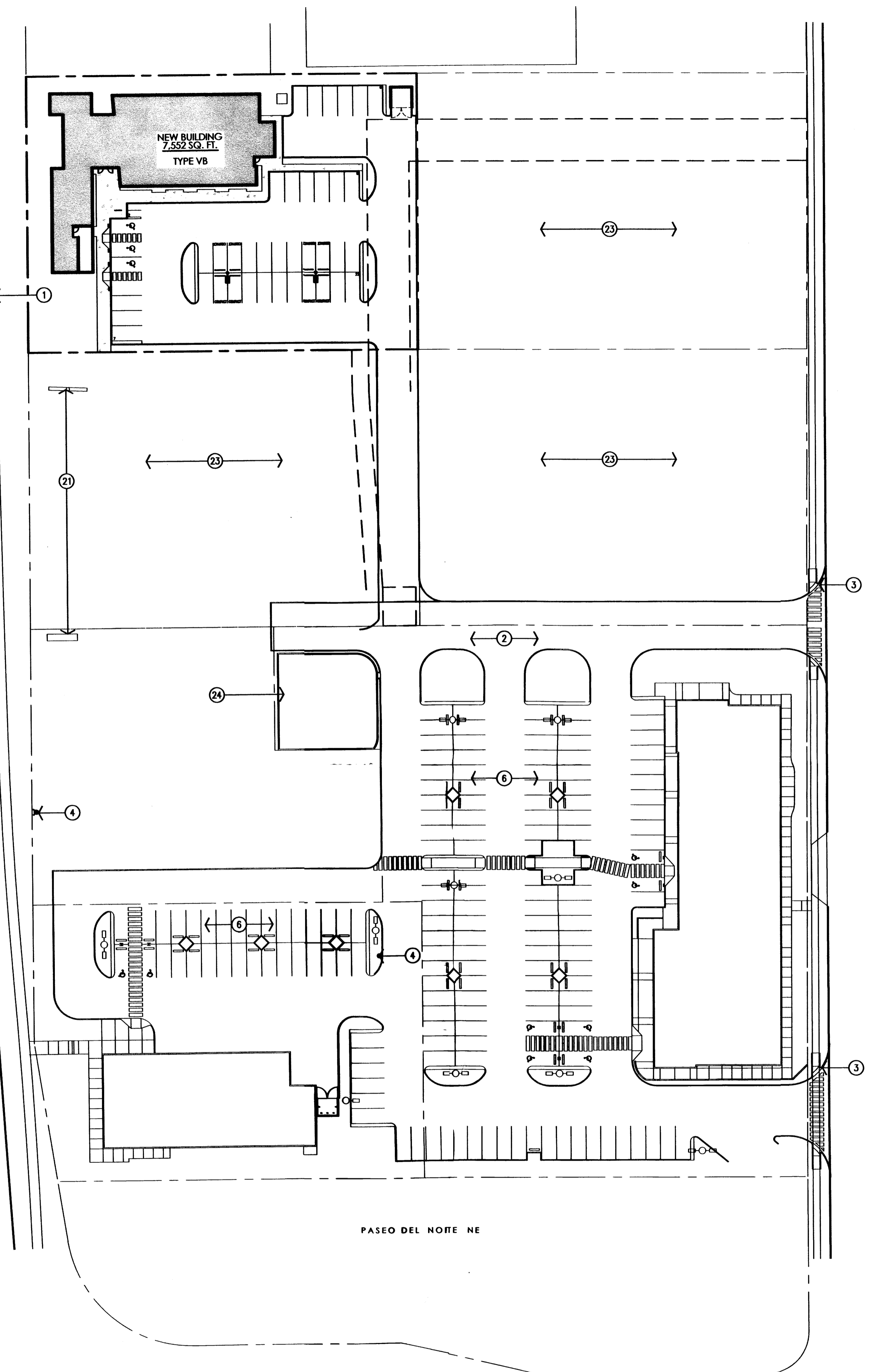


PASEO DEL NORTE NE

HOLLY AVENUE NE

PASEO DEL NORTE NE



1 Overall Site Plan
Scale: 1" = 40'

ZONING NOTES:

ZONING CLASSIFICATION: M-1 & SU-2
 ALLOWABLE USE: MEDICAL OFFICE (CLINIC) SEE ZONING C-3 AND C-2
 ALLOWABLE HEIGHT: 36'-0" (25' PROPOSED)

SETBACKS	REQUIRED	PROVIDED
FRONT YARD	5'-0"	13'-9"
CORNER YARD	5'-0"	N/A
SIDE YARD	0'-0"	10'-0"
REAR YARD	0'-0"	2'-7" TO TRASH ENCL.
PARKING	REQUIRED	PROVIDED
PARKING REQ'D	30 SPACES	41 SPACES
MOTORCYCLE REQ'D	2 (NOTE B)	2 SPACES
ADA REQ'D	3 (NOTE C)	3 SPACES

NOTE A: 6 DOCTORS X 5 SPACES = 30 SPACES REQ'D
 NOTE B: 26-50 SPACES = 2 MOTORCYCLE REQ'D
 NOTE C: 36-50 SPACES = 3 ADA SPACES REQ'D

GENERAL NOTES:

A. BUILDING FINISH FLOOR EQUALS XXXX.

KEYED NOTES:

- [1] EXISTING CONCRETE SIDEWALK.
- [2] EXISTING ASPHALT PAVING.
- [3] EXISTING CURB CUT AND CURBING TO REMAIN.
- [4] EXISTING FIRE HYDRANT.
- [5] NEW 20' HIGH POLE LIGHTING.
- [6] EXISTING PARKING SPACES.
- [7] EXISTING 10' PUBLIC UTILITY EASEMENT.
- [8] EXISTING 25' PUBLIC UTILITY GUTTER. SEE X/A002.
- [9] NEW CONCRETE CURB AND GUTTER. SEE X/A002.
- [10] NEW CONCRETE SIDEWALK. SEE X/A002.
- [11] NEW LANDSCAPING.
- [12] NEW HANDICAP RAMP. SEE X/A002.
- [13] NEW CMU DUMPSTER ENCLOSURE. SEE X/A002.
- [14] NEW HANDICAP PAVEMENT SIGN. SEE X/A002.
- [15] NEW HANDICAP PAVEMENT STRIPING. SEE X/A002.
- [16] NEW ASPHALT PAVING.
- [17] NEW BRK. BACK. SEE X/A002.
- [18] NEW PARKING BUMPER.
- [19] TRANSFORMER PAD.
- [20] NEW MOTORCYCLE PARKING.
- [21] EXISTING MONUMENT SIGN.
- [22] ACCESS DRIVE PROVIDED BY DEVELOPER.
- [23] ADJACENT EMPTY LOT
- [24] EXISTING RETENTION POND

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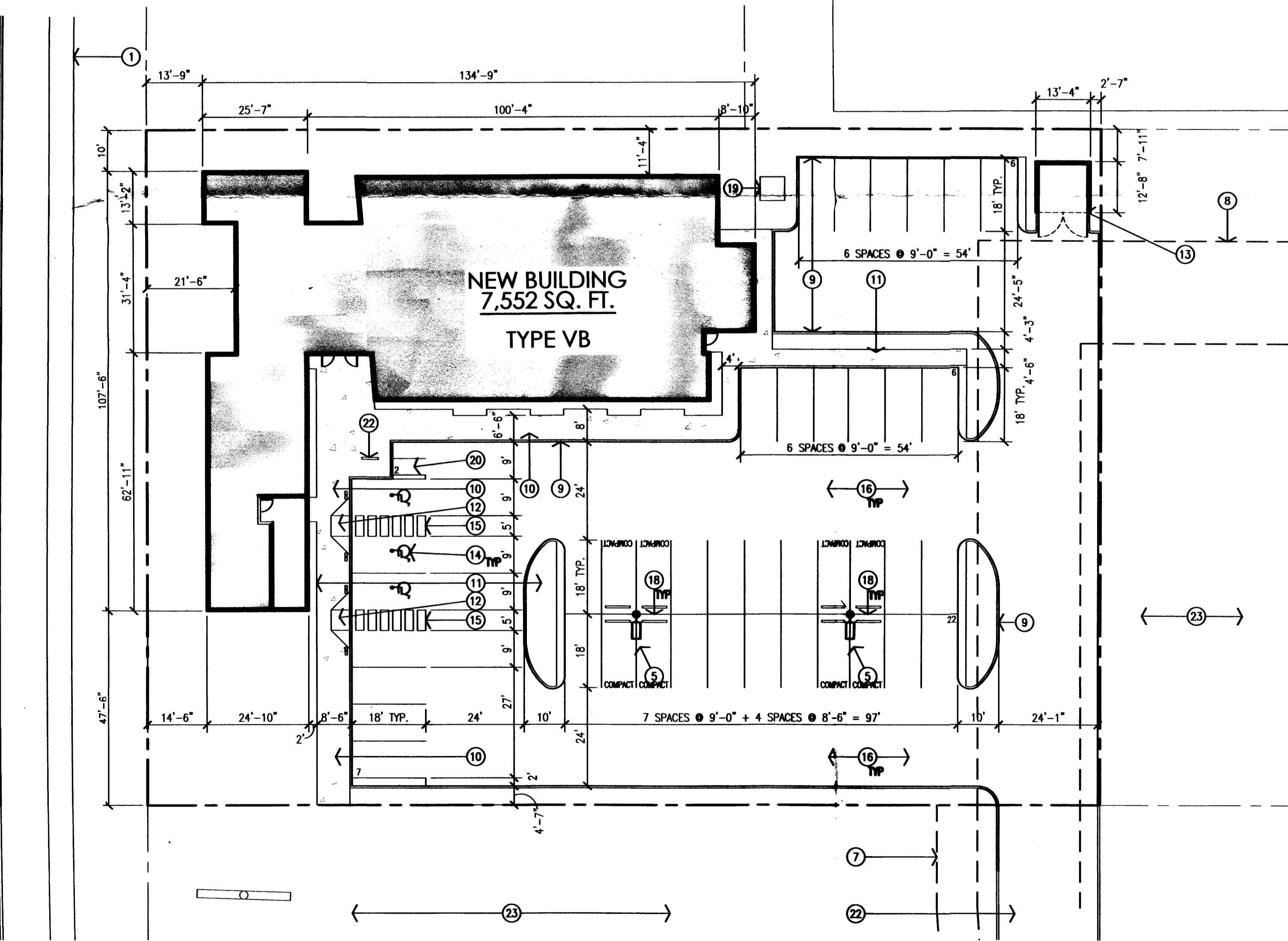
Mullen Heller
Architecture P.C.

924 Park Avenue SW
Suite B
Albuquerque 87102
505 268 4144 [p]
505 268 4244 [f]

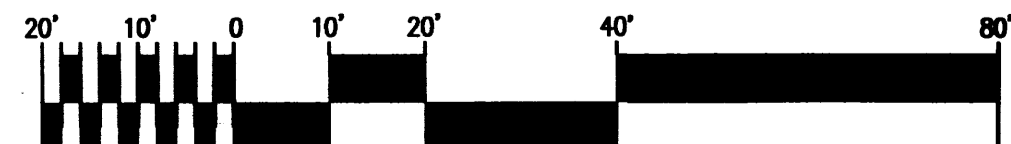
job number	drawn by	project manager	date
10-10	msh/xxx	Michelle Mullen, AIA	06/14/2010

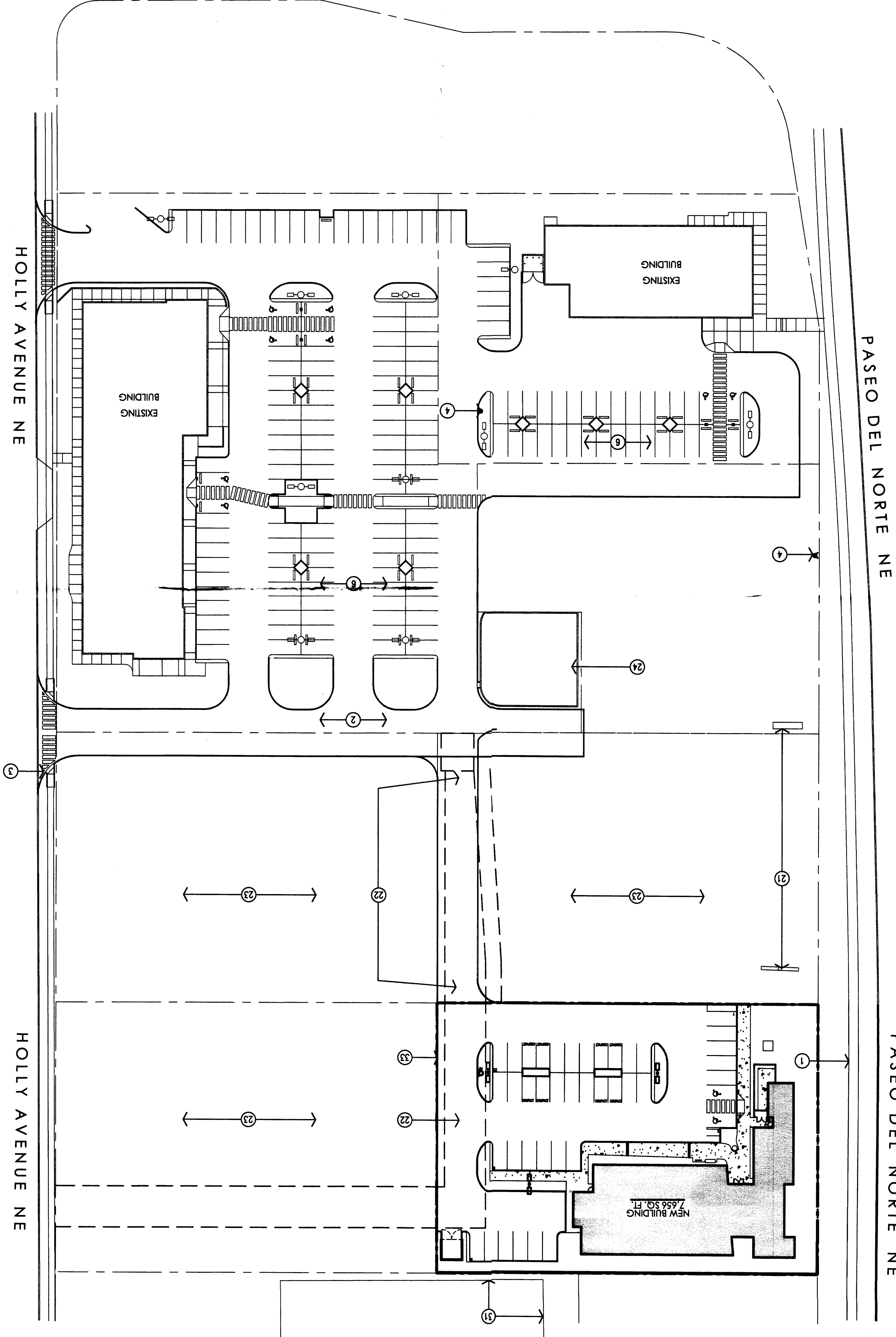
project title
After Hours Pediatrics
XXXX Paseo Del Norte
Albuquerque, New Mexico
sheet title
Overall & Enlarged Site Plans

