

VICINITY MAP
LEGAL DESCRIPTION:
 TRACT 1B-1 PARADISE NORTH

NOTE:
 SITE LIGHTING SHALL COMPLY WITH THE LIGHTING REGULATIONS OF THE ZONING CODE, 14-16-3-9, AREA LIGHTING REGULATIONS. LIGHT FIXTURES WITHIN 100 FEET OF A RESIDENTIAL AREA SHALL NOT EXCEED 16 FEET.

LEGEND

---	BOUNDARY LINE
- - - -	EASEMENT
---	CENTERLINE
---	RIGHT-OF-WAY
---	EXISTING CURB & GUTTER
---	EXISTING BOUNDARY LINE
---	EXISTING SIDEWALK
---	ASPHALT CONCRETE PAVEMENT

PROJECT NUMBER: #1008528
APPLICATION NUMBER:

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DR plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	11-02-11	Date
Water Utility Development	11-02-11	Date
Parks & Recreation Department	11-2-11	Date
City Engineer	11-2-11	Date
Environmental Health Department (conditional)		Date
Solid Waste Management		Date
DRB Chairperson, Planning Department	1-27-12	Date

* Environmental Health, if necessary

1008528

Property Line - Curve Table

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	303.70	1445.56	12.04	S41° 11' 41"W	303.14
C2	22.96	1445.56	0.91	S47° 40' 07"W	22.96
C3	151.88	1402.63	6.20	S51° 40' 27"W	151.80
C4	210.00	1402.63	8.58	S59° 03' 55"W	209.80
C5	26.22	1402.63	1.07	S63° 53' 24"W	26.22
C6	152.48	783.54	11.15	S58° 56' 44"W	152.24

Property Line Line Table

Line #	Length	Direction
L1	462.83	N36° 12' 57.00"W
L2	191.93	N47° 18' 46.84"W
L3	166.17	N42° 41' 13.01"E
L4	149.82	N23° 16' 46.36"E
L5	486.46	S66° 46' 57.24"E
L6	168.69	N57° 25' 11.66"E
L7	207.26	S32° 32' 23.77"E
L8	159.20	S32° 32' 23.77"E
L9	669.02	S43° 12' 23.39"W
L10	339.20	N36° 12' 57.00"W
L11	240.68	S87° 34' 13.16"E
L12	99.89	S36° 38' 21.72"E
L13	26.33	S87° 34' 13.16"E

- NOTES:**
1. A PEDESTRIAN ACCESS FROM THE WESTERN PORTION OF LOT 2 SHALL BE PROVIDED WITH FUTURE COMMERCIAL/OFFICE DEVELOPMENT TO THE CALABACILLAS ARROYO (FUTURE TRAIL).
 2. A CROSS-LOT ACCESS AND DRAINAGE EASEMENT OVER LOTS 1&2 SHALL BE DEDICATED BY PLAT.
 3. ALL PROPOSED IMPROVEMENTS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.

SITE DATA

LEGAL DESCRIPTION: TRACT 1B-1 PARADISE NORTH
 ZONING: SU1 FOR IP USES, EXCEPT BOTTLING PLANT, COLD STORAGE PLANT, MACHINE SHOP, RAILROAD RIGHT-OF-WAY AND INCIDENTAL FACILITIES, AND SHEET METAL WORKING.
 SITE AREA: 13.55 ACRES

PROPOSED USE:

SENIOR CARE FACILITY (LOT 1) AND FUTURE MIXED USE COMMERCIAL DEVELOPMENT (LOT 2)

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:

THE FRONT OF THE BUILDING WILL FACE GOLF COURSE ROAD NW. EXISTING PEDESTRIAN ACCESSIBILITY, IN THE FORM OF PUBLIC SIDEWALK, RUNS THE LENGTH OF THE SITE ALONG THE EASTERLY BOUNDARY. A PEDESTRIAN CONNECTION FROM THE PROPOSED BUILDING WILL PROVIDE A CONNECTION TO THE EXISTING SIDEWALK ON GOLF COURSE ROAD ALONG THE PROPOSED NORTHERLY DRIVEWAY TO BE LOCATED AT THE EXISTING DRIVEWAY APRON (DRIVEWAY A). VEHICULAR ACCESS TO THE SITE WILL PRIMARILY BE FROM THIS SAME EXISTING DRIVEWAY CUT ON GOLF COURSE ROAD AND A SECONDARY DRIVEWAY ACCESS IS PROPOSED AT A NEW DRIVEWAY APPROXIMATELY 350 FEET SOUTH OF THE EXISTING DRIVEWAY APRON (DRIVEWAY B). SIDEWALK, CURB AND GUTTER AND PEDESTRIAN RAMPS WILL BE CONSTRUCTED AT THE NEW DRIVEWAY LOCATION AND WITHIN THE SITE.

INTERNAL CIRCULATION REQUIREMENTS:

COMMON DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED BY THE REPLAT.

MAXIMUM BUILDING HEIGHT ALLOWED (ALL LOTS):

UNLESS MODIFIED BY EPC, 26 FEET AT ANY LEGAL LOCATION. THE HEIGHT AND WIDTH OF THE STRUCTURE OVER 26 FEET SHALL FALL WITHIN 45° ANGLE PLANES DRAWN FROM THE HORIZONTAL AT THE MEAN GRADE ALONG EACH INTERNAL BOUNDARY OF THE PREMISES AND EACH ADJACENT PUBLIC RIGHT-OF-WAY CENTERLINE. OR DRAINAGEWAY RIGHT-OF-WAY CENTERLINE. TO PROTECT SOLAR ACCESS, A STRUCTURE OVER 26 FEET MAY NOT EXCEED THE NORTHERN BOUNDARY OF THESE 45° PLANES, BUT MAY BE SITED IN ANY OTHER DIRECTION WITHIN PLANES DRAWN AT A 60° ANGLE FROM THE SAME BOUNDARIES OR CENTER LINE.

LOT 1 PROPOSED AVE ROOF HEIGHT: 38'-0" (UPPER), 26'-6" (LOWER)

MINIMUM BUILDING SETBACK (ALL LOTS):

NO REQUIREMENT, 20' MIN. PROPOSED ON LOT 1.

MAXIMUM TOTAL DWELLING UNITS (ALL LOTS):

N/A, RESIDENTIAL USE NOT PERMITTED PER ZONING

NONRESIDENTIAL USES' MAXIMUM FLOOR AREA RATIO (ALL LOTS):

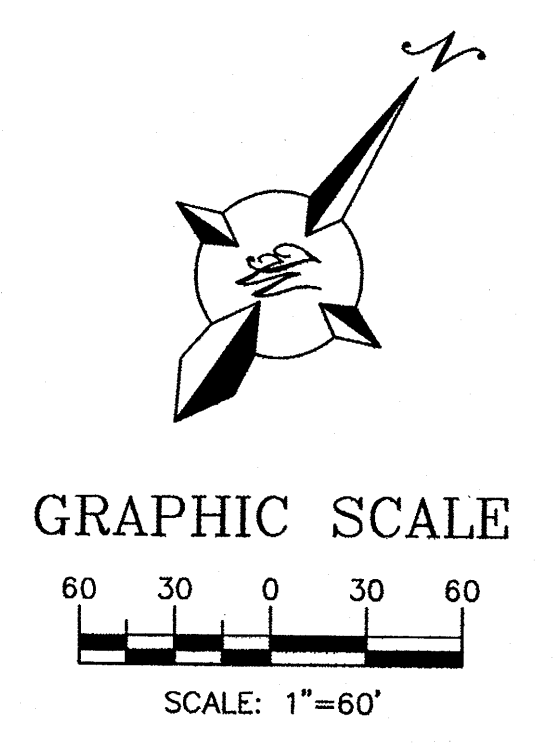
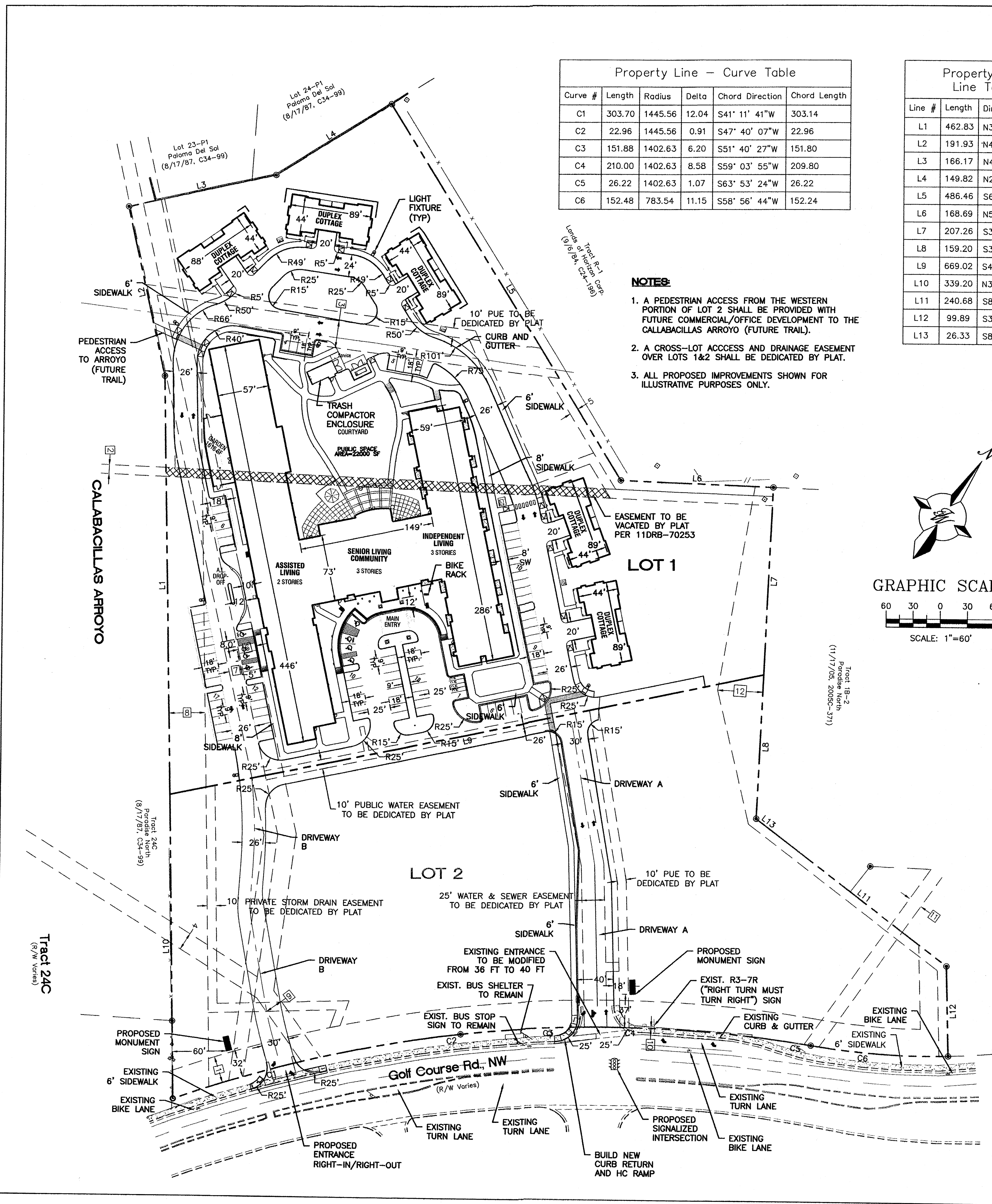
NO REQUIREMENT, 0.43 F.A.R. PROPOSED ON LOT 1.

PHASING

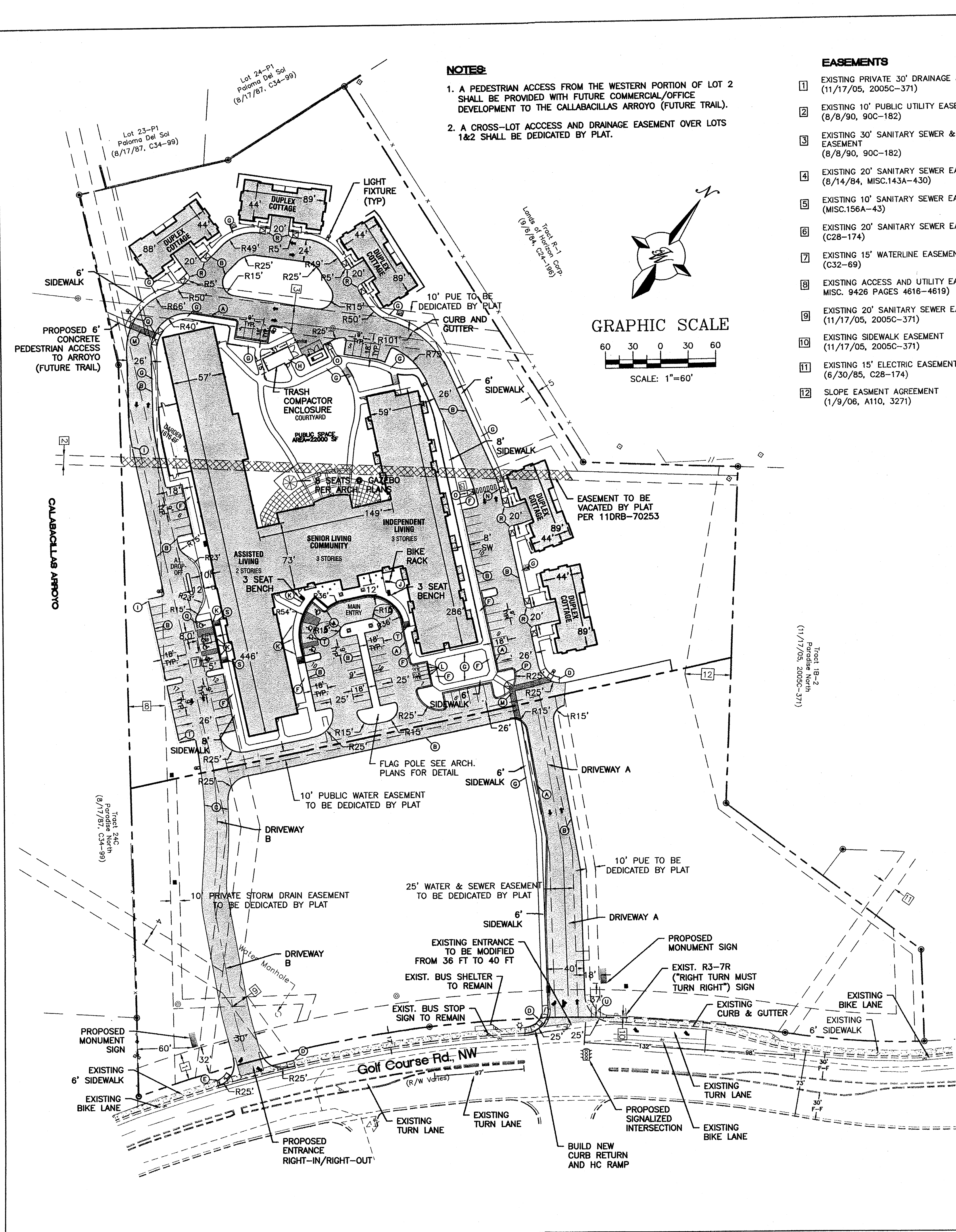
THE FIRST PHASE WILL CONSIST OF LOT 1 DEVELOPMENT AND CONSTRUCTION OF DRIVEWAY A AND B. LOT 2 WILL BE DEVELOPED IN FUTURE PHASES AND WILL REQUIRE EPC APPROVAL

INDEX TO DRAWINGS

- C1. SITE PLAN FOR SUBDIVISION
- C2. SITE PLAN FOR BUILDING PERMIT
- C3. GRADING AND DRAINAGE PLAN
- C4. GRADING AND DRAINAGE PLAN-30' SCALE
- C5. MASTER UTILITY PLAN
- C6. DETAIL SHEET 1
- C7. DETAIL SHEET 2
- C8. DETAIL SHEET 3
- L1. LANDSCAPING PLAN
- A7. MAIN BUILDING ELEVATIONS
- A8. MAIN BUILDING ELEVATIONS
- A9. MAIN BUILDING ELEVATIONS
- A10. MAIN BUILDING ELEVATIONS
- A11. COTTAGE ELEVATIONS



ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	SPECTRUM ASSISTED LIVING	DRAWN BY BJF
	SITE PLAN FOR SUBDIVISION	DATE 10/28/11
 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com		2011026-SPB
		SHEET # C1
		JOB # 2011026



NOTES:

1. A PEDESTRIAN ACCESS FROM THE WESTERN PORTION OF LOT 2 SHALL BE PROVIDED WITH FUTURE COMMERCIAL/OFFICE DEVELOPMENT TO THE CALLABACILLAS ARROYO (FUTURE TRAIL).
2. A CROSS-LOT ACCESS AND DRAINAGE EASEMENT OVER LOTS 1&2 SHALL BE DEDICATED BY PLAT.

- EASEMENTS**
- 1 EXISTING PRIVATE 30' DRAINAGE & UTILITY EASEMENT (11/17/05, 2005C-371)
 - 2 EXISTING 10' PUBLIC UTILITY EASEMENT (8/8/90, 90C-182)
 - 3 EXISTING 30' SANITARY SEWER & STORM DRAIN EASEMENT (8/8/90, 90C-182)
 - 4 EXISTING 20' SANITARY SEWER EASEMENT (8/14/84, MISC.143A-430)
 - 5 EXISTING 10' SANITARY SEWER EASEMENT (MISC.156A-43)
 - 6 EXISTING 20' SANITARY SEWER EASEMENT (C28-174)
 - 7 EXISTING 15' WATERLINE EASEMENT (C32-69)
 - 8 EXISTING ACCESS AND UTILITY EASEMENT (9/14/94, MISC. 9426 PAGES 4616-4619)
 - 9 EXISTING 20' SANITARY SEWER EASEMENT (11/17/05, 2005C-371)
 - 10 EXISTING SIDEWALK EASEMENT (11/17/05, 2005C-371)
 - 11 EXISTING 15' ELECTRIC EASEMENT (6/30/85, C28-174)
 - 12 SLOPE EASMENT AGREEMENT (1/9/06, A110, 3271)

- KEYED NOTE:**
- (A) CURB & GUTTER PER COA STD DWG #2415B
 - (B) HEADER CURB PER COA STD DWG #2415B
 - (C) TEMP AC CURB PER COA STD DWG #2415B
 - (D) ACCESSIBLE RAMP W/ TRUNCATED DOMES PER COA STD DWG #2426
 - (E) ADA RAMP "E" PER DETAIL SHEET C8
 - (F) 8' SIDEWALK PER COA STD DWG #2430
 - (G) 6' SIDEWALK PER COA STD DWG #2430
 - (H) TRASH ENCLOSURE (SEE DETAIL SHEET C6)
 - (I) 2' CURB CUT
 - (J) BIKE RACK (SEE DETAIL SHEET C6)
 - (K) HANDICAP PARKING SIGN PER COA SPECIFICATIONS (SEE DETAIL SHEET C7)
 - (L) MOTORCYCLE SIGN PER COA SPECIFICATIONS (SEE DETAIL SHEET C7)
 - (M) 6' WIDE PEDESTRIAN PATHWAY (STAMPED CONCRETE)
 - (N) ADA RAMP "D" PER DETAIL SHEET C7
 - (O) ADA RAMP "H" PER DETAIL SHEET C8
 - (P) ADA RAMP "F" PER DETAIL SHEET C8
 - (Q) HC PARKING DETAIL @ STREET "B" PER DETAIL ON SHT C8
 - (R) ADA RAMP "G" @ COTTAGES PER DETAIL SHEET C8
 - (S) ADA RAMP "C" PER DETAIL SHEET C7
 - (T) HC PARKING @ MAIN ENTRANCE PER DETAIL SHEET C8
 - (U) EXISTING RAMP TO REMAIN

SITE DATA
 LEGAL DESCRIPTION: TRACT 1B-1 PARADISE NORTH
 ZONING: SU1 FOR JP USES, EXCEPT BOTTLING PLANT, COLD STORAGE PLANT, MACHINE SHOP, RAILROAD RIGHT-OF-WAY AND INCIDENTAL FACILITIES, AND SHEET METAL WORKING.
 SITE AREA: 13.55 ACRES
PROPOSED USE:
 SENIOR CARE FACILITY (LOT 1) WITH THE FOLLOWING:
 MAIN FACILITY: 146 UNITS (166 BEDS)
 5-DUPLEX COTTAGES: 10 UNITS (20 BEDS)
PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:
 THE FRONT OF THE BUILDING WILL FACE GOLF COURSE ROAD NW. EXISTING PEDESTRIAN ACCESSIBILITY, IN THE FORM OF PUBLIC SIDEWALK, RUNS THE LENGTH OF THE SITE ALONG THE EASTERLY BOUNDARY. A PEDESTRIAN CONNECTION FROM THE PROPOSED BUILDING WILL PROVIDE A CONNECTION TO THE EXISTING SIDEWALK ON GOLF COURSE ROAD ALONG THE PROPOSED NORTHERLY DRIVEWAY TO BE LOCATED AT THE EXISTING DRIVEWAY APRON (DRIVEWAY A). VEHICULAR ACCESS TO THE SITE WILL PRIMARILY BE FROM THIS SAME EXISTING DRIVEWAY CUT ON GOLF COURSE ROAD AND A SECONDARY DRIVEWAY ACCESS IS PROPOSED AT A NEW DRIVEWAY APPROXIMATELY 350 FEET SOUTH OF THE EXISTING DRIVEWAY APRON (DRIVEWAY B). SIDEWALK, CURB AND GUTTER AND PEDESTRIAN RAMPS WILL BE CONSTRUCTED AT THE NEW DRIVEWAY LOCATION AND WITHIN THE SITE.

INTERNAL CIRCULATION REQUIREMENTS:
 COMMON DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED BY THE REPLAT.
MAXIMUM BUILDING HEIGHT ALLOWED:
 UNLESS MODIFIED BY EPC, 26 FEET AT ANY LEGAL LOCATION. THE HEIGHT AND WIDTH OF THE STRUCTURE OVER 26 FEET SHALL FALL WITHIN 45° ANGLE PLANES DRAWN FROM THE HORIZONTAL AT THE MEAN GRADE ALONG EACH INTERNAL BOUNDARY OF THE PREMISES AND EACH ADJACENT PUBLIC RIGHT-OF-WAY CENTERLINE, OR DRAINAGEWAY RIGHT-OF-WAY CENTERLINE. TO PROTECT SOLAR ACCESS, A STRUCTURE OVER 26 FEET MAY NOT EXCEED THE NORTHERN BOUNDARY OF THESE 45° PLANES, BUT MAY BE SITED IN ANY OTHER DIRECTION WITHIN PLANES DRAWN AT A 60° ANGLE FROM THE SAME BOUNDARIES OR CENTER LINE.

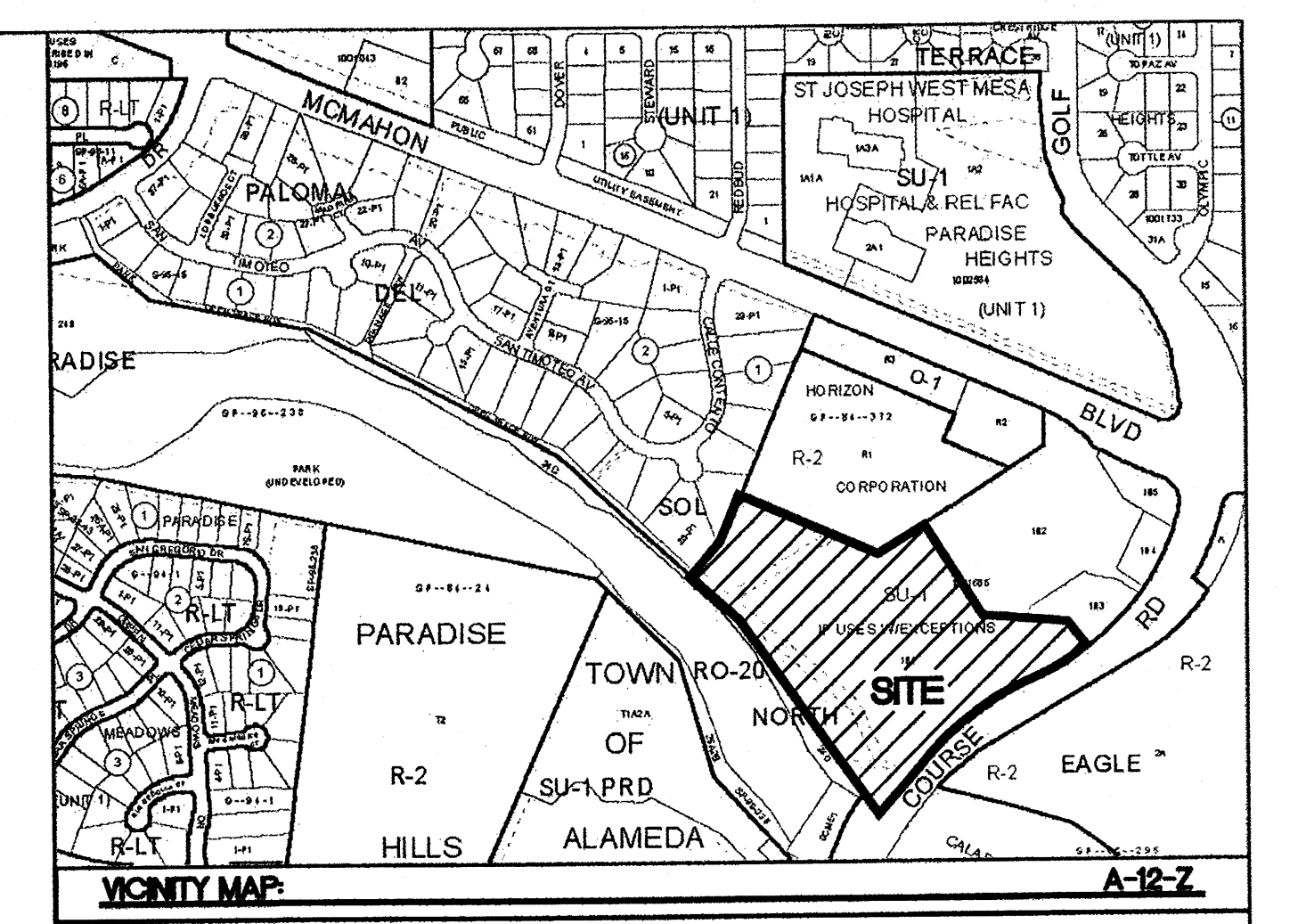
MINIMUM BUILDING SETBACK:
 NO REQUIREMENT, 20' MIN. PROPOSED ON LOT 1.
MAXIMUM TOTAL DWELLING UNITS:
 N/A, RESIDENTIAL USE NOT PERMITTED PER ZONING
NONRESIDENTIAL USES' MAXIMUM FLOOR AREA RATIO:
 NO REQUIREMENT, 0.43 F.A.R. PROPOSED ON LOT 1.

