

Location Map
Zone Atlas Map No. A-12-Z

Subdivision Data:

ZONING: SU-1 IP USES W/EXCEPTIONS
GROSS SUBDIVISION ACREAGE: 5.9664 ACRES±
ZONE ATLAS INDEX NO: A-12-Z
NO. OF TRACTS CREATED: 1
NO. OF LOTS CREATED: 0
MILES OF FULL-WIDTH STREETS CREATED: 0
DATE OF SURVEY: MAY 4-16, 2011

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING ONE TRACT INTO ONE NEW TRACT, VACATE A PORTION OF AN EASEMENT AND TO GRANT AN EASEMENT.

Notes:

1. BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1983).
2. ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
3. THIS PROPERTY LIES WITHIN THE TOWN OF ALAMEDA GRANT, PROJECTED SECTION 1, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

Public Utility Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- A. PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
- B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
- C. QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
- D. CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

DISCLAIMER

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

RECORDING STAMP

Legal Description

TRACT "1B-1-A" OF PARADISE NORTH, SITUATE WITHIN THE TOWN OF ALAMEDA GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JANUARY 27, 2012, IN MAP BOOK 2012C, PAGE 10, CONTAINING 5.9664 ACRES (259,897 SQUARE FEET), MORE OR LESS, NOW COMPRISING TRACT 1B-1-A-1.

Plat of
Tract 1B-1-A-1
Paradise North
City of Albuquerque, Bernalillo County, New Mexico
September 2012

Project No. _____

Application No. 12DRB-

Utility Approvals

| | |
|--|-----------------|
| PNM | DATE |
| NEW MEXICO GAS COMPANY | DATE |
| QWEST CORPORATION D/B/A CENTURYLINK QC | DATE |
| COMCAST | DATE |
| City Approvals <i>[Signature]</i> CITY SURVEYOR | 11-8-12 DATE |
| A.M.A.F.C.A. | DATE |
| TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT | DATE |
| A.B.C.W.U.A. | DATE |
| PARKS AND RECREATION DEPARTMENT | DATE |
| AMAFCA | DATE |
| CITY ENGINEER | DATE |
| DRB CHAIRPERSON, PLANNING DEPARTMENT | |

TREASURER CERTIFICATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

[Signature] 9/5/12
LARRY W. MEDRANO
NEW MEXICO
REGISTERED PROFESSIONAL SURVEYOR
11993

PRECISION SURVEYS, INC.

OFFICE LOCATION:
5571 Midway Park Place, NE
Albuquerque, NM 87109
MAILING ADDRESS:
PO Box 90636
Albuquerque, NM 87199

866.442.8011 TOLL FREE
505.856.5700 PHONE
505.856.7900 FAX

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER, EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER WARRANTS THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON

WITH LISTED BENEFICIARIES AND STIPULATIONS.

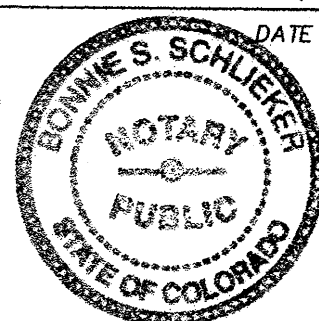
[Signature] 10-27-2012
DATE
MANAGER **JEFFREY D. KRAUS**
PALMILLA COMMERCIAL, LLC
A COLORADO LIMITED LIABILITY COMPANY

Acknowledgment

STATE OF COLORADO) SS
COUNTY OF DENVER)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 26th DAY OF OCTOBER, 2012 BY **JEFFREY D. KRAUS** MANAGER, PALMILLA COMMERCIAL, LLC, A COLORADO LIMITED LIABILITY COMPANY.

BY *[Signature]* **Bonnie S. Schaefer** NOTARY PUBLIC COMMISSION EXPIRES: 11-13-2014



INDEXING INFORMATION FOR COUNTY CLERK
OWNER PALMILLA COMMERCIAL, LLC
SECTION 1, TOWNSHIP 11 N., RANGE 2 E.
SUBDIVISION PARADISE NORTH

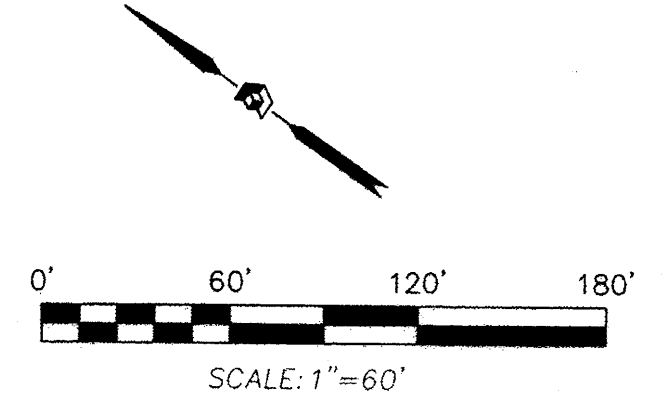
Plat of
 Tract 1B-1-A-1
Paradise North
 City of Albuquerque, Bernalillo County, New Mexico
 September 2012

RECORDING STAMP

NON-EXCLUSIVE RECIPROCAL INGRESS, EGRESS, ACCESS AND DRAINAGE EASEMENT FOR THE BENEFIT OF TRACTS 1B-1-A AND 1B-1-B, PARADISE NORTH GRANTED BY THIS PLAT TO BE MAINTAINED BY THE OWNER OF EACH TRACT FOR THE BENEFIT OF BOTH TRACTS. THIS RECIPROCAL EASEMENT SHALL ENCOMBER ONLY THOSE PORTIONS OF THE TRACTS WHICH ARE NOT IMPROVED WITH STRUCTURES, FROM TIME TO TIME THE OWNER OF EACH TRACT SHALL SATISFY ITS REQUIRED "OFF-STREET" PARKING REQUIREMENT ON ITS OWN TRACT. THIS RECIPROCAL PARKING EASEMENT DOES NOT EXTEND TO EMPLOYEES OF BUSINESSES LOCATED ON THE TRACTS. PHYSICAL LOCATION OF ACCESS EASEMENT TO BE DEFINED AT A FUTURE DATE BY SEPARATE DOCUMENT.

A.G.R.S. MONUMENT "8_B14"
 STANDARD A.G.R.S. BRASS TABLE
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1,529,602.961
 E=1,521,096.792
 PUBLISHED EL=5025.358 (NAVD 1988)
 GROUND TO GRID FACTOR=0.999679817
 DELTA ALPHA ANGLE=-07.348.87"

A.G.R.S. MONUMENT "2_B13"
 STANDARD A.G.R.S. BRASS TABLE
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1,529,625.065
 E=1,518,977.962
 PUBLISHED EL=5049.611 (NAVD 1988)
 GROUND TO GRID FACTOR=0.999679249
 DELTA ALPHA ANGLE=-07.403.33"



Legend

- N 90°00'00" E MEASURED BEARING AND DISTANCES
MATCH RECORD BEARINGS AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
- △ FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED

Line Table

| LINE | BEARING | DISTANCE |
|------|---------------|----------|
| L1 | N 28°14'33" W | 2.50' |
| L2 | S 33°28'39" E | 2.50' |
| L3 | N 10°22'54" E | 14.18' |
| L4 | N 89°41'44" E | 13.74' |
| L5 | S 56°24'20" W | 0.40' |
| L6 | N 53°17'17" E | 26.85' |
| L7 | N 43°32'21" E | 15.45' |
| L8 | N 46°47'37" W | 23.36' |
| L9 | S 62°13'56" W | 24.77' |
| L10 | S 80°56'28" E | 51.81' |
| L11 | S 84°43'56" W | 49.49' |
| L12 | N 27°35'13" W | 21.62' |
| L13 | N 84°43'56" E | 52.04' |
| L14 | S 80°56'28" E | 78.26' |
| L15 | N 15°51'05" W | 25.27' |

Curve Table

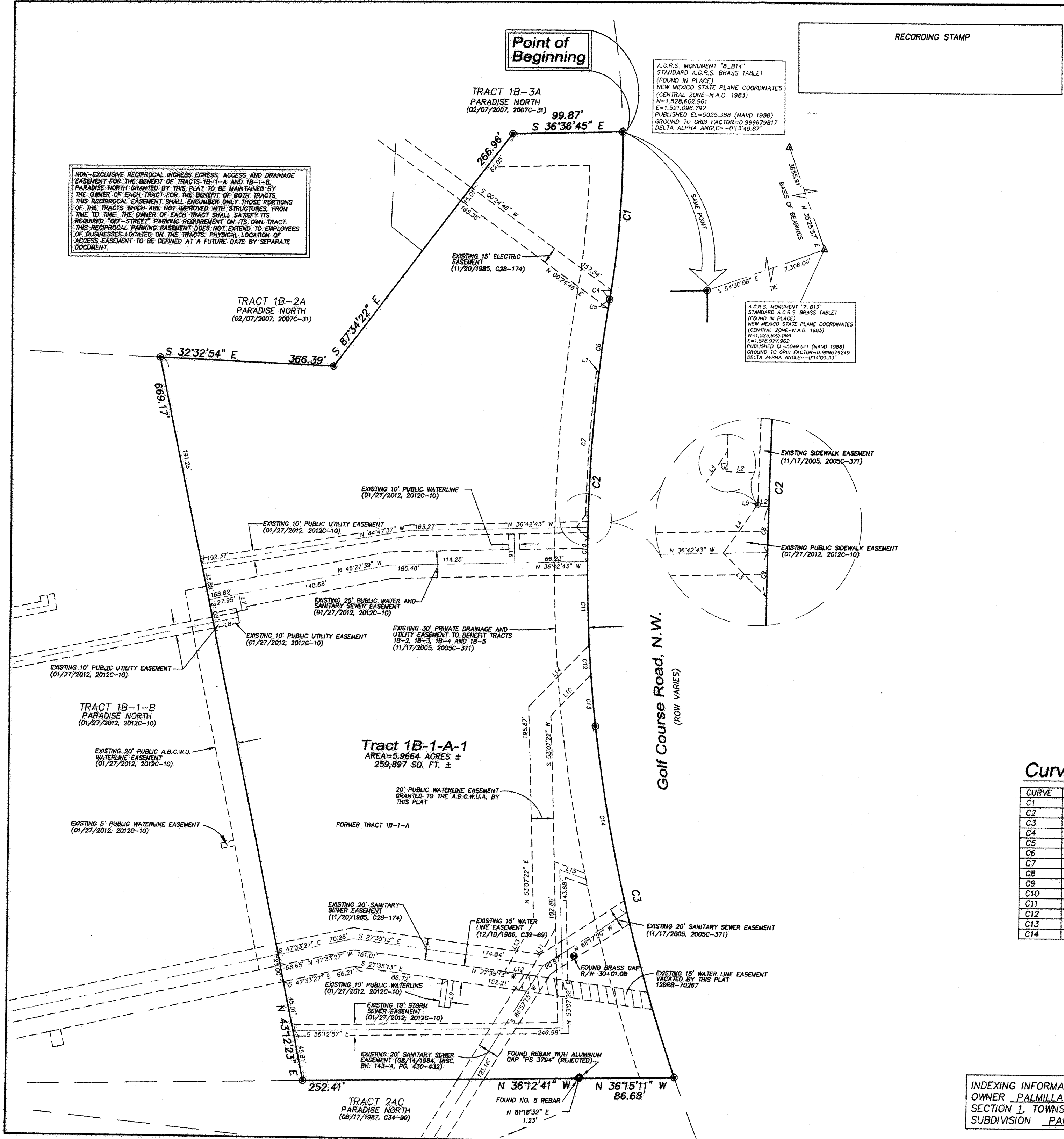
| CURVE | RADIUS | ARC LENGTH | TANGENT | DELTA ANGLE | CHORD BEARING | CHORD LENGTH |
|-------|----------|------------|---------|-------------|---------------|--------------|
| C1 | 783.54' | 152.48' | 76.48' | 11°09'00" | S 58°57'46" W | 152.24' |
| C2 | 1402.63' | 388.10' | 195.30' | 15°51'12" | S 56°29'08" W | 386.86' |
| C3 | 1445.56' | 326.71' | 164.05' | 12°56'57" | S 41°39'08" W | 326.01' |
| C4 | 783.54' | 8.61' | 4.31' | 0°37'47" | N 64°13'22" E | 8.61' |
| C5 | 1402.63' | 8.10' | 4.05' | 0°19'51" | S 64°14'46" W | 8.10' |
| C6 | 1402.63' | 57.96' | 28.99' | 2°22'04" | S 62°53'49" W | 57.96' |
| C7 | 1405.13' | 130.36' | 65.23' | 5°18'56" | S 59°03'19" W | 130.31' |
| C8 | 1402.63' | 10.61' | 5.31' | 0°26'01" | S 56°10'50" W | 10.61' |
| C9 | 1402.63' | 10.32' | 5.16' | 0°25'17" | S 55°45'11" W | 10.32' |
| C10 | 1402.63' | 21.55' | 10.78' | 0°52'49" | S 55°06'08" W | 21.55' |
| C11 | 1402.63' | 76.04' | 38.03' | 3°06'23" | S 53°06'32" W | 76.03' |
| C12 | 1402.63' | 26.89' | 13.45' | 1°05'54" | S 51°00'24" W | 26.89' |
| C13 | 1402.63' | 46.49' | 23.25' | 1°53'56" | S 49°30'28" W | 46.49' |
| C14 | 1445.56' | 171.30' | 85.75' | 6°47'22" | S 44°43'56" W | 171.20' |

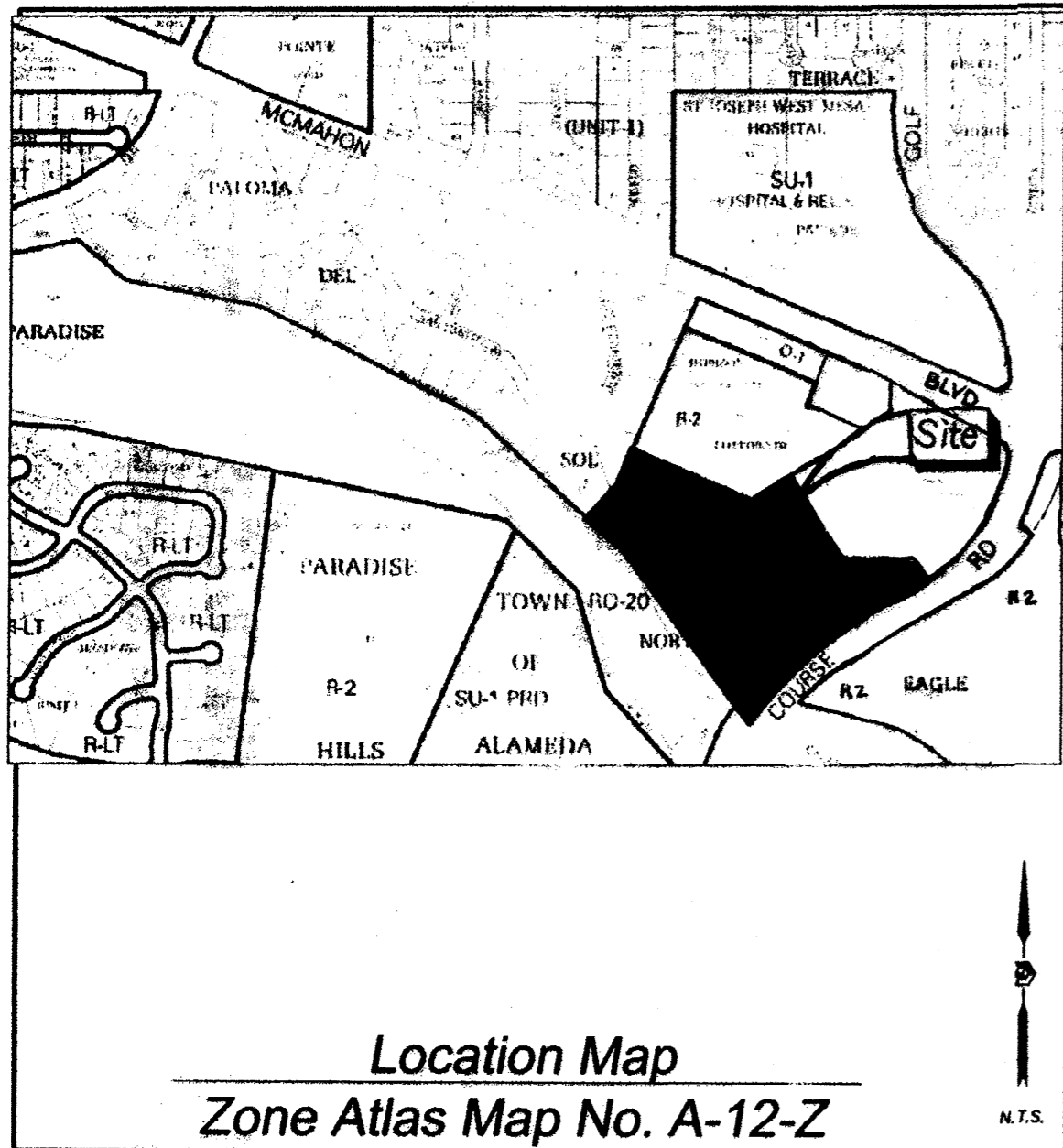


OFFICE LOCATION:
 5571 Midway Park Place, NE
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 MAILING ADDRESS:
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 Albuquerque, NM 87199

866.442.8011 TOLL FREE
 505.856.5700 PHONE
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INDEXING INFORMATION FOR COUNTY CLERK
 OWNER PALMILLA COMMERCIAL, LLC
 SECTION 1, TOWNSHIP 11 N., RANGE 2 E.
 SUBDIVISION PARADISE NORTH





Subdivision Data:

ZONING: SU-A IP USES W/EXCEPTIONS
 GROSS SUBDIVISION ACREAGE: 13.5519 ACRES±
 ZONE ATLAS INDEX NO: A-12-Z
 NO. OF TRACTS CREATED: 2
 NO. OF LOTS CREATED: 0
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: MAY 4-16, 2011

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING ONE TRACT INTO TWO NEW TRACTS, VACATE EASEMENT AND TO GRANT EASEMENTS.

Notes:

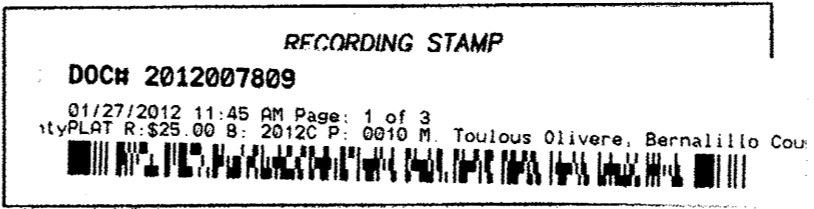
1. BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1983).
2. ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
3. THIS PROPERTY LIES WITHIN THE TOWN OF ALAMEDA GRANT, PROJECTED SECTION 1, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

Utility Notes

- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
1. NEW MEXICO GAS COMPANY, FOR INSTALLATION, MAINTENANCE AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
 2. PUBLIC SERVICE COMPANY OF NEW MEXICO FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 3. QUEST FOR INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
 4. COMCAST FOR INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID RIGHT OF WAY AND EASEMENT, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, AND TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON.

DISCLAIMER
 IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.



Legal Description

TRACT "1B-1" OF PARADISE NORTH, SITUATE WITHIN THE TOWN OF ALAMEDA GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE VACATION, AMENDED PLAT AND REPLAT OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON NOVEMBER 17, 2005, IN MAP BOOK 2005C, PAGE 371, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM GRID BEARINGS (CENTRAL ZONE-MAD 1983) AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF DESCRIBED TRACT, LYING ON THE NORTH RIGHT OF WAY LINE OF GOLF COURSE ROAD, N.W., MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993", FROM WHENCE A TIE TO ALBUQUERQUE GEOGRAPHIC REFERENCE SYSTEM MONUMENT "7_B13" BEARS S 54°30'08" E, A DISTANCE OF 7308.09 FEET;

THENCE FROM SAID POINT OF BEGINNING, CONTINUING ALONG SAID NORTH RIGHT OF WAY LINE FOR THE NEXT THREE CALLS ALONG A NON TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 783.54 FEET, AN ARC LENGTH OF 152.48 FEET, A DELTA ANGLE OF 11°09'00", A CHORD BEARING OF S 58°57'46" W, AND A CHORD LENGTH OF 152.24 FEET TO A POINT OF REVERSE CURVATURE MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE ALONG A REVERSE CURVE TO THE LEFT HAVING A RADIUS OF 1402.63 FEET, AN ARC LENGTH OF 388.10 FEET, A DELTA ANGLE OF 15°51'12", A CHORD BEARING OF S 56°29'06" W, AND A CHORD LENGTH OF 386.86 FEET TO A POINT OF COMPOUND CURVATURE MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE ALONG A COMPOUND CURVE TO THE LEFT HAVING A RADIUS OF 1445.56 FEET, AN ARC LENGTH OF 326.71 FEET, A DELTA ANGLE OF 12°56'57", A CHORD BEARING OF S 41°39'08" W, AND A CHORD LENGTH OF 326.01 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE LEAVING SAID NORTH RIGHT OF WAY LINE, N 36°15'11" W, A DISTANCE OF 86.68 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 5 REBAR;

THENCE N 36°12'41" W, A DISTANCE OF 715.36 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 5 REBAR WITH ALUMINUM CAP "PS 3794";

THENCE N 47°19'53" W, A DISTANCE OF 191.87 FEET TO THE NORTHWEST CORNER OF DESCRIBED TRACT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 14733";

THENCE N 42°42'24" E, A DISTANCE OF 166.16 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 4 REBAR;

THENCE N 23°18'51" E, A DISTANCE OF 150.03 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT MARKED BY A FOUND PK NAIL WITH WASHER;

THENCE S 66°46'32" E, A DISTANCE OF 486.31 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH ALUMINUM CAP "PS 3794";

THENCE N 57°27'06" E, A DISTANCE OF 168.72 FEET TO AN ANGLE POINT OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 32°32'54" E, A DISTANCE OF 366.39 FEET TO AN ANGLE POINT OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 87°34'22" E, A DISTANCE OF 266.96 FEET TO AN ANGLE POINT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 36°36'45" E, A DISTANCE OF 99.87 FEET TO THE POINT OF BEGINNING, CONTAINING 13.5519 ACRES (590,321 SQUARE FEET), MORE OR LESS, NOW COMPRISING TRACT 1B-1A AND TRACT 1B-1B, PARADISE NORTH.

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

[Signature]
 JEFFREY D. KRAUS, MANAGER
 SPECTRUM ACQUISITION-ALBUQUERQUE, LLC,
 A COLORADO LIMITED LIABILITY COMPANY

10/11/2011
 DATE

Acknowledgment

STATE OF COLORADO) SS
 COUNTY OF DENVER)
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 11th DAY OF OCTOBER 2011 BY
 JEFFREY D. KRAUS, MANAGER, SPECTRUM ACQUISITION-ALBUQUERQUE, LLC, A COLORADO LIMITED LIABILITY COMPANY
 BY *[Signature]* MY COMMISSION EXPIRES: 06/09/2012
 NOTARY PUBLIC



Plat of
 Tracts 1B-1-A and 1B-1-B
Paradise North
 Albuquerque, Bernalillo County, New Mexico
 October 2011

Project No. 1008528

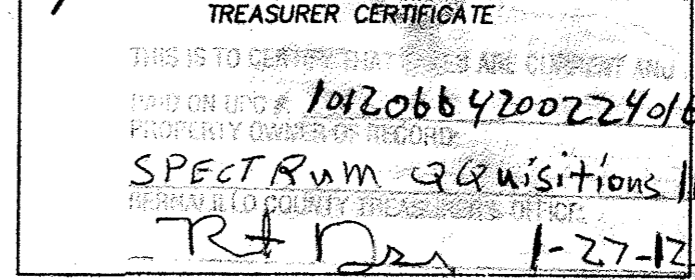
Application No. 11DRB-

Utility Approvals

| | |
|----------------------------|-----------|
| <i>[Signature]</i> | 1-11-12 |
| DATE | |
| <i>[Signature]</i> | 1-13-2012 |
| DATE | |
| NEW MEXICO GAS COMPANY | 12.12.11 |
| DATE | |
| <i>[Signature]</i> | 12-19-12 |
| DATE | |
| CENTURYLINK | |
| COMCAST | |
| NEW MEXICO UTILITIES - N/A | |
| DATE | |

City Approvals

| | |
|--------------------------------------|----------|
| <i>[Signature]</i> | 10-18-11 |
| DATE | |
| CITY SURVEYOR | |
| <i>[Signature]</i> | 11-02-11 |
| DATE | |
| ENVIRONMENTAL HEALTH DEPARTMENT | |
| <i>[Signature]</i> | 11-10-11 |
| DATE | |
| AMAFCA | |
| <i>[Signature]</i> | 11-2-11 |
| DATE | |
| PARKS AND RECREATION DEPARTMENT | |
| <i>[Signature]</i> | 11/2/11 |
| DATE | |
| A.B.C.W.U.A. | |
| <i>[Signature]</i> | 11-2-11 |
| DATE | |
| CITY ENGINEER | |
| <i>[Signature]</i> | 1-27-12 |
| DATE | |
| DRB CHAIRPERSON, PLANNING DEPARTMENT | |



Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

[Signature]
 LARRY W. MEDRANO
 N.M.P.S. No. 11993
 DATE: 10/11/11



OFFICE LOCATION:
 5571 Midway Park Place, NE
 Albuquerque, NM 87109
 MAILING ADDRESS:
 PO Box 90636
 Albuquerque, NM 87199

866.442.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX

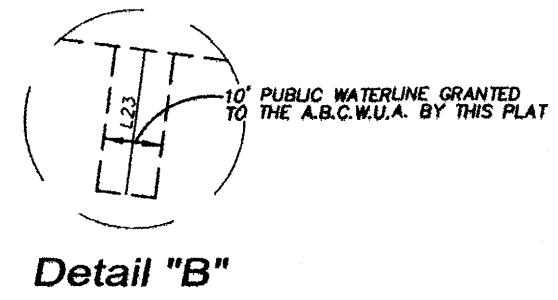
INDEXING INFORMATION FOR COUNTY CLERK
 OWNER SPECTRUM ACQUISITION-ALBUQUERQUE, LLC
 SECTION 1, TOWNSHIP 11 N, RANGE 2 E,
 SUBDIVISION PARADISE NORTH

Line Table

| LINE | BEARING | DISTANCE |
|------|---------------|----------|
| L1 | N 68°17'20" W | 90.87' |
| L2 | S 44°48'06" W | 40.74' |
| L3 | S 57°30'35" E | 94.43' |
| L4 | N 62°29'25" E | 55.39' |
| L5 | N 28°14'33" W | 2.50' |
| L6 | S 33°28'39" E | 2.50' |
| L7 | N 66°46'57" W | 34.53' |
| L8 | S 34°27'45" W | 56.59' |
| L9 | S 55°32'15" E | 15.00' |
| L10 | N 34°27'45" E | 15.91' |
| L11 | S 59°08'33" E | 17.79' |
| L12 | N 43°12'23" E | 10.00' |
| L13 | S 58°54'00" E | 18.14' |
| L14 | S 58°54'00" E | 20.36' |
| L15 | N 12°45'10" E | 37.41' |
| L16 | N 12°45'10" E | 29.28' |
| L17 | S 46°47'37" E | 5.40' |
| L18 | S 46°47'37" E | 17.00' |
| L19 | N 43°12'23" E | 2.63' |
| L20 | N 43°12'23" E | 8.01' |
| L21 | N 62°54'17" E | 14.58' |
| L22 | S 27°05'43" E | 19.69' |
| L23 | N 53°17'17" E | 26.85' |
| L24 | S 62°13'56" W | 24.77' |
| L25 | S 46°47'37" E | 32.12' |
| L26 | S 53°07'22" W | 143.68' |
| L27 | N 15°51'05" W | 25.27' |
| L28 | N 10°22'54" E | 14.18' |
| L29 | N 89°41'44" E | 13.74' |
| L30 | S 56°24'20" W | 0.40' |
| L31 | N 35°33'59" E | 30.92' |
| L32 | S 62°54'17" W | 32.75' |
| L33 | S 47°29'37" E | 15.15' |
| L34 | N 42°21'55" E | 14.26' |
| L35 | N 47°38'05" W | 10.00' |
| L36 | S 42°21'55" W | 14.25' |

Curve Table

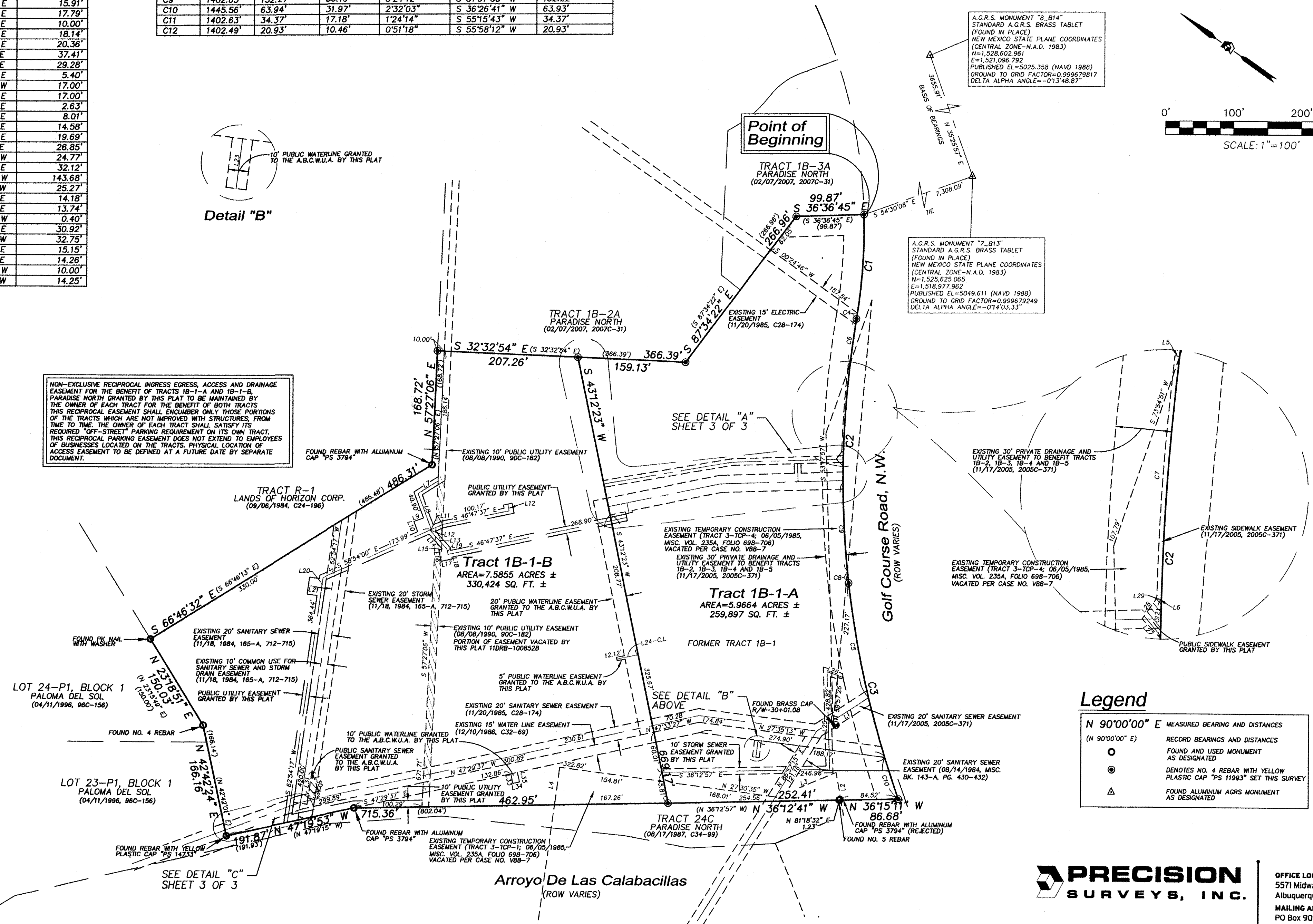
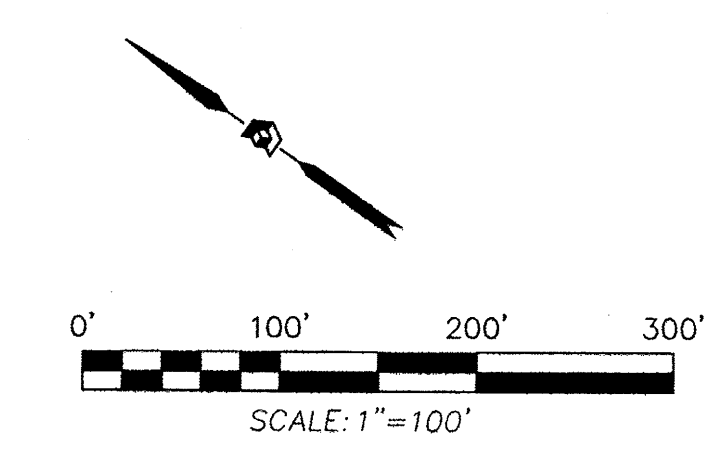
| CURVE | RADIUS | ARC LENGTH | TANGENT | DELTA ANGLE | CHORD BEARING | CHORD LENGTH |
|-------|----------|------------|---------|-------------|---------------|--------------|
| C1 | 783.54' | 152.48' | 76.48' | 11°09'00" | S 58°57'46" W | 152.24' |
| C2 | 1402.63' | 388.10' | 195.30' | 15°51'12" | S 56°29'06" W | 386.86' |
| C3 | 1445.56' | 326.71' | 164.05' | 12°56'57" | S 41°39'08" W | 326.01' |
| C4 | 783.54' | 8.61' | 4.31' | 0°37'47" | N 64°13'22" E | 8.61' |
| C5 | 1445.56' | 171.30' | 85.75' | 6°47'22" | S 44°43'56" W | 171.20' |
| C6 | 1402.63' | 66.04' | 33.03' | 2°41'52" | S 63°03'46" W | 66.04' |
| C7 | 1405.13' | 130.36' | 65.23' | 5°18'56" | S 59°03'19" W | 130.31' |
| C8 | 1402.63' | 17.15' | 8.57' | 0°42'02" | S 48°54'31" W | 17.15' |
| C9 | 1402.63' | 132.22' | 66.19' | 5°24'12" | S 51°57'38" W | 132.22' |
| C10 | 1445.56' | 63.94' | 31.97' | 2°32'03" | S 36°26'41" W | 63.93' |
| C11 | 1402.63' | 34.37' | 17.18' | 1°24'14" | S 55°15'43" W | 34.37' |
| C12 | 1402.49' | 20.93' | 10.46' | 0°51'18" | S 55°58'12" W | 20.93' |



NON-EXCLUSIVE RECIPROCAL INGRESS EGRESS, ACCESS AND DRAINAGE EASEMENT FOR THE BENEFIT OF TRACTS 1B-1-A AND 1B-1-B, PARADISE NORTH GRANTED BY THIS PLAT TO BE MAINTAINED BY THE OWNER OF EACH TRACT FOR THE BENEFIT OF BOTH TRACTS. THIS RECIPROCAL EASEMENT SHALL ENCUMBER ONLY THOSE PORTIONS OF THE TRACTS WHICH ARE NOT IMPROVED WITH STRUCTURES, FROM TIME TO TIME. THE OWNER OF EACH TRACT SHALL SATISFY ITS REQUIRED "OFF-STREET" PARKING REQUIREMENT ON ITS OWN TRACT. THIS RECIPROCAL PARKING EASEMENT DOES NOT EXTEND TO EMPLOYEES OF BUSINESSES LOCATED ON THE TRACTS. PHYSICAL LOCATION OF ACCESS EASEMENT TO BE DEFINED AT A FUTURE DATE BY SEPARATE DOCUMENT.

RECORDING STAMP
 DOC# 2012007809
 01/27/2012 11:45 AM Page: 2 of 3
 PLAT R 525.00 B: 2012C P: 0010 M. Toulouse Oliveira, Bernalillo Co

Plat of
 Tracts 1B-1-A and 1B-1-B
Paradise North
 Albuquerque, Bernalillo County, New Mexico
 October 2011



Legend

- N 90°00'00" E MEASURED BEARING AND DISTANCES
- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- ⊙ DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
- △ FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED

INDEXING INFORMATION FOR COUNTY CLERK
 OWNER SPECTRUM ACQUISITION-ALBUQUERQUE, LLC
 SECTION 1, TOWNSHIP 11 N, RANGE 2 E,
 SUBDIVISION PARADISE NORTH

PRECISION SURVEYS, INC.

OFFICE LOCATION:
 5571 Midway Park Place, NE
 Albuquerque, NM 87109
 MAILING ADDRESS:
 PO Box 90636
 Albuquerque, NM 87199

866.442.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX

Curve Table

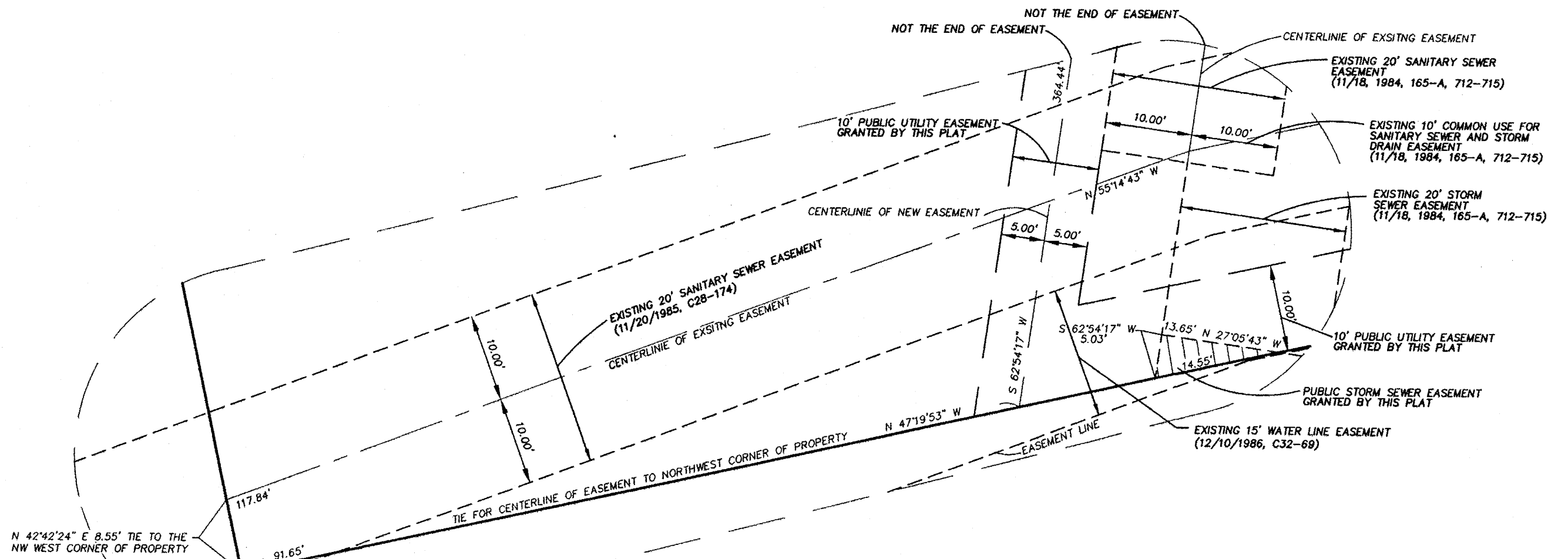
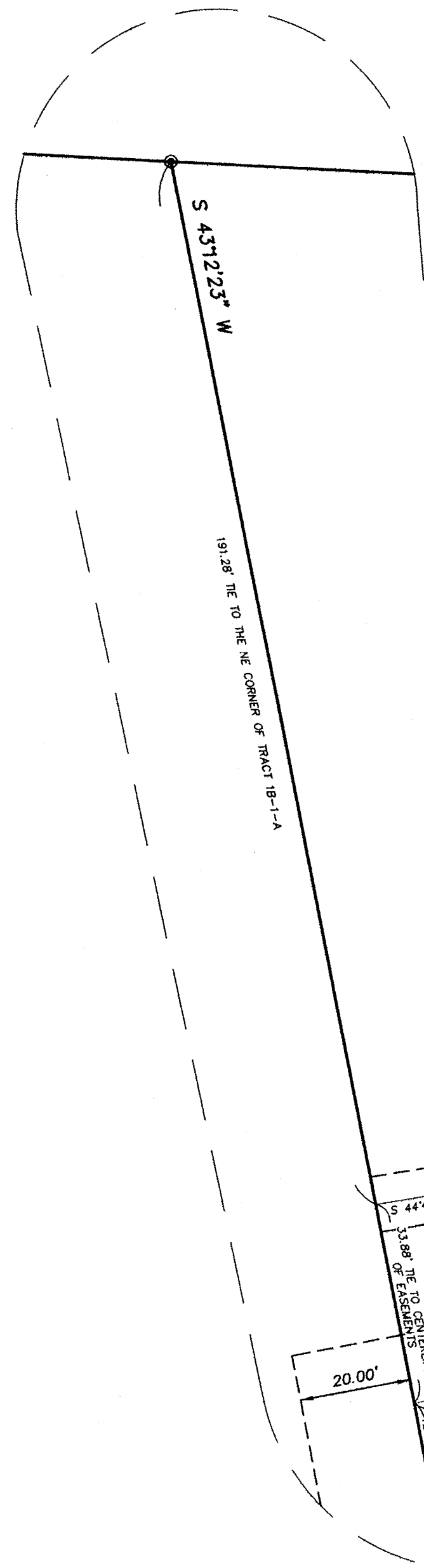
| CURVE | RADIUS | ARC LENGTH | TANGENT | DELTA ANGLE | CHORD BEARING | CHORD LENGTH |
|-------|----------|------------|---------|-------------|---------------|--------------|
| C1 | 783.54' | 152.48' | 76.48' | 11°09'00" | S 58°57'46" W | 152.24' |
| C2 | 1402.63' | 388.10' | 195.30' | 15°51'12" | S 56°29'06" W | 386.86' |
| C3 | 1445.56' | 326.71' | 164.05' | 12°56'57" | S 41°39'08" W | 326.01' |
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| C12 | 1402.49' | 20.93' | 10.46' | 0°51'18" | S 55°58'12" W | 20.93' |

RECORDING STAMP
 DOC# 2012007809
 01/27/2012 11:45 AM Page: 3 of 3
 11/17/2008 8:26:00 B. 2012C.P. 0010 M. Toulous Olivere, Bernalillo County

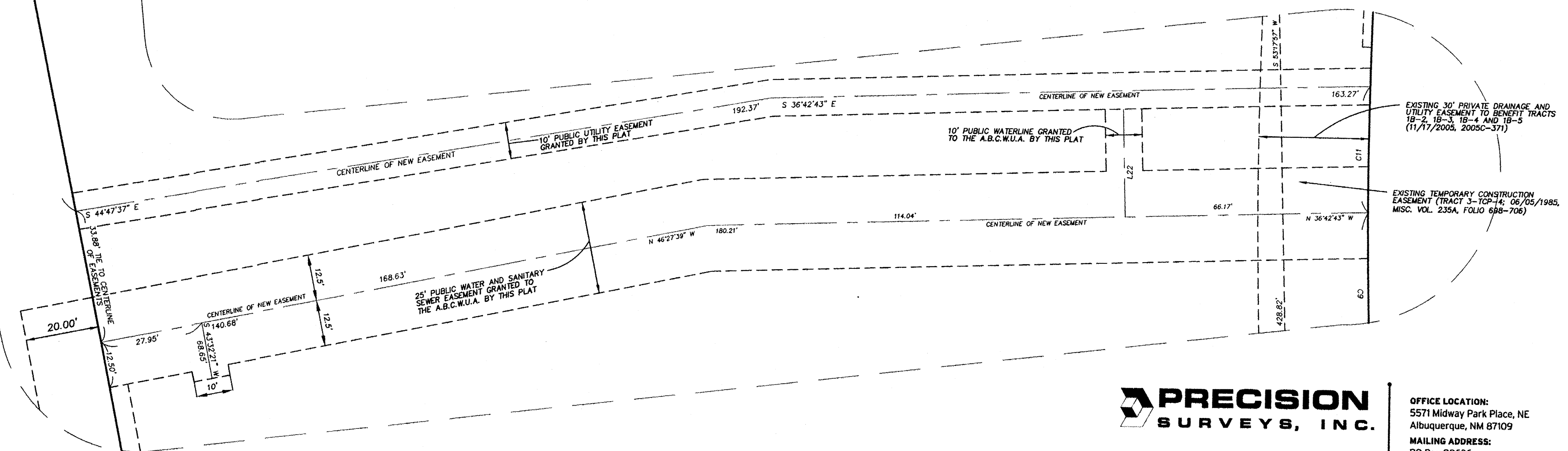
Plat of
 Tracts 1B-1-A and 1B-1-B
Paradise North
 Albuquerque, Bernalillo County, New Mexico
 January 2012

Line Table

| LINE | BEARING | DISTANCE |
|------|---------------|----------|
| L1 | N 68°17'20" W | 90.87' |
| L2 | S 44°48'06" W | 40.74' |
| L3 | S 57°30'35" E | 94.43' |
| L4 | N 62°29'25" E | 55.39' |
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Detail "C"
 NOT TO SCALE



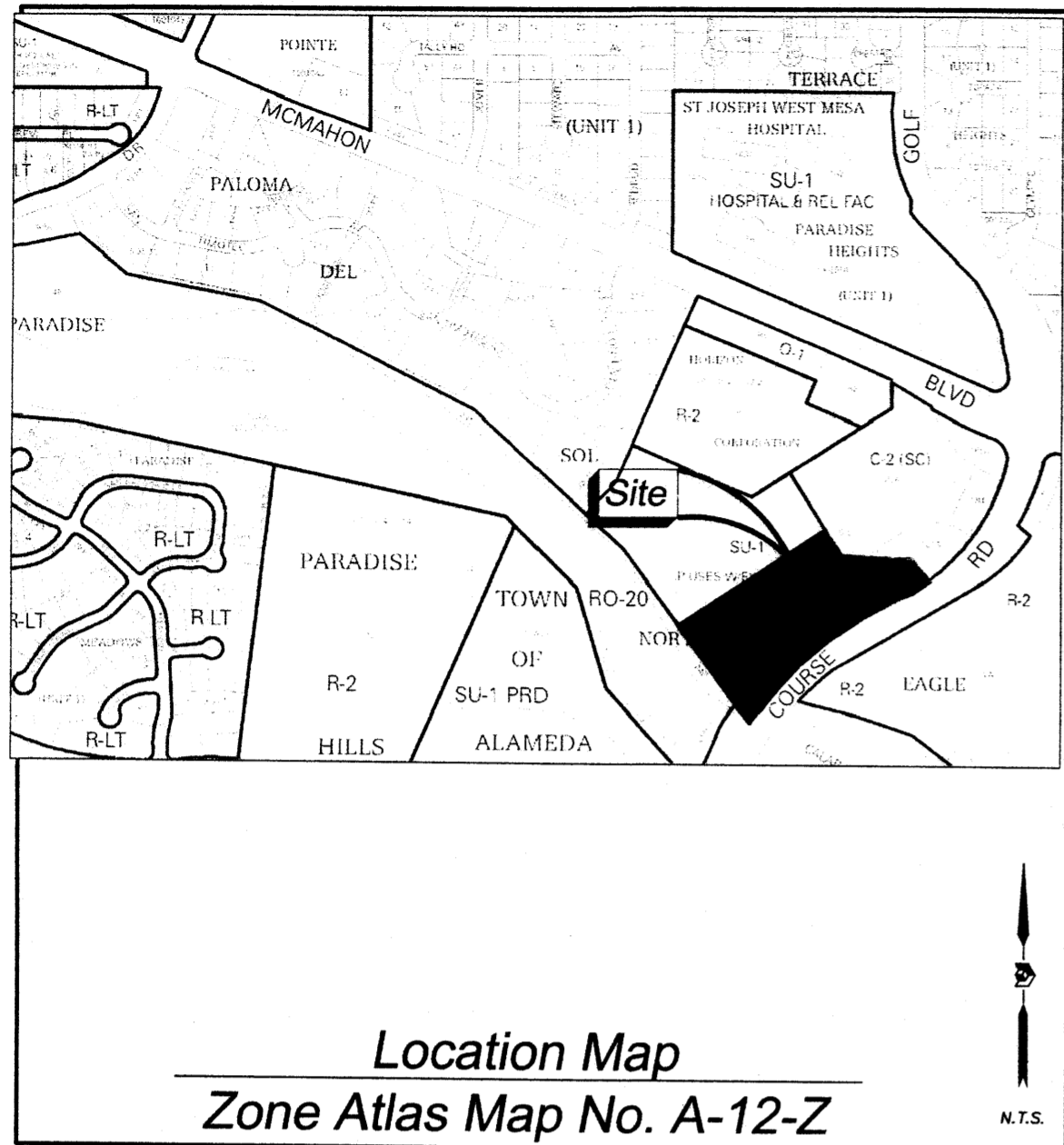
Detail "A"
 NOT TO SCALE



INDEXING INFORMATION FOR COUNTY CLERK
 OWNER SPECTRUM ACQUISITION-ALBUQUERQUE, LLC
 SECTION 1, TOWNSHIP 11 N, RANGE 2 E,
 SUBDIVISION PARADISE NORTH

OFFICE LOCATION:
 5571 Midway Park Place, NE
 Albuquerque, NM 87109
 MAILING ADDRESS:
 PO Box 90636
 Albuquerque, NM 87199

866.442.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX



RECORDING STAMP

DOC# 2012133138
12/17/2012 04:38 PM Page: 1 of 2
PLAT R-525, 00 8: 2012C P: 0142 M. Toulouse Olivere, Bernalillo Cour

Plat of
Tract 1B-1-A-1
Paradise North
City of Albuquerque, Bernalillo County, New Mexico
September 2012

Legal Description

TRACT "1B-1-A" OF PARADISE NORTH, SITUATE WITHIN THE TOWN OF ALAMEDA GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JANUARY 27, 2012, IN MAP BOOK 2012C, PAGE 10, CONTAINING 5.9664 ACRES (259,897 SQUARE FEET), MORE OR LESS, NOW COMPRISING TRACT 1B-1-A-1.

