



DRB CASE ACTION LOG

REVISED 10/08/07

Complete
10-26-10
YS
SITE PLAN FOR BUILDING PERMIT

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 10DRB-70222 Project # 1008327
Project Name: Unplatted Land Of St. Jude Thaddeus Parish
Agent: MULLEN HELLER ARCHITECTURE Phone No.: _____

Your request was approved on 8-18-10 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: - address comments

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): - address case planner comments

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk): **RECORDED DATE:** _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - AGIS DXF File approval required.**
 - Copy of recorded plat for Planning.**

Created On:

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

4. **Project# 1008327**
10DRB-70222 EPC APPROVED SDP
FOR BUILD PERMIT
- MULLEN HELLER ARCHITECTURE agent(s) for SAINT JUDE THADDEUS CATHOLIC CHURCH request(s) the above action(s) for all or a portion of **UNPLATTED LAND OF ST JUDE THADDEUS PARISH** zoned SU-1 FOR CHURCH & RELATED FAC, located on PARADISE BLVD NW BETWEEN UNSER BLVD NW AND LYON BLVD NW containing approximately 9.4772 acre(s). **(B-11 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION TO ADDRESS COMMENTS AND TO PLANNING TO ADDRESS CASE PLANNER COMMENTS.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

5. **Project# 1007263**
10DRB-70213 MAJOR - FINAL PLAT
APPROVAL
- BOHANNAN HUSTON INC agent(s) for KHANI COMPANY request(s) the above action(s) for all or a portion of Tract(s) A-1, **FOUR HILLS VILLAGE 21ST INSTALLMENT (to be known as Lots 1 thru 6)**, zoned R-1, located on HIDEAWAY LANE SE AND WARMS SANDS SE BETWEEN OPEN SPACE containing approximately 1.2734 acre(s). **(M-23 THE FINAL PLAT WAS APROVED WITH FINAL SIGN-OFF DELEGATED TO CITY ENGINEER FOR LETTER OF ACCEPTANCE AND TO PLANNING FOR AGIS DXF AND TO RECORD.**
6. **Project# 1004355**
10DRB-70219 EXT OF SIA FOR TEMP
DEFR SDWK CONST
- WILSON AND COMPANY INC agent(s) for KB HOMES NEW MEXICO INC request(s) the above action(s) for all or a portion of **VISTA VIEJA Unit(s) 2**, zoned RD, located on VISTA DEL SOL DR NW BETWEEN GROUNDSEL RD NW AND SCENIC RD NW containing approximately 40.86 acre(s). **(D-9) THE TWO YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS APPROVED.**
7. **Project# 1004607**
10DRB-70220 EXT OF SIA FOR TEMP
DEFR SDWK CONST
10DRB-70221 EXT OF SIA FOR TEMP
DEFR SDWK CONST
- WILSON & COMPANY agent(s) for KB HOME NEW MEXICO INC request(s) the above action(s) for all or a portion of **VISTA VIEJA SUBDIVISION** zoned RD, located on VISTA ANTUGUA DR NW BETWEEN VISTA VIEJA AVE NW AND GROUND DEL RD NW containing approximately 77.86 acre(s). **(D-9) THE TWO YEAR EXTENSIONS OF THE SUBDIVISION IMPROVEMENT AGREEMENTS (SIA) WERE APPROVED.**



DRB CASE ACTION LOG

REVISED 10/08/07

SITE PLAN FOR BUILDING PERMIT

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 Project Name: Unplatted Land Of St. Jude Thaddaus Parish
 Agent: MULLEN HELLER ARCHITECTURE Phone No.: _____

Your request was approved on 8-18-10 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

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 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - AGIS DXF File approval required.**
 - Copy of recorded plat for Planning.**

Created On:

City of Albuquerque
Planning Department
Inter-Office Memorandum

TO: Jack Cloud, DRB Chair

FROM: Randall Falkner, Planner

SUBJECT: Project # 1008327

On June 22, 2010, the Environmental Planning Commission approved Project # 1008327 10EPC-40025, a Site Development Plan for Building Permit, for all or a portion of Tract 7 in NW portion of SW portion Section 11 T11N R2E, located on 5712 Paradise Blvd NW, containing approximately 10 acres.

