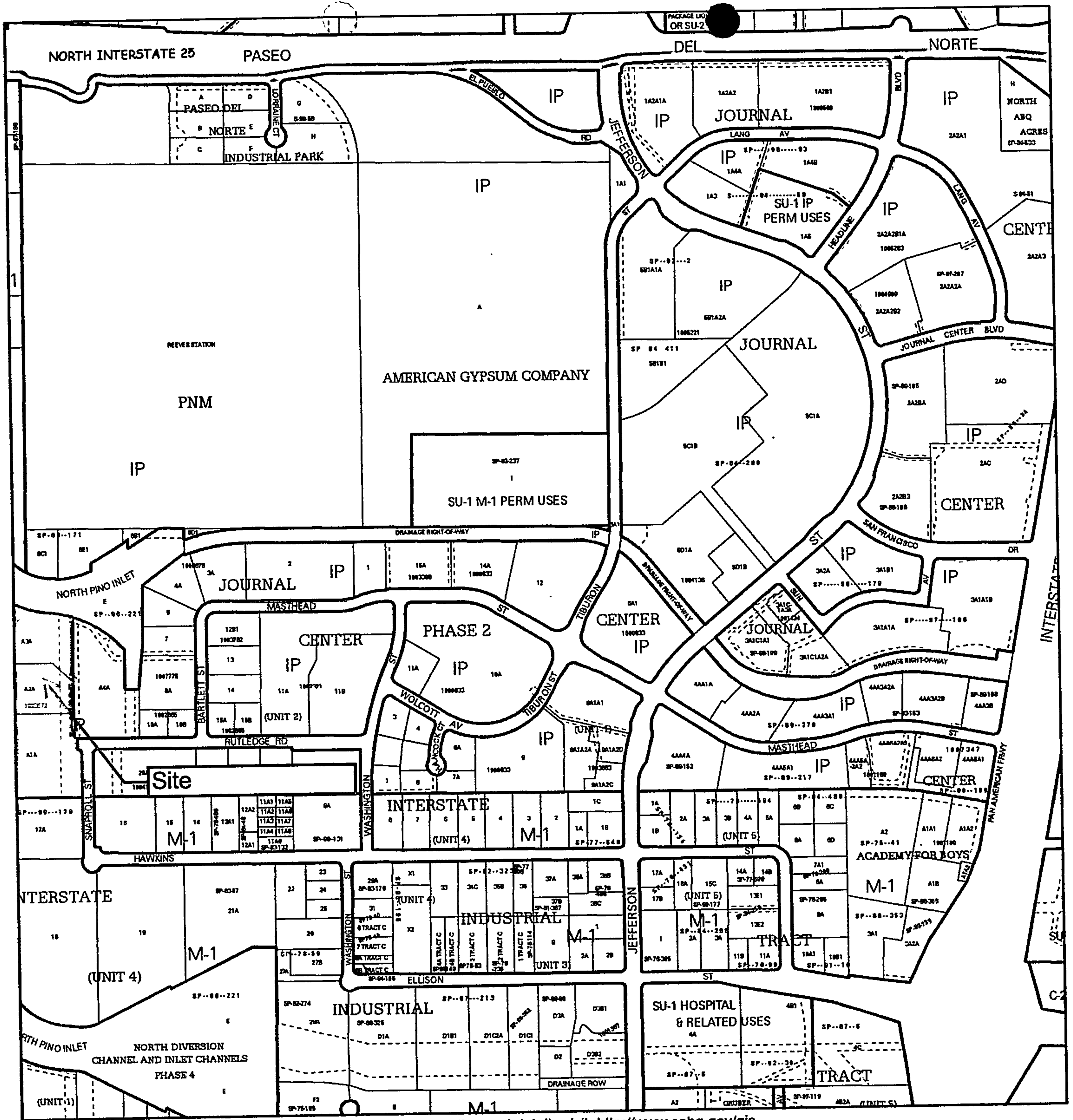


Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
 14DRB - 70183

[Signature] 5-27-14  
 Planner signature / date  
 Project # 1008265



For more current information and details visit: <http://www.cabq.gov/gis>

**AGIS**  
Albuquerque Geographic Information System

Note: Grey Shading Represents Area Outside of the City Limits

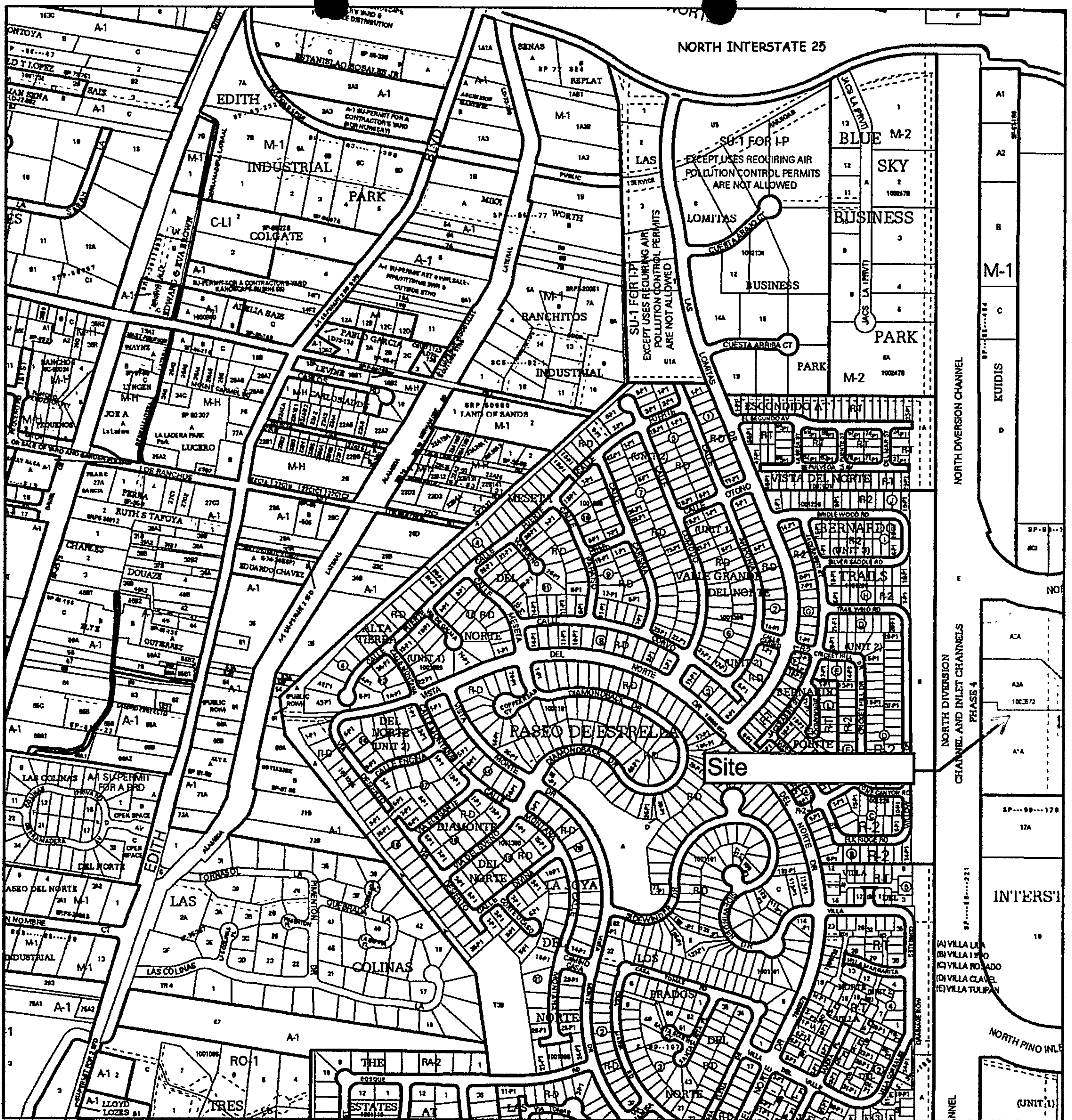
Zone Atlas Page:

**D-17-Z**

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

Map amended through: 6/7/2013



For more current information and details visit: <http://www.cabq.gov/gis>

**AGIS**  
Albuquerque Geographic Information System

Map amended through: 6/7/2013

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**D-16-Z**

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0 750 1,500 Feet



May 27, 2014

Mr. Jack Cloud, Chair  
Development Review Board  
City of Albuquerque  
600 Second Street NW  
Albuquerque, New Mexico 87103

RE: Office Development  
Sketch Plat

Dear Mr. Cloud and Board Members:

This is an application for a Sketch Plat for a Site Development Plan for Building Permit for an Office Development. This application includes modifications to existing parking on Lot A1A and the development of Lots A2A & A3A of the Journal Center Business Park, and will be located in the northwest corner of the existing development near Snaproll and Rutledge Rd N.E.

The proposed office building is a three story structure with a footprint of 36,168 sq.ft. and a total gross square feet of 108,504 sq.ft. on Lots A2A and A3A. The building will primarily be comprised of leasable office space. The building's main facade will be comprised of glass storefront systems, an entry canopy element, metal wall panels, and an exterior insulation finishing system. The building's exterior walls will have a palette of three neutral colors to create a cohesive appearance with adjacent building developments. The proposed exterior lighting shall be 25'-0" tall pole lights and building mounted light fixtures to illuminate the area around the building's perimeter. The landscape area shall be comprised of native plantings with gravel mulch, cobble stream beds, and concrete plaza areas consistent with the landscape previously established. The gross landscape area provided includes both on and off site planting beds which meet with the city's landscape requirement. As for the number of parking spaces, we have provided spaces as required by the City of Albuquerque Zoning Code including provisions for motorcycle spaces.

A separate Development Plan will be submitted to the Journal Center Corporation Architectural Review Committee for compliance review of the Park Development Standards.

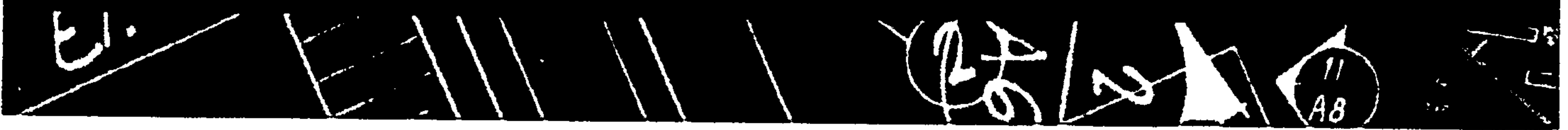
In closing, we respectfully extend our appreciation for your review and request your comments on this development and any improvements that may effect our development.

Sincerely,

Edward Avila,  
Project Manager, Claudio Vigil Architects  
Agent for Brunacini Development LLC

po box 6363  
albuquerque, nm 87197  
www.brunacini.com  
abrunacini@brunacini.com

ph (505)833-2928  
fax (505)833-2925



May 27, 2009

To: City of Albuquerque  
Planning Department

This letter is to authorize Claudio Vigil Architects to act on our behalf as our agent for submission to the DRB for Sketch Plat Review for a Site Development Plan for Building Permit

Sincerely,

Handwritten signature of Angelo Brunacini

Angelo Brunacini  
Brunacini Development Co, President



BRUNACINI  
DEVELOPMENT LTD. CO



June 4, 2014

SK



February 16, 2011

Mr. Jack Cloud, Chair  
Development Review Board  
City of Albuquerque  
600 Second Street NW  
Albuquerque, New Mexico 87103

RE: DRB Deferral  
Project #1008265  
100PR-70109 Major - Site Development Plan for Building Permit

Dear Mr. Cloud and Board Members:

We are requesting a Deferral of Project #1008265 to the May 4, 2011 hearing date. We have not resolved our drainage outfall to the North Diversion Channel with AMAFCA and are continuing to work towards a resolution.

In closing, we respectfully extend our appreciation for your time and consideration of our Deferral Request.

Sincerely,

Edward Avila,  
Project Manager, Claudio Vigil Architects  
Agent for Brunacini Development LLC



May 3, 2011

Mr. Jack Cloud, Chair  
Development Review Board  
City of Albuquerque  
600 Second Street NW  
Albuquerque, New Mexico 87103

RE: DRB Deferral  
Project #1008265  
10DRB-70109 Major – Site Development Plan for Building Permit

Dear Mr. Cloud and Board Members:

We are requesting a Deferral of Project #1008265 to the August 24, 2011 hearing date. We have not resolved our drainage outfall to the North Diversion Channel with AMAFCA and are continuing to work towards a resolution.

In closing, we respectfully extend our appreciation for your time and consideration of our Deferral Request.

Sincerely,

Edward Avila,  
Project Manager, Claudio Vigil Architects  
Agent for Brunacini Development LLC



August 19, 2011

Mr. Jack Cloud, Chair  
Development Review Board  
City of Albuquerque  
600 Second Street NW  
Albuquerque, New Mexico 87103

RE: DRB Deferral  
Project #1008265  
10DRB-70109 Major – Site Development Plan for Building Permit

Dear Mr. Cloud and Board Members:

We are requesting a Deferral of Project #1008265 to the November 16, 2011 hearing date. We have not resolved our drainage outfall to the North Diversion Channel with AMAFCA and are continuing to work towards a resolution.

In closing, we respectfully extend our appreciation for your time and consideration of our Deferral Request.

Sincerely,

A handwritten signature in black ink, appearing to read 'E Avila', written in a cursive style.

Edward Avila,  
Project Manager, Claudio Vigil Architects  
Agent for Brunacini Development LLC



May 28, 2010

Mr. Jack Cloud, Chair  
Development Review Board  
City of Albuquerque  
600 Second Street NW  
Albuquerque, New Mexico 87103

RE: DRB Deferral  
Project #1008265  
10DRB-70109 Major – Site Development Plan for Building Permit

Dear Mr. Cloud and Board Members:

We are requesting a Deferral of Project #1008265 to the August 25, 2010 hearing date. We are currently working towards a resolution with AMAFCA regarding the drainage outfall to the North Diversion Channel and a Variance Request Submittal to the office of the Zone Hearing Examiner.

In closing, we respectfully extend our appreciation for your review and consideration of our project.

Sincerely,

Edward Avila,  
Project Manager, Claudio Vigil Architects  
Agent for Brunacini Development LLC



May 20, 2010

Mr. Jack Cloud, Chair  
Development Review Board  
City of Albuquerque  
600 Second Street NW  
Albuquerque, New Mexico 87103

RE: Project Withdrawal  
Project #1003572  
Site Development Plan for Building Permit

Dear Mr. Cloud and Board Members:

We are requesting Project #1003572 be officially withdrawn for consideration for a Site Development Plan for Building Permit.

The subject site has been redesigned and re-submitted as Project #1008265 for Site Development Plan Building Permit.

Thank you and the Board Members once again for time spent and consideration of our projects.

Sincerely,

A handwritten signature in black ink, appearing to read 'E Avila', is written over the typed name.

Edward Avila,  
Project Manager, Claudio Vigil Architects  
Agent for Brunacini Development LLC



May 20, 2010

Mr. Jack Cloud, Chair  
Development Review Board  
City of Albuquerque  
600 Second Street NW  
Albuquerque, New Mexico 87103

RE: Indefinite Deferral  
Project #1008265  
10DRB-70109 Major – Site Development Plan for Building Permit

Dear Mr. Cloud and Board Members:

We are requesting an Indefinite Deferral of Project #1008265. We are currently working towards a resolution with AMAFCA regarding the drainage outfall to the North Diversion Channel and a Variance Request Submittal to the office of the Zone Hearing Examiner.

Once these items have been resolved we will once again make a request to your office for consideration of our project and request to be placed on the DRB Agenda.

In closing, we respectfully extend our appreciation for your review and consideration of our project.

Sincerely,

A handwritten signature in black ink, appearing to read 'E Avila', is written over a faint, illegible stamp or watermark.

Edward Avila,  
Project Manager, Claudio Vigil Architects  
Agent for Brunacini Development LLC



November 9, 2011

Mr. Jack Cloud, Chair  
Development Review Board  
City of Albuquerque  
600 Second Street NW  
Albuquerque, New Mexico 87103

RE: DRB Deferral  
Project #1008265  
10DRB-70109 Major – Site Development Plan for Building Permit

Dear Mr. Cloud and Board Members:

We regret to inform you that we have not resolved our drainage outfall to the North Diversion Channel with AMAFCA and will continue in our endeavors towards a resolution. Consequently, we must request a **Deferral of Project #1008265** to the January 25, 2012 hearing date.

In closing, we respectfully extend our appreciation for your time and consideration of our Deferral Request.

Sincerely,

Edward Avila  
Project Manager, Claudio Vigil Architects  
Agent for Brunacini Development LLC



PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO: 1008265

AGENDA ITEM NO: 1

SUBJECT:

SITE PLAN FOR BUILDING PERMIT

ENGINEERING COMMENTS:

Show all ramps and provide details.  
Provide recording information for all existing access easements.  
Call out the width of all drive aisles.  
Provide appropriate signing/stripping at the intersection of the one directional drive with the parking lot.  
Call out the width of all sidewalk.

RESOLUTION:

**01-25-12**

APPROVED \_\_\_; DENIED \_\_\_; DEFERRED X; COMMENTS PROVIDED \_\_\_; WITHDRAWN \_\_\_

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED:

Kristal D. Metro  
Transportation Development

505-924-3991

DATE: NOVEMBER 16, 2011

PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO: 1008265

AGENDA ITEM NO: 5

SUBJECT:

SITE PLAN FOR BUILDING PERMIT

ENGINEERING COMMENTS:

Show all ramps and provide details.

Provide recording information for all existing access easements.

Call out the width of all drive aisles.

Provide appropriate signing/striping at the intersection of the one directional drive with the parking lot.

Call out the width of all sidewalk.

RESOLUTION:

**11-16-11**

APPROVED \_\_; DENIED \_\_; DEFERRED X; COMMENTS PROVIDED \_\_; WITHDRAWN \_\_

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED:

Kristal D. Metro  
Transportation Development

505-924-3991

DATE: AUGUST 24, 2011

**City of Albuquerque Planning Department**  
**One Stop Shop – Development and Building Services**

04/05/2010 Issued By: PLNSDH 72557

**Permit Number: 2010 070 109** **Category Code 910**

**Application Number:** 10DRB-70109, Major - Sdp For Building Permit

**Address:**

**Location Description:** RUTLEDGE RD NE BETWEEN SNAPROLL NE

**Project Number:** 1008265

**Applicant**

Brunacini Development Llc

Po Box 6363  
Albuquerque NM 87197  
833-2928

**Agent / Contact**

Claudio Vigil Architiects

1801 Rio Grande Blvd Nw  
Albuquerque NM 87104  
842-1113

**Application Fees**

441018/4971000	Public Notification	\$75.00
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$385.00
<b>TOTAL:</b>		<b>\$480.00</b>

City Of Albuquerque  
Treasury Division

4/5/2010 11:45AM LOC: ANNX  
WS# 006 TRANS# 0014  
RECEIPT# 00118264-00118264  
PERMIT# 2010070109 TRSLJS  
Trans Amt \$480.00  
APN Fee \$75.00  
Conflict Manag. Fee \$20.00  
DRB Actions \$385.00  
CK \$480.00  
CHANGE \$0.00

Thank You

# CITY OF ALBUQUERQUE



## CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION DEVELOPMENT REVIEW BOARD MEMO

**DRB PROJECT NO: 1008265**

**AGENDA ITEM NO: 2**

**SUBJECT:**

Site Plan for Building Permit

**ENGINEERING COMMENTS:**

What is the status of the water quality pond with AMAFCA?