sheet
A001



2 Enlarged Site Plan
Scale: 1" = 20'





PASEO DEL NORTE NE

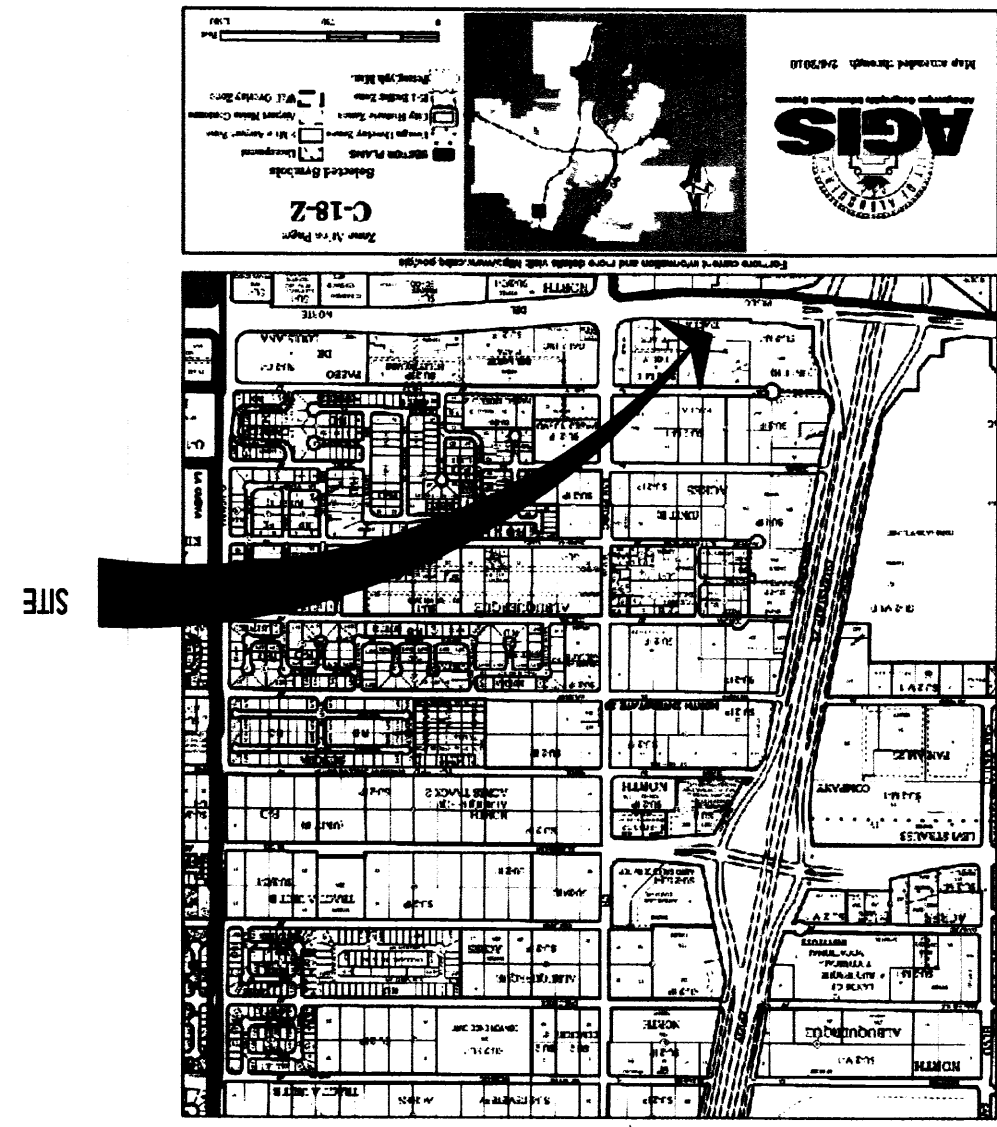
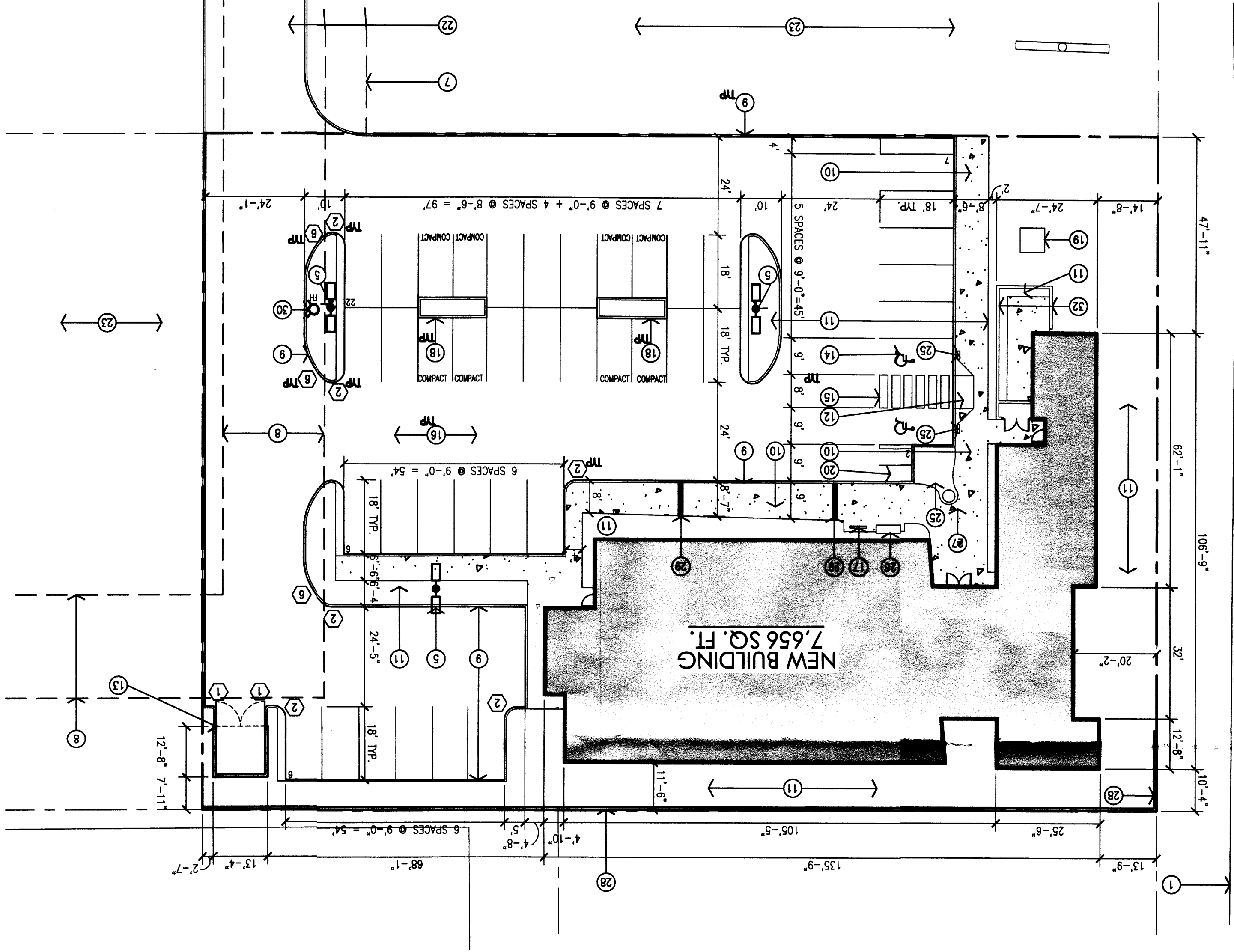
HOLLY AVENUE NE

PASEO DEL NORTE NE

PASEO DEL NORTE NE



AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
SIGNATURE & DATE



VICINITY MAP:

SITE DEVELOPMENT DATA:
LEGAL DESCRIPTION: LOT 21, BLOCK 18, TRACT A, UNIT B
CITY OF ALBUQUERQUE
BERNILLO COUNTY, NEW MEXICO

BUILDING ADDRESS: NOT ASSIGNED

KEYED NOTES:

- 1) EXISTING ASPHALT PAVING.
- 2) EXISTING CURB CUT AND CURBING TO REMAIN.
- 3) EXISTING FIRE HYDRANT.
- 4) EXISTING 20' HIGH POLE LIGHTING. SEE SHEET 6 OF 6.
- 5) NEW 20' HIGH POLE LIGHTING. SEE SHEET 6 OF 6.
- 6) EXISTING PARKING SPACES.
- 7) EXISTING 10' PUBLIC UTILITY EASEMENT.
- 8) EXISTING 25' PUBLIC UTILITY EASEMENT.
- 9) NEW 6' CONCRETE CURB AT PERIMETER OF PARKING.
- 10) NEW CONCRETE SIDEWALK.
- 11) NEW ASPHALT DRIVE.
- 12) NEW ASPHALT ACCESS DRIVE.
- 13) EXISTING MONUMENT SIGN.
- 14) NEW ASPHALT PAVING.
- 15) NEW ASPHALT PAVEMENT STRIPING.
- 16) NEW ASPHALT PAVING.
- 17) NEW BIKE RACK. SEE SHEET 6 OF 6.
- 18) NEW CONCRETE CURB & FLANTER.
- 19) NEW CONCRETE TRANSFORMER PAD.
- 20) NEW MOTORCYCLE PARKING.
- 21) EXISTING MONUMENT SIGN.
- 22) NEW ASPHALT DRIVE.
- 23) EXISTING RETENTION POND.
- 24) EXISTING RETENTION POND.
- 25) HANDICAP PARKING SIGN.
- 26) 2' CONCRETE BENCH WITH BACK.
- 27) 5'-0" DIAMETER TO 1'-6" HIGH CONCRETE PLATFORM FOR OWNER PROVIDED SCULPTURE.
- 28) GALVANIZED STEEL CHECKERPLATE SIDEWALK CURB.
- 29) NEW FIRE HYDRANT.
- 30) CALIBERS GUN CLUB.
- 31) FLOOD ENCLOSURE. SEE ELEVATIONS.
- 32) BOUNDARY OF PROPERTY.

ALLOWABLE HEIGHT:	REQUIRED	PROVIDED
REAR YARD	0'-0"	0'-0"
SIDE YARD	0'-0"	0'-0"
CORNER YARD	5'-0"	5'-0"
FRONT YARD	5'-0"	13'-9"

CALCULATIONS:	REQUIRED	PROVIDED
PARKING	36'-0"	36'-0"
PROPOSED CLINIC	6 DOCTORS X 5 SPACES	30 SPACES
PROPOSED CLINIC	5 PARKING SPACES PER DOCTOR	150 SPACES
BUILDING AREAS:	7,656 SF	7,656 SF
ZONE ATLAS PAGE:	B-18-Z	B-18-Z
CURRENT ZONING:	SU-2/ M-1	SU-2/ M-1
LAND AREA:	8843 ACRES (38,521 SQ. FT.)	8843 ACRES (38,521 SQ. FT.)

GENERAL NOTES:

- A. BUILDING FINISH FLOOR EQUALS 11'-0", REFER TO CIVL.
- B. PROVIDE EXPANSION JOINT IN CONCRETE SIDEWALK AT 20' O.C. & CONTROL.
- C. JOINT AT 5' O.C.
- D. BUILDING TO BE TYPE III CONSTRUCTION.

job number 10-10
drawn by mnm/sam
project manager Michele Wullen, AIA
date 07/15/2010



Mulien Heller
Architecture P.C.

924 Park Avenue SW
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Albuquerque 87102
505 268 4144 [f]
505 268 4244 [t]

revision	date	by	revision

project title
After Hours Pediatrics
XXXX Paseo Del Norte
Albuquerque, New Mexico

sheet title
Overall & Enlarged Site Plans

SITE DEVELOPMENT DATA:
 LEGAL DESCRIPTION: LOT 21, BLOCK 18, TRACT A, UNIT B
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

BUILDING ADDRESS: NOT ASSIGNED

LAND AREA: .8843 ACRES (38,521 SQ. FT.)
 CURRENT ZONING: SU-2/ M-1
 ZONE ATLAS PAGE: B-18-Z

BUILDING AREAS: PROPOSED NEW MEDICAL OFFICE CLINIC = 7,656 SF

PARKING CALCULATIONS:
 PROPOSED CLINIC
 5 PARKING SPACES PER DOCTOR = 30 SPACES
 6 DOCTORS X 5 SPACES
 MOTORCYCLE SPACES = 2 SPACES
 25-50 SPACES
 TOTAL SPACES PROVIDED = 41 SPACES

ALLOWABLE HEIGHT: 36'-0"

SETBACKS	REQUIRED	PROVIDED
FRONT YARD	5'-0"	13'-9"
CORNER YARD	5'-0"	N/A
SIDE YARD	0'-0"	10'-0"
REAR YARD	0'-0"	2'-7" TO TRASH ENCL.

RADIUS INFORMATION:
 ① = 2'-0"
 ② = 3'-0"
 ③ = 15'-0"

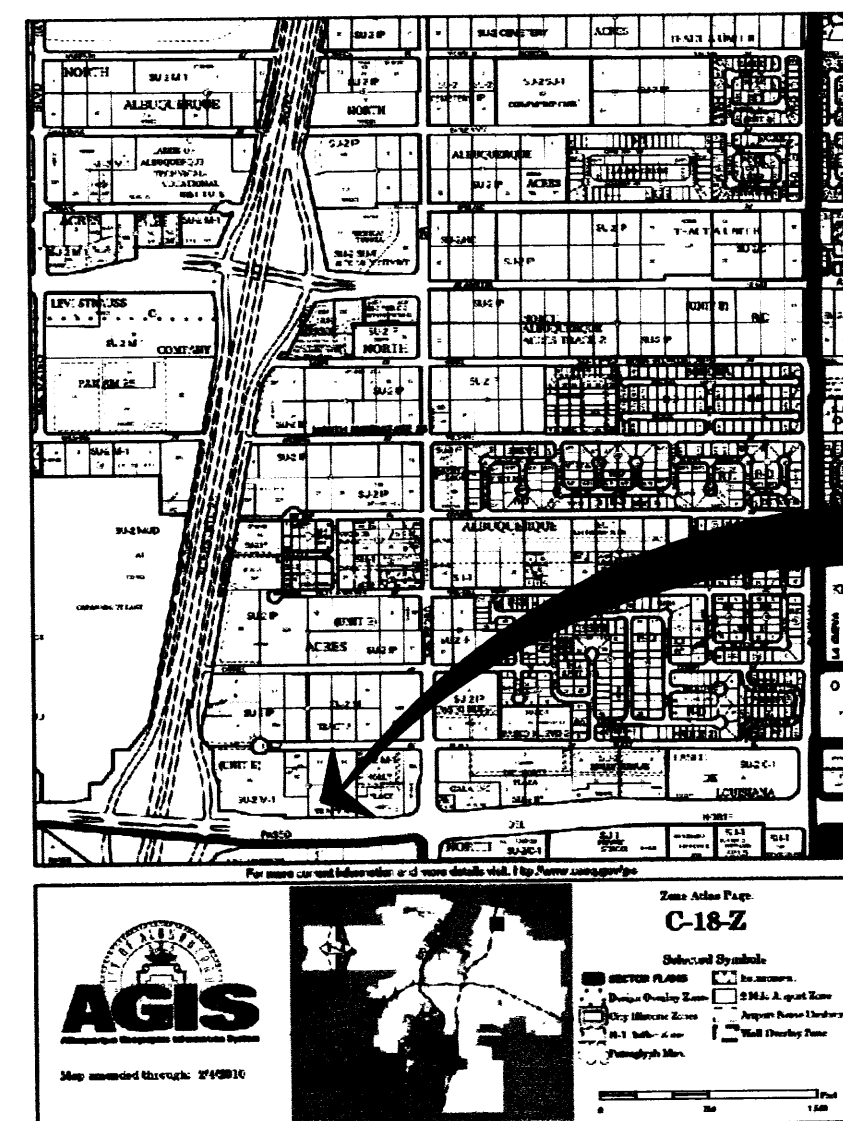
GENERAL NOTES:

- BUILDING FINISH FLOOR EQUALS 11'-0", REFER TO C.M.L.
- PROVIDE EXPANSION JOINT IN CONCRETE SIDEWALK AT 20' O.C. & CONTROL JOINT AT 5' O.C.
- BUILDING TO BE TYPE IIB CONSTRUCTION

KEYED NOTES:

- EXISTING CONCRETE SIDEWALK.
- EXISTING ASPHALT PAVING.
- EXISTING CURB CUT AND CURBING TO REMAIN.
- EXISTING FIRE HYDRANT.
- NEW 20' HIGH POLE LIGHTING. SEE SHEET 6 OF 6.
- EXISTING PARKING SPACES.
- EXISTING 10' PUBLIC UTILITY EASEMENT.
- EXISTING 25' PUBLIC UTILITY EASEMENT.
- NEW 6" CONCRETE CURB AT PERIMETER OF PARKING.
- NEW CONCRETE SIDEWALK.
- NEW LANDSCAPING.
- NEW HANDICAP RAMP.
- NEW GUM DUMPSTER ENCLOSURE. SEE SHEET 6 OF 6.
- NEW HANDICAP PAVEMENT SIGN.
- NEW HANDICAP PAVEMENT STRIPING.
- NEW ASPHALT PAVING.
- NEW BIKE RACK. SEE SHEET 6 OF 6.
- NEW CONCRETE CURB & PLANTER.
- NEW CONCRETE TRANSFORMER PAD.
- NEW MOTORCYCLE PARKING.
- EXISTING MONUMENT SIGN.
- NEW ASPHALT ACCESS DRIVE.
- ADJACENT EMPTY LOT.
- EXISTING RETENTION POND.
- HANDICAP PARKING SIGN.
- 6' LONG CONCRETE BENCH WITH BACK.
- 5'-0" DIAMETER TO 1'-6" HIGH CONCRETE PLATFORM FOR OWNER PROVIDED SCULPTURE.
- CONCRETE RETAINING WALL; HEIGHT VARIES (4'-0" MAX). SEE SHEET 6 OF 6.
- GALVANIZED STEEL CHECKERPLATE SIDEWALK CULVERT.
- NEW FIRE HYDRANT.
- CALIBERS GUN CLUB.
- PATIO ENCLOSURE; SEE ELEVATIONS.
- BOUNDARY OF PROPERTY.