The applicant has satisfied the EPC conditions of approval for the site development plan for building permit with the following exceptions:

Condition 3: To the extent that the proposed church building or bell tower heights exceed 40', the EPC's approval of such height shall be subject to the Planning Director making the appropriate amendment to the NWMEP to accommodate such heights so that, in any case, the heights shall be in compliance with the NWMEP.

The exterior elevations sheet 5 of 7 shows the midpoint of the bell tower roof to be 40', which would comply with the condition. However, the church building height is shown as 48' at the top of the parapet and 43'10" at the top of the roof. Zoning Enforcement considers the 48' tall parapet to be a wall and not a roof, which is in violation of the North West Mesa Escarpment Plan (NWMEP). As a result of Zoning Enforcement considering the parapet as a wall and not a roof, the structure cannot be measured as a roof (if the structure were considered a roof then it would be measured to the average height between the plate and the ridge of a gable, hip, or gambrel roof, per the definition of Height in Section 14-16-1-5 of the Zoning Code). The applicant has stated that they will most likely seek a variance from the Zoning Hearing Examiner.

7a: The applicant shall provide a landscape buffer at least 10' wide and spacing of trees shall be equal to 75% of the mature canopy diameter of the trees along the west side of the church property that abuts the residential zone, per Section 14-16-3-10 (4) of the Zoning Code. Notwithstanding the foregoing, the width of such buffer adjoining the drive aisle along the northwest portion of the site for a depth of approximately 90' shall be 7'. A landscape buffer on the east portion of the site shall be approved that is in compliance with the Zoning Code landscaping regulations, with the exception of a wall.

The requirement for a landscape buffer of at least 10' wide and spacing of trees equal to 75% of the mature canopy is not fully complied with on west side of the

church property that abuts the residential zone. The width of the buffer on the northwest portion of the site is 7' for approximately 160', while only 90' is allowed per the condition. The spacing of trees on the west side is not equal to 75% of the mature canopy diameter of the trees. The landscaping on the west side of the church property that abuts the residential zone shows 14 trees that have a spread between 25' and 30'. 21 trees are required to meet the 75% requirement on the western side of the church property. The landscape buffer on the east side of the church property that abuts the residential zone is also not equal to 75% of the mature canopy diameter of the trees. The landscaping on the east side shows 24 trees that have a spread between 25' and 30'. 33 trees are required on the eastern side of the church property that abuts the residential zone.

7b: Two more street trees are required for a total of 15 street trees along Paradise Boulevard.

The total amount of street trees shown along Paradise Boulevard is still 13. Two more street trees are required.

7d: The applicant shall show the quantity, scientific/common name, the installed size and mature size (height & spread), and water use of all existing plants, per Section 14-16-3-10 (C)(3) of the Zoning Code.

The applicant has not shown the quantity, scientific/common name, the installed size and mature size (height & spread), and water use of all existing plants. The applicant simply states that for more detailed information reference the landscape plan associated with the original site development. Zoning Enforcement has stated that the details of all existing plants must be shown.

7h: Pedestrian walkways should be lined with adjacent shade trees spaced approximately 25 feet on center and placed within defined planting areas that have a minimum of 36 s.f. and a minimum width of four feet, per Section 14-16-3-1(H)(1).

Pedestrian walkways have not been lined with adjacent street trees approximately 25 feet on center. The current landscape plan does not meet this requirement. Applicant will have to either add more shade trees to line the pedestrian walkways or move the existing trees closer to the pedestrian walkways.

Compliance with City Engineer conditions should be verified with the City Engineer. If you should have any questions regarding this case, please do not hesitate to call me at 924-3933.

Thank you.

~~HEARING~~ DATE 8-18-10 (SBA)

City of Albuquerque Planning Department

One Stop Shop – Development and Building Services

08/10/2010 Issued By: E08375 84224

Permit Number: 2010 070 222 **Category Code 910**

Application Number: 10DRB-70222, Epc Approved Sdp For Build Permit

Address:

Location Description: PARADISE BLVD NW BETWEEN UNSER BLVD NW AND LYON BLVD NW

Project Number: 1008327

Applicant
SAINT JUDE THADDEUS CATHOLIC CHURCH

Agent / Contact
Mullen Heller Architecture

5712 PARADISE BLVD NW
ALBUQUERQUE NM 87114
898-0828

924 Park Ave Sw Suite B
Albuquerque NM 87102

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	
TOTAL:		\$20.00

City Of Albuquerque
Treasury Division

8/10/2010 11:41AM LOC: ANNX
 USH COB TRANS# 0003
 CHECK# 00.21193-00121193
 PERMIT# 2010070227 TR91 '5
 Trans Amt \$20.00
 Conflict Mgmt. Fee \$20.00
 1A \$20.00
 CHANGE \$0.00