Project No. 1008528

Application No. 12DRB-70373

Utility Approvals

| | |
|--|----------|
| <i>Fernando Vigil</i> | 12-12-12 |
| PNM | DATE |
| <i>[Signature]</i> | 12-17-12 |
| NEW MEXICO GAS COMPANY | DATE |
| <i>Rachelle Alcala</i> | 12-13-12 |
| QUEST CORPORATION D/B/A CENTURYLINK QC | DATE |
| <i>[Signature]</i> | 12-12-12 |
| COMCAST | DATE |

City Approvals

| | |
|--|----------|
| <i>[Signature]</i> | 11-8-12 |
| CITY SURVEYOR | DATE |
| <i>[Signature]</i> | 12-12-12 |
| A.M.A.F.C.A. | DATE |
| <i>[Signature]</i> | 12-17-12 |
| TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT | DATE |
| <i>[Signature]</i> | 12/12/12 |
| A.B.C.W.U.A. | DATE |
| <i>[Signature]</i> | 12-12-12 |
| PARKS AND RECREATION DEPARTMENT | DATE |
| <i>[Signature]</i> | 12-12-12 |
| CITY ENGINEER | DATE |
| <i>[Signature]</i> | 12-17-12 |
| DRB CHAIRPERSON, PLANNING DEPARTMENT | DATE |

Subdivision Data:

ZONING: SU-A IP USES W/EXCEPTIONS
GROSS SUBDIVISION ACREAGE: 5.9664 ACRES±
ZONE ATLAS INDEX NO: A-12-Z
NO. OF TRACTS CREATED: 1
NO. OF LOTS CREATED: 0
MILES OF FULL-WIDTH STREETS CREATED: 0
DATE OF SURVEY: MAY 4-16, 2011

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING ONE TRACT INTO ONE NEW TRACT, VACATE A PORTION OF AN EASEMENT AND TO GRANT AN EASEMENT.

Notes:

- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1983).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN THE TOWN OF ALAMEDA GRANT, PROJECTED SECTION 1, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER WARRANTS THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON

WITH LISTED BENEFICIARIES AND STIPULATIONS.

10-27-2012
DATE

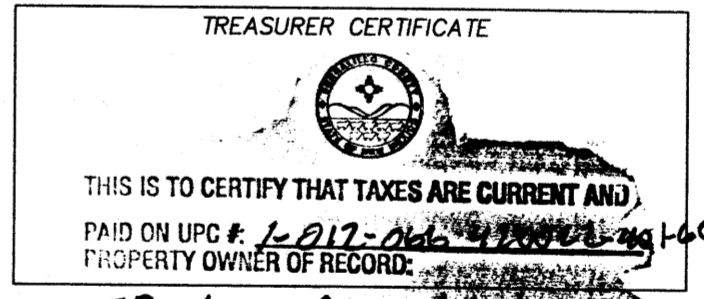
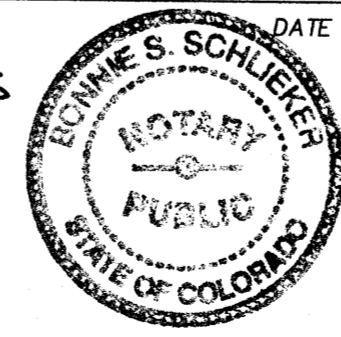
[Signature]
MANAGER **JEFFREY D. KRAUS**
PALMILLA COMMERCIAL, LLC
A COLORADO LIMITED LIABILITY COMPANY

Acknowledgment

STATE OF COLORADO) SS
COUNTY OF DENVER)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 26th DAY OF OCTOBER, 2012 BY **JEFFREY D. KRAUS** MANAGER, PALMILLA COMMERCIAL, LLC, A COLORADO LIMITED LIABILITY COMPANY.

BY *[Signature]* **Bonnie S. Schlieker** NOTARY PUBLIC COMMISSION EXPIRES: 11-13-2014



Surveyors Certificate

I, **LARRY W. MEDRANO**, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

10-27-2012
DATE

[Signature]
LARRY W. MEDRANO
R.M.P.S. No. 11993



PRECISION SURVEYS, INC.

OFFICE LOCATION:
5571 Midway Park Place, NE
Albuquerque, NM 87109
MAILING ADDRESS:
PO Box 90636
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OWNER PALMILLA COMMERCIAL, LLC
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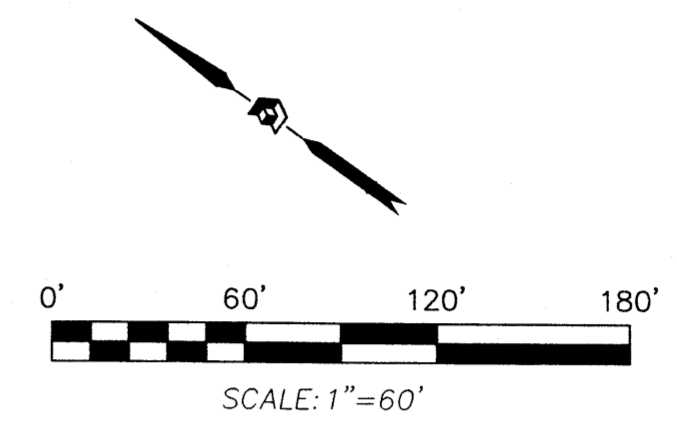
Plat of
 Tract 1B-1-A-1
Paradise North
 City of Albuquerque, Bernalillo County, New Mexico
 September 2012

RECORDING STAMP
 DOC# 2012133138
 12/17/2012 04:38 PM Page: 2 of 2
 PLAT R 325 08 B: 2012C P: 0142 M. Toulouse Olivere, Bernalillo Cour

NON-EXCLUSIVE RECIPROCAL INGRESS EGRESS, ACCESS AND DRAINAGE EASEMENT FOR THE BENEFIT OF TRACTS 1B-1-A-1 AND 1B-1-B, PARADISE NORTH GRANTED BY THIS PLAT TO BE MAINTAINED BY THE OWNER OF EACH TRACT FOR THE BENEFIT OF BOTH TRACTS THIS RECIPROCAL EASEMENT SHALL ENCUMBER ONLY THOSE PORTIONS OF THE TRACTS WHICH ARE NOT IMPROVED WITH STRUCTURES, FROM TIME TO TIME THE OWNER OF EACH TRACT SHALL SATISFY ITS REQUIRED "OFF-STREET" PARKING REQUIREMENT ON ITS OWN TRACT. THIS RECIPROCAL PARKING EASEMENT DOES NOT EXTEND TO EMPLOYEES OF BUSINESSES LOCATED ON THE TRACTS. PHYSICAL LOCATION OF ACCESS EASEMENT TO BE DEFINED AT A FUTURE DATE BY SEPARATE DOCUMENT.

A.G.R.S. MONUMENT "8_B14"
 STANDARD A.G.R.S. BRASS TABLE
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1,528,602.961
 E=1,521,006.792
 PUBLISHED EL=5025.358 (NAVD 1988)
 GROUND TO GRID FACTOR=0.999679817
 DELTA ALPHA ANGLE=-0713'48.87"

A.G.R.S. MONUMENT "7_B13"
 STANDARD A.G.R.S. BRASS TABLE
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1,525,623.065
 E=1,518,977.962
 PUBLISHED EL=5049.611 (NAVD 1988)
 GROUND TO GRID FACTOR=0.999679249
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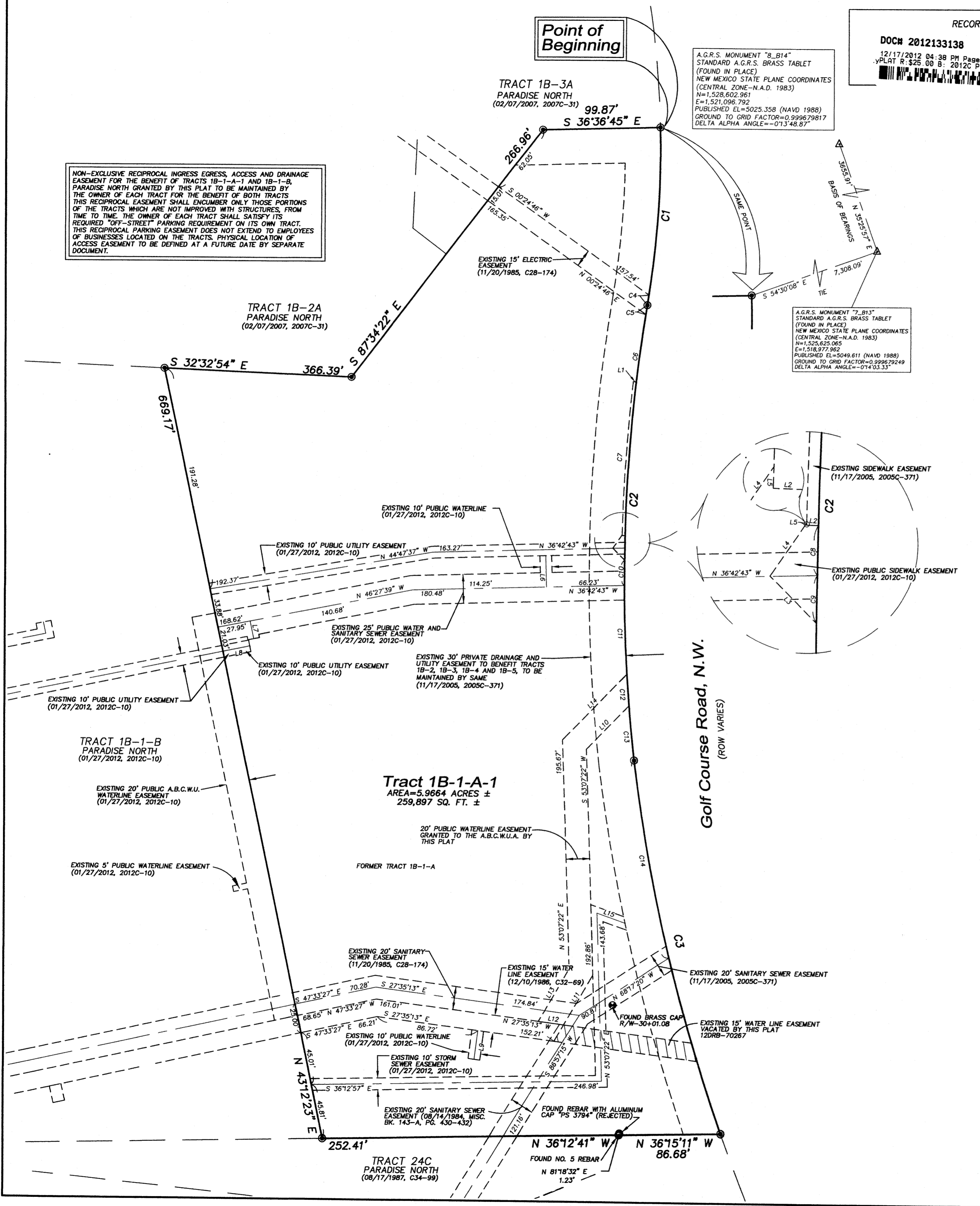
- N 90°00'00" E MEASURED BEARING AND DISTANCES MATCH RECORD BEARINGS AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
- △ FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED

Line Table

| LINE | BEARING | DISTANCE |
|------|---------------|----------|
| L1 | N 28°14'33" W | 2.50' |
| L2 | S 33°28'39" E | 2.50' |
| L3 | N 10°22'54" E | 14.18' |
| L4 | N 89°41'44" E | 13.74' |
| L5 | S 56°24'20" W | 0.40' |
| L6 | N 53°17'17" E | 26.85' |
| L7 | N 43°32'21" E | 15.45' |
| L8 | N 46°47'37" W | 23.36' |
| L9 | S 62°13'56" W | 24.77' |
| L10 | S 80°56'28" E | 51.81' |
| L11 | S 84°43'56" W | 49.49' |
| L12 | N 27°35'13" W | 21.62' |
| L13 | N 84°43'56" E | 52.04' |
| L14 | S 80°56'28" E | 78.26' |
| L15 | N 15°51'05" W | 25.27' |

Curve Table

| CURVE | RADIUS | ARC LENGTH | TANGENT | DELTA ANGLE | CHORD BEARING | CHORD LENGTH |
|-------|----------|------------|---------|-------------|---------------|--------------|
| C1 | 783.54' | 152.48' | 76.48' | 11°09'00" | S 58°57'46" W | 152.24' |
| C2 | 1402.63' | 388.10' | 195.30' | 15°51'12" | S 56°29'06" W | 386.86' |
| C3 | 1445.56' | 326.71' | 164.05' | 12°56'57" | S 41°39'08" W | 326.01' |
| C4 | 783.54' | 8.61' | 4.31' | 0°37'47" | N 64°13'22" E | 8.61' |
| C5 | 1402.63' | 8.10' | 4.05' | 0°19'51" | S 64°14'46" W | 8.10' |
| C6 | 1402.63' | 57.96' | 28.99' | 2°22'04" | S 62°53'49" W | 57.96' |
| C7 | 1405.13' | 130.36' | 65.23' | 5°18'56" | S 59°03'19" W | 130.31' |
| C8 | 1402.63' | 10.61' | 5.31' | 0°26'01" | S 56°10'50" W | 10.61' |
| C9 | 1402.63' | 10.32' | 5.16' | 0°25'17" | S 55°45'11" W | 10.32' |
| C10 | 1402.63' | 21.55' | 10.78' | 0°52'49" | S 55°06'08" W | 21.55' |
| C11 | 1402.63' | 76.04' | 38.03' | 3°06'23" | S 53°06'32" W | 76.03' |
| C12 | 1402.63' | 26.89' | 13.45' | 1°05'54" | S 51°00'24" W | 26.89' |
| C13 | 1402.63' | 46.49' | 23.25' | 1°53'56" | S 49°30'28" W | 46.49' |
| C14 | 1445.56' | 171.30' | 85.75' | 6°47'22" | S 44°43'56" W | 171.20' |

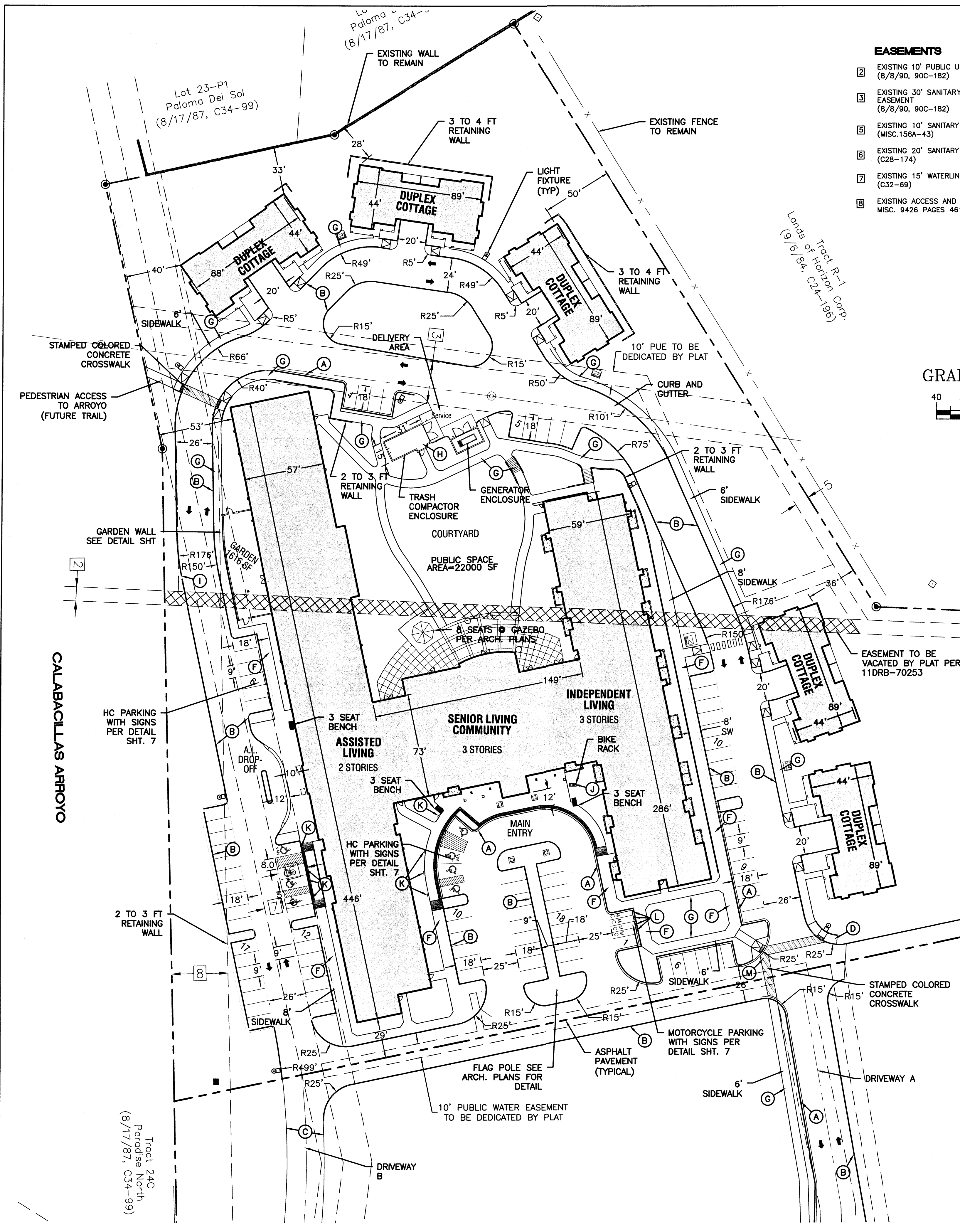


INDEXING INFORMATION FOR COUNTY CLERK
 OWNER PALMILLA COMMERCIAL, LLC
 SECTION 1, TOWNSHIP 11 N., RANGE 2 E,
 SUBDIVISION PARADISE NORTH

PRECISION SURVEYS, INC.

OFFICE LOCATION:
 5571 Midway Park Place, NE
 Albuquerque, NM 87109
 MAILING ADDRESS:
 PO Box 90636
 Albuquerque, NM 87199
 866.442.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX

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EASEMENTS

- ② EXISTING 10' PUBLIC UTILITY EASEMENT (8/8/90, 90C-182)
- ③ EXISTING 30' SANITARY SEWER & STORM DRAIN EASEMENT (8/8/90, 90C-182)
- ④ EXISTING 10' SANITARY SEWER EASEMENT (MISC.156A-43)
- ⑤ EXISTING 20' SANITARY SEWER EASEMENT (C28-174)
- ⑦ EXISTING 15' WATERLINE EASEMENT (C32-69)
- ⑧ EXISTING ACCESS AND UTILITY EASEMENT (9/14/94, MISC. 9426 PAGES 4616-4619)

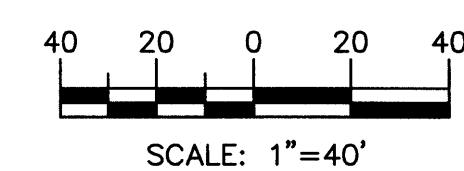
KEYED NOTE:

- Ⓐ CURB & GUTTER PER COA STD DWG #2415B
- Ⓑ HEADER CURB PER COA STD DWG #2415B
- Ⓒ AC BERM PER COA STD DWG #2415B
- Ⓓ ACCESSIBLE RAMP W/ TRUNCATED DOMES PER COA STD DWG #2426
- Ⓔ ADA RAMP "B" PER DETAIL SHEET C7
- Ⓕ 8' SIDEWALK PER COA STD DWG #2430
- Ⓖ 6' SIDEWALK PER COA STD DWG #2430
- Ⓗ TRASH ENCLOSURE (SEE DETAIL SHEET C6)
- Ⓘ 2' CURB CUT
- Ⓝ BIKE RACK (SEE DETAIL SHEET C6)
- Ⓚ HANDICAP PARKING SIGN PER COA SPECIFICATIONS (SEE DETAIL SHEET C5)
- Ⓛ MOTORCYCLE SIGN PER COA SPECIFICATIONS (SEE DETAIL SHEET C5)
- Ⓜ 6' WIDE PEDESTRIAN PATHWAY (STAMPED CONCRETE)

NOTES:

1. A PEDESTRIAN ACCESS FROM THE WESTERN PORTION OF LOT 2 SHALL BE PROVIDED WITH FUTURE COMMERCIAL/OFFICE DEVELOPMENT TO THE CALLABACILLAS ARROYO (FUTURE TRAIL).
2. A CROSS-LOT ACCESS AND DRAINAGE EASEMENT OVER LOTS 1&2 SHALL BE DEDICATED BY PLAT.

GRAPHIC SCALE



SITE DATA

LEGAL DESCRIPTION: TRACT 1B-1 PARADISE NORTH
 ZONING: SU1 FOR IP USES, EXCEPT BOTTLING PLANT, COLD STORAGE PLANT, MACHINE SHOP, RAILROAD RIGHT-OF-WAY AND INCIDENTAL FACILITIES, AND SHEET METAL WORKING.
 SITE AREA: 13.55 ACRES
PROPOSED USE:
 SENIOR CARE FACILITY (LOT 1) WITH THE FOLLOWING:
 MAIN FACILITY: 146 UNITS (166 BEDS)
 5-DUPLEX COTTAGES: 10 UNITS (20 BEDS)
PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:
 THE FRONT OF THE BUILDING WILL FACE GOLF COURSE ROAD NW. EXISTING PEDESTRIAN ACCESSIBILITY, IN THE FORM OF PUBLIC SIDEWALK, RUNS THE LENGTH OF THE SITE ALONG THE EASTERLY BOUNDARY. A PEDESTRIAN CONNECTION FROM THE PROPOSED BUILDING WILL PROVIDE A CONNECTION TO THE EXISTING SIDEWALK ON GOLF COURSE ROAD ALONG THE PROPOSED NORTHERLY DRIVEWAY TO BE LOCATED AT THE EXISTING DRIVEWAY APRON (DRIVEWAY A). VEHICULAR ACCESS TO THE SITE WILL PRIMARILY BE FROM THIS SAME EXISTING DRIVEWAY CUT ON GOLF COURSE ROAD AND A SECONDARY DRIVEWAY ACCESS IS PROPOSED AT A NEW DRIVEWAY APPROXIMATELY 350 FEET SOUTH OF THE EXISTING DRIVEWAY APRON (DRIVEWAY B). SIDEWALK, CURB AND GUTTER AND PEDESTRIAN RAMPS WILL BE CONSTRUCTED AT THE NEW DRIVEWAY LOCATION AND WITHIN THE SITE.

INTERNAL CIRCULATION REQUIREMENTS:

COMMON DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED BY THE REPLAT.
MAXIMUM BUILDING HEIGHT ALLOWED:
 UNLESS MODIFIED BY EPC, 26 FEET AT ANY LEGAL LOCATION. THE HEIGHT AND WIDTH OF THE STRUCTURE OVER 26 FEET SHALL FALL WITHIN 45° ANGLE PLANES DRAWN FROM THE HORIZONTAL AT THE MEAN GRADE ALONG EACH INTERNAL BOUNDARY OF THE PREMISES AND EACH ADJACENT PUBLIC RIGHT-OF-WAY CENTERLINE, OR DRAINAGEWAY RIGHT-OF-WAY CENTERLINE, TO PROTECT SOLAR ACCESS. A STRUCTURE OVER 26 FEET MAY NOT EXCEED THE NORTHERN BOUNDARY OF THESE 45° PLANES, BUT MAY BE SITED IN ANY OTHER DIRECTION WITHIN PLANES DRAWN AT A 60° ANGLE FROM THE SAME BOUNDARIES OR CENTER LINE.
 PROPOSED AVE ROOF HEIGHT: 38'-0" (UPPER), 26'-8" (LOWER)

MINIMUM BUILDING SETBACK:

NO REQUIREMENT, 20' MIN. PROPOSED ON LOT 1.
MAXIMUM TOTAL DWELLING UNITS:
 N/A. RESIDENTIAL USE NOT PERMITTED PER ZONING
NONRESIDENTIAL USES' MAXIMUM FLOOR AREA RATIO:
 NO REQUIREMENT, 0.43 F.A.R. PROPOSED ON LOT 1.
PHASING
 THE FIRST PHASE WILL CONSIST OF LOT 1 DEVELOPMENT AND CONSTRUCTION OF DRIVEWAY A AND B. LOTS 2 WILL BE DEVELOPED IN FUTURE PHASES AND WILL REQUIRE EPC APPROVAL.

STRUCTURE LOCATIONS

SITE IS UNDEVELOPED AND VACANT WITH NO EXISTING STRUCTURES. PROPOSED STRUCTURE LOCATIONS PER PLAN.
STRUCTURE ELEVATIONS AND DIMENSIONS:

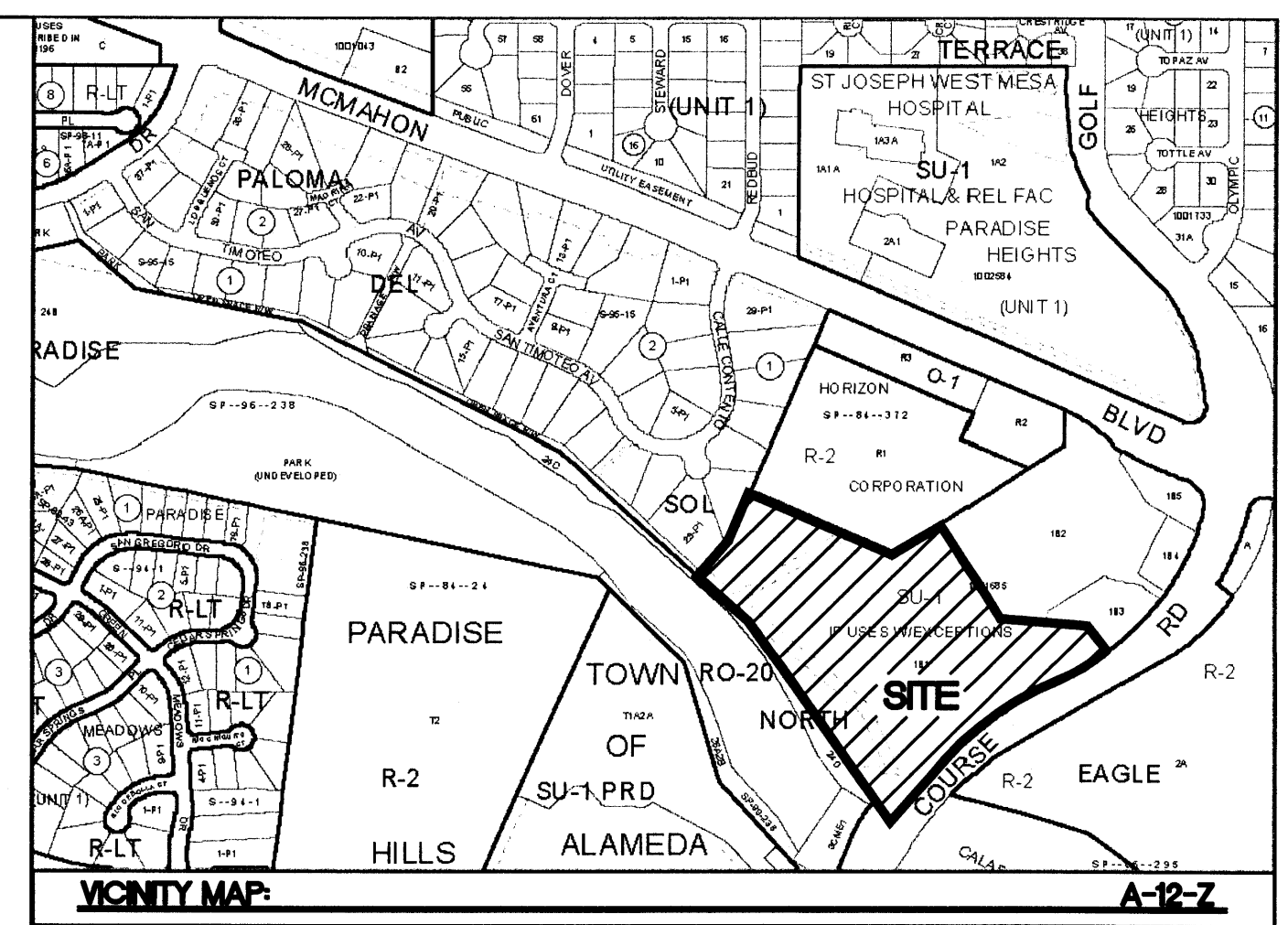
BUILDING AREA:
 MAIN BUILDING: 130,131 SF
 COTTAGES: (3,450 EACH X 5) 17,250 SF
 TOTAL: 147,381 SF
 SEE SHEETS A7 THROUGH A11 AND SHEET C7 FOR STRUCTURE AND SIGN ELEVATIONS

PARKING FACILITIES

PARKING REQUIRED:
 MAIN BUILDING: 83 SPACES (1 SPACE PER 2 BEDS)
 COTTAGES: 10 SPACES (1 SPACE PER 2 BEDS)
 TOTAL REQUIRED: 93 SPACES
TOTAL PROVIDED: 108 SPACES (98 PARKING LOT & 10 GARAGES IN COTTAGES)
 HC PARKING REQUIRED: 4 SPACES
 HC PARKING PROVIDED: 8 SPACES (2 VAN ACCESSIBLE)
 MC PARKING REQUIRED: 3 SPACES
 MC PARKING PROVIDED: 4 SPACES
 BICYCLE PARKING REQUIRED: 5 SPACES
 BICYCLE PARKING PROVIDED: 5 SPACES

LOADING FACILITIES

PUBLIC TRANSPORTATION IS AVAILABLE TO AN EXISTING BUS STOP AT THE SITE SERVICED WITH ROUTES 92, 155, AND 3/157. A PEDESTRIAN CONNECTION IS PROPOSED ALONG DRIVEWAY A IN THE FIRST PHASE OF DEVELOPMENT, AND ANOTHER ALONG DRIVEWAY B IN THE FUTURE PHASE.



LEGAL DESCRIPTION:

TRACT 1B-1 PARADISE NORTH
NOTE:
 SITE LIGHTING SHALL COMPLY WITH THE LIGHTING REGULATIONS OF THE ZONING CODE, 14-16-3-9. AREA LIGHTING REGULATIONS. LIGHT FIXTURES WITHIN 100 FEET OF A RESIDENTIAL AREA SHALL NOT EXCEED 16 FEET.

LEGEND

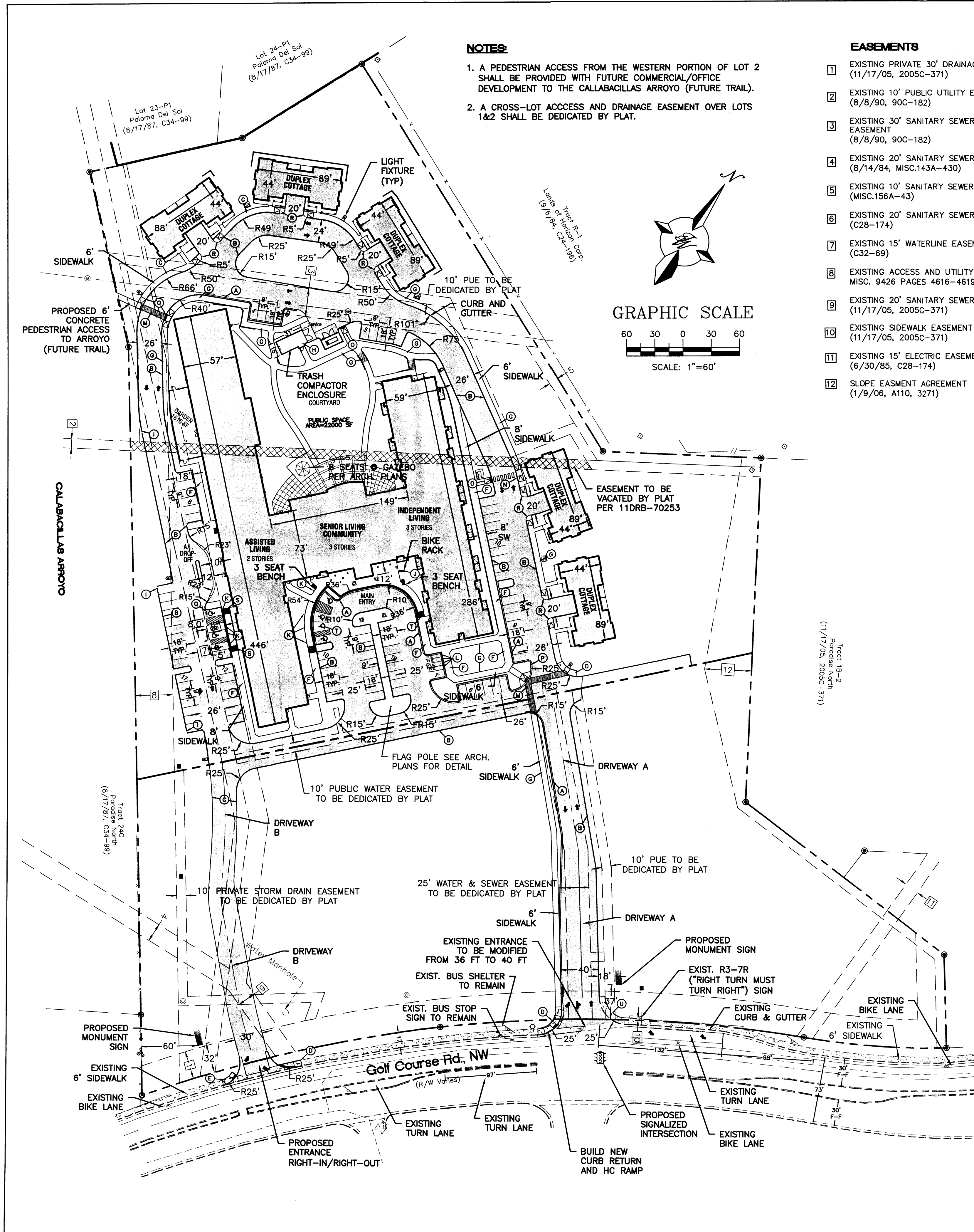
- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- - - RIGHT-OF-WAY
- ▭ BUILDING
- ▨ SIDEWALK
- ▧ SCREEN WALL
- ▩ RETAINING WALL
- ⊠ STREET LIGHTS
- ▨ STRIPING
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- - - EXISTING SIDEWALK
- ▨ ASPHALT CONCRETE PAVEMENT

PROJECT NUMBER: #1008528
APPLICATION NUMBER:
 This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.
 Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

| | |
|---|------|
| Traffic Engineer, Transportation Division | Date |
| Water Utility Development | Date |
| Parks & Recreation Department | Date |
| City Engineer | Date |
| * Environmental Health Department (conditional) | Date |
| Spill Waste Management | Date |
| DRB Chairperson, Planning Department | Date |

* Environmental Health, if necessary

| | | |
|----------------------------------|---|----------------------|
| ENGINEER'S SEAL | SPECTRUM ASSISTED LIVING | DRAWN BY BJF |
| | SITE PLAN FOR BUILDING PERMIT | DATE 10/17/11 |
| RONALD R. BOHANNAN P.E. #7868 | TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com | 2011026-SPB |
| | | SHEET # C2 |
| | | JOB # 2011026 |



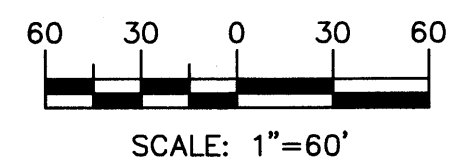
NOTES:

1. A PEDESTRIAN ACCESS FROM THE WESTERN PORTION OF LOT 2 SHALL BE PROVIDED WITH FUTURE COMMERCIAL/OFFICE DEVELOPMENT TO THE CALLABACILLAS ARROYO (FUTURE TRAIL).
2. A CROSS-LOT ACCESS AND DRAINAGE EASEMENT OVER LOTS 1&2 SHALL BE DEDICATED BY PLAT.

EASEMENTS

- 1 EXISTING PRIVATE 30' DRAINAGE & UTILITY EASEMENT (11/17/05, 2005C-371)
- 2 EXISTING 10' PUBLIC UTILITY EASEMENT (8/8/90, 90C-182)
- 3 EXISTING 30' SANITARY SEWER & STORM DRAIN EASEMENT (8/8/90, 90C-182)
- 4 EXISTING 20' SANITARY SEWER EASEMENT (8/14/84, MISC.143A-430)
- 5 EXISTING 10' SANITARY SEWER EASEMENT (MISC.156A-43)
- 6 EXISTING 20' SANITARY SEWER EASEMENT (C28-174)
- 7 EXISTING 15' WATERLINE EASEMENT (C32-69)
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- 10 EXISTING SIDEWALK EASEMENT (11/17/05, 2005C-371)
- 11 EXISTING 15' ELECTRIC EASEMENT (6/30/85, C28-174)
- 12 SLOPE EASEMENT AGREEMENT (1/9/06, A110, 3271)

GRAPHIC SCALE



KEYED NOTE:

- (A) CURB & GUTTER PER COA STD DWG #2415B
- (B) HEADER CURB PER COA STD DWG #2415B
- (C) TEMP AC CURB PER COA STD DWG #2415B
- (D) ACCESSIBLE RAMP W/ TRUNCATED DOMES PER COA STD DWG #2426
- (E) ADA RAMP "E" PER DETAIL SHEET C8
- (F) 8' SIDEWALK PER COA STD DWG #2430
- (G) 6' SIDEWALK PER COA STD DWG #2430
- (H) TRASH ENCLOSURE (SEE DETAIL SHEET C6)
- (I) 2' CURB CUT
- (J) BIKE RACK (SEE DETAIL SHEET C6)
- (K) HANDICAP PARKING SIGN PER COA SPECIFICATIONS (SEE DETAIL SHEET C7)
- (L) MOTORCYCLE SIGN PER COA SPECIFICATIONS (SEE DETAIL SHEET C7)
- (M) 6' WIDE PEDESTRIAN PATHWAY (STAMPED CONCRETE)
- (N) ADA RAMP "D" PER DETAIL SHEET C7
- (O) ADA RAMP "H" PER DETAIL SHEET C8
- (P) ADA RAMP "F" PER DETAIL SHEET C8
- (Q) HC PARKING DETAIL @ STREET "B" PER DETAIL ON SHT C8
- (R) ADA RAMP "G" @ COTTAGES PER DETAIL SHEET C8
- (S) ADA RAMP "C" PER DETAIL SHEET C7
- (T) HC PARKING @ MAIN ENTRANCE PER DETAIL SHEET C8
- (U) EXISTING RAMP TO REMAIN

SITE DATA

LEGAL DESCRIPTION: TRACT 1B-1 PARADISE NORTH
 ZONING: SU1 FOR IP USES, EXCEPT BOTTLING PLANT, COLD STORAGE PLANT, MACHINE SHOP, RAILROAD RIGHT-OF-WAY AND INCIDENTAL FACILITIES, AND SHEET METAL WORKING.

SITE AREA: 13.55 ACRES

PROPOSED USE:

SENIOR CARE FACILITY (LOT 1) WITH THE FOLLOWING:

MAIN FACILITY: 146 UNITS (166 BEDS)

5-DUPLEX COTTAGES: 10 UNITS (20 BEDS)

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:

THE FRONT OF THE BUILDING WILL FACE GOLF COURSE ROAD NW. EXISTING PEDESTRIAN ACCESSIBILITY, IN THE FORM OF PUBLIC SIDEWALK, RUNS THE LENGTH OF THE SITE ALONG THE EASTERLY BOUNDARY. A PEDESTRIAN CONNECTION FROM THE PROPOSED BUILDING WILL PROVIDE A CONNECTION TO THE EXISTING SIDEWALK ON GOLF COURSE ROAD ALONG THE PROPOSED NORTHERLY DRIVEWAY TO BE LOCATED AT THE EXISTING DRIVEWAY APRON (DRIVEWAY A). VEHICULAR ACCESS TO THE SITE WILL PRIMARILY BE FROM THIS SAME EXISTING DRIVEWAY CUT ON GOLF COURSE ROAD AND A SECONDARY DRIVEWAY ACCESS IS PROPOSED AT A NEW DRIVEWAY APPROXIMATELY 350 FEET SOUTH OF THE EXISTING DRIVEWAY APRON (DRIVEWAY B). SIDEWALK, CURB AND GUTTER AND PEDESTRIAN RAMPS WILL BE CONSTRUCTED AT THE NEW DRIVEWAY LOCATION AND WITHIN THE SITE.

INTERNAL CIRCULATION REQUIREMENTS:

COMMON DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED BY THE REPLAT.

MAXIMUM BUILDING HEIGHT ALLOWED:

UNLESS MODIFIED BY EPC, 28 FEET AT ANY LEGAL LOCATION. THE HEIGHT AND WIDTH OF THE STRUCTURE OVER 28 FEET SHALL FALL WITHIN 45° ANGLE PLANES DRAWN FROM THE HORIZONTAL AT THE MEAN GRADE ALONG EACH INTERNAL BOUNDARY OF THE PREMISES AND EACH ADJACENT PUBLIC RIGHT-OF-WAY CENTERLINE, OR DRAINAGEWAY RIGHT-OF-WAY CENTERLINE. TO PROTECT SOLAR ACCESS, A STRUCTURE OVER 28 FEET MAY NOT EXCEED THE NORTHERN BOUNDARY OF THESE 45° PLANES, BUT MAY BE SITED IN ANY OTHER DIRECTION WITHIN PLANES DRAWN AT A 60° ANGLE FROM THE SAME BOUNDARIES OR CENTER LINE.

PROPOSED AVE ROOF HEIGHT: 38'-0" (UPPER), 26'-6" (LOWER)

MINIMUM BUILDING SETBACK:

NO REQUIREMENT, 20' MIN. PROPOSED ON LOT 1.

MAXIMUM TOTAL DWELLING UNITS:

N/A, RESIDENTIAL USE NOT PERMITTED PER ZONING

NONRESIDENTIAL USES' MAXIMUM FLOOR AREA RATIO:

NO REQUIREMENT, 0.43 F.A.R. PROPOSED ON LOT 1.

PHASING

THE FIRST PHASE WILL CONSIST OF LOT 1 DEVELOPMENT AND CONSTRUCTION OF DRIVEWAY A AND B. LOTS 2 WILL BE DEVELOPED IN FUTURE PHASES AND WILL REQUIRE EPC APPROVAL.

STRUCTURE LOCATIONS

SITE IS UNDEVELOPED AND VACANT WITH NO EXISTING STRUCTURES. PROPOSED STRUCTURE LOCATIONS PER PLAN.

STRUCTURE ELEVATIONS AND DIMENSIONS:

BUILDING AREA:

MAIN BUILDING: 130,131 SF

COTTAGES: (3,450 EACH X 5) 17,250 SF

TOTAL: 147,381 SF

SEE SHEETS A7 THROUGH A11 AND SHEET C7 FOR STRUCTURE AND SIGN ELEVATIONS

PARKING FACILITIES

PARKING REQUIRED:

MAIN BUILDING: 83 SPACES (1 SPACE PER 2 BEDS)

COTTAGES: 10 SPACES (1 SPACE PER 2 BEDS)

TOTAL REQUIRED: 93 SPACES

TOTAL PROVIDED: 108 SPACES (98 PARKING LOT & 10 GARAGES IN COTTAGES)

HC PARKING REQUIRED: 4 SPACES

HC PARKING PROVIDED: 8 SPACES (2 VAN ACCESSIBLE)

MC PARKING REQUIRED: 3 SPACES

MC PARKING PROVIDED: 4 SPACES

BICYCLE PARKING REQUIRED: 5 SPACES

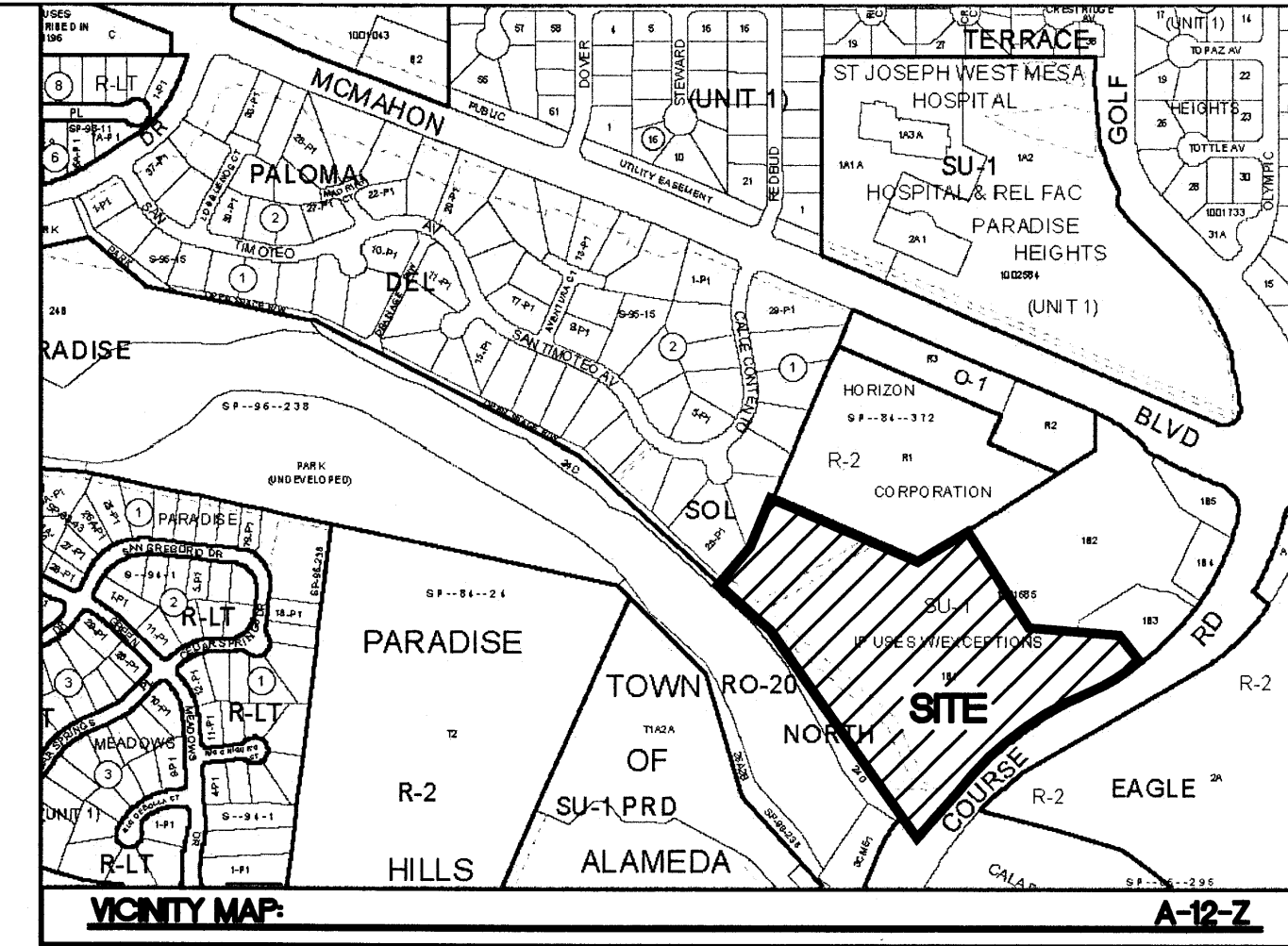
BICYCLE PARKING PROVIDED: 5 SPACES

LOADING FACILITIES

DELIVERY AREA ON NORTH SIDE OF BUILDING.

NON AUTO TRANSPORTATION

PUBLIC TRANSPORTATION IS AVAILABLE TO AN EXISTING BUS STOP AT THE SITE SERVICED WITH ROUTES 92, 155, AND 3/157. A PEDESTRIAN CONNECTION IS PROPOSED ALONG DRIVEWAY A IN THE FIRST PHASE OF DEVELOPMENT, AND ANOTHER ALONG DRIVEWAY B IN THE FUTURE PHASE.



LEGAL DESCRIPTION:

TRACT 1B-1 PARADISE NORTH

NOTE:

SITE LIGHTING SHALL COMPLY WITH THE LIGHTING REGULATIONS OF THE ZONING CODE, 14-16-3-9. AREA LIGHTING REGULATIONS. LIGHT FIXTURES WITHIN 100 FEET OF A RESIDENTIAL AREA SHALL NOT EXCEED 16 FEET.

