

SITE DEVELOPMENT DATA:
 LEGAL DESCRIPTION: UNPLATTED LAND OF ST. JUDE THADDEUS PARISH WITHIN THE SW 1/4 OF PROJECTED SECTION 11, T. 11 N., R. 2 E., N.M.P.M., TOWN OF ALAMEDA GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BUILDING ADDRESS: ST JUDE THADDEUS CATHOLIC CHURCH
 5712 PARADISE BOULEVARD N.W.
 ALBUQUERQUE, NEW MEXICO

LAND AREA: 9.4772 ACRES (412,827 SQ. FT.)

CURRENT ZONING: SU-1 FOR CHURCH AND RELATED FACILITIES

ZONE ATLAS PAGE: B-11-Z

BUILDING AREAS: PROPOSED NEW CHURCH = 22,000 SF

PARKING CALCULATIONS:

PHASE I PROPOSED CHURCH	
1 PARKING SPACE PER 4 SEATS	
1404 SEATS/4 =	351 SPACES
EXISTING PARISH HALL & OFFICES	
12,128 SEATS/200 =	60 SPACES
TOTAL PARKING SPACES REQUIRED	411 SPACES
TOTAL PARKING SPACES PROVIDED	468 SPACES
(PHASE I = 385 SPACES, PHASE II = 83 SPACES)	

COMPACT PARKING CALCULATION:
 25% OF REQUIRED SPACES
 411 REQ'D x 25% = 103 SPACES ALLOWED
 TOTAL COMPACT PARKING SPACES ALLOWED = 103 SPACES
 TOTAL COMPACT PARKING SPACES PROVIDED = 46 SPACES

DISABLED PARKING REQUIREMENTS:
 PROPOSED NEW CHURCH = 411 REQUIRED SPACES
 TOTAL HC SPACES REQUIRED = 12 SPACES
 TOTAL HC SPACES PROVIDED = 18 SPACES

468 TOTAL SPACES PROVIDED—BOTH PHASES:
 INCLUDING WITH THE PROVIDED SPACES
 404 REGULAR SPACES
 18 HANDICAP PARKING SPACES
 46 SMALL CAR SPACES

TOTAL PARKING SPACES PROVIDED = 468 SPACES

MOTORCYCLE REQUIREMENTS:
 411 SPACES = 6 SPACES REQ'D
 TOTAL MOTORCYCLE SPACES PROVIDED = 6 SPACES

BICYCLE REQUIREMENTS:
 1 PER 20 REQUIRED = 411/20
 PARKING SPACES = 21 SPACES REQ'D
 TOTAL BICYCLE SPACES PROVIDED = 22 SPACES

GENERAL NOTES:

[A] PHASE II WILL DEVELOP THE FOLLOWING:
 -NEW ASPHALT PAVING, CONCRETE CURBS AND SIDEWALKS AS SHOWN.
 -NEW 6'-0" HIGH CMU SCREEN WALL TO MATCH EXISTING, WHERE DEVELOPMENT OCCURS.
 -NEW LANDSCAPING IN PARKING ISLANDS AS SHOWN ON LANDSCAPING PLAN.
 -PAINTED STRIPING FOR ADDITIONAL 83 PARKING SPACES
 -REMOVAL OF EXISTING PATIO WALL FROM PERIMETER OF EXISTING RECTORY BUILDING TO ACCOMMODATE ADDITIONAL PARKING.
 -NEW 6'-0" HIGH CMU PATIO WALL AT PERIMETER OF RECTORY AS SHOWN ON SITE PLAN.
 -NEW LANDSCAPING BUFFER ADJACENT NEW SCREEN WALL, SEE LANDSCAPING PLAN.

[B] PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.

[C] ALL MECHANICAL ROOFTOP EQUIPMENT SHALL BE SCREENED FROM VIEW OF THE ADJACENT PARKING AREA AND PUBLIC RIGHT-OF-WAY, AND SHALL BE ON THE FLAT PORTION OF THE ROOF WITH PARAPETS HIGH ENOUGH TO SHIELD THEM FROM VIEW. SCREENING MATERIAL SHALL MATCH BUILDING WALL COLOR AND MATERIALS.

[D] CONDITION 6-C: SITE PLAN SHALL COMPLY AND BE DESIGNED PER DPM STANDARDS.

SITE LIGHTING NOTES:

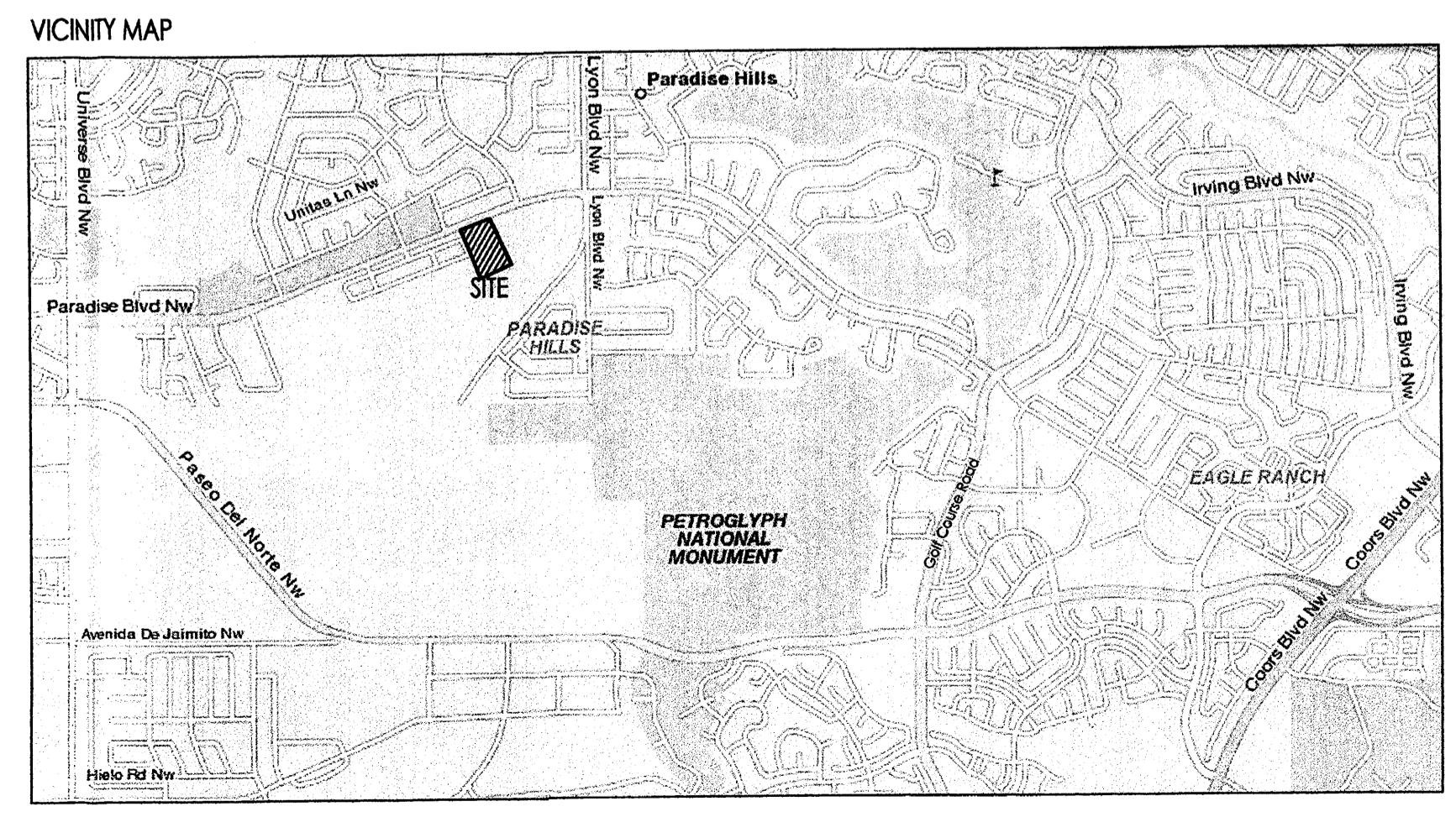
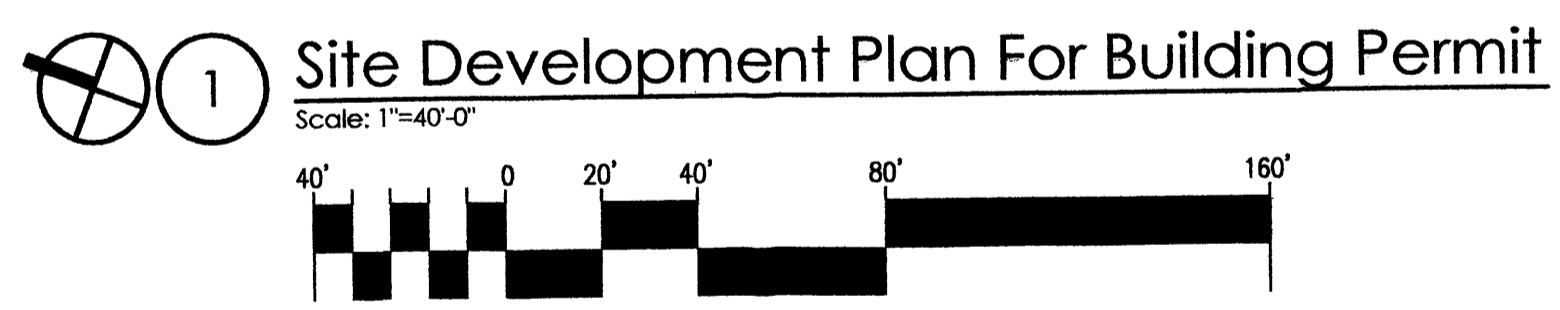
[A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.

[B] THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 16'-0" MAX. TO MATCH EXISTING. LIGHTING TO BE PROVIDED ON BUILDING FACADES SHALL BE MOUNTED AT 12 FEET MAXIMUM.

[C] CONDITION 6-A: LIGHTING SHALL BE POSITIONED TO NOT CONFLICT WITH LANDSCAPING.

[D] CONDITION 6-B: ADDITIONAL WALL MOUNTED LIGHTS SHALL BE INSTALLED ALONG THE PERIMETER OF THE BUILDING WHERE APPROPRIATE.

[E] CONDITION 6-C: VIDEO CAMERAS SHALL BE INSTALLED TO VIEW ALL WALKWAYS, COMMON AREA, BUILDING ENTRANCES AND PARKING LOTS.



- KEYED NOTES:**
- PROPOSED DOUBLE CMU DUMPSTER ENCLOSURE WITH RECYCLING AREA.
 - EXISTING HANDICAP PARKING SPACES.
 - EXISTING PARKING STRIPING.
 - PROPOSED LANDSCAPING.
 - EXISTING HANDICAP RAMP TO REMAIN.
 - PROPOSED HANDICAP PAVEMENT SIGN.
 - PROPOSED PAINTED HANDICAP AISLE STRIPING.
 - PROPOSED ASPHALT PAVING.
 - PROPOSED SITE LIGHTING. HEIGHT TO BE 16'-0" MAX FOR TYPE "A" FIXTURE AND 10'-0" MAX FOR TYPE "B" FIXTURE. SEE SHEET 7 FOR DETAIL.
 - PROPOSED BIKE RACK WITH 5 SPACES.
 - PROPOSED CONCRETE SIDEWALK.
 - EXISTING CONCRETE PEDESTRIAN CONNECTION TO CITY SIDEWALK.
 - PROPOSED STAMPED COLORED CONCRETE PEDESTRIAN CONNECTION.
 - PROPOSED PAINTED PARKING STRIPING.
 - EXISTING CONCRETE CURB.
 - PROPOSED CONCRETE CURB. SEE GRADING AND DRAINAGE PLAN.
 - THIS AREA OF CONCRETE TO BE FLUSH WITH PAVEMENT.
 - EXISTING CONCRETE SIDEWALK (SHOWN SHADED) TO REMAIN.
 - PROPOSED STOP SIGN.
 - EXISTING CITY CURB AND GUTTER.
 - EXISTING TREES AND LANDSCAPING TO REMAIN.
 - PROPOSED HANDICAP RAMP.
 - PROPOSED PONDING AREA. SEE GRADING AND DRAINAGE PLAN.
 - PROPOSED HANDICAP PARKING SIGNS (18 TOTAL).
 - PROPOSED 6'-0" HIGH CMU SCREEN WALL TO MATCH EXISTING.
 - EXISTING 6' HIGH CMU SCREEN WALL.
 - EXISTING PAINTED MEDIAN TO REMAIN.
 - EXISTING ASPHALT DRIVE TO REMAIN.
 - PROPOSED COMPACT PARKING SPACES 8'-0"x15'-0" U.N.O. WITH PAINTED "COMPACT CAR" PAVEMENT DESIGNATION.

