

SITE DEVELOPMENT DATA:
 LEGAL DESCRIPTION: UNPLATTED LAND OF ST. JUDE THADDEUS PARISH WITHIN THE SW 1/4 OF PROJECTED SECTION 11, T. 11 N., R. 2 E., N.M.P.M., TOWN OF ALAMEDA GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BUILDING ADDRESS: ST. JUDE THADDEUS CATHOLIC CHURCH
 5712 PARADISE BOULEVARD N.W.
 ALBUQUERQUE, NEW MEXICO

LAND AREA: 9.4772 ACRES (412,827 SQ. FT.)

CURRENT ZONING: SU-1 FOR CHURCH AND RELATED FACILITIES

ZONE ATLAS PAGE: B-11-2

BUILDING AREAS: PROPOSED NEW CHURCH = 22,000 SF

PARKING CALCULATIONS:

PHASE I	PROPOSED CHURCH	1 PARKING SPACE PER 4 SEATS	1404 SEATS/4 =	351 SPACES
	EXISTING PARISH HALL & OFFICES	12,128 SEATS/200 =		60 SPACES
	TOTAL PARKING SPACES REQUIRED			= 411 SPACES
	TOTAL PARKING SPACES PROVIDED			= 468 SPACES
	(PHASE I = 385 SPACES, PHASE II = 83 SPACES)			
	COMPACT PARKING CALCULATION:			
	25% OF REQUIRED SPACES			
	411 REQ'D x 25% =			103 SPACES ALLOWED
	TOTAL COMPACT PARKING SPACES ALLOWED			= 103 SPACES
	TOTAL COMPACT PARKING SPACES PROVIDED			= 46 SPACES
	DISABLED PARKING REQUIREMENTS:			
	PROPOSED NEW CHURCH			= 411 REQUIRED SPACES
	TOTAL HC SPACES REQUIRED			= 12 SPACES
	TOTAL HC SPACES PROVIDED			= 18 SPACES
	468 TOTAL SPACES PROVIDED—BOTH PHASES:			
	INCLUDING WITH THE PROVIDED SPACES			
				404 REGULAR SPACES
				18 HANDICAP PARKING SPACES
				46 SMALL CAR SPACES
				= 468 SPACES
	MOTORCYCLE REQUIREMENTS:			
	411 SPACES			= 6 SPACES REQ'D
	TOTAL MOTORCYCLE SPACES PROVIDED			= 6 SPACES
	BICYCLE REQUIREMENTS:			
	1 PER 20 REQUIRED			411/20
	PARKING SPACES			= 21 SPACES REQ'D
	TOTAL BICYCLE SPACES PROVIDED			= 22 SPACES

GENERAL NOTES:

[A] **PHASE II WILL DEVELOP THE FOLLOWING:**

- NEW ASPHALT PAVING, CONCRETE CURBS AND SIDEWALKS AS SHOWN.
- NEW 6'-0" HIGH CMU SCREEN WALL TO MATCH EXISTING, WHERE DEVELOPMENT OCCURS.
- NEW LANDSCAPING IN PARKING ISLANDS AS SHOWN ON LANDSCAPING PLAN.
- PAINTED STRIPING FOR ADDITIONAL 83 PARKING SPACES.
- REMOVAL OF EXISTING PATIO WALL FROM PERIMETER OF EXISTING RECTORY BUILDING TO ACCOMMODATE ADDITIONAL PARKING.
- NEW 6'-0" HIGH CMU PATIO WALL AT PERIMETER OF RECTORY AS SHOWN ON SITE PLAN.
- NEW LANDSCAPING BUFFER ADJACENT NEW SCREEN WALL, SEE LANDSCAPING PLAN.

[B] PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.

[C] ALL MECHANICAL ROOFTOP EQUIPMENT SHALL BE SCREENED FROM VIEW OF THE ADJACENT PARKING AREA AND PUBLIC RIGHT-OF-WAY, AND SHALL BE ON THE PORTION OF THE ROOF WITH PARAPETS HIGH ENOUGH TO SHIELD THEM FROM VIEW. SCREENING MATERIAL SHALL MATCH BUILDING WALL COLOR AND MATERIALS.

[D] **CONDITION B-D:** SITE PLAN SHALL COMPLY AND BE DESIGNED PER DFM STANDARDS.

SITE LIGHTING NOTES:

[A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.

[B] THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 16'-0" MAX. TO MATCH EXISTING.

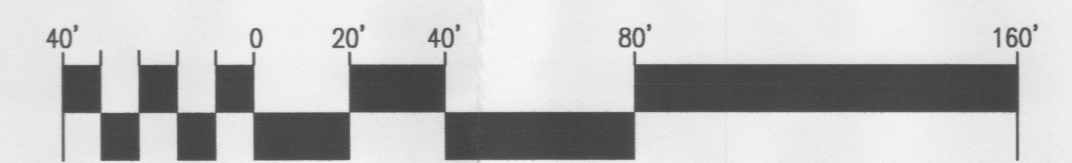
[C] LIGHTING TO BE PROVIDED ON BUILDING FACADES SHALL BE MOUNTED AT 12 FEET MAXIMUM.

[D] **CONDITION 6-A:** LIGHTING SHALL BE POSITIONED TO NOT CONFLICT WITH LANDSCAPING.

[E] **CONDITION 6-B:** ADDITIONAL WALL MOUNTED LIGHTS SHALL BE INSTALLED ALONG THE PERIMETER OF THE BUILDING WHERE APPROPRIATE.

[F] **CONDITION 6-C:** VIDEO CAMERAS SHALL BE INSTALLED TO VIEW ALL WALKWAYS, COMMON AREA, BUILDING ENTRANCES AND PARKING LOTS.

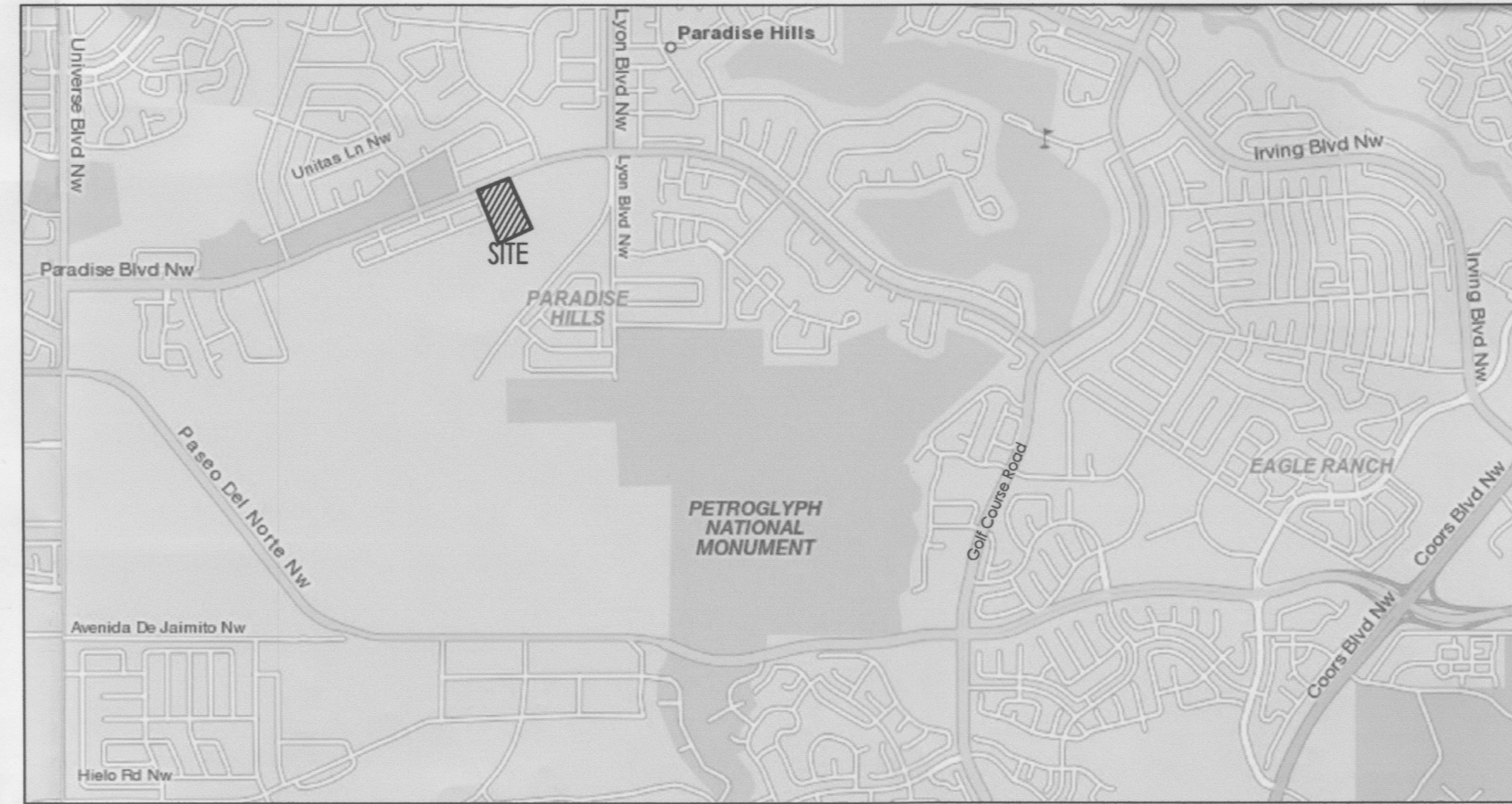
Site Development Plan For Building Permit
 Scale: 1"=40'-0"



AERIAL MAP



VICINITY MAP



KEYED NOTES:

- PROPOSED DOUBLE CMU DUMPSTER ENCLOSURE WITH RECYCLING AREA.
- EXISTING HANDICAP PARKING SPACES.
- EXISTING PARKING STRIPING.
- PROPOSED LANDSCAPING.
- EXISTING HANDICAP RAMP TO REMAIN.
- PROPOSED HANDICAP PAVEMENT SIGN.
- PROPOSED PAINTED HANDICAP AISLE STRIPING.
- PROPOSED ASPHALT PAVING.
- PROPOSED SITE LIGHTING. HEIGHT TO BE 16'-0" MAX FOR TYPE "A" FIXTURE AND 10'-0" MAX FOR TYPE "B" FIXTURE. SEE SHEET 7 FOR DETAIL.
- PROPOSED BIKE RACK WITH 5 SPACES.
- PROPOSED CONCRETE SIDEWALK.
- EXISTING CONCRETE PEDESTRIAN CONNECTION TO CITY SIDEWALK.
- PROPOSED STAMPED COLORED CONCRETE PEDESTRIAN CONNECTION.
- PROPOSED CONCRETE PARKING STRIPING.
- EXISTING CONCRETE CURB. SEE GRADING AND DRAINAGE PLAN.
- THIS AREA OF CONCRETE TO BE FLUSH WITH PAVEMENT.
- EXISTING CONCRETE SIDEWALK (SHOWN SHADED) TO REMAIN.
- PROPOSED STOP SIGN.
- EXISTING CITY CURB AND GUTTER.
- EXISTING TREES AND LANDSCAPING TO REMAIN.
- PROPOSED HANDICAP RAMP.
- PROPOSED PONDING AREA. SEE GRADING AND DRAINAGE PLAN.
- PROPOSED HANDICAP PARKING SIGNS (18 TOTAL).
- PROPOSED 6'-0" HIGH CMU SCREEN WALL TO MATCH EXISTING.
- EXISTING 6' HIGH CMU SCREEN WALL.
- EXISTING PAINTED MEDIAN TO REMAIN.
- EXISTING ASPHALT DRIVE TO REMAIN.
- PROPOSED COMPACT PARKING SPACES 8'-0"x15'-0" U.N.O. WITH PAINTED "COMPACT CAR" PAVEMENT DESIGNATION.

KEYED NOTES:

- PROPOSED STAMPED COLORED CONCRETE PLAZA AREA WITH BENCH SEATING AND LANDSCAPING. SEE LANDSCAPING PLAN AND DETAIL 8 ON SHEET 7.
- PROPOSED MOTORCYCLE SPACES WITH SIGNAGE AT EACH SPACE.
- LIMITS OF NEW/EXISTING ASPHALT PAVING.
- PROPOSED STAMPED COLORED CONCRETE PLAZA.
- NOT USED.
- PROPOSED 54 SF. (PER SIDE) INTERNALLY ILLUMINATED MONUMENT SIGN. SEE DETAIL ON SHEET 7.
- EXISTING FIRE HYDRANT.
- PROPOSED OPENING IN CURB. SEE GRADING AND DRAINAGE PLAN PAVEMENT MARKINGS.
- PROPOSED PHASE II SITE DEVELOPMENT.
- EXISTING 6' HIGH CMU WALL TO REMAIN.
- PROPOSED 6'-0" HIGH CMU YARD WALL WITH STUCCO TO MATCH BUILDING.
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- PROPOSED 6'-0" HIGH SCREEN WALL TO MATCH EXISTING SCREEN WALL. TO BE CONSTRUCTED ONLY IF ADJACENT LOT 2 IS RESIDENTIAL USE.
- PROPOSED FIRE HYDRANT LOCATION. SEE UTILITY PLAN.

RADIUS INFORMATION:

- | | | |
|------------|-------------|--------------|
| 1 = 2'-0" | 6 = 15'-0" | 11 = 60'-0" |
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AFD PLANS CHECKING OFFICE
 924.0611
 APPROVED FOR PROVED
 HYDRANT(S) ONLY
 SIGNATURE & DATE

PROJECT NUMBER: 1008327 **APPLICATION NUMBER:** 10EPC-40025

THIS PLAN IS CONSISTANT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED: **June 10, 2010** AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? () YES (X) NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

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DRB CHAIRPERSON, PLANNING DEPARTMENT	Date

revision by mms date 8/4/10 rev 1 2 3 4 5

Mullen Heller Architecture P.C.
 924 Park Avenue SW
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 Albuquerque, NM 87102
 505 268 4144 [p]
 505 268 4244 [f]

