

VICINITY MAP
SCALE: 1" = 750'
ZONE ATLAS PAGE: D-18

LEGAL DESCRIPTION

LOT NUMBERED TWENTY-THREE (23), BLOCK ELEVEN (11) OF NORTH ALBUQUERQUE ACRES, TRACT A, UNIT A, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 17, 1937 IN BOOK D, PAGE 129.

SETBACKS

BUILDING SETBACKS ARE PER THE O-1 ZONE, WHICH ARE NOT LESS THAN 5 FEET ON THE FRONT, REAR, AND SIDES OF THE LOT.

SIGNAGE

ON PREMISE SIGNS SHALL BE AS REGULATED IN THE O-1 ZONE. **FIRE**
Fire alarm per IFC(2003) shall be installed in buildings and connected to legend the school's existing system.

	EXIST. CURB AND GUTTER
	EXIST. CHAIN-LINK FENCE
	EXIST. EASEMENT LINE
	EXIST. WATER METER
	EXIST. WATER VALVE
	EXIST. LIGHT POLE
	EXIST. GAS METER
	EXIST. FIRE HYDRANT
	EXIST. POWER POLE
	EXIST. OVERHEAD UTILITY LINES
	EXIST. STORM DRAIN INLET
	EXIST. SEWER MANHOLE
	EXIST. STORM DRAIN MANHOLE
	EXIST. WATER MANHOLE
	EXIST. UTILITY PEDESTAL
	EXIST. WALL
	EXISTING MODULAR BUILDINGS
	PROPOSED MODULAR BUILDINGS
	PROPOSED TRAFFIC FLOW
	PARKING COUNT
	PROPOSED COVERAGE OF ACCESS EASEMENT TO BE GRANTED TO LOT 23.

SITE DEVELOPMENT PLAN DATA:

LEGAL DESCRIPTION: LOT 23, BLOCK 11, NAA, TRACT A, UNIT A CITY OF ALBUQUERQUE BERNALILLO, NEW MEXICO

BUILDING ADDRESS: HOPE CHRISTIAN ELEMENTARY SCHOOL 6731 PALOMAS NE ALBUQUERQUE, NM

LAND AREA: 0.87 (37,897 SF)

CURRENT ZONING: R-D

BUILDING USE AND AREAS: ADMINISTRATION OFFICES AND LIBRARY TOTALING 4,200 SF

BUILDING CONSTRUCTION: TYPE V-B (NON-SPRINKLERED)

PARKING CALCULATIONS:

OFFICE - 1800 SF/200	= 9 SPACES
LIBRARY - 10 EMPLOYEES	= 10 SPACES
TOTAL PARKING SPACES REQUIRED	= 19 SPACES
TOTAL PARKING SPACES PROVIDED	= 30 SPACES
DISABLED PARKING REQUIREMENTS:	
TOTAL HC SPACES REQUIRED	= 1 SPACE
TOTAL SPACES PROVIDED	= 1 SPACE
MOTORCYCLE PARKING:	
TOTAL MOTORCYCLE SPACES REQUIRED	= 1 SPACE
TOTAL MOTORCYCLE SPACES PROVIDED	= 1 SPACE

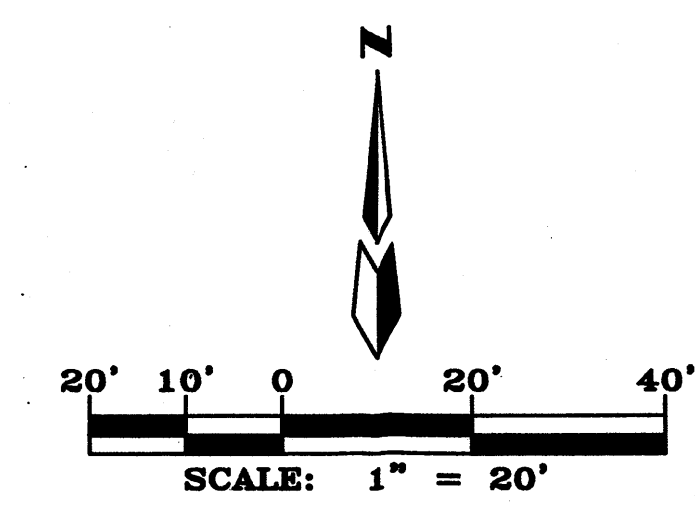
- EXISTING CMU REFUSE ENCLOSURE WITH RECYCLING AREA TO REMAIN. THIS FACILITY SHALL BE UTILIZED BY THE SUBJECT LOT 23 BUILDINGS.
- PROPOSED HANDICAP PARKING SPACE, SIGNAGE AND PAVEMENT MARKING.
- PROPOSED PARKING STRIPING.
- PROPOSED LANDSCAPING. SEE LANDSCAPING PLAN.
- PROPOSED MOTORCYCLE PARKING SPACE WITH SIGN.
- PROPOSED 4-FOOT, PAINTED-ON HANDICAP AISLE STRIPING.
- PROPOSED ASPHALT PAVING.
- PROPOSED 6-FOOT PAVED SIDEWALK.
- PROPOSED PEDESTRIAN CONNECTION TO CITY SIDEWALK.
- EXISTING 6-FOOT SIDEWALK.
- PROPOSED CONCRETE CURB. SEE GRADING AND DRAINAGE PLAN.
- ADJOINING NEW SIDEWALK TO BE INSTALLED WITH DEVELOPMENT OF ADJOINING TRACT B.
- PROPOSED 6-FOOT PUBLIC CONCRETE SIDEWALK.
- EXISTING OFF-SITE LANDSCAPING TO REMAIN.
- PROPOSED HANDICAP RAMP. SEE SHEET 3 FOR RAMP DETAILS
- PROPOSED CROSS-ACCESS EASEMENT GRANTED TO BOTH LOT 23, BLOCK 11, NAA, TRACT A, UNIT A BY SEPARATE DOCUMENT. THE PROPOSED VEHICULAR CIRCULATION ROUTE IS TO BE CONNECTED WITH AN EXISTING CIRCULATION ROUTE NOW FULLY CONTAINED ON THE ADJOINING TRACT B.
- PROPOSED 8'-6" x 18'-0" (min.) PARKING SPACES
- PROPOSED 8'-6" x 20'-0" (min.) PARKING SPACES
- NEW PAVED SIDEWALK TO BE EXTENDED WEST WITH REDEVELOPMENT OF TRACT B.
- EXISTING CONCRETE SIDEWALK TO REMAIN.
- EXISTING FIRE HYDRANT TO REMAIN.
- OPENING IN CURB FOR DRAINAGE. SEE GRADING AND DRAINAGE PLAN.
- EXISTING FENCE TO REMAIN.
- EXISTING FENCE TO BE REMOVED.
- BUILD NEW 24-FOOT DRIVEWAY PER CITY STANDARD DRAWING 2425.
- EXISTING DRIVEWAY TO REMAIN
- NEW SIDEWALK CULVERT
- INSTALL R6-1(L) SIGN
- INSTALL R6-1(R) SIGN

APPLICATION NUMBER: 10 DRB-70191
PROJECT NUMBER: 1008415

City Approvals:

	09-15-10
Traffic Engineering, Transportation Division	Date
	09/16/10
Water Utility Authority	Date
	9/1/10
Parks and Recreation Department	Date
	9/1/10
City Engineer	Date
	10-28-10
Planning Department	Date
	09/21/10
City Fire Marshal	Date
	9-21-10
Solid Waste	Date

APD PLANS CHECKING OFFICE
APPROVED/DISAPPROVED
SIGNATURE & DATE



- SHOULD SITE LIGHTING BE INSTALLED, IT SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
- THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.
 - THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 16'-0" MAX.
 - LIGHTING TO BE PROVIDED ON BUILDING FACADES SHALL NOT BE HIGHER THAN 12 FEET ABOVE FINISHED GRADE.