- KEYED NOTES:**
- PROPOSED STAMPED COLORED CONCRETE PLAZA AREA WITH BENCH SEATING AND LANDSCAPING. SEE LANDSCAPING PLAN AND DETAIL 8 ON SHEET 7.
 - PROPOSED MOTORCYCLE SPACES WITH SIGNAGE AT EACH SPACE.
 - LIMITS OF NEW/EXISTING ASPHALT PAVING.
 - PROPOSED STAMPED COLORED CONCRETE PLAZA.
 - NOT USED.
 - PROPOSED 54 SF. (PER SIDE) INTERNALLY ILLUMINATED MONUMENT SIGN. SEE DETAIL ON SHEET 7.
 - EXISTING FIRE HYDRANT.
 - PROPOSED OPENING IN CURB. SEE GRADING AND DRAINAGE PLAN.
 - PAVEMENT MARKINGS.
 - PROPOSED PHASE II SITE DEVELOPMENT.
 - EXISTING 6' HIGH CMU WALL TO REMAIN WITH PHASE I TO BE REMOVED WITH PHASE II.
 - PROPOSED 6'-0" HIGH CMU YARD WALL WITH STUCCO TO MATCH BUILDING.
 - PROPOSED CONCRETE RETAINING CURB (12' HIGH).
 - PROPOSED 6'-0" HIGH PATIO WALL TO MATCH EXISTING SCREEN WALL. TO BE CONSTRUCTED WITH PHASE II.
 - PROPOSED 6'-0" HIGH SCREEN WALL TO MATCH EXISTING SCREEN WALL. TO BE CONSTRUCTED ONLY IF ADJACENT LOT 2 IS RESIDENTIAL USE.
 - PROPOSED FIRE HYDRANT LOCATION. SEE UTILITY PLAN.
- RADIUS INFORMATION:**
- | | | |
|------------|-------------|--------------|
| 1 = 2'-0" | 6 = 15'-0" | 11 = 60'-0" |
| 2 = 3'-0" | 7 = 20'-0" | 12 = 70'-0" |
| 3 = 4'-0" | 8 = 25'-0" | 13 = 80'-0" |
| 4 = 5'-0" | 9 = 30'-0" | 14 = 100'-0" |
| 5 = 10'-0" | 10 = 46'-0" | 15 = 84'-0" |

PROJECT NUMBER: 1008327 APPLICATION NUMBER: 10EPC-40025

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED: June 10, 2010 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? () YES (X) NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>Allen Kuter</i>	Date	09-03-10
<i>Allen Kuter</i>	Date	08/18/10
<i>Daniel Torres</i>	Date	8-18-10
<i>Bealby D. Bingham</i>	Date	8/18/10
<i>N.A.</i>	Date	
<i>Accu Waste</i>	Date	8-6-10
<i>Paul K...</i>	Date	10-26-10

DRB CHAIRPERSON, PLANNING DEPARTMENT

revision
 by
 date
 rev

8/25/10
 8/4/10
 5/25/10

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 Architecture P.C.
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 Albuquerque, NM 87102
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job number
 drawn by
 project manager
 date

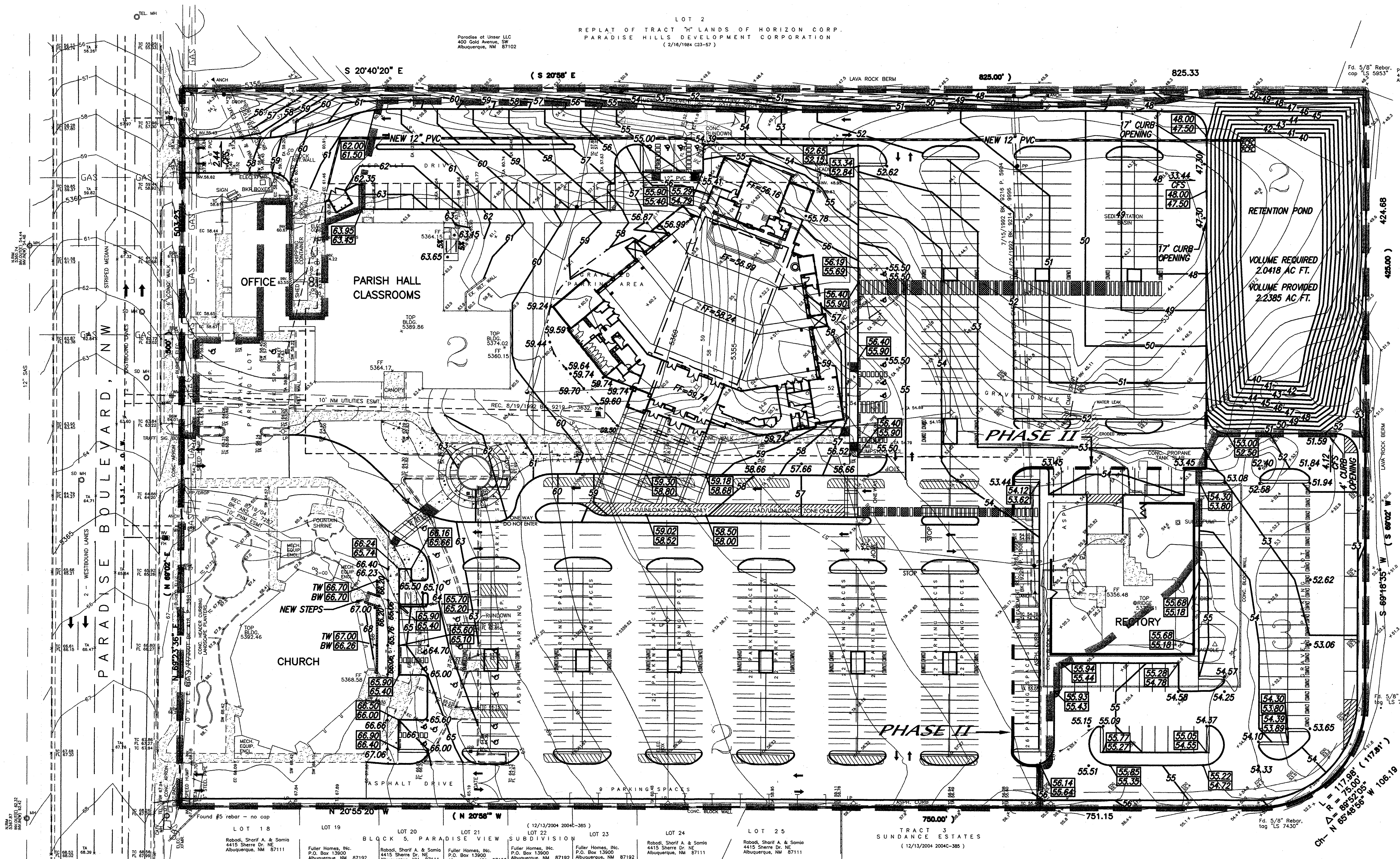
10-01
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 MAMM
 5/25/10

project title
St Jude Thaddeus Catholic Church
 5712 Paradise Blvd NW
 Albuquerque, New Mexico 87114

sheet title
Site Development Plan For Building Permit

sheet #
1 of 7

LEG 8001



NOTE

THE SITE IS ROUGHLY TWO THIRDS DEVELOPED. THERE ARE TWO EXISTING RETAINING PONDS IN THE UNDEVELOPED S.E. PORTION OF THE SITE. THESE ARE CONNECTED BY AN EXISTING 12" PVC PIPE.

THE ADJACENT PROPERTY TO THE WEST IS A DEVELOPED SUBDIVISION WITH A PERIMETER WALL. THE SOUTH PORTION OF THIS PROPERTY CONSISTS OF A RETENTION POND. THE ADJACENT PROPERTY TO THE SOUTH AND EAST IS UNDEVELOPED WITH GENTLE SLOPES DRAINING AWAY FROM THIS SITE.

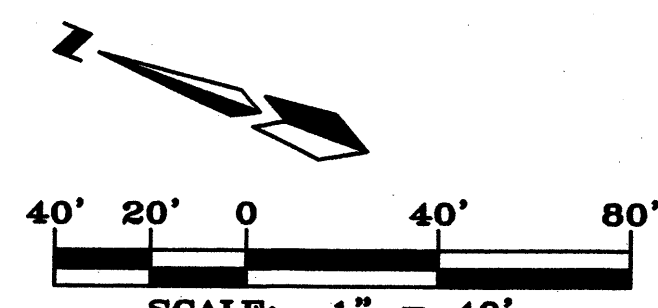
THE SITE SLOPES TO THE S.E. AT 3% PROPOSED DRAINAGE WILL BE HANDLED BY SURFACE FLOW TO THE NEW RETENTION POND IN THE S.E. CORNER. AN EXISTING STORM DRAIN WILL BE RELOCATED ALONG THE EAST DRIVE TO TIE IN TO THE NEW POND.

THE ONLY PROPOSED RETAINING WALLS ARE IN FRONT OF THE EXISTING CHURCH AND THEY ARE NO HIGHER THAN 20" TALL.

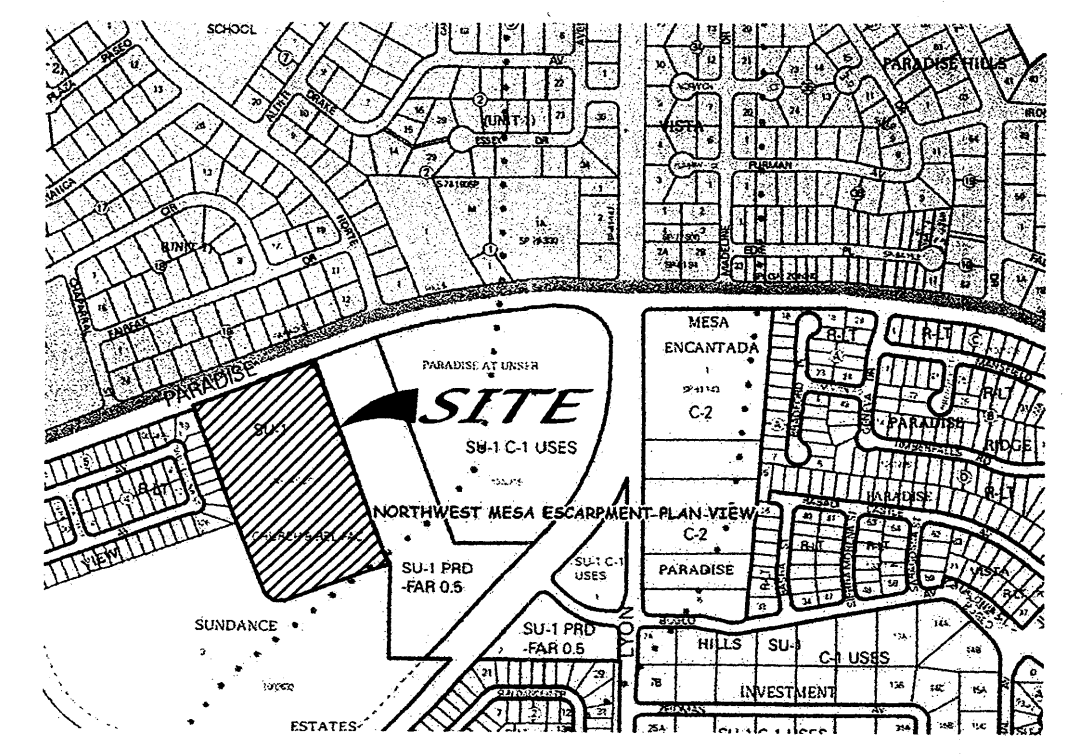


DRAINAGE CALCULATIONS

SITE = 9.4772 AC.
 85% D_i
 15% C_i
 Q₁₀₀ = 40.00 CFS
 BASIN 1 DRAINS OFFSITE, Q₁ = 2.44 CFS
 BASIN 2 DRAINS TO POND, Q₂ = 33.44 CFS
 BASIN 3 DRAINS TO POND, Q₃ = 4.12 CFS
 V₁₀₀ = 1.4742 AC.-FT.
 V_{10 DAY} = 2.0418 AC.-FT. FOR RETENTION POND
 RETENTION POND VOLUME PROVIDED = 2.2385 AC.FT.



LEGEND	
EM	ELECTRIC METER
GM	GAS METER
WV	WATER VALVE
WM	WATER METER
SM	SANITARY SEWER MANHOLE
SC	SEWER CLEANOUT
IRV	IRRIGATION CONTROL VALVE/BOX
FH	FIRE HYDRANT
PP	POWER POLE
ANCH	ANCHOR
LP	LIGHT POLE
OP	OVERHEAD POWER LINE
BC	BURIED POWER CONDUIT
SE	SPOT ELEVATION
EC	EDGE OF CONCRETE
EA	EDGE OF ASPHALT
TA	TOP OF ASPHALT
TC	TOP OF CURB / CONCRETE
FL	FLOWLINE
SW	SIDEWALK
CBW	CONCRETE BLOCK WALL
WIE	WROUGHT IRON ENCLOSURE
SDL	STORM DRAIN LINE
SS	SANITARY SEWER
BTL	BURIED TELEPHONE LINE
GL	GAS LINE
WL	WATER LINE
HP	HANDICAP PARKING SPACE
EXC	EXISTING CONTOURS @ 1 FT. INTERVALS
IC	INDEX CONTOURS @ 5 FT. INTERVALS
NRW	NEW RETAINING WALL
NTC	NEW TOP OF CURB
NFL	NEW FLOWLINE
NSD	NEW BASIN LINE
NS	NEW BASIN NUMBER
NSD	NEW STORM DRAIN