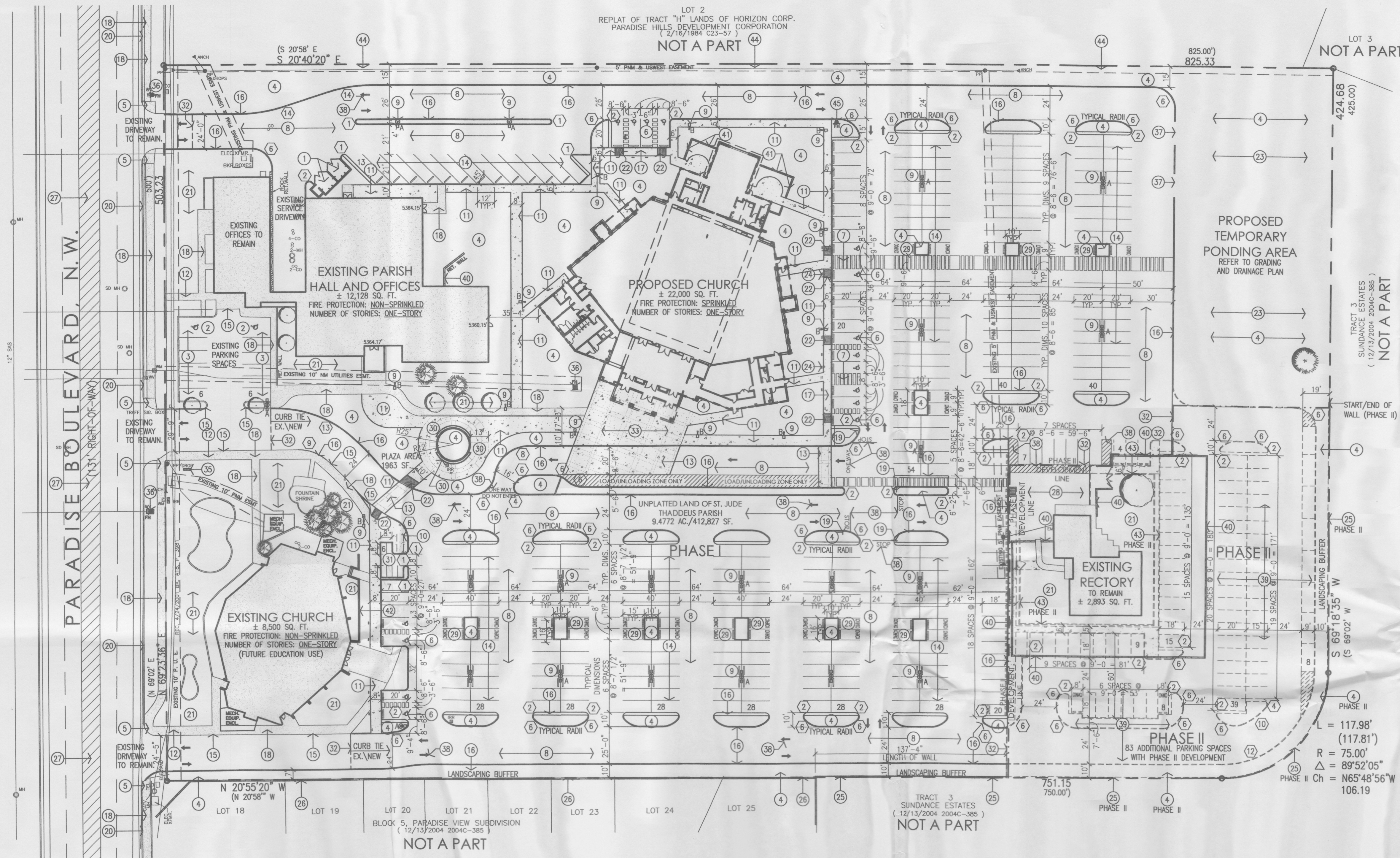
10-01 mms NMM 5/25/10

job number 10-01
 drawn by mms
 project manager NMM
 date 5/25/10

project title **St. Jude Thaddeus Catholic Church**
 5712 Paradise Blvd NW
 Albuquerque, New Mexico 87114

sheet title **Site Development Plan For Building Permit**

sheet 1 of 7



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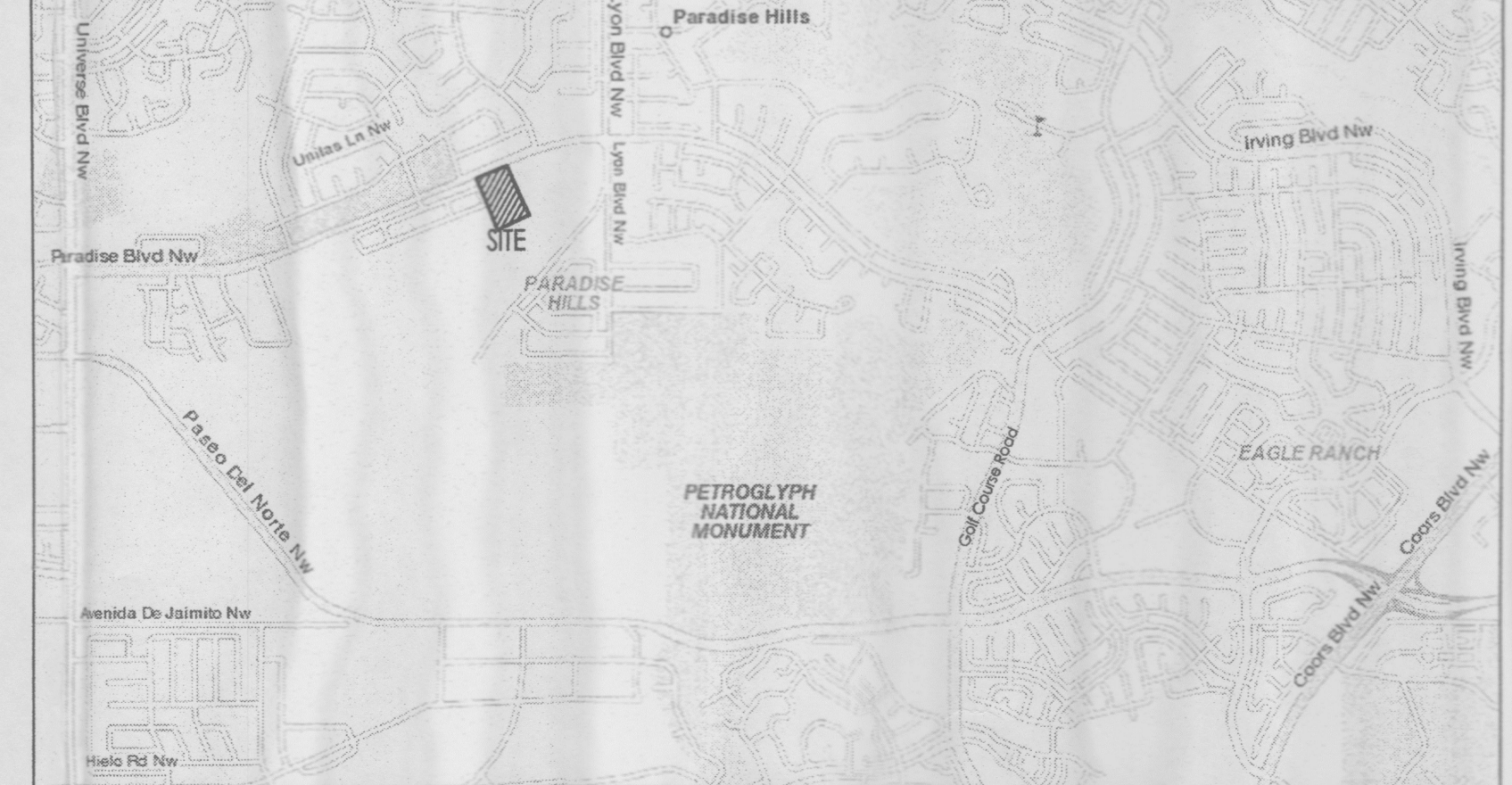
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Site Development Plan For Building Permit
Scale: 1"=40'-0"

AERIAL MAP



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PROJECT NUMBER: 1008327 APPLICATION NUMBER: 10EPC-40025

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SOLID WASTE MANAGEMENT	Date
DRB CHAIRPERSON, PLANNING DEPARTMENT	Date

project title: **St. Jude Thaddeus Catholic Church**
5712 Paradise Blvd NW
Albuquerque, New Mexico 87114

sheet title: **Site Development Plan For Building Permit**

sheet: **1 of 7**

revision table:

revision	by	date
1	ms	8/4/10
2	ms	5/25/10

Per EPC Conditions of Approval
Revisions Per Agency Comments

Mullen Heller
Architecture P.C.
924 Park Avenue SW
Suite B
Albuquerque, NM 87102
505 268 4144(p)
505 268 4244 (f)

job number: 10-01
drawn by: rms
project manager: MWM
date: 5/25/10

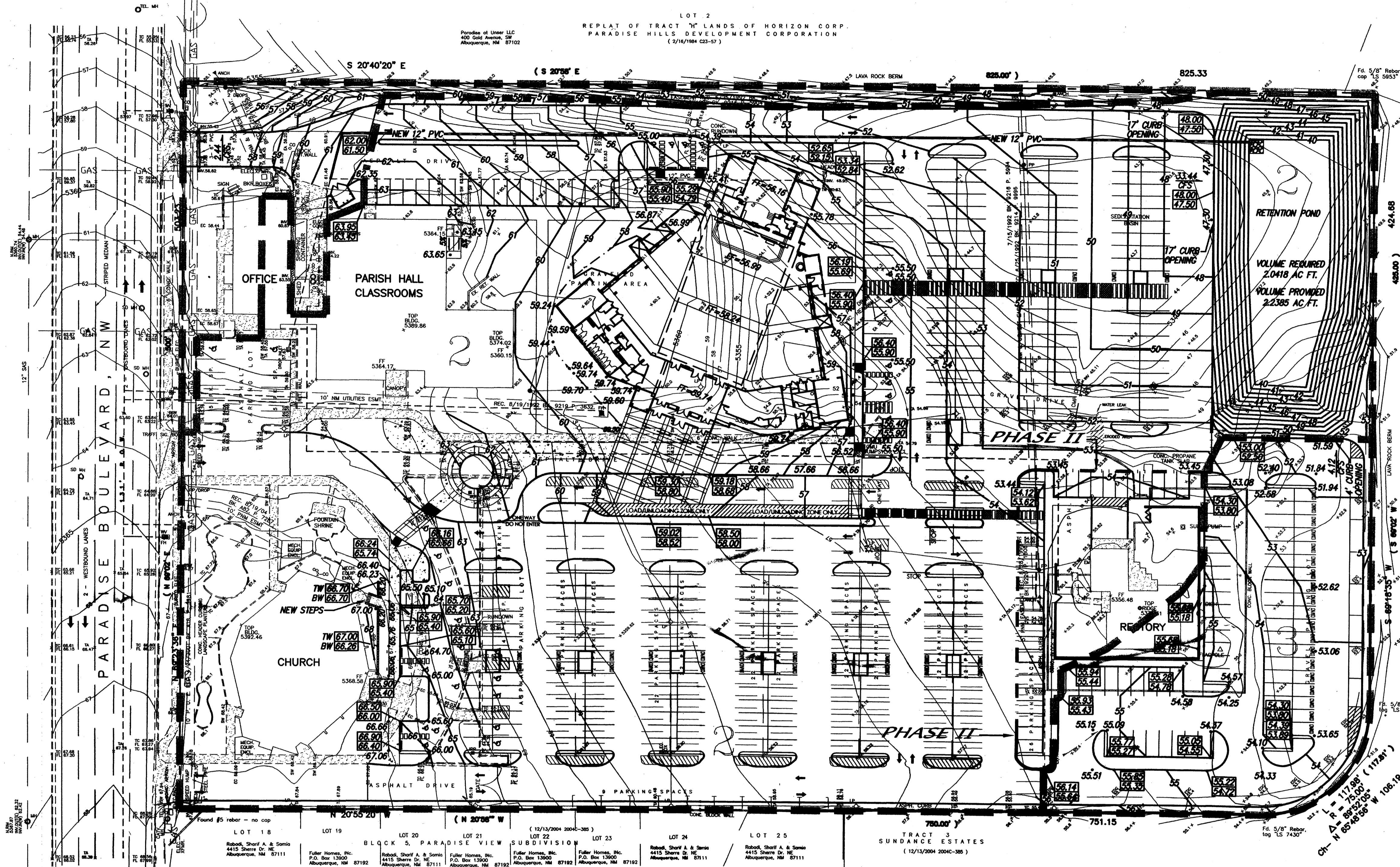


Fig. 5/8\"/>

TRACT 3
SUNDANCE ESTATES
(12/13/2004 2004-385)

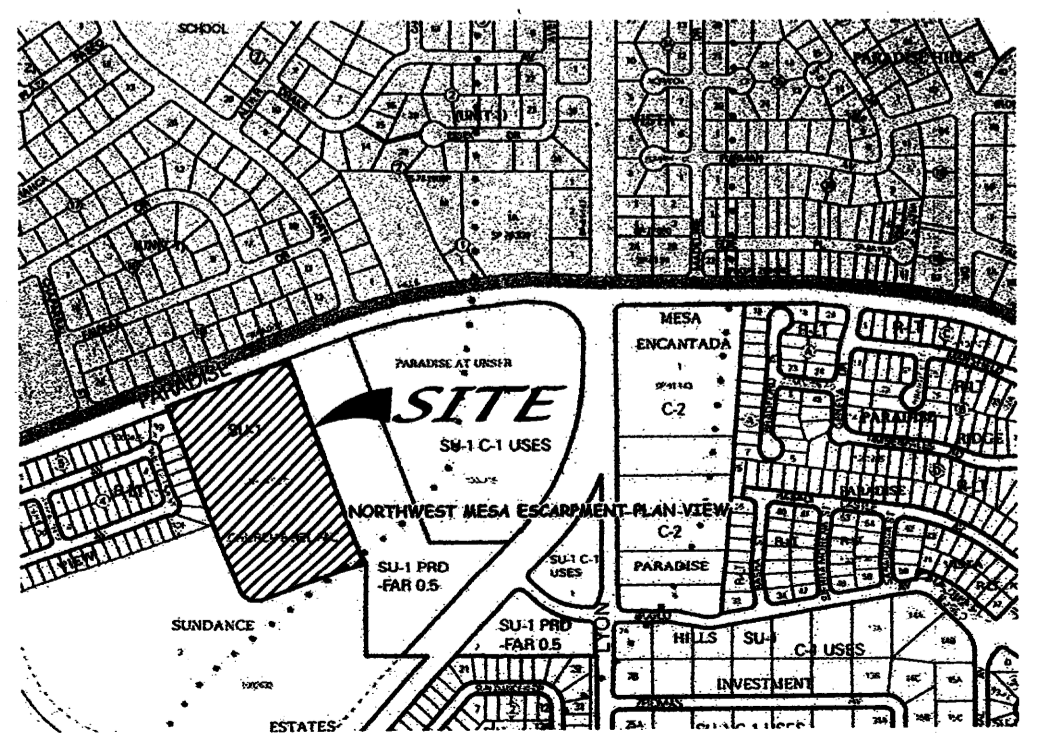
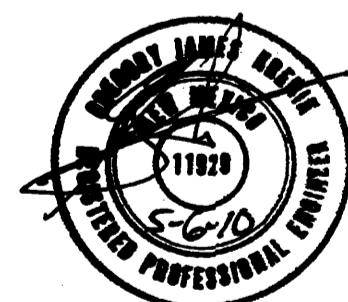
NOTE

THE SITE IS ROUGHLY TWO THIRDS DEVELOPED. THERE ARE TWO EXISTING RETAINING PONDS IN THE UNDEVELOPED S.E. PORTION OF THE SITE. THESE ARE CONNECTED BY AN EXISTING 12\"/>

THE ADJACENT PROPERTY TO THE WEST IS A DEVELOPED SUBDIVISION WITH A PERIMETER WALL. THE SOUTH PORTION OF THIS PROPERTY CONSISTS OF A RETENTION POND. THE ADJACENT PROPERTY TO THE SOUTH AND EAST IS UNDEVELOPED WITH GENTLE SLOPES DRAINING AWAY FROM THIS SITE.

THE SITE SLOPES TO THE S.E. AT 3% PROPOSED DRAINAGE WILL BE HANDLED BY SURFACE FLOW TO THE NEW RETENTION POND IN THE S.E. CORNER. AN EXISTING STORM DRAIN WILL BE RELOCATED ALONG THE EAST DRIVE TO TIE IN TO THE NEW POND.