VICINITY MAP:



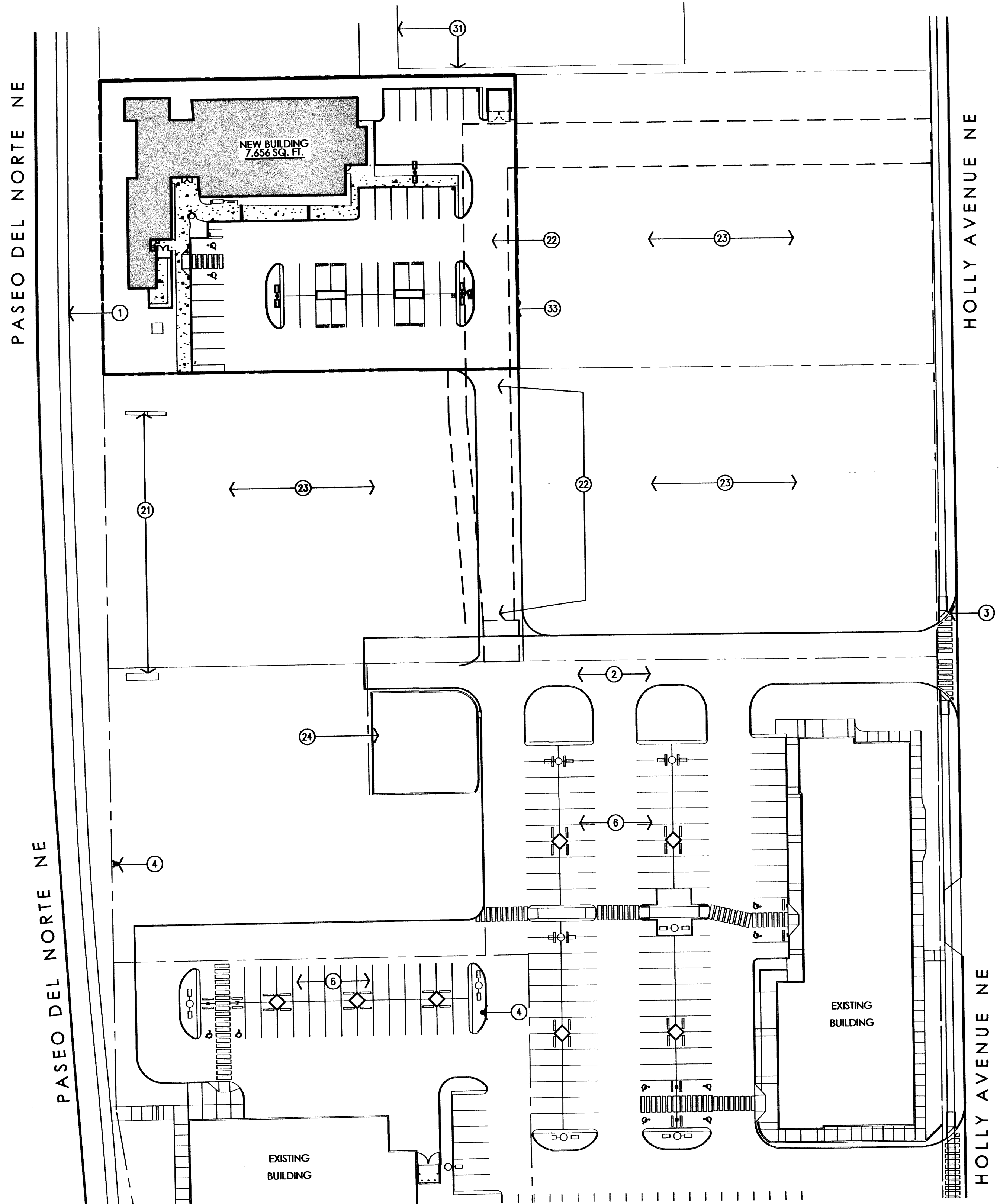
PROJECT NUMBER: _____ APPLICATION NUMBER: _____

THIS PLAN IS CONSISTANT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED: _____ AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

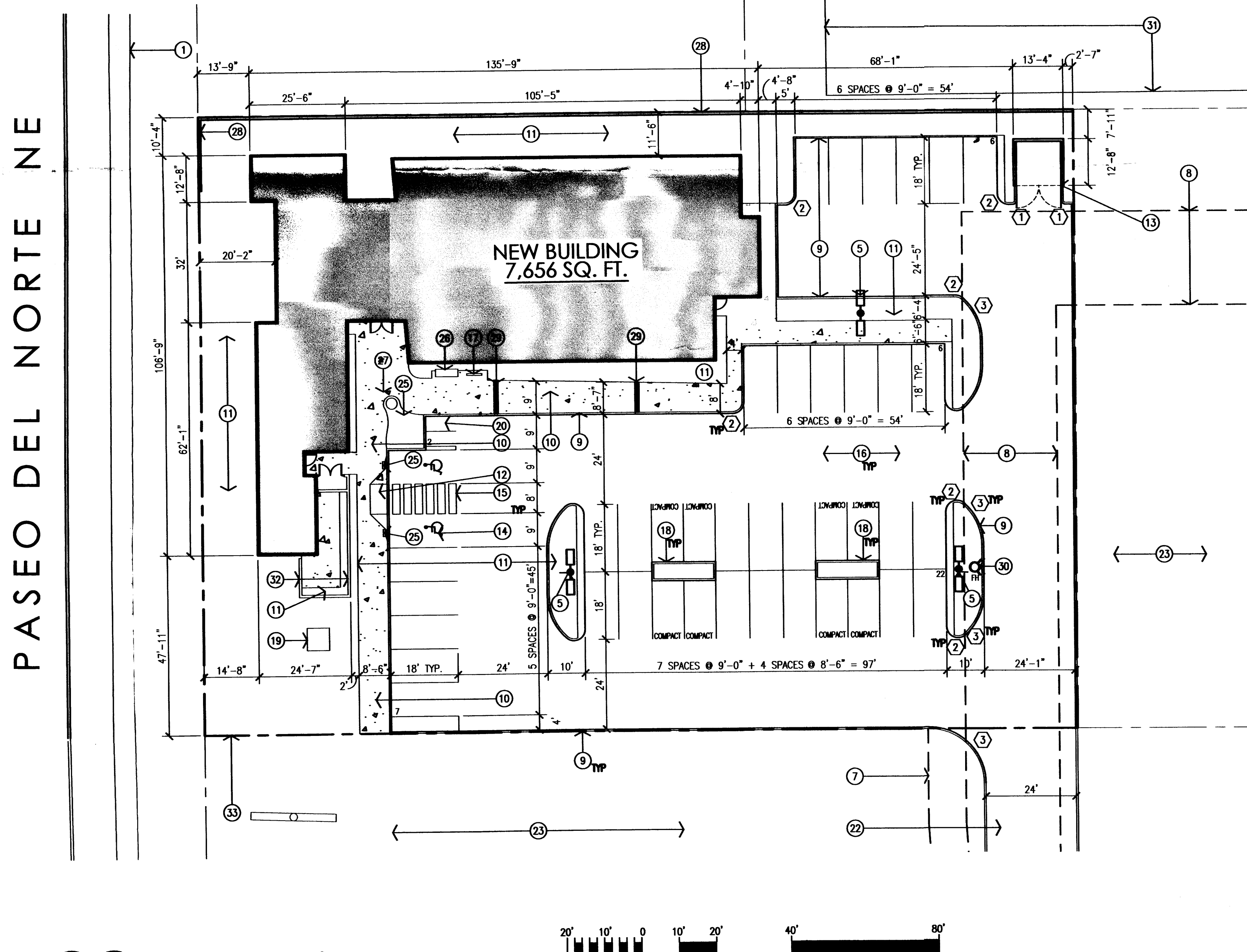
IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

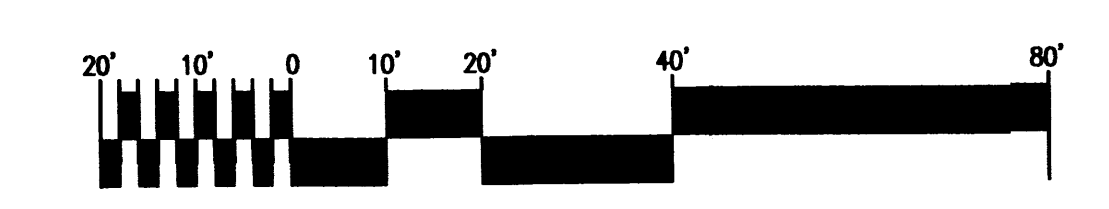
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	Date
UTILITIES DEVELOPMENT	Date
PARKS AND RECREATION DEPARTMENT	Date
CITY ENGINEER	Date
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	Date
<i>Sheela White</i> SOLID WASTE MANAGEMENT	7-16-10 Date
DRB CHAIRPERSON, PLANNING DEPARTMENT	Date



① Area Site Plan
 Scale: 1" = 40'



② Enlarged Site Plan
 Scale: 1" = 20'



revision
 by
 date

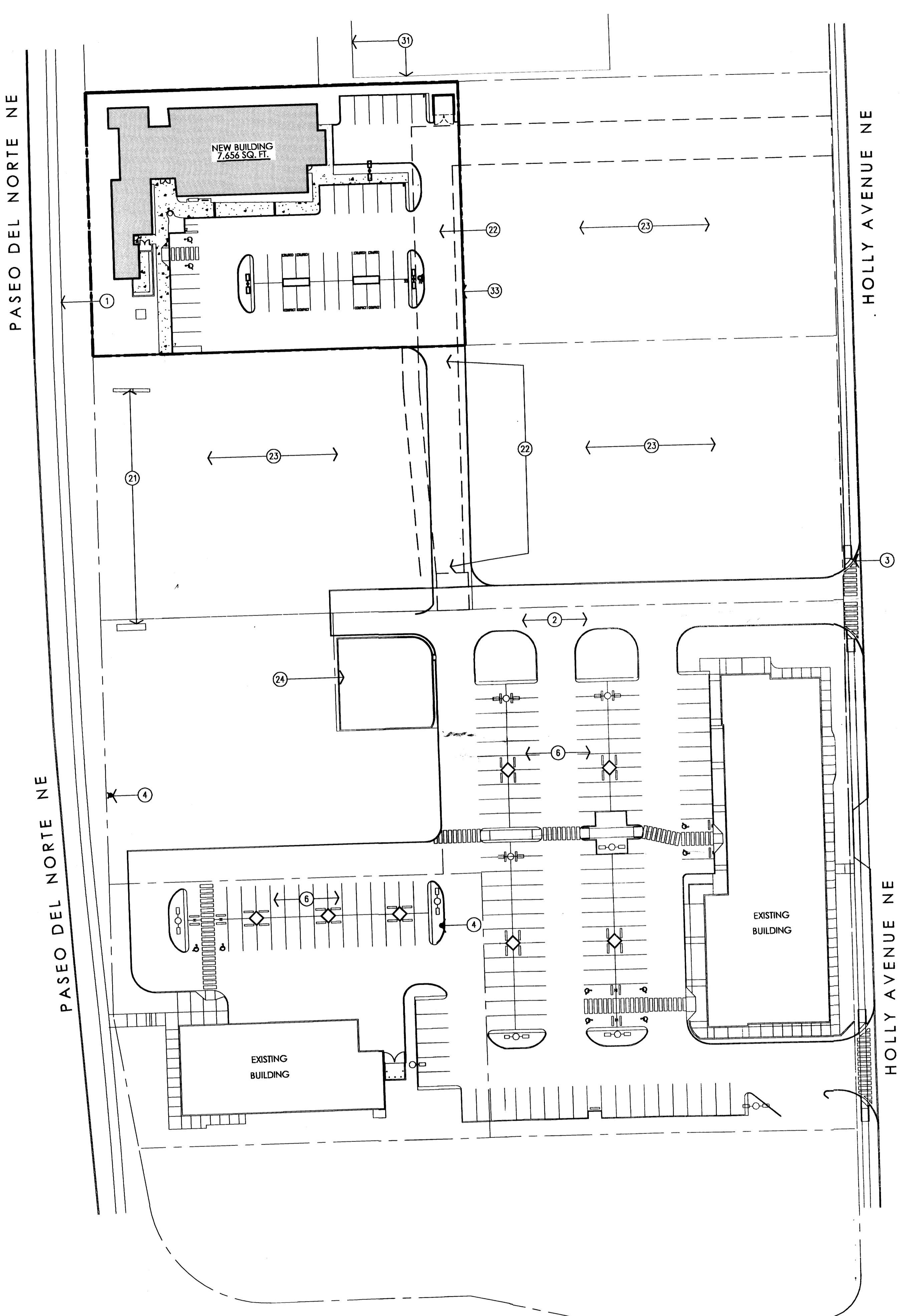
MH
 Mullen Heller
 Architecture P.C.
 924 Park Avenue SW
 Suite B
 Albuquerque 87102
 505 268 4144 [p]
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job number 10-10
 drawn by nsm/sam
 project manager Michele Mullen, AIA
 date 07/15/2010

project file
 After Hours Pediatrics
 XXXX Paseo Del Norte
 Albuquerque, New Mexico
 sheet file
 Overall & Enlarged Site Plans

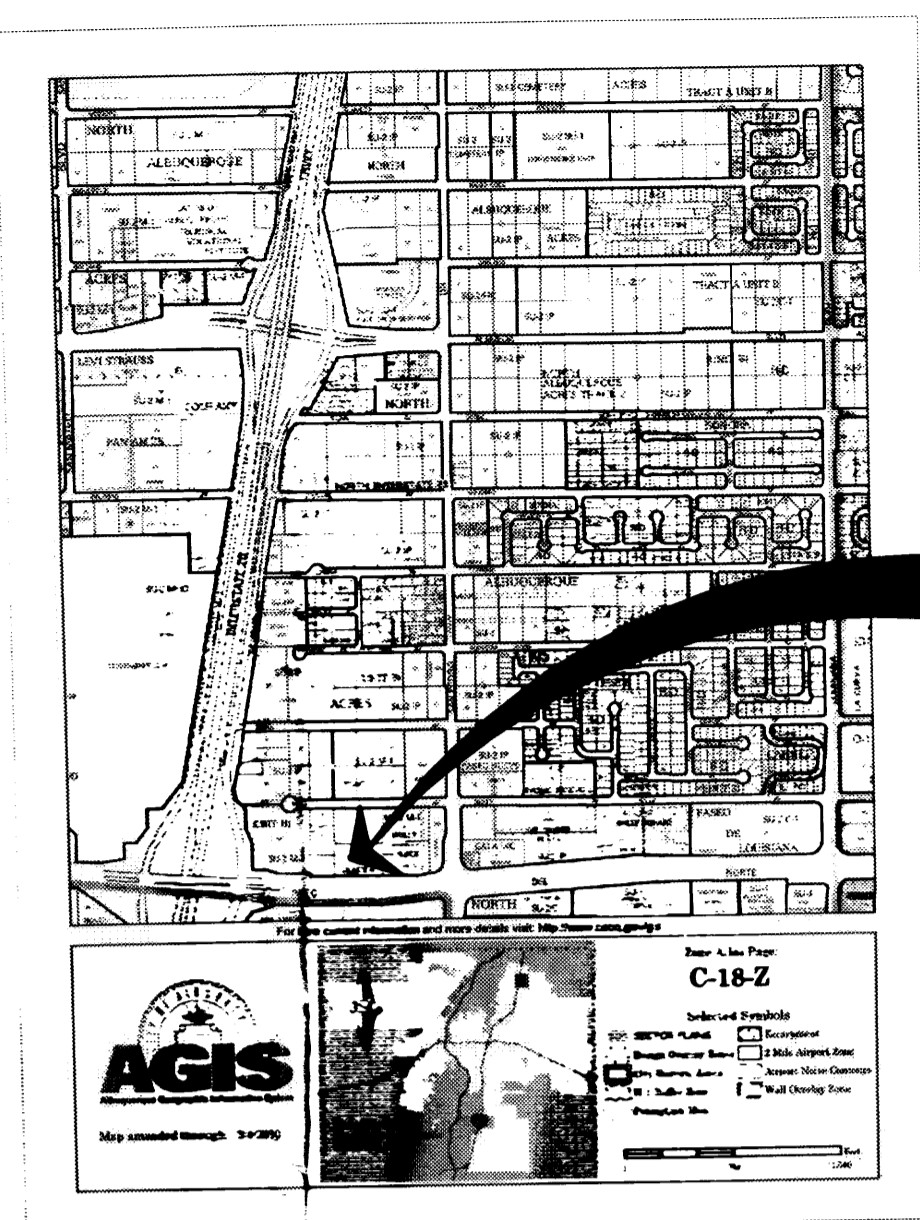
PASEO DEL NORTE NE

HOLLY AVENUE NE



1 Area Site Plan
Scale: 1" = 40'

VICINITY MAP:



SITE DEVELOPMENT DATA:

LEGAL DESCRIPTION: LOT 21, BLOCK 18, TRACT A, UNIT B
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

BUILDING ADDRESS: NOT ASSIGNED

LAND AREA: .8843 ACRES (38,521 SQ. FT.)
CURRENT ZONING: SU-2/ M-1
ZONE ATLAS PAGE: B-18-Z
BUILDING AREAS: PROPOSED NEW MEDICAL OFFICE CLINIC = 7,656 SF
PARKING CALCULATIONS:
PROPOSED CLINIC = 7,656 SF
5 PARKING SPACES PER DOCTOR = 30 SPACES
6 DOCTORS X 5 SPACES = 30 SPACES
MOTORCYCLE SPACES = 2 SPACES
25-50 SPACES = 2 SPACES
TOTAL SPACES PROVIDED = 41 SPACES

ALLOWABLE HEIGHT:	REQUIRED	PROVIDED
FRONT YARD	5'-0"	13'-9"
CORNER YARD	5'-0"	N/A
SIDE YARD	0'-0"	10'-0"
REAR YARD	0'-0"	2'-7" TO TRASH ENCL.