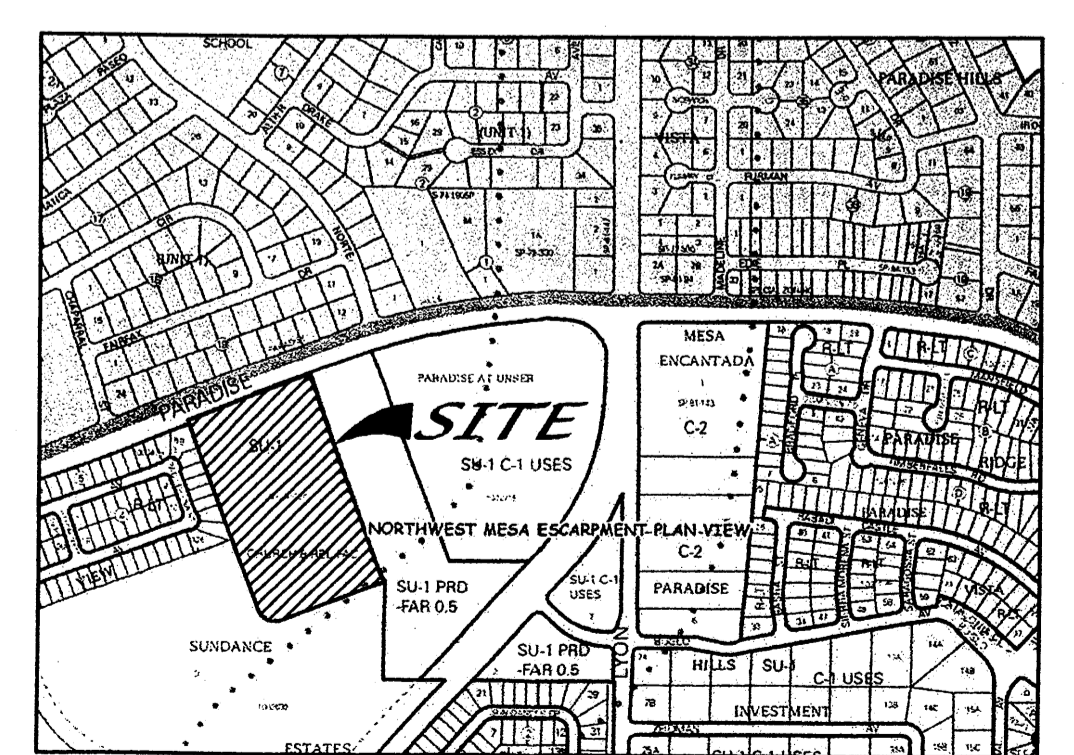
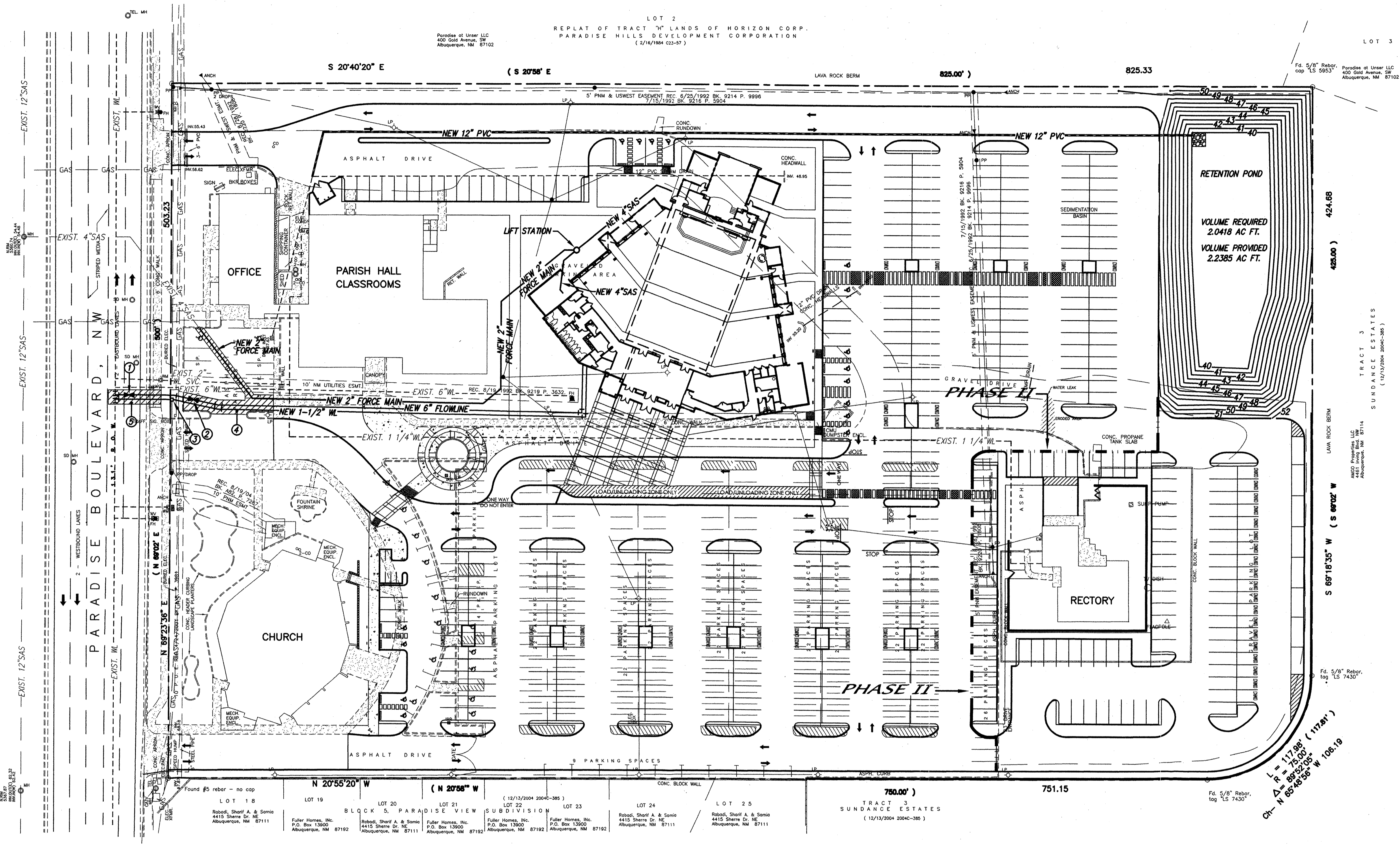
VICINITY MAP ZONE MAP: B-11-Z

St. Jude Thaddeus Church
 RIO BRAVO & COORS BLVD. SW
CONCEPTUAL GRADING & DRAINAGE PLAN

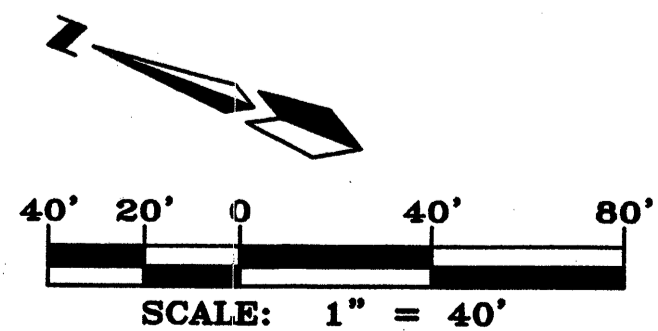
dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539

Designed: GJK Drawn: SPS Checked: DMG
 Scale: 1" = 30' Date: 03-10-10 Job: A10011 Sheet 2 of 7

- KEY NOTES**
- 1 NEW 6" GATE VALVE W/BOX
NON PRESSURE CONNECTION
 - 2 NEW 6" GATE VALVE W/BOX
 - 3 NEW 1-1/2" WATER METER
 - 4 SAWCUT, REMOVE & BELTACE
30.5 S.Y. ASPHALT
10 L.F. STANDARD CURB & GUTTER
6.4 S.Y. SIDEWALK
 - 5 111.9 S.Y. ASPHALT



- LEGEND**
- | | | |
|----------------------------------|--|---------------------------------------|
| EM ELECTRIC METER | SPOT ELEVATION
UNLESS OTHERWISE INDICATED, SPOT ELEVATIONS ARE TO NATURAL GRADE | GAS LINE |
| GM GAS METER | EC EDGE OF CONCRETE | WATER LINE |
| WV WATER VALVE | EA EDGE OF ASPHALT | HANDICAP PARKING SPACE |
| WM WATER METER | TA TOP OF ASPHALT | |
| MH SANITARY SEWER MANHOLE | TC TOP OF CURB / CONCRETE | EXISTING CONTOURS @ 1 FT. INTERVALS |
| CD SEWER CLEANOUT | FL FLOWLINE | 5105 INDEX CONTOURS @ 5 FT. INTERVALS |
| IRR IRRIGATION CONTROL VALVE/BOX | SW SIDEWALK | |
| FH FIRE HYDRANT | CONCRETE BLOCK WALL | NEW TOP OF CURB
08.20
07.70 |
| PP POWER POLE | WROUGHT IRON ENCLOSURE | NEW WATER LINE |
| ANCH ANCHOR | STORM DRAIN LINE | NEW SANITARY SEWER |
| LP LIGHT POLE | SANITARY SEWER | NEW STORM DRAIN |
| OVERHEAD POWER LINE | BURIED TELEPHONE LINE | |
| BURIED POWER CONDUIT | | |

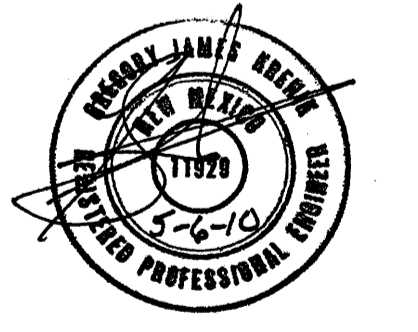


St. Jude Thaddeus Church
RIO BRAVO & COORS BLVD. SW
MASTER UTILITY PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
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Designed: GJK	Drawn: SPS	Checked: DMG	Sheet 3 of 7
Scale: 1" = 40'	Date: 03-10-10	Job: A10011	

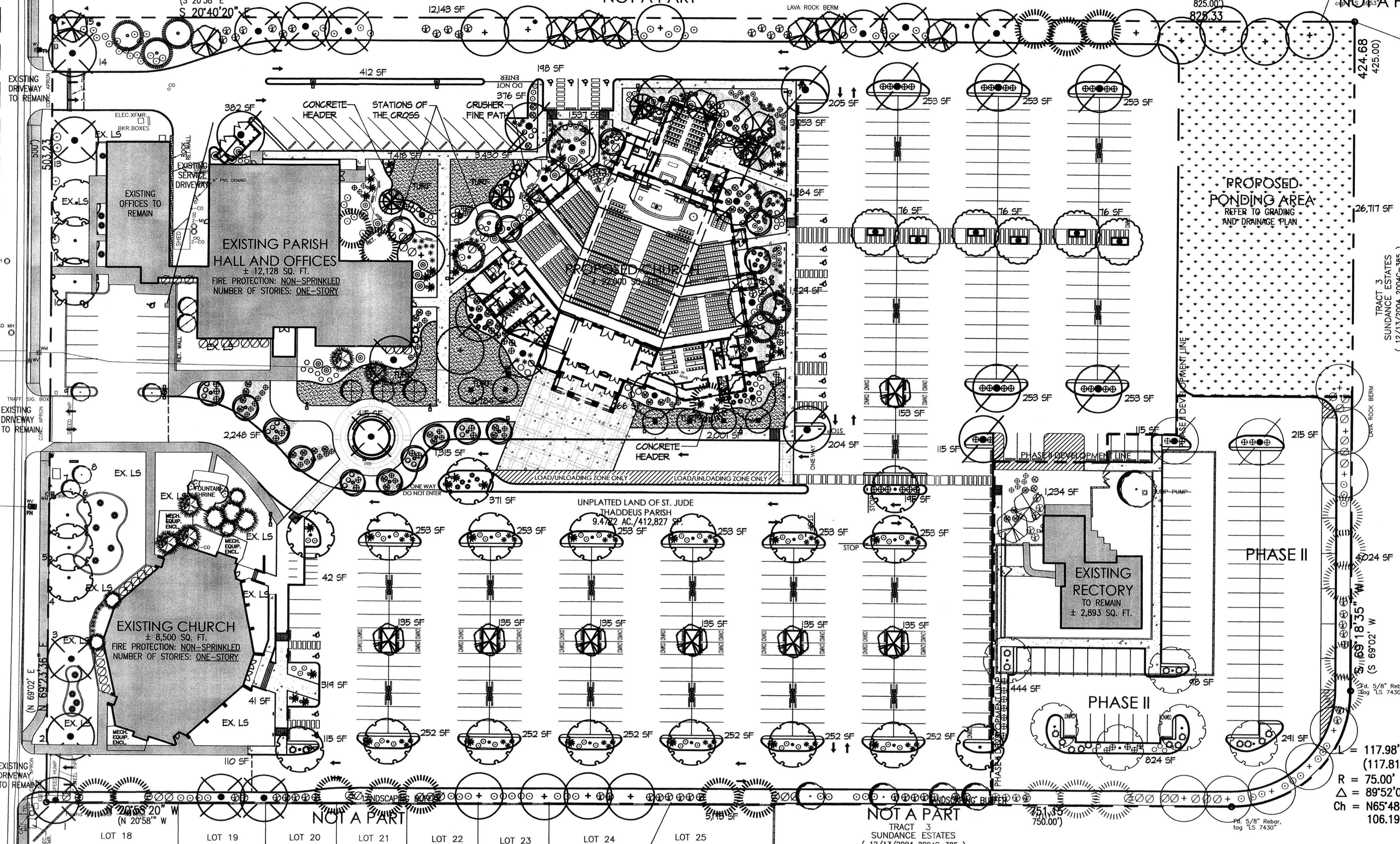
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LOT 2
REPLAT OF TRACT "H" LANDS OF HORIZON CORP.
PARADISE HILLS DEVELOPMENT CORPORATION
(7/21/1984 CS 323-37)
NOT A PART

LOT 3
NOT A PART

PARADISE BOULEVARD, N.W.
(31' RIGHT-OF-WAY)