THE ONLY PROPOSED RETAINING WALLS ARE IN FRONT OF THE EXISTING CHURCH AND THEY ARE NO HIGHER THAN 20\"/>



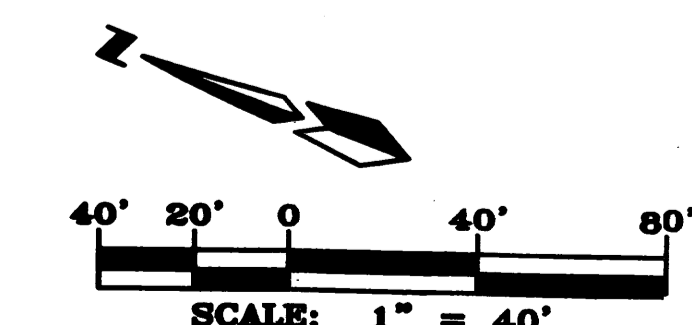
VICINITY MAP ZONE MAP: B-11-Z

LEGEND

- ELECTRIC METER
- GAS METER
- WATER VALVE
- WATER METER
- SANITARY SEWER MANHOLE
- SEWER CLEANOUT
- IRRIGATION CONTROL VALVE/BOX
- FIRE HYDRANT
- POWER POLE
- ANCHOR
- LIGHT POLE
- OVERHEAD POWER LINE
- BURIED POWER CONDUIT
- SPOT ELEVATION UNLESS OTHERWISE INDICATED, SPOT ELEVATIONS ARE TO NATURAL GRADE
- EA EDGE OF CONCRETE
- EC EDGE OF ASPHALT
- TA TOP OF ASPHALT
- TC TOP OF CURB / CONCRETE
- FL FLOWLINE
- SW SIDEWALK
- CONCRETE BLOCK WALL
- WROUGHT IRON ENCLOSURE
- STORM DRAIN LINE
- SANITARY SEWER
- BURIED TELEPHONE LINE
- GAS LINE
- WATER LINE
- HANDICAP PARKING SPACE
- EXISTING CONTOURS @ 1 FT. INTERVALS
- 5105 INDEX CONTOURS @ 5 FT. INTERVALS
- NEW RETAINING WALL
- NEW TOP OF CURB
- NEW FLOWLINE
- NEW BASIN LINE
- 3 NEW BASIN NUMBER
- NEW STORM DRAIN

DRAINAGE CALCULATIONS

SITE = 4.4772 AC
 0.5% 1%
 $Q_{100} = 40.00$ CFS
 BASIN 1 DRAINS OFFSITE, $Q_1 = 2.44$ CFS
 BASIN 2 DRAINS TO POND, $Q_2 = 33.44$ CFS
 BASIN 3 DRAINS TO POND, $Q_3 = 4.12$ CFS
 $V_{100} = 1.4742$ AC-FT.
 $V_{10 DAY} = 2.0418$ AC-FT. FOR RETENTION POND
 RETENTION POND VOLUME PROVIDED = 2.2385 AC FT.



St. Jude Thaddeus Church
 RIO BRAVO & COORS BLVD. SW

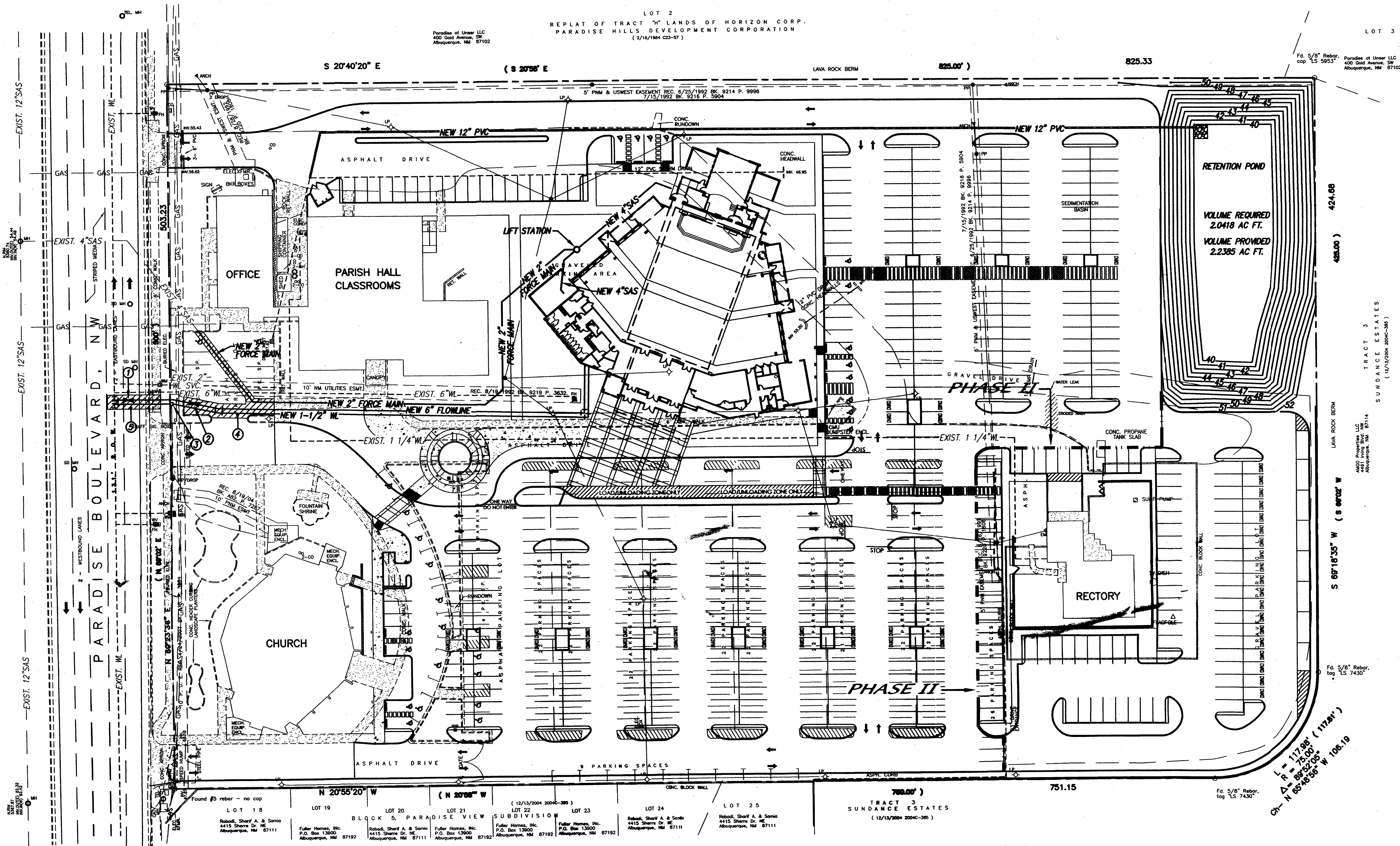
CONCEPTUAL GRADING & DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539

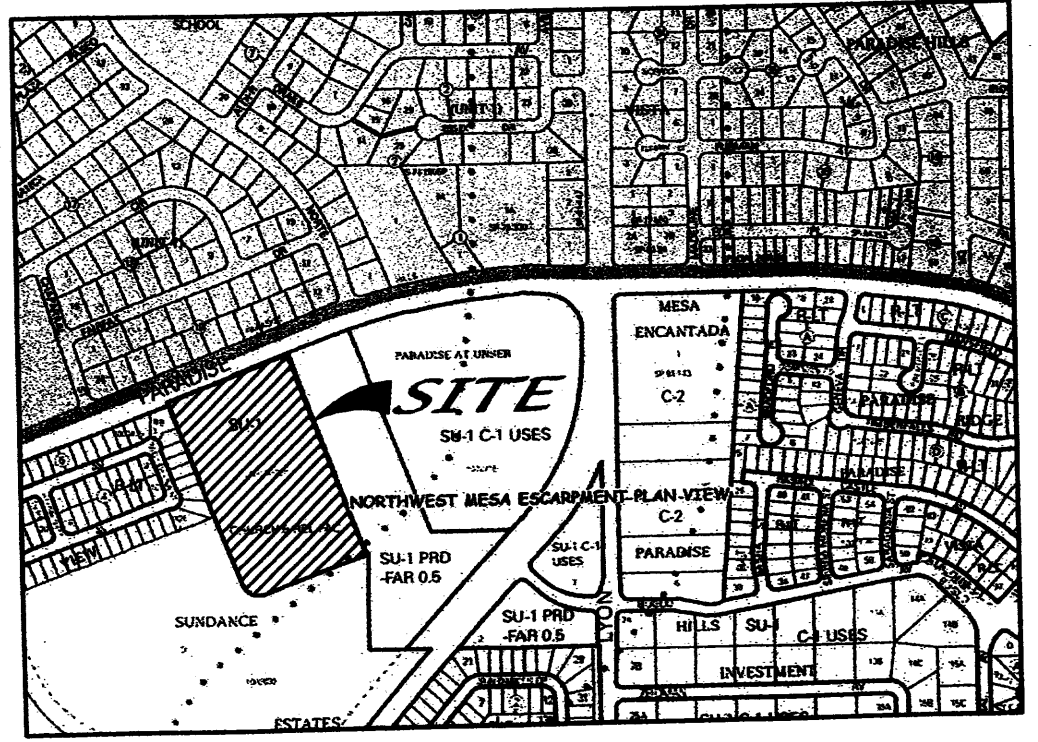
Designed: GJK Drawn: SPS Checked: DMG
 Scale: 1" = 30' Date: 03-10-10 Job: A10011 Sheet 2 of 7

F:\10\JOBS\A10011 - St. Jude Thaddeus Church\GRADE & DRAIN\A10011-CHURCH-GD2.dwg, 5/6/2010 4:15:57 PM, Doc: Row_1_Paper.plt, C:\MSOFT\AutoCAD 2010\

F:\A10\JOBS\A10011 ST. JUDE THADDEUS CHURCH\PLANS\UTILITIES\A10011-CHURCH-UTIL\04-28-10\ACH



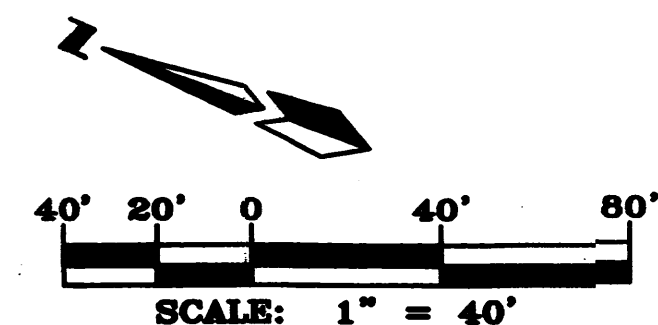
- KEY NOTES**
- 1 NEW 6" GATE VALVE W/BOX NON PRESSURE CONNECTION
 - 2 NEW 6" GATE VALVE W/BOX
 - 3 NEW 1-1/2" WATER METER
 - 4 SAWCUT, REMOVE & RELAPCE 30.5 S.Y. ASPHALT 10 L.F. STANDARD CURB & GUTTER 6.4 S.Y. SIDEWALK
 - 5 111.9 S.Y. ASPHALT



VICINITY MAP ZONE MAP: B-11-Z

LEGEND

<ul style="list-style-type: none"> EM ELECTRIC METER GM GAS METER WV WATER VALVE WM WATER METER SMH SANITARY SEWER MANHOLE SC SEWER CLEANOUT IRV IRRIGATION CONTROL VALVE/BOX FH FIRE HYDRANT PP POWER POLE ANCH ANCHOR LP LIGHT POLE OP OVERHEAD POWER LINE BC BURIED POWER CONDUIT 	<ul style="list-style-type: none"> SPOT ELEVATION UNLESS OTHERWISE INDICATED, SPOT ELEVATIONS ARE TO NATURAL GRADE EC EDGE OF CONCRETE EA EDGE OF ASPHALT TA TOP OF ASPHALT TC TOP OF CURB / CONCRETE FL FLOWLINE SW SIDEWALK CB CONCRETE BLOCK WALL WIE WROUGHT IRON ENCLOSURE SD STORM DRAIN LINE SS SANITARY SEWER BT BURIED TELEPHONE LINE 	<ul style="list-style-type: none"> GL GAS LINE WL WATER LINE HP HANDICAP PARKING SPACE EX EXISTING CONTOURS @ 1 FT. INTERVALS IN INDEX CONTOURS @ 5 FT. INTERVALS NT NEW TOP OF CURB NF NEW FLOWLINE NWL NEW WATER LINE NSW NEW SANITARY SEWER NSD NEW STORM DRAIN
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St. Jude Thaddeus Church
RIO BRAVO & COORS BLVD. SW
MASTER UTILITY PLAN

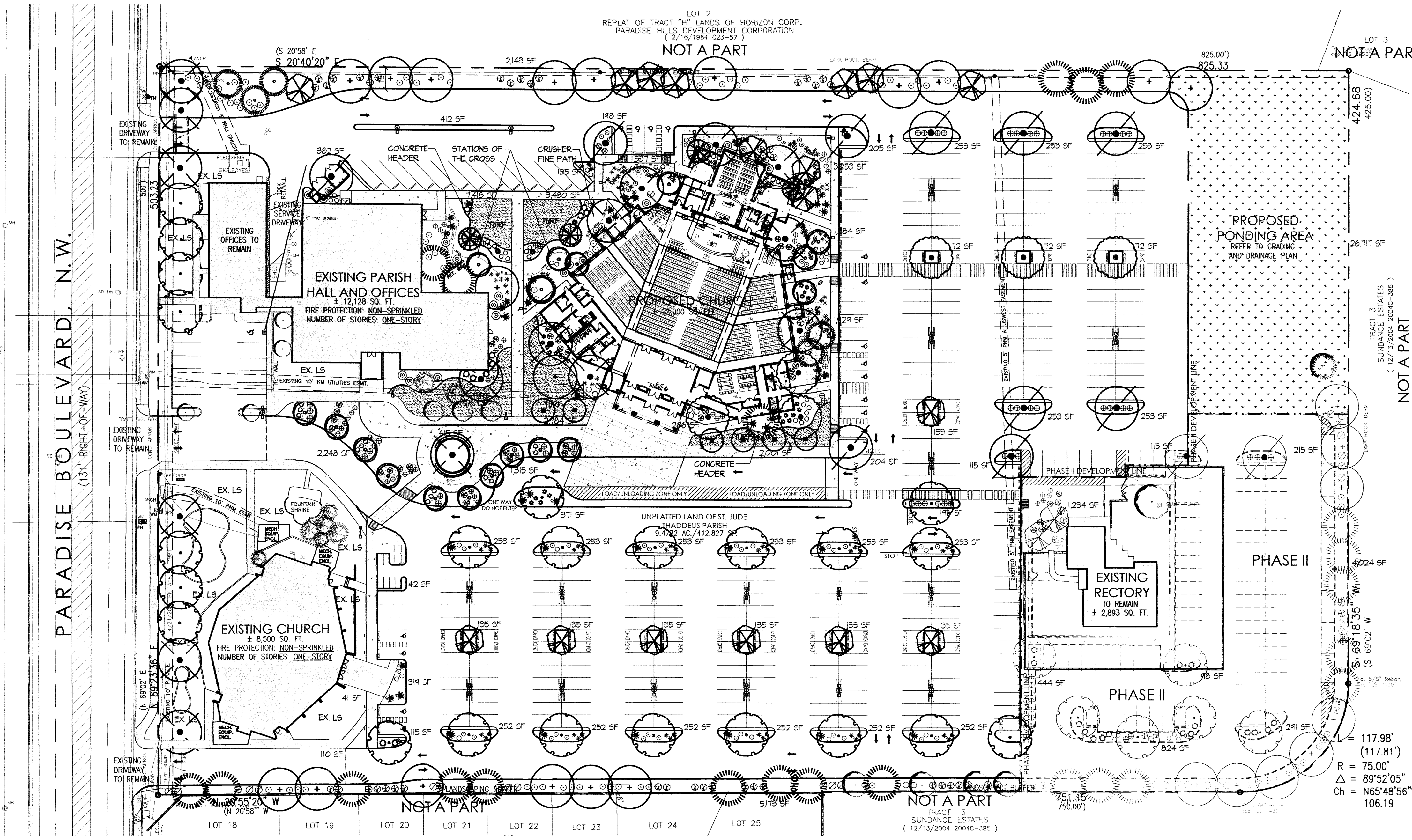
dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS

P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: GJK	Drawn: SPS	Checked: DMG	Sheet 3 of 7
Scale: 1" = 40'	Date: 03-10-10	Job: A10011	



F:\A10\JOBS\A10011 ST. JUDE THADDEUS CHURCH\PLANS\UTILITIES\A10011-CHURCH-UTIL\04-28-10\ACH

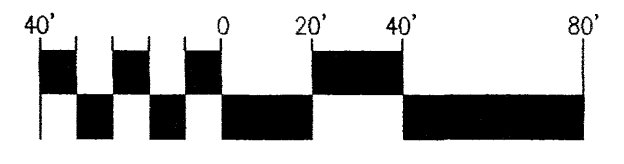


PLANT LEGEND

QUANTITY	PH. 1	PH. 2	SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	INSTALLED SIZE	MATURE SIZE	WATER USE
TREES									
17	2		(Symbol)	EXISTING TREES	PROTECT DURING CONSTRUCTION				
16	8		(Symbol)	CHILOPSIS LINEARIS 'BUBBA'	DESERT WILLOW	24" BOX	10' HT. X 6' SPR.	20' HT. X 25' SPR.	LOW +
10	2		(Symbol)	FRAXINUS AMER. 'AUTUMN PURPLE'	AUTUMN PURPLE	25" B4B	14' HT. X 6' SPR.	35' HT. X 30' SPR.	MEDIUM+
11			(Symbol)	FRAXINUS VELLUTINA 'MODESTO'	MODESTO ASH	25" B4B	14' HT. X 6' SPR.	40' HT. X 35' SPR.	MEDIUM +
6			(Symbol)	LAGERSTROEMIA INDICA	GRAPE MYRTLE	24" BOX	14' HT. X 6' SPR.	40' HT. X 35' SPR.	MEDIUM +
15	8		(Symbol)	PINUS ELDARICA	AFGHAN FINE	B4B	10' MIN. HT.	30' HT. X 20' SPR.	MEDIUM
6			(Symbol)	PINUS NIGRA	AUSTRIAN PINE	B4B	10' MIN. HT.	35' HT. X 25' SPR.	MEDIUM
6			(Symbol)	FRUNUS CERACIFERA 'KV'	KRAUTER VESUVIUS FLAWING PLUM	2" B4B	10' HT. X 4' SPR.	10' HT. X 16' SPR.	MEDIUM
6			(Symbol)	FRUNUS GALLERIAANA	FLOWERING PEAR	2" B4B	14' HT. X 5' SPR.	45' HT. X 30' SPR.	MEDIUM +
16			(Symbol)	QUERCUS SHUMARDII	SOUTHERN RED OAK	25" B4B	14' HT. X 5' SPR.	40' HT. X 30' SPR.	LOW
23	6		(Symbol)	ULMUS PARVIFOLIA 'ALLEE II'	ALLEE LACEBARK ELM	25" B4B	14' HT. X 6' SPR.	40' HT. X 30' SPR.	MEDIUM
4			(Symbol)	VITEX AGNUS-CASTUS	CHASTE TREE	24" BOX	14' HT. X 6' SPR.	40' HT. X 30' SPR.	MEDIUM
SHRUBS/GROUNDCOVERS									
6			(Symbol)	ARTEMISIA 'POWIS CASTLE'	POWIS CASTLE SAGE	5-GAL.	3" O.C.	3' HT. X 3' SPR.	MEDIUM
22			(Symbol)	BERBERIS GLADYNIENSIS	WILLIAM PENN BARBERRY	5-GAL.	6" O.C.	6' HT. X 6' SPR.	MEDIUM
10			(Symbol)	CARYOPTERIS CLANDONENSIS	BLUE MIST	5-GAL.	3" O.C.	3' HT. X 3' SPR.	MEDIUM
28			(Symbol)	CHRYSOTHAMUS NAUSEOSUS	CHAMISA	1-GAL.	5" O.C.	4' HT. X 4' SPR.	LOW
33			(Symbol)	CYTISUS SCOP. 'LENA'S BROOM'	LENA'S BROOM	5-GAL.	4" O.C.	4' HT. X 4' SPR.	LOW
47			(Symbol)	ERICAMERIA LARICIFOLIA 'AGUIRRE'	TURPENTINE BUSH	1-GAL.	2" O.C.	2' HT. X 2' SPR.	LOW
45	15		(Symbol)	FALLUGIA PARADOXA	APACHE PLUME	1-GAL.	5" O.C.	4' HT. X 4' SPR.	LOW
43			(Symbol)	JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER (FEMALE)	5-GAL.	6" O.C.	2' HT. X 6' SPR.	LOW +
19			(Symbol)	KRASCHENNIKOVIA LANATA	WINTERFAT	1-GAL.	4" O.C.	3' HT. X 3' SPR.	MEDIUM
40			(Symbol)	LAVENDULA ANGSTIFOLIA	ENGLISH LAVENDER	1-GAL.	4" O.C.	3' HT. X 3' SPR.	MEDIUM
26	17		(Symbol)	RAFHIOLEPIS INDICA	INDIA HAWTHORN	5-GAL.	5" O.C.	3' HT. X 4' SPR.	MEDIUM
24	5		(Symbol)	POTENTILLA FRUTICOSA	SHRUBBY CINQUEFOIL	1-GAL.	3" O.C.	3' HT. X 3' SPR.	LOW +
51	18		(Symbol)	RHUS TRILOBATA	THREE-LEAF SUMAC	5-GAL.	6" O.C.	6' HT. X 6' SPR.	LOW +
11	16		(Symbol)	ROSMARINUS OFFICINALIS	ROSEMARY	5-GAL.	4" O.C.	4' HT. X 4' SPR.	LOW+
47			(Symbol)	SALVIA GREGGII	CHERRY SAGE	1-GAL.	3" O.C.	3' HT. X 3' SPR.	MEDIUM
DESERT ACCENTS AND VINES									
28			(Symbol)	HEPERALOE PARVIFLORA	RED YUCCA	1-GAL.	3" O.C.	3' HT. X 3' SPR.	MEDIUM
3			(Symbol)	YUCCA GLAUCA	SOAPWEED YUCCA	5-GAL.	3" O.C.	3' HT. X 3' SPR.	MEDIUM
2			(Symbol)	CAMPIDIS RADICANS	TRUMPET VINE	5-GAL.	4" O.C.	8' HT. X 4' SPR.	LOW
10			(Symbol)	LONICERA JAPONICA 'HALLIANA'	HALL'S HONEYBUCKLE VINE	5-GAL.	4" O.C.	8' HT. X 4' SPR.	LOW
ORNAMENTAL GRASSES									
55	17		(Symbol)	CALAMAGROSTIS 'KARL FOERSTER'	FEATHER REED GRASS	5-GAL.	4" O.C.	8' HT. X 4' SPR.	LOW
28			(Symbol)	MULHENDERGIA CAP. 'REGAL MIST'	MULHLY GRASS	5-GAL.	3" O.C.	3' HT. X 3' SPR.	MEDIUM
66			(Symbol)	NASSELLA TENUISSIMA	THREADGRASS	1-GAL.	3" O.C.	3' HT. X 3' SPR.	LOW +

Landscaping Plan For Building Permit

Scale: 1"=40'-0"



GENERAL LANDSCAPE NOTES

LANDSCAPE DESIGN
 ALL PLANTING AREAS SHALL BE TOP DRESSED WITH 1/8" BUILDLOGY BROWN ROCK MULCH, 1/8" SANTA ANA TAN ROCK MULCH 2'-4" BUILDLOGY BROWN COBBLE MULCH, OR SIMILAR MATERIAL. HEADERS SHALL BE PROVIDED TO SEPARATE TURF AREAS FROM PLANTING AREAS. IT IS THE INTENT OF THIS PLAN TO INCLUDE PLANT MATERIAL TO COVER 95% OF THE LANDSCAPE AREA AT MATURITY. ROOTING BARRIERS SHALL BE PROVIDED AT STREET TREES ALONG PARADISE BOULEVARD, ADJACENT TO THE CURB.

IRRIGATION
 IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TURF AREAS AND TREE, SHRUB AND GROUNDCOVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO SOLICIT PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 5GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

RESPONSIBILITY OF MAINTENANCE
 MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC ROW, SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

STREET TREES
 THE PARADISE BOULEVARD FRONTAGE MEETS THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE STREET TREE ORDINANCE. THE NUMBER OF TREES IS DETERMINED BY THE SIZE OF THE TREE CANOPY AT MATURITY. RANDOM PLACEMENT OF TREES SHALL BE BASED UPON THE NUMBER OF TREES THAT WOULD BE REQUIRED IF THEY WERE EVENLY SPACED. THE PARADISE BOULEVARD FRONTAGE IS 509 FEET. BASED ON AVERAGE TREE CANOPY OF 35 FEET, THE NUMBER OF TREES SHALL BE 15.

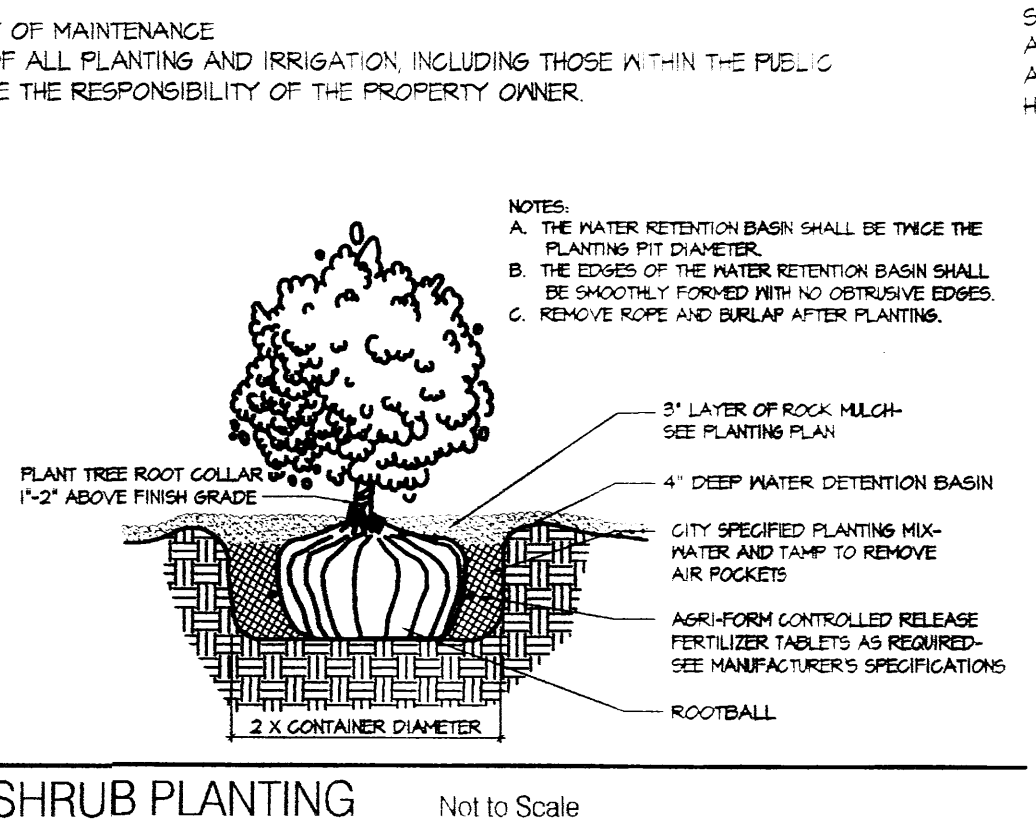
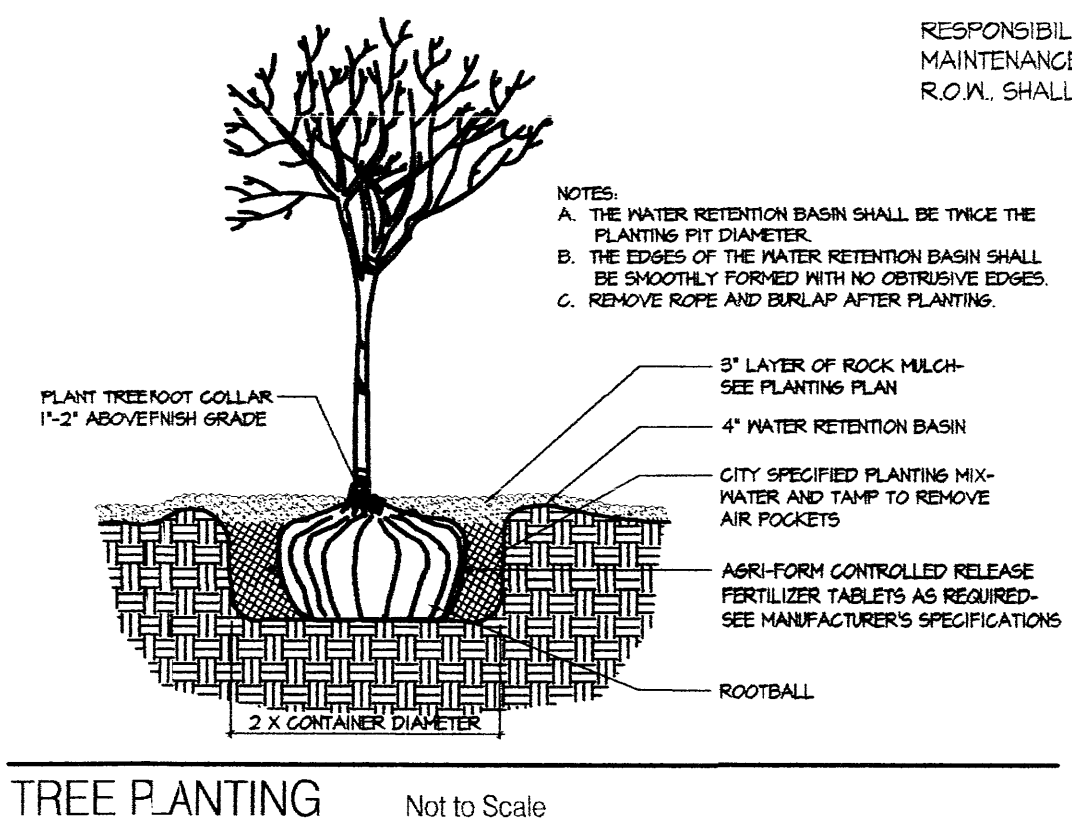
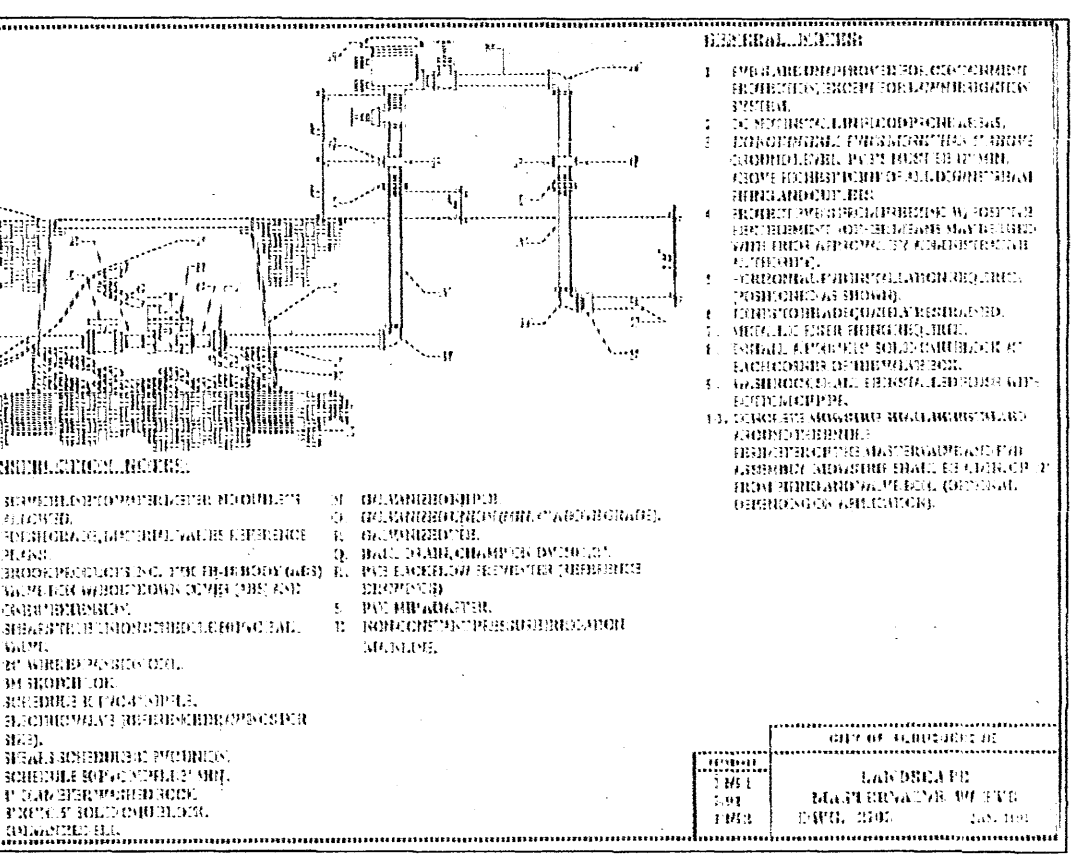
METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
 THE LANDSCAPE PLAN FOR ST. JUDE THADDEUS CATHOLIC CHURCH SHALL LIMIT THE PROVISION OF MEDIUM WATER USE TURF TO A MAXIMUM OF 20 PERCENT OF THE REQUIRED LANDSCAPED AREA. THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