PHASING
 THE FIRST PHASE WILL CONSIST OF LOT 1 DEVELOPMENT AND CONSTRUCTION OF DRIVEWAY A AND B. LOTS 2 WILL BE DEVELOPED IN FUTURE PHASES AND WILL REQUIRE EPC APPROVAL.

STRUCTURE LOCATIONS
 SITE IS UNDEVELOPED AND VACANT WITH NO EXISTING STRUCTURES. PROPOSED STRUCTURE LOCATIONS PER PLAN.
STRUCTURE ELEVATIONS AND DIMENSIONS:
 BUILDING AREA:
 MAIN BUILDING: 130,131 SF
 COTTAGES: (3,450 EACH X 5) 17,250 SF
 TOTAL: 147,381 SF
 SEE SHEETS A7 THROUGH A11 AND SHEET C7 FOR STRUCTURE AND SIGN ELEVATIONS

PARKING FACILITIES
PARKING REQUIRED:
 MAIN BUILDING: 83 SPACES (1 SPACE PER 2 BEDS)
 COTTAGES: 10 SPACES (1 SPACE PER 2 BEDS)
 TOTAL REQUIRED: 93 SPACES
TOTAL PROVIDED: 108 SPACES (98 PARKING LOT & 10 GARAGES IN COTTAGES)
 HC PARKING REQUIRED: 4 SPACES
 HC PARKING PROVIDED: 8 SPACES (2 VAN ACCESSIBLE)
 MC PARKING REQUIRED: 3 SPACES
 MC PARKING PROVIDED: 4 SPACES
 BICYCLE PARKING REQUIRED: 5 SPACES
 BICYCLE PARKING PROVIDED: 5 SPACES

LOADING FACILITIES
 DELIVERY AREA ON NORTH SIDE OF BUILDING.
NON AUTO TRANSPORTATION
 PUBLIC TRANSPORTATION IS AVAILABLE TO AN EXISTING BUS STOP AT THE SITE SERVICED WITH ROUTES 92, 155, AND 3/157. A PEDESTRIAN CONNECTION IS PROPOSED ALONG DRIVEWAY A IN THE FIRST PHASE OF DEVELOPMENT, AND ANOTHER ALONG DRIVEWAY B IN THE FUTURE PHASE.



LEGAL DESCRIPTION:
 TRACT 1B-1 PARADISE NORTH
NOTE:
 SITE LIGHTING SHALL COMPLY WITH THE LIGHTING REGULATIONS OF THE ZONING CODE, 14-16-3-9, AREA LIGHTING REGULATIONS. LIGHT FIXTURES WITHIN 100 FEET OF A RESIDENTIAL AREA SHALL NOT EXCEED 16 FEET.

- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - - - EASEMENT
 - - - CENTERLINE
 - - - RIGHT-OF-WAY
 - ▭ BUILDING
 - ▭ SIDEWALK
 - ▭ SCREEN WALL
 - ▭ RETAINING WALL
 - STREET LIGHTS
 - - - STRIPING
 - - - EXISTING CURB & GUTTER
 - - - EXISTING BOUNDARY LINE
 - ▭ EXISTING SIDEWALK
 - ▭ ASPHALT CONCRETE PAVEMENT
 - - - EXISTING LANE
 - - - EXISTING STRIPING

PROJECT NUMBER: #1008528
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

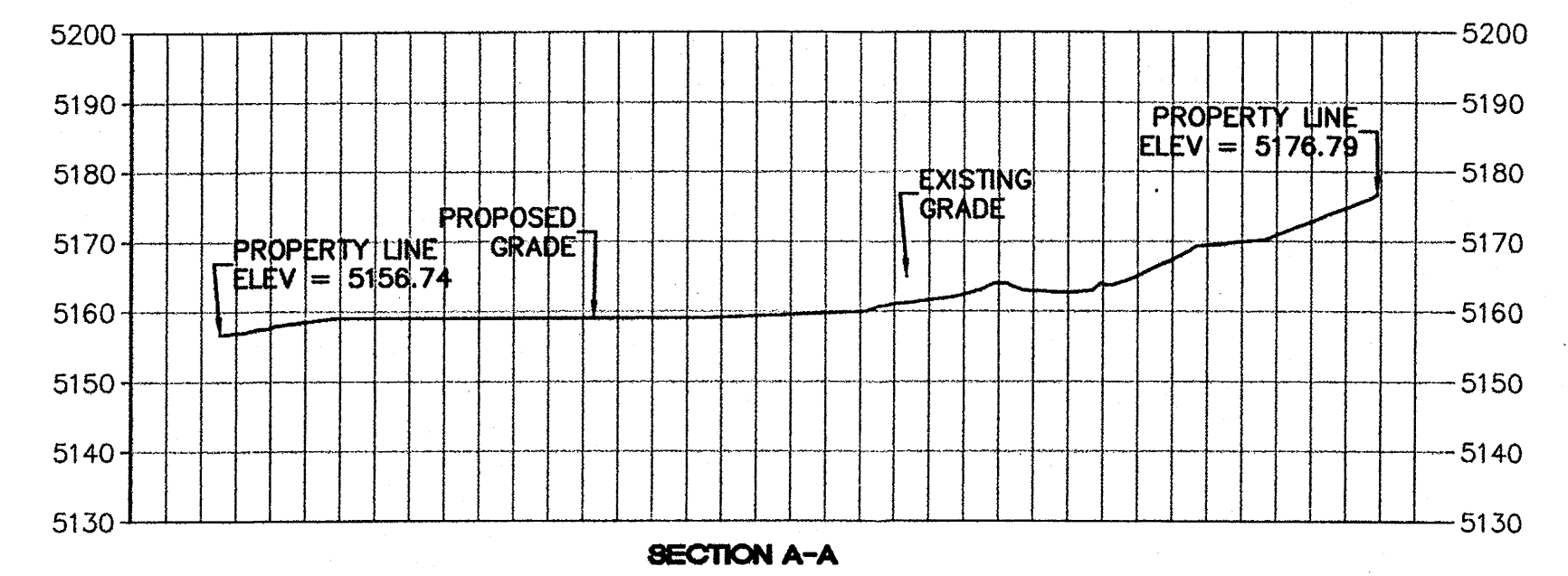
Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i> Traffic Engineer, Transportation Division	11-09-11 Date
<i>[Signature]</i> Water Utility Development	11/09/11 Date
<i>[Signature]</i> Parks & Recreation Department	11-9-11 Date
<i>[Signature]</i> City Engineer	11-9-11 Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
<i>[Signature]</i> DRB Chairperson, Planning Department	1-30-12 Date

* Environmental Health, if necessary

ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	SPECTRUM ASSISTED LIVING	DRAWN BY BJF
	SITE PLAN FOR BUILDING PERMIT	DATE 11/3/11
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2011026-SPB
		SHEET # C2
		JOB # 2011026



LEGEND

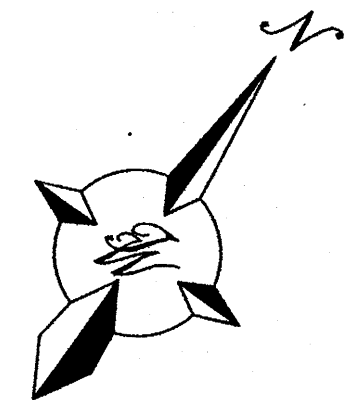
- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- RETAINING WALL
- 5010 CONTOUR MAJOR
- 5011 CONTOUR MINOR
- x 5048.25 SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- 5010 — EXISTING CONTOUR MAJOR
- 5011 — EXISTING CONTOUR MINOR
- x 5048.25 EXISTING SPOT ELEVATION

KEYED NOTE:

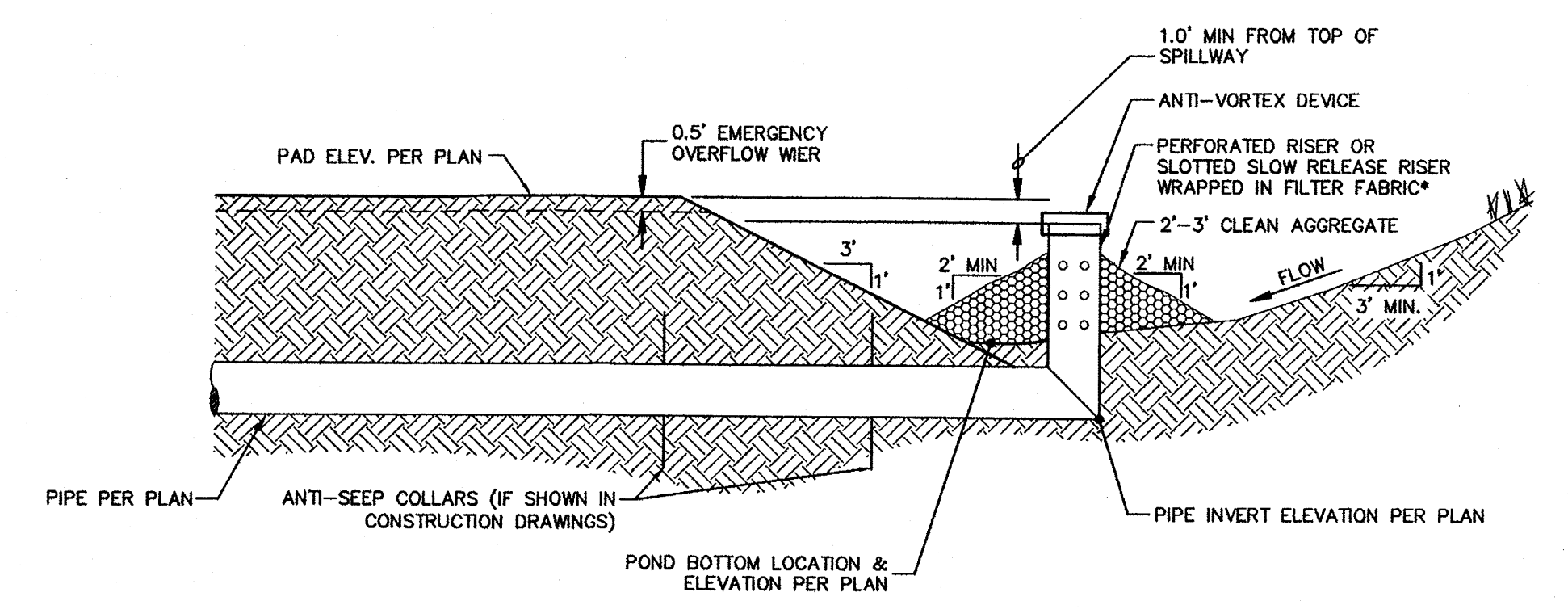
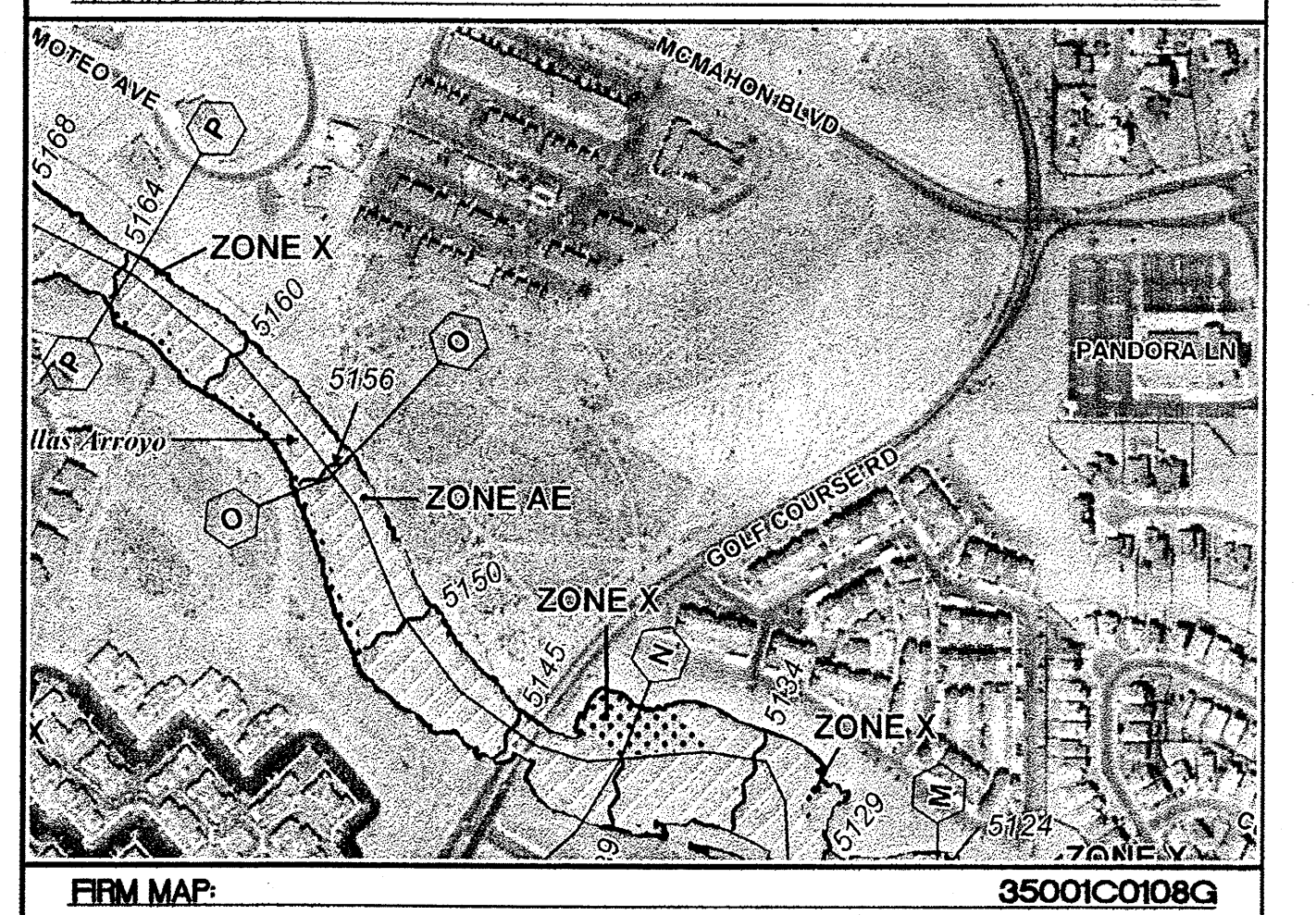
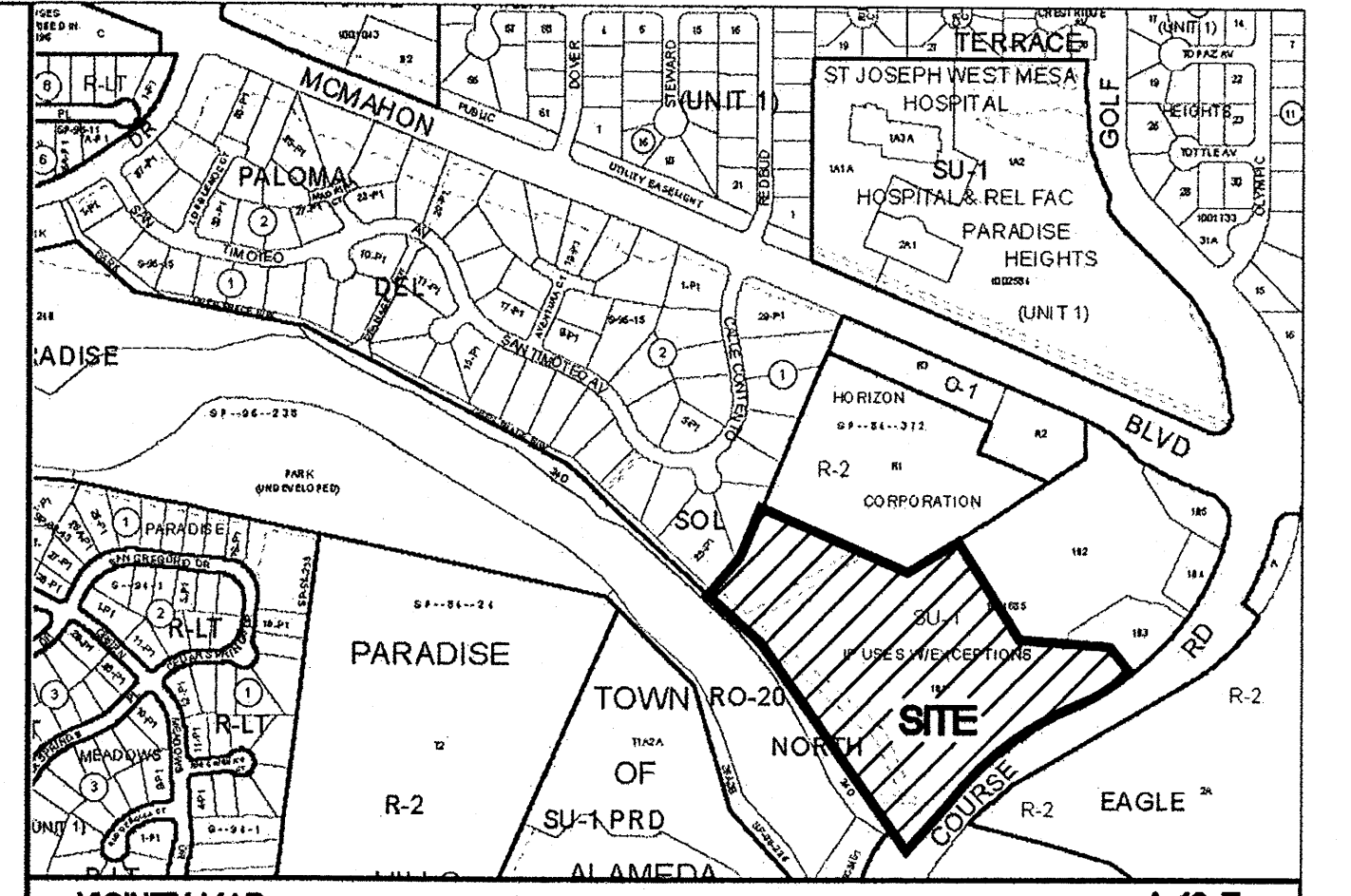
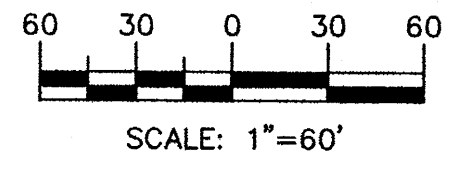
- (A) CURB & GUTTER PER COA STD DWG #2415B
- (B) HEADER CURB PER COA STD DWG #2415B
- (C) AC BERM PER COA STD DWG #2415B
- (D) ACCESSIBLE RAMP W/ TRUNCATED DOMES PER COA STD DWG #2426
- (E) ADA RAMP "B" PER DETAIL SHEET C7

EASEMENTS

- 1 EXISTING PRIVATE 30' DRAINAGE & UTILITY EASEMENT (11/17/05, 2005C-371)
- 2 EXISTING 10' PUBLIC UTILITY EASEMENT (8/8/90, 90C-182)
- 3 EXISTING 30' SANITARY SEWER & STORM DRAIN EASEMENT (8/8/90, 90C-182)
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- 12 SLOPE EASEMENT AGREEMENT (1/9/06, A110, 3271)



GRAPHIC SCALE



- GENERAL NOTES:**
1. RISER PIPE MATERIAL - CORRUGATED METAL PIPE, PVC, HDPE OR OTHER PLASTIC MATERIAL.
 2. GEOTEXTILE FILTER FABRIC (MIRAFI, OR EQUAL).
 3. RISER PERFORATION SHALL BE 1" # 6" O.C.
 4. ALL PIPE CONNECTION SHALL BE WATERTIGHT.
 5. FILL MATERIAL AROUND PIPE SHALL BE COMPACTED IN 4 INCHES LIFTS. A MINIMUM OF 2 FEET OF COMPACTED BACKFILL SHALL BE PLACED OVER THE PIPE BEFORE CROSSING IT WITH CONSTRUCTION TRAFFIC.
 6. SIDE SLOPES SHALL BE 3:1 OR FLATTER.

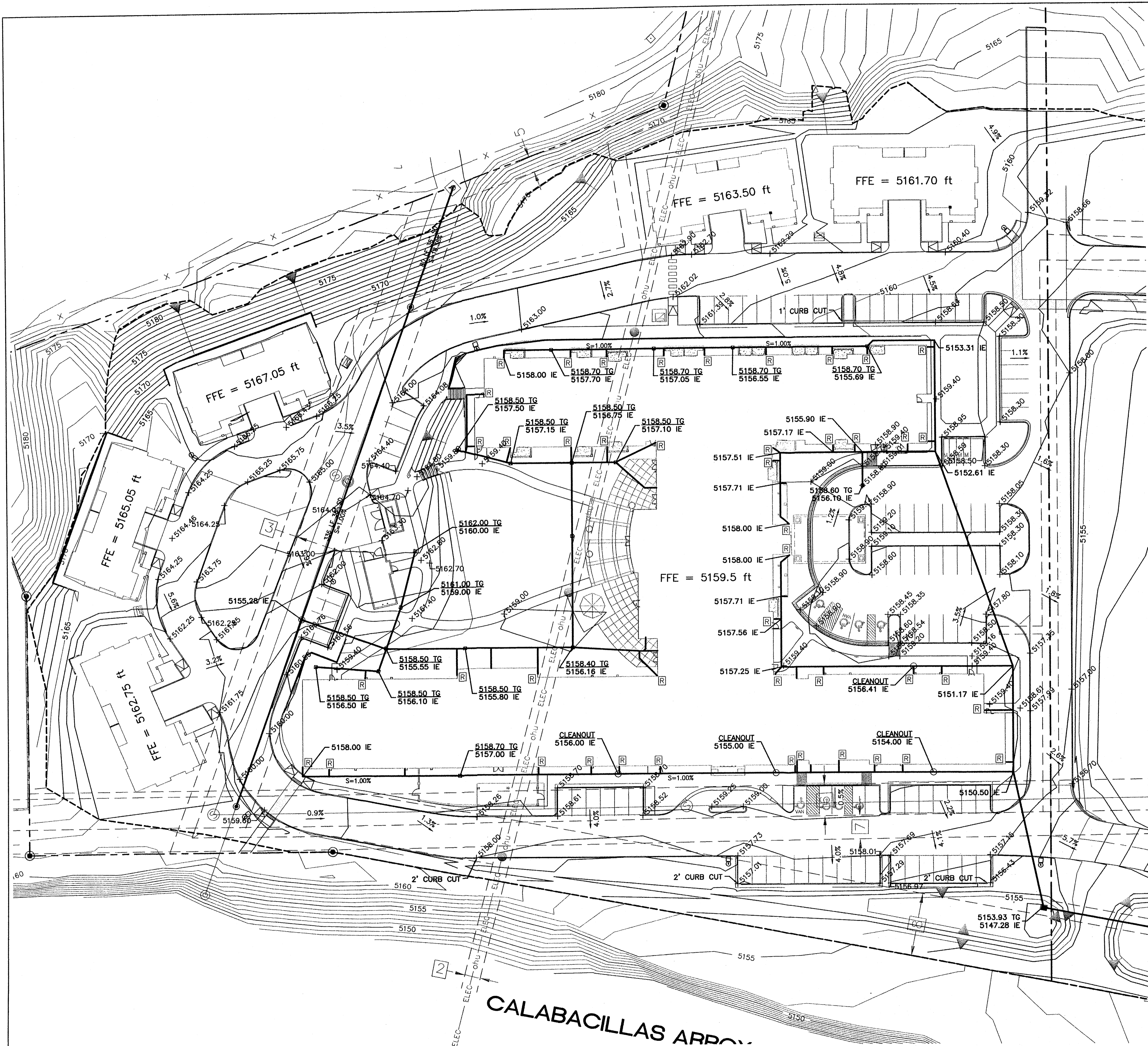
SEDIMENT BASIN WITH PIPE OUTLET
N.T.S.