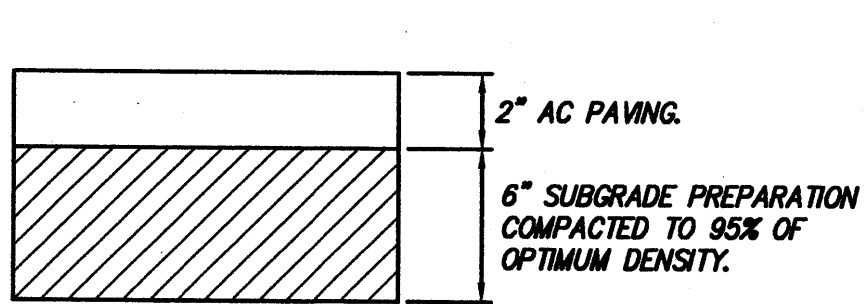
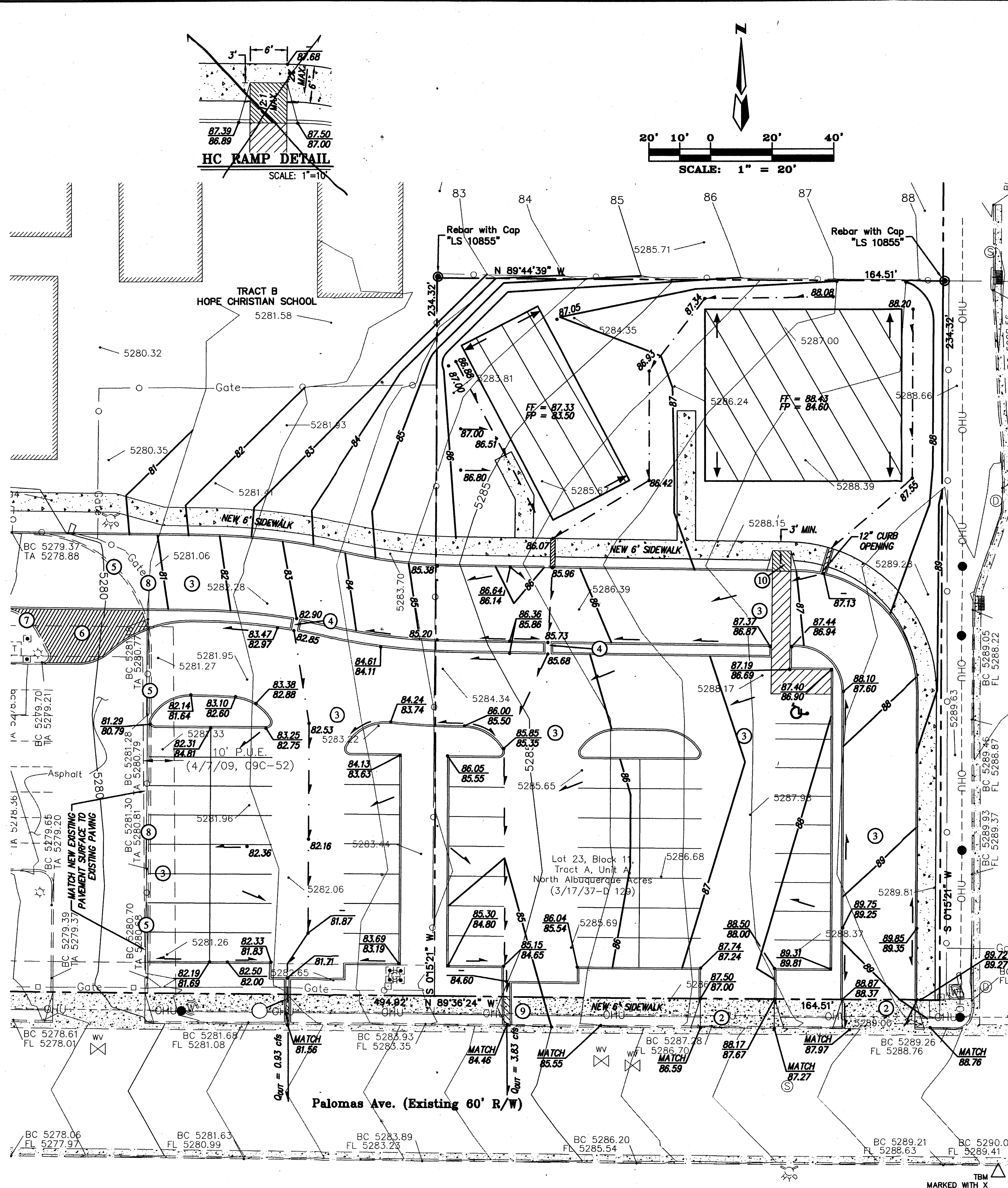
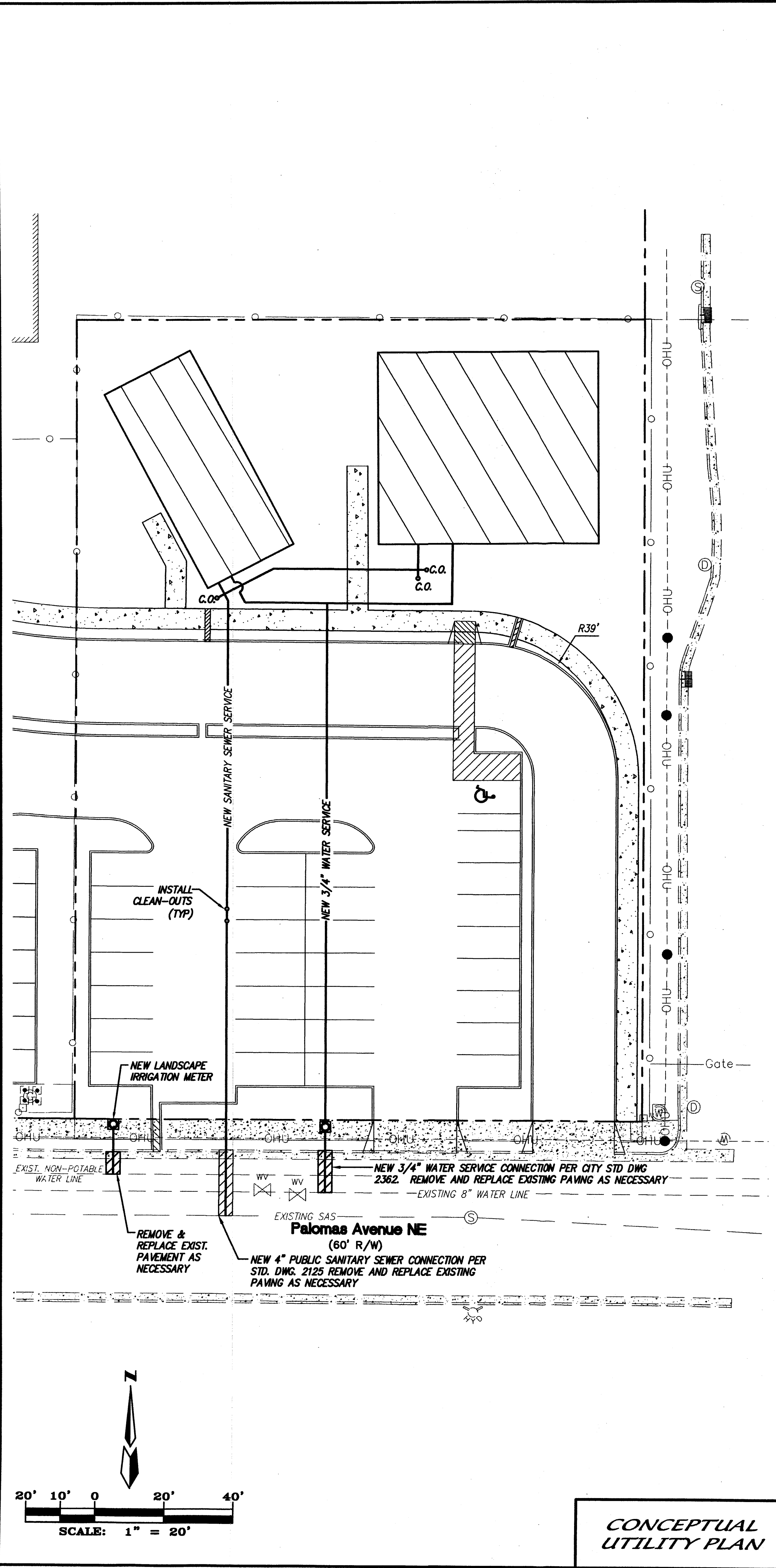
HOPE CHRISTIAN ELEMENTARY SCHOOL ADDITION
SITE DEVELOPMENT PLAN FOR BUILDING