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
 - ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Completed Site Plan for Subdivision Checklist
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
 - ___ Solid Waste Management Department signature on Site Plan
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist
 - ___ Copy of Site Plan with Fire Marshal's stamp
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
 - ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Solid Waste Management Department signature on Site Plan for Building Permit
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Douglas Heller
 Applicant name (print)
D Heller 8/10/10
 Applicant signature / date



Form revised **October 2007**

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 10DRB- _____ - 20222

Vafu 8-10-10
 Planner signature / date
 Project # 1008327

CITY OF ALBUQUERQUE



July 14, 2010

Gregory J. Krenik, P.E.
Mark Goodwin & Associates
PO Box 90606
Albuquerque, NM 87199

**Re: St. Jude Thaddeus Church
Conceptual Grading and Drainage Plan
Engineer's Stamp dated 5-06-10 (B11-D003)**

Dear Mr. Krenik,

Based upon the information provided in your submittal received 06-08-10, the above referenced plan is approved for Site Development Plan for Building Permit action by DRB

PO Box 1293

If you have any questions, you can contact me at 924-3695.

Albuquerque

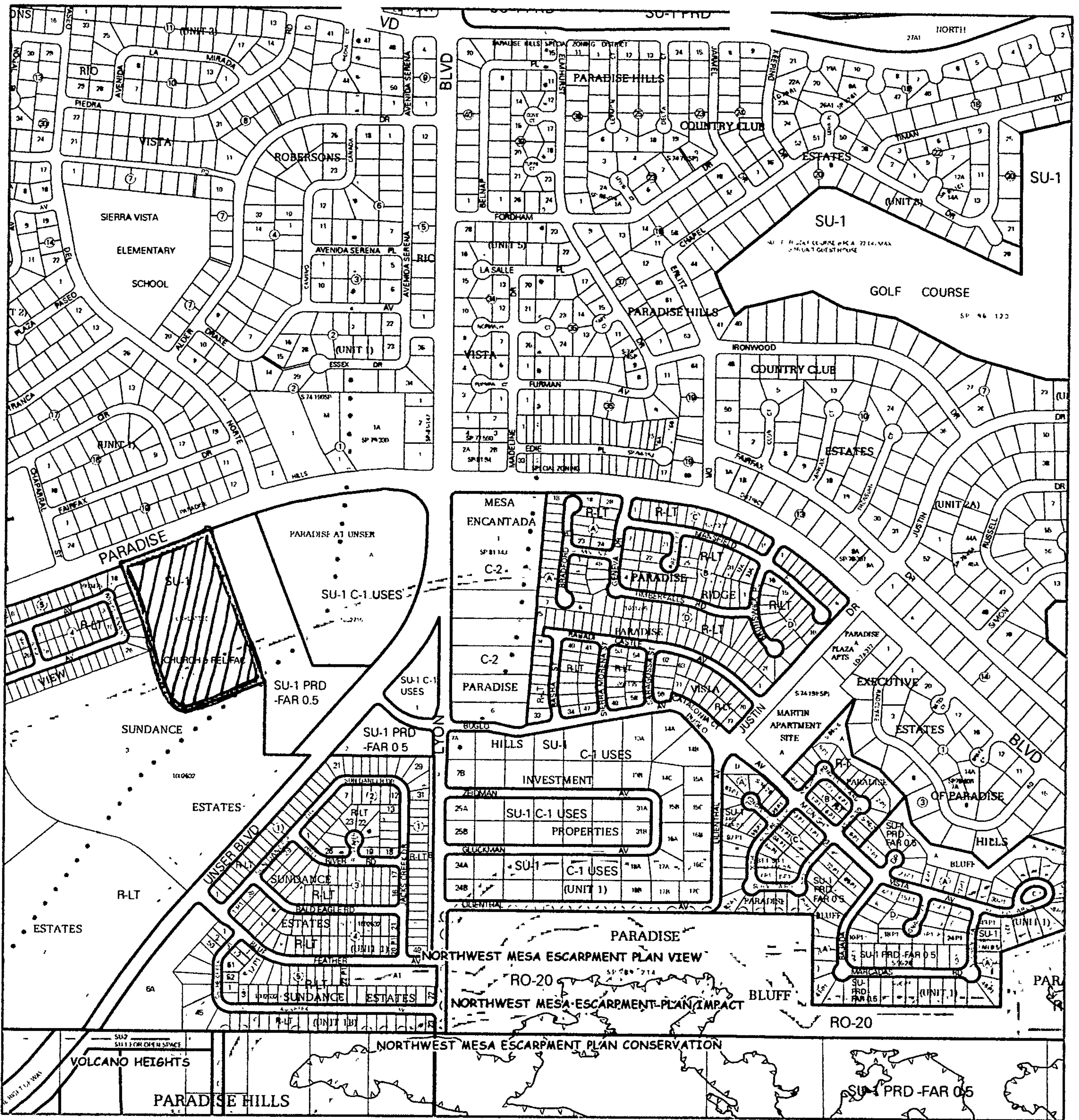
NM 87103

Sincerely,

Curtis Cherne, PE
Sr. Engineer, Planning Department
Development and Building Services

www.cabq.gov

C: Brad Bingham
CC: File



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 3/10/2009

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
B-11-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon		

0 750 1,500 Feet

August 10, 2010

Jack Cloud, AICP, Chairman
Development Review Board
City of Albuquerque Planning Department
P.O. Box 1293
Albuquerque, NM 87103

**Re: Project 1008327/1OEPC-40025, Site Development Plan for Building Permit
St. Jude Thaddeus Church**

Dear Mr. Cloud:

Mullen Heller Architecture is submitting for Development Review Board approval of the above referenced project based on the Environmental Planning Commission findings and conditionals of approval from the June 10, 2010 hearing. We have addressed the EPC conditions of approval as follows:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off may result in forfeiture of approvals.
This letter fulfills this condition.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
We met with the EPC staff planner, Randall Falkner, on August 4, 2010 to review the DRB documents that incorporated the conditions of approval. He had no further comments.
3. To the extent that the proposed church building or bell tower heights exceed 40', the EPC's approval of such height shall be subject to the Planning Director making the appropriate amendment to the NWMEP to accommodate such heights so that, in any case, the heights shall be in compliance with the NWMEP.
The height of the bell tower and the building parapet wall has been lowered to be 40' to the midpoint of the sloping roofs to comply with the Northwest Mesa Escarpment Plan. Refer to Exterior Elevations.
4. Parking Barriers shall be located to prevent overhang into pedestrian walkways, per Section 14-16-3-10 (F) (2) of the Zoning Code, or walkways abutting parking spaces need to be widened to 8'.