NOTE:
COMMON DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED BY THE REPLAT.

ROUGH GRADING APPROVAL _____ DATE _____

ENGINEER'S SEAL	SPECTRUM ASSISTED LIVING	DRAWN BY BJF
	GRADING AND DRAINAGE PLAN	DATE 10/28/11
		2011026-GRB
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	SHEET # C3
RONALD R. BOHANNAN P.E. #7868		JOB # 2011026

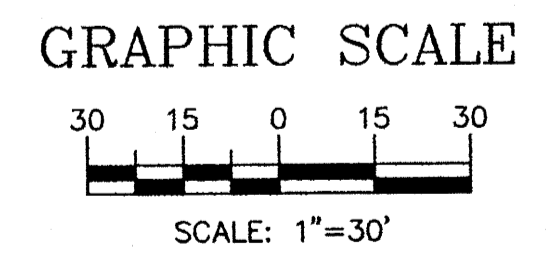
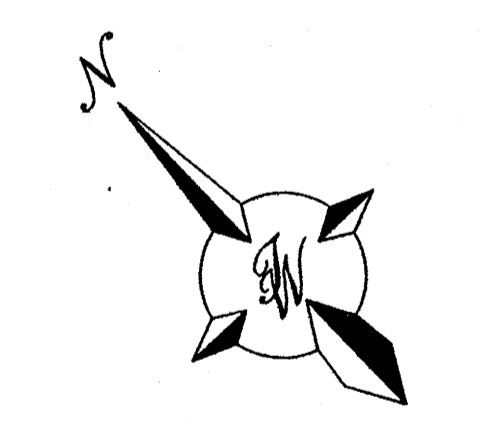
10 OCTOBER 2011



LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	RETAINING WALL
	CONTOUR MAJOR
	CONTOUR MINOR
	SPOT ELEVATION
	FLOW ARROW
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING CONTOUR MAJOR
	EXISTING CONTOUR MINOR
	EXISTING SPOT ELEVATION
	DRAIN SPOUT

NOTE:
GRADES ON CURB LINE ARE FLOWLINE UNLESS OTHERWISE SPECIFIED.



ENGINEER'S SEAL	SPECTRUM ASSISTED LIVING	DRAWN BY BJF
	GRADING AND DRAINAGE PLAN	DATE 10/28/11
		2011026-GRB-30
		SHEET #
		C4
		JOB #
		2011026

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.tierrawestllc.com

RONALD R. BOHANNAN
P.E. #7868

CALABACILLAS ARROYO

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

EASEMENTS

- 1 EXISTING PRIVATE 30' DRAINAGE & UTILITY EASEMENT (11/17/05, 2005C-371)
- 2 EXISTING 10' PUBLIC UTILITY EASEMENT (8/8/90, 90C-182)
- 3 EXISTING 30' SANITARY SEWER & STORM DRAIN EASEMENT (8/8/90, 90C-182)
- 4 EXISTING 20' SANITARY SEWER EASEMENT (8/14/84, MISC.143A-430)
- 5 EXISTING 10' SANITARY SEWER EASEMENT (MISC.156A-43)
- 6 EXISTING 20' SANITARY SEWER EASEMENT (C28-174)
- 7 EXISTING 15' WATERLINE EASEMENT (C32-69)
- 8 EXISTING ACCESS AND UTILITY EASEMENT (9/14/94, MISC. 9426 PAGES 4616-4619)
- 9 EXISTING 20' SANITARY SEWER EASEMENT (11/17/05, 2005C-371)
- 10 EXISTING SIDEWALK EASEMENT (11/17/05, 2005C-371)
- 11 EXISTING 15' ELECTRIC EASEMENT (6/30/85, C28-174)
- 12 SLOPE EASEMENT AGREEMENT (1/9/06, A110, 3271)

GENERAL NOTES:

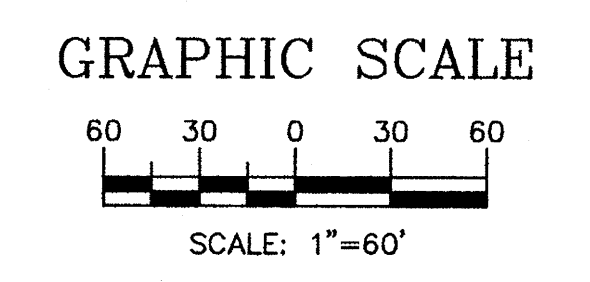
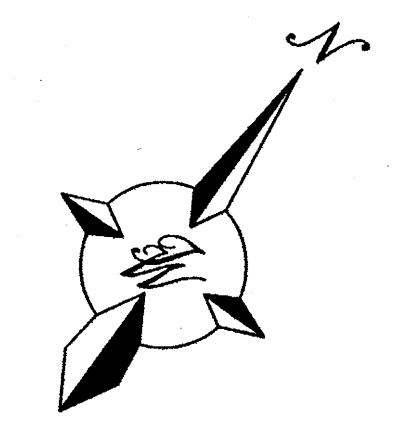
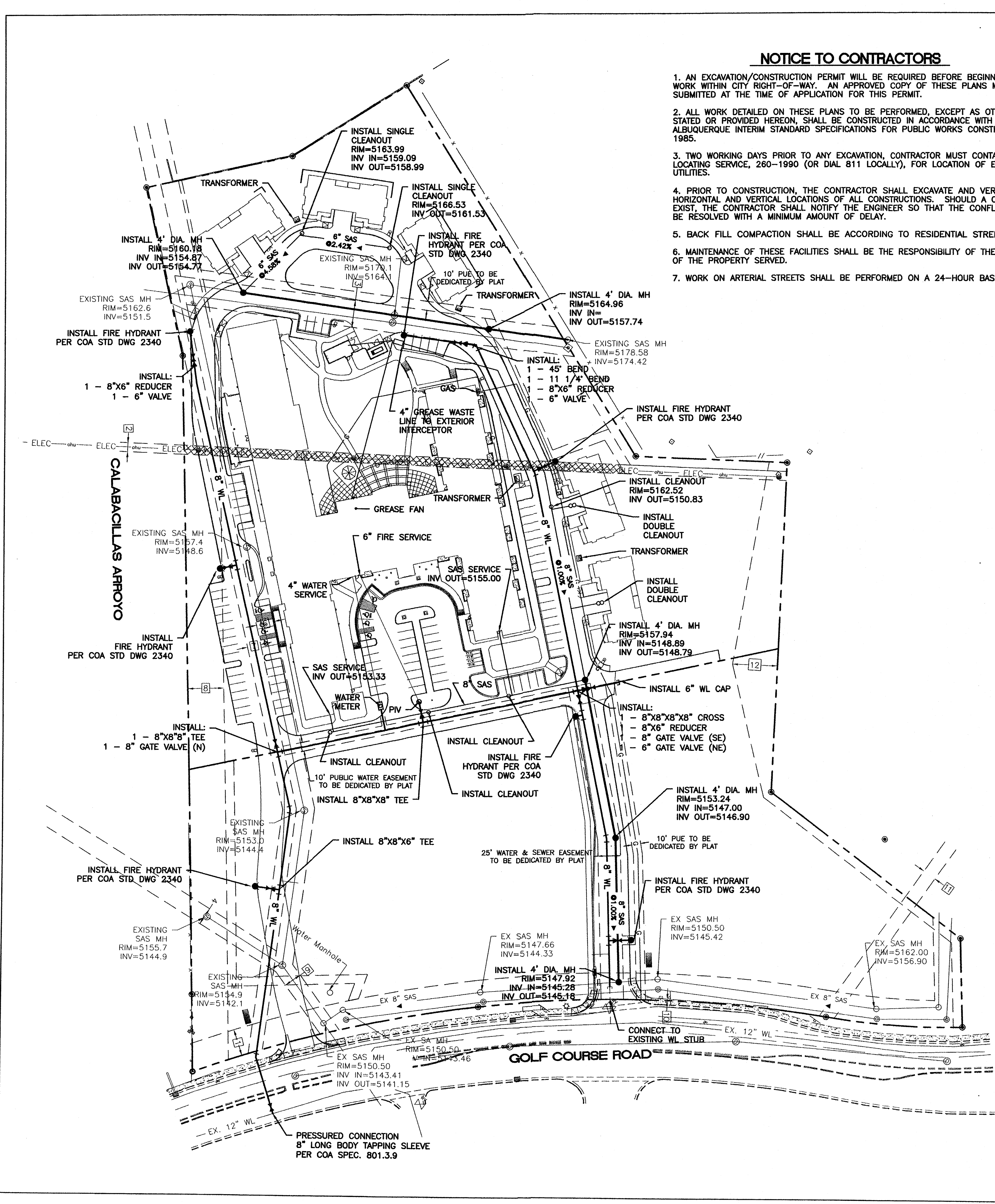
1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
3. ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
4. CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. CLEAN OUTS & MANHOLE TIE POINTS ARE TAKEN USING THE NW PROPERTY CORNER X=10,000, Y=10,000 SEE TABLE 2.
6. SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
7. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.

KEYED NOTE:

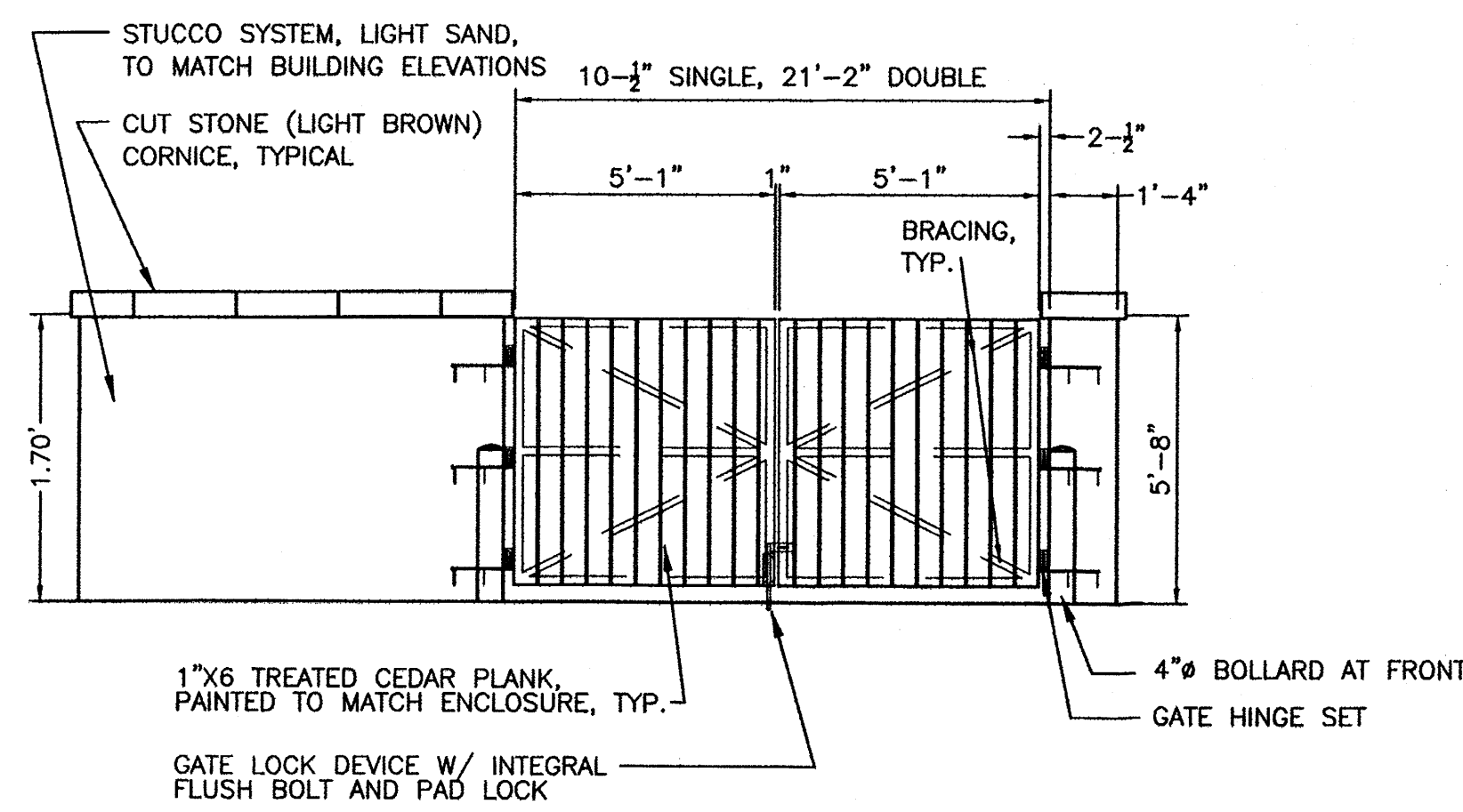
- (A) INSTALL 1 1/2" SERVICE LATERAL
- (B) INSTALL METER BOX W/COVER & LID PER COA STD DWG #2363
- (C) GREASE TRAP

LEGEND

- ===== CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- ===== BUILDING
- ===== SIDEWALK
- ===== SCREEN WALL
- ===== RETAINING WALL
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- 36" SD ----- STORM SEWER LINE
- 6" SAS ----- SANITARY SEWER LINE
- 8" WL ----- WATERLINE
- SINGLE CLEAN OUT
- EXISTING SD MANHOLE
- EXISTING INLET
- EXISTING SAS MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING POWER POLE
- EXISTING GAS VALVE
- EXISTING OVERHEAD UTILITIES
- EX. UGE ----- EXISTING UNDERGROUND UTILITIES
- EX. 2" GAS ----- EXISTING GAS
- EX. 8" SAS ----- EXISTING SANITARY SEWER LINE
- EX. 10" WL ----- EXISTING WATER LINE
- EX. 18" RCP ----- EXISTING STORM SEWER LINE

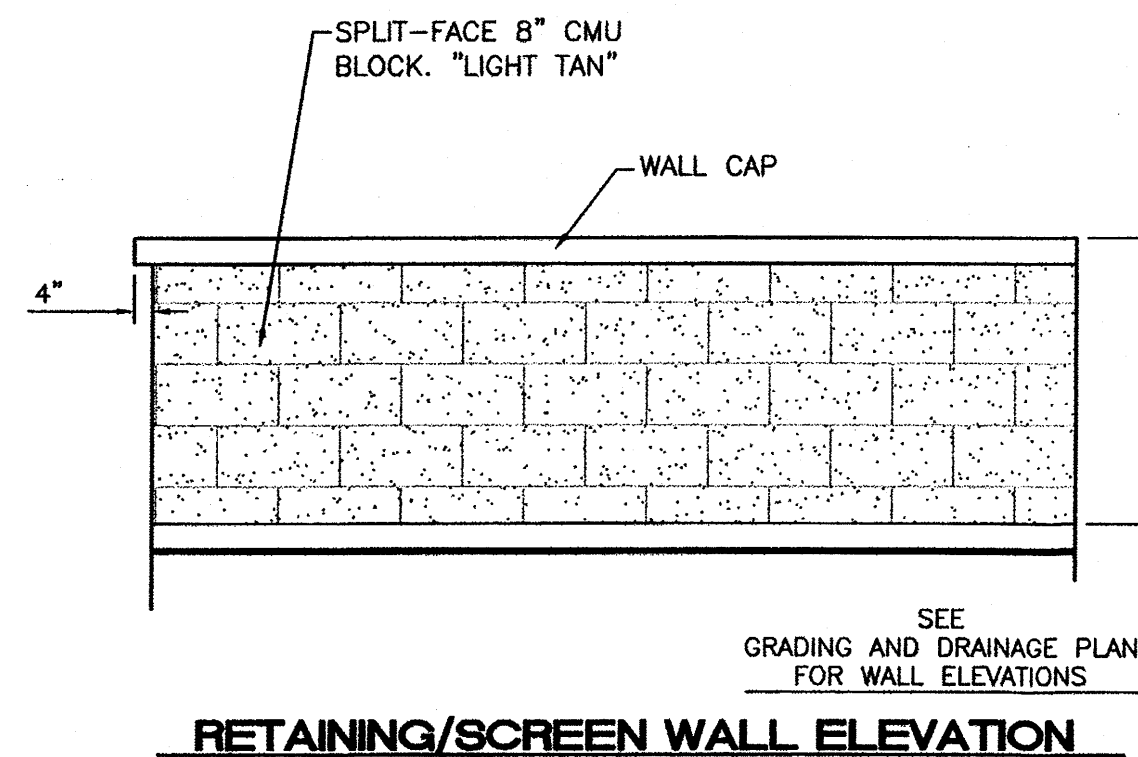


ENGINEER'S SEAL	SPECTRUM ASSISTED LIVING	DRAWN BY BJF
	MASTER UTILITY PLAN	DATE 10/18/11
		2011026-MUB
		SHEET # C5
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2011026

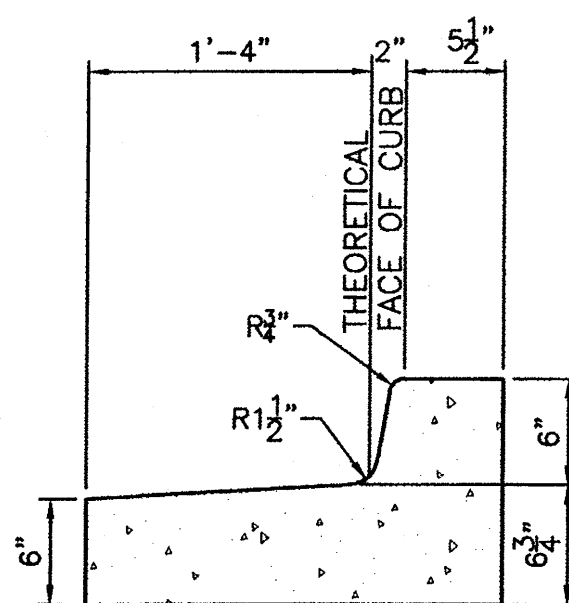


REFUSE ENCLOSURE ELEVATION

NTS
*SEE ARCHITECTURAL PLANS FOR DETAIL



RETAINING/SCREEN WALL ELEVATION

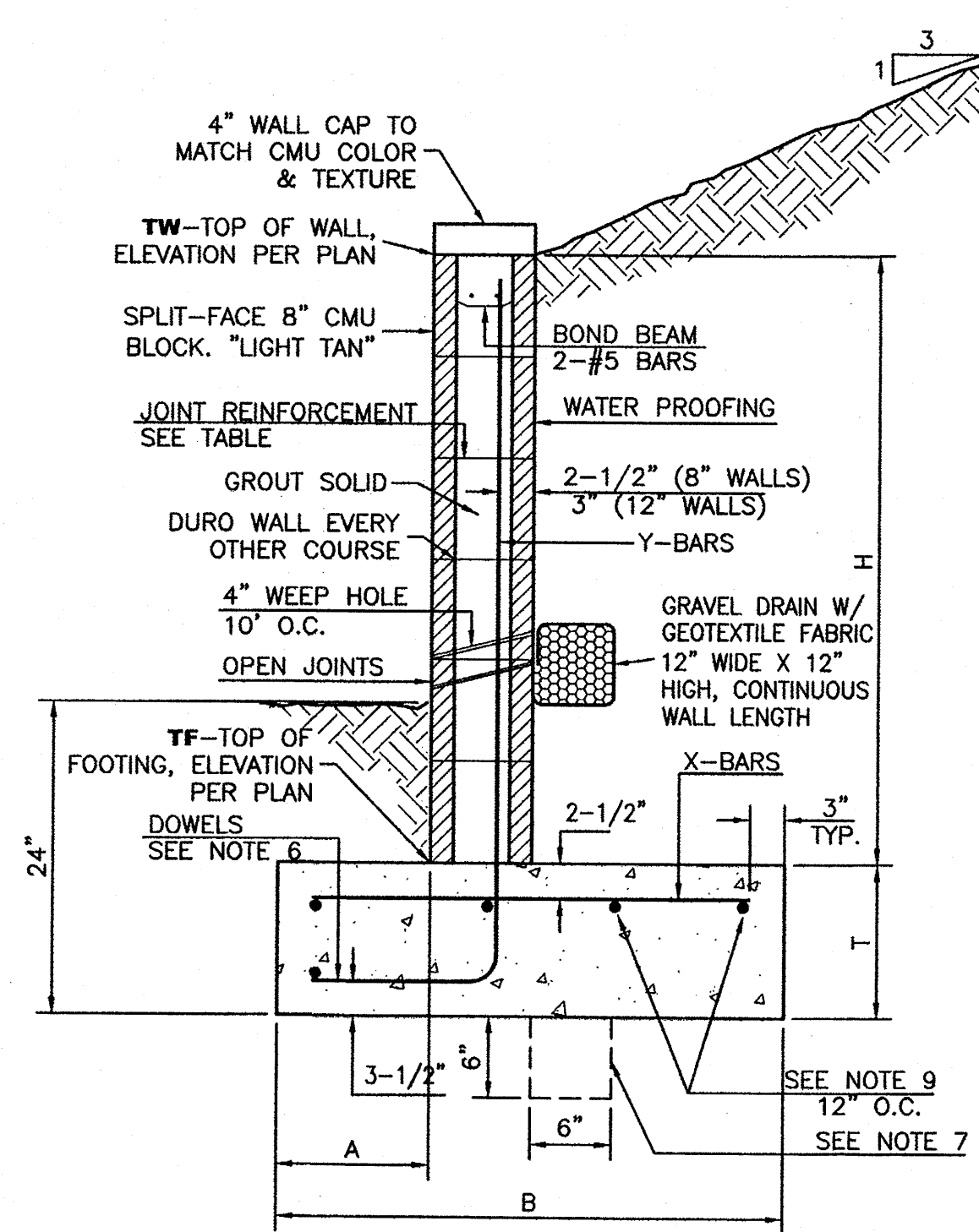


CURB GENERAL NOTES:

1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
2. PROVIDE CONTRACTION JTS. 12' MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS., SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
4. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

STANDARD CURB / GUTTER

NTS



RETAINING WALL DETAIL

NTS

8 INCH REINFORCED CONCRETE MASONRY WALL

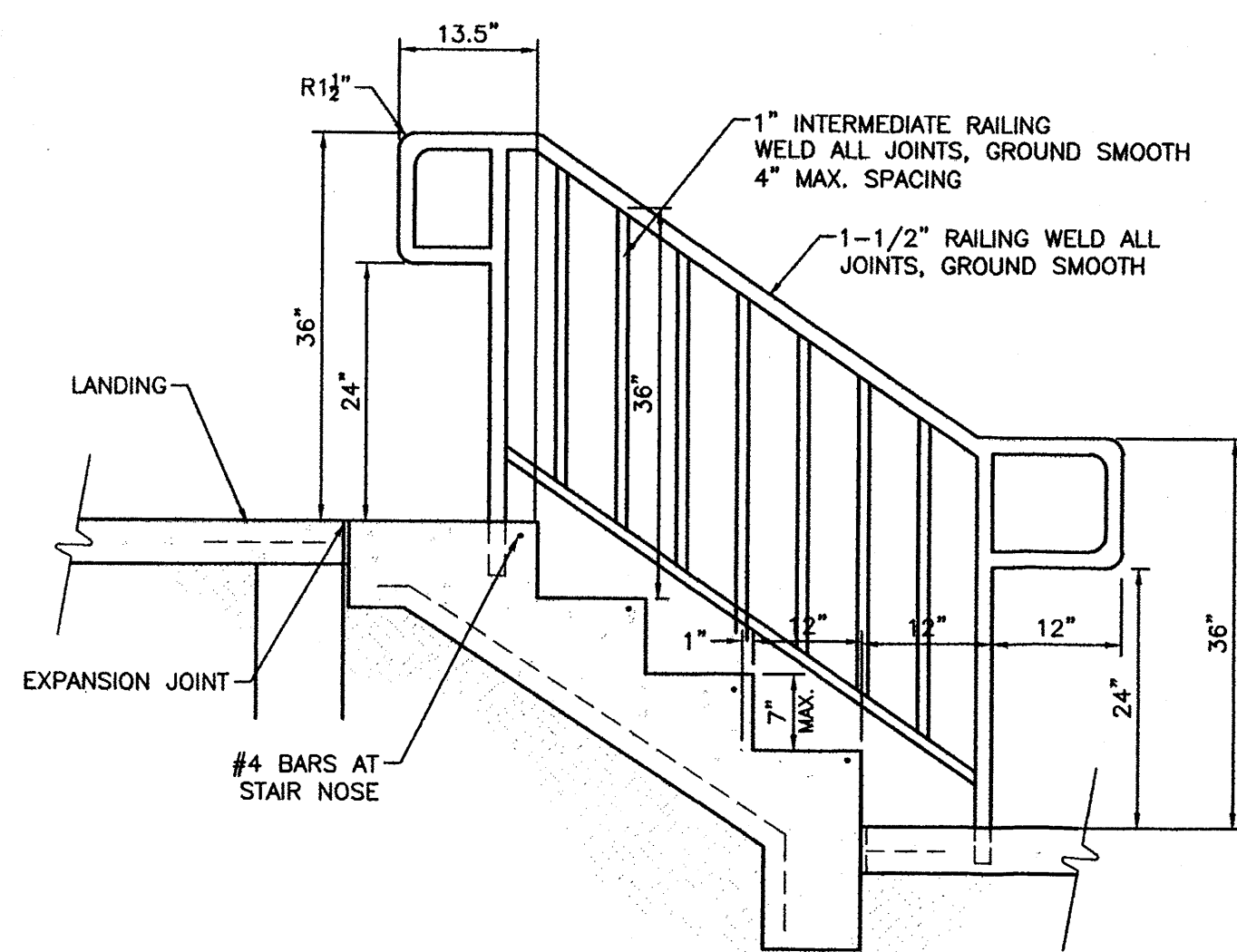
H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
2'-0"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
2'-8"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-0"	10"	2'-8"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#4 @18" O.C.
5'-4"	14"	3'-10"	10"	#6 @16" O.C.	#4 @18" O.C.
6'-0"	16"	4'-8"	12"	#6 @ 8" O.C.	#4 @12" O.C.