RADIUS INFORMATION:

- 1 = 2'-0"
- 2 = 3'-0"
- 3 = 15'-0"

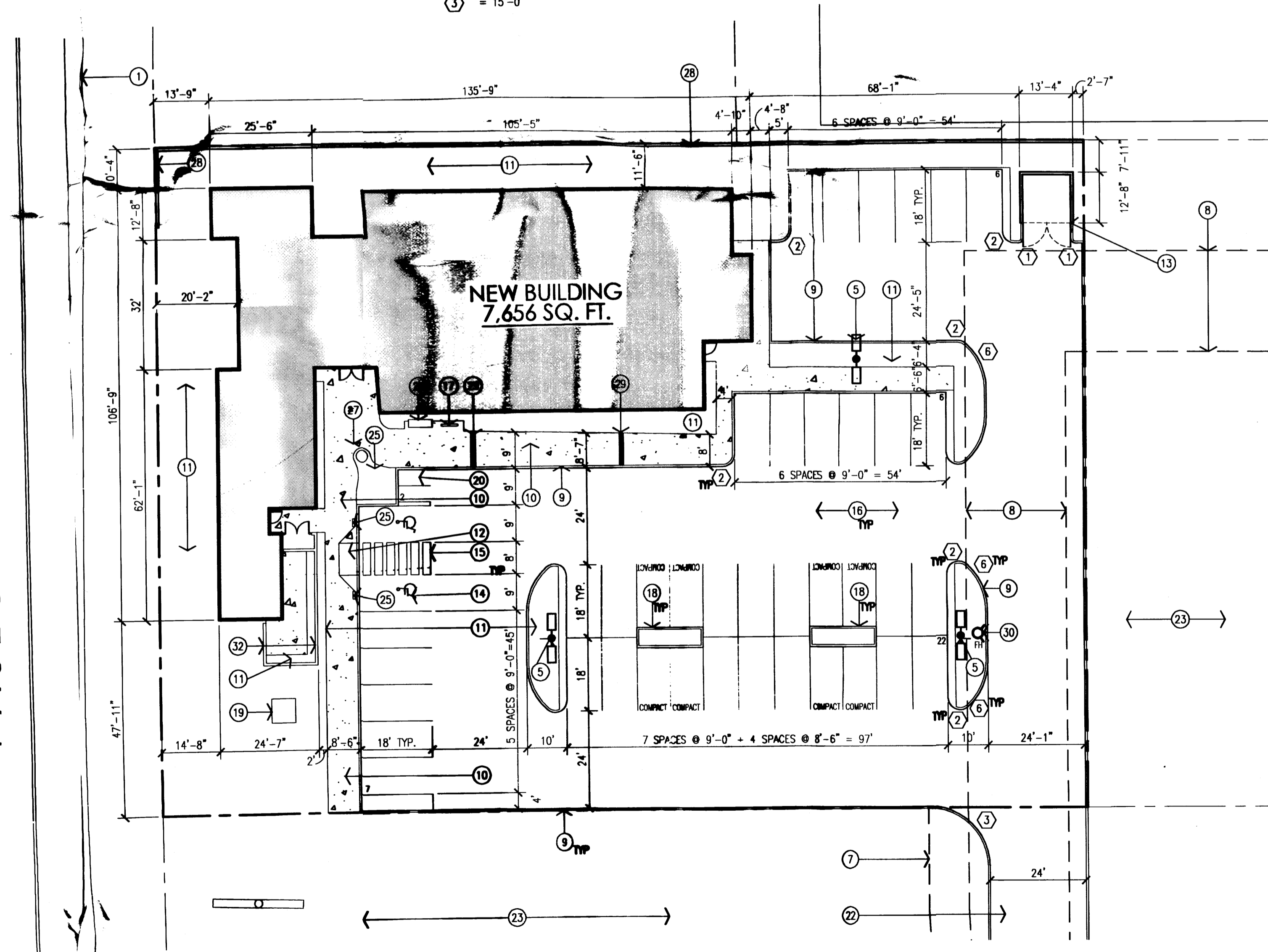
GENERAL NOTES:

- A. BUILDING FINISH FLOOR EQUALS 11'-0", REFER TO CIVIL.
- B. PROVIDE EXPANSION JOINT IN CONCRETE SIDEWALK AT 20' O.C. & CONTROL JOINT AT 5' O.C.
- C. BUILDING TO BE TYPE IIB CONSTRUCTION

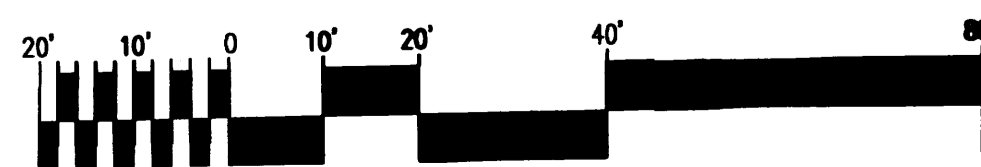
KEYED NOTES:

- 1) EXISTING CONCRETE SIDEWALK.
- 2) EXISTING ASPHALT PAVING.
- 3) EXISTING CURB CUT AND CURBING TO REMAIN.
- 4) EXISTING FIRE HYDRANT.
- 5) NEW 20' HIGH POLE LIGHTING. SEE SHEET 6 OF 6.
- 6) EXISTING PARKING SPACES.
- 7) EXISTING 10' PUBLIC UTILITY EASEMENT.
- 8) EXISTING 25' PUBLIC UTILITY EASEMENT.
- 9) NEW 6" CONCRETE CURB AT PERIMETER OF PARKING.
- 10) NEW CONCRETE SIDEWALK.
- 11) NEW LANDSCAPING.
- 12) NEW HANDICAP RAMP.
- 13) NEW CMU DUMPSTER ENCLOSURE. SEE SHEET 6 OF 6.
- 14) NEW HANDICAP PAVEMENT SIGN.
- 15) NEW HANDICAP PAVEMENT STRIPING.
- 16) NEW ASPHALT PAVING.
- 17) NEW BIKE RACK. SEE SHEET 6 OF 6.
- 18) NEW CONCRETE CURB & PLANTER.
- 19) NEW CONCRETE TRANSFORMER PAD.
- 20) NEW MOTORCYCLE PARKING.
- 21) EXISTING MONUMENT SIGN.
- 22) NEW ASPHALT ACCESS DRIVE.
- 23) ADJACENT EMPTY LOT.
- 24) EXISTING RETENTION POND.
- 25) HANDICAP PARKING SIGN.
- 26) 2' CONCRETE BENCH WITH BACK.
- 27) 5'-0" DIAMETER TO 1'-6" HIGH CONCRETE PLATFORM FOR OWNER PROVIDED SCULPTURE.
- 28) CONCRETE RETAINING WALL; HEIGHT VARIES (4'-0" MAX). SEE SHEET 6 OF 6.
- 29) GALVANIZED STEEL CHECKERPLATE SIDEWALK CULVERT.
- 30) NEW FIRE HYDRANT.
- 31) CALIBERS GUM CLUB.
- 32) PATIO ENCLOSURE; SEE ELEVATIONS.
- 33) BOUNDARY OF PROPERTY.

PASEO DEL NORTE NE



Enlarged Site Plan
Scale: 1" = 20'



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Mullen Heller
Architecture P.C.

924 Park Avenue SW
Suite B
Albuquerque 87102
505 268 4144(p)
505 268 4244 (f)

job number	10-10
drawn by	mhm/sam
project manager	Michele Mullen, AIA
date	07/15/2010

project title
After Hours Pediatrics
XXXX Paseo Del Norte
Albuquerque, New Mexico

sheet title
Overall & Enlarged Site Plans

PASEO DEL NORTE N.E.

HOLLY AVE. N.E.

EXIST. BUILDING

NEW BUILDING
FF=11.00

APPROX. 2' HIGH
NEW RETAINING WALL

NEW TEMPORARY
ASPHALT SWALE
(SEE DETAIL BELOW)

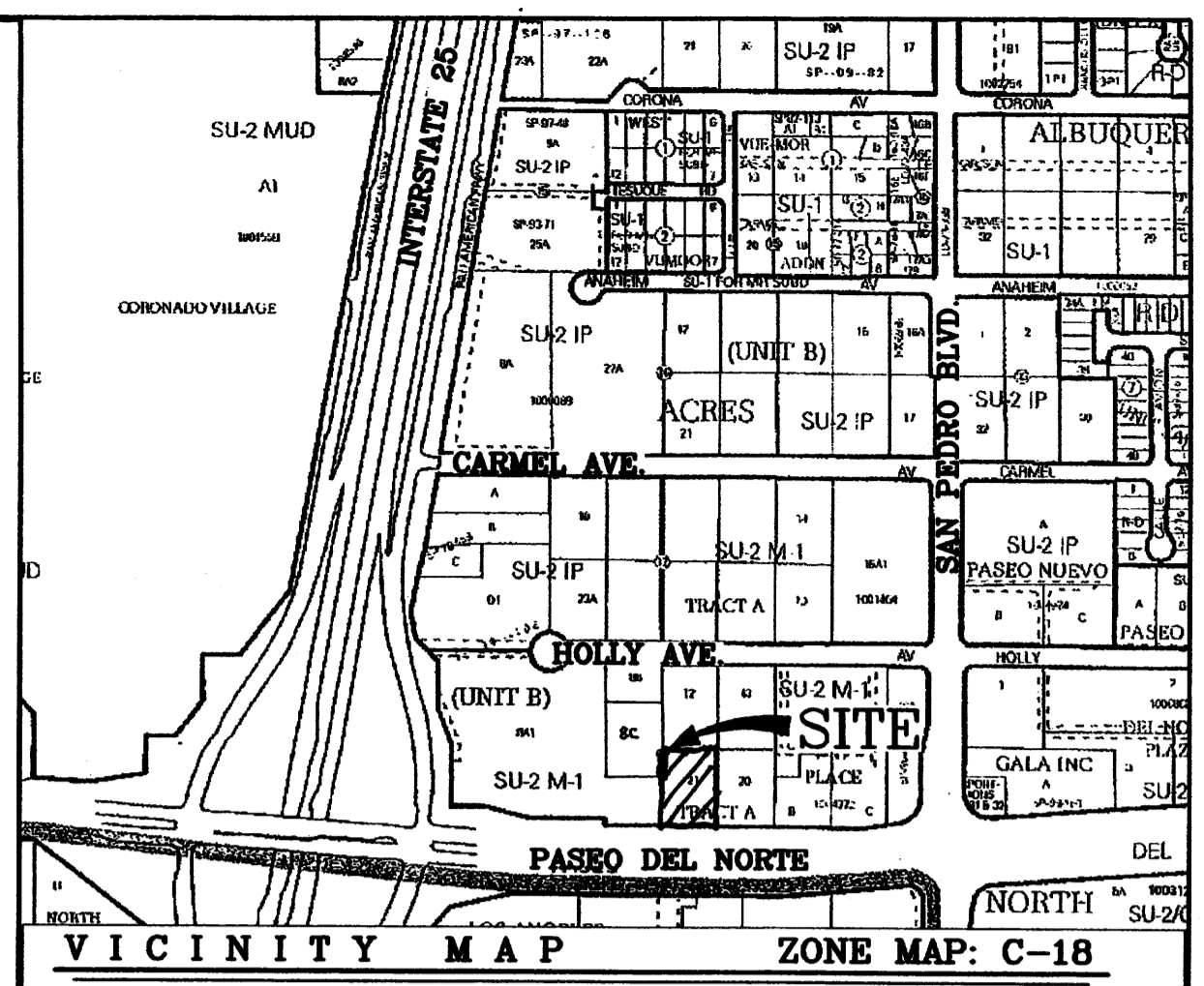
LANDSCAPED SWALE
(SEE DETAIL THIS SHEET)

ROOF
DRAINS

NEW 1"
SIDEWALK
CULVERT

NEW TEMPORARY DE-SILTING POND

NEW DRIVE

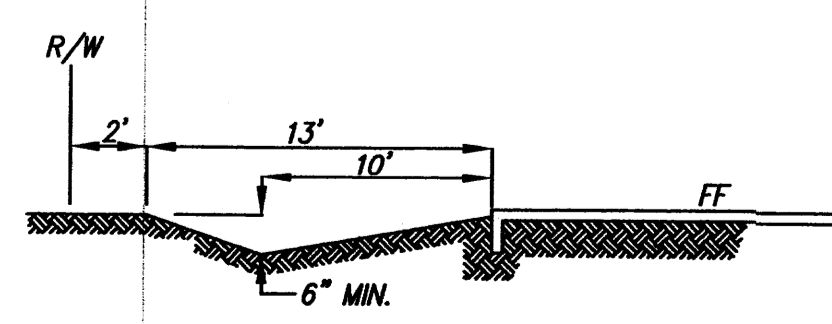


NOTES

1. SITE DOES NOT LIE WITHIN A 100 YEAR FLOOD ZONE.
2. THIS PROJECT IS ALLOWED FREE DISCHARGE PER THE HOLLY PLACE COMMERCIAL PHASE II PROJECT (C18/D77)
3. OFF-SITE FLOWS FROM THE PAD SITE TO THE EAST WILL BE DE-SILTED IN TEMPORARY POND AS SHOWN.

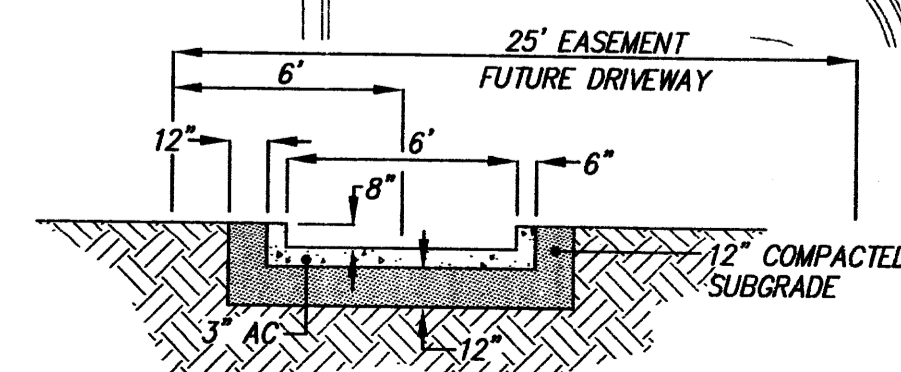
LEGEND

	EXIST. WATER METER
	EXIST. WATER VALVE
	EXIST. TRANSFORMER
	EXIST. LIGHT POLE
	EXIST. GAS METER
	EXIST. FIRE HYDRANT
	EXIST. OVERHEAD UTILITY LINES
	EXIST. STORM DRAIN INLET
	EXIST. SEWER MANHOLE
	EXIST. STORM DRAIN MANHOLE
	EXIST. WATER MANHOLE
	EXIST. UTILITY PEDESTAL
	EXIST. WALL
BC 5744.09	EXIST. BACK OF CURB ELEVATION
FL 5744.09	EXIST. FLOW LINE ELEVATION
EP 5744.09	EXIST. EDGE OF PAVEMENT ELEVATION
TAC 5444.09	EXIST. TOP OF ASPHALT CURB ELEVATION
5444.09	EXIST. GROUND SPOT ELEVATION
	EXIST. CURB & GUTTER
	EXIST. BUILDINGS
	NEW BUILDINGS
	NEW SPOT ELEVATION
	NEW PROPERTY LINE
	NEW FLOW
	NEW CONTOUR
	NEW TOP OF CURB ELEVATION
	NEW FLOWLINE ELEVATION
	NEW CURB & GUTTER
	NEW RETAINING WALL



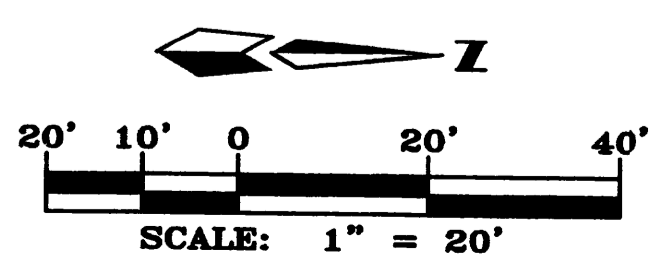
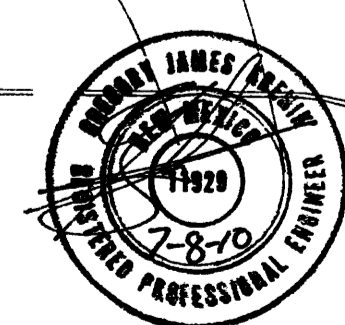
LANDSCAPE SWALE DETAIL