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS

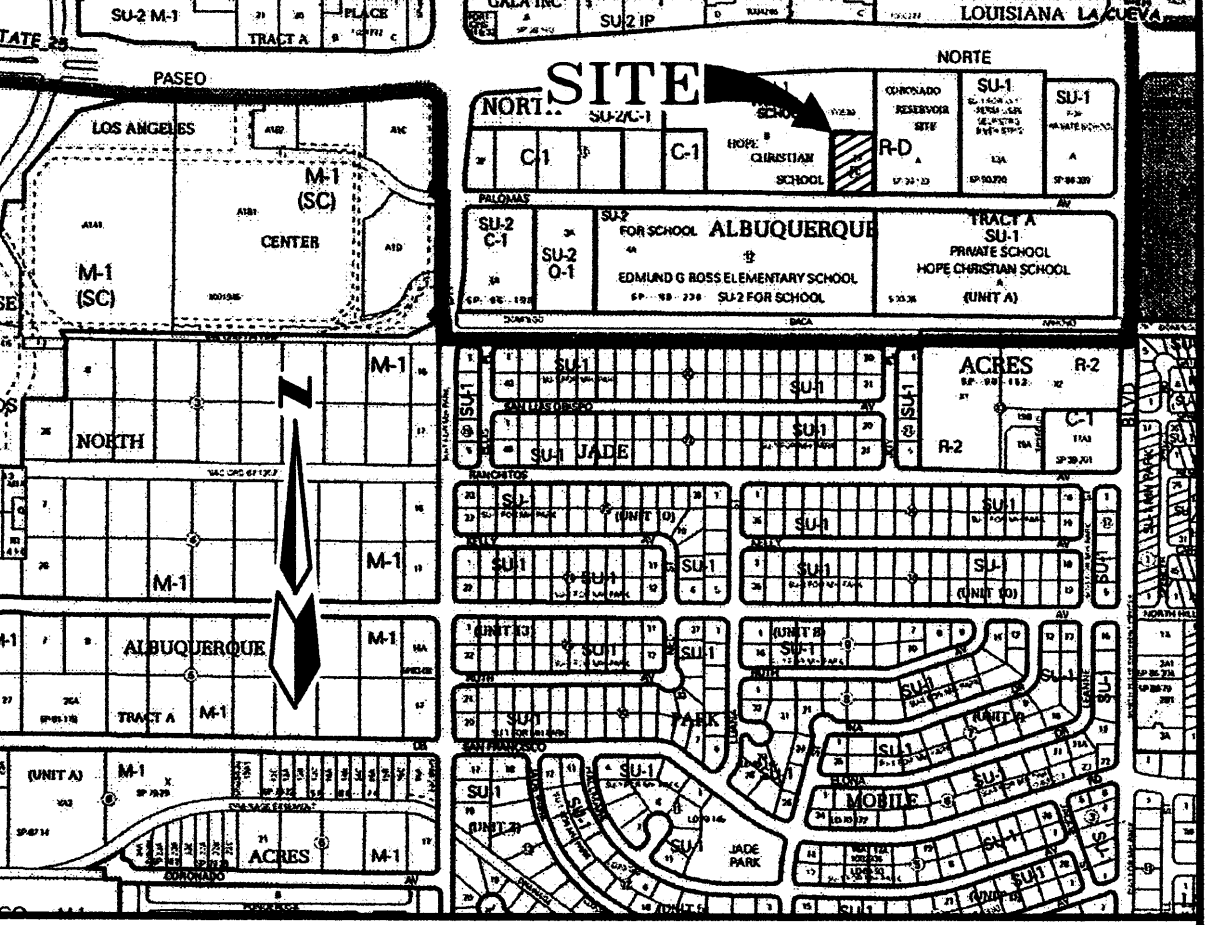
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: JM	Drawn: SPS	Checked: DMG	Sheet 1 of 4
Scale: 1" = 20'	Date: 8/27/2010	Job: A10032	

1008415



1. INSTALL NEW 12" SIDEWALK CULVERT PER CITY STD. DWG. 2236.
2. BUILD NEW 24" PRIVATE DRIVEWAY PER CITY STD. 2425.
3. INSTALL NEW PAVING PER DETAIL THIS SHEET. SEE DETAIL THIS SHEET.
4. BUILD 2" CAST IN PLACE CONCRETE CHANNEL. SEE DETAIL THIS SHEET.
5. REMOVE 165 LF OF EXISTING CURB.
6. REMOVE 47 S.Y. EXISTING PAVING.
7. REMOVE 30 LF OF EXISTING CURB
8. REMOVE EXISTING FENCE AS NECESSARY.
9. BUILD NEW 24" SIDEWALK CULVERT PER CITY STD DWG 2236.
10. BUILD NEW HC RAMP. RAMP SLOPE NOT TO EXCEED 12:1. SEE DETAIL THIS SHEET.