WATER HARVESTING
 STORM WATER DISCHARGE WILL BE HARVESTED ON-SITE TO REDUCE RUNOFF. CURB CUTS AND COBBLE SALES WITH DIRECT WATER FLOW MINIMIZING POTENTIAL FOR FLOODING AND EROSION WHILE REDUCING WATER NEEDS. PLANT MATERIALS AMENABLE TO WATER HARVESTING ARE PROVIDED IN THESE AREAS.

LANDSCAPE CALCULATIONS

TOTAL SITE AREA:	412,827 SF (9.4172 ACRES)
BUILDING FOOTPRINT (EXISTING AND PROPOSED):	48,521 SF
NET AREA:	367,306 SF
REG. MED. LANDSCAPE AREA (5% OF NET AREA):	55,096 SF
PROVIDED LANDSCAPE AREA:	86,642 SF
ALLOWABLE MEDIUM WATER USE TURF (20% OF LANDSCAPE AREA):	11,019 SF
PROVIDED MEDIUM WATER USE TURF:	6,832 SF

TREE REQUIREMENTS
 PARKING LOT TREES REQUIRED (1 PER 10 SPACES): 47
 PARKING LOT TREES PROVIDED: 50



EXISTING LANDSCAPE PALETTE

THE EXISTING LANDSCAPE AT ST. JUDE THADDEUS CHURCH CONSISTS OF THE FOLLOWING PLANT MATERIAL. FOR MORE DETAILED INFORMATION REFERENCE THE LANDSCAPE PLAN ASSOCIATED WITH THE ORIGINAL SITE DEVELOPMENT.

- TREES**
 PRUNUS CERACIFERA/PURPLE LEAF PLUM (M), FRAXINUS PENNSYLVANICA/GREEN ASH (M), PINUS NIGRA/AUSTRIAN PINE (M), PICEA SPP./SPRUCE (M), POPULUS TREMULOIDES/QUAKING ASPEN (M)
- SHRUBS, GROUNDCOVERS, GRASSES, AND DESERT ACCENTS**
 PHOTINIA FRASERI/PHOTINIA (M), HESPERALOE PARVIFLORA/RED YUCCA (L), CHRYSOTHAMUS NAUSEOSUS/CHAMISA (L), ARTEMISIA FILIFOLIA/SAND SAGE (L), BULBLEIA DAVIDII/BUTTERFLY BUSH (M), YUCCA SPP. (L)

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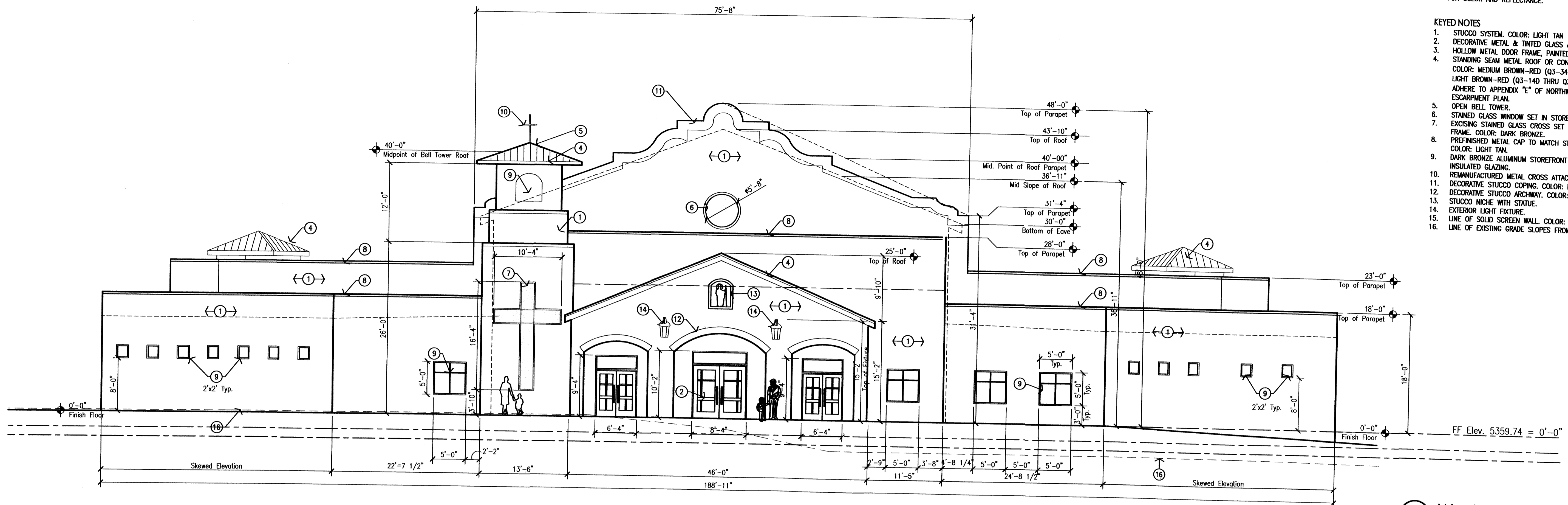
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 scale
 job number 10-01
 drawn by
 project manager
 date 8-9-10

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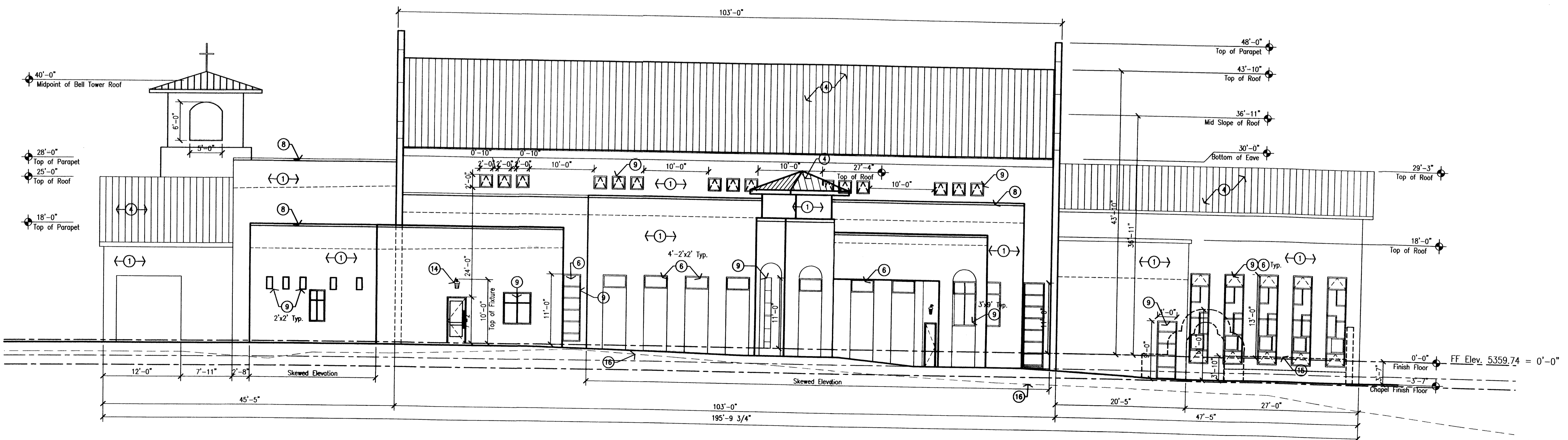
project title
St Jude Thaddeus Catholic Church
 5712 Paradise Blvd NW
 Albuquerque, New Mexico 87114

sheet title
Landscaping Plan For Building Permit

sheet
4 of 7



1 West Elevation
1/8"=1'-0"



2 True South & True North Elevation
1/8"=1'-0"

GENERAL NOTE
 A. ALL HEIGHTS ARE RELATIVE TO 0'-0". FINISH FLOOR AT ENTRY.
 B. ALL EXTERIOR BUILDING COLORS WILL ADHERE TO APPENDIX "E" OF THE APPROVED NORTHWEST MESA ESCARPMENT PLAN FOR COLOR AND REFLECTANCE.

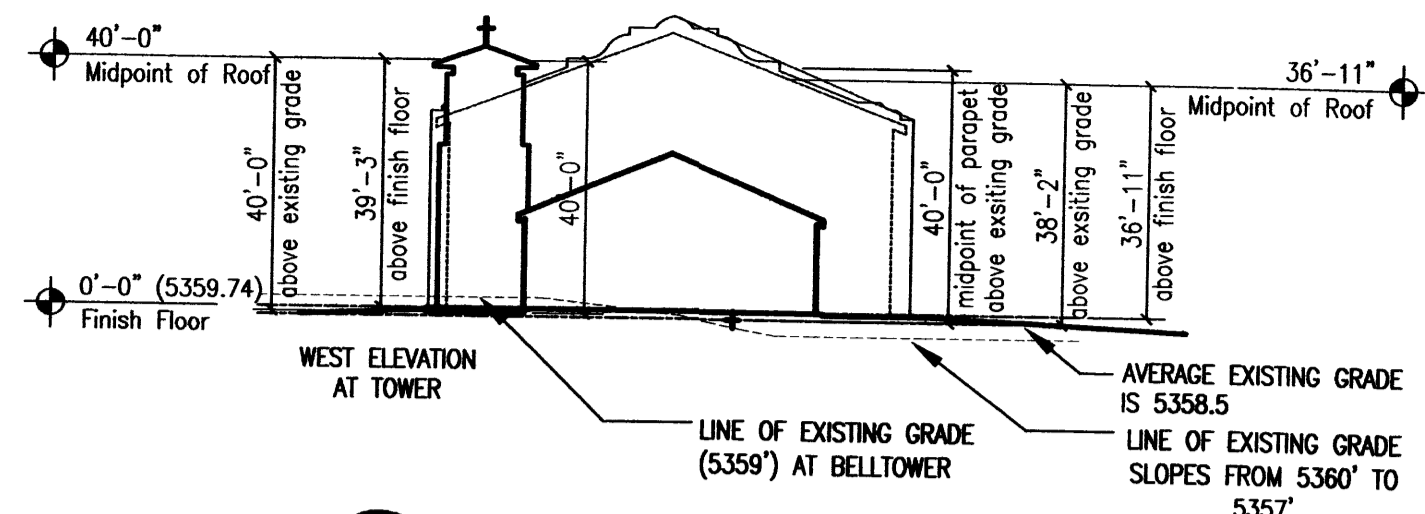
- KEYED NOTES**
1. STUCCO SYSTEM, COLOR: LIGHT TAN
 2. DECORATIVE METAL & TINTED GLASS & DOOR FRAME
 3. HOLLOW METAL DOOR FRAME, PAINTED TO MATCH STUCCO
 4. STANDING SEAM METAL ROOF OR CONCRETE BARREL TILE. COLOR: MEDIUM BROWN-RED (Q3-34D THRU Q3-35D) OR LIGHT BROWN-RED (Q3-14D THRU Q3-15D). COLORS TO ADHERE TO APPENDIX "E" OF NORTHWEST MESA ESCARPMENT PLAN.
 5. OPEN BELL TOWER
 6. STAINED GLASS WINDOW SET IN STOREFRONT FRAME
 7. EXCISING STAINED GLASS CROSS SET IN STOREFRONT FRAME. COLOR: DARK BRONZE
 8. PREFINISHED METAL CAP TO MATCH STUCCO SYSTEM. COLOR: LIGHT TAN
 9. DARK BRONZE ALUMINUM STOREFRONT WITH TINTED INSULATED GLAZING
 10. REMANUFACTURED METAL CROSS ATTACHED TO ROOF
 11. DECORATIVE STUCCO COPING. COLOR: LIGHT TAN
 12. DECORATIVE STUCCO ARCHWAY. COLOR: LIGHT TAN
 13. STUCCO NICHE WITH STATUE
 14. EXTERIOR LIGHT FIXTURE
 15. LINE OF SOLID SCREEN WALL. COLOR: LIGHT TAN
 16. LINE OF EXISTING GRADE SLOPES FROM 5360 TO 5355.