QUANTITY		SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
PH. 1	PH. 2					
17	2	⊗	CHILOPSIS LINEARIS 'BUBBA' DESERT WILLOW	24" BOX	10' HT. X 6' SFR. 20' HT. X 25' SFR.	LOW +
14	8	⊙	FRAXINUS AMER. 'AUTUMN PURPLE' AUTUMN PURPLE	25" B4B	14' HT. X 6' SFR. 40' HT. X 40' SFR.	MEDIUM+
10	2	⊗	FRAXINUS VELUTINA 'MODESTO' MODESTO ASH	25" B4B	14' HT. X 6' SFR. 40' HT. X 40' SFR.	MEDIUM +
17		⊙	LASERSTROEMIA INDICA GRAPE MYRTLE	24" BOX	10' HT. X 6' SFR. 15' HT. X 15' SFR.	MEDIUM +
6		⊙	PINUS ELДАРICA AFGHAN PINE	B4B	10' MIN. HT. 40' HT. X 20' SFR.	MEDIUM
13	8	⊙	PINUS NIGRA AUSTRIAN PINE	B4B	10' MIN. HT. 35' HT. X 25' SFR.	MEDIUM
6		⊙	FRUNIS CERACIFERA 'KV' KRAUTER VESUVIUS FLWRNG. PLUM	2" B4B	10' HT. X 4' SFR. 18' HT. X 16' SFR.	MEDIUM
4		⊙	PYRUS CALLERYANA FLOWERING PEAR	2" B4B	14' HT. X 5' SFR. 45' HT. X 30' SFR.	MEDIUM +
23		⊗	QUERCUS SHUMARDII SOUTHERN RED OAK	25" B4B	14' HT. X 5' SFR. 60' HT. X 60' SFR.	LOW
23	6	⊙	ULMUS PARVIFOLIA 'ALLEE II' ALLEE LACEBARK ELM	25" B4B	14' HT. X 6' SFR. 40' HT. X 40' SFR.	MEDIUM
4		⊗	VITEX AGNIS-CASTUS CHASTE TREE	24" BOX	10' HT. X 2' SFR. 20' HT. X 20' SFR.	MEDIUM
SHRUBS/GROUNDCOVERS						
6		⊙	ARTEMISIA FOWIS CASTLE' FOWIS CASTLE SAGE	5-GAL.	3" O.C. 3' HT. X 3' SFR.	MEDIUM
24		⊙	BERBERIS GLADYNIENSIS WILLIAM PENN BARBERRY	5-GAL.	6" O.C. 6' HT. X 6' SFR.	MEDIUM
11		⊗	CARYOPTERIS CLANDONENSIS BLUE MIST	5-GAL.	3" O.C. 3' HT. X 3' SFR.	MEDIUM
28		⊙	CHRYSOTHAMNUS NAUSEOSUS CHAMISA	1-GAL.	5" O.C. 4' HT. X 4' SFR.	LOW
34		⊗	CYTISUS SCOP. 'LENA'S BROOM' LENA'S BROOM	5-GAL.	4" O.C. 4' HT. X 4' SFR.	LOW
44		⊙	ERICAMERIA LARGIFOLIA 'AGUIRRE' TURFENTINE BUSH	1-GAL.	2" O.C. 2' HT. X 2' SFR.	LOW
45	15	⊙	FALLUGIA PARADOXA AFACHE PLUME	1-GAL.	5" O.C. 4' HT. X 4' SFR.	LOW
42		⊙	JUNIPERUS SABINA 'BUFFALO' BUFFALO JUNIFER (FEMALE)	5-GAL.	6" O.C. 2' HT. X 6' SFR.	LOW +
14		⊙	KRASCHENNIKOVIA LANATA WINTERFAT	1-GAL.	4" O.C. 3' HT. X 3' SFR.	MEDIUM
40		⊙	LAVENDULA ANGSTIFOLIA ENGLISH LAVENDER	1-GAL.	4" O.C. 3' HT. X 3' SFR.	MEDIUM
24	17	⊙	RAPHIOLEPS INDICA INDIA HAWTHORN	5-GAL.	5" O.C. 3' HT. X 4' SFR.	MEDIUM
31	5	⊙	POTENTILLA FRUTICOSA SHRUBBY GINGUEFOIL	1-GAL.	3" O.C. 3' HT. X 3' SFR.	LOW +
51	10	⊙	RHUS TRILOBATA THREE-LEAF SUMAC	5-GAL.	6" O.C. 6' HT. X 6' SFR.	LOW +
8	16	⊙	ROSMARINUS OFFICINALIS ROSEMARY	5-GAL.	4" O.C. 4' HT. X 4' SFR.	LOW+
47		⊙	SALVIA GREGGII CHERRY SAGE	1-GAL.	3" O.C. 3' HT. X 3' SFR.	MEDIUM
DESERT ACCENTS AND VINES						
31		*	HESPERALOE PARVIFLORA RED YUCCA	1-GAL.	3" O.C. 3' HT. X 3' SFR.	MEDIUM
3		*	YUCCA GLAUCA SOAPYNEED YUCCA	5-GAL.	3" O.C. 3' HT. X 3' SFR.	MEDIUM
2		*	CAMPISID RADICANS TRUMPET VINE	5-GAL.	4" O.C. 8' HT. X 4' SFR.	LOW
10		*	LONICERA JAPONICA 'HALLIANA' HALL'S HONEYSUCKLE VINE	5-GAL.	4" O.C. 8' HT. X 4' SFR.	LOW
ORNAMENTAL GRASSES						
55	17	⊕	CALAMAGROSTIS KARL FOERSTER'S FEATHER REED GRASS	5-GAL.	4" O.C. 8' HT. X 4' SFR.	LOW
28		*	MILHBERGIA CAP. 'REGAL MIST' MILLY GRASS	5-GAL.	3" O.C. 3' HT. X 3' SFR.	MEDIUM
68		*	NASSELLA TENUISSIMA THREADGRASS	1-GAL.	3" O.C. 3' HT. X 3' SFR.	LOW +
PARK BLEND SOD (TALL FESCUE, KENTUCKY BLUEGRASS, RYE)						
NATIVE REVEGETATIVE SEED MIX						
2"-4" BUILDLOGY BROWN COBBLE (6" DEPTH OVER FILTER FABRIC)						
LANDSCAPE BOLDERS						

revision
by
date
rev

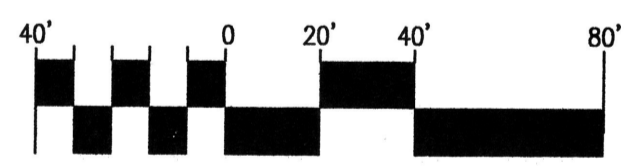
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10-01
job number
drawn by
project manager
date
9-2-10

project title
St Jude Thaddeus Catholic Church
5712 Paradise Blvd NW
Albuquerque, New Mexico 87114
sheet title
Landscaping Plan For Building Permit

sheet
4 of 7

Landscaping Plan For Building Permit
Scale: 1"=40'-0"



GENERAL LANDSCAPE NOTES
LANDSCAPE DESIGN
ALL PLANTING AREAS SHALL BE TOP DRESSED WITH 1/8" BUILDLOGY BROWN ROCK MULCH, 1/8" SANTA ANA TAN ROCK MULCH, 2"-4" BUILDLOGY BROWN COBBLE MULCH, OR SIMILAR MATERIAL. HEADERS SHALL BE PROVIDED TO SEPARATE TURF AREAS FROM PLANTING AREAS. IT IS THE INTENT OF THIS PLAN TO INCLUDE PLANT MATERIAL TO COVER 75% OF THE LANDSCAPE AREA AT MATURITY. ROOTING BARRIERS SHALL BE PROVIDED AT STREET TREES ALONG PARADISE BOULEVARD, ADJACENT TO THE P.U.E.

IRRIGATION
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TURF AREAS AND TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

RESPONSIBILITY OF MAINTENANCE
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.M., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

STREET TREES
THE PARADISE BOULEVARD FRONTAGE MEETS THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE STREET TREE ORDINANCE. THE NUMBER OF TREES IS DETERMINED BY THE SIZE OF THE TREE CANOPY AT MATURITY. RANDOM PLACEMENT OF TREES SHALL BE BASED UPON THE NUMBER OF TREES THAT WOULD BE REQUIRED IF THEY WERE EVENLY SPACED. THE PARADISE BOULEVARD FRONTAGE IS 503 FEET, BASED ON AVERAGE TREE CANOPY OF 35 FEET. THE NUMBER OF TREES SHALL BE 15.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
THE LANDSCAPE PLAN FOR ST. JUDE THADDEUS CATHOLIC CHURCH SHALL LIMIT THE PROVISION OF MEDIUM WATER USE TURF TO A MAXIMUM OF 20 PERCENT OF THE REQUIRED LANDSCAPED AREA. THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

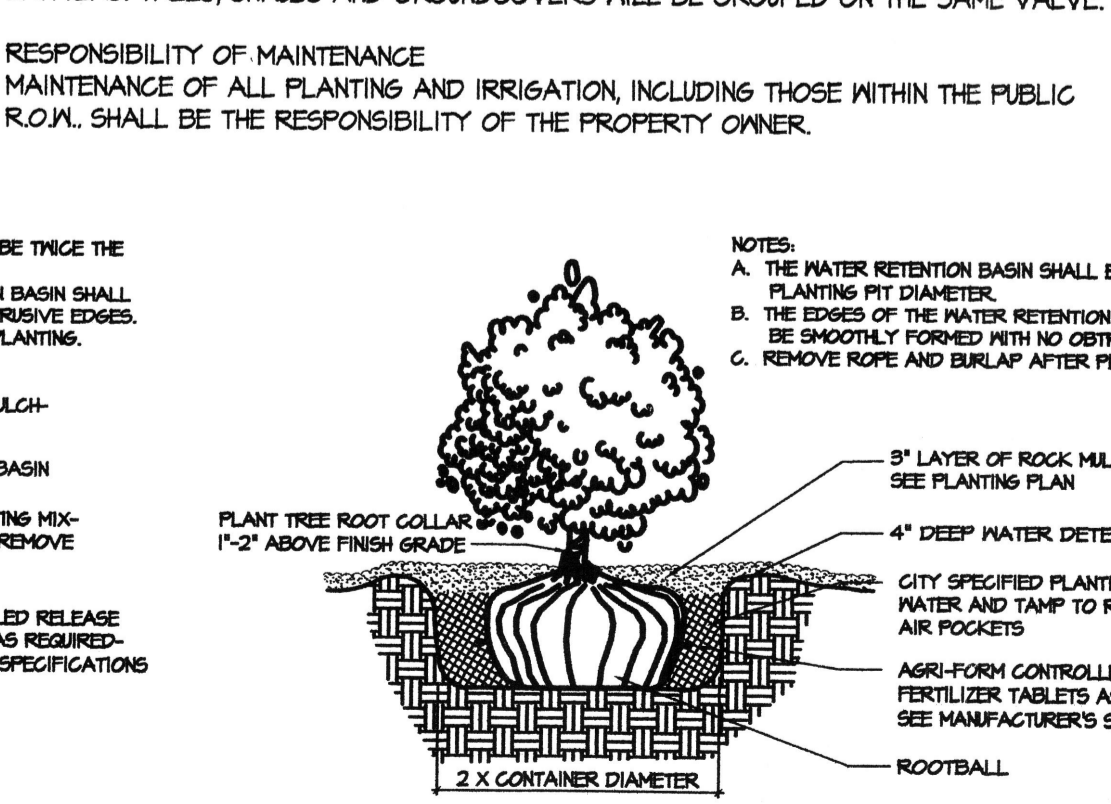
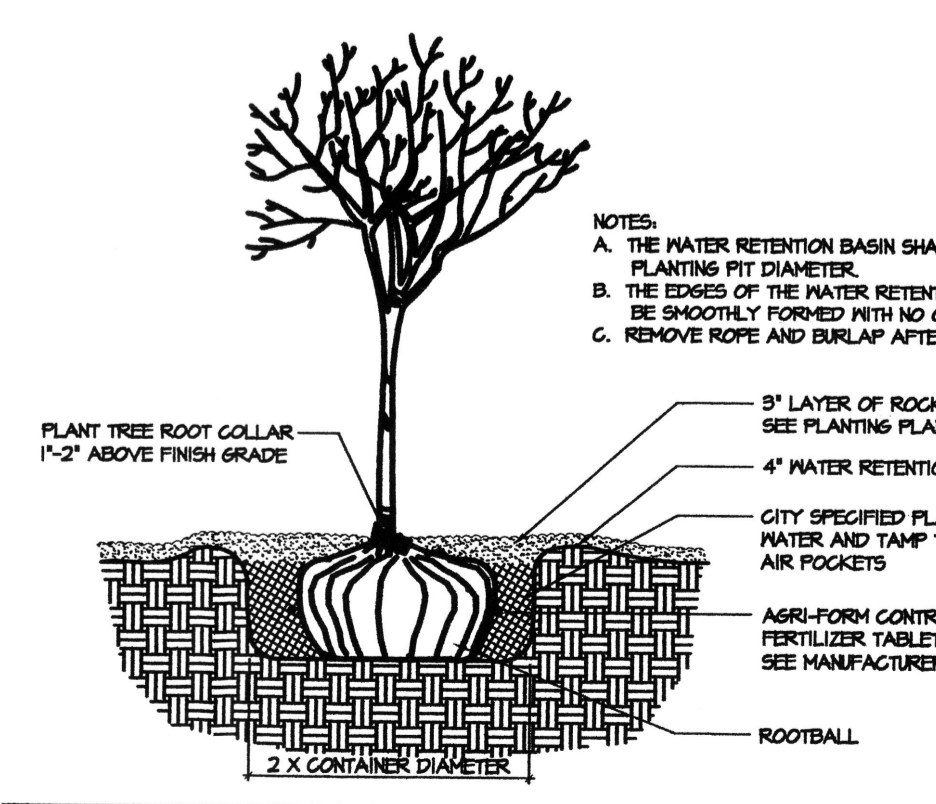
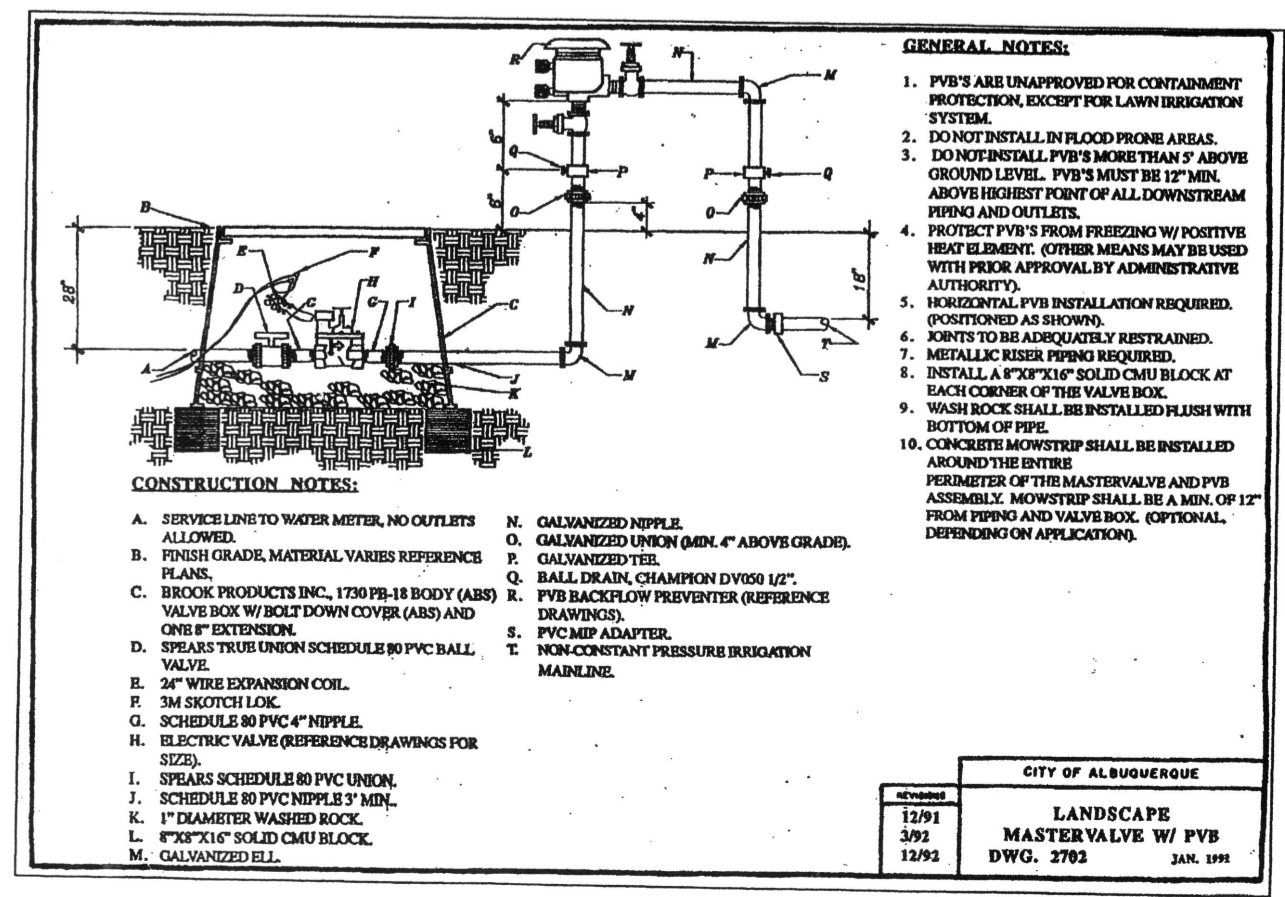
WATER HARVESTING
STORM WATER DISCHARGE WILL BE HARVESTED ON-SITE TO REDUCE RUNOFF. CURB CUTS AND COBBLE SWALES WITH DIRECT WATER FLOW, MINIMIZING POTENTIAL FOR FLOODING AND EROSION WHILE REDUCING WATER NEEDS. PLANT MATERIALS AMENABLE TO WATER HARVESTING ARE PROVIDED IN THESE AREAS.