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- STREET LIGHTS
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- ASPHALT CONCRETE PAVEMENT
- EXISTING LANE
- EXISTING STRIPING

PROJECT NUMBER: #1008528

APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

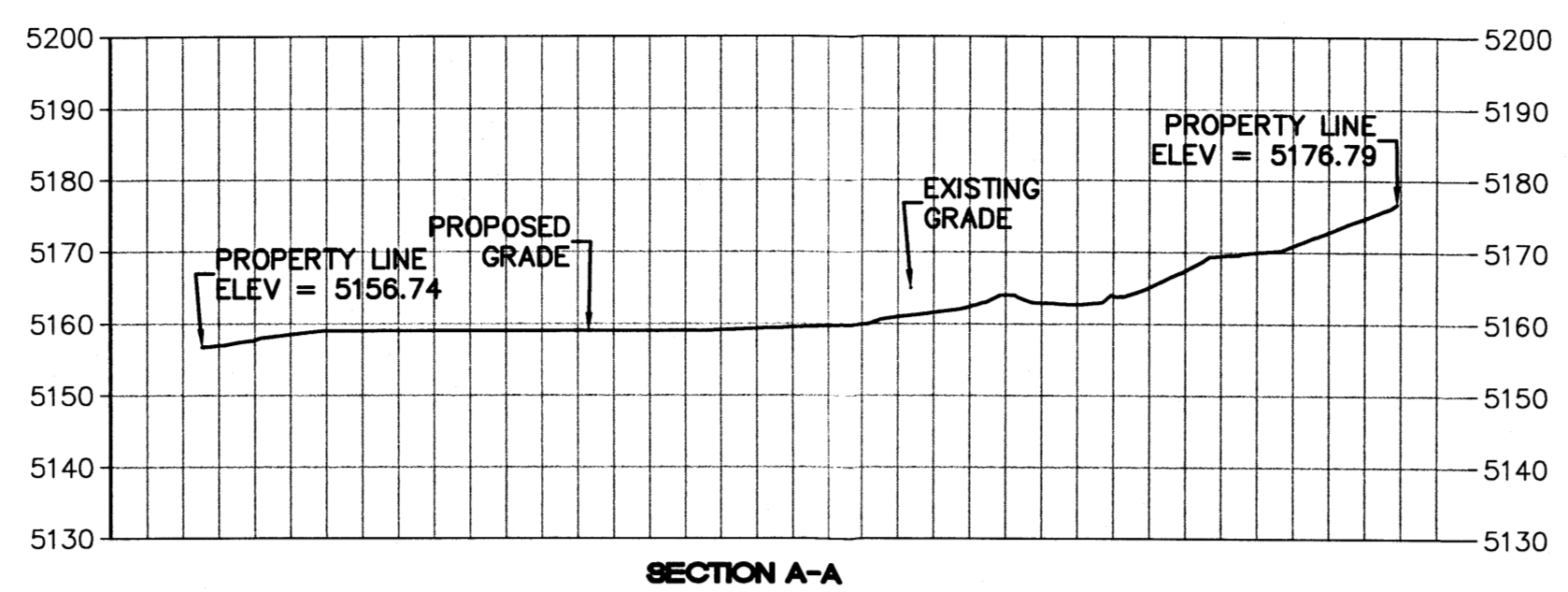
Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

| | |
|---|------|
| Traffic Engineer, Transportation Division | Date |
| Water Utility Development | Date |
| Parks & Recreation Department | Date |
| City Engineer | Date |
| * Environmental Health Department (conditional) | Date |
| Solid Waste Management | Date |
| DRB Chairperson, Planning Department | Date |

* Environmental Health, if necessary

| | | |
|----------------------------------|---|----------------------|
| ENGINEER'S SEAL | SPECTRUM ASSISTED LIVING | DRAWN BY BJF |
| | SITE PLAN FOR BUILDING PERMIT | DATE 11/3/11 |
| RONALD R. BOHANNAN P.E. #7868 | TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com | 2011026-SPB |
| | | SHEET # C2 |
| | | JOB # 2011026 |



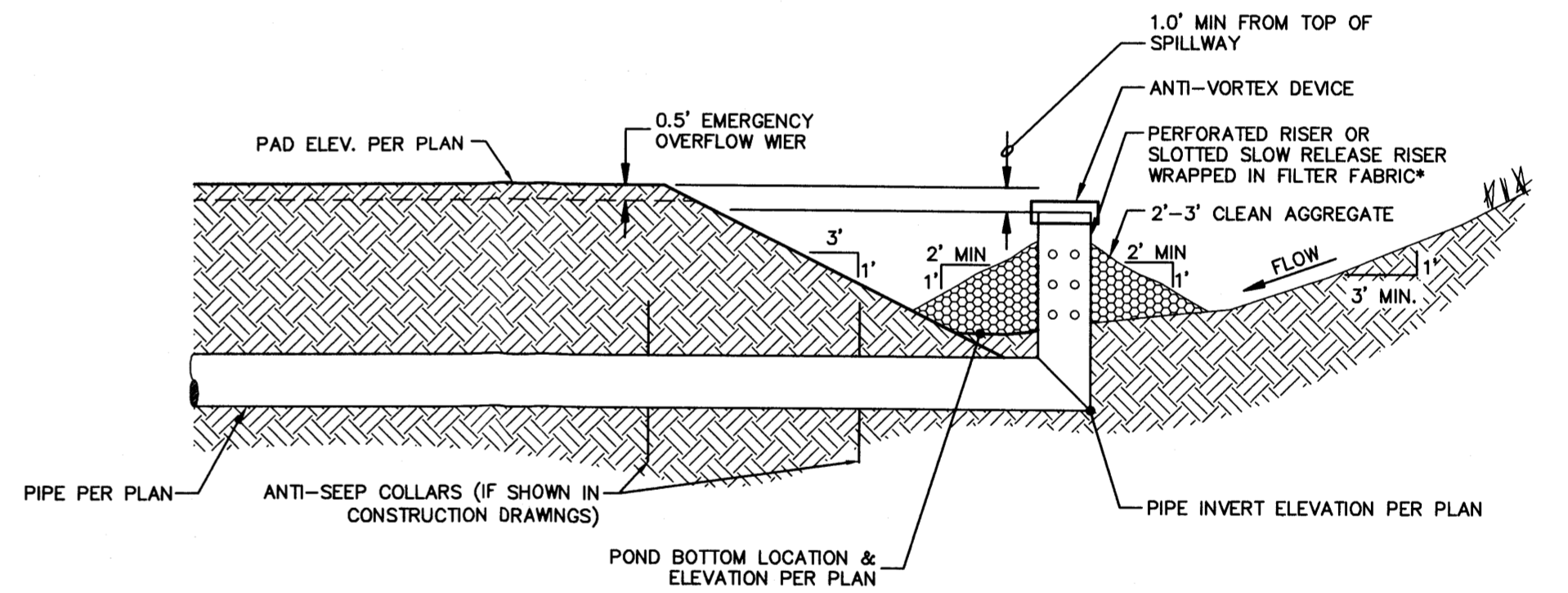
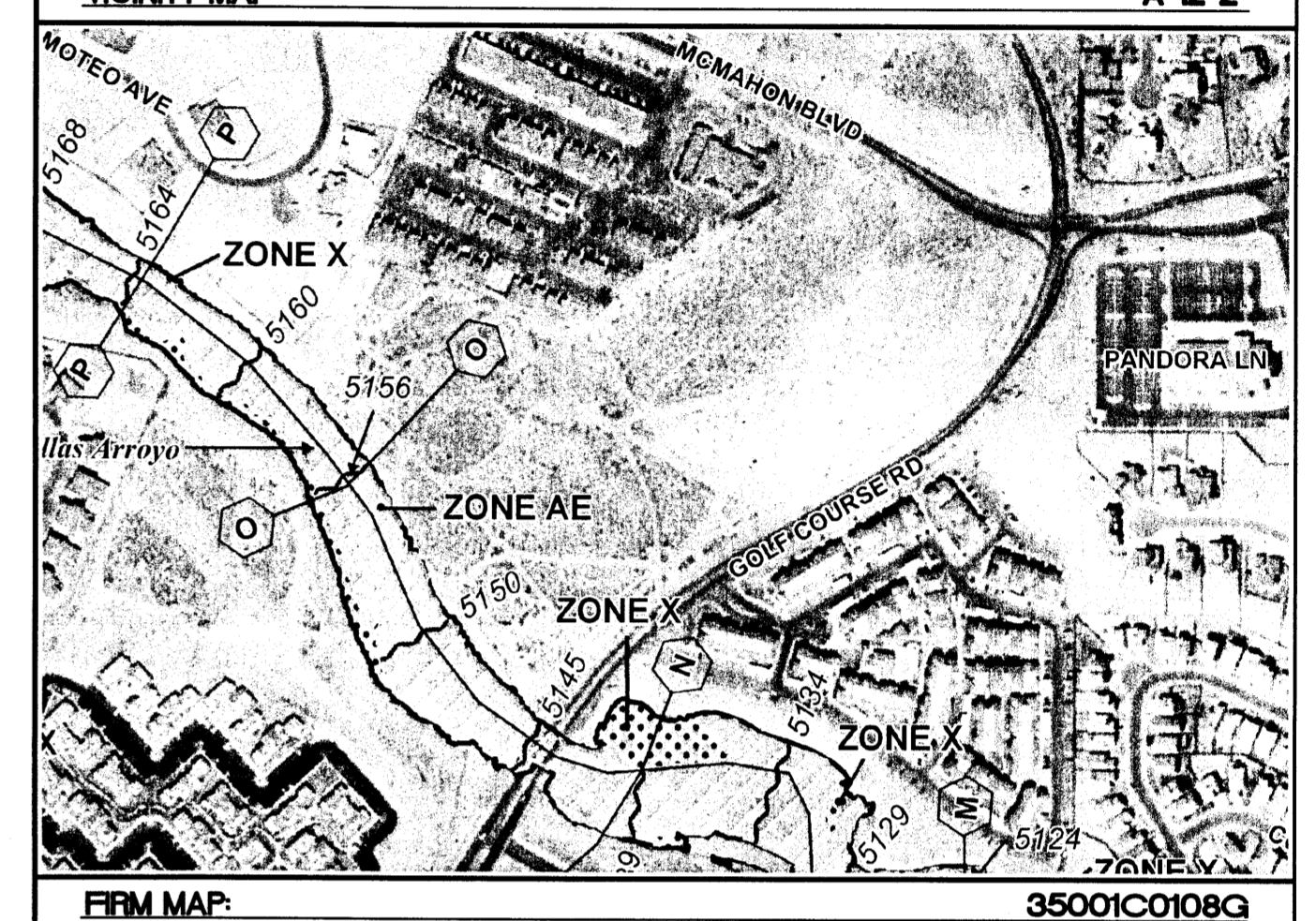
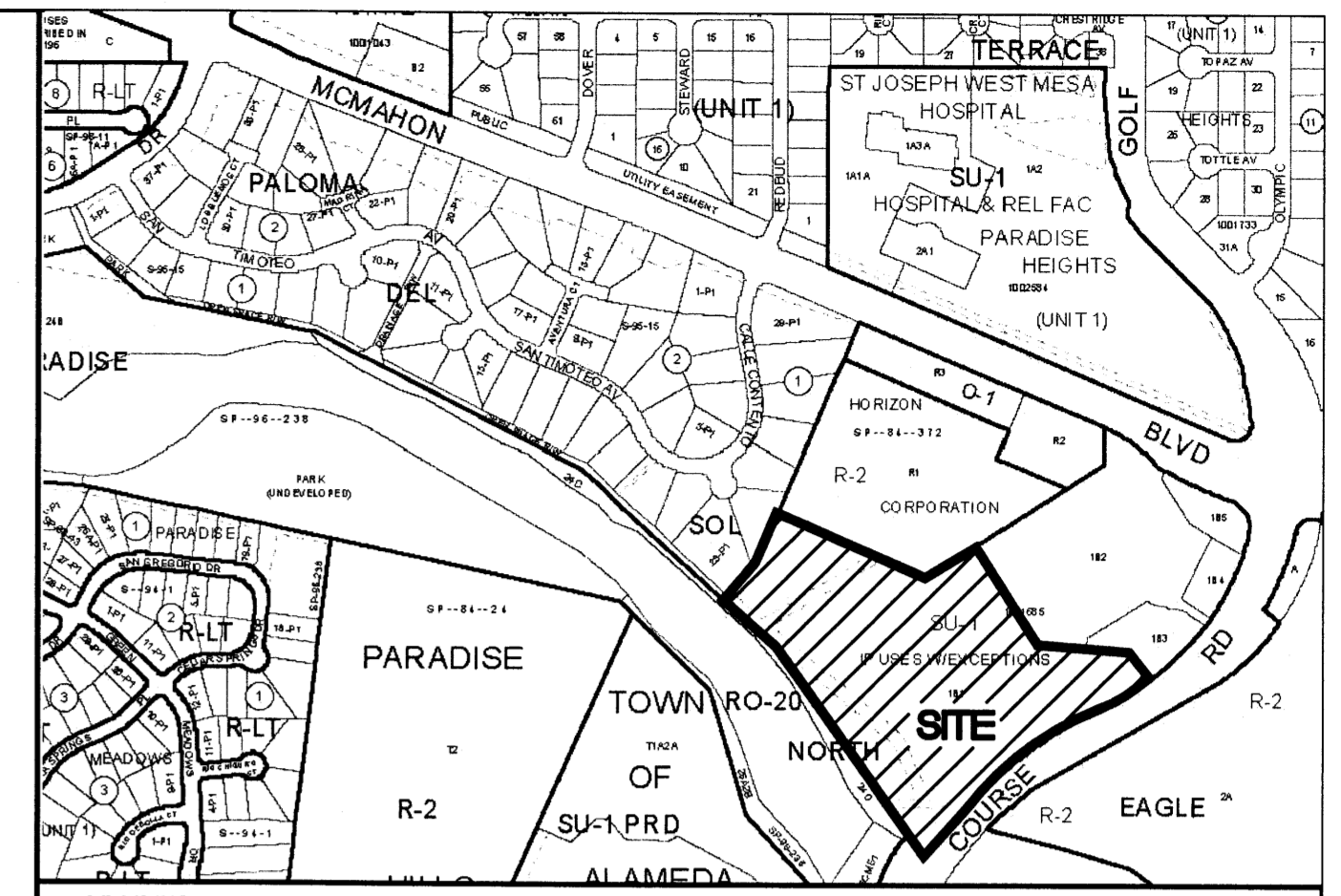
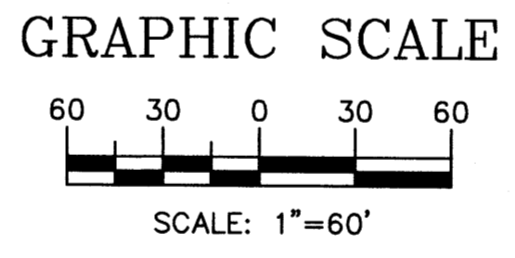
LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- RETAINING WALL
- 5010 CONTOUR MAJOR
- 5011 CONTOUR MINOR
- x 5048.25 SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- 5010 EXISTING CONTOUR MAJOR
- 5011 EXISTING CONTOUR MINOR
- x 5048.25 EXISTING SPOT ELEVATION

KEYED NOTE:

- (A) CURB & GUTTER PER COA STD DWG #2415B
- (B) HEADER CURB PER COA STD DWG #2415B
- (C) AC BERM PER COA STD DWG #2415B
- (D) ACCESSIBLE RAMP W/ TRUNCATED DOMES PER COA STD DWG #2426
- (E) ADA RAMP "B" PER DETAIL SHEET C7

- EASEMENTS**
- 1 EXISTING PRIVATE 30' DRAINAGE & UTILITY EASEMENT (11/17/05, 2005C-371)
 - 2 EXISTING 10' PUBLIC UTILITY EASEMENT (8/8/90, 90C-182)
 - 3 EXISTING 30' SANITARY SEWER & STORM DRAIN EASEMENT (8/8/90, 90C-182)
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 - 12 SLOPE EASMENT AGREEMENT (1/9/06, A110, 3271)



- GENERAL NOTES:**
1. RISER PIPE MATERIAL - CORRUGATED METAL PIPE, PVC, HDPE OR OTHER PLASTIC MATERIAL.
 2. GEOTEXTILE FILTER FABRIC (MIRAFI - OR EQUAL).
 3. RISER PERFORATION SHALL BE 1" Ø, 6" O.C.)
 4. ALL PIPE CONNECTION SHALL BE WATER TIGHT.
 5. FILL MATERIAL AROUND PIPE SHALL BE COMPACTED IN 4 INCHES LIFTS. A MINIMUM OF 2 FEET OF COMPACTED BACKFILL SHALL BE PLACED OVER THE PIPE BEFORE CROSSING IT WITH CONSTRUCTION TRAFFIC.
 6. SIDE SLOPES SHALL BE 3:1 OR FLATTER.

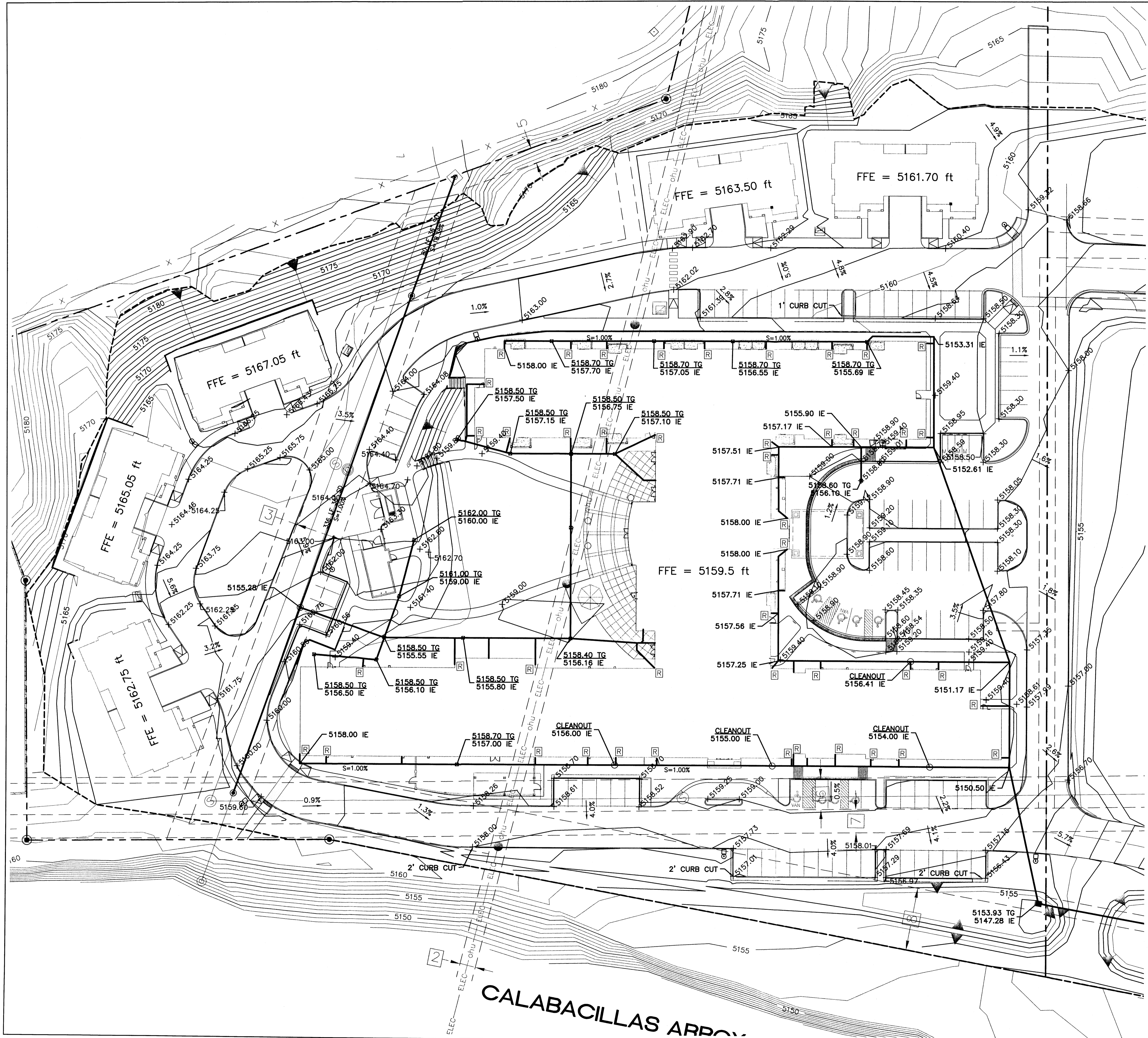
SEDIMENT BASIN WITH PIPE OUTLET
N.T.S.

NOTE:
COMMON DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED BY THE REPLAT.

ROUGH GRADING APPROVAL _____ DATE _____

| | | |
|--|----------------------------------|----------------------|
| ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868 | SPECTRUM ASSISTED LIVING | DRAWN BY BJF |
| | GRADING AND DRAINAGE PLAN | DATE 10/28/11 |
| 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 871109 (505) 858-3100 www.tierrawestllc.com | | 2011026-GRB |
| | | SHEET # C3 |
| | | JOB # 2011026 |

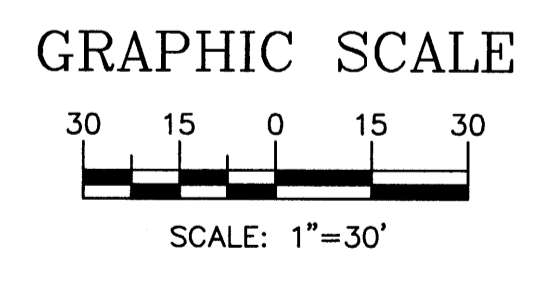
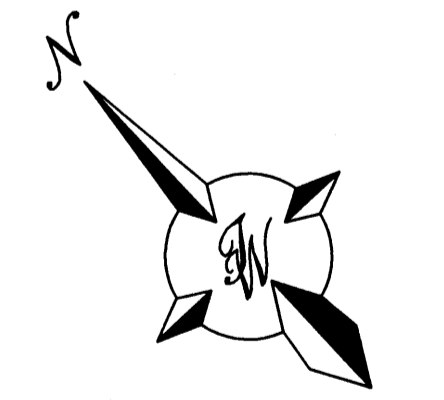
10 OCTOBER 2011



LEGEND

| | |
|--|-------------------------|
| | CURB & GUTTER |
| | BOUNDARY LINE |
| | EASEMENT |
| | CENTERLINE |
| | RIGHT-OF-WAY |
| | BUILDING |
| | SIDEWALK |
| | RETAINING WALL |
| | CONTOUR MAJOR |
| | CONTOUR MINOR |
| | SPOT ELEVATION |
| | FLOW ARROW |
| | EXISTING CURB & GUTTER |
| | EXISTING BOUNDARY LINE |
| | EXISTING CONTOUR MAJOR |
| | EXISTING CONTOUR MINOR |
| | EXISTING SPOT ELEVATION |
| | DRAIN SPOUT |

NOTE:
GRADES ON CURB LINE ARE FLOWLINE UNLESS OTHERWISE SPECIFIED.



| | | |
|----------------------------------|--|----------------------|
| ENGINEER'S SEAL | SPECTRUM ASSISTED LIVING | DRAWN BY BJF |
| | GRADING AND DRAINAGE PLAN | DATE 10/28/11 |
| RONALD R. BOHANNAN P.E. #7868 | TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com | 2011026-GRB-30 |
| | | SHEET # C4 |
| | | JOB # 2011026 |

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

EASEMENTS

- 1 EXISTING PRIVATE 30' DRAINAGE & UTILITY EASEMENT (11/17/05, 2005C-371)
- 2 EXISTING 10' PUBLIC UTILITY EASEMENT (8/8/90, 90C-182)
- 3 EXISTING 30' SANITARY SEWER & STORM DRAIN EASEMENT (8/8/90, 90C-182)
- 4 EXISTING 20' SANITARY SEWER EASEMENT (8/14/84, MISC.143A-430)
- 5 EXISTING 10' SANITARY SEWER EASEMENT (MISC.156A-43)
- 6 EXISTING 20' SANITARY SEWER EASEMENT (C28-174)
- 7 EXISTING 15' WATERLINE EASEMENT (C32-69)
- 8 EXISTING ACCESS AND UTILITY EASEMENT (9/14/94, MISC. 9426 PAGES 4616-4619)
- 9 EXISTING 20' SANITARY SEWER EASEMENT (11/17/05, 2005C-371)
- 10 EXISTING SIDEWALK EASEMENT (11/17/05, 2005C-371)
- 11 EXISTING 15' ELECTRIC EASEMENT (6/30/85, C28-174)
- 12 SLOPE EASMENT AGREEMENT (1/9/06, A110, 3271)

GENERAL NOTES:

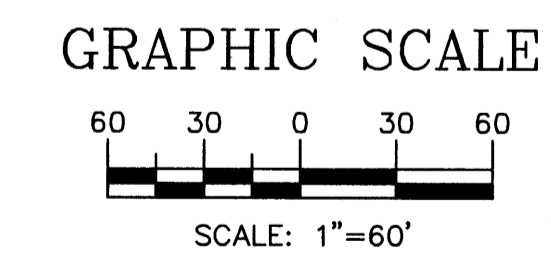
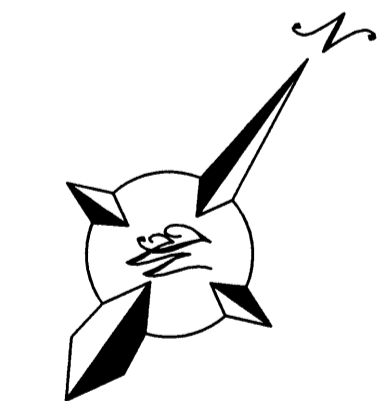
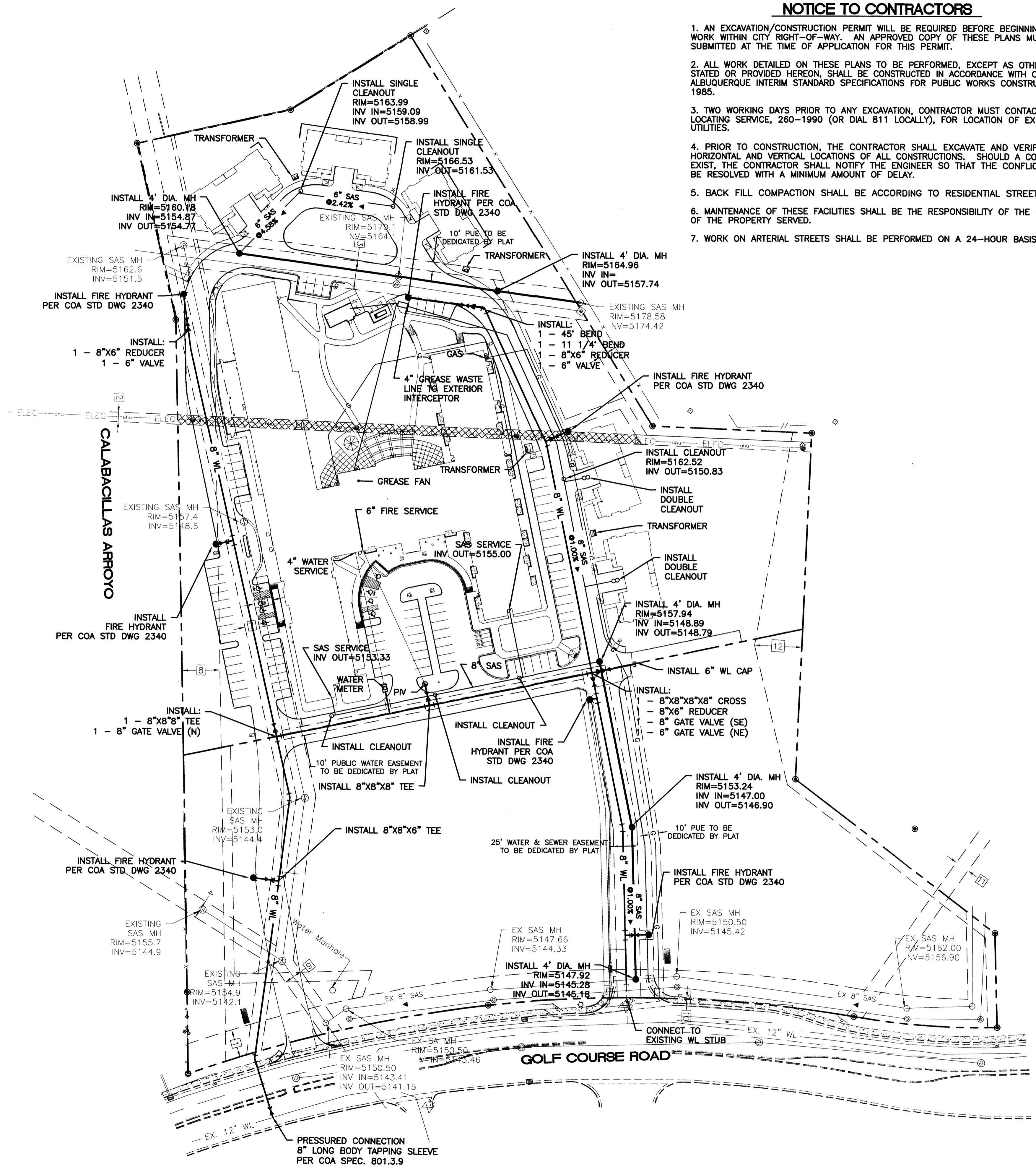
1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
3. ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
4. CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. CLEAN OUTS & MANHOLE TIE POINTS ARE TAKEN USING THE NW PROPERTY CORNER X=10,000, Y=10,000 SEE TABLE 2.
6. SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
7. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.

KEYED NOTE:

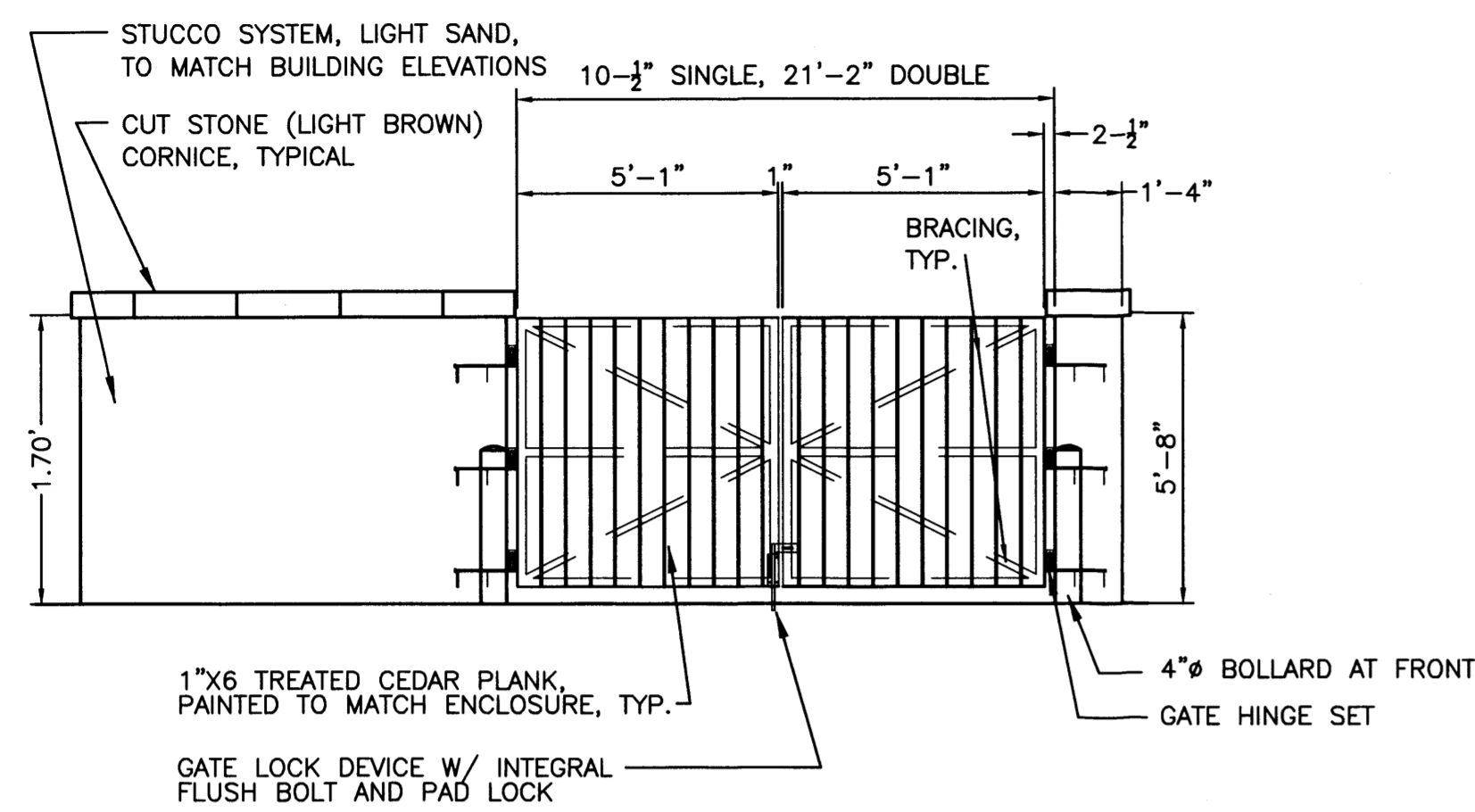
- (A) INSTALL 1 1/2" SERVICE LATERAL
- (B) INSTALL METER BOX W/COVER & LID PER COA STD DWG #2363
- (C) GREASE TRAP

LEGEND

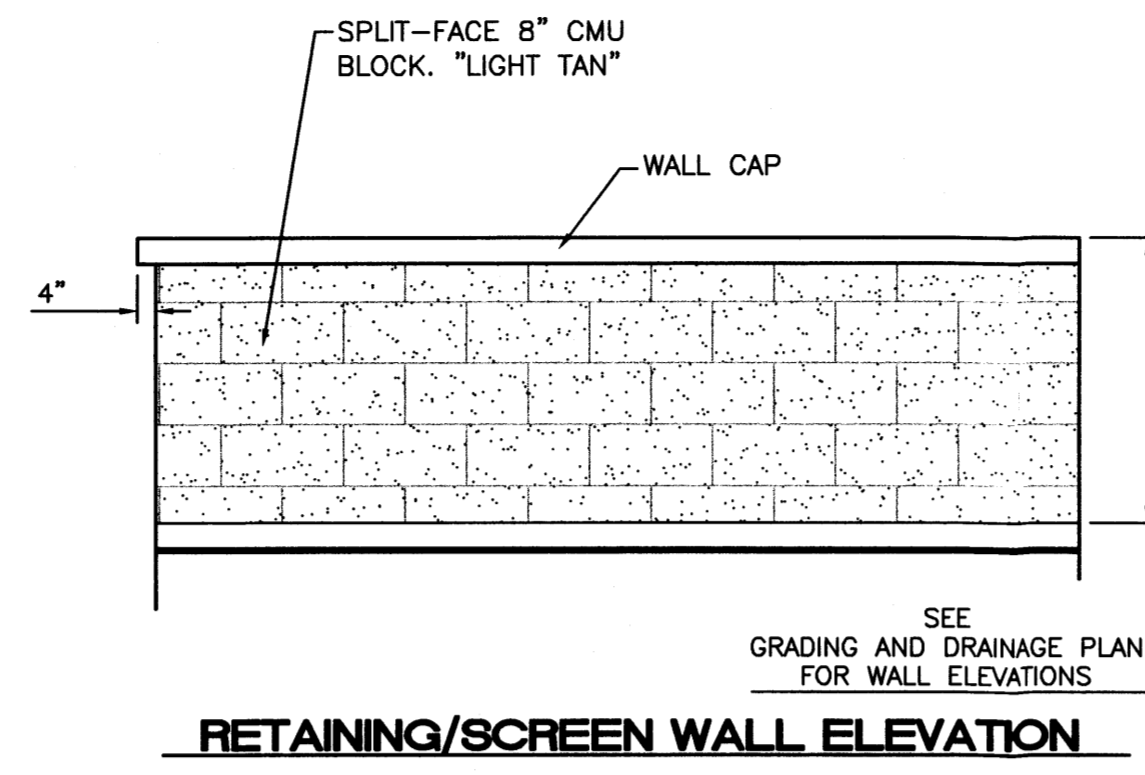
- ===== CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- ===== BUILDING
- ===== SIDEWALK
- ===== SCREEN WALL
- ===== RETAINING WALL
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- 36" SD ----- STORM SEWER LINE
- 8" SAS ----- SANITARY SEWER LINE
- 6" WL ----- WATERLINE
- SINGLE CLEAN OUT
- EXISTING SD MANHOLE
- EXISTING INLET
- EXISTING SAS MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING POWER POLE
- EXISTING GAS VALVE
- EXISTING OVERHEAD UTILITIES
- EX. UGE ----- EXISTING UNDERGROUND UTILITIES
- EX. 2" GAS ----- EXISTING GAS
- EX. 8" SAS ----- EXISTING SANITARY SEWER LINE
- EX. 10" WL ----- EXISTING WATER LINE
- EX. 18" RCP ----- EXISTING STORM SEWER LINE



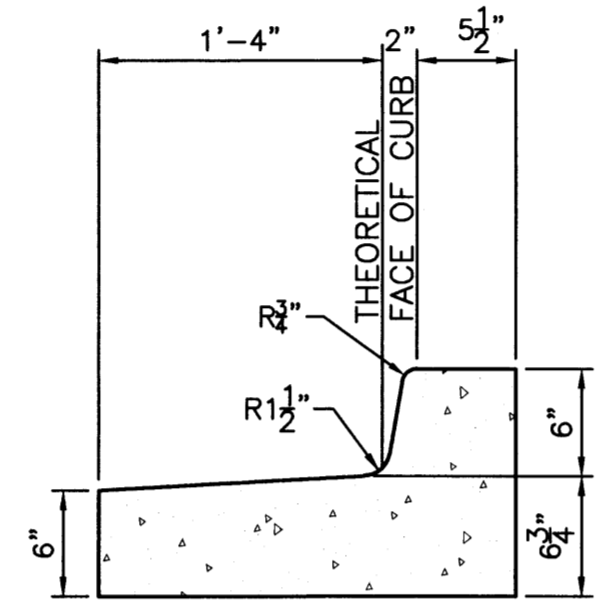
| | | |
|----------------------------------|--|----------------------|
| ENGINEER'S SEAL | SPECTRUM ASSISTED LIVING | DRAWN BY BJF |
| | MASTER UTILITY PLAN | DATE 10/18/11 |
| RONALD R. BOHANNAN P.E. #7868 | | 2011026-MUB |
| | | SHEET # C5 |
| | 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.terrawestllc.com | JOB # 2011026 |



REFUSE ENCLOSURE ELEVATION
NTS
*SEE ARCHITECTURAL PLANS FOR DETAIL

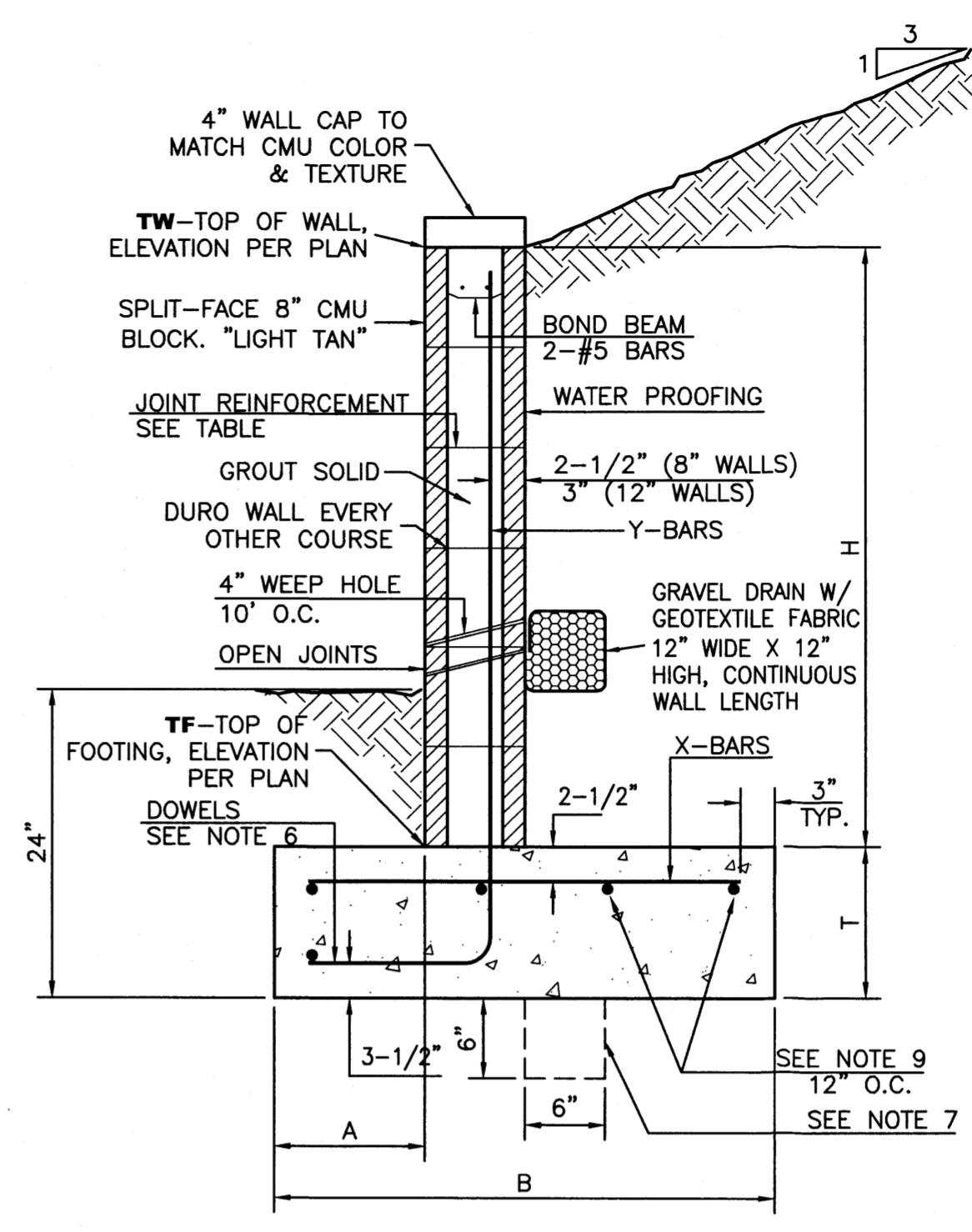


RETAINING/SCREEN WALL ELEVATION
SEE GRADING AND DRAINAGE PLAN FOR WALL ELEVATIONS



- CURB GENERAL NOTES:**
1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
 2. PROVIDE CONTRACTION JTS. 12' MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS., SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
 3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
 4. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

STANDARD CURB / GUTTER
NTS



RETAINING WALL DETAIL
NTS

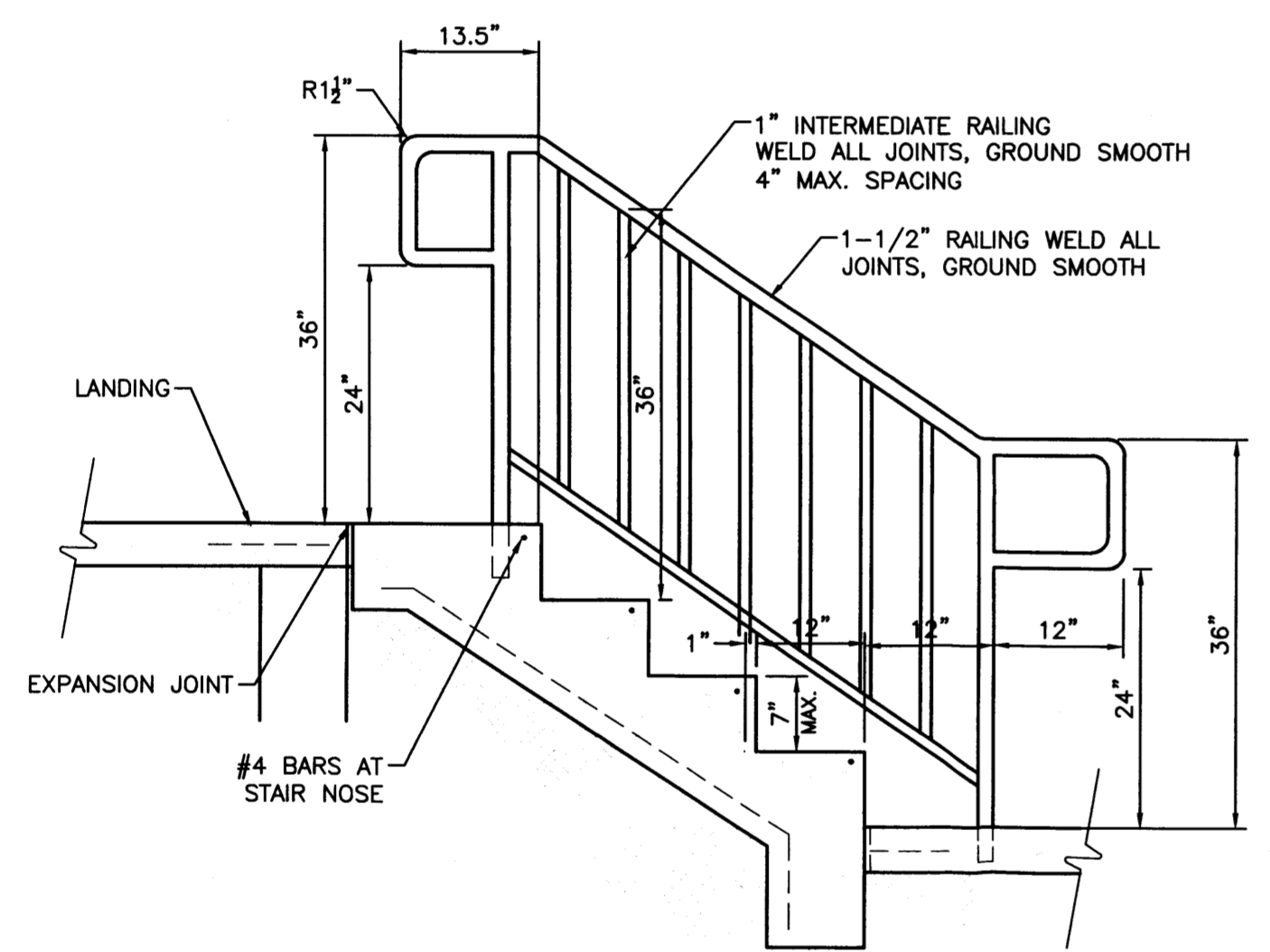
8 INCH REINFORCED CONCRETE MASONRY WALL

| H | A | B | T | Y-BARS | X-BARS |
|---------|-----|---------|-----|--------------|--------------|
| ft.-in. | in. | ft.-in. | in. | | |
| 2'-0" | 8" | 2'-0" | 9" | #4 @32" O.C. | #4 @24" O.C. |
| 2'-8" | 8" | 2'-0" | 9" | #4 @32" O.C. | #4 @24" O.C. |
| 3'-4" | 8" | 2'-4" | 9" | #4 @32" O.C. | #4 @24" O.C. |
| 4'-0" | 10" | 2'-8" | 9" | #4 @32" O.C. | #4 @24" O.C. |
| 4'-8" | 12" | 3'-4" | 10" | #6 @16" O.C. | #4 @18" O.C. |
| 5'-4" | 14" | 3'-10" | 10" | #6 @16" O.C. | #4 @18" O.C. |
| 6'-0" | 16" | 4'-8" | 12" | #6 @8" O.C. | #4 @12" O.C. |