An Infrastructure List will be required to drain the site to the NDC.

Submit the most recent Grading and Drainage Plan. AMAFCA approval is required.

A Public Drainage Easement is required since this site accepts drainage from Public streets.

PO Box 1293

Albuquerque

**RESOLUTION/COMMENTS:**

NM 87103

[www.cabq.gov](http://www.cabq.gov)

**SIGNED:**

Curtis Cherne  
Hydrology Section  
City Engineer Designee  
AMAFCA Designee  
924-3986

**DATE: 1-25-12**

PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO: 1008265

AGENDA ITEM NO: 2

SUBJECT:

SITE PLAN FOR BUILDING PERMIT

ENGINEERING COMMENTS:

Show all ramps and provide details.  
Provide recording information for all existing access easements.  
Call out the width of all drive aisles.  
Provide appropriate signing/stripping at the intersection of the one directional drive with the parking lot.  
Call out the width of all sidewalk.

RESOLUTION:

**04-25-12**

APPROVED \_\_; DENIED \_\_; DEFERRED X; COMMENTS PROVIDED \_\_; WITHDRAWN \_\_

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED:

Kristal D. Metro  
Transportation Development 505-924-3991

DATE: JANUARY 25, 2012

PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO: 1008265

AGENDA ITEM NO: 3

SUBJECT:

SITE PLAN FOR BUILDING PERMIT

ENGINEERING COMMENTS:

Show all ramps and provide details.

Provide recording information for all existing access easements.

Call out the width of all drive aisles.

Provide appropriate signing/stripping at the intersection of the one directional drive with the parking lot.

Call out the width of all sidewalk.

*Disclaimer: The comments provided are based upon the information received from the applicant. If new or revised information is submitted, additional comments may be provided by Transportation Development.*

RESOLUTION:

APPROVED \_\_\_; DENIED \_\_\_; DEFERRED \_\_\_; COMMENTS PROVIDED \_\_\_; WITHDRAWN \_\_\_

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED:

Kristal D. Metro  
Transportation Development

505-924-3991

DATE: APRIL 25, 2012

**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT**

**HYDROLOGY DEVELOPMENT SECTION  
DEVELOPMENT REVIEW BOARD MEMO**

**DRB PROJECT NO: 1008265**

**AGENDA ITEM NO: 3**

**SUBJECT:**

Site Plan for Building Permit

**ENGINEERING COMMENTS:**

Hydrology has not received a new submittal.  
Please inform the board of the status of this project.

**RESOLUTION/COMMENTS:**

**SIGNED:**

Curtis Cherne  
Hydrology Section  
City Engineer Designee  
AMAFCA Designee  
924-3986

**DATE: 4-25-12**

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

### SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

### SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

### STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

### S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

### APPLICATION INFORMATION:

Professional/Agent (if any): Claudio Vigil Architects PHONE: 842-1113  
 ADDRESS: 1801 RIO GRANDE BLVD NW FAX: 842-1330  
 CITY: Albuquerque STATE NM ZIP 87104 E-MAIL: cavila@claudiovigilarchitects.com  
 APPLICANT: Brunacini Development LLC PHONE: 833-2928  
 ADDRESS: P.O. Box 6363 FAX: 833-2925  
 CITY: Albuquerque STATE NM ZIP 87197 E-MAIL: abrunacini@brunacini.com  
 Proprietary interest in site: owner List all owners: Angele Brunacini

### DESCRIPTION OF REQUEST:

Site development plan for Building Permit for office/warehouse

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

### SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. A-2-A & A-3-A plat of tracts A-1-A, A-2-A, A-3-A, A-4-A Block: 2 Unit: 2  
 Subdiv/Addn/TBKA: Journal Center, phase 2  
 Existing Zoning: IP Proposed zoning: IP MRGCD Map No D-16 & 17  
 Zone Atlas page(s): D16 & 17 UPC Code: LOT A-2-A 101706300320730428  
LOT A-3-A 101706300323630427

### CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.):  
1003572, DRB-96-463

### CASE INFORMATION:

Within city limits?  Yes Within 1000FT of a landfill?  NO 2.4 & 2.9  
 No. of existing lots: 2 No. of proposed lots: 2 Total area of site (acres): 5.3  
 LOCATION OF PROPERTY BY STREETS: On or Near: RUTLEDGE RD NE  
 Between: SNAPROV and RUTLEDGE  
 Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: N/A

### SIGNATURE

Edward Avila DATE 3.12.10  
 (Print) Applicant:  Agent:

### FOR OFFICIAL USE ONLY

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

12DRB-70109

Action

SBP  
ADV  
CMF

S.F.

P(2)

Fees

\$ 385.00  
 \$ 75.00  
 \$ 20.00  
 \$ \_\_\_\_\_  
 \$ \_\_\_\_\_  
 Total  
 \$ 480.00

Hearing date 05/05/10

Sandy Audley 04/05/10  
 Planner signature / date

Project # 1008265



**FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Subdivision Checklist
  - 6 copies of the Infrastructure List, if relevant to the site plan
  - TIS/AQIA Traffic Impact Study form with required signature
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- DRB hearings are approximately 30 DAYS after the filing deadline. Bring the original to the meeting.  
Your attendance is required.

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)** **Maximum Size: 24" x 36"**
- ~~NA~~ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - ~~NA~~ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
  - Solid Waste Management Department signature on Site Plan
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Building Permit Checklist
  - ~~NA~~ 6 copies of the Infrastructure List, if relevant to the site plan
  - TIS/AQIA Traffic Impact Study form with required signature
  - Copy of Site Plan with Fire Marshal's stamp
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. Bring the original to the meeting.  
Your attendance is required.

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - 6 copies of the Infrastructure List, if relevant to the site plan
  - TIS/AQIA Traffic Impact Study form with required signature
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. Bring the original to the meeting.  
Your attendance is required.

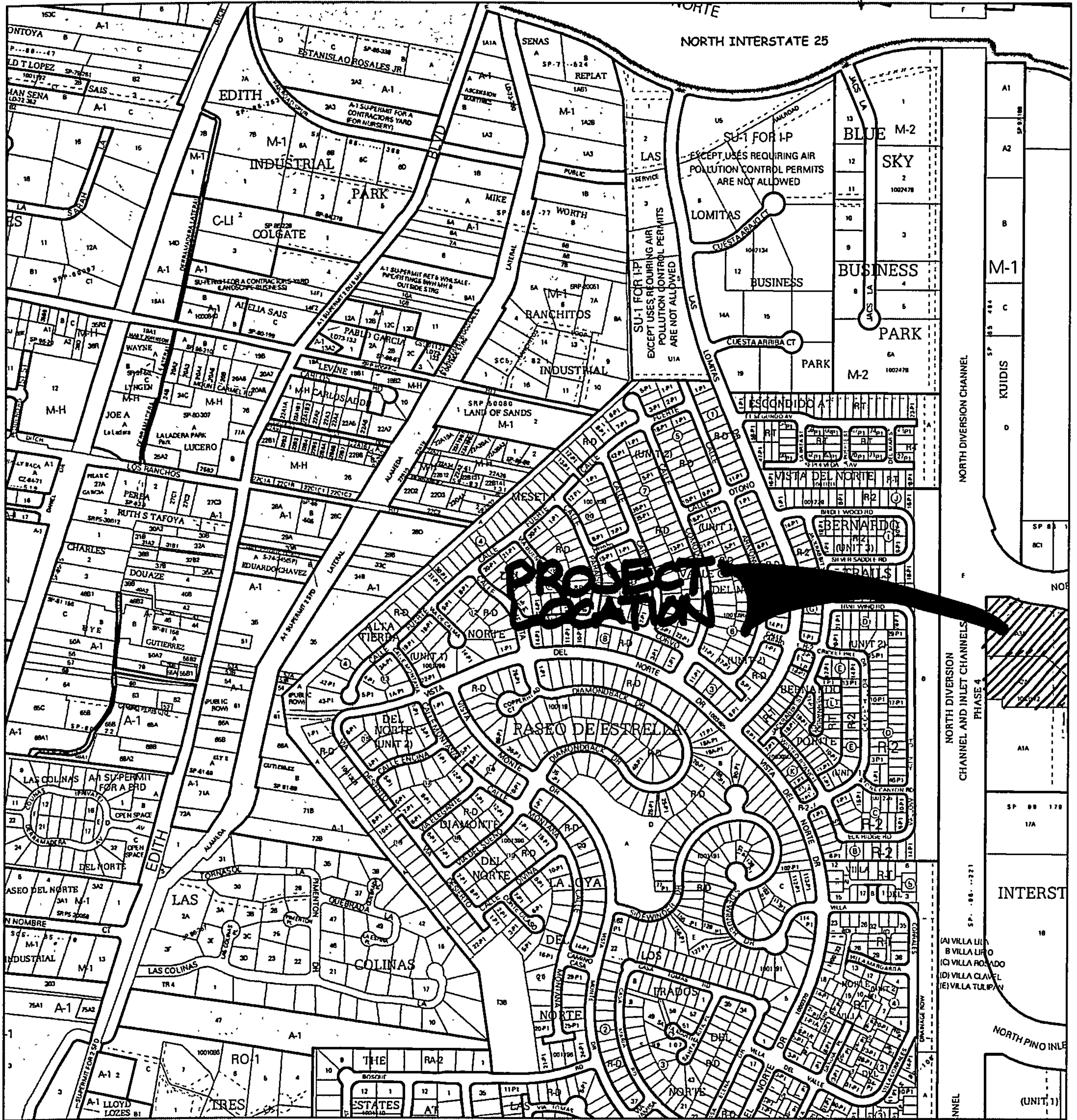
I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Edward Avila  
 Applicant name (print)  
[Signature] 3-12-10  
 Applicant signature / date



- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
 10DRB- \_\_\_\_\_ - 70109

Form revised, October 2007  
Sandy Handley 04/05/10  
 Planner signature / date  
 Project # 1008265



For more current information and more details visit: <http://www.cabq.gov/gis>

**AGIS**  
Albuquerque Geographic Information System

Note: Grey Shading Represents Area Outside of the City Limits

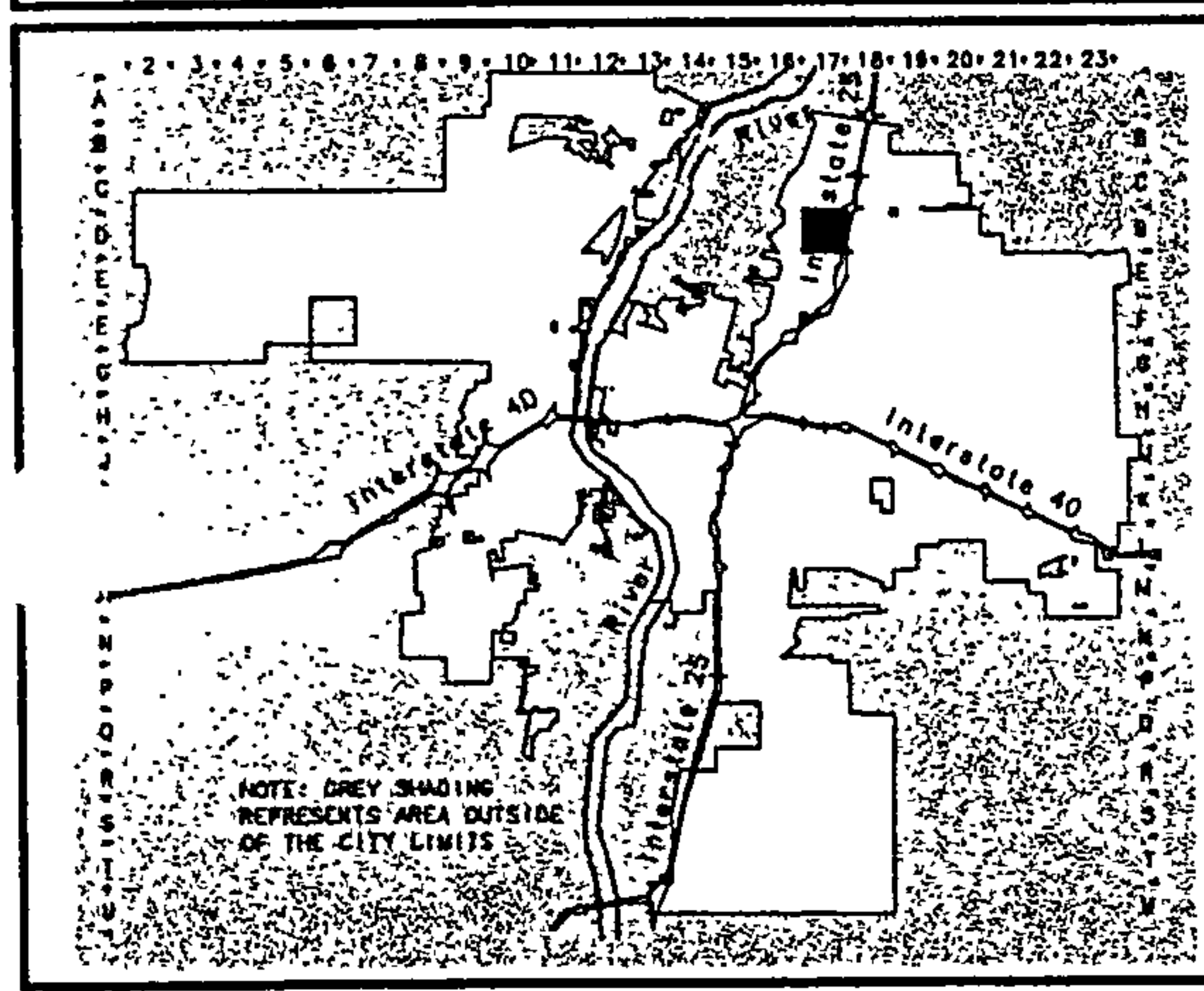
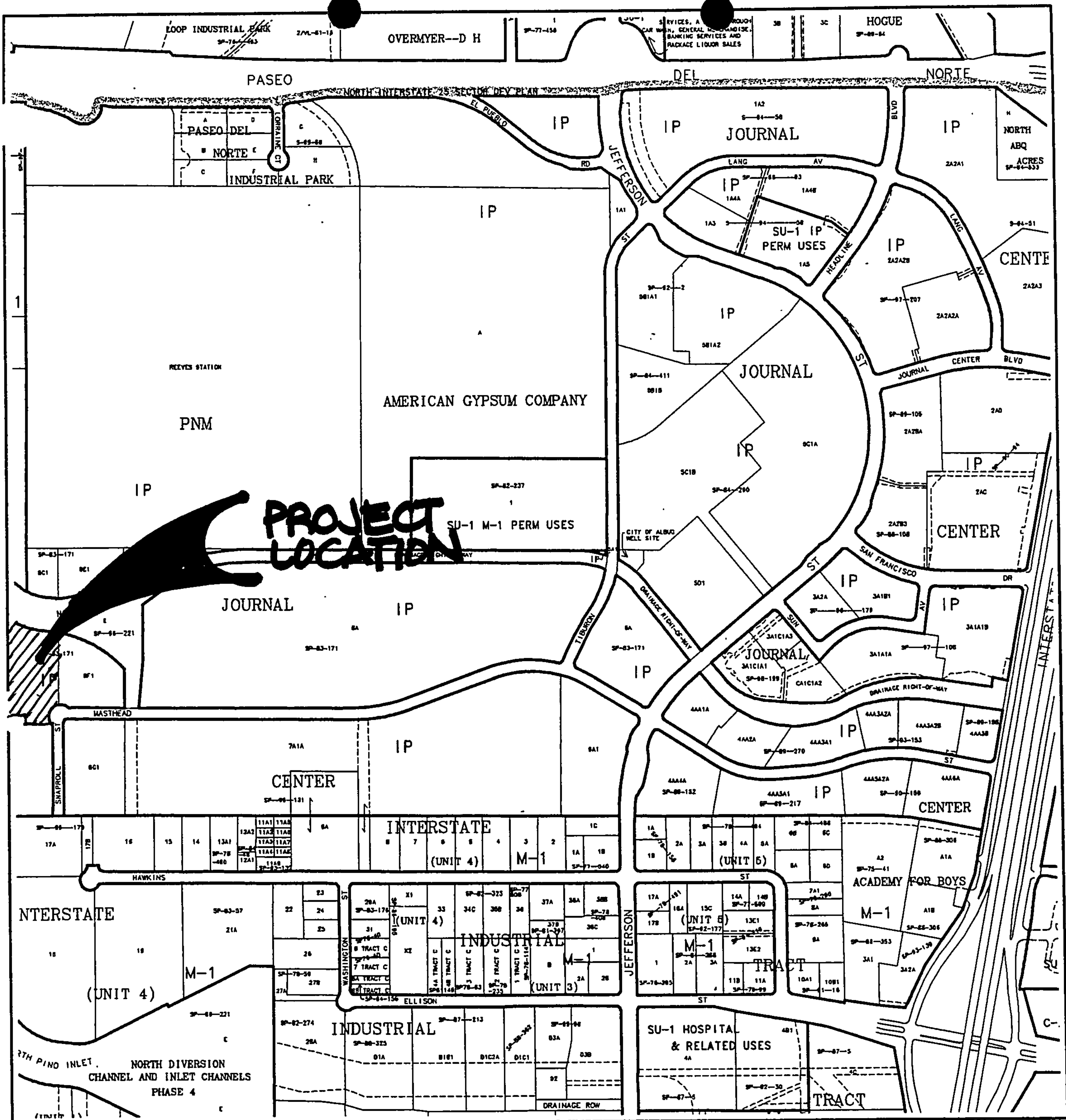
Zone Atlas Page:  
**D-16-Z**

Selected Symbols

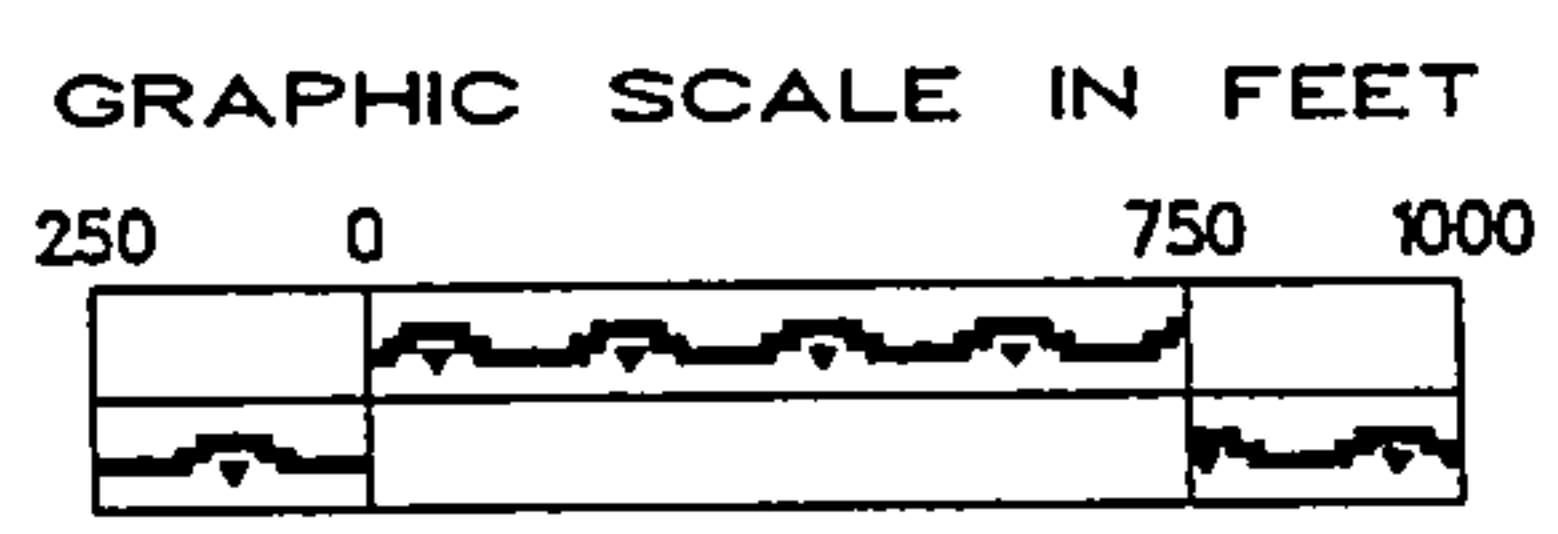
SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

Map amended through: 6/5/2009



CITY OF  
Albuquerque  
Geographic Information System  
PLANNING DEPARTMENT  
© Copyright 2000



Zone Atlas Page

**D-17-Z**

Map Amended through July 27, 2000



March 12, 2010

Mr. Jack Cloud, Chair  
Development Review Board  
City of Albuquerque  
600 Second Street NW  
Albuquerque, New Mexico 87103

RE: Office/Warehouse Development  
Site Development Plan for Building Permit

Dear Mr. Cloud and Board Members:

This is an application for Site Development Plan for Building Permit for an Office/Warehouse Development. This facility includes the development of Lots A2A & A3A of the Journal Center Business Park, and will be located in the northwest corner of the existing development near Snaproll and Rutledge Rd N.E.