12 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#6 @18" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @18" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#5 @18" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#5 @18" O.C.
8'-0"	20"	5'-4"	12"	#7 @18" O.C.	#6 @12" O.C.
8'-8"	20"	5'-8"	12"	#7 @16" O.C.	#6 @12" O.C.

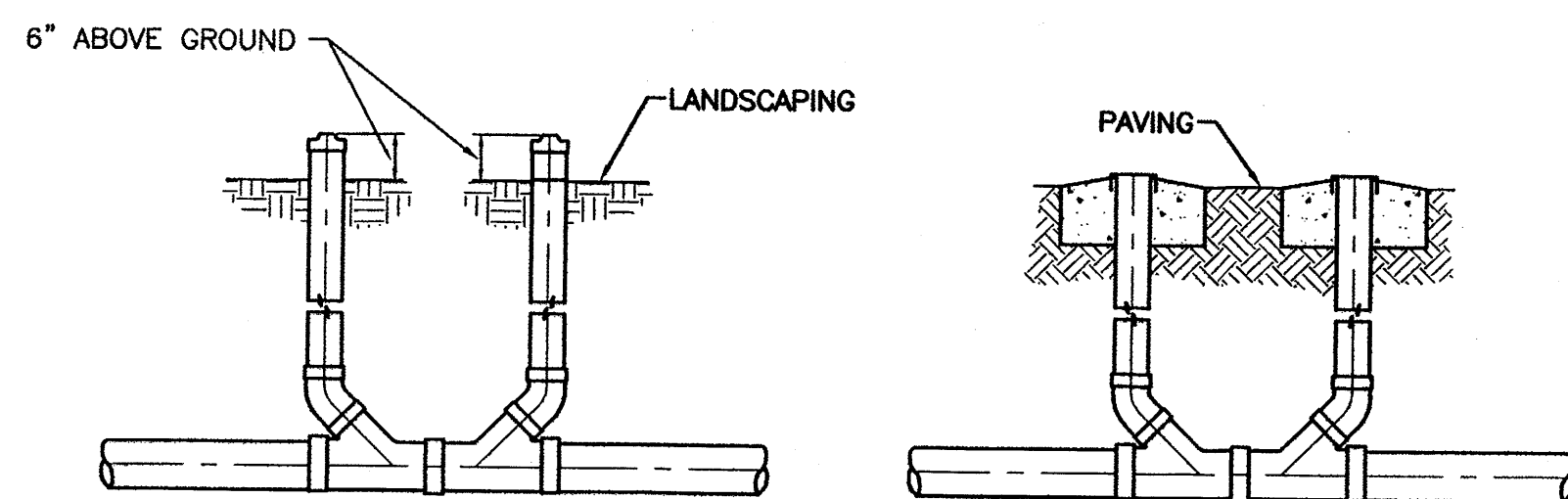
GENERAL NOTES:

1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
9. BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



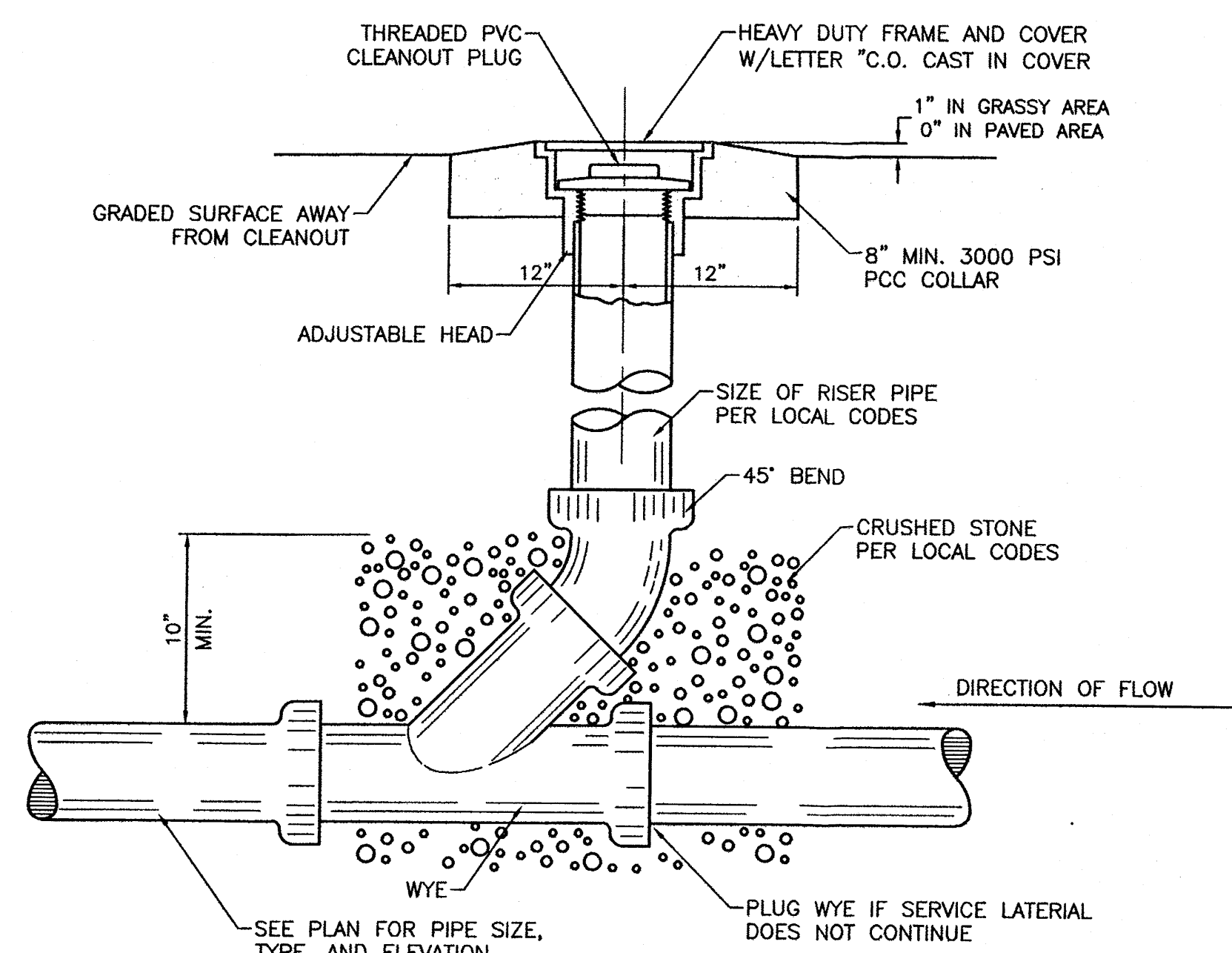
STAIR / HANDRAIL DETAIL

NTS



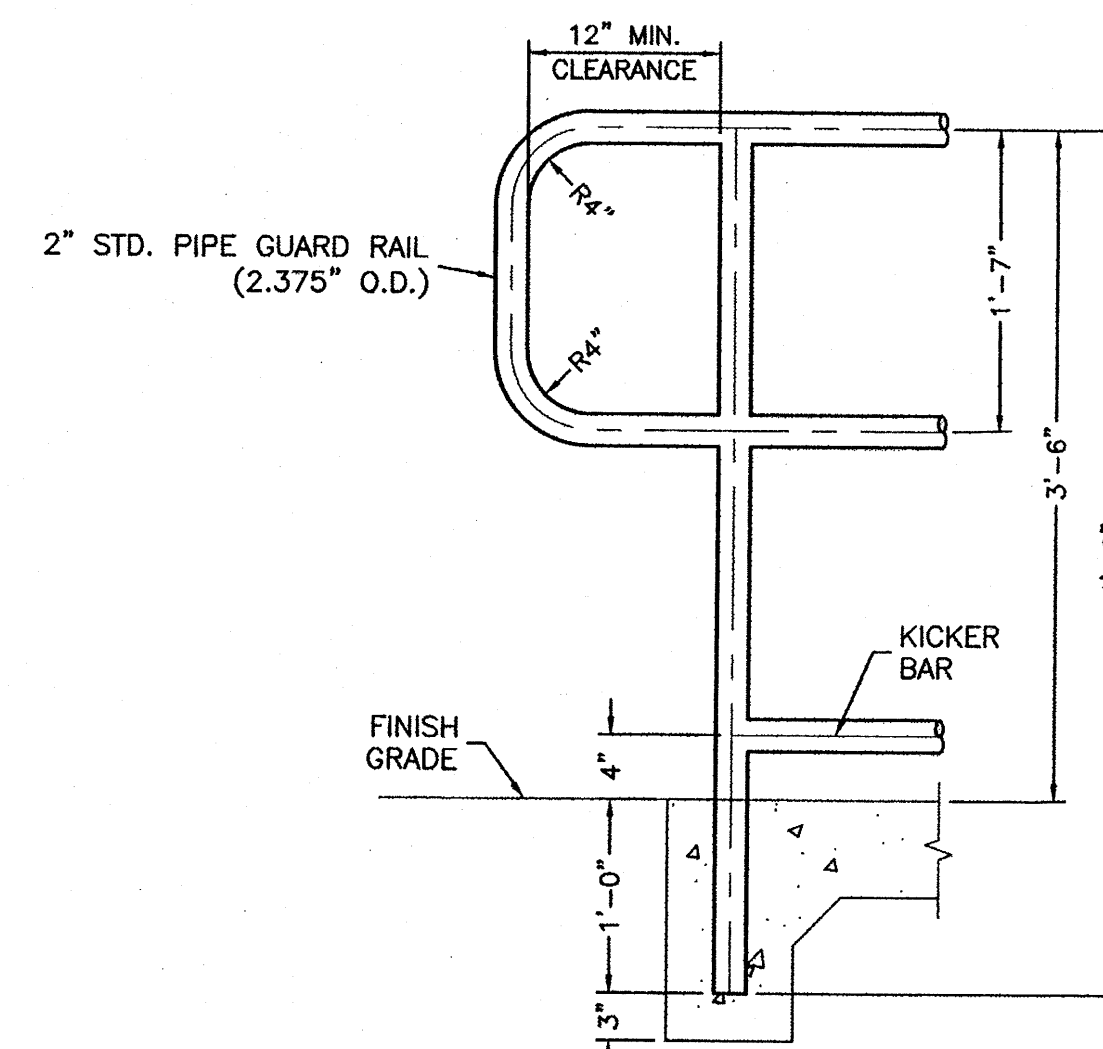
1 SANITARY SEWER DOUBLE CLEAN-OUTS

NTS



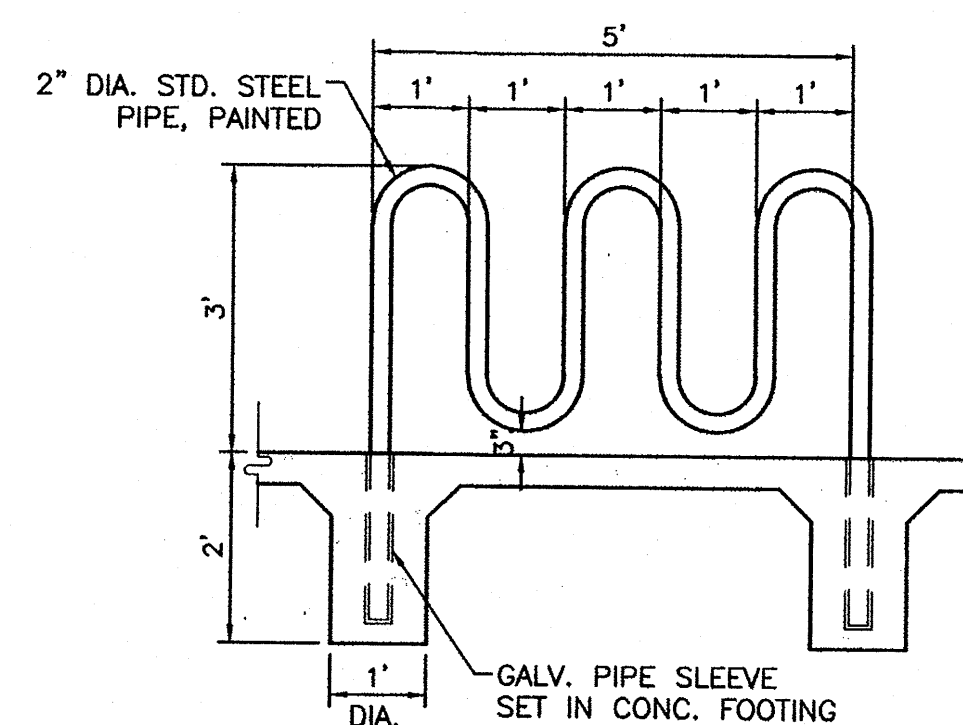
2 SANITARY SEWER CLEAN-OUT

NTS



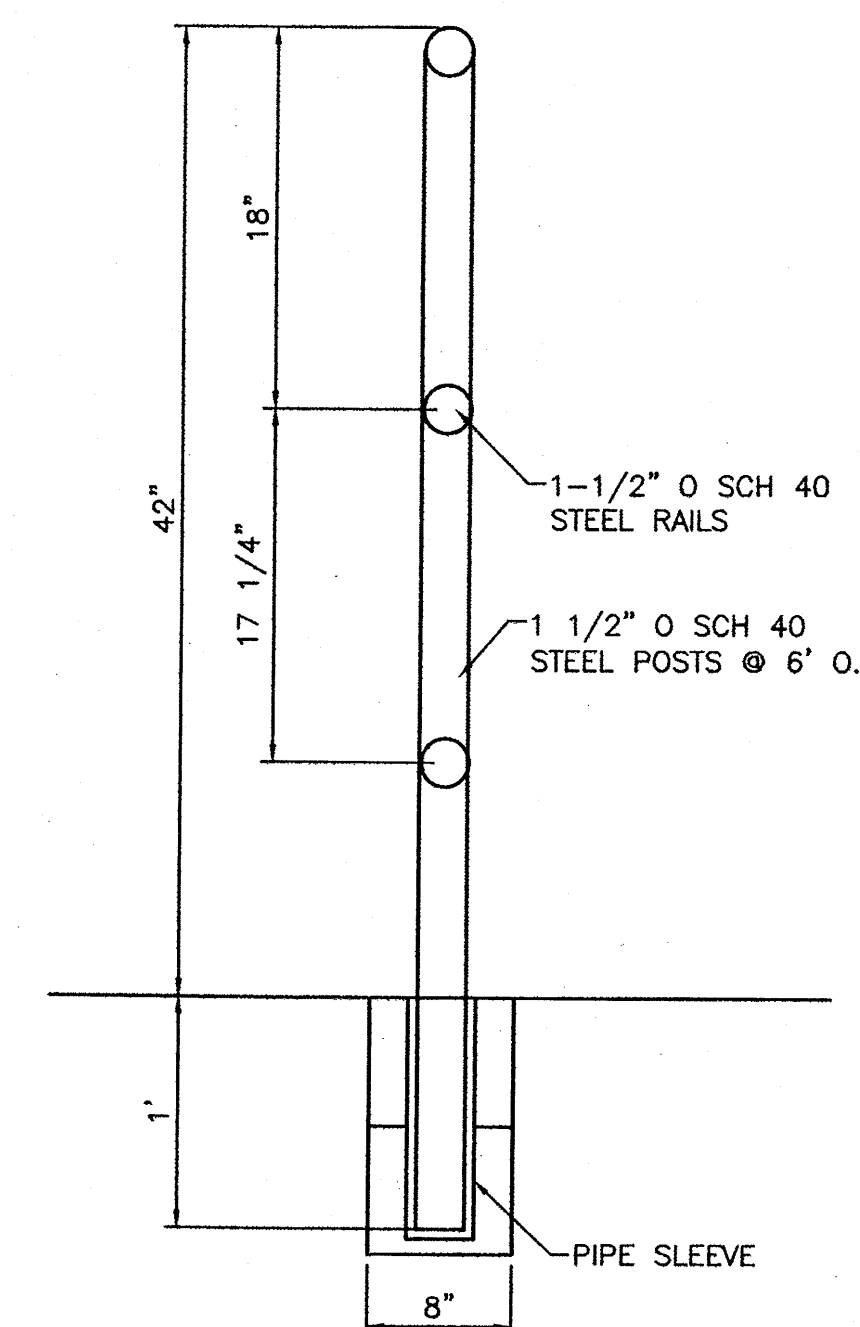
DETAIL - RAIL END-TYPE A

NTS



BIKE RACK DETAIL

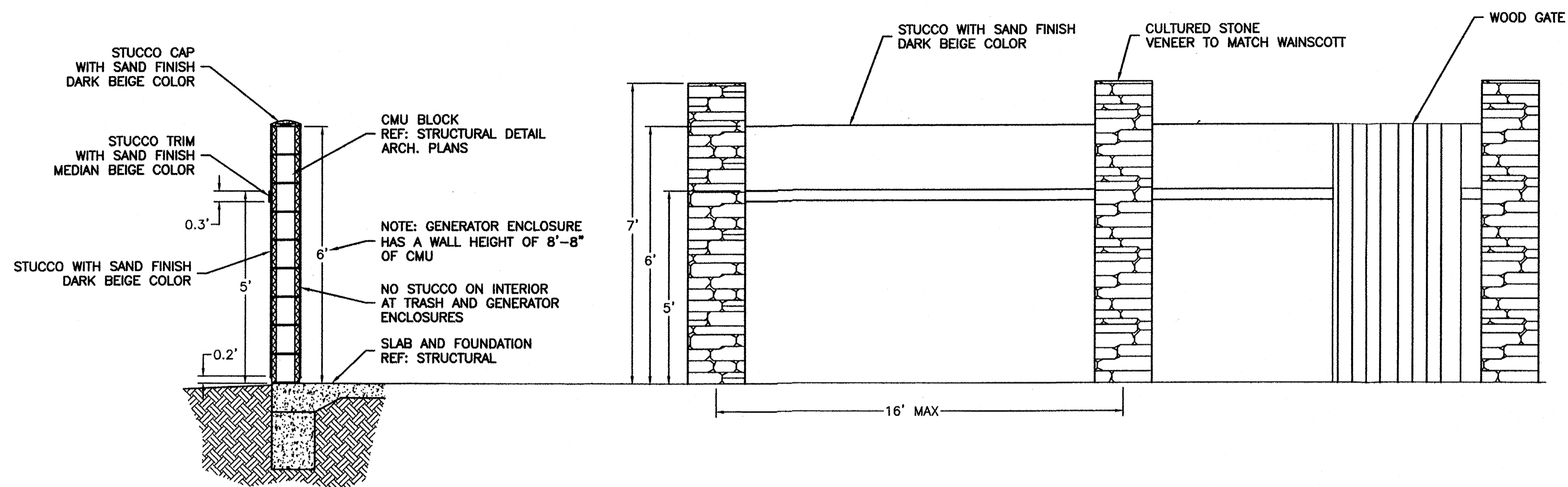
SCALE: 1/2"=1'



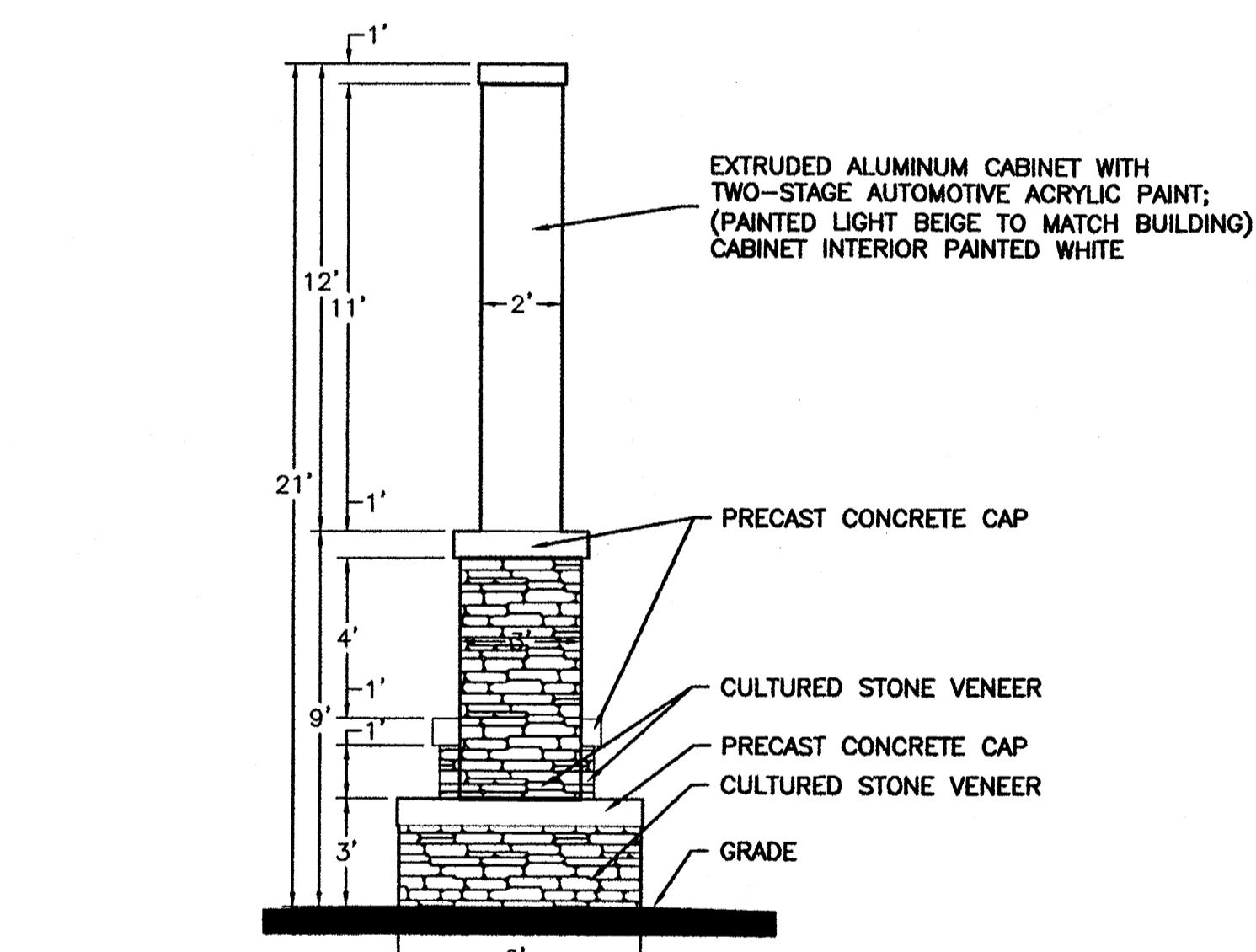
GUARD RAIL DETAIL

NTS

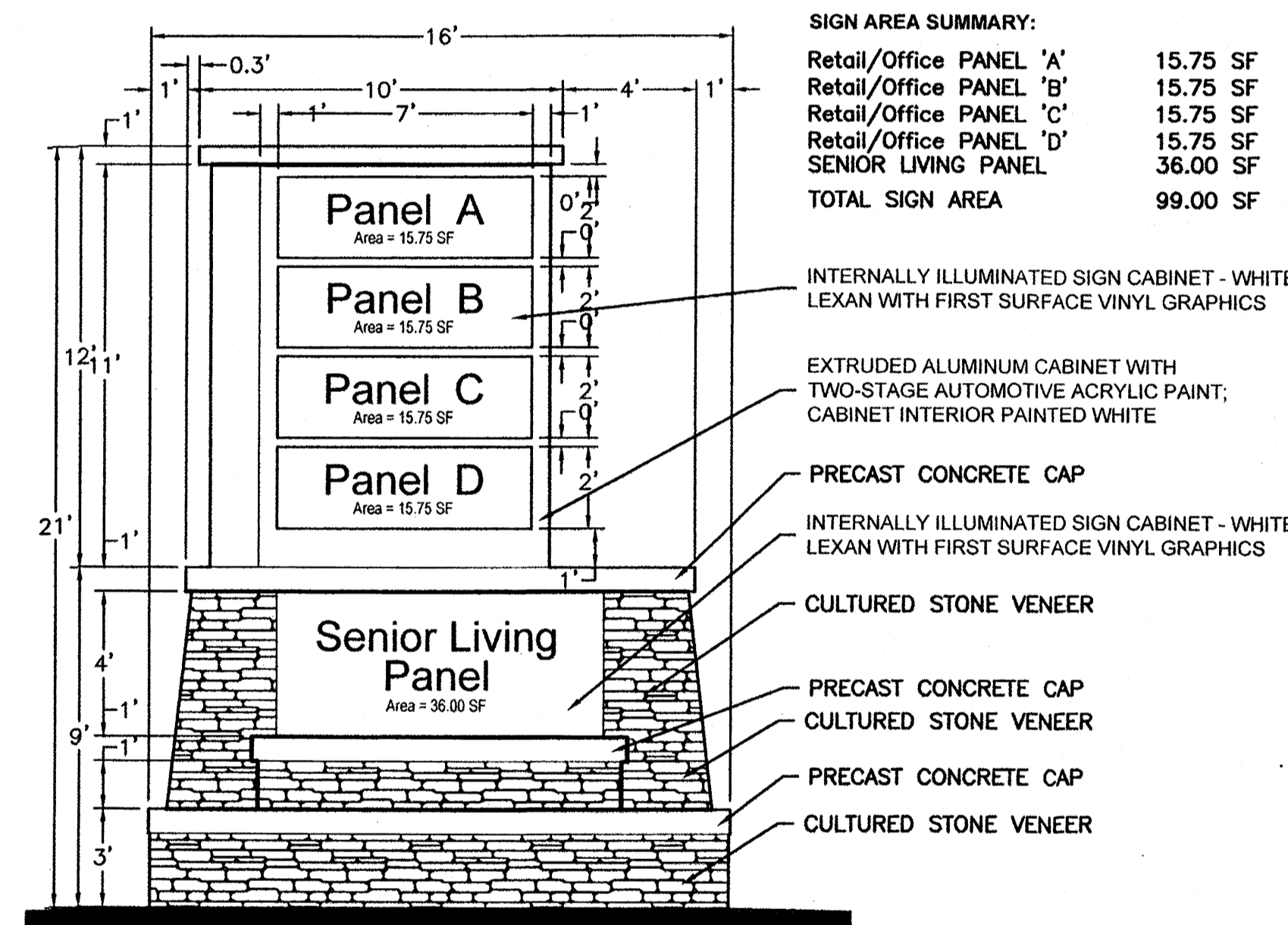
ENGINEER'S SEAL	SPECTRUM ASSISTED LIVING	DRAWN BY BJF
	DETAIL SHEET 1	DATE 10/17/11
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierwestllc.com	2011026-DTE
RONALD R. BOHANNAN P.E. #7888		SHEET # C6
		JOB # 2011026