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by	
date	8/10/10
rev	1 2 3 4

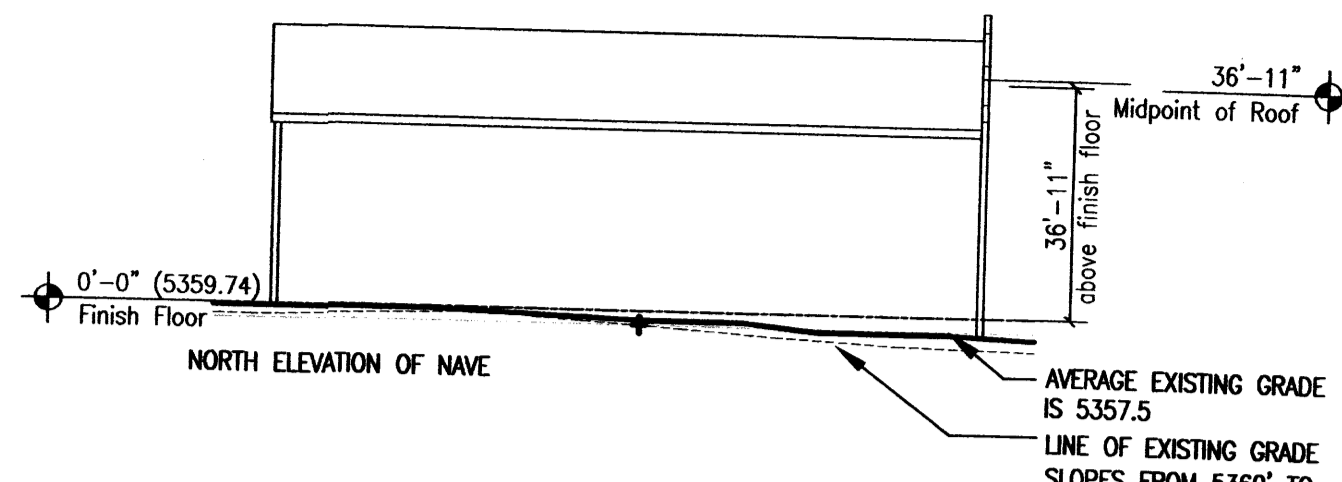
MH
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job number	10-01
drawn by	MJM
project manager	MMM
date	5/25/10

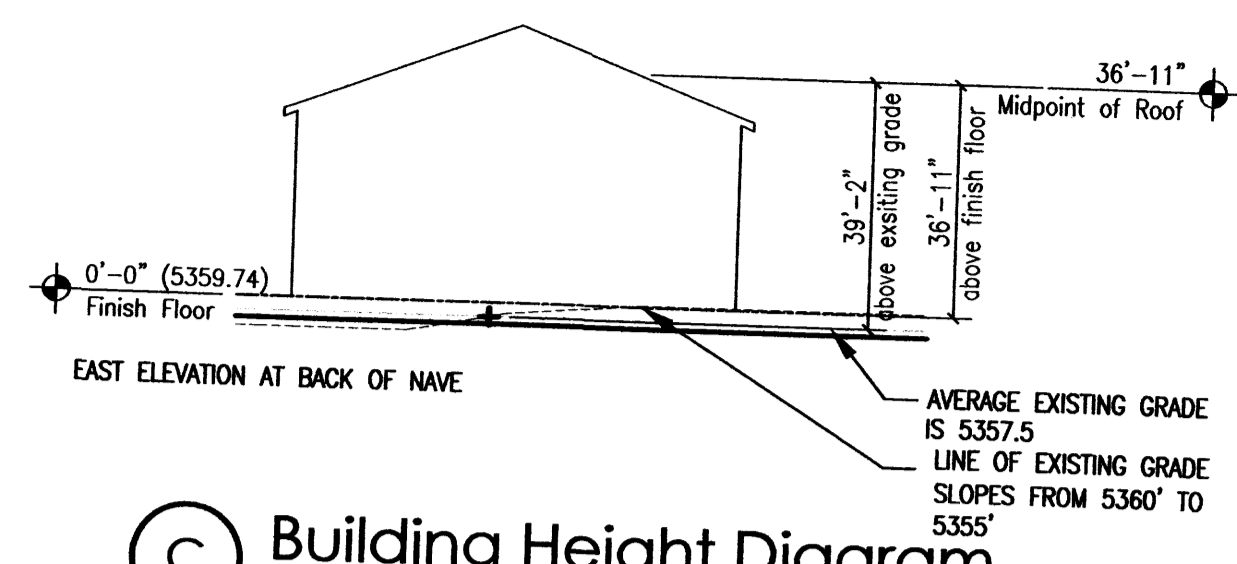
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St. Jude Thaddeus Catholic Church
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 Albuquerque, New Mexico 87114
 sheet title
Exterior Elevations



A Building Height Diagram
1/30'-0"

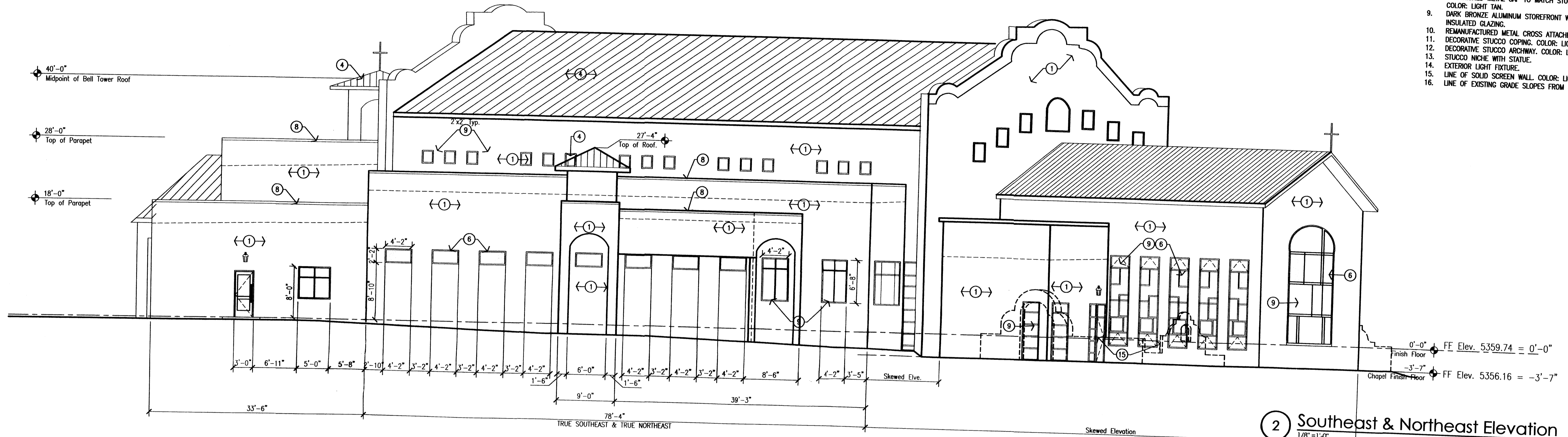


B Building Height Diagram
1/30'-0"

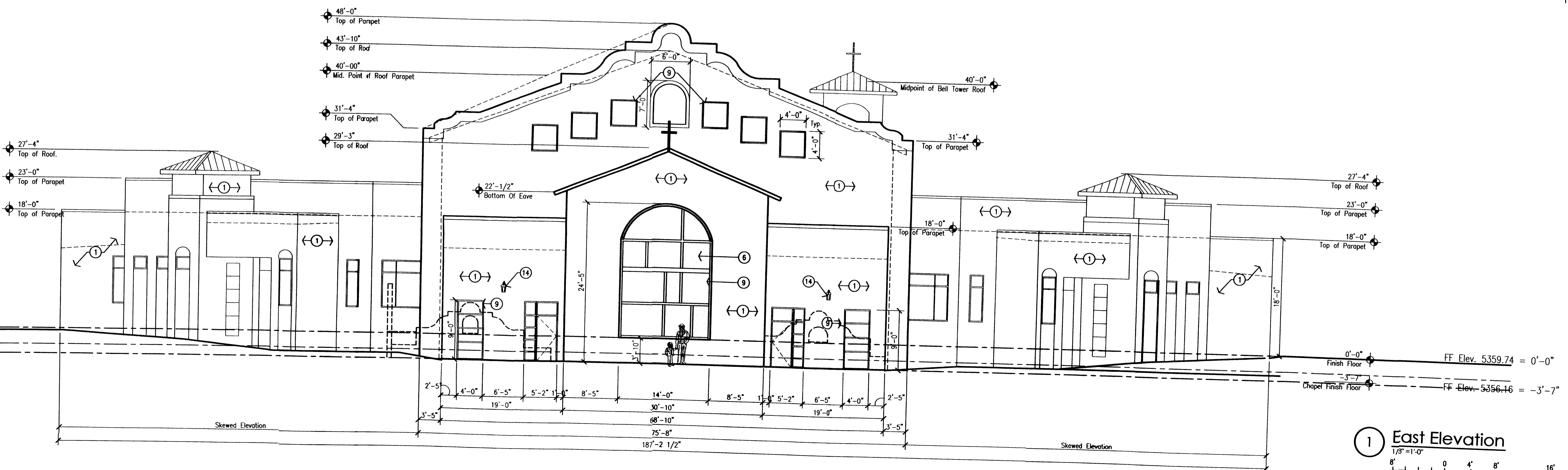


C Building Height Diagram
1/30'-0"

- GENERAL NOTE**
- ALL HEIGHTS ARE RELATIVE TO 0'-0". FINISH FLOOR AT ENTRY.
 - ALL EXTERIOR BUILDING COLORS WILL ADHERE TO APPENDIX "E" OF THE APPROVED NORTHWEST MESA ESCARPMENT PLAN FOR COLOR AND REFLECTANCE.
- KEYED NOTES**
- STUCCO SYSTEM, COLOR: LIGHT TAN
 - DECORATIVE METAL & TINTED GLASS & DOOR FRAME.
 - HOLLOW METAL DOOR FRAME, PAINTED TO MATCH STUCCO.
 - STANDING SEAM METAL ROOF OR CONCRETE BARREL TILE. COLOR: MEDIUM BROWN-RED (Q3-340 THRU Q3-350) OR LIGHT BROWN-RED (Q3-140 THRU Q3-150). COLORS TO ADHERE TO APPENDIX "E" OF NORTHWEST MESA ESCARPMENT PLAN.
 - OPEN BELL TOWER.
 - STAINED GLASS WINDOW SET IN STOREFRONT FRAME.
 - EXCISING STAINED GLASS CROSS SET IN STOREFRONT FRAME. COLOR: DARK BRONZE.
 - PREFINISHED METAL CAP TO MATCH STUCCO SYSTEM. COLOR: LIGHT TAN.
 - DARK BRONZE ALUMINUM STOREFRONT WITH TINTED INSULATED GLAZING.
 - REMANUFACTURED METAL CROSS ATTACHED TO ROOF.
 - DECORATIVE STUCCO COPINGS. COLOR: LIGHT TAN.
 - DECORATIVE STUCCO ARCHWAY. COLOR: LIGHT TAN.
 - STUCCO NICHE WITH STATUE.
 - EXTERIOR LIGHT FIXTURE.
 - LINE OF SOLID SCREEN WALL. COLOR: LIGHT TAN.
 - LINE OF EXISTING GRADE SLOPES FROM 5360 TO 5355.



2 Southeast & Northeast Elevation
1/8"=1'-0"

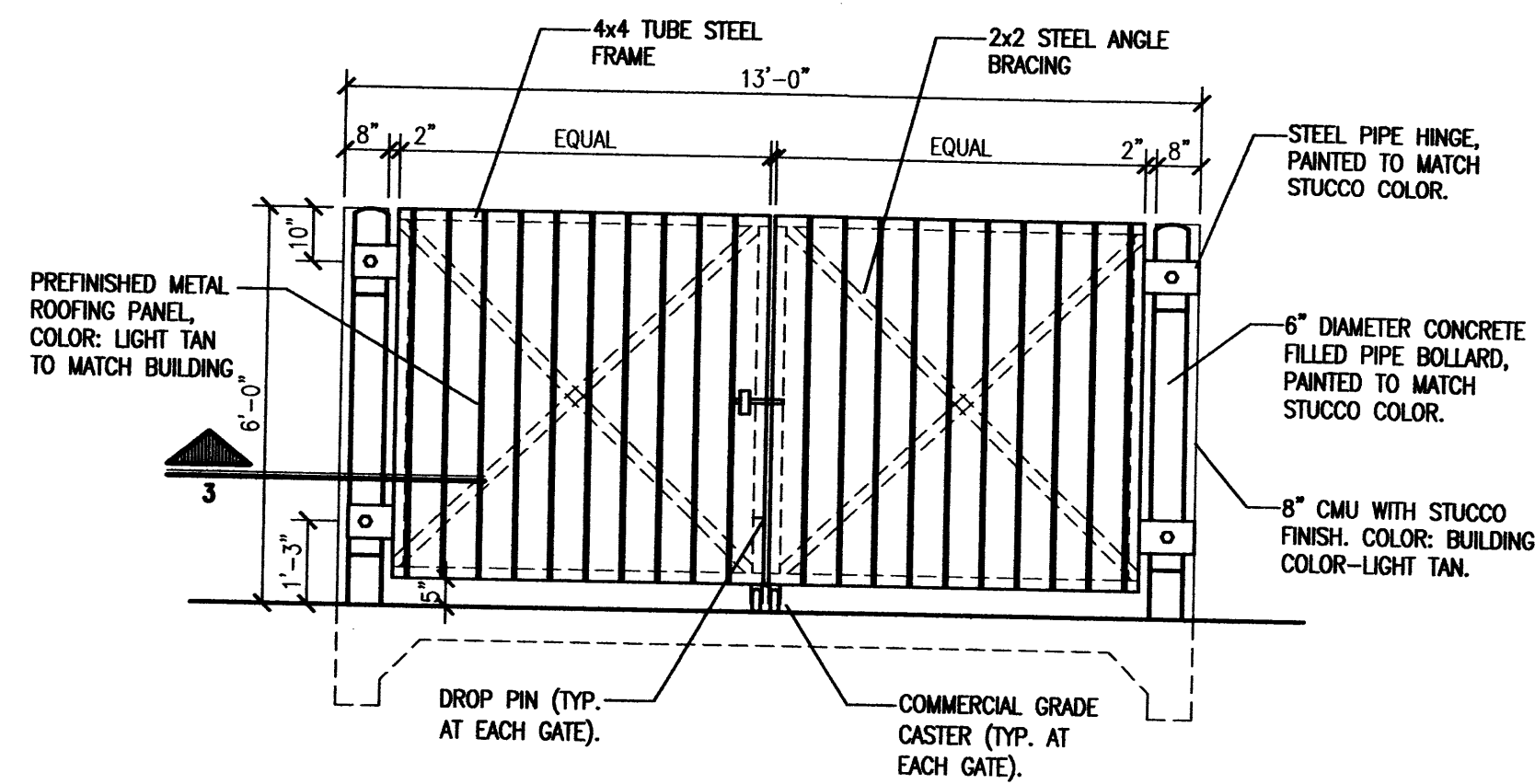


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1/8"=1'-0"

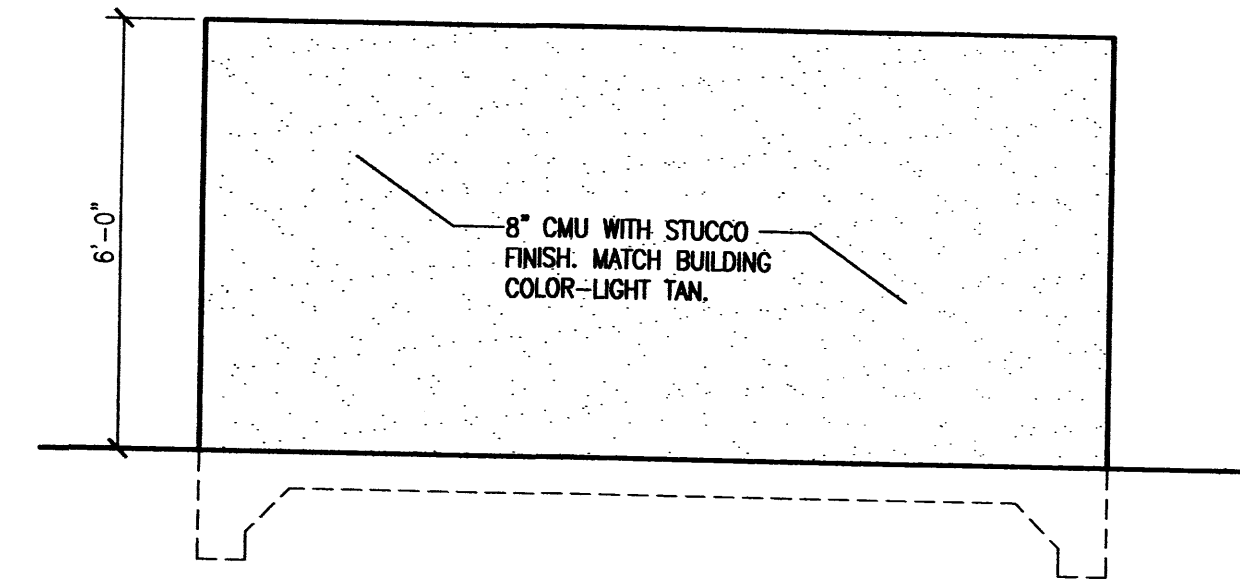
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drawn by	MRM	
project manager	MMM	
date	5/25/10	