NTS



TEMPORARY ASPHALT CHANNEL DETAIL

NTS

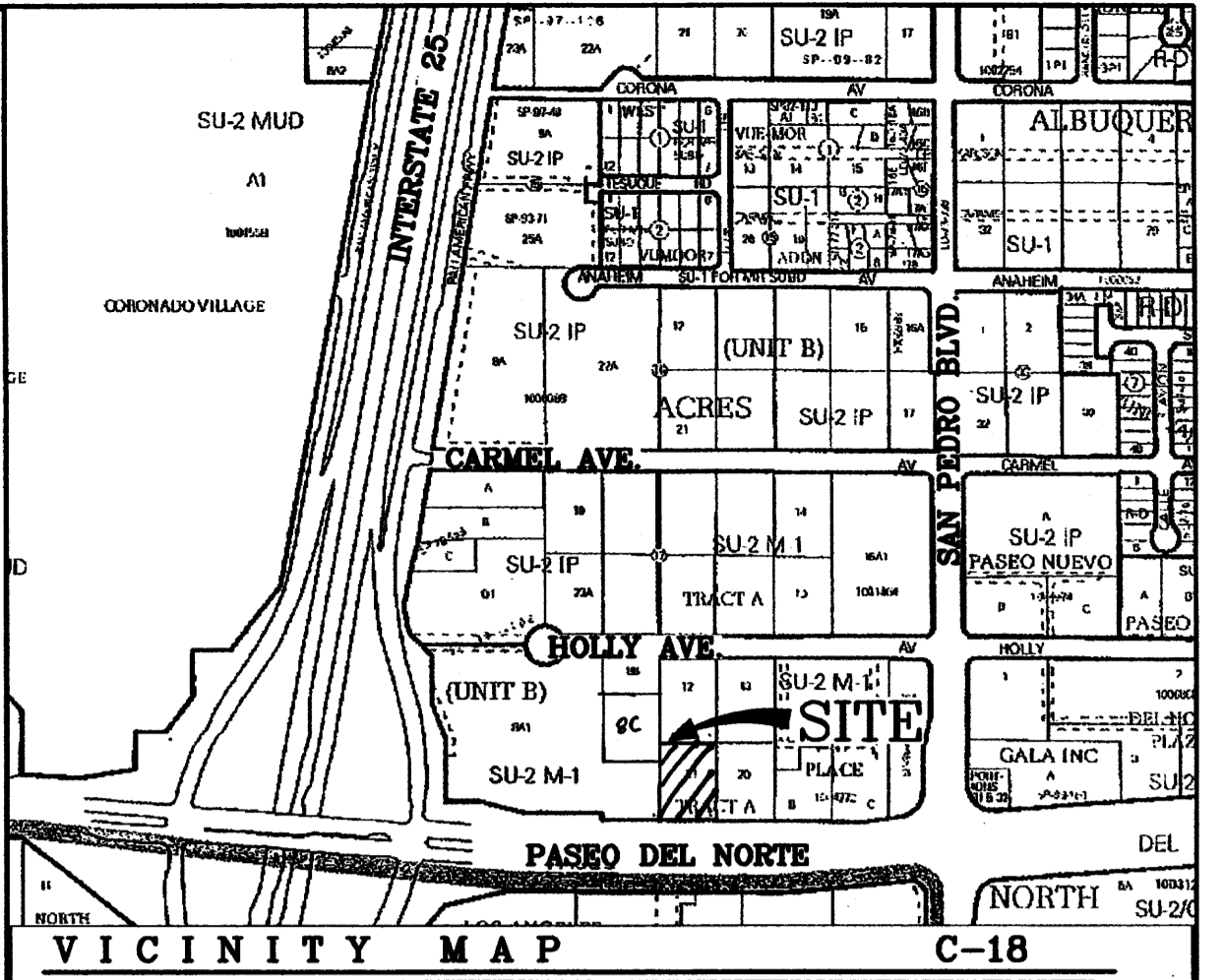
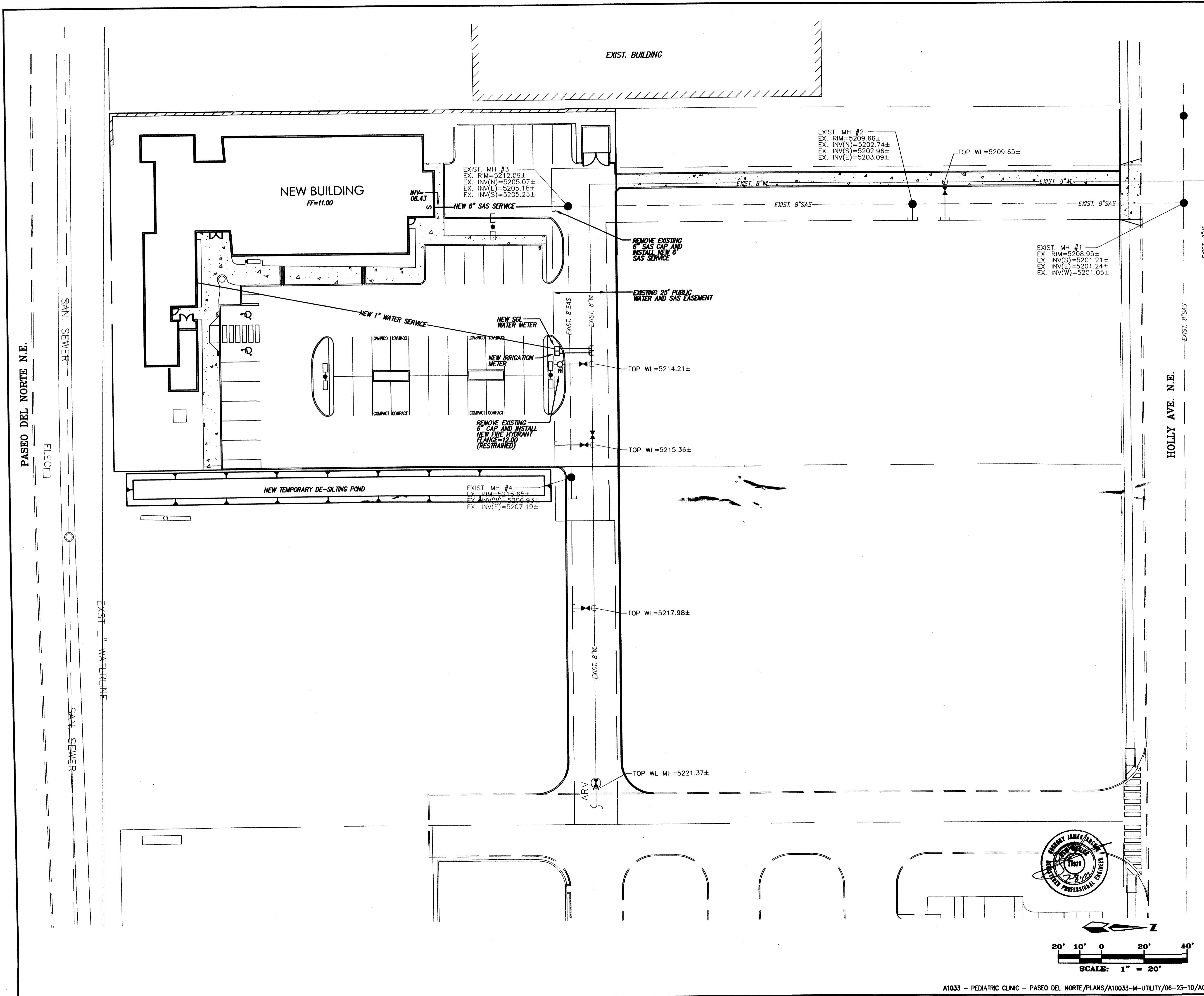


PEDIATRIC CLINIC - PASEO DEL NORTE
CONCEPTUAL
GRADING & DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: GJK	Drawn: AGH	Checked: DMG	Sheet 2 of 6
Scale: 1" = 20'	Date: 07-07-10	Job: A01033	

F:\A10033\A10033 - Pediatric Clinic - Paseo del Norte\PLANS\UTILITIES\A10033-M-UTILITY.dwg, 7/6/2010 12:43:35 PM, Cae_Robin_Paper.dwg
 CHRIS



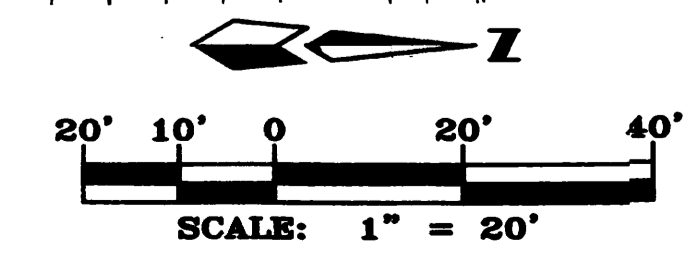
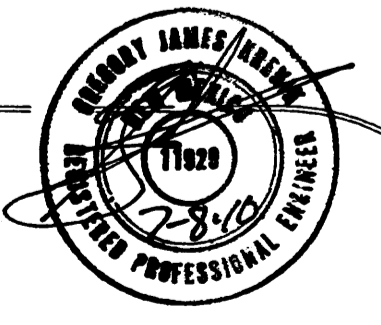
LEGEND

	EXIST. WATER METER
	EXIST. WATER VALVE
	EXIST. TRANSFORMER
	EXIST. LIGHT POLE
	EXIST. GAS METER
	EXIST. FIRE HYDRANT
	EXIST. OVERHEAD UTILITY LINES
	EXIST. STORM DRAIN INLET
	EXIST. SEWER MANHOLE
	EXIST. STORM DRAIN MANHOLE
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	TAC 5444.09 EXIST. TOP OF ASPHALT CURB ELEVATION
	5444.09 EXIST. GROUND SPOT ELEVATION
	EXIST. CURB & GUTTER
	EXIST. SANITARY SEWER
	EXIST. WATERLINE
	EXIST. BUILDINGS
	NEW BUILDINGS
	NEW PROPERTY LINE
	NEW CURB & GUTTER
	NEW RETAINING WALL
	NEW 6" SAS SERVICE
	NEW 1" WATER SERVICE
	NEW WATER METER
	NEW FIRE HYDRANT

**PEDIATRIC CLINIC - PASEO DEL NORTE
CONCEPTUAL
MASTER UTILITY PLAN**

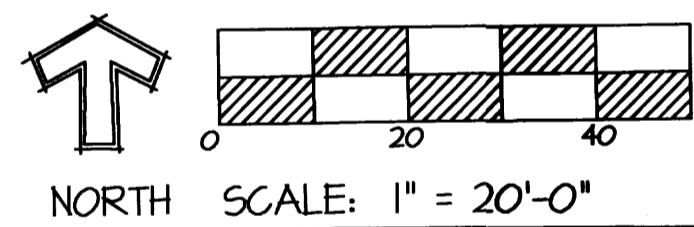
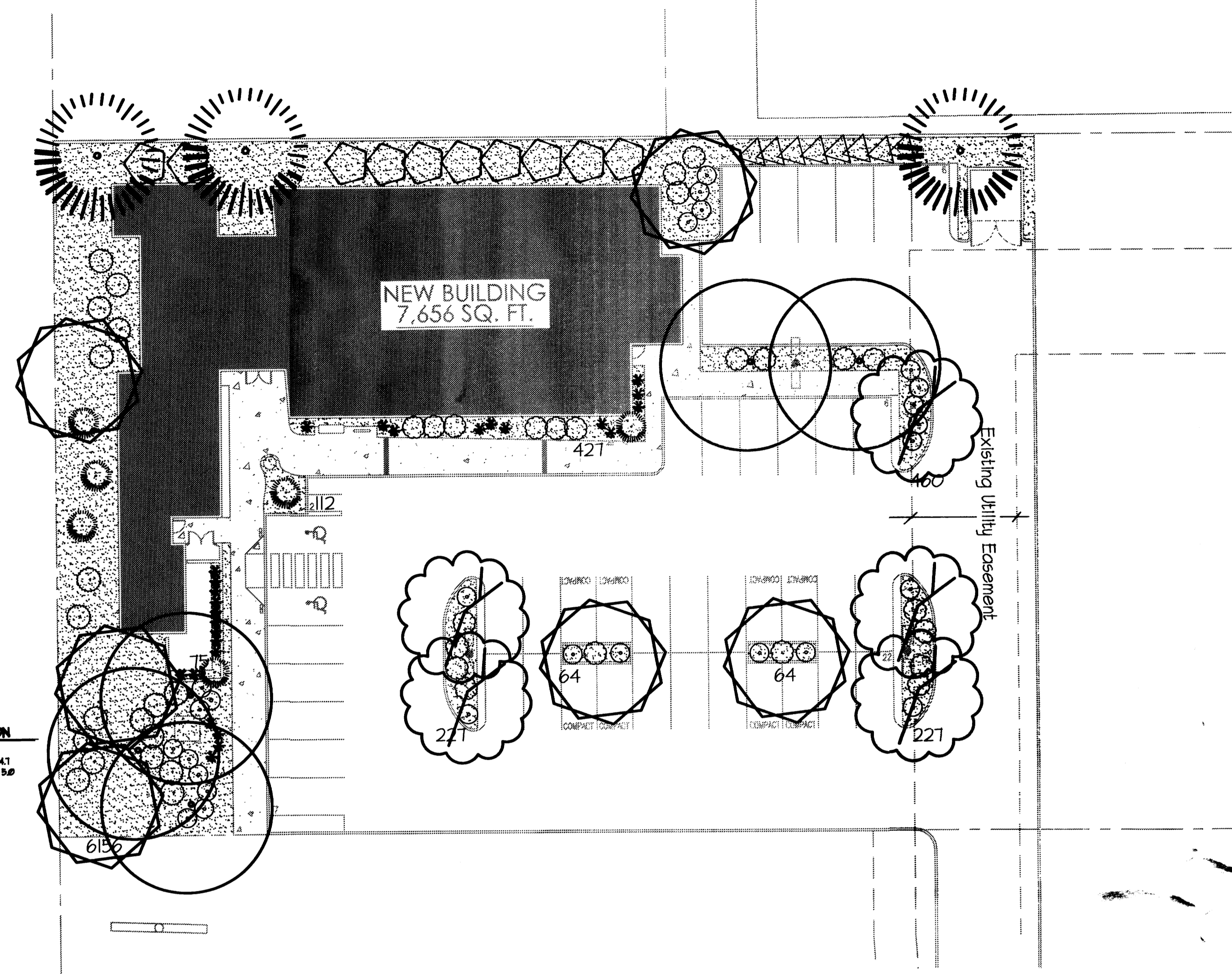
MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539

Designed: GJK Drawn: ACH Checked: DMG Sheet 3 of 6
 Scale: 1" = 20' Date: 06-22-10 Job: A101033



PASEO DEL NORTE NE

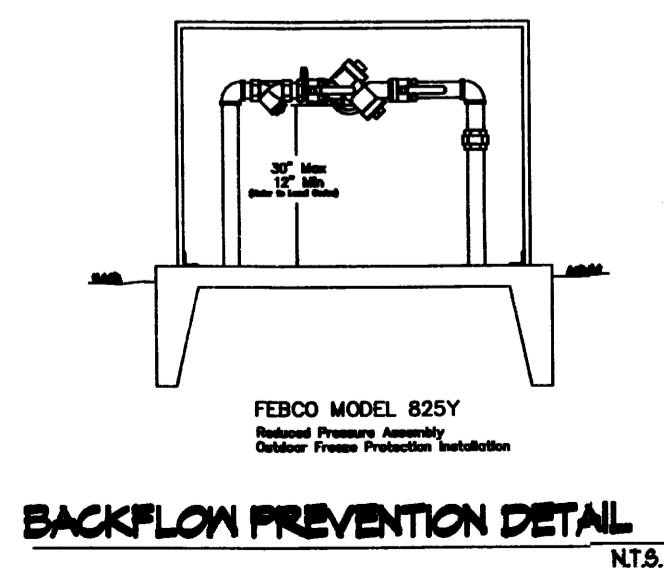
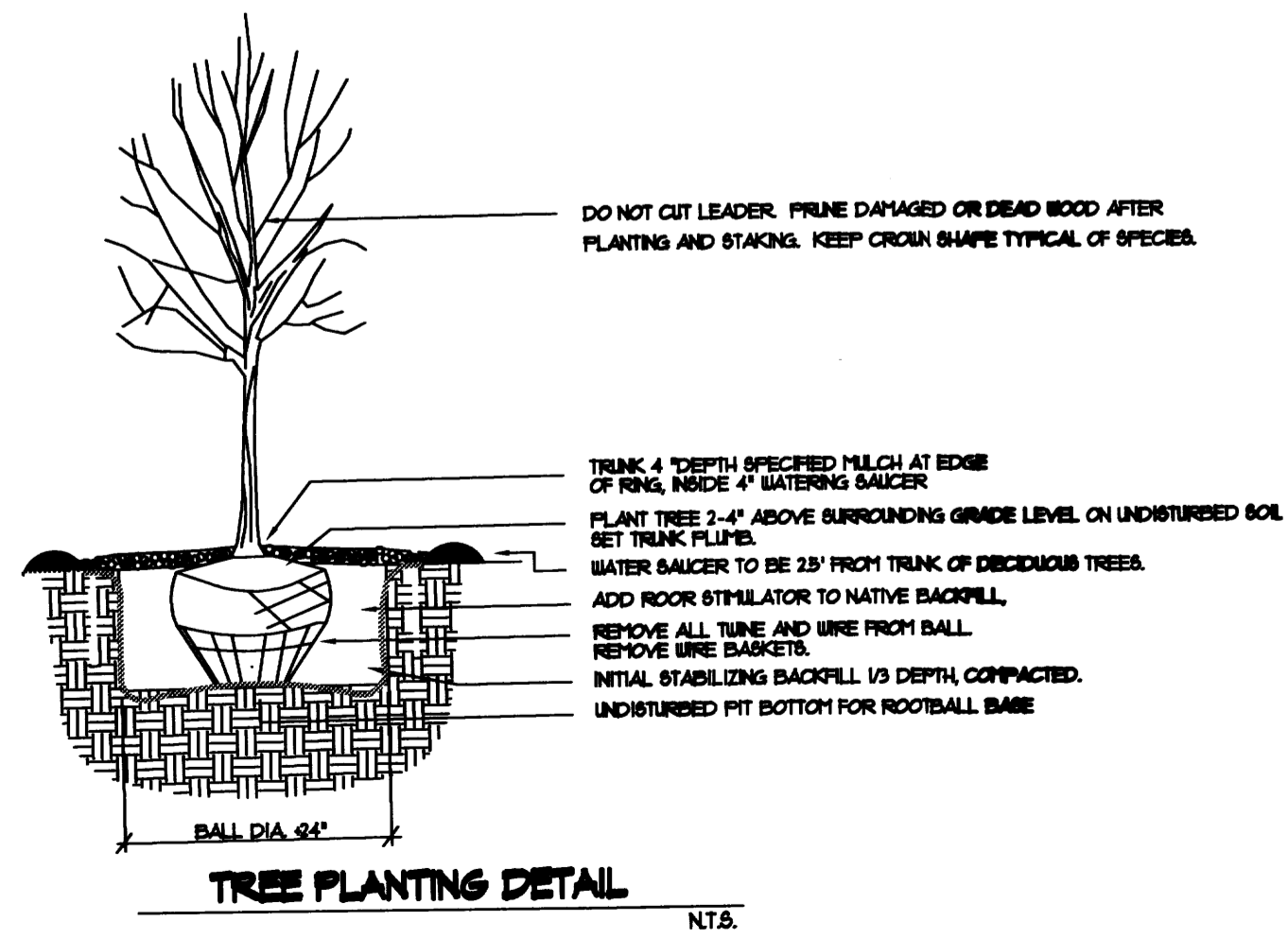
STREET TREE CALCULATION
 140 LF / 20' WIDE = 41
 STREET TREES REQUIRED
 STREET TREES PROVIDED



LANDSCAPE PLAN

LANDSCAPE CALCULATION

Total Site Area	38522
Total Building Area	7656
Net Lot Area	30866
Landscape Requirement	15%
Total Landscape Req'd	4630
New Landscape Prov'd	7812



LANDSCAPE LEGEND

QTY	SIZE	Dec./Ev.	COMMON / BOTANICAL	AV. SP.	AV. HT.	H2O USE AREA
5	2" Cal	D	Honey Locust <i>Gleditsia triacanthos 'enermis'</i>	35-40'	60'	M
5	2" Cal	D	Chitalpa <i>Chitalpa x tashkenensis</i>	30'	30'	M
6	15 Gal	D	Desert Willow <i>Chilopsis linearis 'Lucretia Hamilton'</i>	25'	25'	L
3	6'		Austrian Pine <i>Pinus nigra</i>		EV	M
6	5 Gal		Mugho Pine <i>Pinus mugo</i>		EV	M
18	5 Gal		Apache Plume <i>Fallugia paradoxa</i>		DEC	L
23	5 Gal		Indian Hawthorne <i>Raphiolepis indica</i>		DEC	L
8	5 Gal		Butterfly Bush <i>Buddleia davidii</i>		DEC	M
26	5 Gal		Potentilla <i>Potentilla fruticosa</i>		DEC	M
10	5 Gal		Big Sage <i>Artemisia tridentata</i>		EV	M
26	5 Gal		Gray Lavender Cotton <i>Santolina chamaecyparissus</i>		EV	M

Landscape Gravel, To be determined, 3" Depth over Filter Fabric

LANDSCAPE NOTES

Owner is responsible for Landscape and Irrigation System maintenance.