Parking barriers have been located along the southern 6' sidewalk adjacent to the new church and along the north sidewalk of the existing Rectory, which will be provided during the Phase II construction.



5. The CMU screen wall elevation on sheet 7 of 7 shall show wall color and finish.
The color of the screen wall along the west property line has been noted as standard gray, on the Site Details sheet, to match the existing wall construction.
6. Lighting:
 - a. Lights shall be positioned to not conflict with landscaping.
A note stating such has been added to the Site Development Plan for Building Permit.
 - b. Additional wall mounted lights shall be installed along the perimeter of the building where appropriate.
Additional wall lighting has been added above exterior doors and along pedestrian walkways adjacent to the building. Refer to the Exterior Elevations.
 - c. Video cameras shall be installed to view all walkways, common areas, building entrances and parking lots.
A note stating such has been added to the Site Development Plan for Building Permit.
 - d. Color of light pole shall be indicated on sheet 7 of 7 (site details).
The color of the light pole standards has been noted on the Site Details sheet.
7. Landscaping:
 - a. The applicant shall provide a landscape buffer at least 10' wide and spacing of trees shall be equal to 75% of the mature canopy diameter of the trees along the west side of the church property that abuts the residential zone, per Section 14-16-3-10(4) of the Zoning Code. Notwithstanding the foregoing, the width of such buffer adjoining the drive aisle along the northwest portion of the site for a depth of approximately 90' shall be 7'. A landscape buffer on the east portion of the site shall be approved that is in compliance with the Zoning Code landscaping regulations, with the exception of a wall.
The landscape buffer along the west property line has been increased to 10' once past the curb line of the existing church. Additional buffer trees have been provided as required along the west property line.
 - b. Two more Street trees are required for a total of 15 street trees along Paradise Boulevard.
Two additional trees have been added.
 - c. Rooting barriers shall be provided for Street trees along Paradise Boulevard to force roots away from gas line in the Public Utility Easement.
A note indicating this condition has been added to the Landscape Plan.
 - d. The applicant shall show the quantity, scientific/common name, the installed size and mature size (height & spread), and water use of all existing plants, per Section 14-16-3-10 (C) (3) of the Zoning Code.
A palette identifying the existing plant material has been added to the Landscape Plan. For detailed information on exiting landscaping please refer to the Landscape Plan from the original development.
 - e. The landscape plan needs a notation indicating that planting areas will achieve 75% overage with living vegetative material.
A note has been included on the Landscape Plan stating such.
 - f. Provided landscape area (square footage) shall include street trees along Paradise Boulevard.
Street tree square footage has been added into the landscape calculations.
 - g. Water harvesting shall be provided in the form of notches in landscaping beds that are at grade.
A note stating such has been added to the Landscape Plan.