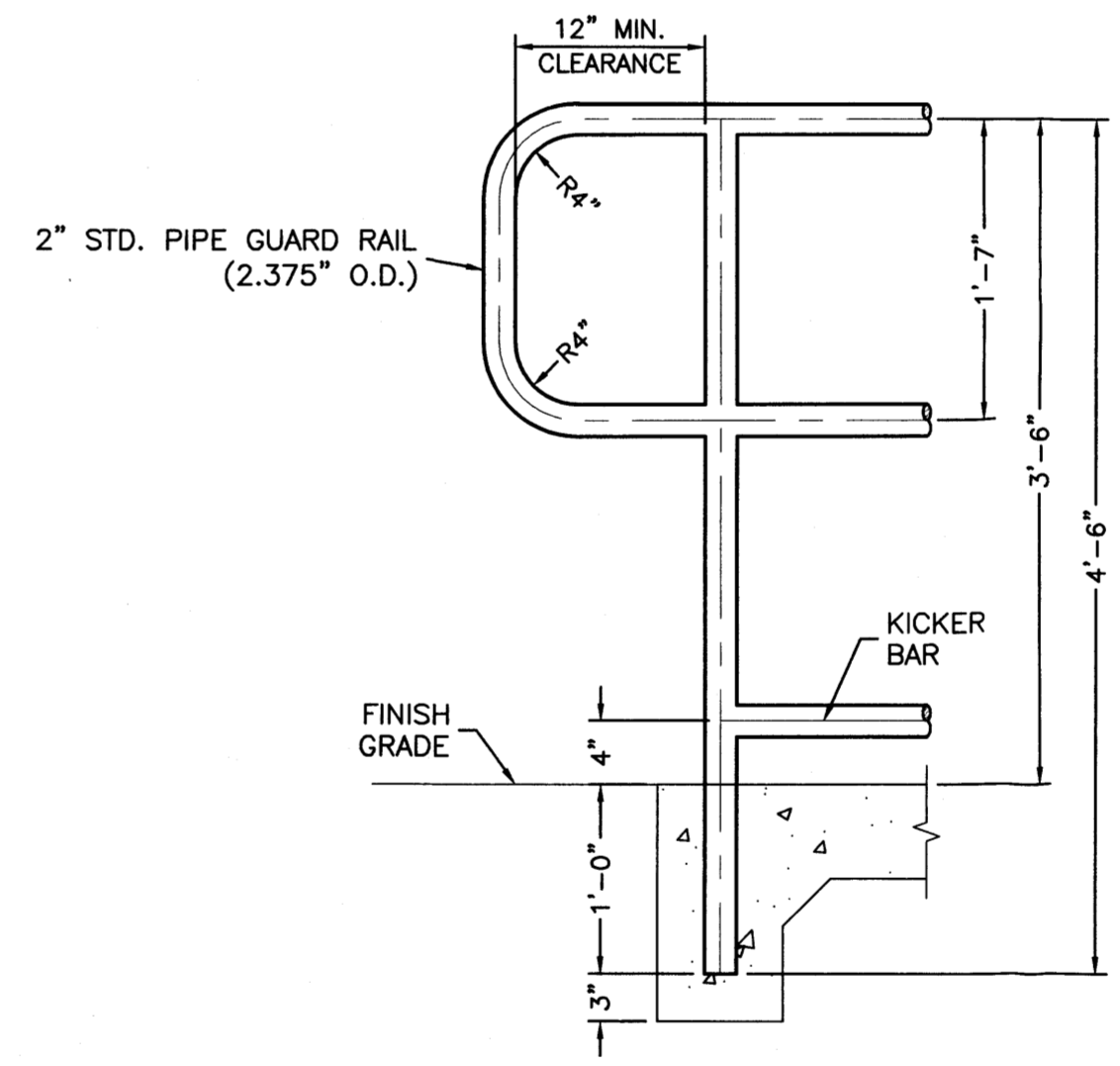
12 INCH REINFORCED CONCRETE MASONRY WALL

| H | A | B | T | Y-BARS | X-BARS |
|---------|-----|---------|-----|--------------|--------------|
| ft.-in. | in. | ft.-in. | in. | | |
| 5'-4" | 14" | 3'-8" | 10" | #6 @18" O.C. | #4 @24" O.C. |
| 6'-0" | 15" | 4'-2" | 12" | #4 @16" O.C. | #4 @18" O.C. |
| 6'-8" | 16" | 4'-6" | 12" | #6 @24" O.C. | #5 @18" O.C. |
| 7'-4" | 18" | 4'-10" | 12" | #6 @18" O.C. | #5 @18" O.C. |
| 8'-0" | 20" | 5'-4" | 12" | #7 @18" O.C. | #6 @12" O.C. |
| 8'-8" | 20" | 5'-8" | 12" | #7 @16" O.C. | #6 @12" O.C. |

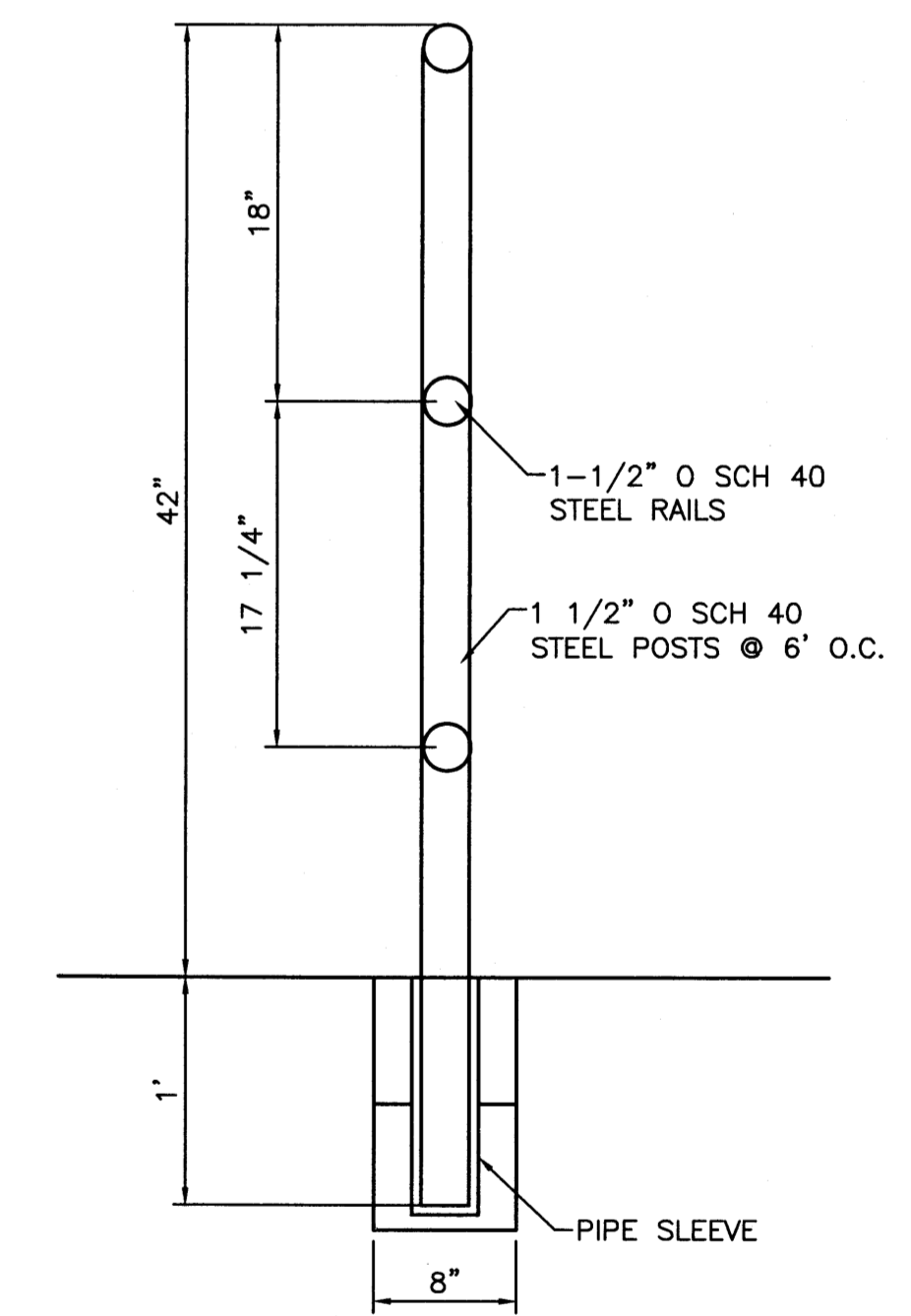
- GENERAL NOTES:**
1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
 2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
 5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
 6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
 7. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
 8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 18'.
 9. BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



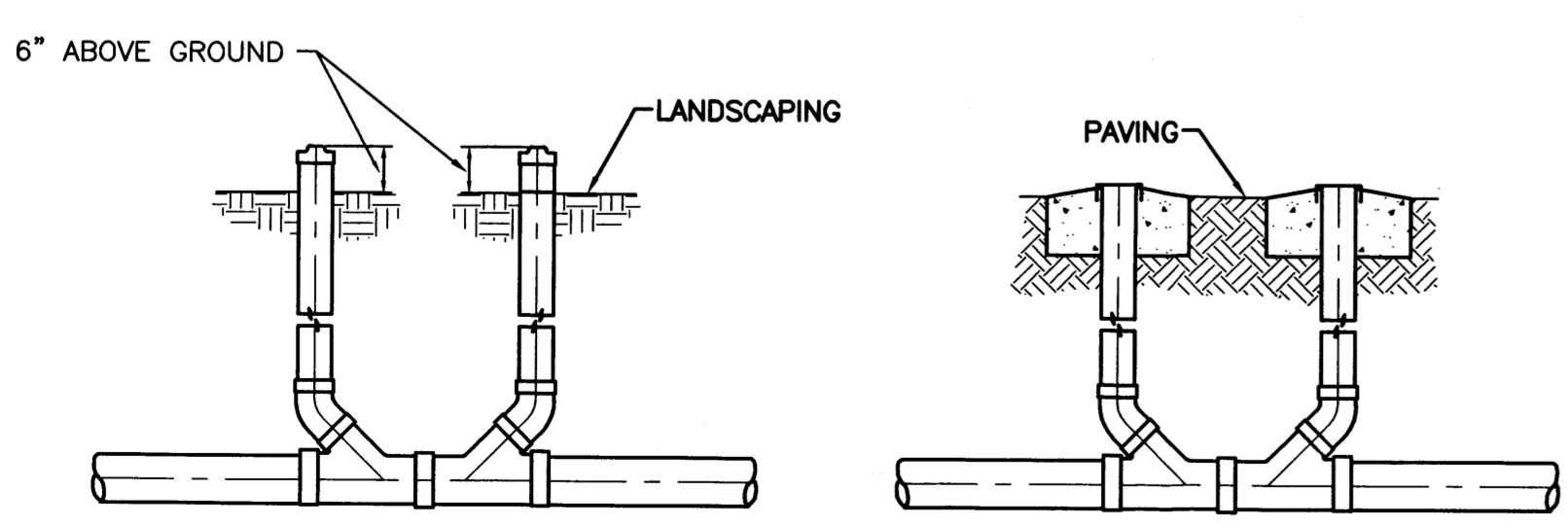
STAIR / HANDRAIL DETAIL
NTS



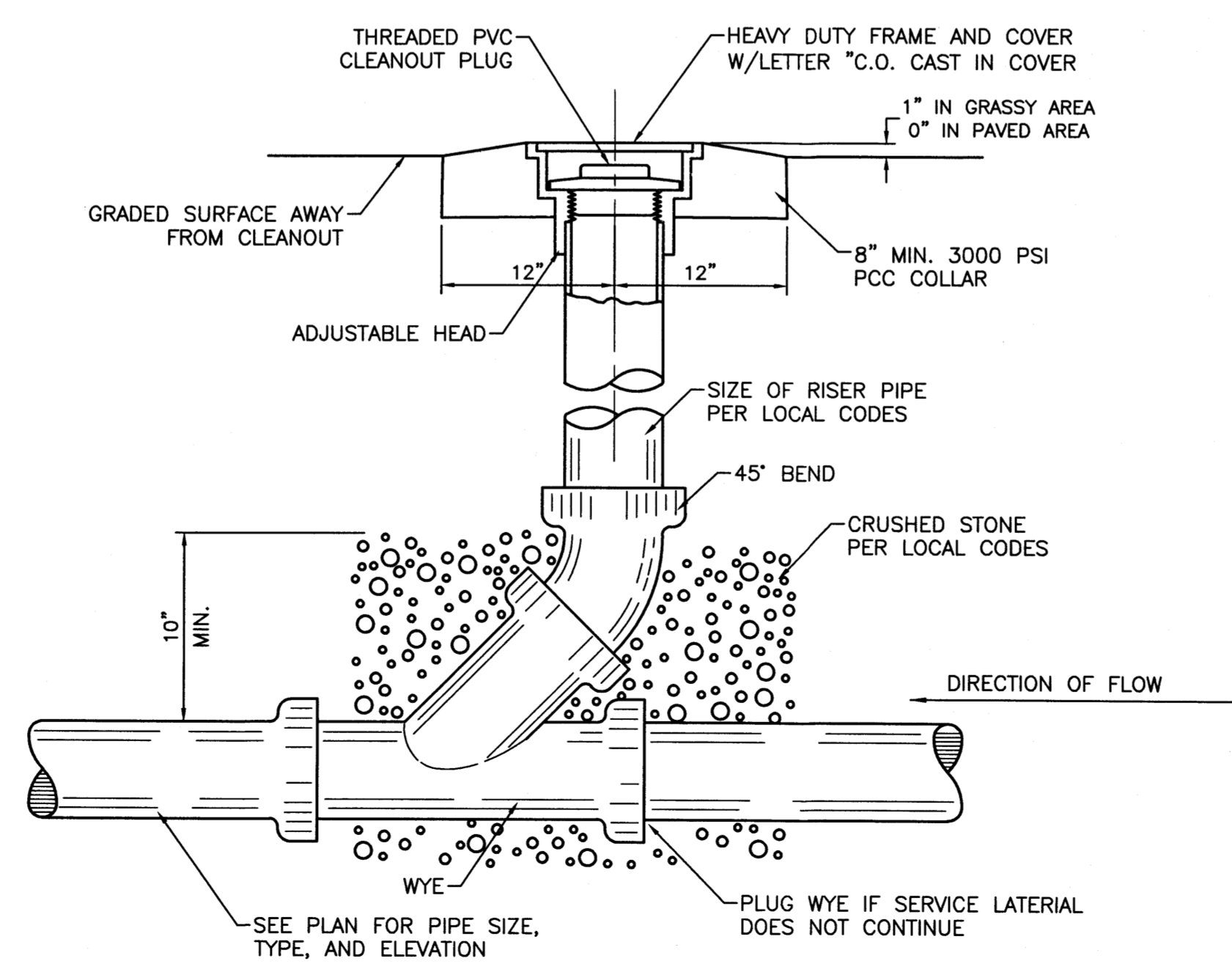
DETAIL - RAIL END-TYPE A
NTS



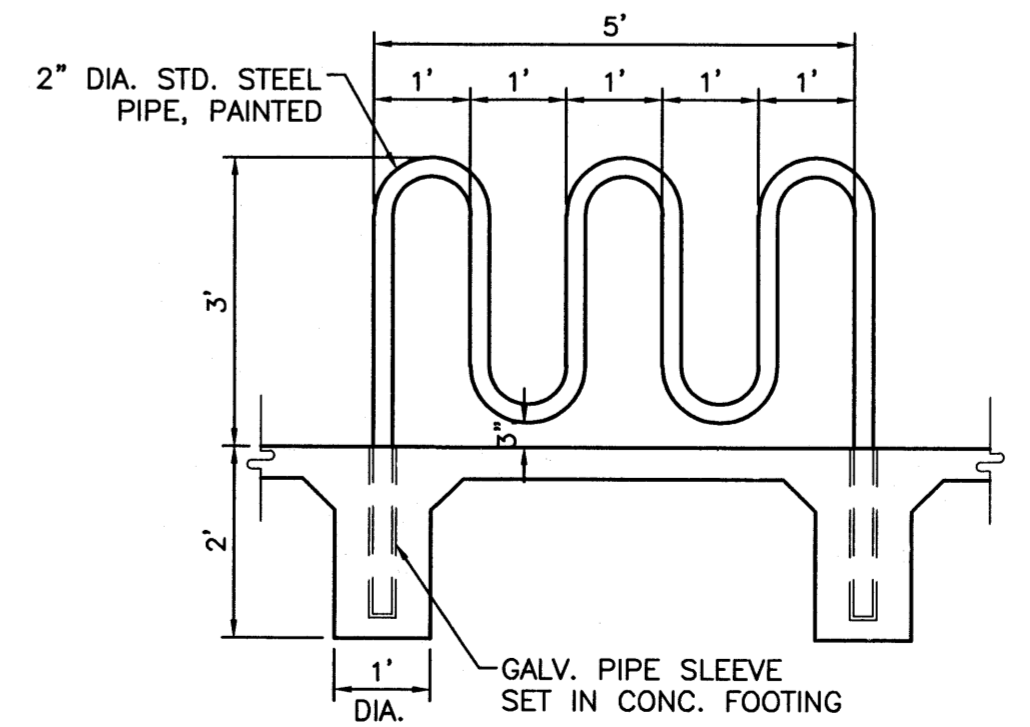
GUARD RAIL DETAIL
NTS



1 SANITARY SEWER DOUBLE CLEAN-OUTS
NTS

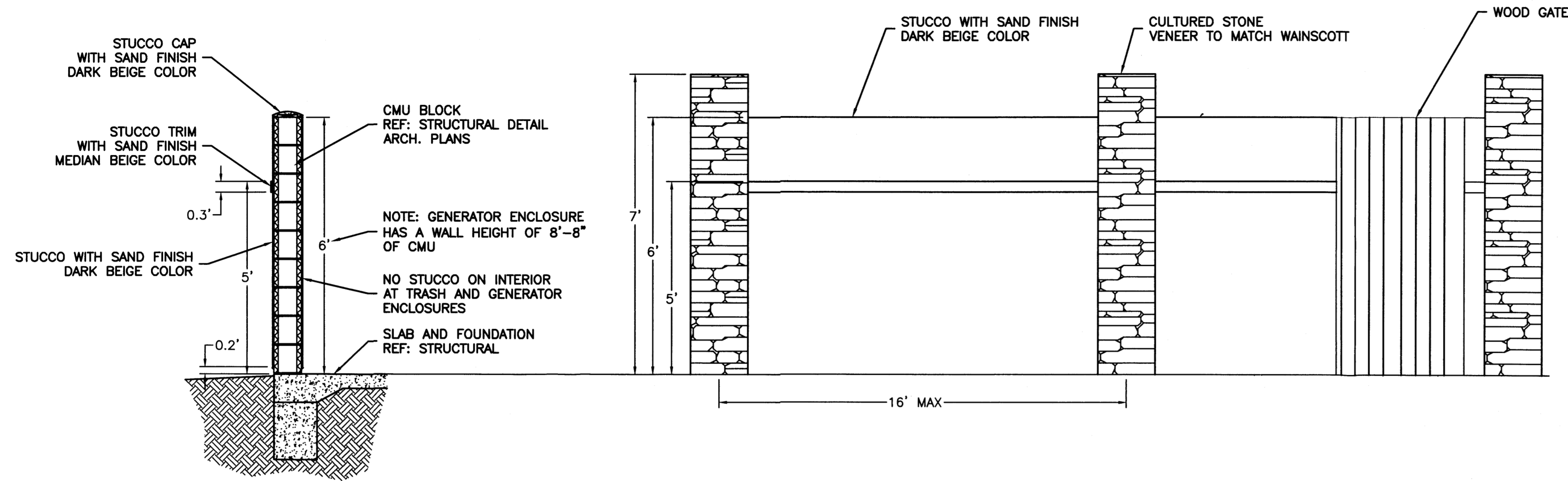


2 SANITARY SEWER CLEAN-OUT
NTS

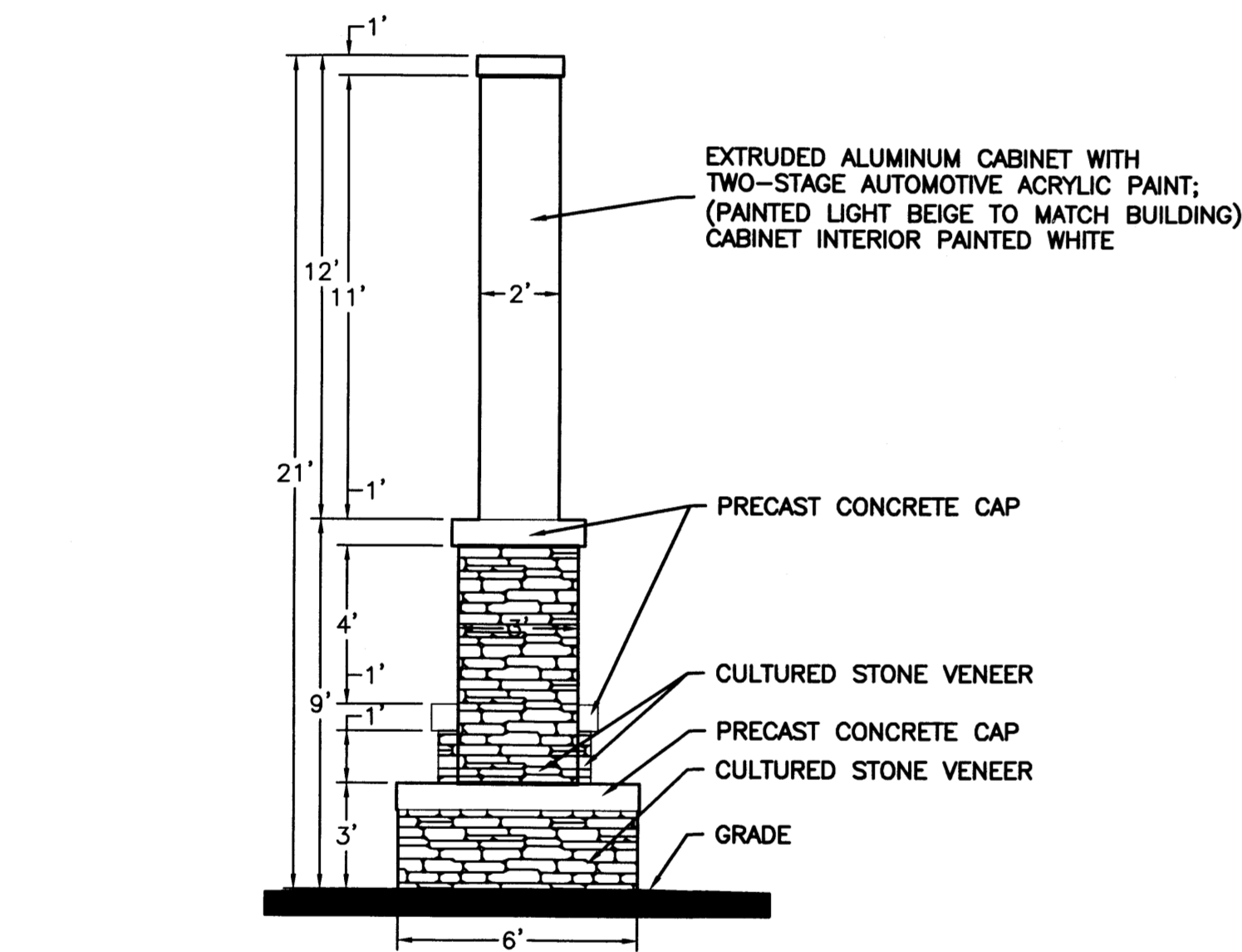


BIKE RACK DETAIL
SCALE: 1/2"=1'

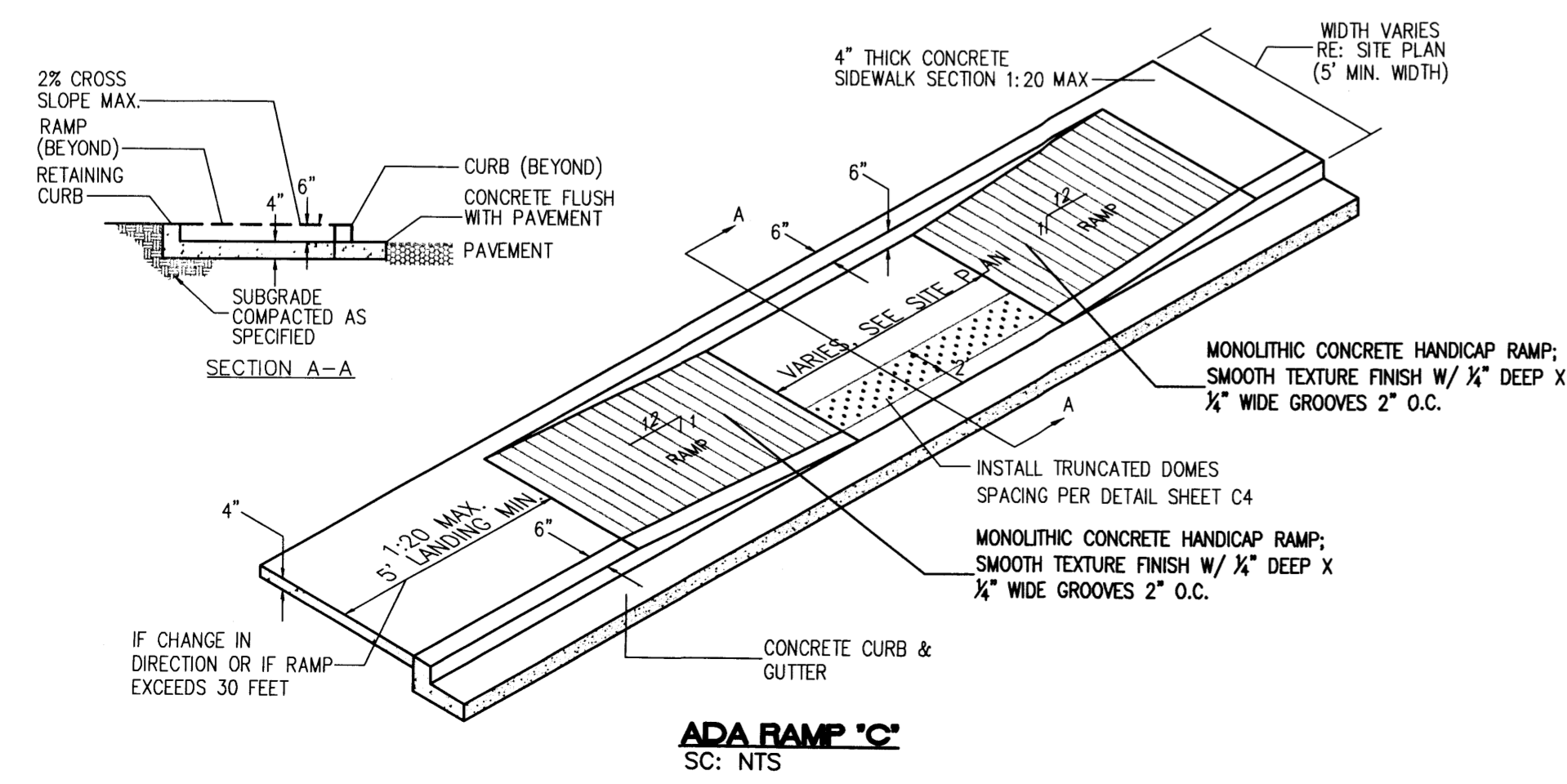
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|----------------------------------|--|----------------------|
| ENGINEER'S SEAL | SPECTRUM ASSISTED LIVING | DRAWN BY BJF |
| | DETAIL SHEET 1 | DATE 10/17/11 |
| | | 2011026-DTE |
| | | SHEET # C6 |
| RONALD R. BOHANNAN P.E. #7868 | TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com | JOB # 2011026 |



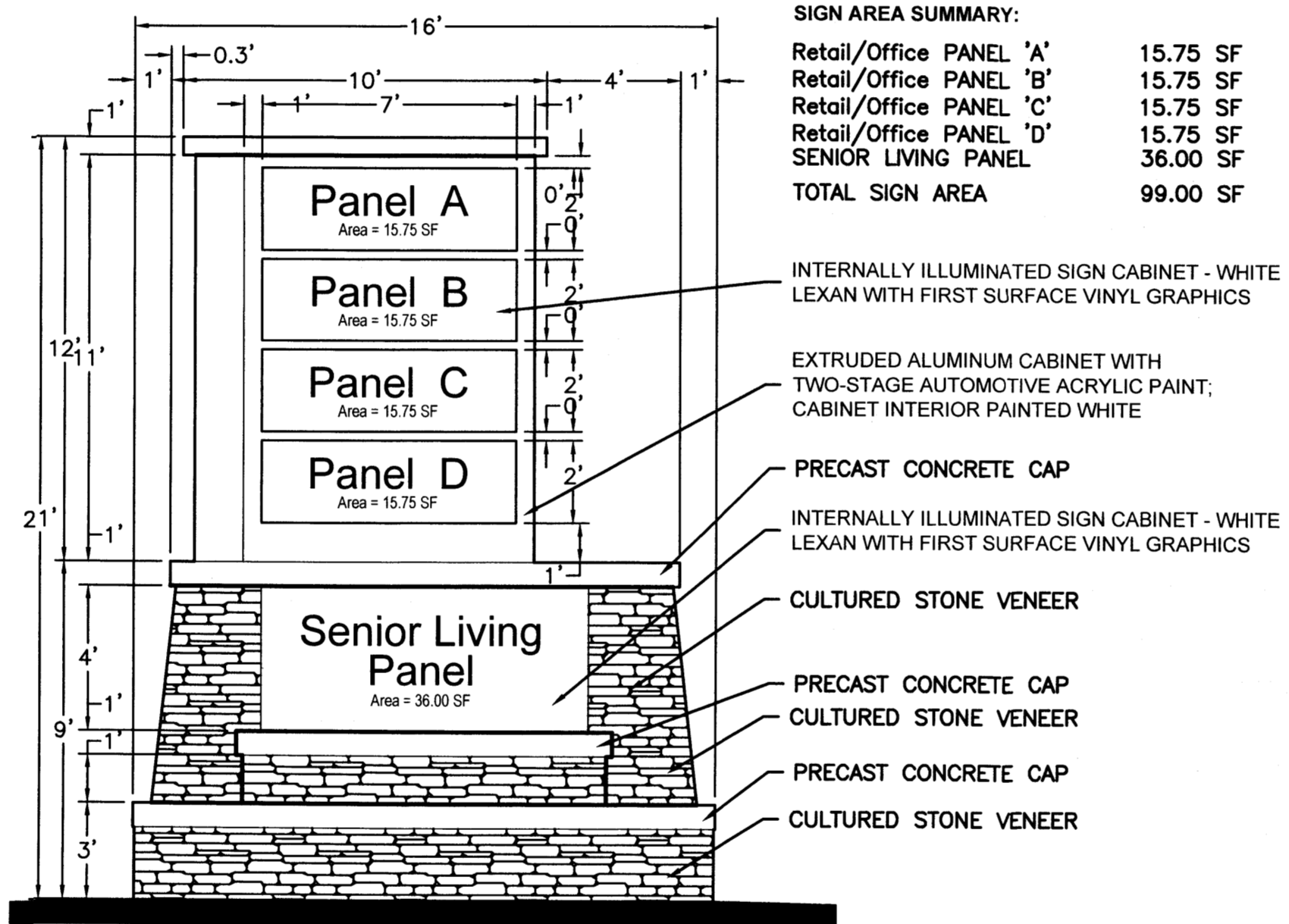
GARDEN WALL



MONUMENT SIGN



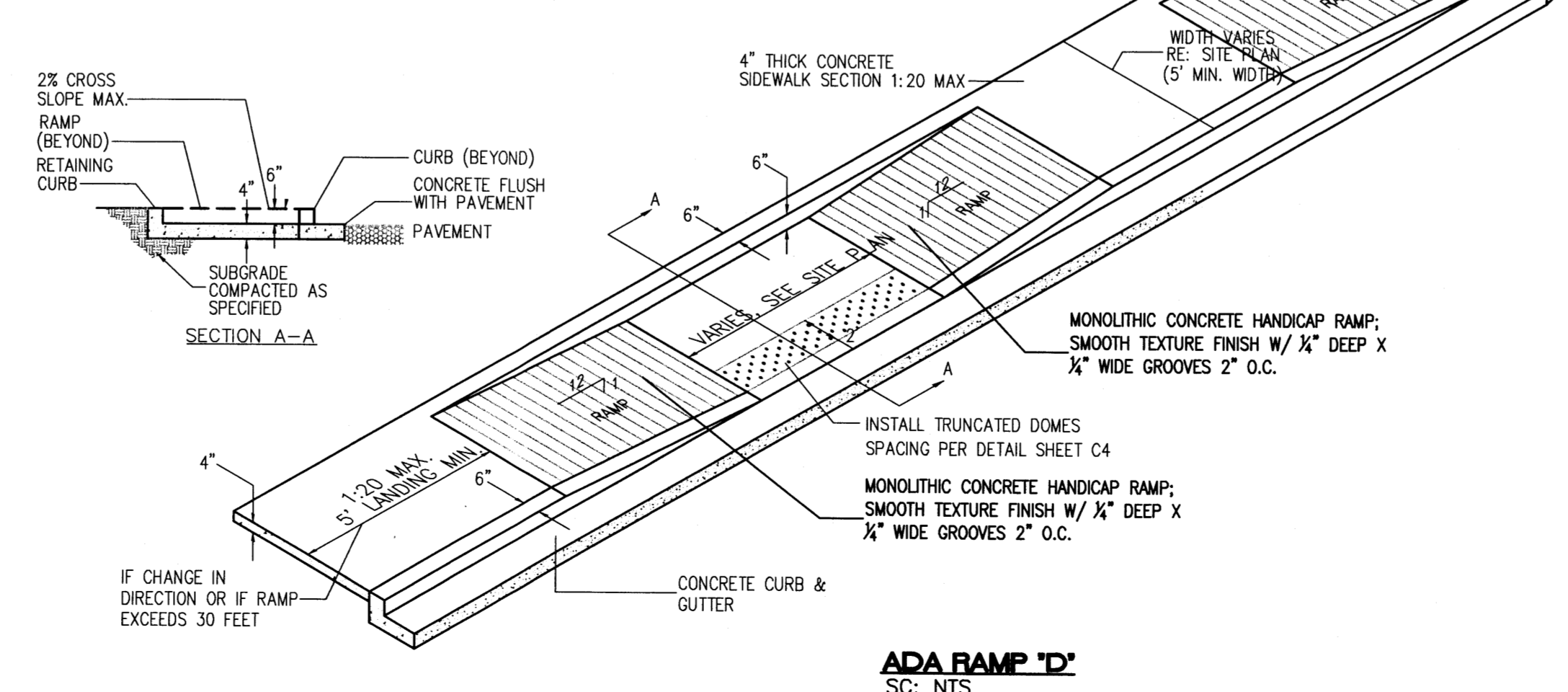
ADA RAMP 'C'
SC: NTS



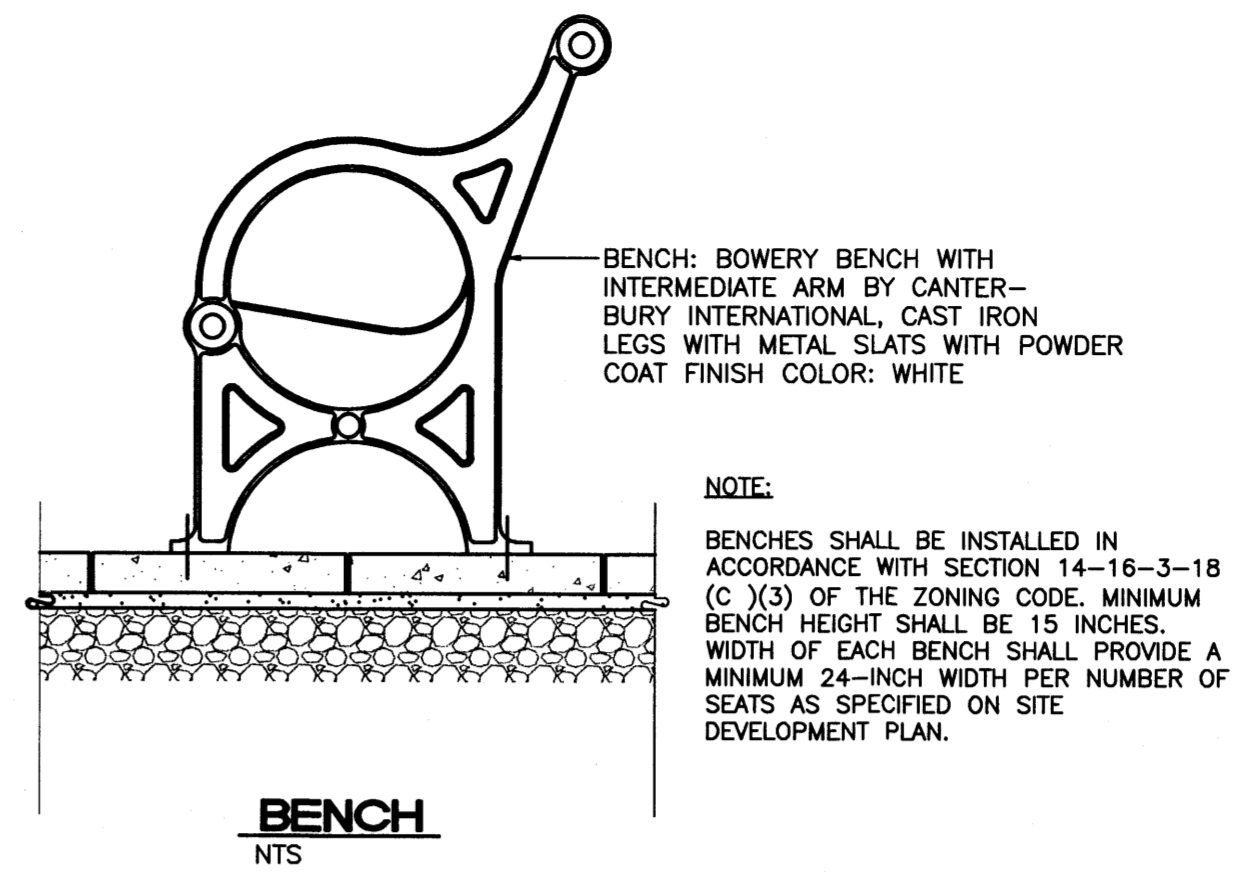
SIGN AREA SUMMARY:

| | |
|-------------------------|-----------------|
| Retail/Office PANEL 'A' | 15.75 SF |
| Retail/Office PANEL 'B' | 15.75 SF |
| Retail/Office PANEL 'C' | 15.75 SF |
| Retail/Office PANEL 'D' | 15.75 SF |
| SENIOR LIVING PANEL | 36.00 SF |
| TOTAL SIGN AREA | 99.00 SF |

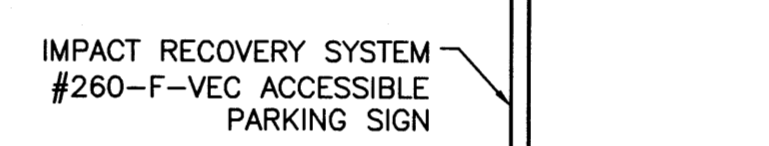
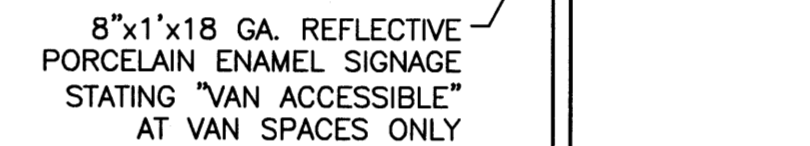
- INTERNALLY ILLUMINATED SIGN CABINET - WHITE LEXAN WITH FIRST SURFACE VINYL GRAPHICS
- EXTRUDED ALUMINUM CABINET WITH TWO-STAGE AUTOMOTIVE ACRYLIC PAINT; CABINET INTERIOR PAINTED WHITE
- PRECAST CONCRETE CAP
- INTERNALLY ILLUMINATED SIGN CABINET - WHITE LEXAN WITH FIRST SURFACE VINYL GRAPHICS
- CULTURED STONE VENEER
- PRECAST CONCRETE CAP
- CULTURED STONE VENEER
- PRECAST CONCRETE CAP
- CULTURED STONE VENEER



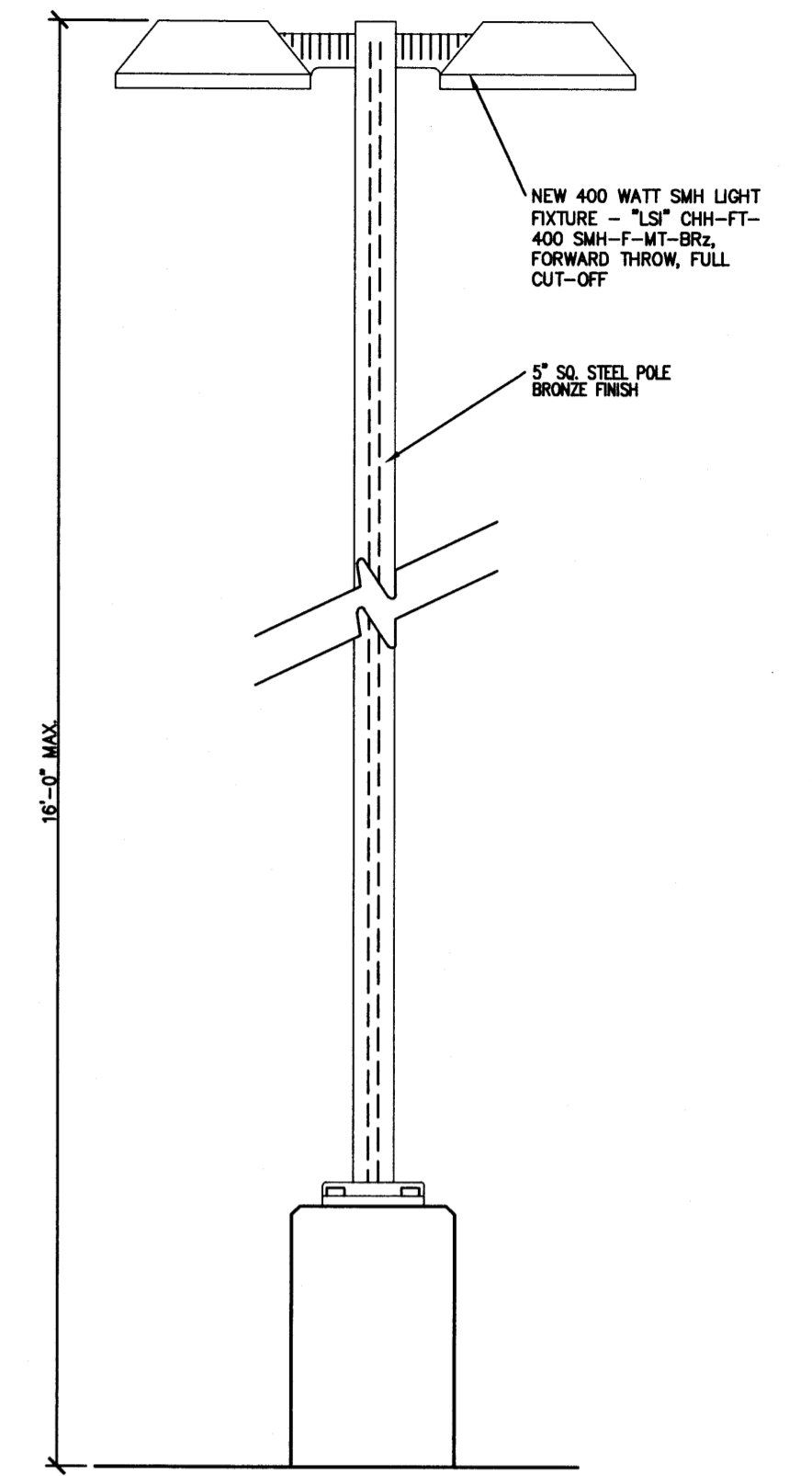
ADA RAMP 'D'
SC: NTS



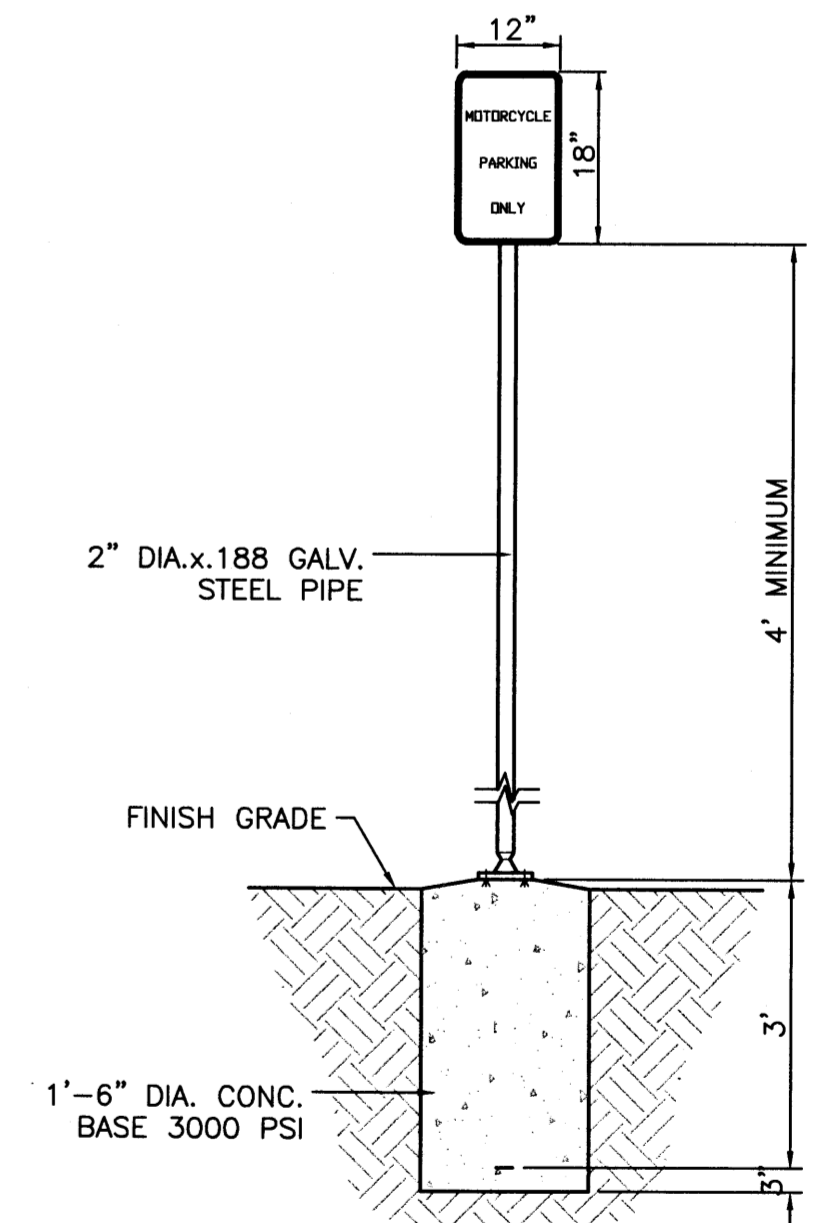
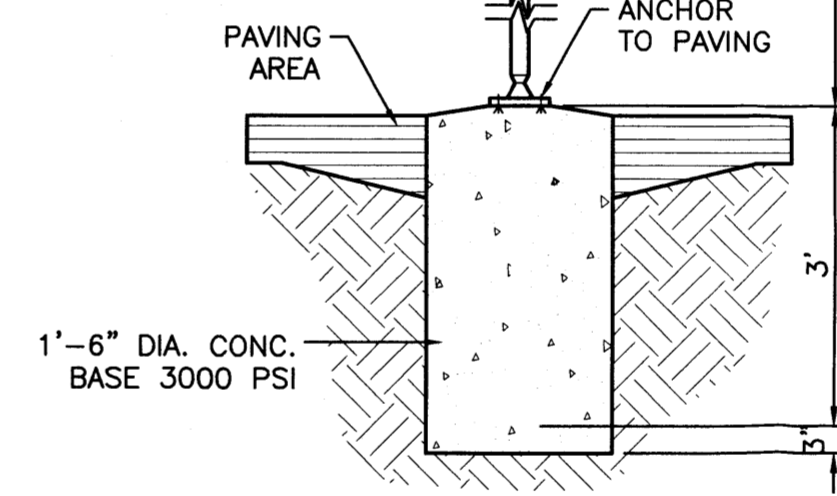
BENCH
NTS