BENCH MARK

ACS MONUMENT "16_D19" HAVING AN ELEVATION OF 5394.008 (NAVD88).

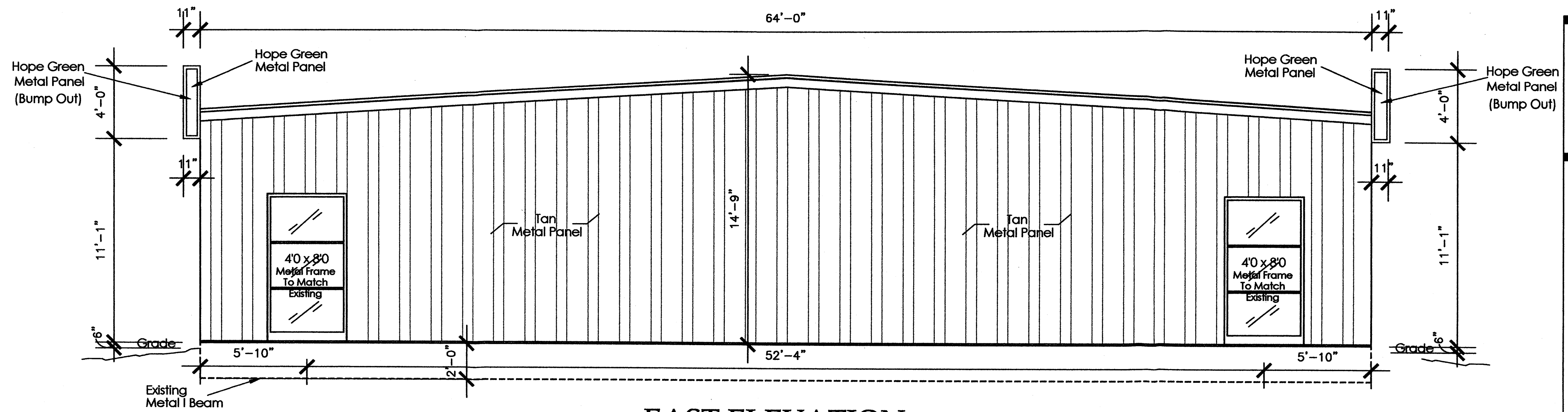
TEMPORARY BENCH MARK

TEMPORARY BENCH MARK MARKED WITH AN "X" (SHOWN Δ) IN CONCRETE ON SOUTH SIDE OF PALOMAS AVE. HAVING AN ELEVATION OF 5289.78 FEET.

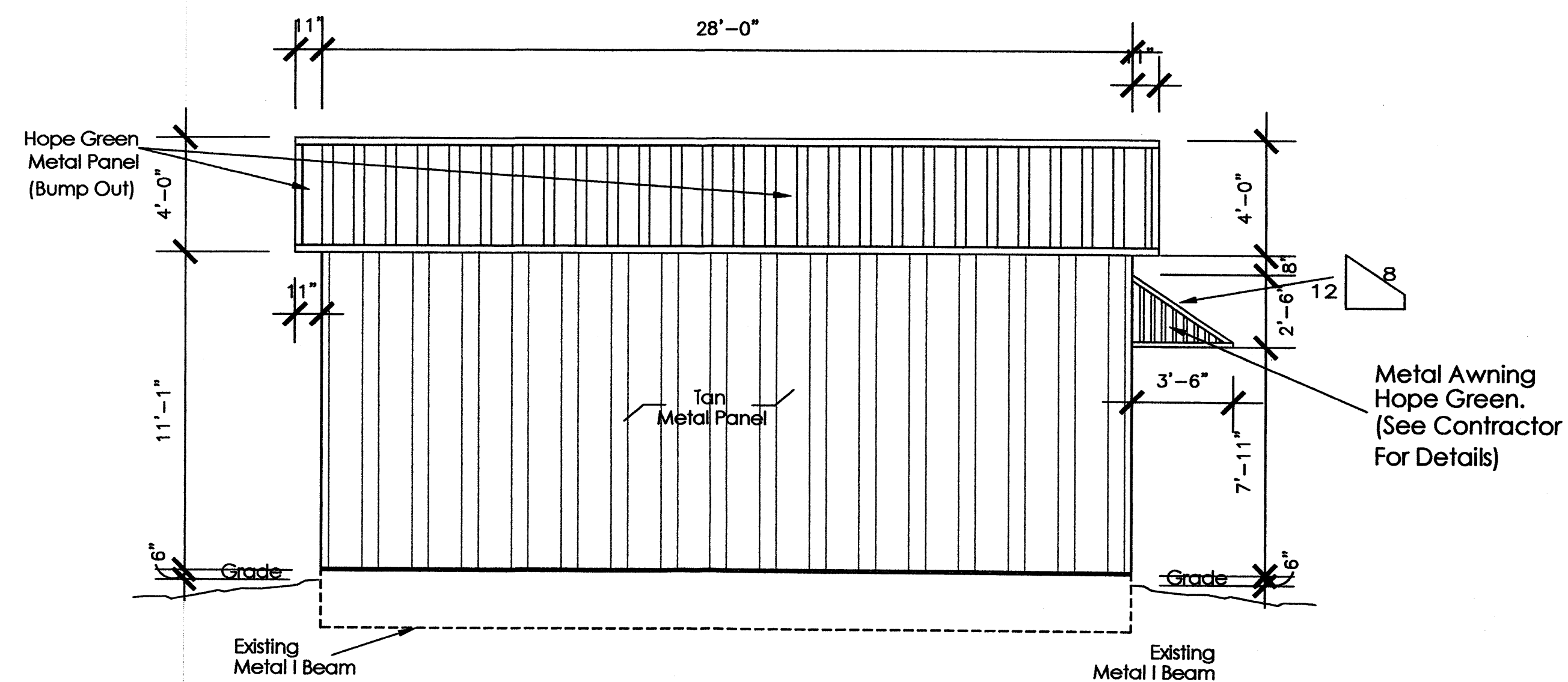
SURVEY NOTES

1. FIELD SURVEY PERFORMED IN JUNE 2010 BY CARTESIAN SURVEYS
2. ALL DISTANCES ARE GROUND DISTANCES. U.S. SURVEY FOOT.
3. THE BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE COORDINATES (NAVD 88).
4. THE EASEMENTS SHOWN HEREON ARE ONLY THE EASEMENTS AS SHOWN ON THE PLAT OF RECORD. A TITLE COMMITMENTS WILL BE REQUIRED TO SHOWN OTHER EASEMENTS.