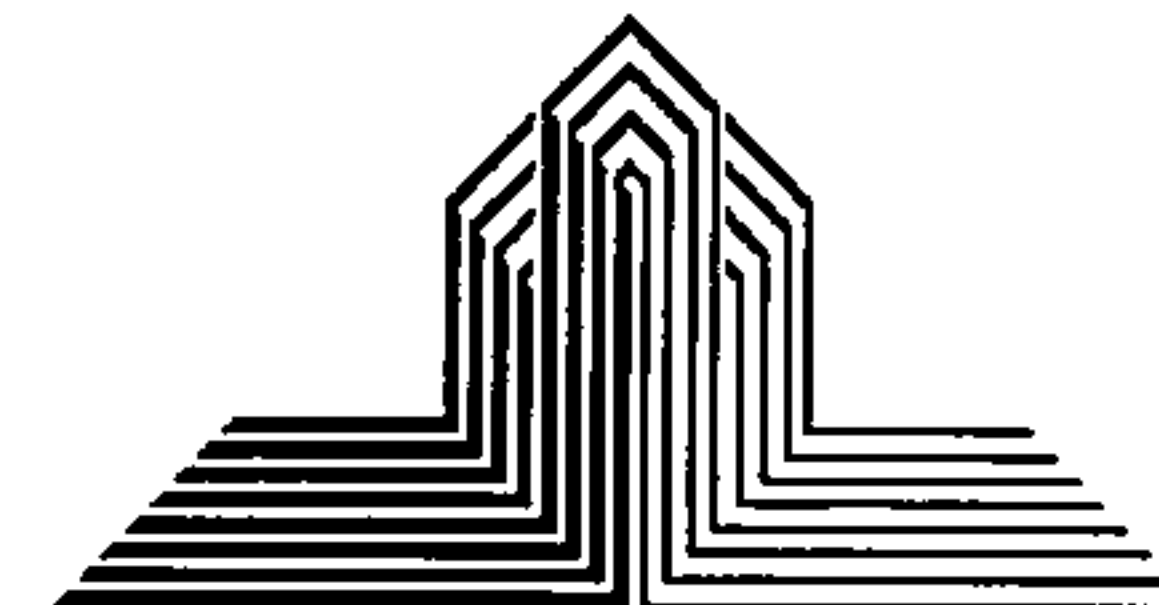
The facility is a one story structure with a footprint of 29,221 sq.ft. for Lot A2A and 32,307 sq.ft. for Lot A3A. The buildings will primarily be comprised of warehouse space with some office function and include service areas for the delivery and shipment of packaged goods. The building's main facade will be comprised of glass storefront systems, a steel entry canopy element, metal wall panels at feature walls, and painted concrete tilt-up wall panels. The building's exterior walls will have a palette of three neutral colors to create a cohesive appearance with adjacent building developments. The steel entry canopies will be painted. The exterior lighting as proposed shall be 25'-0" tall pole lights and building mounted light fixtures to illuminate the area around the building's perimeter. The landscape area shall be comprised of native plantings with gravel mulch, cobble stream beds, and concrete plaza areas consistent with the landscape previously established. The gross landscape area provided includes both on and off site planting beds which meet with the city's landscape requirement. As for the number of parking spaces, we have provided spaces as required by the City of Albuquerque Zoning Code including provisions for motorcycle spaces.

A separate Development Plan has been submitted to the Journal Center Corporation Architectural Review Committee for compliance review of the Park Development Standards.

In closing, we respectfully extend our appreciation for your review and request your approval for this development which we feel confidently will continue to add to the vitality of the area, and add jobs and commerce.

Sincerely,

Edward Avila,  
Project Manager, Claudio Vigil Architects  
Agent for Brunacini Development LLC



March 31, 2010

Mr. Jack Cloud  
Planning Department  
City of Albuquerque  
600 2<sup>nd</sup> Plaza del Sol N.W.  
Albuquerque, NM 87102

Re: Lots A2A & A3A, Journal Center Phase II

Dear Mr. Cloud:

The Journal Center Architectural Review Committee has reviewed and approved the site plan; design/building/landscape plans for the referenced project.

If you should have any questions, please do not hesitate to give me a call.

Sincerely,

Michael N. Callahan  
Vice President  
Director of Operations

Cc: Edward Avila, Project Manager  
Claudio Vigil Architects

MNC/jk

er

**IP Site Plan Approval.**

This IP site plan was approved by the Environmental Planning Commission (EPC) on August 16, 1980. The associated parcels were zoned and annexed to the City of Albuquerque based upon recommendations by the EPC rendered at the same meeting (AX-79-13, 2-79-80-2).

The subject site plan is intended to define the major public infrastructure elements of the plan as required by the IP zone. The building placement on this plan is shown for illustration purposes only and shall not dictate the pattern of future development plans.

Subsequent site development plans within the boundaries of this site plan shall conform with the major public infrastructure elements of this plan and with the requirements of the IP zone. ~~Site development plan approval shall be accomplished by the Development Review Board (DRB). The following note shall appear on each approved site development plan, along with the signatures of the DRB members:~~

**Site Development Plan Approval**

This plan is consistent with the concepts of the original Journal Center Site Plan approved by the Environmental Planning Commission on August 16, 1980 (AX-79-13, 2-79-80-2) and the IP zone.

It conforms with the comments rendered by the Development Review Board on \_\_\_\_\_, 198\_\_, as reflected in DRB \_\_\_\_\_.

\_\_\_\_\_  
Planning Director      Date

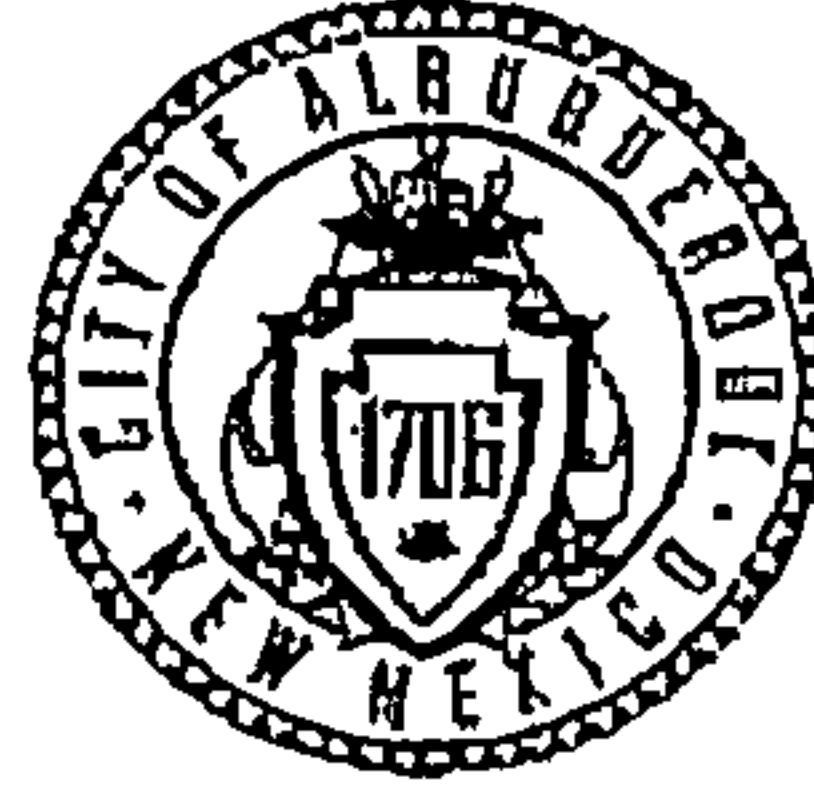
*Candaria 10/17/00*  
Date  
Recreation

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**NOTE:**

PUBLIC ADVERTISING WILL BE REQUIRED FOR THE D.R.B. MEETING AT WHICH SITE SPECIFIC PLANS ARE TO BE REVIEWED AND APPROVED. MAJOR DEVIATIONS FROM THIS PLAN WILL REQUIRE APPROVAL BY THE E.P.C. AT AN ADVERTISED PUBLIC MEETING.

*[Signature]*  
\_\_\_\_\_  
Assistant City Planner



## City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

March 3, 2010

Ed Avila  
 Claudio Vigil Architects  
 1801 Rio Grande Blvd. NW/87104  
 Phone: 505-842-1113/Fax: 505-842-1330

Dear Ed:

Thank you for your inquiry of March 3, 2010 requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **(DRB SUBMITTAL) - TRACTS A-2-A AND A-3-A, PLAT OF TRACTS A-1-A, A-2-A, A-3-A, A-4-A, JOURNAL CENTER, PHASE 2, UNIT 2, LOCATED ON SNAPROLL NE, BETWEEN SNAPROLL NE AND RUTLEDGE ROAD NE** zone map **D-16-17**.

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

### VISTA DEL NORTE ALLIANCE "R"

Rod Crawley, 7331 Sidewinder Dr. NE/87113 350-0847 (c)  
 Richard Hix, 905 Bosque NE/87113 250-1655 (c)

### ALAMEDA NORTH VALLEY ASSN. "R"

Steve Wentworth, 8919 Boe Ln. NE/87113-2328 897-3052 (h)  
 David Lindner, 10407 4<sup>th</sup> St. NW/87114 898-4465 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov) or by fax at (505) 924-3913.

Sincerely,

**Stephani J. Winklepleck**

Stephani I. Winklepleck  
 Neighborhood Liaison  
 OFFICE OF NEIGHBORHOOD COORDINATION  
 Planning Department  
 CITY OF ALBUQUERQUE

**PLEASE NOTE:** The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

**LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATION.**



March 12, 2010

Mr. Richard Hix  
Neighborhood Association Representative  
Vista Del Norte Alliance  
905 Bosque NE  
Albuquerque, New Mexico 87113

RE: Office/Warehouse Development  
Site Development Plan for Building Permit

Dear Mr. Hix

This letter is to inform you that an application for Site Development Plan for Building Permit will be submitted to the City of Albuquerque Planning Department for review and consideration for approval. The application will be submitted on or about March 12, 2010.

This application is for a Site Development Plan for Building Permit for an Office/Warehouse Development. This facility includes the development of Lots A2A & A3A of the Journal Center Business Park, and will be located in the northwest corner of the existing development near Snaproll and Rutledge Rd N.E.

The facility is a one story structure with a footprint of 29,221 sq.ft. for Lot A2A and 32,307 sq.ft. for Lot A3A. The buildings will primarily be comprised of warehouse space with some office function and include service areas for the delivery and shipment of packaged goods. The building's main facade will be comprised of glass storefront systems, a steel entry canopy element, metal wall panels at feature walls, and painted concrete tilt-up wall panels. The building's exterior walls will have a palette of three neutral colors to create a cohesive appearance with adjacent building developments. The steel entry canopies will be painted. The exterior lighting as proposed shall be 25'-0" tall pole lights and building mounted light fixtures to illuminate the area around the building's perimeter. The landscape area shall be comprised of native plantings with gravel mulch, cobble stream beds, and concrete plaza areas consistent with the landscape previously established. The gross landscape area provided includes both on and off site planting beds which meet with the city's landscape requirement. As for the number of parking spaces, we have provided spaces as required by the City of Albuquerque Zoning Code including provisions for motorcycle spaces.

A separate Development Plan has been submitted to the Journal Center Corporation Architectural Review Committee for compliance review of the Park Development Standards.

If you have any questions about this proposal, please call me at 842-1113. This application can be reviewed at the City Planning Department offices in Downtown Albuquerque at the Plaza del Sol building, located at 600 2<sup>nd</sup> Street NW.

Sincerely,

Edward Avila,  
Project Manager, Claudio Vigil Architects  
Agent for Brunacini Development LLC





March 12, 2010

Mr. Rod Crawley  
Neighborhood Association Representative  
Vista Del Norte Alliance  
7331 Sidewinder Dr. NE  
Albuquerque, New Mexico 87113

RE: Office/Warehouse Development  
Site Development Plan for Building Permit

Dear Mr. Crawley

This letter is to inform you that an application for Site Development Plan for Building Permit will be submitted to the City of Albuquerque Planning Department for review and consideration for approval. The application will be submitted on or about March 12, 2010.

This application is for a Site Development Plan for Building Permit for an Office/Warehouse Development. This facility includes the development of Lots A2A & A3A of the Journal Center Business Park, and will be located in the northwest corner of the existing development near Snaproll and Rutledge Rd N.E.

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If you have any questions about this proposal, please call me at 842-1113. This application can be reviewed at the City Planning Department offices in Downtown Albuquerque at the Plaza del Sol building, located at 600 2<sup>nd</sup> Street NW.

Sincerely,

Edward Avila,  
Project Manager, Claudio Vigil Architects  
Agent for Brunacini Development LLC



March 12, 2010

Mr. Steve Wentworth  
Neighborhood Association Representative  
Alameda North Valley Association  
8919 Boe Ln. NE  
Albuquerque, New Mexico 87113

RE: Office/Warehouse Development  
Site Development Plan for Building Permit

Dear Mr. Wentworth

This letter is to inform you that an application for Site Development Plan for Building Permit will be submitted to the City of Albuquerque Planning Department for review and consideration for approval. The application will be submitted on or about March 12, 2010.

This application is for a Site Development Plan for Building Permit for an Office/Warehouse Development. This facility includes the development of Lots A2A & A3A of the Journal Center Business Park, and will be located in the northwest corner of the existing development near Snaproll and Rutledge Rd N.E.

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A separate Development Plan has been submitted to the Journal Center Corporation Architectural Review Committee for compliance review of the Park Development Standards.

If you have any questions about this proposal, please call me at 842-1113. This application can be reviewed at the City Planning Department offices in Downtown Albuquerque at the Plaza del Sol building, located at 600 2<sup>nd</sup> Street NW.

Sincerely

Edward Avila,  
Project Manager, Claudio Vigil Architects  
Agent for Brunacini Development LLC



March 12, 2010

Mr. David Lindner  
Neighborhood Association Representative  
Alameda North Valley Association  
10407 4<sup>th</sup> St. NW  
Albuquerque, New Mexico 87114

RE: Office/Warehouse Development  
Site Development Plan for Building Permit

Dear Mr. Linder

This letter is to inform you that an application for Site Development Plan for Building Permit will be submitted to the City of Albuquerque Planning Department for review and consideration for approval. The application will be submitted on or about March 12, 2010.

This application is for a Site Development Plan for Building Permit for an Office/Warehouse Development. This facility includes the development of Lots A2A & A3A of the Journal Center Business Park, and will be located in the northwest corner of the existing development near Snaproll and Rutledge Rd N.E.

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A separate Development Plan has been submitted to the Journal Center Corporation Architectural Review Committee for compliance review of the Park Development Standards.

If you have any questions about this proposal, please call me at 842-1113. This application can be reviewed at the City Planning Department offices in Downtown Albuquerque at the Plaza del Sol building, located at 600 2<sup>nd</sup> Street NW.