HANDICAP SIGN
SCALE: NTS

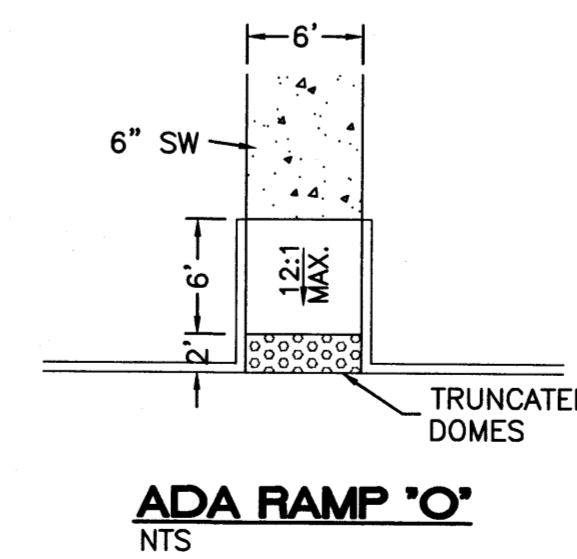
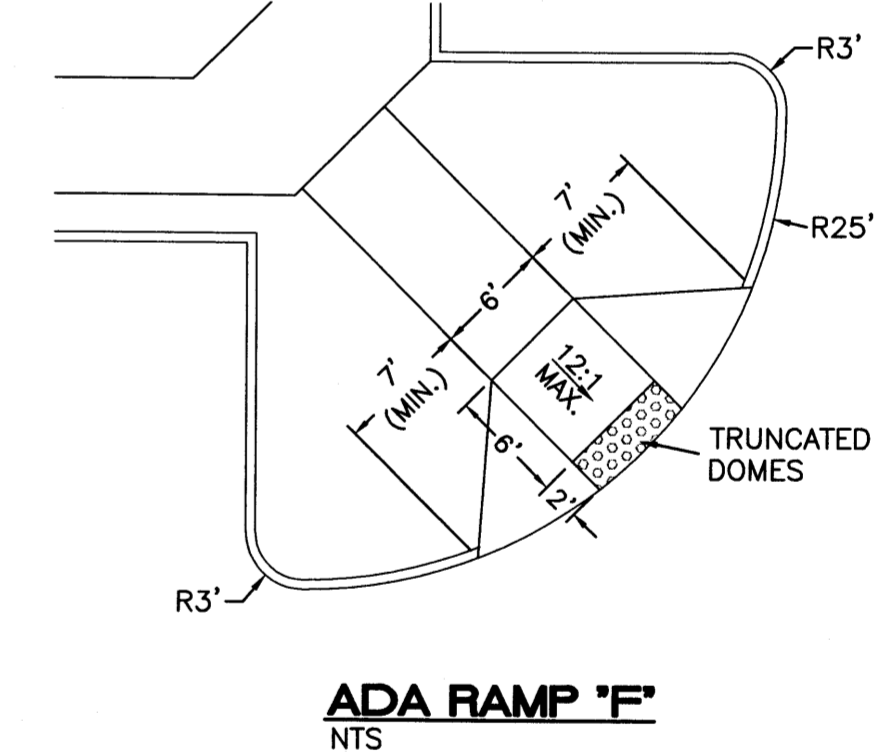
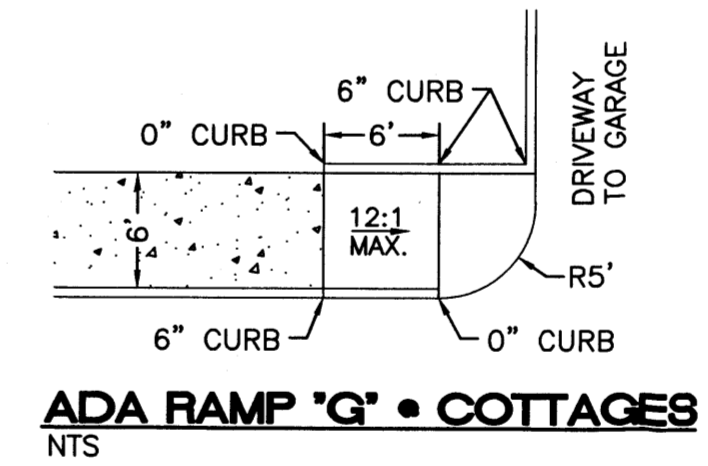
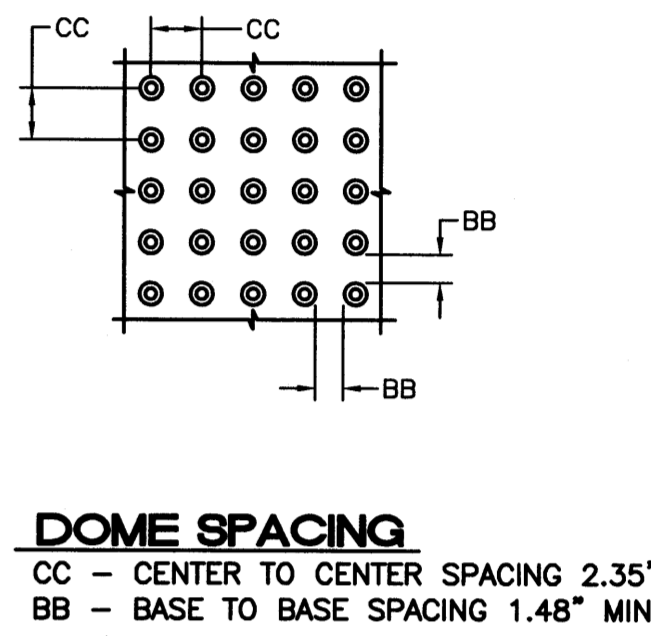
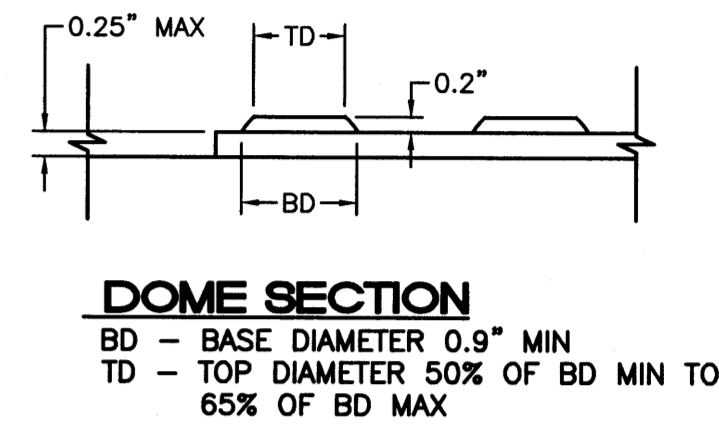
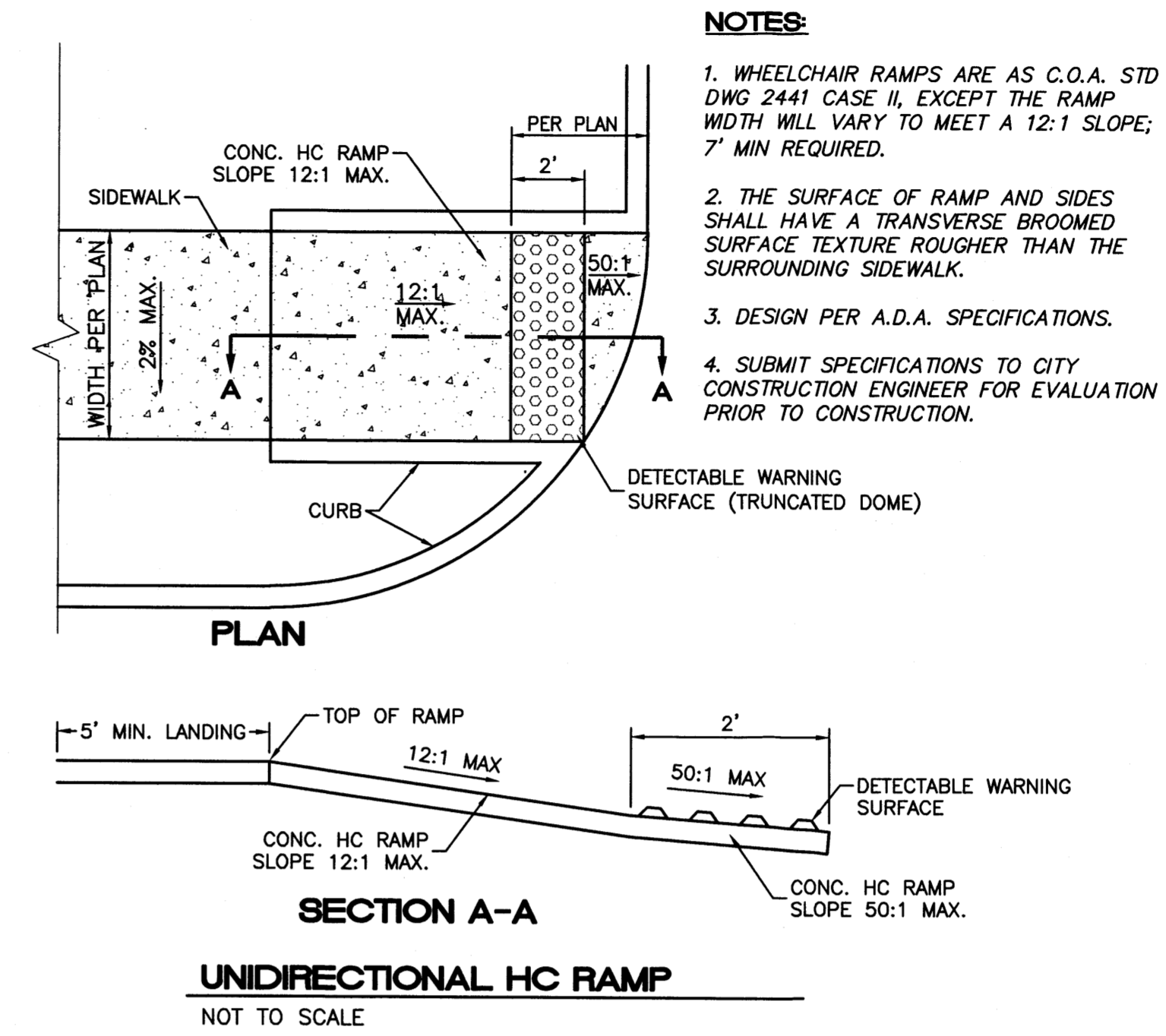
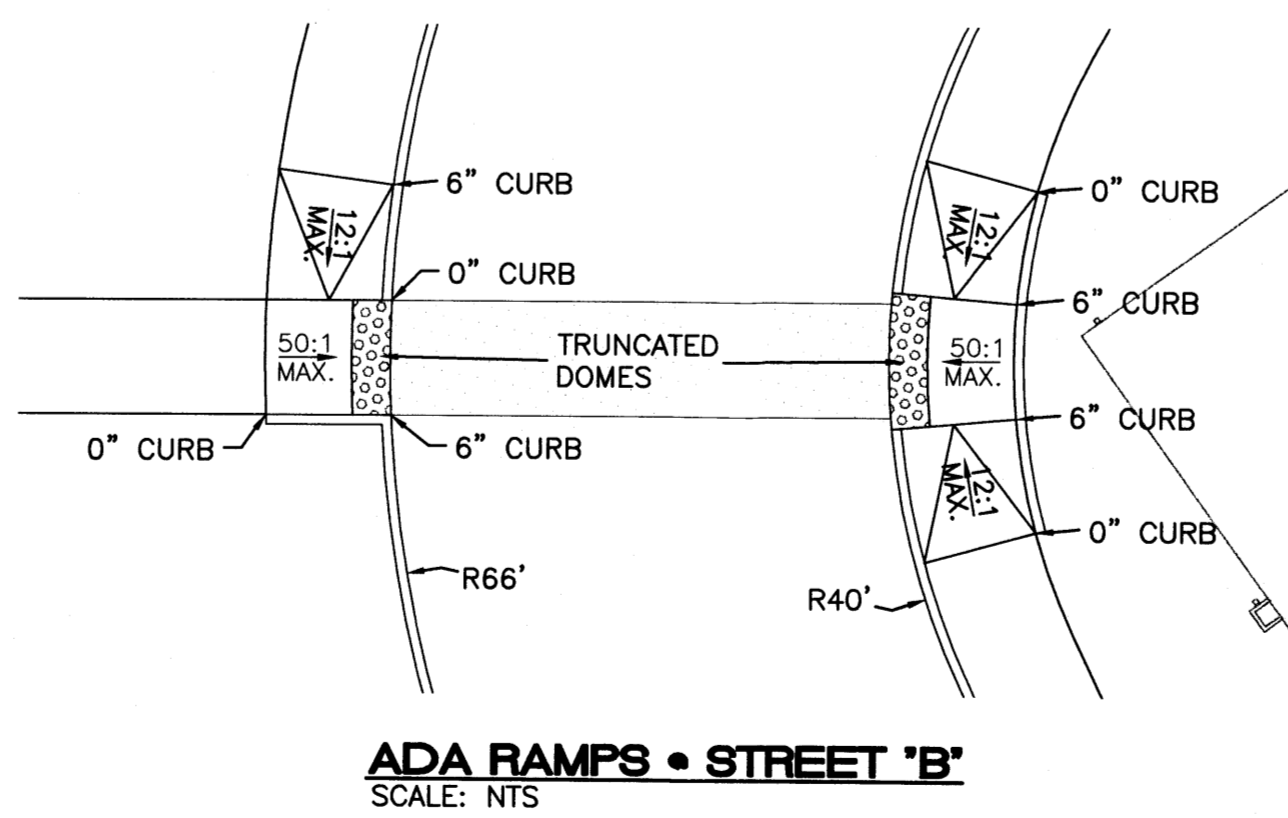
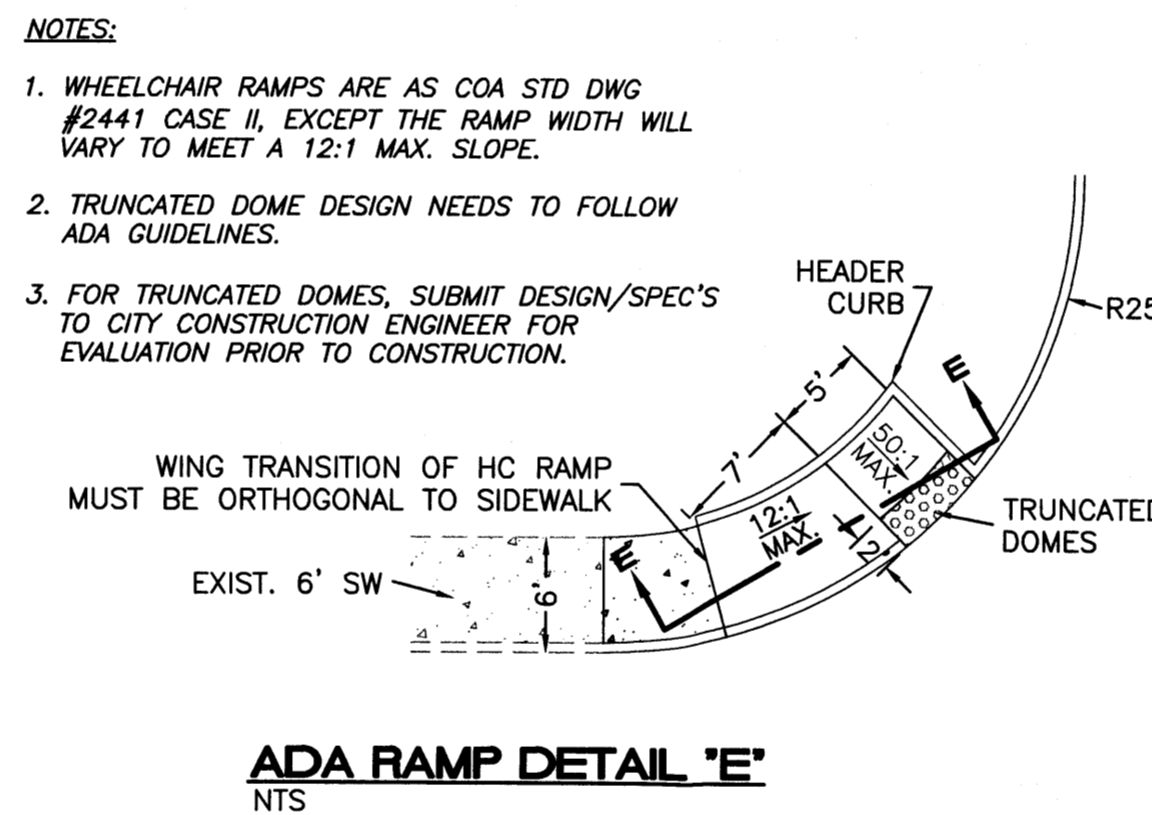
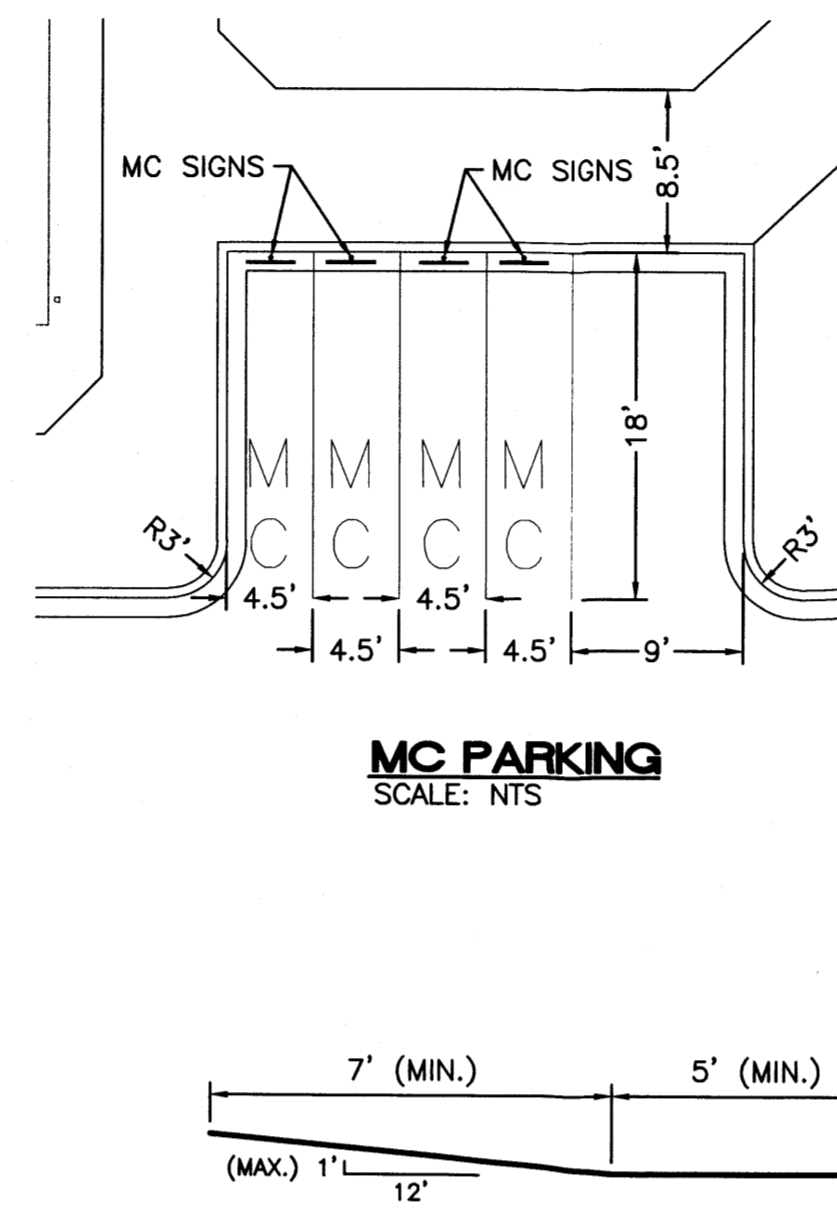
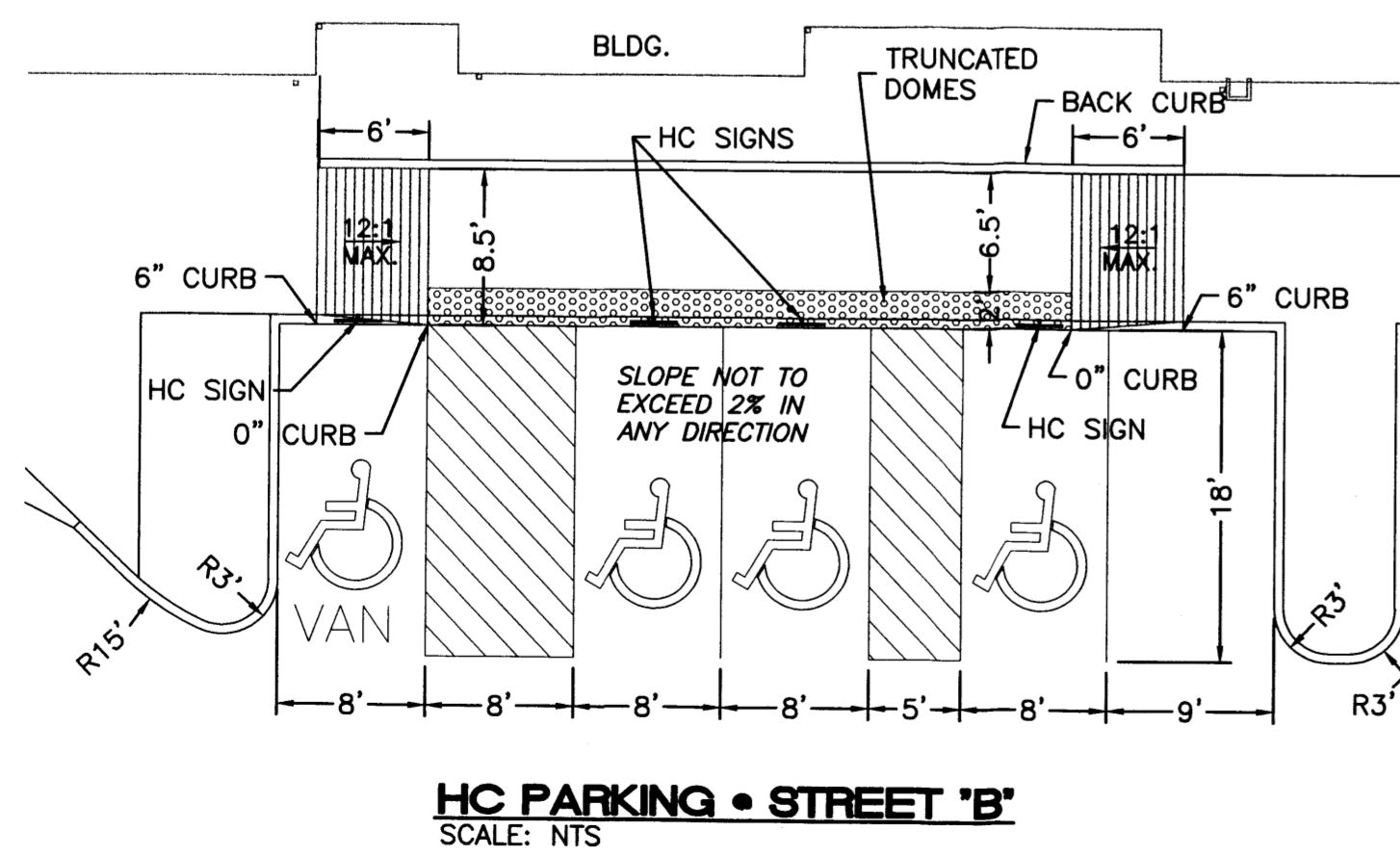
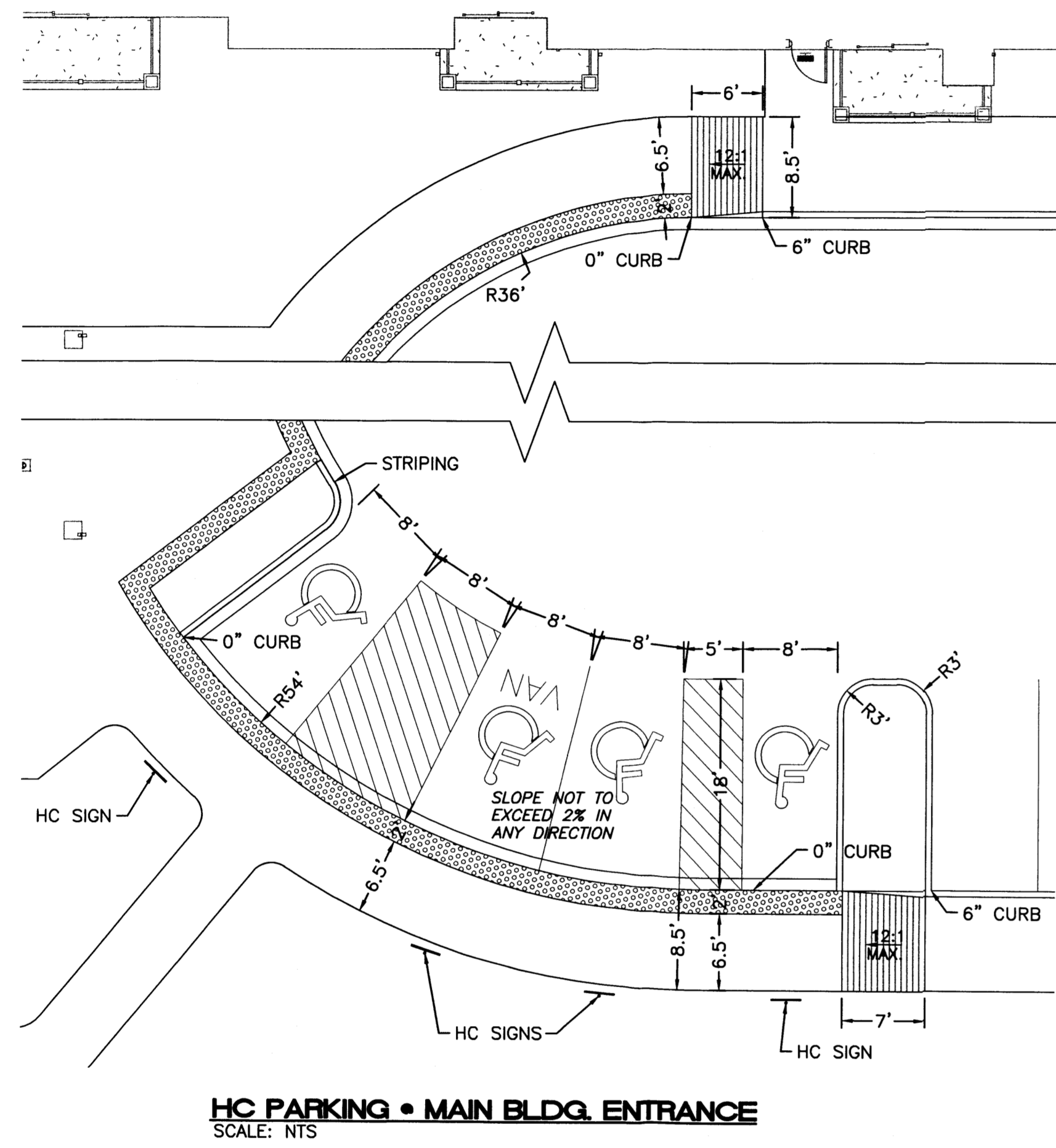


AREA LIGHT ELEVATION
SCALE: NTS

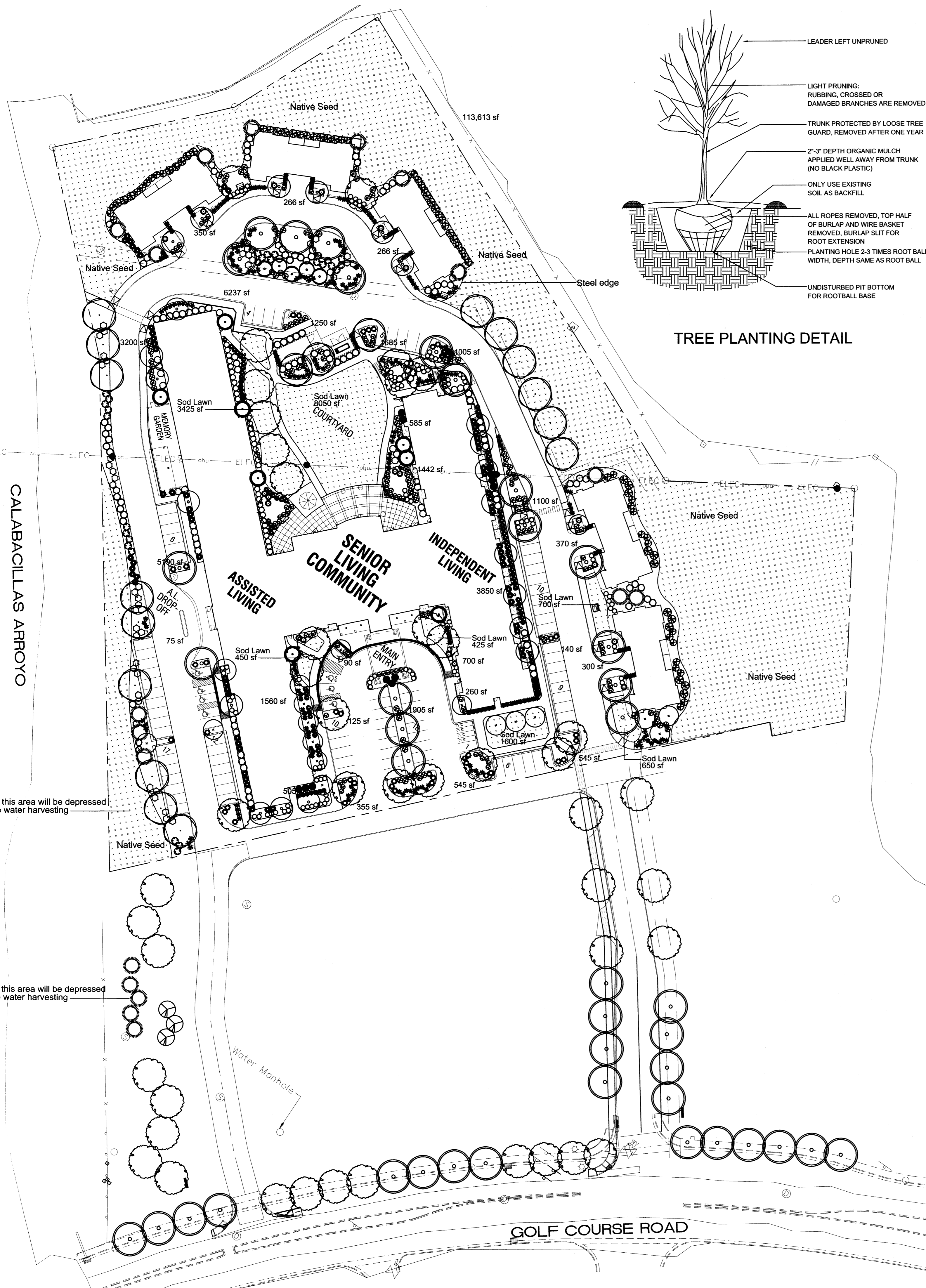


MOTORCYCLE PARKING SIGN
SCALE: NTS

| | | |
|----------------------------------|---|----------------------|
| ENGINEER'S SEAL | SPECTRUM ASSISTED LIVING | DRAWN BY BJF |
| | DETAIL SHEET 2 | DATE 11/3/11 |
| RONALD R. BOHANNAN P.E. #7868 | TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com | 2011026-DTE |
| | | SHEET # C7 |
| | | JOB # 2011026 |



| | | |
|----------------------------------|---|----------------------|
| ENGINEER'S SEAL | SPECTRUM ASSISTED LIVING | DRAWN BY BJF |
| | DETAIL SHEET 1 | DATE 11/3/11 |
| | | 2011026-DTE |
| | | SHEET # C8 |
| RONALD R. BOHANNAN P.E. #7868 | TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com | JOB # 2011026 |



SITE DATA

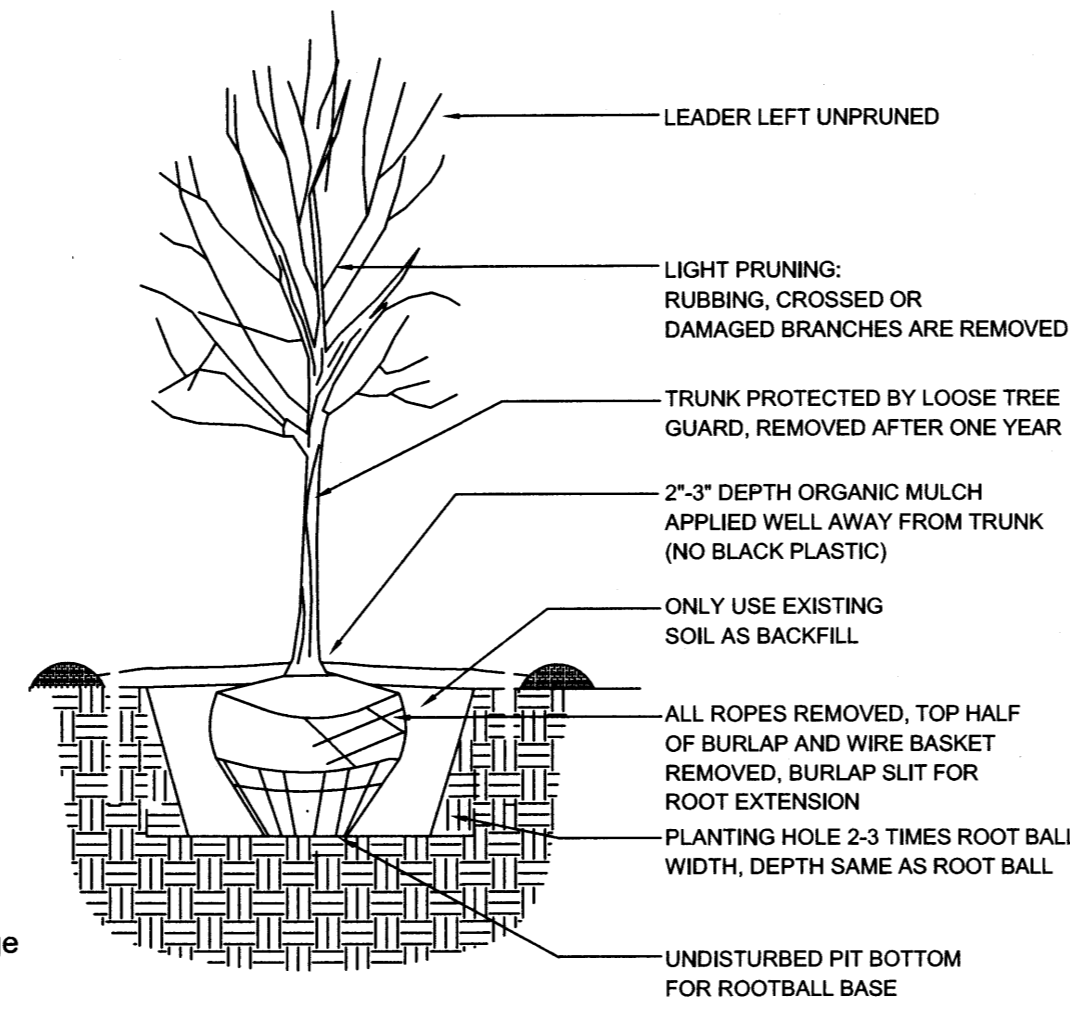
GROSS LOT AREA 330,285 SF
 LESS BUILDING(S) 144,250 SF
 NET LOT AREA 186,035 SF

REQUIRED LANDSCAPE 15% OF NET LOT AREA 27,905 SF
 PROPOSED LANDSCAPE 165,809 SF
 PERCENT OF NET LOT AREA 89 %

HIGH WATER USE TURF MAX. 20% OF LANDSCAPE AREA 33,618 SF
 PROPOSED HIGH WATER USE TURF 15,300 SF
 PERCENT OF LANDSCAPE AREA 9 %

REQUIRED STREET TREES PROVIDED AT 30' O.C. SPACING ALONG STREET 22
 REQUIRED PARKING LOT TREES PROVIDED AT 1 PER 10 SPACES (100 SPACES/10) 10

REQUIRED LANDSCAPE COVERAGE 75% LIVE VEGETATIVE MATERIAL (165,809 SF PROPOSED LANDSCAPE X 75%) 124,356 SF MIN.
 NATIVE SEED COVERAGE (IRRIGATED) 100% 93,000 SF
 SOD LAWN 100% 15,300 SF
 PROVIDED PLANTING AREA COVERAGE 23,843 SF
 PROVIDED TOTAL LANDSCAPE COVERAGE 131,943 SF
 PERCENT LANDSCAPE COVERAGE 80%



TREE PLANTING DETAIL

PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS
 A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

NOTE

WATER HARVESTING: INTENT OF LANDSCAPE DESIGN IS TO CAPTURE AND CONTROL WATER RUNOFF FROM THE ROOF AREAS AND HARD SURFACES TO SUPPLEMENT IRRIGATION AT LANDSCAPE AREAS.

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER
 PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 2-3\"/>

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE

TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS
 NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.

NATIVE SEED TO BE PIONEER'S PRIDE AS AVAILABLE FROM CURTIS AND CURTIS AND HYDRO SEEDED AT 12 LB PER ACRE AND SPRAY IRRIGATED.
 SOD LAWN TO BE PARK BLEND

IRRIGATION NOTE

DRIP SYSTEM RUN CYCLES:
 ESTABLISHMENT AND SUMMER: 1 HOUR/4 DAYS A WEEK
 SPRING: 1 HOUR/2-3 DAYS A WEEK
 FALL: 1 HOUR/2-3 DAYS A WEEK
 WINTER: 1 HOUR/2 DAYS PER MONTH

PLANT LEGEND

| Qty. | Symbol | Scientific Name | Common Name | Installed Size | Mature Height/Spread | Landscape Coverage | Water Use | Drip Emitters Per Plant (see note) |
|------|----------|---------------------------------|------------------------|----------------|----------------------|--------------------|-----------|------------------------------------|
| 18 | (Symbol) | Gleditsia triacanthos 'inermis' | Thornless Honey Locust | 2\"/> | | | | |

Shrubs/Groundcovers

| | | | | | | | | |
|----|----------|-----------------------|-------------------------|-------|---------|---------------|---------|---------|
| 38 | (Symbol) | Buddleia davidii | Butterfly Bush | 1-Gal | 5'/5' | 20 sf=760 sf | Medium | 2-2 gph |
| 38 | (Symbol) | Juniperus sabina | Buffalo Juniper | 5-Gal | 2'/5' | 35 sf=1330 sf | Medium | 2-2 gph |
| 68 | (Symbol) | Vauquelinia Rosewood | Rosewood | 5-Gal | 10'/10' | 40 sf=2720 sf | Low+ | 2-1 gph |
| 90 | (Symbol) | Prunus besseyi | Sand Cherry | 5-Gal | 3'/3' | 25 sf=2250 sf | Medium | 2-2 gph |
| 31 | (Symbol) | Caesalpinia | Yellow Bird of Paradise | 5-Gal | 10'/10' | 40 sf=1240 sf | Low | 2-1 gph |
| 44 | (Symbol) | Fallugia paradoxa | Apache Plume | 1-Gal | 6'/7' | 35 sf=1540 sf | Low | 2-1 gph |
| 45 | (Symbol) | Hesperaloe parviflora | Red Yucca | 5-Gal | 3'/4' | 20 sf=900 sf | Low+ | 2-1 gph |
| 28 | (Symbol) | Rhus trilobata | Three Leaf Sumac | 1-Gal | 6'/6' | 30 sf=840 sf | Medium | 2-2 gph |
| 15 | (Symbol) | Lagerstroemia | Crape Myrtle | 5-Gal | 15'/15' | 30 sf=450 sf | Medium+ | 2-2 gph |
| 43 | (Symbol) | Spiraea | Dwarf Red Spirea | 5-Gal | 3'/3' | 18 sf=774 sf | Medium+ | 2-2 gph |
| 68 | (Symbol) | Lavandula | Lavender | 1-Gal | 3'/3' | 12 sf=816 sf | Medium | 2-1 gph |
| 34 | (Symbol) | Ilex | Wilson Holly | 5-Gal | 10'/10' | 25 sf=850 sf | Medium+ | 2-2 gph |
| 88 | (Symbol) | Raphiolepis | India Hawthorn | 5-Gal | 3'/4' | 20 sf=1760 sf | Medium | 2-2 gph |
| 44 | (Symbol) | Cercocarpus | Curt Leaf Mtn. Mahogany | 5-Gal | 15'/15' | 45 sf=1980 sf | Low+ | 2-1 gph |
| 19 | (Symbol) | Pinus mugo | Mugho Pine | 5-Gal | 4'/5' | 30 sf=570 sf | Medium | 2-2 gph |
| 32 | (Symbol) | Hibiscus | Rose of Sharon | 5-Gal | 10'/10' | 30 sf=960 sf | Medium | 2-2 gph |
| 72 | (Symbol) | Potentilla | Shrubby Cinquefoil | 5-Gal | 3'/3' | 10 sf=720 sf | Medium | 2-2 gph |

Ornamental Grasses

| | | | | | | | | |
|-----|----------|---------------|---------------------|-------|-------|---------------|---------|---------|
| 65 | (Symbol) | Miscanthus | Maiden Grass | 5-Gal | 5'/5' | 15 sf=975 sf | Medium+ | 2-2 gph |
| 119 | (Symbol) | Muhlenbergia | Regal Mist Grass | 1-Gal | 3'/3' | 12 sf=1428 sf | Medium | 2-2 gph |
| 78 | (Symbol) | Calamagrostis | Karl Foerster Grass | 5-Gal | 3'/2' | 10 sf=780 sf | Medium | 2-2 gph |

Total landscape coverage=23,643 sf

growing better **Up** Heads **Up**
 LANDSCAPE CONTRACTORS
 www.headsuplandscape.com

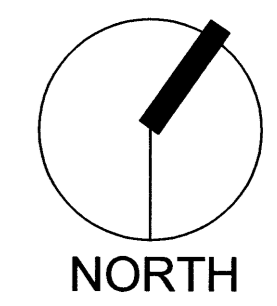
P O Box 10597
 Albuquerque, NM 87184
 505.898.9615
 505.898.2105 (fax)
 design@hulc.com



Date: 6/14/11
 Revisions:
 ▲ 6/24/11
 ▲ 10/10/11

Drawn by: JC
 Reviewed by: JB

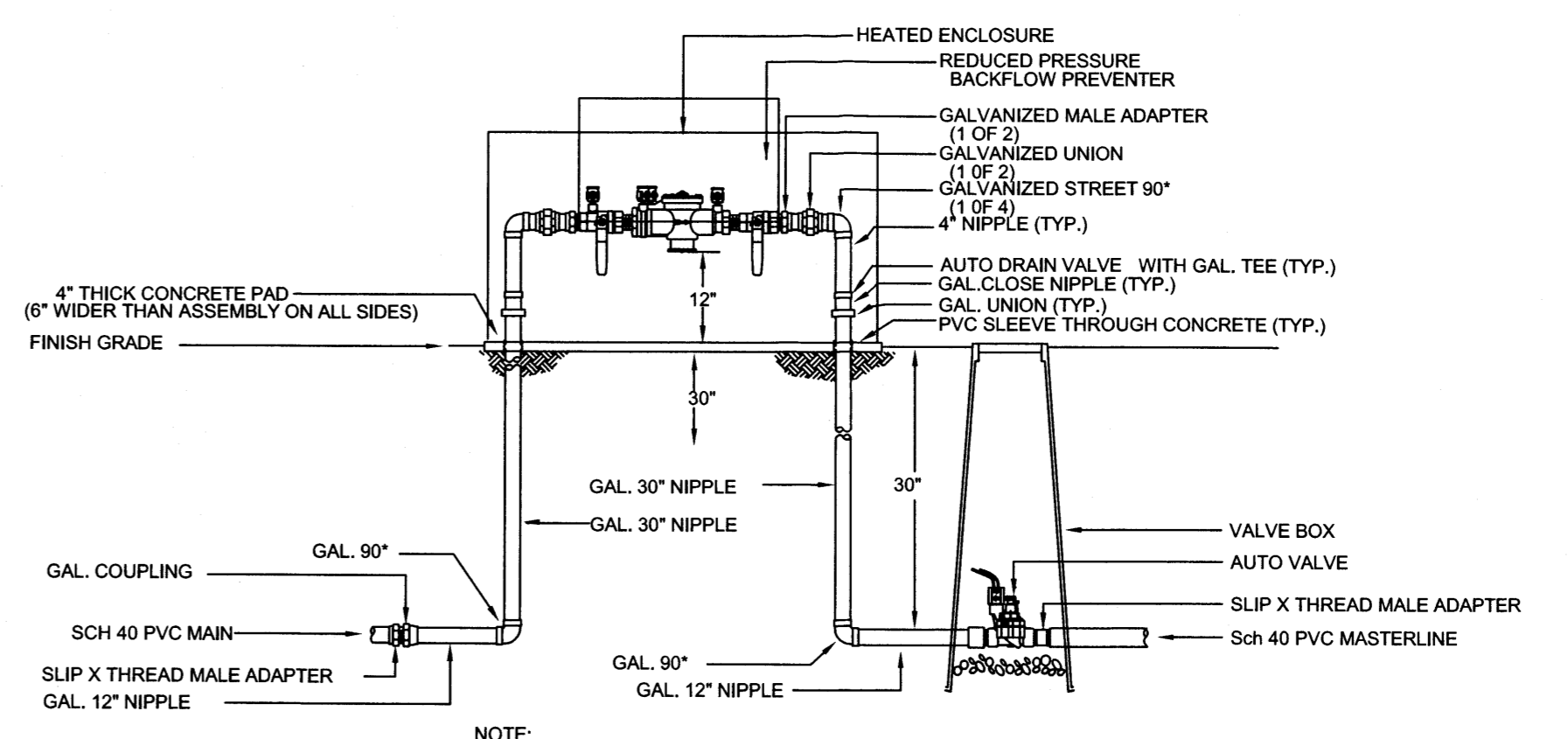
Spectrum Assisted Living
 Albuquerque, New Mexico



Scale: 1" = 50'
 25' 0 50' 100'

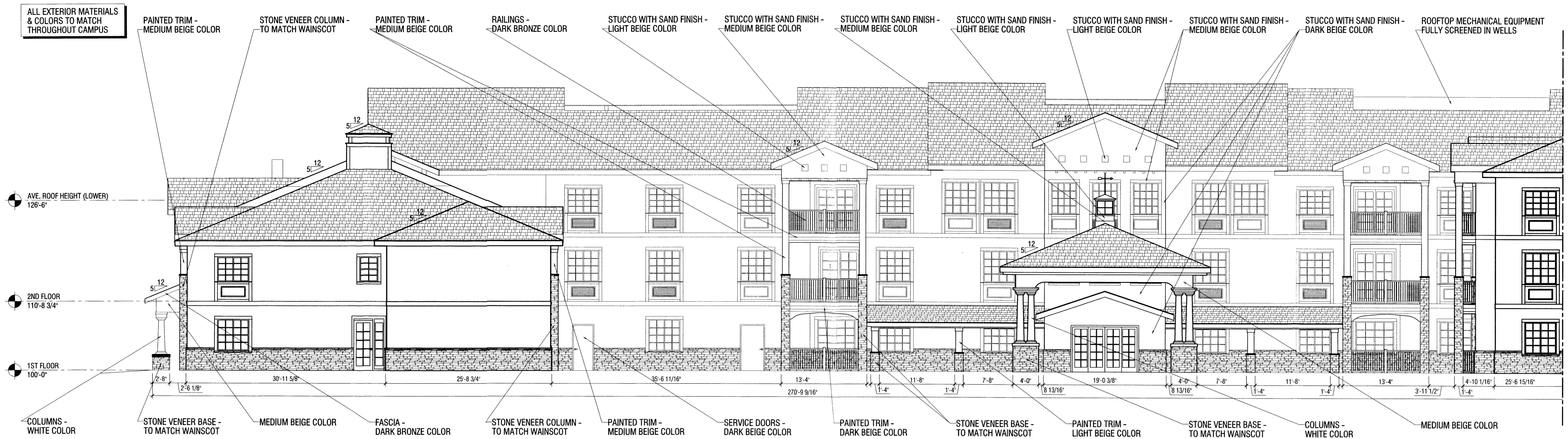
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Landscape Plan

Sheet Number:
LS-01

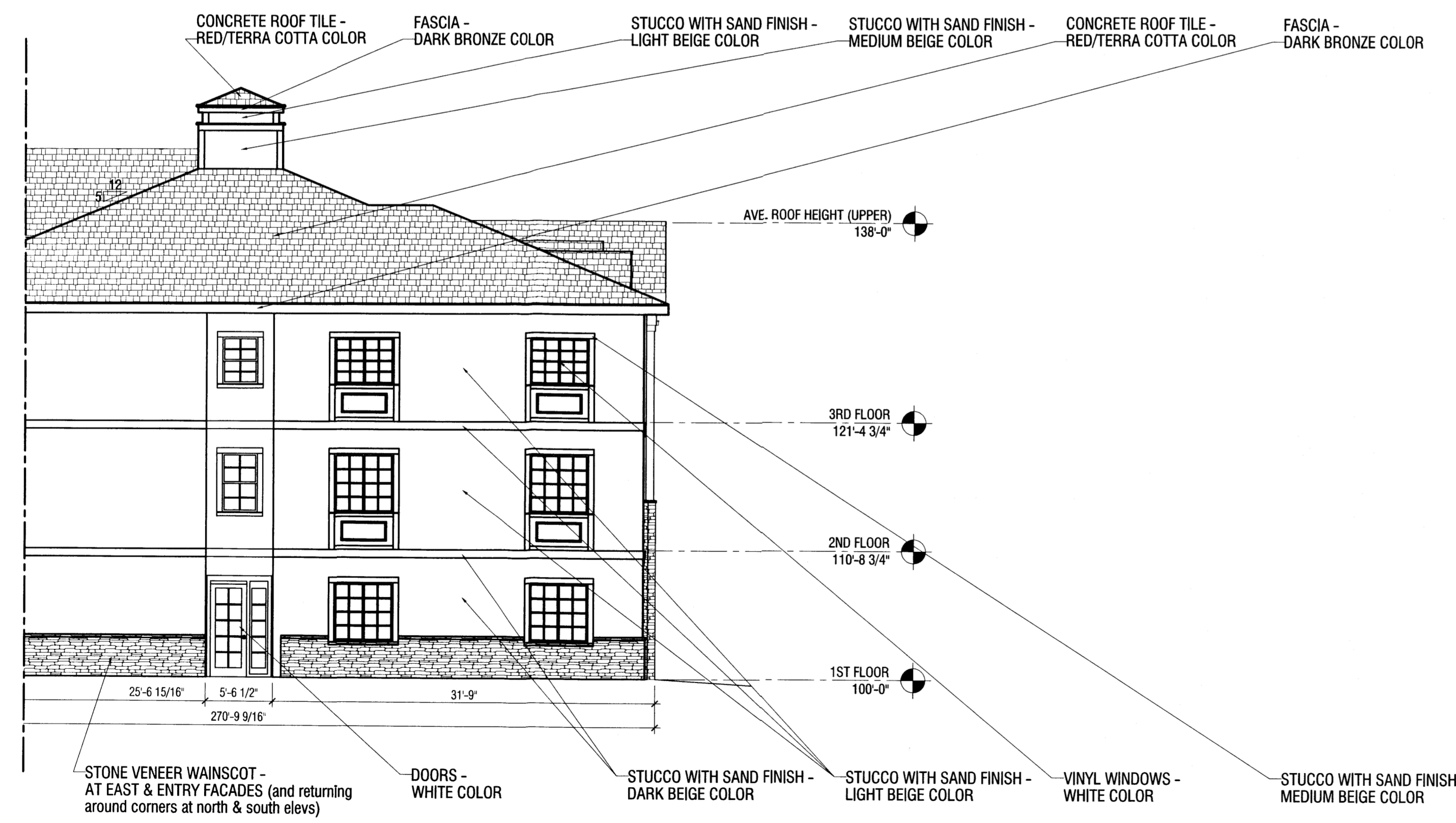


NOTE:
 1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.