LANDSCAPE CALCULATIONS
TOTAL SITE AREA: 412,821 SF (4.4172 ACRES)
BUILDING FOOTPRINT (EXISTING AND PROPOSED): 45,521 SF
NET AREA: 367,306 SF
REQUIRED LANDSCAPE AREA (15% OF NET AREA): 55,096 SF
PROVIDED LANDSCAPE AREA: 86,642 SF

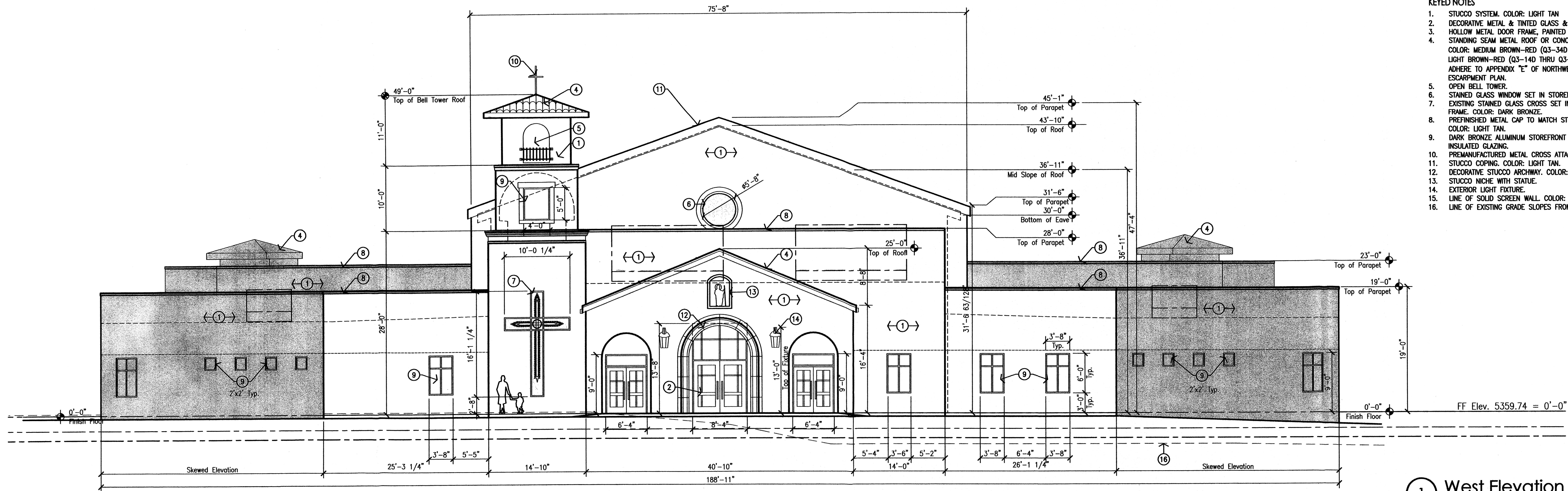
ALLOWABLE MEDIUM WATER USE TURF (20% OF LANDSCAPE AREA): 11,019 SF
PROVIDED MEDIUM WATER USE TURF: 7,382 SF

TREE REQUIREMENTS
PARKING LOT TREES REQUIRED (1 PER 10 SPACES): 47
PARKING LOT TREES PROVIDED: 53

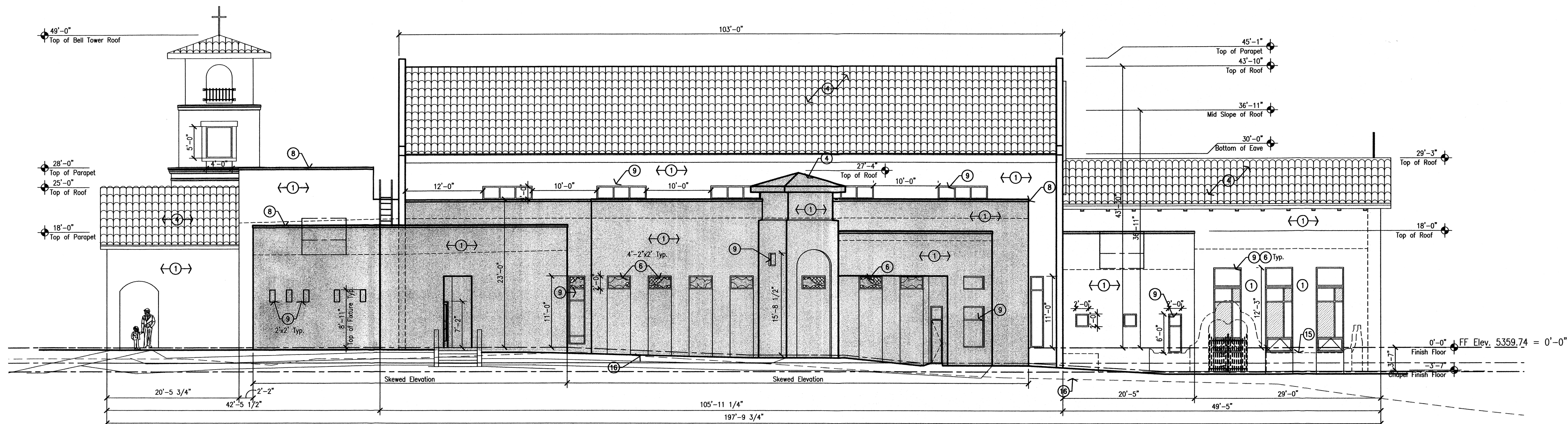
STREET TREES REQUIRED (50' AVERAGE SPACING): 10
STREET TREES PROVIDED: 11



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e-mail: cp@consensusplanning.com



1 West Elevation
1/8"=1'-0"



2 True South & True North Elevation
1/8"=1'-0"

GENERAL NOTE
 A. ALL HEIGHTS ARE RELATIVE TO 0'-0". FINISH FLOOR AT ENTRY.
 B. ALL EXTERIOR BUILDING COLORS WILL ADHERE TO APPENDIX "E" OF THE APPROVED NORTHWEST MESA ESCARPMENT PLAN FOR COLOR AND REFLECTANCE.

- KEYED NOTES**
1. STUCCO SYSTEM. COLOR: LIGHT TAN
 2. DECORATIVE METAL & TINTED GLASS & DOOR FRAME.
 3. HOLLOW METAL DOOR FRAME, PAINTED TO MATCH STUCCO.
 4. STANDING SEAM METAL ROOF OR CONCRETE BARREL TILE. COLOR: MEDIUM BROWN-RED (Q3-34D THRU Q3-35D) OR LIGHT BROWN-RED (Q3-14D THRU Q3-15D). COLORS TO ADHERE TO APPENDIX "E" OF NORTHWEST MESA ESCARPMENT PLAN.
 5. OPEN BELL TOWER.
 6. STAINED GLASS WINDOW SET IN STOREFRONT FRAME.
 7. EXISTING STAINED GLASS CROSS SET IN STOREFRONT FRAME. COLOR: DARK BRONZE.
 8. PREFINISHED METAL CAP TO MATCH STUCCO SYSTEM. COLOR: LIGHT TAN.
 9. DARK BRONZE ALUMINUM STOREFRONT WITH TINTED INSULATED GLAZING.
 10. PREMANUFACTURED METAL CROSS ATTACHED TO ROOF.
 11. STUCCO CORNING. COLOR: LIGHT TAN.
 12. DECORATIVE STUCCO ARCHWAY. COLOR: LIGHT TAN.
 13. STUCCO NICHE WITH STATUE.
 14. EXTERIOR LIGHT FIXTURE.
 15. LINE OF SOLID SCREEN WALL. COLOR: LIGHT TAN
 16. LINE OF EXISTING GRADE SLOPES FROM 5360 TO 5355.

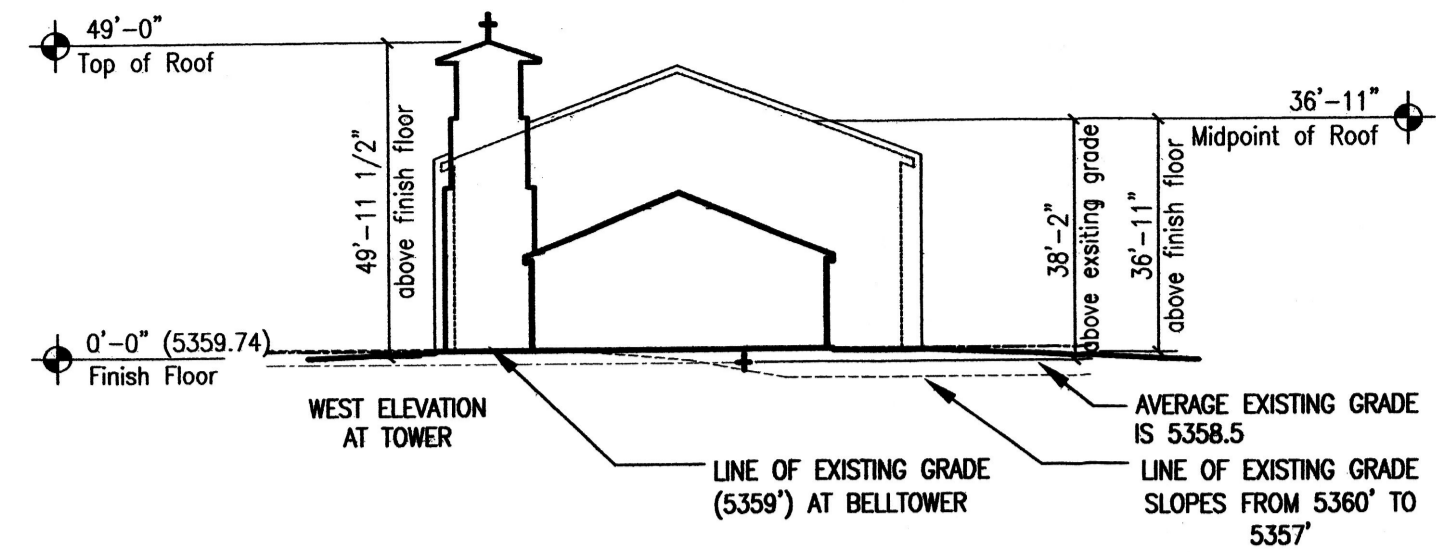
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Per Planning Department Review	Per Planning Department Review
10/25/10	10/18/10

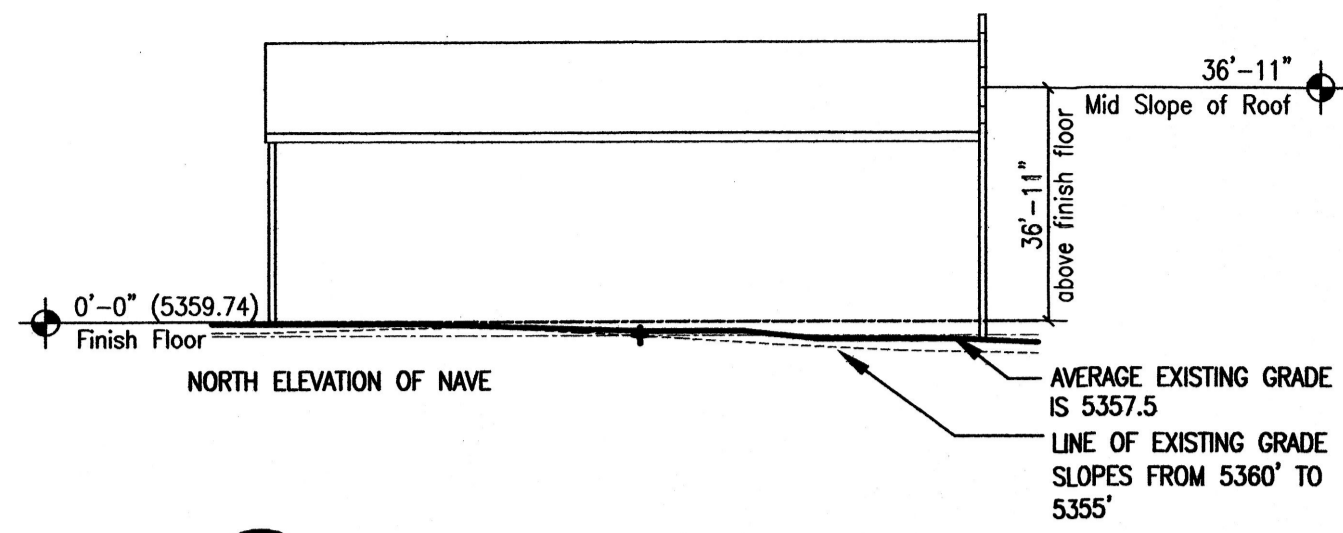
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 505 268 4244 [f]

job number	drawn by	project manager	date
10-01	MRM	MMM	10/18/10

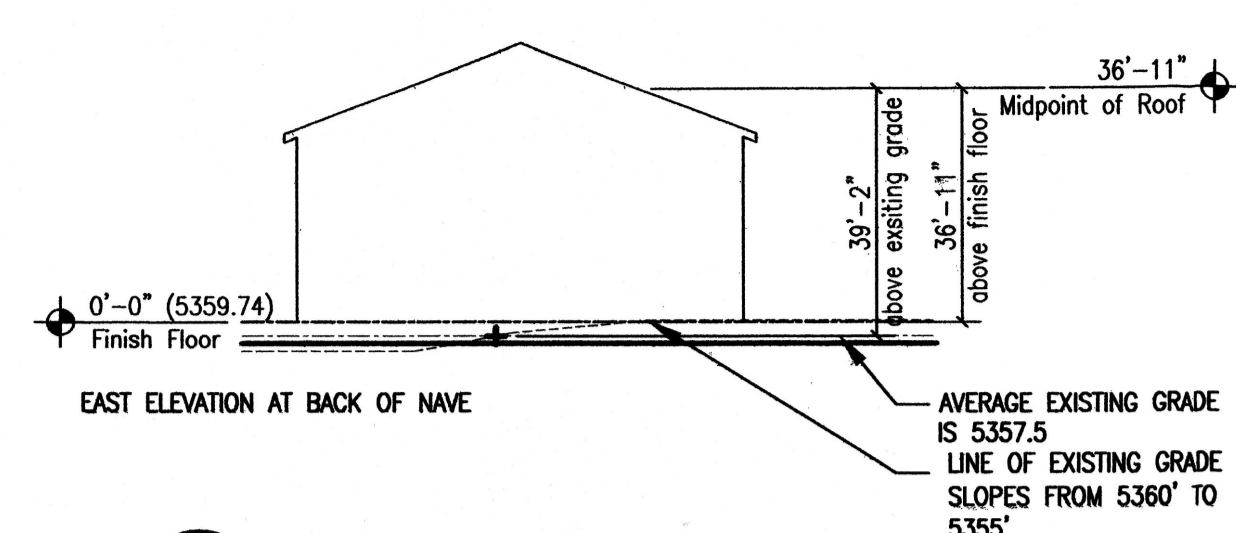
project title
St Jude Thaddeus Catholic Church
 5712 Paradise Blvd NW
 Albuquerque, New Mexico 87114
 sheet title
Exterior Elevations