Landscape shall be watered by a complete underground permanent irrigation system operated by automatic timer. Point of connection for irrigation system shall be coordinated between the Landscape Contractor and the General Contractor of the project.

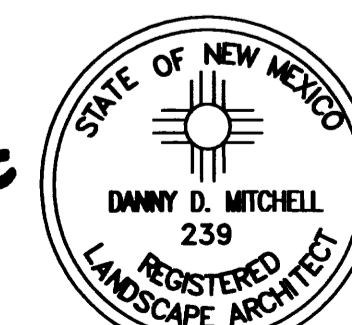
Prior to construction, Landscape Contractor shall verify location of all Utility Lines.

Landscaping shall be installed according to the approved plan. Substitutions or changes to the approved plan shall be made in writing to the project Architect.

It is the intent of this plan to emphasize use of native plants and water conservation measures.

All landscape beds shall be mulched with 3" crushed landscape gravel over a commercial quality weed barrier fabric. Slopes exceeding 3:1 shall be plated with a 4-8" angular rip rap material to prevent erosion. Samples of material shall be presented to the owner for approval prior to placing.

Mitchell Associates, LLC
 Landscape Architects
 PO Box 1241
 Cedar Crest, NM 87106
 (505) 365-0274
 danny@mitchellassociatesllc.com



Danny D. Mitchell
 7/14/2010

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Mullen Heller
 Architecture P.C.

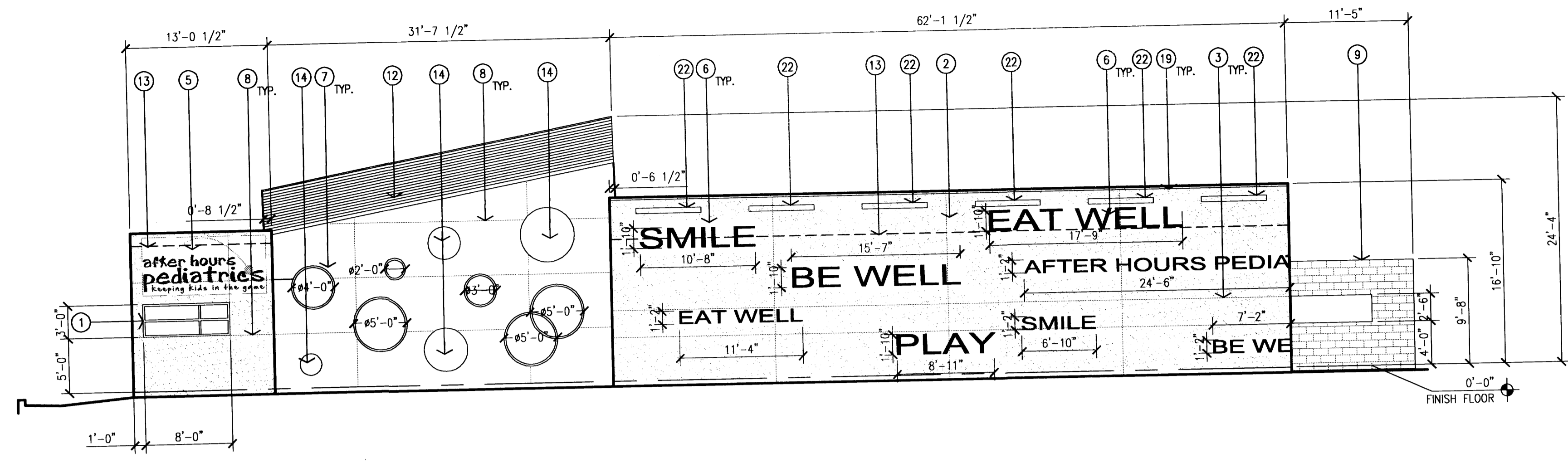
924 Park Avenue SW
 Suite B
 Albuquerque 87102
 505 268 4144 [p]
 505 268 4244 [f]

job number	10-10
drawn by	ddm
project manager	Michele Mullen, AIA
date	07/09/2010

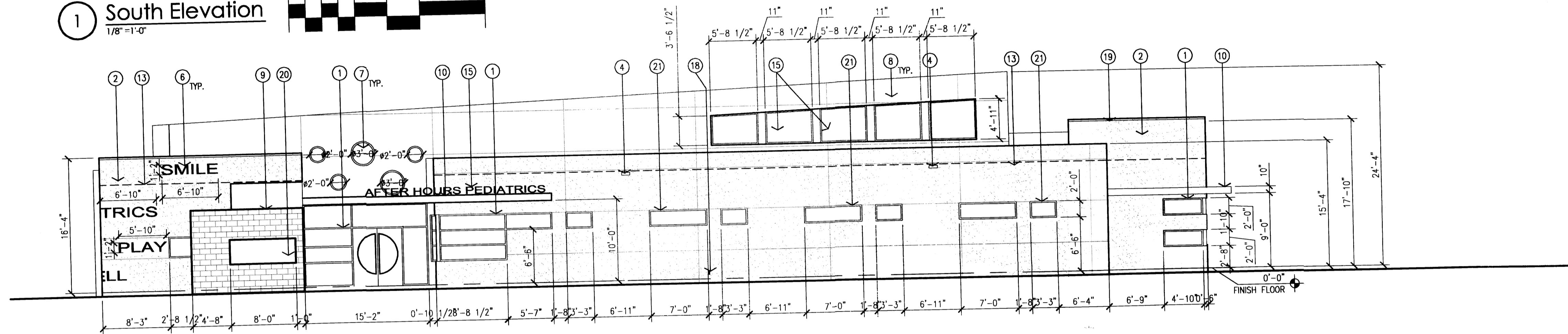
project title
After Hours Pediatrics
 XXXX Paseo Del Norte
 Albuquerque, New Mexico
 sheet title
Landscape Plan

GENERAL NOTE
 A. ALL HEIGHTS ARE RELATIVE TO 0'-0". FINISH FLOOR AT ENTRY.

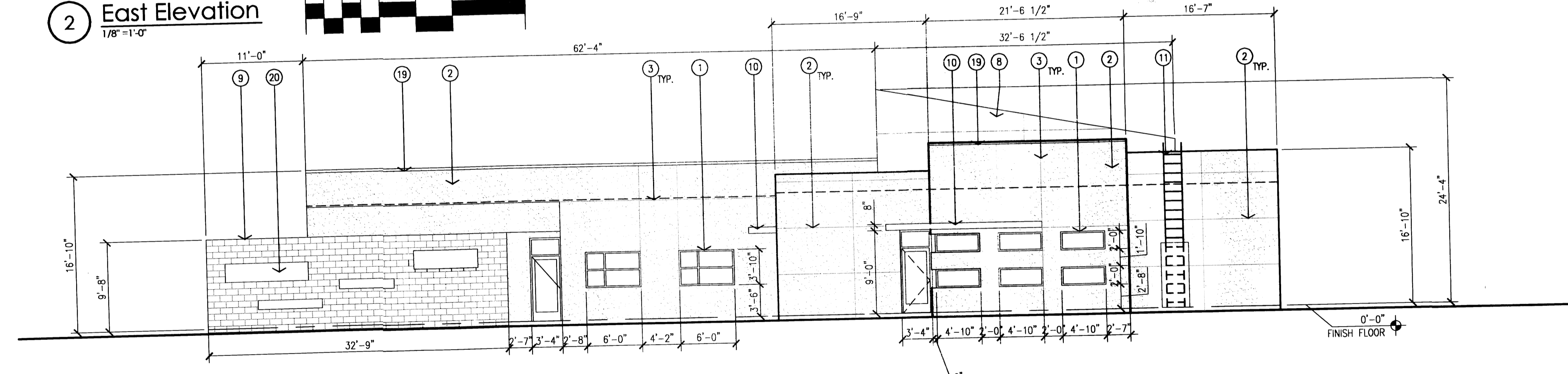
- KEYED NOTES:
- [1] CLEAR ALUMINUM STOREFRONT WINDOW AND DOOR SYSTEM WITH CLEAR INSULATED GLAZING SYSTEM. COLOR TO BE LIGHT TAN.
 - [2] EFS CONTROL JOINT, TYPICAL.
 - [3] OVERFLOW SCUPPER.
 - [4] PRE-FABRICATED BUILDING MOUNTED BACKLIT SIGNAGE. LETTER HEIGHTS VARY; MAXIMUM HEIGHT TO BE 18" AND MAXIMUM RELIEF TO BE 3".
 - [5] BUILDING MOUNTED, TEXT ART EXTRUDED LETTERS. COLOR TO BE WHITE. LETTERS TO BE 22" HIGH AND 2" RELIEF FOR LARGE FONT AND 14" HIGH AND 2" RELIEF FOR SMALL FONT.
 - [6] CIRCULAR WINDOWS, TYPICAL. 75% TO BE COLORED GLASS COLORS TO BE RED, GREEN, YELLOW AND BLUE.
 - [7] METAL WALL PANEL SYSTEM. COLOR TO BE RUSTY ORANGE.
 - [8] SPECTRA GLAZE BLOCK WALL. GLAZING TO BE ON BOTH SIDES WITH GLAZED SOLID BLOCK CAP. COLOR TO BE RED.
 - [9] PREFINISHED CLEAR ANODIZED ALUMINUM METAL FASCIA. BUILDING MOUNTED EXTERIOR ROOF LADDER AND SECURITY COVER.
 - [10] PREFINISHED METAL ROOF. COLOR TO MATCH METAL WALL PANEL SYSTEM.
 - [11] LINE OF ROOF BEYOND.
 - [12] RED CIRCULAR RECESS IN STUCCO FACE.
 - [13] 10" HIGH INDIVIDUAL CHANNEL LETTERS WITH WHITE TRANSLUCENT FACE AND RED ALUMINUM SIDES. INTERNALLY LIT WITH LED LIGHTING.
 - [14] NOT USED.
 - [15] 4" PREFINISHED METAL DOWNSPOUT.
 - [16] HOSEBIB, REFER TO PLUMBING.
 - [17] PREFINISHED METAL PARAPET CAP. COLOR TO MATCH STUCCO.
 - [18] OPENING IN WALL.
 - [19] NOT USED.
 - [20] WALL WASH DOWN LIGHT FIXTURES.



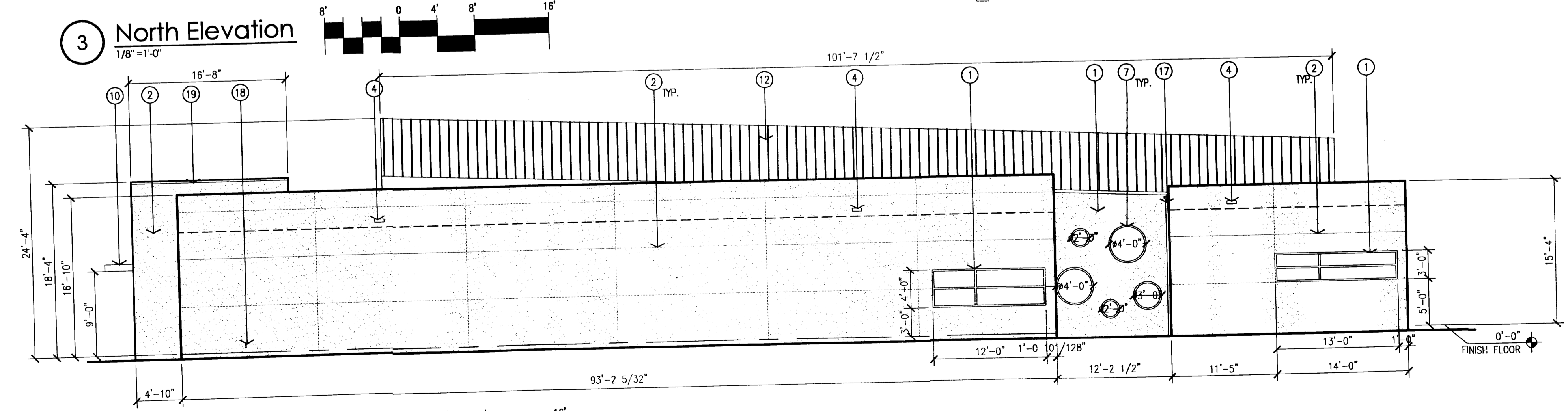
1 South Elevation
 1/8"=1'-0"



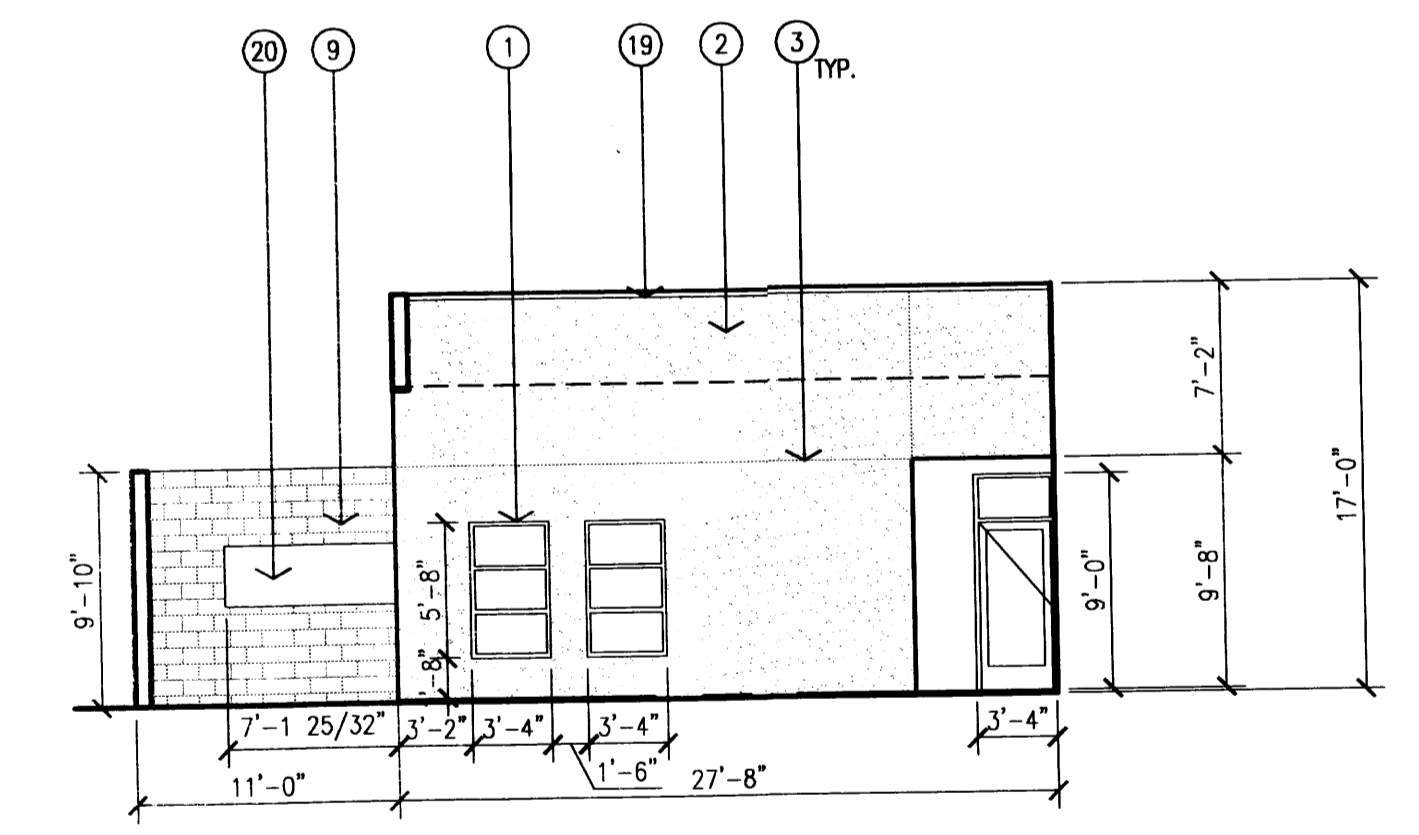
2 East Elevation
 1/8"=1'-0"