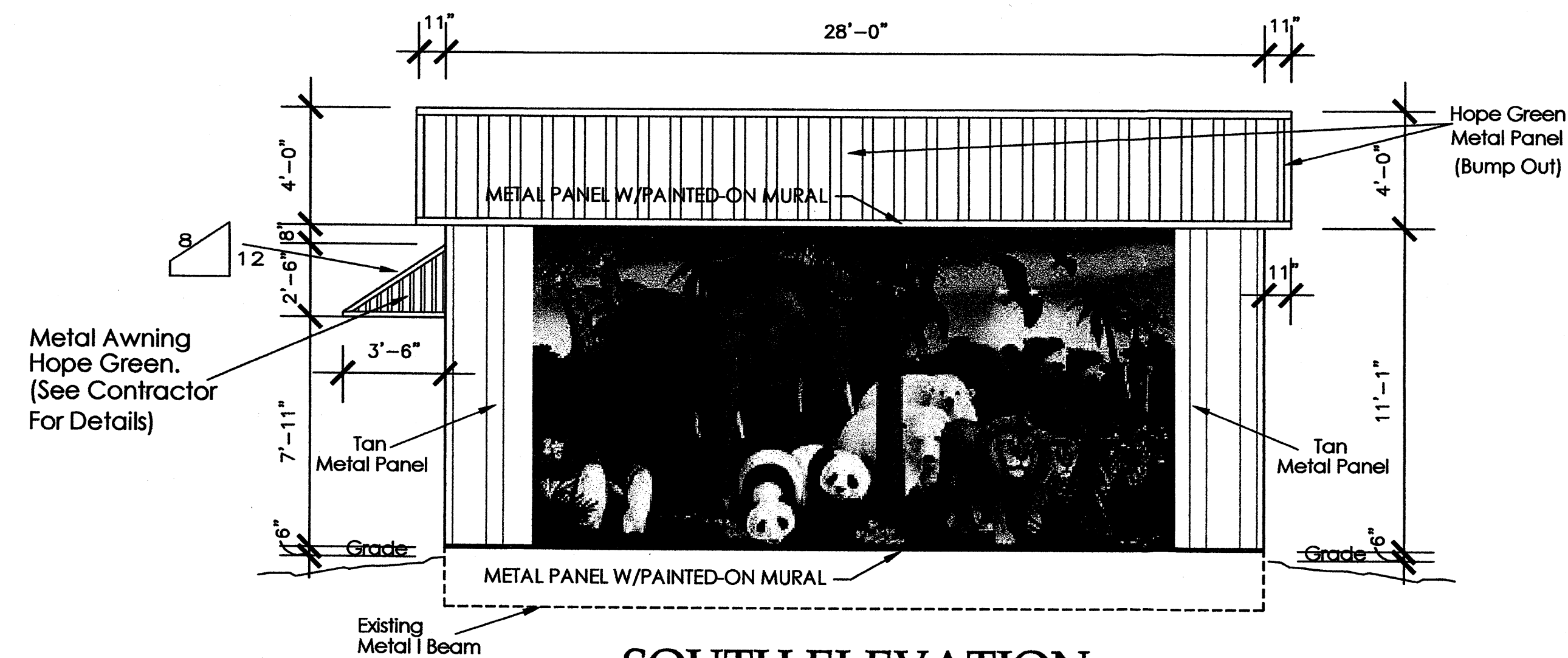
- LEGEND**
- CURB AND GUTTER
 - FENCE
 - CONTOUR LINE
 - EASEMENT LINE
 - WATER METER
 - WATER VALVE
 - LIGHT POLE
 - GAS METER
 - FIRE HYDRANT
 - POWER POLE
 - OVERHEAD UTILITY LINES
 - STORM DRAIN INLET
 - SEWER MANHOLE
 - STORM DRAIN MANHOLE
 - WATER MANHOLE
 - UTILITY PEDESTAL
 - WALL
 - BC 5744.09
 - FL 5744.09
 - EP 5744.09
 - TAC 5444.09
 - 5444.09
 - EXISTING MODULAR BUILDINGS
 - PROPOSED MODULAR BUILDINGS
 - .04.80
 - PROPERTY LINE
 - LANDSCAPED SWALE
 - PROPOSED NEW CONTOUR
 - FLOW DIRECTION
 - ROOF DRAIN
 - 88.18
 - 88.68
 - NEW EXTRUDED CONC. CURB PER CITY STD. DWG. 24158



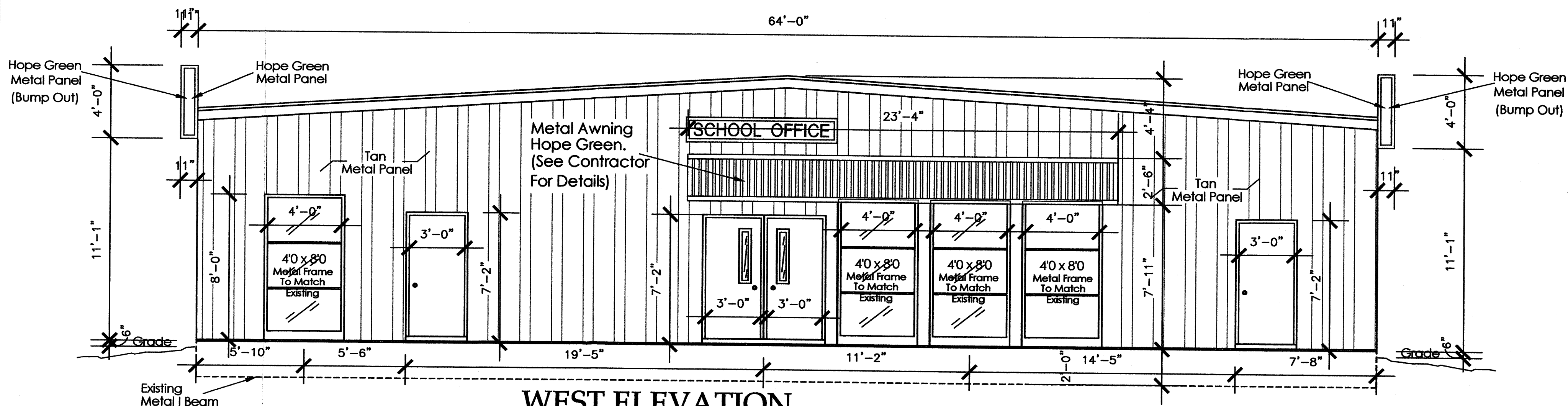
**EAST ELEVATION
SCHOOL OFFICE**



**NORTH ELEVATION
SCHOOL OFFICE**



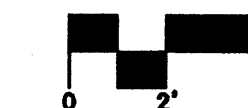
**SOUTH ELEVATION
SCHOOL OFFICE**



**WEST ELEVATION
SCHOOL OFFICE**

**SCHOOL OFFICE
ELEVATION PLAN**

SCALE: 1/4" = 1'-0"



RON MONTOYA DESIGNS, INC.
CUSTOM RESIDENTIAL & COMMERCIAL DESIGN SERVICES
8724 ALAMEDA NE SUITE A
ALBUQUERQUE, NEW MEXICO 87113
P: 505-823-6474
F: 505-823-6487

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School Office
Elevation

A Portable S Building For
Hope Christian Elementary

Date: 6/28/10
Revisions:
Rev. No. By: Date:

Sheet:

A-4

Sheet 4A Of 4



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Library
Elevations

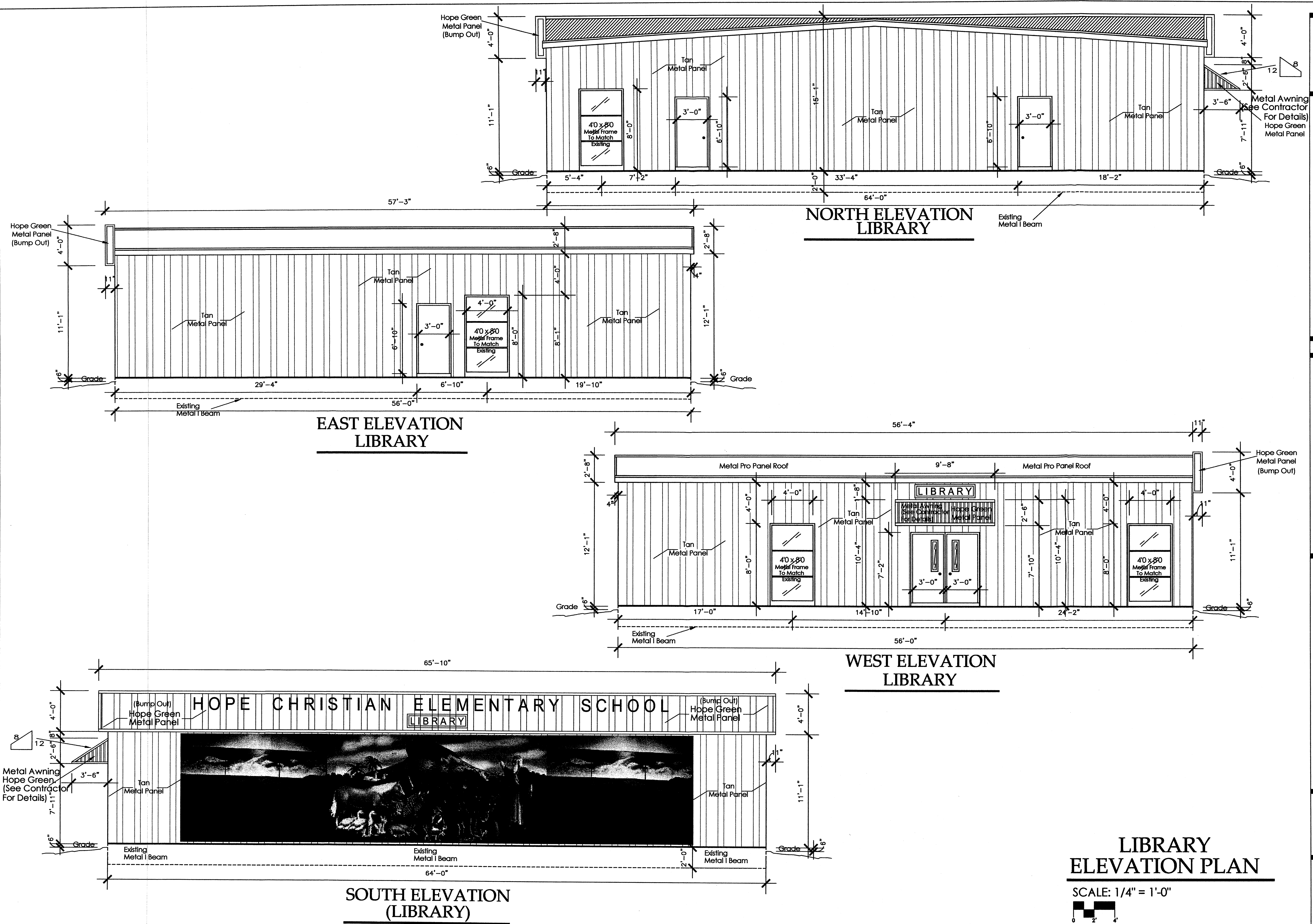
A Portable S Building For
Hope Christian Elementary

Date:	10/11/10
Revision:	
Rev. No. by:	Date:

Sheet:

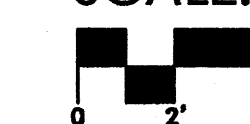
A-4

Sheet 48 Of 4



**LIBRARY
ELEVATION PLAN**

SCALE: 1/4" = 1'-0"



LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Follen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Grey Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for Irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

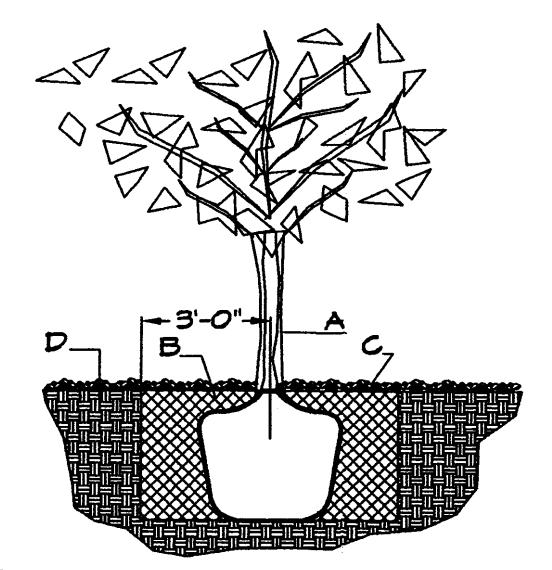
LANDSCAPE CALCULATIONS

TOTAL LOT AREA	38547	square feet
TOTAL BUILDINGS AREA	5976	square feet
NET LOT AREA	33171	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	4975	square feet
TOTAL BED PROVIDED	7274	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	5455	square feet
TOTAL GROUND COVER PROVIDED	5630	square feet
TOTAL PONDING AREA	0	square feet
TOTAL SOD AREA	0	square feet
(max. 20% of landscape required)		
TOTAL RAKED EARTH AREA	4017	square feet
TOTAL LANDSCAPE PROVIDED	11291 (34%)	square feet

PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper

Shade trees required under the City Of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces
Required 4 Provided 4



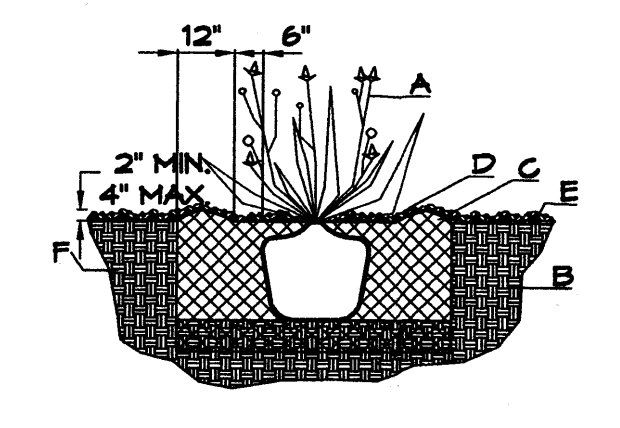
TREE PLANTING DETAIL

GENERAL NOTES:

- ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
- TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
- PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
- PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:

- TREE
- BACKFILL WITH EXISTING SOIL.
- 3" DEPTH OF GRAVEL MULCH.
- UNDISTURBED SOIL.