A Building Height Diagram
1"=30'-0"



B Building Height Diagram
1"=30'-0"



C Building Height Diagram
1"=30'-0"

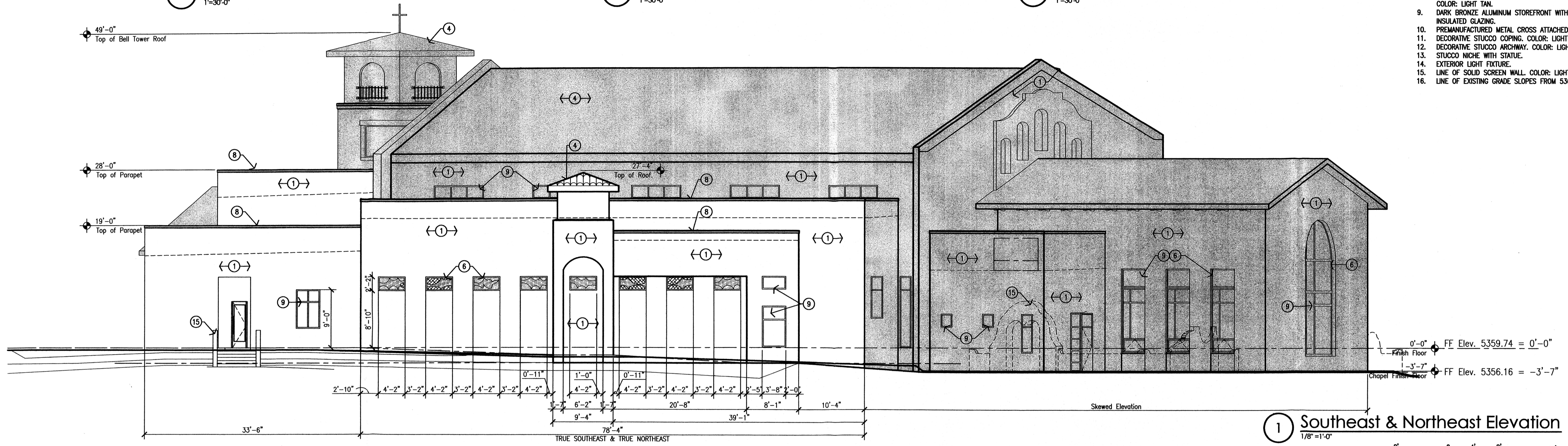
GENERAL NOTE
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- KEYED NOTES**
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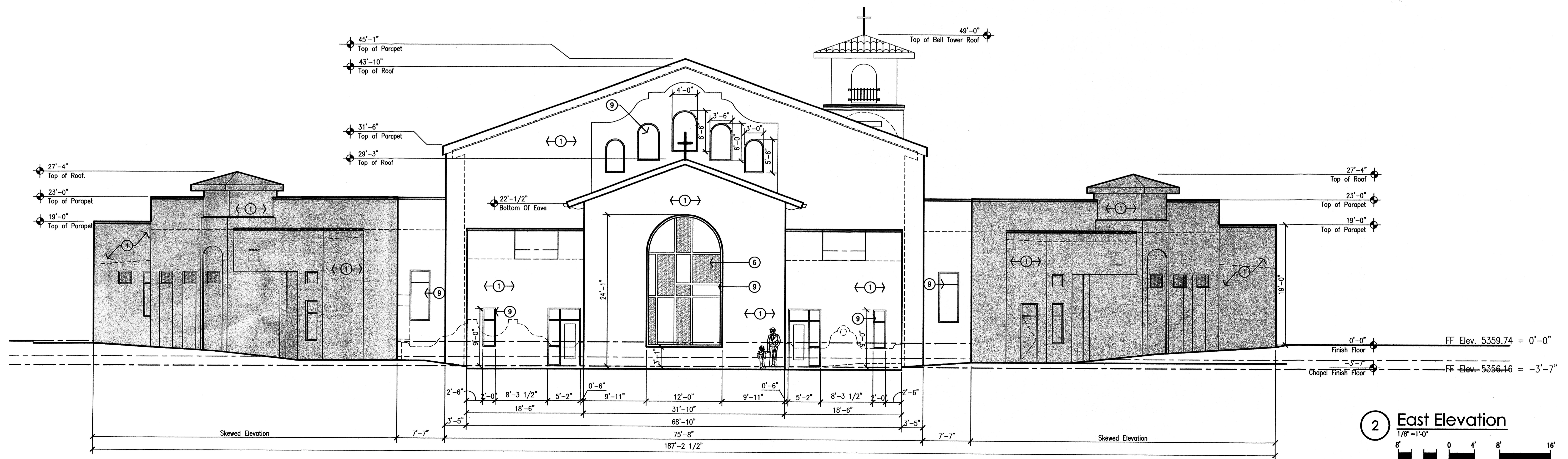
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		10/18/10	mm

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project manager	MMM
date	10/18/10

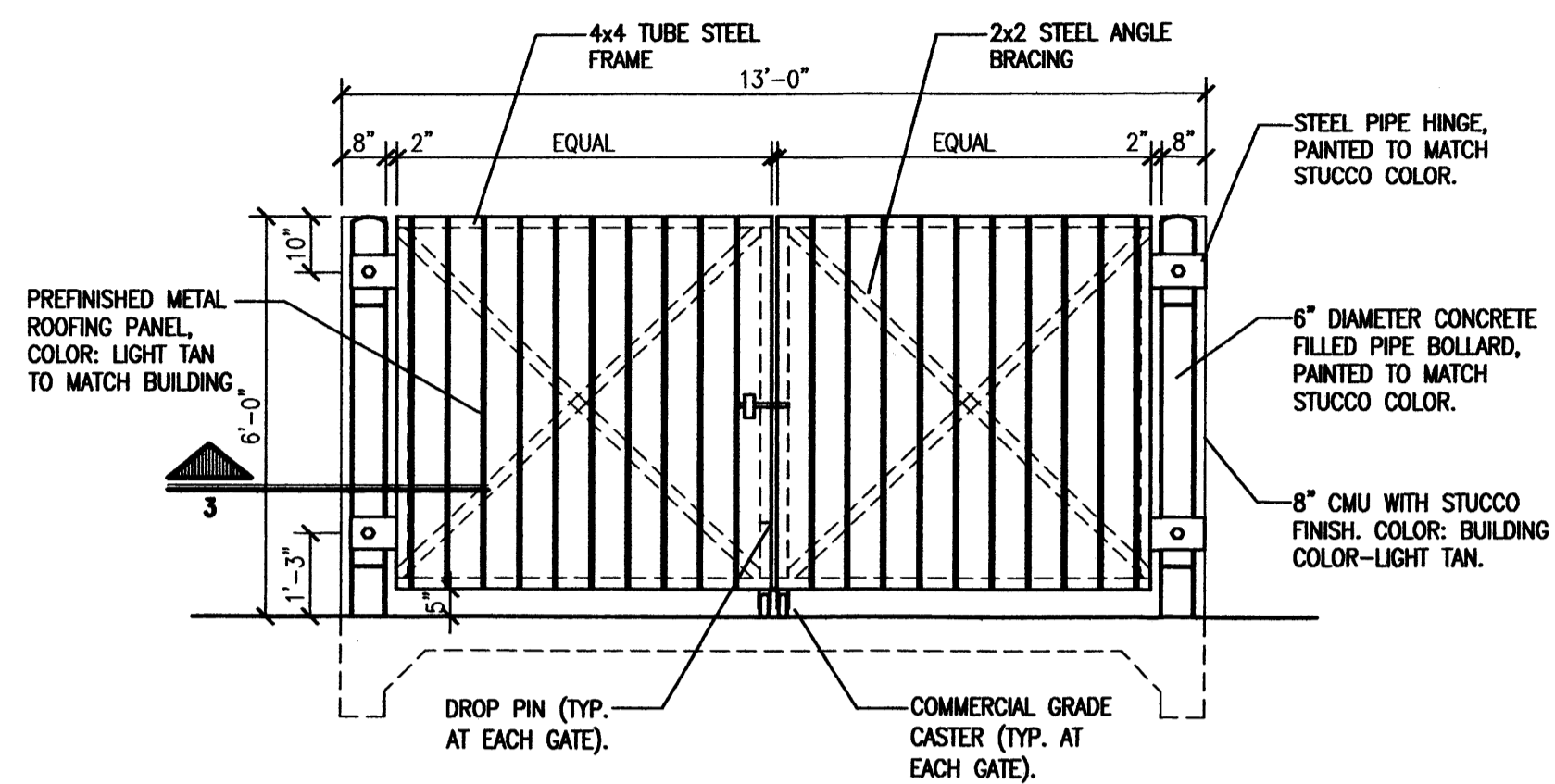


1 Southeast & Northeast Elevation
1/8"=1'-0"

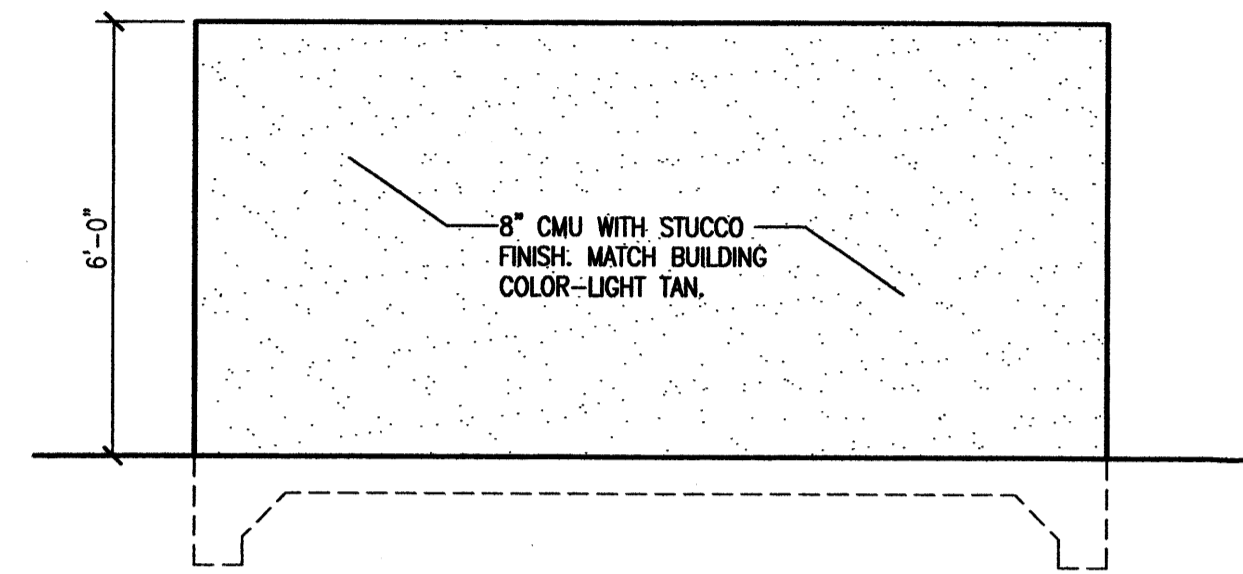


2 East Elevation
1/8"=1'-0"

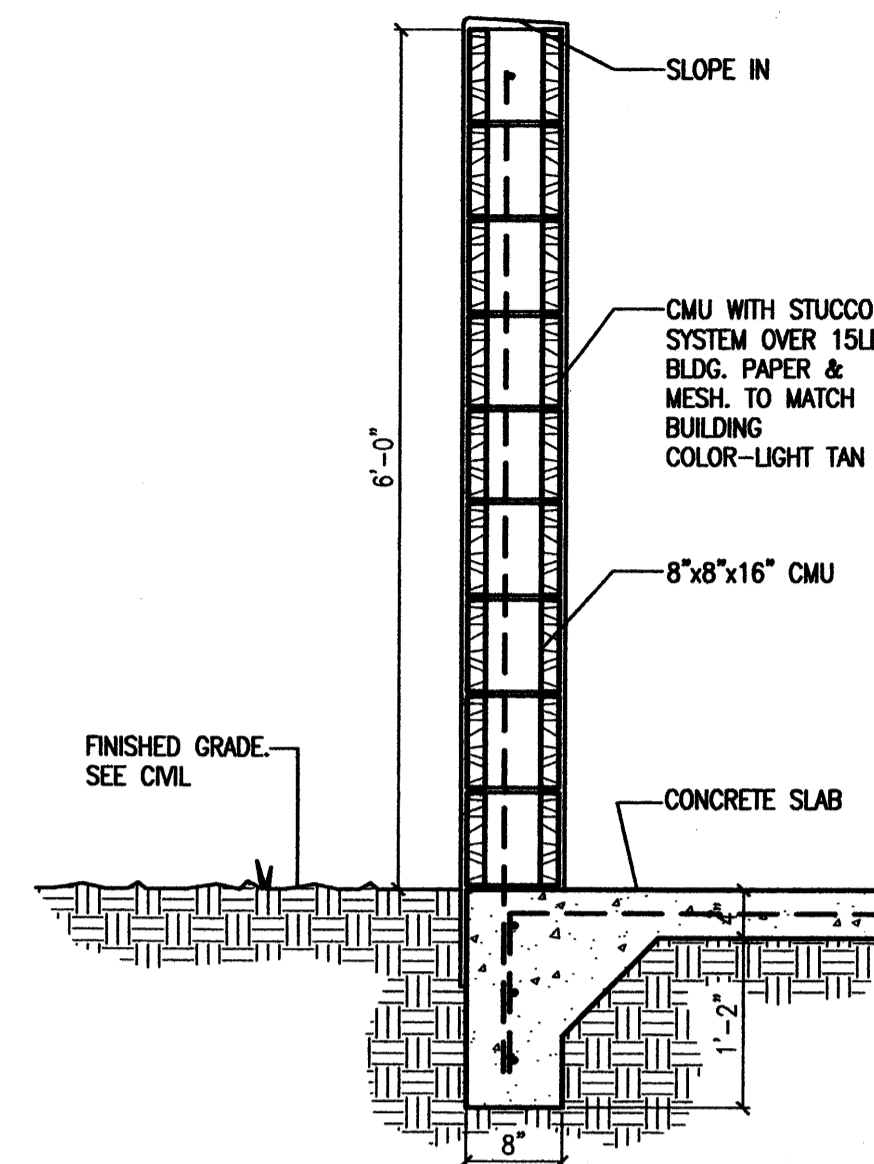
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Exterior Elevations
 sheet-
6 of 7