Sincerely,

Edward Avila,  
Project Manager, Claudio Vigil Architects  
Agent for Brunacini Development LLC

7009 2820 0003 7189 4703

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 City, State, ZIP+4: ALB NM 87113

PS Form 3800, August 2006 See Reverse for Instructions

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Total Postage & Fees	\$ 5.54

Stamp: ALBUQUERQUE NM OLD ALB STA 11 2010

Sent to: Richard Hix  
 Street, Apt. No. or PO Box No.: 905 Bogue NE  
 City, State, ZIP+4: ALB NM 87113

PS Form 3800, August 2006 See Reverse for Instructions

7009 2820 0003 7189 3775

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Total Postage & Fees	\$ 5.54

Stamp: ALBUQUERQUE NM OLD ALB STA 11 2010

Sent to: Rod Crawley  
 Street, Apt. No. or PO Box No.: 7331 Sidwinder Drive  
 City, State, ZIP+4: ALB NM 87113

PS Form 3800, August 2006 See Reverse for Instructions

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Stamp: ALBUQUERQUE NM OLD ALB STA 11 2010

Sent to: David Lindner  
 Street, Apt. No. or PO Box No.: 10407 4th St NW  
 City, State, ZIP+4: ALB NM 87114

PS Form 3800, August 2006 See Reverse for Instructions

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 3401500104-0098  
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 Zone-1 First-Class Letter  
 0.50 oz.  
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 Certified \$2.80  
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Issue PVI: \$5.54

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 Zone-1 First-Class Letter  
 0.50 oz.  
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 Certified \$2.80  
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Issue PVI: \$5.54

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 0.50 oz.  
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 Certified \$2.80  
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=====

Issue PVI: \$5.54

Total: \$22.16

Paid by:  
 VISA \$22.16  
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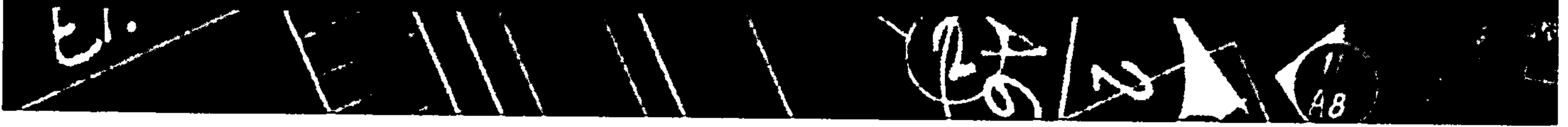
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www.brunacini.com  
abrunacini@brunacini.com

ph (505)833-2928  
fax (505)833-2925



February 26, 2009

To: City of Albuquerque  
Planning Department

This letter is to authorize Claudio Vigil Architects to act on our behalf as our agent for submission to the DRB for a Site Development Plan for Building Permit

Sincerely,

Angelo Brunacini  
Brunacini Development LLC, Manager



BRUNACINI  
DEVELOPMENT LLC CO

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

*I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.*

*EAib*

*3-12-10*

\_\_\_\_\_  
Applicant or Agent Signature / Date

**NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".**

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**
6. **Previously approved Development Plan** (if applicable)

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

**Accompanying Material**

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

## SHEET #1 - SITE PLAN

### A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less      1" = 10'  
    1.0 - 5.0 acres              1" = 20'  
    Over 5 acres                      1" = 50'  
    Over 20 acres                    1" = 100'                      [Other scales as approved by staff]
- 3. Bar scale
- 4. North arrow
- 5. Scaled vicinity map
- 6. Property lines (clearly identify)
- 7. Existing and proposed easements (identify each)
- 8. Phases of development including location and square footages of structures, circulation, parking and landscaping

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

## B. Proposed Development (If supplemental Sheets are used please indicate sheet #)

### 1. Structural

- A. Location of existing & proposed structures (distinguish between existing & proposed, include phasing)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Site amenities including patios, benches, tables, (indicating square footage of patios/ plazas).  
*EXISTING*

### 2. Parking and Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
  - 1. **Location and typical dimensions**, including handicapped spaces  
*LOTA2A 49*
  - 2. **Calculations:** spaces required: *LOTA2A 43* provided: *68*  

Handicapped spaces (included in required total)	required: <i>LOTA2A 3</i>	provided: <i>4</i>
Motorcycle spaces (in addition to required total)	required: <i>LOTA2A 4</i>	provided: <i>4</i>
- B. Bicycle parking & facilities
  - 1. Bicycle racks, spaces required: *1* provided: *1 (per lot)*
  - 2. Bikeways and other bicycle facilities, if applicable  
*LOTA2A 2*  
*LOTA3A 3*  
*2*  
*3*
- C. Public Transit
  - 1. Bus facilities, including routes, bays and shelters existing or required
- D. Pedestrian Circulation
  - 1. Location and dimensions of all sidewalks and pedestrian paths
  - 2. Location and dimension of drive aisle crossings, including paving treatment
- E. Vehicular Circulation (Refer to Chapter 23 of DPM)
  - 1. Ingress and egress locations, including width and curve radii dimensions
  - 2. Drive aisle locations, including width and curve radii dimensions
  - 3. End aisle locations, including width and curve radii dimensions
  - 4. Location & orientation of refuse enclosure, with dimensions
  - 5. Curb cut locations and dimensions
  - 6. Existing and proposed street widths, right-of-way widths and curve radii
  - 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions  
*N/A*
  - 8. Location of traffic signs and signals related to the functioning of the proposal  
*N/A*
  - 9. Identify existing and proposed medians and median cuts  
*N/A*

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

## 3. Phasing

- N/A A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

## SHEET #2 LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
  - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
  - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
  - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
  - A. Existing, indicating whether it is to preserved or removed.
  - B. Proposed, to be established for general landscaping.
  - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Backflow prevention detail
- 10. Planting Beds, indicating square footage of each bed
- 11. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 12. Responsibility for Maintenance (statement)
- 13. Statement of compliance with Water Conservation Ordinance, see article 6-1-1-1.
- 14. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 15. Landscaped area provided; square footage and percent (specify clearly on plan)
- 16. Planting or tree well detail
- 17. Street Tree Plan as defined in the Street Tree Ord.

## SHEET # 3 PRELIMINARY GRADING PLAN

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1 with written approval from the Planning Department Staff.

### A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements



# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

- 6. Building footprints
- 7. Location of Retaining walls

## B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas
- 4. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

## SHEET #4 UTILITY PLAN

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

## SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

### A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
  - 1. Identify facade orientation (north, south, east, & west).
  - 2. Facade dimensions including overall height and width
  - 3. Location, dimensions, materials, and colors of principle façade elements- windows, doors, etc.
  - 4. For EPC and DRB submittals only – Color renderings or similar (12 copies) illustrations
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

### B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

#### 1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

#### 2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

#### 3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

#### 4. TIME

Signs must be posted from APRIL 20, 2010 to MAY 5, 2010

#### 5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Michael B. Dora  
(Applicant or Agent)

4-5-2010  
(Date)

I issued 3 signs for this application, 04/05/10 Sandy Handley  
(Date) (Staff Member)

DRB PROJECT NUMBER: 1008265

7009 2820 0003 7189 4703

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For delivery information visit our website at [www.usps.com](http://www.usps.com)

ALBUQUERQUE NM 87113 **OFFICIAL USE**

Postage	\$	\$0.44
Certified Fee		\$2.80
Return Receipt Fee (Endorsement Required)		\$2.30
Restricted Delivery Fee (Endorsement Required)		\$0.00
Total Postage & Fees	\$	\$5.54

0104  
 ALBUQUERQUE NM OLD ALB STA 87104  
 MAR 11 2010  
 Postmark Here  
 USPS 2010

Sent To Steve Wentworth  
 Street, Apt. No., or PO Box No. 8919 Bop Ln. NE  
 City, State, ZIP+4 ALB NM 87113

PS Form 3800, August 2006 See Reverse for Instructions

7009 2820 0003 7189 4697

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Certified Fee		\$2.80
Return Receipt Fee (Endorsement Required)		\$2.30
Restricted Delivery Fee (Endorsement Required)		\$0.00
Total Postage & Fees	\$	\$5.54

0104  
 ALBUQUERQUE NM OLD ALB STA 87104  
 MAR 11 2010  
 Postmark Here  
 USPS 2010

Sent To Richard Hix  
 Street, Apt. No., or PO Box No. 905 Bogue NE  
 City, State, ZIP+4 ALB NM 87113

PS Form 3800, August 2006 See Reverse for Instructions

7009 2820 0003 7189 3775

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ALBUQUERQUE NM 87113 **OFFICIAL USE**

Postage	\$	\$0.44
Certified Fee		\$2.80
Return Receipt Fee (Endorsement Required)		\$2.30
Restricted Delivery Fee (Endorsement Required)		\$0.00
Total Postage & Fees	\$	\$5.54

0104  
 ALBUQUERQUE NM OLD ALB STA 87104  
 MAR 11 2010  
 Postmark Here  
 USPS 2010

Sent To Bod Crawley  
 Street, Apt. No., or PO Box No. 7331 Sidwinder Drive  
 City, State, ZIP+4 ALB NM 87113

PS Form 3800, August 2006 See Reverse for Instructions

7009 2820 0003 7189 3751

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For delivery information visit our website at [www.usps.com](http://www.usps.com)

ALBUQUERQUE NM 87114 **OFFICIAL USE**

Postage	\$	\$0.44
Certified Fee		\$2.80
Return Receipt Fee (Endorsement Required)		\$2.30
Restricted Delivery Fee (Endorsement Required)		\$0.00
Total Postage & Fees	\$	\$5.54

0104  
 ALBUQUERQUE NM OLD ALB STA 87104  
 MAR 11 2010  
 Postmark Here  
 USPS 2010

Sent To David Lindner  
 Street, Apt. No., or PO Box No. 10407 4th St NW  
 City, State, ZIP+4 ALB NM 87114

PS Form 3800, August 2006 See Reverse for Instructions

=====

OLD ALBUQUERQUE STATION  
 ALBUQUERQUE, New Mexico  
 871049998  
 3401500104-0098  
 03/11/2010 (800)275-8777 02:35:37 PM

=====

=====

Sales Receipt

Product Description	Sale Unit Qty	Price	Final Price
ALBUQUERQUE NM 87114			\$0.44
Zone-1 First-Class Letter			
0.50 oz.			
Return Rcpt (Green Card)			\$2.30
Certified			\$2.80
Label #:	70092820000371893751		
Issue PVI:			\$5.54

=====

ALBUQUERQUE NM 87113  
 Zone-1 First-Class Letter  
 0.50 oz.  
 Return Rcpt (Green Card)  
 Certified  
 Label #: 70092820000371893775

Issue PVI: \$5.54

=====

ALBUQUERQUE NM 87113  
 Zone-1 First-Class Letter  
 0.50 oz.  
 Return Rcpt (Green Card)  
 Certified  
 Label #: 70092820000371894697

Issue PVI: \$5.54

=====

ALBUQUERQUE NM 87113  
 Zone-1 First-Class Letter  
 0.50 oz.  
 Return Rcpt (Green Card)  
 Certified  
 Label #: 70092820000371894703

Issue PVI: \$5.54

=====

Total: \$22.16

Paid by: VISA \$22.16  
 Account #: XXXXXXXXXXXX6969  
 Approval #: 05736D  
 Transaction #: 802  
 23902810076

Order stamps at [USPS.com/shop](http://USPS.com/shop) or call 1-800-Stamp24. Go to [USPS.com/clicknship](http://USPS.com/clicknship) to print shipping labels with postage. For other information call 1-800-ASK-USPS.

\*\*\*\*\*  
 \*\*\*\*\*  
 Get your mail when and where you want it with a secure Post Office Box. Sign up for a box online at [usps.com/poboxes](http://usps.com/poboxes).  
 \*\*\*\*\*  
 \*\*\*\*\*

Bill#:1000201184107  
 Clerk:05

All sales final on stamps and postage  
 Refunds for guaranteed services only  
 Thank you for your business

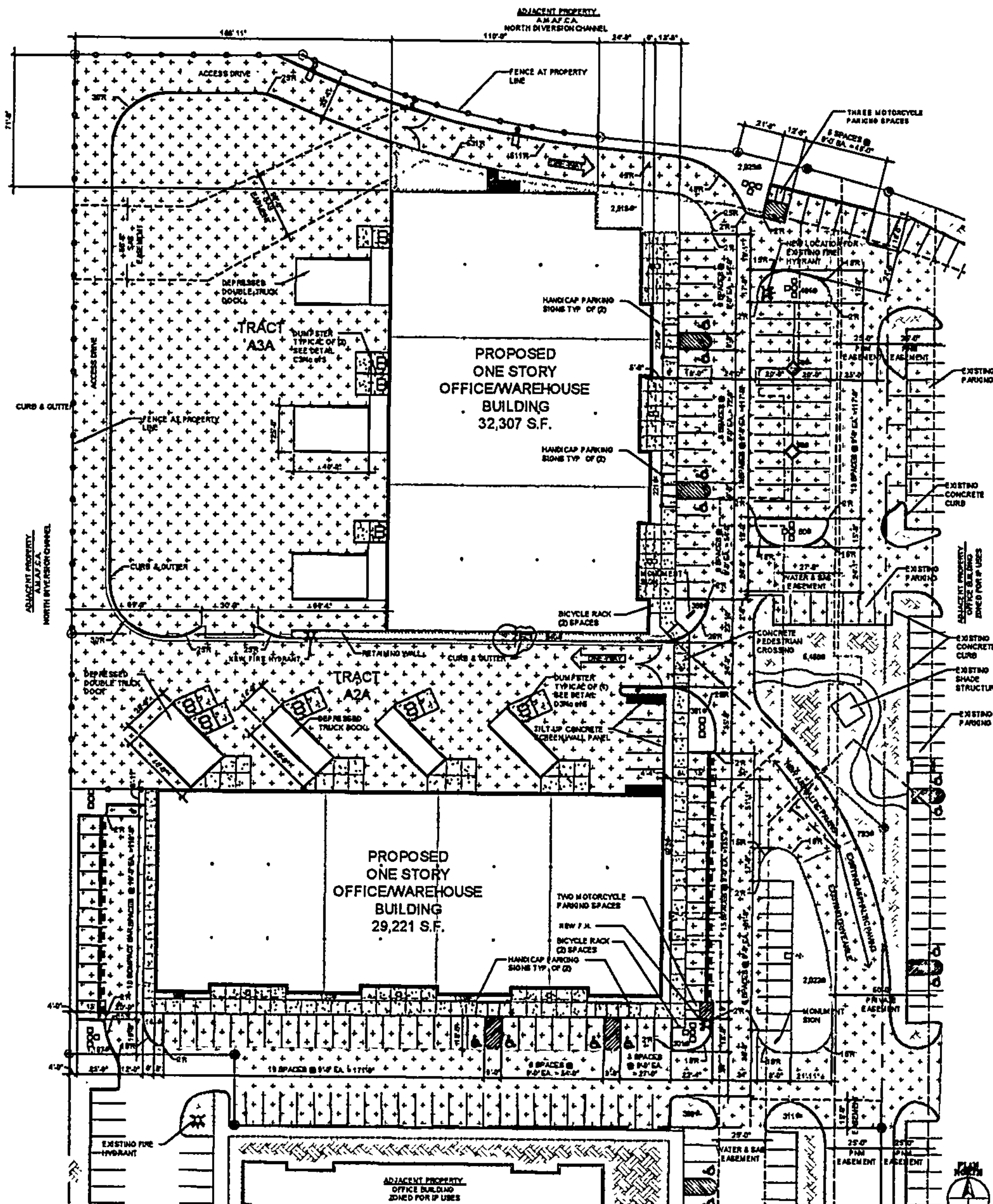
\*\*\*\*\*  
 \*\*\*\*\*  
 HELP US SERVE YOU BETTER

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TELL US ABOUT YOUR RECENT  
 POSTAL EXPERIENCE

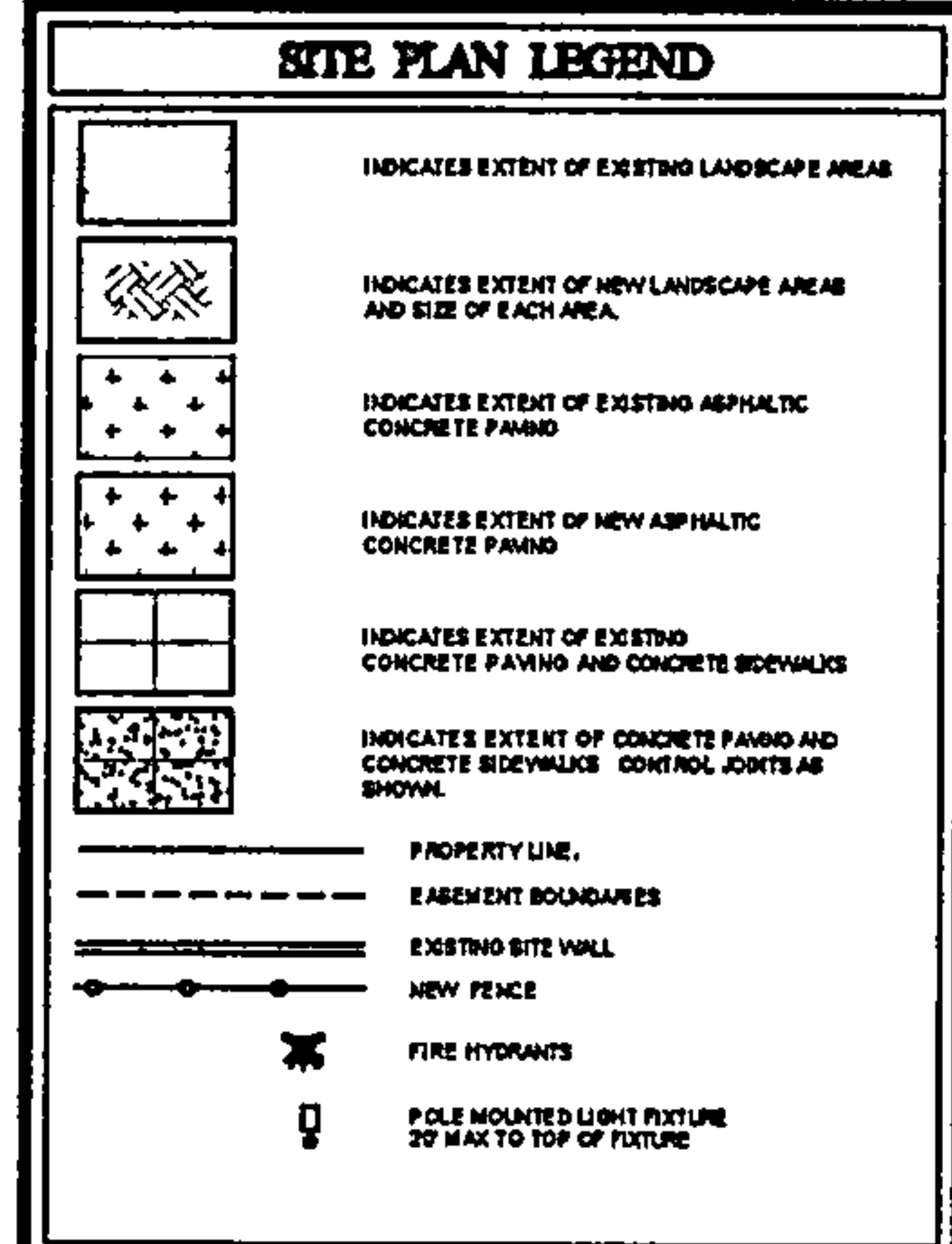
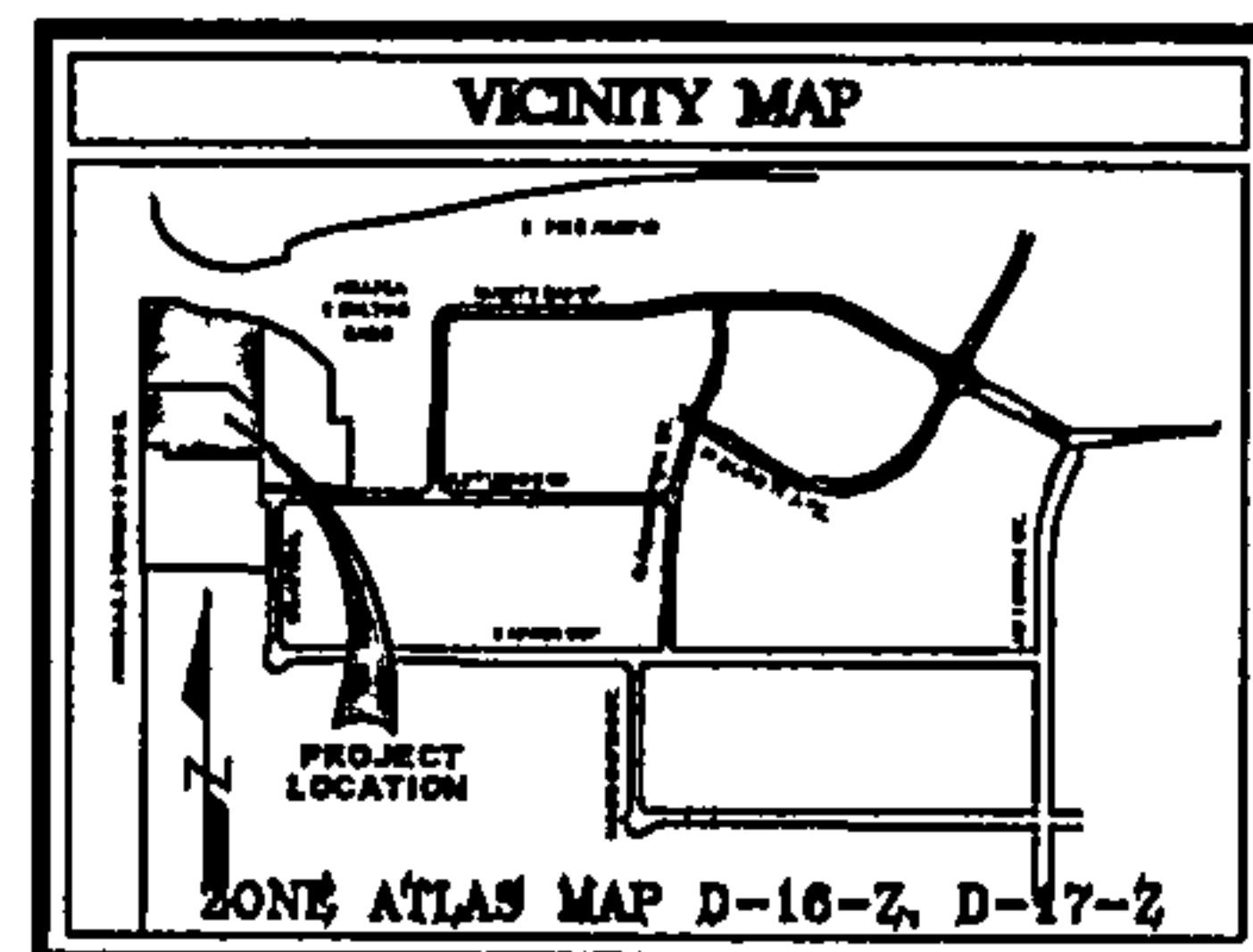
YOUR OPINION COUNTS