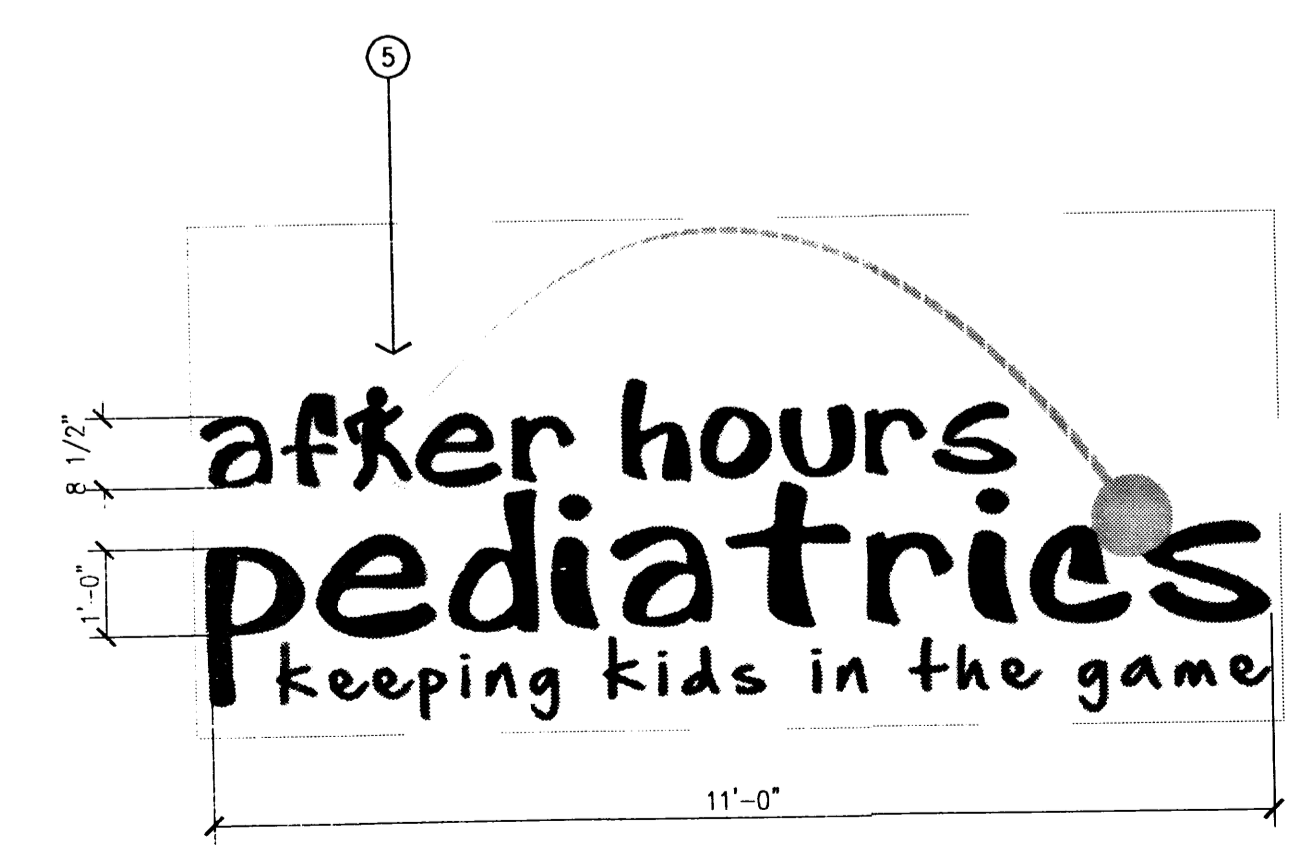
3 North Elevation
 1/8"=1'-0"



4 West Elevation
 1/8"=1'-0"



5 North Elevation @ Patio
 1/8"=1'-0"



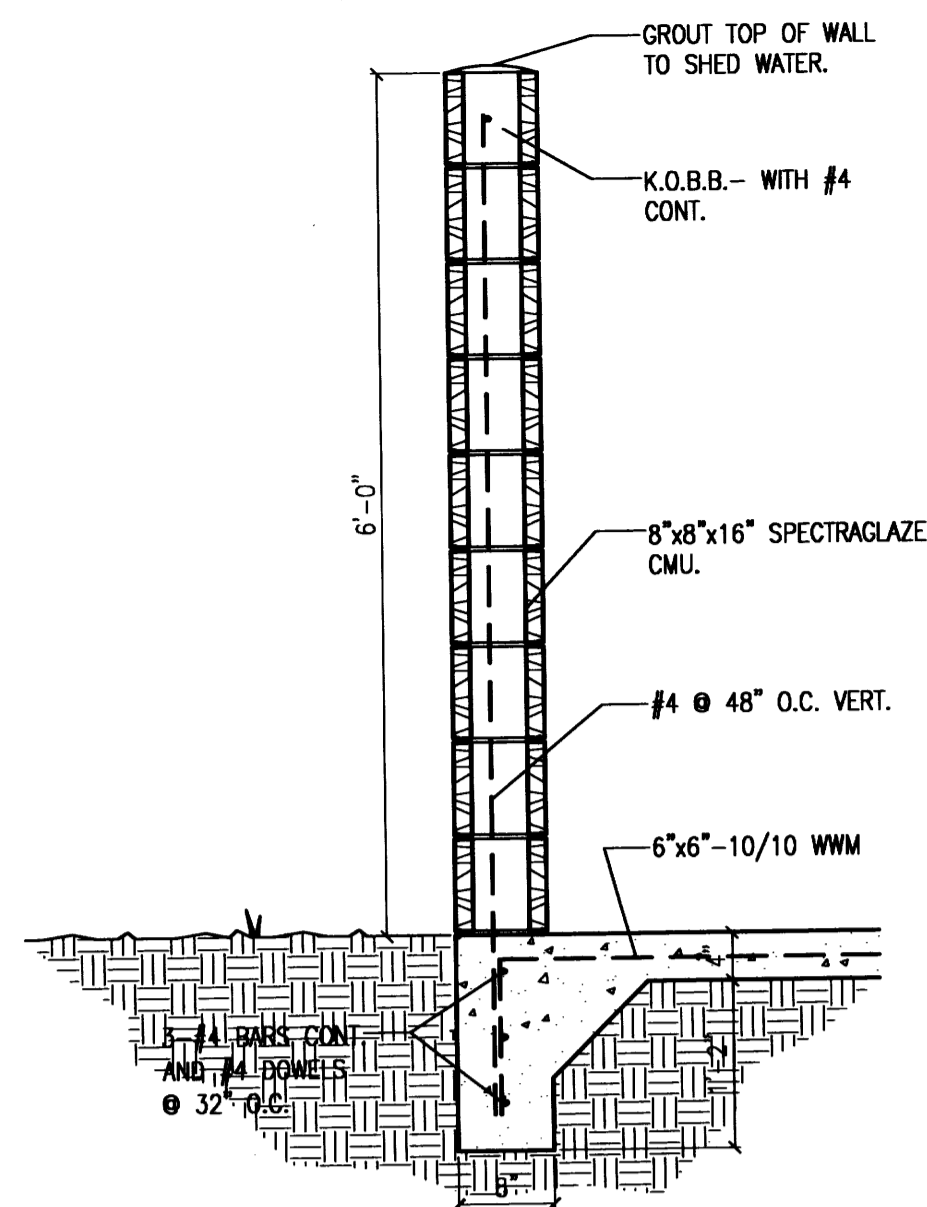
6 Signage Art
 Scale: 1/2"=1'-0"

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date	
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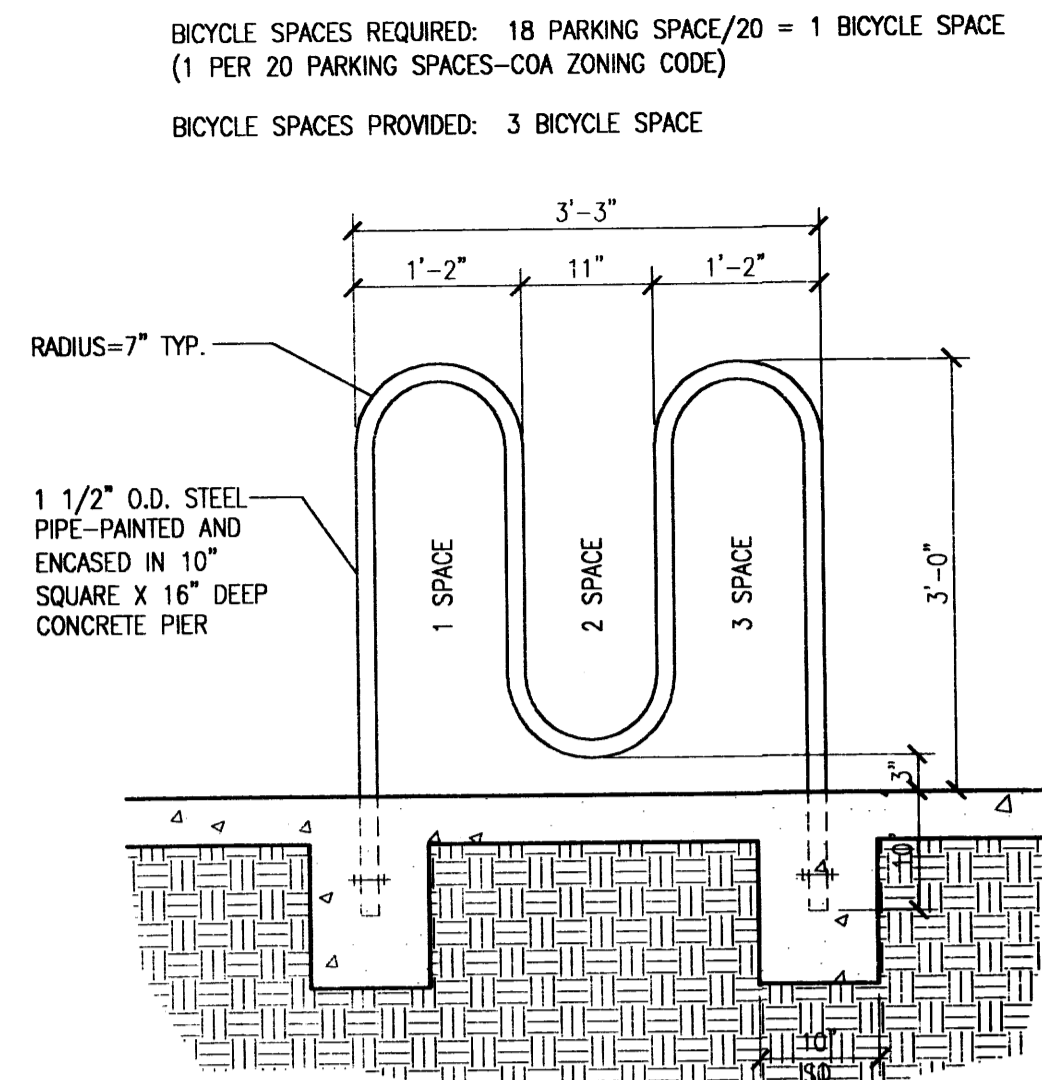
MH
 Mullen Heller
 Architecture P.C.
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job number	10-10
drawn by	mml/sam
project manager	Michele Mullen, AIA
date	07/15/2010

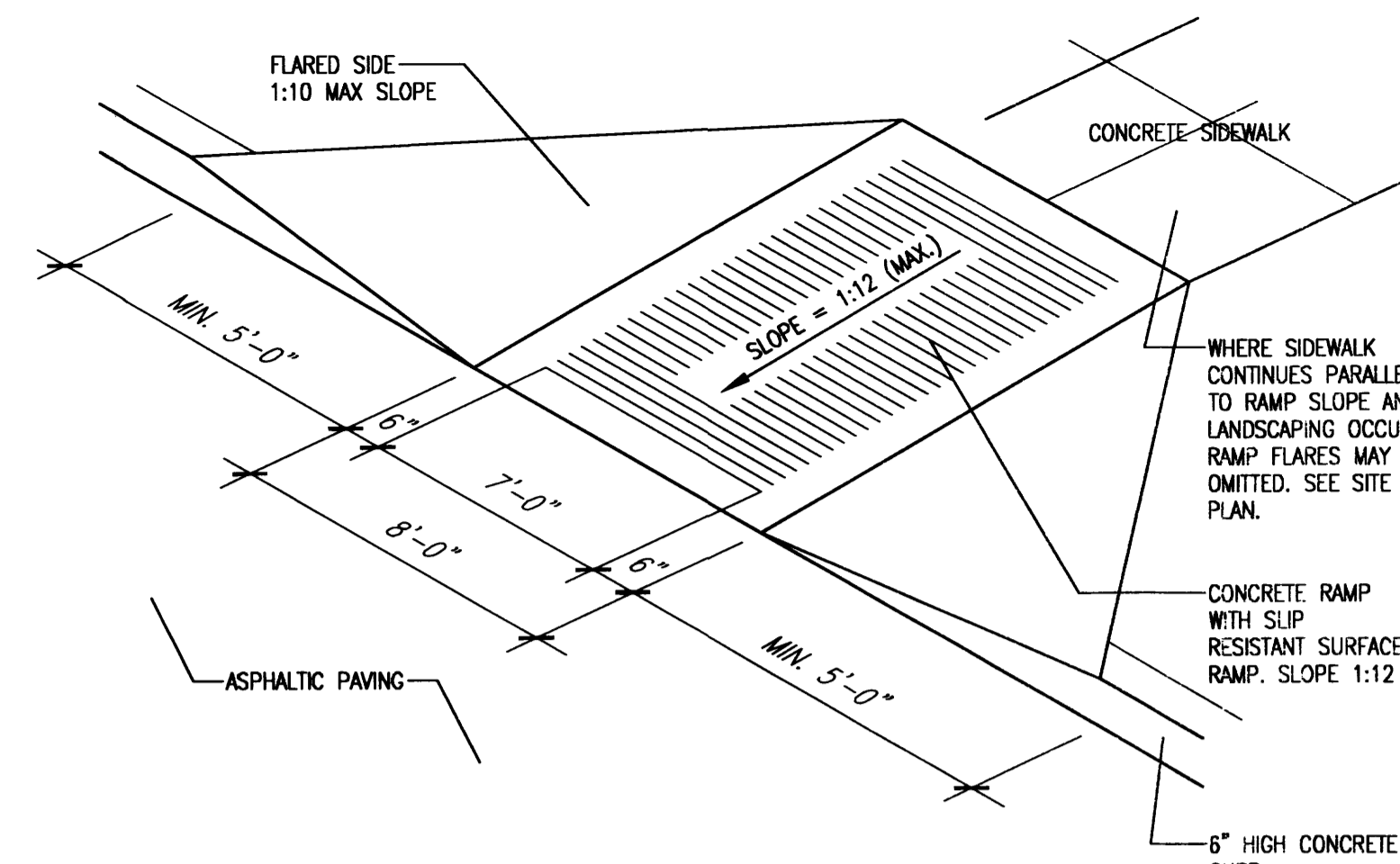
project file
After Hours Pediatrics
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 Albuquerque, New Mexico
 sheet file
Exterior Elevations