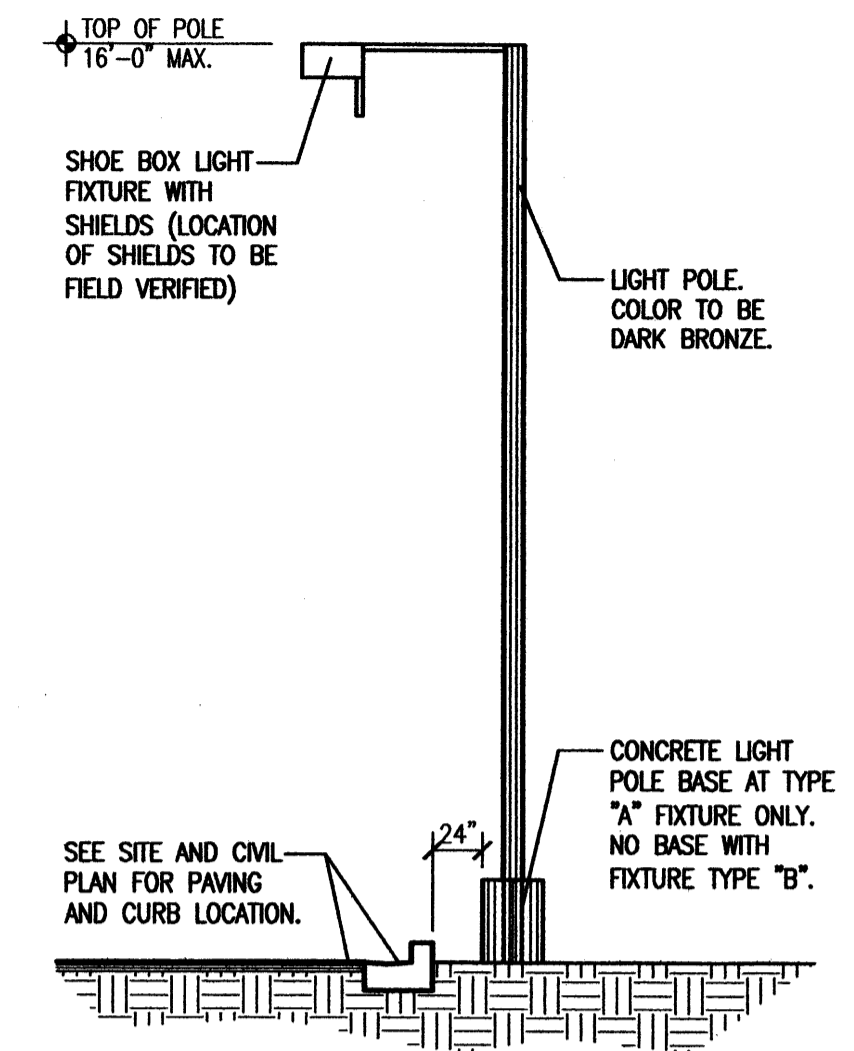
1 Dumpster Enclosure Front Elevation
Scale: 3/8"=1'-0"



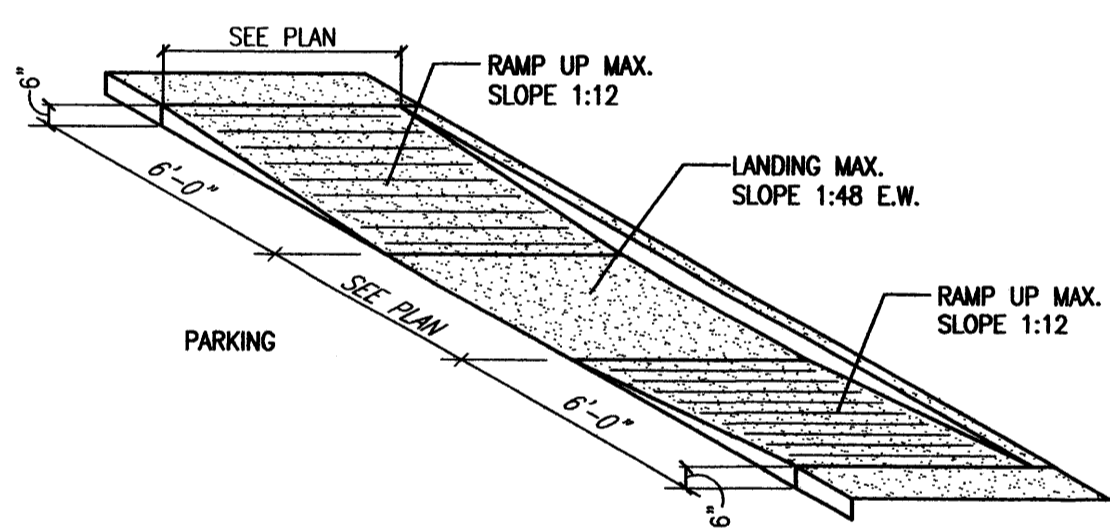
2 Dumpster Enclosure Typ. Side Elevation
Scale: 3/8"=1'-0"



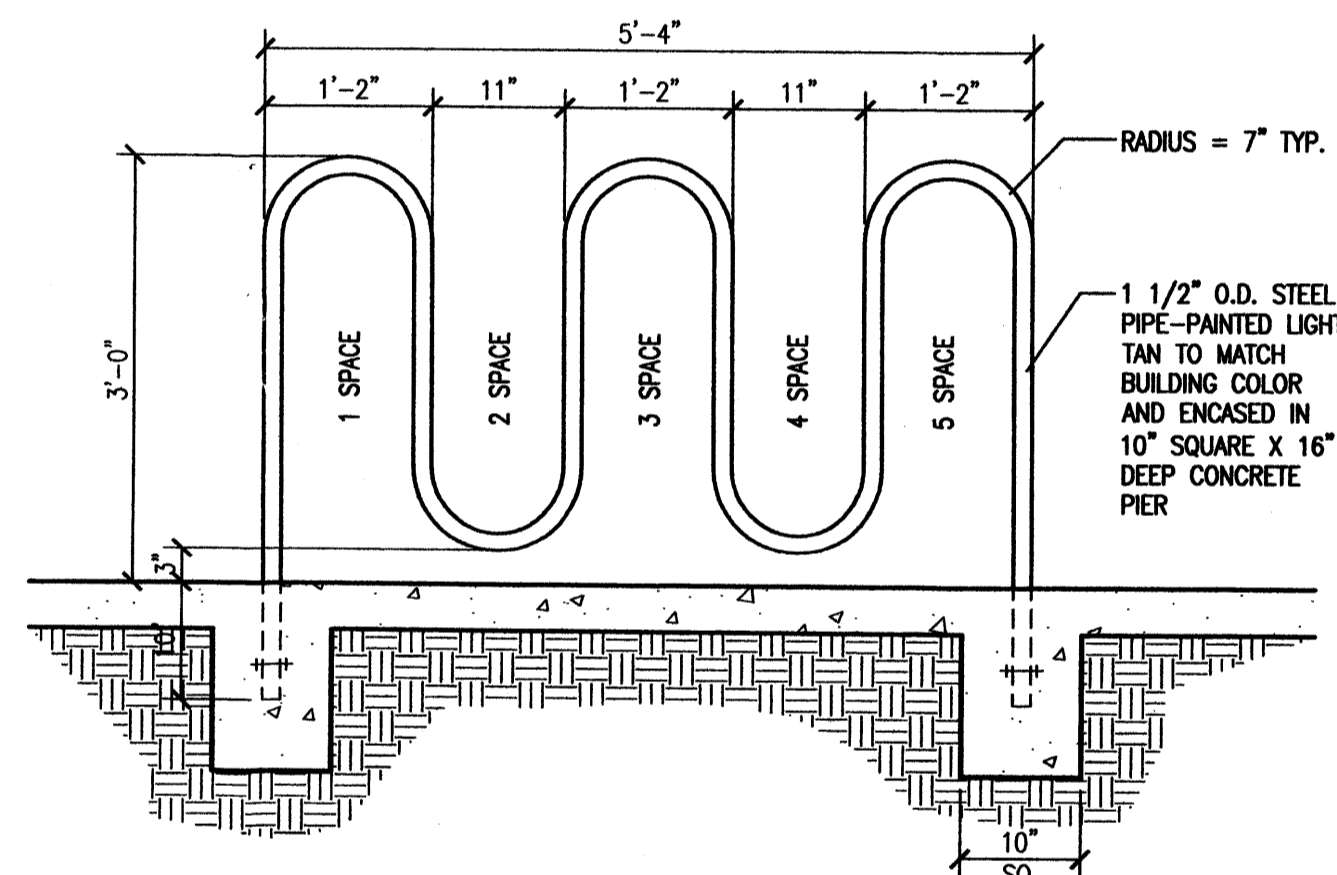
3 Dumpster Enclosure Wall Section
Scale: 1"=1'-0"



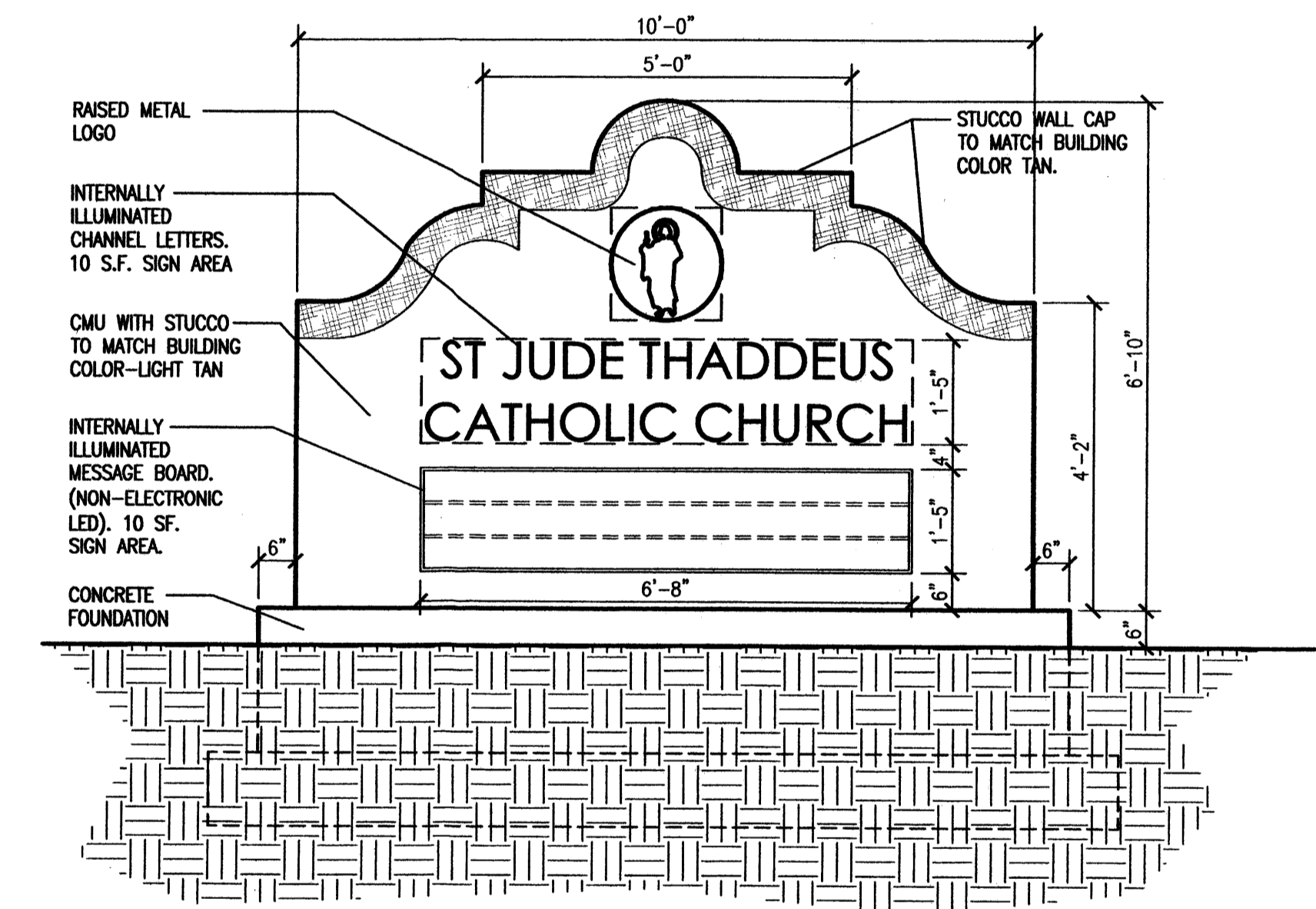
4 Site Lighting Elevation
Scale: Not to Scale