\*\*\*\*\*  
 \*\*\*\*\*



A1 SCALE: 1" = 80'-0"

ENLARGED SITE PLAN



**SIGNATURE BLOCK**

PROJECT NUMBER:  
APPLICATION CASE NUMBER:

IS AN INFRASTRUCTURE LIST REQUIRED? (YES / NO) IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITH A PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

**BUILDING CRITERIA PROJECT**

JOURNAL CENTER OFFICE WAREHOUSE  
SNAPROLL & RUTLEDGE  
ALBUQUERQUE, NEW MEXICO

**OWNER**  
BRUNACINI DEVELOPMENT LLC  
7420 MERIDIAN PLACE  
ALBUQUERQUE, NEW MEXICO

**ARCHITECT**  
CLAUDIO VIGIL ARCHITECTS  
1801 N. GRANDE BOULEVARD, N.W.  
ALBUQUERQUE, NEW MEXICO

**LEGAL DESCRIPTION**  
TRACTS A2A AND A2A PLAT OF TRACTS A1-A, A2-A, A3A & A4-A,  
JOURNAL CENTER, PHASE 2 UNIT 2, UPC

**UNIFORM PROPERTY CODE**  
TRACTS A2-A, UPC NO. 10170830032075428  
TRACTS A3-A, UPC NO. 10170830032075427

**ZONING ATLAS MAP**  
D-182

**ZONING CLASSIFICATION**  
D-182

**BUILDING TYPE**  
OFFICE WAREHOUSE

**CONSTRUCTION TYPE**  
TYPE II-B CONSTRUCTION WITH 100% AUTOMATIC FIRE SPRINKLER SYSTEM

**NUMBER OF FLOORS**  
ONE

**BUILDING HEIGHT**  
ALLOWABLE HEIGHT: 1 STORIES, 30 FEET  
ACTUAL HEIGHT: 1 STORIES, 28 FEET

**GROSS SQUARE FOOTAGE**  
LOT A2A: OFFICE/WAREHOUSE 29,221 SQF  
LOT A3A: OFFICE/WAREHOUSE 32,307 SQF

SPECIFIC USE	PARKING REQUIREMENT	GROSS AREA	NUMBER REQUIRED
LOT A2A			
OFFICE	1 SPACE/200 SF OF NET FLOOR	7,200 SQF	36
WAREHOUSE	1 SPACE/200 SF	21,021 SQF	11
			TOTAL REQUIRED: 46
LOT A3A			
OFFICE	1 SPACE/200 SF OF NET FLOOR	8,007 SQF	30
WAREHOUSE	1 SPACE/200 SF	24,300 SQF	12
			TOTAL REQUIRED: 42

TYPE OF SPACE	PARKING REQUIREMENT	NUMBER REQUIRED	NUMBER PROVIDED
LOT A2A			
REGULAR CAR		34	36
SMALL CAR	25% OF REQUIRED PARKING	12	26
HANDICAP SPACES	PER TABLE	3	4
MOTORCYCLE SPACES	PER TABLE	2	2
BICYCLE SPACES	1 SPACE/200 PARKING SPACES	1	2
LOT A3A			
REGULAR CAR		36	47
HANDICAP SPACES	PER TABLE	4	4
SPACES	PER TABLE	3	3
BICYCLE SPACES	1 SPACE/200 PARKING SPACES	1	2

**SITE LIGHTING**  
NEW SITE AREAS LIGHTS SHALL BE POLE MOUNTED AND LIGHT FIXTURES SHALL BE WITHOUT SHIELDING TO ADJACENT SITES. PARKING LIGHTS - 28'-0" ABOVE PARKING LOT. SEE DETAIL DRAWINGS.

**TOTAL LOT AREA**  
LOT A2A: TOTAL LOT 108,810 SF = 2.428 ACRES  
LOT A3A: TOTAL LOT 128,774 SF = 2.932 ACRES

**NET LOT AREA**  
LOT A2A: TOTAL NET = 105,840 SF = 2,406 SF (BUILDING + SERVICE YARD) = 49,835 SF  
LOT A3A: TOTAL NET = 125,774 SF = 64,782 SF (BUILDING + SERVICE YARD) = 44,862 SF

**TOTAL LANDSCAPE AREA REQUIRED**  
LOT A2A: TOTAL LOT - TOTAL NET = 108,810 SF - 88,006 SF = 20,804 SF x 10% = 2,080 SF  
LOT A3A: TOTAL LOT - TOTAL NET = 128,774 SF - 64,782 SF = 63,992 SF x 10% = 6,399 SF

**TOTAL LANDSCAPE AREA PROVIDED**  
LOT A2A: TOTAL PROVIDED = 7,475 SF (INCLUDES 1,452 SF OF EXISTING LANDSCAPE)  
LOT A3A: TOTAL PROVIDED = 12,815 SF (INCLUDES 8,468 SF OF EXISTING LANDSCAPE)

**CLAUDIO VIGIL ARCHITECTS**

1801 No Grande Boulevard, N.W.  
Albuquerque, New Mexico  
Phone: (505) 848-1119  
Fax: (505) 848-1330

**OWNERSHIP OF INSTRUMENTS OF SERVICE**  
All design concepts, details, specifications, plans, computer files, field data, notes and other documents and instruments prepared by Claudio Vigil Architects, P.C., Claudio Vigil Architects, as instruments of service shall remain the property of Claudio Vigil Architects, P.C. Any instrument shall retain all common law, statutory and other reserved rights, including the copyright therein.

**CONSULTANTS**

**PROFESSIONAL SEAL**

DRB SUBMITTAL NOT FOR CONSTRUCTION

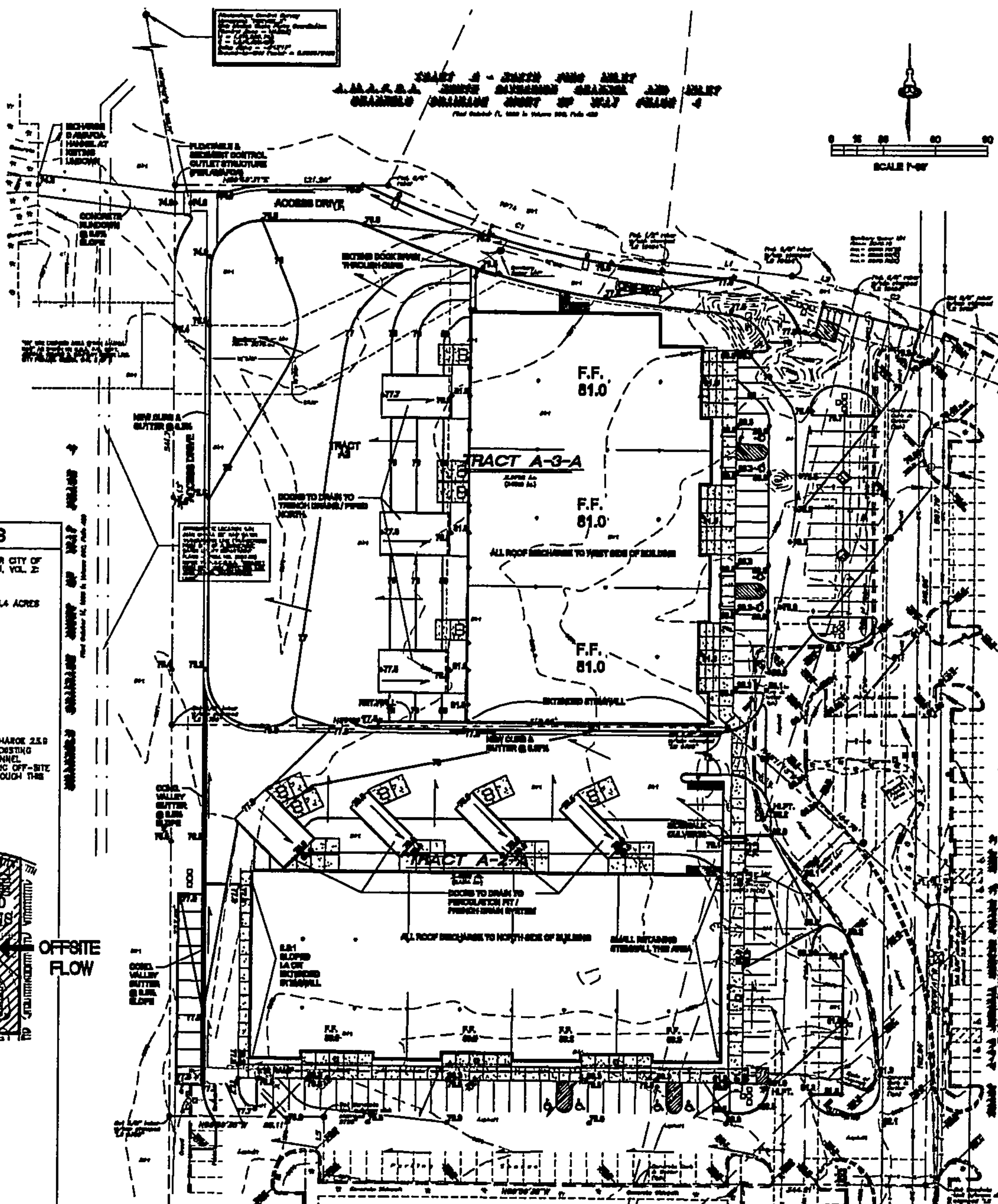
**BRUNACINI JOURNAL CENTER OFFICE WAREHOUSE**  
SNAPROLL & RUTLEDGE  
ALBUQUERQUE, NEW MEXICO

NAME	DATE	DISCUSSION

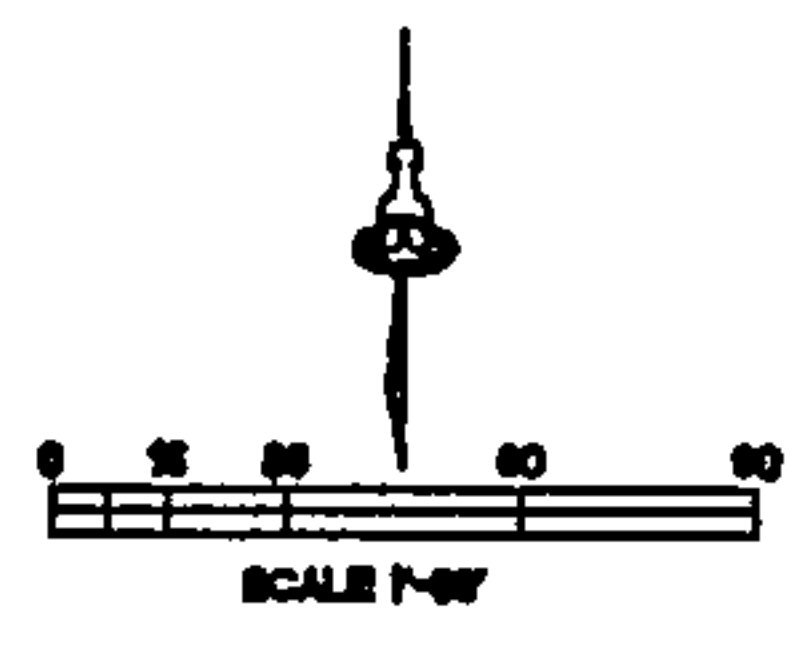
PROJECT NUMBER: 09175  
DRAWING TITLE: SJC TRACTS A2A & A3A 2P DWG  
DRAWN BY: JLV  
CHECKED BY: CVV  
DATE: MARCH 2, 2018

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

DRWY NUMBER: 1 of 5



TRACT A-3-A BRUNACINI JOURNAL CENTER AND ALLEY  
 GRANDE DRAINAGE SHEET OF SHEET 4  
 Final Revised: 11/1992 by Thomas R. Pugh, P.E.



**CALCULATIONS**

BASED ON DRAINAGE DESIGN CRITERIA FOR CITY OF ALBUQUERQUE, SECTION 22.2 OF THE DMV, VOL. 27

100 YEAR, 24 HOUR STORM EVENT

AREA OF PROPERTY TO BE DEVELOPED: 0.4 ACRES

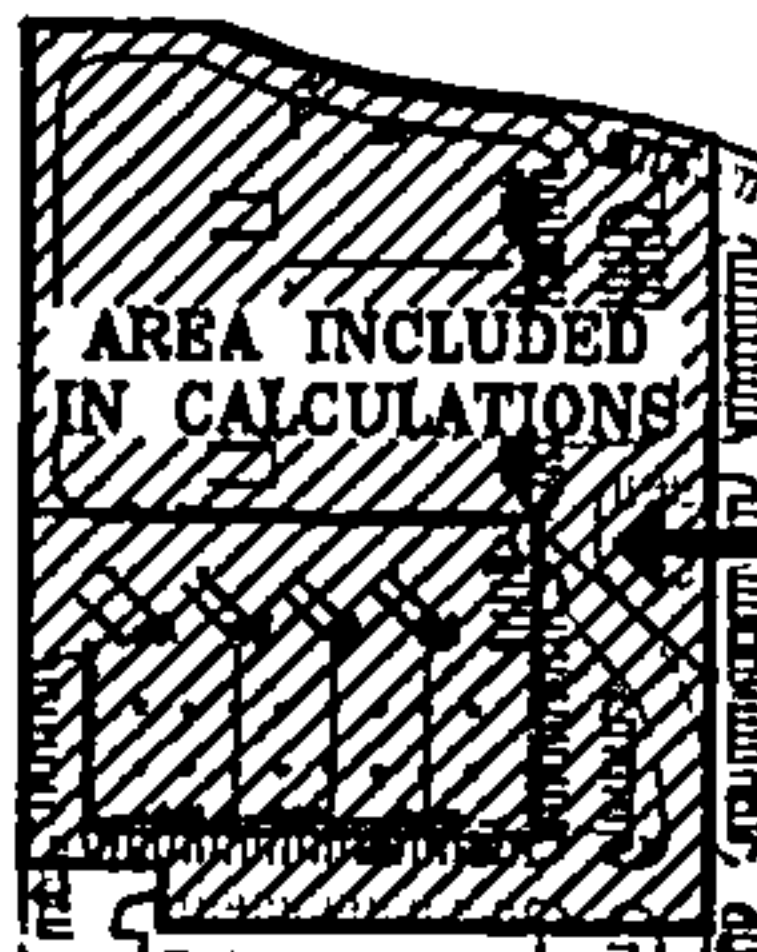
EXISTING CONDITIONS:  
 100% TREATMENT 0

HISTORIC VOLUME = 22,186 CF  
 HISTORIC Q = 17.0 CFS

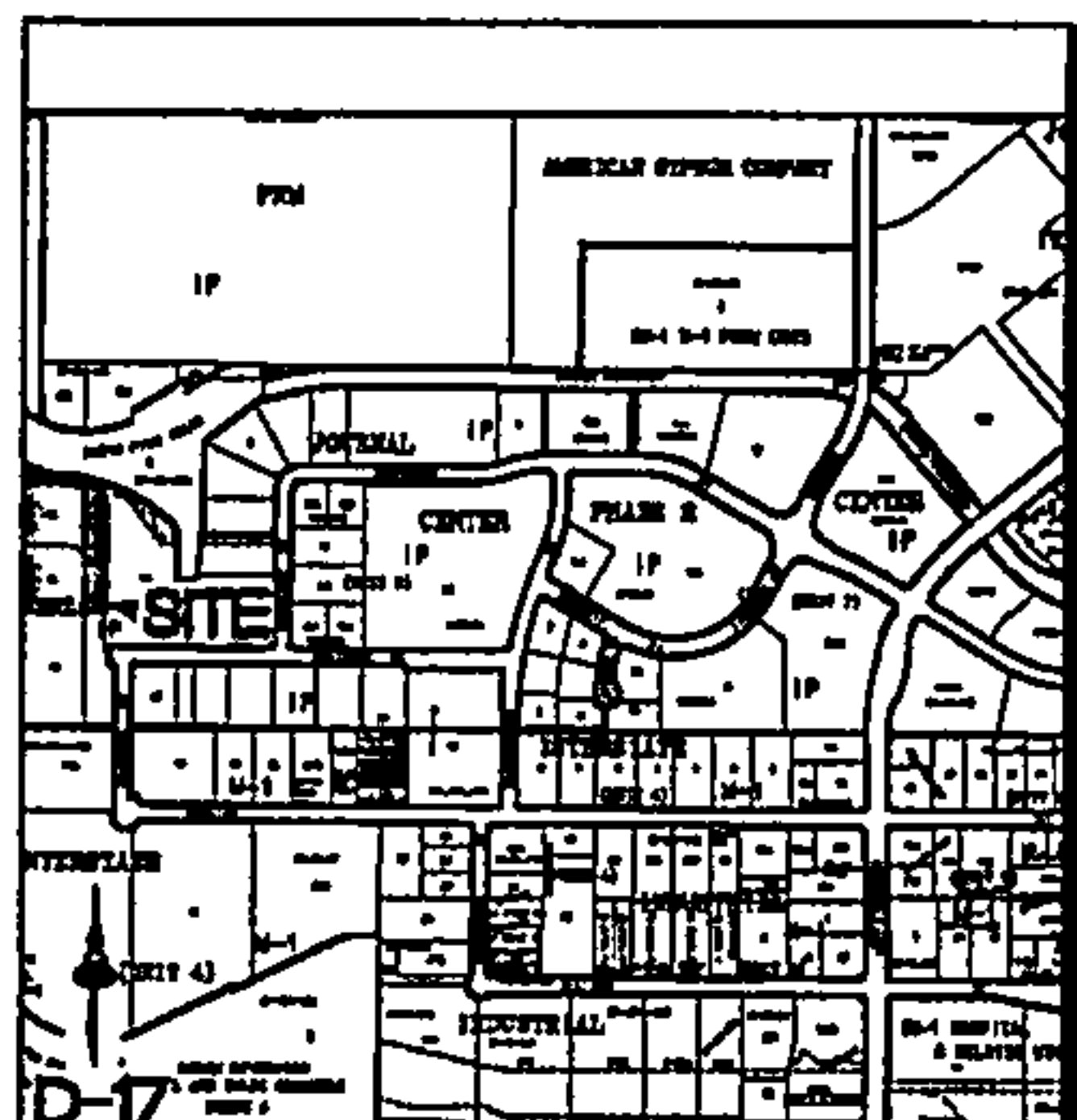
PROPOSED CONDITIONS:  
 80% TREATMENT 6  
 10% TREATMENT 0  
 80% TREATMENT 0

DEVELOPED VOLUME = 26,864 CF  
 DEVELOPED Q = 23.8 CFS

THE OVERALL DEVELOPED AREA WILL DISCHARGE 23.8 CFS (AN INCREASE OF 6.8 CFS) TO THE EXISTING DRAINAGE CHANNEL AT THE EXISTING CHANNEL RUNDOWN. THIS IS IN ADDITION TO HISTORIC OFF-SITE FLOW WHICH WILL CONTINUE TO PASS THROUGH THE PROPERTY FROM THE SOUTH AND EAST.