- h. Pedestrian walkways should be lined with adjacent shade trees spaced approximately 25 feet on center and placed within defined planting areas that have a minimum of 36 s.f. and a minimum width of four feet, per Section 14-16-3-1 (H)(1).
Trees have been provided as required.
 - i. The rosemary plants in the parking lot landscaping islands shall be replaced with a plant that will not eventually obstruct the view of the lot.
Rosemary has been removed and replaced with lower growing plant material.
8. Conditions from City Engineer, Municipal Development and NMDOT:
- a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).
No conditions were delegated during EPC.
 - b. Dimension existing site drives.
The width of the existing curb cuts have been dimensioned.
 - c. Adjacent to existing parish hall and offices, provide angled self enforcing one-way directional parking (i.e. in the direction of entering the site). Also, provide a 4' wide median separating the two-way drive aisle from this parking area.
The parking area to the east of the Parish Hall has been revised to be angled parking and is separated from the drive aisle by a 4' concrete median.
 - d. Site plan shall comply and be designed per DPM Standards.
The site plan complies with the DPM Standards.
9. Conditions from Public Service Company of New Mexico:
- a. As a condition, it is the applicant's obligation to determine if existing utility easements cross the property and to abide by any conditions or terms of those easements.
All existing on-site utility easements are noted on the site plan.
 - b. As a condition, it is necessary for the developer to contact PNM's New Service Delivery Department to coordinate electric service and load requirements regarding this project as well as relocating overhead lines on the east side of the site. PNM's standard for public utility easements for distribution is 10 feet in width to ensure adequate, safe clearances.
The owner and architect will contact PNM for new service and necessary easements.
 - c. As a condition, screening should be designed to allow for access to utility facilities. As a condition, all screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Please refer to the PNM Electric Service Guide for specifications.
Screening around the transformer will follow PNM's specifications.