GARDEN WALL

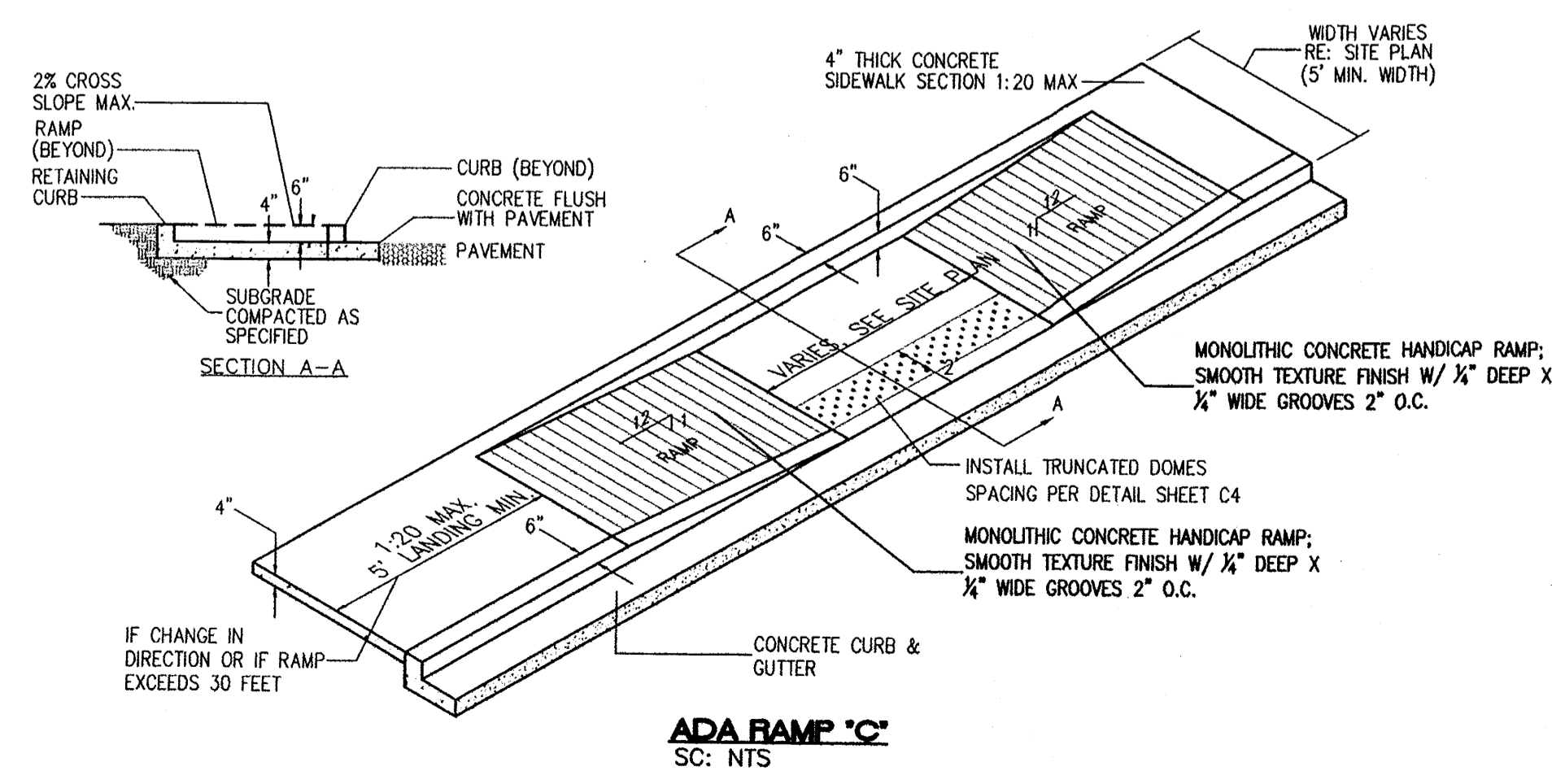


MONUMENT SIGN

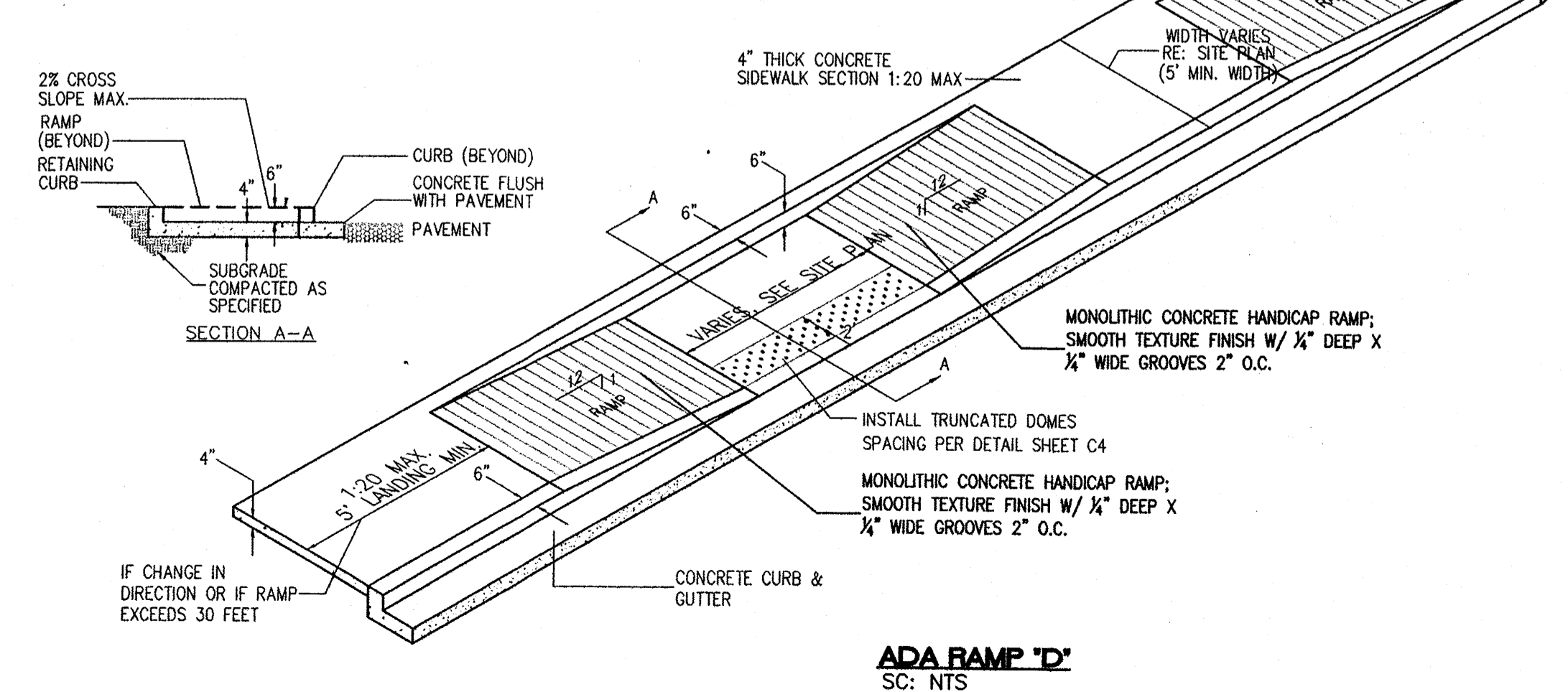


SIGN AREA SUMMARY:

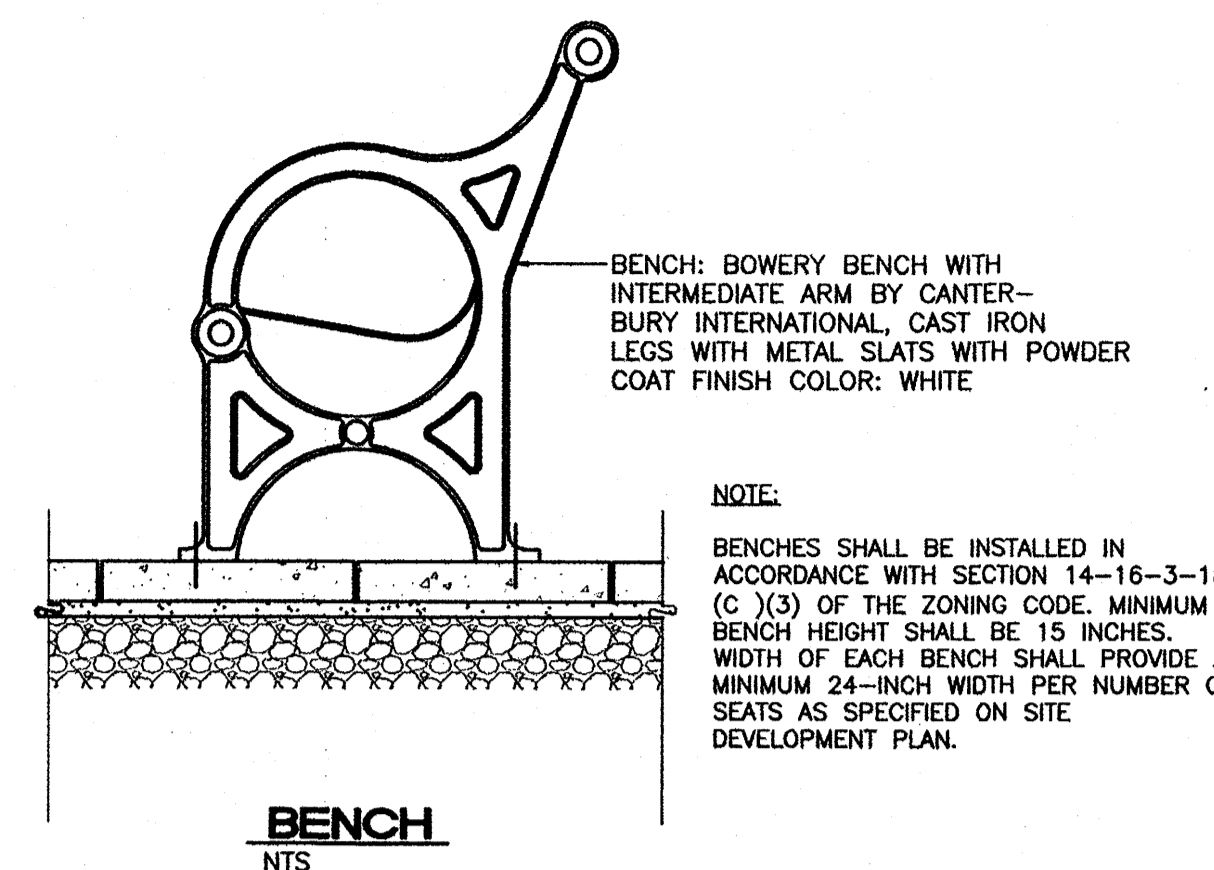
Retail/Office PANEL 'A'	15.75 SF
Retail/Office PANEL 'B'	15.75 SF
Retail/Office PANEL 'C'	15.75 SF
Retail/Office PANEL 'D'	15.75 SF
SENIOR LIVING PANEL	36.00 SF
TOTAL SIGN AREA	99.00 SF