↑  
OFFSITE FLOW



**PROJECT INFORMATION**

PROPERTY OWNER: DA BRUNACINI DEVELOPMENT  
 ARCHITECT: CLAUDIO VIGIL ARCHITECTS  
 SURVEYOR: SURV-TEX CONSULTING SURVEYORS 508-887-3366

PROPERTY: THE SITE IS AN UNDEVELOPED COMMERCIAL PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP D-17-2. THE SITE CONSISTS OF TRACTS A2 AND A3 OF THE BRUNACINI JOURNAL CENTER PROPERTY. IT IS BOUND TO THE EAST AND NORTH BY DEVELOPED COMMERCIAL PROPERTY, TO THE WEST BY THE AMAPCA NORTH DIVISION CHANNEL, AND TO THE SOUTH BY DEVELOPED STATE OF NM PROPERTY AND TO THE NORTH BY THE NORTH PNO DRAINAGE R.O.S.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE TWO NEW COMMERCIAL / INDUSTRIAL BUILDINGS, SITE WORK, PAVING AND ASSOCIATED LANDSCAPING.

LEGAL: TRACTS A-2-A AND A-3-A JOURNAL CENTER, PHASE 2, UNIT 2 CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 ADDRESS: 9721 RUTLEDGE ST. NE

BENCHMARK: VERTICAL DATUM IS BASED ON CITY OF ALBUQUERQUE CONTROL STATION MONUMENT "13-016", ELEVATION = 5,073.471 (NAVD 1988).

OFF-SITE DRAINAGE: OFF-SITE DRAINAGE WILL CONTINUE TO PASS THROUGH THE PROPERTY WHICH IS COVERED BY A BLANKET DRAINAGE EASEMENT.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP (FIRM), THE SITE IS LOCATED WITHIN FLOODZONE "X" DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN, THE AMAPCA NORTH DIVISION CHANNEL AT THE WEST AND NORTH BOUNDARIES ARE DESIGNATED AS ZONE "A" (NO BASE FLOOD ELEVATIONS DETERMINED) CONTAINED TO THE CONSTRUCTED CHANNEL.

DRAINAGE PLAN CONCEPT:  
 THE EXISTING DRAINAGE PATTERNS WILL BE MAINTAINED WITH ALL STORM WATER DIRECTED NORTH WITHIN THE PROPOSED PAYMENT TO DISCHARGE TO THE ARROYO SYSTEM AT THE EXISTING ARROYO RUNDOWN.

**GENERAL NOTES**

1. CORRELATE WORK WITH SITE PLAN, UTILITY PLAN, DETAIL PLAN, AND ALL TRAIL, CROSS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFF-SITE.
2. ALL EXISTING, OVERLAPPING, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.
3. FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL, I.E. TOP OF CONCRETE TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPE MATERIAL, ETC. CONTRACTOR SHALL GRADE, GRADIENT, SLOPES, AND OR CHANGE DRAINAGE ESTABLISHED BASED ON ELEVATIONS SHOWN UNLESS OTHERWISE NOTED. SLOPES SHALL BE 2% UNLESS OTHERWISE NOTED. SLOPES SHALL BE 2% UNLESS OTHERWISE NOTED.
4. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR CORRECT. SUCH LINES MAY OR MAY NOT EXIST UNDER GROUND OR NOT SHOWN. ALL UTILITIES SHALL BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PROTECT ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
5. THE ENVIRONMENTAL PROTECTION AGENCY AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR PROJECTS INVOLVING CONSTRUCTION ACTIVITIES INCLUDING OTHER LINE-CONSTRUCTION ACTIVITIES INVOLVING ONE ACRE OR MORE (BY STREAM). A SWPPP MUST BE SUBMITTED WITH THE CONTRACTOR'S SUBMITTAL FOR A PERMIT TO CONSTRUCT, GRADING, PAVING OR ERECTION OF ANY STRUCTURE OR OTHER WORK TO BE PERFORMED ON ANY AREA OF CONSTRUCTION. THE SWPPP SHALL BE REVIEWED BY THE CITY OF ALBUQUERQUE.
6. ALL DRAINAGE CHANNELS SHALL BE CONSTRUCTED WITH POSITIVE SLOPES FROM BUILDING AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS "SATON" OR "A", TRANSITIONS TO EXISTING SHALL BE SMOOTH AND LEVEL.
7. ALL FRACTURED FACE ROCK (P.P. ROCK) TO BE 6" DIA. MIN. ANGULAR FACED ROCK PLACED OVER COVERED BY NON-ROCK BEDTEXTURE (S.E.). NOTE: PERMANENT STORM WATER PROTECTION MATERIAL (SLOPE) 100' AND 6" DIA. MAY BE SUBSTITUTED AT ALL AREAS REFERENCED TO ROCK PROTECTION.
8. SLOPES STEEPER THAN 2:1 BUT LESS THAN 2:1 MUST HAVE PERMANENT EROSION CONTROL (E.C. ROCK OR LAMBERT TWIG AND G.C.) INSTALLED TYPICAL. NO SLOPE SHALL BE STEEPER THAN 2:1.
9. EXISTING AND PROPOSED EROSION PROTECTION MATERIALS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION PER ALL AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.

**CLAUDIO VIGIL ARCHITECTS**

1801 Rio Grande Boulevard, N.W.  
 Albuquerque, New Mexico  
 Phone: (505) 848-1119  
 Fax: (505) 848-1330

STATEMENT OF PARTICIPANTS OF SERVICES  
 All design concepts, details, specifications, plans, computer files, data, notes, tables and other documents and instruments prepared by Claudio Vigil Architects, P.C. shall remain the property of Claudio Vigil Architects, P.C. and shall not be used for any other project without the written consent of Claudio Vigil Architects, P.C. including the copyright therein.

**CONSULTANTS**

**ISAACSON & AREMAN, P.A.**  
 Consulting Engineering Associates

128 Monroe Street N.E.  
 Albuquerque, New Mexico 87106  
 Ph. 505-259-8828 Fax 505-259-2322

**PROFESSIONAL SEAL**

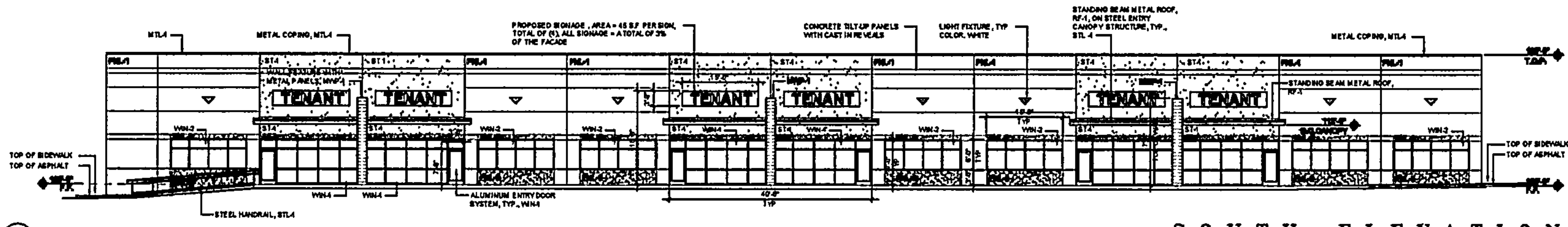
**BRUNACINI JOURNAL CENTER**  
**OFFICE BUILDING**  
**TRACTS A2 & A3**  
 9721 RUTLEDGE STREET, N.E.  
 ALBUQUERQUE, NEW MEXICO

NO.	DATE	DESCRIPTION

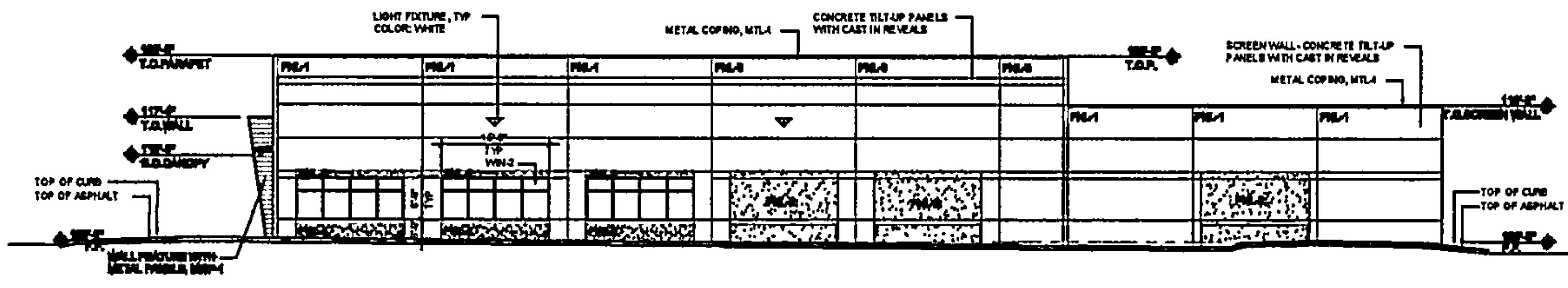
DESIGNER	01/79
DRAWING NO.	6-8
SCALE	7/8
DATE	1/23/92
PROJECT	CLAUDIO VIGIL ARCHITECTS 2002
DATE	FEBRUARY 26, 2002

**PRELIMINARY GRADING and DRAINAGE PLAN**

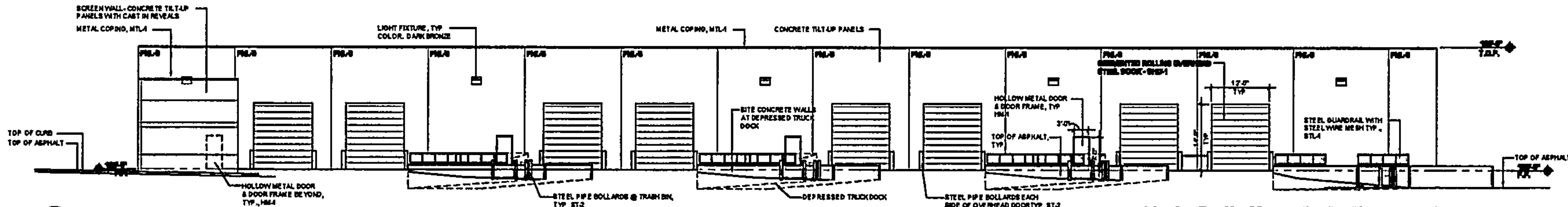




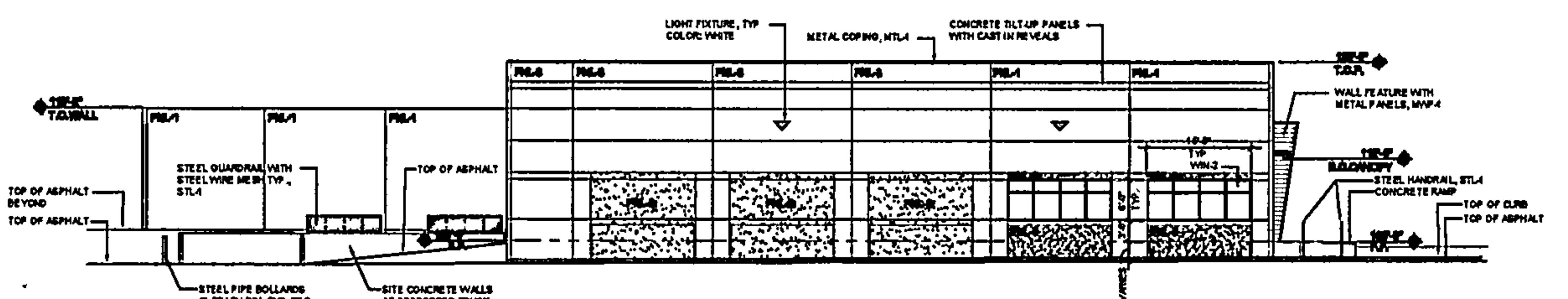
**D1** SCALE: 1/8" = 1'-0" **SOUTH ELEVATION**



**C1** SCALE: 1/8" = 1'-0" **EAST ELEVATION**



**B1** SCALE: 1/8" = 1'-0" **NORTH ELEVATION**



**A1** SCALE: 1/8" = 1'-0" **WEST ELEVATION**

**EXTERIOR FINISH LEGEND**

- ST-1 2" PORTLAND CEMENT WITH BLACKENING OILER COAT COLOR: WHITE
- ST-2 1" PORTLAND CEMENT WITH BLACKENING OILER COAT COLOR: DARK BRONZE
- ST-3 CONCRETE TILT-UP WALL PANEL COLOR: MESA 400
- ST-4 CONCRETE TILT-UP WALL PANEL COLOR: MESA 400
- ST-5 CONCRETE TILT-UP WALL PANEL COLOR: WHITE
- MW-1 METAL WALL PANEL COLOR: WHITE
- MW-2 ALUMINUM SYSTEMIC SYSTEM COLOR: ALUMINUM ANODIZED W/ BRUSHED FINISH
- MW-3 ALUMINUM SYSTEMIC SYSTEM COLOR: WHITE W/ BRUSHED FINISH
- MW-4 METAL WALL PANEL COLOR: MESA 400
- MTL-1 POLYURETHANE FINISH COLOR: MESA 400
- MTL-2 POLYURETHANE FINISH COLOR: WHITE
- MTL-3 POLYURETHANE FINISH COLOR: MESA 400
- MTL-4 POLYURETHANE FINISH COLOR: WHITE
- MTL-5 STANDING BEAM METAL ROOF COLOR: GALVALUME

**CLAUDIO VIGIL ARCHITECTS**

1801 Rio Grande Boulevard, N.W.  
Albuquerque, New Mexico  
Phone: (505) 848-1113  
Fax: (505) 848-1330

**STATEMENT OF SCOPE OF SERVICES**  
All design concepts, details, specifications, plans, computer files, field data, notes and other documents and instruments prepared by Claudio Vigil Architects, P.C., shall remain the property of Claudio Vigil Architects, P.C. Any other documents and instruments prepared by other parties shall remain the property of those parties and shall not be used for any other project without the written consent of Claudio Vigil Architects, P.C.