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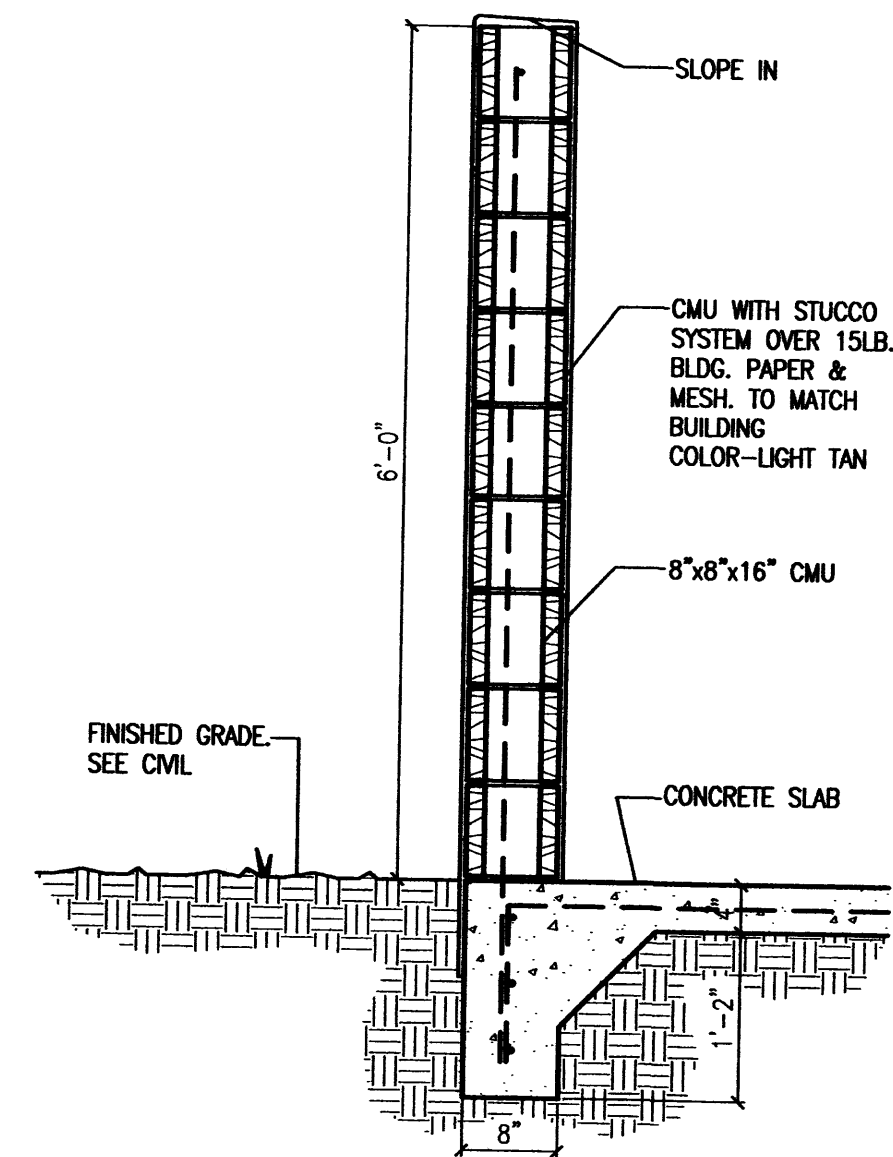
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St Jude Thaddeus Catholic Church
5712 Paradise Blvd NW
Albuquerque, New Mexico 87114
sheet file
Exterior Elevations



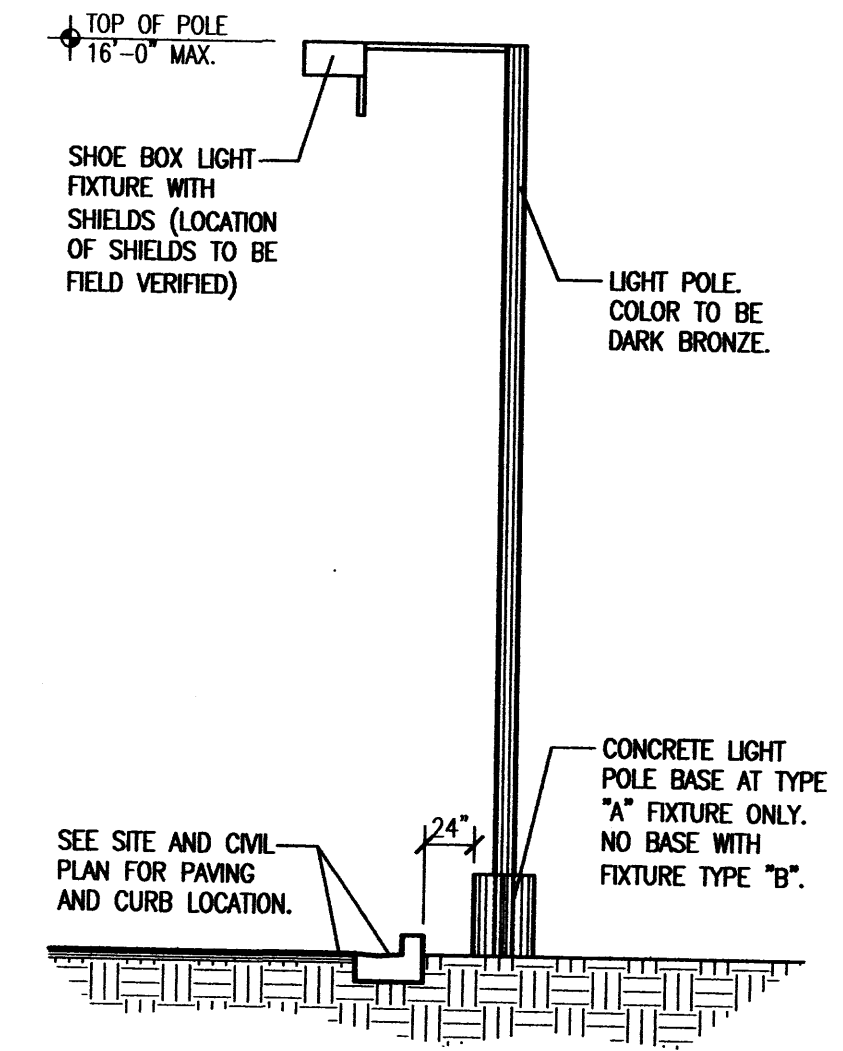
1 Dumpster Enclosure Front Elevation
Scale: 3/8" = 1'-0"



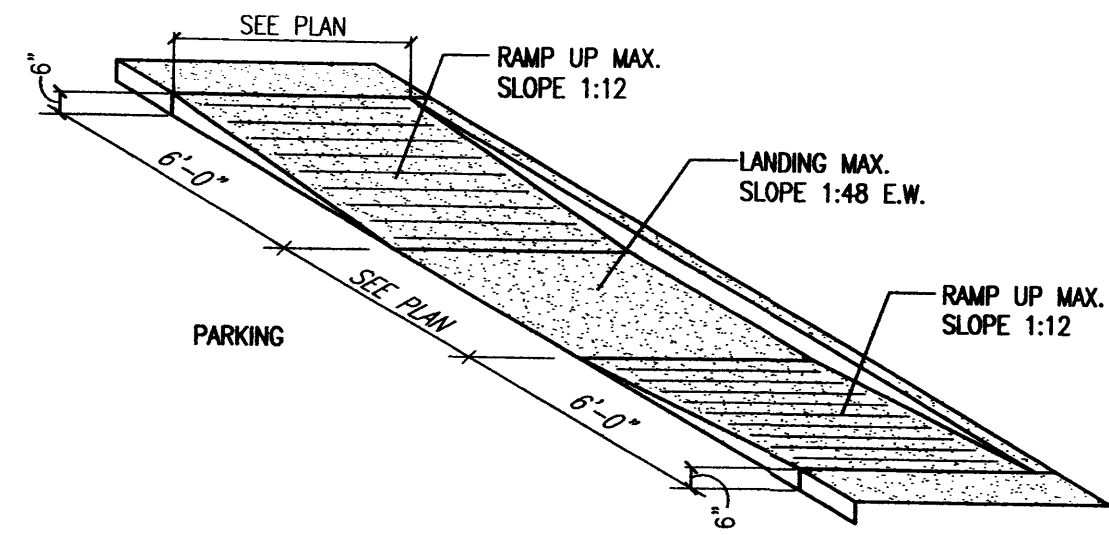
2 Dumpster Enclosure Typ. Side Elevation
Scale: 3/8" = 1'-0"



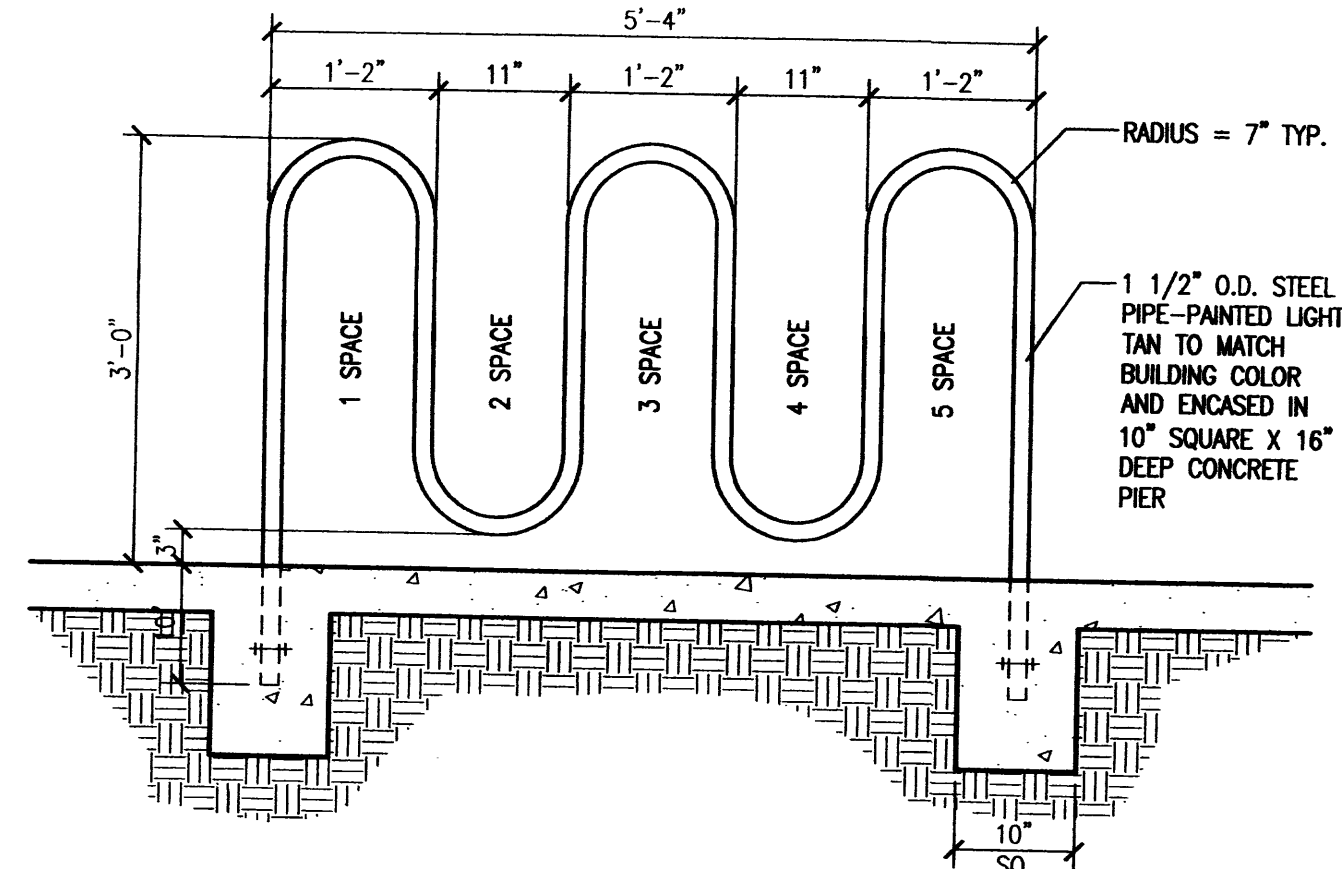
3 Dumpster Enclosure Wall Section
Scale: 1" = 1'-0"



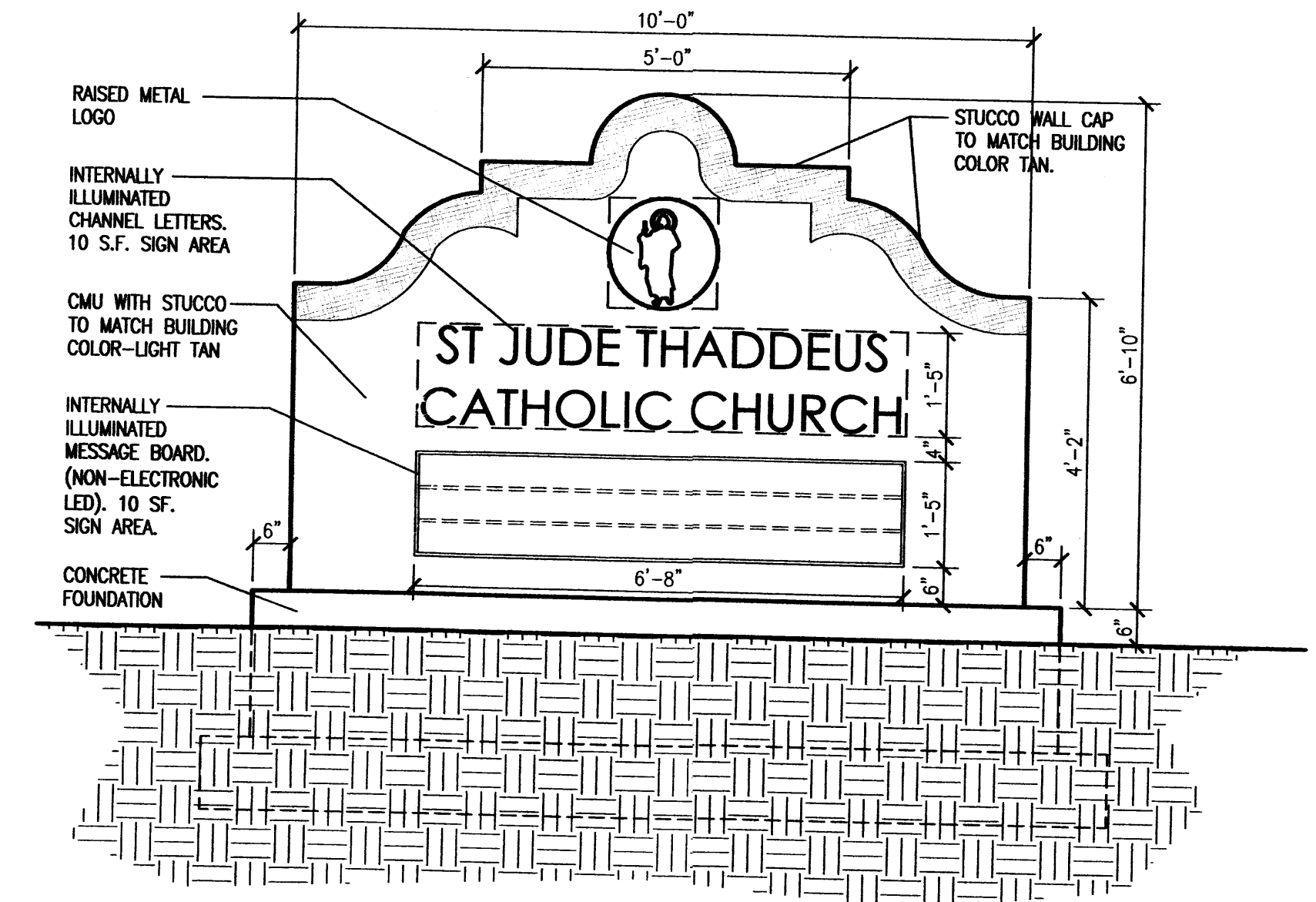
4 Site Lighting Elevation
Scale: Not to Scale