RP BACKFLOW/MASTER VALVE DETAIL



EAST ELEVATION - Front View from Golf Course Road
1/8" = 1'-0"

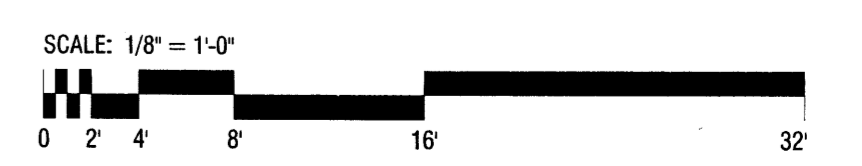


EAST ELEVATION - Front View from Golf Course Road
1/8" = 1'-0"



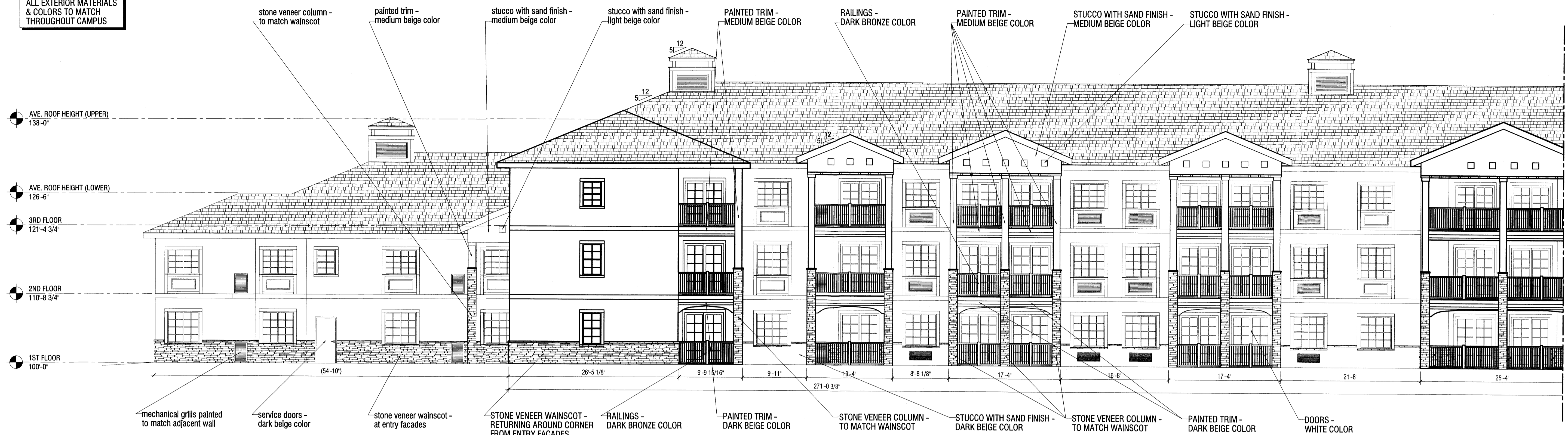
PROPOSED BUILDING ELEVATIONS
Spectrum Senior Living - Albuquerque

A7

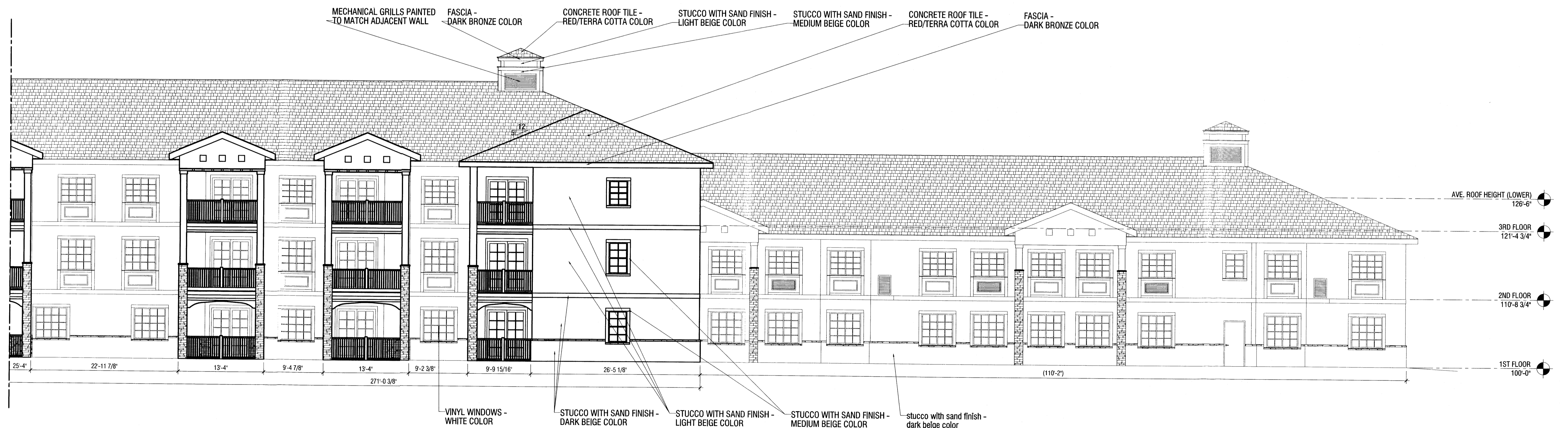


JUNE 01 2011

ALL EXTERIOR MATERIALS & COLORS TO MATCH THROUGHOUT CAMPUS



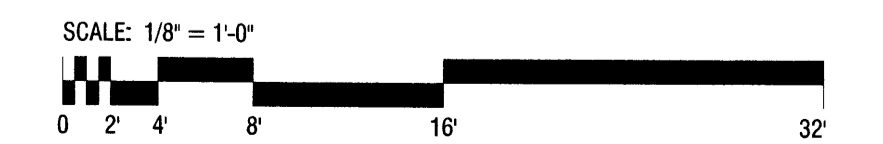
NORTH ELEVATION - Side View
1/8" = 1'-0"



NORTH ELEVATION - Side View
1/8" = 1'-0"



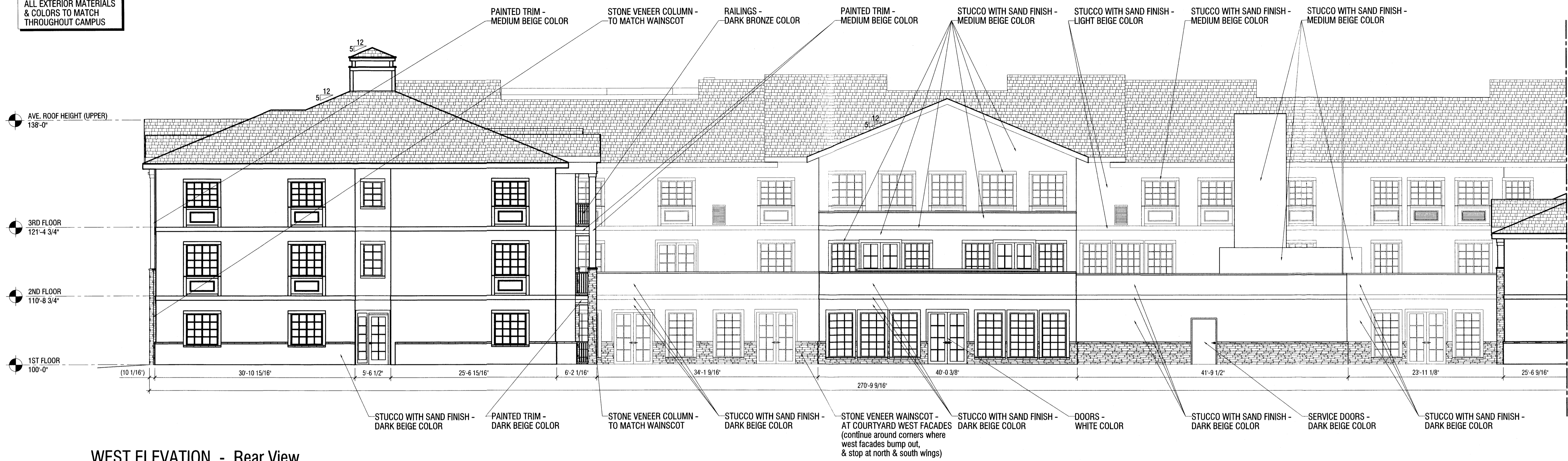
PROPOSED BUILDING ELEVATIONS
Spectrum Senior Living - Albuquerque



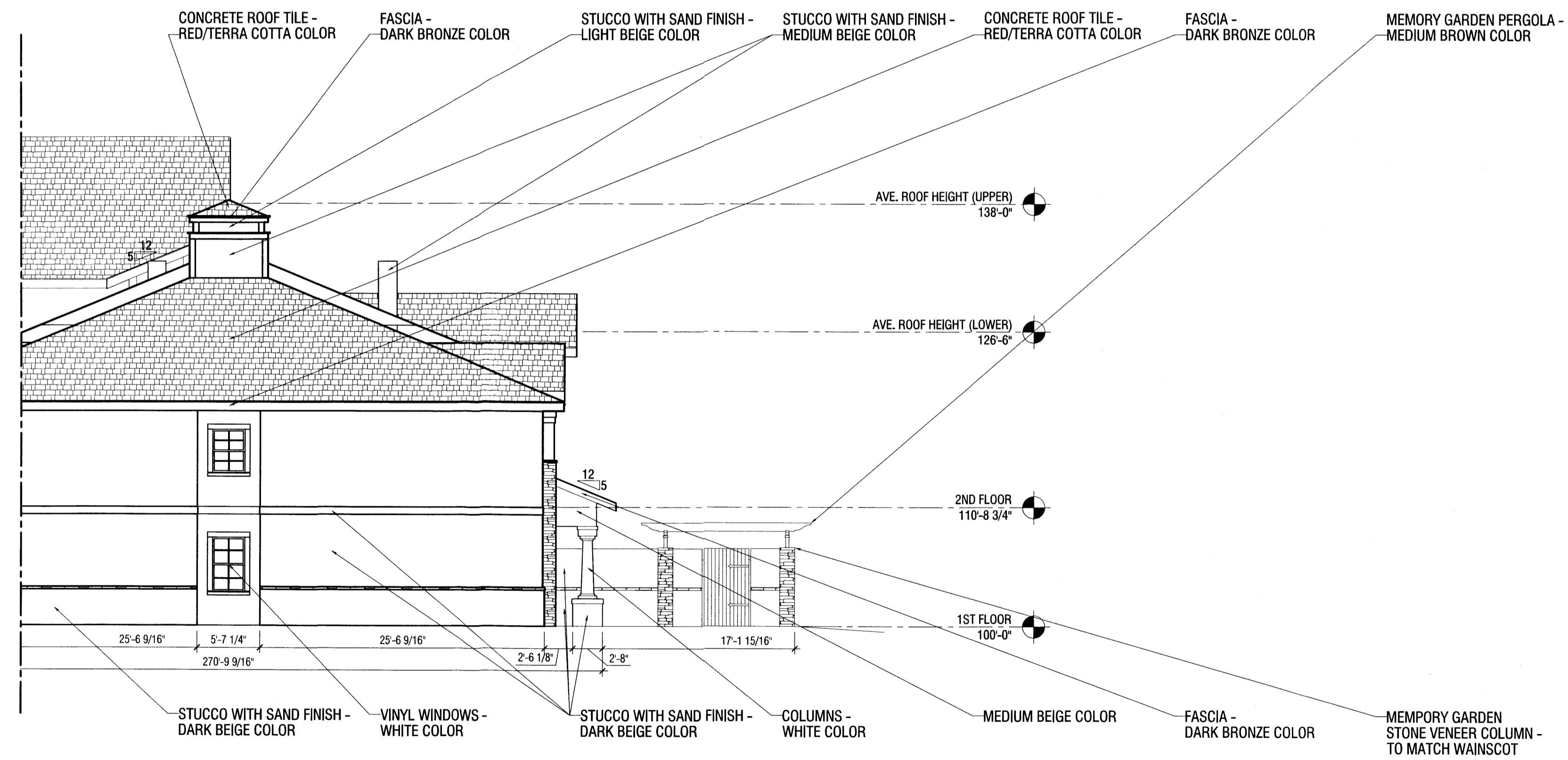
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ALL EXTERIOR MATERIALS & COLORS TO MATCH THROUGHOUT CAMPUS



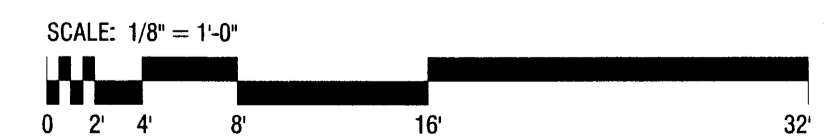
WEST ELEVATION - Rear View
1/8" = 1'-0"



WEST ELEVATION - Rear View
1/8" = 1'-0"



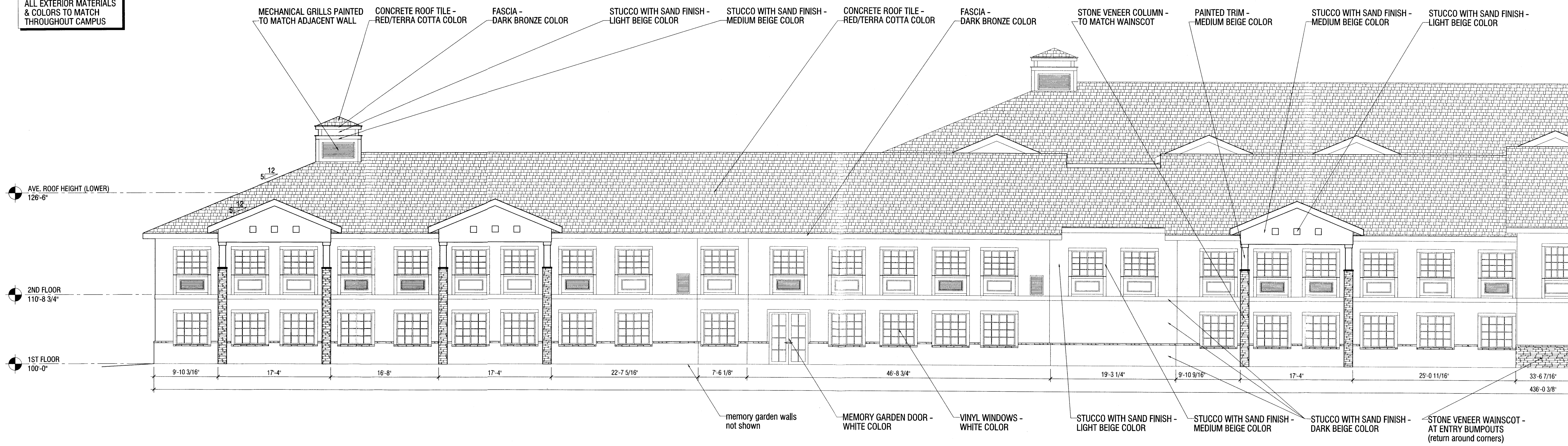
PROPOSED BUILDING ELEVATIONS
Spectrum Senior Living - Albuquerque



JUNE 01 2011

A9

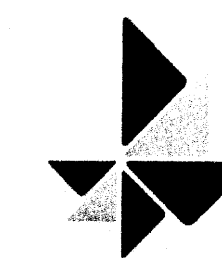
ALL EXTERIOR MATERIALS & COLORS TO MATCH THROUGHOUT CAMPUS



SOUTH ELEVATION - Side View from Calabacillas Arroyo
1/8" = 1'-0"



SOUTH ELEVATION - Side View from Calabacillas Arroyo
1/8" = 1'-0"



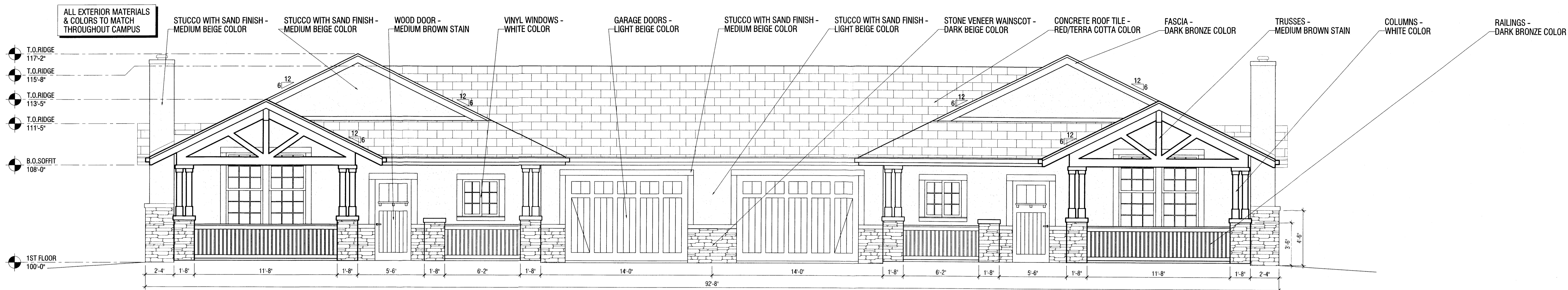
SPECTRUM
RETIREMENT COMMUNITIES, LLC

PROPOSED BUILDING ELEVATIONS
Spectrum Senior Living - Albuquerque

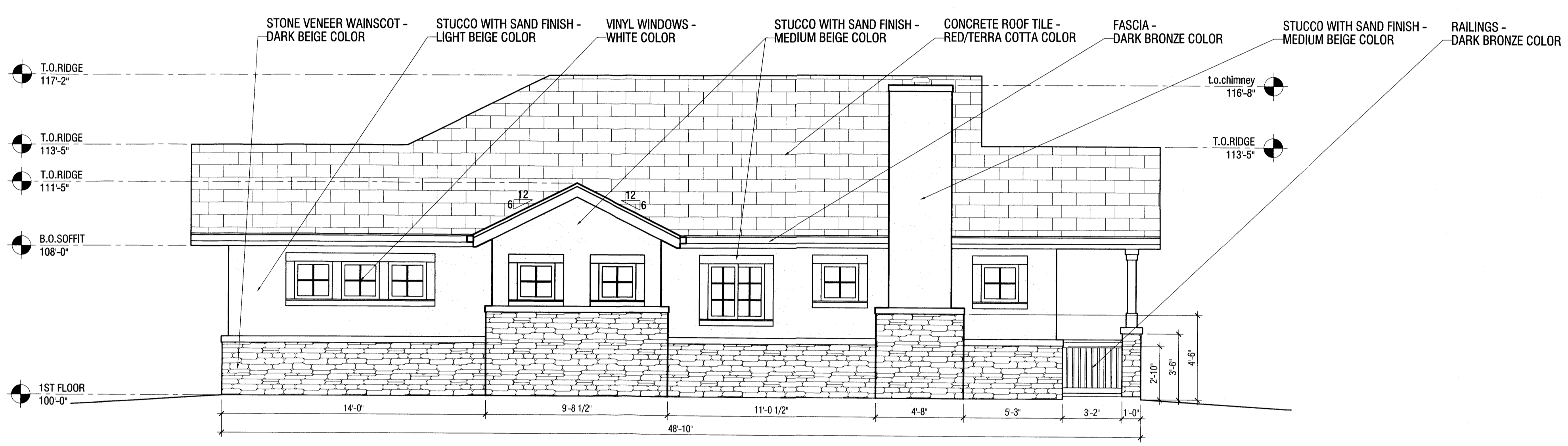
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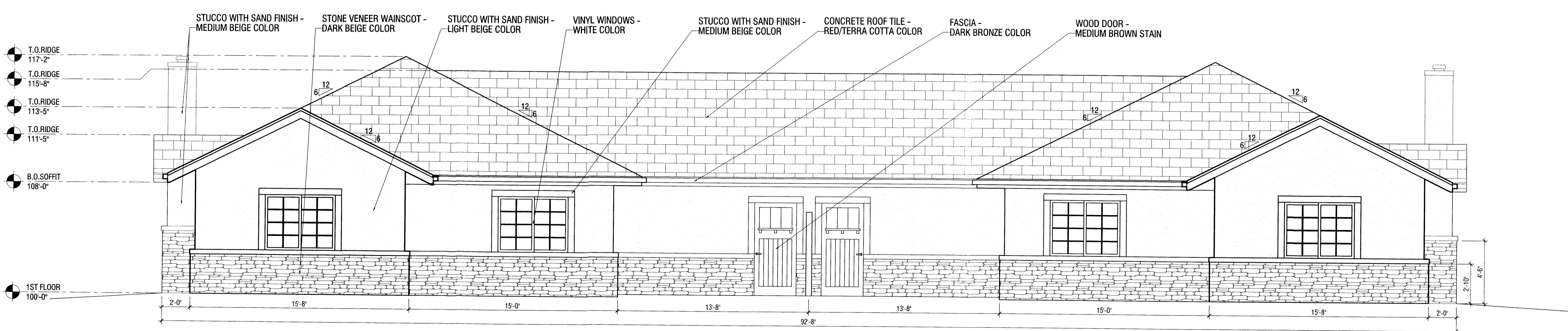
JUNE 01 2011



FRONT ELEVATION
1/4" = 1'-0"



SIDE ELEVATION
1/4" = 1'-0"

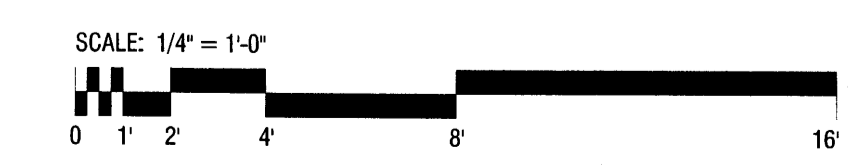


REAR ELEVATION
1/4" = 1'-0"

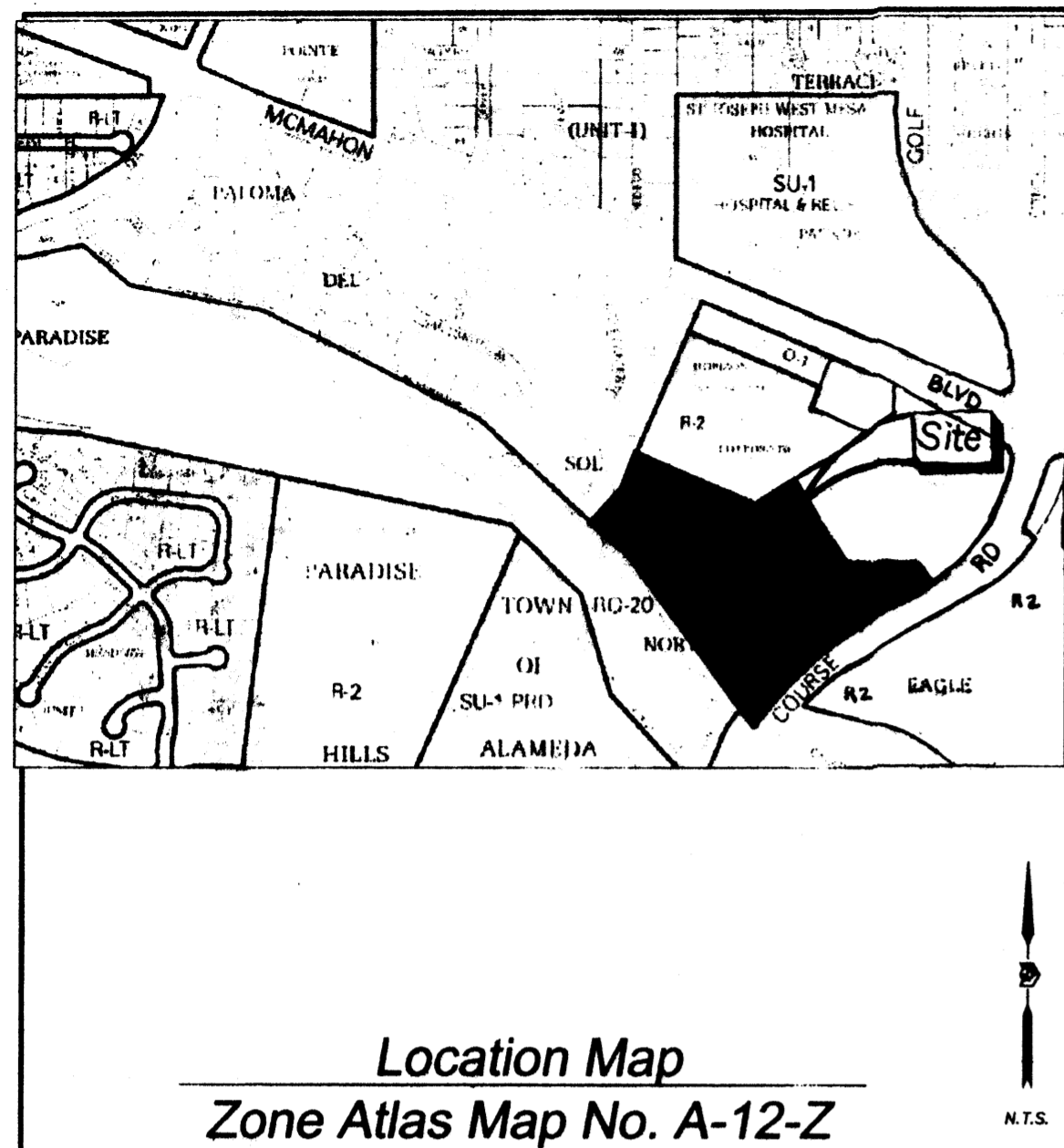


PROPOSED COTTAGE ELEVATIONS
Spectrum Senior Living - Albuquerque

A11



JUNE 01 2011



Location Map
Zone Atlas Map No. A-12-Z

Subdivision Data:

ZONING: SU-A 1P USES W/EXCEPTIONS
GROSS SUBDIVISION ACREAGE: 13.5519 ACRES±
ZONE ATLAS INDEX NO: A-12-Z
NO. OF TRACTS CREATED: 2
NO. OF LOTS CREATED: 0
MILES OF FULL-WIDTH STREETS CREATED: 0
DATE OF SURVEY: MAY 4-16, 2011

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING ONE TRACT INTO TWO NEW TRACTS, VACATE EASEMENT AND TO GRANT EASEMENTS.

Notes:

- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1983).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN THE TOWN OF ALAMEDA GRANT, PROJECTED SECTION 1, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

Utility Notes

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- NEW MEXICO GAS COMPANY** FOR INSTALLATION, MAINTENANCE AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- PUBLIC SERVICE COMPANY OF NEW MEXICO** FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLE NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- QWEST** FOR INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST** FOR INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID RIGHT OF WAY AND EASEMENT, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, AND TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON.

DISCLAIMER
IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

RECORDING STAMP

Legal Description

TRACT "1B-1" OF PARADISE NORTH, SITUATE WITHIN THE TOWN OF ALAMEDA GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE VACATION, AMENDED PLAT AND REPLAT OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON NOVEMBER 17, 2005, IN MAP BOOK 2005C, PAGE 371, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM GRID BEARINGS (CENTRAL ZONE-NAD 1983) AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF DESCRIBED TRACT, LYING ON THE NORTH RIGHT OF WAY LINE OF GOLF COURSE ROAD, N.W., MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993", FROM WHENCE A TIE TO ALBUQUERQUE GEOGRAPHIC REFERENCE SYSTEM MONUMENT "7_B13" BEARS S 54°30'08" E, A DISTANCE OF 7308.09 FEET;

THENCE FROM SAID POINT OF BEGINNING, CONTINUING ALONG SAID NORTH RIGHT OF WAY LINE FOR THE NEXT THREE CALLS ALONG A NON TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 783.54 FEET, AN ARC LENGTH OF 152.48 FEET, A DELTA ANGLE OF 11°09'00", A CHORD BEARING OF S 58°57'46" W, AND A CHORD LENGTH OF 152.24 FEET TO A POINT OF REVERSE CURVATURE MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE ALONG A REVERSE CURVE TO THE LEFT HAVING A RADIUS OF 1402.63 FEET, AN ARC LENGTH OF 388.10 FEET, A DELTA ANGLE OF 15°51'12", A CHORD BEARING OF S 56°29'06" W, AND A CHORD LENGTH OF 386.86 FEET TO A POINT OF COMPOUND CURVATURE MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE ALONG A COMPOUND CURVE TO THE LEFT HAVING A RADIUS OF 1445.56 FEET, AN ARC LENGTH OF 326.71 FEET, A DELTA ANGLE OF 12°56'57", A CHORD BEARING OF S 41°39'08" W, AND A CHORD LENGTH OF 326.01 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE LEAVING SAID NORTH RIGHT OF WAY LINE, N 36°15'11" W, A DISTANCE OF 86.68 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 5 REBAR;

THENCE N 36°12'41" W, A DISTANCE OF 715.36 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 5 REBAR WITH ALUMINUM CAP "PS 3794";

THENCE N 47°19'53" W, A DISTANCE OF 191.87 FEET TO THE NORTHWEST CORNER OF DESCRIBED TRACT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 14733";

THENCE N 42°42'24" E, A DISTANCE OF 166.16 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 4 REBAR;

THENCE N 23°18'51" E, A DISTANCE OF 150.03 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT MARKED BY A FOUND PK NAIL WITH WASHER;

THENCE S 66°46'32" E, A DISTANCE OF 486.31 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH ALUMINUM CAP "PS 3794";

THENCE N 57°27'06" E, A DISTANCE OF 168.72 FEET TO AN ANGLE POINT OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 32°32'54" E, A DISTANCE OF 366.39 FEET TO AN ANGLE POINT OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 87°34'22" E, A DISTANCE OF 266.96 FEET TO AN ANGLE POINT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 36°36'45" E, A DISTANCE OF 99.87 FEET TO THE POINT OF BEGINNING, CONTAINING 13.5519 ACRES (590,321 SQUARE FEET), MORE OR LESS, NOW COMPRISING TRACT 1B-1A AND TRACT 1B-1B, PARADISE NORTH.

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

[Signature]
JEFFREY D. KRAUS, MANAGER
SPECTRUM ACQUISITION-ALBUQUERQUE, LLC,
A COLORADO LIMITED LIABILITY COMPANY

10/11/2011
DATE

Acknowledgment

STATE OF COLORADO) SS
COUNTY OF DENVER)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 11th DAY OF OCTOBER, 2011, BY
JEFFREY D. KRAUS, MANAGER, SPECTRUM ACQUISITION-ALBUQUERQUE, LLC, A COLORADO LIMITED LIABILITY COMPANY

BY *[Signature]* MY COMMISSION EXPIRES: 06/09/2012
NOTARY PUBLIC



Plat of
Tracts 1B-1-A and 1B-1-B
Paradise North
Albuquerque, Bernalillo County, New Mexico
October 2011

Project No. _____

Application No. 11DRB- _____

Utility Approvals

| | |
|------------------------|------|
| PNM | DATE |
| NEW MEXICO GAS COMPANY | DATE |
| CENTURYLINK | DATE |
| COMCAST | DATE |
| NEW MEXICO UTILITIES | DATE |

City Approvals

[Signature] 10-18-11
CITY SURVEYOR DATE

ENVIRONMENTAL HEALTH DEPARTMENT DATE

TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT DATE

A.B.C.W.U.A. DATE

PARKS AND RECREATION DEPARTMENT DATE

AMAFCA DATE

CITY ENGINEER DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

TREASURER CERTIFICATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

[Signature] 10/11/11
LARRY W. MEDRANO
N.M.P.S. No. 11993 DATE



PRECISION SURVEYS, INC.

OFFICE LOCATION:
5571 Midway Park Place, NE
Albuquerque, NM 87109
MAILING ADDRESS:
PO Box 90636
Albuquerque, NM 87199

866.442.8011 TOLL FREE
505.856.5700 PHONE
505.856.7900 FAX

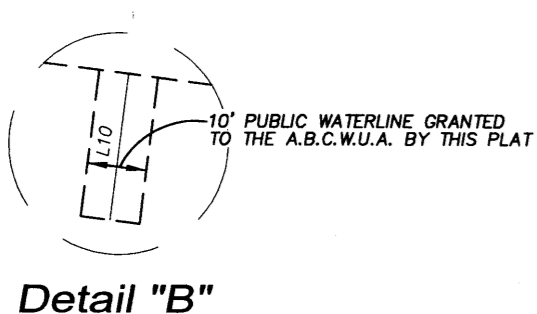
INDEXING INFORMATION FOR COUNTY CLERK
OWNER SPECTRUM ACQUISITION-ALBUQUERQUE, LLC
SECTION 1, TOWNSHIP 11 N, RANGE 2 E,
SUBDIVISION PARADISE NORTH

Curve Table

| CURVE | RADIUS | ARC LENGTH | TANGENT | DELTA ANGLE | CHORD BEARING | CHORD LENGTH |
|-------|----------|------------|---------|-------------|---------------|--------------|
| C1 | 783.54' | 152.48' | 76.48' | 11°09'00" | S 58°57'46" W | 152.24' |
| C2 | 1402.63' | 388.10' | 195.30' | 15°51'12" | S 56°29'06" W | 386.86' |
| C3 | 1445.56' | 326.71' | 164.05' | 12°56'57" | S 41°39'08" W | 326.01' |
| C4 | 783.54' | 8.61' | 4.31' | 0°37'47" | N 64°13'22" E | 8.61' |
| C5 | 1445.56' | 171.30' | 85.75' | 6°47'22" | S 44°43'56" W | 171.20' |
| C6 | 1402.63' | 66.04' | 33.03' | 2°41'52" | S 63°03'46" W | 66.04' |
| C7 | 1405.13' | 130.36' | 65.23' | 5°18'56" | S 59°03'19" W | 130.31' |
| C8 | 1402.63' | 17.15' | 8.57' | 0°42'02" | S 48°54'31" W | 17.15' |
| C9 | 1402.63' | 132.27' | 66.19' | 5°24'12" | S 51°57'38" W | 132.22' |
| C10 | 1445.56' | 63.94' | 31.97' | 2°32'03" | S 36°26'41" W | 63.93' |
| C11 | 1402.63' | 34.37' | 17.18' | 1°24'14" | S 55°15'43" W | 34.37' |

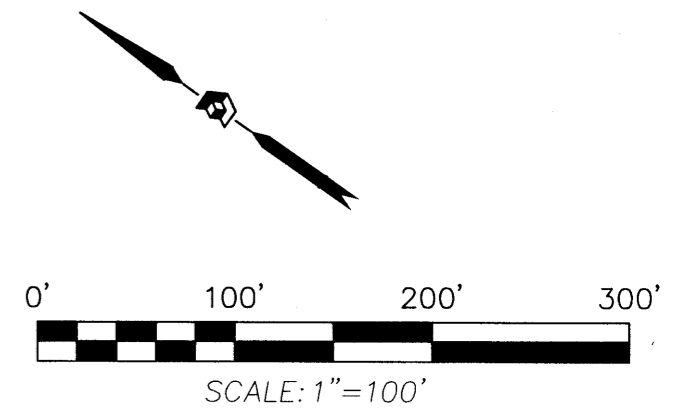
Line Table

| LINE | BEARING | DISTANCE |
|------|---------------|----------|
| L1 | N 68°17'20" W | 90.87' |
| L2 | S 44°48'06" W | 40.74' |
| L3 | S 57°30'35" E | 94.43' |
| L4 | N 62°29'25" E | 55.39' |
| L5 | N 28°14'33" W | 2.50' |
| L6 | S 33°28'39" E | 2.50' |
| L7 | S 66°46'57" E | 39.35' |
| L8 | N 34°27'45" E | 66.79' |
| L9 | N 53°17'17" E | 26.85' |
| L10 | S 62°13'56" W | 24.77' |
| L11 | S 46°47'37" E | 32.12' |



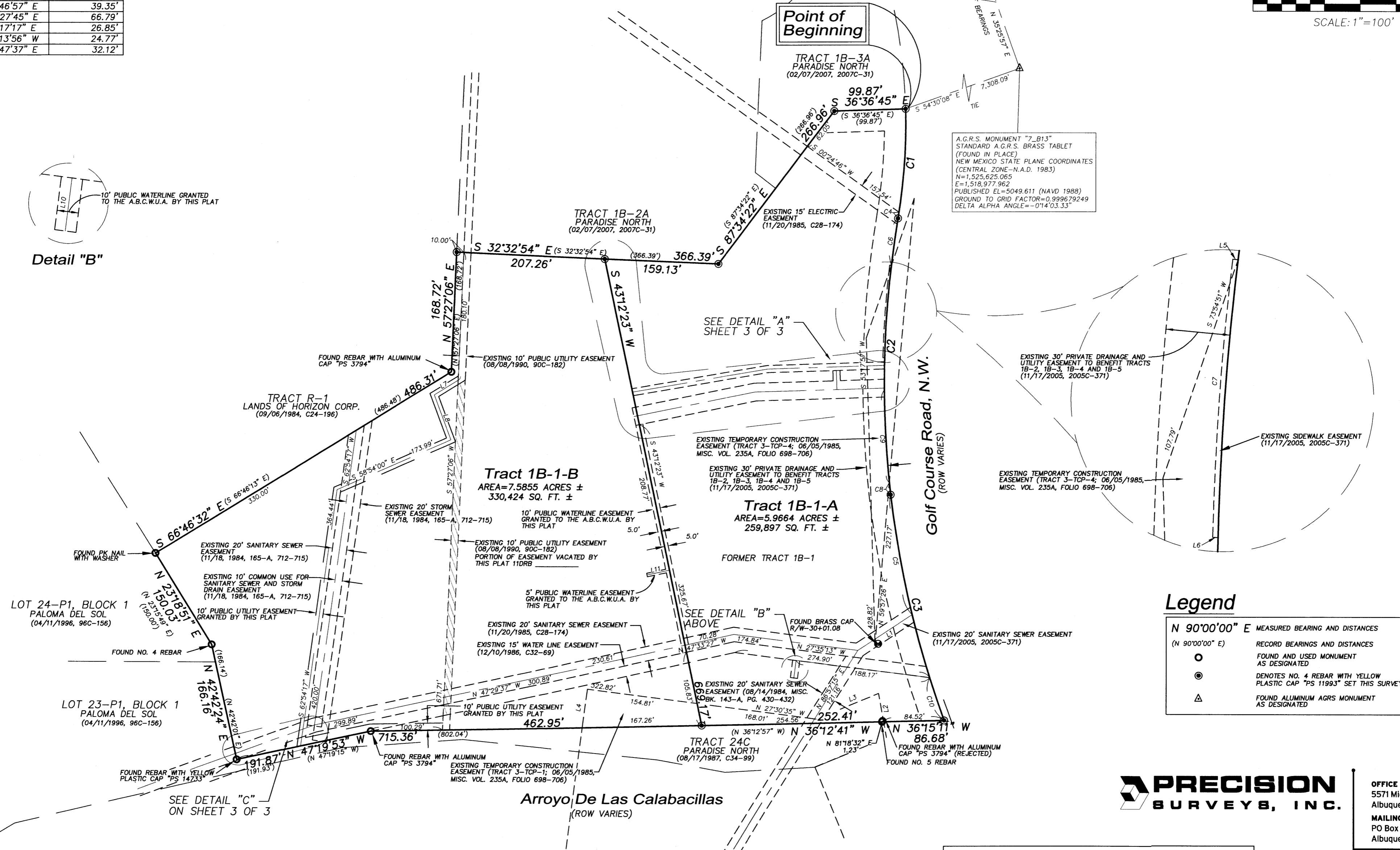
RECORDING STAMP

Plat of
Tracts 1B-1-A and 1B-1-B
Paradise North
Albuquerque, Bernalillo County, New Mexico
October 2011



A.G.R.S. MONUMENT "B-B14"
STANDARD A.G.R.S. BRASS TABLE
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,528,602.961
E=1,521,096.792
PUBLISHED EL=5025.358 (NAVD 1988)
GROUND TO GRID FACTOR=0.999679817
DELTA ALPHA ANGLE=-01°3'48.87"

A.G.R.S. MONUMENT "B-B13"
STANDARD A.G.R.S. BRASS TABLE
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,525,925.065
E=1,518,977.962
PUBLISHED EL=5049.611 (NAVD 1988)
GROUND TO GRID FACTOR=0.999679249
DELTA ALPHA ANGLE=-01°4'03.33"



Legend

N 90°00'00" E MEASURED BEARING AND DISTANCES
(N 90°00'00" E)

○ RECORD BEARINGS AND DISTANCES

○ FOUND AND USED MONUMENT AS DESIGNATED

○ DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY

△ FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED

PRECISION SURVEYS, INC.

OFFICE LOCATION:
5571 Midway Park Place, NE
Albuquerque, NM 87109

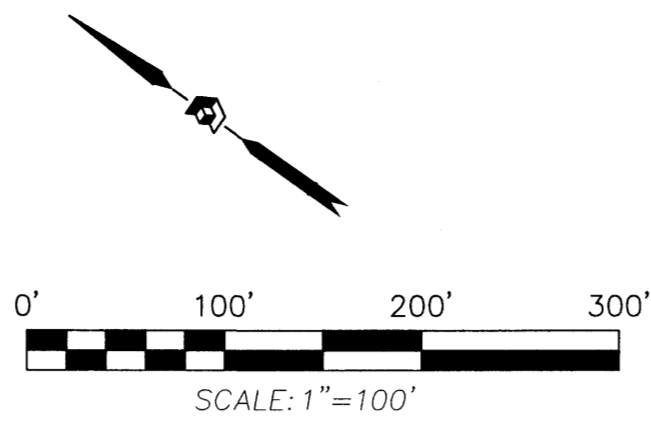
MAILING ADDRESS:
PO Box 90636
Albuquerque, NM 87199

INDEXING INFORMATION FOR COUNTY CLERK
OWNER SPECTRUM ACQUISITION-ALBUQUERQUE, LLC
SECTION 1, TOWNSHIP 11 N, RANGE 2 E,
SUBDIVISION PARADISE NORTH

866.442.8011 TOLL FREE
505.856.5700 PHONE
505.856.7900 FAX

Curve Table

| CURVE | RADIUS | ARC LENGTH | TANGENT | DELTA ANGLE | CHORD BEARING | CHORD LENGTH |
|-------|----------|------------|---------|-------------|---------------|--------------|
| C1 | 783.54' | 152.48' | 76.48' | 11°09'00" | S 58°57'46" W | 152.24' |
| C2 | 1402.63' | 388.10' | 195.30' | 15°51'12" | S 56°29'06" W | 386.86' |
| C3 | 1445.56' | 326.71' | 164.05' | 12°56'57" | S 41°39'08" W | 326.01' |
| C4 | 783.54' | 8.61' | 4.31' | 0°37'47" | N 64°13'22" E | 8.61' |
| C5 | 1445.56' | 171.30' | 85.75' | 6°47'22" | S 44°43'56" W | 171.20' |
| C6 | 1402.63' | 66.04' | 33.03' | 2°41'52" | S 63°03'46" W | 66.04' |
| C7 | 1405.13' | 130.36' | 65.23' | 5°18'56" | S 59°03'19" W | 130.31' |
| C8 | 1402.63' | 17.15' | 8.57' | 0°42'02" | S 48°54'31" W | 17.15' |
| C9 | 1402.63' | 129.77' | 64.93' | 5°18'04" | S 51°54'34" W | 129.73' |
| C10 | 1445.56' | 63.94' | 31.97' | 2°32'03" | S 36°26'41" W | 63.93' |
| C11 | 1402.63' | 34.37' | 17.18' | 1°24'14" | S 55°15'43" W | 34.37' |

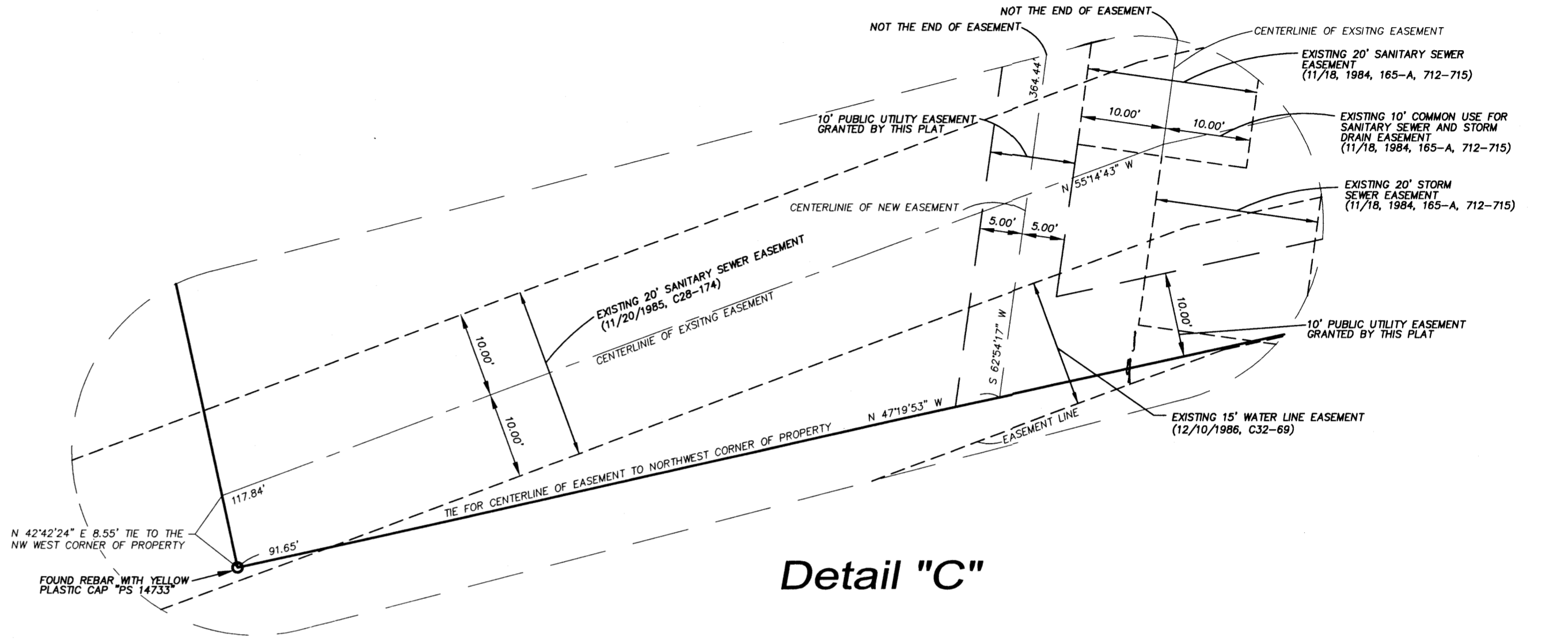
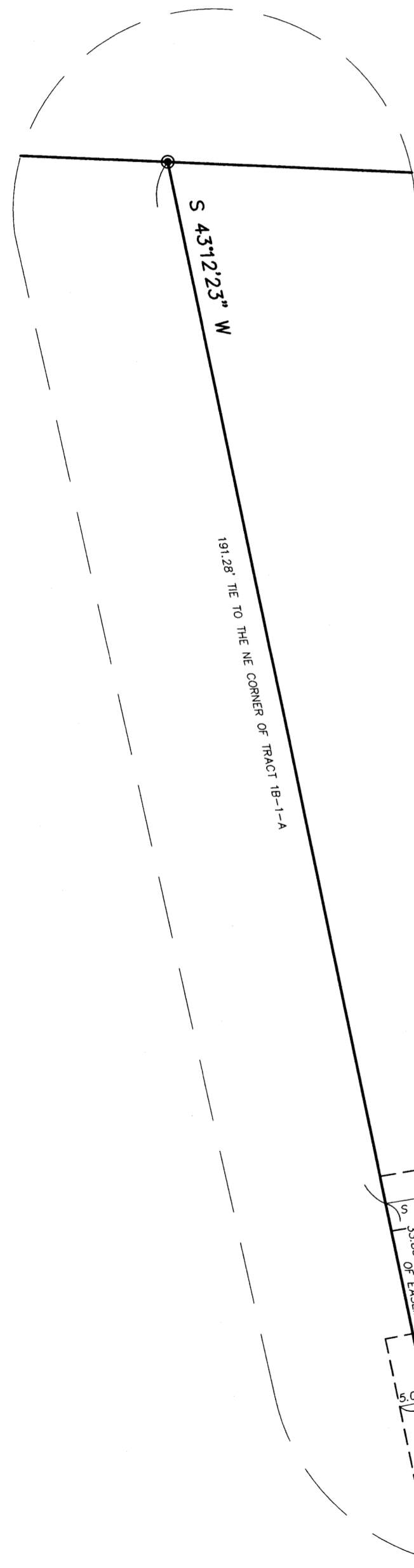


RECORDING STAMP

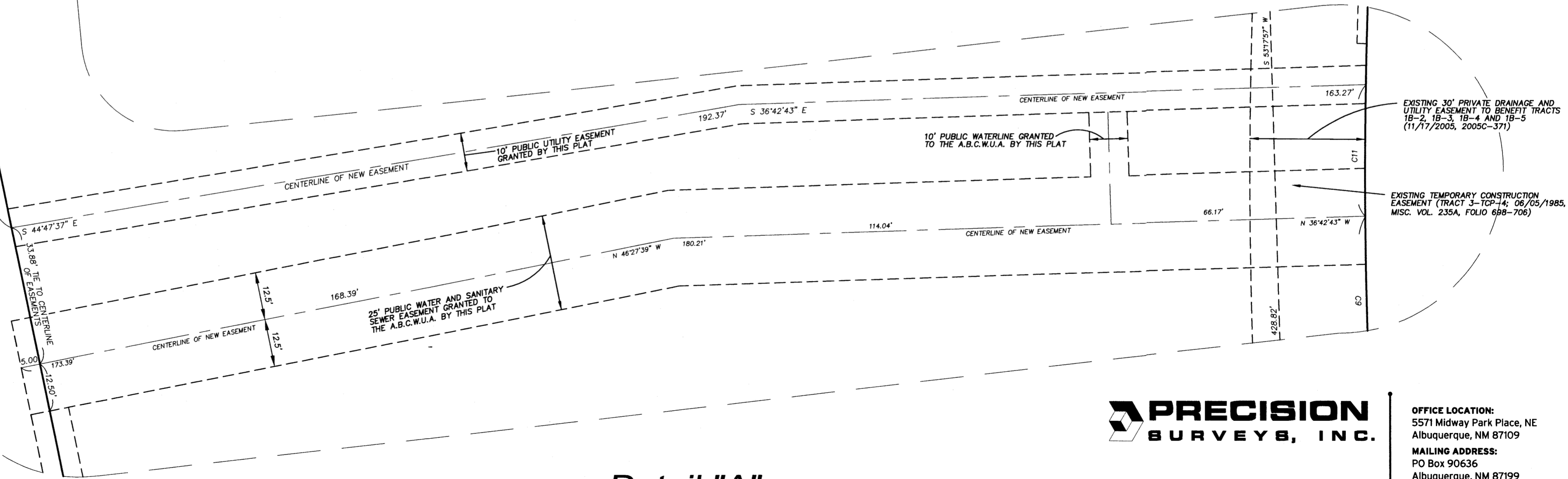
Plat of
Tracts 1B-1-A and 1B-1-B
Paradise North
Albuquerque, Bernalillo County, New Mexico
October 2011

Line Table

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| L9 | N 53°17'17" E | 29.35' |
| L10 | S 62°13'56" W | 24.77' |
| L11 | S 46°47'37" E | 32.12' |



Detail "C"

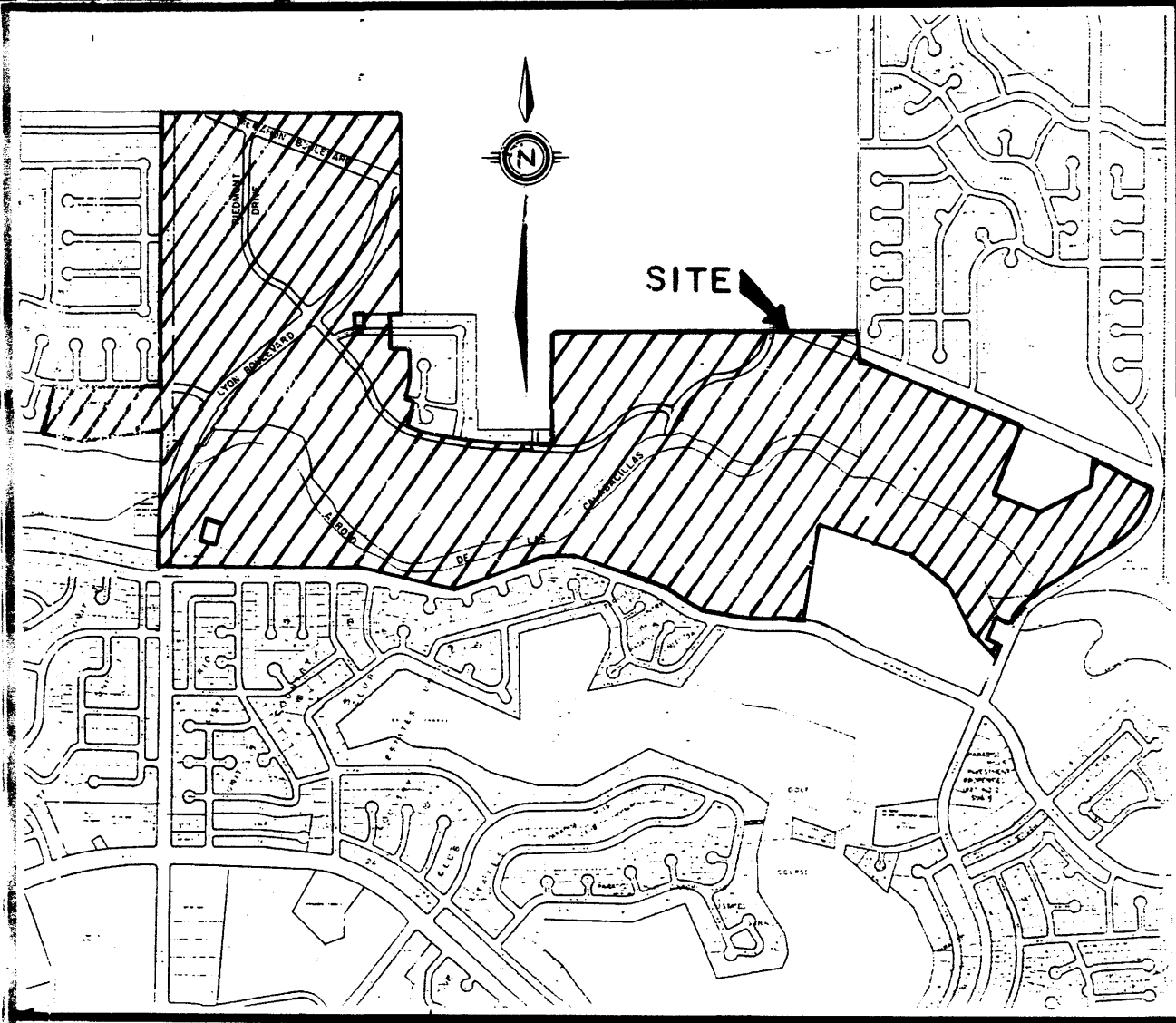


Detail "A"

PRECISION SURVEYS, INC.