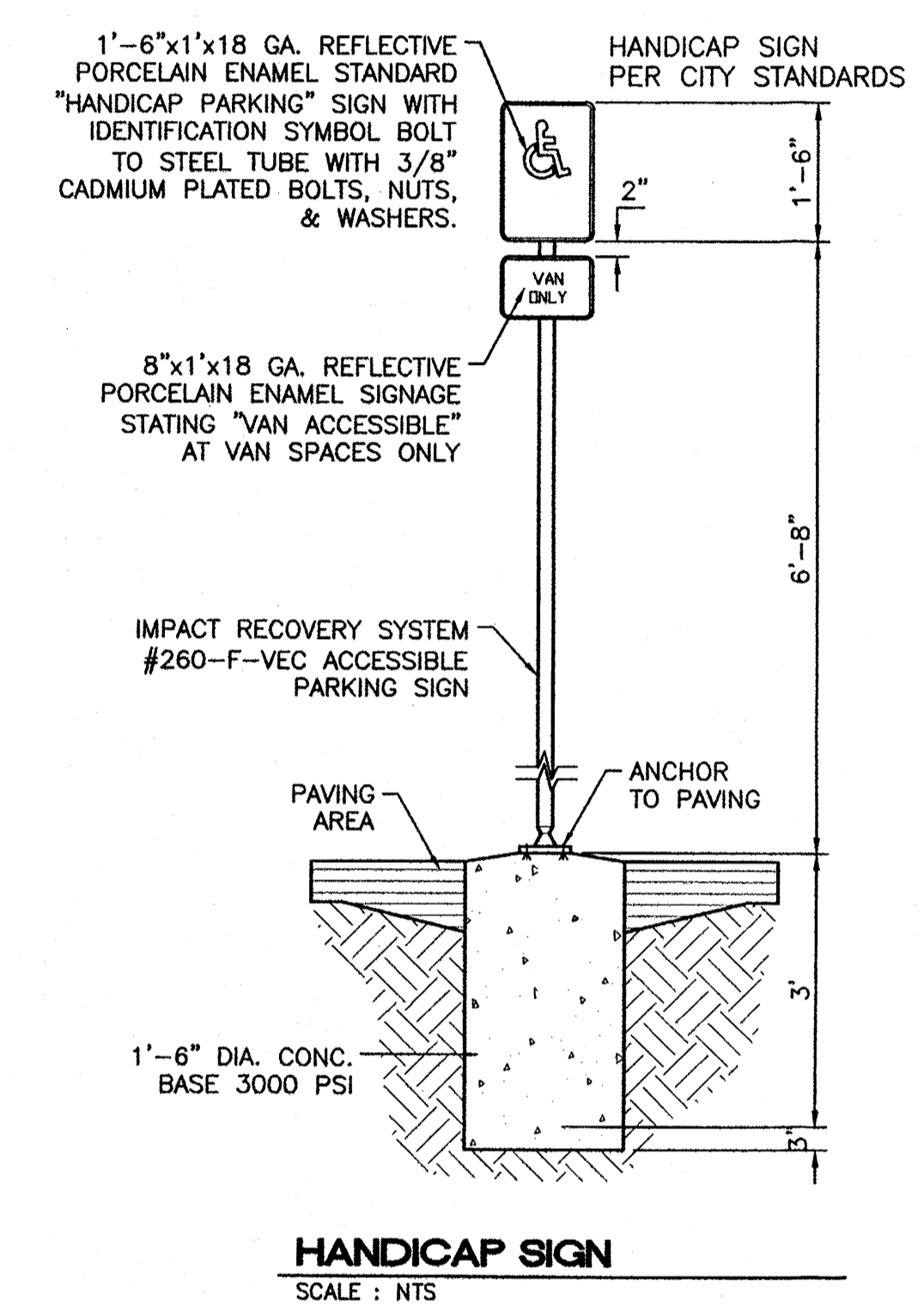
ADA RAMP 'C'
SC: NTS



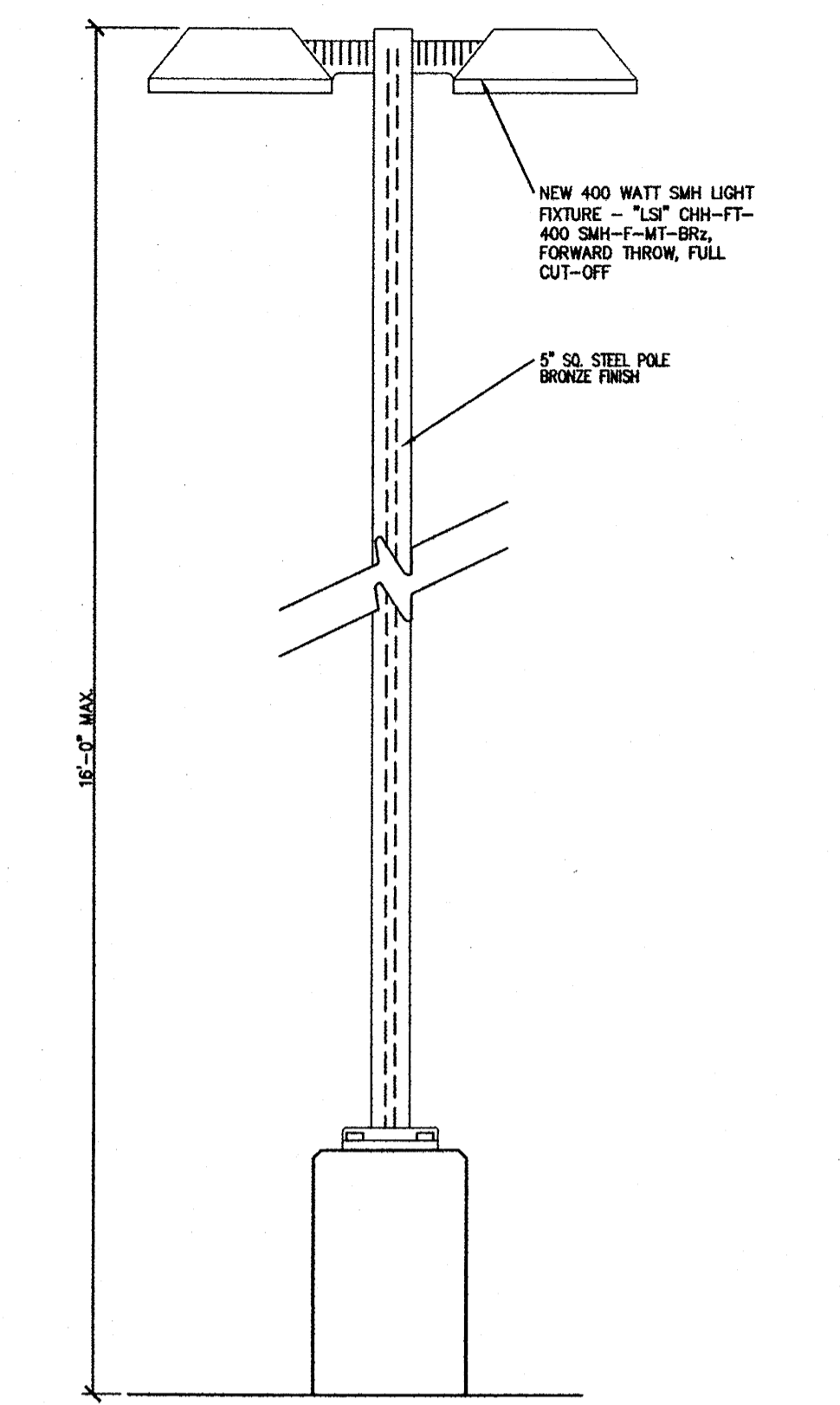
ADA RAMP 'D'
SC: NTS



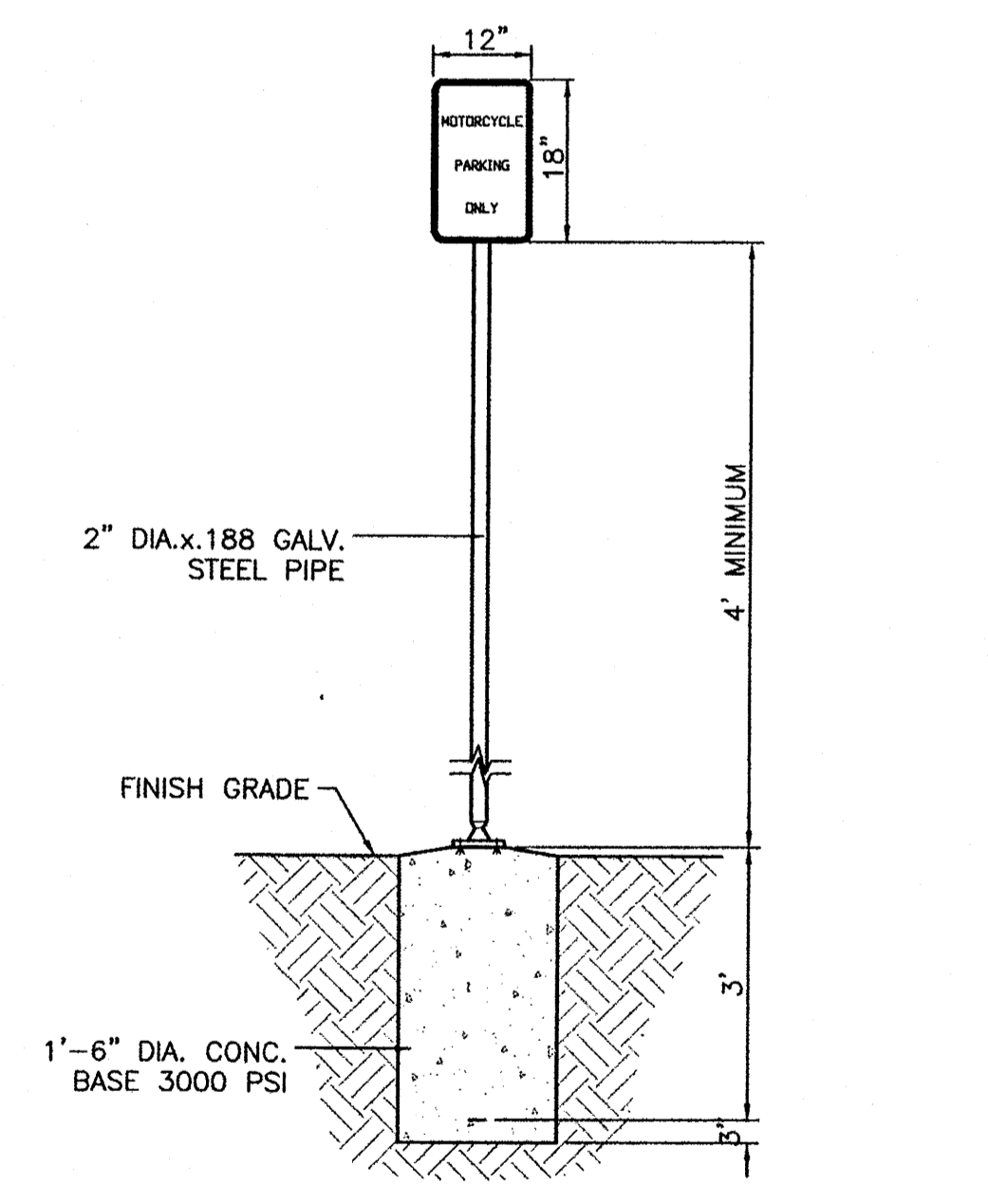
BENCH
NTS



HANDICAP SIGN
SCALE: NTS



AREA LIGHT ELEVATION
SCALE: NTS

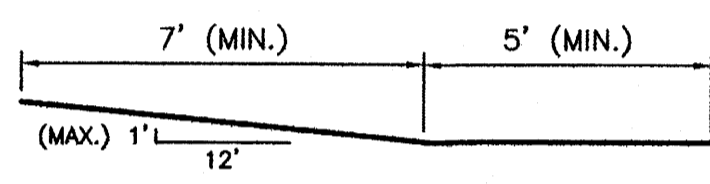
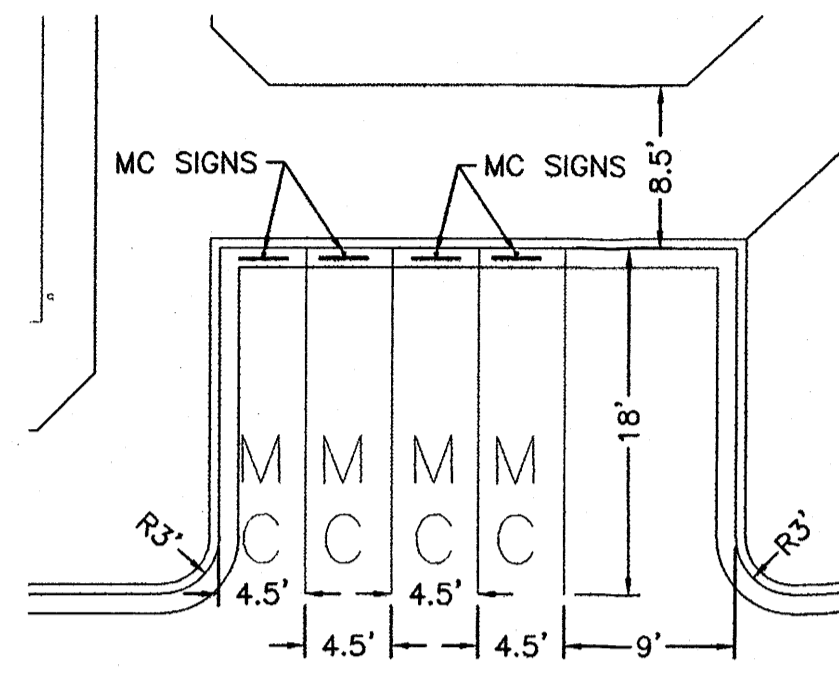
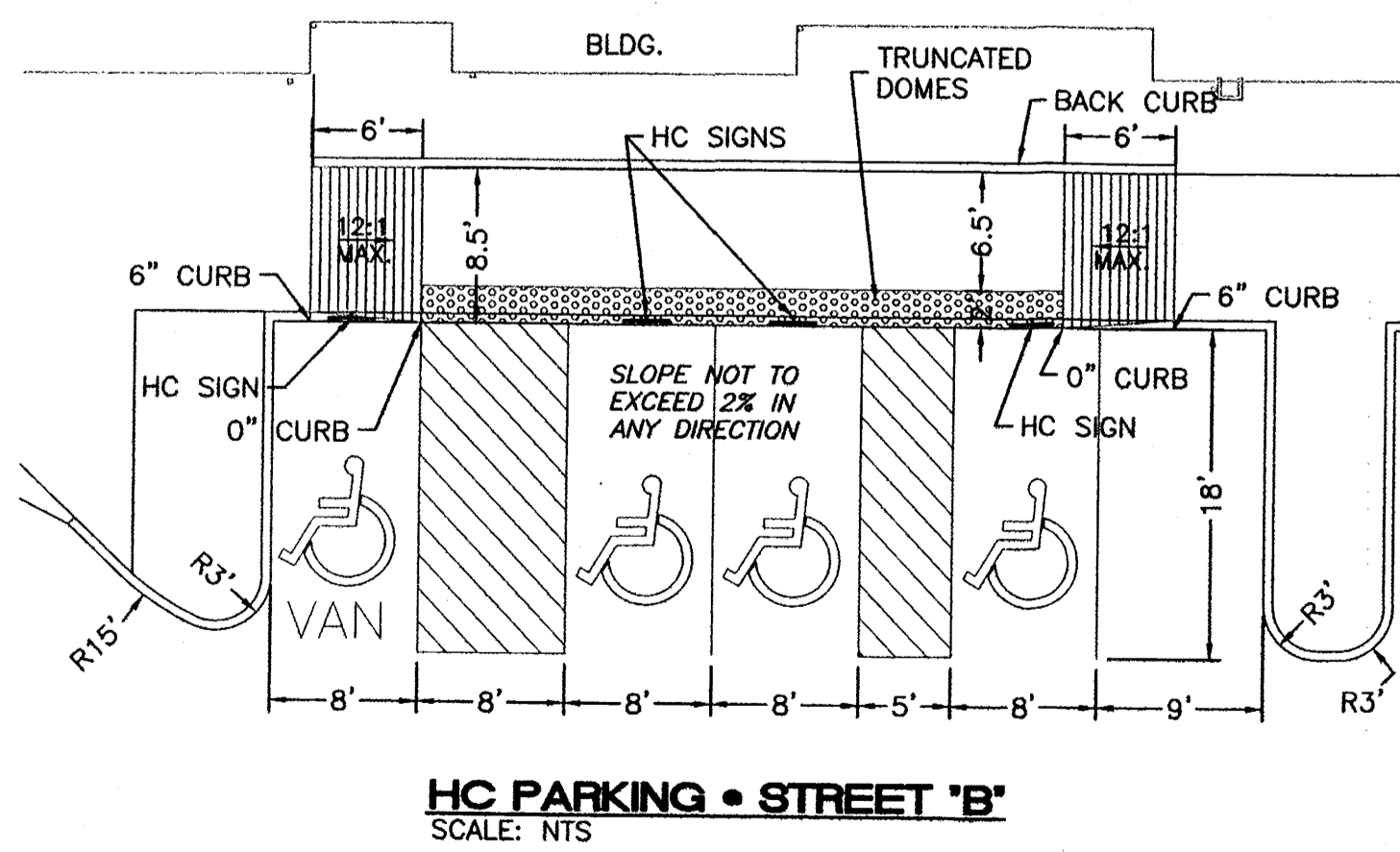
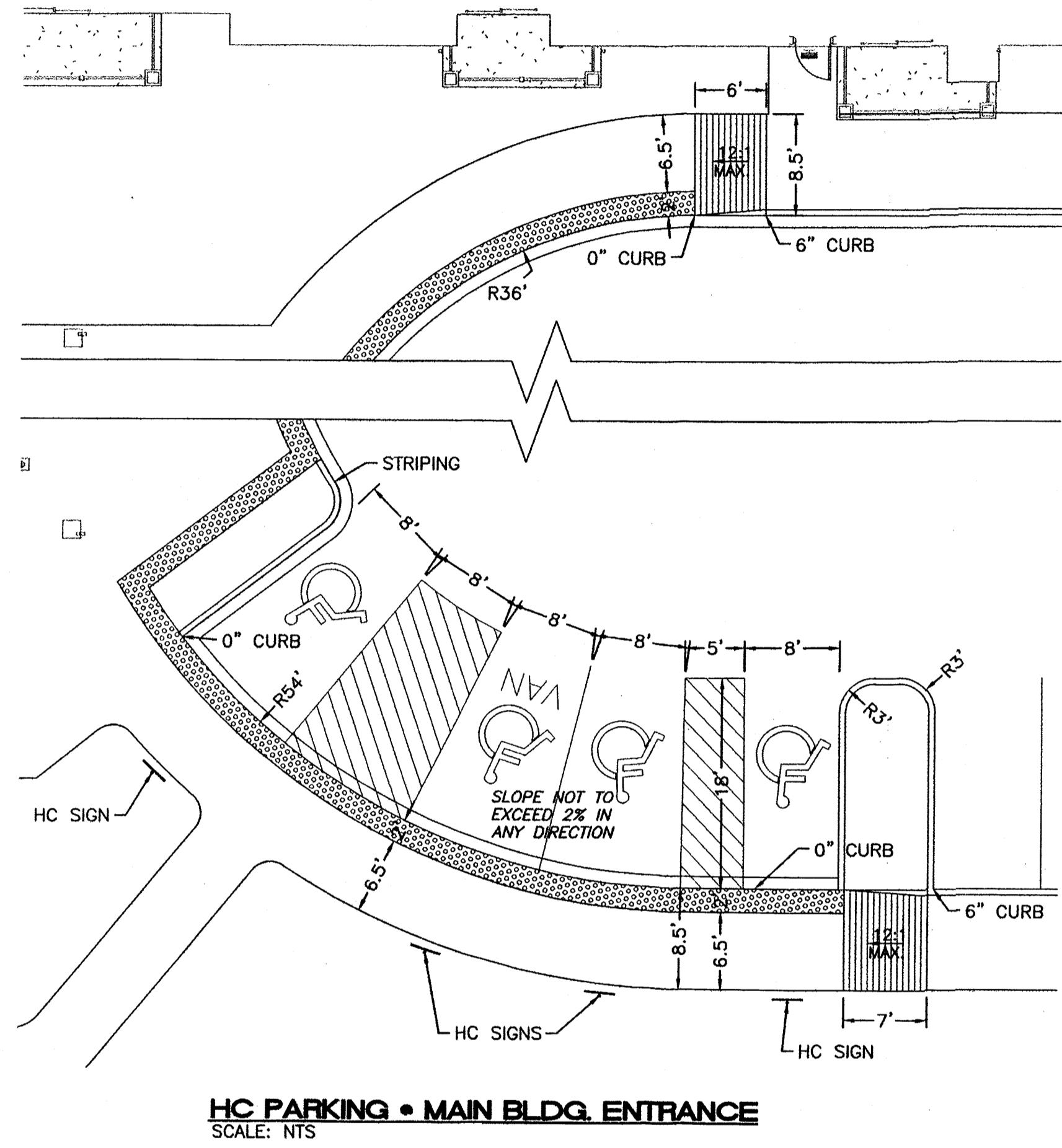


MOTORCYCLE PARKING SIGN
SCALE: NTS

ENGINEER'S SEAL	SPECTRUM ASSISTED LIVING	DRAWN BY BJF
	DETAIL SHEET 2	DATE 11/3/11
		2011026-DTE
		SHEET # C7
		JOB # 2011026

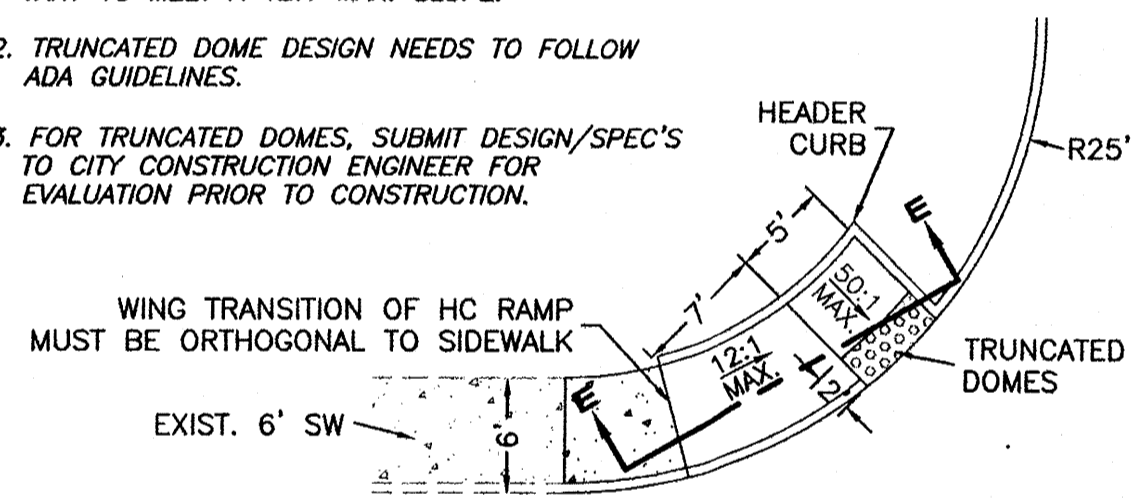
TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.terrawestllc.com

RONALD R. BOHANNAN
P.E. #7868

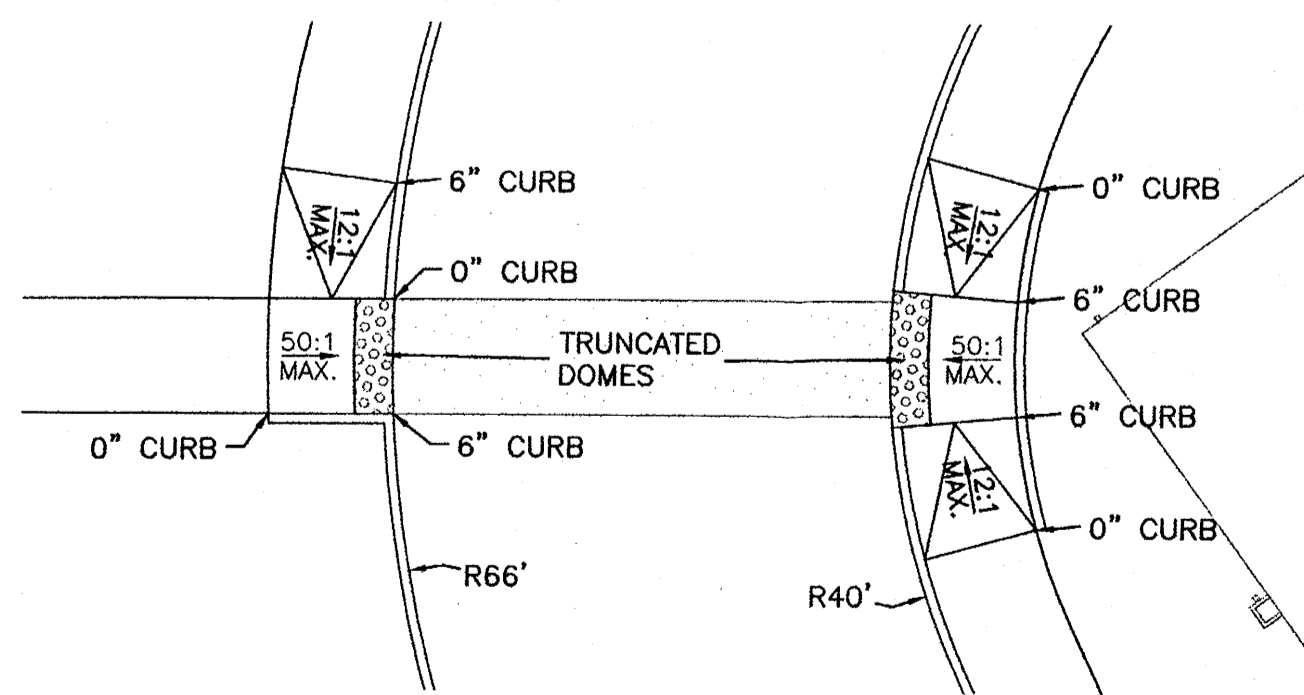


NOTES:

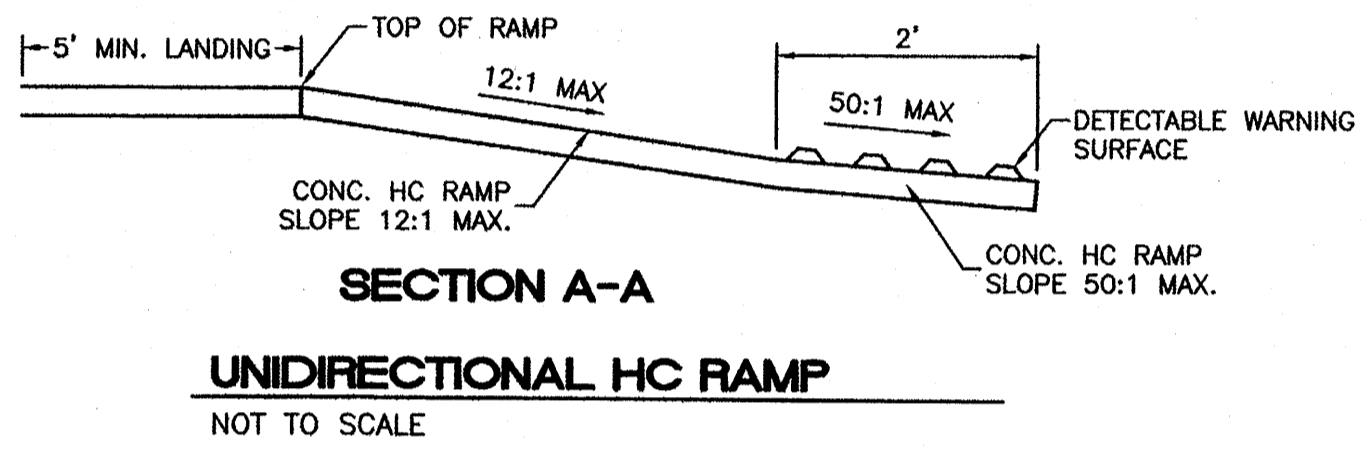
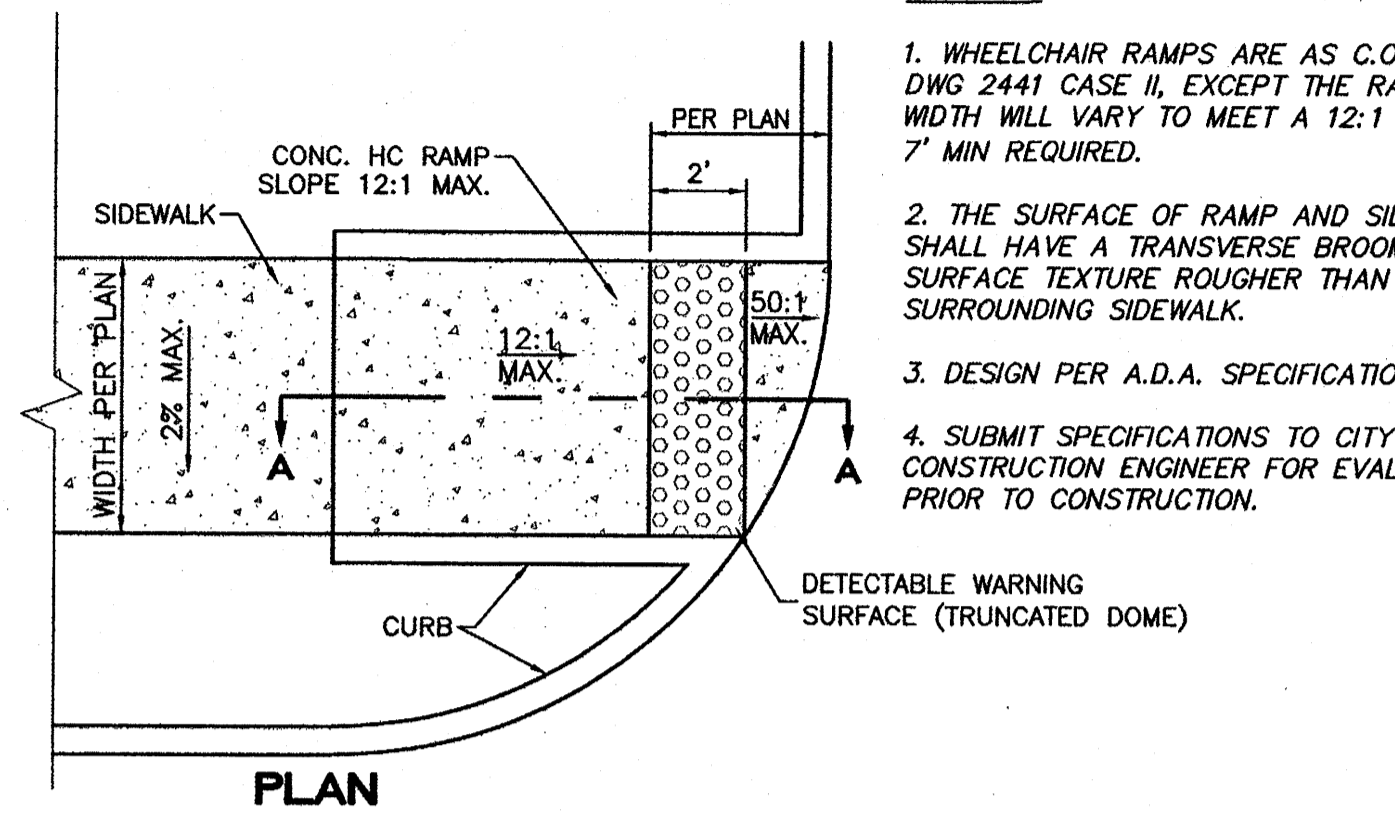
1. WHEELCHAIR RAMP ARE AS COA STD DWG #2441 CASE II, EXCEPT THE RAMP WIDTH WILL VARY TO MEET A 12:1 MAX. SLOPE.
2. TRUNCATED DOME DESIGN NEEDS TO FOLLOW ADA GUIDELINES.
3. FOR TRUNCATED DOMES, SUBMIT DESIGN/SPEC'S TO CITY CONSTRUCTION ENGINEER FOR EVALUATION PRIOR TO CONSTRUCTION.



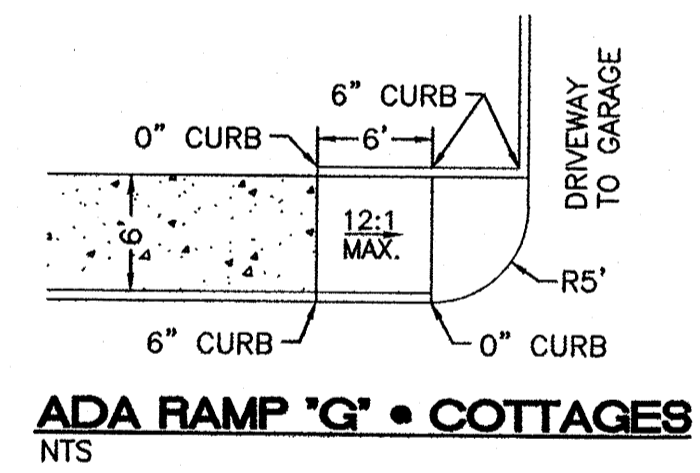
ADA RAMP DETAIL 'E'
NTS



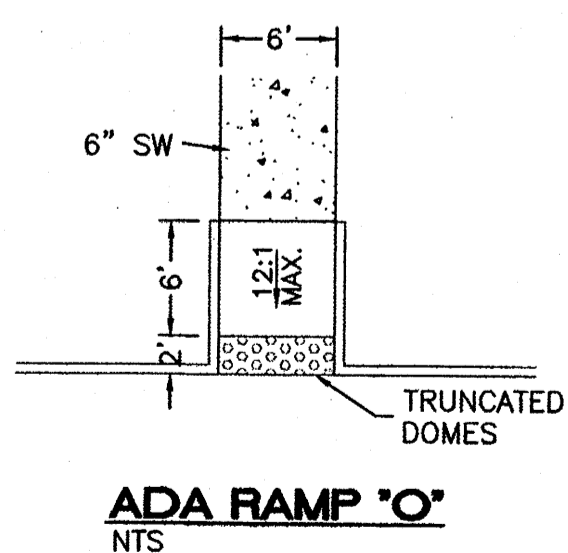
ADA RAMPS • STREET 'B'
SCALE: NTS



UNIDIRECTIONAL HC RAMP
NOT TO SCALE



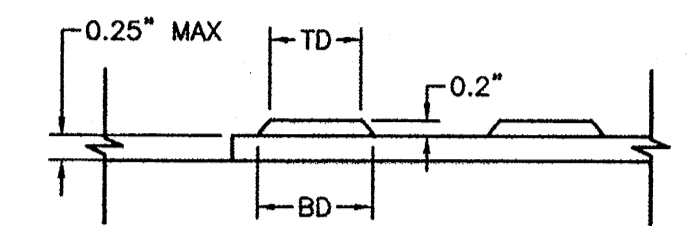
ADA RAMP 'G' • COTTAGES
NTS



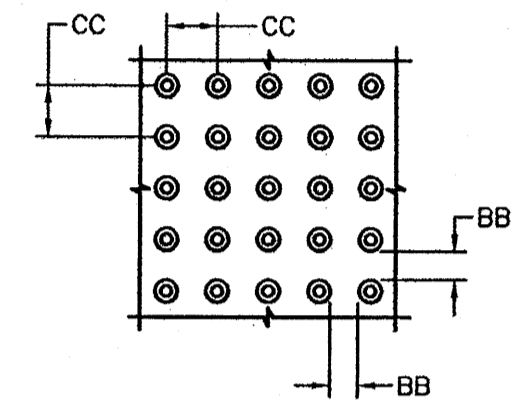
ADA RAMP 'O'
NTS

NOTES:

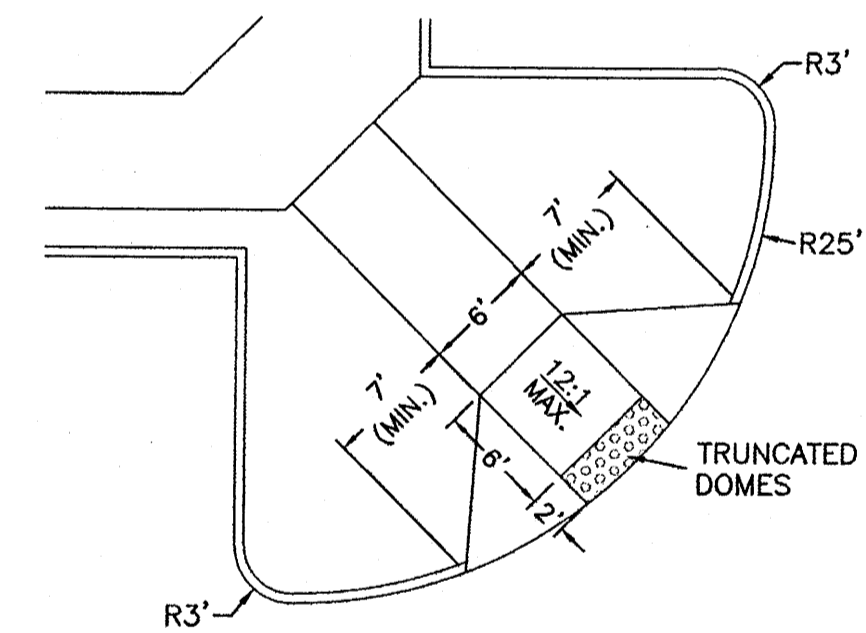
1. WHEELCHAIR RAMP ARE AS C.O.A. STD DWG 2441 CASE II, EXCEPT THE RAMP WIDTH WILL VARY TO MEET A 12:1 SLOPE; 7' MIN REQUIRED.
2. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
3. DESIGN PER A.D.A. SPECIFICATIONS.
4. SUBMIT SPECIFICATIONS TO CITY CONSTRUCTION ENGINEER FOR EVALUATION PRIOR TO CONSTRUCTION.