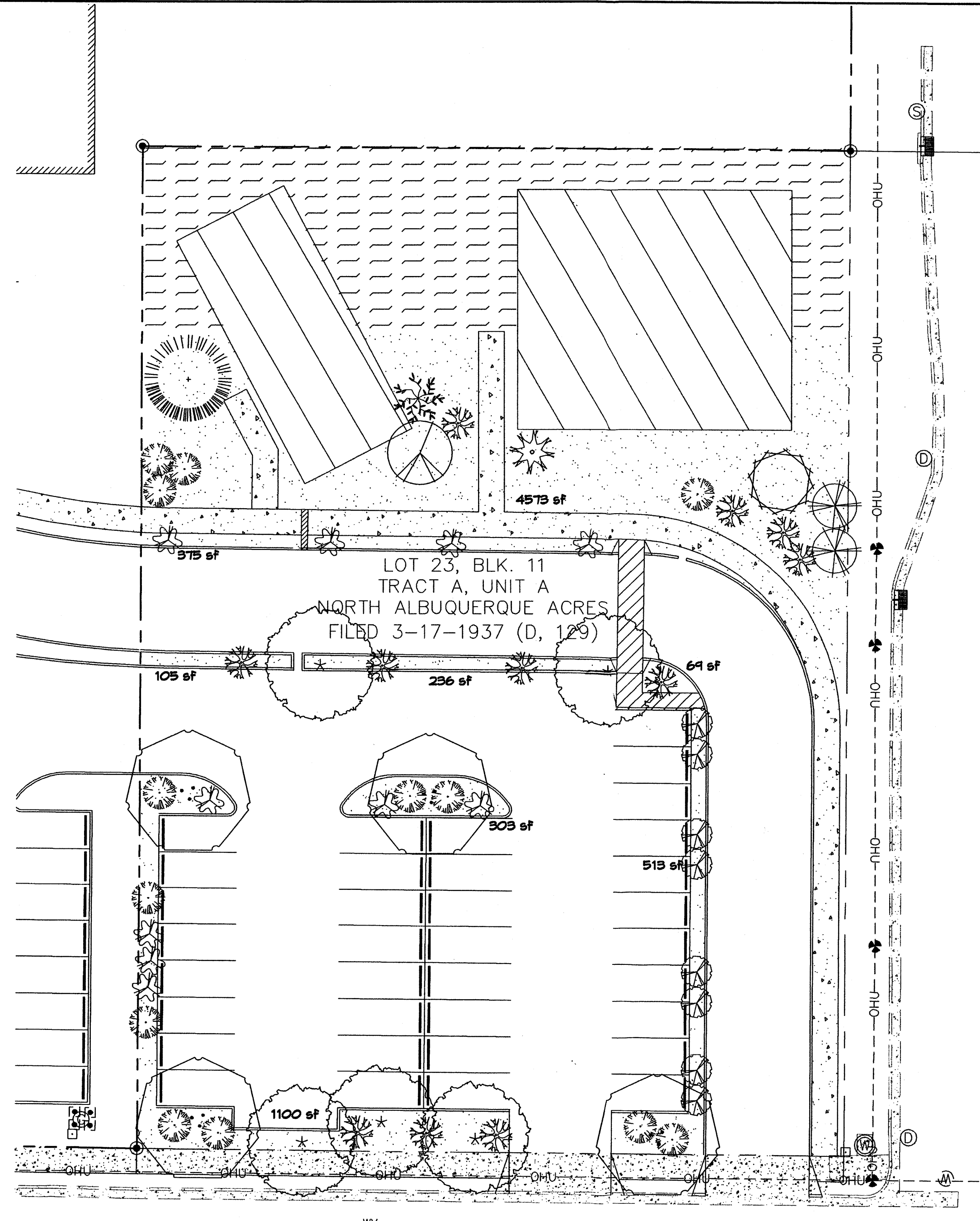
SHRUB PLANTING DETAIL

GENERAL NOTES:

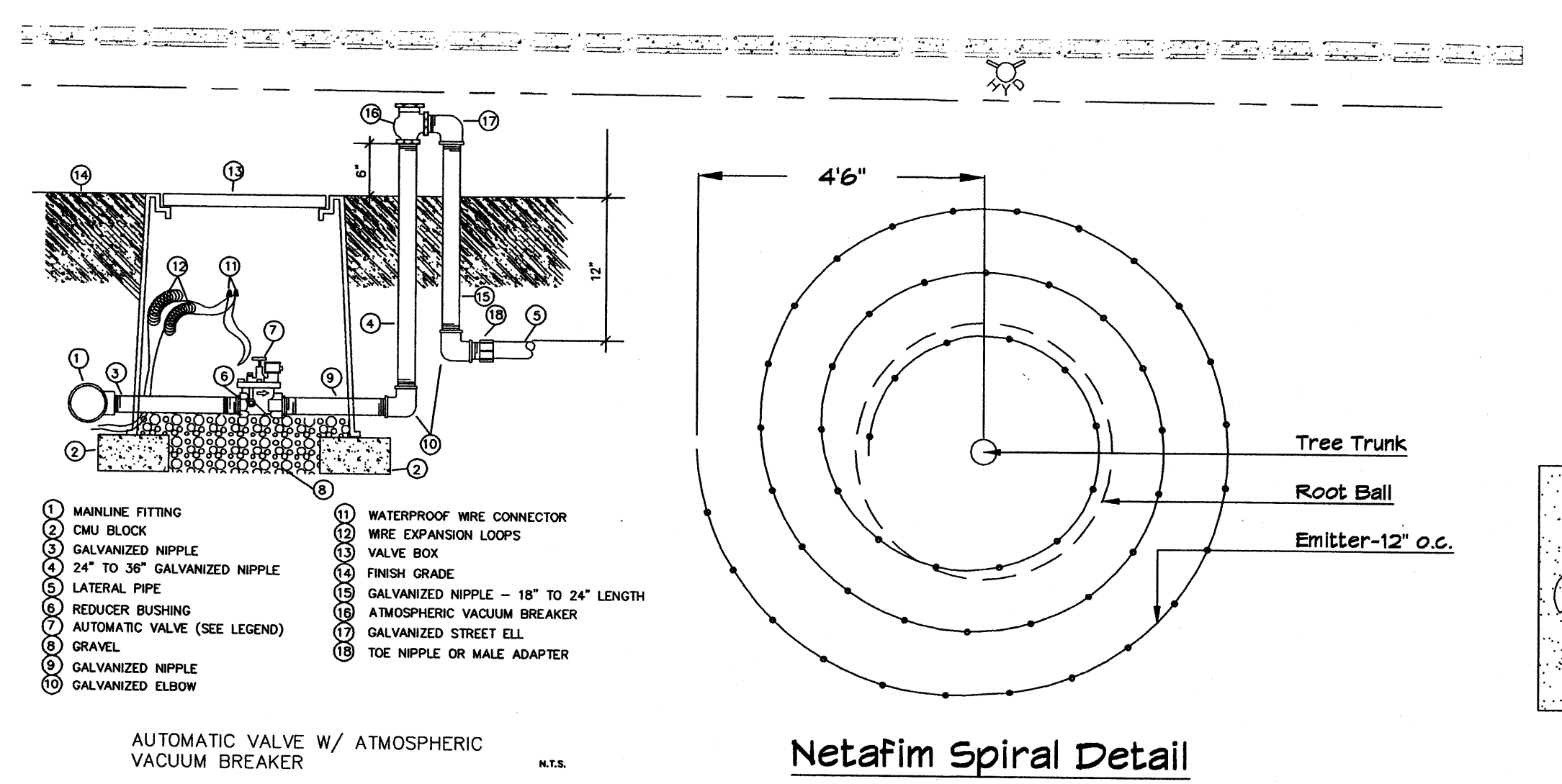
- THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