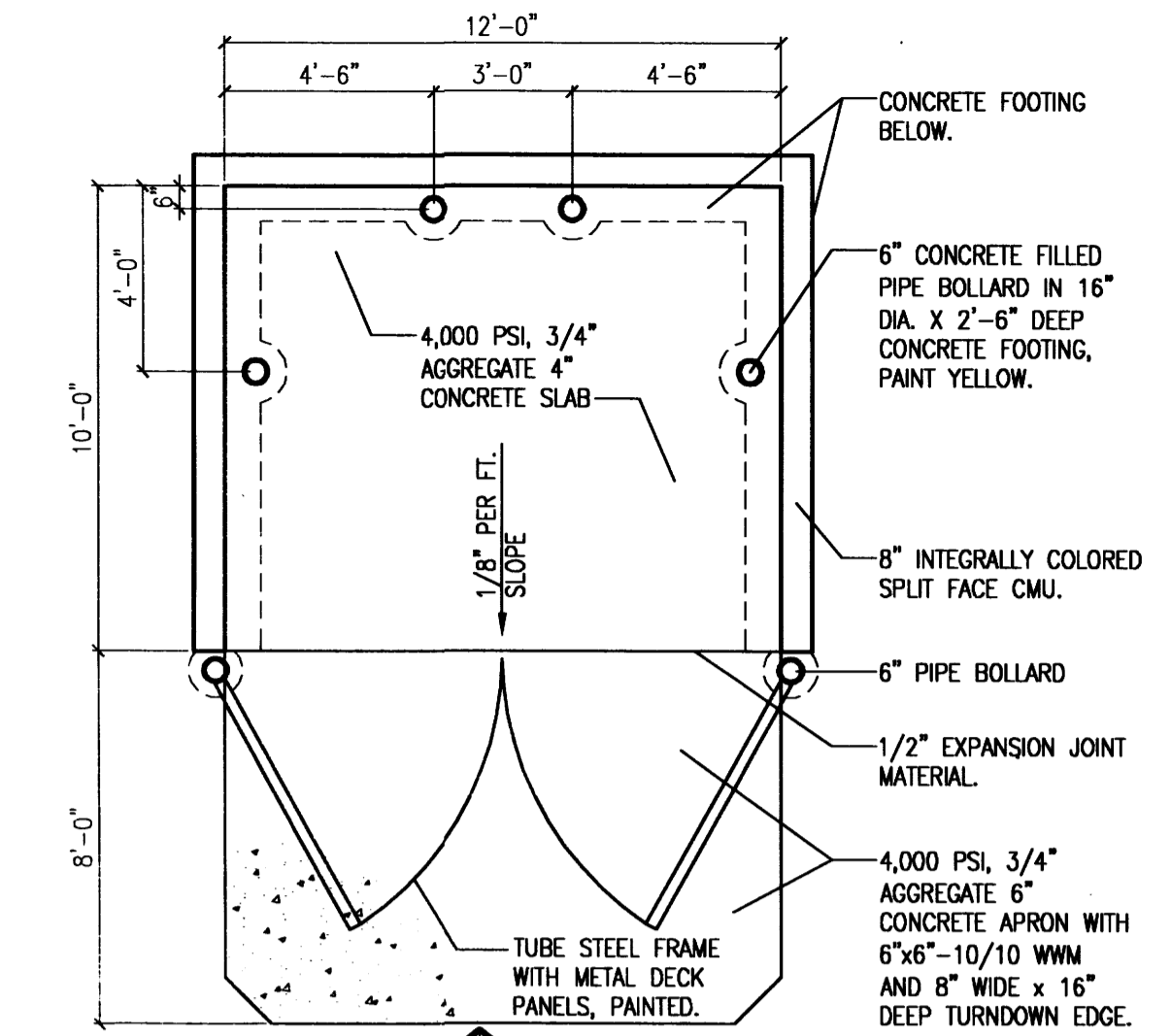
1 Dumpster Enclosure Wall Section
Scale: 3/4"=1'-0"



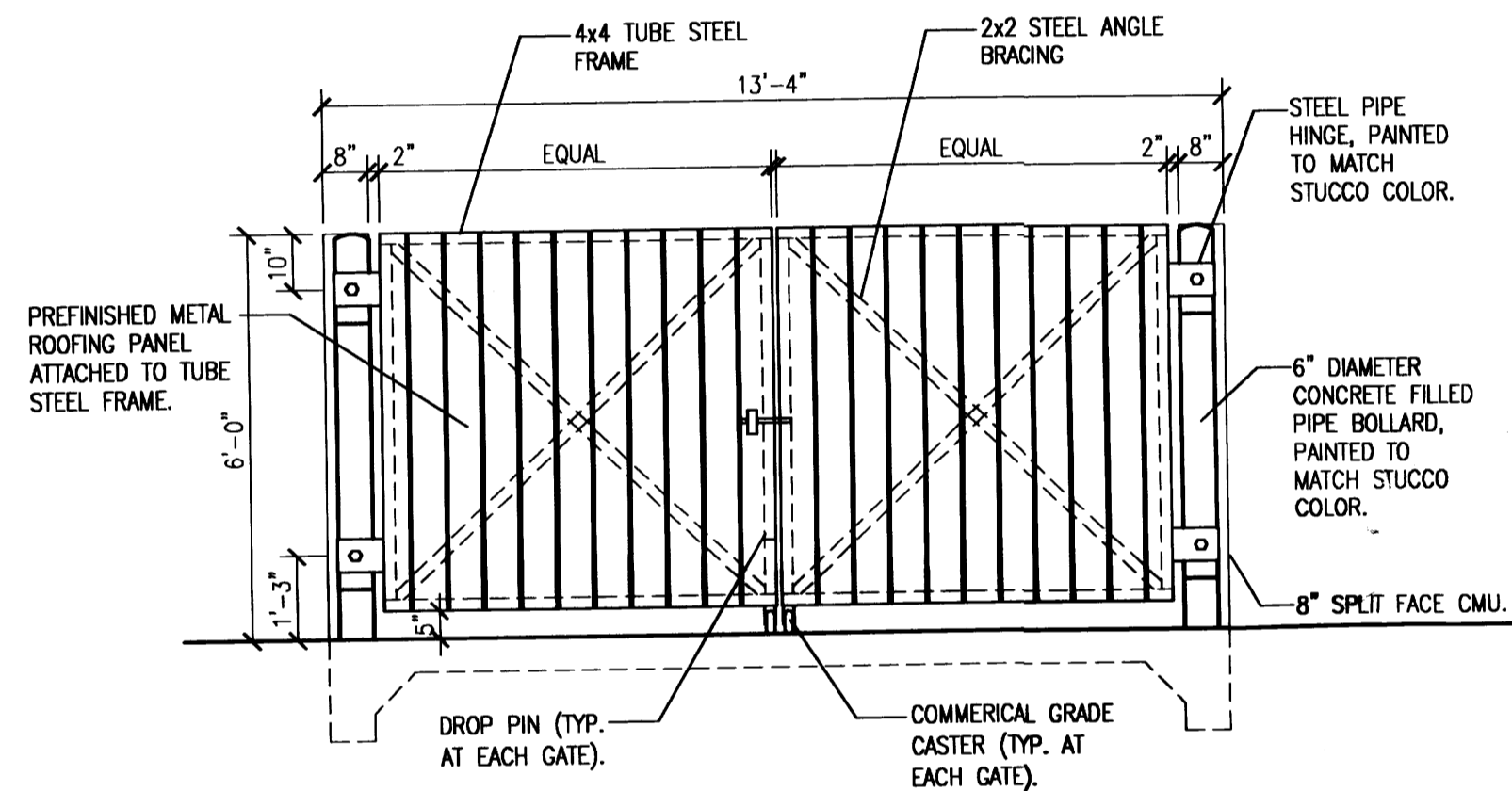
4 Bicycle Rack Detail
Scale: 3/4"=1'-0"



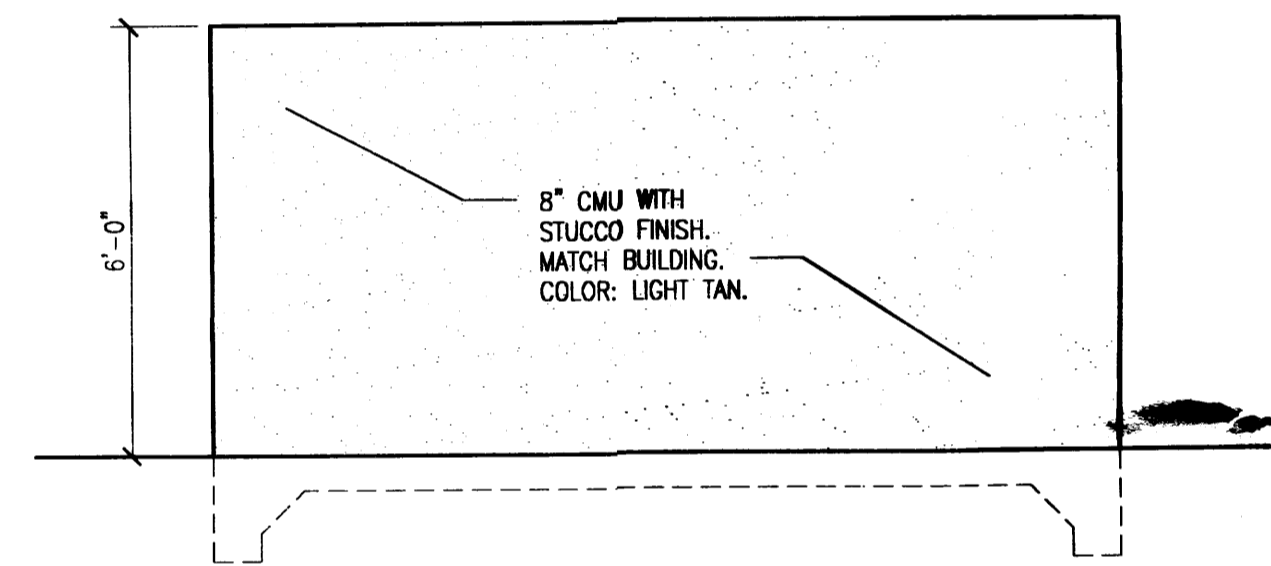
3 H.C. Ramp Detail
Scale: Not To Scale (isometric)



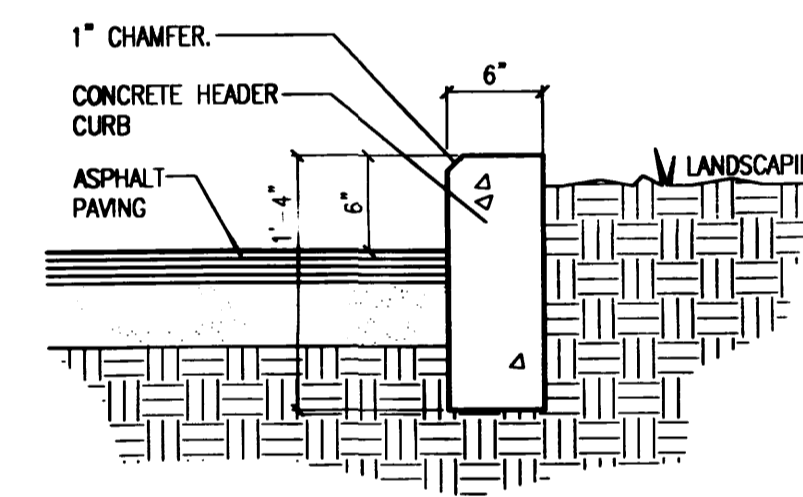
4 Dumpster Enclosure Plan
Scale: 1/4"=1'-0"



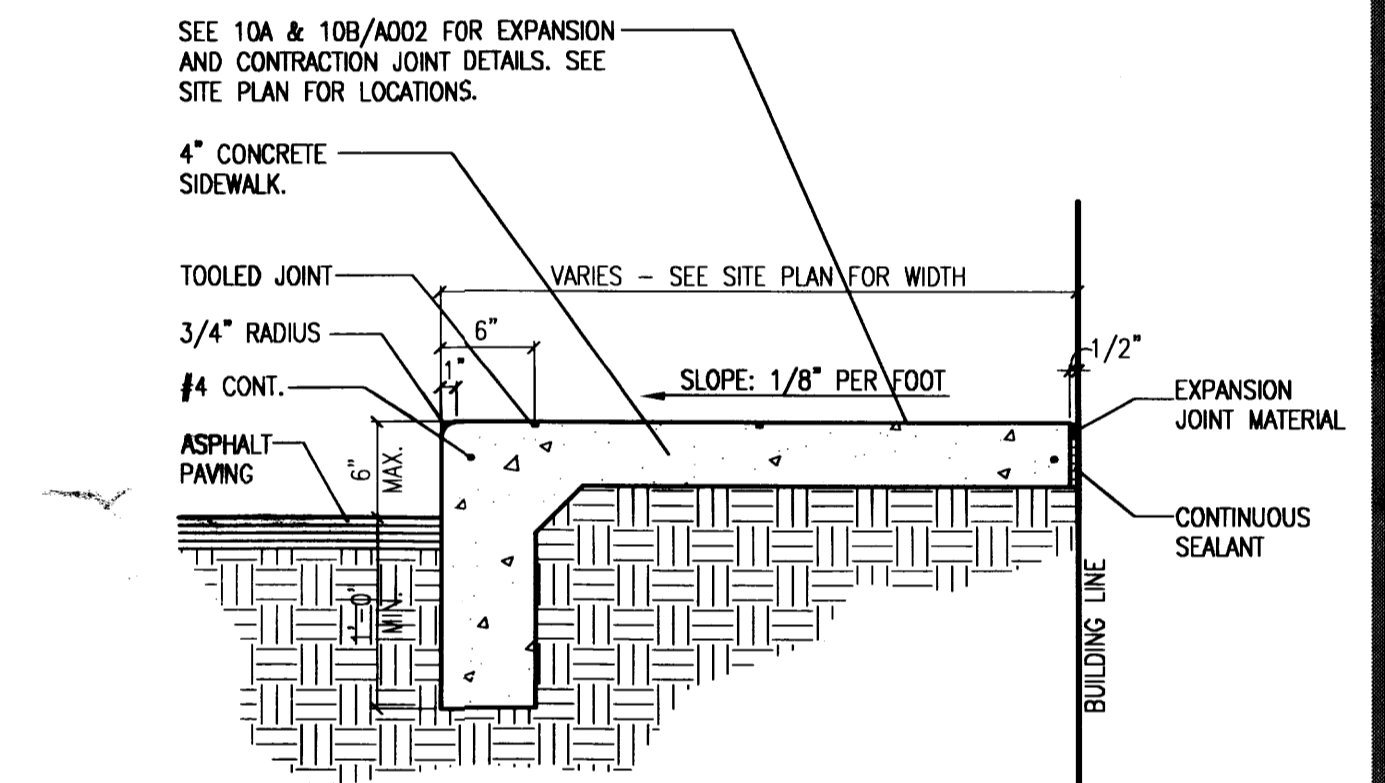
5 Dumpster Enclosure Elevation
Scale: 3/8"=1'-0"



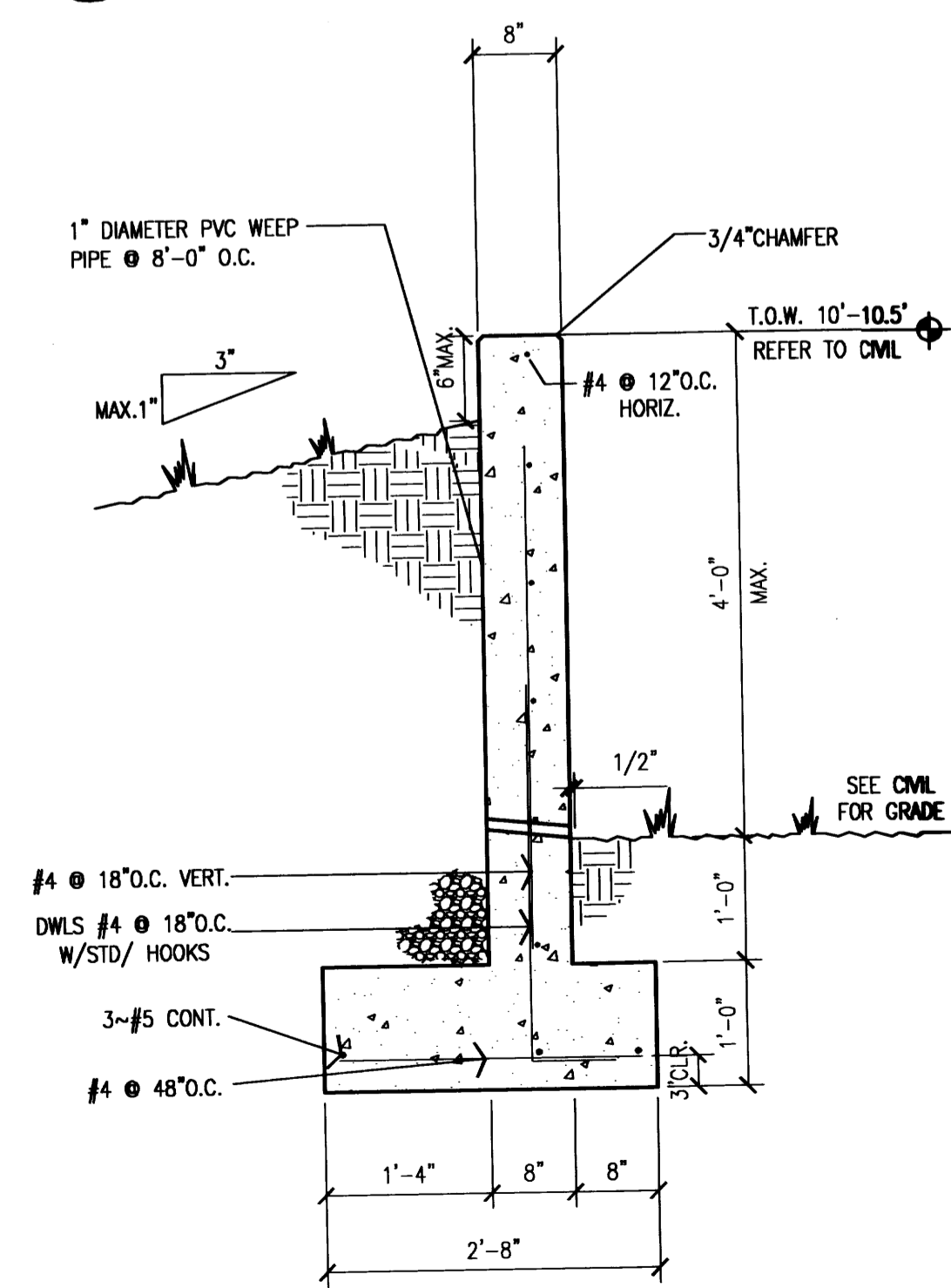
6 Dumpster Enclosure Elevation
Scale: 3/8"=1'-0"



7 Typical Stand-Up Curb
Scale: 1"=1'-0"



8 Concrete Sidewalk Detail
Scale: 1"=1'-0"



9 Section
Scale: 3/4"=1'-0"

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date	
rev	A A A A



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Architecture P.C.

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