DOME SECTION
BD - BASE DIAMETER 0.9" MIN
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX

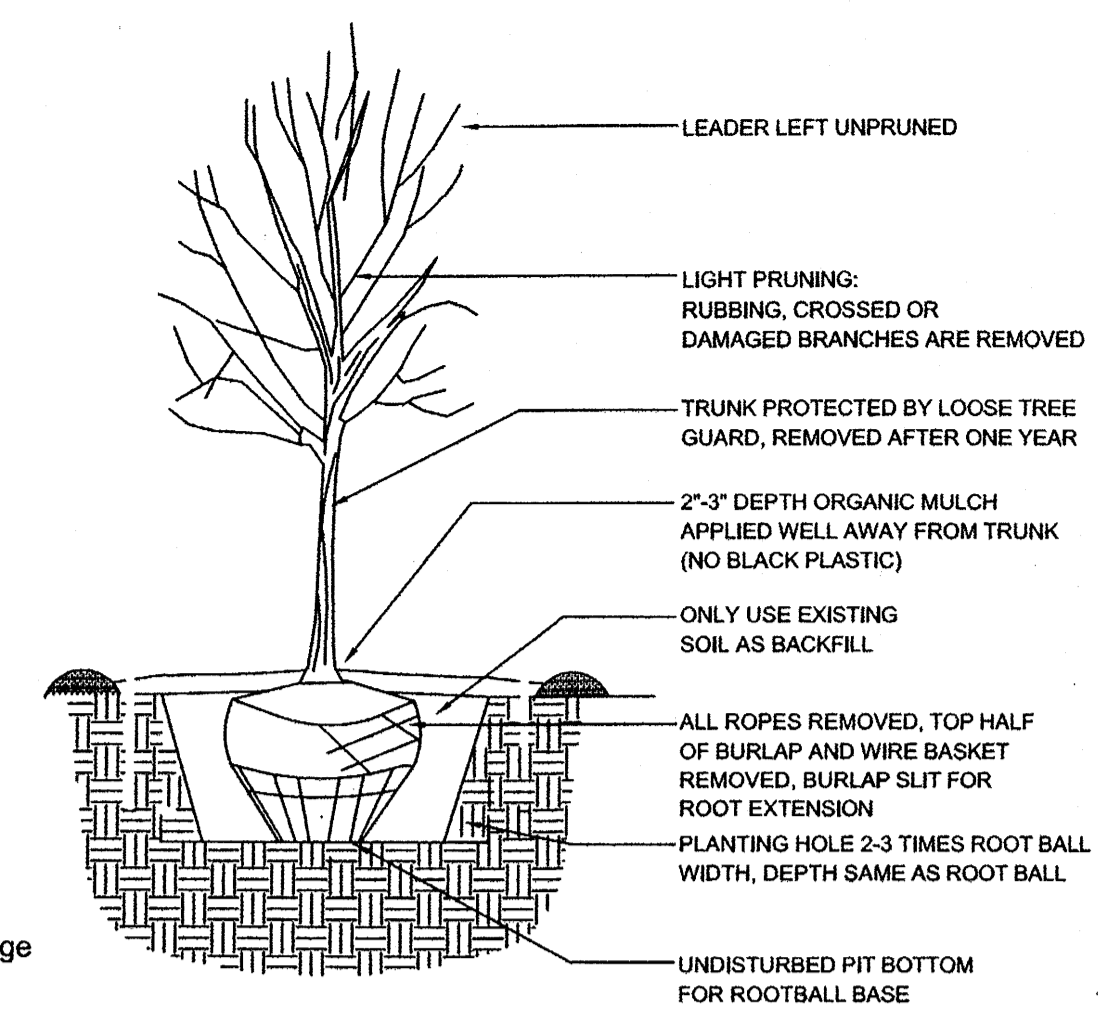
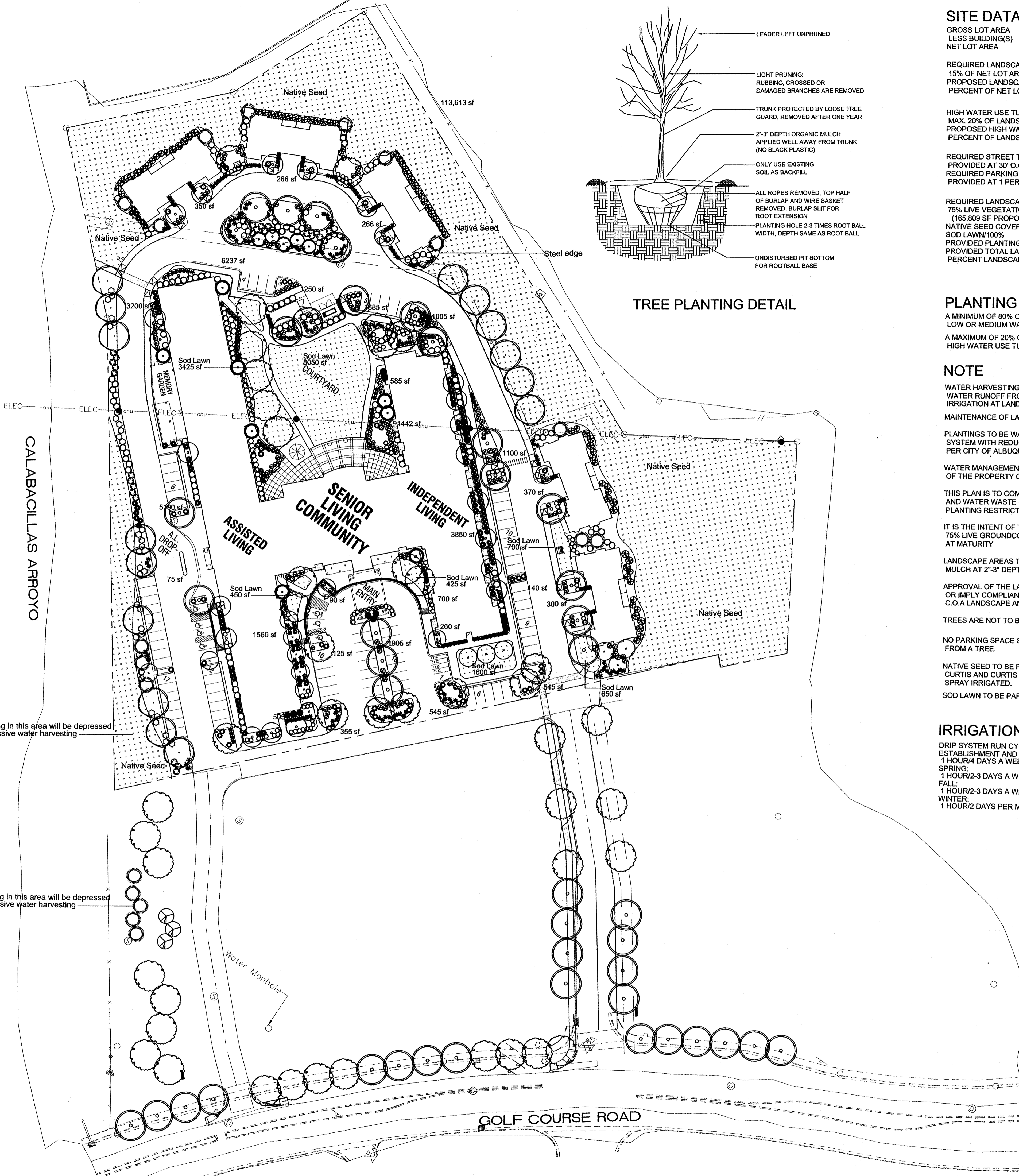


DOME SPACING
CC - CENTER TO CENTER SPACING 2.35"
BB - BASE TO BASE SPACING 1.48" MIN



ADA RAMP 'F'
NTS

ENGINEER'S SEAL	SPECTRUM ASSISTED LIVING	DRAWN BY BJF
	DETAIL SHEET 1	DATE 11/3/11
 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com		2011026-DTE
		SHEET # C8
	RONALD R. BOHANNAN P.E. #7888	JOB # 2011026



TREE PLANTING DETAIL

SITE DATA

GROSS LOT AREA	330,285 SF
LESS BUILDING(S)	144,250 SF
NET LOT AREA	186,035 SF

REQUIRED LANDSCAPE
15% OF NET LOT AREA
PROPOSED LANDSCAPE
PERCENT OF NET LOT AREA

	27,905 SF
	185,808 SF
	89.1%

HIGH WATER USE TURF
MAX. 20% OF LANDSCAPE AREA
PROPOSED HIGH WATER USE TURF
PERCENT OF LANDSCAPE AREA

	33,618 SF
	15,300 SF
	9.3%

REQUIRED STREET TREES
PROVIDED AT 30' O.C. SPACING ALONG STREET 22
REQUIRED PARKING LOT TREES
PROVIDED AT 1 PER 10 SPACES (100 SPACES/10) 10

REQUIRED LANDSCAPE COVERAGE
75% LIVE VEGETATIVE MATERIAL
(165,809 SF PROPOSED LANDSCAPE X 75%) 124,356 SF MIN.
NATIVE SEED COVERAGE (IRRIGATED)/100% 93,000 SF
SOD LAWN/100% 15,300 SF
PROVIDED PLANTING AREA COVERAGE 23,643 SF
PROVIDED TOTAL LANDSCAPE COVERAGE 131,943 SF
PERCENT LANDSCAPE COVERAGE 80%

PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS
A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

NOTE

WATER HARVESTING: INTENT OF LANDSCAPE DESIGN IS TO CAPTURE AND CONTROL WATER RUNOFF FROM THE ROOF AREAS AND HARD SURFACES TO SUPPLEMENT IRRIGATION AT LANDSCAPE AREAS.
MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER
PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE
WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER
THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH
IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY
LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 2"-3" DEPTH OVER FILTER FABRIC
APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE
TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS
NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.
NATIVE SEED TO BE PIONEER'S PRIDE AS AVAILABLE FROM CURTIS AND CURTIS AND HYDRO SEEDED AT 12 LB PER ACRE AND SPRAY IRRIGATED.
SOD LAWN TO BE PARK BLEND

IRRIGATION NOTE

DRIP SYSTEM RUN CYCLES:
ESTABLISHMENT AND SUMMER:
1 HOUR/4 DAYS A WEEK
SPRING:
1 HOUR/2-3 DAYS A WEEK
FALL:
1 HOUR/2-3 DAYS A WEEK
WINTER:
1 HOUR/2 DAYS PER MONTH

PLANT LEGEND

Qty.	Symbol	Scientific Name	Installed Size	Mature Height/Spread	Landscape Coverage	Water Use	Drip Emitters Per Plant (see note)
18	○	Gleditsia triacanthos 'inermis' Thornless Honey Locust	2" B&B	80'/80'		Medium	6-2 gph
46	○	Fraxinus velutina 'Modesto' Modesto Ash	2" B&B	40'/40'		Medium+	6-2 gph
5	○	Forestiera neomexicana New Mexico Olive	15 Gal	15'/15'		Medium	6-2 gph
18	○	Pinus nigra Austrian Pine	6"-8" Ht.	35'/25'		Medium	6-2 gph
40	○	Robinia Purple Robe Locust	2" Cal	40'/25'		Medium	6-2 gph
23	○	Pyrus Flowering Pear	15 Gal	25'/15'		Medium+	6-2 gph
8	○	Cedrus Blue Atlas Cedar	15 Gal	75'/50'		Medium+	6-2 gph
17	○	Vitex Chaste Tree	15 Gal	20'/20'		Medium	6-2 gph
3	○	Chilopsis Desert Willow	15 Gal	20'/25'		Low	6-2 gph

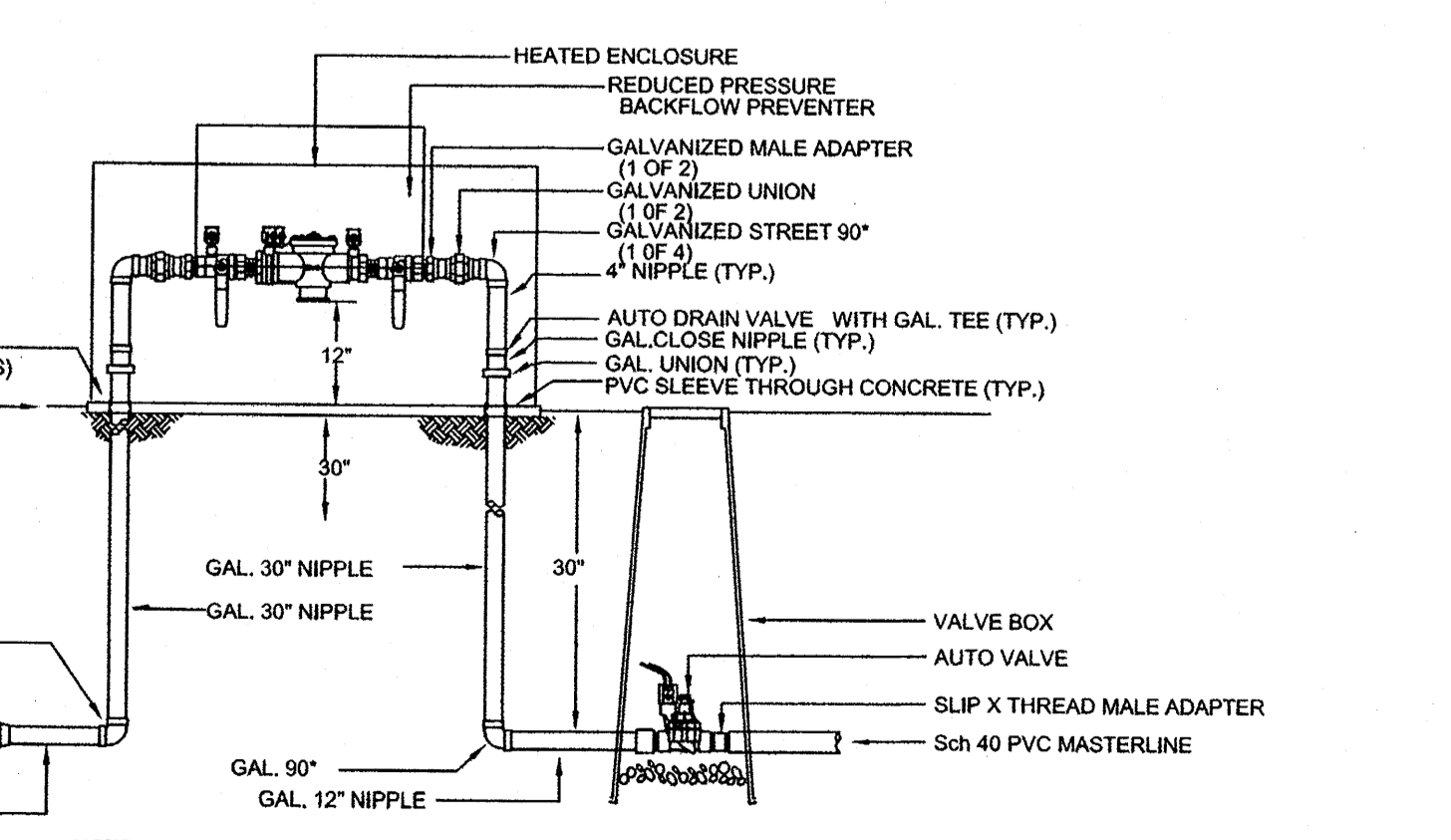
Shrubs/Groundcovers

38	○	Buddleia davidii Butterfly Bush	1-Gal	5'/5'	20 sf=760 sf	Medium	2-2 gph
38	○	Juniperus sabina Buffalo Juniper	5-Gal	2'/5'	35 sf=1330 sf	Medium	2-2 gph
68	○	Vauquelinia Rosewood	5-Gal	10'/10'	40 sf=2720 sf	Low+	2-1 gph
90	○	Prunus besseyi Sand Cherry	5-Gal	3'/3'	25 sf=2250 sf	Medium	2-2 gph
31	○	Caesalpinia Yellow Bird of Paradise	5-Gal	10'/10'	40 sf=1240 sf	Low	2-1 gph
44	○	Fallugia paradoxa Apache Plume	1-Gal	6'/7'	35 sf=1540 sf	Low	2-1 gph
45	○	Hesperaloe parviflora Red Yucca	5-Gal	3'/4'	20 sf=900 sf	Low+	2-1 gph
28	○	Rhus trilobata Three Leaf Sumac	1-Gal	6'/6'	30 sf=840 sf	Medium	2-2 gph
15	○	Lagerstroemia Crape Myrtle	5-Gal	15'/15'	30 sf=450 sf	Medium+	2-2 gph
43	○	Spiraea Dwarf Red Spirea	5-Gal	3'/3'	18 sf=774 sf	Medium+	2-2 gph
68	○	Lavandula Lavender	1-Gal	3'/3'	12 sf=816 sf	Medium	2-1 gph
34	○	Ilex Wilson Holly	5-Gal	10'/10'	25 sf=850 sf	Medium+	2-2 gph
88	○	Raphiolepis India Hawthorn	5-Gal	3'/4'	20 sf=1760 sf	Medium	2-2 gph
44	○	Cercocarpus Curl Leaf Mtn. Mahogany	5-Gal	15'/15'	45 sf=1980 sf	Low+	2-1 gph
19	○	Pinus mugo Mugho Pine	5-Gal	4'/5'	30 sf=570 sf	Medium	2-2 gph
32	○	Hibiscus Rose of Sharon	5-Gal	10'/10'	30 sf=960 sf	Medium	2-2 gph
72	○	Potentilla Shubby Cinquefoil	5-Gal	3'/3'	10 sf=720 sf	Medium	2-2 gph

Ornamental Grasses

65	○	Miscanthus Maiden Grass	5-Gal	5'/5'	15 sf=975 sf	Medium+	2-2 gph
119	○	Muhlenbergia Regal Mist Grass	1-Gal	3'/3'	12 sf=1428 sf	Medium	2-2 gph
78	○	Calamagrostis Karl Foerster Grass	5-Gal	3'/2'	10 sf=780 sf	Medium	2-2 gph

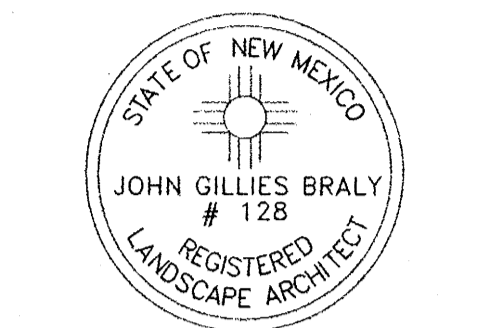
Total landscape coverage=23,643 sf



NOTE:
1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.

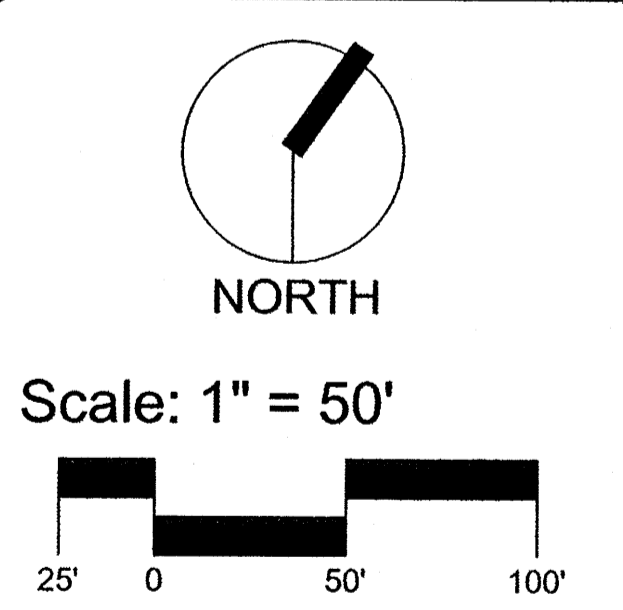
RP BACKFLOW/MASTER VALVE DETAIL

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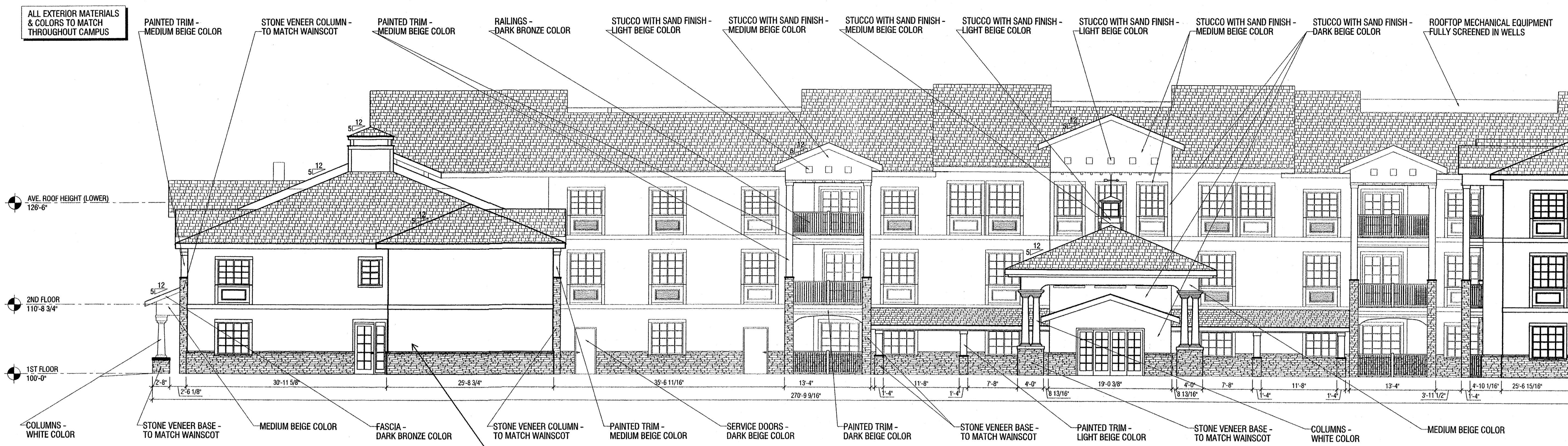


Date: 6/14/11
Revisions:
▲ 6/24/11
▲ 10/10/11
▲
▲
▲
▲
Drawn by: JC
Reviewed by: JB