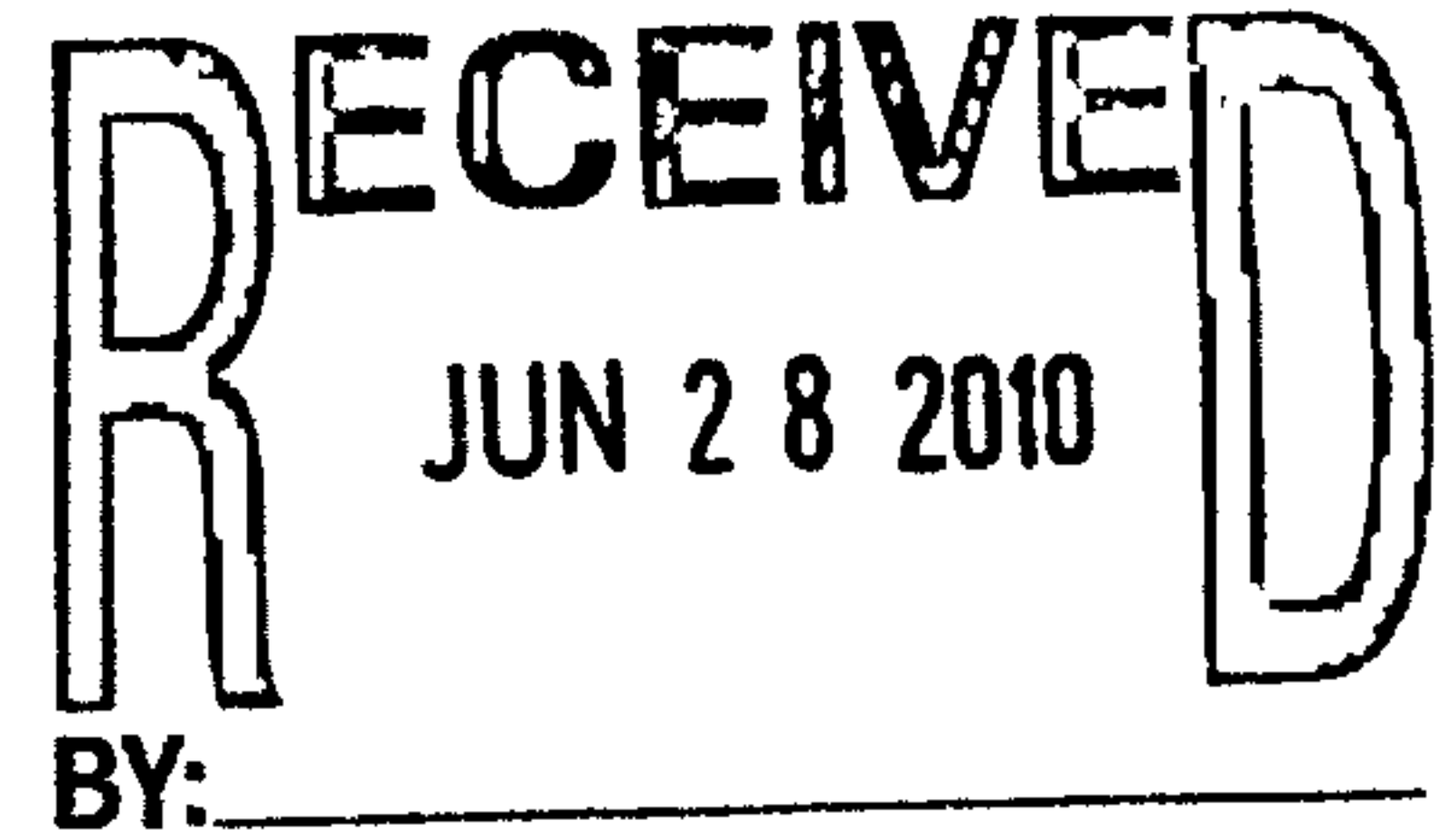
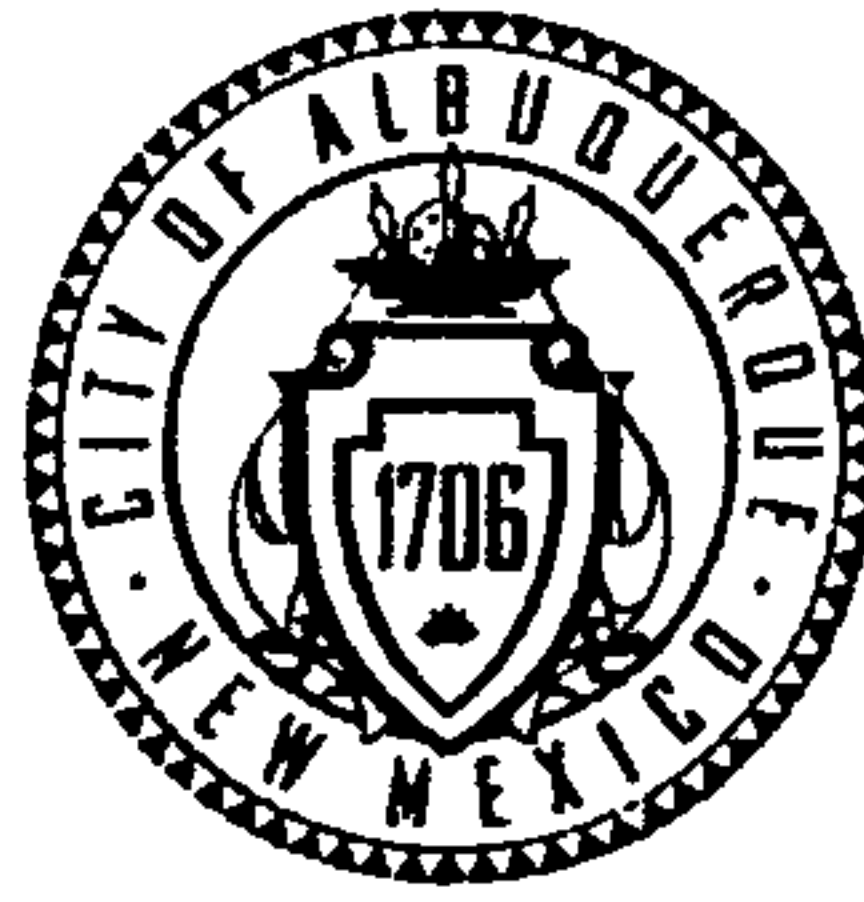
Jack, thank you for your consideration of this project. Please do not hesitate to contact me if you have any questions or comments.