**CONSULTANTS**

**PROFESSIONAL SEAL**

DRB SUBMITTAL  
NOT FOR CONSTRUCTION

**BRUNACINI JOURNAL CENTER**  
OFFICE BUILDING  
TRACTS A2 & A3  
9721 RUTLEDGE STREET, N.E.  
ALBUQUERQUE, NEW MEXICO

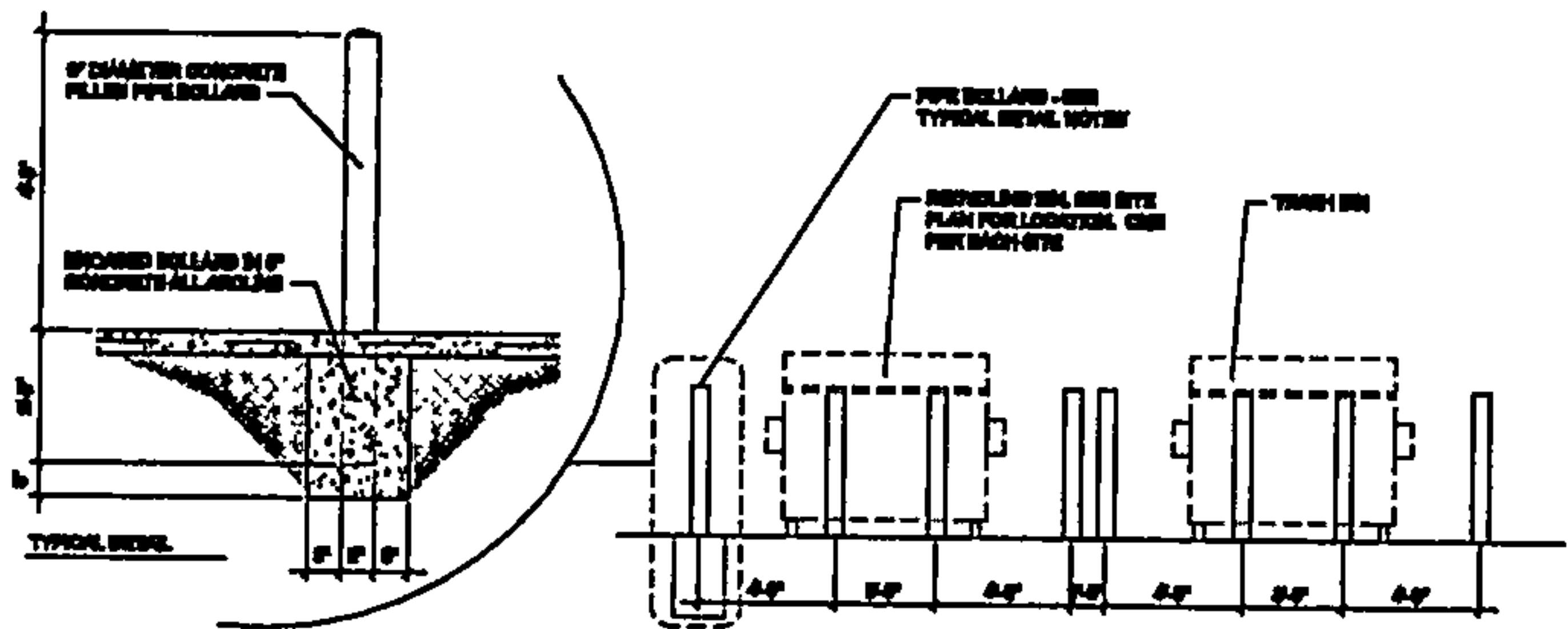
NO.	DATE	DESCRIPTION

PROJECT NUMBER	00175
DATE	10-2004
SCALE	1/8" = 1'-0"
DESIGNER	CAV
CHECKED BY	CAV
DATE	MARCH 2, 2010

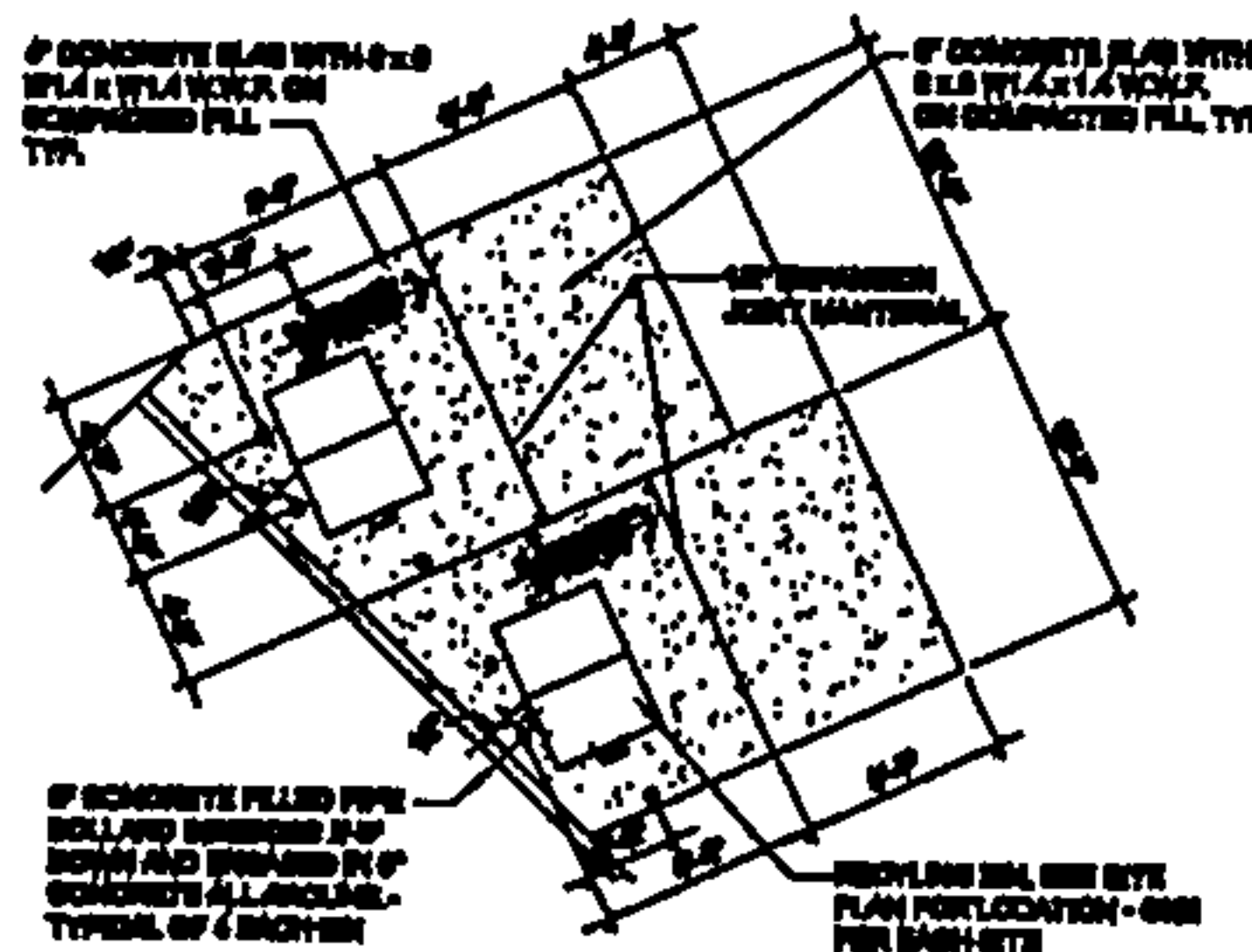
**PROPOSED EXTERIOR ELEVATIONS TRACT A2**



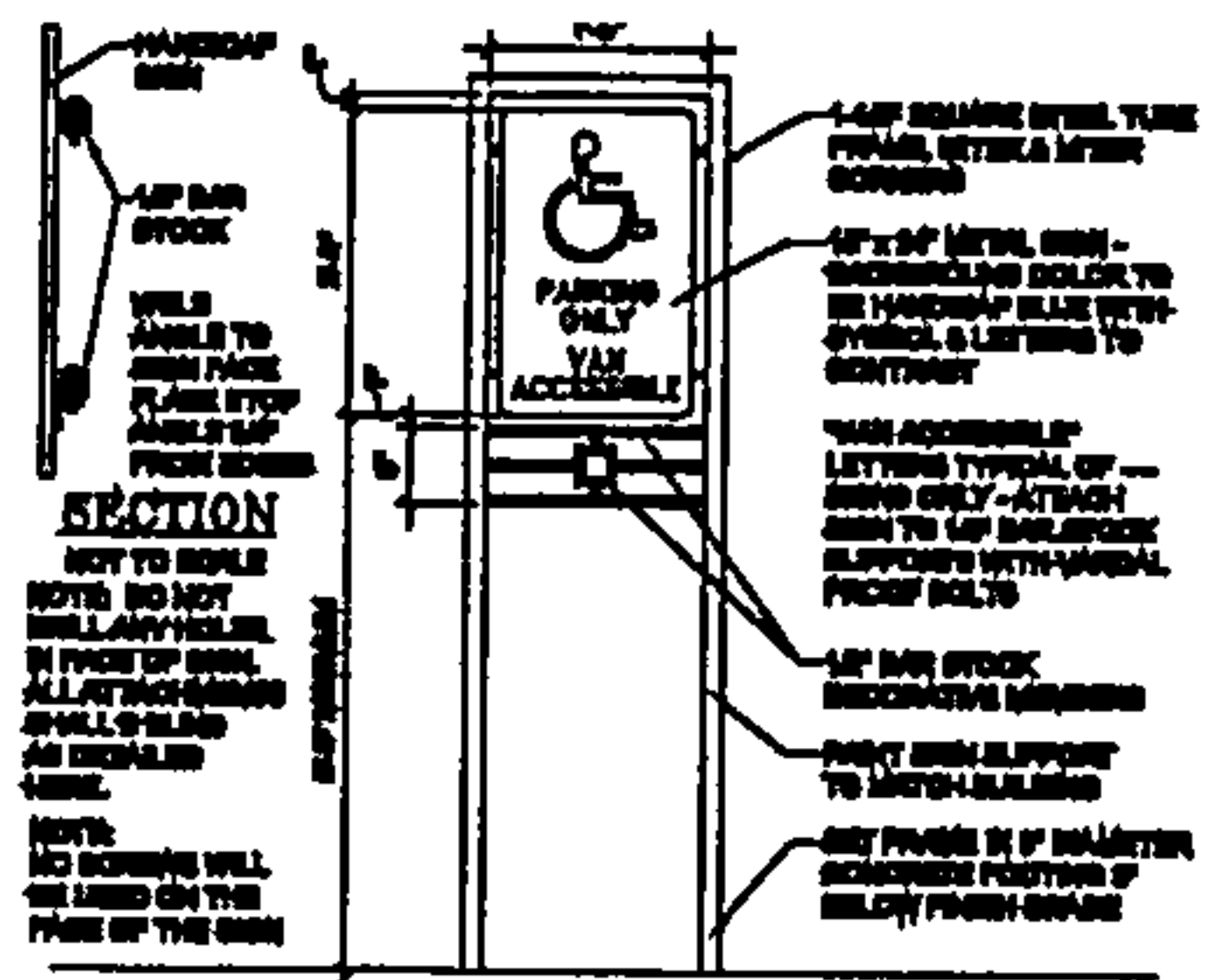




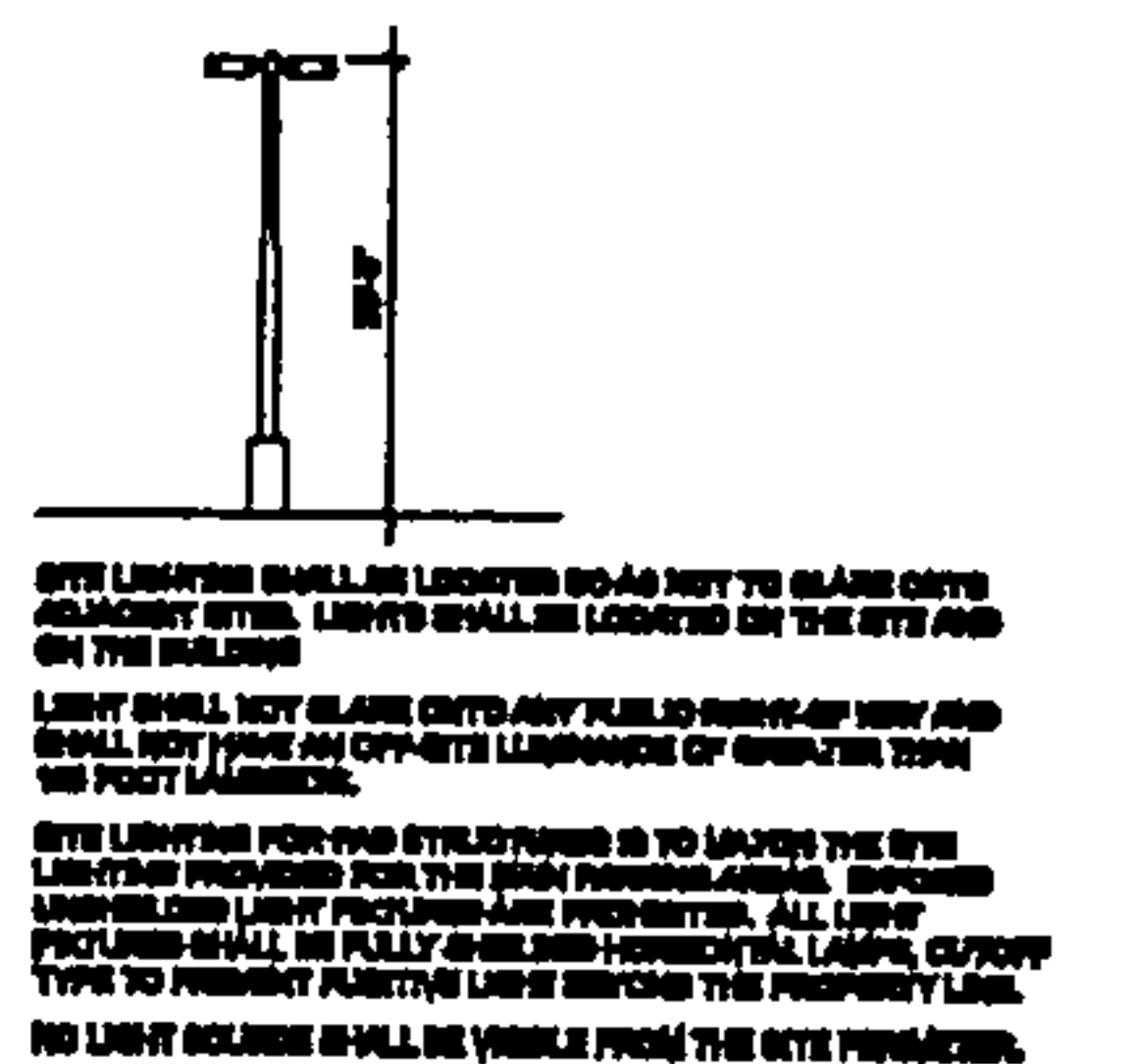
**D1 TRASH/RECYCLING BIN ELEVATIONS, TYP.**  
SCALE: 1/4" = 1'-0"



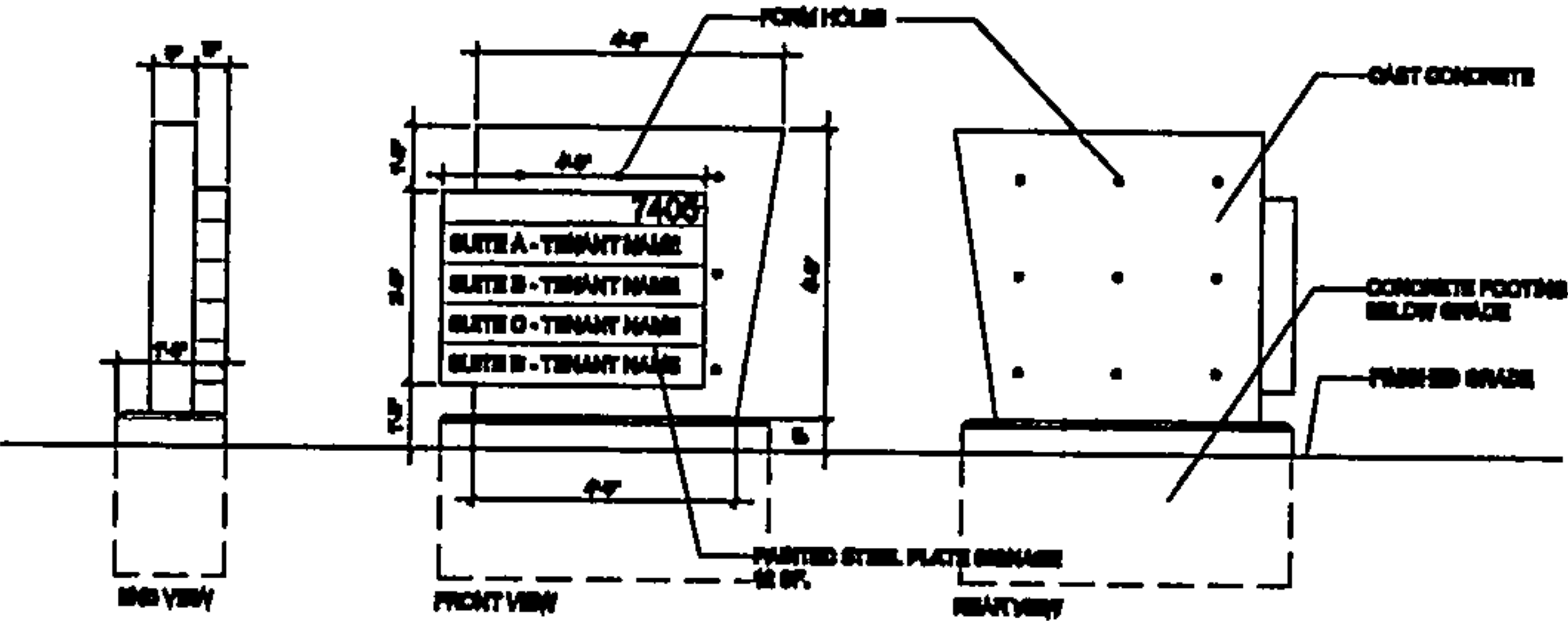
**D3 DUMPSTER LAYOUT**  
SCALE: 1/8" = 1'-0"



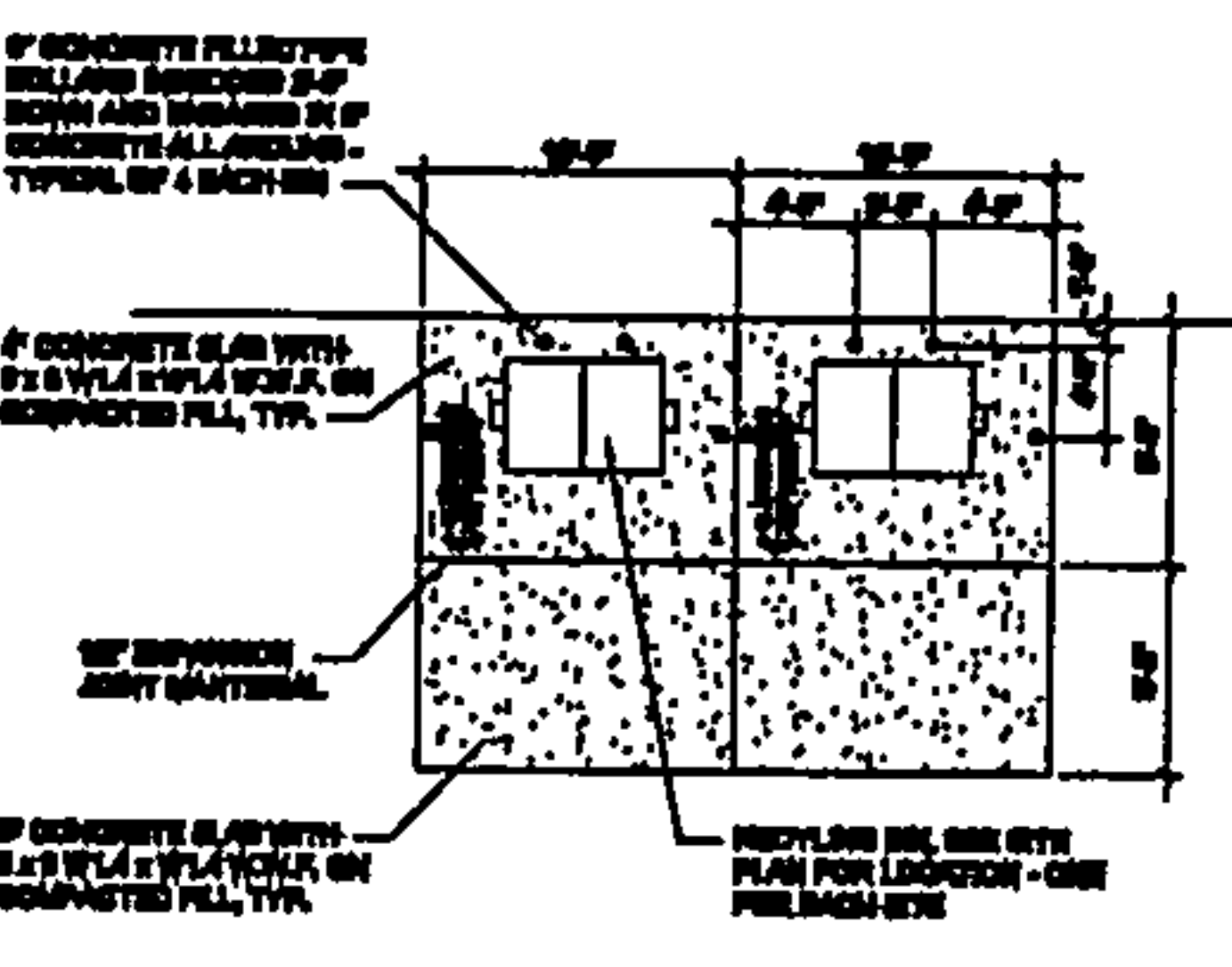
**D4 HANDICAP PARKING SIGN**  
SCALE: 3/4" = 1'-0"