INDEXING INFORMATION FOR COUNTY CLERK
OWNER SPECTRUM ACQUISITION-ALBUQUERQUE, LLC
SECTION 1, TOWNSHIP 11 N, RANGE 2 E,
SUBDIVISION PARADISE NORTH

OFFICE LOCATION:
5571 Midway Park Place, NE
Albuquerque, NM 87109
MAILING ADDRESS:
PO Box 90636
Albuquerque, NM 87199
866.442.8011 TOLL FREE
505.856.5700 PHONE
505.856.7900 FAX



VICINITY MAP
NOT TO SCALE

NOTES

1. THE PURPOSE OF THIS PLAT IS TO DEFINE BOUNDARIES FOR ZONE MAP AMENDMENTS APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON OCTOBER 31, 1985 AND TO CORRECT THE RIGHT-OF-WAY OF ROCKCLIFF BLVD., N.W. AT ITS INTERSECTION WITH UNSER BLVD., N.W.
2. TRACTS 16, 17 AND 19 ARE DESIGNATED FOR FUTURE ZONE CHANGES.
3. TRACT 1 IS ZONED FOR USES PERMISSIVE IN THE IP ZONE EXCEPT FOR BOTTLING PLANT, COLD STORAGE PLANT, MACHINE SHOP, RAILROAD RIGHT-OF-WAY AND INCIDENTAL FACILITIES AND SHEET METAL WORKING.
4. TRACTS 24, 25A, 25C, 26 AND A PORTION OF 25B ARE WITHIN THE EASEMENT GRANTED TO AMAFCA AND FILED FOR RECORD IN THE OFFICE OF THE CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 4, 1985 IN MISC. VOLUME 206A, PAGES 373-75.
5. 'OFFSET TANGENT' LINE DEFINED BY "EROSION STUDY TO DETERMINE BOUNDARIES FOR ADJACENT DEVELOPMENT - CALABACILLAS ARROYO; BERNALILLO COUNTY, NEW MEXICO", A REPORT PREPARED BY SIMONS, LI ASSOCIATES, INC. FOR AMAFCA.
6. ON SHEETS 6, 8, AND 13, AREAS ARE LOCATED WITHIN TRACTS 2, 9, AND 30 THAT INDICATE FUTURE WELL SITES AND/OR RESERVOIR SITES FOR NEW MEXICO UTILITIES, INC.; HOWEVER, THESE SITES ARE NOT AT THIS TIME DEDICATED BY THIS PLAT AND ARE SIMPLY RESERVED FOR FUTURE ACQUISITION BY NEW MEXICO UTILITIES, INC., AND/OR ITS SUCCESSORS.
7. BEARING BASE TAKEN FROM THE PLAT ENTITLED "REPLAT OF A PORTION OF LYON BOULEVARD N.W., PORTIONS OF MCMAHON BOULEVARD, N.W., AND PORTIONS OF PARADISE HEIGHTS, UNITS 1, 2, 3 AND 4" PREPARED BY DTM AND ASSOCIATES, INC. AND FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON NOVEMBER 27, 1985 IN VOLUME C-28, FOLIO 191. ALL DISTANCES ARE GROUND.
8. ALL DIMENSIONS ALONG CURVED LINES ARE MEASURED ALONG THE ARC. LINES NOTED N/R ARE NON-RADIAL.
9. ROTATE BEARINGS 0°15'32" CLOCKWISE TO OBTAIN STATE PLANE GRID BEARINGS.
10. THESE PROPERTIES ARE WITHIN THE NEW MEXICO UTILITIES, INC. (NMU, INC.) FRANCHISE AREA. WATER AND SANITARY SEWER SYSTEM CAPABILITIES ARE BASED ON N.M.U., INC.'S FACILITIES, NOT THE CITY OF ALBUQUERQUE'S. WATER AND SANITARY SEWER INFRASTRUCTURE IMPROVEMENTS MUST, HOWEVER, MEET BOTH THE CITY OF ALBUQUERQUE AND NMU, INC.'S DESIGN AND CONSTRUCTION STANDARDS.
11. IN ACCORDANCE WITH THE NOTICE OF SUBDIVISION PLAT CONDITIONS APPEARING HEREON, ANY DEVELOPMENT PERMITS ARE CONDITIONED UPON FURTHER REVIEW AND APPROVAL OF A SUBDIVISION PLAT MAP OR DEVELOPMENT PLAN.
12. EASEMENTS HEREBY GRANTED TO A.M.A.F.C.A., WITHIN TRACT 6, ARE SPECIFICALLY FOR THE CONVEYANCE OF NATURAL SHEET FLOW DRAINAGE FROM ADJACENT UNDEVELOPED SITES. RELOCATION, REALIGNMENT AND/OR RELINQUISHMENT OF THESE EASEMENTS MAY BE CONDITIONED UPON SPECIFIC DEVELOPMENT PROPOSALS WITHIN TRACT 6 AND THE ADJACENT PROPERTIES.
13. CURRENT URBAN TRANSPORTATION PLANNING BOARD POLICY ON MEDIAN OPENINGS LIMITS THE UNSER BOULEVARD INTERSECTIONS WITH PIEDMONT DRIVE AND ROCKCLIFF BLVD. TO RIGHT TURNS ONLY UNLESS IT IS SUBSEQUENTLY DETERMINED THAT FULL ACCESS INTERSECTIONS ARE NECESSARY.
14. THIS PLAT DEDICATES THE FOLLOWING ADDITIONAL RIGHTS-OF-WAY: 10' ADDITIONAL RIGHT-OF-WAY FOR UNSER BOULEVARD ALONG TRACTS 12, 15, 16, 17, 19, 20, 22, 23, 24, 25A AND 25B; 9' OF ADDITIONAL RIGHT-OF-WAY FOR MCMAHON BOULEVARD ALONG TRACTS 17, 18, 19, 20 AND 21; 0.5474 ACRES FOR MCMAHON BOULEVARD AT ITS INTERSECTION WITH GOLF COURSE ROAD; AND REDBUD STREET. THESE DEDICATIONS INCLUDE ADDITIONAL RIGHTS-OF-WAY REQUIRED FOR INTERSECTION TURNING RADIUS PRESCRIBED BY THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL. ALL OTHER RIGHTS-OF-WAY SHOWN ON THIS PLAT WERE DEDICATED BY PRECEDING PLATS.
15. THIS PLAT GRANTS THE FOLLOWING EASEMENTS: AMAFCA DRAINAGE EASEMENTS IN TRACT 6; DRAINAGE MANAGEMENT AREA IN TRACT 17; PRIVATE ACCESS EASEMENTS WITHIN TRACTS 1, 2, 10, 28, 29 AND 30; 10' UTILITY EASEMENTS ALONG GOLF COURSE ROAD, MCMAHON BLVD., OAKMONT STREET, PIEDMONT STREET, UNSER BOULEVARD AND IRVING BOULEVARD; 20' SANITARY SEWER EASEMENTS IN TRACTS 2, 3, 10, 11, 12, 21, 24 AND 25A; A 10' WATERLINE EASEMENT IN TRACT 1; NEW MEXICO UTILITIES ACCESS, WATER LINE AND MAINTENANCE EASEMENTS IN TRACTS 2, 9, 26 AND 30; AND A 15' WATER LINE EASEMENT IN TRACTS 1, 2, 8, 9, 24 AND 25A. ALL OTHER EASEMENTS SHOWN ON THIS PLAT WERE GRANTED BY PRECEDING PLATS OR OTHER RECORDED DOCUMENTS.
16. DEVELOPMENT OF TRACTS 17 AND 18 WILL REQUIRE A STORM DRAIN SYSTEM PER THE APPROVED DRAINAGE STUDY OR AN ALTERNATE DRAINAGE SCHEME ACCEPTABLE TO THE CITY ENGINEER.

CONSENT AND DEDICATION

THE SUBDIVISION SHOWN HEREON IS WITH THE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNERS AND/OR PROPRIETORS DO HEREBY DEDICATE ALL STREETS, AND PUBLIC RIGHTS-OF-WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE AND DO HEREBY GRANT: ALL ACCESS, SANITARY SEWER, WATER LINE AND DRAINAGE EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES THEREIN; ALL 10' UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF ELECTRICAL POWER AND COMMUNICATION SERVICES FOR OVERHEAD DISTRIBUTION LINES FOR POLE TYPE UTILITIES AND BURIED DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS; AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

HORIZON CORPORATION
A DELAWARE CORPORATION

W.D. Buchly
W.D. BUCHLY, VICE-PRESIDENT

STATE OF)
COUNTY OF) SS

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 18th DAY OF November, 1986 BY W.D. BUCHLY, VICE-PRESIDENT OF HORIZON CORPORATION, ON BEHALF OF SAID CORPORATION.

James J. Borley
JAMES J. BORLEY, MY COMMISSION EXPIRES: 6-5-90
NOTARY PUBLIC

86121511

SUBDIVISION PLAT FOR

PARADISE NORTH

SITUATE WITHIN THE TOWN OF ALAMEDA GRANT
("PROJECTED" SECTIONS 1,2, 11&12, T11N, R2E, N.M. P. M.)
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
APRIL, 1986

State of New Mexico)
County of Bernalillo)
This instrument was filed for record on
DEC 10 1986
711 P.O. Clerk & Recorder in Vol. C32
of Record of said County Folio 1A
Richard D. Borley Clerk & Recorder
Deputy Clerk

RESERVED FOR COUNTY CLERK

APPROVALS

SUBDIVISION PLAT CONDITIONS: FILED _____ DOC. NO. _____
VOLUME _____ FOLIO _____

- SUBDIVISION CASE NUMBER _____
- | | |
|--|-------------------------|
| <i>Richard D. Borley</i> CITY PLANNER/ALBUQUERQUE, BERNALILLO CO. PLANNING DIVISION | <u>12-10-86</u> DATE |
| <i>James J. Borley</i> PARKS AND RECREATION DEPARTMENT | <u>5-13-84</u> DATE |
| <i>Robert A. Farnough</i> TRAFFIC ENGINEER, TRANSPORTATION DEPARTMENT | <u>5-13-86</u> DATE |
| <i>Frank J. Aguirre</i> CITY ENGINEER, ENGINEERING DIVISION | <u>12-10-84</u> DATE |
| <i>Frank J. Aguirre</i> ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTH. | <u>12-10-86</u> DATE |
| <i>Jan E. Ertsgaard</i> WATER UTILITIES DEPARTMENT | <u>12-2-86</u> DATE |
| <i>Wesley Clark</i> CHIEF CITY SURVEYOR, ENGINEERING DIVISION | <u>072286</u> DATE |
| <i>O. Val Vallas</i> PROPERTY MANAGEMENT | <u>7-22-86</u> DATE |
| <i>James J. Borley</i> NEW MEXICO UTILITIES, INC. | <u>11-21-86</u> DATE |
| <i>James J. Borley</i> GAS COMPANY OF NEW MEXICO | <u>5-29-86</u> DATE |
| <i>James J. Borley</i> MOUNTAIN BELT | DATE |
| <i>James J. Borley</i> PUBLIC SERVICE COMPANY OF NEW MEXICO | <u>5-28-86</u> DATE |

SURVEYOR'S CERTIFICATION

I, L.A. CARLETON, JR., HEREBY AFFIRM THAT I AM A DULY QUALIFIED LAND SURVEYOR REGISTERED UNDER THE LAWS OF THE STATE OF NEW MEXICO AND DO CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION; SHOWS ACCURATE DIMENSIONS, AND LAND AREAS; SHOWS ALL EASEMENTS OF RECORD READILY AVAILABLE TO A LAND SURVEYOR AND MADE KNOWN TO ME BY THE OWNER, UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST. THE SURVEY MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

L.A. Carleton, Jr. 5/9/86
L.A. CARLETON, JR., N.M.R.L.S. #7270

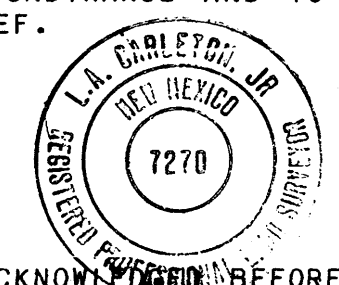
STATE OF NEW MEXICO)
COUNTY OF SANDOVAL) SS

THE FOREGOING SURVEYOR'S CERTIFICATE WAS ACKNOWLEDGED BEFORE ME THIS 9th DAY OF MAY, 1986 BY L.A. CARLETON, JR.

BY *Richard D. Borley* MY COMMISSION EXPIRES: 3/25/89
NOTARY PUBLIC SHEET 1 OF 13

OFFICIAL SEAL
RICHARD D. BORLEY
NOTARY PUBLIC
COMMISSION EXPIRES 3/25/89

DATE: APRIL, 1986
SCALE: 1" = 100'
DESIGNED: C.S.C.
DRAWN: C.S.C.
JOB NO.: 30-05-620



PARADISE NORTH

LEGAL DESCRIPTION (CONTINUED)

POINT-OF-CURVATURE (PC); THENCE LEAVING SAID EASTERLY RIGHT-OF-WAY LINE, NORTHEASTERLY 47.12 FEET ALONG THE ARC OF A CURVE BEARING TO THE RIGHT (SAID ARC HAVING A RADIUS OF 30.00 FEET, A CENTRAL ANGLE OF 90°00'00" AND A CHORD THAT BEARS N65°21'36"E, 42.43 FEET) TO A POINT-OF-TANGENCY (PT) ON THE SOUTHERLY RIGHT-OF-WAY LINE OF MCMAHON BOULEVARD, N.W.; THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, S69°38'24"E, 45.36 FEET; THENCE LEAVING SAID SOUTHERLY RIGHT-OF-WAY LINE, S00°02'00"W, 1019.19 FEET; THENCE, S90°00'00"W, 120.00 FEET; THENCE, S00°00'00"E, 102.60 FEET TO A POINT-OF-CURVATURE (PC); THENCE, S01°58'27"E, 39.27 FEET ALONG THE ARC OF A CURVE BEARING TO THE LEFT (SAID ARC HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 90°00'00" AND A CHORD THAT BEARS S45°00'00"E, 35.36 FEET) TO THE END OF CURVE, BEING A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF HEMLOCK AVENUE, N.W.; THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, S90°00'00"W, 263.41 FEET TO THE SOUTHWEST CORNER OF THE AFOREMENTIONED LOT 3, BLOCK 14, PARADISE HEIGHTS UNIT 2; THENCE LEAVING SAID NORTHERLY RIGHT-OF-WAY LINE, N00°00'00"E, 120.00 FEET TO THE NORTHEAST CORNER OF LOT 3, BLOCK 14; THENCE, S90°00'00"W, 88.38 FEET TO THE NORTHWEST CORNER OF LOT 3, BLOCK 14; THENCE, S00°00'00"E, 120.00 FEET TO THE SOUTHWEST CORNER OF SAID LOT 3, BLOCK 14 AND TRUE PLACE OF BEGINNING OF THE PARCEL HEREIN DESCRIBED. THE ABOVE DESCRIBED ENCLOSURE CONTAINS 8.9027 ACRES MORE OR LESS.

TOGETHER WITH:

THAT CERTAIN PARCEL OF LAND SITUATE WITHIN THE TOWN OF ALAMEDA GRANT, "PROJECTED" SECTION 2, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AND BEING COMPRISED OF ALL OF TRACT 7-A AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT ENTITLED "REPLAT OF A PORTION OF LYON BOULEVARD, N.W., PORTIONS OF MCMAHON BOULEVARD, N.W., AND PORTIONS OF PARADISE HEIGHTS, UNITS 1, 2, 3 & 4" FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON NOVEMBER 27, 1985 IN VOLUME C28, FOLIO 191 AS DOCUMENT NO. 85 0268A, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING FOR A TIE AT THE ALBUQUERQUE CITY SURVEY BRASS CAP "1-A11" (HAVING NEW MEXICO STATE PLANE COORDINATES, CENTRAL ZONE, X=365,236.60 FEET, Y=1,531,711.91 FEET); THENCE, N03°34'36"E, 1789.54 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF MCMAHON BOULEVARD, N.W. (106' R.O.W.); SAID POINT BEING THE MOST WESTERLY CORNER OF THE AFOREMENTIONED TRACT 7-A, AND THE MOST WESTERLY CORNER AND TRUE PLACE OF BEGINNING OF THE PARCEL HEREIN DESCRIBED; THENCE, LEAVING SAID NORTHERLY RIGHT-OF-WAY LINE, N89°55'30"E, 1322.22 FEET TO A POINT-ON-CURVE (POC) ON THE WESTERLY RIGHT-OF-WAY LINE OF UNSER BOULEVARD, N.W. AND THE NORTHEAST CORNER OF THE PARCEL HEREIN DESCRIBED; THENCE ALONG SAID WESTERLY RIGHT-OF-WAY LINE, SOUTHWESTERLY 439.58 FEET ALONG THE ARC OF A CURVE BEARING TO THE RIGHT (SAID ARC HAVING A RADIUS OF 1332.00 FEET, A CENTRAL ANGLE OF 18°54'31" AND A CHORD THAT BEARS S10°54'21" W, 437.59 FEET) TO A POINT-OF-COMPOUND-CURVATURE (PCC); THENCE LEAVING SAID WESTERLY RIGHT-OF-WAY LINE, SOUTHWESTERLY 47.12 FEET ALONG THE ARC OF A CURVE BEARING TO THE RIGHT (SAID ARC HAVING A RADIUS OF 30.00 FEET, A CENTRAL ANGLE OF 90°00'00" AND A CHORD THAT BEARS S65°21'36"W, 42.43 FEET) TO A POINT-OF-TANGENCY (PT) ON THE NORTHERLY RIGHT-OF-WAY LINE OF MCMAHON BOULEVARD, N.W.; THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, N69°38'24"W, 1280.89 FEET TO THE MOST WESTERLY CORNER AND TRUE PLACE OF BEGINNING OF THE PARCEL HEREIN DESCRIBED. THE ABOVE DESCRIBED ENCLOSURE CONTAINS 7.0880 ACRES, MORE OR LESS.

TOGETHER WITH:

THAT CERTAIN PARCEL OF LAND SITUATE WITHIN THE TOWN OF ALAMEDA GRANT, "PROJECTED" SECTION 2, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AND BEING COMPRISED OF ALL OF TRACT 8-A AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT ENTITLED "REPLAT OF A PORTION OF LYON BOULEVARD, N.W., PORTIONS OF MCMAHON BOULEVARD, N.W., AND PORTIONS OF PARADISE HEIGHTS, UNITS 1, 2, 3 & 4" FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON NOVEMBER 27, 1985 IN VOLUME C28, FOLIO 191 AS DOCUMENT NO. 85 0268A, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING FOR A TIE AT THE ALBUQUERQUE CITY SURVEY BRASS CAP "1-A11" (HAVING NEW MEXICO STATE PLANE COORDINATES, CENTRAL ZONE, X=365,236.60 FEET, Y=1,531,711.91 FEET); THENCE, N71°31'17"E, 695.76 FEET TO A POINT ON THE SOUTHWESTERLY BOUNDARY LINE OF THE AFOREMENTIONED TRACT 8-A, SAID POINT BEING ON THE NORTHERLY RIGHT-OF-WAY LINE OF PIEDMONT DRIVE, N.W. (60' R.O.W.) AND THE POINT-OF-TANGENCY (PT) OF THE MOST NORTHERLY CURVE RETURN AT THE INTERSECTION OF UNSER BOULEVARD, N.W. AND PIEDMONT DRIVE, N.W. AND TRUE PLACE OF BEGINNING OF THE PARCEL HEREIN DESCRIBED; THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY LINE OF PIEDMONT DRIVE, N.W., N41°15'00"W, 100.00 FEET TO A POINT-OF-CURVATURE (PC); THENCE, NORTHWESTERLY 175.77 FEET ALONG THE ARC OF A CURVE BEARING TO THE LEFT (SAID ARC HAVING A RADIUS OF 410.00 FEET, A CENTRAL ANGLE OF 24°33'49" AND A CHORD THAT BEARS N53°31'54"W, 174.43 FEET) TO A POINT-OF-TANGENCY (PT); THENCE, N65°48'49"W, 100.00 FEET TO A POINT-OF-CURVATURE (PC); THENCE, NORTHWESTERLY 402.03 FEET ALONG THE ARC OF A CURVE BEARING TO THE RIGHT (SAID ARC HAVING A RADIUS OF 350.00 FEET, A CENTRAL ANGLE OF 65°48'49" AND A CHORD THAT BEARS N32°54'24"W, 380.29 FEET) TO A POINT-OF-TANGENCY (PT); THENCE, N00°00'00"E, 681.73 FEET TO A POINT-OF-CURVATURE (PC); THENCE, NORTHEASTERLY 124.37 FEET ALONG THE ARC OF A CURVE BEARING TO THE RIGHT (SAID ARC HAVING A RADIUS OF 350.00 FEET, A CENTRAL ANGLE OF 20°21'36" AND A CHORD THAT BEARS N10°10'48"E, 123.72 FEET) TO A POINT-OF-TANGENCY (PT); THENCE, N20°21'36"E, 50.00 FEET TO A POINT-OF-CURVATURE (PC); THENCE LEAVING SAID RIGHT-OF-WAY LINE, NORTHEASTERLY 47.12 FEET ALONG THE ARC OF A CURVE BEARING TO THE RIGHT (SAID ARC HAVING A RADIUS OF 30.00 FEET, A CENTRAL ANGLE OF 90°00'00" AND A CHORD

THAT BEARS N65°21'36"E, 42.43 FEET) TO A POINT-OF-TANGENCY (PT) ON THE SOUTHERLY RIGHT-OF-WAY LINE OF MCMAHON BOULEVARD, N.W. (106' R.O.W.); THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, S69°38'24"E, 1111.38 FEET TO A POINT-OF-CURVATURE (PC); THENCE LEAVING SAID SOUTHERLY RIGHT-OF-WAY LINE, SOUTHEASTERLY 47.12 FEET ALONG THE ARC OF A CURVE BEARING TO THE RIGHT (SAID ARC HAVING A RADIUS OF 30.00 FEET, A CENTRAL ANGLE OF 90°00'00" AND A CHORD THAT BEARS S24°38'24"E, 42.43 FEET) TO A POINT-OF-TANGENCY (PT) ON THE WESTERLY RIGHT-OF-WAY LINE OF UNSER BOULEVARD, N.W. (136' R.O.W.); THENCE ALONG SAID WESTERLY RIGHT-OF-WAY LINE, S20°21'36"W, 400.49 FEET TO A POINT-OF-CURVATURE (PC); THENCE, SOUTHWESTERLY 650.00 FEET ALONG THE ARC OF A CURVE BEARING TO THE RIGHT (SAID ARC HAVING A RADIUS OF 1332.00 FEET, A CENTRAL ANGLE OF 28°23'24" AND A CHORD THAT BEARS S34°33'18"W, 653.27 FEET) TO A POINT-OF-TANGENCY (PT); THENCE, S48°45'00"W, 108.03 FEET TO A POINT-OF-CURVATURE (PC); THENCE LEAVING SAID WESTERLY RIGHT-OF-WAY LINE, NORTHWESTERLY 47.12 FEET ALONG THE ARC OF A CURVE BEARING TO THE RIGHT (SAID ARC HAVING A RADIUS OF 30.00 FEET, A CENTRAL ANGLE OF 90°00'00" AND A CHORD THAT BEARS N86°15'00"W, 42.43 FEET TO A POINT-OF-TANGENCY (PT) ON THE NORTHERLY RIGHT-OF-WAY LINE OF PIEDMONT DRIVE, N.W. AND TRUE PLACE OF BEGINNING OF THE PARCEL HEREIN DESCRIBED. THE ABOVE DESCRIBED ENCLOSURE CONTAINS 24.4576 ACRES, MORE OR LESS.

TOGETHER WITH:

THAT CERTAIN PARCEL OF LAND SITUATE WITHIN THE TOWN OF ALAMEDA GRANT, "PROJECTED" SECTION 2, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AND BEING COMPRISED OF ALL OF TRACT 9-A AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT ENTITLED "REPLAT OF A PORTION OF LYON BOULEVARD, N.W., PORTIONS OF MCMAHON BOULEVARD, N.W., AND PORTIONS OF PARADISE HEIGHTS, UNITS 1, 2, 3 & 4" FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON NOVEMBER 27, 1985 IN VOLUME C28, FOLIO 191 AS DOCUMENT NO. 85 0268A, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING FOR A TIE AT THE ALBUQUERQUE CITY SURVEY BRASS CAP "1-A11" (HAVING NEW MEXICO STATE PLANE COORDINATES, CENTRAL ZONE, X=365,236.60 FEET, Y=1,531,711.91 FEET); THENCE, N65°21'36"E, 1862.43 FEET TO THE NORTHWEST CORNER OF THE AFOREMENTIONED TRACT 9-A, SAID POINT BEING THE NORTHWEST CORNER AND TRUE PLACE OF BEGINNING OF THE PARCEL HEREIN DESCRIBED; THENCE, N89°55'30"E, 338.77 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF MCMAHON BOULEVARD, N.W.; THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, S69°38'24"E, 334.00 FEET TO A POINT-OF-CURVATURE (PC); THENCE LEAVING SAID SOUTHERLY RIGHT-OF-WAY LINE, SOUTHEASTERLY 47.12 FEET ALONG THE ARC OF A CURVE BEARING TO THE RIGHT (SAID ARC HAVING A RADIUS OF 30.00 FEET, A CENTRAL ANGLE OF 90°00'00" AND A CHORD THAT BEARS S24°38'24"E, 42.43 FEET) TO A POINT-OF-TANGENCY (PT) ON THE WESTERLY RIGHT-OF-WAY LINE OF PIEDMONT DRIVE, N.W. (60' R.O.W.); THENCE ALONG SAID WESTERLY RIGHT-OF-WAY LINE, S20°21'36"W, 50.00 FEET TO A POINT-OF-CURVATURE (PC); THENCE, SOUTHWESTERLY 145.69 FEET ALONG THE ARC OF A CURVE BEARING TO THE LEFT (SAID ARC HAVING A RADIUS OF 410.00 FEET, A CENTRAL ANGLE OF 20°21'36" AND A CHORD THAT BEARS S10°10'48"W, 144.93 FEET) TO A POINT-OF-TANGENCY (PT); THENCE, S00°00'00"E, 681.73 FEET TO A POINT-OF-CURVATURE (PC); THENCE, SOUTHEASTERLY 470.95 FEET ALONG THE ARC OF A CURVE BEARING TO THE LEFT (SAID ARC HAVING A RADIUS OF 410.00 FEET, A CENTRAL ANGLE OF 65°48'49" AND A CHORD THAT BEARS S32°54'24"E, 445.48 FEET) TO A POINT-OF-TANGENCY (PT); THENCE, S65°48'49"E, 100.00 FEET TO A POINT-OF-CURVATURE (PC); THENCE, SOUTHEASTERLY 150.05 FEET ALONG THE ARC OF A CURVE BEARING TO THE RIGHT (SAID ARC HAVING A RADIUS OF 350.00 FEET, A CENTRAL ANGLE OF 24°33'49" AND A CHORD THAT BEARS S53°31'54"E, 148.90 FEET) TO A POINT-OF-TANGENCY (PT); THENCE, S41°15'00"E, 100.00 FEET TO A POINT-OF-CURVATURE (PC); THENCE LEAVING SAID RIGHT-OF-WAY LINE, SOUTHWESTERLY 47.12 FEET ALONG THE ARC OF A CURVE BEARING TO THE RIGHT (SAID ARC HAVING A RADIUS OF 30.00 FEET, A CENTRAL ANGLE OF 90°00'00" AND A CHORD THAT BEARS S03°45'04"W, 42.43 FEET) TO A POINT-OF-TANGENCY (PT) ON THE WESTERLY RIGHT-OF-WAY LINE OF UNSER BOULEVARD, N.W. (136' R.O.W.); THENCE ALONG SAID WESTERLY RIGHT-OF-WAY LINE, S48°45'00"W, 832.07 FEET TO A POINT-OF-CURVATURE (PC); THENCE, SOUTHWESTERLY 189.36 FEET ALONG THE ARC OF A CURVE BEARING TO THE LEFT (SAID ARC HAVING A RADIUS OF 1468.00 FEET, A CENTRAL ANGLE OF 07°23'27" AND A CHORD THAT BEARS S45°03'17"W, 189.23 FEET) TO A POINT-OF-REVERSE-CURVATURE (PRC); THENCE LEAVING SAID WESTERLY RIGHT-OF-WAY LINE, SOUTHWESTERLY 45.86 FEET ALONG THE ARC OF A CURVE BEARING TO THE RIGHT (SAID ARC HAVING A RADIUS OF 30.00 FEET, A CENTRAL ANGLE OF 87°34'55" AND A CHORD THAT BEARS S85°09'01"W, 41.52 FEET); TO A POINT-OF-REVERSE-CURVATURE (PRC) ON THE NORTHERLY RIGHT-OF-WAY LINE OF ROCKCLIFF BOULEVARD, N.W. (66' R.O.W.); THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, NORTHWESTERLY 276.65 FEET ALONG THE ARC OF A CURVE BEARING TO THE LEFT (SAID ARC HAVING A RADIUS OF 407.04 FEET, A CENTRAL ANGLE OF 38°56'28" AND A CHORD THAT BEARS N70°31'46"W, 271.35 FEET) TO A POINT-OF-TANGENCY (PT); THENCE, S90°00'00"W, 111.00 FEET TO A POINT BEING THE SOUTHWEST CORNER OF THE PARCEL HEREIN DESCRIBED; THENCE LEAVING SAID NORTHERLY RIGHT-OF-WAY LINE, NORTHEASTERLY 39.27 FEET ALONG THE ARC OF A CURVE BEARING TO THE LEFT (SAID ARC HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 90°00'00" AND A CHORD THAT BEARS N45°00'00"E, 35.36 FEET) TO A POINT-OF-TANGENCY (PT); THENCE, N00°00'00"E, 2216.95 FEET TO THE NORTHWEST CORNER AND TRUE PLACE OF BEGINNING OF THE PARCEL HEREIN DESCRIBED. THE ABOVE DESCRIBED ENCLOSURE CONTAINS 37.7799 ACRES, MORE OR LESS.

TOGETHER WITH:

THAT CERTAIN PARCEL OF LAND SITUATE WITHIN THE TOWN OF ALAMEDA GRANT, "PROJECTED" SECTION 2, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AND BEING COMPRISED OF ALL OF TRACT 10-A AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT ENTITLED "REPLAT OF

A PORTION OF LYON BOULEVARD, N.W., PORTIONS OF MCMAHON BOULEVARD, N.W., AND PORTIONS OF PARADISE HEIGHTS, UNITS 1, 2, 3 & 4" FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON NOVEMBER 27, 1985 IN VOLUME C28, FOLIO 191 AS DOCUMENT NO. 85 0268A, AND ALL OF TRACT "A" AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT ENTITLED "PARADISE HEIGHTS UNIT FOUR" FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 7, 1968 IN VOLUME D3, FOLIO 201, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING FOR A TIE AT THE ALBUQUERQUE CITY SURVEY BRASS CAP "1-A11" (HAVING NEW MEXICO STATE PLANE COORDINATES, CENTRAL ZONE, X=365,236.60 FEET, Y=1,531,711.91 FEET); THENCE, S70°05'19"W, 1523.48 FEET TO A POINT-ON-CURVE (POC) ON THE SOUTHERLY RIGHT-OF-WAY LINE OF ROCKCLIFF BOULEVARD, N.W. (66' R.O.W.); SAID POINT BEING THE NORTHWEST CORNER OF THE AFOREMENTIONED TRACT "A" AND THE NORTHWEST CORNER AND TRUE PLACE OF BEGINNING OF THE PARCEL HEREIN DESCRIBED; THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, SOUTHEASTERLY 76.87 FEET ALONG THE ARC OF A CURVE BEARING TO THE LEFT (SAID ARC HAVING A RADIUS OF 789.56 FEET, A CENTRAL ANGLE OF 05°34'41" AND A CHORD THAT BEARS S87°12'39"E, 76.84 FEET) TO A POINT-OF-TANGENCY (PT); THENCE, S70°05'19"W, 911.00 FEET TO A POINT-OF-TANGENCY (PT); THENCE, SOUTHEASTERLY 231.77 FEET ALONG THE ARC OF A CURVE BEARING TO THE RIGHT (SAID ARC HAVING A RADIUS OF 341.04 FEET, A CENTRAL ANGLE OF 38°56'17" AND A CHORD THAT BEARS S70°31'51"E, 227.34 FEET) TO A POINT-OF-COMPOUND-CURVATURE (PCC); THENCE LEAVING SAID SOUTHERLY RIGHT-OF-WAY LINE, SOUTHEASTERLY 45.87 FEET ALONG THE ARC OF A CURVE BEARING TO THE RIGHT (SAID ARC HAVING A RADIUS OF 30.00 FEET, A CENTRAL ANGLE OF 87°36'02" AND A CHORD THAT BEARS S07°15'42"E, 41.53 FEET) TO A POINT-OF-REVERSE-CURVATURE (PRC) ON THE WESTERLY RIGHT-OF-WAY LINE OF UNSER BOULEVARD, N.W.; THENCE ALONG SAID WESTERLY RIGHT-OF-WAY LINE, SOUTHWESTERLY 937.29 FEET ALONG THE ARC OF A CURVE BEARING TO THE LEFT (SAID ARC HAVING A RADIUS OF 1468.00 FEET, A CENTRAL ANGLE OF 36°34'56" AND A CHORD THAT BEARS S18°14'51"W, 921.45 FEET) TO A POINT-OF-TANGENCY (PT); THENCE, S00°02'37"E, 70.35 FEET TO THE MOST SOUTHERLY CORNER OF THE PARCEL HEREIN DESCRIBED; THENCE LEAVING SAID WESTERLY RIGHT-OF-WAY LINE, N01°51'50"W, 100.00 FEET; THENCE, N01°21'18"W, 586.18 FEET; THENCE, S81°33'20"W, 684.42 FEET; THENCE, N78°00'20"W, 375.54 FEET TO THE SOUTHWEST CORNER OF THE PARCEL HEREIN DESCRIBED; THENCE, N19°30'00"E, 427.17 FEET TO THE NORTHWEST CORNER AND TRUE PLACE OF BEGINNING OF THE PARCEL HEREIN DESCRIBED. THE ABOVE DESCRIBED ENCLOSURE CONTAINS 12.4652 ACRES, MORE OR LESS.

State of New Mexico
County of Bernalillo
This instrument was filed for record on
DEC 10 1986
C32
Deputy Clerk

CITY INFRASTRUCTURE AND DRAINAGE REQUIREMENT NOTICE: SEE SHEET 1 OF THIS PLAT FOR REQUIREMENT NOTICE. (PERTAINS TO ALL TRACTS SUBDIVIDED HEREIN.)

| | |
|-----------|-------------|
| DATE: | APRIL, 1986 |
| SCALE: | N/A |
| DESIGNED: | C.S.C. |
| DRAWN: | C.S.C. |
| JOB NO.: | 30-05-620 |

88121511

SUBDIVISION PLAT FOR

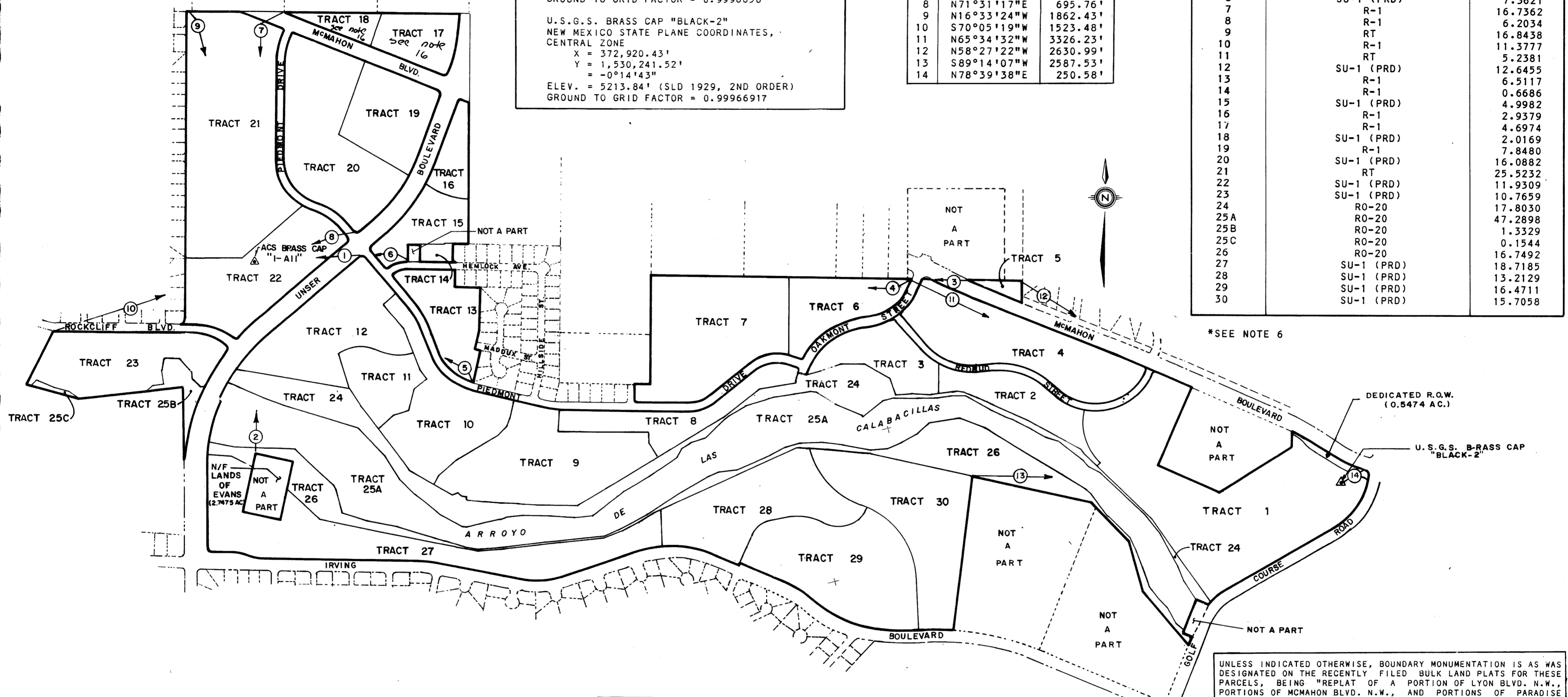
PARADISE NORTH

Recorded in Vol. 67
 DEC 10 1986
 County of Santa Fe, N.M.

| MONUMENT DATA | |
|---|--|
| ALBUQUERQUE CITY SURVEY BRASS CAP "1-A11" | |
| NEW MEXICO STATE PLANE COORDINATES, CENTRAL ZONE | |
| X = 365,236.60' | |
| Y = 1,531,711.91' | |
| = -0°15'136" | |
| ELEV. = 5331.73' (SLD 1929, 2ND ORDER) | |
| GROUND TO GRID FACTOR = 0.9996658 | |
| U.S.G.S. BRASS CAP "BLACK-2" | |
| NEW MEXICO STATE PLANE COORDINATES, CENTRAL ZONE | |
| X = 372,920.43' | |
| Y = 1,530,241.52' | |
| = -0°14'43" | |
| ELEV. = 5213.84' (SLD 1929, 2ND ORDER) | |
| GROUND TO GRID FACTOR = 0.99966917 | |

| TIE DATA | | |
|----------|-------------|----------|
| 1 | N87°01'57"E | 702.61' |
| 2 | S00°14'47"W | 1389.51' |
| 3 | S89°18'52"E | 5053.34' |
| 4 | S89°15'04"E | 4664.77' |
| 5 | S61°01'47"E | 1754.35' |
| 6 | N89°26'31"E | 1054.58' |
| 7 | N03°34'36"E | 1789.54' |
| 8 | N71°31'17"E | 695.76' |
| 9 | N16°33'24"W | 1862.43' |
| 10 | S70°05'19"W | 1523.48' |
| 11 | N65°34'32"W | 3326.23' |
| 12 | N58°27'22"W | 2630.99' |
| 13 | S89°14'07"W | 2587.53' |
| 14 | N78°39'38"E | 250.58' |

| TRACT/ZONE/ACREAGE INDEX | | |
|--------------------------|---------------------|---------|
| TRACT | ZONING | ACREAGE |
| 1 | SU-1 FOR IP USES**† | 31.5388 |
| 2 | SU-1 (PRD) | 6.6505 |
| 3 | SU-1 (PRD) | 6.2174 |
| 4 | SU-1 (PRD) | 14.3970 |
| 5 | RO-1 | 0.6708 |
| 6 | SU-1 (PRD) | 7.3621 |
| 7 | R-1 | 16.7362 |
| 8 | R-1 | 6.2034 |
| 9 | RT | 16.8438 |
| 10 | R-1 | 11.3777 |
| 11 | RT | 5.2381 |
| 12 | SU-1 (PRD) | 12.6455 |
| 13 | R-1 | 6.5117 |
| 14 | R-1 | 0.6686 |
| 15 | SU-1 (PRD) | 4.9982 |
| 16 | R-1 | 2.9379 |
| 17 | R-1 | 4.6974 |
| 18 | SU-1 (PRD) | 2.0169 |
| 19 | R-1 | 7.8480 |
| 20 | SU-1 (PRD) | 16.0882 |
| 21 | RT | 25.5232 |
| 22 | SU-1 (PRD) | 11.9309 |
| 23 | SU-1 (PRD) | 10.7659 |
| 24 | RO-20 | 17.8030 |
| 25A | RO-20 | 47.2898 |
| 25B | RO-20 | 1.3329 |
| 25C | RO-20 | 0.1544 |
| 26 | RO-20 | 16.7492 |
| 27 | SU-1 (PRD) | 18.7185 |
| 28 | SU-1 (PRD) | 13.2129 |
| 29 | SU-1 (PRD) | 16.4711 |
| 30 | SU-1 (PRD) | 15.7058 |



*SEE NOTE 6

UNLESS INDICATED OTHERWISE, BOUNDARY MONUMENTATION IS AS WAS DESIGNATED ON THE RECENTLY FILED BULK LAND PLATS FOR THESE PARCELS, BEING "REPLAT OF A PORTION OF LYON BLVD. N.W., PORTIONS OF MCMAHON BLVD. N.W., AND PORTIONS OF PARADISE HEIGHTS UNITS 1, 2, 3, AND 4" FILED 11/27/85 VOL. C-28, FOLIO 191, BY DENNEY, TIBLJAS, MCLEAN AND ASSOC., INC. PE & LS #1967 AND "PARADISE PARK" FILED 11/20/85 VOL. C-28, FOLIO 174 BY DENNEY, TIBLJAS, MCLEAN AND ASSOC., INC. PE & LS #1967.

| INDEX TO TRACT GEOMETRY | | | |
|-------------------------|-----------|-----------|--------------------|
| TRACT NO. | SHEET NO. | TRACT NO. | SHEET NO. |
| 1 | 5, 6 | 18 | 10 |
| 2 | 6 | 19 | 10 |
| 3 | 6, 7 | 20 | 10 |
| 4 | 6 | 21 | 9, 10 |
| 5 | 6 | 22 | 9 |
| 6 | 7 | 23 | 11 |
| 7 | 7 | 24 | 5, 6, 7, 8, 12 |
| 8 | 7, 8 | 25A | 5, 6, 7, 8, 12, 13 |
| 9 | 8 | 25B | 11 |
| 10 | 8, 9, 12 | 25C | 11 |
| 11 | 9, 12 | 26 | 5, 6, 7, 8, 12, 13 |
| 12 | 9 | 27 | 8, 12 |
| 13 | 9 | 28 | 13 |
| 14 | 9 | 29 | 13 |
| 15 | 9 | 30 | 13 |
| 16 | 10 | | |
| 17 | 10 | | |

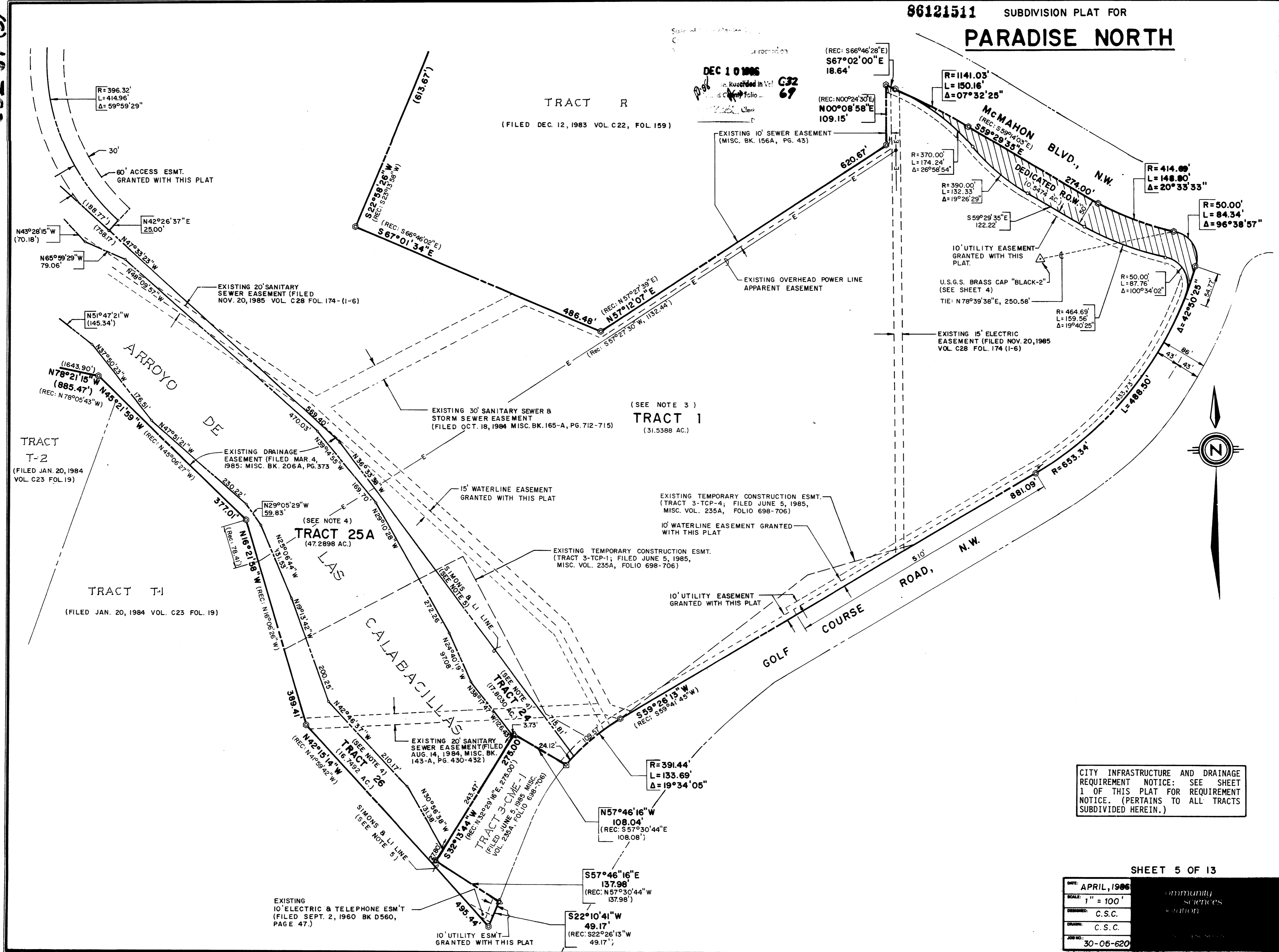
| MONUMENTATION LEGEND | |
|----------------------|--|
| ▲ | SHALL BE MONUMENTED WITH 5/8" REBAR AND CAP STAMPED "LS #7270". |
| ⊙ | FOUND 5/8" REBAR WITH CAP STAMPED "LS #7248". |
| ⊠ | FOUND BRASS CAP IN CONCRETE STAMPED "N.M.S.H.C. STA. 30+01.08 LS 8911" |

CITY INFRASTRUCTURE AND DRAINAGE REQUIREMENT NOTICE: SEE SHEET 1 OF THIS PLAT FOR REQUIREMENT NOTICE. (PERTAINS TO ALL TRACTS SUBDIVIDED HEREIN.)