Sincerely,

Mullen Heller Architecture, PC



Douglas Heller, AIA



City of Albuquerque
Planning Department
Current Planning Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: June 22, 2010

**AMENDED OFFICIAL
NOTIFICATION OF DECISION**

FILE: **Project # 1008327**
10EPC-40025 SITE DEVELOPMENT -
BUILDG PRMT

Saint Jude Thaddeus Catholic Church
5712 Paradise Boulevard NW
Albuquerque, NM 87114

LEGAL DESCRIPTION: MULLEN HELLER ARCHITECTURE agent for SAINT JUDE THADDEUS CATHOLIC CHURCH requests the above action(s) for all or a portion of Tract 7 in NW portion of SW portion SECTION 11 T11N R2E zoned SU-1 FOR CHURCH & RELATED FACILITIES, located on 5712 PARADISE BLVD NW AND UNSER/LYON BLVD NW containing approximately 10 acres. (B-11)
Randall Falkner, Staff Planner

On June 10, 2010 the Environmental Planning Commission voted to **APPROVE** Project 1008327 / 10EPC-40025, a site development plan for building permit for all or a portion of Tract 7 in NW portion of SW portion SECTION 11 T11N R2E zoned SU-1 FOR CHURCH & RELATED FACILITIES, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for a site development plan for building permit to allow for the construction of a new 22,000 square foot church and additional parking and landscaping. Currently, an 8,500 s.f. church building, a 12,128 s.f. parish hall and offices building, and a 2,893 s.f. rectory are built on the site. All of these existing buildings will remain. The site is approximately 10 acres in size and is located at 5712 Paradise Boulevard. The legal description is as follows: Portion of TR 7 in NW portion of SW portion SEC11 T11 N R2E.
2. The Albuquerque/Bernalillo County Comprehensive Plan, the West Side Strategic Plan, the Northwest Mesa Escarpment Plan, and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.

AMENDED OFFICIAL NOTICE OF DECISION

PROJECT 1008327

JUNE 22, 2010

PAGE 2 OF 5

3. The subject site is within the area designated Established Urban by the Comprehensive Plan and is also within the boundaries of the West Side Strategic Plan and the Northwest Mesa Escarpment Plan.
4. The request furthers Developing and Established Urban Area Policy II.B.5i of the Comprehensive Plan; the request has been sited to minimize the effects of noise, lighting, pollution, and traffic on the adjacent neighborhoods.
5. The request furthers Developed Landscape Policy II.C.8d of the Comprehensive Plan. Additional landscaping throughout the site will help to control erosion and dust and create a pleasing visual environment. Native vegetation has been used on the subject site where appropriate.
6. The request is consistent with Policy 20 of the NWMEP. The predominant colors used on the proposed building are light tan, medium brown-red and light brown-red, which are natural colors of the mesa and which adhere to the approved colors in Appendix E of the NWMEP.
7. There is no known neighborhood or other opposition.
8. The overall bulk and mass of the building comport with the general goals of the NWMEP. The proposed decorative parapet and the bell tower exceed the building height requirement; however, both of these elements are important to the design of the building. The Zoning Code allows exception to the building height requirement for bell towers.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. To the extent that the proposed church building or bell tower heights exceed 40', the EPC's approval of such height shall be subject to the Planning Director making the appropriate amendment to the NWMEP to accommodate such heights so that, in any case, the heights shall be in compliance with the NWMEP.
4. Parking Barriers shall be located to prevent overhang into pedestrian walkways, per Section 14-16-3-10 (F)(2) of the Zoning Code, or walkways abutting parking spaces need to be widened to 8'.
5. The CMU screen wall elevation on sheet 7 of 7 (site details) shall show wall color and finish.