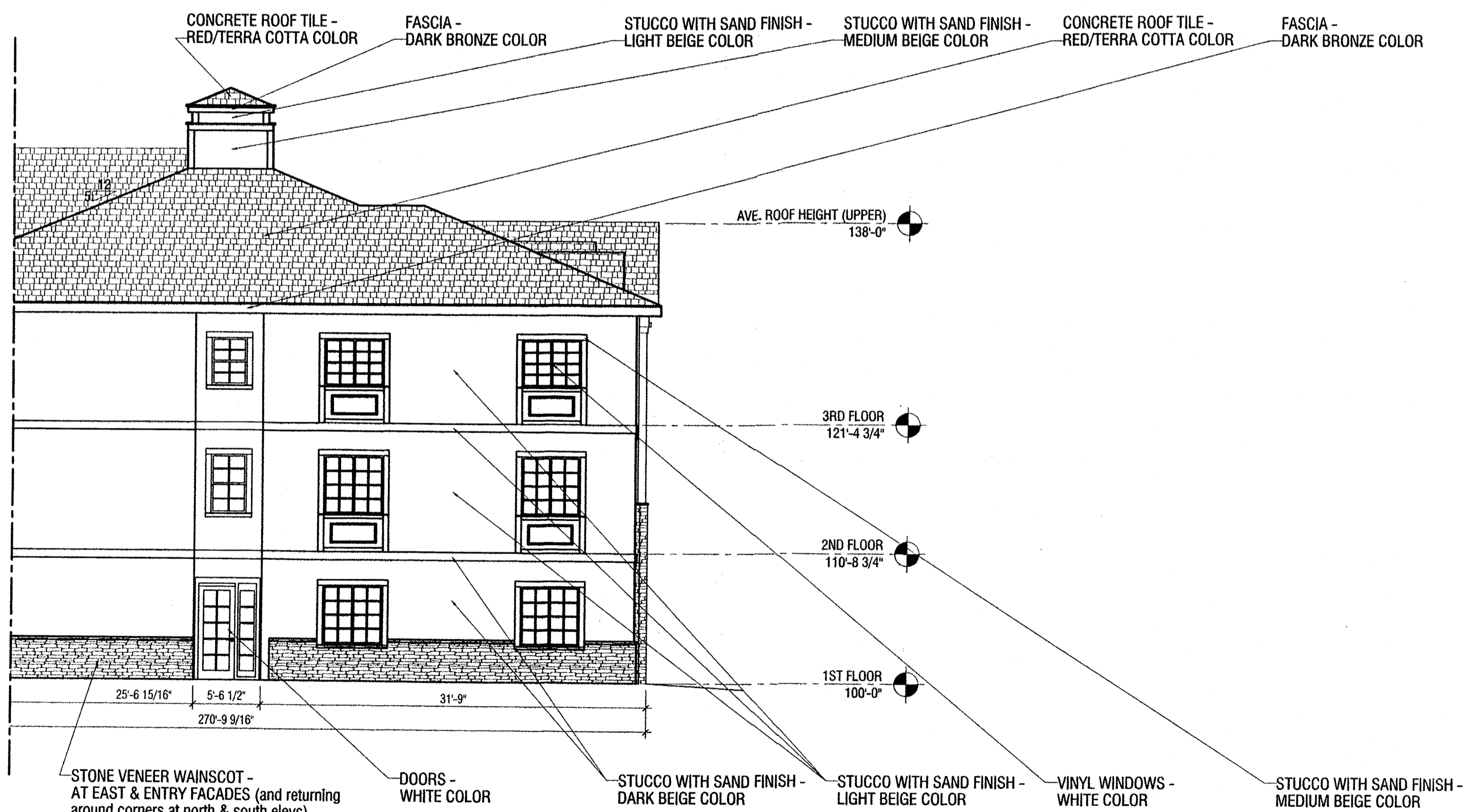
Spectrum Assisted Living
Albuquerque, New Mexico



Sheet Title:
Landscape Plan
Sheet Number:
LS-01



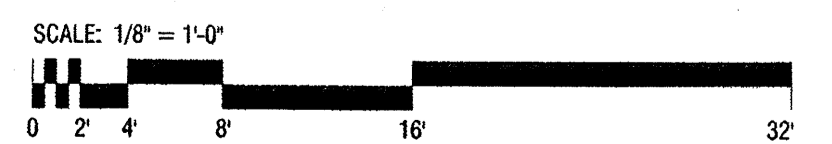
EAST ELEVATION - Front View from Golf Course Road
1/8" = 1'-0"



EAST ELEVATION - Front View from Golf Course Road
1/8" = 1'-0"

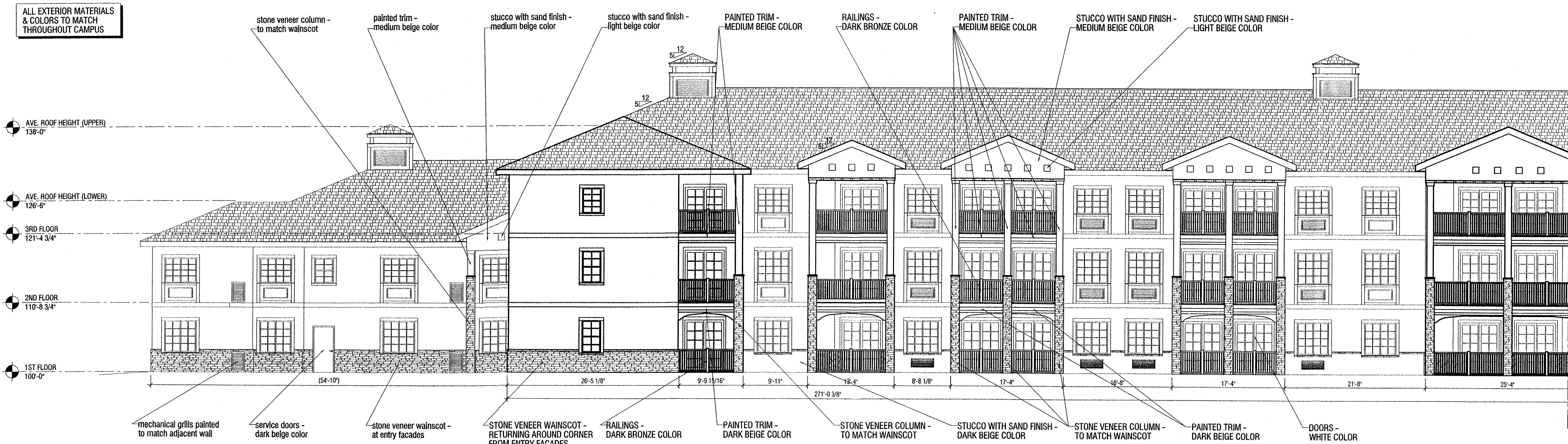


PROPOSED BUILDING ELEVATIONS
Spectrum Senior Living - Albuquerque

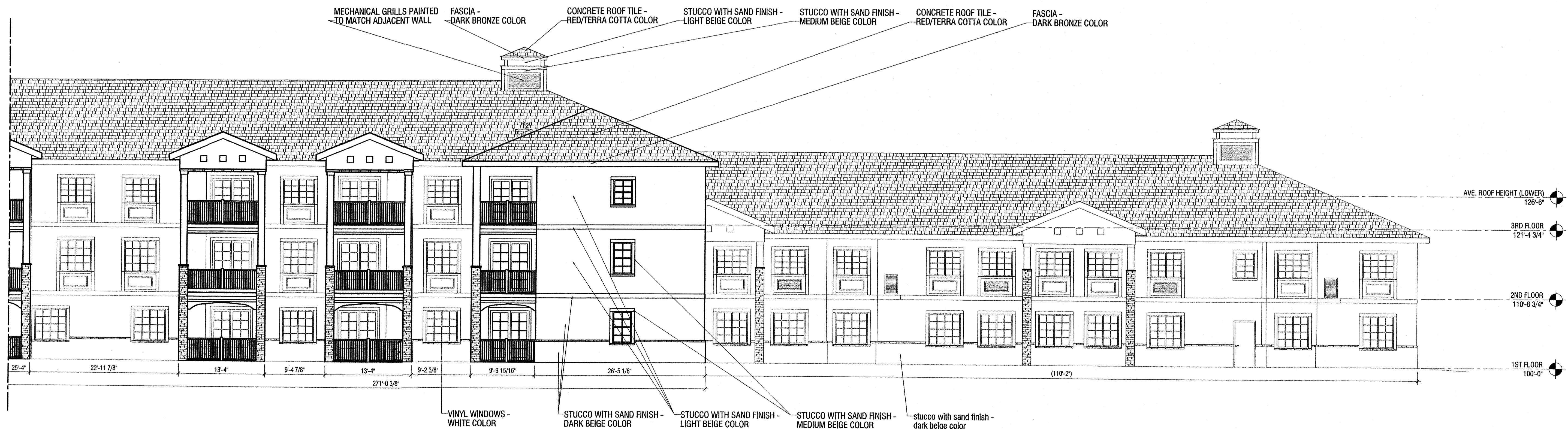


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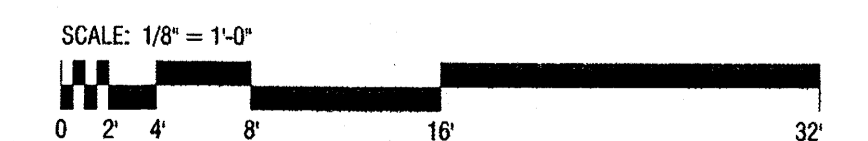
NORTH ELEVATION - Side View
1/8" = 1'-0"



NORTH ELEVATION - Side View
1/8" = 1'-0"



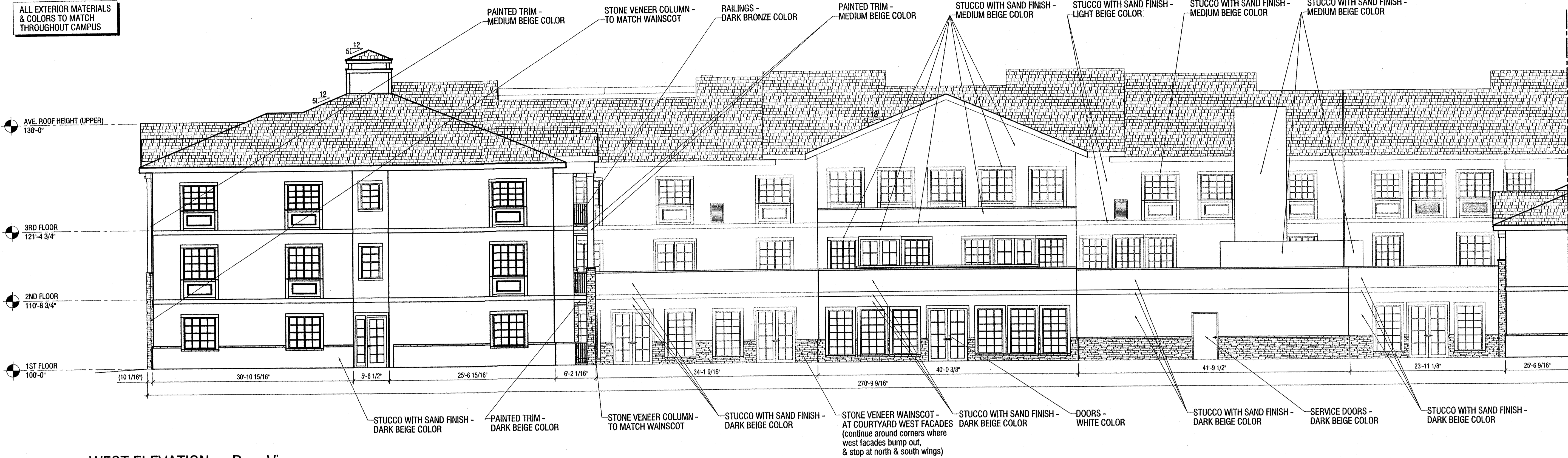
PROPOSED BUILDING ELEVATIONS
Spectrum Senior Living - Albuquerque



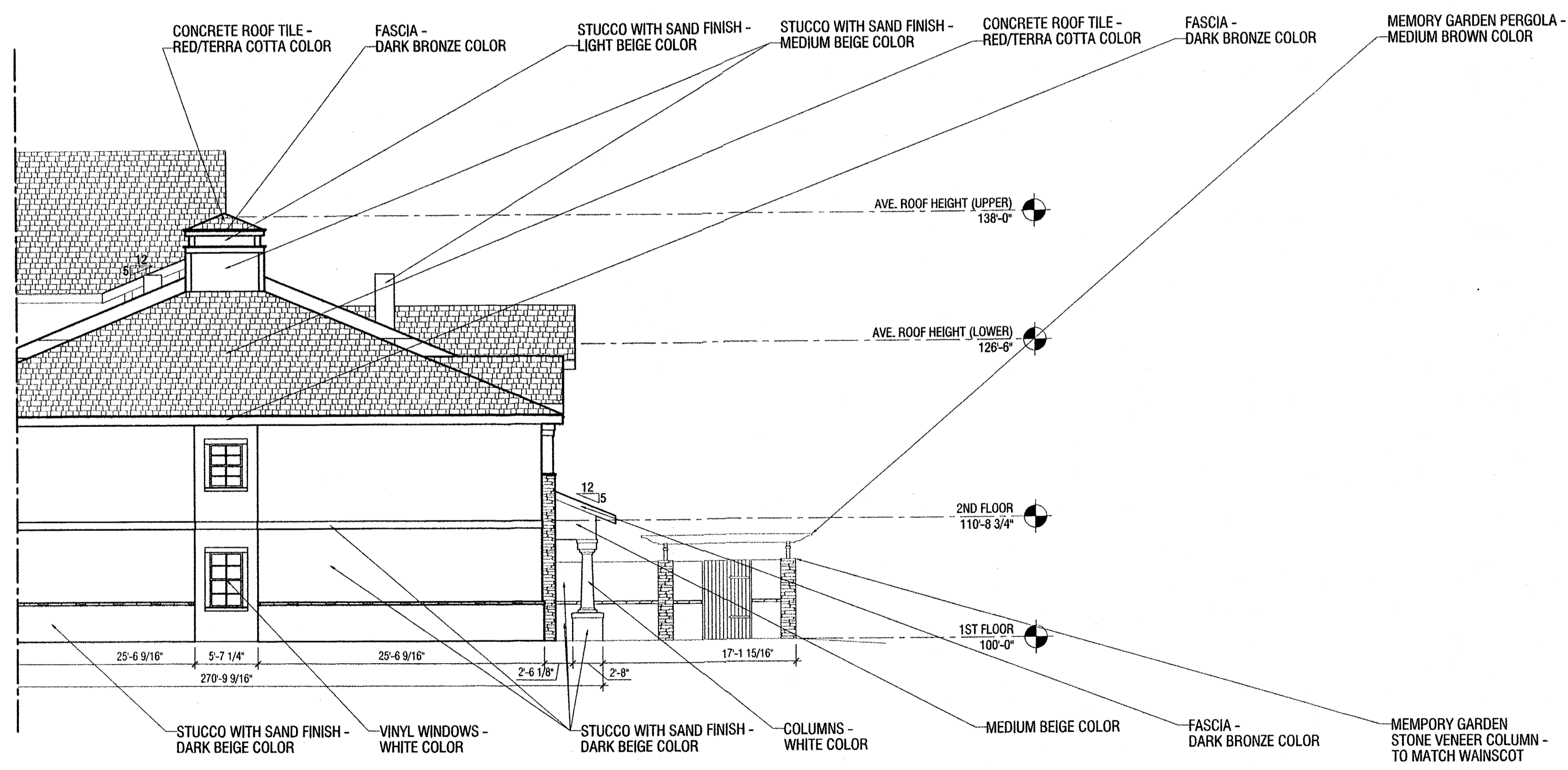
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A8

ALL EXTERIOR MATERIALS & COLORS TO MATCH THROUGHOUT CAMPUS



WEST ELEVATION - Rear View
1/8" = 1'-0"



WEST ELEVATION - Rear View
1/8" = 1'-0"



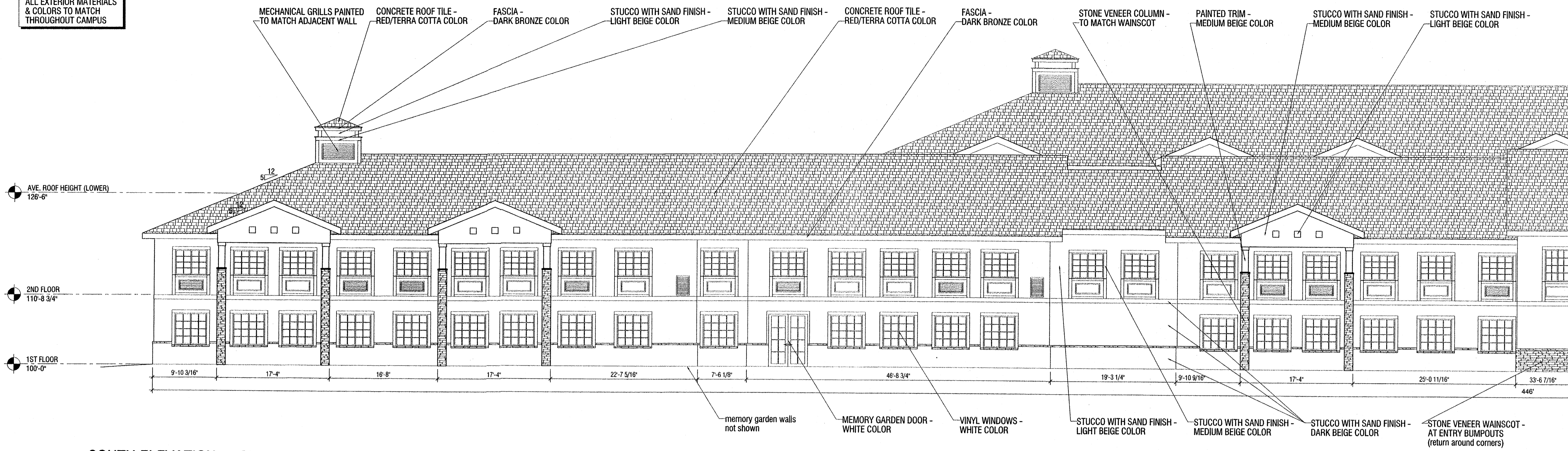
PROPOSED BUILDING ELEVATIONS
Spectrum Senior Living - Albuquerque



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A9

ALL EXTERIOR MATERIALS & COLORS TO MATCH THROUGHOUT CAMPUS



SOUTH ELEVATION - Side View from Calabacillas Arroyo

1/8" = 1'-0"



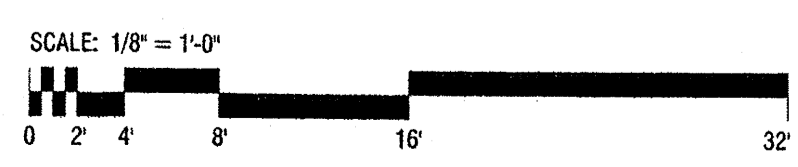
SOUTH ELEVATION - Side View from Calabacillas Arroyo

1/8" = 1'-0"

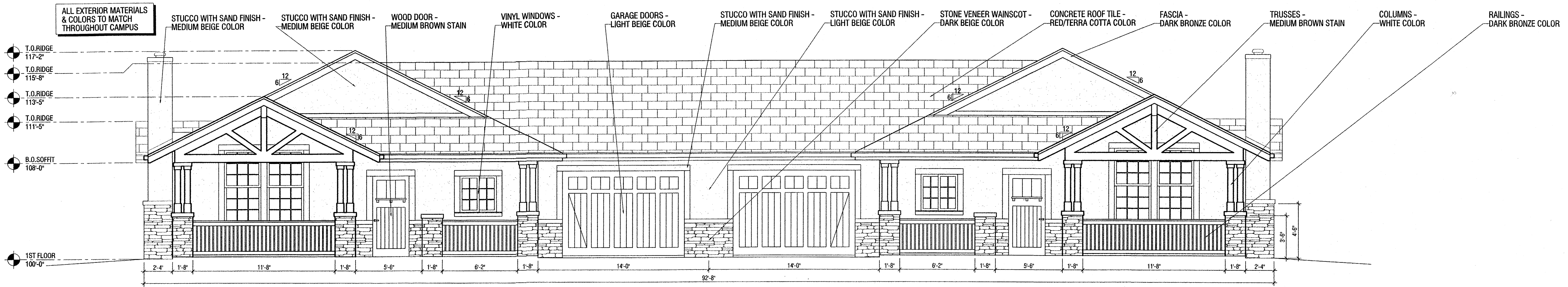


PROPOSED BUILDING ELEVATIONS
Spectrum Senior Living - Albuquerque

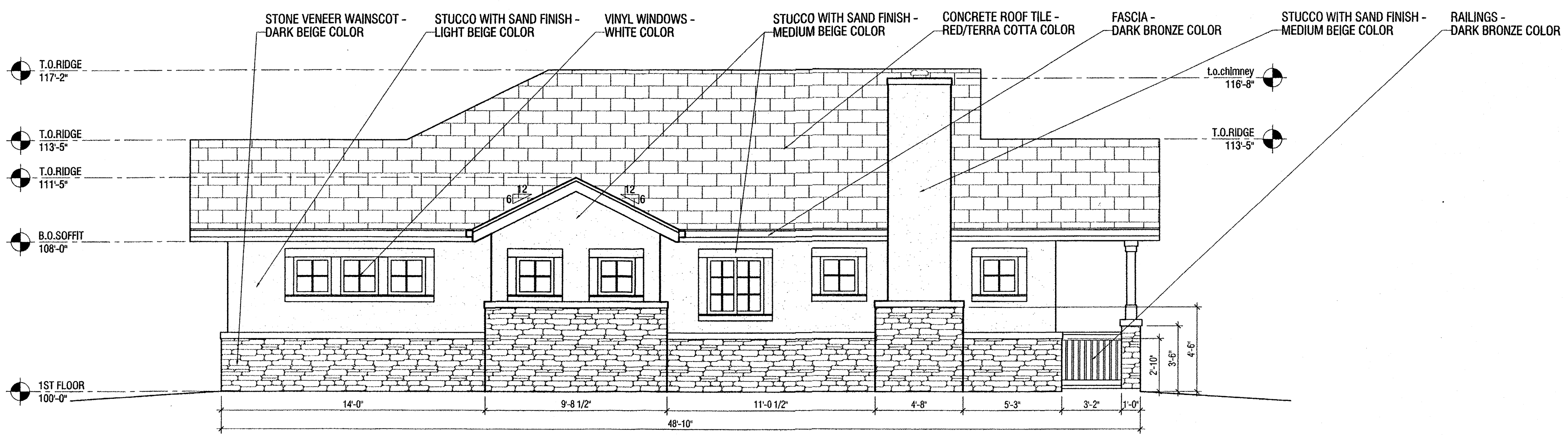
A10



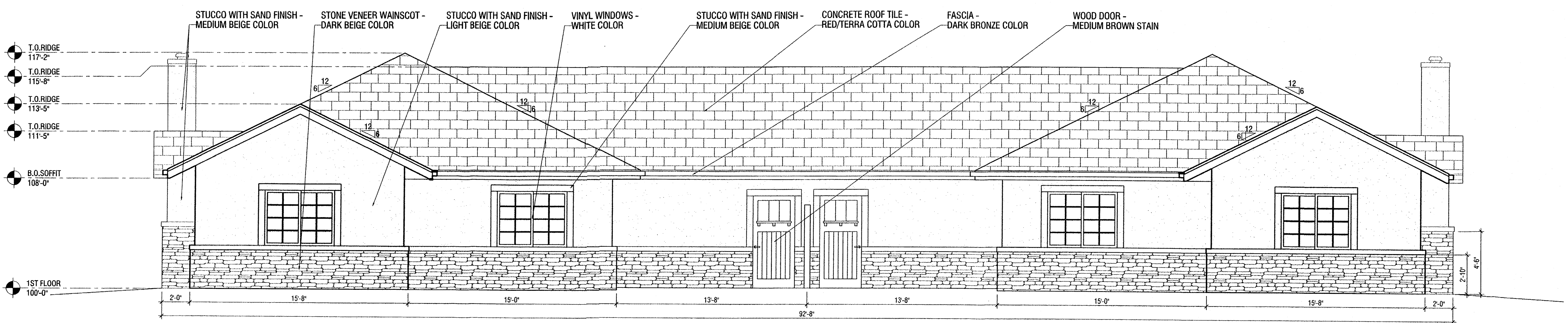
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FRONT ELEVATION
1/4" = 1'-0"



SIDE ELEVATION
1/4" = 1'-0"

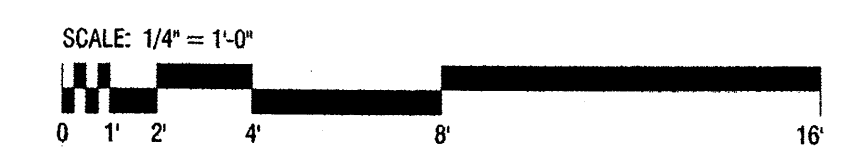


REAR ELEVATION
1/4" = 1'-0"



PROPOSED COTTAGE ELEVATIONS
Spectrum Senior Living - Albuquerque

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