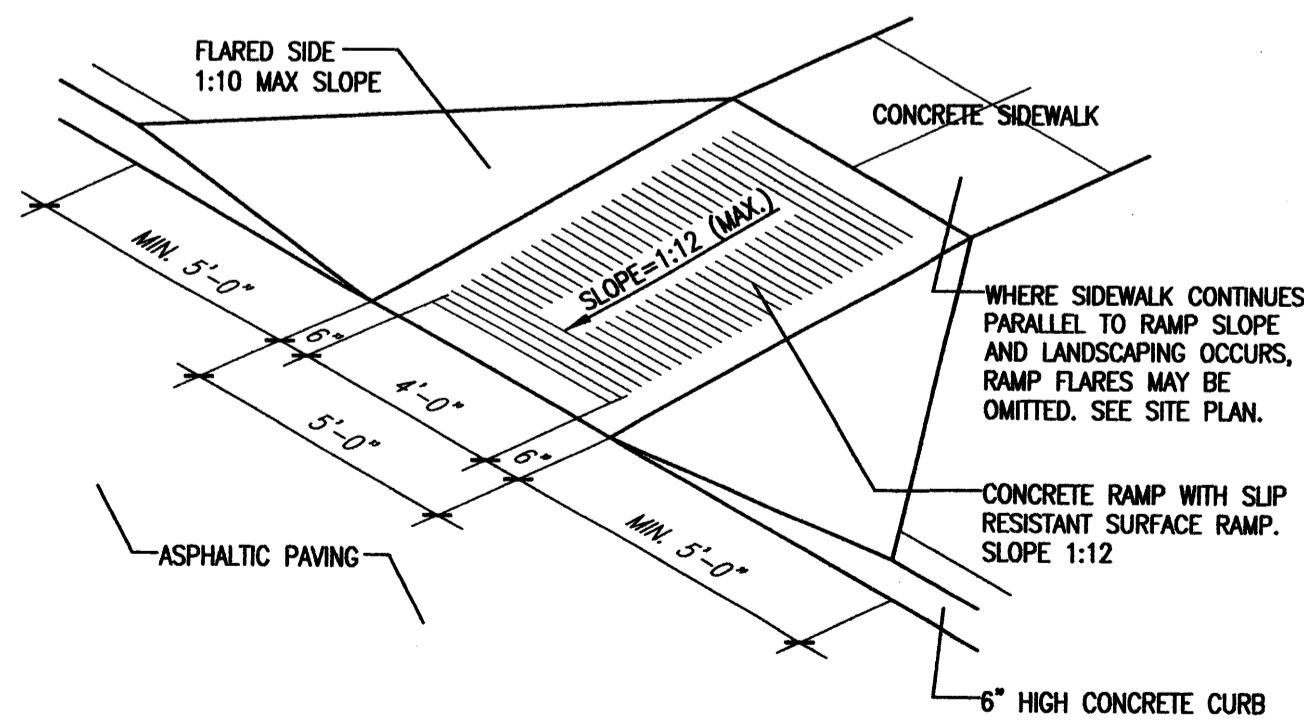
5 H.C. Ramp Detail
Scale: Not to Scale (Isometric)



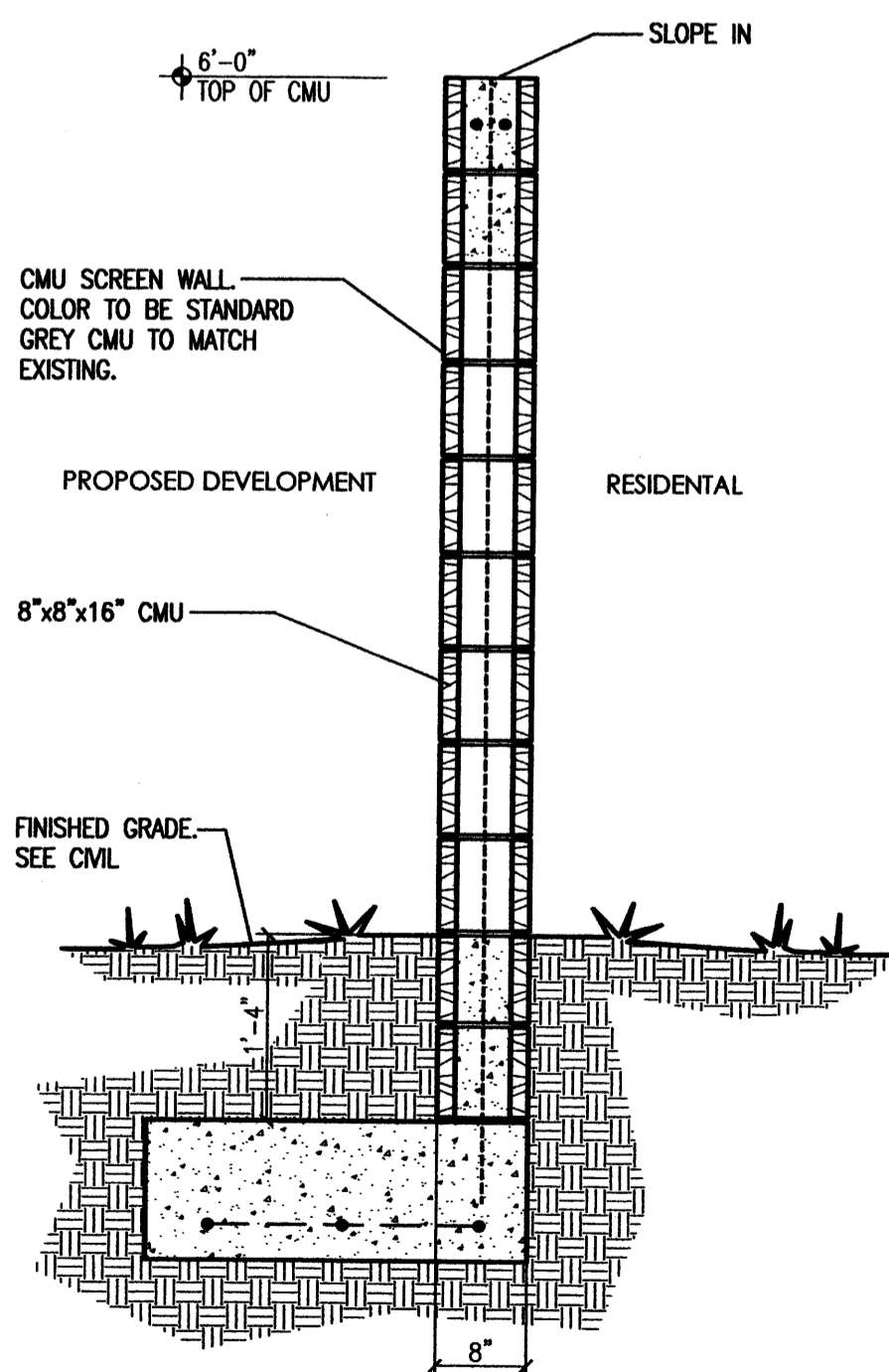
8 Typical Bicycle Rack Detail
Scale: 3/4"=1'-0"



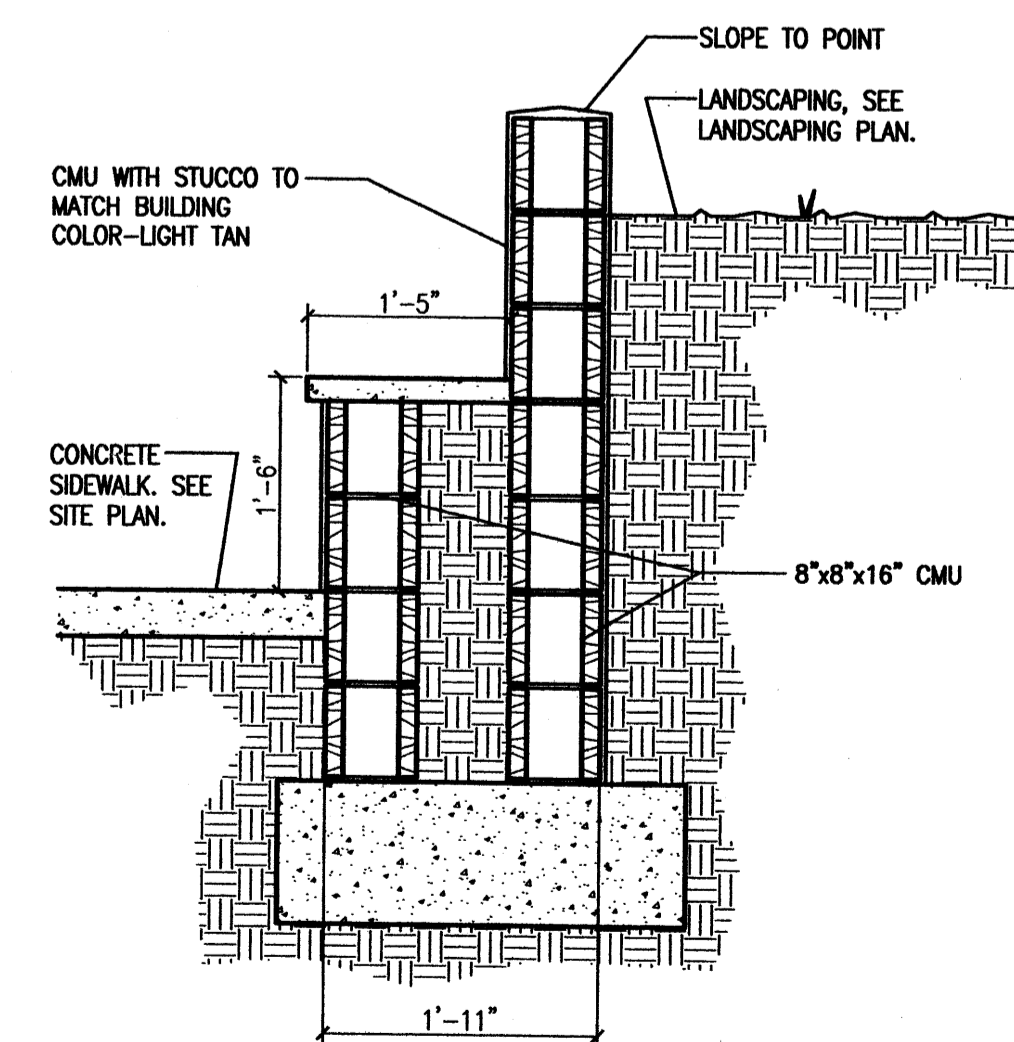
10 Monument Sign Elevation - 54 SF. Per Side
Scale: 1/2"=1'-0"



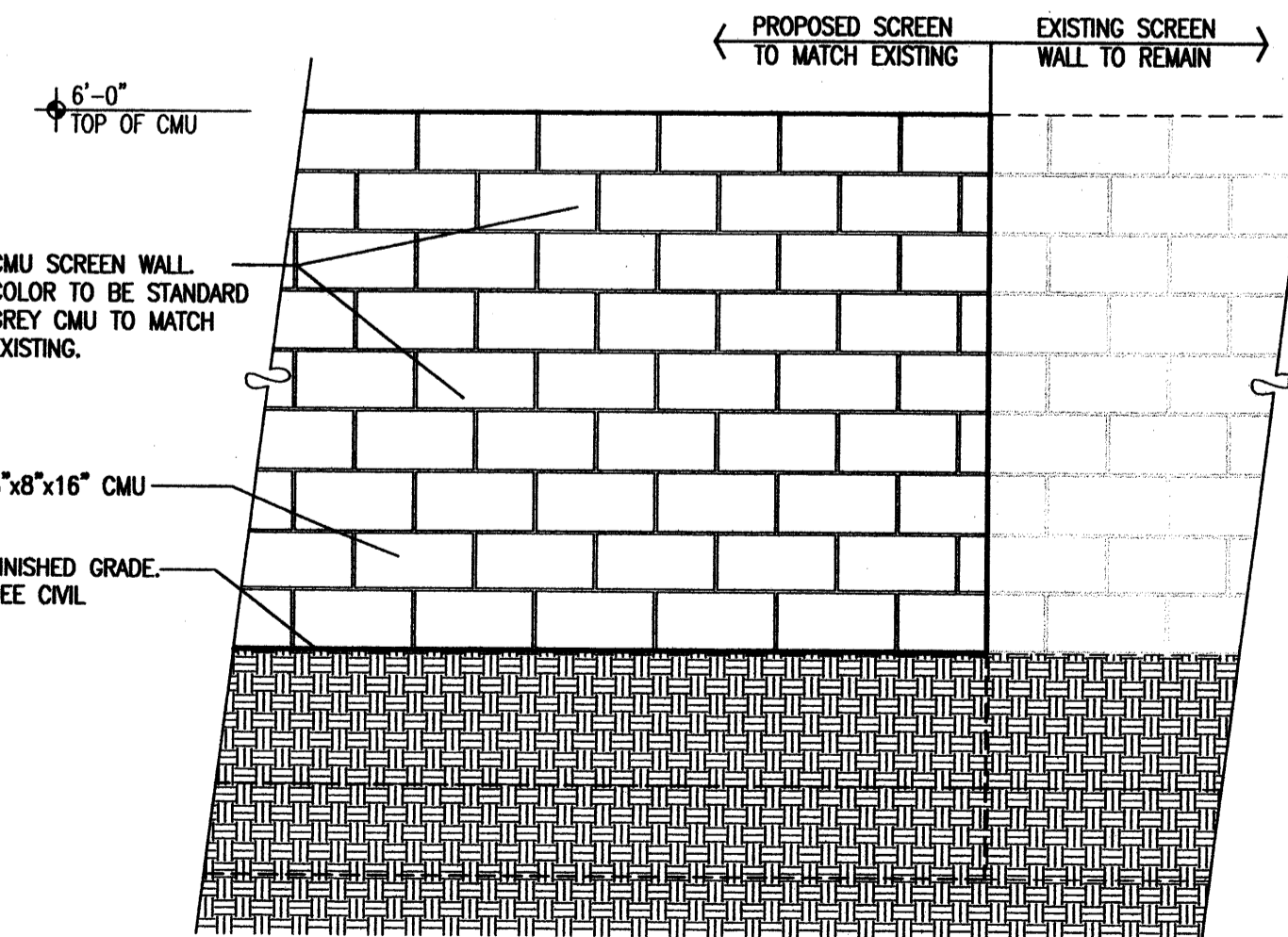
6 H.C. Ramp Detail
Scale: Not to Scale (Isometric)



7 CMU Screen Wall Section
Scale: 3/4"=1'-0"



9 CMU Plaza Seating-Wall Section
Scale: 3/4"=1'-0"



11 CMU Screen Wall Elevation
Scale: 1/2"=1'-0"

revision		Per EPC Conditions of Approval
by	mms	
date	8/4/10	
rev	A A A A A	

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Site Details