6. Lighting:

- a. Lights shall be positioned to not conflict with landscaping.
- b. Additional wall mounted lights shall be installed along the perimeter of the building where appropriate.
- c. Video cameras shall be installed to view all walkways, common areas, building entrances and parking lots.
- d. Color of light pole shall be indicated on sheet 7 of 7 (site details).

7. Landscaping:

- a. The applicant shall provide a landscape buffer at least 10' wide and spacing of trees shall be equal to 75% of the mature canopy diameter of the trees along the west side of the church property that abuts the residential zone, per Section 14-16-3-10 (4) of the Zoning Code. Notwithstanding the foregoing, the width of such buffer adjoining the drive aisle along the northwest portion of the site for a depth of approximately 90' shall be 7'. A landscape buffer on the east portion of the site shall be approved that is in compliance with the Zoning Code landscaping regulations, with the exception of a wall.
- b. Two more street trees are required for a total of 15 street trees along Paradise Boulevard.
- c. Rooting barriers shall be provided for street trees along Paradise Boulevard to force roots away from gas line in the Public Utility Easement.
- d. The applicant shall show the quantity, scientific/common name, the installed size and mature size (height & spread), and water use of all existing plants, per Section 14-16-3-10 (C)(3) of the Zoning Code.
- e. The landscape plan needs a notation indicating that planting areas will achieve 75% coverage with living vegetative material.
- f. Provided landscape area (square footage) shall include street trees along Paradise Boulevard.
- g. Water harvesting shall be provided in the form of notches in landscaping beds that are at grade.
- h. Pedestrian walkways should be lined with adjacent shade trees spaced approximately 25 feet on center and placed within defined planting areas that have a minimum of 36 s.f. and a minimum width of four feet, per Section 14-16-3-1(H)(1).
- i. The rosemary plants in the parking lot landscaping islands shall be replaced with a plant that will not eventually obstruct the view of the lot.

8. Conditions from City Engineer, Municipal Development and NMDOT:

- a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).
- b. Dimension existing site drives.

- c. Adjacent to existing parish hall and offices, provide angled self enforcing one-way directional parking (i.e. in the direction of entering the site). Also, provide a 4' wide median separating the two-way drive aisle from this parking area.
- d. Site plan shall comply and be designed per DPM Standards.

9. Conditions from Public Service Company of New Mexico:

- a. As a condition, it is the applicant's obligation to determine if existing utility easements cross the property and to abide by any conditions or terms of those easements.
- b. As a condition, it is necessary for the developer to contact PNM's New Service Delivery Department to coordinate electric service and load requirements regarding this project as well as relocating overhead lines on the east side of the site. PNM's standard for public utility easements for distribution is 10 feet in width to ensure adequate, safe clearances.
- c. As a condition, screening should be designed to allow for access to utility facilities. As a condition, all screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Please refer to the PNM Electric Service Guide for specifications.

APPEAL: IF YOU WISH TO APPEAL A FINAL DECISION, YOU MUST DO SO BY JUNE 25, 2010 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

AMENDED OFFICIAL NOTICE OF DECISION
PROJECT 1008327
JUNE 22, 2010
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Deferral requests by the applicant for map amendments and site development plans are subject to a \$110 fee per item (Zoning Code Section 14-16-4-1(B)). Failure of the applicant to pay such fees and provide proof of payment prior to the date the case(s) are deferred to may result in further deferral of the item(s) until the required fee(s) are paid.

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC.

Sincerely,

for 
Deborah Stover
Planning Director

DS/RF/ma

cc: Mullen Heller Architecture, PC, 924 Park Avenue SW, Suite B, Albuquerque, NM 87102
Tom Anderson, Paradise Hills Civic Assn., 10013 Plunkett Dr. NW, Albuquerque, NM 87114
Thornton Schwenk, Paradise Hills Civic Assn., 5125 Russell Dr. NW, Albuquerque, NM 87114
Laura Horton, Westside Coalition of N.A.s, 7224 Cascada Rd. NW, Albuquerque, NM 87114
Candy Patterson, Westside Coalition of N.A.s, 7608 Elderwood NW, Albuquerque, NM 87120