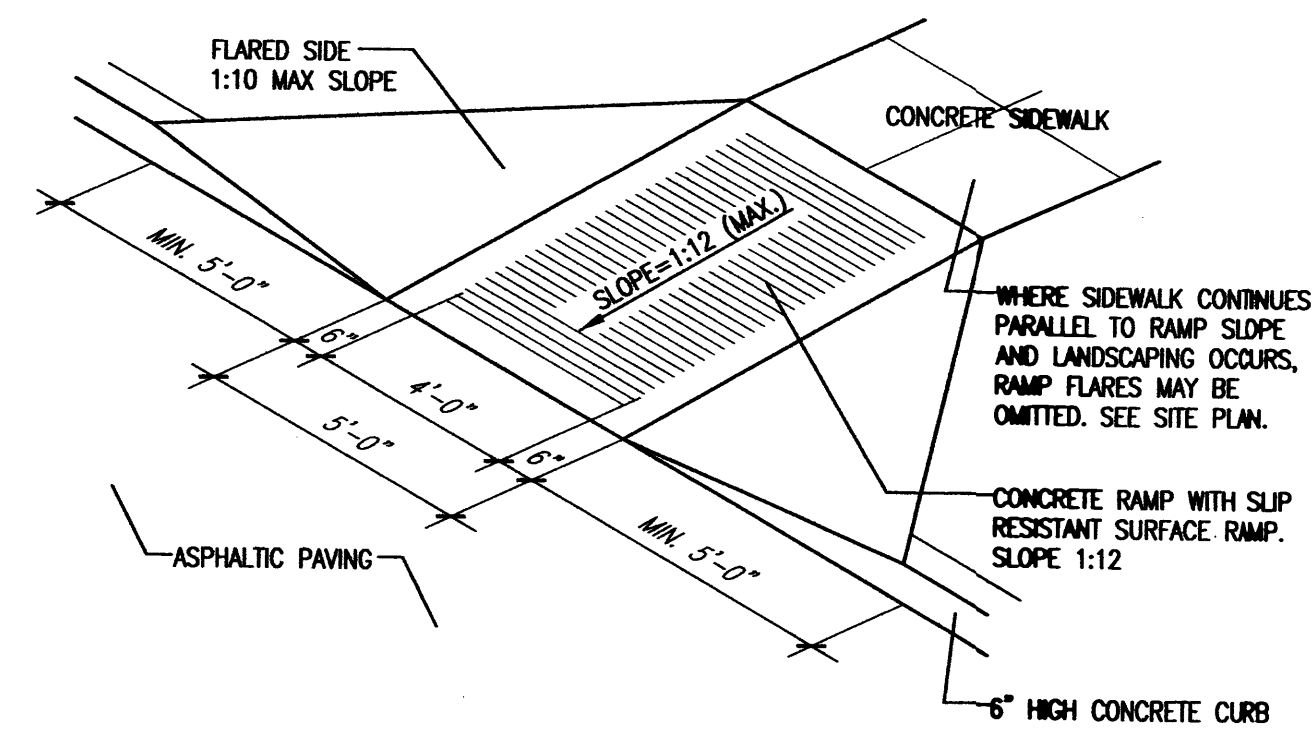
5 H.C. Ramp Detail
Scale: Not To Scale (Isometric)



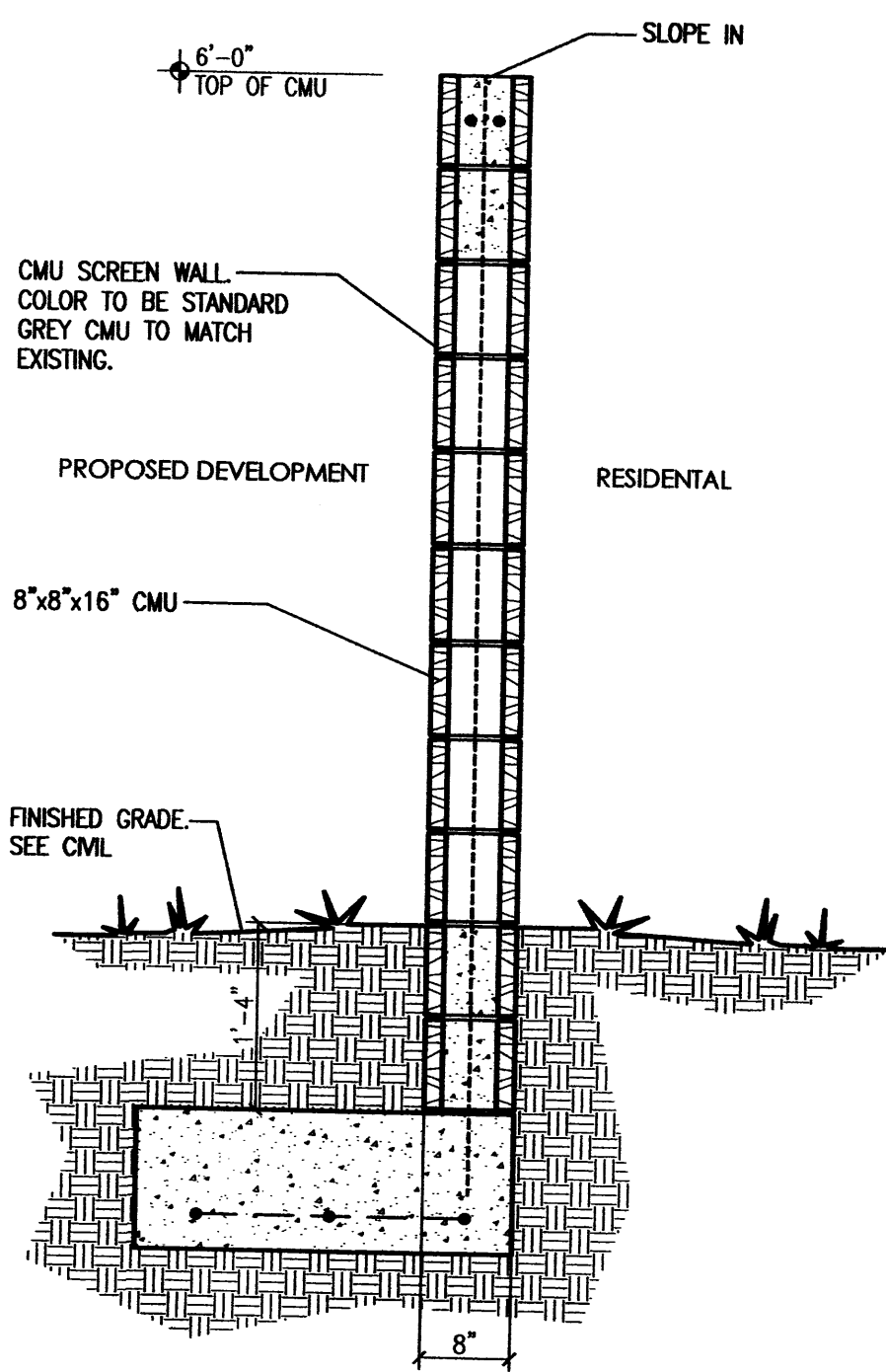
8 Typical Bicycle Rack Detail
Scale: 3/4" = 1'-0"



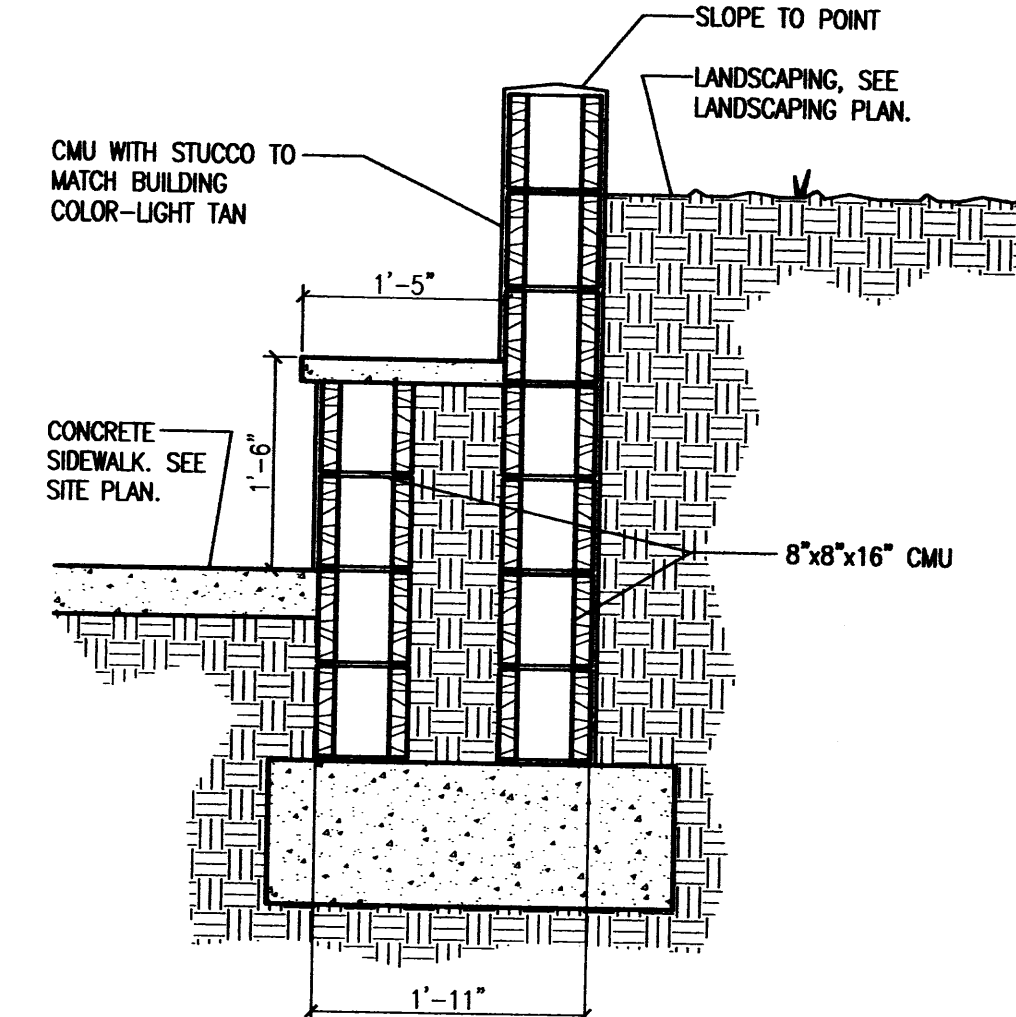
10 Monument Sign Elevation - 54 SF. Per Side
Scale: 1/2" = 1'-0"



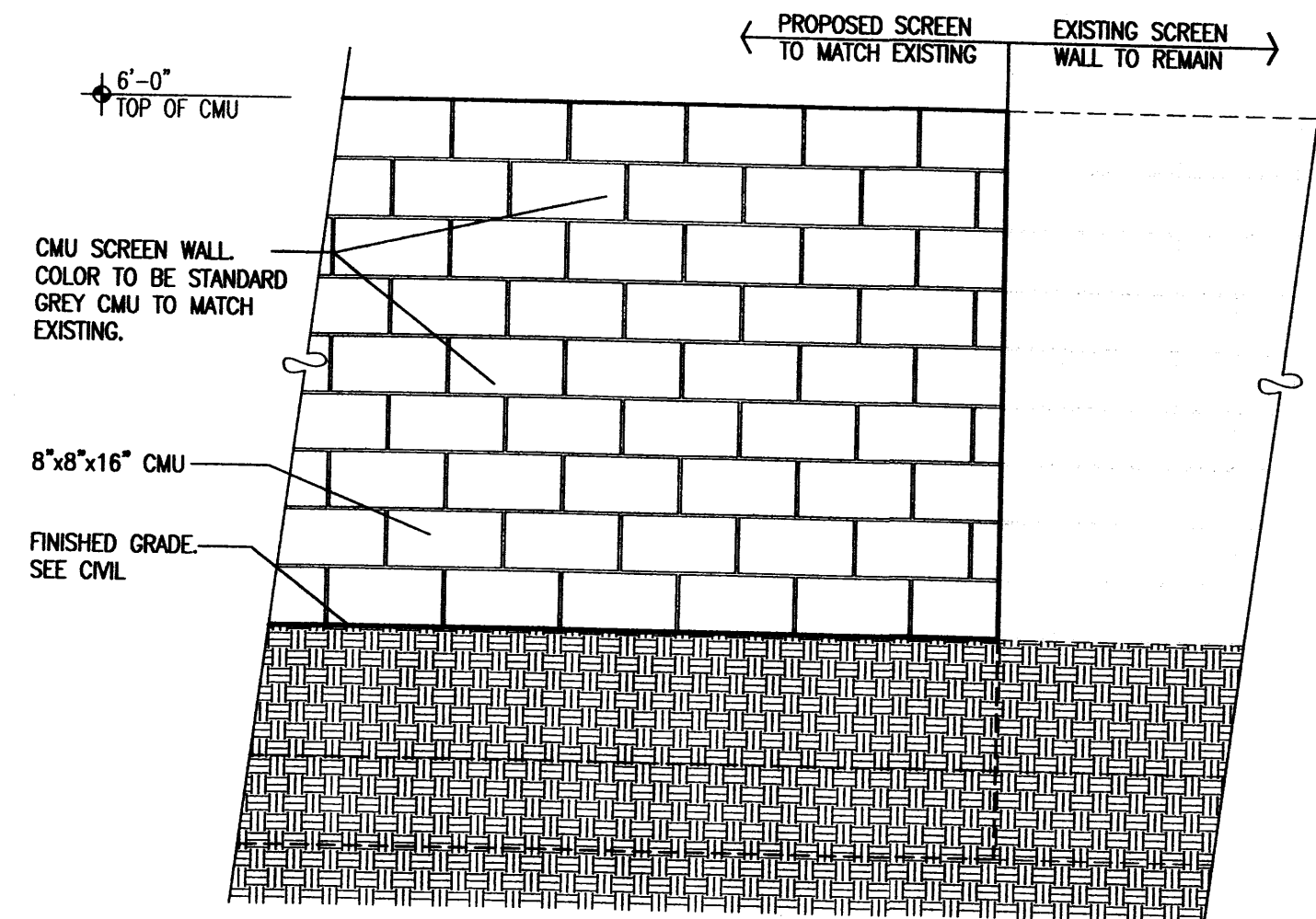
6 H.C. Ramp Detail
Scale: Not To Scale (Isometric)



7 CMU Screen Wall Section
Scale: 3/4" = 1'-0"



9 CMU Plaza Seating-Wall Section
Scale: 3/4" = 1'-0"



11 CMU Screen Wall Elevation
Scale: 1/2" = 1'-0"

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job number	10-01
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project manager	AMAM
date	4/22/10

project file
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sheet file
Site Details