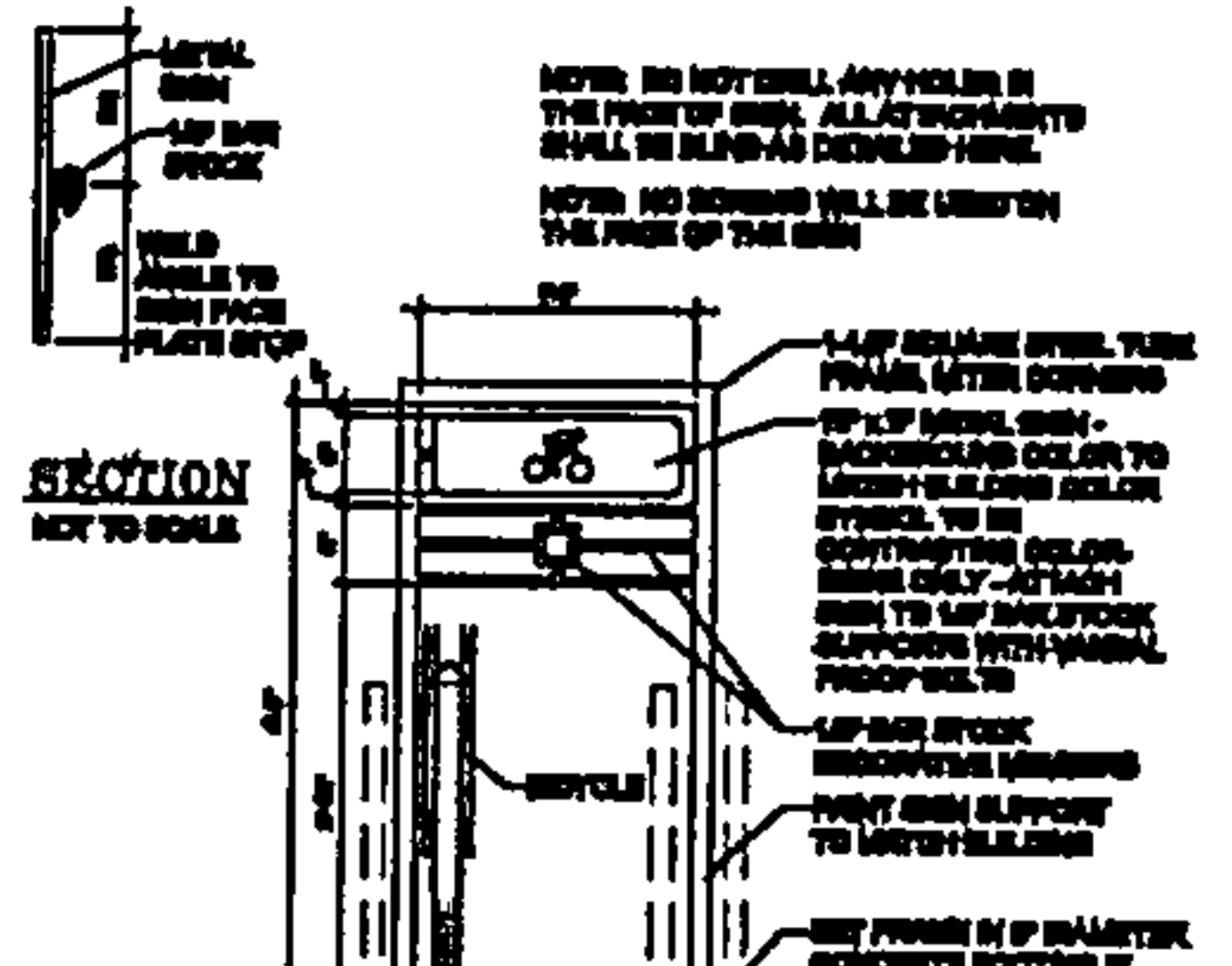
**D5 SITE LIGHTING DETAIL**  
SCALE: NOT TO SCALE



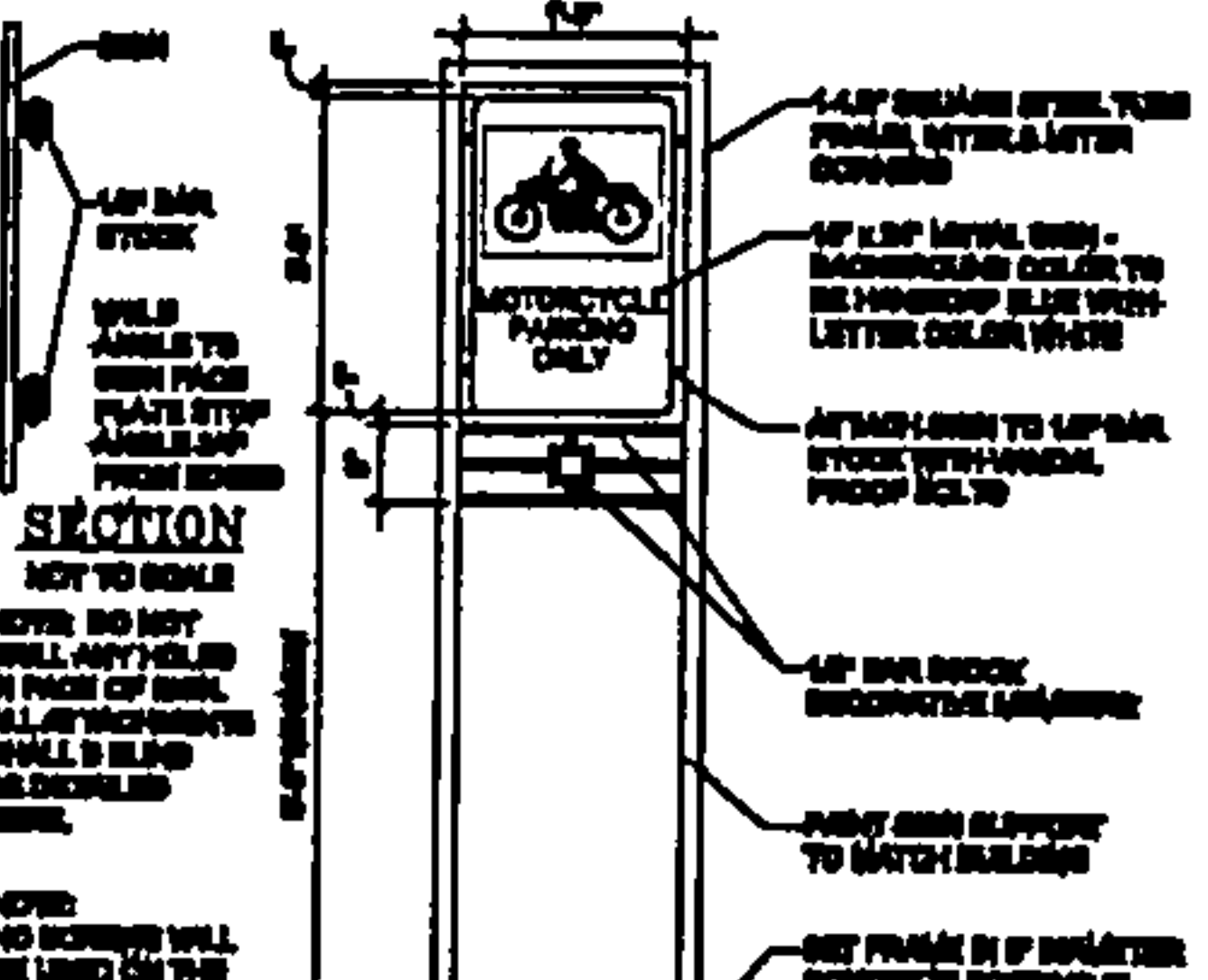
**C1 MONUMENT SIGN**  
SCALE: 1/2" = 1'-0"




**C3 DUMPSTER LAYOUT**  
SCALE: 1/8" = 1'-0"



**C4 BIKE RACK**  
SCALE: 3/4" = 1'-0"



**A5 MOTORCYCLE SIGN**  
SCALE: 3/4" = 1'-0"



**CLAUDIO VIGIL ARCHITECTS**


1801 El Grande Boulevard, N.W.  
Albuquerque, New Mexico  
Phone: (505) 848-1113  
Fax: (505) 848-1330

DESIGNER OF PERMITS OF PUBLIC WORKS  
All design concepts, details, specifications, plans, schedules, data, data, data, data and other documents and instruments prepared by Claudio Vigil Architects, P.C., are the property of Claudio Vigil Architects, P.C. and shall remain the property of Claudio Vigil Architects, P.C. including the copyright therein.

**CONSULTANTS**

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**PROFESSIONAL SEAL**



**BRUNACINI JOURNAL CENTER**  
OFFICE WAREHOUSE  
SNAPROLL & RUTLEDGE  
ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION

PROJECT NUMBER	08175
DATE OF PLAN	03/21/2010
DESIGNER	EA
CHECKER	CAV
DATE OF PLAN	03/21/2010
DATE OF PLAN	MARCH 2, 2010

PROJECT TITLE  
**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

PROJECT NUMBER  
**4c of 5**





**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
PROPERTY OWNERSHIP LIST**

**Meeting Date:** Wednesday, May 5, 2010  
**Zone Atlas Page:** (D-16, D-17)  
**Notification Radius:** 100 Ft.

**Project# 1008265**  
**App# 10DRB-70109**

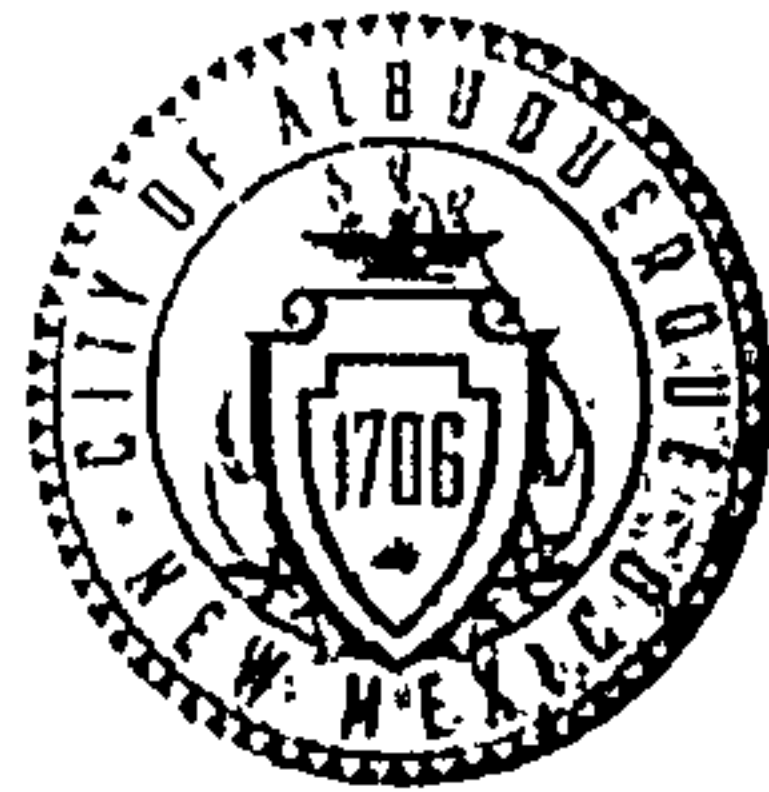
**Cross Reference and Location:** located on RUTLEDGE RD NE AND SNAPROLL NE

**Applicant:** BRUNACINI DEVELOPMENT LLC  
PO BOX 6363  
ALBUQUERQUE NM 87197

**Agent:** EDWARD AVILA  
CLAUDIO VIGIL ARCHITIECTS  
1801 RIO GRANDE BLVD NW  
ALBUQUERQUE NM 87104

**Special Instructions:**  
**Notice must be mailed from the  
City's 15 day's prior to the meeting.**

**Date Mailed:** April 16, 2010  
**SIGNATURE:** Anita Tavasci



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, May 5, 2010**, beginning at **9:00 a.m.** for the purpose of considering the following:

**Project# 1008265**

10DRB-70109 MAJOR – SITE  
DEVELOPMENT PLAN FOR BUILDING  
PERMIT

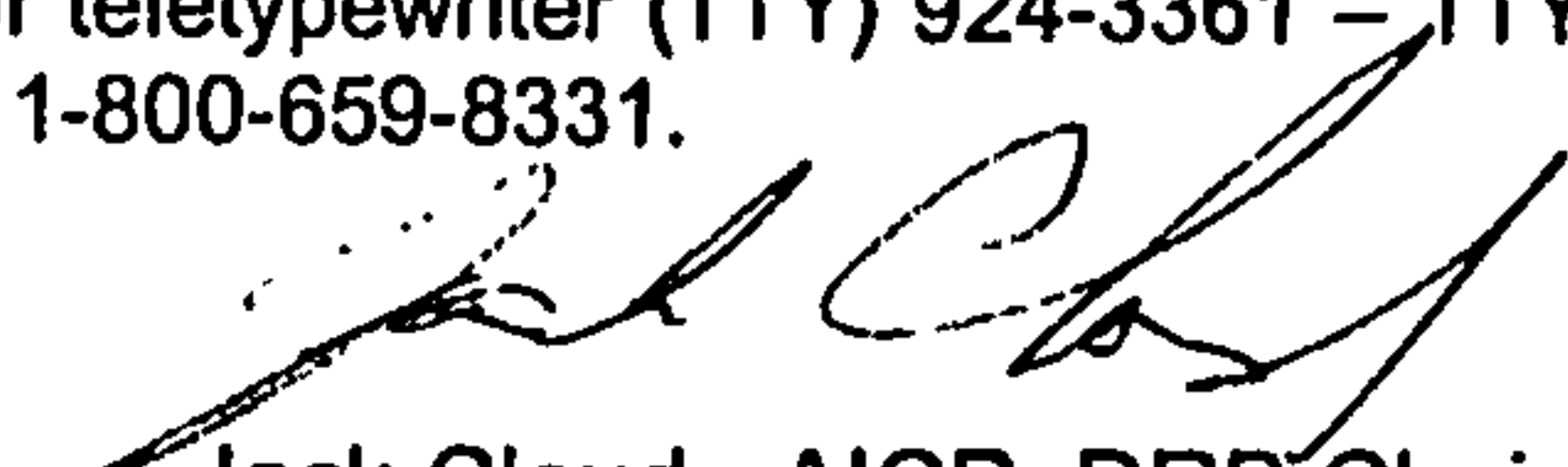
CLAUDIO VIGIL ARCHITIECTS agent(s) for  
BRUNACINI DEVELOPMENT LLC request(s) the  
referenced/ above action(s) for all or a portion of Lots A-2-A  
and A-3-A, **JOURNAL CENTER PHASE 2, UNIT 2**  
zoned IP, located north of RUTLEDGE RD NE and west of  
SNAPROLL ST NE containing approximately 5.41 acre(s).  
(D-16, D-17)

**Project# 1008281**

10DRB-70119 VACATION OF PUBLIC  
RIGHT-OF-WAY

TIERRA WEST LLC agent(s) for BROGDON, LLC  
request(s) the referenced/ above action(s) for the east-west  
alley adjacent to Lot(s) 1, 2, 3A, 6, & 23, Block(s) 10, **FAIR  
GROUNDS ADDITION** located south of ACOMA RD SE  
between CALIFORNIA ST SE and ARIZONA ST SE  
containing approximately 1.37 acre(s). (K-18)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Angela Gomez, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.

  
Jack Cloud, AICP, DRB Chair  
Development Review Board

**TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, APRIL 19, 2010.**

REC	UPC CODE	OWNER	OWNER ADDRESS	OWNER CITY	OWNER STATE	OWNER ZIP CODE	PROPERTY CLASS	TAX DISTRICT	LEGAL	ACRES
1	1017 0630 0827 3201 01	AMAFCA	2600 P ROSPE CT AVE NE	ALB UQ UE RQ UE	NM	87 10 7	V	A1 A	TR 8C- 1 JOURNAL CENTER (REPL OF JOURNAL CENTER & A POR OF LTS 30, 31 & 32 BLK 3 OF TR A UNIT A N ALB ACRES & A POR OF VAC SAN MATEO BLVD & RANCHITOS AVE) CONT 1.0136 AC	1.0 31 01 70 2
2	1017 0630 3619 3304 26	G BRUNACINI & SON DE VELOPMENT LLC	PO BO X 6363	ALB UQ UE RQ UE	NM	87 19 7	C	A1 A	TR A-4-A PLAT OF TRACTS A-1-A, A-2-A, A-3-A & A- 4- A JOURNALCENTER PHASE 2 UNIT 2 CONT 4.028 2 AC	4.0 28 12 64 7
3	1016 0634 6521 4416 15	VISTA DEL NORTE DEV ELOPMENT LLC	4101 E I RVING TON R D	TUC SON	AZ	85 72 6	V	A1 A	TRACT B PLAT FOR BERNARDO TRAILS UNIT 1 SU BDIVISIONCONT 5.8681 AC	5.8 86 95 61 6
4	1016 0634 6229 0103 10	AMAFCA	2600 P ROSPE CT AVE NE	ALB UQ UE RQ UE	NM	87 11 0	V	A1 A	PARCEL E AMAFCA NORTH DIVERSION CHANNEL & INLET CHANNELS DRAINAGE R/W CONT 69.099 0 AC M/L	69. 08 86 86 06
5	1016 0635 1731 7103 12	TRI- GAS UBC % COMM TAX NETWORK	12615 J ONES RD SUI TE 204	HO UST ON	TX	77 07 0	C	A1 A	LT D AMENDED CORRECTED LTS A B C & D LAND S OF KUIDIS BEING AREPLAT OF A CERTAIN TR O F LAND WITHIN SEC 22 T11N R3E NMPMCONT 4.9 195 AC	4.9 54 67
6	1017 0630 0316 9304 29	BERNALILLO COUNTY/B RUNACINI DEV/SBS TEC H % FINANCE DEPT AT TN DAN MAYFIELD	1 CIVIC PLAZA NW FL OOR 10	ALB UQ UE RQ UE	NM	87 10 2	V	A1 A	TR A-1-A PLAT OF TRACTS A-1-A, A-2-A, A-3-A & A- 4- A JOURNALCENTER PHASE 2 UNIT 2 CONT 4.733 0 AC	4.7 28 75 55 5
7	1017 0630 0323 6304 27	BRUNACINI DEVELOPM ENT LTD CO	PO BO X 6363	ALB UQ UE RQ UE	NM	87 19 7	V	A1 A	TR A-3-A PLAT OF TRACTS A-1-A, A-2-A, A-3-A & A- 4- A JOURNALCENTER PHASE 2 UNIT 2 CONT 2.976 0 AC	2.9 76 15 29 5
8	1017 0630 3027 2201 02	AMAFCA	2600 P ROSPE CT AVE NE	ALB UQ UE RQ UE	NM	87 10 7	V	A1 A	TR 8E- 1 JOURNAL CENTER (REPL OF JOURNAL CENTER & A POR OF LTS 30, 31 & 32 BLK 3 OF TR A UNIT A N ALB ACRES & A POR OF VAC SAN MATEO BLVD & RANCHITOS AVE) CONT 1.5556 AC	1.6 03 37 65 7
9	1017 0630 0320 7304 28	BRUNACINI DEVELOPM ENT LTD CO	PO BO X 6363	ALB UQ UE RQ UE	NM	87 19 7	V	A1 A	TR A-2-A PLAT OF TRACTS A-1-A, A-2-A, A-3-A & A- 4- A JOURNALCENTER PHASE 2 UNIT 2 CONT 2.431 4 AC	2.4 31 49 94 3
10	1017 0630 7015 7301 13	BONFAIR REALTY GRO UP LLC	3700 R UTLED GE RD NE	ALB UQ UE RQ UE	NM	87 10 9	C	A1 A	LT 20-A PLAT OF LT 20- A PHASE 2 UNIT 2 JOURNAL CENTERCONT 3.1970 AC	3.1 97 13 70 4

OR CURRENT RESIDENT  
101706300827320101  
AMAFCA  
2600 PROSPECT AVE NE  
ALBUQUERQUE NM 87107

OR CURRENT RESIDENT  
101706300316930429  
BERNALILLO COUNTY/BRUNACINI DEV/SB  
S TECH % FINANCE DEPT ATTN DAN MAYF  
IELD  
1 CIVIC PLAZA NW FLOOR 10  
ALBUQUERQUE NM 87102

OR CURRENT RESIDENT  
101706307015730113  
BONFAIR REALTY GROUP LLC  
3700 RUTLEDGE RD NE  
ALBUQUERQUE NM 87109

OR CURRENT RESIDENT  
101706300323630427  
BRUNACINI DEVELOPMENT LTD CO  
PO BOX 6363  
ALBUQUERQUE NM 87197

OR CURRENT RESIDENT  
101606351731710312  
TRI-GAS UBC % COMM TAX NETWORK  
12615 JONES RD SUITE 204  
HOUSTON TX 77070

OR CURRENT RESIDENT  
101606346521441615  
VISTA DEL NORTE DEVELOPMENT LLC  
4101 E IRVINGTON RD  
TUCSON AZ 85726

EDWARD AVILA C/o  
CLAUDIO VIGIL ARCHITECTS  
1801 RIO GRANDE BLVD. NW  
ALBUQUERQUE, NM 87104  
PROJECT #1008265