SHEET 4 OF 13

DATE: APRIL, 1986
 SCALE: 1" = 500'
 DESIGNED: C.S.C.
 DRAWN: W.J.W.
 JOB NO.: 30-05-620

community sciences
 ENGINEERS



DEC 10 1986
G32
69

TRACT R
(FILED DEC. 12, 1983 VOL. C22, FOL. 159)

(SEE NOTE 3)
TRACT 1
(31.5388 AC.)

(SEE NOTE 4)
TRACT 25A
(47.2898 AC.)

TRACT T-2
(FILED JAN. 20, 1984 VOL. C23 FOL. 19)

TRACT T-1
(FILED JAN. 20, 1984 VOL. C23 FOL. 19)

TRACT 24
(17.8000 AC.)

TRACT 26
(16.7492 AC.)

TRACT 23
(16.7492 AC.)

CITY INFRASTRUCTURE AND DRAINAGE
REQUIREMENT NOTICE: SEE SHEET
1 OF THIS PLAT FOR REQUIREMENT
NOTICE. (PERTAINS TO ALL TRACTS
SUBDIVIDED HEREIN.)

SHEET 5 OF 13

| | |
|-----------|-------------|
| DATE: | APRIL, 1986 |
| SCALE: | 1" = 100' |
| DESIGNED: | C.S.C. |
| DRAWN: | C.S.C. |
| JOB NO.: | 30-06-620 |

community
sciences
station

86121511

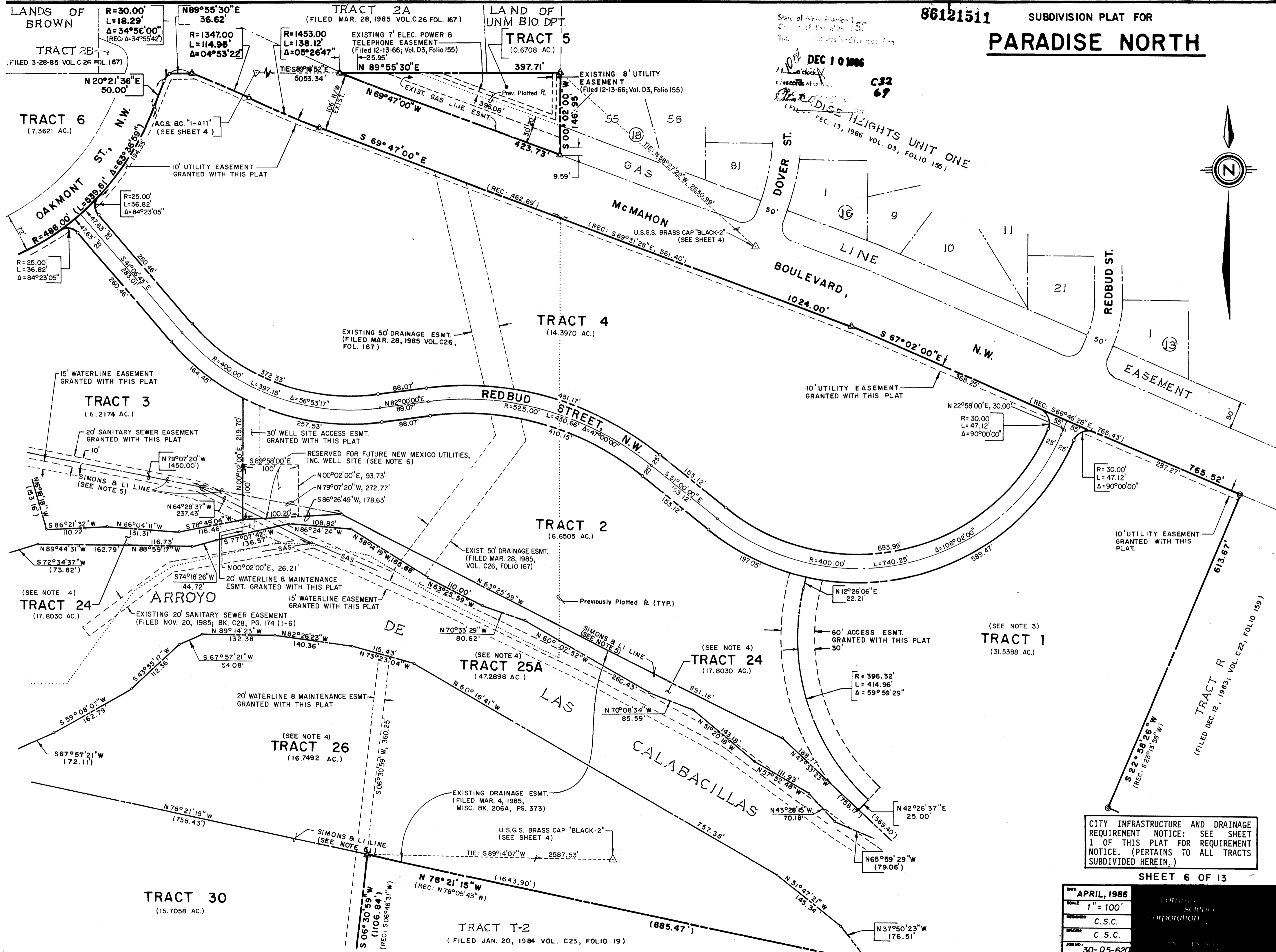
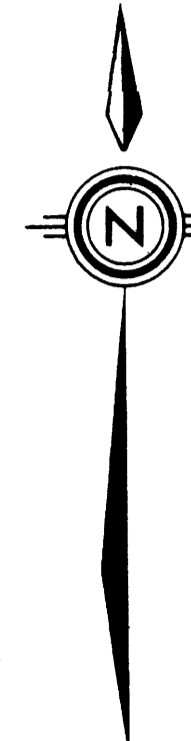
SUBDIVISION PLAT FOR

PARADISE NORTH

State of New Mexico
County of Bernalillo

DEC 10 1986

C32
69



CITY INFRASTRUCTURE AND DRAINAGE
REQUIREMENT NOTICE: SEE SHEET
1 OF THIS PLAT FOR REQUIREMENT
NOTICE. (PERTAINS TO ALL TRACTS
SUBDIVIDED HEREIN.)

SHEET 6 OF 13

| | |
|--------------|-------------|
| DATE: | APRIL, 1986 |
| SCALE: | 1" = 100' |
| PREPARED BY: | C.S.C. |
| DRAWN BY: | C.S.C. |
| JOB NO.: | 30-05-620 |

PLAN HOLD CORPORATION • IRVINE, CALIFORNIA

PLAN HOLD CORPORATION • IRVINE, CALIFORNIA

PLAN HOLD CORPORATION • IRVINE, CALIFORNIA

86121511

SUBDIVISION PLAT FOR

PARADISE NORTH

State of New Mexico
 County of Bernalillo
 This instrument was filed for recording
 on **DEC 10 1986**
 at **10:00** a.m. Recorded in
 the records of said County following
 the signature of the
 Deputy Clerk

N/F LANDS OF
 LINCOLN ROAD LIMITED

N/F LANDS OF
 HARVILLE

N/F LANDS OF
 A & P # 1

N/F LANDS OF
 A & P # 2

N/F LANDS OF
 BROWN

MCMAHON BLVD., NW
 TR 2B
 (FILED 3-28-85 VOL C26 FOL. 167)

N/F LANDS OF
 LINCOLN ROAD LTD.

N/F LANDS OF
 LINCOLN ROAD LTD.

N/F LANDS OF
 LINCOLN ROAD LTD.

TRACT 8
 (6.2034 AC.)

TRACT 9
 (16.8438 AC.)

TRACT 24
 (17.8030 AC.)

TRACT 28
 (13.2129 AC.)

TRACT 30
 (15.7058 AC.)

TRACT 7
 (16.7362 AC.)

TRACT 6
 (7.3621 AC.)

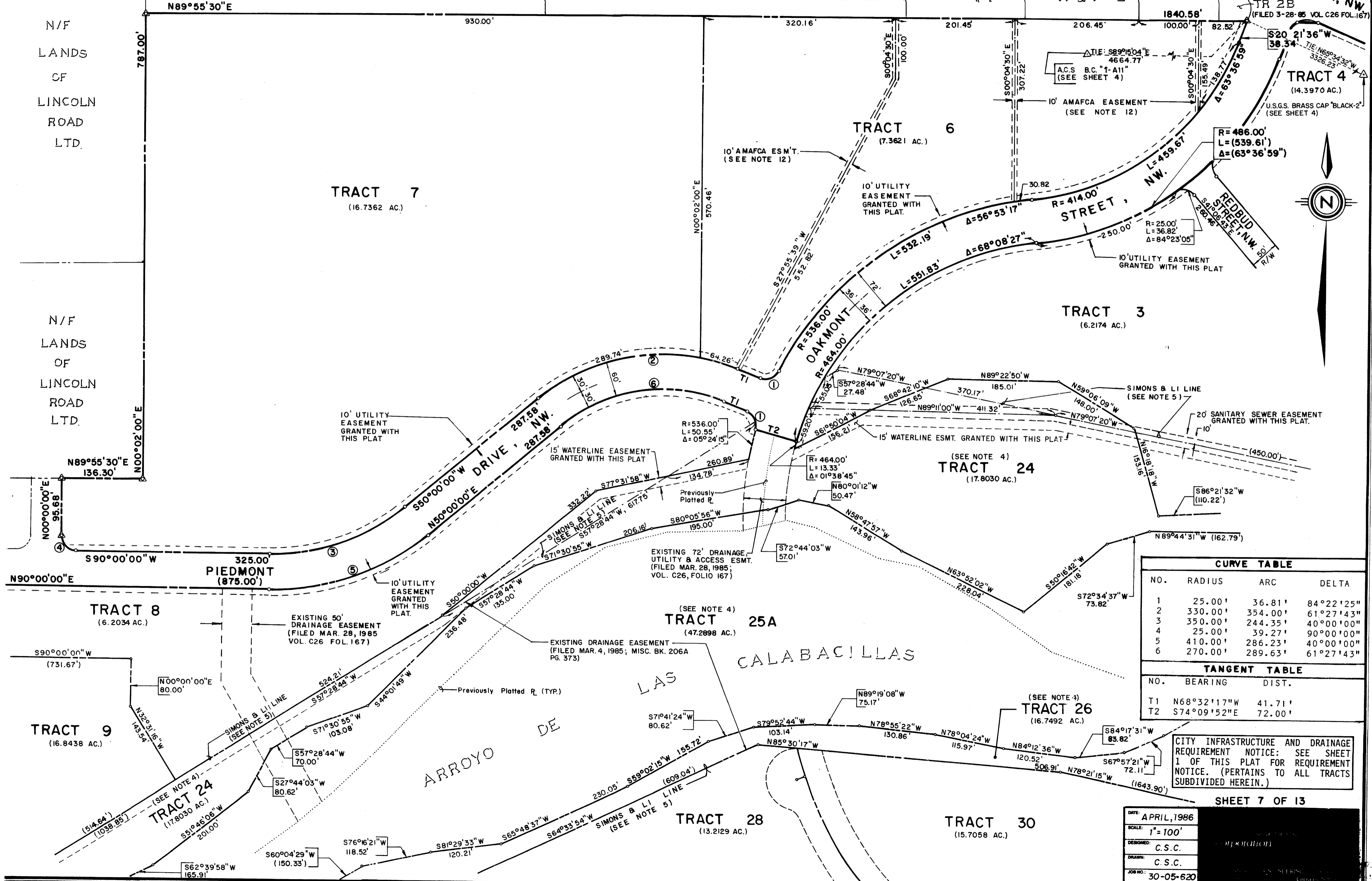
TRACT 3
 (6.2174 AC.)

TRACT 24
 (17.8030 AC.)

TRACT 25A
 (47.2898 AC.)

TRACT 26
 (16.7492 AC.)

TRACT 4
 (14.3970 AC.)



| CURVE TABLE | | | |
|-------------|---------|---------|------------|
| NO. | RADIUS | ARC | DELTA |
| 1 | 25.00' | 36.81' | 84°22'25" |
| 2 | 330.00' | 354.00' | 61°27'43" |
| 3 | 350.00' | 244.35' | 40°00'100" |
| 4 | 25.00' | 39.27' | 90°00'100" |
| 5 | 410.00' | 286.23' | 40°00'100" |
| 6 | 270.00' | 289.63' | 61°27'43" |

| TANGENT TABLE | | |
|---------------|-------------|--------|
| NO. | BEARING | DIST. |
| T1 | N68°32'17"W | 41.71' |
| T2 | S74°09'52"E | 72.00' |

CITY INFRASTRUCTURE AND DRAINAGE REQUIREMENT NOTICE: SEE SHEET 1 OF THIS PLAT FOR REQUIREMENT NOTICE. (PERTAINS TO ALL TRACTS SUBDIVIDED HEREIN.)

SHEET 7 OF 13

DATE: APRIL, 1986
 SCALE: 1" = 100'
 DESIGNED: C.S.C.
 DRAWN: C.S.C.
 JOB NO.: 30-05-620

PLAN HULLO CORPORATION • IRVINE, CALIFORNIA
 REGISTERED BY NUMBER 07544
 POSITION: BOARD OF PLANNING AND ZONING
 PLAN HULLO CORPORATION • IRVINE, CALIFORNIA
 REGISTERED BY NUMBER 07544
 POSITION: BOARD OF PLANNING AND ZONING

86121511

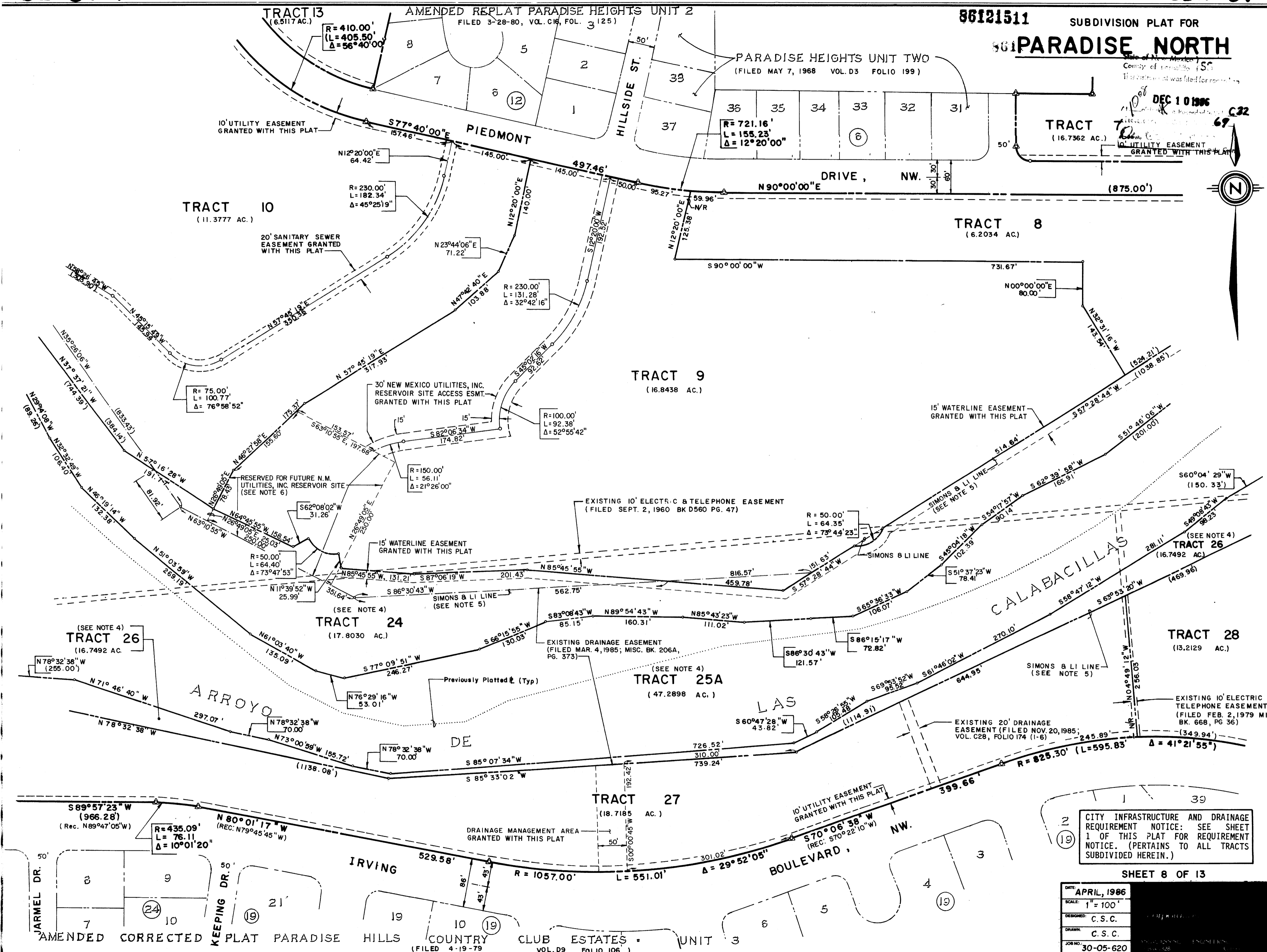
SUBDIVISION PLAT FOR

861 PARADISE NORTH

State of New Mexico
County of Bernalillo
This instrument was filed for recording

DEC 10 1986

C32



CITY INFRASTRUCTURE AND DRAINAGE
REQUIREMENT NOTICE: SEE SHEET
1 OF THIS PLAT FOR REQUIREMENT
NOTICE. (PERTAINS TO ALL TRACTS
SUBDIVIDED HEREIN.)

SHEET 8 OF 13

| | |
|-----------|-------------|
| DATE: | APRIL, 1986 |
| SCALE: | 1" = 100' |
| DESIGNED: | C. S. C. |
| DRAWN: | C. S. C. |
| JOB NO.: | 30-05-620 |

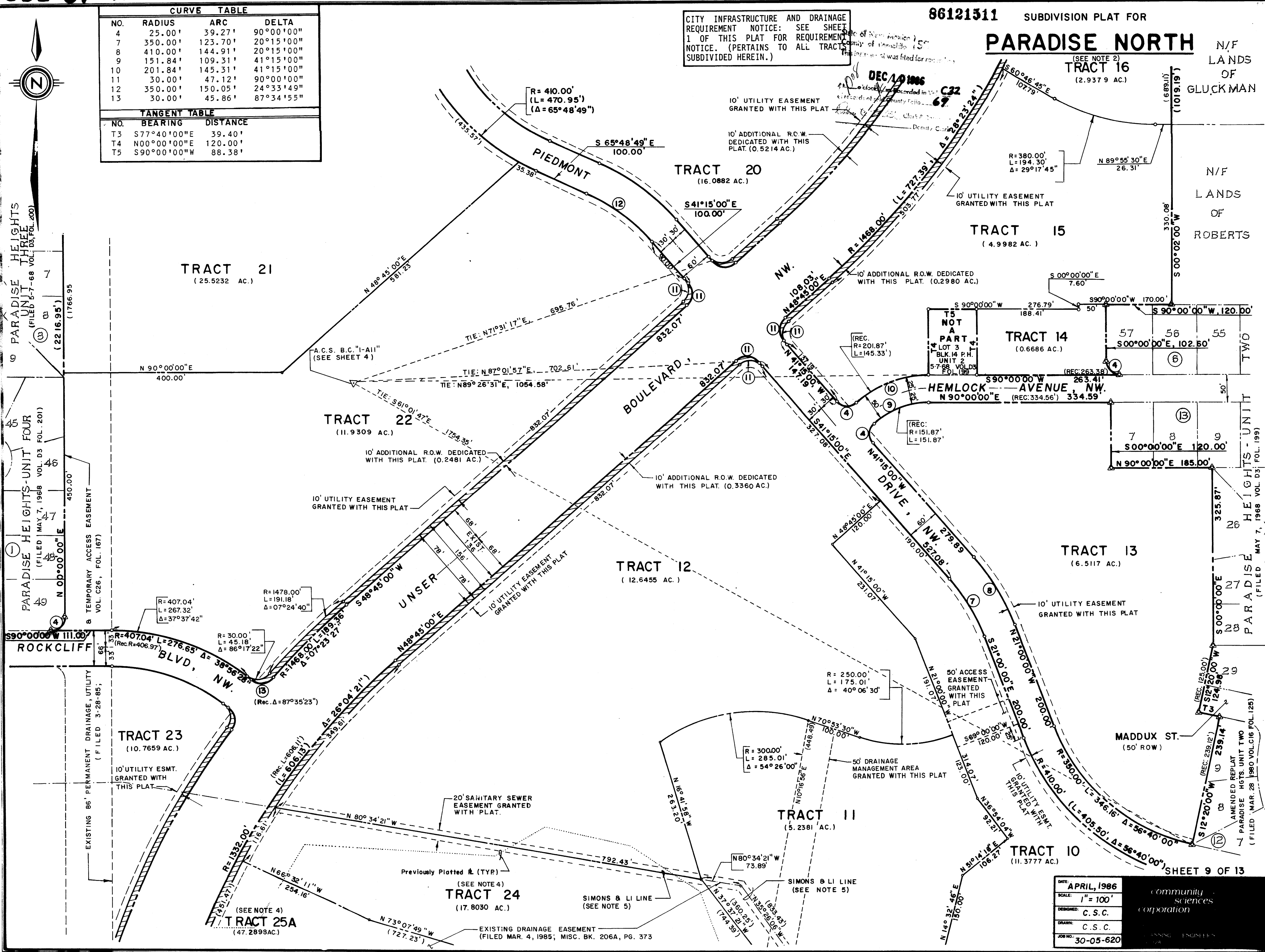
PLAN HOLD CORPORATION - IRVINE, CALIFORNIA
REGISTERED BY NUMBER 07264
POSITION: ENGINEER OF PLANNING AND SURVEYING

| CURVE TABLE | | | |
|-------------|---------|---------|-----------|
| NO. | RADIUS | ARC | DELTA |
| 4 | 25.00' | 39.27' | 90°00'00" |
| 7 | 350.00' | 123.70' | 20°15'00" |
| 8 | 410.00' | 144.91' | 20°15'00" |
| 9 | 151.84' | 109.31' | 41°15'00" |
| 10 | 201.84' | 145.31' | 41°15'00" |
| 11 | 30.00' | 47.12' | 90°00'00" |
| 12 | 350.00' | 150.05' | 24°33'49" |
| 13 | 30.00' | 45.86' | 87°34'55" |

| TANGENT TABLE | | |
|---------------|-------------|----------|
| NO. | BEARING | DISTANCE |
| T3 | S77°40'00"E | 39.40' |
| T4 | N00°00'00"E | 120.00' |
| T5 | S90°00'00"W | 88.38' |

CITY INFRASTRUCTURE AND DRAINAGE REQUIREMENT NOTICE: SEE SHEET 1 OF THIS PLAT FOR REQUIREMENT NOTICE. (PERTAINS TO ALL TRACTS SUBDIVIDED HEREIN.)

86121511 SUBDIVISION PLAT FOR
PARADISE NORTH
 (SEE NOTE 2)
 TRACT 16
 (2.9379 AC.)
 N/F LANDS OF GLUCKMAN



PARADISE HEIGHTS-UNIT THREE (FILED 6-7-68 VOL. D3, FOL. 200)
 PARADISE HEIGHTS-UNIT FOUR (FILED MAY 7, 1968 VOL. D3, FOL. 201)
 PARADISE HEIGHTS-UNIT TWO (FILED MAY 7, 1968 VOL. D3, FOL. 199)

DATE: APRIL, 1986
 SCALE: 1" = 100'
 DESIGNED: C.S.C.
 DRAWN: C.S.C.
 JOB NO.: 30-05-620
 community sciences corporation

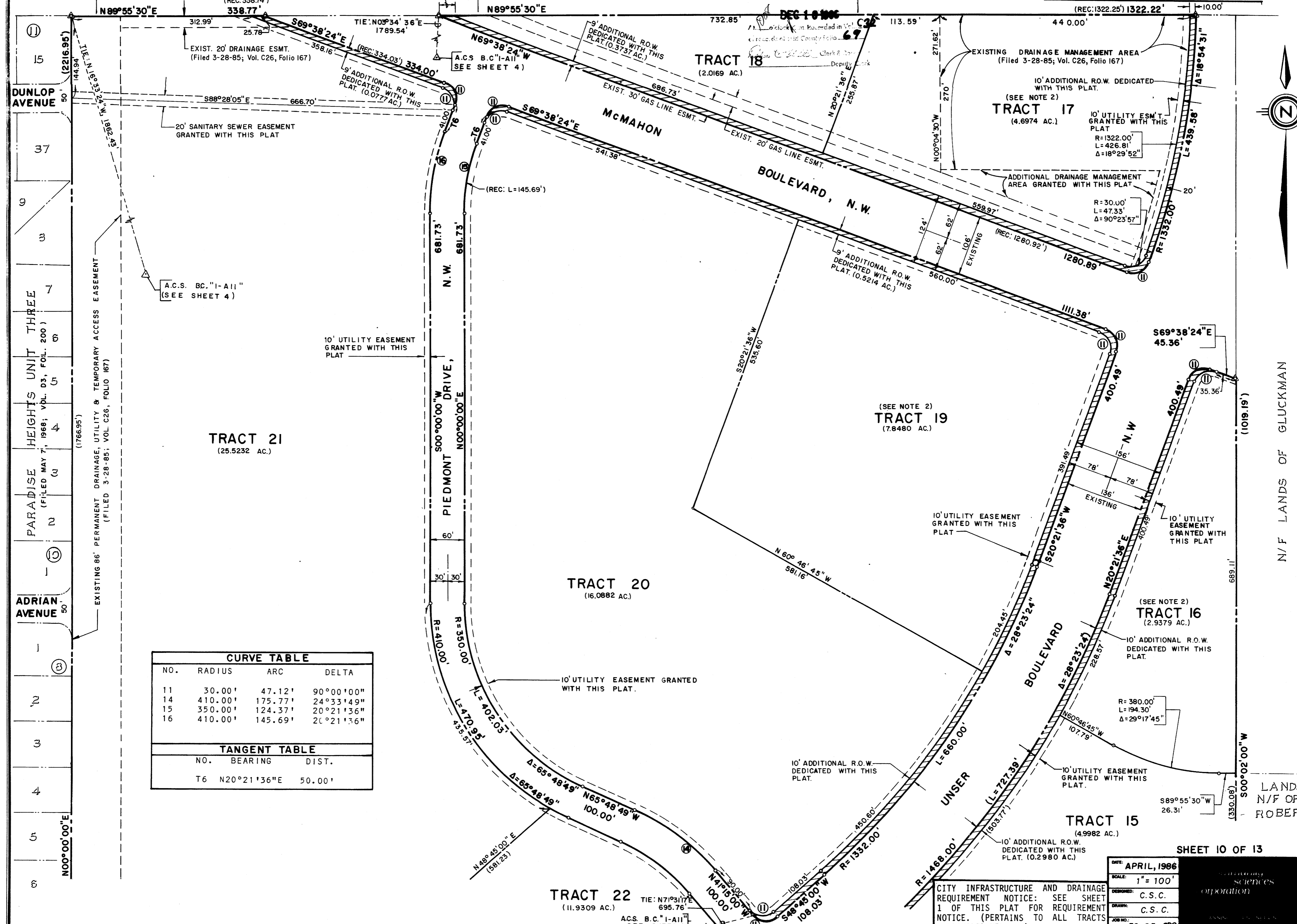
LANDS N/F OF COHEN

LANDS N/F OF KUNATH

LANDS N/F OF 86121511 SUBDIVISION PLAT FOR

ZOLIN

PARADISE NORTH



| CURVE TABLE | | | |
|-------------|---------|---------|-----------|
| NO. | RADIUS | ARC | DELTA |
| 11 | 30.00' | 47.12' | 90°00'00" |
| 14 | 410.00' | 175.77' | 24°33'49" |
| 15 | 350.00' | 124.37' | 20°21'36" |
| 16 | 410.00' | 145.69' | 20°21'36" |

| TANGENT TABLE | | |
|---------------|-------------|--------|
| NO. | BEARING | DIST. |
| T6 | N20°21'36"E | 50.00' |

15
37
9
3
7
4
2
1
1
2
3
4
5
6

DUNLOP AVENUE
ADRIAN AVENUE

PARADISE HEIGHTS UNIT THREE
(FILED MAY 7, 1988; VOL. D3, FOL. 200)

EXISTING 86' PERMANENT DRAINAGE, UTILITY & TEMPORARY ACCESS EASEMENT
(FILED 3-28-85; VOL. C26, FOLIO 167)

N/F LANDS OF GLUCKMAN
LANDS N/F OF ROBERTS

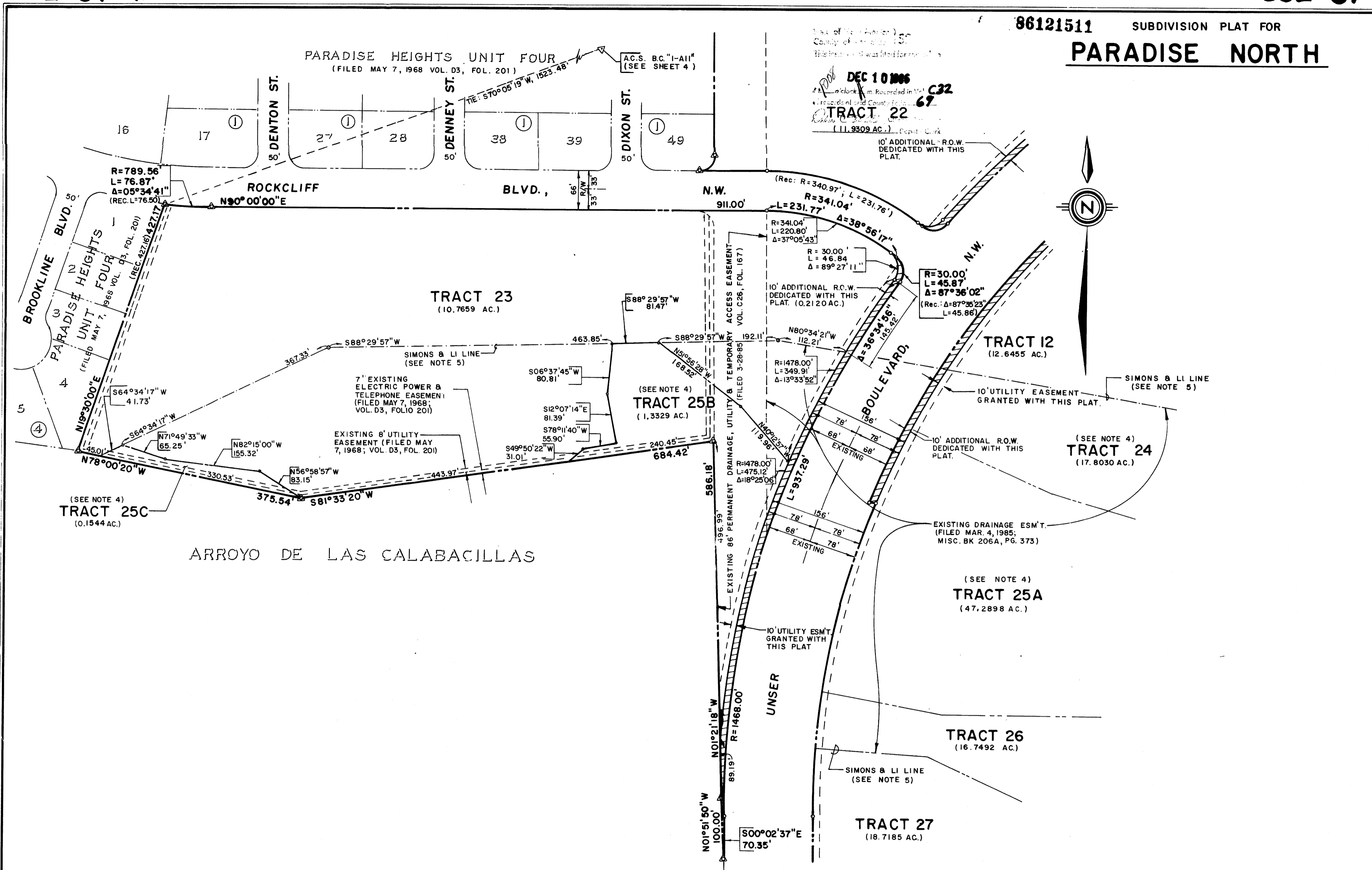
CITY INFRASTRUCTURE AND DRAINAGE REQUIREMENT NOTICE: SEE SHEET 1 OF THIS PLAT FOR REQUIREMENT NOTICE. (PERTAINS TO ALL TRACTS SUBDIVIDED HEREIN.)

DATE: APRIL, 1986
SCALE: 1" = 100'
DESIGNED: C.S.C.
DRAWN: C.S.C.
JOB NO.: 30-05-620

SCIENCE CORPORATION

86121511 SUBDIVISION PLAT FOR PARADISE NORTH

DEC 10 1986
TRACT 22
(11.9509 AC.)



CITY INFRASTRUCTURE AND DRAINAGE REQUIREMENT NOTICE: SEE SHEET 1 OF THIS PLAT FOR REQUIREMENT NOTICE. (PERTAINS TO ALL TRACTS SUBDIVIDED HEREIN.)

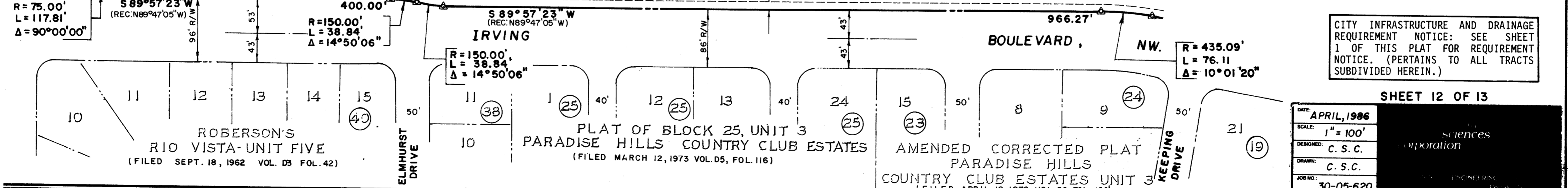
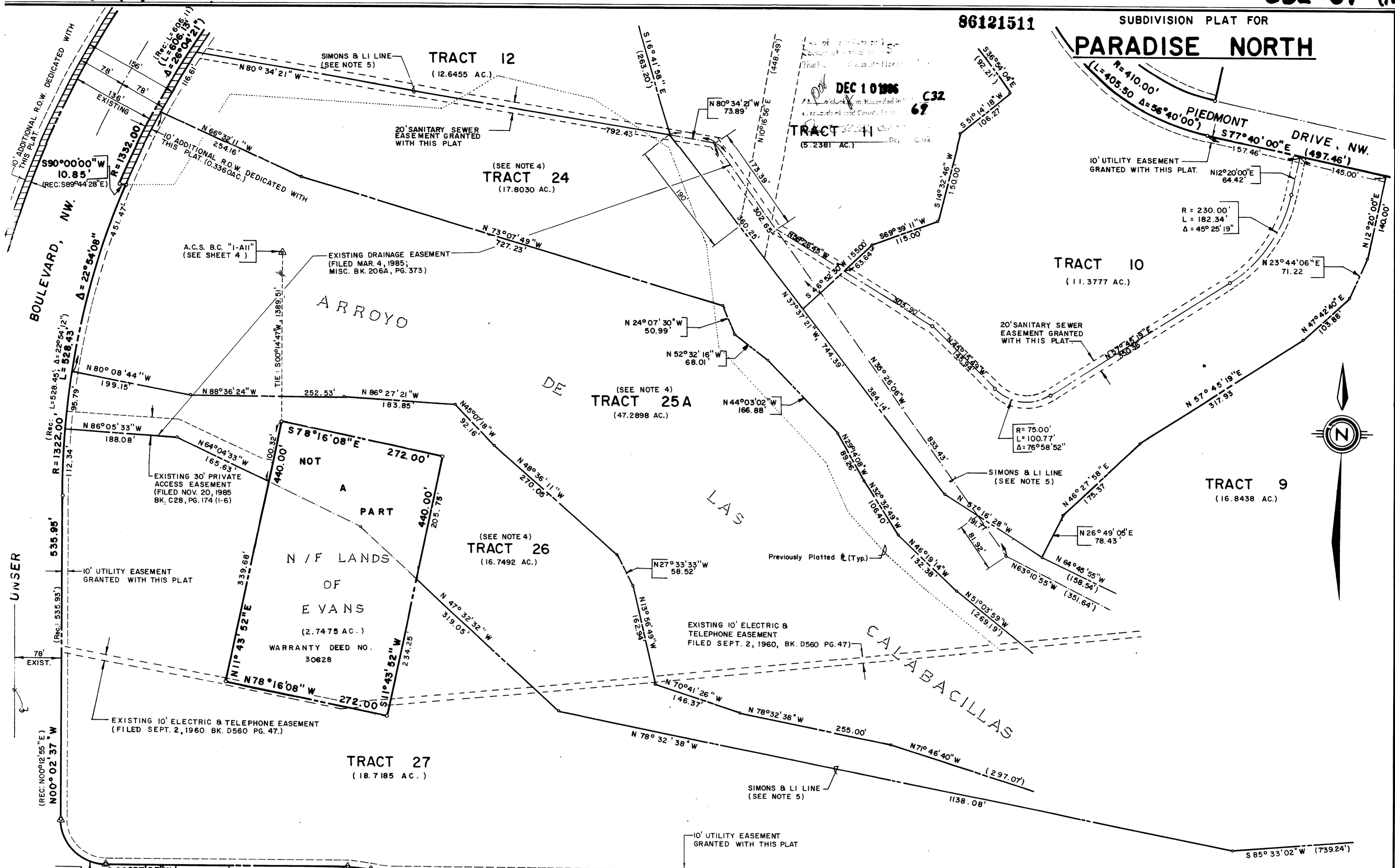
SHEET II OF 13

| | |
|-------------|-------------|
| DATE: | APRIL, 1986 |
| SCALE: | 1" = 100' |
| DRAWN BY: | C.S.C. |
| CHECKED BY: | C.S.C. |
| DATE: | APRIL, 1986 |
| SCALE: | 1" = 100' |
| DRAWN BY: | C.S.C. |
| CHECKED BY: | C.S.C. |
| DATE: | APRIL, 1986 |
| SCALE: | 1" = 100' |
| DRAWN BY: | C.S.C. |
| CHECKED BY: | C.S.C. |
| DATE: | APRIL, 1986 |
| SCALE: | 1" = 100' |
| DRAWN BY: | C.S.C. |
| CHECKED BY: | C.S.C. |

86121511

SUBDIVISION PLAT FOR

PARADISE NORTH



CITY INFRASTRUCTURE AND DRAINAGE REQUIREMENT NOTICE: SEE SHEET 1 OF THIS PLAT FOR REQUIREMENT NOTICE. (PERTAINS TO ALL TRACTS SUBDIVIDED HEREIN.)

SHEET 12 OF 13

DATE: APRIL, 1986
 SCALE: 1" = 100'
 DESIGNED: C. S. C.
 DRAWN: C. S. C.
 JOB NO.: 30-05-620

sciences corporation
 ENGINEERING

PLAN HOLD CORPORATION • IRVINE, CALIFORNIA
 REGISTERED PROFESSIONAL ENGINEER
 LICENSE NO. 10248
 POSITION: ENGINEER OF RECORD FOR THIS PLAT

86121511

SUBDIVISION PLAT FOR

PARADISE NORTH

TRACT 25A
(47.2898 AC.)

TRACT 26
(16.7492 AC.)

DEC 10 1986

TRACT 28
(13.2129 AC.)

TRACT 30
(15.7058 AC.)

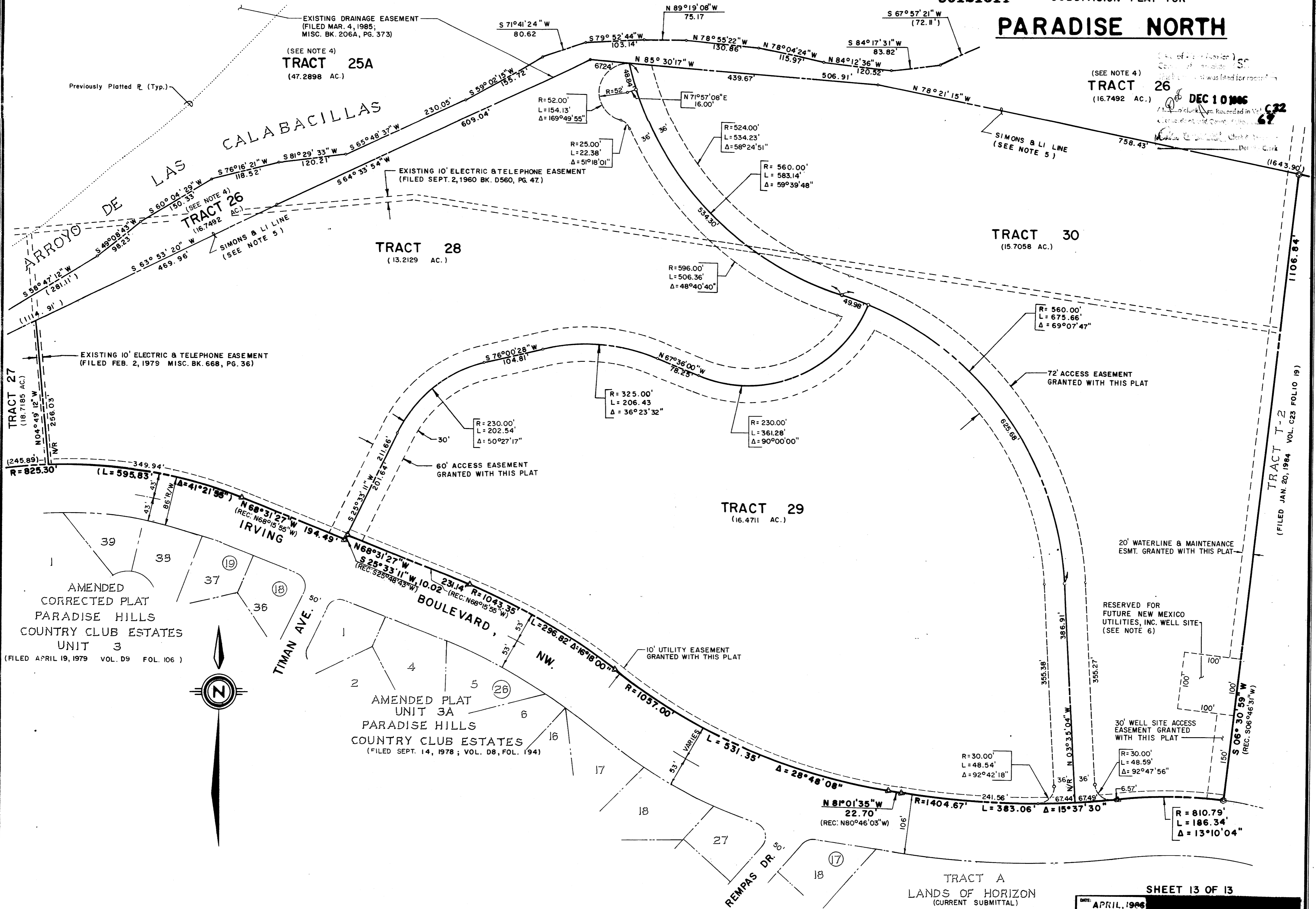
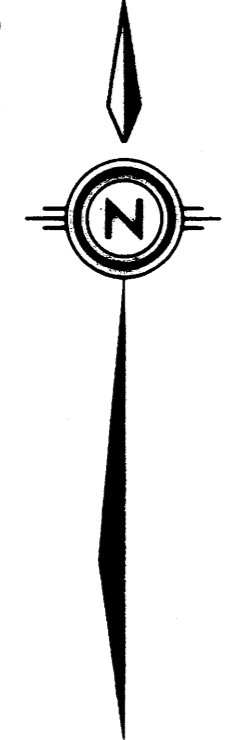
TRACT 27
(18.7185 AC.)

TRACT 29
(16.4711 AC.)

TRACT T-2
(FILED JAN. 20, 1984 VOL. C23 FOLIO 19)

AMENDED CORRECTED PLAT
PARADISE HILLS
COUNTRY CLUB ESTATES
UNIT 3
(FILED APRIL 19, 1979 VOL. D9 FOL. 106)

AMENDED PLAT
UNIT 3A
PARADISE HILLS
COUNTRY CLUB ESTATES
(FILED SEPT. 14, 1978; VOL. D8, FOL. 194)



TRACT A
LANDS OF HORIZON
(CURRENT SUBMITTAL)

SHEET 13 OF 13

CITY INFRASTRUCTURE AND DRAINAGE
REQUIREMENT NOTICE: SEE SHEET
1 OF THIS PLAT FOR REQUIREMENT
NOTICE. (PERTAINS TO ALL TRACTS
SUBDIVIDED HEREIN.)

| | |
|-----------|-------------|
| DATE: | APRIL, 1986 |
| SCALE: | 1"=100' |
| DRAWN BY: | C.S.C. |
| DATE: | C.S.C. |
| JOB NO.: | 30-05-620 |