CONSTRUCTION NOTES:

- SHRUB.
- BACKFILL WITH EXISTING SOIL.
- EARTH BERM AROUND WATER RETENTION BASIN.
- 3" DEPTH OF GRAVEL MULCH.
- FINISH GRADE.
- UNDISTURBED SOIL.



venue NE
w)



PLANT LEGEND

All plants shall be sized per American Standard For Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

- COMMON HACKBERRY 4
Celtis occidentalis
2" Cal., 12-14' Inst./40' x 40' maturity
Water (M) Allergy (L) Osf
- EASTERN REDBUD 5
Cercis canadensis
1-1/2" Cal., 8-10' Inst./30' x 30' maturity
Water (M) Allergy (L) Osf
- AUSTRIAN PINE 1
Pinus nigra
15gal., 3-4' Inst./35' x 25' maturity
Water (M) Allergy (L) Osf
- WESTERN RED CEDAR 1
Thuja plicata 'Green Giant'
15 Gal., 4-10' Inst./40' x 15' maturity
Water (M) Allergy (L) 225sf
- ROSE OF SHARON 1
Hibiscus syriacus
5 Gal., 2-4' Inst./10' x 10' maturity
Water (M) Allergy (L) 100sf
- BLUE CHIP JUNIPER 13
Juniperus horizontalis 'Blue Chip'
1 Gal., 24"-4' Inst./10' x 8' maturity
Water (L+) Allergy (H) 64sf
- LADY BANKS ROSE 12
Rosa banksiae
1 Gal., 24"-4' Inst./3' x 20' maturity
Water (M) Allergy (L) 300sf
Unstaked Groundcover
- WINTER JASMINE 10
Jasminum nudiflorum
1 Gal., 6"-15" Inst./4' x 12' maturity
Water (L+) Allergy (L) 144sf
- HONEYSUCKLE 8
Lonicera japonica 'Halliana'
1 Gal., 6"-15" Inst./3' x 12' maturity
Water (M) Allergy (L) 144sf
Unstaked-Groundcover

SHRUBS/ORNAMENTAL GRASSES

- DESERT WILLOW 1
Chilopsis linearis
15 Gal., 4-10' Inst./30' x 25' maturity
Water (L+) Allergy (L) 225sf
- PARNEY COTONEASTER 1
Cotoneaster lacteus
5 Gal., 2-4' Inst./8' x 12' maturity
Water (M) Allergy (L) 144sf
- SILVERBERRY 2
Elaeagnus pungens
5 Gal., 2-4' Inst./6' x 10' maturity
Water (M) Allergy (L) 100sf

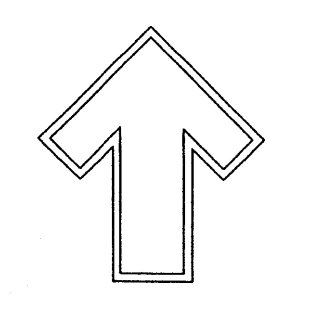
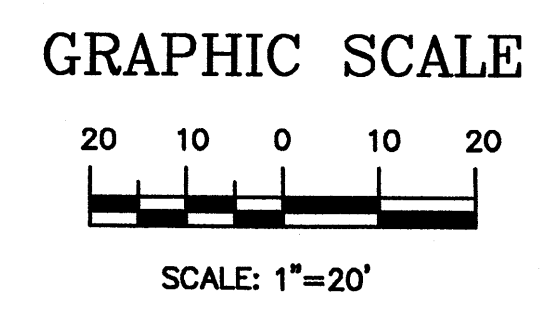
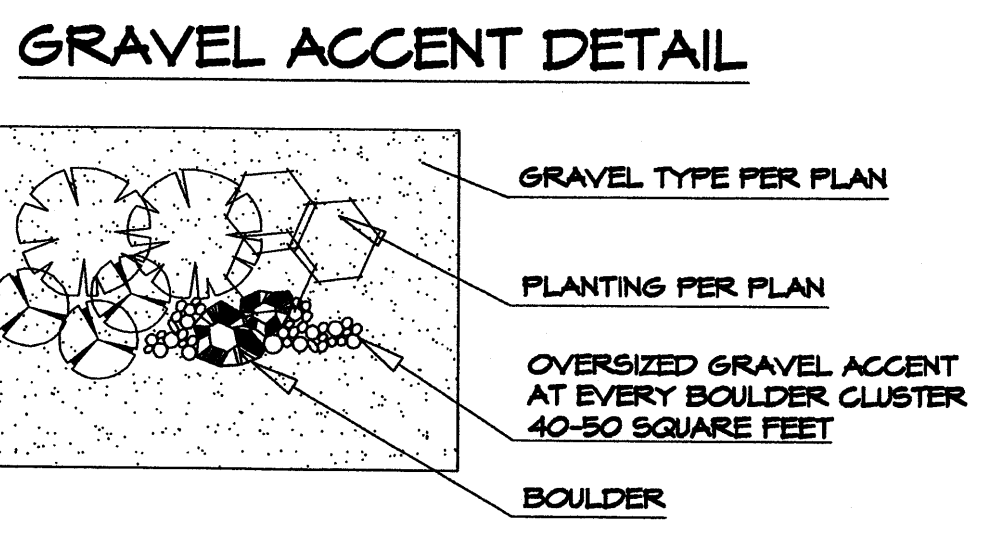
GROUNDCOVERS

HARDSCAPES

- 3/4" GRAY GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
- RAKED EARTH

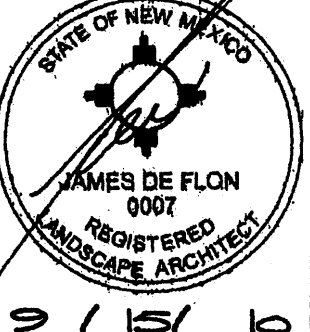
* DENOTES EVERGREEN PLANT MATERIAL

CORONADO RESERVOIR SITE
FILED 7-12-1999 (99C, 178)



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Fax (505) 898-7737
cm@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL



JAMES DE FLON #0007

HOPE CHRISTIAN ELEMENTARY SCHOOL ADDITION LANDSCAPE PLAN

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DRAWN BY: cmj
REVISION: 10/3/09
DATE: 7-7-10
SHEET # 2 OF 4